

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 315-1920 AT LEAST 48 HOURS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-TITI AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS BUREAU OF UTILITIES AT (410) 315-4900 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- PROJECT BACKGROUND:
 - LOCATION: TAX MAP 36
 - ZONING: NT-EMPLOYMENT CENTER COMMERCIAL
 - ELECTION DISTRICT: FIFTH ELECTION DISTRICT
 - AREA OF BUILDABLE LOTS: 111± AC
 - RECORD PLAT NO.: 18353 & 18354
- DPZ REF. FILE NO.: F 85-155, F 11-520, FDP III-A-1, F 03-33, SDP 85-156C, F-04-24, SDP 03-156, NP 05-11, & F-06-222.
- EXISTING TOPOGRAPHY IS SHOWN PER FIELD RUN SURVEY PERFORMED DURING NOVEMBER/DECEMBER 2004 BY GUTSCHICK LITTLE & WEBER, P.A.
- COORDINATES ARE BASED ON NAD '27 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NUMBERS
- THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS AND FIELD LOCATIONS BY GUTSCHICK LITTLE & WEBER, P.A. THE CONTRACTOR MUST DIG TEST FITS BY HAND AT ALL UTILITY CROSSINGS AND CONNECTION POINTS TO VERIFY EXACT LOCATION.
- SPOT ELEVATIONS SHOWN FOR CURB ARE BOTTOM OF CURB UNLESS OTHERWISE NOTED.
- ALL PLAN DIMENSIONS ARE TO THE FACE OF BUILDING OR CURB UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL BETWEEN ITEMS UNLESS NOTED OTHERWISE.
- THERE ARE NO KNOWN GRAVE SITES, CEMETERIES, FLOOD PLAINS OR WETLANDS ON SITE AS PER RECORDED PLAT NO. 16142 (F 04-24) & PLAT NOS 18353 & 18354 (F-06-222).
- ALL CURB RADII ARE 5' UNLESS OTHERWISE NOTED.
- WATER SERVICE IS PUBLIC (CONTR. #24-4270-D).
- SEWER SERVICE IS PUBLIC (CONTR. #24-4270-D).
- AN UPDATED TRAFFIC IMPACT STUDY WAS PERFORMED BY WELLS & ASSOCIATES FOR THIS PROJECT. THE STUDY WAS APPROVED JULY, 2005. A FURTHER UPDATED TRAFFIC STUDY DATED SEPTEMBER 26, 2013 WAS PREPARED BY THE TRAFFIC GROUP AND APPROVED BY HOWARD COUNTY ON DECEMBER 13, 2013.
- THE PROJECT IS EXEMPT FROM FOREST CONSERVATION REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE SECTION 16.1202(B)(1)(V) (PUD WITH A FDP APPROVED PRIOR TO 12/31/12).
- THE CONTRACTOR SHALL TEST FIT ALL EXISTING UTILITIES AT LEAST (5) DAYS PRIOR TO STARTING ANY WORK SHOWN ON THESE DRAWINGS AND NOTIFY THE ENGINEER OF ANY CONFLICTS.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION REGULATIONS PER COUNCIL BILL NO 45-2003.
- NOTE: IN CASE OF DISCREPANCIES BETWEEN THE PLAT AND THE PLANS, THE PLAT SHALL GOVERN.
- ALL PRIVATE OUTDOOR LIGHTING SHALL BE ORIENTED TO DIRECT LIGHT INWARDS AND DOWNWARDS ON-SITE AWAY FROM ALL ADJOINING PUBLIC ROADS AND IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.

THE PROPOSED LIGHTING IS A LOW INTENSITY PEDESTRIAN TYPE OF FIXTURE IN ACCORDANCE WITH SECTION 134(C)(3). THE LAMPS HOUSED BY THE FIXTURE DO NOT EXCEED A TOTAL OF MORE THAN 16,000 LUMENS AND THE LAMPS ARE LESS THAN 14 FOOT ABOVE GROUND LEVEL. IN ACCORDANCE WITH SECTION 134(C)(5) NO SHIELDS ARE REQUIRED FOR THIS TYPE OF FIXTURE.

22. LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE LANDSCAPE MANUAL. SURETY IN THE AMOUNT OF \$5,250.00 SHALL BE POSTED WITH THE DEVELOPERS AGREEMENT FOR THIS SITE PLAN. SDP-05-010. FOR INFORMATION ON THE REQUIRED LANDSCAPE PLANTING AND ASSOCIATED SURETY, SEE SHEETS 6-1.

23. THE MINIMUM BUILDING SETBACKS RESTRICTIONS FROM PROPERTY LINES AND PUBLIC ROAD RIGHTS OF WAY ARE TO BE IN ACCORDANCE WITH FDP III-A-1 RECORDED ON 2/11/01 AS PLAT NOS. 15232 THROUGH 15234.

24. COUNTY COUNCIL RESOLUTION NO. 114-2003 WAS APPROVED ON JULY 30, 2003 TO ABANDON S WATER AND UTILITY EASEMENTS AND 1 SEWER AND UTILITY EASEMENT LOCATED ON THIS PARCEL AS SHOWN ON PLAT NO. 16142.

25. THE PROPOSED BUILDING WILL HAVE AN AUTOMATIC FIRE SUPPRESSION SPRINKLER SYSTEM.

26. IN ACCORDANCE WITH FDP III-A-1, THERE ARE NO HEIGHT LIMITS, NO MAXIMUM BUILDING COVERAGES, NOR ARE THERE ANY SPECIFIED BUILDING SETBACKS FOR THIS SITE, EXCEPT AS APPROVED BY THE HOWARD COUNTY PLANNING BOARD ON A SITE DEVELOPMENT PLAN.

27. TRASH COLLECTION FOR THIS SITE WILL BE INTERNAL TO THE BUILDING. NO OUTSIDE FACILITIES ARE PROPOSED.

28. STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURES AND POLES SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME III (2006), SECTION 5.5.A AND THE DOWNTOWN COLUMBIA GUIDELINES. A MINIMUM OF 20' SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY TREE.

29. THE HOWARD COUNTY PLANNING BOARD ORIGINALLY APPROVED THIS SDP ON JANUARY 18, 2006 SUBJECT TO REQUIRING THE COFFEE SHOP AREA LOCATED ON THE MEZZANINE LEVEL OF THE BUILDING TO COMPLY WITH THE PARKING SPACE REQUIREMENT OF FDP-III-A-1.

THE HOWARD COUNTY PLANNING BOARD APPROVED THE 2013 REVISIONS TO THIS SDP ON JANUARY 2, 2014.

30. TRAFFIC CONTROL DEVICES:
 A) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-315-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
 B) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
 C) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL PERFORATED (QUICK PUNCH) SQUARE TUBE POST (4 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL PERFORATED SQUARE TUBE SLEEVE (2 GAUGE) 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO QUICK PUNCH HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.

31. A MEMORANDUM OF UNDERSTANDING (MOU) BETWEEN THE DEVELOPER AND HOWARD COUNTY DPW BUREAU OF HIGHWAYS REGARDING THE MAINTENANCE OF THE BRICK SIDEWALK AND CROSSWALK LOCATED IN THE COUNTY RIGHT-OF-WAY WILL BE SIGNED AS PART OF THE DEVELOPERS AGREEMENT.

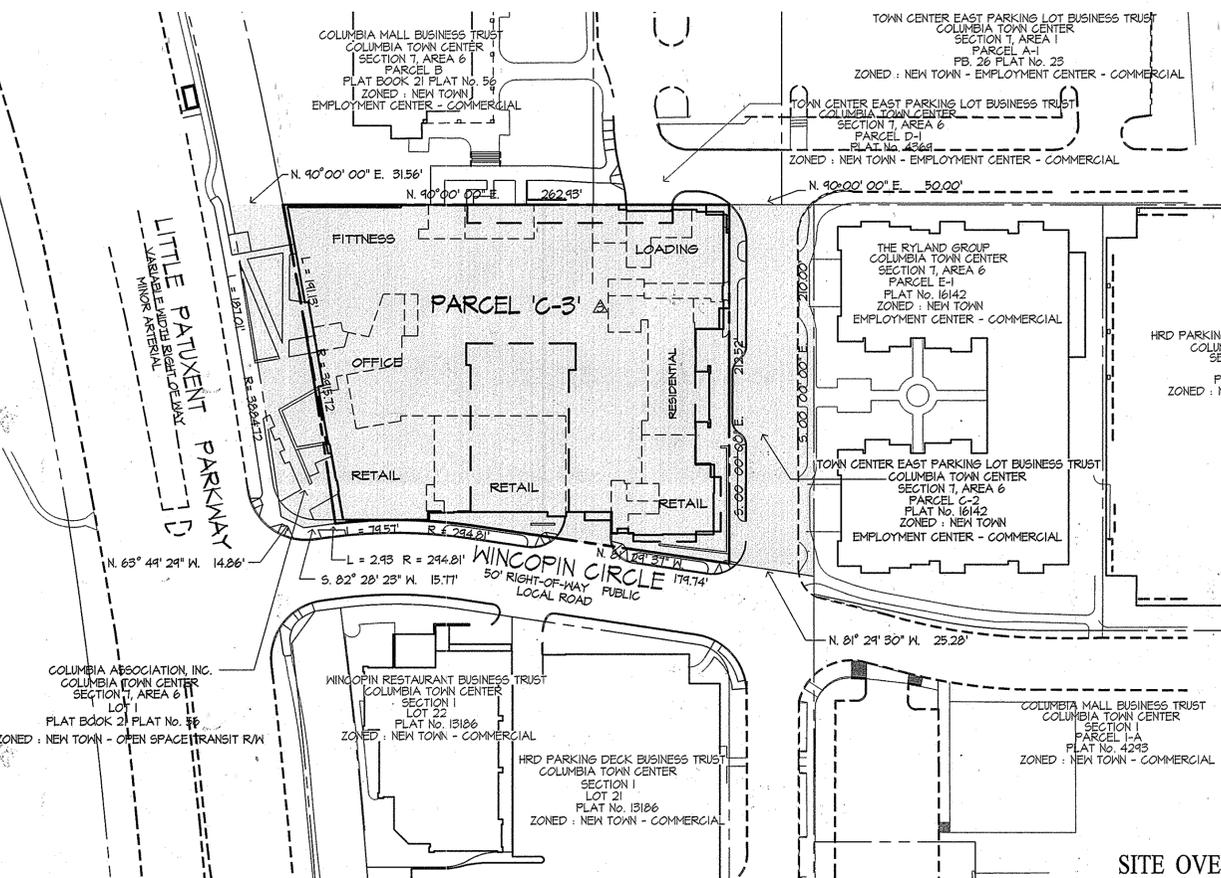
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *William J. Taylor* 3-4-16
 Date: 3-4-16

Chief, Division of Land Development: *David L. ...* 3-4-16
 Date: 3-4-16

Chief, Development Engineering Division: *...* 3-21-16
 Date: 3-21-16

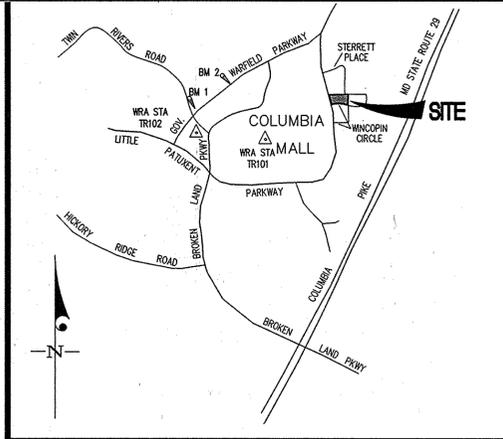
COLUMBIA TOWN CENTER SECTION 7 AREA 6 - PARCELS 'C-2', 'C-3' 'B', 'D-1' and OPEN SPACE LOT 1 SITE DEVELOPMENT PLAN



BENCHMARK DESCRIPTIONS

BM #1 (6LM TRAY, 9001) TOP OF REBAR & CAP IN MEDIAN OF GOV. WARFIELD PARKWAY, 250'± OF INTX. OF THIN RIVERS ROAD. ELEV.= 431.22

BM #2 (6LM TRAY, 9002) TOP OF REBAR & CAP EAST SIDE OF GOV. WARFIELD PARKWAY BEHIND ASPHALT PATH, 1000'± EAST OF INTX. OF THIN RIVERS ROAD. ELEV.= 404.76



VICINITY MAP
SCALE: 1" = 2000'

STORMWATER MANAGEMENT FACILITY SUMMARY TABLE
AREA TO FACILITY = 1.25 acres
IMPERVIOUS = 47.2%

	REQUIRED	PROVIDED
Wq _v	2,155 cu ft. @ 0.90 cfs	6,077 cu ft.*
Cp _v	2,945 cu ft. @ 0.04 cfs	6,077 cu ft.*
Rev	450 cu ft.	508 cu ft.

PRIVATELY OWNED AND MAINTAINED WATER QUALITY FACILITY. DETENTION AND TREATMENT OF WQV AND Cp_v ACCOMPLISHED BY BELOW GRADE STORAGE MANIFOLD AND STORMFILTER™ WATER FILTRATION DEVICE.

SITE DEVELOPMENT PLAN SHEET INDEX

1	COVER SHEET	
2	SITE DEVELOPMENT PLAN	
3	PARKING GARAGE DETAILS AND SITE DETAILS	
4	SITE AND HANDICAP ACCESSIBILITY DETAILS	
5	SITE DETAILS	OWNER PARCEL C-2 Town Center East Parking Lot Business Trust 10480 LITTLE PATUXENT PARKWAY SUITE 400 Columbia, MD 21044 Attn: Bob Jenkins 410-964-5443
6	LANDSCAPE PLAN	
7	LANDSCAPE NOTES & DETAILS	
8	SEDIMENT CONTROL PLAN	
9	SEDIMENT CONTROL NOTES & DETAILS	
10	UTILITY PROFILES - WATER, SEWER AND STORM DRAIN	
11	STORMWATER MANAGEMENT DETAILS	OWNER OPEN SPACE LOT 1 Columbia Association, Inc. 10221 Wingopin Circle Suite 100 Columbia, MD 21044 Attn: Phil Nelson 410-715-3110
12	STORM DRAIN DRAINAGE AREA MAP	
13	STORMWATER MANAGEMENT DRAINAGE AREA MAP	
14	SIGNING, MARKING AND STREET LIGHTING PLAN	
15	EXCAVATION SHORING PLAN	
16	SHORING PLAN	
17	SHORING DETAILS	
18	SHORING DETAILS	
19	SHORING DETAILS	

SITE ANALYSIS

1. GENERAL SITE DATA
 AREA TABULATION FOR SITE: 146 AC.
 PARCEL C-3 AREA: 111 AC.
 PART OF PARCEL C-2 AREA: 0.15 AC.
 PART OF PARCEL B AREA: 0.06 AC.
 PART OF OPEN SPACE LOT 1 AREA: 0.14 AC.
 PART OF PARCEL D-1 AREA: 0.02 AC.

A. AREA OF THIS SDP SUBMISSION: 146 AC.
 B. LIMIT OF GRADING DISTURBANCE: 2.25 AC.

2. FLOOR AREA RATIO: 370,868 sq ft / 48,341 sq ft = 7.67:1
 3. TOTAL PROPOSED MAXIMUM BUILDING AREA: 653,264 S.F. (INCL. GAR)

BREAKDOWN OF GROSS AREA BY FLOOR:

LEVEL	USE	AREA
P-5 LEVEL	PARKING	44,803 s.f.
P-4 LEVEL	PARKING	44,803 s.f.
P-3 LEVEL	PARKING	44,803 s.f.
P-2 LEVEL	PARKING	44,803 s.f.
P-1 LEVEL	PARKING	44,803 s.f.
GROUND FLOOR	PARKING, RETAIL & RES. LOBBY	45,386 s.f.
UPPER GROUND	PARKING, RETAIL & RESIDENTIAL	37,021 s.f.
L1	OFFICE & OFFICE LOBBY	33,715 s.f.
L2	RESIDENTIAL	11,254 s.f.
L3 R/ L3 O	OFFICE, FITNESS, & RESIDENTIAL	25,617 s.f.
L4 R/ L4 O	OFFICE/RESIDENTIAL	35,154 s.f.
L5 R	RESIDENTIAL	14,036 s.f.
L6 R/ L5 O	OFFICE/RESIDENTIAL	35,154 s.f.
L7 R/ L6 O	OFFICE/RESIDENTIAL	35,154 s.f.
L8 R/ L7 O	OFFICE/RESIDENTIAL	35,154 s.f.
L9 R	RESIDENTIAL	14,036 s.f.
L10 R/ L9 O	OFFICE / RESIDENTIAL	35,154 s.f.
R FENT/ L9 O	OFFICE / RESIDENTIAL PENTHOUSE	20,570 s.f.
O FENT	OFFICE PENTHOUSE	1,025 s.f.
TOTAL		653,264 s.f.

ADDRESS CHART

STREET ADDRESS					
1075 LITTLE PATUXENT PARKWAY (Commercial)					
10221 WINGOPIN CIRCLE (Residential)					
PROJECT NAME:	SECTION/AREA	PARCEL			
COLUMBIA TOWN CENTER	SECTION 7 AREA 6	C-3			
PLAT	ZONE	TAX MAP	GRID	ELEC. DIST.	CENSUS TRACT
18353 & 18354	NT	30	20	No. 5	6054.02
WATER CODE:	SEWER CODE:				
EB1	9521000				

FDP III-A-1 CRITERIA ANALYSIS

- GENERAL SITE DATA
 - PRESENT ZONING: NT - EMPLOYMENT CENTER - COMMERCIAL (FDP III-A-1)
 - PERMITTED USES (PARAGRAPH 7): ALL USES PERMITTED IN COMMERCIAL DISTRICTS OR COMMERCIAL LAND ZONES ARE PERMITTED. APARTMENTS MAY BE LOCATED IN LOT 2 AREA DESIGNATED FOR COMMERCIAL USE IN CONJUNCTION WITH THE MIX OF USES ALLOWED IN THE B-1B-2, AND S-C ZONING DISTRICTS IN ACCORDANCE WITH A SITE DEVELOPMENT PLAN APPROVED BY THE HO. CO. PLANNING BOARD.
 - PROPOSED USE OF SITE: APARTMENTS, COMMERCIAL, OFFICE, PARKING, & FITNESS
- PARCEL 'C-3' DEVELOPMENT DATA
 - APARTMENTS PARKING REQUIREMENTS:
 - PROPOSED NUMBER OF UNITS: 160
 - MINIMUM NUMBER OF HANDICAP SPACES REQUIRED = 15 SPACES PER UNIT = 240 SPACES
 - MINIMUM NUMBER OF HANDICAP VAN SPACES REQUIRED = 7 SPACES
 - MINIMUM NUMBER OF HANDICAP VAN SPACES REQUIRED = 2 SPACES
 - APARTMENT PARKING REQUIREMENTS (PARAGRAPH 9): NO LESS THAN 15 OFF STREET PARKING SPACES CONTAINING A MINIMUM AREA OF 162 SQUARE FEET FOR EACH PARKING SPACE FOR EACH DWELLING UNIT SHALL BE PROVIDED FOR APARTMENT USES. ALL AS APPROVED ON A SITE DEVELOPMENT PLAN BY THE HOWARD COUNTY PLANNING BOARD. PARKING IS ALLOWED IN ADJACENT FINAL DEVELOPMENT PLAN PHASES AND OR OTHER LAND USES AS APPROVED BY THE HOWARD COUNTY PLANNING BOARD.
 - GUEST/OVERFLOW PARKING REQUIRED: 0.3 SPACES PER UNIT
 - TOTAL SPACES REQUIRED = 48 SPACES
 - TOTAL SPACES REQUIRED = 288 SPACES
 - OFFICE PARKING REQUIREMENTS:
 - PROPOSED OFFICE: 114,324 square feet (NET LEASABLE AREA)
 - OFFICE PARKING REQUIREMENTS (PARAGRAPH 9.1b): TWO PARKING SPACES SHALL BE PROVIDED FOR EACH 1,000 SQUARE FEET OF NET LEASABLE AREA CONTAINED WITHIN ANY BUILDING ON BUILDINGS
 - NUMBER OF PARKING SPACES REQUIRED (2 SPACES PER 1,000 S.F.) 114,324 x 2/1,000 = 229 SPACES
 - RETAIL PARKING REQUIREMENTS (LOCATED ON THE LOWER GROUND AND UPPER GROUND LEVEL):
 - PROPOSED RETAIL: 8,910 square feet (NET LEASABLE AREA)
 - RETAIL PARKING REQUIREMENTS (PARAGRAPH 9.1b): FIVE PARKING SPACES SHALL BE PROVIDED FOR EACH 1,000 SQUARE FEET OF NET LEASABLE AREA DEVOTED TO COMMERCIAL RETAIL SALES USES
 - NUMBER OF PARKING SPACES REQUIRED (5 SPACES PER 1,000 S.F.) 8,910 x 5/1,000 = 45 SPACES

SITE OVERVIEW

- FITNESS PARKING REQUIREMENTS (LOCATED ON THE UPPER GROUND LEVEL AND SECOND FLOOR):
 - PROPOSED FITNESS: 35,351 square feet (NET LEASABLE AREA)
 - FITNESS PARKING REQUIREMENTS: TEN PARKING SPACES SHALL BE PROVIDED FOR EACH 1,000 SQUARE FEET OF ASSEMBLY AREA
 - NUMBER OF PARKING SPACES REQUIRED (10 SPACES PER 1,000 S.F.) 35,351 x 10/1,000 = 354 SPACES
- TOTAL PARKING REQUIREMENTS:
 - TOTAL SPACES REQUIRED: 288 (RESIDENTIAL) + 239 (OFFICE) + 45 (RETAIL) + 354 (FITNESS) = 926 SPACES.
 - USING THE SHARED PARKING ADJUSTMENT DESCRIBED IN SECTION 133.F.1 THE PEAK TIME PERIOD IS WEEKDAY 5PM - MID, AND THE MAXIMUM REQUIRED PARKING = 706 SPACES
- PROPOSED PARKING PROVIDED
 - ON-SITE PARKING PROVIDED:

FLOOR	SPACES
UPPER GROUND FLOOR:	0 SPACES
GROUND FLOOR:	54 SPACES
LOWER GROUND FLOOR:	75 SPACES & 3 HANDICAP VAN SPACES
P-1:	117 SPACES & 3 HANDICAP SPACES
P-2:	114 SPACES & 3 HANDICAP SPACES
P-3:	114 SPACES & 3 HANDICAP SPACES
P-4:	114 SPACES & 3 HANDICAP SPACES
P-5:	114 SPACES & 3 HANDICAP SPACES
P-6:	4 SPACES
TOTAL:	724 SPACES + 15 STD. HANDICAP SPACES + 3 HANDICAP VAN SPACES
TOTAL:	742 SPACES
 - TOTAL PARKING:
 - TOTAL SHARED PARKING SPACES REQUIRED: = 706 SPACES
 - TOTAL SPACES PROVIDED: = 142 SPACES PROVIDED
- SETBACK PROVISIONS (PARAGRAPH 10): NO STRUCTURE SETBACK IS ESTABLISHED FOR THE WINGOPIN CIRCLE RIGHT-OF-WAY, HOWEVER, STRUCTURES MAY BE CONSTRUCTED AT ANY LOCATION WITHIN SUCH SETBACK AREA IF SUCH CONSTRUCTION IS IN ACCORDANCE WITH A SITE DEVELOPMENT PLAN APPROVED BY THE HOWARD COUNTY PLANNING BOARD. EXCEPT AS RESTRICTED IN THE FDP PARAGRAPH 6-C, BUILDING AND OTHER STRUCTURES MAY BE LOCATED AT ANY LOCATION WITHIN COMMERCIAL LAND USE AREAS. ALL STRUCTURES MUST BE DEVELOPED IN ACCORDANCE WITH A SITE DEVELOPMENT PLAN APPROVED BY THE HOWARD COUNTY PLANNING BOARD.
- HEIGHT LIMITATIONS (PARAGRAPH 8): COMMERCIAL AREAS - NO HEIGHT LIMITATION IS IMPOSED UPON STRUCTURES CONSTRUCTED WITHIN THESE FINAL DEVELOPMENT PHASES PROVIDED IMPROVEMENTS THEREON ARE CONSTRUCTED IN ACCORDANCE WITH A SITE DEVELOPMENT PLAN APPROVED BY THE HOWARD COUNTY PLANNING BOARD. SEE SHEET 4 FOR BUILDING HEIGHT
- COVERAGE REQUIREMENTS (PARAGRAPH 12): NO COVERAGE REQUIREMENT IS IMPOSED UPON LAND WITHIN THESE FINAL DEVELOPMENT PLAN PHASES DEVOTED TO COMMERCIAL/APARTMENT LAND USES, EXCEPT IN ACCORDANCE WITH A SITE DEVELOPMENT PLAN APPROVED BY THE HOWARD COUNTY PLANNING BOARD.



PREPARED FOR AND OWNER PARCEL C-3:
 LPP INVESTORS LLC
 10211 WINGOPIN CIRCLE
 SUITE 100
 COLUMBIA, MD 21044
 Attn: DAVID COSTELLO
 410-740-9500

REVISED COVER SHEET
PROPOSED APARTMENT, OFFICE, RETAIL, & FITNESS BUILDING
COLUMBIA TOWN CENTER
SECTION 7 AREA 6
PARCELS C-2, C-3, B, D-1 AND OPEN SPACE LOT 1
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	04052
DATE	TAX MAP - GRID	SHEET
FEB, 2016	30 - 20	1 OF 19

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GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 FAX: 301-421-4168
 BAL: 410-880-1820 DC/VA: 301-989-2524

DATE	REVISION	BY	APPR.
02/2016	BUILDING TOWER & BUILDING ENTRANCES REVISED, FDP III-A-1 CRITERIA ANALYSIS UPDATED		
09/2014	BUILDING TOWER & BUILDING ENTRANCES REVISED, FDP III-A-1 CRITERIA ANALYSIS UPDATED		
06/2014	BUILDING TOWER & BUILDING ENTRANCES REVISED, FDP III-A-1 CRITERIA ANALYSIS UPDATED		

LEGEND

- 600 --- EXISTING CONTOUR
- 600 --- PROPOSED CONTOUR
- ×300.00 ×300.00 PROPOSED SPOT ELEV. (FH=HIGH PT.)
- LIMIT OF GRADING DISTURBANCE / LIMIT OF SUBMISSION
- EXISTING UTILITY/LIGHT POLE
- PROPOSED LIGHT POLE
- WATER HOUSE CONN. (PRIVATE)
- WATER LINE (PUBLIC)
- FIRE HYDRANT
- SEWER HOUSE CONN. (PRIVATE)
- SEWER MAIN (PUBLIC)
- EXISTING STORM DRAIN
- PROPOSED STORM DRAIN STRUCTURE (4 INLET LABEL)
- STORM DRAIN PIPE
- PROPOSED ENCASED TELEPHONE CONDUIT (BY OTHERS)
- FRENCH DRAINS (SEE FRENCH DRAIN NOTES THIS SHEET)
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- FLUSH CURB / DEPRESSION CURB
- PROPOSED CURB TRANSITION
- PATRON ENTRANCE
- CONCRETE SIDEWALK
- EX. EASEMENTS
- 24897 --- UNDERGROUND BUILDING DIMENSIONS (GARAGE LEVEL P-3)
- FIRST FLOOR RETAIL AREA
- BUILDING TOWER
- BUILDING AT GROUND LEVEL
- LIMITS OF UNDERGROUND GARAGE
- PROPOSED OFF SITE PAVING (P-5 SECTION)

PARCEL C-3

PROPERTY LINE TABLE

PT. NO.	BEARING, DIST. or RAD., LENGTH
1	R = 3415.12', L = 14113'
2	N. 40° 00' 00" E. 262.93'
3	S. 00° 00' 00" E. 212.52'
4	N. 81° 24' 37" W. 1174.14'
5	R = 244.81', L = 74.57'

HANDICAP ACCESSIBILITY NOTES:

- MAXIMUM SIDEWALK CROSS SLOPE IS 2%.
- A 5' X 5' MINIMUM LEVEL (2%) LANDING IS REQUIRED AT THE TOP AND BOTTOM OF ALL RAMP. RAMP SLOPES GREATER THAN 5%.
- MAXIMUM SLOPE IN ANY DIRECTION OF THE HANDICAP PARKING IS 2%.
- DETECTABLE WARNINGS ARE REQUIRED ON ALL SIDEWALK RAMP IN THE COUNTY RIGHT-OF-WAY.
- DETECTABLE WARNINGS ARE REQUIRED ON ALL SIDEWALKS WITHOUT CURB RAMP THAT TERMINATE AT FLUSH CURB FOR ROADWAYS.

NOTE: A MEMORANDUM OF UNDERSTANDING (MOU) BETWEEN THE DEVELOPER AND HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING REGARDING THE MAINTENANCE OF THE BRICK SIDEWALK AND CROSSWALK LOCATED IN THE COUNTY RIGHT-OF-WAY WILL BE SIGNED AS PART OF THE DEVELOPERS AGREEMENT.

FRENCH DRAIN NOTES:
 SEE LANDSCAPE PLAN FOR DETAIL. USE 3" PERFORATED PVC WHEN PIPE IS WITHIN STONE AND 3" SOLID PVC WHEN PIPE IS OUTSIDE OF STONE. SLOPE PIPE WITH GRADE WITH A MINIMUM OF 1% OF COVER TO FINISHED GRADE. TIE INTO 6" PVC AS NECESSARY.

TRENCH DRAIN NOTES:
 DRAIN #1: ZURN 2803 TRENCH DRAIN (OR EQUIV.) 13 LF. TIE INTO 6" PVC WITH 3" OUTLET PIPE. USE ADA GRATE.
 DRAIN #2: ZURN 2874-12 TRENCH DRAIN (OR EQUIV.) 21 LF. USE #1203P AND #1204P ON EITHER SIDE AND DRAIN TO CENTER. USE 6" BOTTOM OUTLET AND TIE INTO TRENCH WITH 1" CONNECTION. INV. OF 6" PVC @ 12" HOPE = 323.10. USE H2O GRATE.
 DRAIN #3: ZURN 2806 TRENCH DRAIN (OR EQUIV.) 26 LF. USE #0601 ON WEST END AND INCREASE IN SIZE UNTIL THE END OF THE DRAIN ON THE EAST END. USE 4" BOTTOM OUTLET AND TIE INTO OUTLET FOR TRENCH DRAIN #4. USE 4" PVC TO SEND COMBINED OUTLET TO ADJACENT 18"X4" T. INV. OF 18"X4" T = 321.80. USE ADA GRATE.
 DRAIN #4: ZURN 2806 TRENCH DRAIN (OR EQUIV.) 40 LF. USE #0601 ON NORTH END AND INCREASE IN SIZE UNTIL THE END OF THE DRAIN ON THE SOUTH END. USE 4" BOTTOM OUTLET AND TIE INTO OUTLET FOR TRENCH DRAIN #3. USE 4" PVC TO SEND COMBINED OUTLET TO ADJACENT 18"X4" T. INV. OF 18"X4" T = 321.80. USE ADA GRATE.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Valdis J. Jelen 3-4-16
 Director Date

Kathleen... 3-4-16
 Chief, Division of Land Development Date

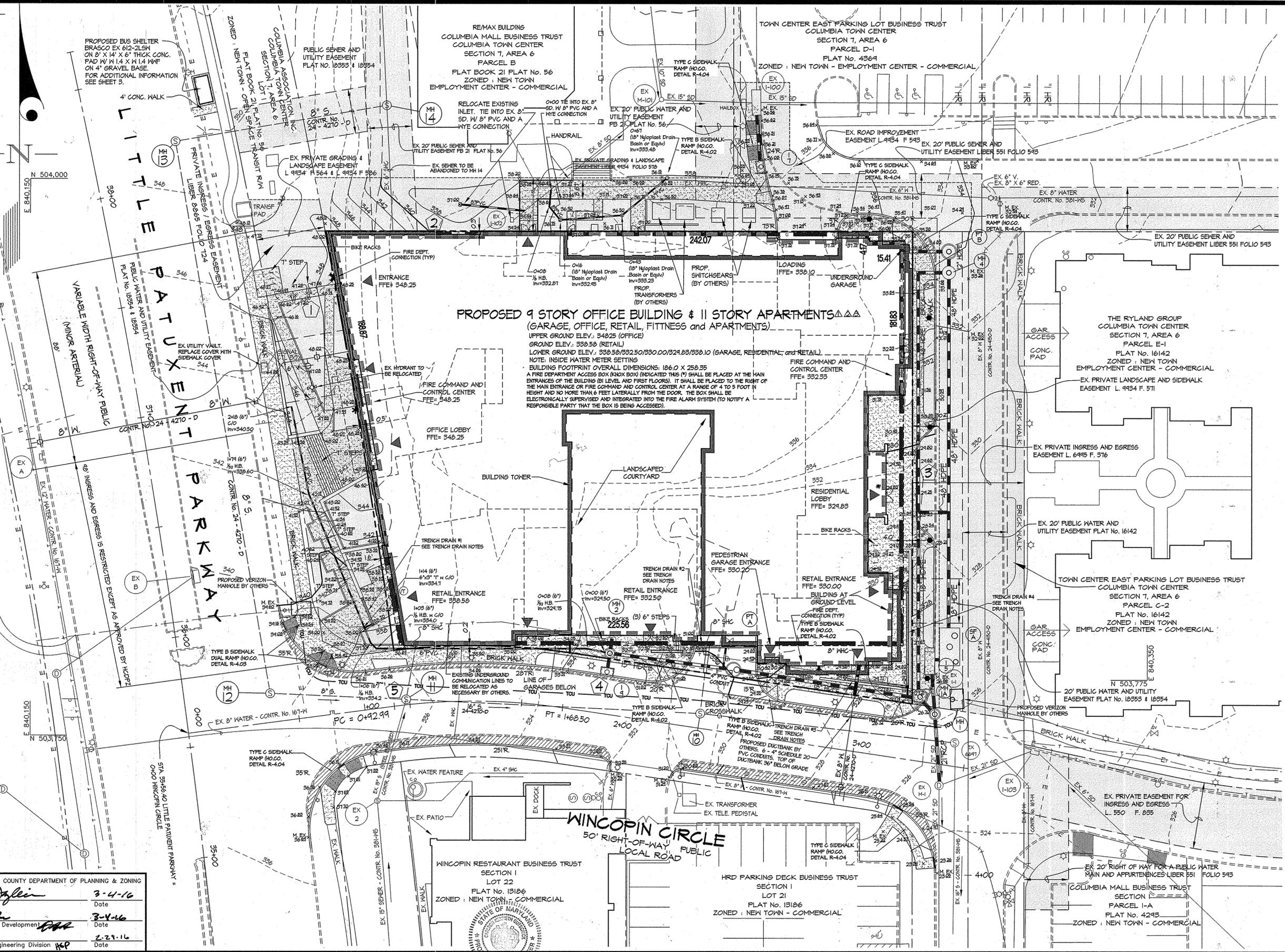
... 2-29-16
 Chief, Development Engineering Division Date

GLWGUTSCHICK LITTLE & WEBER, P.A.
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 3909 NATIONAL DRIVE - SUITE 200 - BIRTONVILLE OFFICE PARK
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DATE	REVISION	BY	APP'R.
02/2016	TOWER LAYOUT REVISED		
09/2014	TOWER LAYOUT REVISED		
06/2014	TOWER LAYOUT REVISED		

PROPOSED 9 STORY OFFICE BUILDING & 11 STORY APARTMENTS
 (GARAGE, OFFICE, RETAIL, FITNESS AND APARTMENTS)

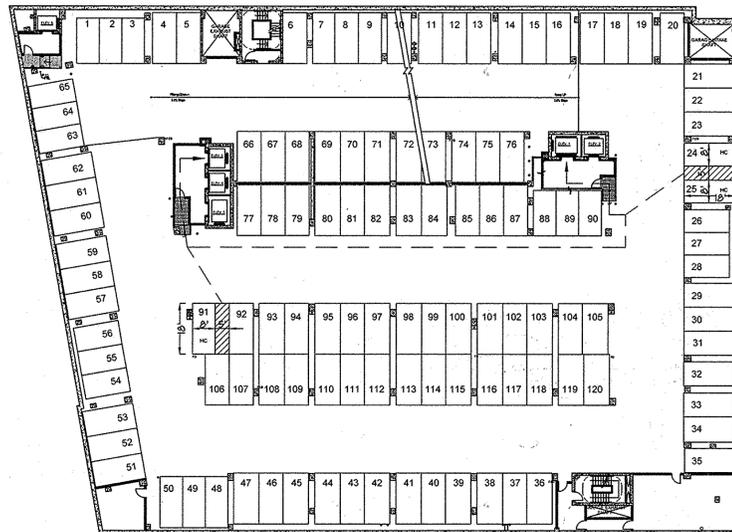
UPPER GROUND ELEV.: 348.25 (OFFICE)
 GROUND ELEV.: 330.50 (RETAIL)
 LOWER GROUND ELEV.: 330.50/332.50/330.00/324.03/330.10 (GARAGE, RESIDENTIAL, and RETAIL)
 NOTE: INSIDE WATER METER SETTING
 BUILDING FOOTPRINT OVERALL DIMENSIONS: 106.0 X 250.35
 A FIRE DEPARTMENT ACCESS BOX (INDICATED THIS 'F') SHALL BE PLACED AT THE MAIN ENTRANCES OF THE BUILDING (BY LEVEL AND FIRST FLOOR). IT SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE OR FIRE COMMAND AND CONTROL CENTER AT A RANGE OF 4 TO 6 FEET IN HEIGHT AND NO MORE THAN 6 FEET LATERALLY FROM THE DOOR. THE BOX SHALL BE ELECTRONICALLY SUPERVISED AND INTEGRATED INTO THE FIRE ALARM SYSTEM TO NOTIFY A RESPONSIBLE PARTY THAT THE BOX IS BEING ACCESSSED.



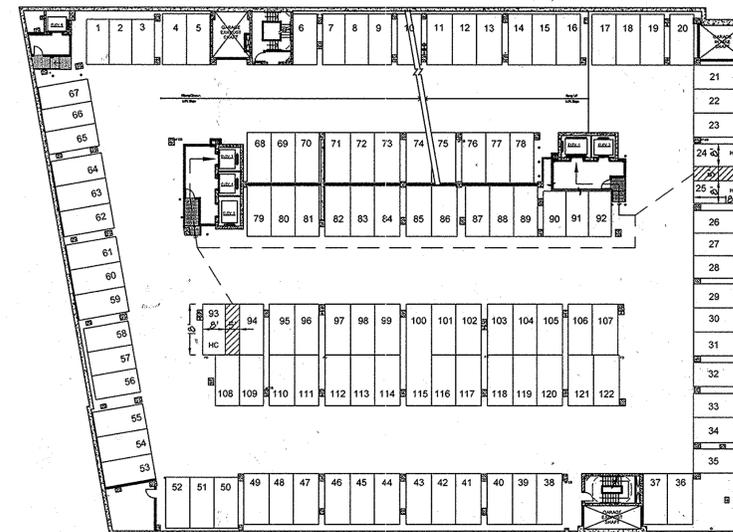
PREPARED FOR AND OWNER PARCEL C-3:
 LPP INVESTORS LLC
 10211 WINCOPIN CIRCLE
 SUITE 100
 COLUMBIA, MD 21044
 Attn: DAVID COSTELLO
 410-740-9500

REVISED SITE PLAN
PROPOSED APARTMENT, OFFICE, RETAIL, & FITNESS BUILDING
COLUMBIA TOWN CENTER
 SECTION 7 AREA 6
 PARCELS C-2, C-3, B, D-1 AND OPEN SPACE LOT 1
 HOWARD COUNTY, MARYLAND

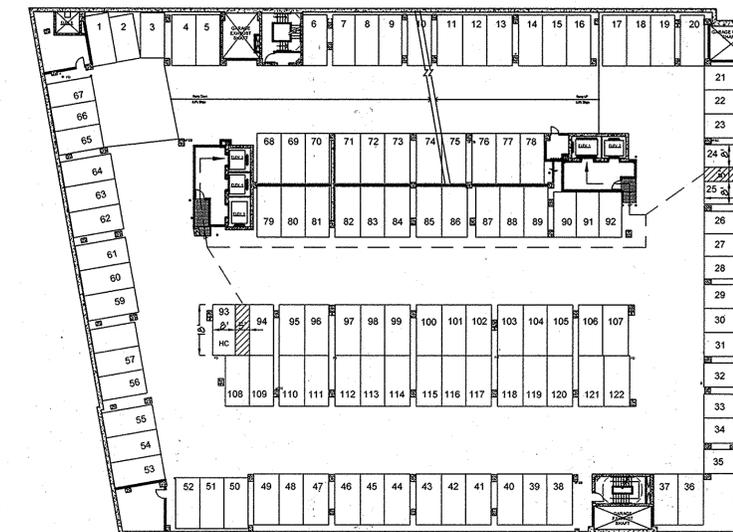
SCALE	ZONING	G. L. W. FILE NO.
1"=20'	NT	04052
DATE	TAX MAP	SHEET
FEB, 2016	30 - GRD	2 OF 19



▲ PARKING LEVEL 1 - 117 SPACES + 3 HANDICAP SPACES = 120 SPACES
SCALE: 1" = 30'



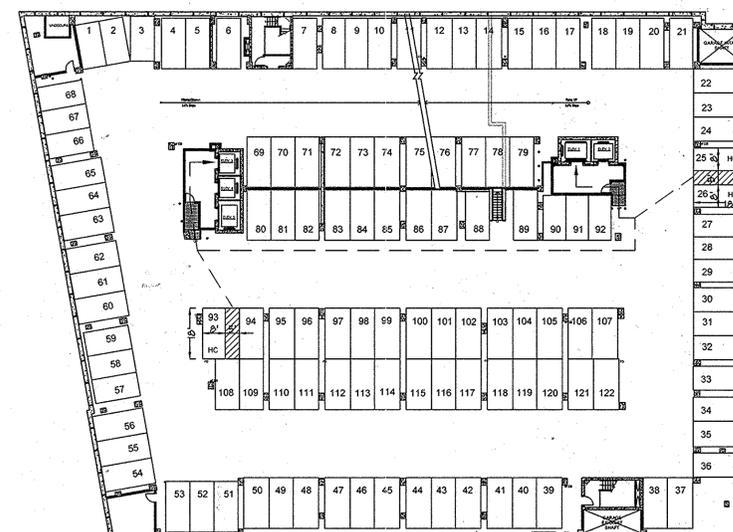
▲ PARKING LEVEL 2 - 119 SPACES + 3 HANDICAP SPACES = 122 SPACES
SCALE: 1" = 30'



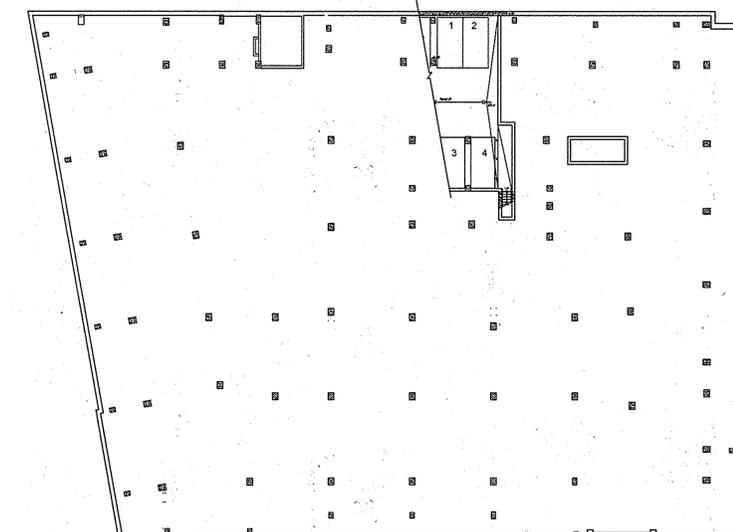
▲ PARKING LEVEL 3 - 119 SPACES + 3 HANDICAP SPACES = 122 SPACES
SCALE: 1" = 30'



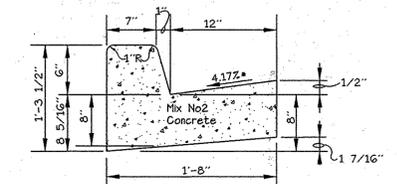
▲ PARKING LEVEL 4 - 119 SPACES + 3 HANDICAP SPACES = 122 SPACES
SCALE: 1" = 30'



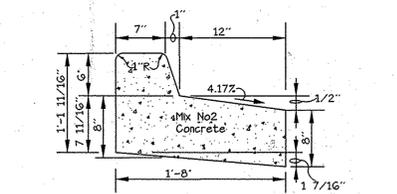
▲ PARKING LEVEL 5 - 119 SPACES + 3 HANDICAP SPACES = 122 SPACES
SCALE: 1" = 30'



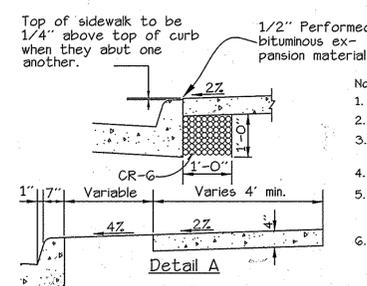
▲ PARKING LEVEL 6 - 4 SPACES
SCALE: 1" = 30'



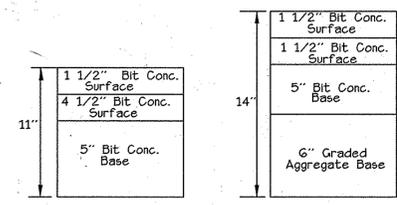
Standard 6" Combination Curb + Gutter
N.T.S.



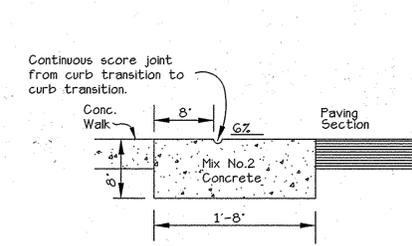
Reverse 6" Combination Curb + Gutter
N.T.S.



- Notes:
- Sidewalk to be scribed in 5' maximum squares.
 - Expansion joints across the sidewalk not to be more than 15' apart.
 - 1/2" preformed bituminous expansion material in expansion joints to be kept 1/4" below surface of sidewalk.
 - Concrete to be mix No.2
 - When sidewalk abuts curb, walk shall be 1/4" above curb with performed bituminous expansion material between sidewalk and curb and resting on a compacted crushed stone base. See detail A this sheet.
 - On longitudinal sidewalk grades of 5% or greater, a concrete header, 6" thick and 6" deep below the normal 4" sidewalk thickness shall be constructed for the full width of the sidewalk at intervals of 48'. The headers shall be placed at expansion joints and shall be monolithic with the sidewalk.



Full Depth Bituminous Option
P-5 HEAVY DUTY PAVEMENT DETAIL
N.T.S.



Flush Curb
N.T.S.

NOTE: SEE SHEET 5 FOR REMAINING PARKING LEVELS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING + ZONING
Valerio J. J. J. 3-4-14
 Director Date
W. J. J. 3-4-16
 Chief, Division of Land Development Date
W. J. J. 2-22-16
 Chief, Development Engineering Division Date

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 DATE 1/2/2014

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK
 BURTNSVILLE, MARYLAND 20866
 TEL: 301-421-4024 FAX: 301-421-4186

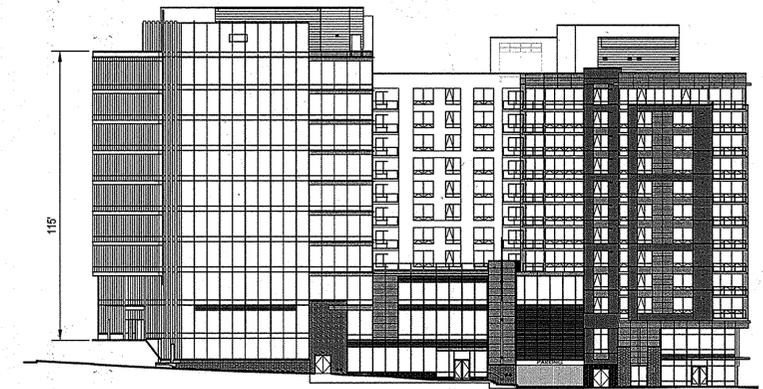
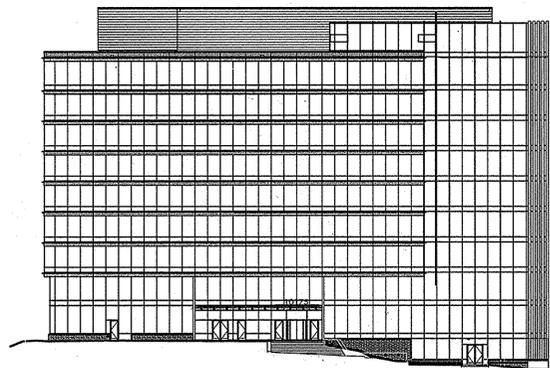
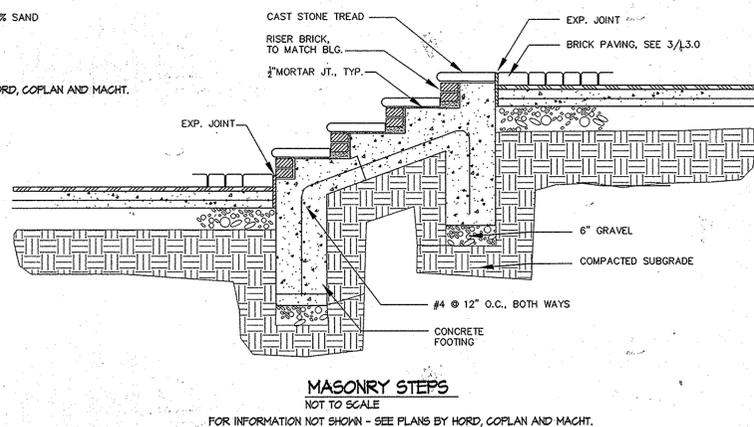
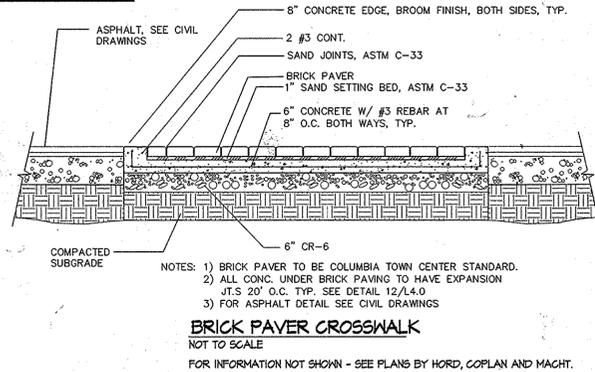
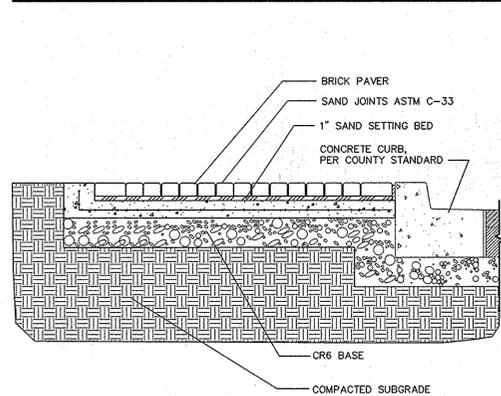
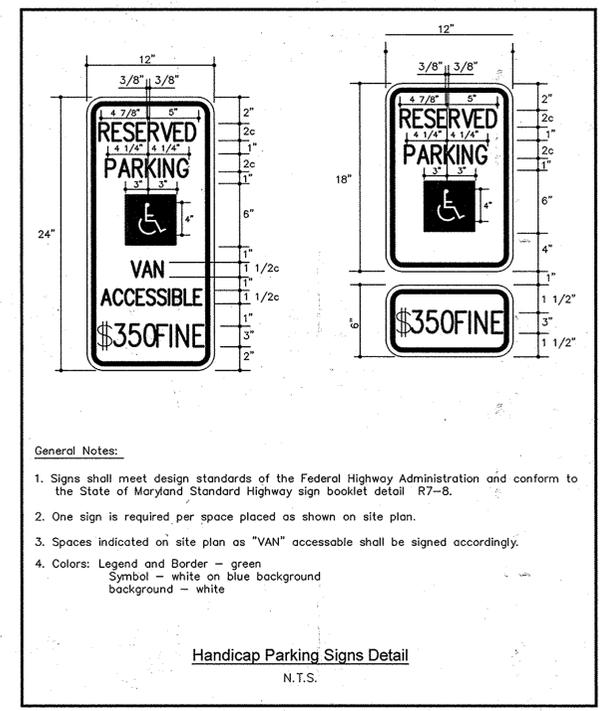
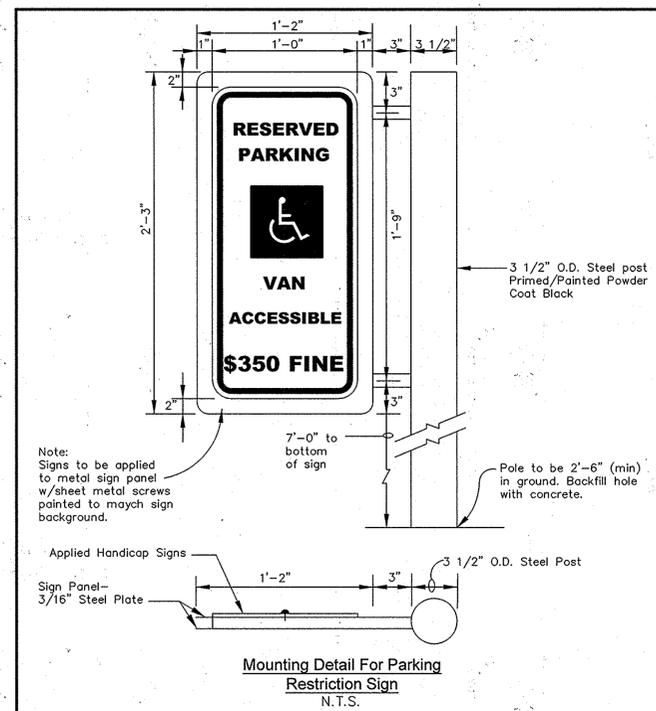
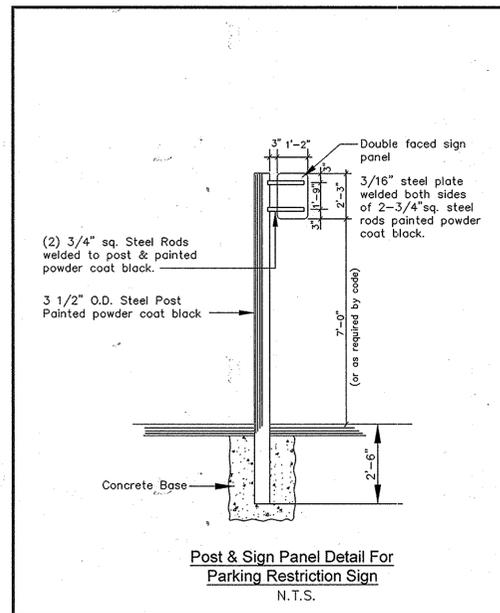
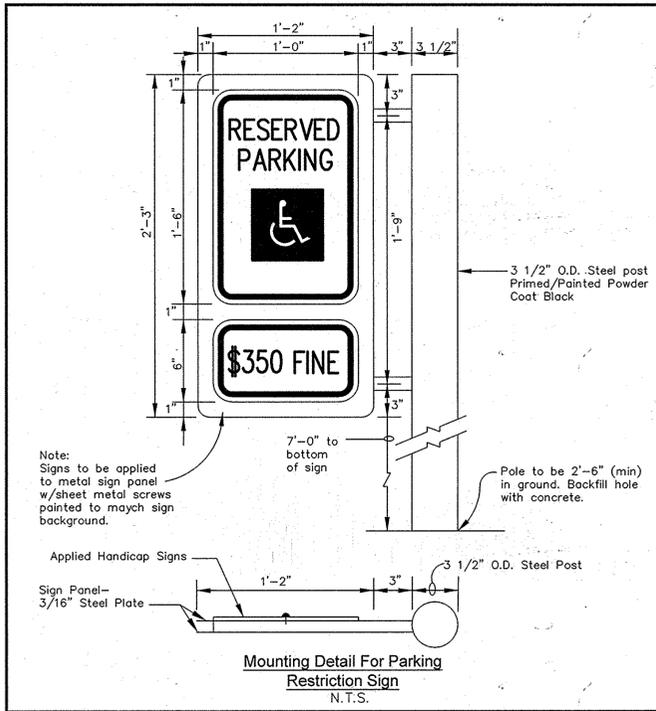
DATE	REVISION	BY	APPR.
02/2016	GARAGE LAYOUT REVISED		
09/2014	GARAGE LAYOUT REVISED		
06/2014	GARAGE LAYOUT REVISED		

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 10975, EXPIRATION DATE: MAY 28, 2016.

PREPARED FOR AND OWNER PARCEL C-3:
 LPP INVESTORS, LLC
 10211 WINGPIN CIRCLE
 SUITE 100
 COLUMBIA, MD 21044
 Attn: DAVID COSTELLO
 410-740-9500

REVISED PARKING GARAGE DETAILS AND SITE DETAILS
 PROPOSED APARTMENT, OFFICE, RETAIL, & FITNESS BUILDING
 COLUMBIA TOWN CENTER
 SECTION 7 AREA 6
 PARCELS C-2, C-3, B, D-1 AND OPEN SPACE LOT 1
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	04052
DATE	TAX MAP - GRID	SHEET
FEB, 2016	30 - 20	3 OF 19



NOTE: SEE SHEET 5 FOR NORTH AND EAST BUILDING ELEVATIONS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

APPROVED
PLANNING BOARD OF HOWARD COUNTY

DATE: 1/2/2014

Director: *Valdis Joffe* 3-4-16
 Chief, Division of Land Development: *Vetzel* 3-4-16
 Chief, Development Engineering Division: *Ch. E. ...* 2-29-16



PREPARED FOR AND OWNER PARCEL C-3: LPP INVESTORS LLC 10211 WINCOPIN CIRCLE SUITE 100 COLUMBIA, MD 21044 Attn: DAVID COSTELLO 410-740-9500

REVISED SITE AND HANDICAP ACCESS DETAILS
PROPOSED APARTMENT, OFFICE, RETAIL, & FITNESS BUILDING
COLUMBIA TOWN CENTER
SECTION 7 AREA 6
PARCELS C-2, C-3, B, D-1 AND OPEN SPACE LOT 1
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	04052
DATE	TAX MAP - GRID	SHEET
FEB, 2016	30 - 20	4 OF 19

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GWP 05-00



Gutschick, Little & Weber, P.A.
 ATTN: Mike Trappen
 3909 National Drive, Suite 250
 Burtonsville, MD 20866

April 5, 2005

Subject Bus Shelter Information

Dealer: Brasco International INC Web Address: www.brasco.com
 1000 Mt. Elliot E-mail Address: brasco1@aol.com
 Detroit, MI 48207
 Toll Free 1-800-893-3665 Phone: (313) 393-0393 FAX: (313) 393-0499

Shelter Type: Executive 6"X12" Dark Bronze Aluminum Structure. With 1/4" Bronze tint polycarbonate Glazing, 1/4" white Dome roof with Fascia & Integral gutter, Full length Aluminum Bench w/backrest
 Cost Approximately \$5,000.00 each

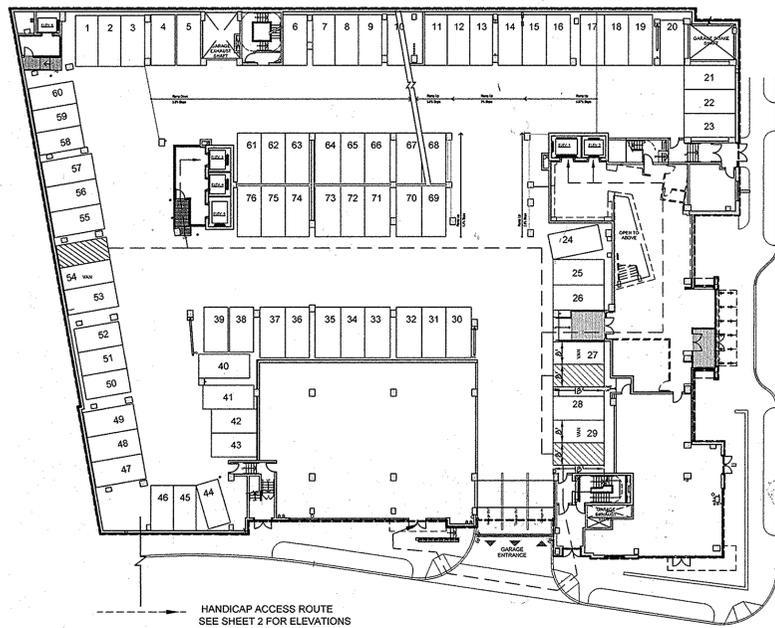
Shelter
 Installer: B-Buzz Construction (Installation cost depends on what work needs to be performed on average \$4,500.00 to \$9,000.00 Best guess estimate.)
 General Contractor
 549 45th Street
 Baltimore, Md 21224
 Phone: (410) 284-7620 FAX (410) 284-7621

Base: Concrete Pad 8' X 14' X 6" tick with reinforcement wire. On a gravel base to allow for drainage.

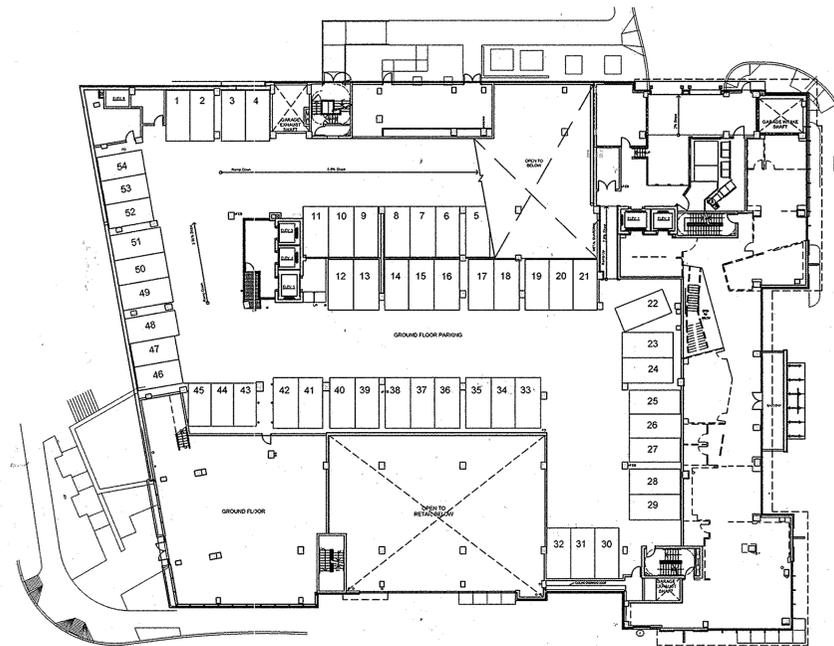
Electrical: 1 fluorescent light 4ft long 120V, 1 load center Tamper proof, 1 Light sensor, 1/2" conduit tubing 3/4" inch PVC tubing for power feed. Conduit will be secured to slat header and support columns. Installation of electrical components shall be in accordance with Local, state and federal codes.

Electronic Sign: Nextbus Arrival will be Provided Installed and maintained by CTC Personnel.

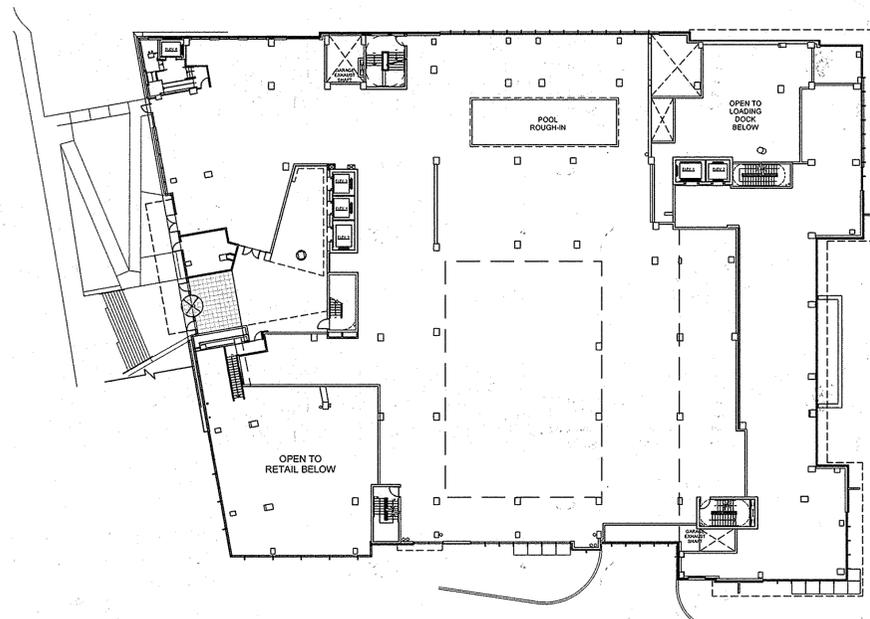
Fred A Baumgardner
 Service Quality Manager
 Corridor Transportation Corp.



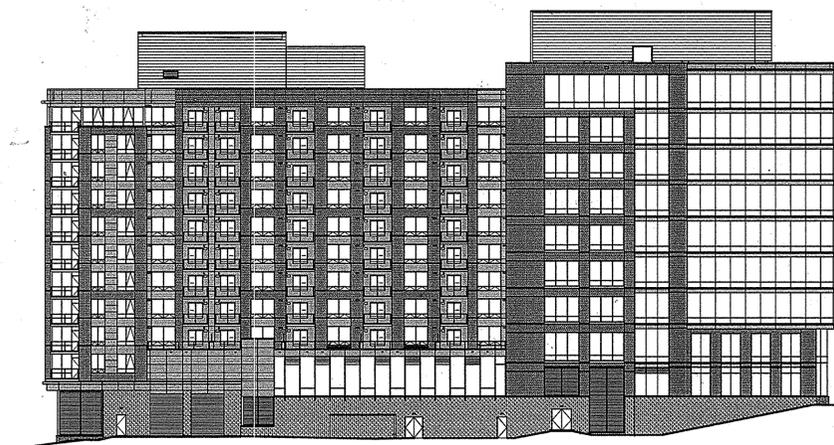
△ LOWER GROUND FLOOR - 73 SPACES + 3 VAN SPACES = 76 SPACES
 SCALE: 1" = 30'



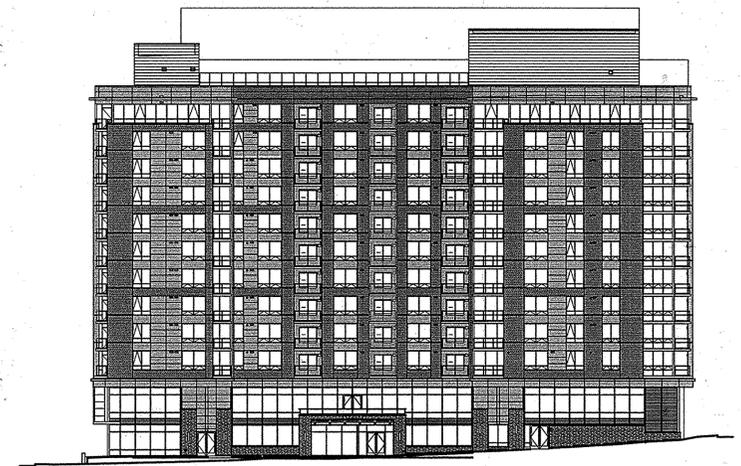
△ GROUND FLOOR - 54 SPACES
 SCALE: 1" = 30'



△ UPPER GROUND FLOOR
 SCALE: 1" = 30'



SCHEMATIC NORTH BUILDING ELEVATION △
 NOT TO SCALE



SCHEMATIC EAST BUILDING ELEVATION △
 NOT TO SCALE

NOTE: SEE SHEET 3 FOR REMAINING PARKING LEVELS AND SHEET 4 FOR SOUTH AND WEST ELEVATIONS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Valerie Joplin* 3-4-14 Date
 Chief, Division of Land Development: *Ken B. ...* 3-4-16 Date
 Chief, Development Engineering Division: *Chris ...* 2-29-16 Date

APPROVED
 PLANNING BOARD OF HOWARD COUNTY

DATE 1/2/2014

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866

TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-889-2524 FAX: 301-421-4186



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 102976, EXPIRATION DATE: MAY 28, 2016.

PREPARED FOR AND OWNER PARCEL C-3:
 LPP INVESTORS, LLC
 10211 WINGOPIN CIRCLE
 SUITE 100
 COLUMBIA, MD 21044
 Attn: DAVID COSTELLO
 410-740-9500

REVISED SITE DETAILS

PROPOSED APARTMENT, OFFICE, RETAIL, & FITNESS BUILDING
 COLUMBIA TOWN CENTER
 SECTION 7 AREA 6
 PARCELS C-2, C-3, B, D-1 AND OPEN SPACE LOT 1

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	04052
DATE	TAX MAP - GRID	SHEET
FEB., 2016	30 - 20	5 OF 19

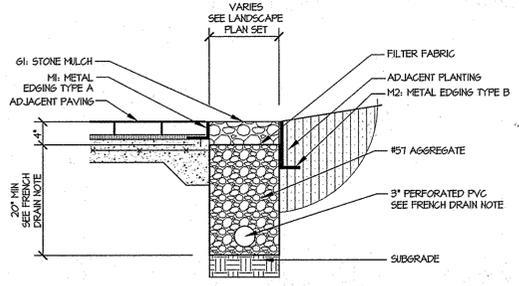
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N 504.000
E 840.150

LITTLE PATUXENT PARKWAY

PROPOSED 9 STORY OFFICE BUILDING & 11 STORY APARTMENTS
(GARAGE, OFFICE, RETAIL, FITNESS and APARTMENTS)



FRENCH DRAIN NOTES:
USE 3" PERFORATED PVC WHEN PIPE IS WITHIN STONE AND 3" SOLID PVC WHEN PIPE IS OUTSIDE OF STONE. SLOPE PIPE WITH GRADE WITH A MINIMUM OF 1/8" OF COVER TO FINISHED GRADE. TIE INTO 6" PVC AS NECESSARY.

FRENCH DRAIN DETAIL
SCALE: NTS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Howard J. Japic 3-4-16
Director Date

Kate DeLoach 3-4-16
Chief, Division of Land Development Date

Chad Coleman 2-29-16
Chief, Development Engineering Division Date

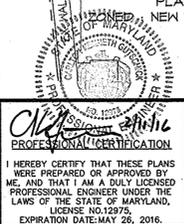
APPROVED
PLANNING BOARD OF HOWARD COUNTY

DATE 1/2/2014

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20886
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION
02/2016	TOWER FOOTPRINT REVISED & LANDSCAPING UPDATED
09/2014	TOWER FOOTPRINT REVISED & LANDSCAPING UPDATED
06/2014	TOWER FOOTPRINT REVISED & LANDSCAPING UPDATED

BY _____ APPR. _____



PREPARED FOR AND OWNER PARCEL C-3:
LPP INVESTORS LLC
10211 WINCOPIN CIRCLE
SUITE 100
COLUMBIA, MD 21044
Attn: DAVID COSTELLO
410-740-9500

REVISED LANDSCAPE PLAN
PROPOSED APARTMENT, OFFICE, RETAIL, & FITNESS BUILDING
COLUMBIA TOWN CENTER
SECTION 7 AREA 6
PARCELS C-2, C-3, B, D-1 AND OPEN SPACE LOT 1
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1"=20'	NT	04052
DATE	TAX MAP - GRID	SHEET
FEB, 2016	30 - 20	6 OF 19

SDP 05-40

A. Plant Materials

The landscape contractor shall furnish and install and/or dig, ball, burlap and transplant all of the plant materials called for on drawings and/or listed in the Plant Schedule.

1. Plant Names

Plant names used in the Plant Schedule shall conform with "Standardized Plant Names," latest edition.

2. Plant Standards

All plant material shall be equal to or better than the requirements of the "USA Standard for Nursery Stock" latest edition, as published by the American Association of Nurserymen (hereafter referred to as AAN Standards). All plants shall be typical of their species and variety, shall have a normal habit of growth and shall be first quality, sound, vigorous, well-branched and with healthy, well-furnished root systems. They shall be free of disease, insect pests and mechanical injuries.

All plants shall be nursery grown and shall have been grown under the same climate conditions as the location of this project for at least two years before planting. Neither heeled-in plants nor plants from cold storage will be accepted.

3. Plant Measurements

All plants shall conform to the measurements specified in the Plant Schedule as approved by the ARC.

a. Caliper measurements shall be taken six inches (6") above grade for trees under four-inch (4") caliper and twelve (12") above grade for trees four inches (4") in caliper and over.

b. Minimum branching height for all shade trees shall be six feet (6'), maximum eight feet (8').

c. Caliper, height, spread and size of ball shall be generally as follows:

CALIPER	HEIGHT	SPREAD	SIZE OF BALL
3" - 3.5"	14'-16'	6'-8'	32" diameter
3.5" - 4"	14'-16'	8'-10'	36" diameter
4" - 4.5"	16'-18'	8'-10'	40" diameter
4.5" - 5"	16'-17'	10'-12'	44" diameter
5" - 5.5"	16'-20'	10'-12'	48" diameter
5.5" - 6"	18'-20'	12'-14'	52" diameter

All plant material shall generally average the median for the size ranges indicated above as indicated in the "AAN Standards".

4. Plant Identification

Legible labels shall be attached to all shade trees, minor trees, specimen shrubs and bundles or boxes of other plant material giving the botanical and common names, size and quantity of each. Each shipment of plants shall bear certificates of inspection as required by Federal, State and County authorities.

5. Plant Inspection

The ARC may, upon request by the builder or developer, at least ten (10) days prior to the installation of any proposed plant material, inspect all proposed plant material at the source of origin.

B. Planting Methods

All proposed plant materials that meet the specifications in Section A are to be planted in accordance with the following methods during the proper planting seasons as described in the following:

1. Planting Seasons

The planting of deciduous trees, shrubs and vines shall be from March 1st to June 15th and from September 15th to December 15th. Planting of deciduous material may be continued during the winter months providing there is no frost in the ground and frost-free topsoil planting mixtures are used.

The planting of evergreen material shall be from March 15th to June 15th and from August 15th to December 1st. No planting shall be done when ground is frozen or excessively moist. No frozen or wet topsoil shall be used at any time.

2. Digging

All plant material shall be dug, balled and burlapped (B&B) in accordance with the "AAN Standards".

3. Excavation of Plant Pits

The landscaping contractor shall excavate all plant pits, vine pits, hedge trenches and shrub beds in accordance with the following schedule:

a. Locations of all proposed plant material shall be staked and approved in the field by the landscape architect before any of the proposed plant material is installed by the landscape contractor.

b. All pits shall be generally circular in outline, vertical sides; depth shall not be less than 6" deeper than the root ball, diameter shall not be less than two times the diameter of the root ball as set forth in the following schedule.

c. If areas are designated as shrub beds or hedge trenches, they shall be excavated to at least 18" depth minimum. Areas designated for ground covers and vines shall be excavated to at least 12" in depth minimum.

d. Diameter and depth of tree pits shall generally be as follows:

PLANT SIZE	ROOT BALL	PIT	
		DIAMETER	DEPTH
3" - 3.5" cal.	32"	64"	28"
3.5" - 4" cal.	36"	72"	32"
4" - 4.5" cal.	40"	80"	36"
4.5" - 5" cal.	44"	88"	40"
5" - 5.5" cal.	48"	96"	44"
5.5" - 6" cal.	52"	104"	48"

A 20% compaction figure of the soil to be removed is assumed and will be allowed in calculation of extra topsoil. The tabulated pit sizes are for purposes of uniform calculation and shall not override the specified depths below the bottoms of the root balls.

4. Staking, Guying and Wrapping

All plant material shall be staked or guyed and wrapped in accordance with the following specifications:

a. Stakes: Shall be sound wood 2" x 2" rough sawn oak or similar durable woods, or lengths, minimum 7'-0" for major trees and 5'-0" minimum for minor trees.

b. Wire and Cable: Wire shall be #10 gal. galvanized or bethonized annealed steel wire. For trees over 3" caliper, provide 5/16" turn buckles, eyes and eye with 4" take-up. For trees over 5" caliper, provide 3/16" 7 strand cable cadmium plated steel, with galvanized "eye" thimbles of wire and hose on trees up to 3" in caliper.

c. Hose: Shall be new, 2 ply reinforced rubber hose, minimum 1/2" I.D. "Plastic Lock Ties" or "Paul's Trees Braces" may be used in place of wire and hose on trees up to 3" in caliper.

d. All trees under 3" in caliper are to be planted and staked in accordance with the attached "Typical Tree Staking Detail".

5. Plant Pruning, Edging and Mulching

a. Each tree, shrub or vine shall be pruned in an appropriate manner to its particular requirements, in accordance with accepted standard practices. Broken or bruised branches shall be removed with clean cuts flush with the adjacent trunk or branches. All cuts over 1" in diameter shall be painted with an approved antiseptic tree wound dressing.

b. All trenches and shrub beds shall be edged and cultivated to the lines shown on the drawing. The areas around isolated plants shall be edged and cultivated to the full diameter of the pit. Sod which has been removed and stacked shall be used to trim the edges of all excavated areas to the neat lines of the plant pit saucers, the edges of shrub areas, hedge trenches and vine pockets.

c. After cultivation, all plant materials shall be mulched with a 2" layer of fine, shredded pine bark, peat moss, or another approved material over the entire area of the bed or saucer.

6. Plant Inspection and Acceptance

The ARC shall be responsible for inspecting all planting projects on a periodic basis to assure that all work is proceeding in accordance with the approved plans and specifications.

7. Plant Guarantee

All plant material shall be guaranteed for the duration of one full growing season, after final inspection and acceptance of the work in the planting project. Plants shall be alive and in satisfactory growing condition at the end of the guarantee period.

a. For this purpose, the "growing season" shall be that period between the end of the "Spring" planting season, and the commencement of the "Fall" planting season.

b. Guarantee for planting performed after the specified end of the "Spring" planting season, shall be extended through the end of the next following "Spring" planting season.

LANDSCAPING NOTES

- This plan has been prepared in accordance with the New Town Alternative Compliance provisions of Section 16.124 of the Howard County Code and the Howard County Landscape Manual.
- Contractor shall notify all utilities at least (5) five days before starting work. All General Notes, especially those regarding utilities, on Sheet I shall apply.
- Field verify underground utility locations and existing conditions before starting planting work. Contact engineer / landscape architect if any relocations are required.
- Plant quantities shown on Plant List are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on the plan and those shown on the plant list, the quantities on the plan shall take precedence.
- All plant material shall be full, heavy, well formed, and symmetrical, and conform to the AAN Specifications, and be installed in accordance with project specifications.
- No substitution shall be made without written consent of the owner or his representative, HRD and the Department of Planning and Zoning.
- All areas disturbed by construction activities but not otherwise planted, paved, or mulched shall be seeded or sodded in accordance with the project specifications.
- The contractor shall notify the owner in writing if he/she encounters soil drainage conditions which may be detrimental to the growth of the plants.
- All exposed earth within limits of planting beds shall be mulched with shredded hardwood mulch per Planting Details.
- Financial surety for the required landscaping per schedule A has been posted as a part of the Developer's Agreement in the amount of \$5,250.00.

ii. Tabulation for landscape shown:
Required planting by HRD for 101 acres of residential = 30 trees

Planting provided:
Shade Trees 21
Ornamental Trees 8 = 4 E.S.T. @ SHADE AT 2:1
Evergreen Trees 6 = 3 E.S.T. @ SHADE AT 2:1
Shrubs provided: 250 = 25 E.S.T. @ SHADE AT 10:1
Total E.S.T. = 53.0
*E.S.T., or Equivalent Shade Tree

12. The owner, tenant, and/or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.

Sodding

All sodding shall be in accordance to the "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas" latest edition, approved by the Landscape Contractors Association of Metropolitan Washington and the American Society of Landscape Architects.

All sod shall be strongly rooted sod, not less than two years old and free of weeds and undesirable native grasses. Provide only sod capable of growth development when planted and in strips not more than 18" wide x 4' long. Provide sod composed principally of improved strain Kentucky bluegrass, such as, Columbia, Victa, or Escort.

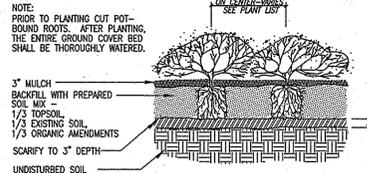
PLANT SCHEDULE

KEY QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT./B&B	SPACING	COMMENTS
CANOPY TREES						
GB 6	Ginkgo biloba 'AUTUMN GOLD'	'AUTUMN GOLD' MAIDENHAIR TREE	3" Cal.	B&B	AS INDICATED	MATCHED, MALE ONLY
QP 5	Quercus phellos	WILLOW OAK	3" Cal.	B&B	AS INDICATED	MATCHED
UP 5	Ulmus parvifolia	LACEBARK EM	3" Cal.	B&B	AS INDICATED	MATCHED
ZS 5	Zelkova serrata 'VILLAGE GREEN'	VILLAGE GROVE ZELKOVA	3" Cal.	B&B	AS INDICATED	MATCHED
EVERGREEN TREES						
CJ 6	Cryptomeria japonica	JAPANESE CRYPTOMERIA	12" HT.	B&B	AS INDICATED	FULL TO GROUND, MATCHED
ORNAMENTAL TREES						
AP 1	Acer palmatum 'SANJO-KAKU'	'SANJO KAKU' JAPANESE MAPLE	8-10' HT.	B&B	AS INDICATED	SINGLE STEM
MV 1	Magnolia x soulangeana	SAUCER MAGNOLIA	8-10' HT.	B&B	AS INDICATED	
SHRUBS						
RM 40	Rhododendron 'MACRANTHA'	'MACRANTHA' AZALEA	24" HT.	CONTAINER	30" O.C.	
CS 12	Cotoneaster salicifolius 'REPPENS'	PARK CARPET COTONEASTER	18" SPR.	CONTAINER	24" O.C.	
HP 35	Hydrangea paniculata 'LITTLE LIME'	LITTLE LIME HYDRANGEA	24-30" HT.	CONTAINER	36" O.C.	
PL 44	Prunus laurocerasus 'OTTO LUYKEN'	OTTO LUYKEN CHERRY LAUREL	24-30" HT.	CONTAINER	42" O.C.	
TB 64	Toxas baccata 'REPENDENS'	REPENDENS YEW	24" HT.	CONTAINER	36" O.C.	

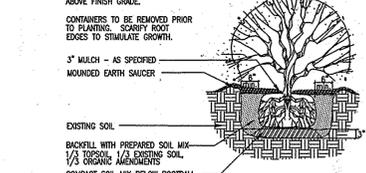
PLANT SCHEDULE

KEY QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT./B&B	SPACING	COMMENTS
GROUND COVERS / ORNAMENTAL GRASSES / PERENNIALS / VINES						
CAS 12	Calamagrostis acutiflora 'STRICTA'	STRICTA FEATHER REED GRASS	# 3	CONTAINER	36" O.C.	
HES 150	Hemerocallis 'STELLA D'ORO'	STELLA D'ORO DAYLILY	#5P4	CONTAINER	18" O.C.	
HRF 110	Hosta x 'FRANCEE'	FRANCEE HOSTA	#5P4	CONTAINER	18" O.C.	
LMB 540	Liriope muscari 'BIG BLUE'	BIG BLUE LILYTURF	#5P4	CONTAINER	12" O.C.	
LSP 285	Liriope spicata	GREEPING LILYTURF	#5P4	CONTAINER	12" O.C.	
PAH 16	Pennisetum alopecuroides 'HAHEL'	DWARF FOUNTAIN GRASS	# 3	CONTAINER	36" O.C.	
SEASONAL ANNUALS						
ANN 213 SF	SEASONAL ANNUALS					
TURF						
	TURF - TYPE TALL FESCUE					SOD

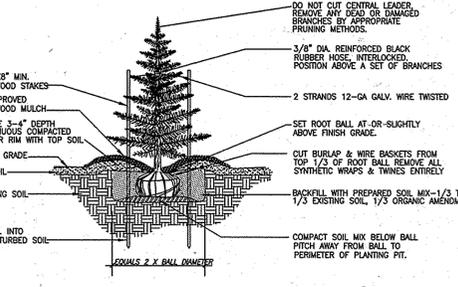
- SOME TREES MAY REQUIRE ADDITIONAL LEAD TIME. CONTACT VENDORS IMMEDIATELY TO SECURE MATERIAL.
- REFER TO LANDSCAPE SPECIFICATIONS FOR SUBMITTAL REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING: SOIL ANALYSES AND AMENDMENT RECOMMENDATIONS; SOURCE LIST AND PHOTOGRAPHS FOR INITIAL SELECTION; PHOTOGRAPHS FOR VERIFICATION.
- REFER TO LANDSCAPE SPECIFICATIONS FOR TREE TAGGING REQUIREMENTS.
- REFER TO LANDSCAPE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- QUANTITIES GIVEN ARE FOR INFORMATION ONLY. CONTRACTOR IS RESPONSIBLE FOR MEETING THE DESIGN INTENT, AS INDICATED ON PLANTING PLANS.
- ALL PLANTS ARE TO BE HEALTHY, FULL, BALANCED, AND EXCEPTIONALLY HEAVY.
- PROVIDE TURF PER SPECIFICATIONS IN ALL DISTURBED AREAS NOT OTHERWISE PLANTED OR PAVED.



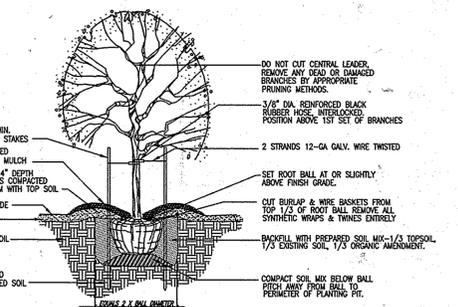
GROUND COVER PLANTING DETAIL NTS



SHRUB PLANTING DETAIL NTS



EVERGREEN TREE PLANTING DETAIL NTS



DECIDUOUS TREE PLANTING DETAIL FOR PLANTING MATERIAL UP TO 3 1/2" CALIPER NTS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: [Signature] 3-4-16
 Chief, Division of Land Development: [Signature] 3-4-16
 Chief, Development Engineering Division: [Signature] 2-29-16

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 DATE: 1/2/2014

GLW/GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BRIGHTVILLE OFFICE PARK
 BURTONTVILLE, MARYLAND 20866
 TEL: 301-421-4024 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
02/2016	PLANT LIST & SCHEDULE A REVISED		
09/2014	PLANT LIST & SCHEDULE A REVISED		
06/2014	PLANT LIST & SCHEDULE A REVISED		

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 10976, EXPIRATION DATE: MAY 26, 2016.

PREPARED FOR AND OWNER PARCEL C-3:
 LPP INVESTORS LLC
 10211 WINDOPEL LN
 SUITE 100
 COLUMBIA, MD 21044
 Attn: DAVID COSTELLO
 410-740-9500

REVISED LANDSCAPE NOTES, DETAILS AND PLANT LIST
 PROPOSED APARTMENT, OFFICE, RETAIL, & FITNESS BUILDING
 COLUMBIA TOWN CENTER
 SECTION 7 AREA 6
 PARCELS C-2, C-3, B, D-1 AND OPEN SPACE LOT 1
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	NT	04052
DATE	TAX MAP	SHEET
FEB., 2016	30 - 20	7 OF 19

ENGINEER'S CERTIFICATE

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Chas

2/11/16

Date

DEVELOPER'S/BUILDER'S CERTIFICATE

"We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD."

Don V. Goodman
Signature of Developer/Builder

2/10/16
Date

LEGEND

- BUILDING AT GROUND LEVEL
- LIMITS OF UNDERGROUND GARAGE
- DRAINAGE AREA (D.A.)
- LIMIT OF DISTURBANCE (L.O.D.)
- SUPER SILT FENCE
- INLET PROTECTION
- STABILIZED CONSTRUCTION ENTRANCE

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

John R. Robertson 2/23/16
Howard S.C.D. Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Nat M. Joffe 3-4-16
Director Date

Walter S. ... 3-4-16
Chief, Division of Land Development Date

Chad ... 2-29-16
Chief, Development Engineering Division Date

APPROVED
PLANNING BOARD OF HOWARD COUNTY

DATE 1/2/2014

GLWGUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BIRTINGVILLE OFFICE PARK
BIRTINGVILLE, MARYLAND 20886
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

02/2016	BUILDING FOOTPRINT AND LOD REVISED	Δ
09/2014	BUILDING FOOTPRINT AND LOD REVISED	Δ
06/2014	BUILDING FOOTPRINT REVISED, SCE OFF LITTLE PATUXENT PARKWAY REMOVED	Δ
DATE	REVISION	BY

DATE	REVISION	BY	APP'R.
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WINCOPIN RESTAURANT BUSINESS TRUST
SECTION 1
LOT 22
PLAT No. 15186
ZONED: NEW TOWN - COMMERCIAL

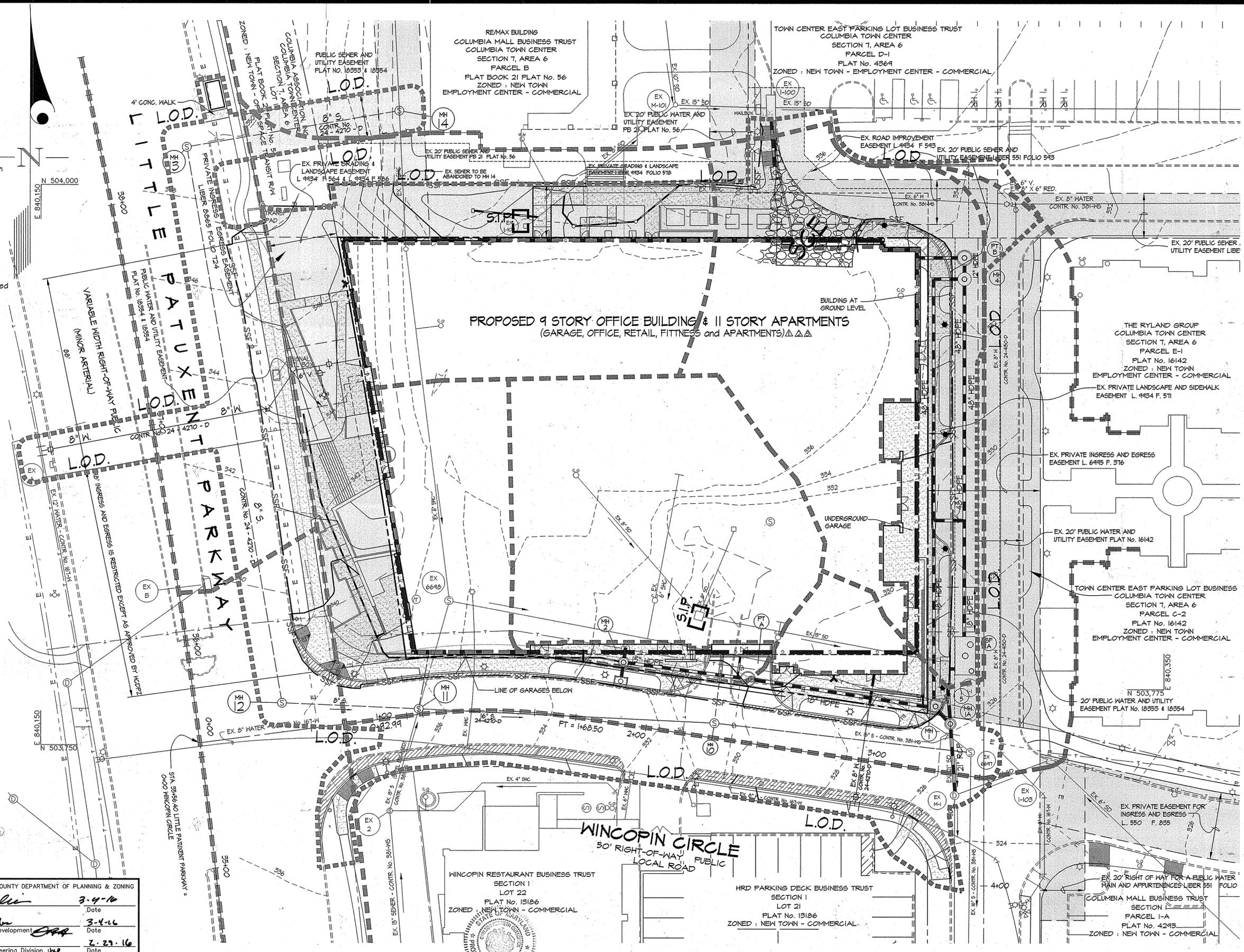


PREPARED FOR AND
OWNER PARCEL C-3:
LPP INVESTORS LLC
10211 WINCOPIN CIRCLE
SUITE 100
COLUMBIA, MD 21044
Attn: DAVID COSTELLO
410-740-9500

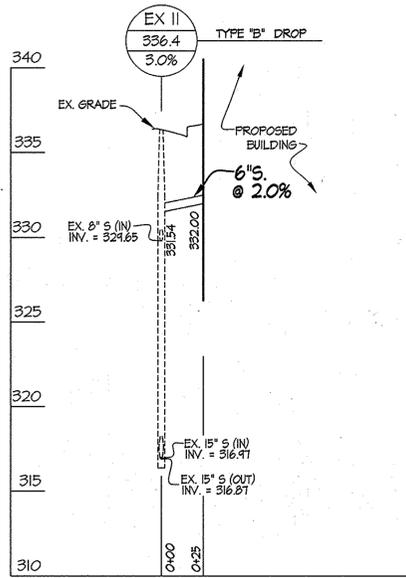
REVISED SEDIMENT CONTROL PLAN
PROPOSED APARTMENT, OFFICE, RETAIL, & FITNESS BUILDING
COLUMBIA TOWN CENTER
SECTION 7 AREA 6
PARCELS C-2; C-3, B, D-1 AND OPEN SPACE LOT 1
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=20'	NT	04052
DATE	TAX MAP - GRID	SHEET
FEB., 2016	30 - 20	8 OF 19

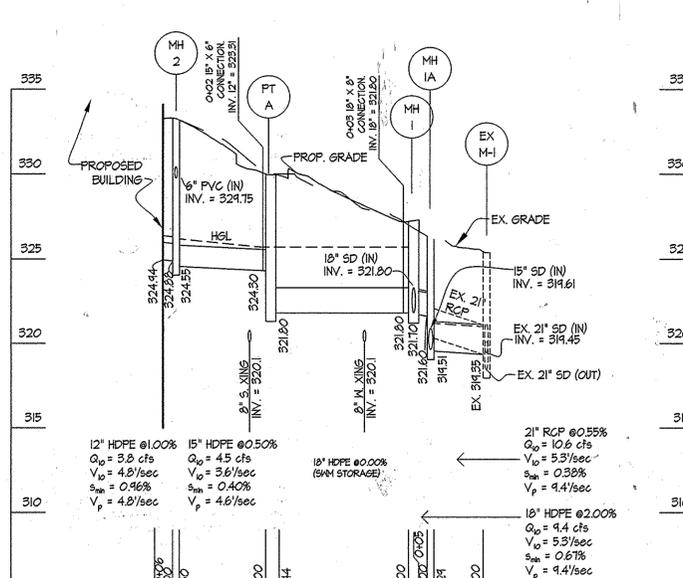
SDP 05-90



L:\CADD\DRAWINGS\04052\SDP's\04052SP08.dwg 5/15/2006 5:53:04 PM EST



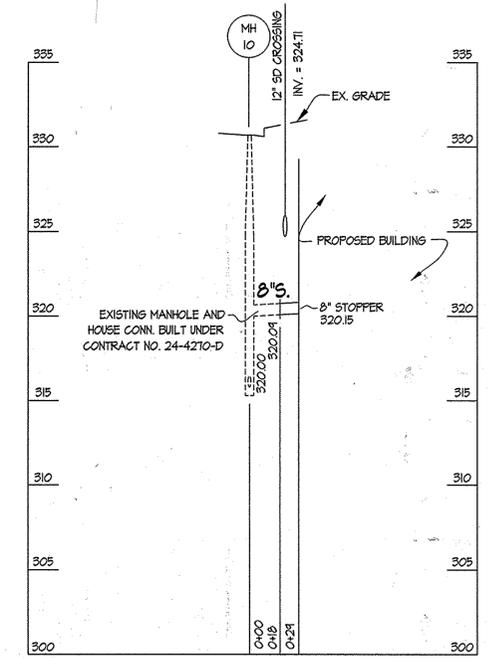
SANITARY SEWER PROFILE
SCALE: 1" = 50' HORIZONTAL
1" = 5' VERTICAL



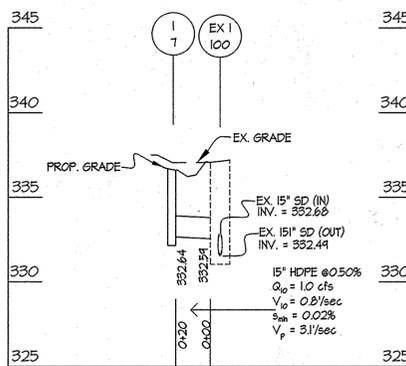
STORM DRAIN PROFILE
SCALE: 1" = 50' HORIZONTAL
1" = 5' VERTICAL

NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STD. DETAIL	LOCATIONS	REMARKS
			UPPER	LOWER	UPPER	LOWER			
I-5	A-10 INLET	2' - 6"	321.34	321.24	319.74	319.64	HO. CO. SD-4.03		
I-7	A-5 INLET	2' - 6"	336.64	336.58	332.64	---	HO. CO. SD-4.01		
I-4	A-5 INLET	2' - 6"	333.21	333.02	321.75	---	HO. CO. SD-4.01		
MH-1	STANDARD MANHOLE	6' - 0"	---	321.30	321.80	321.70	MD 384.05		
MH-1A	STANDARD MANHOLE	4' - 0"	---	326.64	321.60	319.54	HO. CO. G-512		
MH-2	STANDARD MANHOLE	4' - 0"	---	331.61	324.75	324.54	HO. CO. G-512		
MH-4	STANDARD MANHOLE	6' - 0"	---	333.30	324.82	321.80	MD 384.05		
SF-A	*STORMFILTER*	---	SEE SHEET II	---	321.80	319.80	N/A		
PT-A	PRE-TREATMENT	330.45	SEE SHEET II	324.30	321.80	---	N/A		
PT-B	PRE-TREATMENT	333.68	SEE SHEET II	330.15	324.1	---	N/A		

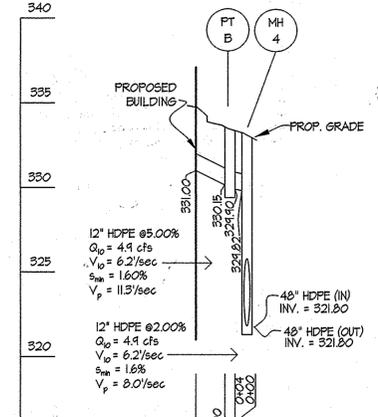
COORDINATE POINT GIVEN IS TO THE CENTERLINE OF STRUCTURE AT THE FACE OF CURB FOR INLETS AND TO THE CENTERLINE OF STRUCTURE FOR MANHOLES AND END SECTIONS.



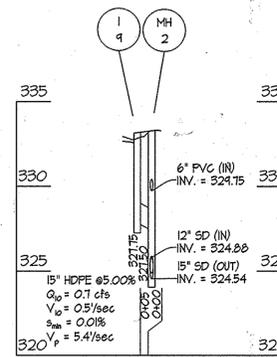
SANITARY SEWER PROFILE
SCALE: 1" = 50' HORIZONTAL
1" = 5' VERTICAL



STORM DRAIN PROFILE
SCALE: 1" = 50' HORIZONTAL
1" = 5' VERTICAL



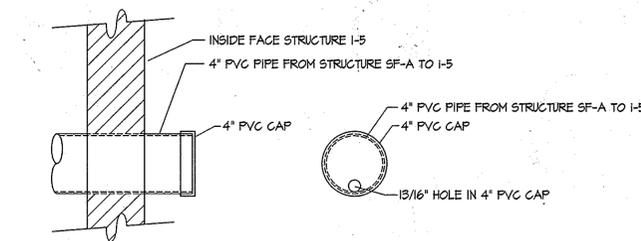
STORM DRAIN PROFILE
SCALE: 1" = 50' HORIZONTAL
1" = 5' VERTICAL



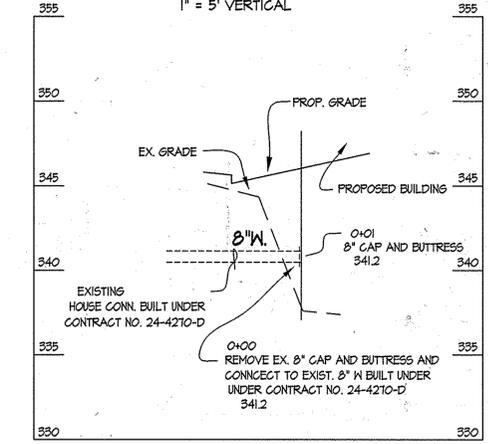
STORM DRAIN PROFILE
SCALE: 1" = 50' HORIZONTAL
1" = 5' VERTICAL

SIZE	TYPE	QUANTITY (L.F.)	REMARKS
4"	PVC	2'	
12"	HDPE	75'	
15"	HDPE	10'	
18"	HDPE	38'	
21"	RCP	34'	
48"	HDPE	381'	

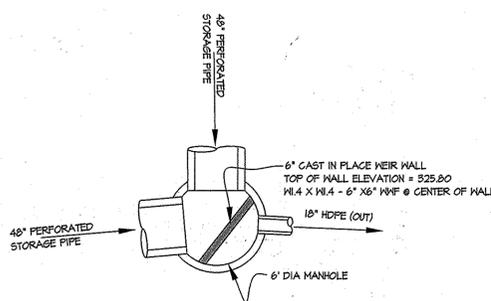
HDPE indicates High Density Polyethylene pipe, such as N-12 by ADS, or HI-Q by Hancor or an approved equal.
Trench bedding to be provided per Howard County Detail G 2.01.
Trench for P.V.C. pipe and H.D.P.E.



STORMWATER MANAGEMENT FACILITY SF-A RELEASE DETAIL
NOT TO SCALE

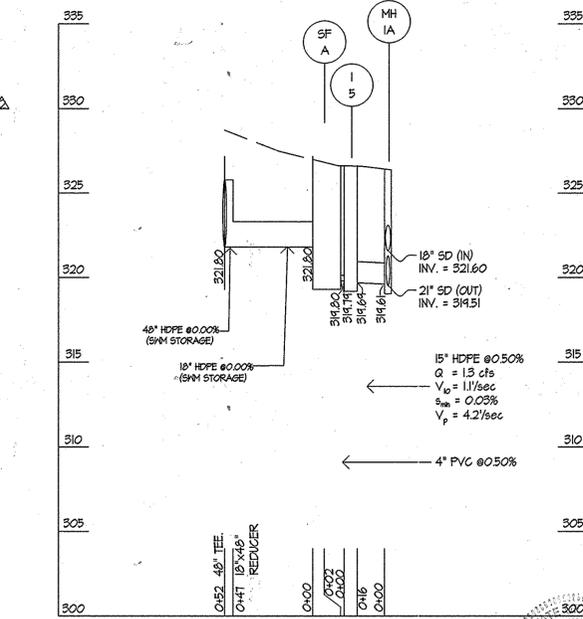


WATER PROFILE
SCALE: 1" = 50' HORIZONTAL
1" = 5' VERTICAL

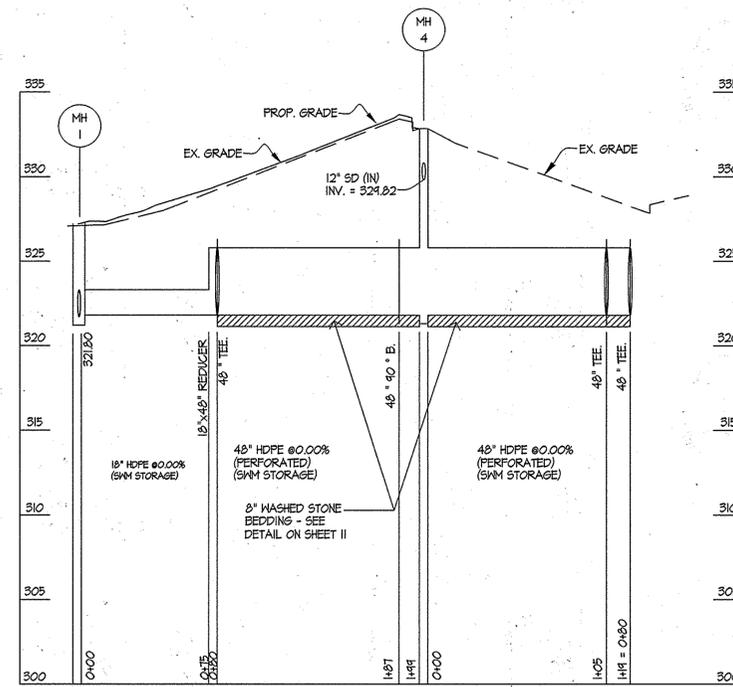


MH-1 SPLITTER DETAIL

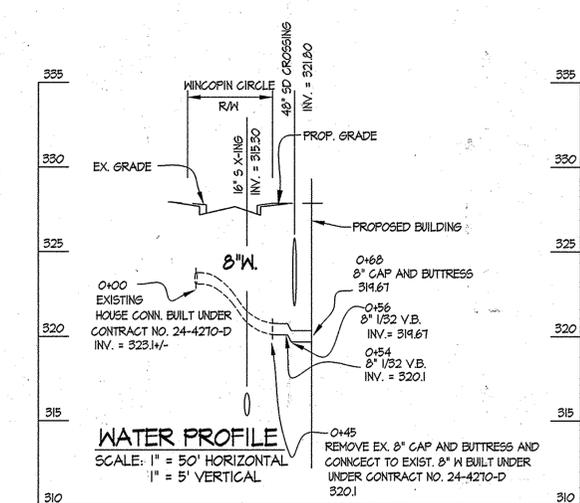
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Valerio Jaffi* 3-4-14
 Chief, Division of Land Development: *Keith Schuch* 3-4-16
 Chief, Development Engineering Division: *Paul Edick* 2-29-16



STORM DRAIN PROFILE
SCALE: 1" = 50' HORIZONTAL
1" = 5' VERTICAL



STORM WATER MANAGEMENT MANIFOLD
SCALE: 1" = 50' HORIZONTAL
1" = 5' VERTICAL



WATER PROFILE
SCALE: 1" = 50' HORIZONTAL
1" = 5' VERTICAL

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3309 NATIONAL DRIVE - SUITE 250 - BIRKINSVILLE OFFICE PARK
 BIRKINSVILLE, MARYLAND 21855
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
02/2016	STORM DRAIN PROFILES REVISED		
09/2014	STORM DRAIN, WATER & SEWER PROFILES REVISED		
06/2014	STORM DRAIN PROFILES REVISED		

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 102974, EXPIRATION DATE: MAY 26, 2016.

PREPARED FOR AND OWNER PARCEL C-3:
 LPP INVESTORS LLC
 10211 WINGOPIN CIRCLE
 SUITE 100
 COLUMBIA, MD 21044
 Attn: DAVID COSTELLO
 410-740-9500

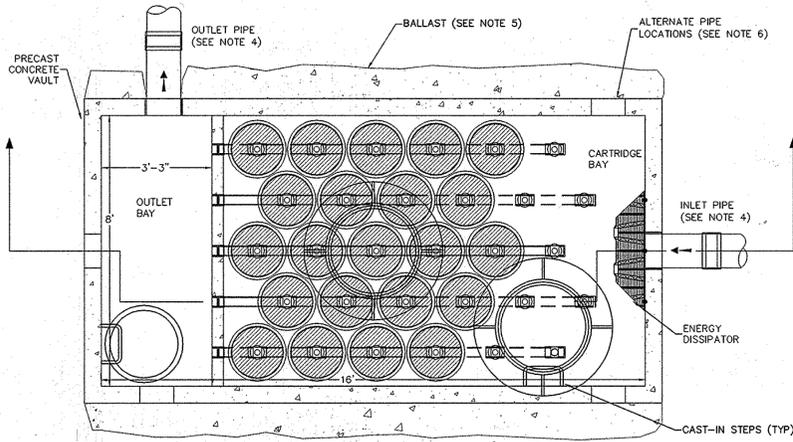
REVISED UTILITY PROFILES AND SCHEDULES
PROPOSED APARTMENT, OFFICE, RETAIL, & FITNESS BUILDING
COLUMBIA TOWN CENTER
 SECTION 7 AREA 6
 PARCELS C-2, C-3, B, D-1 AND OPEN SPACE LOT 1
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
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FEB., 2016	30 - 20	10 OF 19

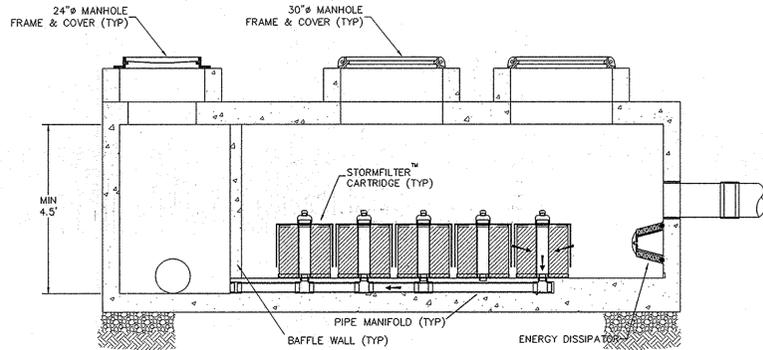
GENERAL NOTES

1. STORMFILTER BY STORMWATER MANAGEMENT, PORTLAND, OREGON (503-240-3393).
2. ALL STORMFILTERS REQUIRE REGULAR MAINTENANCE. REFER TO OPERATION AND MAINTENANCE GUIDELINES FOR DETAILS.
3. PRECAST CONCRETE VAULT TO BE CONSTRUCTED IN ACCORDANCE WITH ASTM C885.
4. INLET AND OUTLET PIPING TO BE SPECIFIED BY ENGINEER AND PROVIDED BY CONTRACTOR.
5. ANTI-FLOTATION BALLAST TO BE SPECIFIED BY ENGINEER. BALLAST TO BE SET ALONG ENTIRE LENGTH OF BOTH SIDES OF VAULT. BALLAST MATERIALS TO BE PROVIDED BY CONTRACTOR.
6. PRECAST STORMFILTER EQUIPPED WITH KNOCKOUTS AT ALT. INLET/OUTLET LOCATIONS. CORINGS AVAILABLE WHEN SPECIFIED.
7. DETAIL REFLECTS DESIGN INTENT ONLY. ACTUAL VAULT DIMENSIONS AND CONFIGURATION WILL BE SHOWN ON THE PRODUCTION SHOP DRAWING.

8'x16' PRECAST VOLUME STORMFILTER DATA		RIM ELEVATION(S):	
WATER QUALITY VOLUME (ft ³)	2,154	3 = 326.83	
NUMBER OF CARTRIDGES	10	2 = 326.92	
CARTRIDGE OPERATING FLOWRATE (GPM)	1.7		
PEAK OUTFLOW RATE (cfs)	1.7		
MEDIA TYPE			
PIPE DATA:	I.E. MATERIAL DIAMETER		
INLET PIPE #1	321.80 HDPE 15"		
INLET PIPE #2			
OUTLET PIPE	319.80 PVC 4"		
NOTES/SPECIAL REQUIREMENTS:		ANTI-FLOTATION BALLAST	WIDTH HEIGHT
		(USE N/A IF NOT REQUIRED)	



8'x16' PRECAST VOLUME STORMFILTER - PLAN VIEW
SCALE: N.T.S.



8'x16' PRECAST VOLUME STORMFILTER - SECTION VIEW
SCALE: N.T.S.

THE STORMWATER MANAGEMENT StormFilter[®]
U.S. PATENT No. 5,322,629,
No. 5,707,527, No. 6,027,630,
No. 5,624,576, AND OTHER U.S.
AND FOREIGN PATENTS PENDING

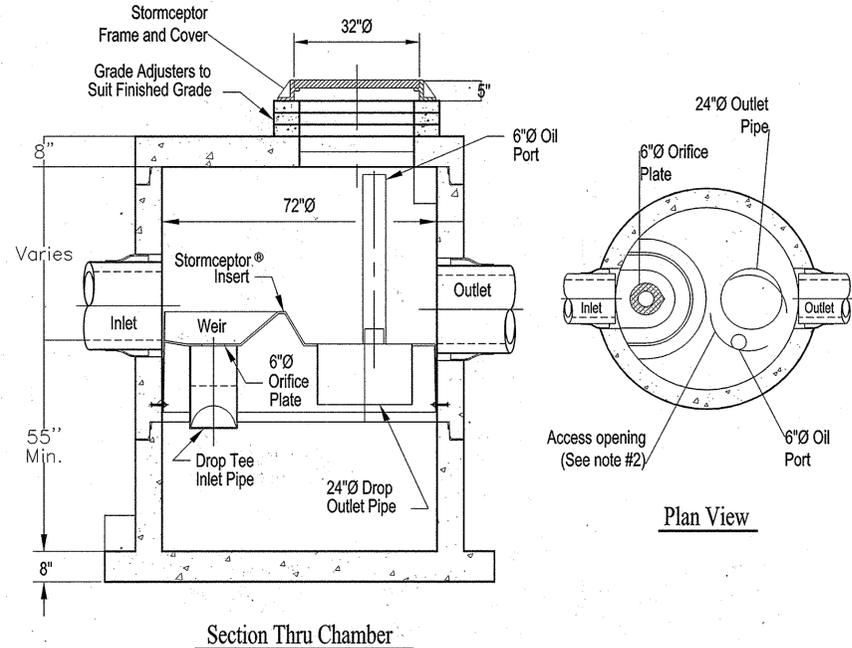
SHEET	DATE	BY	REVISION
1/1			
1			

**8' x 16' PRECAST VOLUME STORMFILTER
PLAN AND SECTION VIEW
STANDARD DRAWING**

DESIGNED BY: _____ DRAWN BY: _____
DATE: 00/00/00 PROJECT NO.: CTC - HR DRAWING FILE NAME: _____



Rinker Concrete Pipe Division
STC 900 Precast Concrete Stormceptor[®]
(900 U.S. Gallon Capacity)

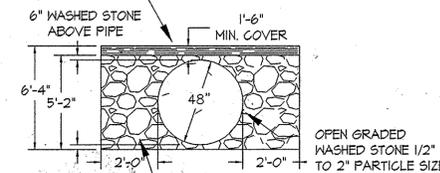


- Notes:
1. The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
 2. The Cover Should be Positioned Over The Outlet Drop Pipe and The Oil Port.
 3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.
 4. Contact a Concrete Pipe Division representative for further details not listed on this drawing.



PT-A & PT-B DETAIL
SCALE: N.T.S.

BACKFILL ENVELOPE SHALL CONSIST OF WELL GRADED GRANULAR FILL (AASHTO M-145 (TABLE 2), A-1, A-2-4, A-2-5, A-3) PROPERLY PLACED IN 6" LIFTS AND COMPACTED TO 90% ACCORDING TO AASHTO T-100, OR 95% ACCORDING TO AASHTO T-99.



8" WASHED STONE ABOVE PIPE
1'-6" MIN. COVER
6'-4" 5'-2" 2'-0" 2'-0"
OPEN GRADED WASHED STONE 1/2" TO 2" PARTICLE SIZE
FILTER FABRIC TO BE PLACED AROUND WASHED STONE AREA
48" UNDERGROUND STORMWATER MANAGEMENT MANIFOLD DETAILS (TYP)
BACKFILL CROSS SECTION (TYP)

- NOTE: WHERE LAYERS OF FILL THAT VARY IN GRADATION ARE ADJACENT TO EACH OTHER, A FILTER FABRIC BARRIER SHOULD BE USED TO PREVENT MIGRATION OF FINES. (i.e. WHERE A FINER GRAINED SELECT FILL IS PLACED ON TOP OF, OR BELOW, AN OPEN-GRADED STONE FILL.)
- NOTE: UNDERGROUND STORMWATER MANAGEMENT MANIFOLD SYSTEM CONSISTS OF THE 48" PIPES FROM PT-A TO MH-1 TO MH-4.
- NOTE: FOR PROFILE OF STORMWATER MANAGEMENT MANIFOLD SYSTEM, SEE SHEET 10

WIDTH OF STONE AROUND PERIMETER = 2.0 FT
THICKNESS OF STONE BELOW PIPE = 0.67 FT
THICKNESS OF STONE ABOVE PIPE = 0.5 FT
TOTAL RETENTION SYSTEM VOLUME = 19,068.9 CU. FT.

CONSTRUCTION SPECIFICATIONS FOR STORMFILTERS

1. Stormwater Management to submit Operation and Maintenance Manual to contractor upon request.
2. Perlite Media: Perlite media shall be made of natural siliceous volcanic rock free of any debris or foreign matter. The expanded perlite shall have a bulk density ranging from 6.5 to 8.5 lb/ft³ and particle sizes ranging from 0.06 to 0.50 inches.
3. Doors: Doors shall have hot-dipped galvanized frame and covers. Covers shall have diamond plate finish. Each door to be equipped with a recessed lift handle and a locking latch with 3/8" pentanehead hold-down bolts. Pentanehead wrench to be provided for each set of doors, upon request. Doors shall meet H-20 loading requirements for incidental traffic minimum.
4. Frames and Covers: Frames and covers shall be gray cast iron and shall meet AASHTO H-20 loading requirements.
5. CONTRACTOR PROVIDED COMPONENTS:
Specifications for all contractor-provided components are minimum requirements. If a higher standard is shown on the plans or described in another section of the technical specifications, then the higher standard shall govern.
A. Sub-Base: Sub-base shall be six-inch minimum of 3/4-inch minus rock, 95% compaction. Compact undisturbed sub-grade materials to 95% of maximum density at +/- 2% of optimum moisture content. Unsuitable material below sub-grade shall be replaced to engineer's approval.
B. Concrete: Concrete shall be 3000 psi minimum at 28-day strength, 3/4-inch round rock, 4-inch slump maximum, placed within 90 minutes of initial mixing.
C. Silicone Sealant: Shall be pure RTV silicone conforming to Federal Specification Number TT S001543A or TT S00230C or Engineer approved.
D. Grout: Shall be non-shrink grout meeting the requirements of Corps of Engineers CRD-C588. Specimens molded, cured and tested in accordance with ASTM C-109 shall have minimum compressive strength of 6,200 psi. Grout shall not exhibit visible bleeding.
E. Backfill: Backfill shall be 3/4-inch minus rock at 95% compaction.
6. PRECAST CONCRETE VAULT
A. Vault floor shall slope 1/4 inch maximum across the width and slope downstream 1 inch per 12 foot of length. Vault top finish grade shall be even with surrounding finish grade surface unless otherwise noted on plans.
B. Contractor to grout all inlet and outlet pipes flush with vault interior wall. Contractor to grout internal baffle walls.
C. Sanded PVC fittings shall be used on all PVC inlet and outlet pipes.
D. Contractor responsible for inspecting and/or completing installation of flow spreaders and energy dissipators.
7. ANTI-FLOTATION BALLAST: Ballast shall be to the dimensions specified by the engineer and noted on the data block. Ballast shall run the entire length of the long side of the vault, both sides. Ballast shall not encase the inlet and/or outlet piping. Provide 12" clearance from outside diameter of pipe.
8. CLEAN UP: Remove all excess materials, rocks, roots, or foreign material, leaving the site in a clean, complete condition approved by the engineer. All filter components shall be free of any foreign materials including concrete and excess sealant.
9. FILTER CARTRIDGES:
A. Filter cartridges shall not be installed until the project site is clean and stabilized. The project site includes any surface that contributes storm drainage to the StormFilter[™]. All impermeable surfaces shall be clean and free of dirt and debris. All catch basins, manholes and pipes shall be free of dirt and sediments.
B. Contractor to notify Stormwater Management (800-548-4667) two weeks before filter cartridges are required on site. Stormwater Management will deliver and offload filter cartridges complete with filter media. Plugs will be provided for all manifold fittings not equipped with a filter cartridge.
C. Contractor to install filter cartridges.
D. Filter Cartridges: Tape shall be cleanly and completely removed from manifold fitting openings. Spool pieces shall be glued and inserted into all manifold fittings to be equipped with a filter cartridge. Filter cartridges shall be threaded onto the spool pieces until they contact the vault floor. Plugs shall be inserted without glue in all manifold fittings not equipped with a filter cartridge.

OPERATION AND MAINTENANCE SCHEDULE FOR STORMFILTER

FACILITY COMPONENT REQUIRING MAINTENANCE	MAINTENANCE ACTIVITY	WHEN MAINTENANCE ACTIVITY IS REQUIRED	EXPECTED FACILITY PERFORMANCE AFTER MAINTENANCE
STORM FILTER STRUCTURE AND STORAGE MANIFOLD	TRASH AND DEBRIS REMOVAL & SEDIMENT REMOVAL.	FLOATABLE OBJECTS OR OTHER DEBRIS IS PRESENT IN THE FILTER OR MANIFOLD SYSTEM.	FILTRATION CAPACITY IS MAXIMIZED.
PIPING FITTINGS AND CONTROL DEVICES.	ENSURE ALL FITTINGS ARE SECURE AND THAT ALL CONTROLS ARE UNBLOCKED. FLUSH WITH WATER.	DRAINAGE SYSTEM IS OBSTRUCTED BY DEBRIS OR SEDIMENT.	SYSTEM FLOWS FREELY.
STORM FILTER CARTRIDGES.	REPLACE CARTRIDGES AND REMOVE ALL DEBRIS AND SEDIMENT WITHIN THE SYSTEM.	MEDIA BECOMES SATURATED AND IS NO LONGER REMOVING POLLUTANTS ON AN ANNUAL BASIS OR AFTER A SPILL.	SYSTEMS POLLUTANT REMOVAL CAPACITY IS MAXIMIZED.

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK
BURTNSVILLE, MARYLAND 20866
TEL: 301-421-4024 FAX: 301-421-4186

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: *David P. Long* Date: 9/23/14
Chief, Division of Land Development: *Kristen Leaden* Date: 10/23/14
Chief, Development Engineering Division: *Chad Smith* Date: 9-23-14

DATE: 1/2/2014

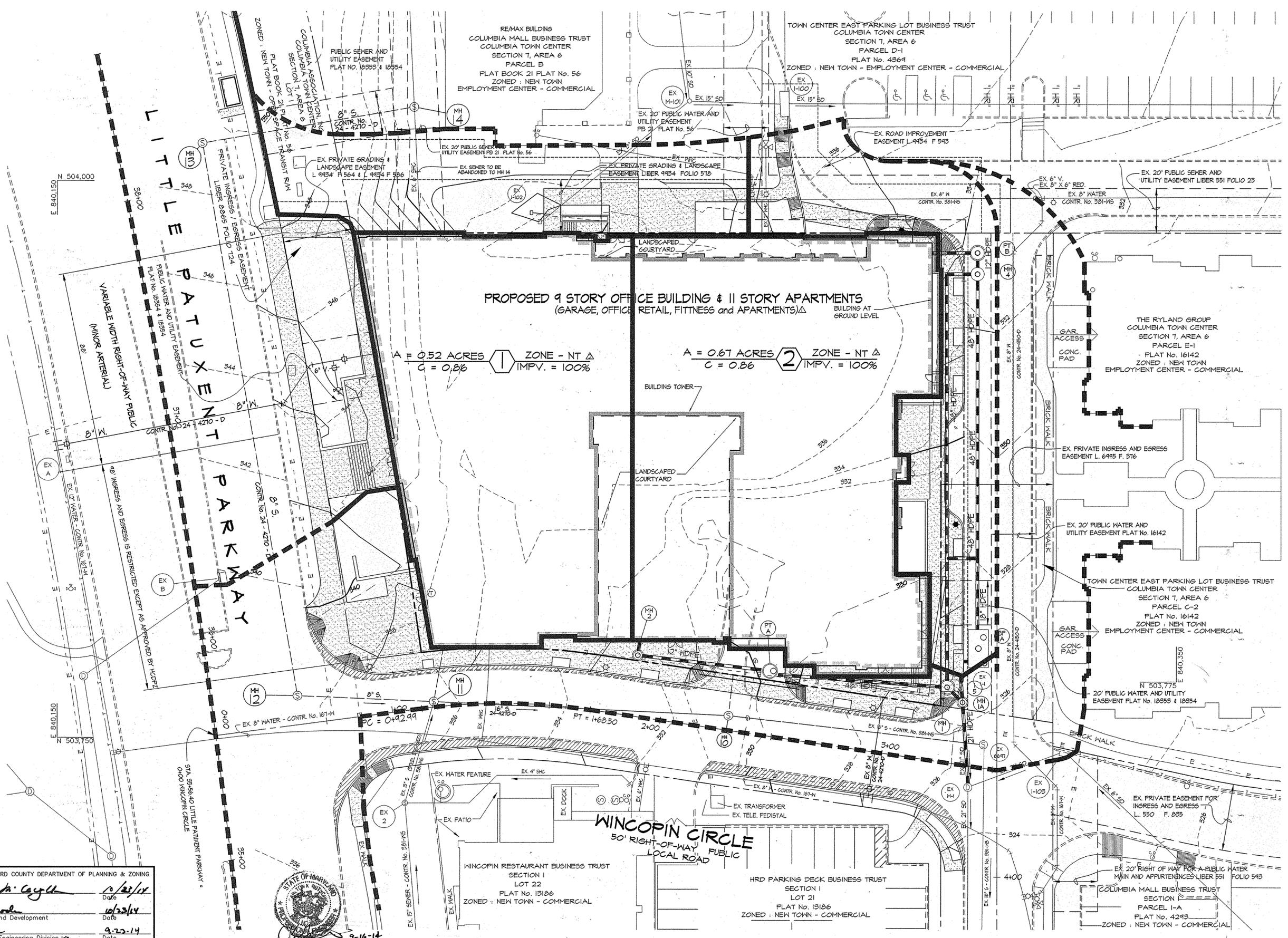
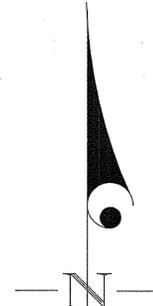
DATE	REVISION	BY	APPR.
07/2014	PT-A DETAIL REVISED		
06/2014	PT-A DETAIL REVISED		

9-16-14
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 102976.
EXPIRATION DATE: MAY 28, 2016.

PREPARED FOR AND OWNER PARCEL C-3:
LPP INVESTORS LLC
10211 WINCOPIN CIRCLE
SUITE 100
COLUMBIA, MD 21044
Attn: DAVID COSTELLO
410-740-9500

REVISED STORMWATER MANAGEMENT DETAILS
PROPOSED APARTMENT, OFFICE, RETAIL & FITNESS BUILDING
COLUMBIA TOWN CENTER
SECTION 7 AREA 6
PARCELS C-2, C-3, B, D-1 AND OPEN SPACE LOT 1
ELECTION DISTRICT No. 5 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	04052
DATE	TAX MAP - GRID	SHEET
SEPT, 2014	30 - 20	11 OF 19



A = 0.52 ACRES ZONE - NT Δ
C = 0.86 IMPV. = 100%

A = 0.67 ACRES ZONE - NT Δ
C = 0.86 IMPV. = 100%

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director *Janice A. Cayle* Date *08/22/14*
 Chief, Division of Land Development
 Chief, Development Engineering Division *Chad Lamb* Date *09/23/14*



APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 DATE 1/2/2014

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-889-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
09/2014	DRAINAGE AREAS REVISED Δ		
06/2014	DRAINAGE AREAS UPDATED FOR NEW TOWER LAYOUT Δ		

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 10000, EXPIRATION DATE: MAY 28, 2016.

PREPARED FOR AND OWNER PARCEL C-3:
 LPP INVESTORS LLC
 10211 WINCOPIN CIRCLE
 SUITE 100
 COLUMBIA, MD 21044
 Attn: DAVID COSTELLO
 410-740-9500

REVISED STORM DRAIN DRAINAGE AREA MAP
PROPOSED APARTMENT, OFFICE, RETAIL & FITNESS BUILDING
COLUMBIA TOWN CENTER
 SECTION 7 AREA 6
 PARCELS C-2, C-3, B, D-1 AND OPEN SPACE LOT 1
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1"=20'	NT	04052
DATE	TAX MAP - GRID	SHEET
SEPT, 2014	30 - 20	12 OF 19

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SDP 05-90

GENERAL NOTES:

1. A 20' MINIMUM DISTANCE SHALL BE MAINTAINED BETWEEN ANY TREES LOCATED ALONG THE CURB LINE AND ANY STREET LIGHT.
2. A 5' MINIMUM DISTANCE SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND A FIRE HYDRANT.

MARKING LEGEND

1. INSTALL 24" WHITE REFLECTIVE THERMOPLASTIC PAVEMENT MARKING.
2. INSTALL DOUBLE 5" YELLOW REFLECTIVE THERMOPLASTIC PAVEMENT MARKING.
3. INSTALL 5" WHITE REFLECTIVE THERMOPLASTIC PAVEMENT MARKING.
4. INSTALL 5" WHITE REFLECTIVE THERMOPLASTIC PAVEMENT MARKING - 2' LINE, 6' SPACE.
5. INSTALL PERMANENT PREFORMED PAVEMENT MARKING ARROW (50' FROM STOP BAR)
6. INSTALL STANDARD HOWARD COUNTY CROSSWALK (USING WHITE REFLECTIVE THERMOPLASTIC MATERIAL).

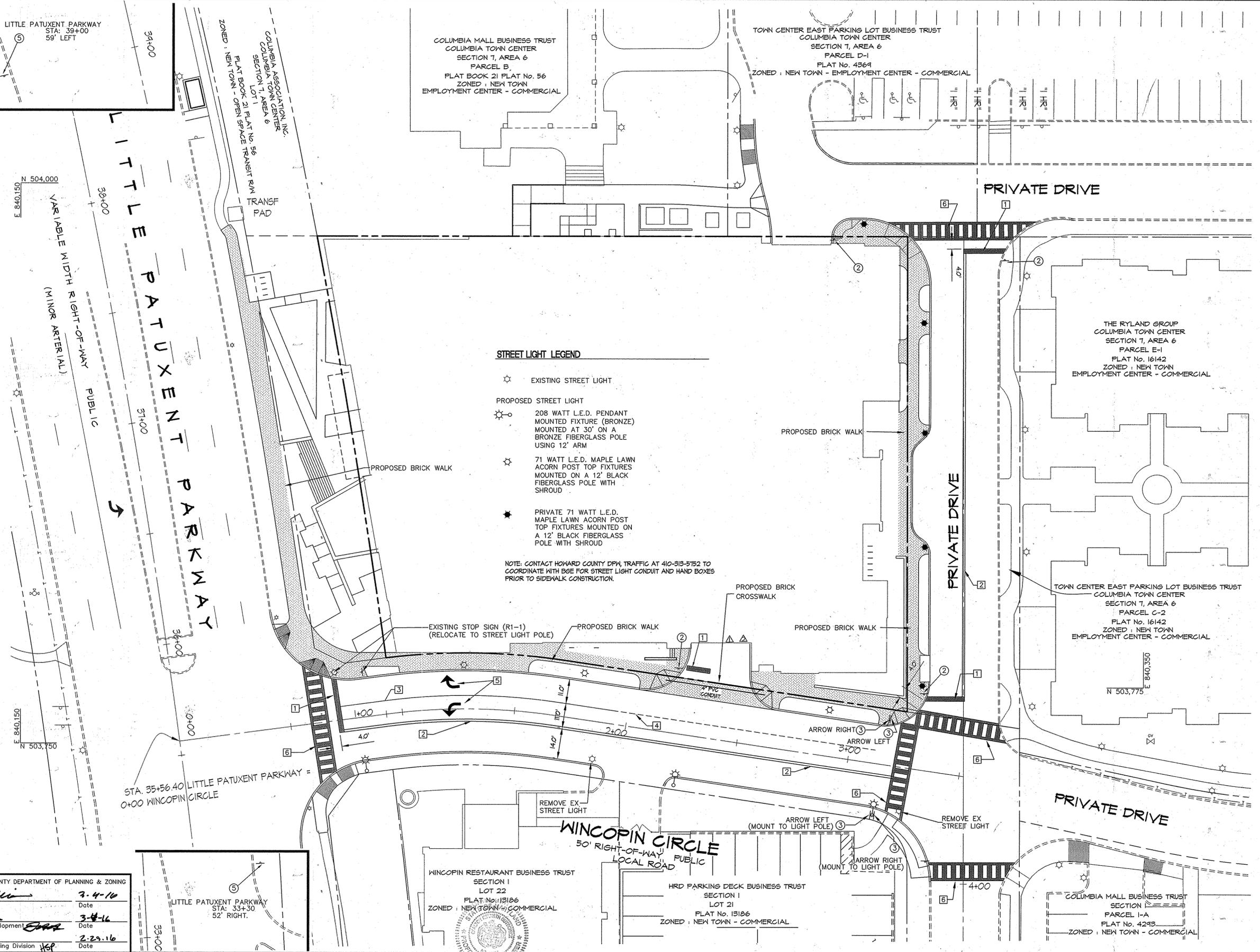
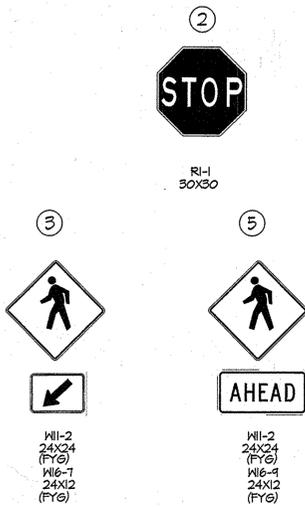
PAVEMENT MARKING NOTES:

1. EXISTING PAVEMENT MARKINGS THAT ARE IN CONFLICT WITH THE PROPOSED PAVEMENT MARKINGS FOR THIS PROJECT WILL BE REMOVED BY GRINDING.
2. EXACT LOCATION OF ALL MARKINGS WITHIN THE PUBLIC RIGHT OF WAY SHALL BE APPROVED BY THE HOWARD COUNTY TRAFFIC DIVISION AT 410-315-2430 PRIOR TO INSTALLATION.

SIGNING NOTES:

1. SIGN ERRECTED AT THE SIDE OF THE ROAD SHALL BE MOUNTED AT A HEIGHT OF AT LEAST 7 FEET MEASURES FROM THE BOTTOM OF THE SIGN TO THE NEAR EDGE OF THE PAVING.
2. ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED ("QUICK PUNCH" TYPE), SQUARE TUBE POST (1/4 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (1/2 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO "QUICK PUNCH" HOLES" ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
3. ALL SIGN LOCATIONS WITHIN THE PUBLIC RIGHT OF WAY SHALL BE APPROVED BY THE HOWARD COUNTY TRAFFIC DIVISION PRIOR TO ANY INSTALLATIONS.

SIGN LEGEND



STREET LIGHT LEGEND

- EXISTING STREET LIGHT
- PROPOSED STREET LIGHT
 - 208 WATT L.E.D. PENDANT MOUNTED FIXTURE (BRONZE) MOUNTED AT 30' ON A BRONZE FIBERGLASS POLE USING 12' ARM
 - 71 WATT L.E.D. MAPLE LAWN ACORN POST TOP FIXTURES MOUNTED ON A 12' BLACK FIBERGLASS POLE WITH SHROUD
 - PRIVATE 71 WATT L.E.D. MAPLE LAWN ACORN POST TOP FIXTURES MOUNTED ON A 12' BLACK FIBERGLASS POLE WITH SHROUD

NOTE: CONTACT HOWARD COUNTY DPM, TRAFFIC AT 410-315-5752 TO COORDINATE WITH EDGE FOR STREET LIGHT CONDUIT AND HAND BOXES PRIOR TO SIDEWALK CONSTRUCTION.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Valerie J. Jagan* 3-4-16
 Chief, Division of Land Development: *Kevin S. ...* 3-4-16
 Chief, Development Engineering Division: *...* 2-29-16

WINCOPIN RESTAURANT BUSINESS TRUST
 SECTION 1
 LOT 22
 PLAT No. 13186
 ZONED: NEW TOWN - COMMERCIAL

HRD PARKING DECK BUSINESS TRUST
 SECTION 1
 LOT 21
 PLAT No. 13186
 ZONED: NEW TOWN - COMMERCIAL

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BIRTONSVILLE OFFICE PARK
 BIRTONSVILLE, MARYLAND 21888
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-889-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
02/2016	BUILDING AND PRIVATE WALKS REVISED		
09/2014	BUILDING AND PRIVATE WALKS REVISED		
06/2014	GARAGE ENTRANCE REVISED		

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12976, EXPIRATION DATE: MAY 26, 2016.

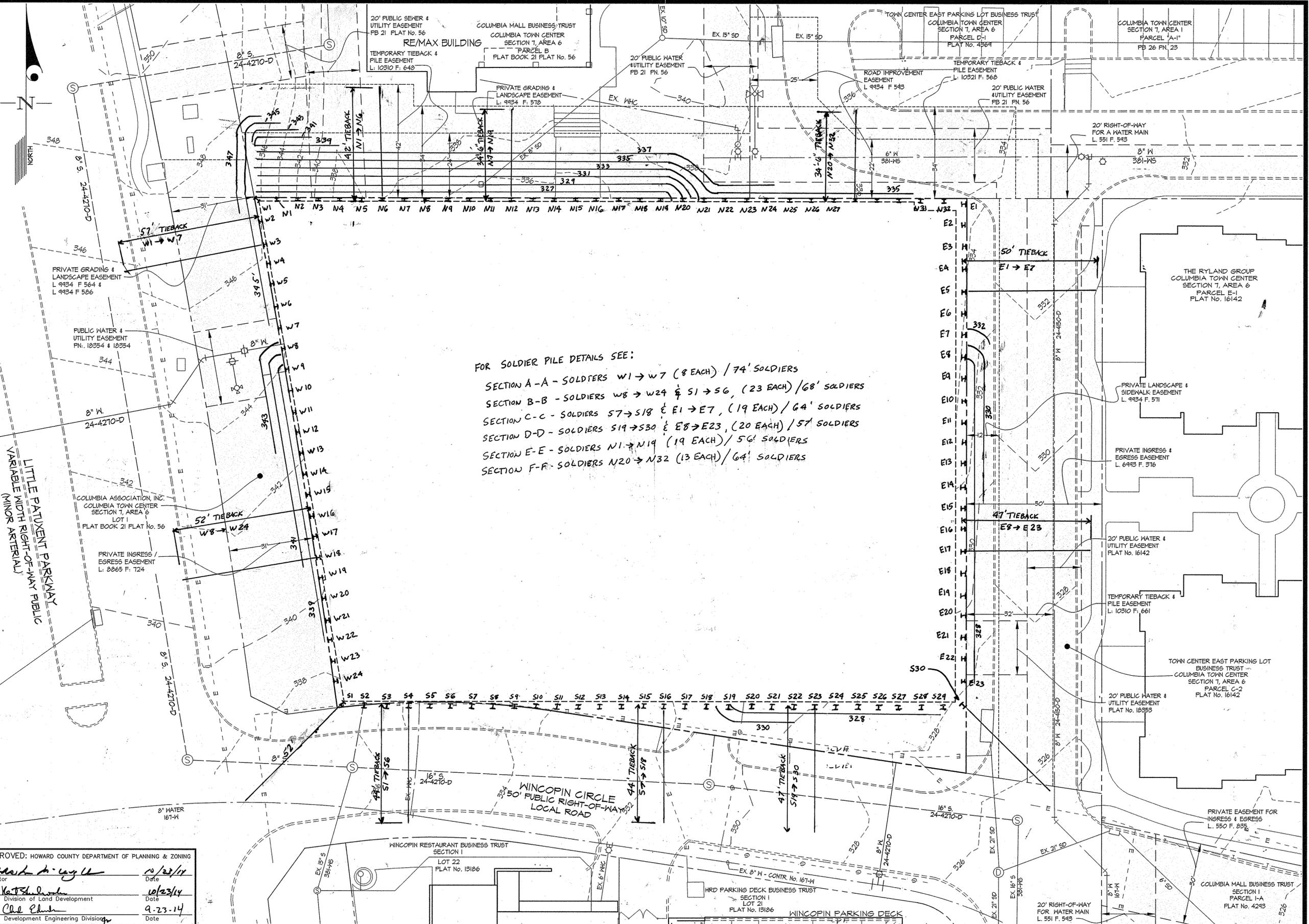
PREPARED FOR AND OWNER PARCEL C-3:
 LPP INVESTORS LLC
 10211 WINCOPIN CIRCLE
 SUITE 100
 COLUMBIA, MD 21044
 Attn: DAVID COSTELLO
 410-740-9500

REVISED STREET MARKING, SIGNING AND LIGHTING PLAN
PROPOSED APARTMENT, OFFICE, RETAIL, & FITNESS BUILDING
COLUMBIA TOWN CENTER
 SECTION 7 AREA 6
 PARCELS C-2, C-3, B, D-1 AND OPEN SPACE LOT 1
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=20'	NT	04052
DATE	TAX MAP - GRID	SHEET
FEB., 2016	30 - 20	14 OF 19

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NOTE: ALL TIEBACKS ARE TEMPORARY. AT LOCATIONS WHERE TIEBACKS MAY INTERFERE WITH UTILITIES, PRIMARILY THE PROPOSED STORM DRAIN ALONG THE EAST SIDE, INSTALL TIEBACK'S FIRST, COMPLETE BUILDING STRUCTURE WITH BACKFILL, THEN INSTALL STORM DRAIN CUT AND REMOVE TIEBACKS AS NECESSARY, ONLY AFTER BUILDING IS BACKFILLED, TO FACILITATE UTILITY INSTALLATION



FOR SOLDIER PILE DETAILS SEE:
 SECTION A-A - SOLDIERS W1 → W7 (8 EACH) / 74' SOLDIERS
 SECTION B-B - SOLDIERS W8 → W24 & S1 → S6, (23 EACH) / 68' SOLDIERS
 SECTION C-C - SOLDIERS S7 → S18 & E1 → E7, (19 EACH) / 64' SOLDIERS
 SECTION D-D - SOLDIERS S19 → S30 & E8 → E23, (20 EACH) / 57' SOLDIERS
 SECTION E-E - SOLDIERS N1 → N19 (19 EACH) / 56' SOLDIERS
 SECTION F-F - SOLDIERS N20 → N32 (13 EACH) / 64' SOLDIERS



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 162340
 EXPIRATION DATE: 11/5/2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: [Signature] 10/23/14
 Chief, Division of Land Development: [Signature] 10/23/14
 Chief, Development Engineering Division: [Signature] 9-23-14

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 DATE 1/2/2014

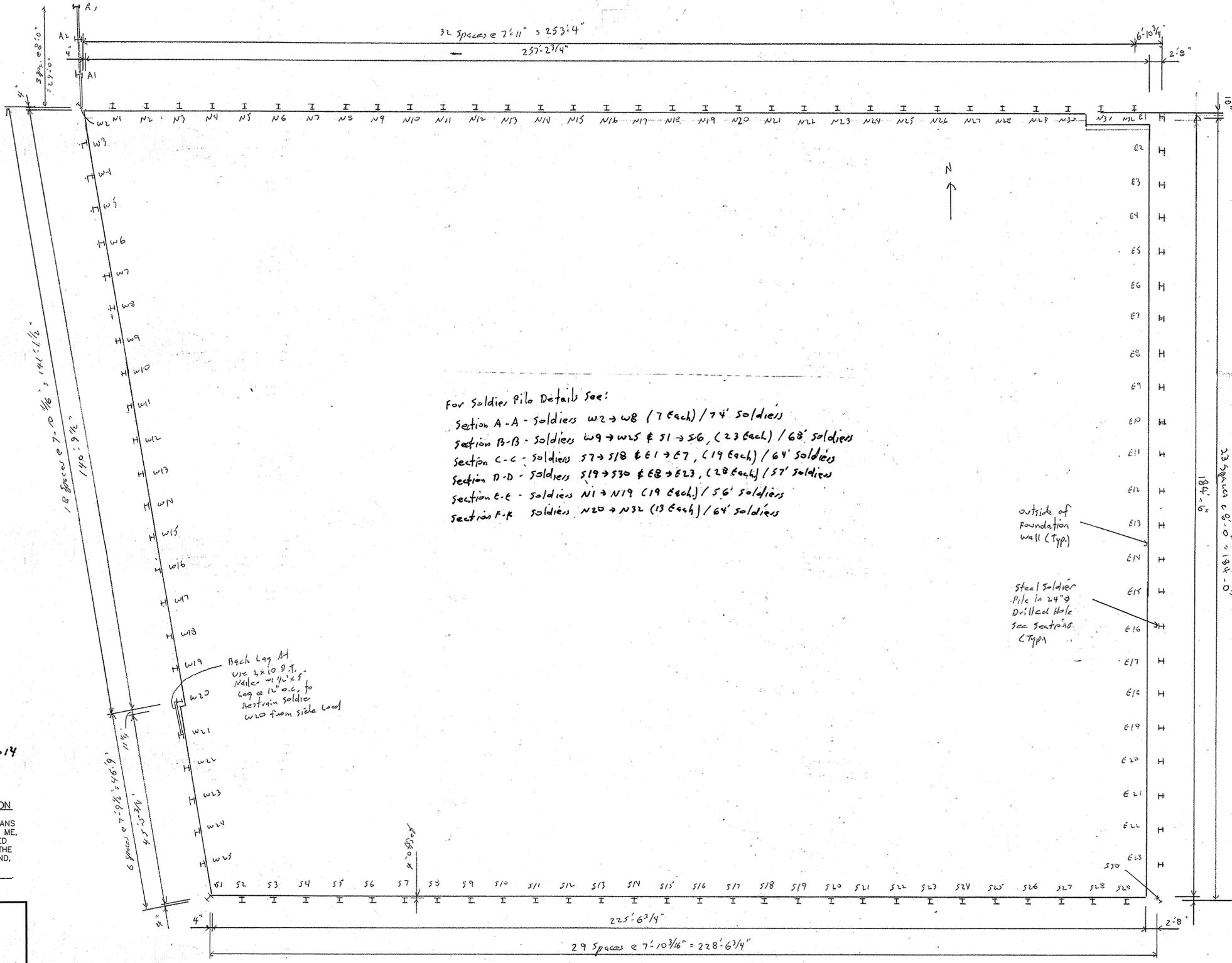
BLAKE STRUCTURAL
 12518 Ridgely Rd, Ridgely, Md 21060 Ph 410.624.2455

PREPARED FOR AND OWNER PARCEL C-3:
 LPP INVESTORS LLC
 10211 WINGOPIN CIRCLE
 SUITE 100
 COLUMBIA, MD 21044
 Attn: DAVID COSTELLO
 410-740-9500

EXCAVATION SHORING PLAN
 PROPOSED APARTMENT, OFFICE, RETAIL & FITNESS BUILDING
 COLUMBIA TOWN CENTER
 SECTION 7 AREA 6
 PARCELS C-2, C-3, B, D-1 AND OPEN SPACE LOT 1
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	
1/16" = 1'-0"	NT	
DATE	TAX MAP - GRID	SHEET
AUG, 2014	30 - 20	15 of 19

DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.



For Soldier Pile Details See:

- Section A-A - Soldiers W2 → W8 (7 Each) / 7' Soldiers
- Section B-B - Soldiers W9 → W15 & S1 → S6, (23 Each) / 6' Soldiers
- Section C-C - Soldiers S7 → S18 & E1 → E7, (19 Each) / 6' Soldiers
- Section D-D - Soldiers S19 → S30 & E8 → E23, (28 Each) / 5' Soldiers
- Section E-E - Soldiers N1 → N19 (19 Each) / 5' Soldiers
- Section F-F - Soldiers N20 → N32 (13 Each) / 6' Soldiers

Back Lag At
Use 2x10 P.F.
Nails - 1/2" x 5"
Lag @ 12" o.c. to
restrain soldier
w/10 from side load

Outside of
Foundation
Wall (Typ)

Steel Soldier
Pile in 24" x 9"
Drilled Hole
See Section
(Typ)

Shoring Plan
N.T.S.

DESIGN CRITERIA

BUILDING CODES:

- 1.) IBC 2012, HOWARD COUNTY BUILDING CODE.

DESIGN STANDARDS:

- 1.) STEEL - AISC STEEL CONSTRUCTION MANUAL 13TH EDITION, ALLOWABLE WORKING STRESS METHOD.
- 2.) CONCRETE - AMERICAN CONCRETE INSTITUTE ACI318-11.
- 3.) SHORING & TIEBACKS - FHWA IF-99-015

GEOTECHNICAL PARAMETERS:

- 1.) 2/18/2014 PRELIMINARY GEOTECHNICAL INVESTIGATION BY HILLIS - CARNES ENGINEERING.

SOFTWARE:

- 1.) SHORING SUITE VERSION 8.10.

GENERAL NOTES

- 1.) WALLS DESIGNED FOR A LIVE LOAD SURCHARGE = 250 PSF
- 2.) OSHA APPROVED RAILING OR WALL EXTENSION TO BE PROVIDED AT TOP OF WALLS WHERE REQUIRED.
- 3.) STRUCTURAL STEEL FOR SOLDIERS IS TO HAVE A MINIMUM YIELD STRENGTH OF 50 KSI, AND SHALL BE EITHER ASTM A-572 OR A-992 GRADE 50. STRUCTURAL STEEL FOR PLATES TO BE ASTM A572 GRADE 50 OR EQUAL. STRUCTURAL STEEL FOR PIPE TO BE ASTM A53 WITH A YIELD STRENGTH OF 35 KSI OR BETTER.
- 4.) ALL WELDS TO USE EXX70 ELECTRODES.
- 5.) WOOD LAGGING TO BE 4" ACTUAL THICKNESS. LAGGING IS TO BE MIXED HARDWOOD AND IS TO HAVE A MINIMUM ALLOWABLE BASE BENDING STRENGTH OF 1000 psi.
- 6.) LAGGING TO BE INSTALLED TO THE LINES SHOWN ON THE ELEVATION DRAWINGS AND IS TO BE INSTALLED IN 4" HIGH MAXIMUM SECTIONS. EXCAVATION HEIGHT TO BE REDUCED TO 2' IF ANY UNRAVELING OF THE SOIL OCCURS DURING THE LAGGING EXCAVATION AND INSTALLATION. MIRAFI NON WOVEN FILTER FABRIC OR EQUAL TO BE PLACED BEHIND THE LAGGING. GAPS BEHIND THE LAGGING ARE TO BE FILLED WITH SOIL. A 3/4" THICK HARDWOOD SPACER IS TO BE PLACED BETWEEN EACH LAGGING BOARD AT EACH END OF BOARDS THROUGHOUT THE SHORING WALLS. LAGGING TO EXTEND NO MORE THAN 18" BELOW TIEBACKS UNTIL SAID TIEBACKS ARE INSTALLED.
- 7.) THE PROJECT SITE IS TO BE DEWATERED BY OTHERS.
- 8.) STEEL SOLDIERS ARE TO BE SOCKETED IN 24" DIAMETER HOLES DRILLED AND GROUTED AS USING 3 KSI MIN GROUT OR CONCRETE FOR THE SOCKET PORTION AND BACKFILLED WITH SAND FOR THE UPPER RETAINED PORTIONS.
- 9.) TIEBACKS TO BE ASTM A 416 X 270 KSI LOW RELAXATION STRAND OF 0.60" DIAMETER X 7 WIRE. NUMBER OF STRANDS TO BE USED AT EACH TIEBACK IS SHOWN ON THE SECTIONS. TIEBACKS TO BE PROOF TESTED TO 133% OF DESIGN LOAD PER AND LOCKED OFF AT 80% OF DESIGN LOADS AS SHOWN ON THE SECTIONS. TIEBACKS TO BE GROUTED WITH 4KSI GROUT. TIEBACK GROUT STRENGTH TO REACH 2500 PSI OF BETTER PRIOR TO PROOF TESTING.

SOLDIER PILE WALL MONITORING:

- 1.) DEFLECTION OF THE WALL TO BE MONITORED BY A 3RD PARTY ENGINEER BASED ON A MONITORING SYSTEM PROPOSED BY SAID ENGINEER.

SEQUENCE OF CONSTRUCTION:

- 1.) BENCH SITE AS SHOWN ON THE SHORING PLAN.
- 2.) INSTALL SOLDIER PILES.
- 3.) EXCAVATE AND LAG IN 4' LIFTS. INSTALL EACH LEVEL OF TIEBACKS AS EXCAVATION PROCEEDS LIMITING THE DEPTH OF EXCAVATION BELOW THE TIEBACK LEVEL TO 1'-6" MAXIMUM UNTIL THE TIEBACKS ARE LOCKED OFF.



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16240, EXPIRATION DATE: 6/25/2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: Mark M. Lewis Date: 10/22/14
 Chief, Division of Land Development: Kate Schaefer Date: 10/22/14
 Chief, Development Engineering Division: Chad Edmister Date: 9-23-14

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 DATE: 11/2/2014

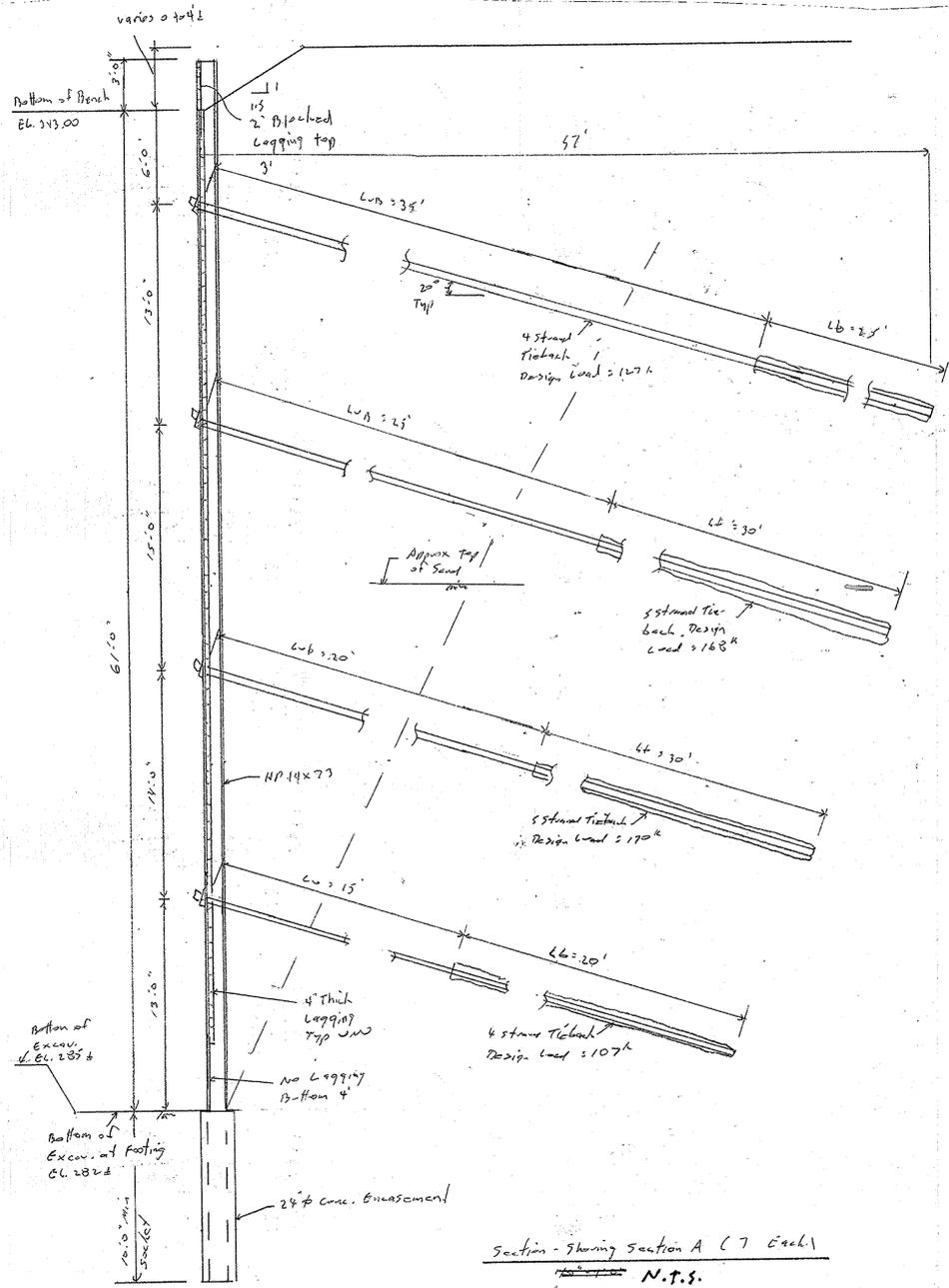
BLAKE STRUCTURAL
 12518 Ridgely Rd. Ridgely, Md 21070 Ph. 410-634-2455

DATE	REVISION	CHK.	BY	APPR.

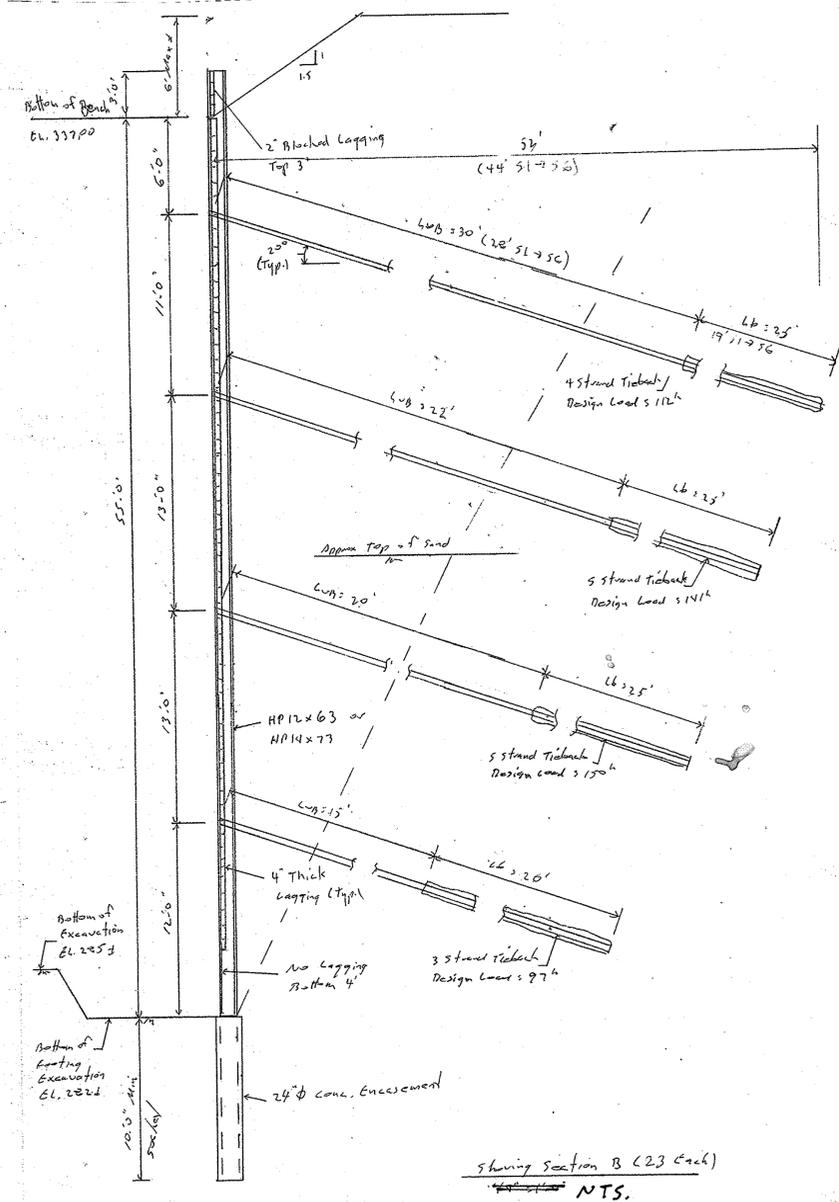
PREPARED FOR AND OWNER PARCEL C-3:
 LPP INVESTORS LLC
 10211 WINGPIN CIRCLE
 SUITE 100
 COLUMBIA, MD 21044
 Attn: DAVID COSTELLO
 410-740-9500

SHORING PLAN
 PROPOSED APARTMENT, OFFICE, RETAIL & FITNESS BUILDING
 COLUMBIA TOWN CENTER
 SECTION 7 AREA 6
 PARCELS C-2, C-3, B, D-1 AND OPEN SPACE LOT 1
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	DATE	TAX MAP - GRID	SHEET
	NT	AUG., 2014	30 - 20	16 of 19



Section - showing Section A (7 Each)
N.T.S.



showing Section B (23 Each)
N.T.S.



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16240, EXPIRATION DATE: 8/15/14

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Frank M. Leight* 10/20/14
 Chief, Division of Land Development: *Robert DeLoach* 10/20/14
 Chief, Development Engineering Division: *Phil Edick* 9-23-14

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 DATE: 1/2/2014

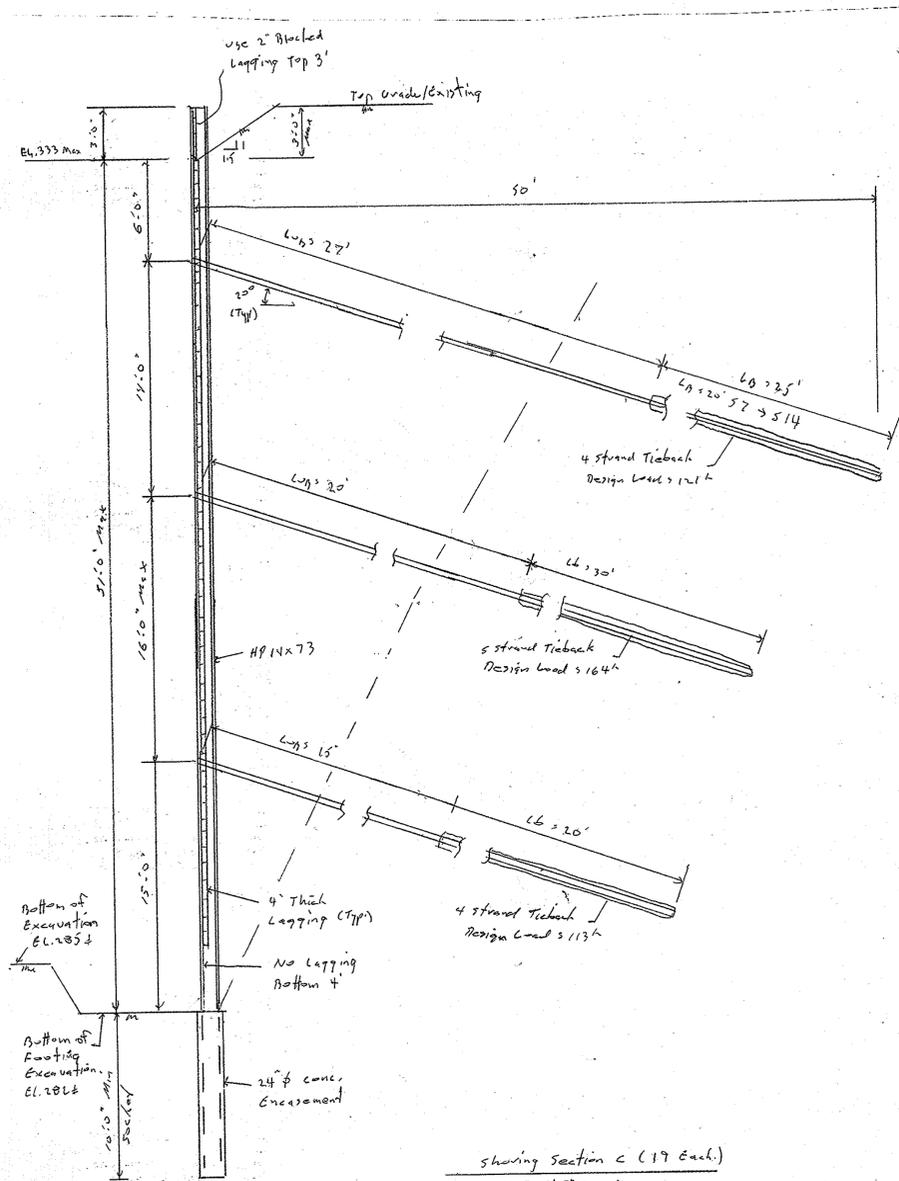
BLAKE STRUCTURAL
 12518 Ridgely Rd., Ridgely, Md 21160 Ph. 410.684.2422

DATE	REVISION	BY	APPR.

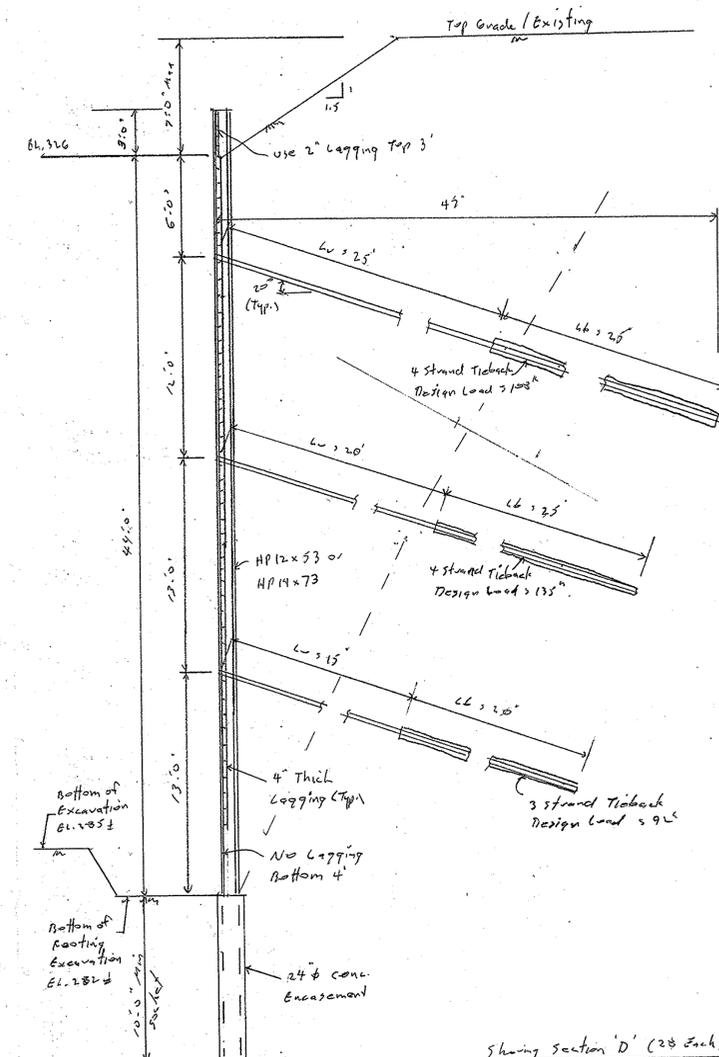
PREPARED FOR AND OWNER PARCEL C-3:
 LPP INVESTORS LLC
 10214 WINCOPIN CIRCLE
 SUITE 100
 COLUMBIA, MD 21044
 Attn: DAVID COSTELLO
 410-740-9500

SHORING DETAILS
 PROPOSED APARTMENT, OFFICE, RETAIL & FITNESS BUILDING
 COLUMBIA TOWN CENTER
 SECTION 7 AREA 6
 PARCELS C-2, C-3, B, D-1 AND OPEN SPACE LOT 1
 HOWARD COUNTY, MARYLAND

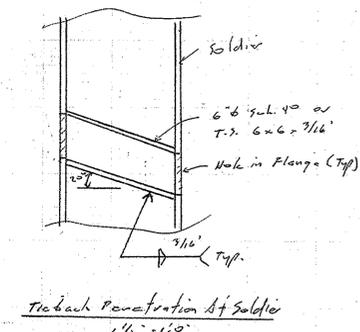
SCALE	ZONING	
	NT	
DATE	TAX MAP - GRID	SHEET
AUG., 2014	30 - 20	17 of 19



Showing Section C (19 each)
N.T.S.



Showing Section D (28 each)
N.T.S.



Tieback Penetration of Soldier
1/16" = 21.0"



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO.: 16240, EXPIRATION DATE: 1/25/14

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Franklin A. Wright* Date: 10/23/14
 Chief, Division of Land Development: *Kat Sheehy* Date: 10/23/14
 Chief, Development Engineering Division: *Chad Edm* Date: 9-23-14

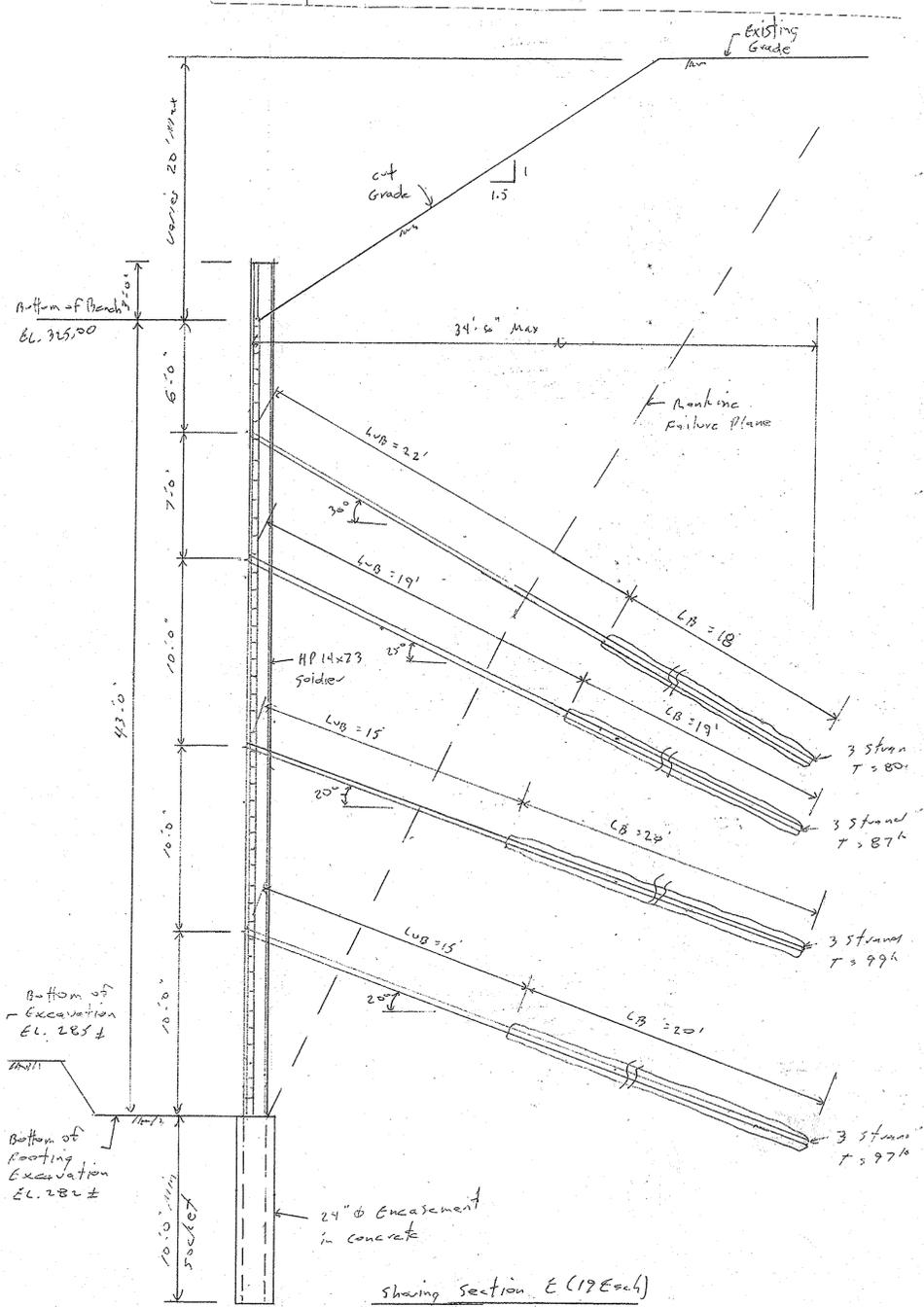
APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: 1/2/2014

BLAKE STRUCTURAL	DES.	DRN.	CHK.	DATE	REVISION	BY	APP'R.
1518 Ridgely Rd. Ridgely, Md 21116 P. 410.634.2455							

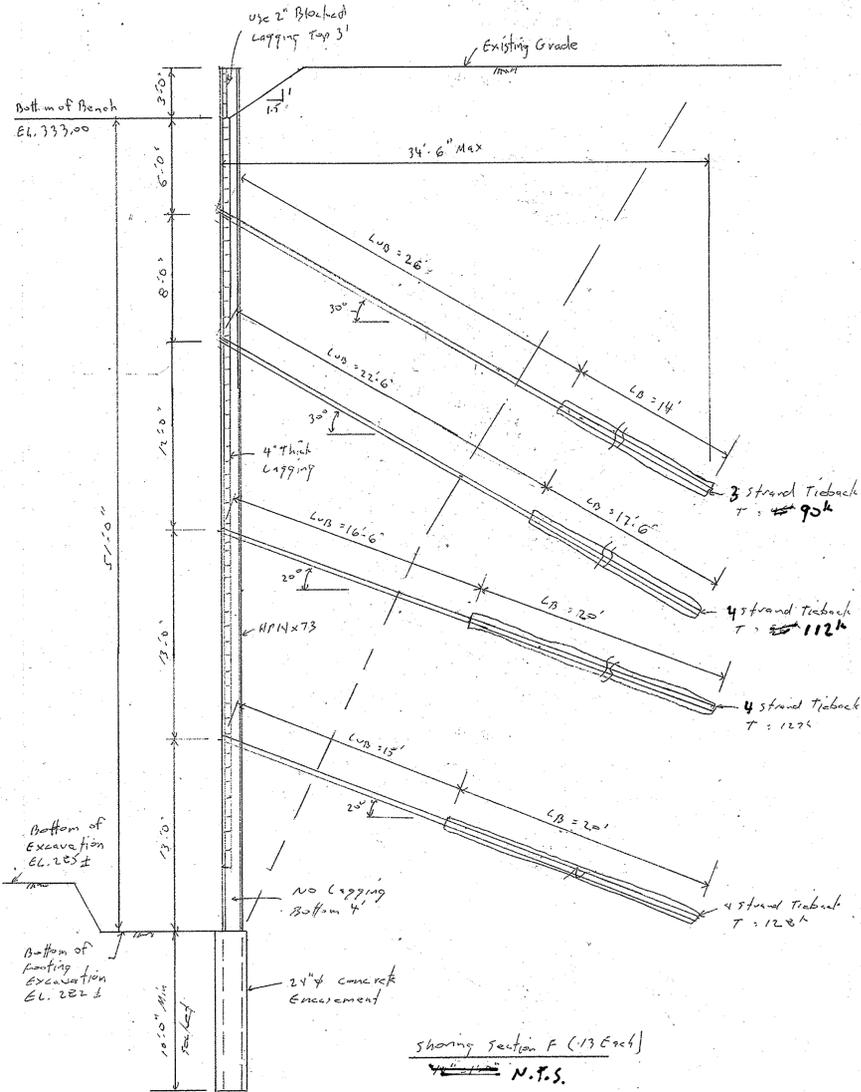
PREPARED FOR AND OWNER PARCEL C-3:
LPP INVESTORS LLC
10211 WINCOPIN CIRCLE
SUITE 100
COLUMBIA, MD 21044
Attn: DAVID COSTELLO
410-740-9500

SHORING DETAILS
PROPOSED APARTMENT, OFFICE, RETAIL & FITNESS BUILDING
COLUMBIA TOWN CENTER
SECTION 7 AREA 6
PARCELS C-2, C-3, B, D-1 AND OPEN SPACE LOT 1
HOWARD COUNTY, MARYLAND
ELECTION DISTRICT No. 5

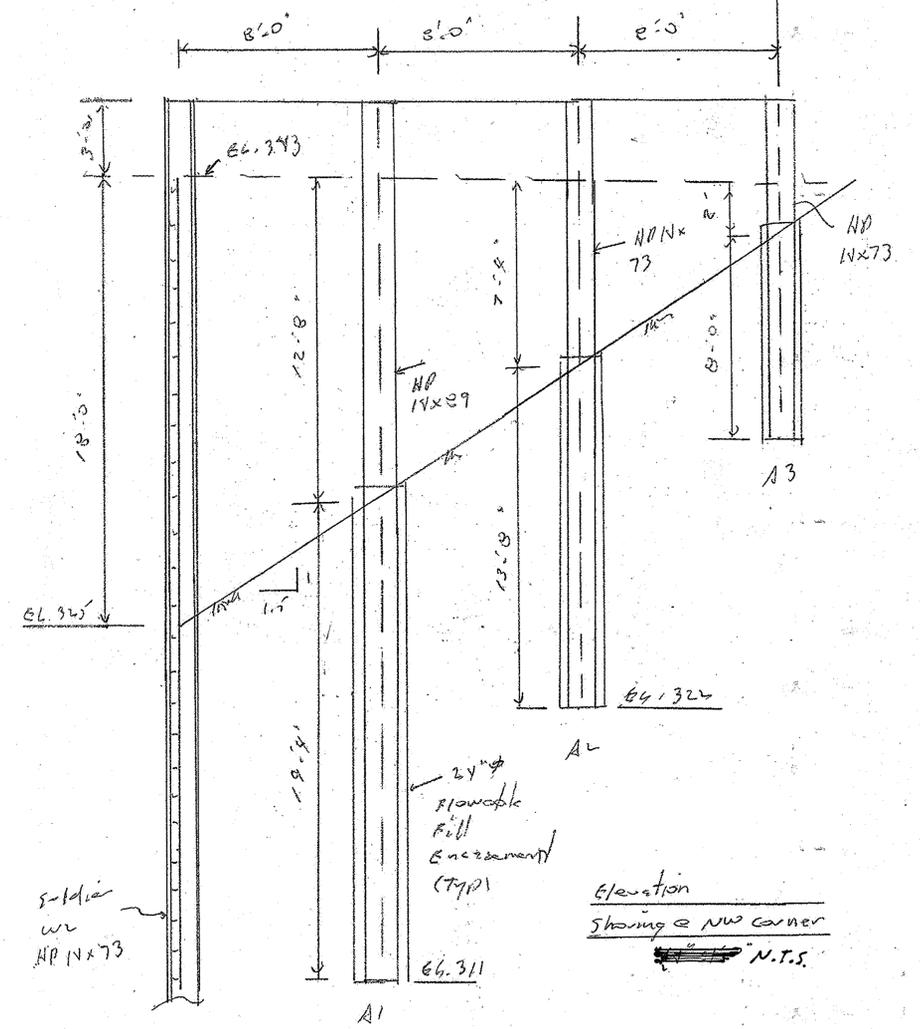
SCALE	ZONING	
	NT	
DATE	TAX MAP - GRID	SHEET
AUG., 2014	30 - 20	10 of 19



Shoring Section E (19 Eeach)
N.T.S.



Shoring Section F (13 Eeach)
N.T.S.



Elevation
Shoring @ NW corner
N.T.S.

STATE OF MARYLAND
LICENSE NO. _____
EXPIRATION DATE: _____



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 16246 Expiration Date: 8/25/14

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE 11/2/2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: David E. Blum, Date: 10/20/14
Chief, Division of Land Development: [Signature], Date: 10/23/14
Chief, Development Engineering Division: [Signature], Date: 9-23-14

BLAKE STRUCTURAL
12415 Richey Rd. Ridgely, Md 21060 Ph 410-634-2455

REVISION	DATE	BY	APPR.

PREPARED FOR AND OWNER PARCEL C-3:
LPP INVESTORS LLC
10211 WINGOPIN CIRCLE
SUITE 100
COLUMBIA, MD 21044
Attn: DAVID COSTELLO
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PROPOSED APARTMENT, OFFICE, RETAIL & FITNESS BUILDING
COLUMBIA TOWN CENTER
SECTION 7 AREA 6
PARCELS C-2, C-3, B, D-1 AND OPEN SPACE LOT 1
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SCALE	ZONING	DATE	TAX MAP - GRID	SHEET
	NT	AUG, 2014	30 - 20	19 OF 19