

SECTION NUMBER	ROAD AND STREET CLASSIFICATION	PAVEMENT MATERIALS	
		FULL DEPTH BIT. CONC. ALTERNATE	GRANULAR BASE ALTERNATES
P-1	PARKING BAYS, APARTMENTS AND COMMERCIAL-INDUSTRIAL ZONES WITH NO HEAVY TRUCKS TRAVELWAYS FOR APARTMENTS AND COMMERCIAL-INDUSTRIAL ZONES WITH NO HEAVY TRUCKS	1" BIT. CONC. SURFACE 4" BIT. CONC. BASE	1" BIT. CONC. SURFACE 2" BIT. CONC. SURFACE 4" GRADED AGGREGATE BASE (GAB)

GENERAL NOTES

- THE SUBJECT PROPERTY IS ZONED R-SC PER THE 2/2/2004 COMPREHENSIVE ZONING PLAN.
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS; PORCHES OR DECKS, OPEN OR ENCLOSED, MAY PROJECT NOT MORE THAN 3 FEET INTO THE FRONT OR REAR YARD SETBACK.
- NO CLEARING, GRADING, OR CONSTRUCTION IS PERMITTED WITHIN THE REQUIRED WETLANDS, STREAMS, OR THEIR BUFFERS AND FOREST CONSERVATION EASEMENT AREAS.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE & OCCUPANCY PERMIT FOR ANY NEW DWELLING TO INSURE SAFE ACCESS FOR FIRE & EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - WIDTH: 12' (14' if serving more than one residence).
 - SURFACE: 6" of compacted crusher run base w/tar & chip coating (1-1/2" min.).
 - GEOMETRY: Max. 15% grade, max. 10% grade change, and min. 45' turning radius.
 - STRUCTURES (culverts/bridges): capable of supporting 25 gross tons (H25 loading).
 - DRAINAGE ELEMENTS: capable of safely passing 100-yr. flood with no more than 1 foot depth over driveway surface.
 - MAINTENANCE: sufficient to insure all-weather use.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED 3 TREES IN THE AMOUNT OF \$900.00 IS PART OF THE BUILDERS GRADING PERMIT APPLICATION FOR LOT 3.
- THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BECAUSE THE LOT SIZE IS LESS THAN 40,000 SQ.FT.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREETS AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- THE EXISTING TOPOGRAPHY SHOWN IS BASED ON A SURVEY BY SHANABERGER & LANE IN JULY 2004 TIED TO NAD 83 HOWARD COUNTY CONTROL STATIONS:
 - HOWARD COUNTY MONUMENT NO. 421A EL.311.988
 - HOWARD COUNTY MONUMENT NO. 0080 EL.282.389
 - BENCHMARK: COUNTY MONUMENT 421A
 - TRAVERSE NO. 11 EL. 311.99
 - BENCHMARK: REBAR SET
 - TRAVERSE NO. 13 EL. 311.56
- BEARINGS, DISTANCES AND AREA SHOWN HEREON ARE FROM A BOUNDARY SURVEY PERFORMED BY SHANABERGER & LANE IN JULY OF 2004.
- WATER IS PUBLIC (CONTRACT #76W)
- SEWER IS PUBLIC (CONTRACT #350-S)
- THIS PLAN IS EXEMPT FROM STORMWATER MANAGEMENT BECAUSE THE NET CHANGE IN HYDROLOGIC CONDITIONS IS LESS THAN 5000 SF.
- EXISTING UTILITIES SHOWN HEREON WERE FIELD-LOCATED WHERE POSSIBLE, AND SHOWN PER AVAILABLE PLANS OF RECORD IN OTHER CASES.
- A WETLANDS INVESTIGATION WAS PERFORMED BY EXPLORATION RESEARCH ON SEPTEMBER 10, 2004. THERE ARE NO WETLANDS ON THE LOT.
- THERE ARE NO STEEP SLOPES, STREAMS, BUFFERS, OR FLOODPLAINS ON THE LOT.

LEGEND

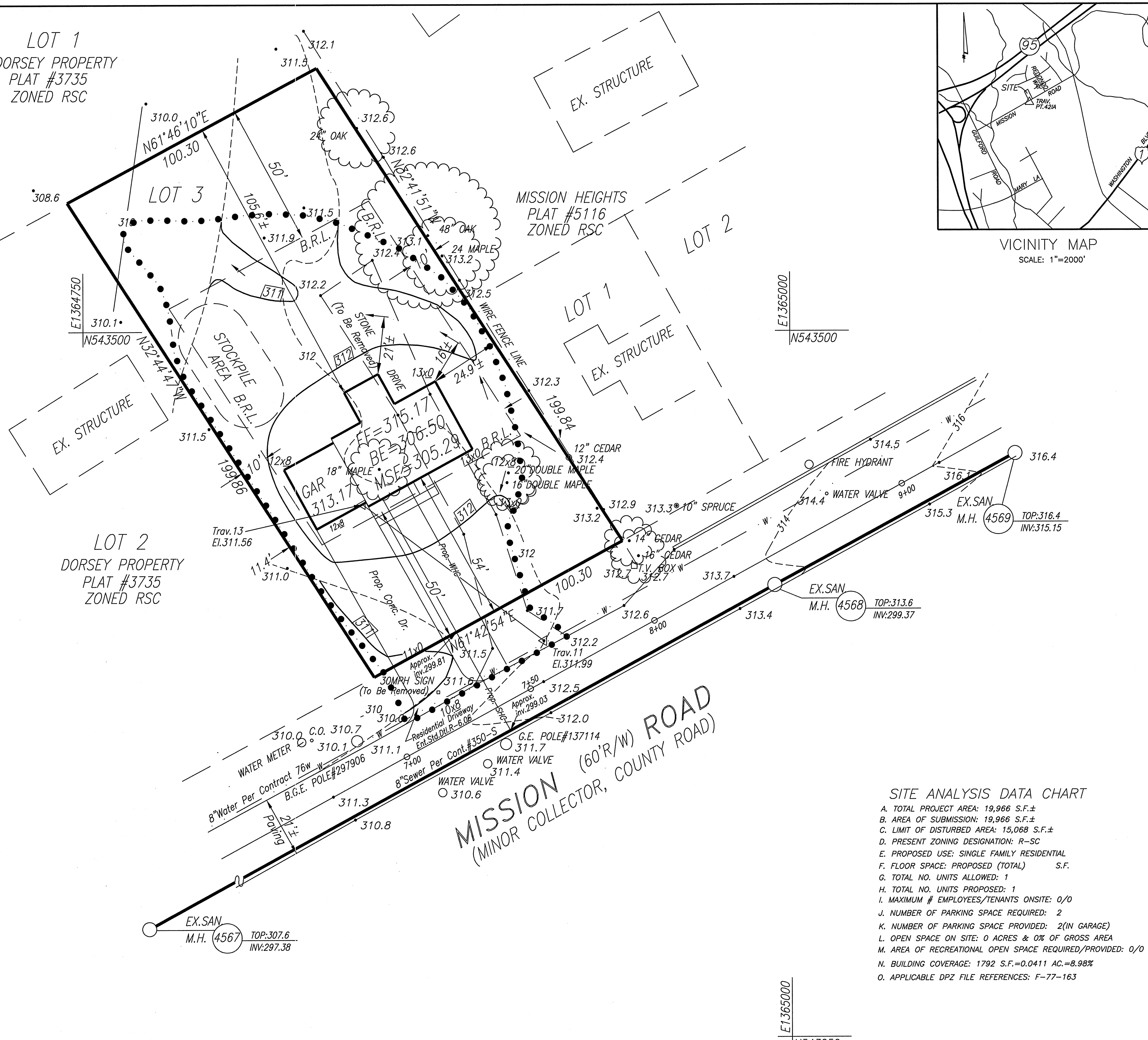
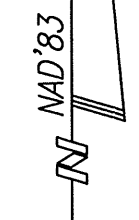
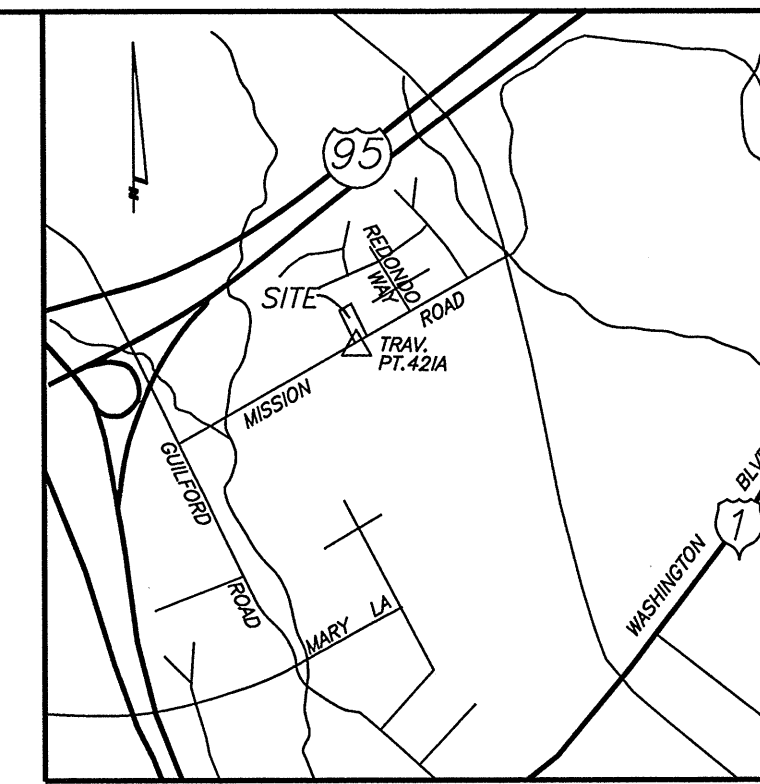
	PROPOSED TREELINE
	EXISTING TREELINE
	PROPOSED CONTOUR
	PROPOSED SPOT EL.
	DESIGNATES BUILDING RESTRICTION LINE
	DESIGNATES EXISTING CONTOUR
	DESIGNATES LIMIT OF DISTURBANCE
	DESIGNATES EXISTING SPOT ELEV.
	DESIGNATES EXISTING WATER LINE
	DESIGNATES EXISTING SEWER LINE
	DESIGNATES EXISTING TREE & EST. DRIPLINE

LOT 1
DORSEY PROPERTY
PLAT #3735
ZONED RSC

LOT 3

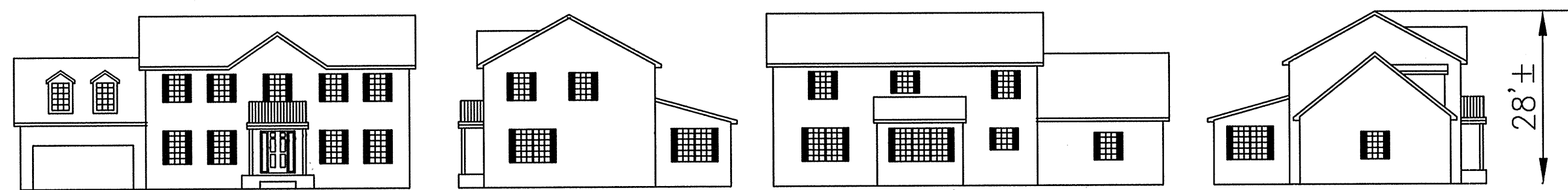
LOT 2
DORSEY PROPERTY
PLAT #3735
ZONED RSC

MISSION HEIGHTS
PLAT #5116
ZONED RSC

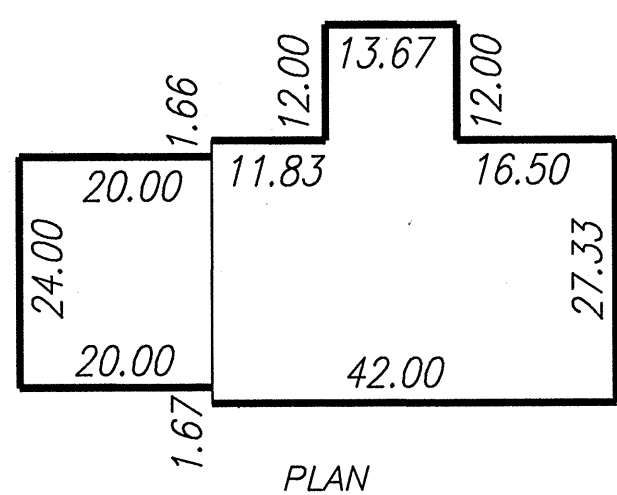


SITE ANALYSIS DATA CHART

- A. TOTAL PROJECT AREA: 19,966 S.F.±
- B. AREA OF SUBMISSION: 19,966 S.F.±
- C. LIMIT OF DISTURBED AREA: 15,088 S.F.±
- D. PRESENT ZONING DESIGNATION: R-SC
- E. PROPOSED USE: SINGLE FAMILY RESIDENTIAL
- F. FLOOR SPACE: PROPOSED (TOTAL) S.F.
- G. TOTAL NO. UNITS ALLOWED: 1
- H. TOTAL NO. UNITS PROPOSED: 1
- I. MAXIMUM # EMPLOYEES/TENANTS ONSITE: 0/0
- J. NUMBER OF PARKING SPACE REQUIRED: 2
- K. NUMBER OF PARKING SPACE PROVIDED: 2(IN GARAGE)
- L. OPEN SPACE ON SITE: 0 ACRES & 0% OF GROSS AREA
- M. AREA OF RECREATIONAL OPEN SPACE REQUIRED/PROVIDED: 0/0
- N. BUILDING COVERAGE: 1792 S.F.=0.0411 AC.=8.98%
- O. APPLICABLE DPZ FILE REFERENCES: F-77-163



FRONT VIEW RIGHT SIDE REAR VIEW LEFT SIDE



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS. HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER _____ DATE _____
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 _____ 5/17/05
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
 _____ 5/17/05
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
 _____ 5/17/05
 DIRECTOR DATE

SHANABERGER & LANE
 8726 TOWN & COUNTRY BLVD.
 SUITE 201
 ELLICOTT CITY, MD., 21043
 (410)-461-9563

INDEX OF SHEETS	
SHEET NO.	DESCRIPTION
1	PLAN VIEW
2	GRADING, EROSION & SEDIMENT CONTROL PLAN & DETAILS
3	LANDSCAPING PLAN/SOILS MAP

ADDRESS CHART	
LOT NO.	STREET ADDRESS
425 (LOT 3)	8726 MISSION ROAD

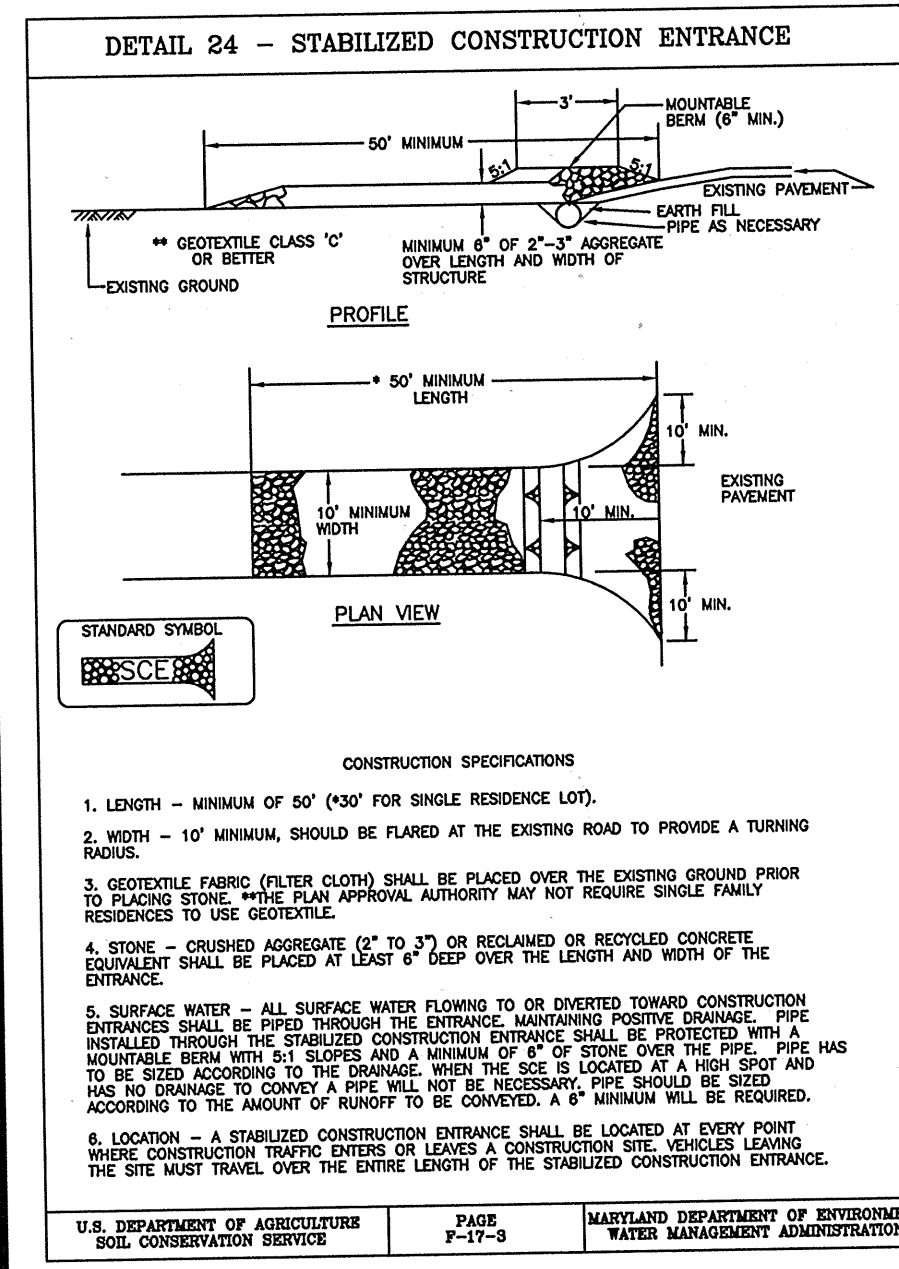
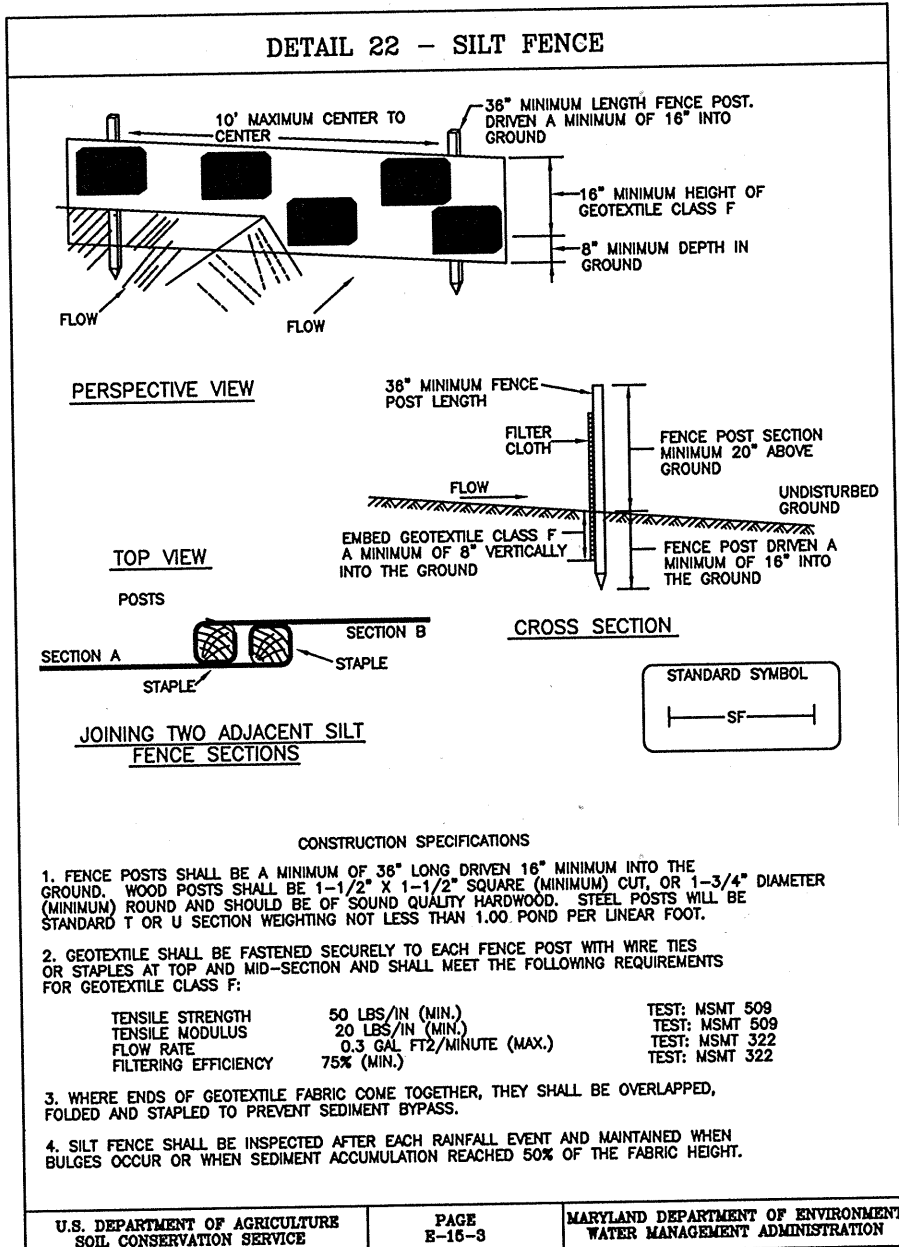
OWNER: MELVIN RILEY
 14401 DUNWOOD VALLEY DR.
 BOWIE, MD. 20747
 BUILDER: BAY STATE CUSTOM HOMES
 PO BOX 322
 BROOKVILLE, MD. 20833

PERMIT INFORMATION CHART	
DESIGNED	GSS
DRAWN	RGF
CHECKED	GSS
DATE	10/21/2004

PERMIT INFORMATION CHART			
SUBDIVISION NAME	DORSEY PROPERTY	SECTION/AREA	3 / 425
L/F	L.8423/F.689	GRID #	24
ZONE	R-SC	TAX/ZONE MAP	42
ELECT. DISTRICT	SIXTH	CENSUS TRACT	6069-07
WATER CODE:	E14	SEWER CODE:	4400900
SCALE	1"=20'	SHEET	1 OF 3
DRAWING	0413SDP1.dwg		
JOB NO.	04-13	COUNTY FILE NO.	NONE

SITE DEVELOPMENT PLAN-SINGLE FAMILY DETACHED
 LOT 3
 DORSEY PROPERTY
 (PLAT #3735)

TAX MAP 42 BLOCK 24 PARCEL 425
 6TH ELECTION DIST. HOWARD COUNTY MARYLAND
 SCALE: 1"=20' OCTOBER 12, 2004



SEDIMENT CONTROL NOTES

- A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction (313-1855).
- All vegetative and structural practices are to be installed according to the provisions of "Specifications for Soil Erosion and Sediment Control and Revisions Thereto".
- Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within:
 - 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1.
 - 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeters in accordance with Vol. 1, Chapter 7, of the Howard County Design Manual, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above, in accordance with the 1994 Maryland Standards and Specifications for Soil Erosion and Sediment Control. For permanent seedings, sod, temporary seeding and mulching (see G).
- Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- SITE ANALYSIS:

TOTAL AREA OF SITE	19,966 SF
AREA DISTURBED	15,068 SF
AREA TO BE ROOFED OR PAVED	3,322 SF
AREA TO VEGETATIVELY STABILIZED	11,746 SF
TOTAL CUT	140 CY
TOTAL FILL	379 CY
- OFFSITE WASTE/BORROW AREA LOCATION - RITE-WAY, APPROVED AND ACTIVE GRADING PERMIT.
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DPW SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON THE COMPLETION OF THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACKFILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.
- THE TOTAL AMOUNT OF SILT FENCE = 210 LF.

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LINED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER 3 INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING. IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: USE ONE OF THE FOLLOWING SCHEDULES:

- PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./SQUARE FEET) AND 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQUARE FEET) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS. PER ACRE 30-0-0 UREAFORM FERTILIZER (91 LBS./1000 SQUARE FEET).
- ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQUARE FEET) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23 LBS./1000 SQUARE FEET) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL.

SEEDING: FOR THE PERIODS MARCH 1 THRU APRIL 30, AND FROM AUGUST 15 THRU NOVEMBER 15, SEED WITH 2 1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS./1000 SQUARE FEET) FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS. PER ACRE OF WEEPING LOVEGRASS (.07 LBS./1000 SQUARE FEET) FOR THE PERIOD NOVEMBER 1 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQUARE FEET) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL 218 GALLONS PER ACRE (5 GAL./1000 SQUARE FEET) OF EMULSIFIED ASPHALT FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL./1000 SQUARE FEET) FOR ANCHORING.

MAINTENANCE: INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS DISCING OR OTHER RESEEDINGS.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER 3 INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: APPLY 600 LBS./ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQUARE FEET).

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 15 THRU OCTOBER 15, SEED WITH 2-1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS./1000 SQUARE FEET). FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS. PER ACRE OF WEEPING LOVEGRASS (.07 LBS./1000 SQUARE FEET) FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQUARE FEET) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL. PER ACRE (5 GAL./1000 SQUARE FEET) OF EMULSIFIED ASPHALT ON FLAT AREAS ON SLOPES 8 FT. OR HIGHER, USE 348 GAL. PER ACRE (8 GAL./1000 SQUARE FEET) FOR ANCHORING.

PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

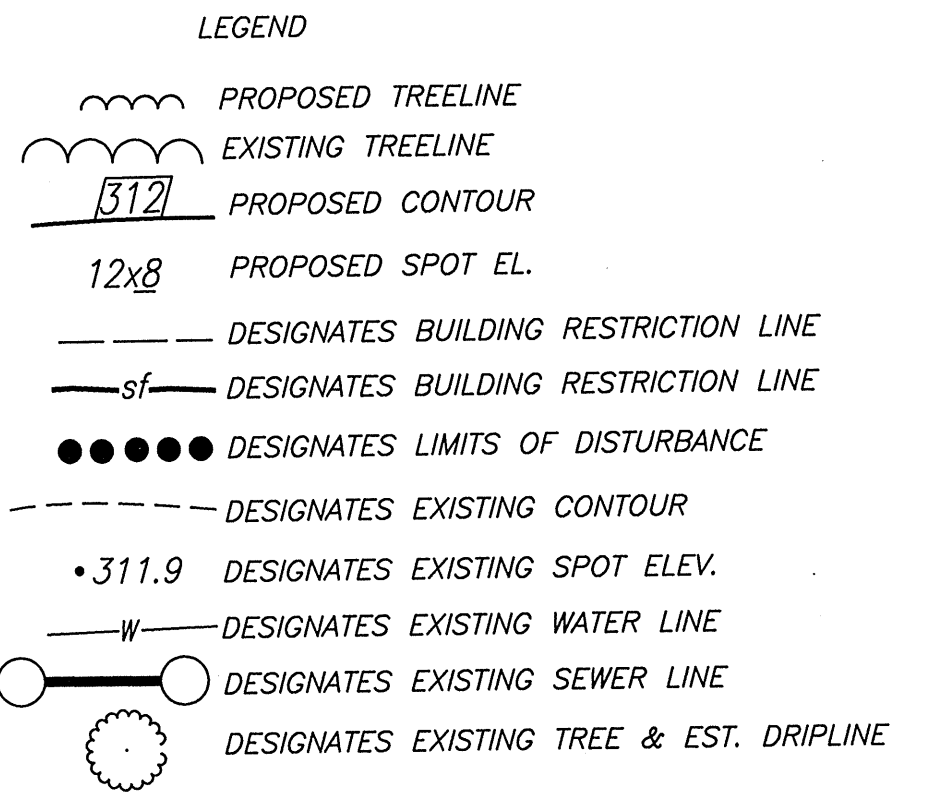
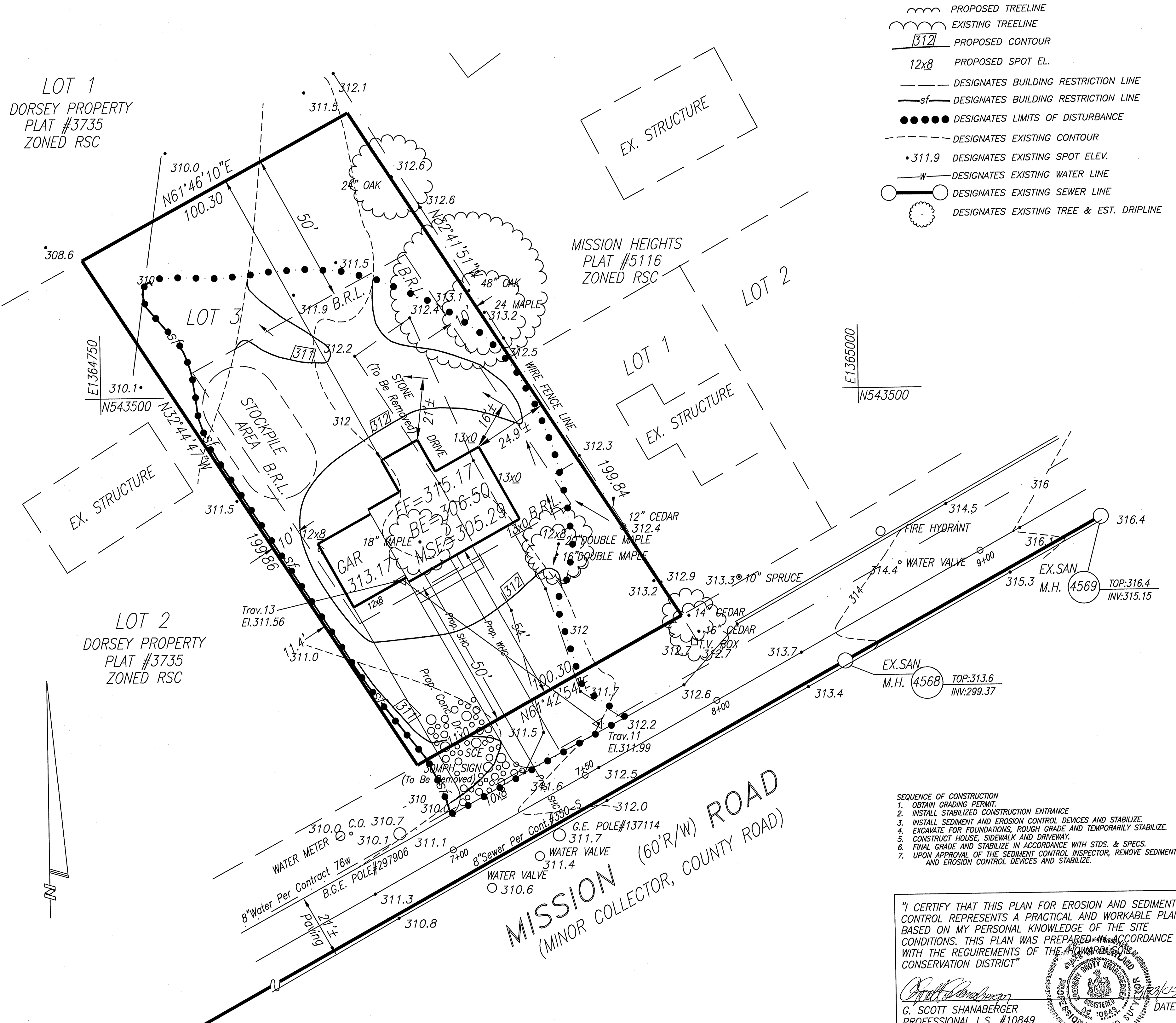
PURPOSE: TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETABLE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE APPLIES

- THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
 - THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
 - THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
 - THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
 - THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.
- FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

- TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.
- TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
 - TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, LOAMY SAND, OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR A SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 AND 1/2" IN DIAMETER.
 - TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
 - WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.
- FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:
 - PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.
- TOPSOIL APPLICATION
 - WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.
 - GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE PREVIOUSLY BEEN ESTABLISHED, SHALL BE MAINTAINED, ALBERT 4"-8" HIGHER IN ELEVATION.
 - TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4"-8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
 - TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.



SEQUENCE OF CONSTRUCTION

- OBTAIN GRADING PERMIT.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- INSTALL SEDIMENT AND EROSION CONTROL DEVICES AND STABILIZE.
- EXCAVATE FOR FOUNDATIONS, ROUGH GRADE AND TEMPORARILY STABILIZE.
- CONSTRUCT HOUSE, SIDEWALK AND DRIVEWAY.
- FINAL GRADE AND STABILIZE IN ACCORDANCE WITH STDS. & SPECS.
- UPON APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT AND EROSION CONTROL DEVICES AND STABILIZE.

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT"

Scott Shanaberger
 G. SCOTT SHANABERGER
 PROFESSIONAL L.S. #10849
 DATE 3-23-05

DEVELOPERS CERTIFICATE

"I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."

William Riley
 NAME AND TITLE
 DATE 3-23-05

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Chris Williams 5/11/05
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

Chris Williams 5/11/05
 CHIEF, DIVISION OF LAND DEVELOPMENT

March D. Ayler 5/12/05
 DIRECTOR

OWNER
NELVIN RILEY
 14401 DUNWOOD VALLEY DR.
 BOWIE, MD. 20747

BUILDER
 BAY STATE CUSTOM HOMES
 PO BOX 322
 BROOKVILLE, MD. 20833

DESIGNED	GSS	10/21/2004	GRADING, SEDIMENT & EROSION CONTROL PLAN SINGLE-FAMILY DETACHED LOT 3 DORSEY PROPERTY (PLAT #3735) TAX MAP 42 BLOCK 24 PARCEL 425 6TH ELECTION DIST. HOWARD COUNTY MARYLAND SCALE: 1"=20' OCTOBER 12, 2004	SCALE	1"=20'
DRAWN	RGF			DRAWING	0413SDP2.dwg
CHECKED	GSS			JOB NO.	04-13
DATE				FILE NO.	NONE
BY	NO.	REVISION	DATE		

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

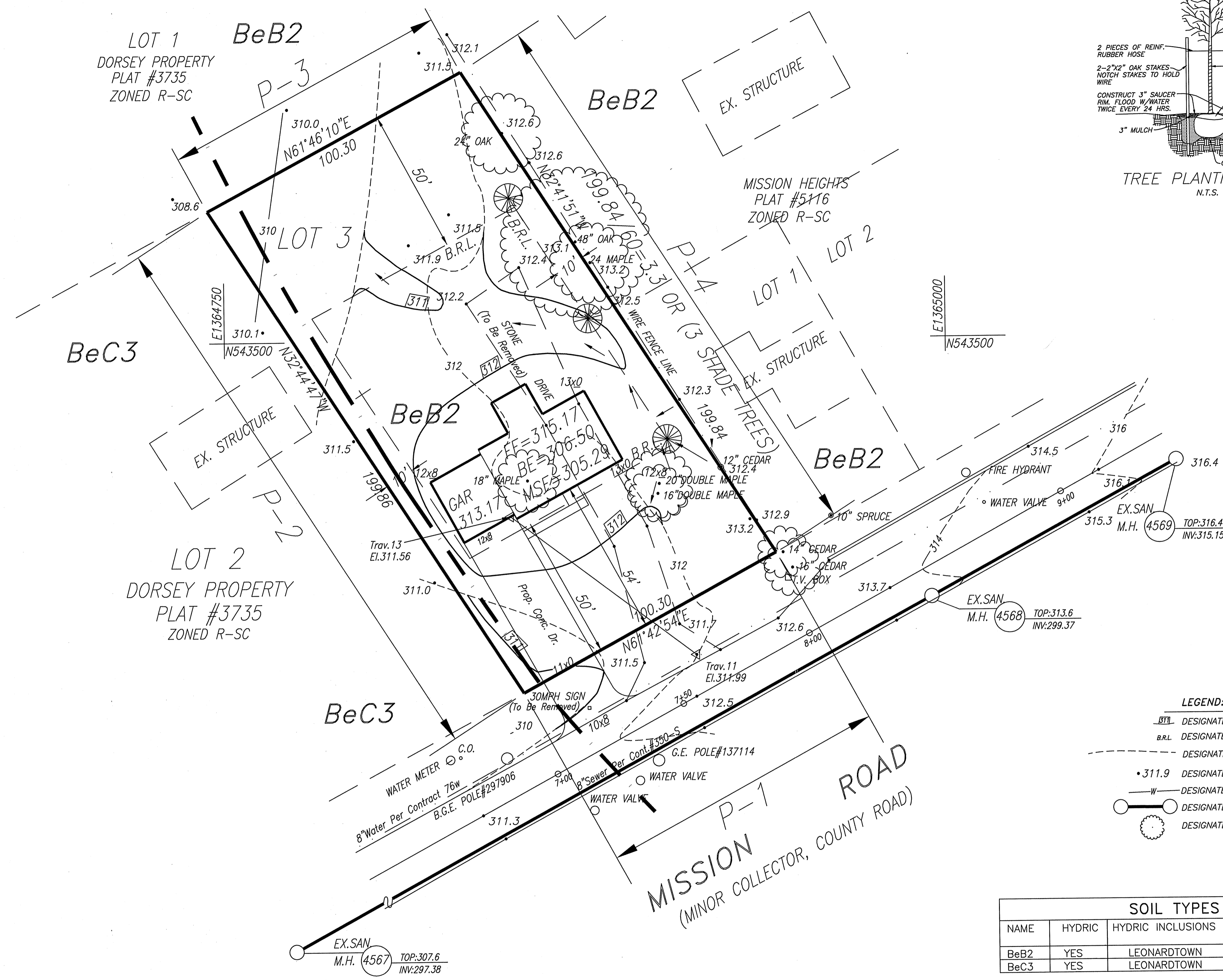
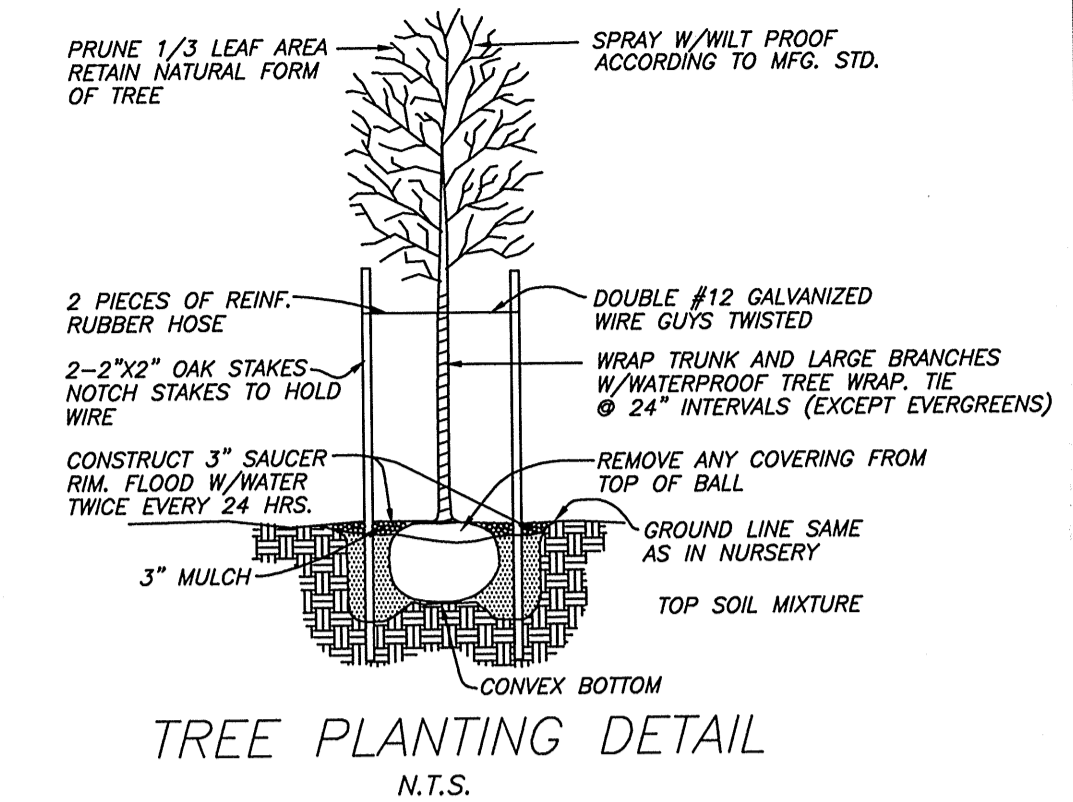
Jim Meyer 5/11/05
 USA - NATURAL RESOURCES CONSERVATION SERVICES DATE

John K. Blanton 5/11/05
 HOWARD SCD DATE

SHANABERGER & LANE
 8726 TOWN & COUNTRY BLVD.
 SUITE 201
 ELLICOTT CITY, MD., 21043
 (410)-461-9563

SDP-05-079

- NOTES:
1. THE PROPERTY IS ZONED : R-SC
 2. THE TOPOGRAPHY SHOWN HEREON WAS FIELD-RUN BY SHANBERGER & LANE IN JULY OF 2004.
 3. THIS PROPERTY IS SERVED BY EXISTING PUBLIC WATER AND SEWER.
 4. AREA OF PROPERTY : 19,966 SF±
 5. THERE ARE NO STEEP SLOPES ON THIS PROPERTY.
 6. FINANCIAL SURETY FOR THE REQUIRED 3 TREES IN THE AMOUNT OF \$90000 IS PART OF THE BUILDERS GRADING PERMIT APPLICATION FOR LOT 3



PLANT LIST

NAME	SIZE	SPACING	QUANTITY	LOCATION
ACER RUBRUM "OCTOBER GLORY" OCTOBER GLORY RED MAPLE (SHADE TREES)	2-1 1/2"-3" CAL.	SEE PLAN	3	(PROPOSED)

I CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPING MANUAL. I FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATE OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Melvin Riley 7-23-05
MELVIN RILEY DATE
Sayed A. Saadat 3/21/05
SEYED A. SAADAT DATE



SCHEDULE A PERIMETER LANDSCAPE EDGE

CATEGORY	P-1	P-2	P-3	P-4
LANDSCAPE TYPE	NONE	N/A	N/A	A
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER				200
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)				NO
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)				NO
NUMBER OF PLANTS REQUIRED				
SHADE TREES	0	0	0	3
EVERGREEN TREES	0	0	0	0
SHRUBS	0	0	0	0
NUMBER OF PLANTS PROVIDED				
SHADE TREES	0	0	0	3
EVERGREEN TREES	0	0	0	0
OTHER TREES(2:1 SUBSTITUTION)	0	0	0	0
SHRUBS(10:1 SUBSTITUTION)	0	0	0	0
(DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)				

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Chad Hovatt 5/12/05
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
Mark DeLorenzo 5/12/05
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DIRECTOR

BUILDER: BAY STATE CUSTOM HOMES, PO BOX 322, BROOKVILLE, MD. 20833
 OWNER: MELVIN RILEY, 14401 DUNWOOD VALLEY DR, BOWIE, MD. 20747

- LEGEND:**
- DESIGNATES PROPOSED CONTOUR
 - B.R.L. DESIGNATES BUILDING RESTRICTION LINE
 - - - - - DESIGNATES EXISTING CONTOUR
 - 311.9 DESIGNATES EXISTING SPOT ELEV.
 - - - - - DESIGNATES EXISTING WATER LINE
 - ○ ○ ○ ○ DESIGNATES EXISTING WATER LINE
 - ○ ○ ○ ○ DESIGNATES EXISTING TREE & EST. DRIPLINE

SOIL TYPES

NAME	HYDRIC	HYDRIC INCLUSIONS	SLOPES < 15% WITH HIGH EROSION POTENTIAL
BeB2	YES	LEONARDTOWN	1-5% SLOPES, MOD. ERODED
BeC3	YES	LEONARDTOWN	5-10% SLOPES, SEV. ERODED

DESIGNED: GSS
 DRAWN: RGF
 CHECKED: GSS
 DATE: 10/21/2004

SOILS MAP/LANDSCAPE PLAN
 SINGLE-FAMILY DETACHED
 LOT 3
 DORSEY PROPERTY
 (PLAT #3735)
 TAX MAP 42 BLOCK 24 PARCEL 425
 6TH ELECTION DIST. HOWARD COUNTY MARYLAND
 SCALE: 1"=20' OCTOBER 12, 2004

SCALE: 1"=20'
 DRAWING: 0413SDP3.dwg
 JOB NO.: 04-13
 FILE NO.: NONE

SHEET 3 OF 3

SHANBERGER & LANE
 8726 TOWN & COUNTRY BLVD.
 SUITE 201
 ELLICOTT CITY, MD., 21043
 (410)-461-9563

BY	NO.	REVISION	DATE

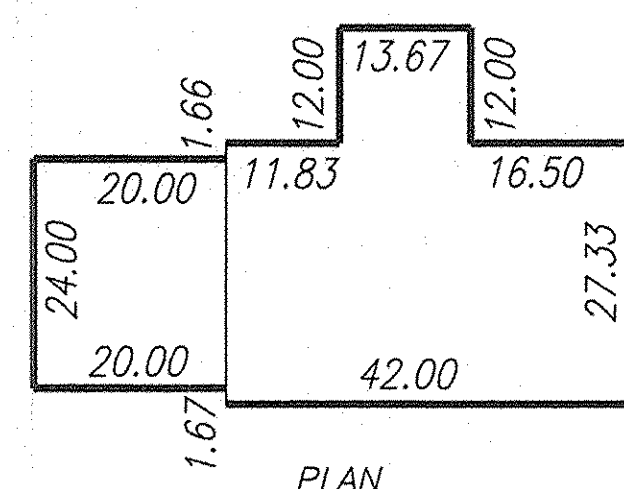
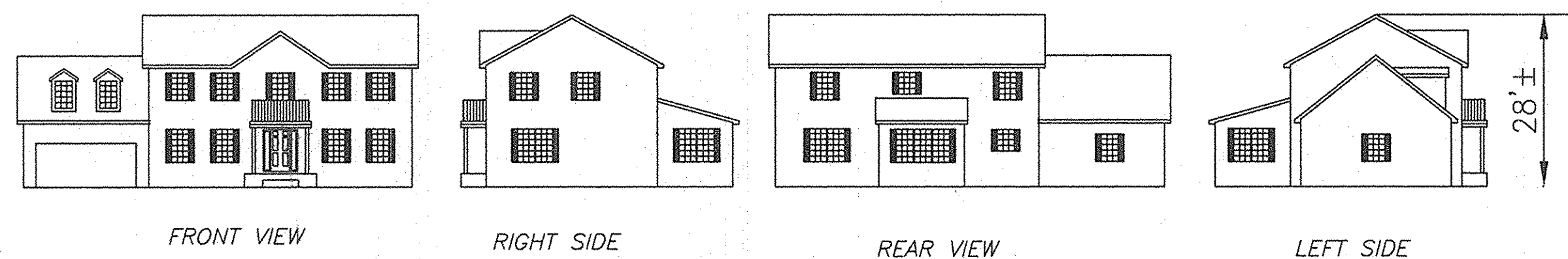
SECTION NUMBER	ROAD AND STREET CLASSIFICATION	PAVEMENT MATERIALS	
		FULL DEPTH BIT. CONC. ALTERNATE	GRANULAR BASE ALTERNATES
P-1	PARKING BAYS APARTMENTS AND COMMERCIAL- INDUSTRIAL ZONES WITH NO HEAVY TRUCKS		
	TRAVELWAYS FOR APARTMENTS AND COMMERCIAL INDUSTRIAL ZONES WITH NO HEAVY TRUCKS		

GENERAL NOTES

- THE SUBJECT PROPERTY IS ZONED R-SC PER THE 2/2/2004 COMPREHENSIVE ZONING PLAN.
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS; PORCHES OR DECKS, OPEN OR ENCLOSED, MAY PROJECT NOT MORE THAN 3 FEET INTO THE FRONT OR REAR YARD SETBACK.
- NO CLEARING, GRADING, OR CONSTRUCTION IS PERMITTED WITHIN THE REQUIRED WETLANDS, STREAMS, OR THEIR BUFFERS AND FOREST CONSERVATION EASEMENT AREAS.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE & OCCUPANCY PERMIT FOR ANY NEW DWELLING TO INSURE SAFE ACCESS FOR FIRE & EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - WIDTH: 12' (14' if serving more than one residence).
 - SURFACE: 6" of compacted crusher run base w/ tar & chip coating (1-1/2" min.).
 - GEOMETRY: Max. 15% grade, max. 10% grade change, and min. 45' turning radius.
 - STRUCTURES (culverts/bridges): capable of supporting 25 gross tons (H25 loading).
 - DRAINAGE ELEMENTS: capable of safely passing 100-yr. flood with no more than 1 foot depth over driveway surface.
 - MAINTENANCE: sufficient to insure all-weather use.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED 3 TREES IN THE AMOUNT OF \$900.00 IS PART OF THE BUILDERS GRADING PERMIT APPLICATION FOR LOT 3.
- THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BECAUSE THE LOT SIZE IS LESS THAN 40,000 SQ.FT.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT 410-315-1860 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREETS AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- THE EXISTING TOPOGRAPHY SHOWN IS BASED ON A SURVEY BY SHANBERGER & LANE IN JULY 2004 TIED TO NAD 83 HOWARD COUNTY CONTROL STATIONS:
 - HOWARD COUNTY MONUMENT NO. 421A EL:311.988
 - HOWARD COUNTY MONUMENT NO. 0080 EL:282.389
 - BENCHMARK: COUNTY MONUMENT 421A TRAVERSE NO. 11 EL. 311.99
 - BENCHMARK: REBAR SET TRAVERSE NO. 13 EL. 311.56
- BEARINGS, DISTANCES AND AREA SHOWN HEREON ARE FROM A BOUNDARY SURVEY PERFORMED BY SHANBERGER & LANE IN JULY OF 2004.
- WATER IS PUBLIC (CONTRACT #76W)
- SEWER IS PUBLIC (CONTRACT #350-S)
- THIS PLAN IS EXEMPT FROM STORMWATER MANAGEMENT BECAUSE THE NET CHANGE IN HYDROLOGIC CONDITIONS IS LESS THAN 5000 SF.
- EXISTING UTILITIES SHOWN HEREON WERE FIELD-LOCATED, WHERE POSSIBLE, AND SHOWN PER AVAILABLE PLANS OF RECORD IN OTHER CASES.
- A WETLANDS INVESTIGATION WAS PERFORMED BY EXPLORATION RESEARCH ON SEPTEMBER 10, 2004. THERE ARE NO WETLANDS ON THE LOT.
- THERE ARE NO STEEP SLOPES, STREAMS, BUFFERS, OR FLOODPLAINS ON THE LOT.

LEGEND

- PROPOSED TREELINE
- EXISTING TREELINE
- PROPOSED CONTOUR
- PROPOSED SPOT EL.
- DESIGNATES BUILDING RESTRICTION LINE
- DESIGNATES EXISTING CONTOUR
- DESIGNATES LIMIT OF DISTURBANCE
- 311.9 DESIGNATES EXISTING SPOT ELEV.
- DESIGNATES EXISTING WATER LINE
- DESIGNATES EXISTING SEWER LINE
- DESIGNATES EXISTING TREE & EST. DRIPLINE



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS. HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER DATE
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Shan Berger 5/12/05
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
Chris Harris 5/12/05
CHIEF, DIVISION OF LAND DEVELOPMENT DATE
Martha M. Coughlin 5/12/05
DIRECTOR DATE

SHANBERGER & LANE
8726 TOWN & COUNTRY BLVD.
SUITE 201
ELLCOTT CITY, MD., 21043
(410)-461-9563

SHEET NO.	DESCRIPTION
1	PLAN VIEW
2	GRADING, EROSION & SEDIMENT CONTROL PLAN & DETAILS
3	LANDSCAPING PLAN/SOILS MAP

ADDRESS CHART	
LOT NO.	STREET ADDRESS
PARCEL 425 (LOT 3)	8726 MISSION ROAD
EX. VEGETATIVE COMMUNITIES	

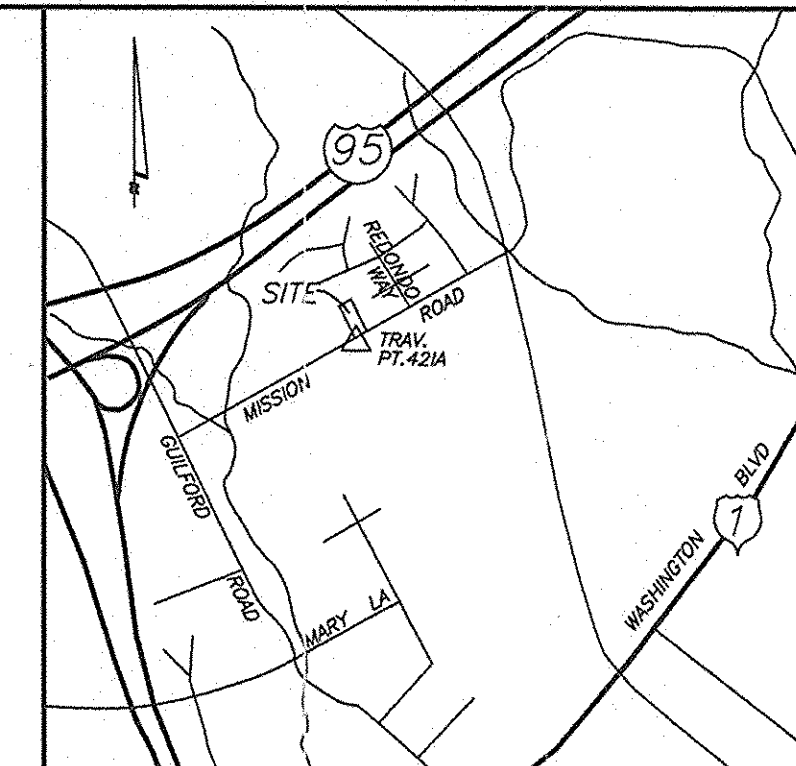
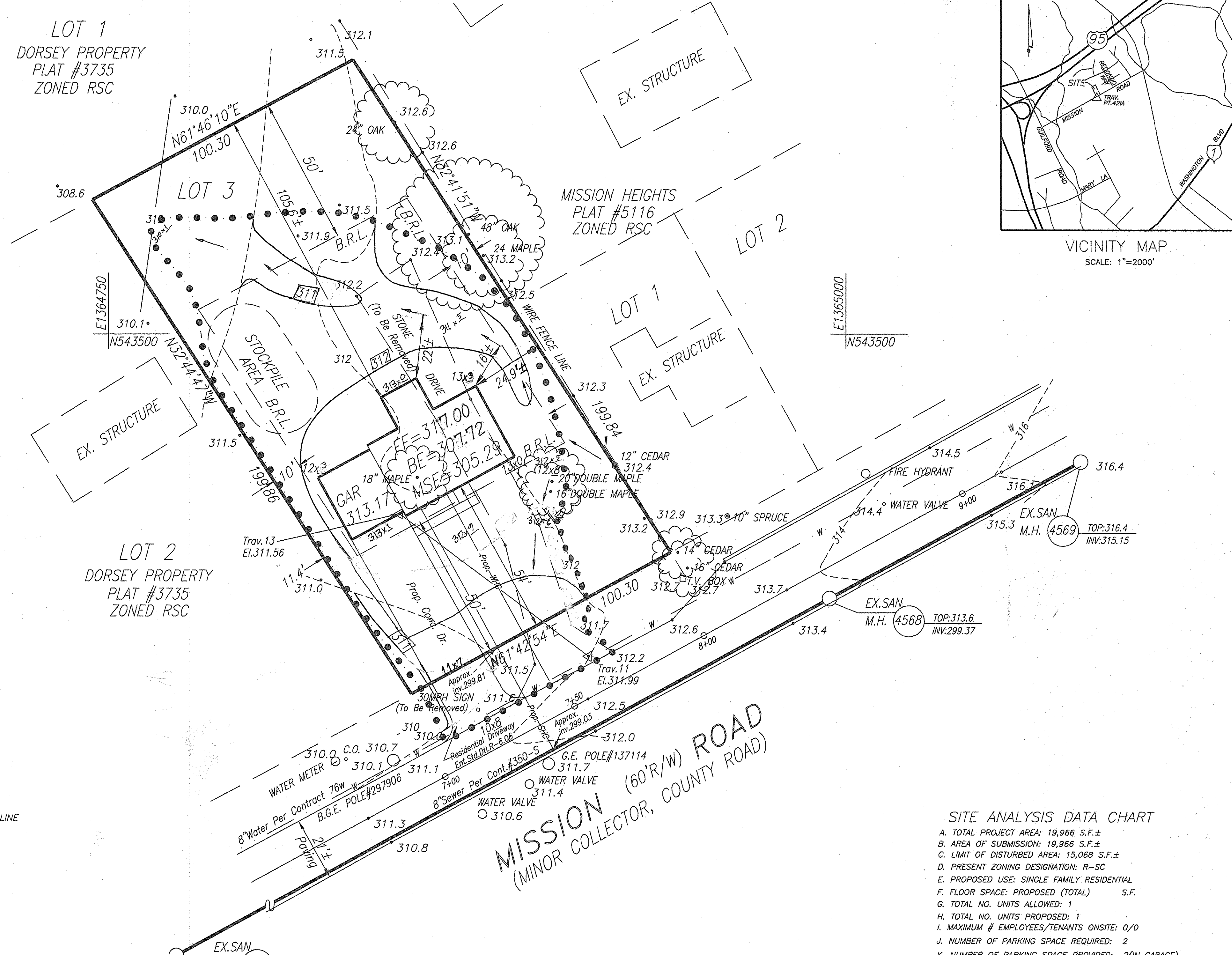
OWNER: MELVIN RILEY
BUILDER: BAY STATE CUSTOM HOMES
14401 DUNWOOD VALLEY DR. PO BOX 322
BOWIE, MD. 20747 BROOKVILLE, MD. 20833

DESIGNED	GSS
DRAWN	RGF
CHECKED	GSS
DATE	10/21/2004

SITE DEVELOPMENT PLAN-SINGLE FAMILY DETACHED
LOT 3
DORSEY PROPERTY
(PLAT #3735)
TAX MAP 42 BLOCK 24 PARCEL 425
6TH ELECTION DIST. HOWARD COUNTY MARYLAND
SCALE: 1"=20'

PERMIT INFORMATION CHART			
SUBDIVISION NAME DORSEY PROPERTY	SECTION/AREA 3 / 425	LOT/PARCEL 3 / 425	
L/F L.8423/F.669	GRID # 24	TAX/ZONE MAP R-SC 42	ELECT. DISTRICT SIXTH
WATER CODE: E14	SEWER CODE: 4400900	CENSUS TRACT 6069.01	

SCALE: 1"=20'
DRAWING: 0413SDP1.dwg
JOB NO.: 04-13
COUNTY FILE NO.: NONE
SHEET 1 OF 3



VICINITY MAP
SCALE: 1"=2000'

SITE ANALYSIS DATA CHART

- TOTAL PROJECT AREA: 19,966 S.F.±
- AREA OF SUBMISSION: 19,966 S.F.±
- LIMIT OF DISTURBED AREA: 15,068 S.F.±
- PRESENT ZONING DESIGNATION: R-SC
- PROPOSED USE: SINGLE FAMILY RESIDENTIAL
- FLOOR SPACE: PROPOSED (TOTAL) S.F.
- TOTAL NO. UNITS ALLOWED: 1
- TOTAL NO. UNITS PROPOSED: 1
- MAXIMUM # EMPLOYEES/TENANTS ONSITE: 0/0
- NUMBER OF PARKING SPACE REQUIRED: 2
- NUMBER OF PARKING SPACE PROVIDED: 2 (IN GARAGE)
- OPEN SPACE ON SITE: 0 ACRES & 0% OF GROSS AREA
- AREA OF RECREATIONAL OPEN SPACE REQUIRED/PROVIDED: 0/0
- BUILDING COVERAGE: 1792 S.F.=0.0411 AC.=8.98%
- APPLICABLE DPZ FILE REFERENCES: F-77-163