
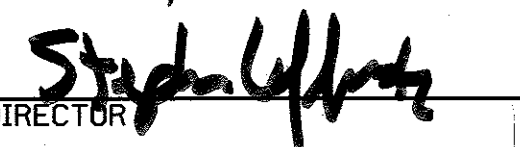



Construction Notes

1. THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS CONSTRUCTION INSPECTION DIVISION AT 410-313-1890 AT LEAST 24 HOURS PRIOR TO STARTING ANY OF THE WORK SHOWN HEREON.
2. ALL AREAS NOT BEING PAVED OR RECEIVING BUILDING COVERAGE SHALL BE STABILIZED IN ACCORDANCE WITH THE PLAN APPROVED BY THE HOWARD SOIL CONSERVATION DISTRICT.
3. THE CONTRACTOR SHALL NOTE THAT IN CASE OF DISCREPANCY BETWEEN ANY SCALED DIMENSIONS AND THE FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
4. CONTRACTOR SHALL MEET ALL EXISTING IMPROVEMENTS SMOOTHLY FOR LINE, GRADE AND FINISH.
5. ALL WORK SHOWN ON THESE PLANS SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS AND OF THE MARYLAND STATE HIGHWAY ADMINISTRATION AND THE HOWARD COUNTY PLUMBING CODE, UNLESS OTHERWISE NOTED.
6. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PERFORM SUCH WORK. THE COST OF SUCH WORK SHALL BE INCLUDED IN THE BASE BID.
7. THE CONTRACTOR SHALL INSPECT THE SITE TO DETERMINE IF ANY TREES, PAVING, ETC. ARE TO BE REMOVED PRIOR TO PLACING A BID ON SUCH ITEMS.
8. THE LOCATIONS OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE LOCATIONS ARE TAKEN FROM LOCATIONS. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 A MINIMUM OF 5 WORKING DAYS PRIOR TO DIGGING. THE CONTRACTOR SHALL CONFIRM TO HIS OWN SATISFACTION THE LOCATION OF ALL UTILITIES PRIOR TO ANY EXCAVATION OR PLACEMENT OF MATERIALS. IF ANY CONFLICT IS FOUND BETWEEN UNDERGROUND UTILITIES AND THE PROPOSED LOCATION OF ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT G. W. STEPHENS AND THE OWNER OF THE UTILITY IMMEDIATELY. ANY DAMAGE OR DISRUPTION OF SERVICE SHALL BE AT THE EXPENSE OF THE CONTRACTOR. RELOCATION OF ANY EXISTING UTILITIES, IF NECESSARY, SHALL BE AT THE EXPENSE OF THE OWNER. THE CONTRACTOR SHALL COORDINATE RELOCATION OF THESE FACILITIES, IF NECESSARY.
9. CONTRACTOR SHALL PROTECT ALL EXISTING TREES OUTSIDE THE LIMIT OF DISTURBANCE AT ALL TIMES DURING CONSTRUCTION.
10. CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS NOT SCHEDULED FOR REMOVAL OR DEMOLITION. COST OF REPAIR TO EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE BASE BID. ALL EXISTING SITE FEATURES NOT BEING RETAINED SHALL BE REMOVED AND DISPOSED OF AT AN APPROVED LOCATION. ANY DAMAGE TO OFFSITE ROADS, RIGHTS OF WAY, OR ADJACENT PROPERTY SHALL BE REPAIRED IMMEDIATELY AT THE EXPENSE OF THE CONTRACTOR.
11. THE CONTRACTOR SHALL CLEAR THE PROJECT SITE OF ALL TREES, PAVING, STRUCTURES, ETC. WITHIN THE CONSTRUCTION AREA UNLESS OTHERWISE NOTED ON THE PLAN.
12. ONLY SUITABLE MATERIAL SHALL BE USED AS FILL AND ALL FILL SHALL BE PLACED AND COMPACTED AS SPECIFIED IN THE SOILS REPORT PREPARED FOR THIS SITE OR AS RECOMMENDED BY THE EXCEPTING THOSE ASSOCIATED WITH LANDSCAPE BERMING. ALL GRADING UNDER PROPOSED PAVING, AND ALL FILL AND COMPACTION SHALL BE APPROVED BY A GEOTECHNICAL ENGINEER.
13. CONTRACTOR SHALL PROVIDE MINIMUM 4 FOOT BENCH AT EDGE OF PAVING IN FILL AREAS. MAXIMUM SLOPE OF BENCH SHALL BE 4% (1/4 IN PER FOOT).
14. MAXIMUM SLOPE SHALL BE 2 HORIZONTALLY TO 1 VERTICALLY.
15. CONTRACTOR SHALL PLACE 4" MINIMUM TOPSOIL IN LANDSCAPE AREAS.
16. CONTRACTOR SHALL PLACE A WITNESS POST AT THE TERMINUS OF ALL UTILITY STUBS.
17. CONTRACTOR SHALL PROVIDE A MINIMUM OF 1 FOOT OF PROTECTIVE FILL OVER STORM DRAIN PIPES DURING CONSTRUCTION.
18. ALL TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES." ALL STREET AND REGULATORY SIGNS SHALL BE INSTALLED PRIOR TO INSTALLATION OF FINISHED PAVING.
19. THE CONTRACTOR SHALL REPAIR ANY EXISTING BITUMINOUS PAVING OR SUB-BASE WHICH IS DAMAGED OR REMOVED DURING CONSTRUCTION. ALL EXCAVATED AREAS SHALL BE BACKFILLED AND IN ACCORDANCE WITH THE SOILS REPORT AND/OR AS DIRECTED BY GEOTECHNICAL ENGINEER. ANY AREAS TO BE PAVED WHICH EXHIBIT UNSTABLE SUBGRADE CONDITIONS SHALL BE EXCAVATED TO BEARING SOIL, REFILLED AND COMPACTED.
20. IN AN AREA WHERE EXCAVATION IS NEEDED WITHIN THE ROAD RIGHT-OF-WAY, EXCAVATION MUST BE MADE WITHIN ONE (1) FOOT OF THE FINAL SUBGRADE.
21. WHERE FILL IS PROPOSED WITHIN THE ROAD RIGHT-OF-WAY, THE FILL SHALL BE A MINIMUM OF TWO (2) FEET BELOW THE FINAL ROAD SUBGRADE.
22. ALL EXTERIOR LIGHT FIXTURES SHALL BE ORIENTED TO DIRECT LIGHT INWARDS AND DOWNWARDS ON-SITE AWAY FROM ALL ADJOINING RESIDENTIAL PROPERTIES AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 154 OF THE HOWARD COUNTY ZONING REGULATIONS.
23. ALL STORM DRAINS TO BE RCP OR HDPE UNLESS OTHERWISE NOTED.


APPROVED: Howard County Department of Planning and Zoning

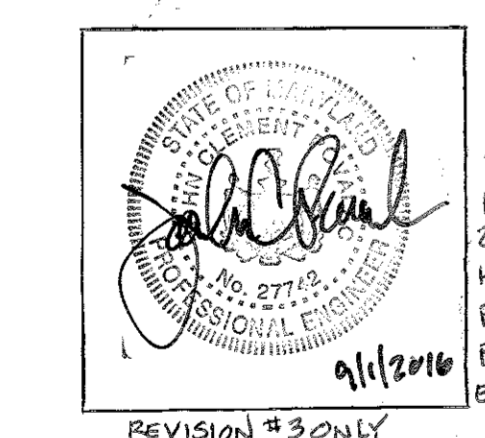
 7/13/05
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

 7/13/05
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

 7/13/05
 DIRECTOR DATE

PREPARED BY:


GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
 Civil Engineers and Land Surveyors
 1020 Cromwell Bridge Road
 Towson, Maryland 21286
 (410) 825-8120



REVISION #3 PREPARED BY:
 BALTIMORE LAND DESIGN GROUP, INC.
 230 SCHILLING CIRCLE, SUITE 264
 HUNT VALLEY, MARYLAND 21081
 PHONE: (410) 227-9851
 FAX: (410) 227-9850
 EMAIL: bldg@bldginc.com

REVISION #3 ONLY

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, JOHN C. RYVALA, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27743, EXPIRATION DATE: JULY 18, 2016.

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTIONS DIVISION AT (410) 313-1890 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
5. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. THE EXISTING TOPOGRAPHY IS TAKEN FROM A FIELD RUN SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY G. W. STEPHENS JR. & ASSOC. DATED SEPTEMBER 2004.
7. THE COORDINATES SHOWN HEREON ARE BASED UPON NATIONAL GEODETIC SURVEY CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. NATIONAL GEODETIC SURVEY MONUMENT NOS. J 109 AND U 25 WERE USED FOR THIS PROJECT.
8. WATER IS PUBLIC.
9. SEWER IS PUBLIC.
10. THE STORMWATER MANAGEMENT FACILITIES: POND NO.1 - MICRO POOL ED (P1), POND NO.2 - MICRO POOL ED (P1), POND NO.3 - MICRO POOL ED (P1) AND GROUND WATER RECHARGE FACILITY NO.4 (SERVES OVERALL SITE). INFILTRATION TRENCH (IT). THESE FACILITIES ARE PRIVATE AND TO BE MAINTAINED BY MERRITT PROPERTIES, LLC.
11. EXISTING UTILITIES ARE BASED ON CONTRACT NO. 713 W FOR WATER AND CONTRACT NO. 10-1523-D FOR SEWER.
12. THERE IS NO FLOOD PLAIN ON SITE.
13. THERE ARE WETLANDS ON SITE. THE WETLANDS STUDY WAS PREPARED BY ECO-SCIENCE PROFESSIONALS, INC. DATED 12/03/04.
14. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY TRAFFIC GROUP, DATED NOVEMBER 2004 AND WAS APPROVED ON **JUNE 1, 2005**.
15. THIS SITE IS ZONED CCT PER THE FEBRUARY 02, 2004 COMPREHENSIVE ZONING PLAN.
16. APPLICABLE FILES ARE F-05-103 AND WP-05-86.
17. ALL EXTERIOR LIGHTING WILL BE DIRECTED / REFLECTED AWAY FROM ALL ADJACENT PUBLIC ROADS AND RESIDENTIAL ZONED DISTRICTS, IN ACCORDANCE WITH SECTION 154 OF THE ZONING REGULATIONS. LIGHT TRESPASS ONTO AN ADJACENT "RSC" ZONING DISTRICT IS LIMITED TO 0.1 FOOT CANDLES.
18. THERE ARE NO CEMETERIES OR BURIAL GROUNDS LOCATED ON THIS SITE.
19. THIS PROJECT COMPLES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR THE FOREST CONSERVATION WITH AN OBLIGATION OF 9.0 ACRES PROVIDED BY 3.6 ACRES OF ON-SITE RETENTION, 0.25 ACRES ON-SITE REFORESTATION WITH FOREST CONSERVATION SURETY IN THE AMOUNT OF \$36,800.20 PROVIDED WITH THE DPW (0.25 ACRES REFORESTATION x \$0.50 = \$5,445.00 AND 3.6 ACRES OF RETENTION x \$0.20 = \$31,363.20), DEVELOPER'S AGREEMENT AND 5.15 ACRES OF A FEE-IN-LIEU PAYMENT IN THE AMOUNT OF \$ 112,167.00.
20. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL WITH 122 SHADE TREES, AND 76 EVERGREEN TREES PROVIDED WITH THE LANDSCAPE SURETY IN THE AMOUNT OF \$49,000.00 WITH THE DPW. DEVELOPER'S AGREEMENT.
21. NO GRADING, REMOVAL OF VEGETATIVE COVER AND TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN 25 FEET OF A WETLANDS OR FOREST CONSERVATION EASEMENT, EXCEPT AS APPROVED PER WP-05-86.
 - a) A WAIVER PETITION (WP-05-86) HAS BEEN SUBMITTED AND APPROVED BY HOWARD COUNTY DEPT. OF PLANNING AND ZONING ON MARCH 7, 2005 FROM SECTION 16.116(a)(1) WHICH PROHIBITS GRADING, REMOVAL OF VEGETATIVE COVER AND TREES, PAVING AND NEW STRUCTURES WITHIN 25 FEET OF A WETLAND.
 - b) A PERMIT REQUEST (TRACKING NO. 05-NY-0020/200561919) HAS BEEN SUBMITTED AND APPROVED BY MARYLAND DEPARTMENT OF THE ENVIRONMENTAL NON-TIDAL WETLAND AND WATERWAYS DIVISION OF WATER MANAGEMENT ADMINISTRATION (WMA) ON DATE: **12/22/04** FOR ALTERATION OF ANY FLOODPLAIN, WATERWAY, TIDAL OR NON-TIDAL WETLANDS IN MARYLAND. A LETTER OF INTENT WAS ISSUED (DEC. 20, 2004) BY MDE TO APPROVE AND ISSUE A LETTER OF AUTHORIZATION (LOA) FOR THE DISTURBANCE OF THE WETLANDS.
22. THIS PROJECT IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL 45-2003 AND THE ZONING REGULATIONS AS AMENDED BY COUNCIL BILL 75-2003. DEVELOPMENT OR CONSTRUCTION ON THIS PROPERTY MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION APPLICATION OR BUILDING/GRADING PERMIT APPLICATIONS.
23. ACTIVITIES IN THE WETLAND BUFFER INDICATED AS PART OF PLAN REVISION #3 OF AUGUST 10, 2016 CONSISTING OF STORM WATER MANAGEMENT FACILITY POND #2 OUTFALL REPAIR AND CONSIDERING D NECESSARY IN ACCORDANCE WITH SECTION 16.116(c) OF SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.

BENCHMARKS

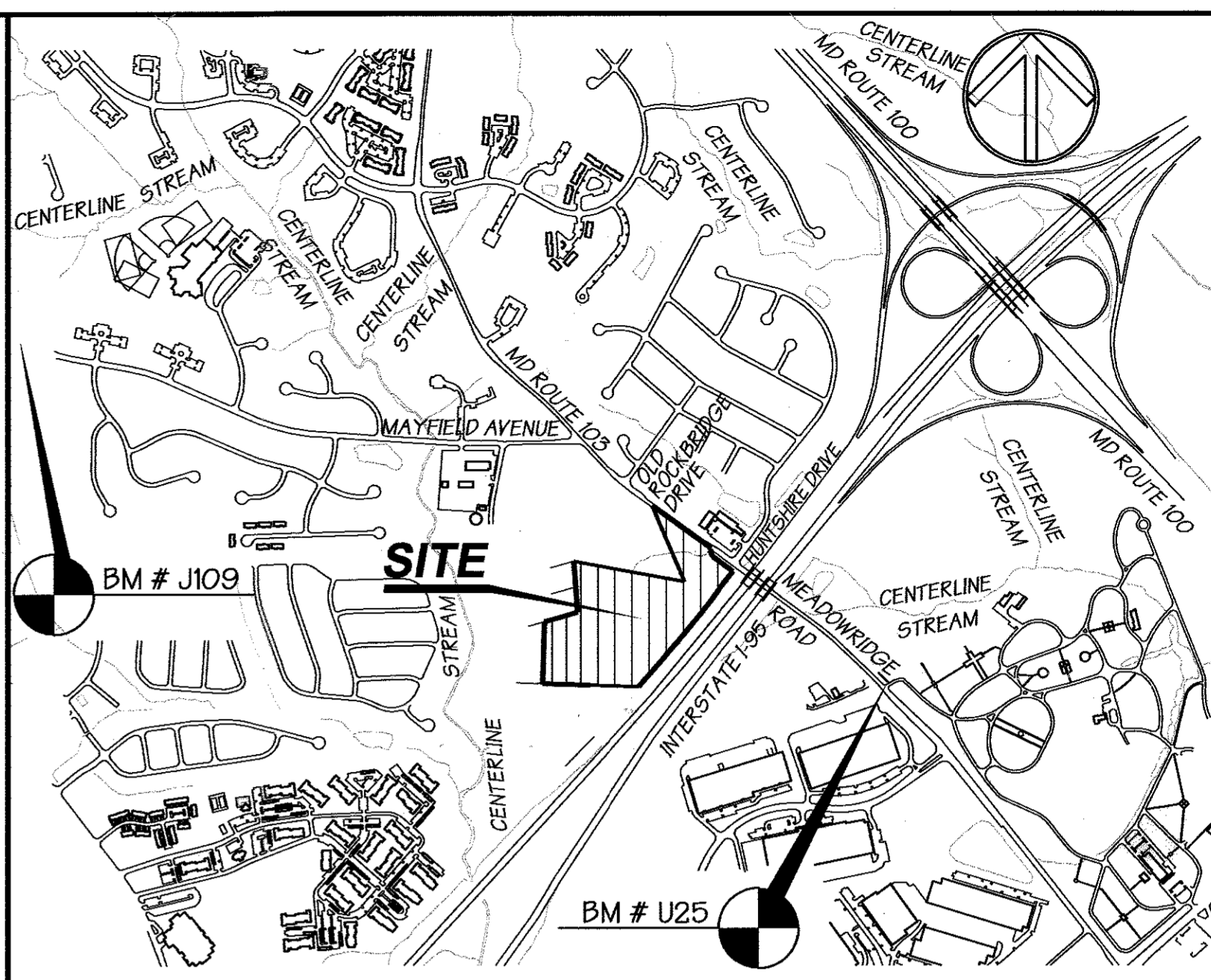
NOTE: HORIZONTAL AND VERTICAL DATUMS BASED ON (NAD 83) MARYLAND STATE COORDINATE SYSTEM AS PROJECTED BY NATIONAL GEODETIC SURVEY MONUMENT CONTROL STATIONS.

BM # J 109 ELEVATION 348.04 NAD 83
 THE DISK IS SET IN A CONCRETE MONUMENT PROJECTING TEN CENTIMETERS AND THE DISK IS STAMPED J 109 1965 USC AND GS

N 557,526.35 E 1,370,661.99

BM # U 25 ELEVATION 215.39 NAD 83
 THE DISK IS SET IN A ROUND CONCRETE POST PROJECTING SIX INCHES AND THE DISK IS STAMPED U 25 1957

N 554,701.88 E 1,377,647.62



Site Data

TOTAL AREA OF SITE - EXISTING ZONING - PROPERTY REFERENCE - EXISTING USE - PROPOSED USE - BUILDING COVERAGE - % OF BUILDING COVERAGE - FLOOR AREA - FLOOR AREA RATIO - AREA TO BE PAVED PLUS BUILDING AREA - TOTAL AREA OF PARKING LOT - % OF PARKING LOT COVERAGE - AREA TO BE DISTURBED - AREA TO BE VEGETATIVELY STABILIZED - PARKING SPACES REQUIRED (3.3 SP./1000 SF): PARKING SPACES PROVIDED: (INCLUDING 25 HANDICAP SPACES)	1,077,544 Sq. Ft. or 24.737 Ac. +/- CCT L. 5975 F. 118 VACANT GENERAL OFFICE 136,701 Sq. Ft. 12.8% 203,228 Sq. Ft. 0.23 548,850 Sq. Ft. or 12.6 Ac. 344,125 Sq. Ft. or 7.9 Ac. +/- 32% 808,100 Sq. Ft. or 18.55 Ac. +/- 259,250 Sq. Ft. or 5.95 Ac. +/- 812 SPACES 867 SPACES
---	---

Site Development Plans for THE MEADOWS CORPORATE PARK Parcel 'A' Howard County, Maryland SDP 05 - 072

SITE USE AND PARKING TABULATION

A. EXISTING USE VACANT	
B. NUMBER OF PARKING SPACES REQUIRED	
BUILDING NO. 1 - 29,760 SQ. FT.	OFFICE BUILDING - 3.3 SP. / 1,000 SQ. FT. X 29,760 SQ. FT. = 99 SPACES REQ'D INCLUDING 4 HANDICAPPED
BUILDING NO. 2 - 70,734 SQ. FT.	OFFICE BUILDING - 3.3 SP. / 1,000 SQ. FT. X 70,734 SQ. FT. = 234 SPACES REQ'D INCLUDING 7 HANDICAPPED
BUILDING NO. 3 - 70,734 SQ. FT.	OFFICE BUILDING - 3.3 SP. / 1,000 SQ. FT. X 70,734 SQ. FT. = 234 SPACES REQ'D INCLUDING 7 HANDICAPPED
BUILDING NO. 4 - 32,000 SQ. FT.	OFFICE BUILDING - 3.3 SP. / 1,000 SQ. FT. X 32,000 SQ. FT. = 106 SPACES REQ'D INCLUDING 7 HANDICAPPED
	TOTAL OFFICE BUILDING = 203,228 SQ. FT. = 673 SPACES REQ'D INCLUDING 25 HANDICAPPED
C. TOTAL NUMBER OF PARKING SPACES PROVIDED 812 SPACES INCLUDING 25 HANDICAPPED	

NOTE:
 The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.

BY	NO.	REVISION	DATE
HP	1	REV. PARKING TAB. & BUILDING AREA NO. 1	9/9/05
HP	2	REV. PARKING TAB. & BUILDING AREA NO. 4	5/10/06
JCP	3	REV. REPAIR SWM FACILITY POND #2 OUTFALL	8/10/16

Index of Sheets

- SHEET NO. 1 - COVER SHEET
- SHEET NO. 2 - EXISTING CONDITIONS PLAN
- SHEET NO. 3 - EXISTING CONDITIONS PLAN
- SHEET NO. 4 - SITE PLAN
- SHEET NO. 5 - SITE PLAN
- SHEET NO. 6 - SITE PLAN DETAILS
- SHEET NO. 7 - SITE PLAN DETAILS
- SHEET NO. 8 - BUILDING SECTIONS
- SHEET NO. 9 - DRAINAGE AREA MAP AND STORM DRAIN COMPUTATIONS
- SHEET NO. 10 - STORM DRAIN PROFILES
- SHEET NO. 11 - STORM DRAIN PROFILES
- SHEET NO. 12 - SANITARY SEWER PROFILES
- SHEET NO. 13 - STORMWATER MANAGEMENT PLAN & PROFILES POND NO. 1
- SHEET NO. 14 - STORMWATER MANAGEMENT PLAN, PROFILES & DETAILS POND NO. 1 & 3
- SHEET NO. 15 - STORMWATER MANAGEMENT NOTES & DETAILS POND NO. 1
- SHEET NO. 16 - STORMWATER MANAGEMENT NOTES & DETAILS POND NO. 3
- SHEET NO. 17 - STORMWATER MANAGEMENT PLAN & PROFILES POND NO. 2
- SHEET NO. 18 - STORMWATER MANAGEMENT NOTES & DETAILS POND NO. 2
- SHEET NO. 19 - GROUND WATER RECHARGE FACILITY No. 4 PLAN, PROFILES & DETAILS
- SHEET NO. 20 - STORMWATER MANAGEMENT NOTES & DETAILS POND NO. 2
- SHEET NO. 21 - STORMWATER MANAGEMENT SOIL BORING DETAILS
- SHEET NO. 22 - STORMWATER MANAGEMENT EXISTING DRAINAGE AREA MAP
- SHEET NO. 23 - STORMWATER MANAGEMENT PROPOSED DRAINAGE AREA MAP
- SHEET NO. 24 - EROSION AND SEDIMENT CONTROL PLAN
- SHEET NO. 25 - EROSION AND SEDIMENT CONTROL PLAN
- SHEET NO. 26 - EROSION AND SEDIMENT CONTROL NOTES AND DETAILS
- SHEET NO. 27 - SEDIMENT BASIN PLAN & PROFILES POND NO. 1
- SHEET NO. 28 - SEDIMENT BASIN NOTES & DETAILS POND NO. 1
- SHEET NO. 29 - SEDIMENT BASIN PLAN & PROFILES POND NO. 2
- SHEET NO. 30 - SEDIMENT BASIN NOTES & DETAILS POND NO. 2
- SHEET NO. 31 - SEDIMENT BASIN NOTES & DETAILS
- SHEET NO. 32 - RETAINING WALL NO. 2 - ELEVATIONS AND DETAILS
- SHEET NO. 33 - RETAINING WALL NO. 1 - ELEVATIONS AND DETAILS
- SHEET NO. 34 - FOREST CONSERVATION PLAN
- SHEET NO. 35 - FOREST CONSERVATION PLAN
- SHEET NO. 36 - WETLANDS AND FOREST STAND DELINEATION PLAN
- SHEET NO. 37 - WETLANDS AND FOREST STAND DELINEATION PLAN
- SHEET NO. 38 - LANDSCAPE PLAN
- SHEET NO. 39 - LANDSCAPE PLAN
- SHEET NO. 40 - SHA PLAN - ROAD WIDENING AND DETAILS
- SHEET NO. 41 - SHA PLAN - DRAINAGE AREA MAP AND PROFILES
- SHEET NO. 42 - SHA PLAN - STRIPPING AND PAVEMENT MARKING PLAN
- SHEET NO. 43 - SHA PLAN - MITIGATION PLAN

Vicinity Map

SCALE: 1" = 100'

OWNER / DEVELOPER	ADDRESS CHART	
Merritt Properties, LLC 2066 Lord Baltimore Drive Baltimore, Maryland 21244	PARCEL NO. STREET ADDRESS	
	PAR. 'A' BLDG. NO. 1 6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103	
	PAR. 'A'2 BLDG. NO. 2 6518 MEADOWRIDGE ROAD MARYLAND ROUTE 103	
	PAR. 'A'3 BLDG. NO. 3 6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103	
PAR. 'A'4 BLDG. NO. 4 6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103		
PROJECT NAME	SECTION NAME	PARCEL # A
The Meadows Corporate Park	Elkridge	173, 179, 407, 412, 536 & 538
LIBER / FOLIO	GRID	ZONE
00614	22	CCT
TAX MAP	ELECT. DIST.	CENSUS TRACT
1573 / 755	37	601102
WATER CODE	SEWER CODE	
B-02	4820000	

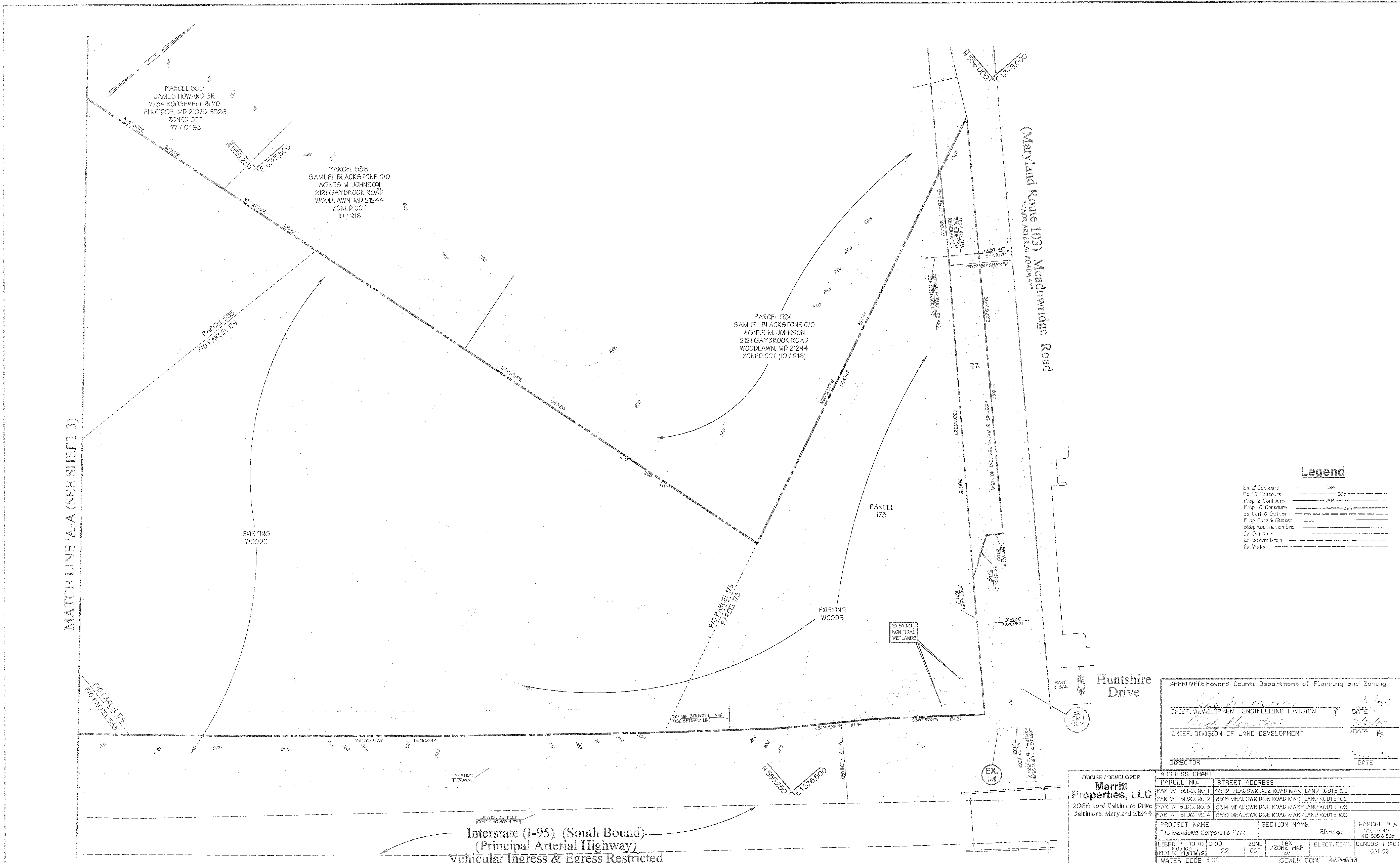
Cover Sheet

**The Meadows Corporate Park
Parcel 'A' THRU 'A-4'**

Site Improvements: General Offices SDP -05-072
 Election District No.1 Scale: As Shown
 Howard County, Maryland SHT. 1 OF 43 Date: December 06, 2004

SDP -05-072

File Name: 9698cover05-072.rvt; 10-9698



MATCH LINE 'A-A' (SEE SHEET 3)

Maryland Route 103 Meadowridge Road
"MINOR ARTERIAL ROADWAY"

Legend

Ex 2' Contours	---
Ex 10' Contours	---
Prop 2' Contours	---
Prop 10' Contours	---
Ex. Curb & Gutter	---
Prop Curb & Gutter	---
Blgd. Restriction Line	---
Ex. Secondary	---
Ex. Storm Drain	---
Ex. Water	---

APPROVED: Howard County Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* DATE *[Date]*

CHIEF, DIVISION OF LAND DEVELOPMENT *[Signature]* DATE *[Date]*

DIRECTOR *[Signature]* DATE *[Date]*

OWNER / DEVELOPER	ADDRESS CHART	
Merritt Properties, LLC 2066 Lord Baltimore Drive Baltimore, Maryland 21244	PARCEL NO. STREET ADDRESS	
	PAR 'A' BLDG. NO. 1 6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103	
	PAR 'A' BLDG. NO. 2 6518 MEADOWRIDGE ROAD MARYLAND ROUTE 103	
	PAR 'A' BLDG. NO. 3 6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103	
PAR 'A' BLDG. NO. 4 6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103		
PROJECT NAME	SECTION NAME	PARCEL NO.
The Meadows Corporate Park	Ekridge	173, 179, 407, 412, 535 & 536
LIBER / FOLIO / GRID	ZONE	TAX MAP
PLAT NO. 151715 22	CC1	57
WATER CODE B 02	SEWER CODE	4020000

Interstate (I-95) (South Bound)
(Principal Arterial Highway)
Vehicular Ingress & Egress Restricted

PREPARED BY:

GWS

GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
1020 Cromwell Bridge Road
Towson, Maryland 21286
(410) 825-8120

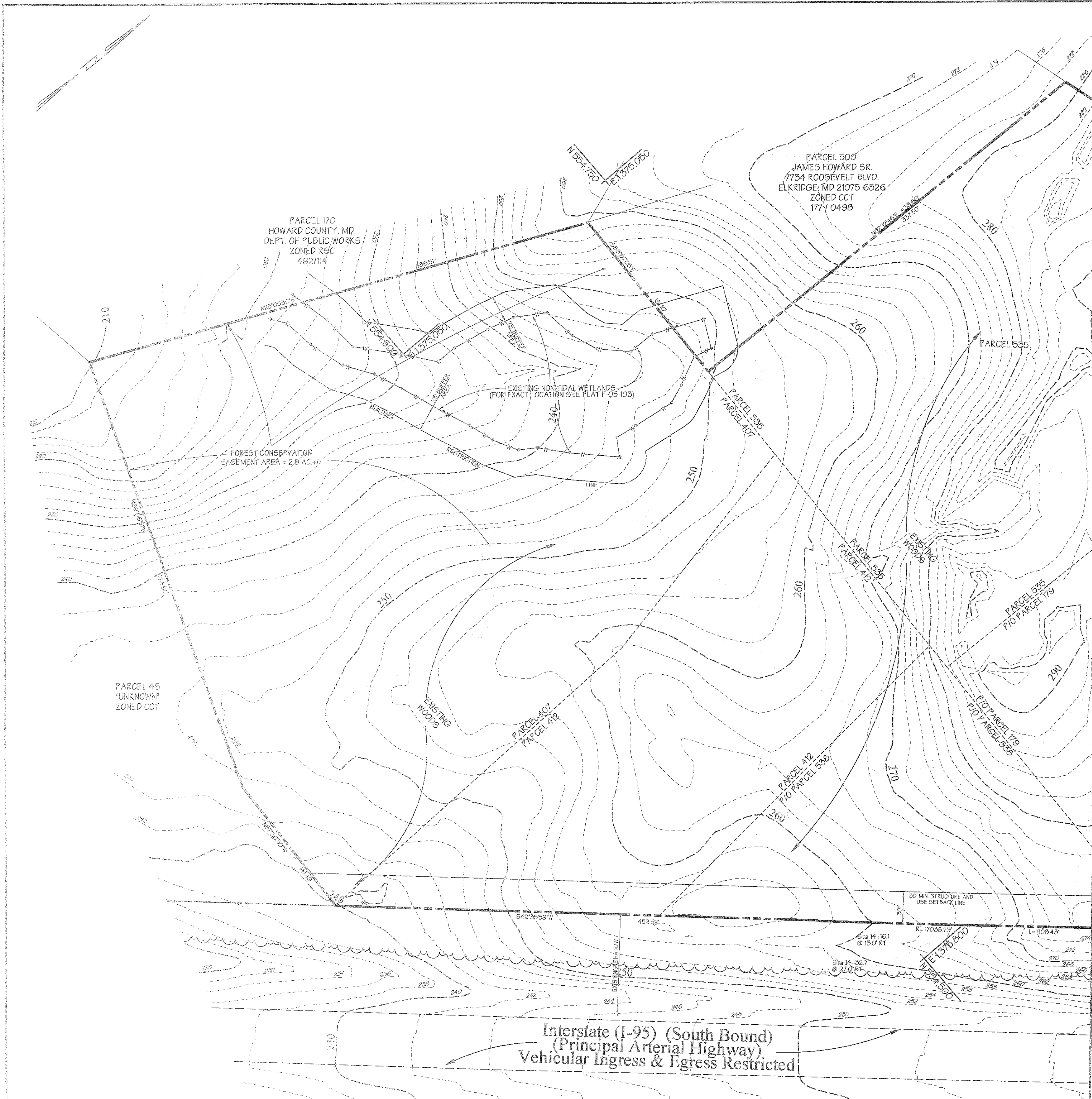
PLAN
SCALE: 1" = 50'

DESIGNED BY: H.P.P.
DRAWN BY: H.P.P.
CHECKED BY: H.P.P.
REVISIONS

Existing Conditions Plan
The Meadows Corporate Park
Parcel 'A'

Site Improvements: General Offices | SDP-05-072
Election District No. 1 | Scale: As Shown
Howard County, Maryland | SHT. 2 OF 43 | Date: December 06, 2004

SDP-05-072



MATCH LINE 'A-A' (SEE SHEET 2)

Legend

Ex. 2' Contours	---
Ex. 10' Contours	---
Prop. 2' Contours	---
Prop. 10' Contours	---
Ex. Curbs & Gutters	---
Prop. Curb & Gutter	---
Blkd. Restriction Line	---
Ex. Sanitary	---
Ex. Storm Drain	---
Ex. Water	---

APPROVED: Howard County Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* DATE: *[Date]*

CHIEF, DIVISION OF LAND DEVELOPMENT *[Signature]* DATE: *[Date]*

DIRECTOR *[Signature]* DATE: *[Date]*

OWNER / DEVELOPER Merritt Properties, LLC 2066 Lord Baltimore Drive Baltimore, Maryland 21244	ADDRESS CHART	
	PARCEL NO.	STREET ADDRESS
	PAR. 'A' BLDG. NO. 1	6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	PAR. 'A' BLDG. NO. 2	6518 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR. 'A' BLDG. NO. 3	6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103	
PAR. 'A' BLDG. NO. 4	6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103	
PROJECT NAME	SECTION NAME	PARCEL * A
The Meadows Corporate Park	Elkridge	173 178 207 112 336 4 539
LIBER / FOLIO / GRID	ZONE / ZONE MAP	ELECT. DIST. / CENSUS TRACT
05 103 / 22	CCT / 57	1 / 601102
PLAT NO. 11673-1-51		
WATER CODE 9 02	SEWER CODE 4020000	

DESIGNED BY: H.P.P.
DRAWN BY: H.P.P.
CHECKED BY: H.P.P.
REVISIONS

Existing Conditions Plan

The Meadows Corporate Park

Parcel 'A'

Site Improvements: General Offices SDP-05-072
Election District No.1 Scale: As Shown
Howard County, Maryland SH1 3 OF 43 Date: December 06, 2004
SDP-05-072

PREPARED BY:

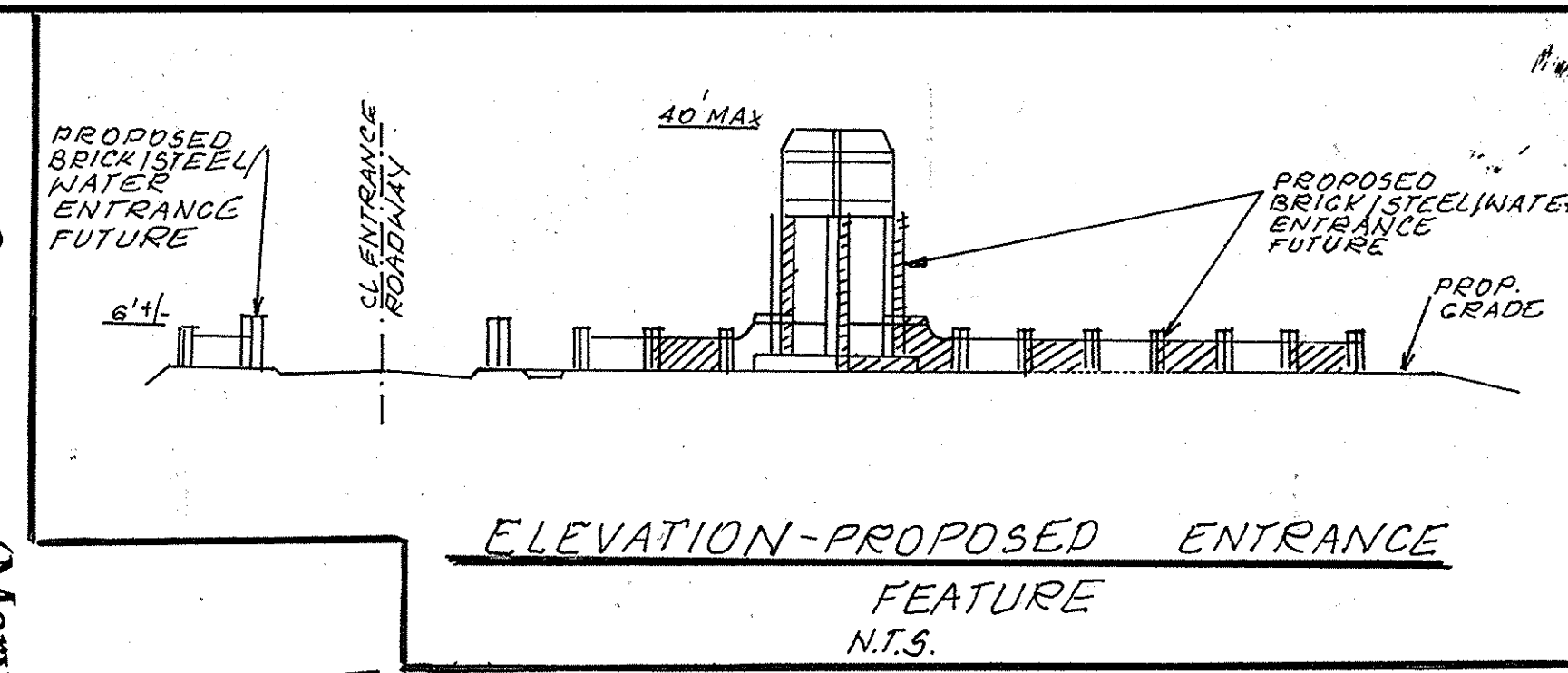
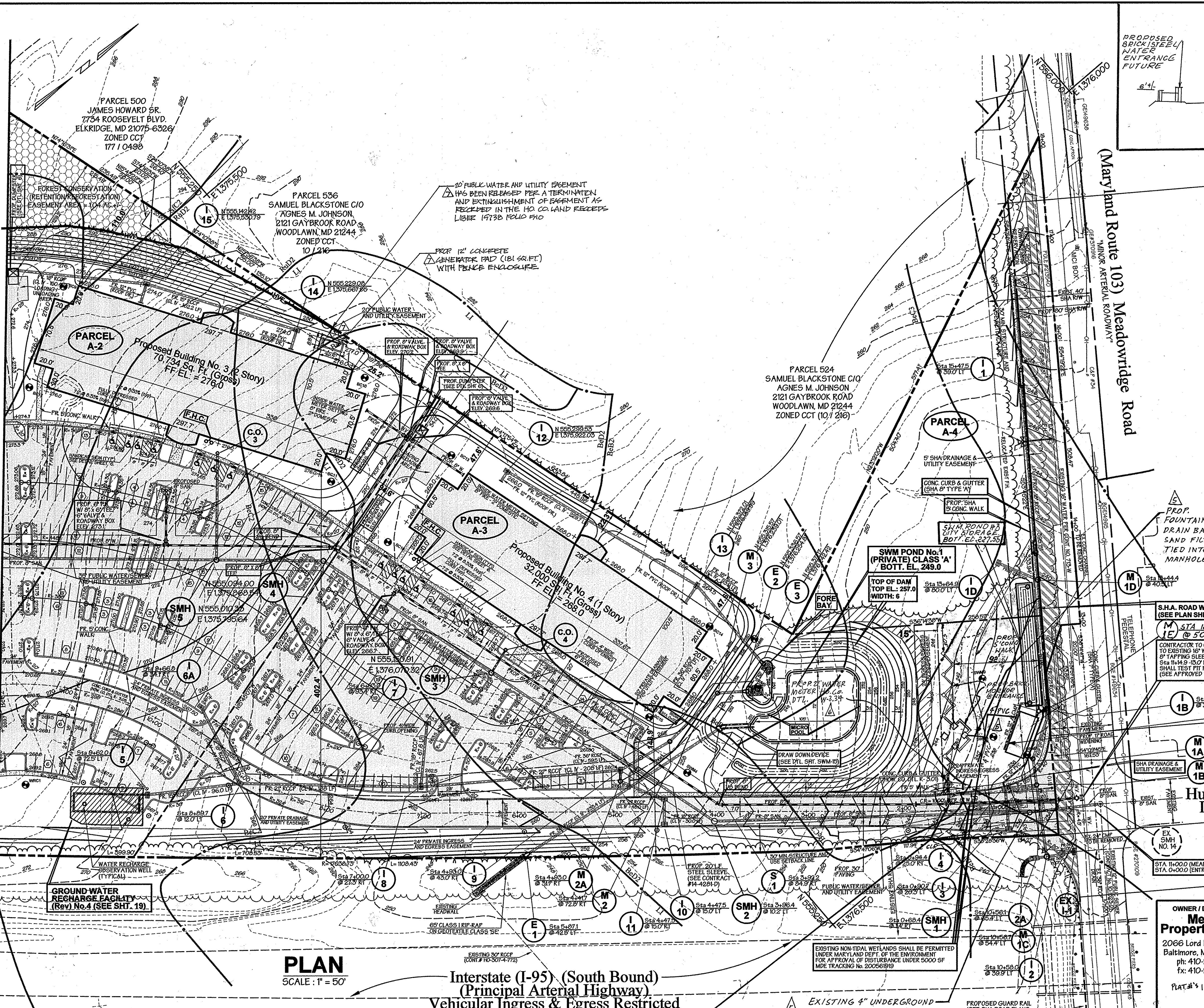
GWS

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(410) 828-8120

PLAN
SCALE: 1" = 50'

Interstate (I-95) (South Bound)
(Principal Arterial Highway)
Vehicular Ingress & Egress Restricted

MATCH LINE A-A (SEE SHEET 5)



Typical Lighting

TWIN 400 W METAL HALIDE FIXTURES ON 25' POLE TYPE 3 DISTRIBUTION WIDELITE AL3400 SERIES HORIZONTAL LAMP FLAT GLASS FULL CUT-OFF & FULL SHIELDED LIGHT FIXTURE INTENSITY: 22,000 LUMENS

SINGLE 400 W METAL HALIDE FIXTURES ON 25' POLE TYPE 3 DISTRIBUTION WIDELITE AL3400 SERIES HORIZONTAL LAMP FLAT GLASS FULL CUT-OFF & FULL SHIELDED LIGHT FIXTURE INTENSITY: 22,000 LUMENS

NOTE: ALL EXTERIOR LIGHTING SHALL CONFORM TO ZONING REGULATIONS, SECTION 154

Legend

PROPOSED SITE GAS & ELECTRIC	---	GAS/ELECTRIC
Ex. 2' Contours	---	394
Ex. 10' Contours	---	395
Prop. 2' Contours	---	394
Prop. 10' Contours	---	395
Ex. Curb & Gutter	---	
Prop. Curb & Gutter	---	
Blg. Restriction Line	---	
Ex. Sanitary	---	
Ex. Storm Drain	---	
Ex. Water	---	
Prop. Sanitary	---	
Prop. Storm Drain	---	
Prop. Water	---	
Light Duty Paving (P-2)	---	Light Duty Paving
Intermediate Duty Paving (P-3)	---	Intermediate Duty Paving
Heavy Duty Paving (P-5)	---	Heavy Duty Paving
Handicapped Detail No.	---	
PROPOSED FULL DEPTH PAVING (SEE DETAIL SHT. 6)	---	
PROPOSED SHA FULL DEPTH PAVING	---	
LIGHT POLE LOCATION	---	
TREE LINE TO REMAIN	---	
FOREST CONSERVATION EASEMENT	---	
HIGH VISIBLE FENCE	---	HVF

FOR PAVING LOCATION SEE SHEET 6 OF 43.

FOR REVISION NO. 7 PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED AND APPROVED BY ME, AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER LAWS OF THE STATE OF MARYLAND, LICENSE NO. 1097, EXPIRATION DATE 7/31/2010.

THE PURPOSE FOR REVISION NO. 7 IS TO ADD THE EMERGENCY GENERATOR CONCRETE PAD AND FENCE ENCLOSURE.

CONTRACTOR TO CONNECT PROPOSED 8" WATER LINE TO EXISTING 18" WATER FEED CONE NO. 70-W-8" BY TAPPING SLEEVE AND VALVE. STA 114+9 -130' LT (MEADOWRIDGE ROAD); CONTRACTOR SHALL TEST FIT FOR EXACT DEPTH AND LOCATION (SEE APPROVED PUBLIC CONSTRUCTION DRAWINGS).

PROF. FOUNTAIN 4" PVC DRAIN BACK TO SAND FILTER TIED INTO MANHOLE

S.H.A. ROAD WIDENING (SEE PLAN SHEET No. 40). STA 12+08.29 TO 50.09 LT

CONTRACTOR TO CONNECT PROPOSED 8" WATER LINE TO EXISTING 18" WATER FEED CONE NO. 70-W-8" BY TAPPING SLEEVE AND VALVE. STA 114+9 -130' LT (MEADOWRIDGE ROAD); CONTRACTOR SHALL TEST FIT FOR EXACT DEPTH AND LOCATION (SEE APPROVED PUBLIC CONSTRUCTION DRAWINGS).

SWIM POND NO. 3 WATER QUALITY BOT. EL. 227.55

NOTE: FOR 4" PVC FOUNTAIN UNDERDRAIN PROVIDE MIN. 3.5' COVER AND 1.0' MIN. CLEARANCE BETWEEN EXISTING UTILITIES.

NOTE: ALL ROOF DRAINS SHALL CONNECT TO THE STORM DRAIN SYSTEM AND DRAIN TO THE PROPOSED SWM PONDS AS SHOWN.

APPROVED: Howard County Department of Planning and Zoning

Michael D. ... DATE: 6/14/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION

Kent ... DATE: 6/15/06
CHIEF, DIVISION OF LAND DEVELOPMENT

Marsh ... DATE: 6/15/06
DIRECTOR

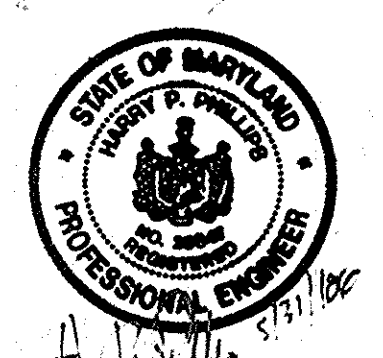
OWNER / DEVELOPER	ADDRESS CHART
Merritt Properties, LLC 2066 Lord Baltimore Drive Baltimore, Maryland 21244 ph: 410-298-2600 fx: 410-298-9644 PLAT #'s 18336-38	PARCEL NO. STREET ADDRESS
	PAR. 'A-1' BLDG. NO. 1 6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	PAR. 'A-2' BLDG. NO. 2 6518 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	PAR. 'A-3' BLDG. NO. 3 6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR. 'A-4' BLDG. NO. 4 6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103	
PROJECT NAME	SECTION NAME
The Meadows Corporate Park	Elkridge
LIBER / FOLIO GRID	ZONE
(PLAT NO. 1757379) 22	CCT
WATER CODE B-02	SEWER CODE 4020000

PLAN
SCALE: 1" = 50'

Interstate (I-95) (South Bound)
(Principal Arterial Highway)
Vehicular Ingress & Egress Restricted

PREPARED BY:

GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
1020 Cromwell Bridge Road
Towson, Maryland 21286
(410) 825-8120



NOTES: TREES AND/OR SHRUBS WILL NOT BE ALLOWED ON ANY ENBANKMENT, WILL NOT BE ALLOWED WITHIN THE BUFFER ZONE (15 FEET FROM TOE OF DAM) AND WILL NOT BE ALLOWED WITHIN A 25 FOOT RADIUS AROUND THE INLET STRUCTURE.

2" WATER SERVICE CONNECTION FOR 2" METER. Ho. Co. DTL W-3.21

PROPOSED WATER METER TO BE USED FOR ENTRANCE MONUMENT WATERFALL AND SHALL NOT EXTEND ACROSS THE PROPERTY LINE TO PARCELA-4

Note: Purpose for revision to this SDP. 5/29/06 To revise the entrance driveway, adjacent parking area, and associated storm drains and added additional landscape islands. Also, revised swim pond #3 and the Water Recharge Facility.

REVISION: ADDED 2" WATER METER FOR ENTRANCE MONUMENT WATERFALL BY GWS DATED 6/15/07

NO.	DATE	DESCRIPTION	BY
1	5/17/05	rev. front parking area	hfp
2	5/23/05	Revised utility notes & add prop. gas & electric	hfp
3	5/23/05	Revised SDP, entrance rdway, swim pond #3, front parking area, and storm drains. A-1 & A-2	hfp
4	7/27/05	ADDED 4" PVC UNDERDRAIN FOR FOUNTAIN	hfp
5	11/15/05	CONCRETE GENERATOR PAD AT ENTRANCE	hfp
6	DATE		
7	11/15/05	added, Basement Release shown	hfp

DESIGNED BY: H.F.P.
DRAWN BY: H.F.P.
CHECKED BY: H.F.P.

REVISIONS:
ADDED 4" PVC UNDERDRAIN FOR FOUNTAIN, BY GWS DATED 5/21/07

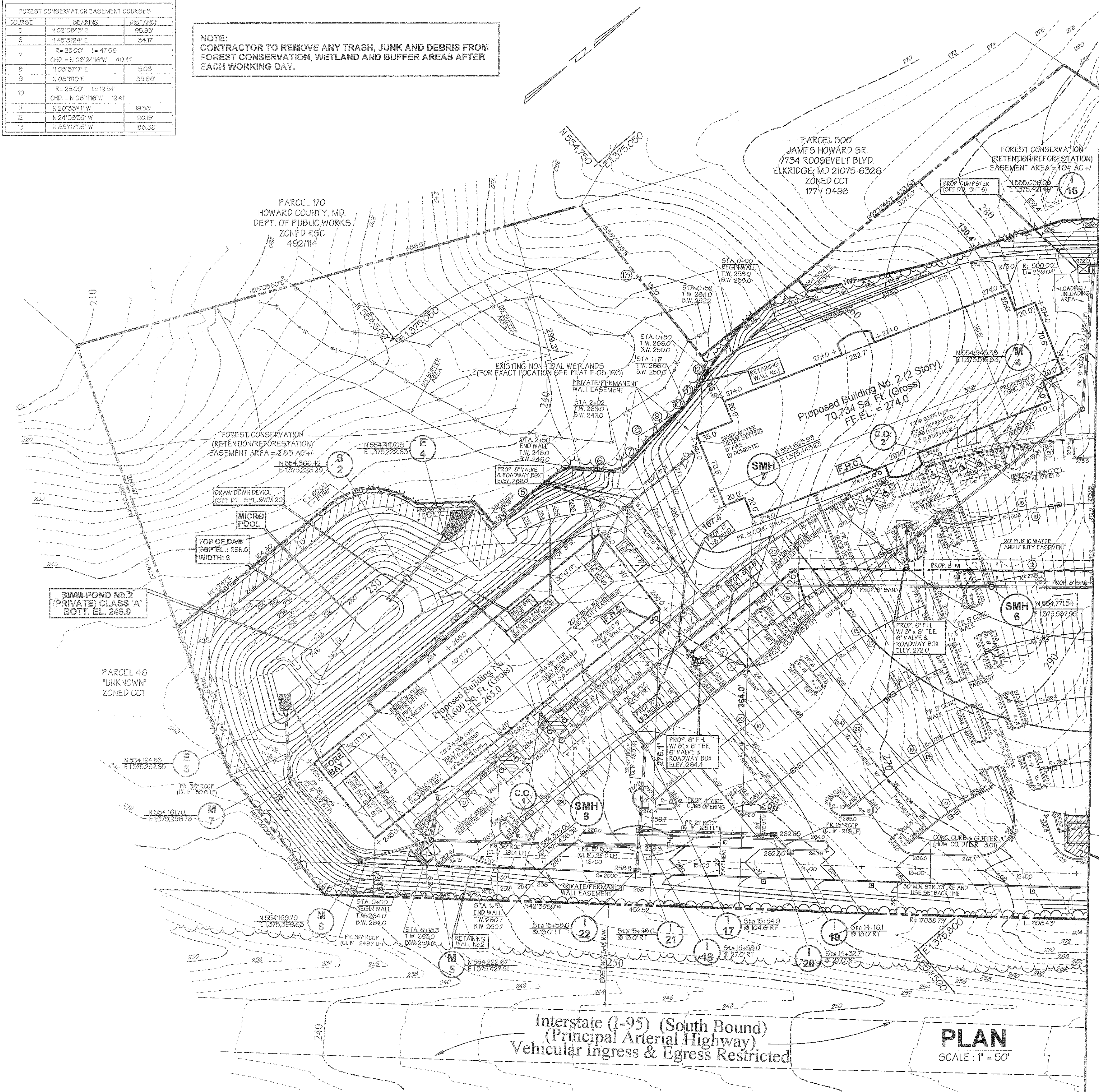
Revised Site Development Plan
Site and Grading Plan
The Meadows Corporate Park
Parcel 'A-1' thru Parcel 'A-4'

Site Improvements: General Offices
Election District No. 1
Howard County, Maryland
SDP-05-072
Scale: As Shown
Date: December 06, 2004

SDP-05-072

COURSE	BEARING	DISTANCE
1	N 02°09'30" E	89.37
2	N 45°52'41" E	54.17
3	R = 25.00' L = 47.06'	
4	CHD = N 08°24'16" W	40.41
5	N 08°57'17" E	9.06
6	N 08°11'02" E	39.69
7	R = 25.00' L = 12.54'	
8	CHD = N 08°11'02" W	12.41
9	N 20°33'41" W	19.52
10	N 24°38'35" W	20.15
11	N 25°07'05" W	166.58

NOTE:
CONTRACTOR TO REMOVE ANY TRASH, JUNK AND DEBRIS FROM FOREST CONSERVATION, WETLAND AND BUFFER AREAS AFTER EACH WORKING DAY.



Typical Lighting

- TWIN 400 W METAL HALIDE FIXTURES ON 25' POLE TYPE 3 DISTRIBUTION WIDELITE AL3M400 SERIES HORIZONTAL LAMP FLAT GLASS FULL CUT OFF & FULL SHIELDED LIGHT FIXTURE INTENSITY: 22,000 LUMENS
 - SINGLE 400 W METAL HALIDE FIXTURES ON 25' POLE TYPE 3 DISTRIBUTION WIDELITE AL3M400 SERIES HORIZONTAL LAMP FLAT GLASS FULL CUT OFF & FULL SHIELDED LIGHT FIXTURE INTENSITY: 22,000 LUMENS
- NOTE:
ALL EXTERIOR LIGHTING SHALL CONFORM TO ZONING REGULATIONS, SECTION 154

Legend

- Ex 2' Contours
 - Ex 10' Contours
 - Prop 2' Contours
 - Prop 10' Contours
 - Ex Curb & Gutter
 - Prop Curb & Gutter
 - Bldg. Restriction Line
 - Ex Sanitary
 - Ex Storm Drain
 - Ex Water
 - Prop Sanitary
 - Prop Storm Drain
 - Prop Water
- FOR PAVING LOCATION SEE SHEET 6 OF 43
- Light Duty Paving (P-2)
 - Intermediate Duty Paving (P-3)
 - Heavy Duty Paving (P-5)
- Handicapped Detail No. 3
- PROPOSED FULL DEPTH PAVING (SEE DETAIL SHT. 6)
- PROPOSED SHA FULL DEPTH PAVING
- LIGHT POLE LOCATION
- TREE LINE TO REMAIN
- FOREST CONSERVATION EASEMENT
- HIGH VISIBLE FENCE

NOTE:
ALL ROOF DRAINS SHALL CONNECT TO THE STORM DRAIN SYSTEM AND DRAIN TO THE PROPOSED SWM PONDS AS SHOWN.

APPROVED: Howard County Department of Planning and Zoning	
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE 16
DIRECTOR	DATE

OWNER / DEVELOPER	ADDRESS CHART
Merritt Properties, LLC 2066 Lord Baltimore Drive Baltimore, Maryland 21244	PARCEL NO. STREET ADDRESS
	PAR 'A' BLDG NO 1 6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	PAR 'A' BLDG NO 2 6519 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	PAR 'A' BLDG NO 3 6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR 'A' BLDG NO 4 6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103	
PROJECT NAME	SECTION NAME
The Meadows Corporate Park	Elkridge
LIBER / FOLIO GRID	ZONE
PLAT NO. 115715	22
WATER CODE B 02	SEWER CODE 4020000

DESIGNED BY: H.P.P.
DRAWN BY: H.P.P.
CHECKED BY: H.P.P.
REVISIONS

Site and Grading Plan
The Meadows Corporate Park
Parcel 'A'

Site Improvements: General Offices
Election District No.1
Howard County, Maryland

SDP-05-072
Scale: As Shown
Date: December 06, 2004
SHT. 5 OF 43

SDP-05-072
PR: 10 9668

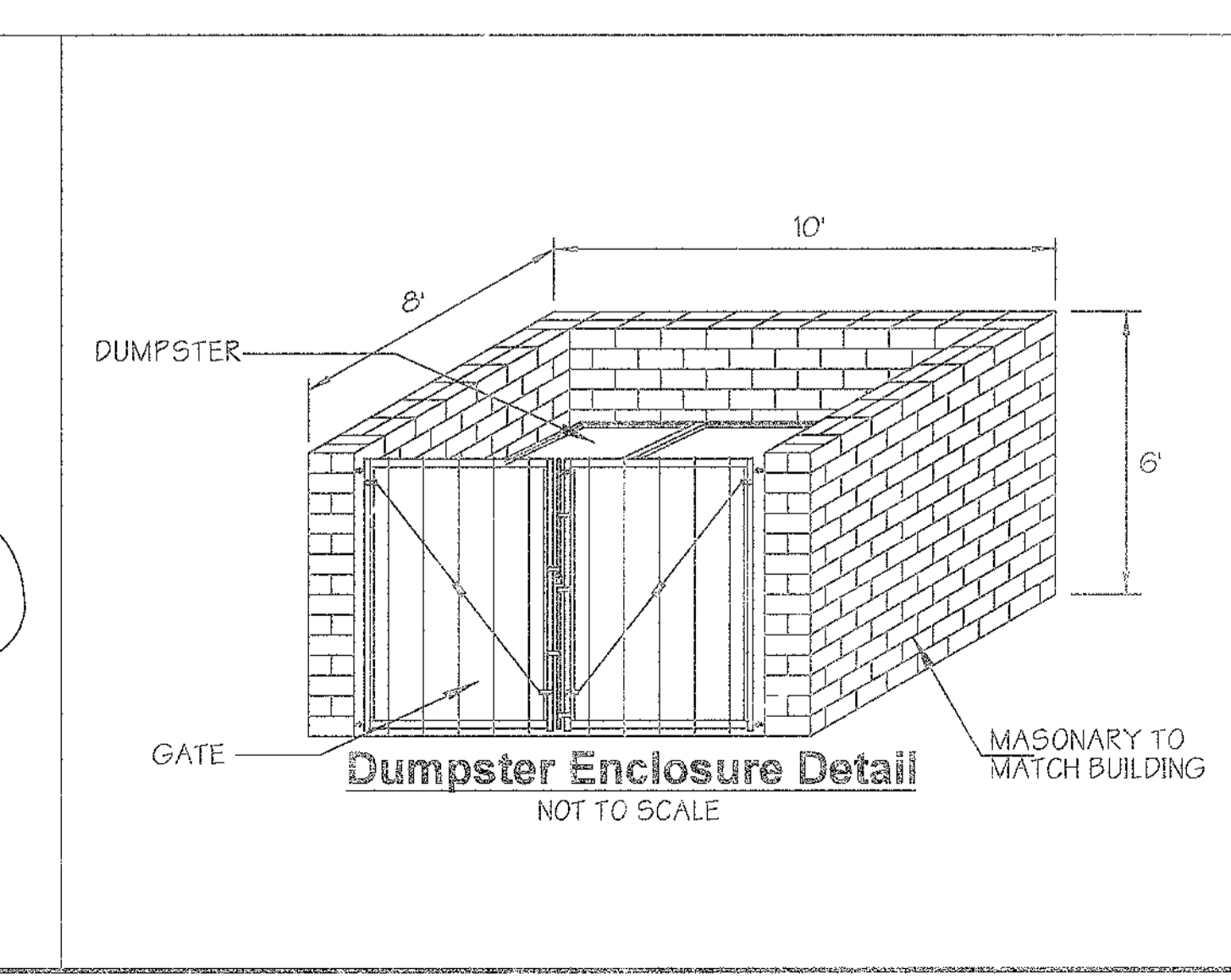
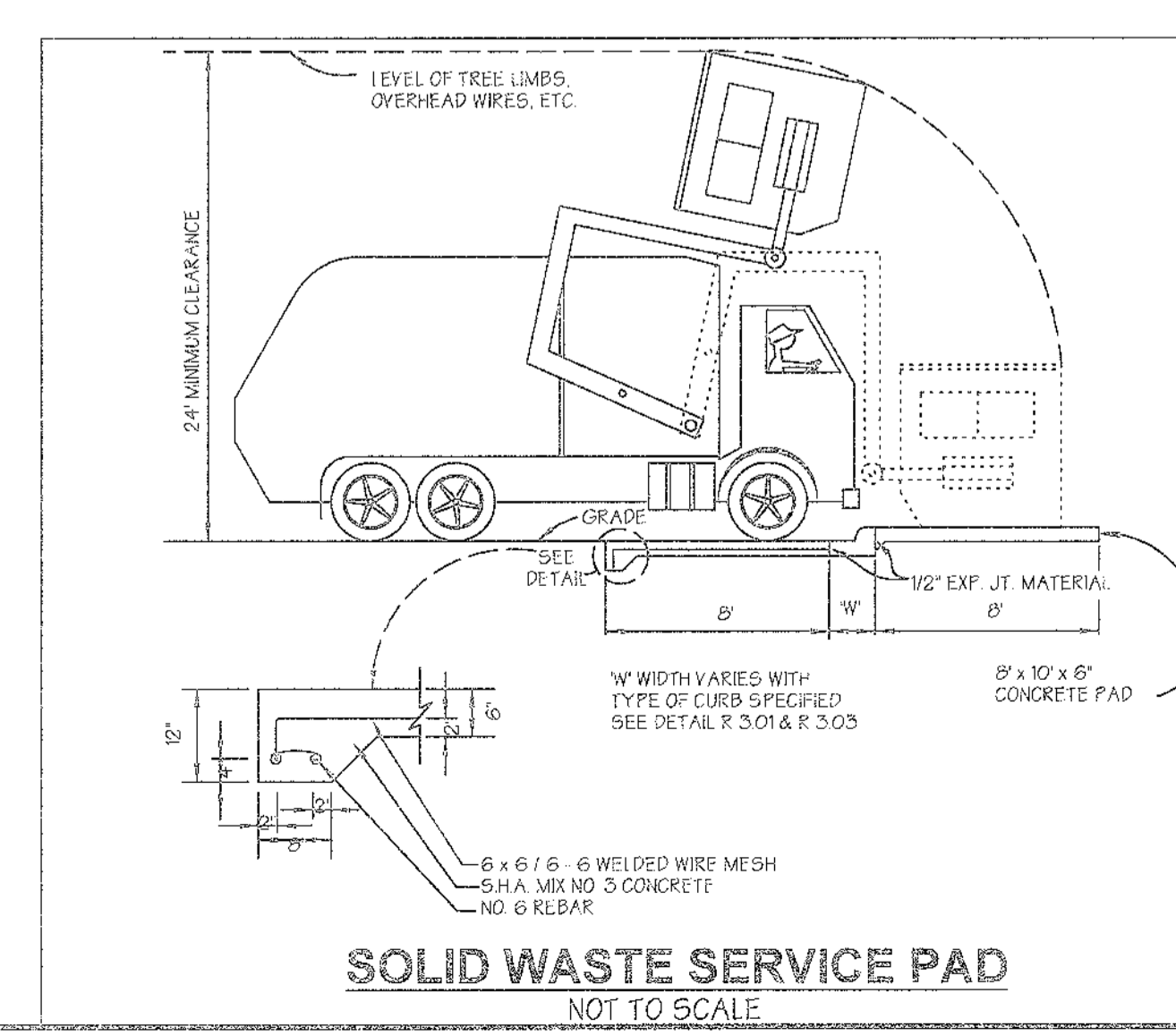
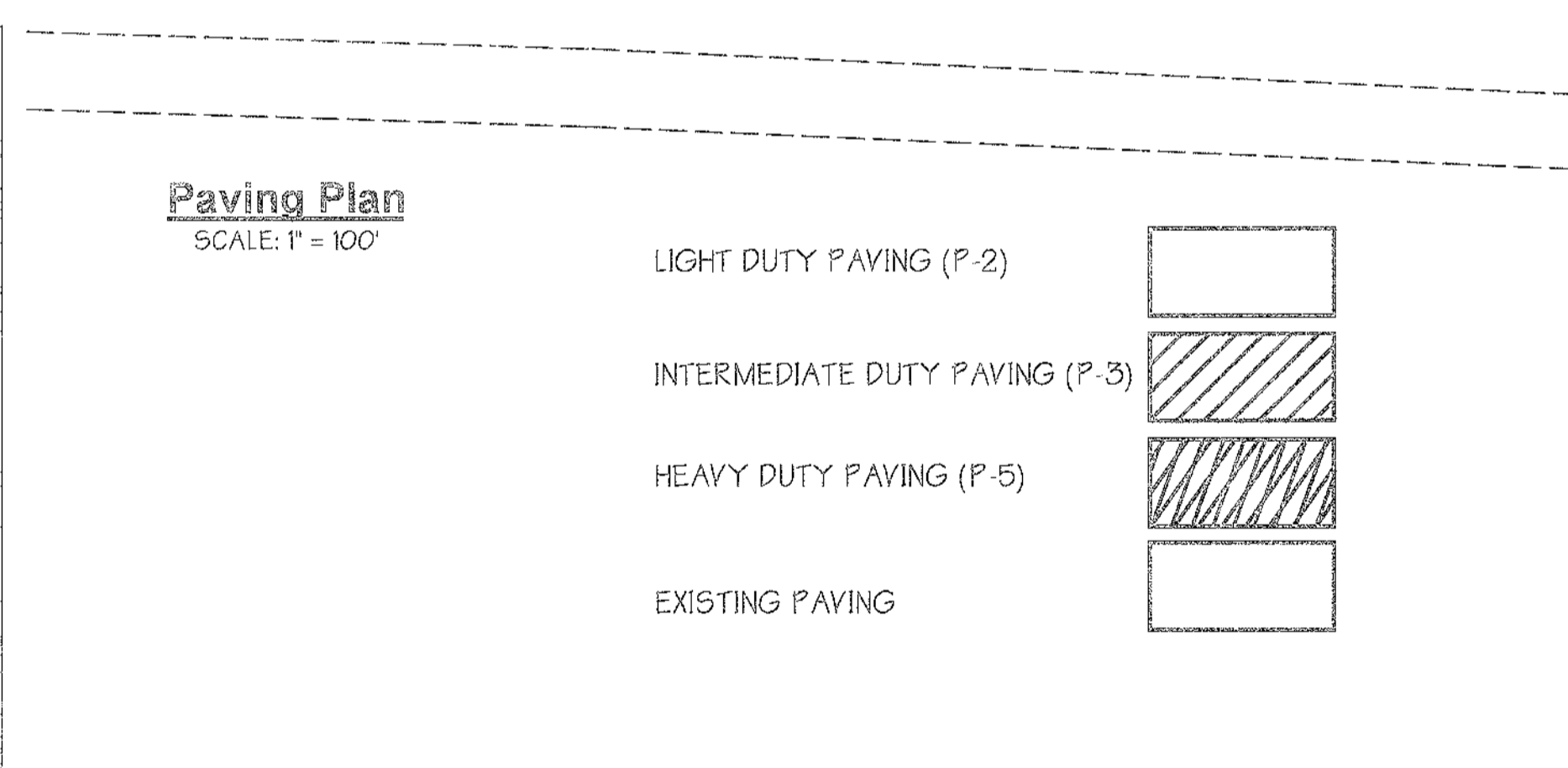
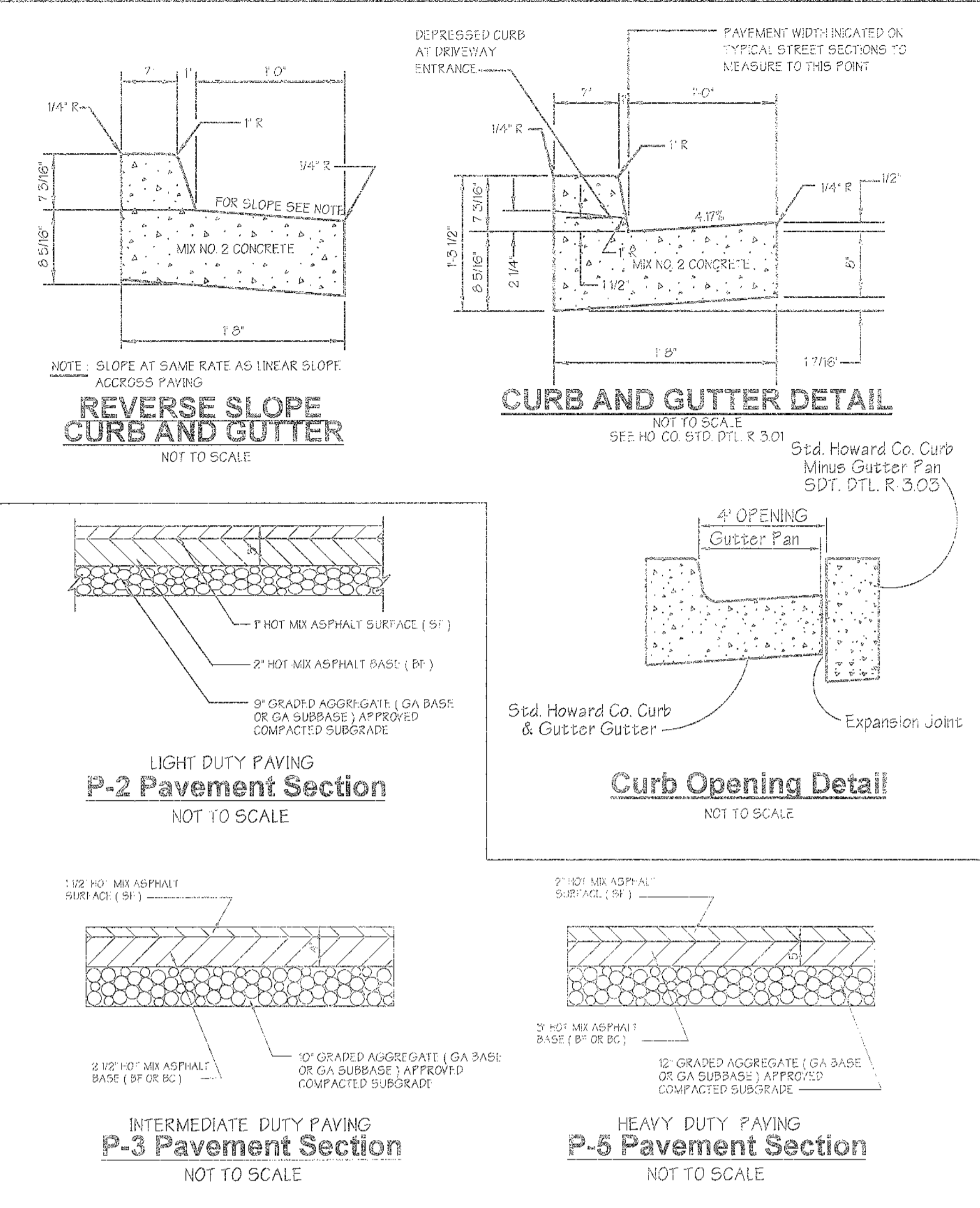
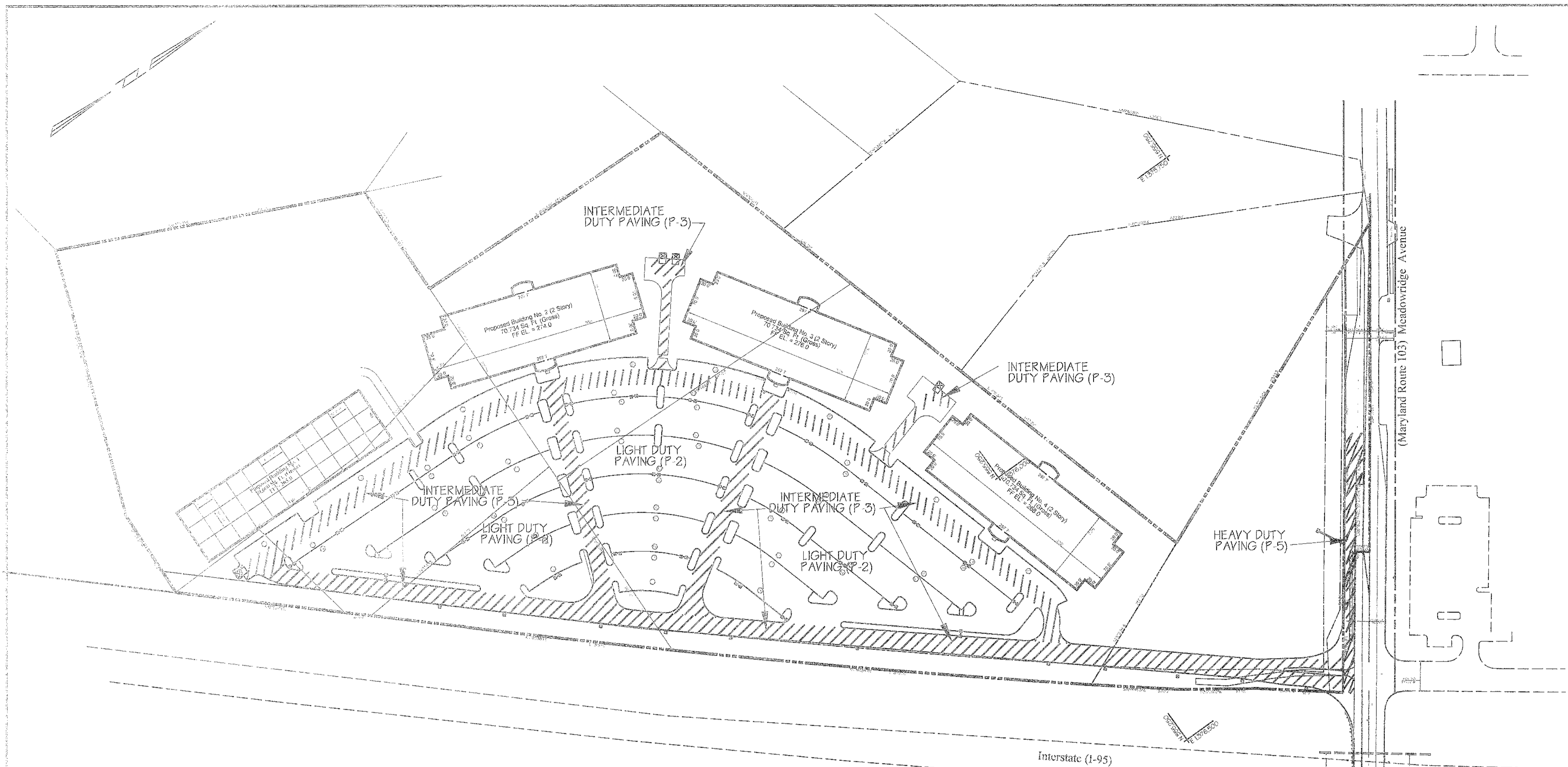
PREPARED BY:
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
1020 Cromwell Bridge Road
Towson, Maryland 21286
(410) 826-8120

NOTES:
DENOTES: TREES AND/OR SHRUBS WILL NOT BE ALLOWED ON ANY EMBANKMENT, WILL NOT BE ALLOWED WITHIN THE BUFFER ZONE (15 FEET FROM TOE OF DAM) AND WILL NOT BE ALLOWED WITHIN A 25 FOOT RADIUS AROUND THE INLET STRUCTURE.

MATCHLINE 'A-A' (SEE SHEET 4)

Interstate (I-95) (South Bound)
(Principal Arterial Highway)
Vehicular Ingress & Egress Restricted

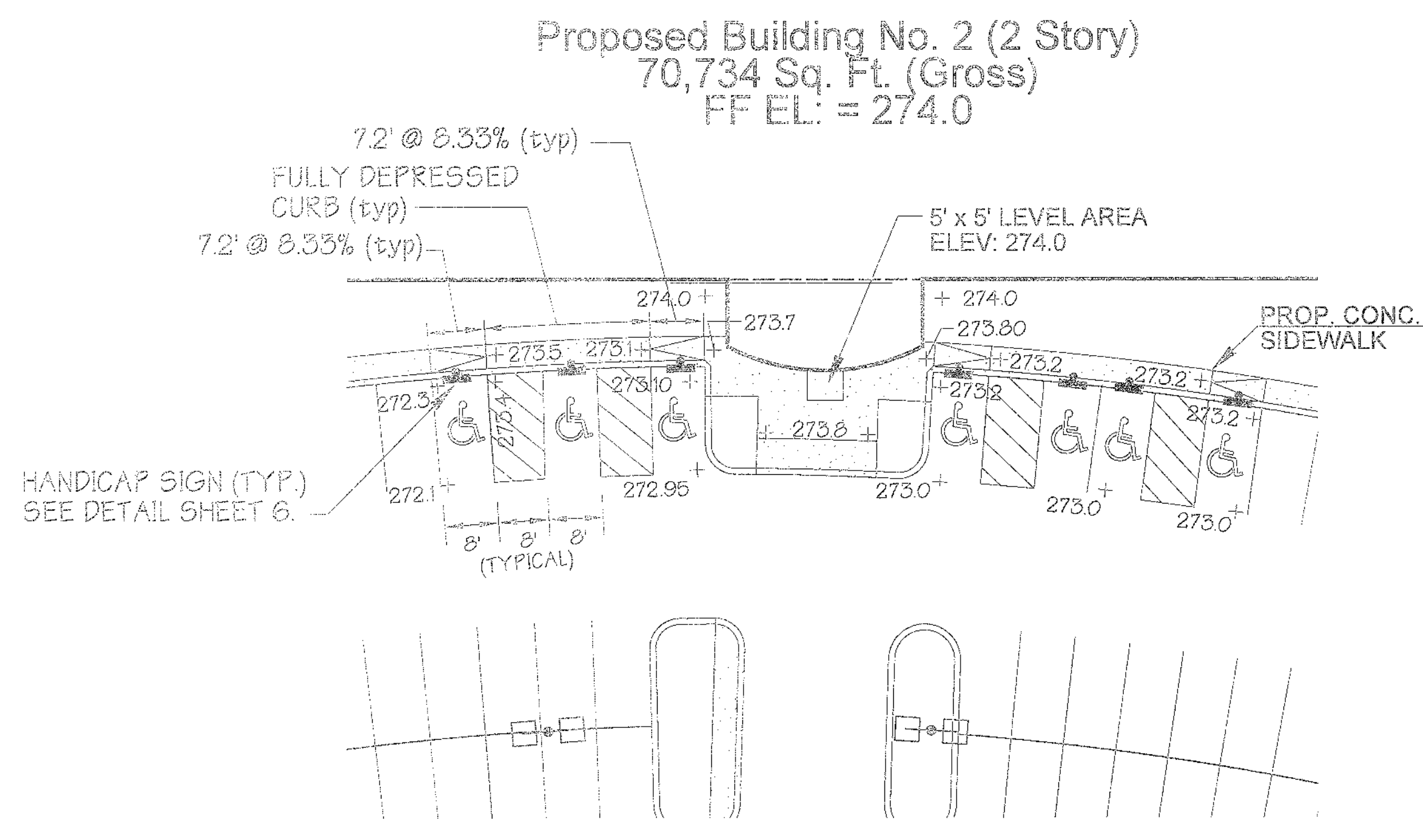
PLAN
SCALE: 1" = 50'



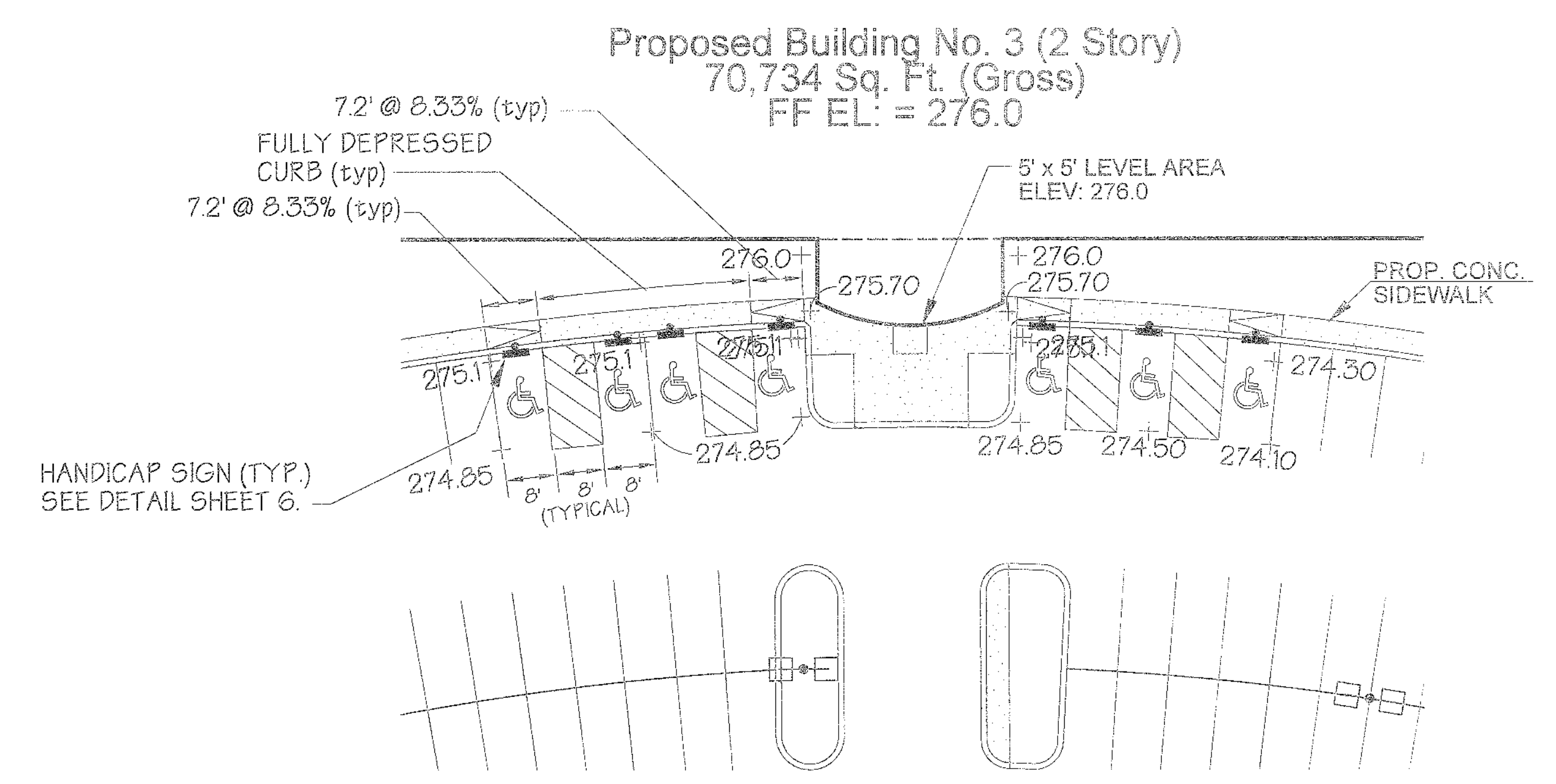
OWNER / DEVELOPER Merritt Properties, LLC 2066 Lord Baltimore Drive Baltimore, Maryland 21244	ADDRESS CHART		
	PARCEL NO.	STREET ADDRESS	
	PAR 'A' BLDG NO. 1	6922 MEADOWRIDGE ROAD MARYLAND ROUTE 103	
	PAR 'A' BLDG NO. 2	6916 MEADOWRIDGE ROAD MARYLAND ROUTE 103	
PAR 'A' BLDG NO. 3	6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103		
PAR 'A' BLDG NO. 4	6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103		
PROJECT NAME	SECTION NAME	PARCEL # A	
The Meadows Corporate Park	Elkridge	775 718 401 412 538 3 538	
LIBER / FOLIO GRID	ZONE	TAX MAP	ELECT. DIST.
PLAN NO. 17513/15	22	5	1
WATER CODE 0 02	SEWER CODE	4020000	
DESIGNED BY: H.P.P.	Site details		
DRAWN BY: H.P.P.	The Meadows Corporate Park		
CHECKED BY: H.P.P.	Parcel 'A'		
REVISIONS	Site Improvements: General Offices Election District No 1 Howard County, Maryland		
	SDP -05-072 Scale: As Shown Date: December 06, 2004		

PREPARED BY:

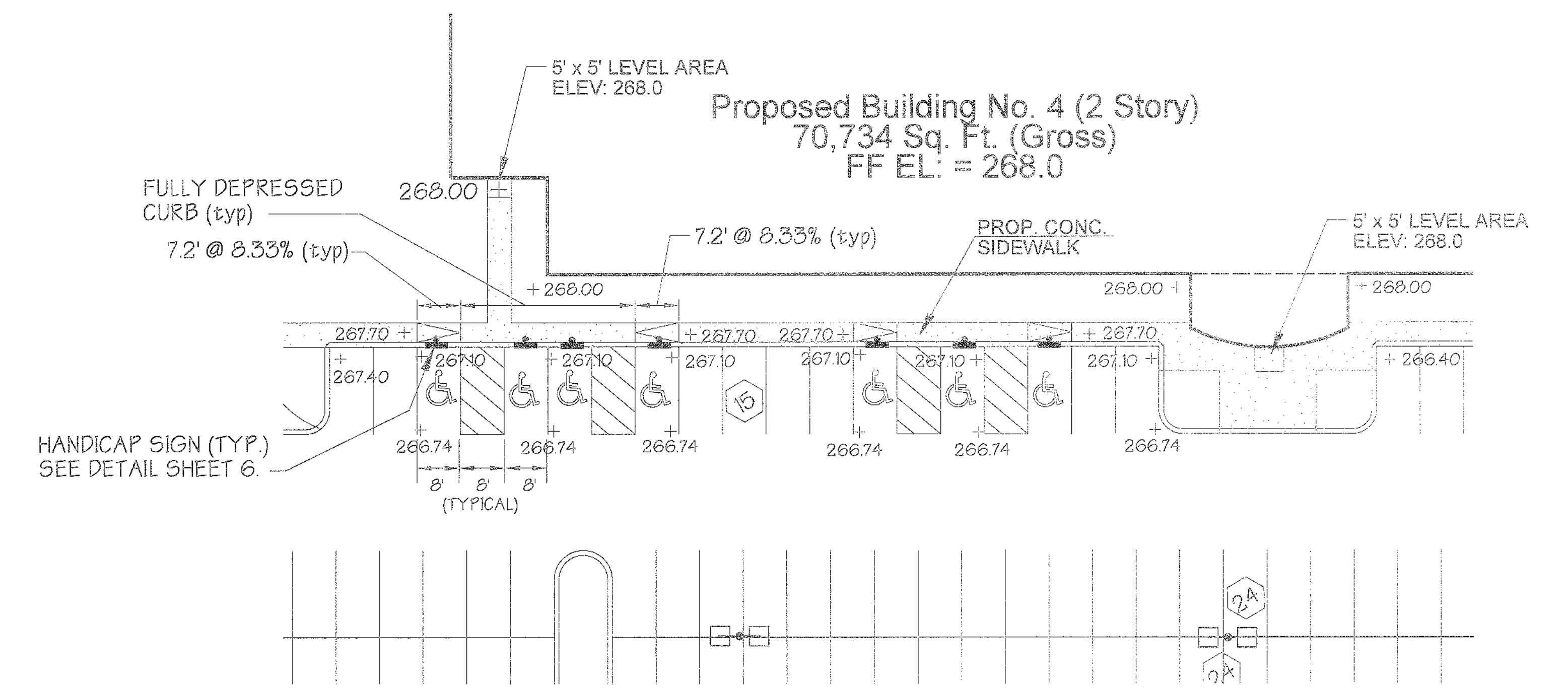
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
1020 Cronwell Bridge Road
Towson, Maryland 21286
(410) 825-8120



**ENTRANCE PLAN
BUILDING No.2**
SCALE: 1" = 20'



**ENTRANCE PLAN
BUILDING No.3**
SCALE: 1" = 20'

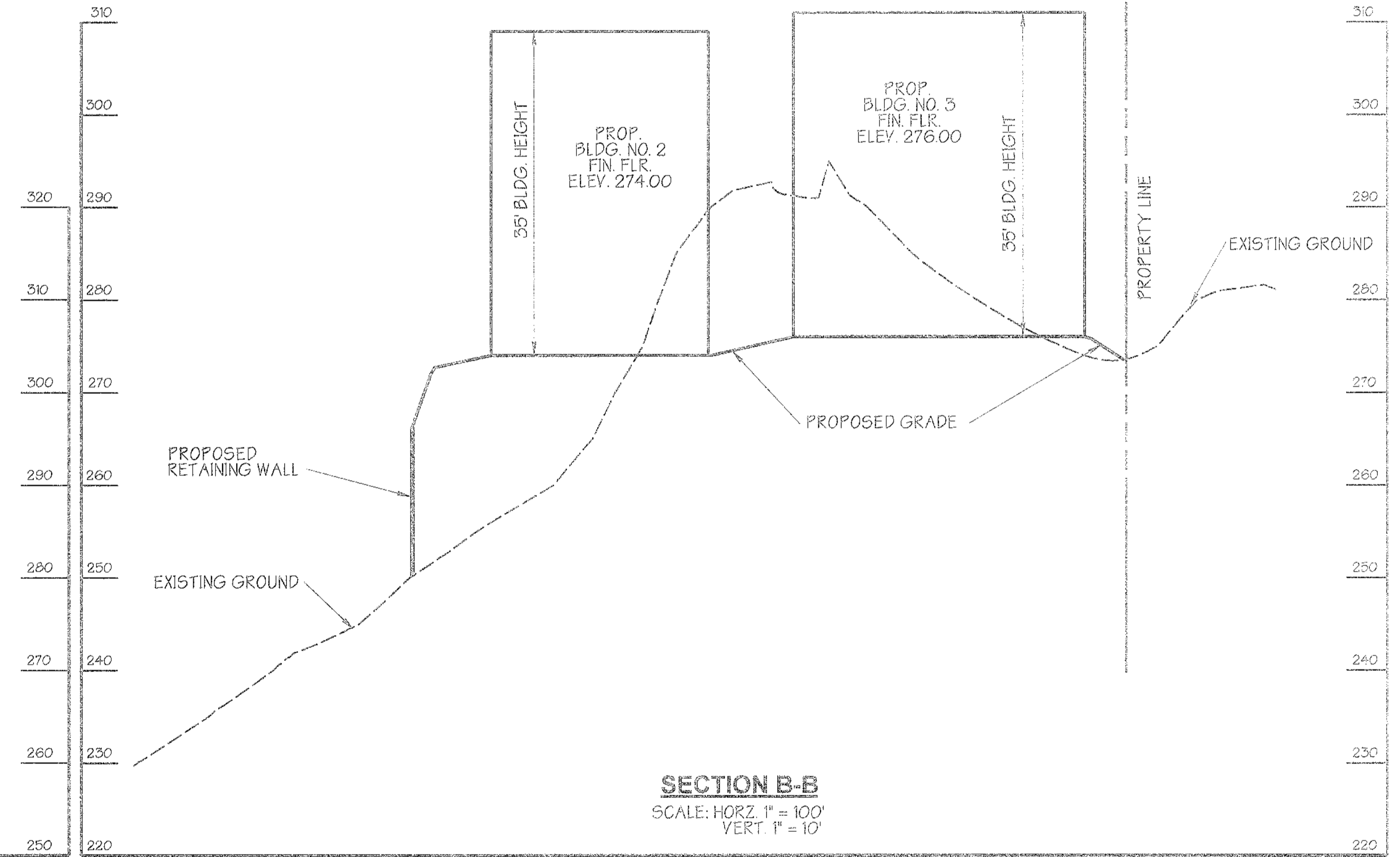
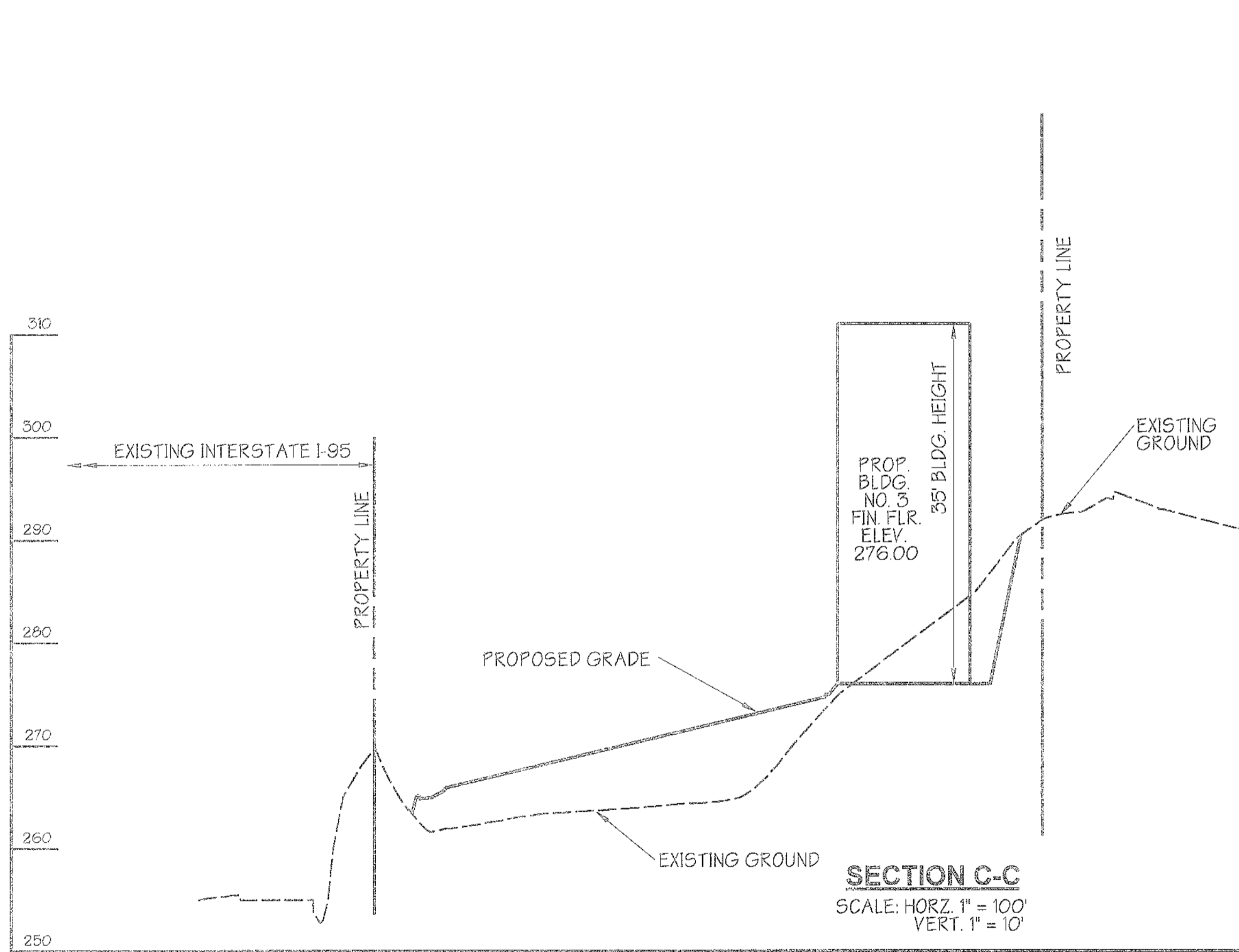
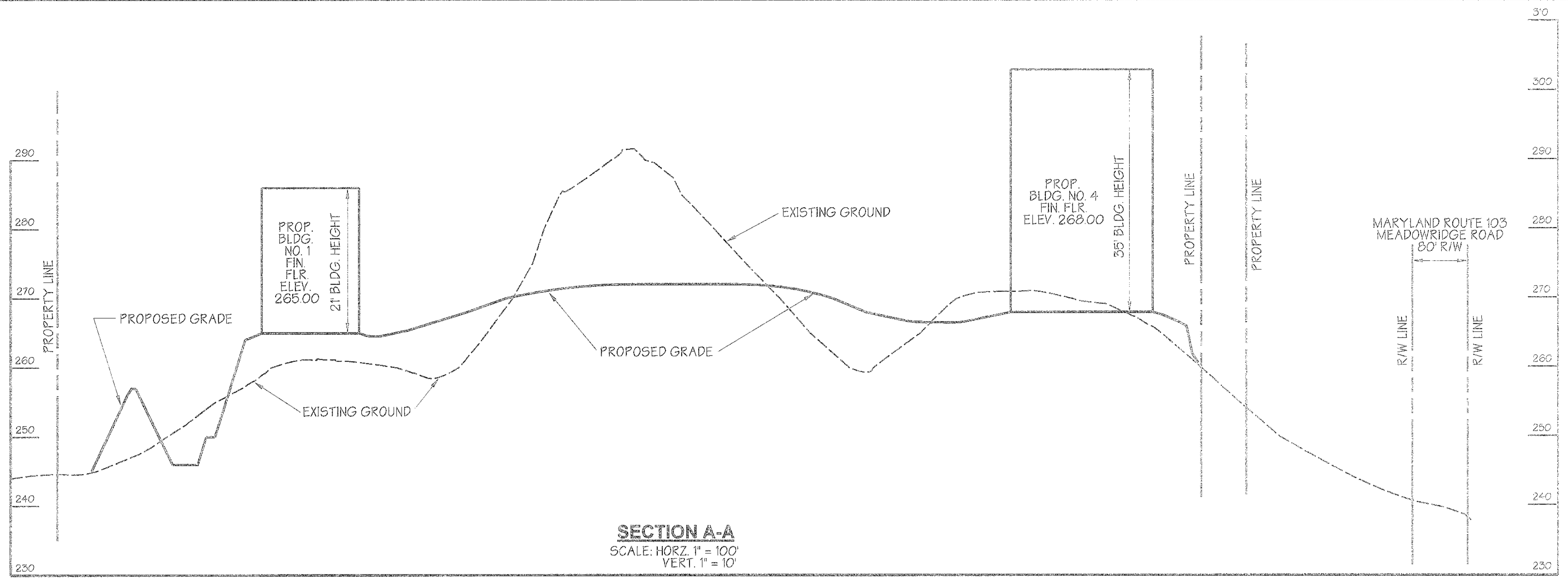
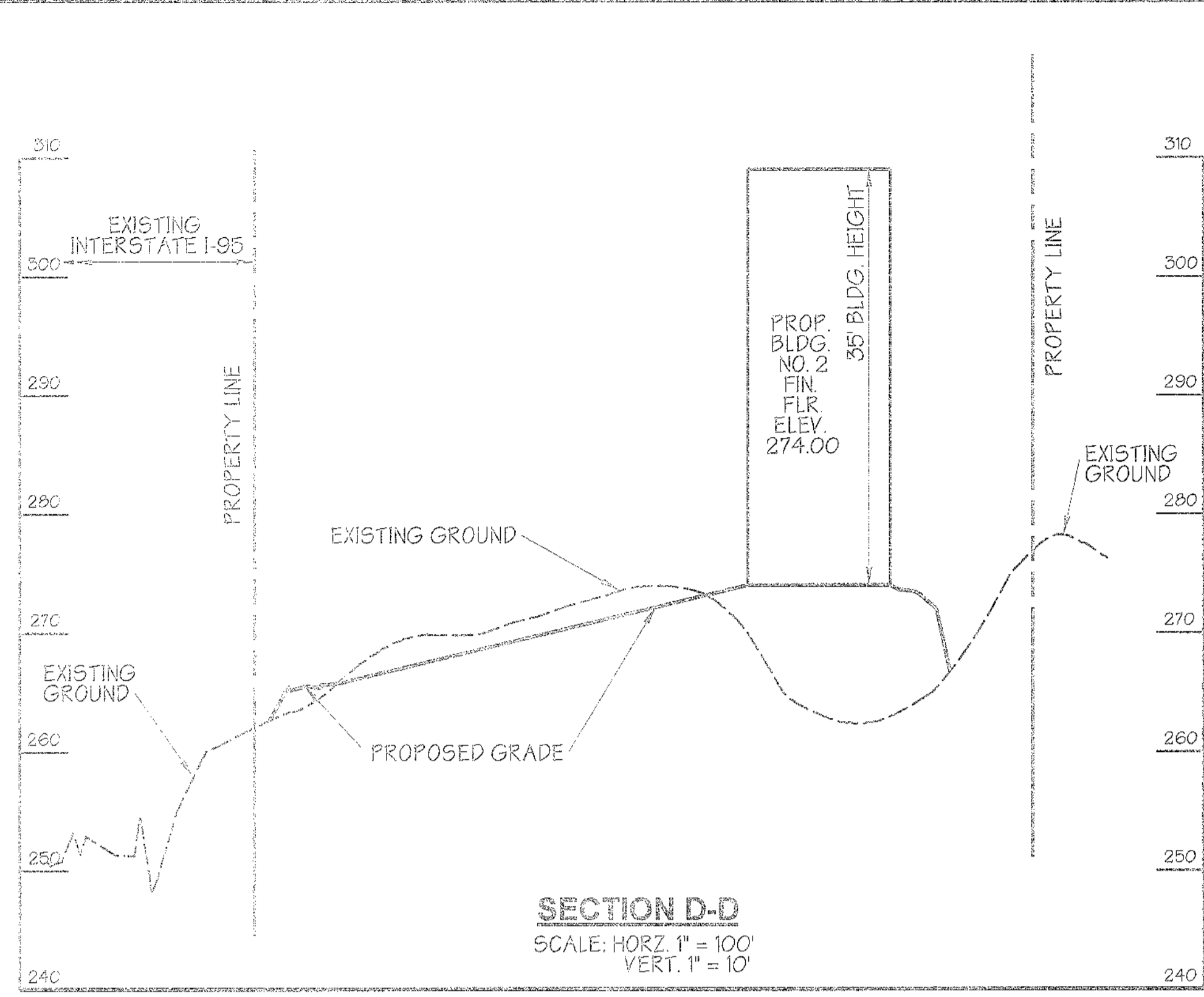


**ENTRANCE PLAN
BUILDING No.4**
SCALE: 1" = 20'

APPROVED: Howard County Department of Planning and Zoning
 [Signature] DATE []
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] DATE []
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] DATE []
 DIRECTOR DATE []

PREPARED BY:
**GEORGE W. STEPHENS, JR.
AND ASSOCIATES, INC.**
 Civil Engineers and Land Surveyors
 1020 Cromwell Bridge Road
 Towson, Maryland 21286
 (410) 828-8120

OWNER / DEVELOPER Merritt Properties, LLC 2066 Lord Baltimore Drive Baltimore, Maryland 21244	ADDRESS CHART	
	PARCEL NO.	STREET ADDRESS
	PAR. 'A' BLDG. NO. 1	6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	PAR. 'A' BLDG. NO. 2	6518 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	PAR. 'A' BLDG. NO. 3	6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	PAR. 'A' BLDG. NO. 4	6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PROJECT NAME	SECTION NAME	PARCEL # A
The Meadows Corporate Park	Elkridge	173.173.405 412.536.4339
LIBER / FOLIO / GRID	ZONE	ELECT. DIST.
(PLAT NO. 17873/15)	22	601102
WATER CODE P.02	SEWER CODE 4820000	
DESIGNED BY: H.P.P.	Site details The Meadows Corporate Park Parcel 'A' Site Improvements: General Offices Election District No.1 Howard County, Maryland SDP 05-072 Scale: As Shown Date: December 06, 2004 SDP 05-072	
DRAWN BY: H.P.P.		
CHECKED BY: H.P.P.		
REVISIONS		



APPROVED: Howard County Department of Planning and Zoning

_____ DATE _____
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

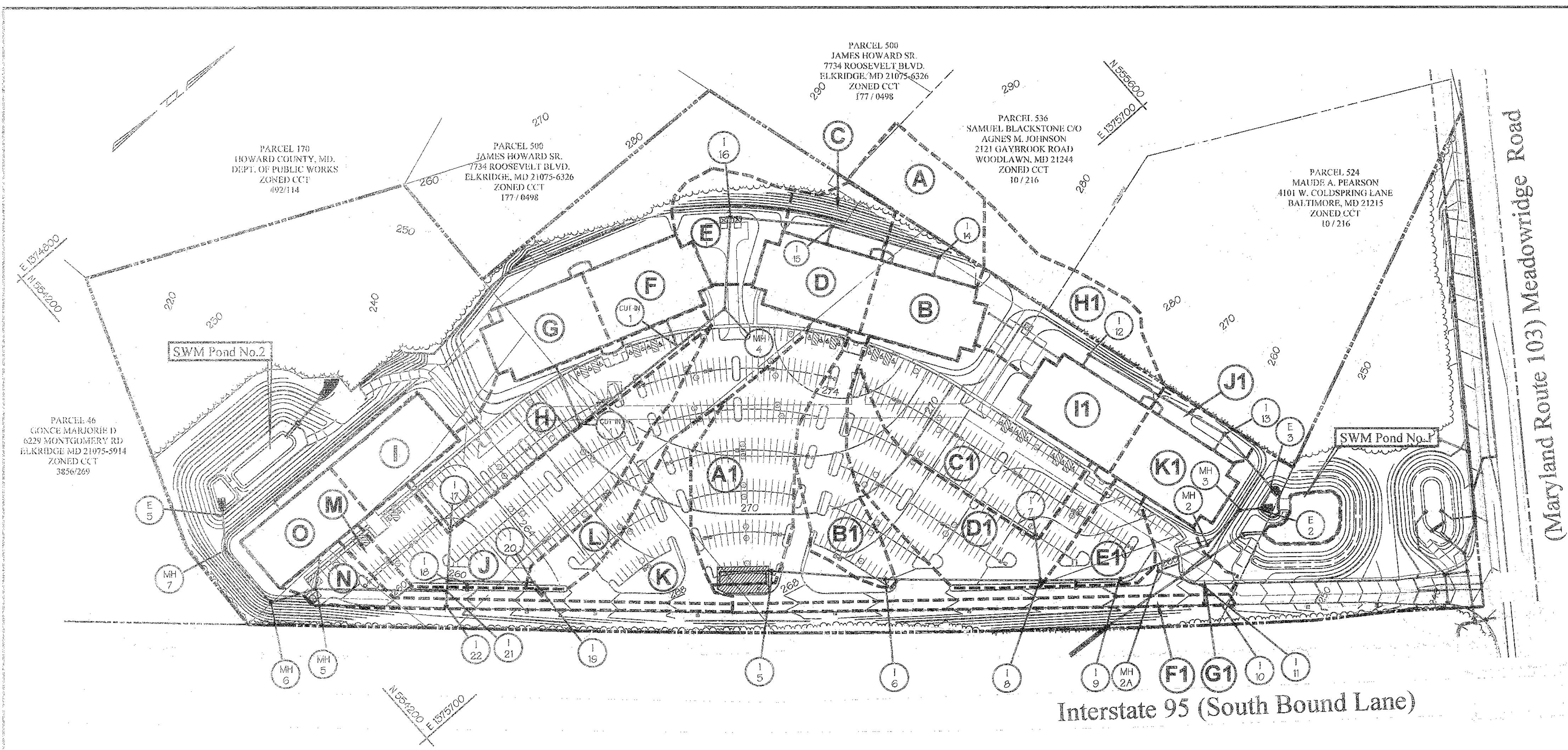
_____ DATE _____
 CHIEF, DIVISION OF LAND DEVELOPMENT

_____ DATE _____
 DIRECTOR

PREPARED BY:

GWS **GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**
Civil Engineers and Land Surveyors
1026 Cromwell Bridge Road
Towson, Maryland 21286
(410) 828-8120

OWNER / DEVELOPER Merritt Properties, LLC 2066 Lord Baltimore Drive Baltimore, Maryland 21244	ADDRESS CHART	
	PARCEL NO.	STREET ADDRESS
	PAR 'A' BLDG. NO. 1	6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	PAR 'A' BLDG. NO. 2	6519 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	PAR 'A' BLDG. NO. 3	6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	PAR 'A' BLDG. NO. 4	6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PROJECT NAME The Meadows Corporate Park	SECTION NAME Elkridge	PARCEL # A 43.178 AC 42.536 & 538
LIBER / FOLIO PLAT NO. 17513/15	GRID 22	ZONE CCT
TAX MAP 37	ELECT. DIST. 1	CENSUS TRACT 60102
WATER CODE B 02	SEWER CODE 4820000	
DESIGNED BY: H.P.P.	DRAWN BY: H.P.P.	
CHECKED BY: H.P.P.		
REVISIONS		
Building Sections		
The Meadows Corporate Park		
Parcel 'A'		
Site Improvements: General Offices	SDP 05-072	
Election District No. 1	Scale: As Shown	
Howard County, Maryland	SHT. 8 OF 43	Date: December 06, 2004



DRAINAGE AREA MAP
SCALE: 1" = 100'

D.A.	ACRES	COMP %
A	0.62	0.28
B	0.41	0.95
C	0.28	0.27
D	0.41	0.95
E	0.49	0.32
F	0.41	0.95
G	0.41	0.95
H	1.03	0.81
I	0.35	0.95
J	1.24	0.90
K	0.61	0.81
L	0.81	0.86
M	0.20	0.87
N	0.41	0.90
O	0.35	0.95
A1	1.09	0.91
B1	0.60	0.90
C1	1.21	0.83
D1	0.98	0.93
E1	0.35	0.87
F1	0.25	0.90
G1	0.88	0.88
H1	0.93	0.24
I1	0.41	0.95
J1	0.17	0.27
K1	0.41	0.95

STORM DRAIN COMPUTATION - 10 YEAR FREQ.															
LOCATION	AREA	DEVELOPMENT	TIME OF CONC.	INTENSITY	FLOW	PIPE SIZE	VELOCITY	HEAD LOSS	REMARKS						
FROM	TO	AREA	DEVELOPMENT	TIME OF CONC.	INTENSITY	FLOW	PIPE SIZE	VELOCITY	HEAD LOSS	REMARKS					
ROOF	B	0.41	0.95	0.39	5.00	5.0	8.50	3.32							
1-14	1-15	A-B	1.03	0.21	0.15	5.00	5.0	8.50	1.11						
1-15	1-16	C	0.28	0.27	0.08	5.00	5.0	8.50	0.88						
ROOF	D	0.41	0.95	0.39	5.00	5.0	8.50	3.32							
1-16	1-18	A-D	1.72			0.99	5.00	0.75	5.3	8.15	3.07	18	0.69%	4.57	150.4
1-16	1-18	E	0.49	0.32	0.16	5.00	5.0	8.50	1.38						
1-18	M-4	A-E	2.21			1.15	5.75	0.55	9.3	7.88	9.03	18	0.74%	5.13	135.1
M-4	CUT-IN#1	A-E	2.21			1.15	6.30	0.44	6.7	7.72	8.08	21	0.53%	3.77	88.8
CUT-IN#1	CUT-IN#2	F	0.41	0.95	0.39	5.00	5.0	8.50	3.32						
CUT-IN#1	CUT-IN#2	A-F	2.62	0.95	0.39	1.54	6.74	0.39	7.1	7.95	11.64	21	0.54%	4.34	102.8
CUT-IN#2	G	0.41	0.95	0.39	5.00	5.0	8.50	3.32							
CUT-IN#2	1-17	A-G	3.03			1.83	7.12	0.53	7.8	7.39	14.13	21	0.78%	5.87	242.4
ROOF	I	0.35	0.95	0.33	5.00	5.0	8.50	2.81							
1-17	1-17	H	1.03	0.81	0.83	5.00	5.0	8.50	7.03						
1-17	1-18	A-I	4.11			3.09	7.76	0.69	8.5	7.08	21.88	27	0.90%	5.50	78.0
1-18	1-19	K	0.61	0.81	0.49	5.00	5.0	8.50	4.17						
1-18	1-20	L	0.81	0.81	0.70	5.00	5.0	8.50	5.19	15	0.64%	4.23	21.9		
1-20	1-18	K-L	1.42	0.85	0.70	1.91	5.00	0.69	5.1	8.50	11.74	21	0.49%	4.83	125.1
1-20	1-16	J	1.24	0.90	1.12	5.00	5.0	8.50	9.52						
1-18	1-21	A-L	7.07			5.82	8.45	0.24	8.7	7.02	38.75	27	1.57%	9.75	13.0
1-22	N	0.41	0.90	0.37	5.00	5.0	8.50	3.15							
1-22	1-21	N	0.41	0.90	0.37	5.00	5.0	8.50	3.15	15	0.24%	2.56	26.0		
1-21	M	0.20	0.87	0.17	5.00	5.0	8.50	1.45							
1-21	MH-5	A-M	7.68			6.08	8.69	0.02	8.7	6.99	42.36	35	0.40%	5.99	191.4
ROOF	O	0.35	0.95	0.33	5.00	5.0	8.50	2.81							
M-5	1-6	A-N	8.03			6.39	8.71	0.02	8.7	6.99	44.87	35	0.45%	6.32	69.0
M-8	1-7	A-O	8.38			6.72	8.73	0.18	8.9	6.10	44.67	35	0.45%	6.32	102.9
M-7	E-5	A-O	8.38			6.72	8.51	0.27	9.2	6.57	44.87	35	0.45%	6.32	50.8
1-5	1-5	J1	1.00	0.91	0.99	5.00	5.0	8.50	8.42	18	0.64%	4.76	175.7		
1-6	1-6	B1	0.60	0.90	0.54	5.00	5.0	8.50	4.90						
1-6	1-6	A1-B1	1.69			1.53	5.00	0.61	5.6	8.20	12.53	21	0.83%	5.22	228.0
1-7	1-8	C1	1.21	0.83	1.00	5.00	5.0	8.50	8.50	18	0.83%	4.81	97.8		
1-8	1-8	D1	0.98	0.93	0.91	5.00	5.0	8.50	7.74						
1-8	1-9	A1-D1	3.88			3.44	5.61	0.73	6.3	7.68	27.11	27	0.77%	6.82	117.8
1-9	1-9	E1	0.35	0.87	0.30	5.00	5.0	8.50	2.56						
1-8	1-9	A1-E1	4.23			3.74	6.34	0.29	6.6	7.76	29.92	30	0.90%	5.91	58.1
1-10	1-11	F1	0.25	0.90	0.23	5.00	5.0	8.50	1.58	15	0.09%	1.58	39.7		
1-11	1-11	G1	0.88	0.88	0.77	5.00	5.0	8.50	6.55						
1-11	M-2A	F1-G1	1.13			1.00	5.00	0.49	5.4	8.30	8.30	18	0.82%	4.70	89.8
M-2A	Y1	F1-G1	1.13			1.00	5.40	0.18	5.6	8.25	8.30	18	0.62%	4.70	9.1
Y1	MH-2	F1-G1	5.25			4.74	6.53	0.03	6.7	7.76	36.78	30	0.90%	7.46	78.4
MH-2	1-3	A1-E1	3.25			4.74	6.88	0.25	6.9	7.64	30.78	38	0.90%	5.20	10.7
M-3	E-2	A1-G1	3.25			4.74	6.91	0.03	6.9	7.64	33.75	30	0.90%	5.20	28.3
ROOF	H	0.41	0.95	0.39	5.00	5.0	8.50	3.32							
1-12	1-13	H1-I1	1.24	0.91	0.22	5.00	5.0	8.50	1.87						
ROOF	K1	0.41	0.95	0.39	5.00	5.0	8.50	3.32							
1-13	1-13	J1	0.17	0.27	0.05	5.00	5.0	8.50	0.40						
1-13	E-3	H1-J1	1.92			1.05	5.00	0.91	9.0	8.05	8.45	18	0.65%	4.78	93.8

APPROVED: Howard County Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 7/16/04

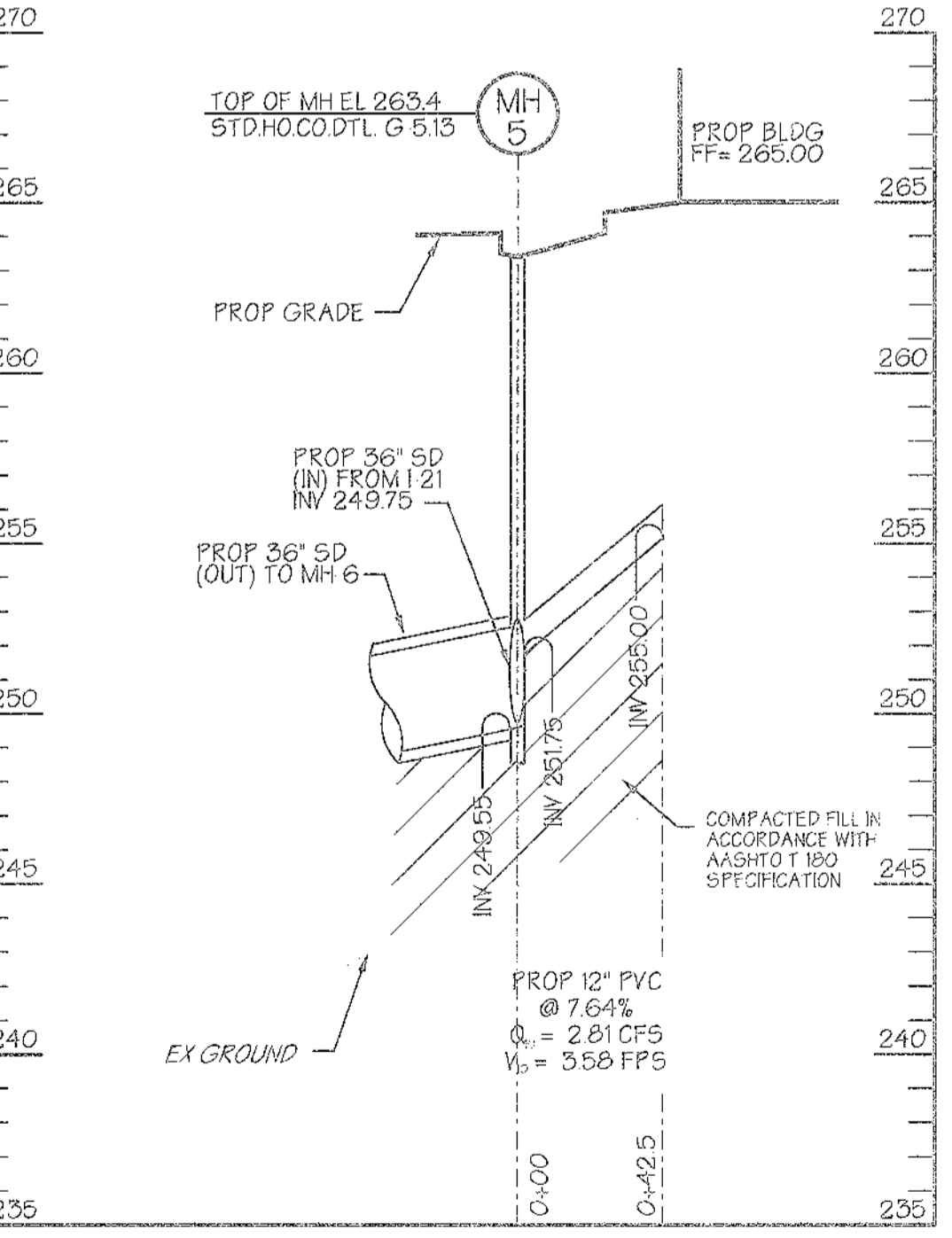
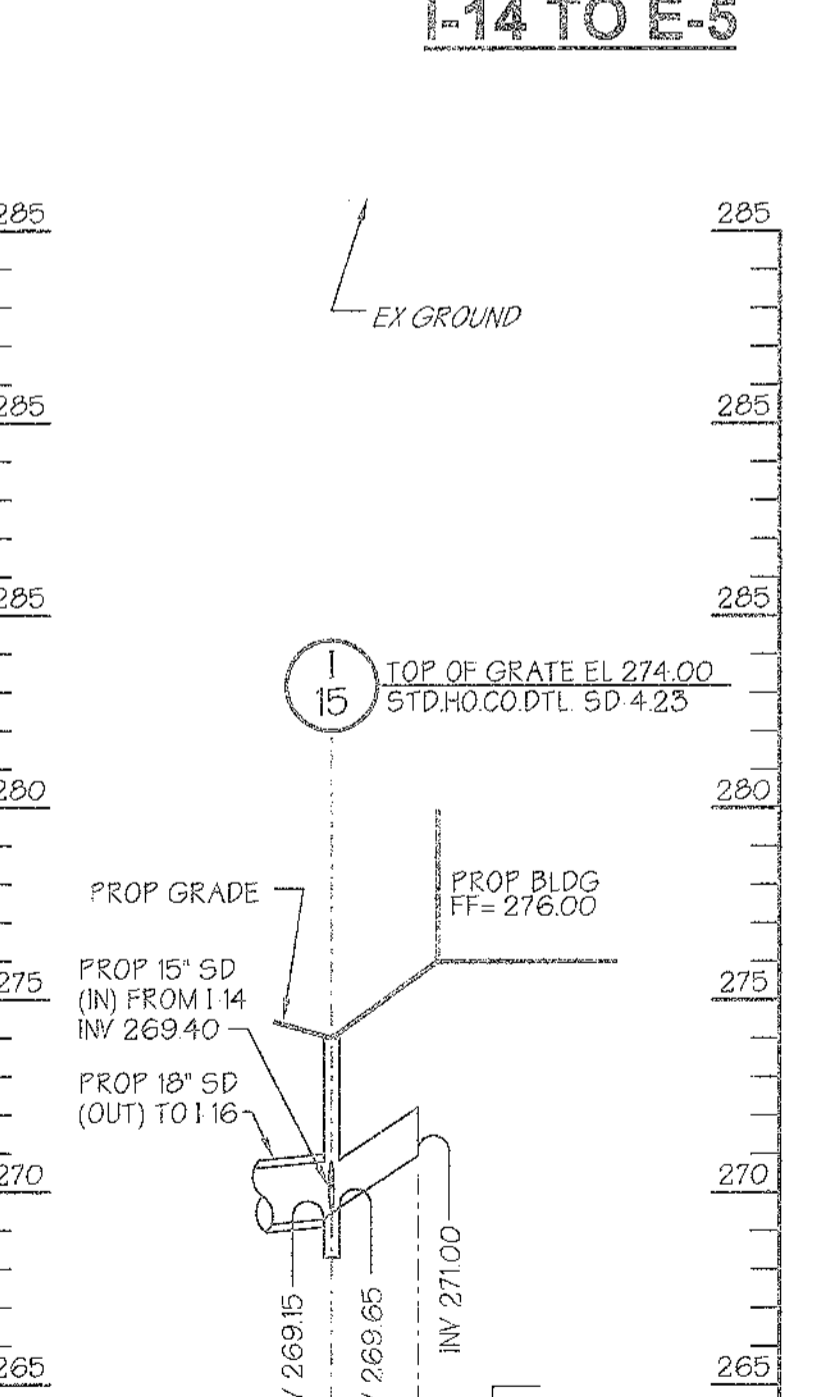
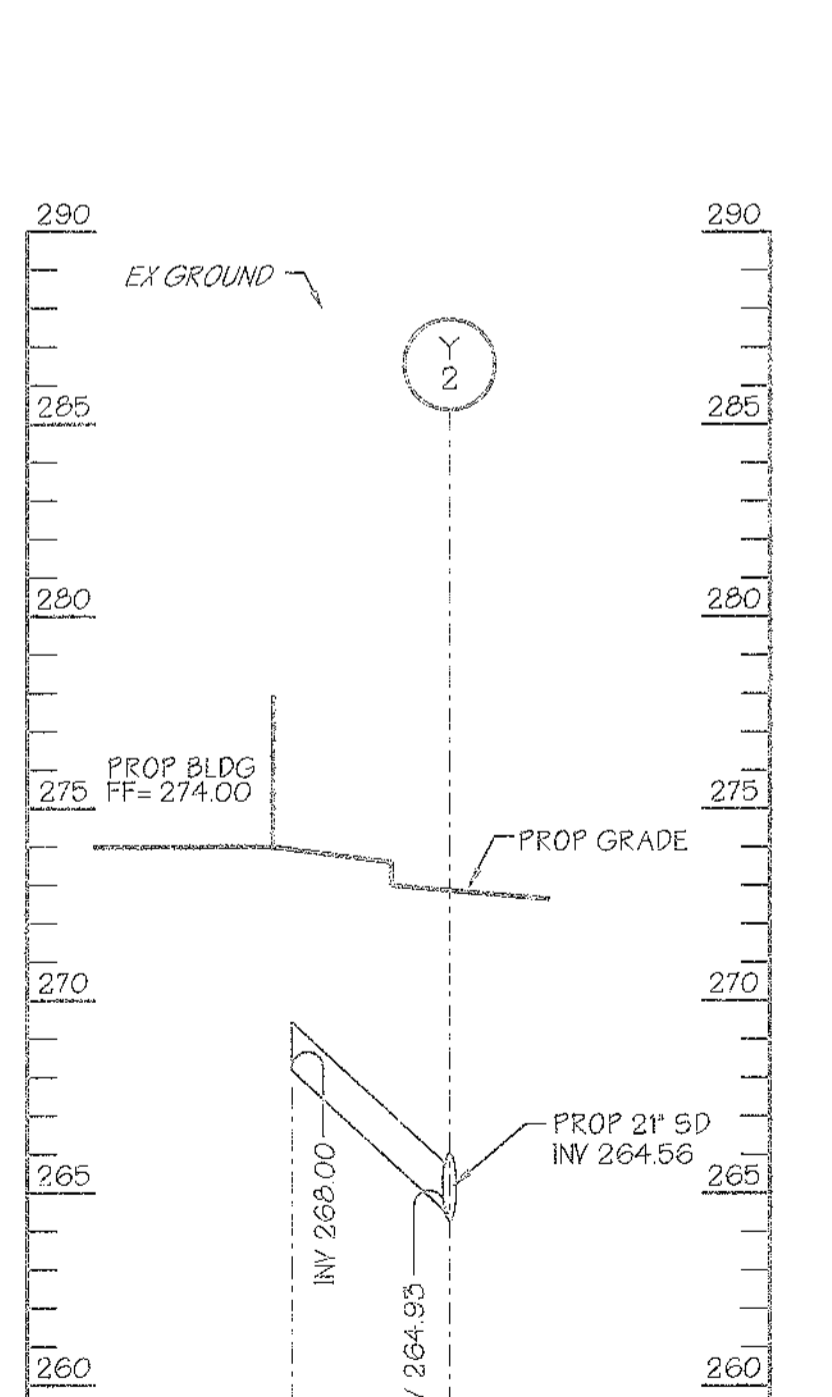
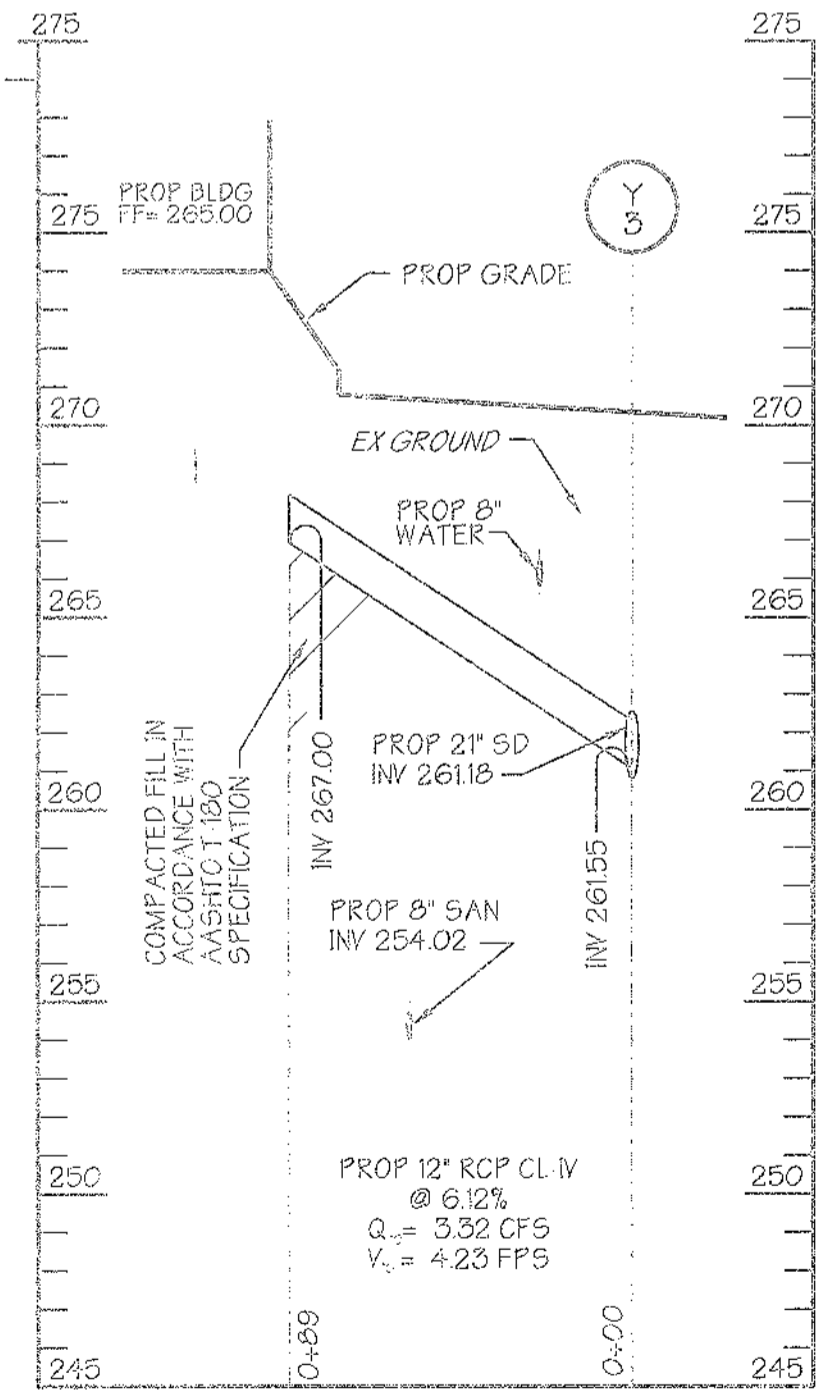
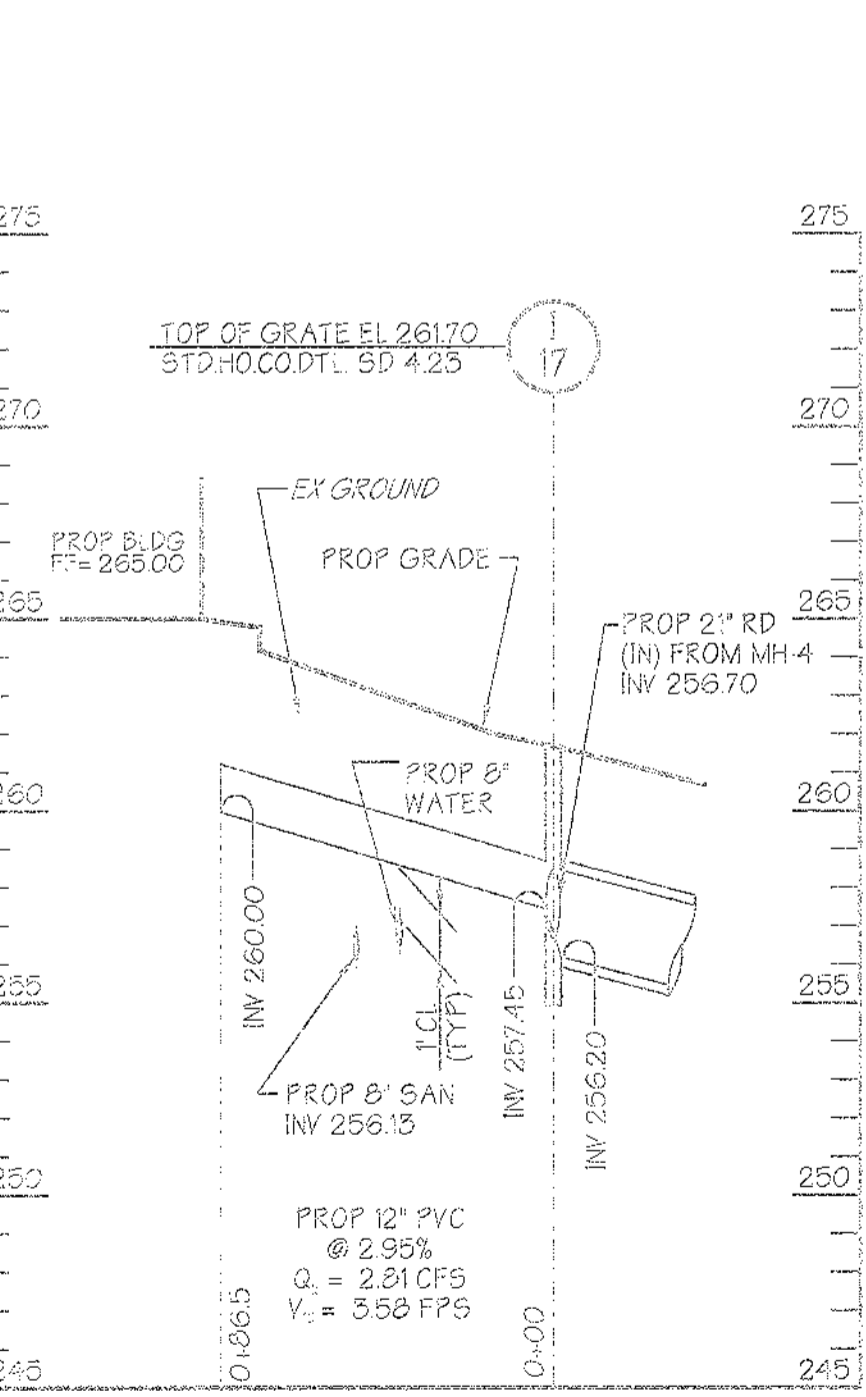
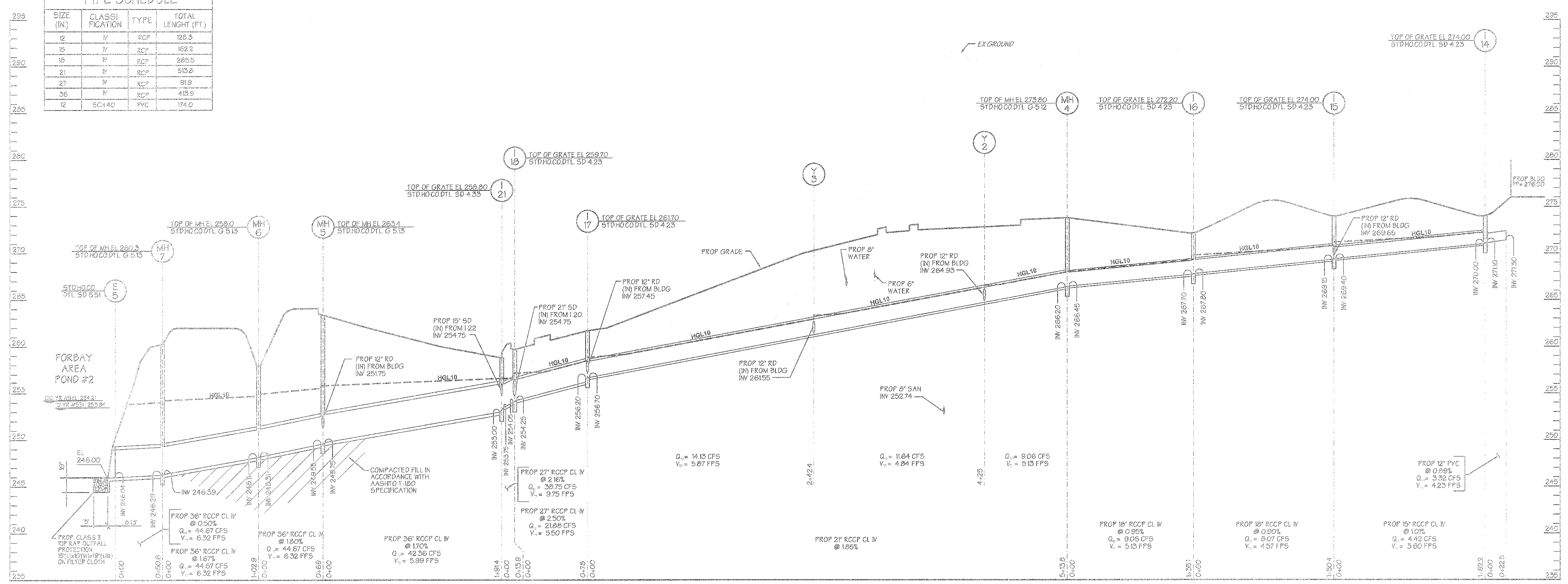
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 7/16/04

DIRECTOR
DATE: 7/16/04

PREPARED BY:
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
1020 Cromwell Bridge Road
Towson, Maryland 21286
(410) 825-8120

OWNER / DEVELOPER Merritt Properties, LLC 2066 Lord Baltimore Drive Baltimore, Maryland 21244	ADDRESS CHART	
	PARCEL NO.	STREET ADDRESS
	PAR 'A' BLDG NO. 1	6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	PAR 'A' BLDG NO. 2	6519 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR 'A' BLDG NO. 3	6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103	
PAR 'A' BLDG NO. 4	6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103	
PROJECT NAME The Meadows Corporate Park	SECTION NAME Elkridge	PARCEL # A 175, 176, 407, 412, 535 & 536
LIBER / FOLIO GRID PLAT NO. 17513/4	ZONE / ZONE MAP 22 C/T	TAX / ELECT. DIST. 1
WATER CODE B 02	SEWER CODE 4020000	
DESIGNED BY: H.P.P.	Drainage Area Map and Storm Drain Computations The Meadows Corporate Park Parcel 'A' Site Improvements: General Offices Election District No. 1 Howard County, Maryland SDP -06-072 Scale: As Shown Date: December 06, 2004 SH. 9 OF 43 P/N: 10-989A	
DRAWN BY: H.P.P.		
CHECKED BY: H.P.P.		
REVISIONS		

PIPE SCHEDULE			
SIZE (IN.)	CLASSIFICATION	TYPE	TOTAL LENGTH (FT)
12	IV	RCP	128.3
15	IV	RCP	162.2
18	IV	RCP	285.5
21	IV	RCP	513.2
27	IV	RCP	919
36	IV	RCP	413.9
12	SC140	PVC	174.0



INLET SCHEDULE					
NO.	TYPE	INV. IN	INV. OUT	TOP. ELEV.	HO. CO. DTL.
14	DEL. S	271.10	270.00	274.00	SD 4.25
15	DEL. S	269.40	268.30	272.00	SD 4.25
16	DEL. S	267.80	267.70	272.20	SD 4.25
17	DEL. S	266.20	265.10	268.00	SD 4.25
18	DEL. S	264.93	264.05	269.70	SD 4.25
21	DEL. S	262.75	263.00	268.80	SD 4.25

MANHOLE SCHEDULE					
NO.	TYPE	INV. IN	INV. OUT	TOP. ELEV.	HO. CO. DTL.
4	STD	266.45	266.20	273.80	G 5.12
5	STD	261.76	249.55	264.40	G 5.13
6	STD	248.37	248.11	258.00	G 5.13
7	STD	246.39	246.29	262.00	G 5.15

STRUCTURE SCHEDULE						
NO.	TYPE	SIZE	INV. IN	INV. OUT	TOP. ELEV.	HO. CO. DTL.
E-5	MAN. HO.	36"	246.04	246.00	—	SD 5.51
Y-2	BRICK Y	21' x 12'	264.93	—	—	SD 1.11
Y-3	BRICK Y	21' x 12'	261.55	—	—	SD 1.11

ROOF DRAIN TO I-17

ROOF DRAIN TO Y3

ROOF DRAIN TO Y2

ROOF DRAIN TO I-15

ROOF DRAIN TO MH-5

PREPARED BY: **GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**
Civil Engineers and Land Surveyors
1020 Cromwell Bridge Road
Towson, Maryland 21286
(410) 825-8120

APPROVED: Howard County Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION

CHIEF, DIVISION OF LAND DEVELOPMENT

DIRECTOR

DESIGNED BY: H.P.P.

DRAWN BY: H.P.P.

CHECKED BY: H.P.P.

REVISIONS

OWNER / DEVELOPER: **Merritt Properties, LLC**
2066 Lord Baltimore Drive
Baltimore, Maryland 21244

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
PAR 'A' BLDG NO 1	6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR 'A' BLDG NO 2	6519 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR 'A' BLDG NO 3	6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR 'A' BLDG NO 4	6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103

PROJECT NAME: The Meadows Corporate Park

SECTION NAME: Elkridge

PARCEL # A: 73.55.407.412.536 & 539

LIBER / FOLIO GRID: 22

ZONE: CCT

TAX MAP: 1

ELECT. DIST.: 1

CENSUS TRACT: 601102

WATER CODE: B 02

SEWER CODE: 4020000

Storm Drain Profiles
The Meadows Corporate Park
Parcel 'A'

Site Improvements: General Offices

Elect. District No.1

Howard County, Maryland

SDP-05-072

Scale: As Shown

Date: December 06, 2004

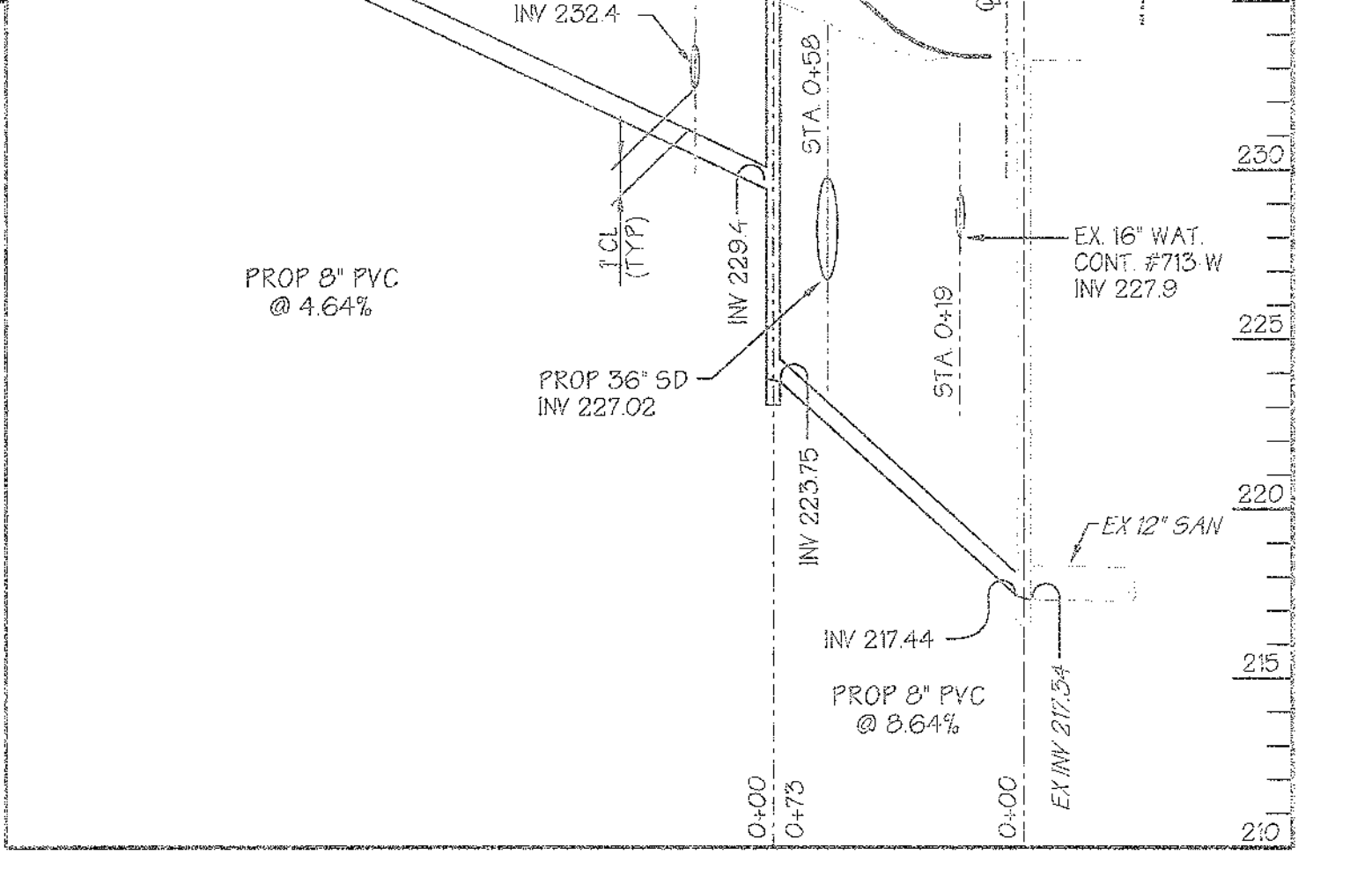
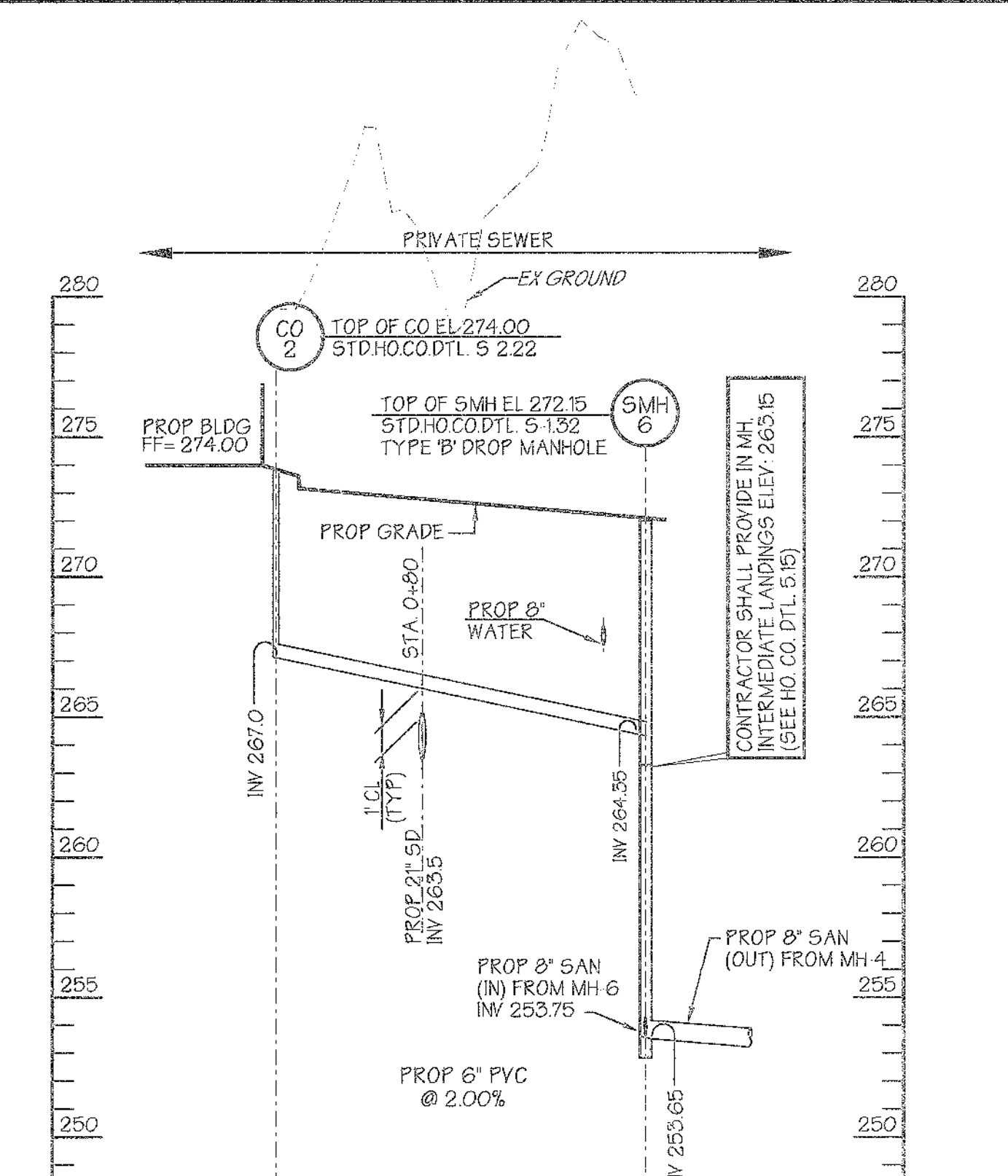
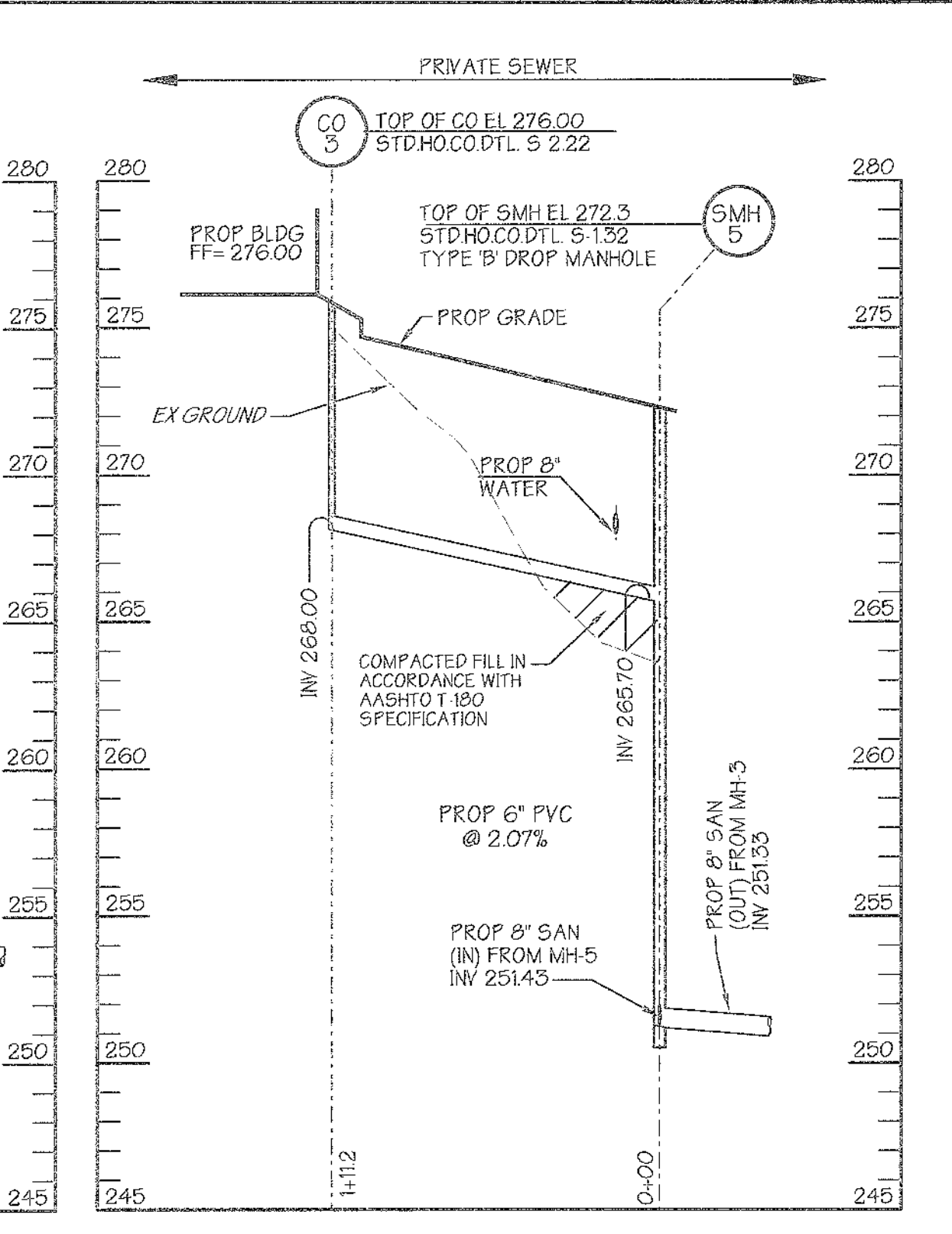
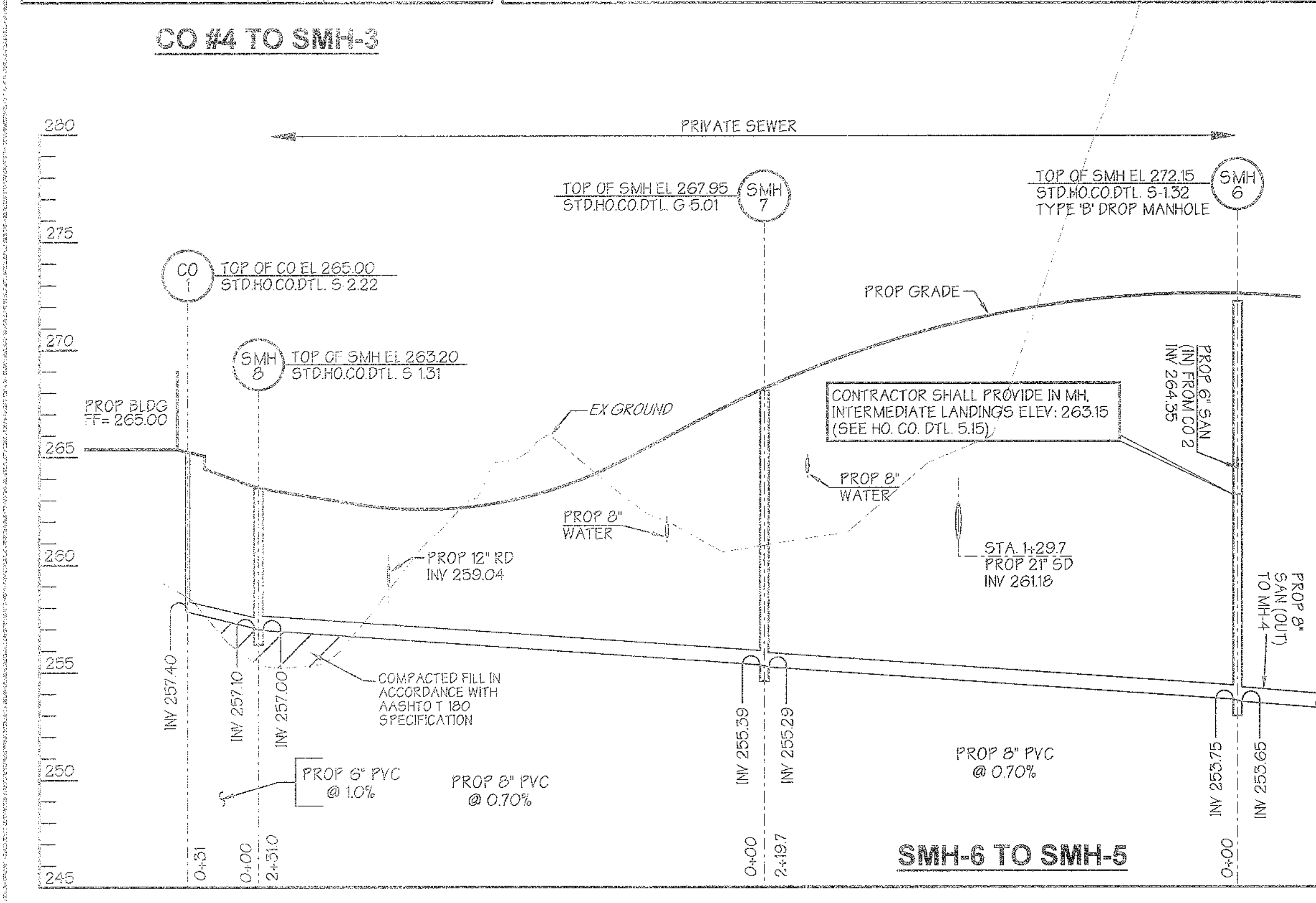
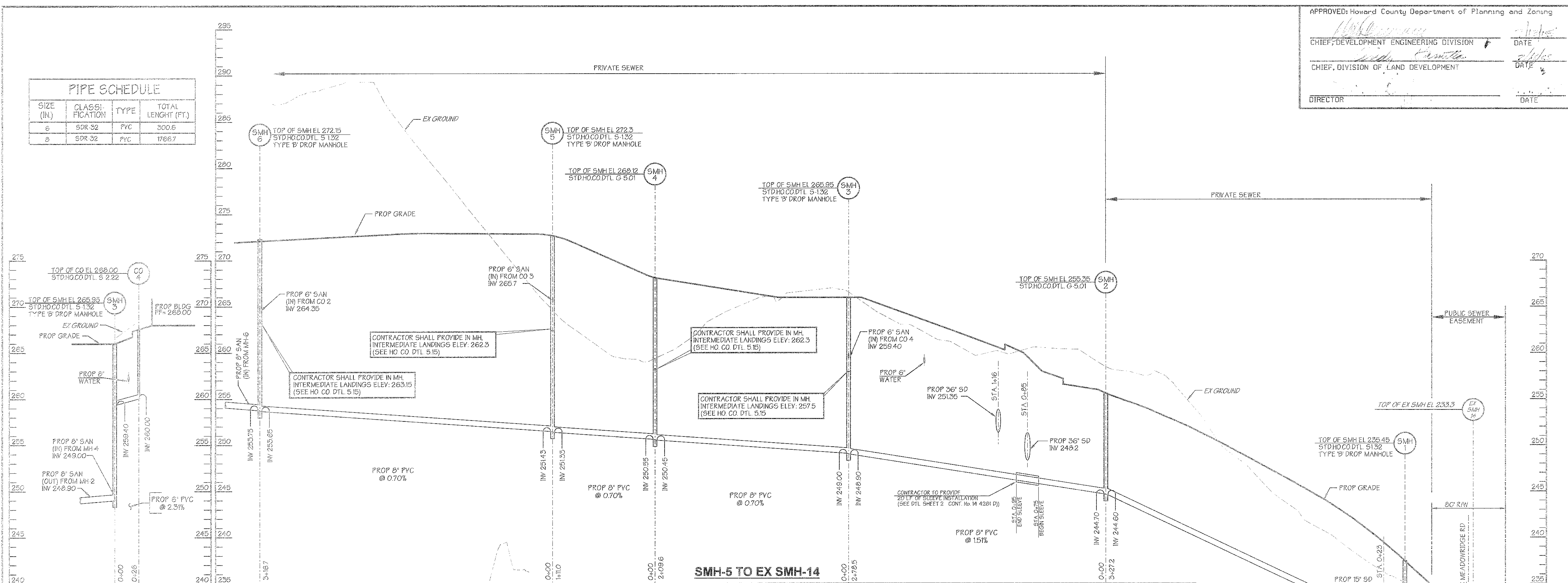
SDP-05-072

10 OF 43

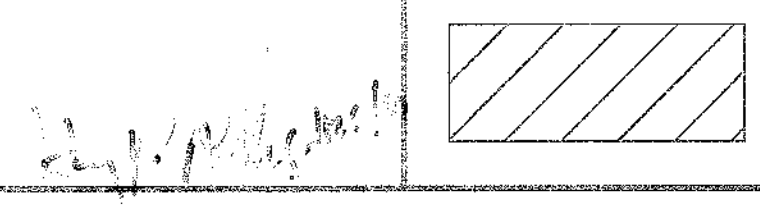
9/11/06

APPROVED: Howard County Department of Planning and Zoning
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
 DIRECTOR DATE

PIPE SCHEDULE			
SIZE (IN.)	CLASSIFICATION	TYPE	TOTAL LENGTH (FT.)
6	SDR 35	PVC	300.6
8	SDR 35	PVC	1766.7



PREPARED BY:
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
 Civil Engineers and Land Surveyors
 1026 Cromwell Bridge Road
 Towson, Maryland 21286
 (410) 825-8120



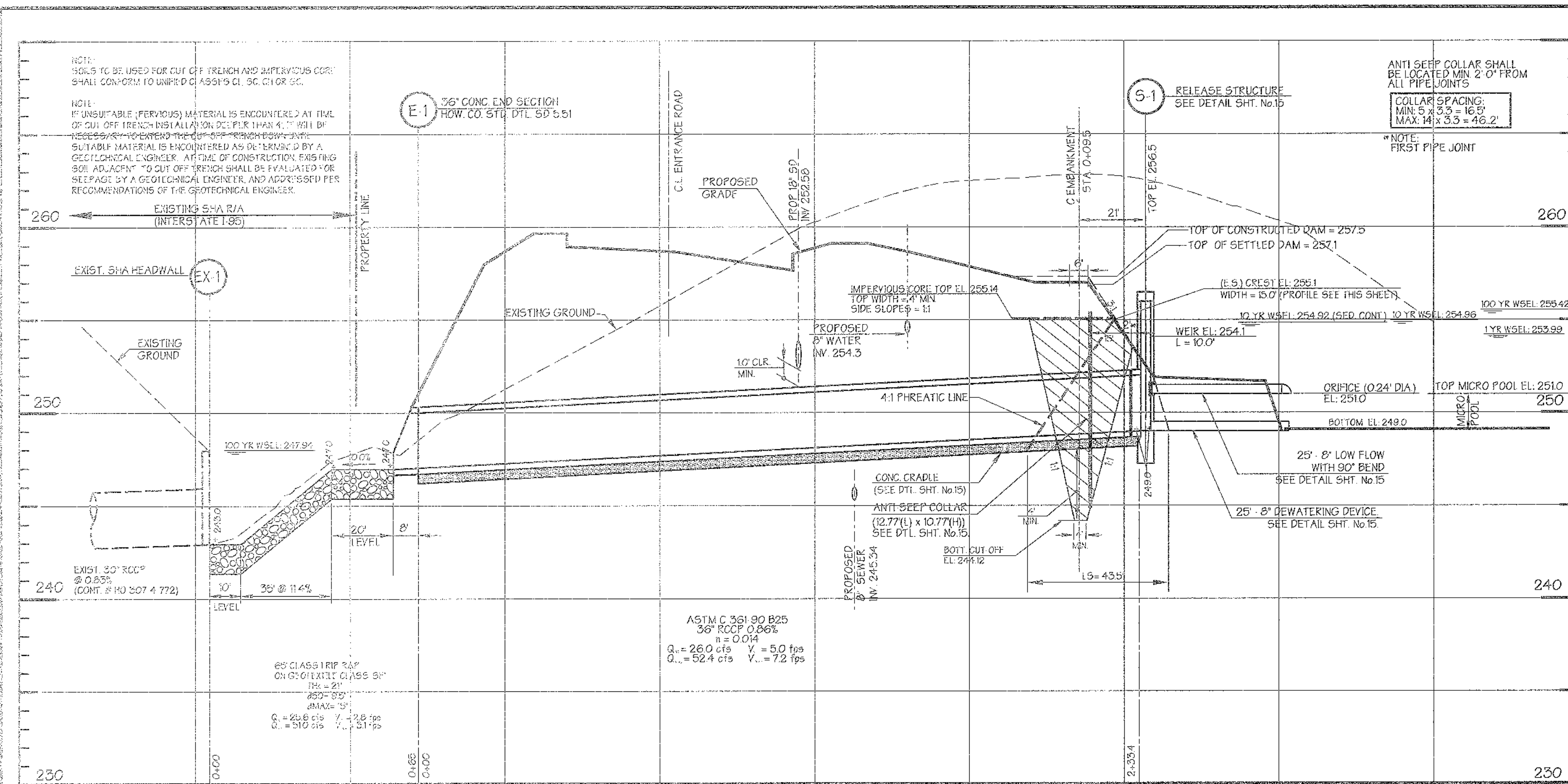
COMPACTION NOTE NO. 1:
 FILL MATERIAL IS TO BE CONTROLLED AND COMPACTED AS CERTIFIED BY AN APPROVED SOILS ENGINEER. FILL MATERIALS TO BE PLACED NO GREATER THAN 8" LIFTS AND ROLLED TO 95%.

COMPACTION NOTE NO. 2:
 ALL FILL MATERIAL BENEATH WATER AND SEWER LINES TO BE MIN 95% COMPACTION.

OWNER / DEVELOPER	ADDRESS CHART	
Merritt Properties, LLC 2066 Lord Baltimore Drive Baltimore, Maryland 21244	PARCEL NO.	STREET ADDRESS
	FAR 'A' BLDG NO 1	6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	FAR 'A' BLDG NO 2	6519 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	FAR 'A' BLDG NO 3	6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	FAR 'A' BLDG NO 4	6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PROJECT NAME	SECTION NAME	PARCEL # A
The Meadows Corporate Park	Elkridge	13,793.407 12,536.439
LIBER / FOLIO GRID	ZONE	TAX
(PLAT NO.) 153115	22	CCT / ZONE MAP
		ELECT. DIST.
		CENSUS TRACT
		601102
		SEWER CODE
		4020000

DESIGNED BY: H.P.P.
 DRAWN BY: H.P.P.
 CHECKED BY: H.P.P.
 REVISIONS

Sanitary Sewer Profiles
The Meadows Corporate Park
 Parcel 'A'
 Site Improvements: General Offices
 Election District No. 1
 Howard County, Maryland
 SDP-05-072
 Scale: As Shown
 Date: December 06, 2004
 SH. 12 OF 43



PROFILE ALONG ϕ OF PRINCIPAL SPILLWAY - POND No.1

NOTES:

- NO TREES, SHRUBS OR OTHER WOODY VEGETATION WILL BE ALLOWED WITHIN 25' OF THE INLET STRUCTURE IN THE POOL AREA AND NOT ALLOWED WITHIN 15' FROM THE TOE OF THE EMBANKMENT.
- THE CONSTRUCTION MAY REQUIRE A PERMIT FROM THE ARMY CORPS OF ENGINEERS, THE WATER RESOURCES ADMINISTRATION AND/OR HOWARD COUNTY. IT IS THE RESPONSIBILITY OF THE LANDOWNER TO CONTACT THESE THREE AGENCIES TO DETERMINE IF THE PROJECT REQUIRES A PERMIT.
U.S. ARMY CORPS OF ENGINEERS - (410) 962 3620
WATER RESOURCES ADMINISTRATION AND WATERWAYS DIVISION (410) 374 3800
HOWARD COUNTY - (410) 897 3660
- IF REQUIRED BY THE SEDIMENT CONTROL INSPECTOR PENDING SHALL BE INSTALLED TO PREVENT ACCESS TO THE BASIN BY CHILDREN.
- THIS STORMWATER MANAGEMENT FACILITY IS DESIGNED TO MEET OR EXCEED ALL APPLICABLE REQUIREMENTS OF THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS AND THE SOIL CONSERVATION DISTRICT. MAINTENANCE OF THIS FACILITY WILL BE THE RESPONSIBILITY OF THE OWNER (THE SWM FACILITY IS PRIVATE).
- SOILS TO BE USED FOR CUT OFF TRENCH AND IMPERVIOUS CORE SHALL CONFORM TO UNIFIED CLASSIFIED CL, SC, CH OR GC.
- IF UNSUITABLE (PERVIOUS) MATERIAL IS ENCOUNTERED AT TIME OF CUT-OFF TRENCH INSTALLATION DEEPER THAN 4', IT WILL BE NECESSARY TO EXTEND THE CUT OFF TRENCH DOWN UNTIL SUITABLE MATERIAL IS ENCOUNTERED AS DETERMINED BY A GEOTECHNICAL ENGINEER. AT TIME OF CONSTRUCTION, EXISTING SOIL ADJACENT TO CUT OFF TRENCH SHALL BE EVALUATED FOR SEEPAGE BY A GEOTECHNICAL ENGINEER, AND ADDRESSED PER RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.

CONSULTANT'S HAZARD CLASS CERTIFICATION
I certify that the pond meets all requirements for hazard class B or C (requirements as stated in the soil conservation service manual standards and specifications for ponds code 276, November 1992). All necessary investigations and computations have been performed to verify this finding. A copy of said information has been supplied to Howard County soil conservation district.
Engineer: _____ Date: _____
Name: _____

- AS-BUILT PLANS AND CERTIFICATION ARE REQUIRED FOR THIS STORMWATER MANAGEMENT FACILITY. THESE MUST BE PREPARED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER. HOWARD COUNTY WILL NOT PERFORM THE INSPECTION OR PREPARE THE AS-BUILT PLANS OR CERTIFICATION. THE STORMWATER MANAGEMENT PERMIT SECURITY WILL NOT BE RELEASED UNTIL THE AS-BUILT PLANS AND CERTIFICATION ARE APPROVED BY HOWARD COUNTY.
- IN ORDER TO PREPARE THE REQUIRED AS-BUILT PLANS AND CERTIFICATION, THIS STORMWATER MANAGEMENT FACILITY MUST BE INSPECTED BY THE ENGINEER AT SPECIFIC STAGES DURING CONSTRUCTION AS REQUIRED BY THE CURRENT HOWARD COUNTY STORMWATER MANAGEMENT POLICY AND DESIGN MANUAL. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING ANY WORK SHOWN ON THESE PLANS.
- ANY TEMPORARY STOCKPILE AREAS WILL BE LOCATED WITHIN THE LIMITS OF DISTURBANCE AND POSITIONED SUCH THAT ANY SEDIMENT FROM THE STOCKPILE FILL AREAS WILL BE CONTROLLED BY ONE OR MORE OF THE SEDIMENT CONTROL MEASURES SHOWN ON THIS PLAN. THESE STOCKPILE AREAS WILL ALSO BE LOCATED SUCH THAT NO DRAINAGE AREAS TO THE SEDIMENT TRAP/BASIN ARE CHANGED AND THAT DRAINAGE TO THE TRAP IS UNIMPEDED AND NO CLOSER THAN 10 FEET FROM THE SEDIMENT CONTROL DEVICE.
- ANY EXCAVATED MATERIAL NOT IMMEDIATELY RE-USED FOR EMBANKMENT CONSTRUCTION SHALL BE TAKEN TO A DESIGNATED SPILL OR FILL AREA, AND HAVE SOME FORM OF SEDIMENT CONTROL PROVIDED FOR IT. IF THE SPILL/FILL AREA IS IN AN AREA NOT DRAINING TO THE BASIN, THEN SEDIMENT CONTROL MEASURES (i.e. SUPER SILT FENCE) FOR THE SPILL/FILL AREA MUST BE INSTALLED PRIOR TO TRANSPORTING THE EXCESS SOIL MATERIAL.
- FINAL BASIN DREDGE IS TO BE TAKEN TO A SITE WITH AN APPROVED EROSION & SEDIMENT CONTROL PLAN AND AN ACTIVE GRADING PLAN.

POND No. 1 OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMWATER PONDS - (P-1 THROUGH P-5)

Routine Maintenance:

- Facility shall be inspected annually and after major storms. Inspections shall be performed during wet weather to determine if the pond is functioning properly.
- Top and side slopes of the embankment shall be mowed a minimum of two (2) times per year, once in June and once in September. Other side slopes and maintenance access shall be mowed as needed.
- Debris and litter shall be removed during regular mowing operations and as needed.
- Visible signs of erosion in the pond as well as the riprap or gabion outlet area shall be repaired as soon as it is noticed.

Non-Routine Maintenance:

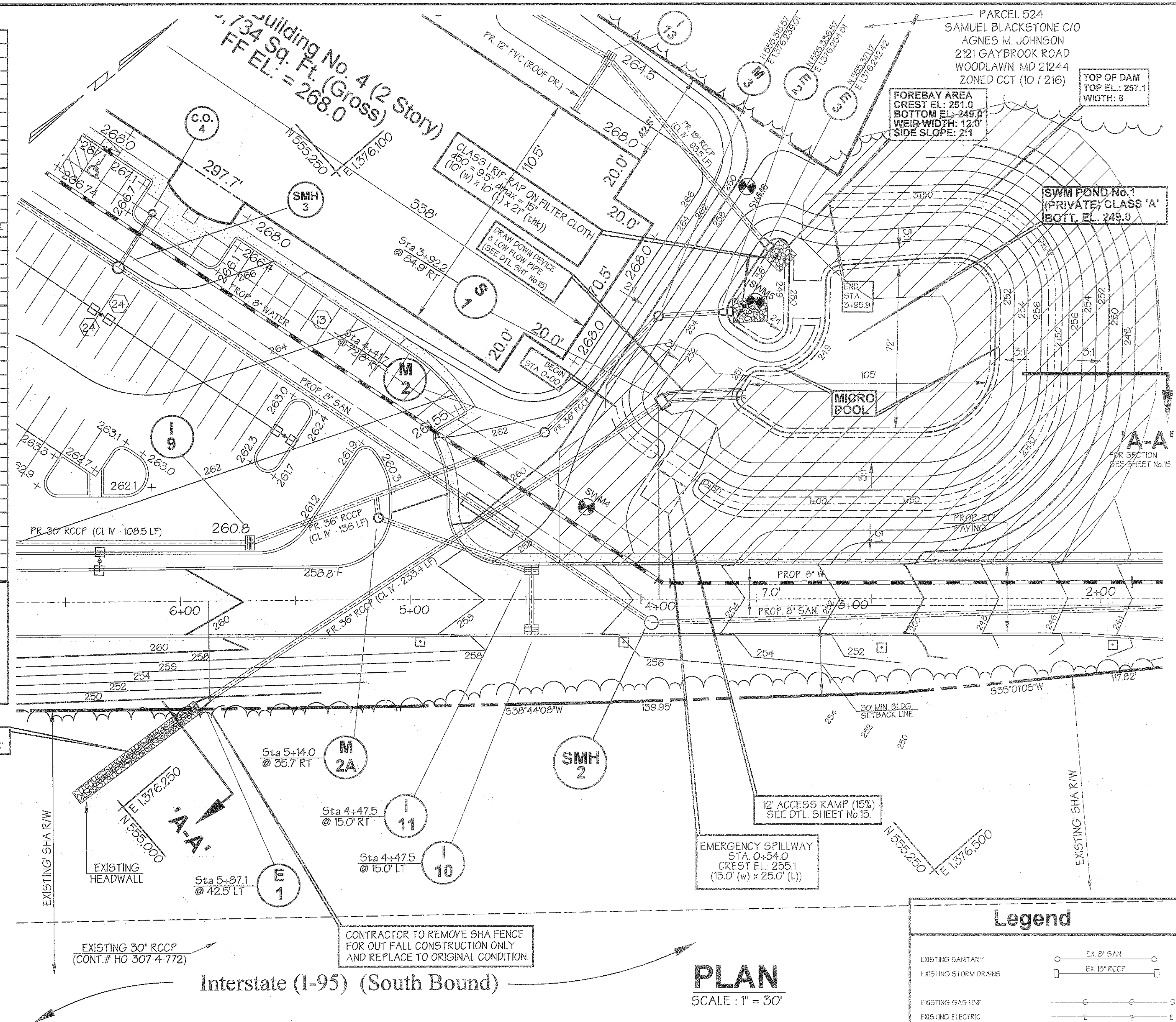
- Structural components of the pond such as the dam, the riser, and the pipes shall be repaired upon the detection of any damage. The components shall be inspected during routine maintenance operations.
- Sediment shall be removed from the pond, and forebay, no later than when the capacity of the pond, or forebay, is half full of sediment, or when deemed necessary for aesthetic reasons, upon approval from the Department of Public Works.

DENOTES: TREES AND/OR SHRUBS WILL NOT BE ALLOWED ON ANY EMBANKMENT, WILL NOT BE ALLOWED WITHIN THE BUFFER ZONE (15 FEET FROM TOE OF DAM) AND WILL NOT BE ALLOWED WITHIN A 25 FOOT RADIUS AROUND THE INLET STRUCTURE.

AS-BUILT CERTIFICATION:
I hereby certify that the facility shown on this plan was constructed as shown on the "as-built" plans and meet the approved plans and specifications.
Signature: _____ P.E. # _____
Date: _____
Certify means to state or declare a professional opinion based upon on-site inspections and material tests which are conducted during construction. The on-site inspections and material tests are those inspections and tests deemed sufficient and appropriate by commonly accepted engineering standards. Certify does not mean or imply a guarantee by the engineer nor does an engineer's certification release any other party from meeting requirements imposed by contract, employees, or other means, including meeting commonly accepted industry practices.

DEVELOPER CERTIFICATION:
I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a certification of attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District.
Signature of Developer: _____ Date: 6/27/05
Print Name: _____

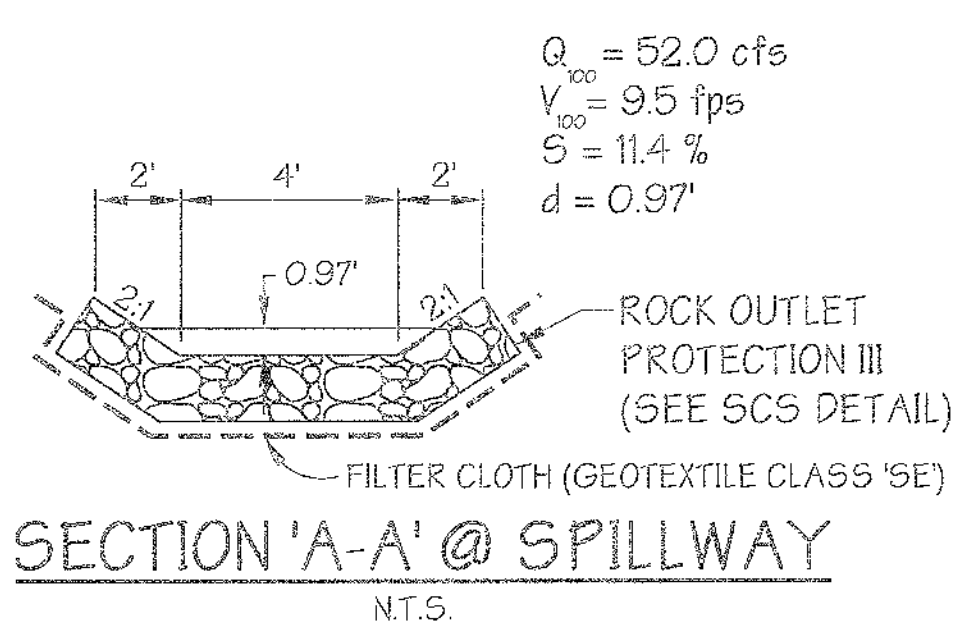
ENGINEER CERTIFICATION:
I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Department of the Environment and approved by a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion.
Signature of Engineer: _____ Date: 6/27/05
Print Name: _____ P.E. # 22287



Interstate (I-95) (South Bound)

PLAN

SCALE: 1" = 30'



SECTION 'A-A' @ SPILLWAY N.T.S.

Legend

- EXISTING SANITARY
- EXISTING STORM DRAINS
- EXISTING GAS LINE
- EXISTING ELECTRIC
- EXISTING CURB AND GUTTER
- PROPERTY LINE
- PROPOSED CURB AND GUTTER
- RIGHT OF WAY
- EXISTING WATER LINE
- EXISTING 2" CONDUITS
- EXISTING 1" CONDUITS
- PROPOSED CONDUITS
- EXISTING / PROPOSED FIRE HYDRANTS
- EXISTING TREES
- EXISTING TREE LINES
- EXISTING / PROPOSED WATER VALVES
- PROPOSED STORM DRAIN
- PROPOSED WATER
- SOIL LINE
- WETLANDS
- 100 YEAR FLOOD PLAIN

POND No. 1 SPECIFICATION FOR DRAINAGE AREA 1

DESCRIPTION	DATA
STRUCTURE CLASSIFICATION	A
STORAGE X HEIGHT PRODUCT	(134 ACFT)(6.42) = 860 ACFT ²
WATERSHED AREA TO THE POND	77 AC+1
HEIGHT TO EMERGENCY SPILLWAY (TOKEN)	6.5'
NORMAL SURFACE AREA	0.04 AC+1 @ EL: 251.0 (TOP WATER QUALITY)
PRINCIPLE SPILLWAY CAPACITY	510 CFS
EMERGENCY SPILLWAY CAPACITY/CREST (TOKEN)	32 cfs @ 255.1
POUND TYPE	MICRO POOL ED (P)
FREEBOARD	1.0' / 1.65'
IMPERVIOUS AREA (AREA SERVED)	5.9 AC+1
WATER QUALITY STORAGE REQUIRED	SEE WATER QUALITY COMPS & DWGS
WATER QUALITY STORAGE PROVIDED	SEE WATER QUALITY COMPS & DWGS
WATER QUALITY	PROVIDED BY MICRO POOL
TOP OF EMBANKMENT	257.1
MAXIMUM HEIGHT OF FILL (FT.)	3.0'
WATERSHED	DEEP RUN WATERSHED

POND No. 1 SUMMARY

DESIGN STORM	EXISTING SITE RELEASE RATE (CFS) AREA 1	FACILITY INFLOW (CFS)	FACILITY DISCHARGE (CFS)	OFF SITE DISCHARGE (CFS)	BYPASS DISCHARGE (CFS)	TOTAL DISCHARGE (CFS)	WATER SURFACE ELEVATION (FT)	STORAGE VOL WITH WATER QUALITY (AC FT)
1" YR	3.66	19.77	0.57	0.20	0.59	0.89	253.99	0.84
2" YR	20.27	42.76	25.96	1.22	2.00	26.96	254.96	1.16
10" YR	37.11	61.99	52.26	2.28	3.29	55.33	255.42	1.34

APPROVED: Howard County Department of Planning and Zoning

 CHIEF, DEVELOPMENT ENGINEERING DIVISION

 CHIEF, DIVISION OF LAND DEVELOPMENT

 DIRECTOR

Reviewed for Howard SCD and meets Technical Requirements

 USDA-NATURAL RESOURCES CONSERVATION SERVICE

 This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District

 HOWARD SOIL CONSERVATION DISTRICT

PREPARED BY:
GWS
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
 Civil Engineers and Land Surveyors
 1020 Cromwell Bridge Road
 Towson, Maryland 21286
 (410) 825-8120

Signature of Developer: _____ Date: 6/27/05
 Print Name: _____

Signature of Engineer: _____ Date: 6/27/05
 Print Name: _____ P.E. # 22287

OWNER / DEVELOPER
Merritt Properties, LLC
 2066 Lord Baltimore Drive
 Baltimore, Maryland 21244

ADDRESS CHART
 PARCEL NO. STREET ADDRESS
 PAR 'A' BLDG NO 1 6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103
 PAR 'A' BLDG NO 2 6519 MEADOWRIDGE ROAD MARYLAND ROUTE 103
 PAR 'A' BLDG NO 3 6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103
 PAR 'A' BLDG NO 4 6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103

PROJECT NAME SECTION NAME PARCEL # A
 The Meadows Corporate Park Elkridge 412, 535 & 536

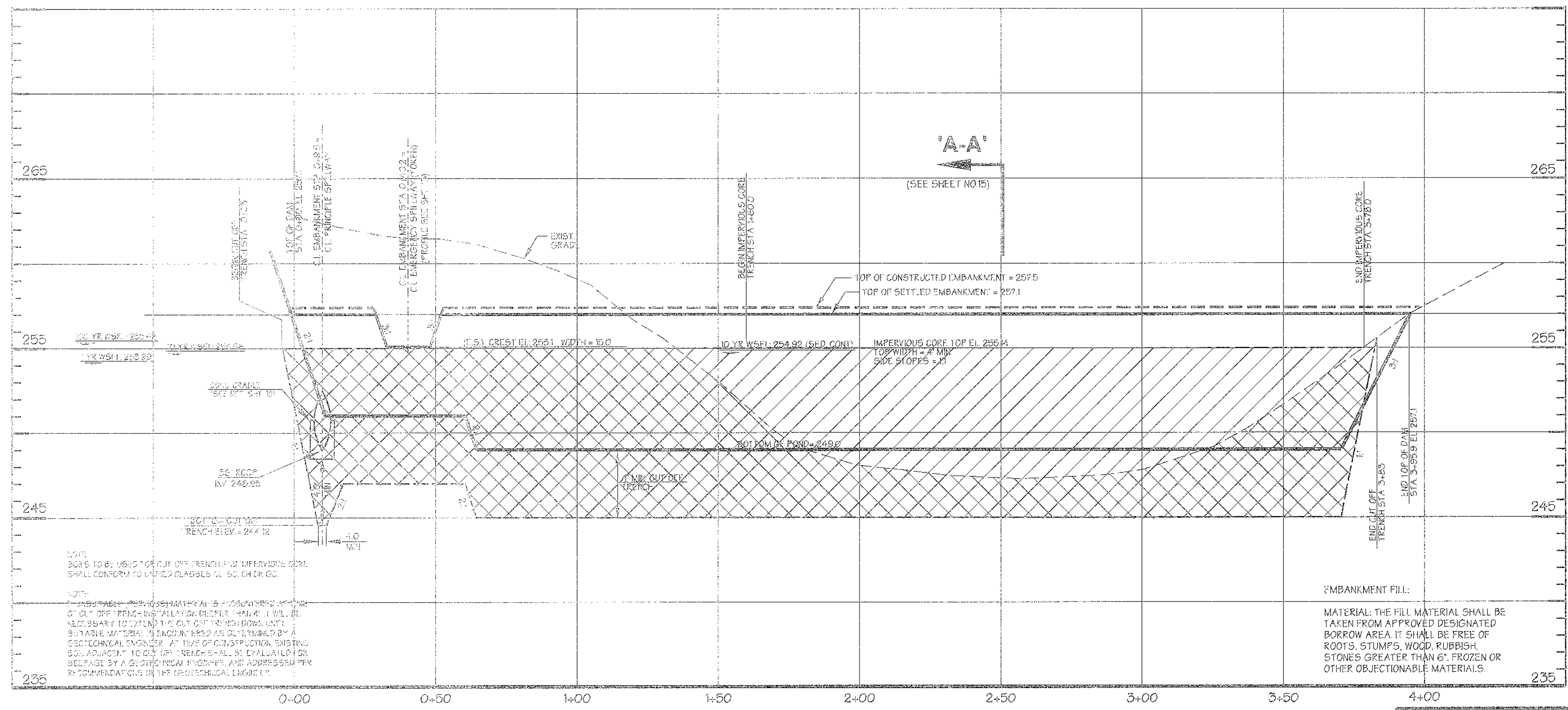
LIBER / FOLIO GRID ZONE TAX MAP ELECT. DIST. CENSUS TRACT
 PLAT NO 1737/15 22 OCT / ZONE 27 MAP 1 1 601102

DESIGNED BY: H.P.P.
 DRAWN BY: H.P.P.
 CHECKED BY: H.P.P.
 REVISIONS

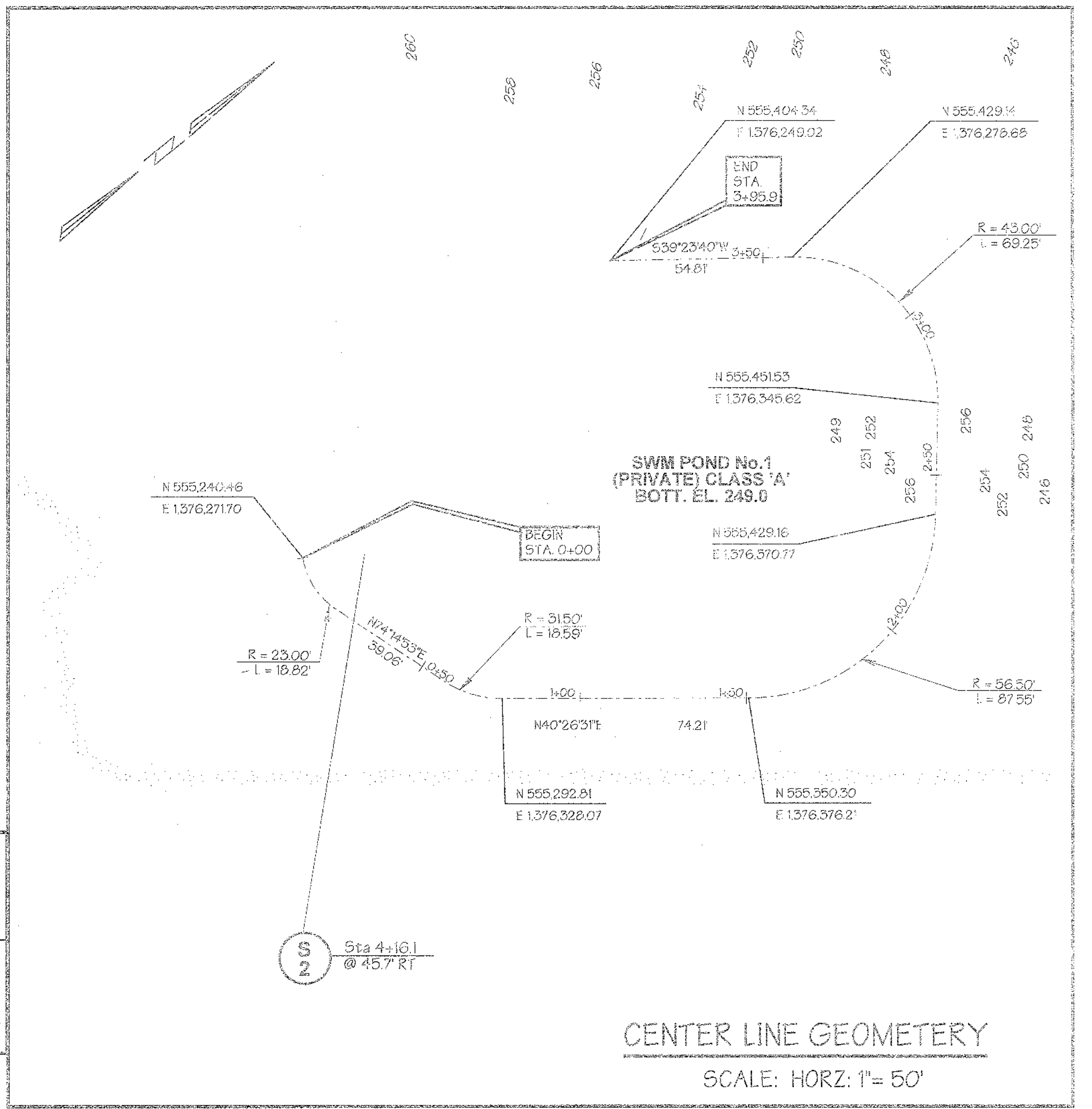
SWM PLAN & PROFILES - POND No. 1
The Meadows Corporate Park
 Parcel 'A'

Site Improvements: General Offices
 Election District No. 1
 Howard County, Maryland SHT 13 OF 43 Date: December 06, 2004

SDP-05-072
 Scale: As Shown
 Date: December 06, 2004
 P.N.: 10 9689



PROFILE ALONG C OF EMBANKMENT - POND No.1
SCALE: HORIZ: 1" = 30'
VERT: 1" = 5'



CENTER LINE GEOMETRY
SCALE: HORIZ: 1" = 50'

Reviewed for Howard SCD and meets Technical Requirements
USDA-NATURAL RESOURCE CONSERVATION SERVICE
in August 7/1/05
DATE
This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.
Robert Solis 7/1/05
DATE
HOWARD SOIL CONSERVATION DISTRICT

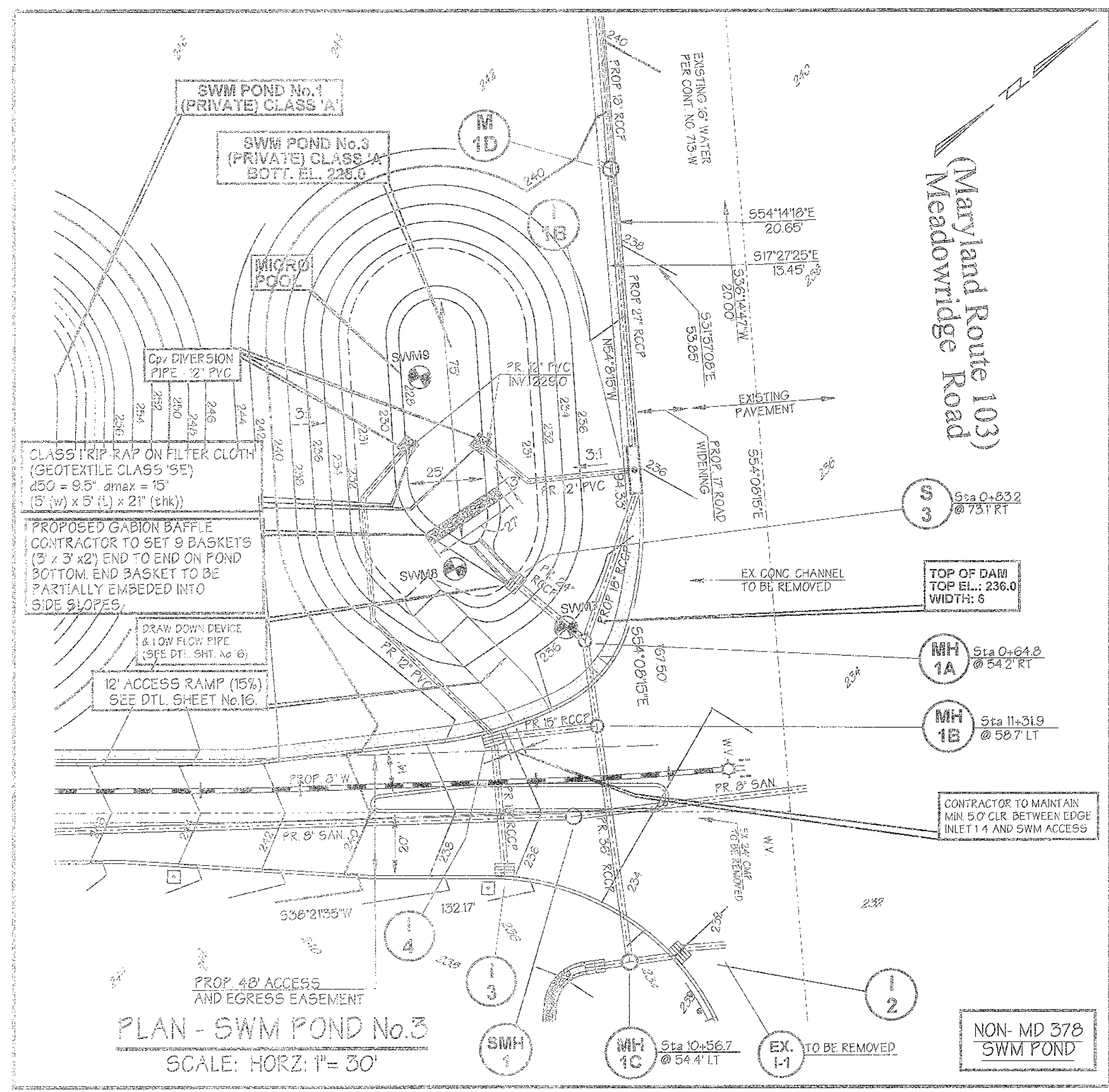
POND No.3 OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMWATER PONDS - (P-1 THROUGH P-5)

Routine Maintenance:

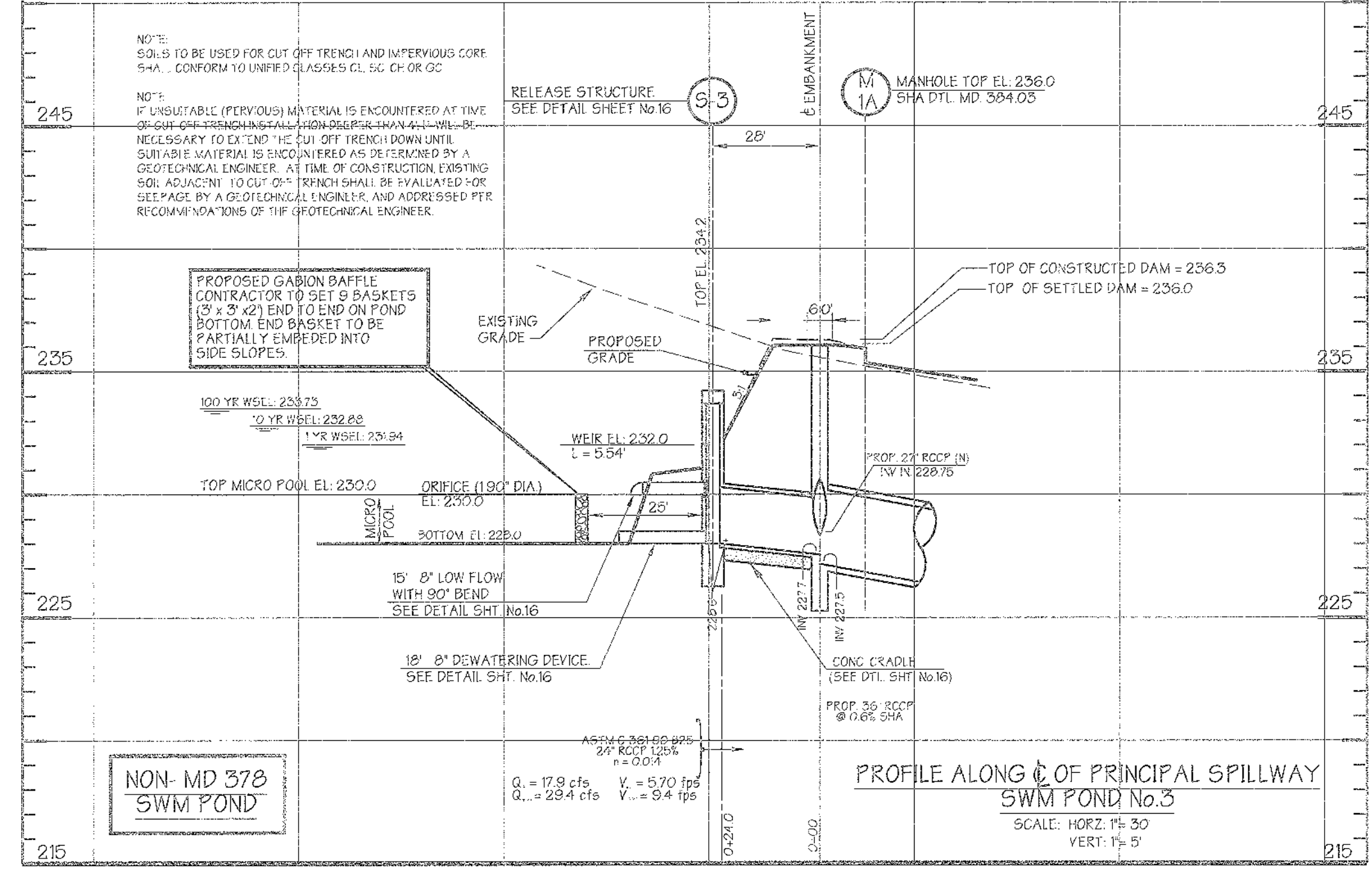
1. Facility shall be inspected annually and after major storms. Inspections shall be performed during weather to determine if the pond is functioning properly.
2. Top and side slopes of the embankment shall be mowed a minimum of two (2) times per year, once in June and once in September. Other side slopes and maintenance access shall be mowed as needed.
3. Debris and litter shall be removed during regular mowing operations and as needed.
4. Visible signs of erosion in the pond as well as the riprap or gabion outlet area shall be repaired as soon as it is noticed.

Non Routine Maintenance:

1. Structural components of the pond such as the dam, the riser, and the pipes shall be repaired upon the detection of any damage. The components shall be inspected during routine maintenance operations.
2. Sediment shall be removed from the pond, and Forebay, no later than when the capacity of the pond or forebay is half full of sediment, or when deemed necessary for aesthetic reasons, upon approval from the Department of Public Works.



PLAN - SWM POND No.3
SCALE: HORIZ: 1" = 30'



PROFILE ALONG C OF PRINCIPAL SPILLWAY
SWM POND No.3
SCALE: HORIZ: 1" = 30'
VERT: 1" = 5'

Stormwater Management Sequence of Construction

1. COMPLETE THE SEQUENCE OF OPERATIONS ON THE APPROVED SEDIMENT AND EROSION CONTROL PLANS.
2. NOTIFY HOWARD COUNTY, DEPARTMENT OF PUBLIC WORKS AND ENGINEER PREPARING AS BUILT DRAWINGS, AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION (DPW) (410 313 2414), THE GEOTECHNICAL ENGINEER (410-247-5533) AND THE ENGINEER IN CHARGE (410-825-8120) AT LEAST 48 HOURS PRIOR TO BEGINNING WORK. ALSO NOTIFY ENGINEER IN CHARGE FOR AS BUILT.
3. AFTER ALL AREAS HAVE BEEN PERMANENTLY STABILIZED AND WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL DEVICES AND STABILIZE WITH PERMANENT SEEDING. CONVERT SEDIMENT BASINS TO STORM WATER MANAGEMENT FACILITIES IN ACCORDANCE WITH THE APPROVED STORM WATER MANAGEMENT PLANS.
 - A. CLEAN OUT BASING.
 - B. MAKE NECESSARY CHANGES TO RELEASE STRUCTURE.
 - C. REPLACE SEDIMENT BASIN DEWATERING DEVICE WITH POND DEWATERING DEVICE.
 - D. UPON BASIN CONVERSION, COMPLETE ALL WATER QUALITY FACILITIES INSTALLATION AND CONVERSION.
4. COMPLETE AS BUILT SURVEYS AND STUDIES AND SUBMIT TO APPROPRIATE AGENCIES WITHIN 30 DAYS OF COMPLETION OF INSTALLATION.

NOTE:
(*) CONSTRUCT THE SEDIMENT BASINS PER THE SPECIFICATIONS AS SHOWN ON THE SEDIMENT CONTROL PLAN FOR INITIAL CONSTRUCTION. CONTACT THE ENGINEER IN CHARGE @ (825-8120) SO THEY CAN INSPECT THE INSTALLATION OF THE FOLLOWING:

- * THE IMPERVIOUS CORE AND/OR CUT OFF TRENCHES.
- * THE CONCRETE CRADLE.
- * THE OUTFALL PIPE.
- * THE DEWATERING DEVICE.
- * THE CONCRETE END SECTION AND OUTLET PROTECTION.
- * THE EMBANKMENT CONSTRUCTION AND STABILIZATION IN ACCORDANCE WITH THE SPECIFICATIONS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLANS.

APPROVED: Howard County Department of Planning and Zoning
CHIEF, DEVELOPMENT ENGINEERING DIVISION
CHIEF, DIVISION OF LAND DEVELOPMENT
DIRECTOR

OWNER / DEVELOPER	ADDRESS CHART
Merritt Properties, LLC 2066 Lord Baltimore Drive Baltimore, Maryland 21244	PARCEL NO. STREET ADDRESS PAR 'A' BLDG NO 1 6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103 PAR 'A' BLDG NO 2 6519 MEADOWRIDGE ROAD MARYLAND ROUTE 103 PAR 'A' BLDG NO 3 6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103 PAR 'A' BLDG NO 4 6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PROJECT NAME	SECTION NAME
The Meadows Corporate Park	Elkridge
LIBER / FOLIO GRID	ZONE
PLAT NO. 771/15	22
WATER CODE B 02	SEWER CODE 4020000

PREPARED BY:
GWS
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
1020 Cromwell Bridge Road
Towson, Maryland 21285
(410) 825-8120

DEVELOPER CERTIFICATION:
I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a certificate of Attendance of a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District.

Signature of Developer: *T. E. DALLAGE* Date: *6/27/05*
Print Name: **TAMIEL E. DALLAGE**

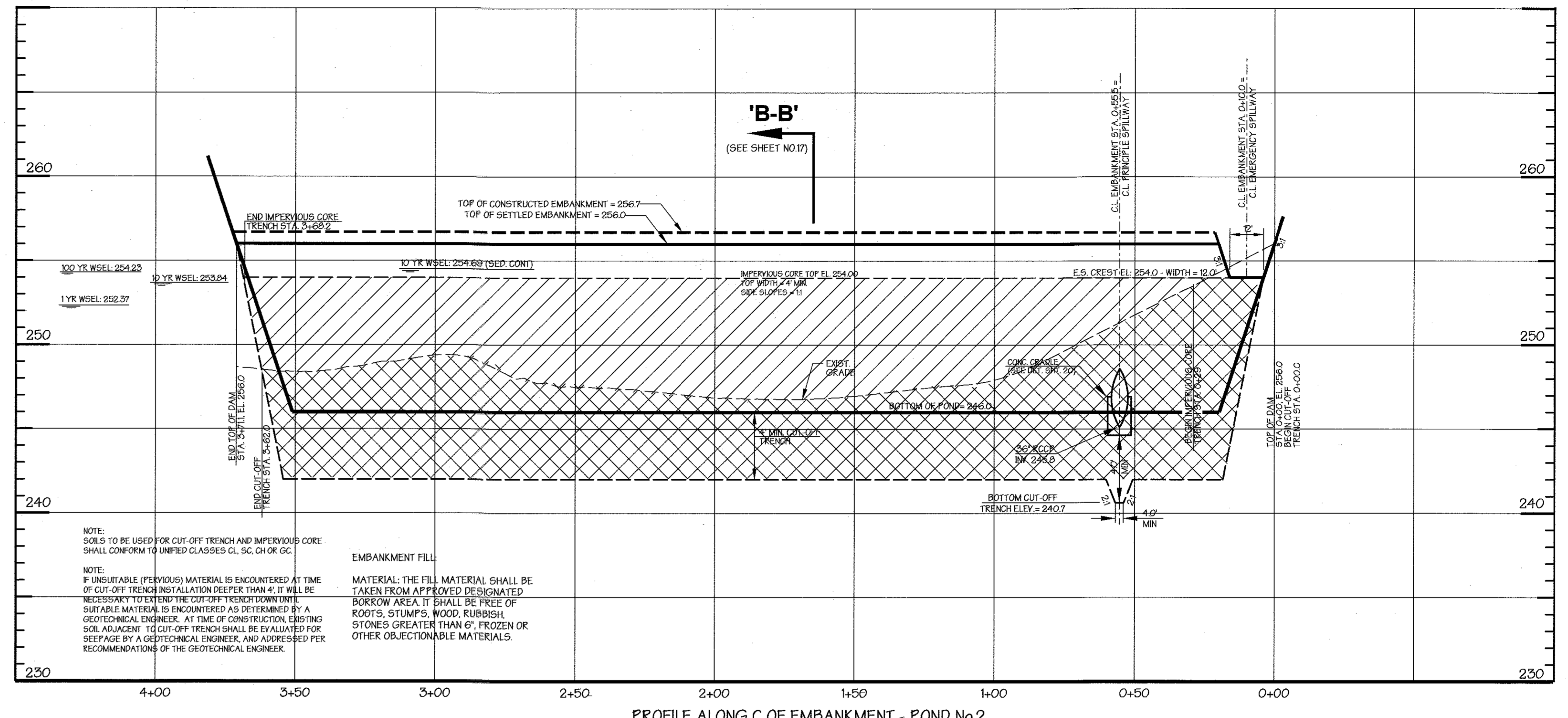
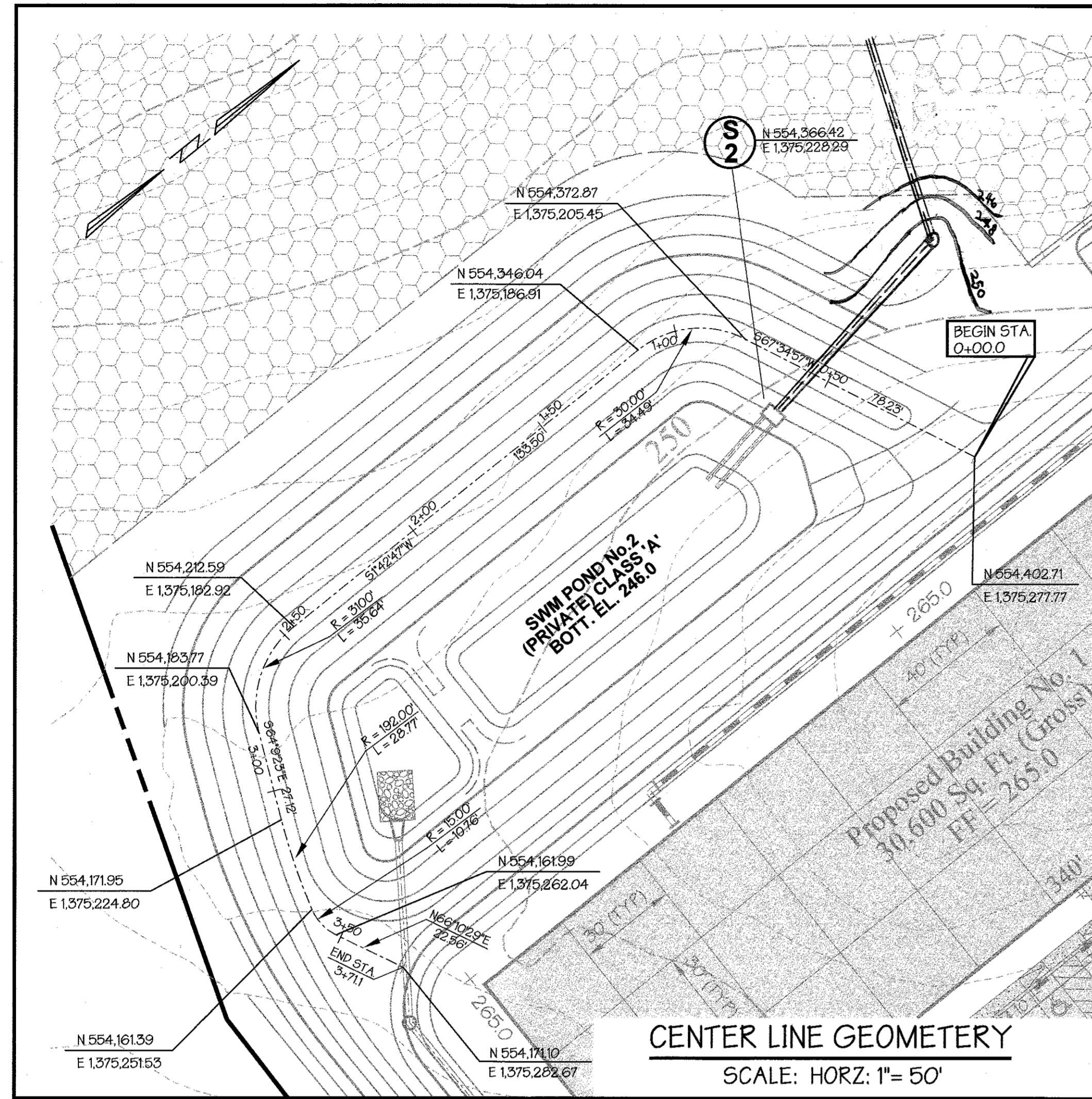
ENGINEER CERTIFICATION:
I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District and I am a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion.

Signature of Engineer: *Robert Solis* Date: *6/27/05*
Print Name: **ROBERT SOLIS** PE # *36227*

DESIGNED BY: H.P.P.
DRAWN BY: H.P.P.
CHECKED BY: H.P.P.
REVISIONS

Pond No.1 & Pond No.3 SWM Plan, Profiles & Details
The Meadows Corporate Park Parcel 'A'

Site Improvements: General Offices
Election District No.1
Howard County, Maryland
SDP-05-072
Scale: As Shown
Date: December 06, 2004
SDP-05-072
F:\10-8682



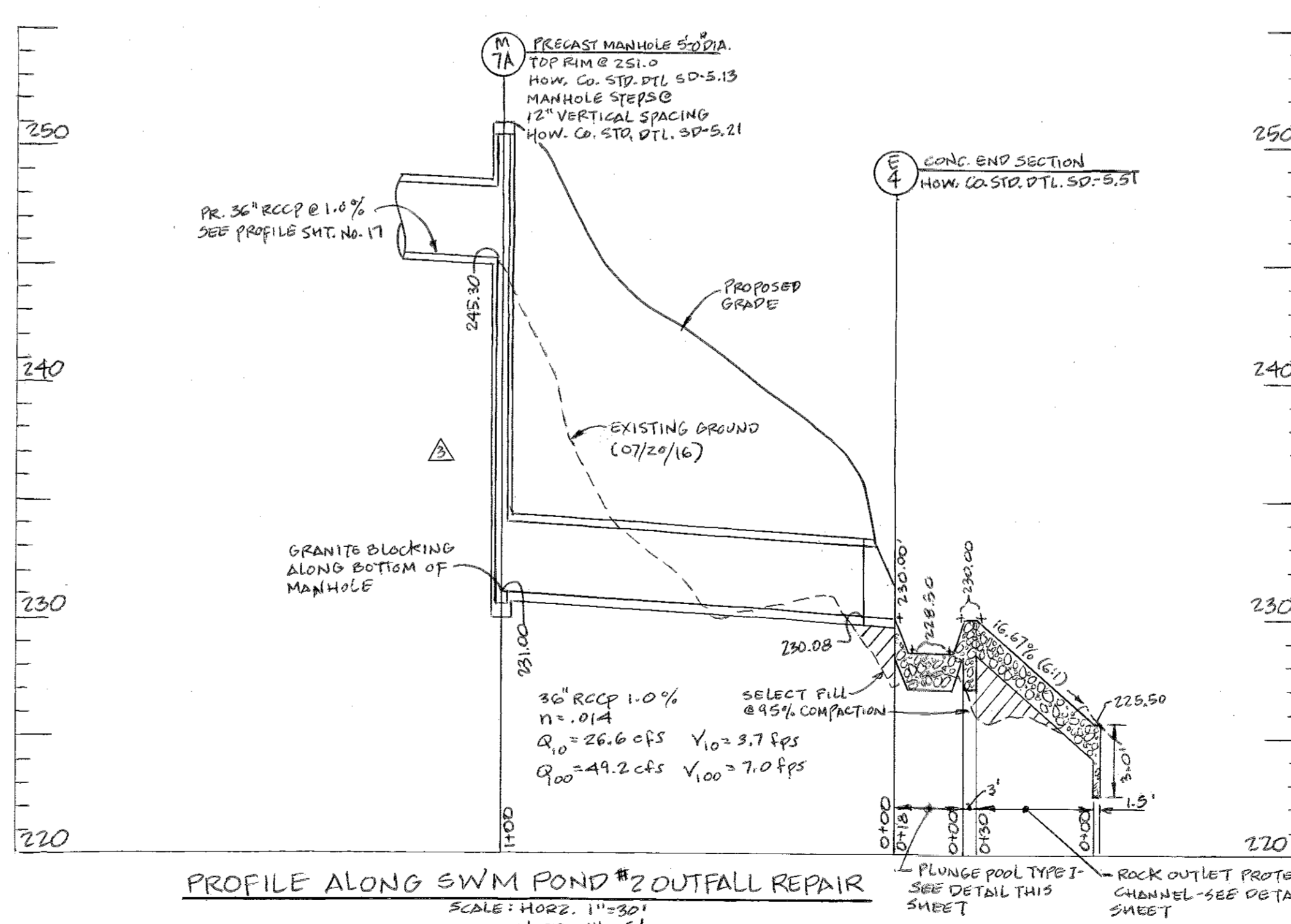
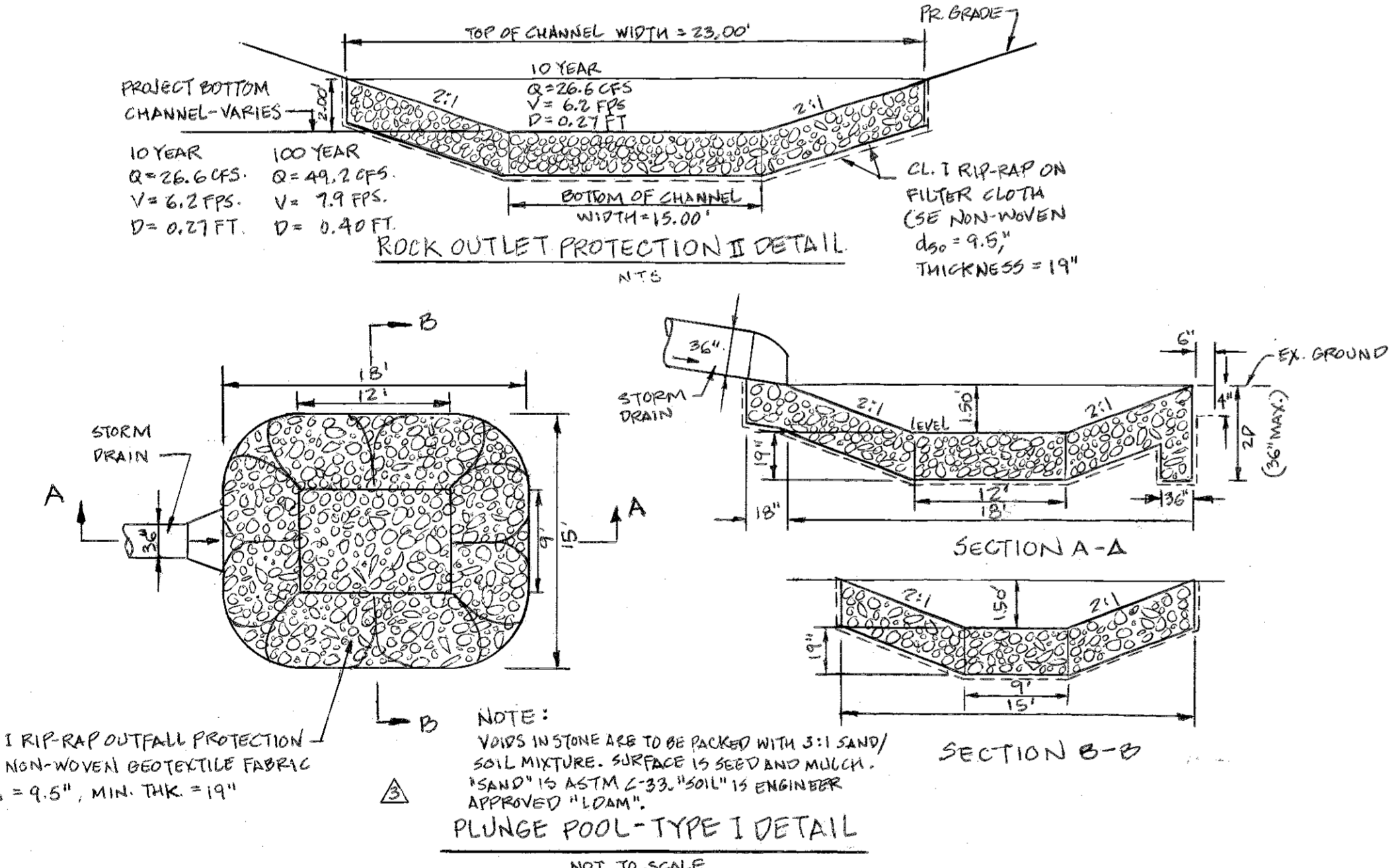
POND No. 2 OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMWATER PONDS - (P-1 THROUGH P-5)

Routine Maintenance:

1. Facility shall be inspected annually and after major storms. Inspections shall be performed during wet weather to determine if the pond is functioning properly.
2. Top and side slopes of the embankment shall be mowed a minimum of two (2) times per year, once in June and once in September. Other side slopes and maintenance access shall be mowed as needed.
3. Debris and litter shall be removed during regular mowing operations and as needed.
4. Visible signs of erosion in the pond as well as the riprap or gabion outlet area shall be repaired as soon as it is noticed.

Non-Routine Maintenance:

1. Structural components of the pond such as the dam, the riser, and the pipes shall be repaired upon the detection of any damage. The components shall be inspected during routine maintenance operations.
2. Sediment shall be removed from the pond, and forebay, no later than when the capacity of the pond, or forebay, is half full of sediment, or, when deemed necessary for aesthetic reasons, upon approval from the Department of Public Works.



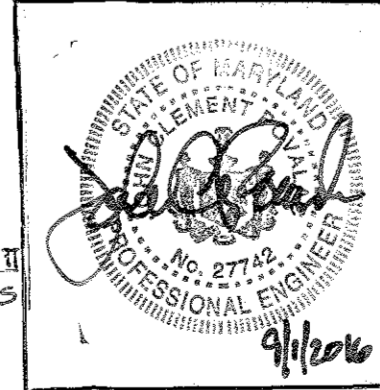
Stormwater Management Sequence of Construction

1. COMPLETE THE SEQUENCE OF OPERATIONS ON THE APPROVED SEDIMENT AND EROSION CONTROL PLANS.
2. NOTIFY HOWARD COUNTY, DEPARTMENT OF PUBLIC WORKS AND ENGINEER PREPARING AS-BUILT DRAWINGS, AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION. (DPW) (410-313-2414). THE GEOTECHNICAL ENGINEER (410-247-5533) AND THE ENGINEER IN CHARGE (410-825-8120) AT LEAST 48 HOURS PRIOR TO BEGINNING WORK. ALSO NOTIFY ENGINEER IN CHARGE FOR AS-BUILT.
3. AFTER ALL AREAS HAVE BEEN PERMANENTLY STABILIZED AND WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL DEVICES AND STABILIZE WITH PERMANENT SEEDING. CONVERT SEDIMENT BASINS TO STORM WATER MANAGEMENT FACILITIES IN ACCORDANCE WITH THE APPROVED STORM WATER MANAGEMENT PLANS:
 - A. CLEAN OUT BASINS.
 - B. MAKE NECESSARY CHANGES TO RELEASE STRUCTURE.
 - C. REPLACE SEDIMENT BASIN DEWATERING DEVICE WITH POND DEWATERING DEVICE.
 - D. UPON BASIN CONVERSION, COMPLETE ALL WATER QUALITY FACILITIES INSTALLATION AND CONVERSION.
4. COMPLETE AS-BUILT SURVEYS AND STUDIES AND SUBMIT TO APPROPRIATE AGENCIES WITHIN 30 DAYS OF COMPLETION OF INSTALLATION.

NOTE:
 (1) CONSTRUCT THE SEDIMENT BASINS PER THE SPECIFICATIONS AS SHOWN ON THE SEDIMENT CONTROL PLAN FOR INITIAL CONSTRUCTION. CONTACT THE ENGINEER IN CHARGE @ (825-8120) SO THEY CAN INSPECT THE INSTALLATION OF THE FOLLOWING:

- THE IMPERVIOUS CORE AND/OR CUT-OFF TRENCHES.
- THE CONCRETE CRADLE.
- THE OUTFALL PIPE.
- THE DEWATERING DEVICE.
- THE CONCRETE END SECTION AND OUTLET PROTECTION.
- THE EMBANKMENT CONSTRUCTION AND STABILIZATION IN ACCORDANCE WITH THE SPECIFICATIONS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLANS.

REVISION #3 PREPARED BY:
 BALTIMORE LAND DESIGN GROUP, INC.
 230 SCHILLING CIRCLE, SUITE 304
 HUNT VALLEY, MARYLAND 21031
 PHONE: (410) 229-9851
 FAX: (410) 229-9855
 EMAIL: bldg@bldginc.com



PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, JOHN C. POVALIC, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27742, EXPIRATION DATE: JULY 18, 2018.

APPROVED: Howard County Department of Planning and Zoning
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

Reviewed for Howard SCD and meets Technical Requirements
 USDA-NATURAL RESOURCES CONSERVATION SERVICE
 This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District
 HOWARD SOIL CONSERVATION DISTRICT

PREPARED BY:
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
 Civil Engineers and Land Surveyors
 1020 Cromwell Bridge Road
 Towson, Maryland 21286
 (410) 825-8120

DEVELOPER CERTIFICATION:
 I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a certificate of Attendance of a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District.

Signature of Developer: Daniel F. Palace
 Date: 6/27/05

ENGINEER CERTIFICATION:
 I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements and must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion.

Signature of Engineer: Henry P. ...
 Date: 6/27/05
 PE # 26673

OWNER / DEVELOPER
Merritt Properties, LLC
 2066 Lord Baltimore Drive
 Baltimore, Maryland 21244

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
PAR. 'A' BLDG. NO. 1	6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR. 'A' BLDG. NO. 2	6518 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR. 'A' BLDG. NO. 3	6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR. 'A' BLDG. NO. 4	6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103

PROJECT NAME
 The Meadows Corporate Park

SECTION NAME
 Elkrige

PARCEL # A
 173, 179, 407, 412, 536 & 538

LIBER / FOLIO GRID
 F 05103
 (PLAT NO. 1157) HT

ZONE
 CCT

TAX MAP
 37

ELECT. DIST.
 1

CENSUS TRACT
 601102

WATER CODE
 B-02

SEWER CODE
 4020000

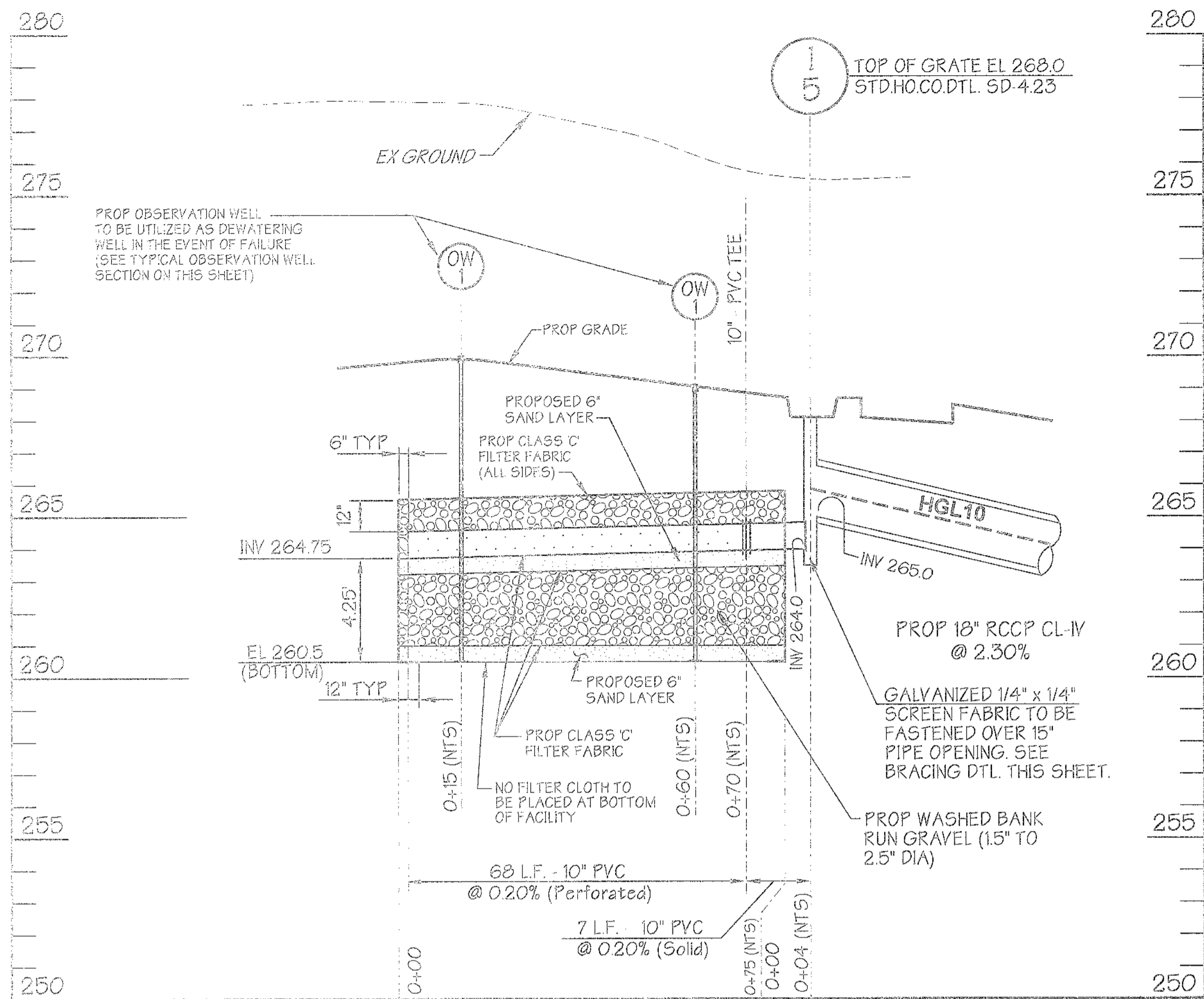
DESIGNED BY: H.P.P.
DRAWN BY: HPP
CHECKED BY: H.P.P.
 REVISIONS

Pond No.2 Storm Water Management Profiles & Details
The Meadows Corporate Park Parcel 'A'

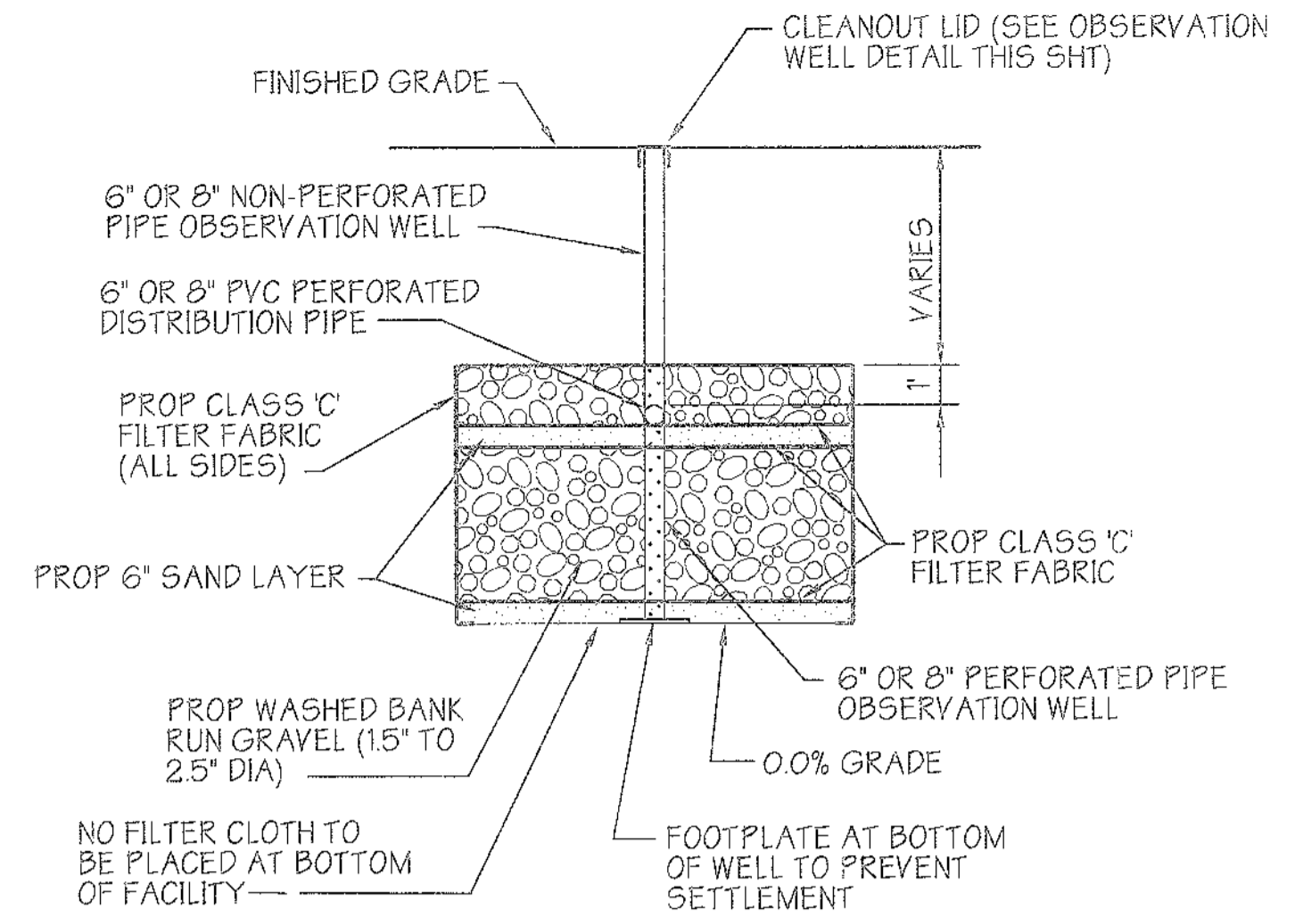
Site Improvements: General Offices
 Election District No.1
 Howard County, Maryland
 SDP -05-072

Scale: As Shown
 Date: December 06, 2004

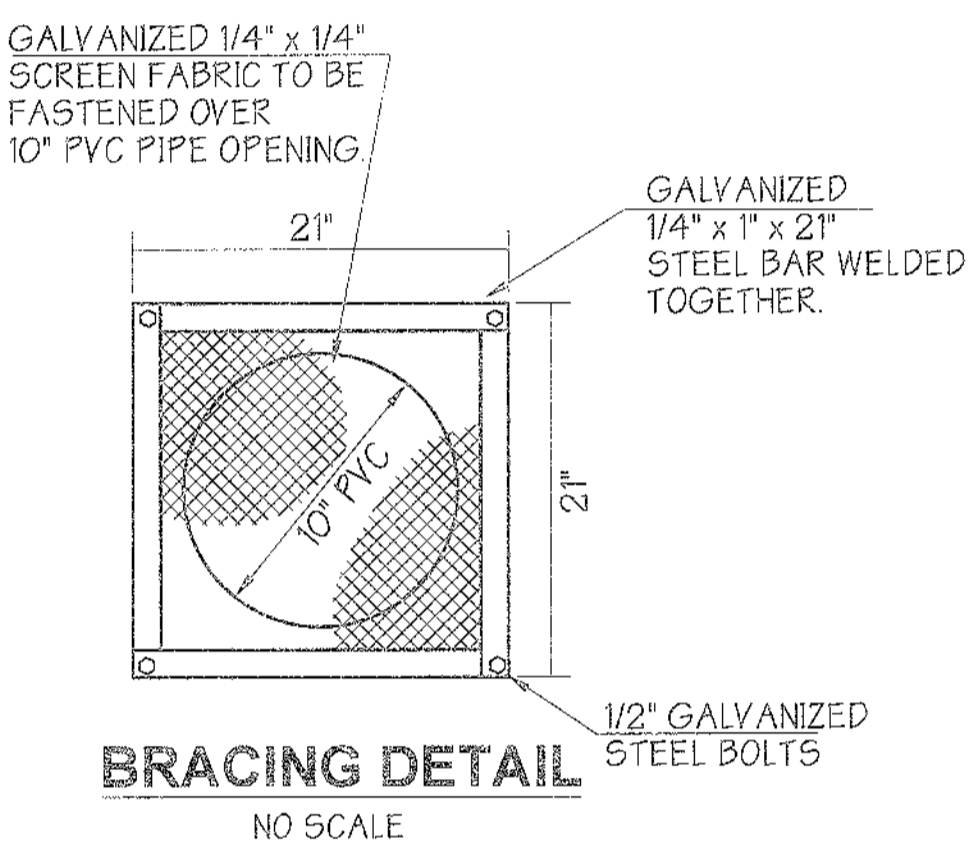
SDP -05-072



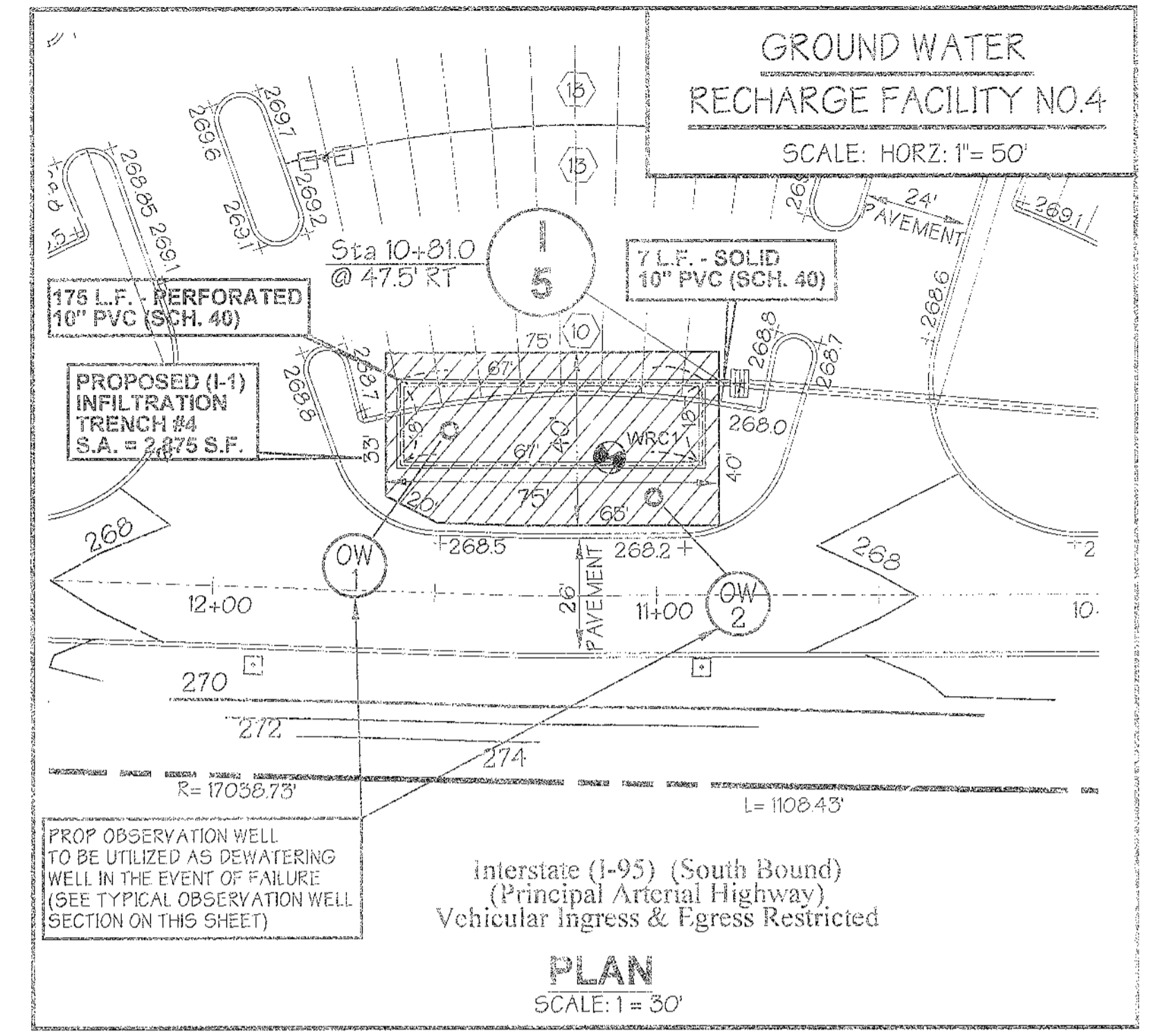
**PROPOSED INFILTRATION TRENCH #4
GROUND WATER RECHARGE**
SCALE: AS SHOWN



OBSERVATION WELL SECTION
NOT TO SCALE



BRACING DETAIL
NO SCALE



**INFILTRATION TRENCH
MAINTENANCE NOTES**

- The infiltration trench must be inspected several times during the first few months of operations after major storms, then annually thereafter. Inspections shall examine evidence of surface ponding, clogging, etc. Water levels in observation wells should be recorded over a several day period to check trench drainage.
- The pre-treatment inlets of underground trenches should be checked periodically and cleaned out when sediment depletes more than 10% of the available capacity. Sediment removal can be performed manually or by use of a vacuum pump. Inlet and outlet pipes must be checked for clogging and vandalism.
- Any adjacent trees may require trimming to ensure that the drip-line does not extend over a trench surface so that tree leaves do not clog the trench. Any seedling growth that develops in vicinity of a trench should be removed to prevent root puncture which may cause sediment to enter trench.
- Rehabilitation of a clogged underground trench required the removal of the topsoil, vegetation or structural (paved, concrete, etc.) layer, removal of the protective plastic layer, removal of the entire stone aggregate layer, removal of the bottom filter fabric, tilling of the subsoil layer to promote better infiltration and then replacement of each layer.

POND No. 4 OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMWATER INFILTRATION TRENCHES (11)	
1. The monitoring wells and structures shall be inspected on a quarterly basis and after every large storm event.	
2. Water levels and sediment build up in the monitoring wells shall be recorded over a period of several days to insure trench drainage.	
3. A logbook shall be maintained to determine the rate at which the facility drains.	
4. When the facility becomes clogged so that it does not drain down within the 72 hour time period, corrective action shall be taken.	
5. The maintenance logbook shall be available to Howard County for inspection to insure compliance with operation and maintenance criteria.	
6. Once the performance characteristics of the infiltration facility have been verified, the monitoring schedule can be reduced to an annual basis unless the performance data indicates that a more frequent schedule is required.	

An infiltration trench may not receive run-off until the entire contributing drainage area to the infiltration trench has received final stabilization.

- Heavy equipment and traffic shall be restricted from traveling over the proposed location of the infiltration trench to minimize compaction of the soil.
- Excavate the infiltration trench to the design dimensions. Excavated materials shall be placed away from the trench sides to enhance trench wall stability. Large tree roots must be trimmed flush with the trench sides in order to prevent fabric puncturing or tearing of the filter fabric during subsequent installation procedures. The sidewalls of the trench shall be roughened where sheared and sealed by heavy equipment.
- A Class "C" geotextile or better (see Section 24.0, Material Specifications, 1994 Standards and Specifications for Soil Erosion and Sediment Control, MDE, 1994) shall interface between the trench sidewalls and between the stone reservoir and gravel filter layers. A partial list of non-woven filter fabrics that meet the Class "C" criteria follows. Any alternative filter fabric must be approved by the plan approval authority.

Amoco 4552 Carthage FX-805
GEOLON N70 Miraflex 120-N
WEBTEC N07

The width of the geotextile must include sufficient material to conform to trench perimeter irregularities and for a 6-inch minimum top overlap. The filter fabric shall be tucked under the sand layer on the bottom of the infiltration trench for a distance of 6 to 12 inches. Stones or other anchoring objects should be placed on the fabric at the edge of the trench to keep the trench open during windy periods. When overlaps are required between rolls, the uphill roll should be a minimum of 2-feet over the downhill roll in order to provide a shingled effect.

- If a 6-inch sand filter layer is placed on the bottom of the infiltration trench, the sand for the infiltration trench shall be washed and meet AASHTO-M-43, Size No. 9 or No. 10. Any alternative sand gradation must be approved by the plan approval authority.
- The stone aggregate should be placed in a maximum loose lift thickness of 12-inches. The gravel (rounded "bank run" gravel is preferred) for the infiltration trench shall be washed and meet one of the following AASHTO-M-43, Size No. 2 or No. 3.
- Following the stone aggregate placement, the filter fabric shall be folded over the stone aggregate to form a 6-inch minimum longitudinal lap. The desired fill soil or stone aggregate shall be placed over the lap at sufficient intervals to maintain the lap during subsequent backfilling.
- Care shall be exercised to prevent natural or fill soils from intermixing with the stone aggregate. All contaminated stone aggregate shall be removed and replaced with uncontaminated stone aggregate.
- Voids may occur between the fabric and the excavation sides shall be avoided. Removing boulders or other obstacles from the trench walls is one source of such voids. Therefore, natural soils should be placed in these voids at the most convenient time during construction to ensure fabric conformity to the excavation sides.
- Vertically excavated walls may be difficult to maintain in areas where soil moisture is high or where soft cohesive or cohesionless soils are dominant. These conditions may require laying back of the side slopes to maintain stability.

- PVC distribution pipes shall be Schedule 40 and meet ASTM-D-1785. All fittings shall meet ASTM-D-2729. Perforations shall be 3/8-inch in diameter. A perforated pipe shall be provided only within the infiltration trench and shall terminate 1-foot short of the infiltration trench wall. The end of the PVC pipe shall be capped. Note: PVC pipe with a wall thickness classification of SDR 35 meeting ASTM-D-3034 is an acceptable substitute for the Schedule 40 pipe.
- The observation well is to consist of 6-inch diameter perforated PVC Schedule 40 pipe (M278 or F758, Type F528) with a cap set 6-inches above ground level and is to be located near the longitudinal center of the infiltration trench. The pipe shall have a plastic collar with ribs to prevent rotation when removing the cap. The screw top lid shall be a cleanout with a locking mechanism or special bolt to discourage vandalism. The depth to the invert shall be marked on the lid. The pipe shall be placed vertically within the gravel portion of the infiltration trench and a cap provided at the bottom of the pipe. The bottom of the cap shall rest on the infiltration trench bottom.
- If a distribution structure with a wet well is used, a 4 inch drain pipe shall be provided at opposite ends of the infiltration trench distribution structure. Two (2) cubic feet of porous backfill meeting AASHTO-M-43, Size No. 57 shall be provided at each drain.
- If a distribution structure is used, the manhole cover shall be bolted to the frame.

APPROVED: Howard County Department of Planning and Zoning	Reviewed for Howard SCD and meets Technical Requirements
CHIEF, DEVELOPMENT ENGINEERING DIVISION	USDA-NATURAL RESOURCES CONSERVATION SERVICE
CHIEF, DIVISION OF LAND DEVELOPMENT	This development's plan is approved for soil erosion and sediment control by the Howard Soil Conservation District
DIRECTOR	HOWARD SOIL CONSERVATION DISTRICT

PREPARED BY:
**GEORGE W. STEPHENS, JR.
AND ASSOCIATES, INC.**
Civil Engineers and Land Surveyors
1020 Cromwell Bridge Road
Towson, Maryland 21286
(410) 828-8120

DEVELOPER CERTIFICATION:
I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a certificate of attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District.

Signature of Developer: *[Signature]* Date: *6/2/04*
Print Name: DANIEL F. PAULACE

ENGINEER CERTIFICATION:
I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Department of the Environment and I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion.

Signature of Engineer: *[Signature]* Date: *6/2/04*
Print Name: *[Name]* PE # *115847*

OWNER / DEVELOPER Merritt Properties, LLC 2066 Lord Baltimore Drive Baltimore, Maryland 21244	ADDRESS CHART PARCEL NO. STREET ADDRESS PAR 'A' BLDG. NO. 1 6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103 PAR 'A' BLDG. NO. 2 6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103 PAR 'A' BLDG. NO. 3 6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103 PAR 'A' BLDG. NO. 4 6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PROJECT NAME The Meadows Corporate Park	SECTION NAME EkrIDGE
LIBER / FOLIO GRID PLAT NO. 178757	ZONE CCT TAX MAP 57 ELECT. DIST. 60102 CENSUS TRACT 60102
DESIGNED BY: H.P.P.	REVISIONS
DRAWN BY: H.P.P.	
CHECKED BY: H.P.P.	
Ground Water Recharge Facility No. 4 Plan, Profiles & Details The Meadows Corporate Park Parcel 'A' Site Improvements: General Offices SDP -05-072 Election District No. 1 Scale: As Shown Howard County, Maryland SHT 19 OF 43 Date: December 06, 2004 SDP -05-072	

Pond Construction Specifications

CONSTRUCTION SPECIFICATIONS

These specifications are prepared for use on the site of the site for projects M2 376. All references to A.S.T.M. and A.S.T.M. specifications shall refer to the most recent version.

SITE PREPARATION

Areas designated for borrow areas, embankments, and structural works shall be cleared, graded and stripped of topsoil. A 10% slope shall be maintained on all embankments. Channel banks and other structural works shall be constructed to support the pond. Areas designated for borrow areas shall be cleared, graded and stripped of topsoil. A 10% slope shall be maintained on all embankments. Channel banks and other structural works shall be constructed to support the pond.

All borrow areas shall be graded to provide proper drainage and to be in a slightly concave. All exposed surfaces of the embankments, spillway, spill and bottom areas, and bottom shall be stabilized by seeding, liming, fertilizing and mulching in accordance with the Natural Resources Conservation Service Standards and Specifications for Critical Area Planting (MD-342) and its storm on site accompanying drawings.

EARTH FILL

Material for embankment shall be taken from approved aggregate borrow areas. It shall be free of roots, stumps, rocks, and other objectionable material. The material shall be placed in layers not exceeding 12 inches in thickness. The material shall be compacted to a minimum of 95% relative compaction. The material shall be placed in layers not exceeding 12 inches in thickness. The material shall be compacted to a minimum of 95% relative compaction.

Material used for the embankment shall have the capability to support a minimum of 2000 p.s.f. The material shall be placed in layers not exceeding 12 inches in thickness. The material shall be compacted to a minimum of 95% relative compaction.

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1. Laying pipe: Bell and spigot shall be placed into the bed cut upstream. Joints shall be made in accordance with recommendations of the manufacturer of the material. For the joints are sealed for the entire life. The bedding shall be placed on a 4" layer of crushed stone. Care shall be exercised to prevent any debris from the embankment from entering the pipe. The pipe joints must be located within 4' from the user.
2. Backfill: Backfill shall conform to "Structure Detail B".
3. Other details (see shop collars, valves, etc.) shall be as shown in the drawings.

1. Material: PVC pipe shall be PVC 120 or PVC 1200 conforming to ASTM D 1785 or ASTM D 2241. Compacting Method: 100% compaction. The pipe shall be installed in a trench not less than 12" deep. The pipe shall be installed in a trench not less than 12" deep. The pipe shall be installed in a trench not less than 12" deep.
2. Joints and connections to anti-seep collars shall be completely watertight.
3. Bedding: The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft springy or other unsuitable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.
4. Backfill: Backfill shall conform to "Structure Detail B".
5. Other details (see shop collars, valves, etc.) shall be as shown in the drawings.

Drainage Dependent: When a drainage program is used, a registered professional engineer will supervise the design and construction of the drainage system.

Concrete: Concrete shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 414, No. 2.

Rock Riprap: Riprap shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 211.

Filter Cloth: Filter cloth shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 210.09, Class C.

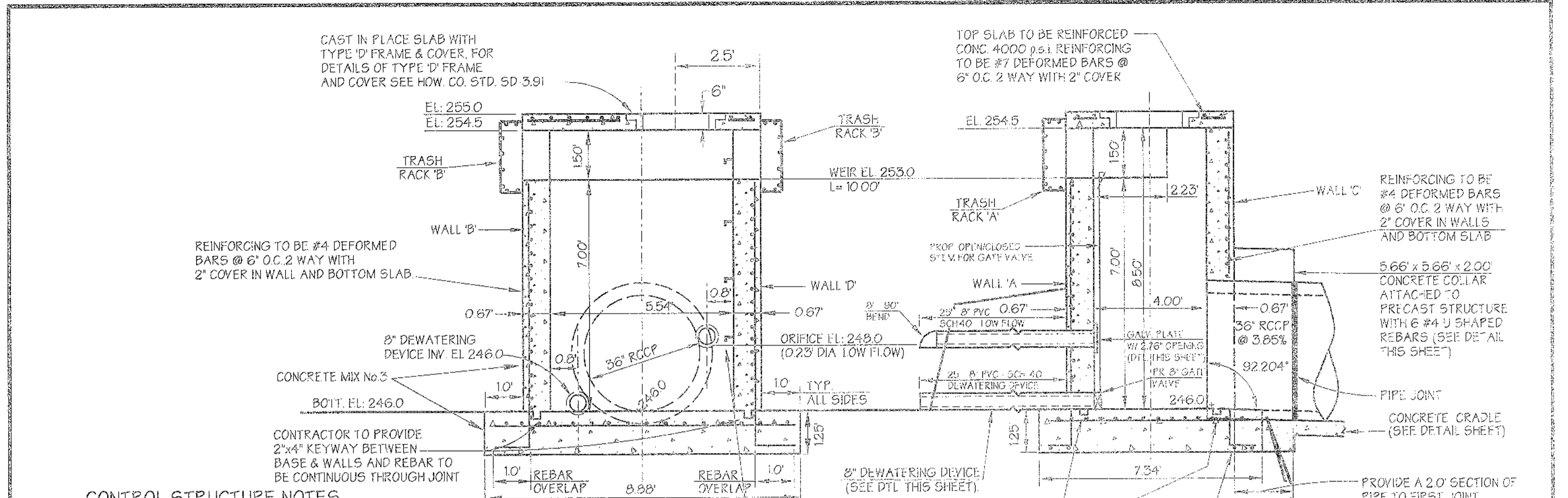
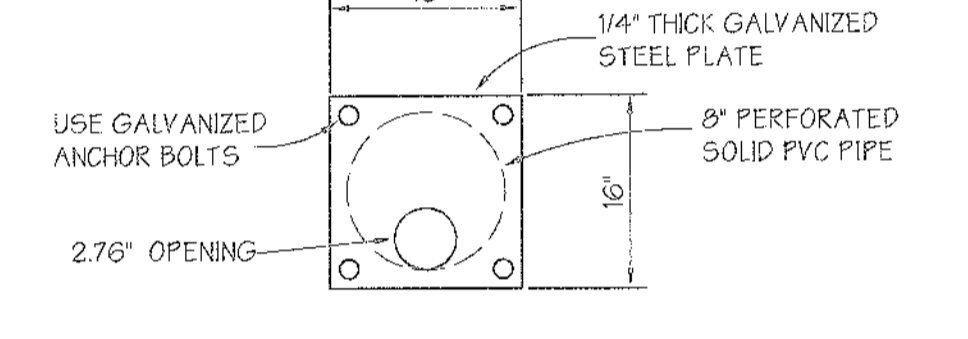
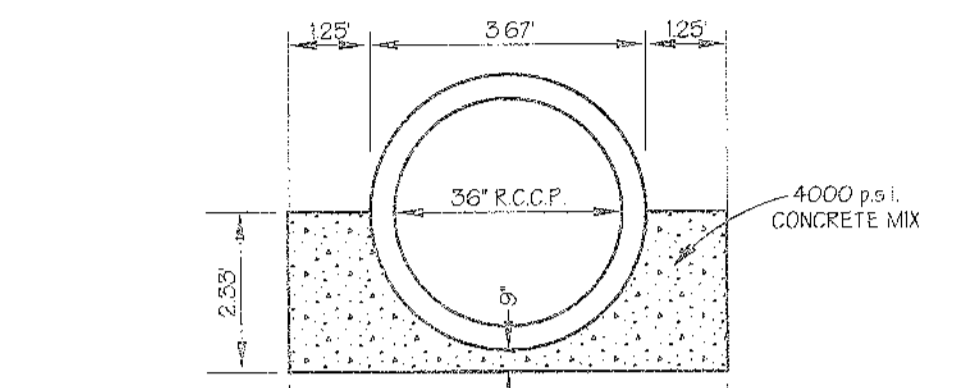
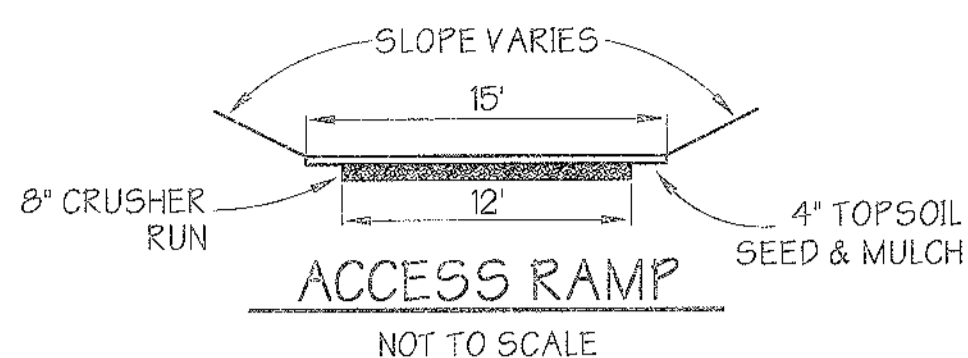
Care of Water During Construction: All work on permanent structures shall be carried out in areas free from water. The contractor shall construct and maintain all temporary dikes, levees, cofferdams, drainage channels, and stream diversions necessary to protect the areas to be excavated by the permanent works. The contractor shall furnish, install, operate, and maintain all necessary pumps and other equipment required for removal of water from various parts of the work and for maintaining the excavation, for dewatering and other parts of the work free from water as required or directed by the engineer for construction of each part of the work. After having served their purpose, all temporary protective works shall be removed or be left in place to the extent required to prevent obstruction in any degree whatsoever of the flow of water in the open water body and so as not to interfere in any way with the operation or maintenance of the structure. Stream diversions shall be maintained until the full flow can be passed through the permanent works. The removal of water from the required excavation and the foundation shall be accomplished in a manner and to the extent that will maintain stability of the excavated slopes and bottom required excavated one and will flow satisfactory performance of all construction operations. During the placing and compacting of material in required excavations, the water level in the locations being filled shall be maintained below the bottom of the excavation at such locations which may require draining the water sumps from which the water shall be pumped.

Stabilization: All borrow areas shall be graded to provide proper drainage and to be in a slightly concave. All exposed surfaces of the embankments, spillway, spill and bottom areas, and bottom shall be stabilized by seeding, liming, fertilizing and mulching in accordance with the Natural Resources Conservation Service Standards and Specifications for Critical Area Planting (MD-342) and its storm on site accompanying drawings.

Erosion and Sediment Control: Construction operations shall be carried out in such a manner that erosion will be controlled and water and air pollution minimized. State and local laws concerning pollution abatement will be followed. Construction plans shall include erosion and sediment control measures to be employed during the construction process.

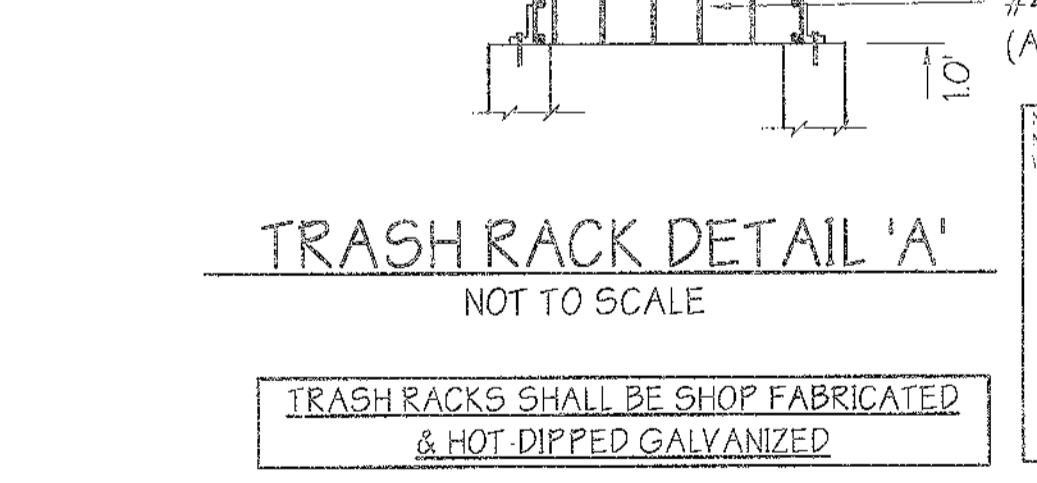
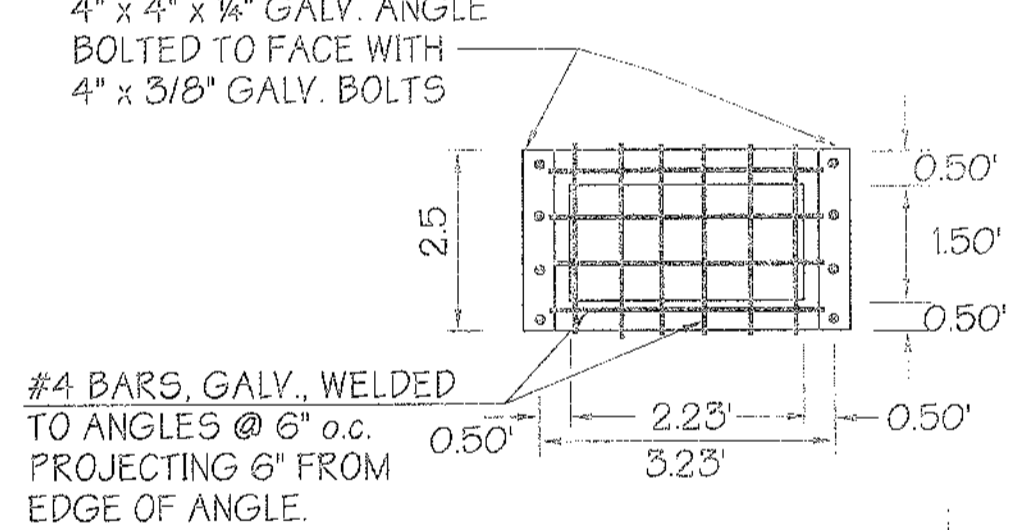
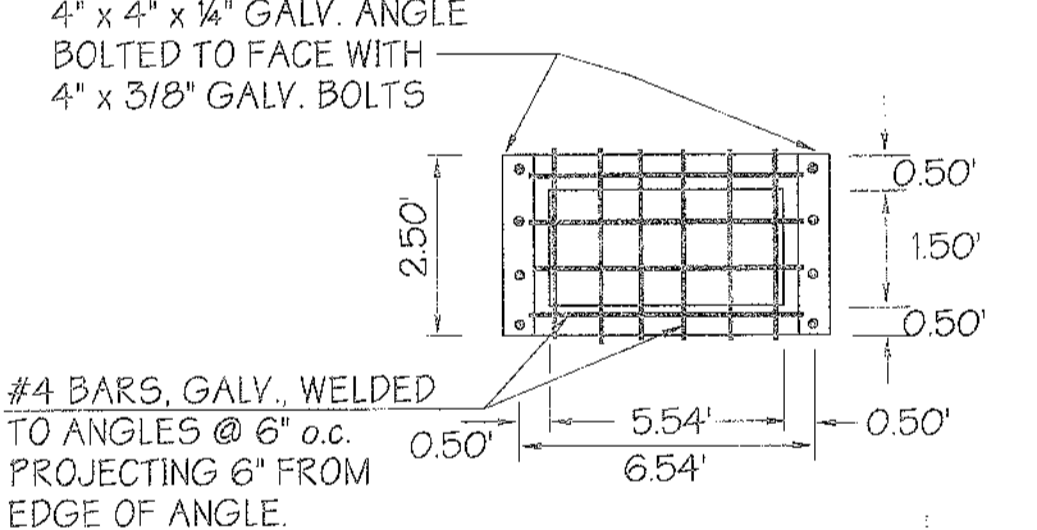
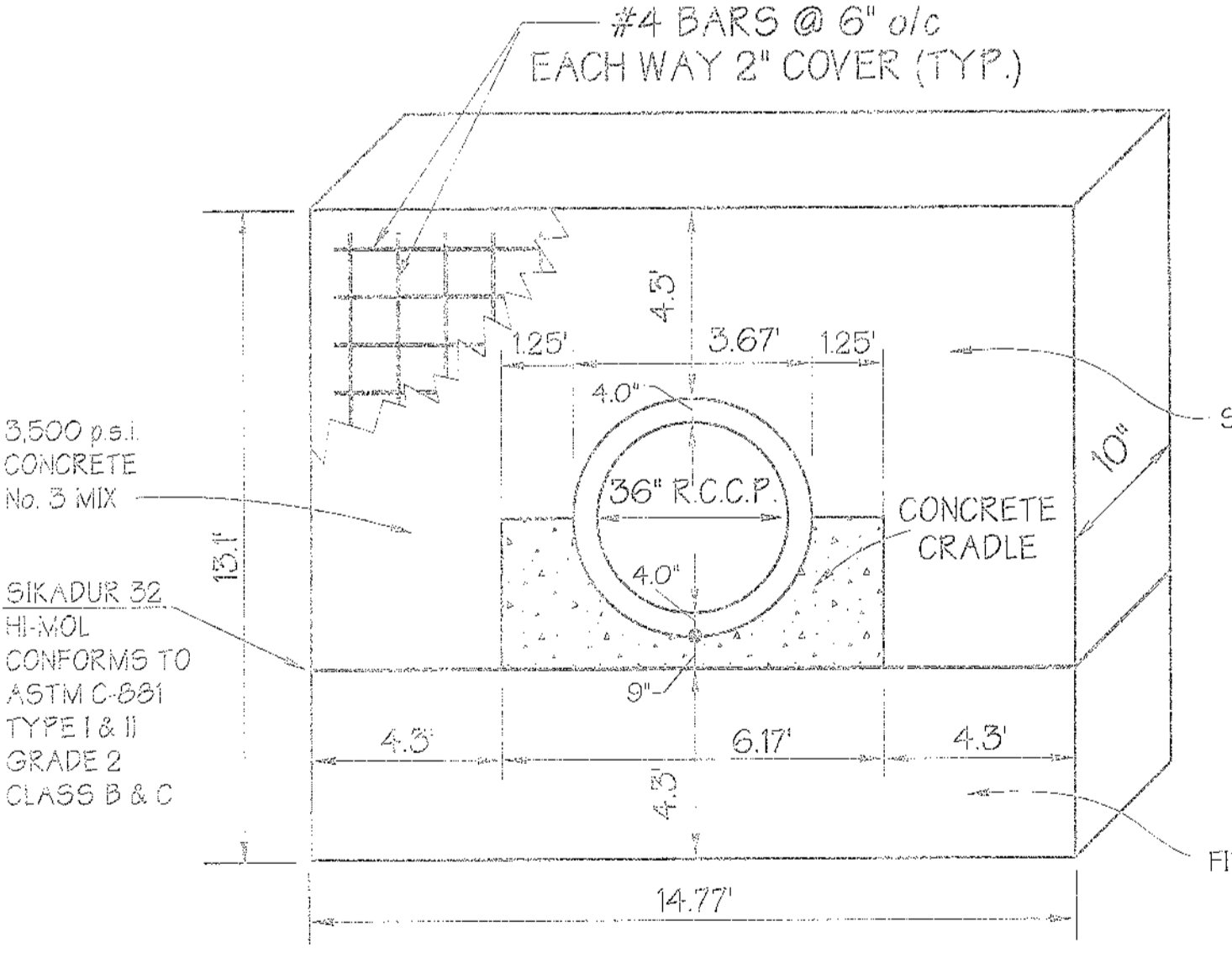
Outfall Protection: Subgrade for riprap or other outfall shall be prepared to the required line and grade. Any fill required in the subgrade shall be compacted to a density of approximately that of the specified grading unless otherwise specified in the report or plan. All stone shall be devalued and placed in a manner that will ensure the stone in place shall be immediately permeable with the larger rocks uniformly distributed and firmly in contact one to another with the smaller rocks filling the voids between the larger rocks. Stone for outfall may be placed by equipment. Riprap or other outfall shall be constructed to full cover thickness in one course or in such a manner as to avoid any application of underlying materials. The contractor shall avoid damage to the filter blanket or cloth during placement of riprap. Hand placement shall be required as needed to prevent damage to the permanent works. Interlocks shall be placed under all riprap and gabions.

Geotechnical Specification: In an open field, the soil material encountered at both ponds will be suitable for use as pond embankment fill, as long as the soil is properly compacted during placement. Drying or wetting of the soil may be required to reach a moisture content between 12% (per cent of optimum moisture content) and 20% (per cent of optimum moisture content). Soil material suitable for use as fill shall be classified CL, SC, or GC. If the soil material is not suitable for use as fill, it shall be replaced with suitable material. It is also recommended that a geotechnical engineer or an experienced Soil Inspector be present at the site during the construction phase to verify classification according to the approved plans and specifications. This is particularly important during excavation, placement, and compaction of fill material.



- ### CONTROL STRUCTURE NOTES
1. STRUCTURE SHALL BE CAST IN PLACE REINFORCED CONCRETE WITH 3,500 P.S.I. (MIN.) STRENGTH @ 28 DAYS.
 2. ALL REINFORCING TO BE CONTINUOUS THROUGHOUT STRUCTURE.
 3. ALL REINFORCING TO HAVE 1' 6" MIN. OVERLAPS.
 4. PROVIDE ADDITIONAL #4 REBARS ALONG THE PERIMETER OF ALL OPENINGS WITH THE AREA OF STEEL EQUAL TO OR GREATER THAN AREA OF STEEL REMOVED DUE TO OPENINGS.
 5. THREE (3) INCH COVER MINIMUM FOR ALL REBARS.
 6. UNLESS OTHERWISE NOTED STRUCTURE SHALL BE BUILT IN ACCORDANCE WITH HOWARD COUNTY STANDARD PLATE SD 4-34. STRUCTURE SHALL NOT BE BRICK.
 7. THE CONTRACTOR MAY SUBSTITUTE A PRECAST RELEASE STRUCTURE IN LIEU OF THE CAST-IN-PLACE STRUCTURE SHOP DRAWINGS FOR PRECAST CONCRETE RISERS (SEALED BY A MD REGISTERED ENGINEER AND MEETING A.S.T.M. REQUIREMENTS FOR PRECAST STRUCTURES) MUST BE SUBMITTED TO THE ENGINEER AND THE APPROVING AGENCY (H.C. DPW) FOR APPROVAL PRIOR TO FABRICATION. IF ANY STRUCTURE DIMENSIONS VARY FROM WHAT WAS ORIGINALLY REVIEWED / APPROVED THEN THE HYDRAULICS AND/OR PLOTATION OF THE STRUCTURE WILL HAVE TO BE REANALYZED.
 8. ALL EXPOSED CORNERS OF CONCRETE SHALL BE CHAMFERED WITH 3/4" X 3/4" MILLED CHAMFER STRIPS.
 9. CONCRETE COLLAR TO BE INSTALLED WITH PRECAST STRUCTURE (NOT APPLICABLE FOR CAST IN PLACE STRUCTURE) (SEE DETAIL THIS SHEET).
 10. CONTRACTOR SHALL EXTEND LOW FLOW AND DEWATERING PIPE BEYOND BENCH.

WALL	ORIFICE (Ø Dia)	INV.	CREST
WALL 'A'	Ø 24.0	246.0	253.0
WALL 'B'	Ø 24.0	248.0	253.0
WALL 'C'	Ø 24.0	246.0	253.0
WALL 'D'	Ø 24.0	248.0	253.0
WALL 'E'	Ø 24.0	246.0	253.0



APPROVED: Howard County Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* DATE: 7/2/05

CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: 7/2/05

DIRECTOR: *[Signature]* DATE: 7/2/05

Reviewed for Howard SCD and meets Technical Requirements

USDA-NATURAL RESOURCES CONSERVATION SERVICE: *[Signature]* DATE: 7/2/05

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District

HOWARD SOIL CONSERVATION DISTRICT: *[Signature]* DATE: 7/2/05

OWNER / DEVELOPER	ADDRESS CHART
Merritt Properties, LLC	PARCEL NO. STREET ADDRESS
2066 Lord Baltimore Drive	PAR 'A' BLDG NO 1 6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103
Baltimore, Maryland 21244	PAR 'A' BLDG NO 2 6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	PAR 'A' BLDG NO 3 6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	PAR 'A' BLDG NO 4 6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	PROJECT NAME SECTION NAME PARCEL # A
	The Meadows Corporate Park Elkridge 12, 13, 14, 15
	LIBER / FOLIO GRID ZONE TAX / ZONE MAP ELECT. DIST. CENSUS TRACT
	PLAT NO 17513/15 22 22 37 1 1 60102
	WATER CODE 02 SEWER CODE 4020000

PREPARED BY: **GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**
Civil Engineers and Land Surveyors
1020 Cromwell Bridge Road
Towson, Maryland 21286
(410) 825-8120

DEVELOPER CERTIFICATION:
I certify that all development and/or construction will be done according to these plans, and that any responsible persons involved in the construction project will have a certificate of approval from a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District.

Signature of Developer: *[Signature]* Date: 6/27/05
Print Name: DANIEL F. PARENTS

ENGINEER CERTIFICATION:
I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I am a registered professional engineer and provide this Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion.

Signature of Engineer: *[Signature]* Date: 6/27/05
Print Name: JERRY E. DUBOIS PE # 22297

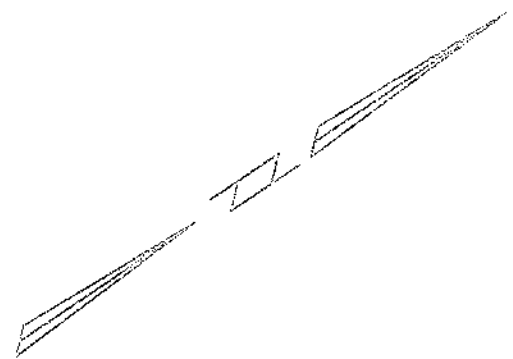
DESIGNED BY: H.P.P.
DRAWN BY: H.P.P.
CHECKED BY: H.P.P.

REVISIONS

Pond No.2 - Storm Water Management Notes & Details
The Meadows Corporate Park Parcel 'A'

Site Improvements: General Offices SDP 05-072
Election District No.1 Scale: As Shown
Howard County, Maryland SHT.20 OF 43 Date: December 06, 2004
SDP -05-072

Scale	Elev	Description	Depth	Scale	No	Blows / 6in	Type	REC	Notes
		Topsoil							
	20	Red, grey, reddish brown very silty sandy clay	0-1	0-1	3-25	DS	11"		
			1-2	1-2	10-20	DS	10"		
			3-4	3-4	9-10-25	DS	10"		
			5-6	5-6	13-14-15	DS	10"		
			7-8	7-8					
			9-10	9-10					
			11-12	11-12					
			13-14	13-14					
			15-16	15-16					
			17-18	17-18					
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Design Point No. 2
 Existing Watershed Run off:
 Q1 = 3.86 cfs
 Q10 = 23.18 cfs
 Q100 = 44.03 cfs

PARCEL 170
 HOWARD COUNTY, MD.
 DEPT. OF PUBLIC WORKS
 ZONED RSC
 092414

N 55° 00' 00" E 1,375.000'

Existing Drainage Area No. 4
 AREA = 0.5 ac
 SOI = 0.27
 TO = 0.02 lb

PARCEL 454
 EDITH R. SMITH
 5613 N. CAPITAL ST. NE
 WASHINGTON, DC 20011-2355
 ZONED CCT
 539 / 0297

PARCEL 500
 JAMES HOWARD SR.
 7734 ROOSEVELT BLVD.
 ELK RIDGE, MD 21075-6326
 ZONED CCT
 177 / 0498

PARCEL 500
 JAMES HOWARD SR.
 7734 ROOSEVELT BLVD.
 ELK RIDGE, MD 21075-6326
 ZONED CCT
 177 / 0498

PARCEL 536
 SAMUEL BLACKSTONE CO
 & GEN. M. JOHNSON
 2121 GAYBROOK ROAD
 WOODLAWN, MD 21284
 ZONED CCT
 40-0216

PARCEL 524
 MAURICE A. PEARSON
 4102 W. COLDSRING LANE
 BAYTOWNE, MD 21015
 ZONED CCT
 107 216

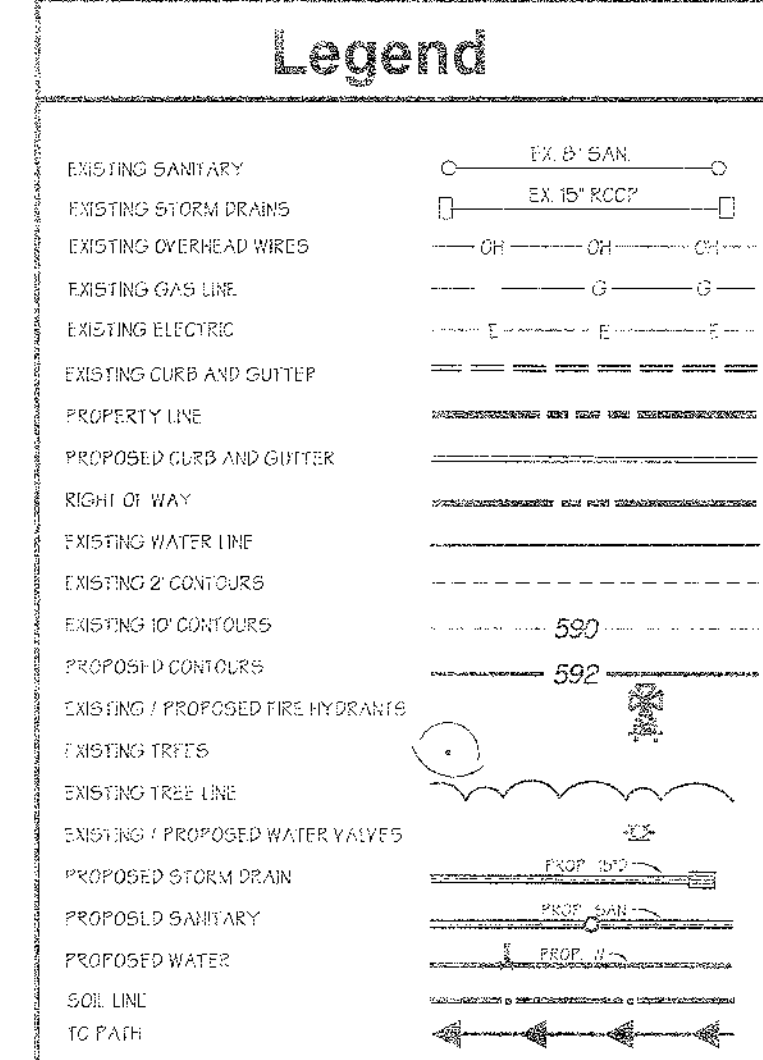
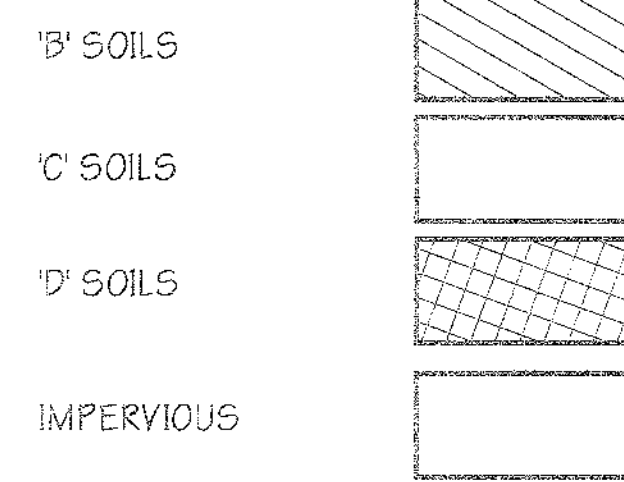
PARCEL 46
 HONORABLE BANCROFT D.
 6225 ANSON (TOWNERY) RD.
 HANSHALL, MD 21076-5941
 ZONED CCT
 3336/269

Existing Drainage Area No. 2
 AREA = 0.27 ac
 SOI = 0.27
 TO = 0.02 lb

Existing Drainage Area No. 1
 AREA = 0.5 ac
 SOI = 0.27
 TO = 0.02 lb

Maryland Route 103
 Meadowridge Avenue

Existing Drainage Area No. 3
 AREA = 0.25 ac
 SOI = 0.27
 TO = 0.02 lb



Design Point No. 3
 Existing Watershed Run off:
 Q1 = 3.70 cfs
 Q10 = 20.19 cfs
 Q100 = 37.09 cfs

Interstate 95 (South Bound Lane)

Interstate 95 (North Bound Lane)

Design Point No. 1
 Existing Watershed Run off:
 Q1 = 3.86 cfs
 Q10 = 20.27 cfs
 Q100 = 37.11 cfs

Existing Drainage Area Map

SCALE: 1" = 100'
 EXISTING USE IS VACANT
 DEEP RUN WATERSHED

SOIL TYPE	HYDROLOGIC SOIL GROUPS
BeB2	C
BeC3	C
BeD2	C
BeC2	D
ChB2	C
Cp	C
Li	D
RuP2	B
ScD	C
SfC2	B
SfD2	B
SsE	B

STORMWATER MANAGEMENT NOTES

THIS CONSTRUCTION MAY REQUIRE A PERMIT FROM THE ARMY CORPS OF ENGINEERS, THE WATER RESOURCES ADMINISTRATION AND/OR HOWARD COUNTY. IT IS THE RESPONSIBILITY OF THE LANDOWNER TO CONTACT THESE AGENCIES TO DETERMINE IF THE PROJECT REQUIRES A PERMIT.
 ARMY CORPS OF ENGINEERS (410) 962-2570
 WRA, NATIONAL WETLANDS & WATERWAYS (410) 374-3544
 HOWARD COUNTY (410) 345-2414
 CLASS IV STREAMS CLOSURE WILL BE IN EFFECT BETWEEN MARCH 1 THROUGH MAY 31 INCLUSIVE.

GENERAL NOTES

UNLESS OTHERWISE NOTED, ALL CONSTRUCTION AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH:
 1. HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS
 2. SOIL CONSERVATION SERVICE MARYLAND STANDARDS AND SPECIFICATIONS POND CODE 378, NOVEMBER 1992
 3. MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION JANUARY 1992, STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIAL
 STORMWATER MANAGEMENT APPROVED UNDER BILLING NO. 30662
 S.W.M. FACILITIES ARE PRIVATE AND SHALL BE MAINTAINED BY THE OWNER

APPROVED: Howard County Department of Planning and Zoning
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DIRECTOR

Reviewed for Howard SCD and meets Technical Requirements
 USDA-NATURAL RESOURCES CONSERVATION SERVICE
 This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District
 HOWARD SOIL CONSERVATION DISTRICT

DEVELOPER CERTIFICATION:
 I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a certificate of attendance of a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District.
 Signature of Developer: [Signature] Date: 12/2/04
 Print Name: George W. Stephens, Jr.

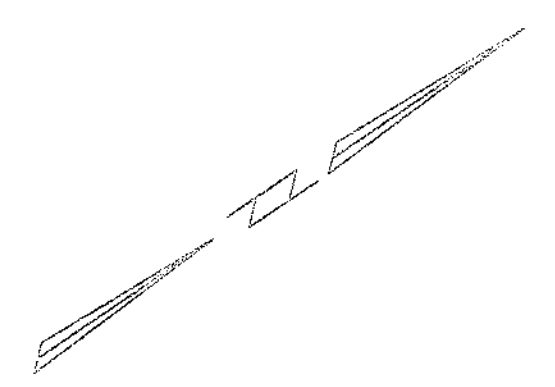
ENGINEER CERTIFICATION:
 I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion.
 Signature of Engineer: [Signature] Date: 12/2/04
 Print Name: [Name] PE # 202207

OWNER / DEVELOPER	ADDRESS CHART										
Merritt Properties, LLC 2066 Lord Baltimore Drive Baltimore, Maryland 21244	<table border="1"> <tr><th>PARCEL NO.</th><th>STREET ADDRESS</th></tr> <tr><td>FAR 'A' BLDG. NO. 1</td><td>6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103</td></tr> <tr><td>FAR 'A' BLDG. NO. 2</td><td>6518 MEADOWRIDGE ROAD MARYLAND ROUTE 103</td></tr> <tr><td>FAR 'A' BLDG. NO. 3</td><td>6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103</td></tr> <tr><td>FAR 'A' BLDG. NO. 4</td><td>6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103</td></tr> </table>	PARCEL NO.	STREET ADDRESS	FAR 'A' BLDG. NO. 1	6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103	FAR 'A' BLDG. NO. 2	6518 MEADOWRIDGE ROAD MARYLAND ROUTE 103	FAR 'A' BLDG. NO. 3	6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103	FAR 'A' BLDG. NO. 4	6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103
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FAR 'A' BLDG. NO. 4	6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103										
PROJECT NAME The Meadows Corporate Park	SECTION NAME Elkridge										
LIBER / FOLIO GRID (PLAT NO. 17573/15)	ZONE / ZONE MAP 22 CCT / 57										
WATER CODE B 02	SEWER CODE 4020000										

PREPARED BY:
GWS
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
 Civil Engineers and Land Surveyors
 1020 Cromwell Bridge Road
 Towson, Maryland 21286
 (410) 825-8120

DESIGNED BY: H.P.P.
 DRAWN BY: H.P.P.
 CHECKED BY: H.P.P.
 REVISIONS

SWM - Existing Drainage Area Map
The Meadows Corporate Park Parcel 'A'
 Site Improvements: General Offices
 Election District No. 1
 Howard County, Maryland
 SGP-05-072
 Scale: As Shown
 Date: December 06, 2004
 SH 22 OF 43



Design Point No.2
 Proposed Watershed Run-off
 Q1 = 5.05 cfs
 Q10 = 5.26 cfs
 Q100 = 25.97 cfs

PARCEL 170
 HOWARD COUNTY, MD.
 DEPT. OF PUBLIC WORKS
 ZONED CCT
 492/114

PARCEL 500
 JAMES HOWARD SR.
 7734 ROOSEVELT BLVD.
 ELKBRIDGE, MD 21075-6326
 ZONED CCT
 177/0498

PARCEL 500
 JAMES HOWARD SR.
 7734 ROOSEVELT BLVD.
 ELKBRIDGE, MD 21075-6326
 ZONED CCT
 177/0498

PARCEL 451
 EDITH R. SMITH
 5613 N. CAPITAL ST. NE
 WASHINGTON, DC 20011-2339
 ZONED CCT
 539/0297

PARCEL 536
 SAMUEL BLACKSTONE C/O
 AGENTS M. JOHNSON
 2121 GAYBROOK ROAD
 WOODLAWN, MD 21244
 ZONED CCT
 10/216

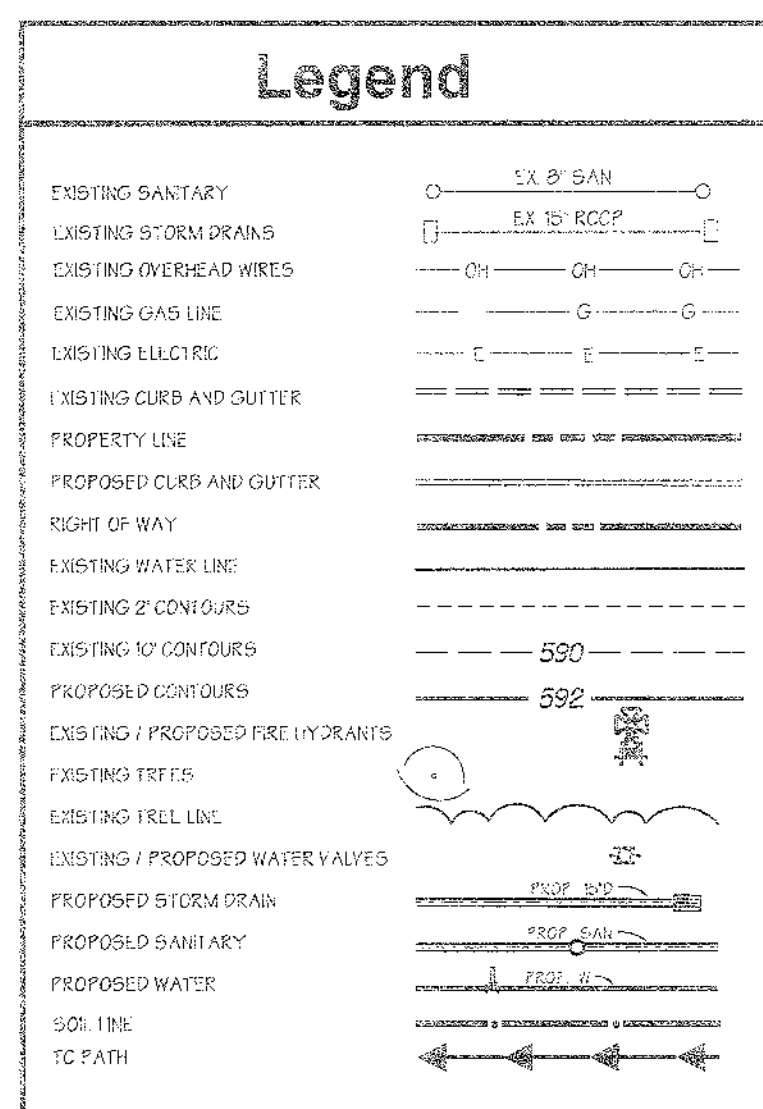
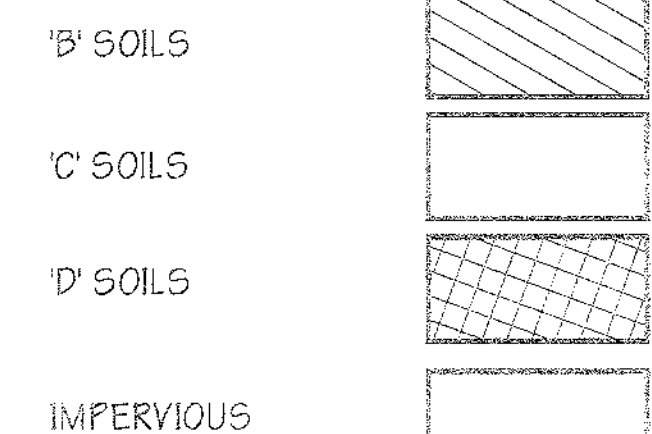
PARCEL 324
 MAUDE A. PEARSON
 4107 W. COLDSPRING LANE
 BALTIMORE, MD 21215
 ZONED CCT
 10/216

PARCEL 46
 GONCE MARJORIE D
 6229 MONTGOMERY RD
 ELKBRIDGE MD 21075-5914
 ZONED CCT
 586/269

Interstate 95 (South Bound Lane)

Interstate 95 (North Bound Lane)

(Maryland Route 103)
 Meadowridge Avenue



STORMWATER MANAGEMENT NOTES
 THIS CONSTRUCTION MAY REQUIRE A PERMIT FROM THE ARMY CORPS OF ENGINEERS, THE WATER RESOURCES DIVISION AND/OR HANCOCK COUNTY. IT IS THE RESPONSIBILITY OF THE LANDOWNERS TO CONTACT THESE AGENCIES TO DETERMINE IF THE PROJECT REQUIRES A PERMIT.
 ARMY CORPS OF ENGINEERS (410) 962 3670
 WRA, WASHINGTON, D.C. (202) 972 2641
 HOWARD COUNTY (410) 315 2424
 C. 455 b). STREAMS CLOSURE WILL BE IN EFFECT BETWEEN MARCH 1 THROUGH MAY 31 INCLUSIVE.

GENERAL NOTES
 UNLESS OTHERWISE NOTED, ALL CONSTRUCTION AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH:
 1. HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS
 2. SOIL CONSERVATION SERVICE MARYLAND STANDARDS AND SPECIFICATIONS POND CODE 578, NOVEMBER 1992
 3. MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION, JANUARY 1982, STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIAL
 4. STORMWATER MANAGEMENT APPROVED UNDER BILLING NO. 908262
 5. SWM FACILITIES ARE PRIVATE AND SHALL BE MAINTAINED BY THE OWNER.

Design Point No.1
 Proposed Watershed Run-off
 Q1 = 0.90 cfs
 Q10 = 29.04 cfs
 Q100 = 54.01 cfs

Design Point No.3
 Proposed Watershed Run-off
 Q1 = 0.61 cfs
 Q10 = 19.90 cfs
 Q100 = 28.26 cfs

Proposed Drainage Area Map

SCALE: 1" = 100'
 EXISTING USE IS VACANT
 DEEP RUN WATERSHED

SOIL TYPE	HYDROLOGIC SOIL GROUPS
BeB2	C
BeC3	C
BeD2	C
BeC2	D
ChB2	C
Gp	C
Li	D
RuD2	B
ScD	C
SfC2	B
SfD2	B
SeE	B

APPROVED: Howard County Department of Planning and Zoning
 [Signature]
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature]
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DIRECTOR

Reviewed for Howard SCD and meets Technical Requirements
 [Signature]
 USDA-NATURAL RESOURCES CONSERVATION SERVICE
 This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.
 [Signature]
 HOWARD SOIL CONSERVATION DISTRICT

DEVELOPER CERTIFICATION:
 I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a certificate of attendance of a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District.
 Signature of Developer: [Signature] Date: 7/2/05
 Print Name: David E. Farnace

ENGINEER CERTIFICATION:
 I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements and must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion.
 Signature of Engineer: [Signature] Date: 7/2/05
 Print Name: [Signature] PE # 36283

PREPARED BY:
GWS
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
 Civil Engineers and Land Surveyors
 1020 Cromwell Bridge Road
 Towson, Maryland 21286
 (410) 825-8120

OWNER / DEVELOPER	ADDRESS CHART										
Merritt Properties, LLC 2086 Lord Baltimore Drive Baltimore, Maryland 21244	<table border="1"> <tr><th>PARCEL NO.</th><th>STREET ADDRESS</th></tr> <tr><td>PAR 'A' BLDG NO. 1</td><td>6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103</td></tr> <tr><td>PAR 'A' BLDG NO. 2</td><td>6518 MEADOWRIDGE ROAD MARYLAND ROUTE 103</td></tr> <tr><td>PAR 'A' BLDG NO. 3</td><td>6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103</td></tr> <tr><td>PAR 'A' BLDG NO. 4</td><td>6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103</td></tr> </table>	PARCEL NO.	STREET ADDRESS	PAR 'A' BLDG NO. 1	6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103	PAR 'A' BLDG NO. 2	6518 MEADOWRIDGE ROAD MARYLAND ROUTE 103	PAR 'A' BLDG NO. 3	6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103	PAR 'A' BLDG NO. 4	6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103
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PAR 'A' BLDG NO. 4	6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103										
PROJECT NAME: The Meadows Corporate Park	SECTION NAME: Elkridge										
LIBER / FOLIO GRID: 175/315 / 22	ZONE CCT: 37										
WATER CODE: B 02	SEWER CODE: 4020000										

DESIGNED BY: H.P.P.
 DRAWN BY: H.P.P.
 CHECKED BY: H.P.P.
 REVISIONS:
SWM - Proposed Drainage Area Map
The Meadows Corporate Park
Parcel 'A'
 Site Improvements: General Offices
 Election District No.1
 Howard County, Maryland
 SDP-05-072
 Scale: As Shown
 Date: December 06, 2004
 SHEET 23 OF 43
 SDP-05-072
 FIN: 10 8858

NOTE:
CONTRACTOR TO REMOVE ANY TRASH, JUNK AND DEBRIS FROM FOREST CONSERVATION, WETLAND AND BUFFER AREAS AFTER EACH WORKING DAY.

- Sequence of Operation**
- 1) OBTAIN GRADING PERMIT (1 DAY)
THIS PROJECT REQUIRES STATE PERMIT DUE TO DISTURBANCE OF WETLANDS. CONTRACTOR SHALL NOTIFY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT INSPECTION AND COMPLIANCE PROGRAM (MID) 630.3300 AT LEAST 5 DAYS PRIOR TO BEGINNING OF WORK.
 - 2) NOTIFY THE HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES 48 HOURS BEFORE BEGINNING WORK (1 DAY)
 - 3) WITH PERMISSION FROM SEDIMENT CONTROL INSPECTOR, INSTALL STABILIZED CONSTRUCTION ENTRANCE WITH MOUNTABLE BERM (1 DAYS)
 - 4) WITH PERMISSION FROM SEDIMENT CONTROL INSPECTOR, CLEAR AND GRUB FOR ACCESS TO BASIN NO.1 & 2. INSTALL TEMPORARY SILT FENCE ALONG DOWNSTREAM SIDE OF ACCESS ROADS TO BASIN. INSTALL SWM STORM DRAIN SYSTEM FROM INLET 1 TO PROPOSED MOUNTABLE BERM INCLUDING THE TEMPORARY INLET 1 TO PROVIDE BY PASS OF CLEAN WATER RUN OFF DURING SEDIMENT CONTROL MEASURES (10 DAYS)
 - 5) WITH PERMISSION FROM SEDIMENT CONTROL INSPECTOR, CLEAR AND GRUB FOR INSTALLATION OF SEDIMENT BASIN NO.1 & NO.2. INSTALL SEDIMENT BASIN ACCORDING TO SWM PLANS AND SPECIFICATIONS WITH MODIFICATIONS FOR SEDIMENT BASIN. SEE SWM SHEET NO. 15 AND NO.16 FOR SEQUENCE OF OPERATION (10 DAYS)

- General Notes**
- THE SEDIMENT BASIN IS TO BE CONSTRUCTED TO MD. CODE 37B, JANUARY 2000 SPECIFICATION. CONSTRUCTION OF THE BASIN SHALL BE INSPECTED BY A GEOTECHNICAL ENGINEER WHO SHALL BE RESPONSIBLE FOR PROVIDING THE DEVELOPER A COMPLETE REPORT TO INCLUDE THE FOLLOWING:
- a) VERIFICATION OF CUTOFF, TRENCH MATERIAL COMPACTION AND IMPROVED CORE MATERIAL AND COMPACTION
 - b) PRINCIPAL SPILLWAY, ANTI-SHEEP COLLAR, CONCRETE CRADLE AND RISER INSTALLATION
 - c) EMBANKMENT MATERIAL AND COMPACTION
 - d) G.W. STEPHENS, JR. & ASSOCIATES, INC. SHALL BE KEPT INFORMED AT ALL STAGES OF CONSTRUCTION SO KEY ASPECTS OF THE BASIN CONSTRUCTION MAY BE OBSERVED AND DOCUMENTED
 - e) A REMOVABLE PUMPING STATION SHALL BE INSTALLED IN AND USED TO DEWATER THE SEDIMENT BASIN FOR MAINTENANCE PURPOSES, SUCH AS CLEANOUT OPERATIONS AND PRIOR TO CONVERSION AND/OR REMOVAL OF TRAPPING DEVICES. THE LOCATION OF SPILLS AREA DURING CONSTRUCTION IS TO BE WITHIN THE LIMIT OF DISTURBANCE AND UP STREAM FROM A SEDIMENT CONTROL MEASURE OR HAULED TO A SITE WITH AN APPROVED SEDIMENT CONTROL PLAN, AND AN OPEN GRADING PERMIT

SEDIMENT BASIN NO. 1

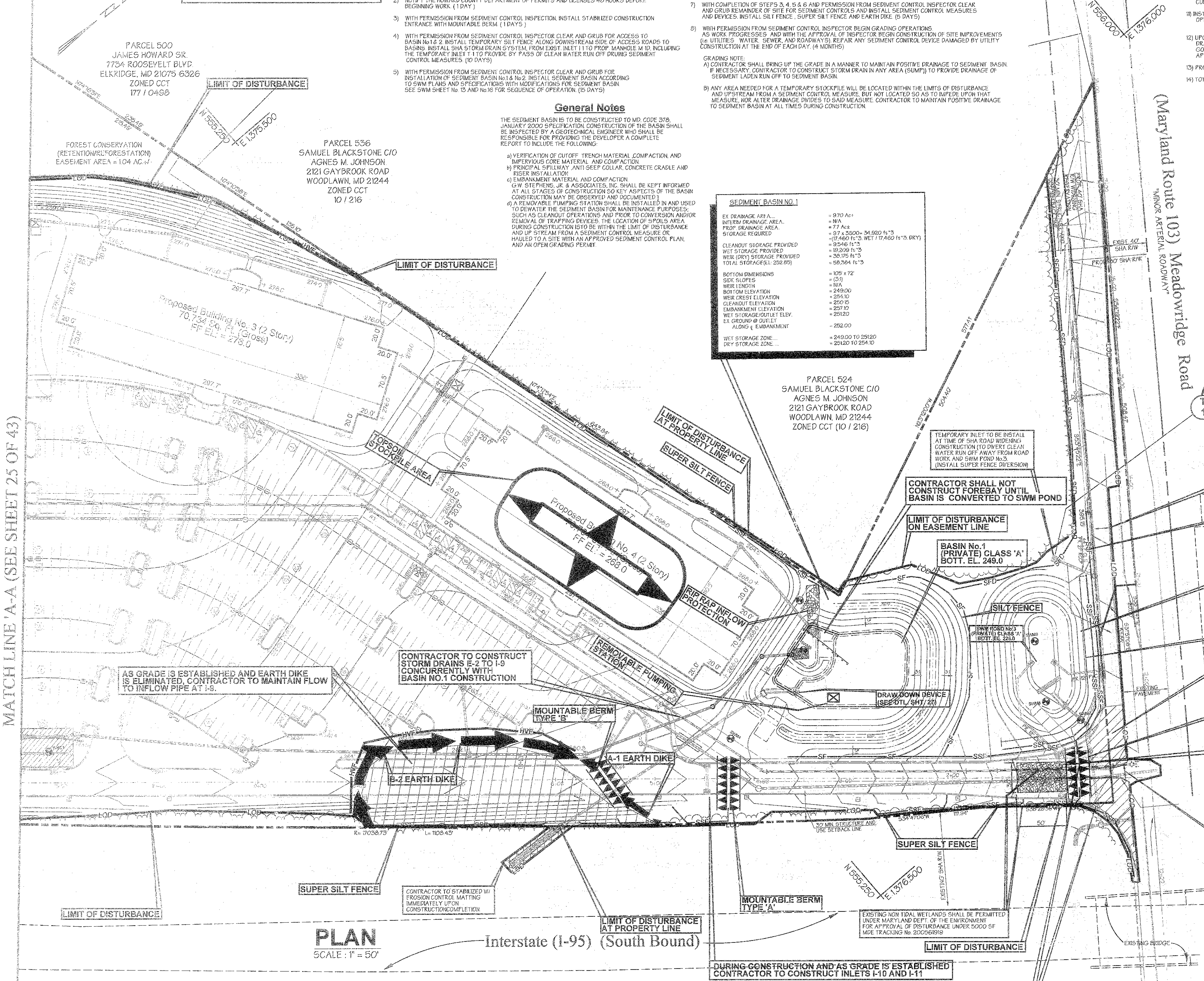
EX. DRAINAGE AREA	= 970 A±
INTERIM DRAINAGE AREA	= N/A
PROP. DRAINAGE AREA	= 77 A±
STORAGE REQUIRED	= 97 x 3500 = 34,050 FT ³
	= 117460 FT ³ WET (17460 FT ³ DRY)
CLEANOUT STORAGE PROVIDED	= 9546 FT ³
WET STORAGE PROVIDED	= 18208 FT ³
WET DRY STORAGE PROVIDED	= 30378 FT ³
TOTAL STORAGE (EQL. 252.85)	= 56,534 FT ³
BOTTOM DIMENSIONS	= 105 x 72
SIDE SLOPES	= (3:1)
WEIR LENGTH	= N/A
BOTTOM ELEVATION	= 249.00
WEIR CREST ELEVATION	= 254.10
CLEANOUT ELEVATION	= 250.15
EMBANKMENT ELEVATION	= 257.10
WET STORAGE/OUTLET ELEV.	= 251.00
EX. GROUND @ OUTLET	= 252.00
ALONG & EMBANKMENT	= 252.00
WET STORAGE ZONE	= 249.00 TO 251.20
DRY STORAGE ZONE	= 251.20 TO 254.10

- Sequence of Operation - Cont.**
- 6) WITH PERMISSION FROM SEDIMENT CONTROL INSPECTOR, CLEAR AND GRUB AND INSTALL SEDIMENT AND EROSION CONTROL MEASURES (EARTH DIKES, TEMPORARY SWALE SILT FENCE AND SUPER SILT FENCE) AND PROVIDE FOR STORM DRAIN INSTALLATION AT ELEV. 2 TO 1.9 AND 2.5 TO 1.22 AND BEGIN DRAIN INSTALLATION MAINTAIN A MINIMUM 0.5% SLOPE ALONG EARTH DIKES, SWALES AND SEDIMENT CONTROL BERMS TO PROVIDE POSITIVE DRAINAGE TO SEDIMENT CONTROL MEASURES AND DEVICES (10 DAYS)
 - 7) WITH COMPLETION OF STEPS 3, 4, 5 & 6 AND PERMISSION FROM SEDIMENT CONTROL INSPECTOR, CLEAR AND GRUB REMAINDER OF SITE FOR SEDIMENT CONTROLS AND INSTALL SEDIMENT CONTROL MEASURES AND DEVICES. INSTALL SILT FENCE, SUPER SILT FENCE AND EARTH DIKE (5 DAYS)
 - 8) WITH PERMISSION FROM SEDIMENT CONTROL INSPECTOR, BEGIN GRADING OPERATIONS AS WORK PROGRESSES AND WITH THE APPROVAL OF INSPECTOR, BEGIN CONSTRUCTION OF SITE IMPROVEMENTS (i.e. UTILITIES, WATER, SEWER, AND ROADWAYS). REPAIR ANY SEDIMENT CONTROL DAMAGE CAUSED BY UTILITY CONSTRUCTION AT THE END OF EACH DAY (4 MONTHS)
- GRADING NOTE:**
A) CONTRACTOR SHALL BRING UP THE GRADE IN A MANNER TO MAINTAIN POSITIVE DRAINAGE TO SEDIMENT BASIN. IF NECESSARY, CONTRACTOR TO CONSTRUCT STORM DRAIN IN ANY AREA (SUMP) TO PROVIDE DRAINAGE OF SEDIMENT LADEN RUN OFF TO SEDIMENT BASIN.
B) ANY AREA NEEDED FOR A TEMPORARY STOCKPILE WILL BE LOCATED WITHIN THE LIMITS OF DISTURBANCE AND UPSTREAM FROM A SEDIMENT CONTROL MEASURE, BUT NOT LOCATED SO AS TO IMPERE UPON THAT MEASURE. NOR ALTER DRAINAGE DIVIDES TO SAID MEASURE. CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE TO SEDIMENT BASIN AT ALL TIMES DURING CONSTRUCTION.
- 9) UPON ISSUANCE OF SHA PERMIT, CONTRACTOR TO BEGIN CONSTRUCTION OF ROAD WIDENING ALONG MARYLAND ROUTE 103 - MEADOWBRIDGE ROAD (15 DAYS)
 - 10) CONTINUE GRADING AND BUILDING CONSTRUCTION. FINE GRADE AND INSTALL STONE SUBBASE AND CONCRETE CURB AND GUTTER. PROCEED WITH LANDSCAPING AND STABILIZATION OPERATION (15 DAYS)
 - 11) INSTALL REMAINING UTILITIES, STONE SUBBASE, CONCRETE CURB AND GUTTER, AND REMAINING LANDSCAPING OPERATIONS. REMOVE ALL REMAINING SEDIMENT AND EROSION CONTROL MEASURES AND DEVICES (20 DAYS)
 - 12) UPON COMPLETION OF SITE CONSTRUCTION, COMPLETE PERMANENT STABILIZATION WITHIN SEDIMENT BASIN DRAINAGE AREAS WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR. FLUSH THE STORM DRAIN SYSTEM GOING INTO SEDIMENT BASIN, CLEAN THE BASIN OUT, AND CONVERT SEDIMENT BASIN INTO SWM POND AS PER APPROVED SWM PLANS. SEE SEQUENCE OF CONSTRUCTION FOR SWM CONVERSION SHEET NO. 15 (14 DAYS)
 - 13) PROCEED WITH FINAL PAVING OPERATIONS (20 DAYS)
 - 14) TOTAL DAYS FOR CONSTRUCTION: 7 MONTHS 16 DAYS

Legend

Ex. 2' Contours	--- 384 ---
Ex. 10' Contours	--- 385 ---
Prop. 2' Contours	--- 384 ---
Prop. 10' Contours	--- 385 ---
Ex. Curb & Gutter	--- 384 ---
Prop. Curb & Gutter	--- 384 ---
Blgd. Restriction Line	--- 384 ---
Ex. Sanitary	--- 384 ---
Ex. Storm Drain	--- 384 ---
Ex. Water	--- 384 ---
Prop. Sanitary	--- 384 ---
Prop. Storm Drain	--- 384 ---
Prop. Water	--- 384 ---
Light Duty Paving (P 2)	--- 384 ---
Intermediate Duty Paving (P 3)	--- 384 ---
Heavy Duty Paving (P 5)	--- 384 ---
Handicapped Detail No. 3	--- 384 ---
PROPOSED FULL DEPTH PAVING (SEE DETAIL SHT. 3)	--- 384 ---
PROPOSED SHA FULL DEPTH PAVING	--- 384 ---
LIGHT POLE LOCATION	--- 384 ---
LIMIT OF DISTURBANCE	--- 384 ---
SUPER SILT FENCE	--- 384 ---
SILT FENCE	--- 384 ---
EARTH DIKE	--- 384 ---
MOUNTABLE BERM	--- 384 ---
STABILIZED CONSTRUCTION ENTRANCE	--- 384 ---
REMOVABLE PUMPING STATION	--- 384 ---
RIP RAP INFLOW PROTECTION	--- 384 ---
EROSION CONTROL MATTING	--- 384 ---
HIGH VISIBLE FENCE	--- 384 ---
LIMIT OF DISTURBANCE: 808,100 SQ. FT. OR 18.55 AC.	--- 384 ---

MATCH LINE 'A-A' (SEE SHEET 25 OF 43)



PLAN
SCALE: 1" = 50'

APPROVED: Howard County Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE: 2/2/05
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE: 2/2/05
DIRECTOR	DATE: 2/2/05

Reviewed for Howard SCD and meets Technical Requirements

USDA-NATURAL RESOURCE CONSERVATION SERVICE

DATE: 2/2/05

HOWARD COUNTY CONSERVATION DISTRICT

DATE:

OWNER / DEVELOPER Merritt Properties, LLC 2066 Lord Baltimore Drive Baltimore, Maryland 21244	ADDRESS CHART	
	PARCEL NO.	STREET ADDRESS
	PAR 'A' BLDG NO. 1	6522 MEADOWBRIDGE ROAD MARYLAND ROUTE 103
	PAR 'A' BLDG NO. 2	6518 MEADOWBRIDGE ROAD MARYLAND ROUTE 103
PAR 'A' BLDG NO. 3	6514 MEADOWBRIDGE ROAD MARYLAND ROUTE 103	
PAR 'A' BLDG NO. 4	6510 MEADOWBRIDGE ROAD MARYLAND ROUTE 103	
PROJECT NAME The Meadows Corporate Park	SECTION NAME Elkridge	PARCEL # A 73, 78, 407, 412, 535 & 536
LIBER / FOLIO / GRID (PLAT NO. 175) 15 / 22	ZONE CCT	TAX MAP 57
WATER CODE B 02	SEWER CODE 4020000	ELECT. DIST. 1
CENSUS TRACT 601102		

DESIGNED BY: H.P.P.
DRAWN BY: H.P.P.
CHECKED BY: H.P.P.

Erosion and Sediment Control Plan
The Meadows Corporate Park
Parcel 'A'

Site Improvements: General Offices
Election District No. 1
Howard County, Maryland
SHT. 24 OF 43
Date: December 06, 2004

SDP-05-072
Scale: As Shown
Date: December 06, 2004
PIN: 10-9669

PREPARED BY:

GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
1020 Cromwell Bridge Road
Towson, Maryland 21286
(410) 825-8120

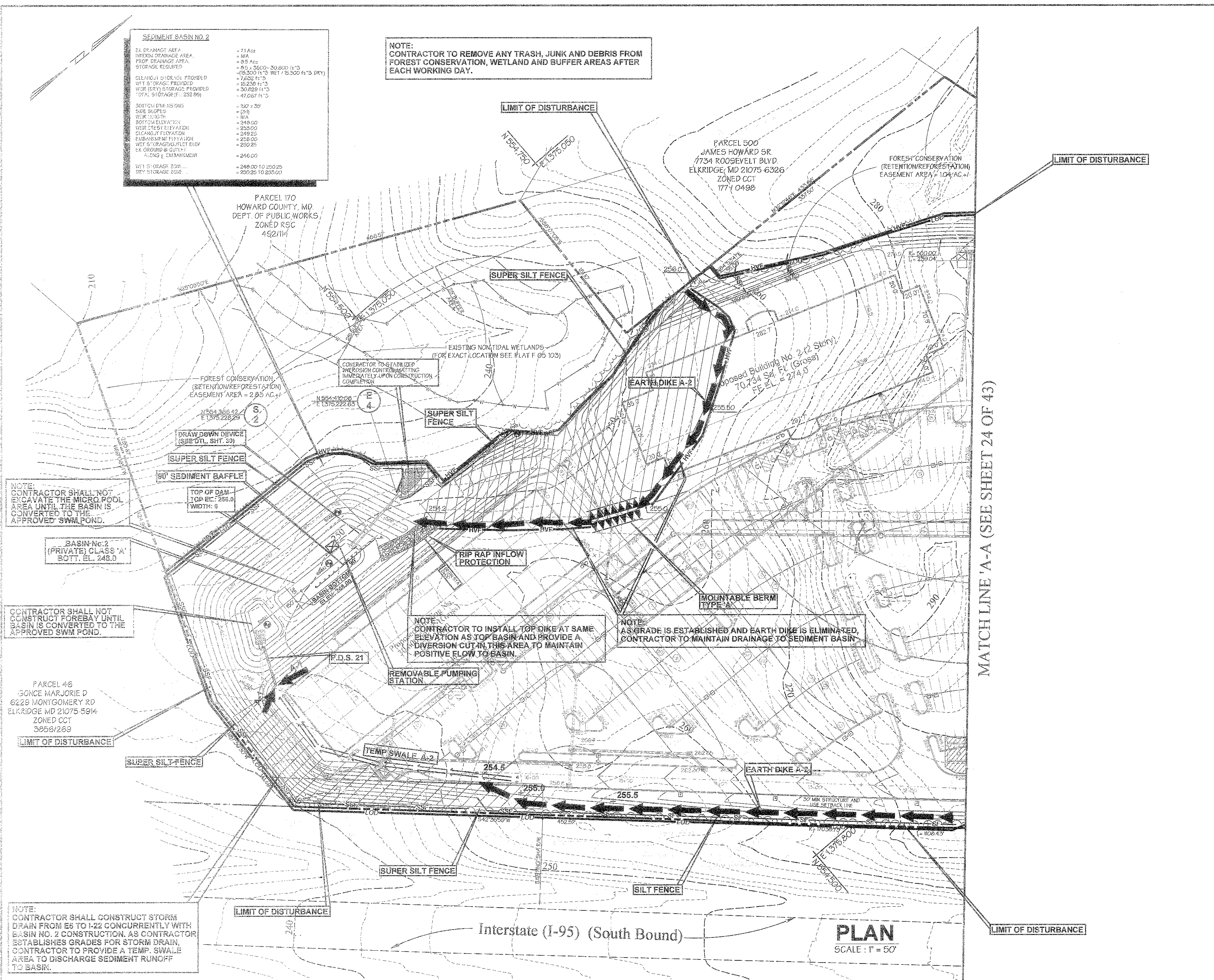
DEVELOPER CERTIFICATION:
I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a certificate of Attendance of a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District.

Signature of Developer: *[Signature]* Date: 2/2/05
Print Name: Daniel F. P... Date: 2/2/05

ENGINEER CERTIFICATION:
I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I am a registered professional engineer and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion.

Signature of Engineer: *[Signature]* Date: 2/2/05
Print Name: ... PE # 38202

INLET 1-3 AND 1-4 TO BE PLUGGED AFTER INSTALLATION UNTIL DRAINAGE AREA TO INLETS HAVE BEEN STABILIZED AND APPROVED BY SEDIMENT CONTROL INSPECTOR.



SEDIMENT BASIN NO. 2

3L DRAINAGE AREA	= 71.1A2
INTERIM DRAINAGE AREA	= N/A
PROP. DRAINAGE AREA	= 0.5 AC
STORAGE REQUIRED	= 0.5 x 2.500 = 1.2500 (1'-3" WET / 15.500 (1'-3" DRY)
CLEANLINE STORAGE PROVIDED	= 1.6202 (1'-3"
WET 5' STORAGE PROVIDED	= 12.230 (1'-3"
WET 6' STORAGE PROVIDED	= 30.828 (1'-3"
WET 7' STORAGE PROVIDED	= 47.067 (1'-3"
20FT DRAINAGE WIDTH	= 150' x 30'
SIDE SLOPES	= (2:1)
WET 5' ELEVATION	= N/A
20FT DRAINAGE WIDTH	= 249.00'
WET 6' ELEVATION	= 253.00'
CLEANLINE ELEVATION	= 249.25'
ELEVATION ELEVATION	= 250.00'
WET 5' DRAINAGE/INLET ELEV	= 250.25'
EX. GROUPING & OUTLET	= 246.00'
ACROSS & EMBANKMENT	= 249.00' TO 250.25'
WET 5' STORAGE ZONE	= 250.25' TO 250.00'

NOTE:
CONTRACTOR TO REMOVE ANY TRASH, JUNK AND DEBRIS FROM FOREST CONSERVATION, WETLAND AND BUFFER AREAS AFTER EACH WORKING DAY.

Legend

Ex. 2' Contours	--- 364 ---
Ex. 10' Contours	--- 355 ---
Prop. 2' Contours	--- 364 ---
Prop. 10' Contours	--- 355 ---
Ex. Curb & Gutter	-----
Prop. Curb & Gutter	-----
Blgd. Restriction Line	-----
Ex. Sanitary	-----
Ex. Storm Drain	-----
Ex. Water	-----
Prop. Sanitary	-----
Prop. Storm Drain	-----
Prop. Water	-----
Light Duty Paving (P 2)	Light Duty Paving
Intermediate Duty Paving (P 3)	Intermediate Duty Paving
Heavy Duty Paving (P 5)	Heavy Duty Paving
Handicapped Detail No.	5
PROPOSED FULL DEPTH PAVING (SEE DETAIL SHT. 3)	[Symbol]
PROPOSED SHA FULL DEPTH PAVING	[Symbol]
LIGHT POLE LOCATION	[Symbol]
LIMIT OF DISTURBANCE	LOD
SUPER SILT FENCE	SSF
SILT FENCE	SF
EARTH DIKE	[Symbol]
MOUNTABLE BERM	[Symbol]
STABILIZED CONSTRUCTION ENTRANCE	[Symbol]
REMOVABLE PUMPING STATION	[Symbol]
RIP RAP INFLOW PROTECTION	[Symbol]
EROSION CONTROL MATTING	[Symbol]
HIGH VISIBLE FENCE	HVF

FOR PAVING LOCATION SEE SHEET 6 OF 43

LIMIT OF DISTURBANCE : 808,100 SQ. FT. OR 18.55 AC.

Reviewed for Howard SCD and meets Technical Requirements

USDA-NATURAL RESOURCES CONSERVATION SERVICE	<i>Jim Meyer</i>	7/2/05
DATE		
This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District		
HOWARD SOIL CONSERVATION DISTRICT	<i>[Signature]</i>	7/2/05
DATE		
APPROVED: Howard County Department of Planning and Zoning		
CHIEF, DEVELOPMENT ENGINEERING DIVISION	<i>[Signature]</i>	7/2/05
DATE		
CHIEF, DIVISION OF LAND DEVELOPMENT	<i>[Signature]</i>	7/2/05
DATE		
DIRECTOR	<i>[Signature]</i>	7/2/05
DATE		

OWNER / DEVELOPER Merritt Properties, LLC 2066 Lord Baltimore Drive Baltimore, Maryland 21244	ADDRESS CHART	
	PARCEL NO.	STREET ADDRESS
	PAR. 'A' BLDG. NO. 1	6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	PAR. 'A' BLDG. NO. 2	6518 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR. 'A' BLDG. NO. 3	6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103	
PAR. 'A' BLDG. NO. 4	6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103	
PROJECT NAME The Meadows Corporate Park	SECTION NAME Elkridge	PARCEL 'A' 173,719.437 42,535.4536
LIBER / FOLIO GRID PLAT NO. 15-34-1	ZONE CCT	TAX MAP ELECT. DIST. 1
WATER CODE B 02	SEWER CODE 4020000	CENSUS TRACT 601102

DESIGNED BY: H.P.P.	Erosion and Sediment Control Plan The Meadows Corporate Park Parcel 'A' Site Improvements: General Offices Election District No. 1 Howard County, Maryland SDP-05-072 Scale: As Shown Date: December 06, 2004
DRAWN BY: H.P.P.	
CHECKED BY: H.P.P.	
REVISIONS	

PREPARED BY:

GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
1020 Cromwell Bridge Road
Towson, Maryland 21286
(410) 826-8120

DEVELOPER CERTIFICATION:
I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a certificate of attendance at a Department of the Environment Approved Training Program for the control of Sediment and Erosion before beginning the project. I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District.

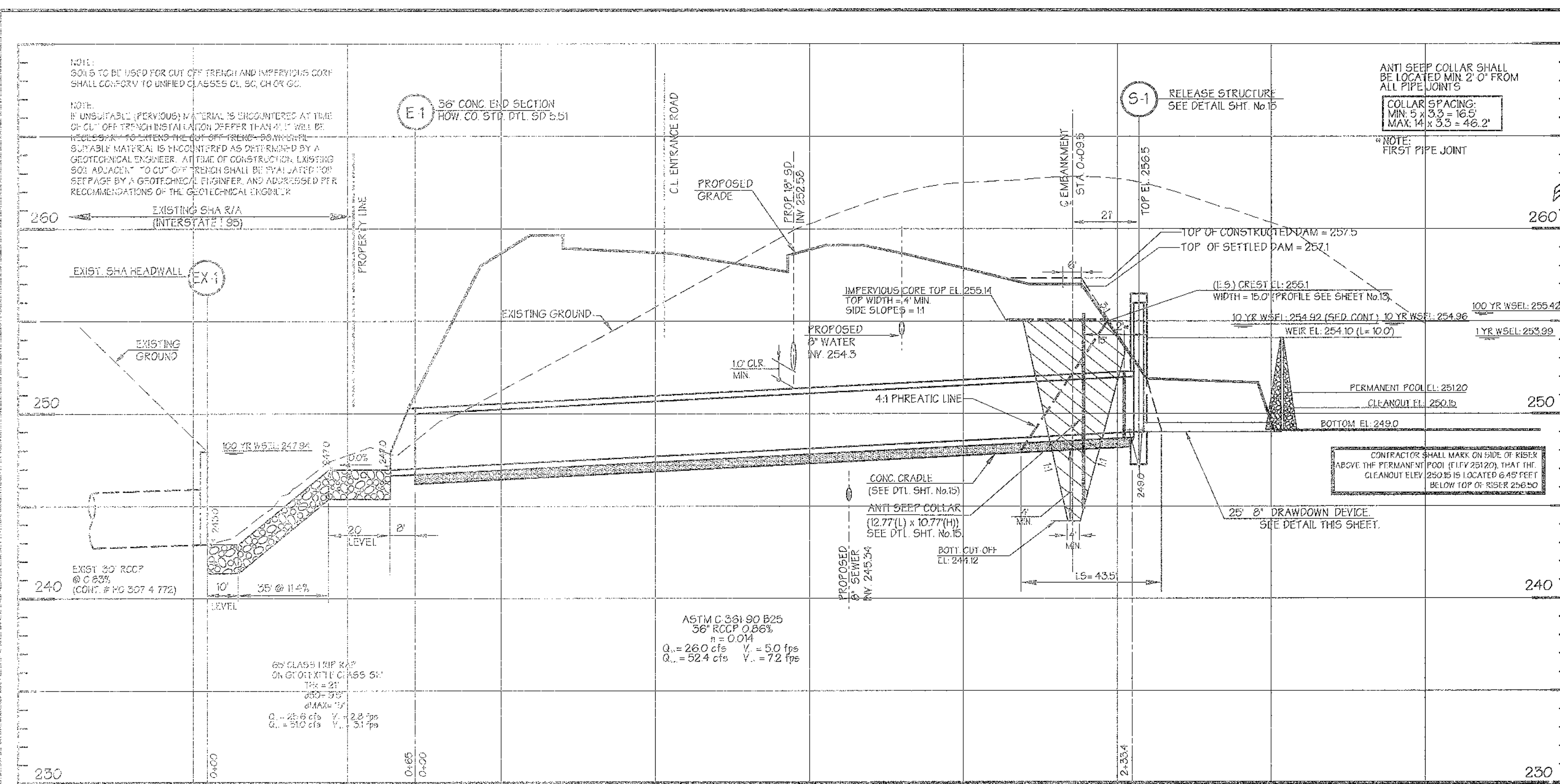
Signature of Developer: *[Signature]* Date: 6/14/05
Print Name: DANIEL F. PARRISH

ENGINEER CERTIFICATION:
I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I am a registered professional engineer and must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion.

Signature of Engineer: *[Signature]* Date: 6/14/05
Print Name: DANIEL F. PARRISH PE # 22244

MATCH LINE 'A-A' (SEE SHEET 24 OF 43)

PLAN
SCALE: 1" = 50'



PROFILE ALONG C OF PRINCIPAL SPILLWAY - POND No.1

SCALE: HORIZ: 1" = 30'
VERT: 1" = 5'

NOTES:

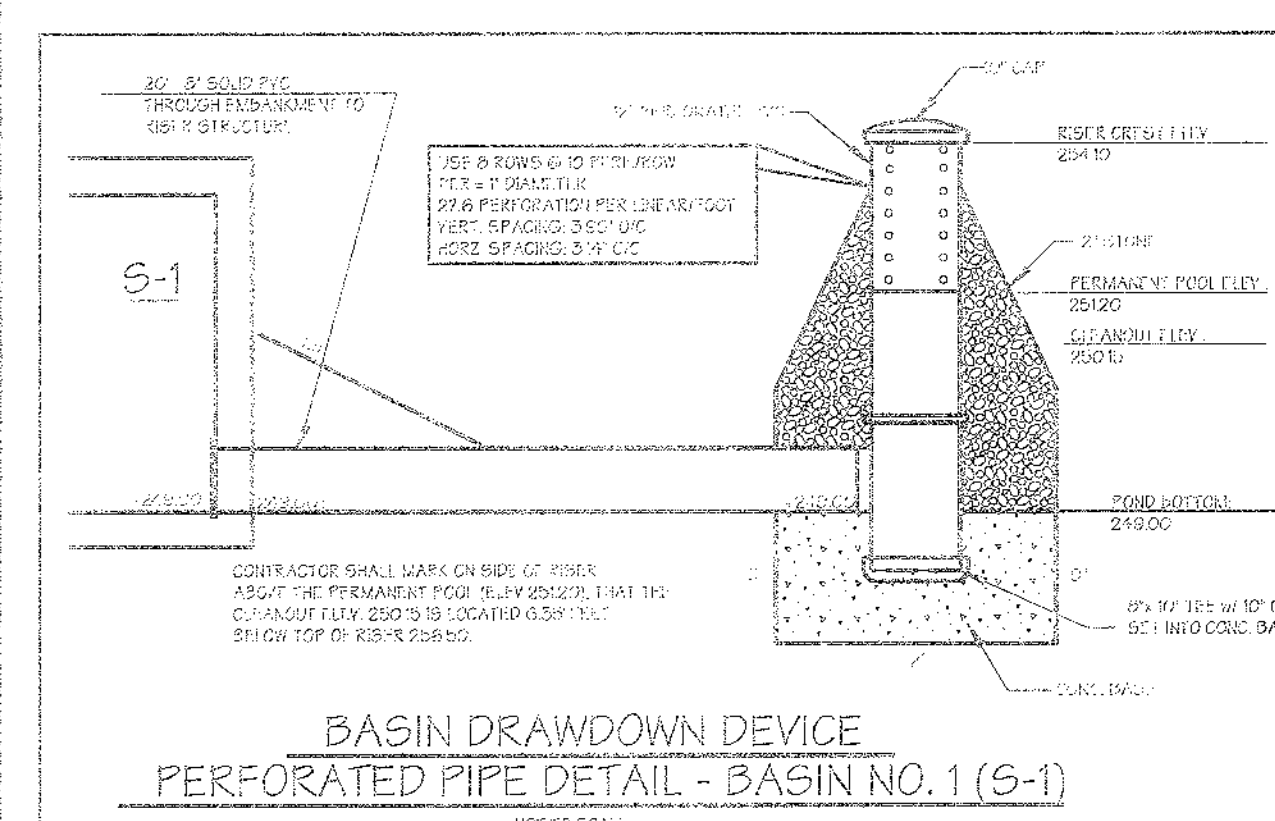
- NO TREES, SHRUBS OR OTHER WOODY VEGETATION WILL BE ALLOWED WITHIN 25' OF THE INLET STRUCTURE IN THE POND AREA AND NOT ALLOWED WITHIN 15' FROM THE TOE OF THE EMBANKMENT.
- THE CONSTRUCTION MAY REQUIRE A PERMIT FROM THE ARMY CORPS OF ENGINEERS, THE WATER RESOURCES ADMINISTRATION AND/OR HOWARD COUNTY. IT IS THE RESPONSIBILITY OF THE LANDOWNER TO CONTACT THESE THREE AGENCIES TO DETERMINE THE PROJECT REQUIRES A PERMIT.
- U.S. ARMY CORPS OF ENGINEERS (410) 362 3820
NRA NON TIDAL WETLANDS AND WATERWAYS DIVISION (410) 874 3841
HARFORD COUNTY (410) 887 2380
- CLASS B STREAMS CLOSURE WILL BE IN EFFECT BETWEEN MARCH THROUGH MAY 31 INCLUSIVE.
- IT REQUIRED BY THE SEDIMENT CONTROL INSPECTOR FENCING SHALL BE INSTALLED TO PREVENT ACCESS TO THE BASIN BY
- THIS STORMWATER MANAGEMENT FACILITY IS DESIGNED TO MEET OR EXCEED ALL APPLICABLE REQUIREMENTS OF THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS AND THE SOIL CONSERVATION DISTRICT. MAINTENANCE OF THIS FACILITY WILL BE THE RESPONSIBILITY OF THE OWNER. (THE SWM FACILITY IS PRIVATE)
- SOILS TO BE USED FOR CUT OFF TRENCH AND IMPERVIOUS CORE SHALL CONFORM TO UNIFIED CLASSES CL SC, CH OR GC.
- IF UNSUITABLE (PERVIOUS) MATERIAL IS ENCOUNTERED AT TIME OF CUT OFF TRENCH INSTALLATION DEEPER THAN 4" IT WILL BE NECESSARY TO EXTEND THE CUT OFF TRENCH DOWN UNTIL SUITABLE MATERIAL IS ENCOUNTERED AS DETERMINED BY A GEOLOGICAL ENGINEER. AT TIME OF CONSTRUCTION EXISTING SOIL ADJACENT TO CUT OFF TRENCH SHALL BE EVALUATED FOR SELF-PAQ BY A GEOLOGICAL ENGINEER, AND ADDRESSED PER RECOMMENDATIONS OF THE GEOLOGICAL ENGINEER.
- AS BUILT PLANS AND CERTIFICATION ARE REQUIRED FOR THIS STORMWATER MANAGEMENT FACILITY. THESE MUST BE PREPARED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER. HOWARD COUNTY WILL NOT PERFORM THE INSPECTION OR PREPARE THE AS BUILT PLANS OR CERTIFICATION. THE STORMWATER MANAGEMENT PERMIT SECRETARY WILL NOT BE RELEASED UNTIL THE AS BUILT PLANS AND CERTIFICATION ARE APPROVED BY HOWARD COUNTY.
- IN ORDER TO PREPARE THE REQUIRED AS BUILT PLANS AND CERTIFICATION, THIS STORMWATER MANAGEMENT FACILITY MUST BE INSPECTED BY THE ENGINEER AT SPECIFIC STAGES DURING CONSTRUCTION AS REQUIRED BY THE CURRENT HOWARD COUNTY STORMWATER MANAGEMENT POLICY AND DESIGN MANUAL. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING ANY WORK SHOWN ON THESE PLANS.
- ANY TEMPORARY STOCKPILE AREAS WILL BE LOCATED WITHIN THE LIMITS OF DISTURBANCE AND POSITIONED SUCH THAT ANY SEDIMENT FROM THE STOCKPILE FILL AREAS WILL BE CONTROLLED BY ONE OR MORE OF THE SEDIMENT CONTROL MEASURES SHOWN ON THIS PLAN. THESE STOCKPILE AREAS WILL ALSO BE LOCATED SUCH THAT NO DRAINAGE AREAS TO THE SEDIMENT TRAP/BASIN ARE CHANGED AND THAT SUCH DRAINAGE TO THE TRAP IS UNIMPEDED AND NO CLOSER THAN 10 FEET FROM THE SEDIMENT CONTROL DEVICE.
- ANY EXCAVATED MATERIAL NOT IMMEDIATELY RE-USED FOR EMBANKMENT CONSTRUCTION SHALL BE TAKEN TO A DESIGNATED SPILL OR FILL AREA, AND HAVE SOME FORM OF SEDIMENT CONTROL PROVIDED FOR IT. IF THE SPILL/FILL AREA IS IN AN AREA NOT DRAINING TO THE BASIN, THEN SEDIMENT CONTROL MEASURES (i.e. SUPER SILT FENCES) FOR THE SPILL/FILL AREA MUST BE INSTALLED PRIOR TO TRANSPORTING THE EXCESS SOIL MATERIAL.
- FINAL BASIN DREDGE IS TO BE TAKEN TO A SITE WITH AN APPROVED EROSION & SEDIMENT CONTROL PLAN AND AN ACTIVE GRADING PLAN.

SEDIMENT BASIN NO. 1

EX DRAINAGE AREA: 0.70 Acs
INT. DRAINAGE AREA: N/A
STORAGE REQUIRED: 17.4 Acs
CLEANOUT STORAGE PROVIDED: 97 x 3600 = 34,920 FT³ (17,460 FT³ NET 17,460 FT³ OR Y)
WET STORAGE PROVIDED: 9546 FT³
TOTAL STORAGE (EL. 252.85): 95,284 FT³

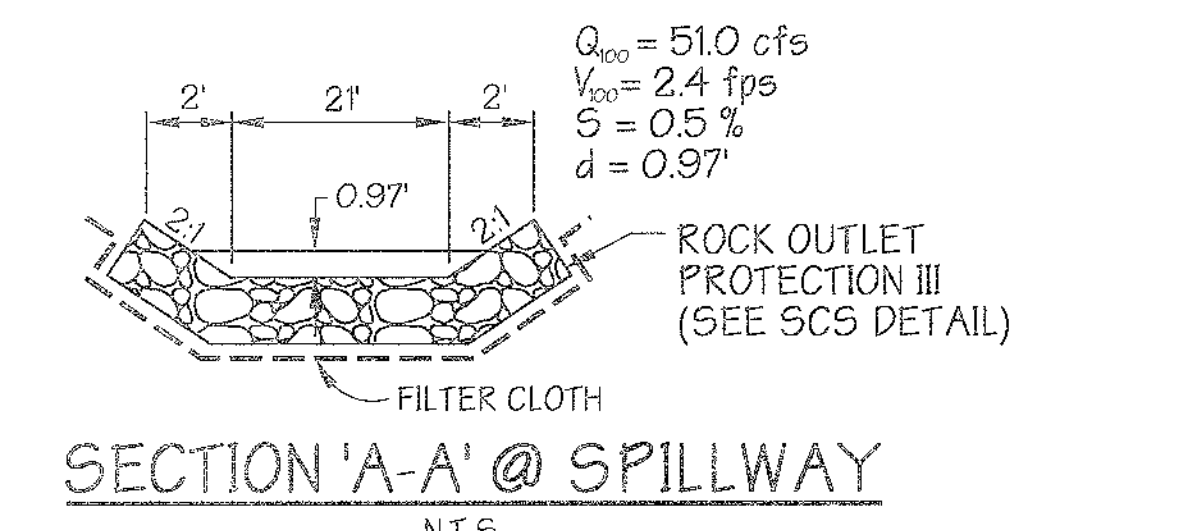
BOTTOM DIMENSIONS: SEE SLOPES
SLOPES: 1:1
BOTTOM ELEVATION: 249.00
WET CREST ELEVATION: 254.10
WET STORAGE PROVIDED: 95,284 FT³
EMPAKMENT ELEVATION: 257.10
WET STORAGE/OUTLET ELEV: 251.30
ALONG EMBANKMENT: 252.00

WET STORAGE ZONE: 249.00 TO 251.30
DRY STORAGE ZONE: 251.30 TO 254.10



POUND SUMMARY DRAINAGE AREA No. 1 (EROSION CONTROL)

DESIGN STORM	EXISTING SITE RELEASE RATE (CFS) AREA 1	FACILITY INFLOW (CFS)		FACILITY DISCHARGE (CFS)		OFF SITE DISCHARGE (CFS)		BYPASS DISCHARGE (CFS)		TOTAL DISCHARGE (CFS)		WATER SURFACE ELEVATION (FT)		STORAGE VOL. WITH WATER QUALITY (ac-ft)	
		During	Post	During	Post	During	Post	During	Post	During	Post	During	Post	During	Post
Development															
1 YR	3.88	23.71	19.77	15.8	0.37	n/a	0.20	1.36	0.59	1.97	0.89	254.16	253.99	0.90	0.84
10 YR	20.27	53.76	42.76	43.26	25.98	n/a	1.22	2.89	2.00	4.72	26.96	255.10	254.96	1.21	1.16
100 YR	37.11	61.90	42.56	43.26	25.98	n/a	2.28	3.29	2.00	5.33	55.33	255.42	254.96	1.21	1.34



APPROVED: Howard County Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* DATE: *7/2/05*

CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: *7/2/05*

DIRECTOR: *[Signature]* DATE: *7/2/05*

Reviewed for Howard SCD and meets Technical Requirements

USDA-NATURAL RESOURCES CONSERVATION SERVICE: *[Signature]* DATE: *7/2/05*

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District

HOWARD SOIL CONSERVATION DISTRICT: *[Signature]* DATE: *7/2/05*

AS BUILT CERTIFICATION:

I hereby certify that the facility shown on this plan was constructed as shown on the 'as built' plans and meet the approved plans and specifications.

Signature: _____ P.E. # _____ Date: _____

Certify means to state or declare a professional opinion based upon on-site inspections and material tests which are conducted during construction. The on-site inspections and material tests are those inspections and tests deemed sufficient and appropriate by commonly accepted engineering standards. Certify does not mean or imply a guarantee by the engineer nor does an engineer's certification relieve any other party from meeting requirements imposed by contract, employment, or other means, including meeting commonly accepted industry practices.

CONSULTANT'S HAZARD CLASS CERTIFICATION:

I certify that the pond meets all requirements for hazard class (B) or (C) (requirements as stated in the soil conservation service, Maryland standards and specifications for pond code 37B, November 1992). All necessary investigations and computations have been performed to verify this finding. A copy of said information has been supplied to Howard County soil conservation district.

Engineer: *[Signature]* Date: *7/2/05*

PREPARED BY: **GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**

Civil Engineers and Land Surveyors

1020 Cromwell Bridge Road
Towson, Maryland 21286
(410) 825-8120

DEVELOPER CERTIFICATION:

I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a certificate of attendance at a Department of the Environment Approved Training Program for the control of sediment and erosion before beginning the project. I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an 'as-built' plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District.

Signature of Developer: *[Signature]* Date: *7/2/05*

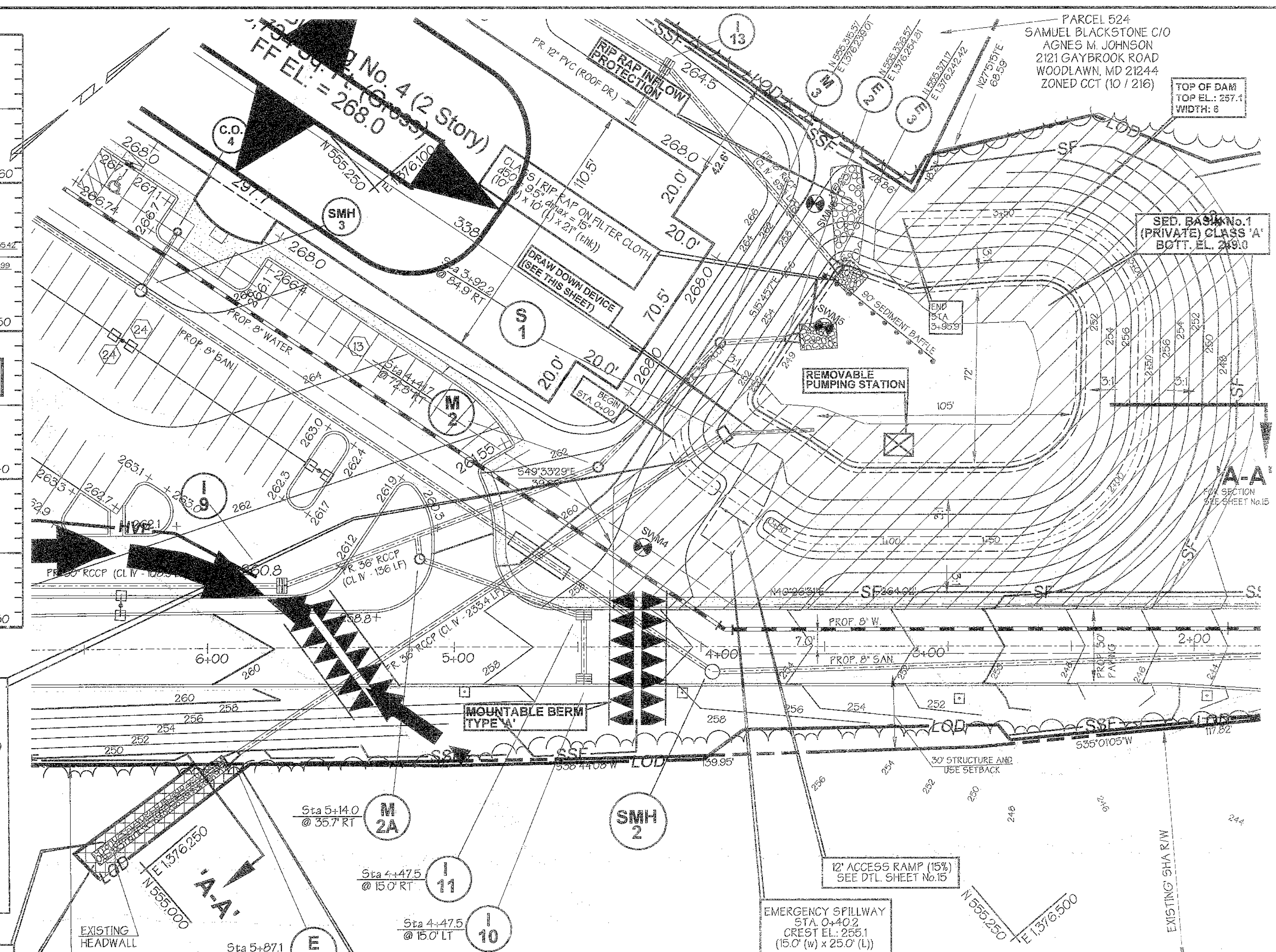
Print Name: *[Name]*

ENGINEER CERTIFICATION:

I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Maryland Standards and Specifications for Pond Construction and provides the Howard Soil Conservation District with an 'as-built' plan of the pond within 30 days of completion.

Signature of Engineer: *[Signature]* Date: *7/2/05*

Print Name: *[Name]* PE # *[Number]*



Interstate (I-95) (South Bound)

PLAN
SCALE: 1" = 50'

POUND SPECIFICATION FOR DRAINAGE AREA 1

POUND SPECIFICATIONS FOR STORMWATER MANAGEMENT FACILITY No. 1

DESCRIPTION	DATA
STRUCTURE CLASSIFICATION	A
STORAGE X HEIGHT PRODUCT	(154 ACFT)(6.42) = 980 ACFT ²
WATERSHED AREA TO THE POND	77 AC +/-
HEIGHT TO EMERGENCY SPILLWAY (TOKEN)	6.5'
NORMAL SURFACE AREA	0.01 AC +/- @ EL. 51.0 (TOP WATER QUALITY)
PRINCIPLE SPILLWAY CAPACITY	510 CFS
EMERGENCY SPILLWAY CAPACITY (CREST) (TOKEN)	32 cfs/255.1
POND TYPE	MICRO POOLED (P)
FREEBOARD	REQUIRED/ PROVIDED
IMPERVIOUS AREA (AREA SERVED)	5.9 AC +/-
WATER QUALITY STORAGE REQUIRED	SEE WATER QUALITY COMPS & DWGS
WATER QUALITY STORAGE PROVIDED	SEE WATER QUALITY COMPS & DWGS
WATER QUALITY	PROVIDED BY MICRO POOL
TOP OF EMBANKMENT	257.1
MAXIMUM HEIGHT OF FILL (FT)	3.0'
WATERSHED	DEEP RUN WATERSHED

Legend

EXISTING SANITARY
EXISTING STORM DRAINS
EXISTING GAS LINE
EXISTING ELECTRIC
EXISTING CURB AND GUTTER
PROPERTY LINE
PROPOSED CURB AND GUTTER
RIGHT OF WAY
EXISTING WATER LINE
EXISTING 2' CONTOURS
EXISTING 10' CONTOURS
PROPOSED CONTOURS
EXISTING / PROPOSED FIRE HYDRANTS
EXISTING TREES
EXISTING TREE LINE
EXISTING / PROPOSED WATER VALVES
PROPOSED STORM DRAIN
PROPOSED SANITARY
PROPOSED WATER
SOIL LINE
WETLANDS
100 YEAR FLOOD PLAN

OWNER / DEVELOPER: **Merritt Properties, LLC**
2066 Lord Baltimore Drive
Baltimore, Maryland 21244

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
PAR 'A' BLDG. NO. 1	6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR 'A' BLDG. NO. 2	6518 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR 'A' BLDG. NO. 3	6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR 'A' BLDG. NO. 4	6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103

PROJECT NAME: The Meadows Corporate Park
SECTION NAME: Elkridge
PARCEL # A: 15.79 AC +/- 42,335 & 536

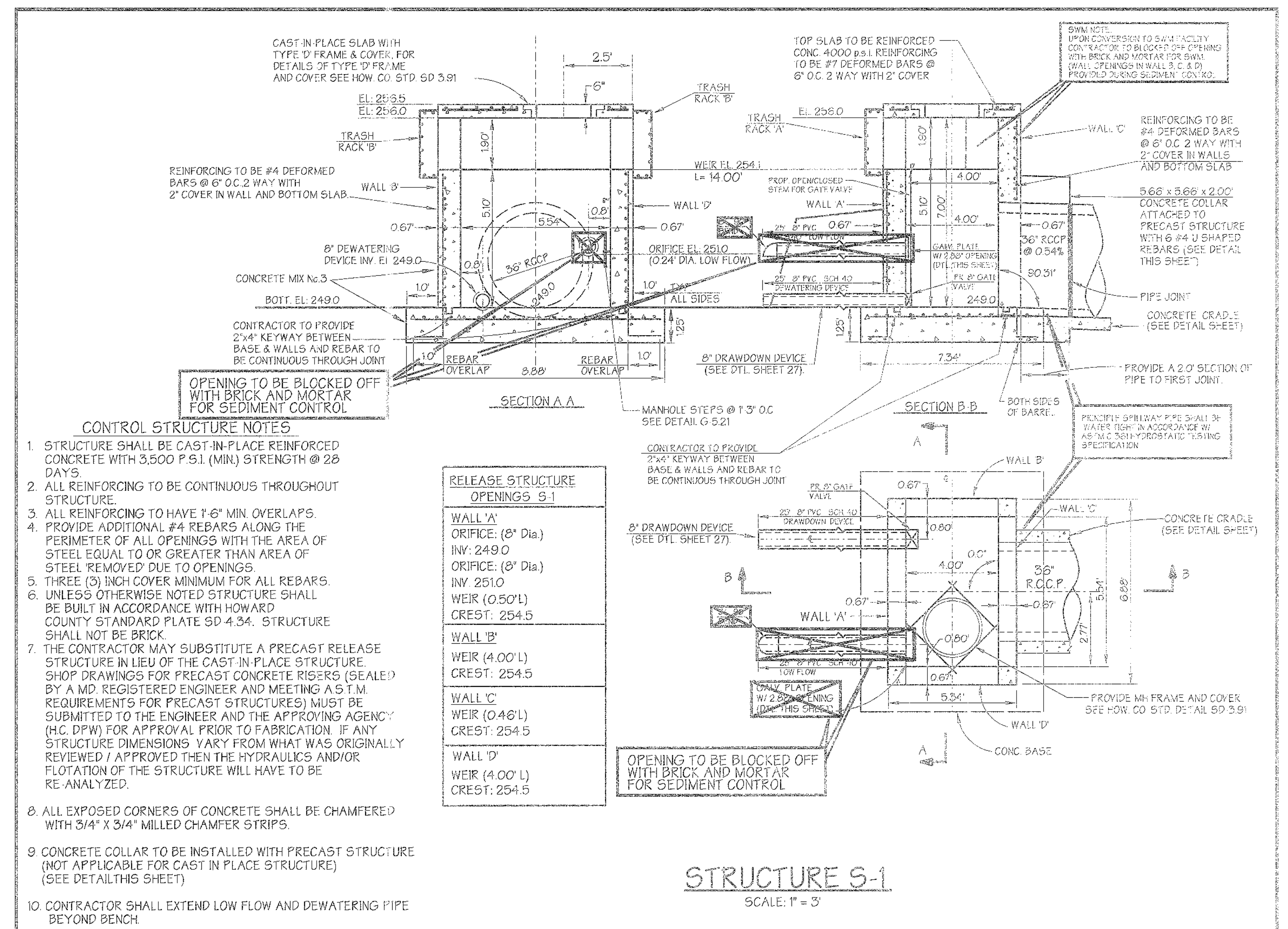
LIBER / FOLIO GRID: 22
ZONE: CCT
TAX / ZONE MAP: 1
ELECT. DIST.: 1
CENSUS TRACT: 601102

WATER CODE B 02
SEWER CODE 4020000

DESIGNED BY: H.P.P.
DRAWN BY: H.P.P.
CHECKED BY: H.P.P.
REVISIONS:

SEDIMENT BASIN NO. 1 PLAN & PROFILES
The Meadows Corporate Park
Parcel 'A'

Site Improvements: General Offices
Election District: No. 1
Howard County, Maryland
SHP-05-072
Scale: As Shown
Date: December 06, 2004
SDP-05-072
SHT. 27 OF 43
Date: December 06, 2004
FBI: 02669



- CONTROL STRUCTURE NOTES**
- STRUCTURE SHALL BE CAST-IN-PLACE REINFORCED CONCRETE WITH 3,500 P.S.I. (MIN.) STRENGTH @ 28 DAYS.
 - ALL REINFORCING TO BE CONTINUOUS THROUGHOUT STRUCTURE.
 - ALL REINFORCING TO HAVE 1'-6" MIN. OVERLAPS.
 - PROVIDE ADDITIONAL #4 REBARS ALONG THE PERIMETER OF ALL OPENINGS WITH THE AREA OF STEEL EQUAL TO OR GREATER THAN AREA OF STEEL REMOVED DUE TO OPENINGS.
 - THREE (3) INCH COVER MINIMUM FOR ALL REBARS.
 - UNLESS OTHERWISE NOTED STRUCTURE SHALL BE BUILT IN ACCORDANCE WITH HOWARD COUNTY STANDARD PLATE SD 4.34. STRUCTURE SHALL NOT BE BRICK.
 - THE CONTRACTOR MAY SUBSTITUTE A PRECAST RELEASE STRUCTURE IN LIEU OF THE CAST-IN-PLACE STRUCTURE. SHOP DRAWINGS FOR PRECAST CONCRETE RISERS (SEALED) BY A MD. REGISTERED ENGINEER AND MEETING A.S.T.M. REQUIREMENTS FOR PRECAST STRUCTURES) MUST BE SUBMITTED TO THE ENGINEER AND THE APPROVING AGENCY (H.C. DPW) FOR APPROVAL PRIOR TO FABRICATION. IF ANY STRUCTURE DIMENSIONS VARY FROM WHAT WAS ORIGINALLY REVIEWED / APPROVED THEN THE HYDRAULICS AND/OR FLOTATION OF THE STRUCTURE WILL HAVE TO BE RE-ANALYZED.
 - ALL EXPOSED CORNERS OF CONCRETE SHALL BE CHAMFERED WITH 3/4" X 3/4" MILLED CHAMFER STRIPS.
 - CONCRETE COLLAR TO BE INSTALLED WITH PRECAST STRUCTURE (NOT APPLICABLE FOR CAST IN PLACE STRUCTURE) (SEE DETAIL THIS SHEET)
 - CONTRACTOR SHALL EXTEND LOW FLOW AND DEWATERING PIPE BEYOND BENCH

RELEASE STRUCTURE OPENINGS S-1	
WALL 'A' ORIFICE: (8" Dia.) INV: 249.0 WEIR: (8" Dia.) INV: 251.0 CREST: 254.5	
WALL 'B' WEIR (4.00' L) CREST: 254.5	
WALL 'C' WEIR (0.48' L) CREST: 254.5	
WALL 'D' WEIR (4.00' L) CREST: 254.5	

STRUCTURE S-1
SCALE: 1" = 3'

APPROVED: Howard County Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 7/1/05

CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 7/1/05

DIRECTOR DATE: 7/1/05

Reviewed for Howard SCD and meets Technical Requirements


USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE: 7/1/05

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District

HOWARD SOIL CONSERVATION DISTRICT DATE: 7/1/05

OWNER / DEVELOPER	ADDRESS CHART	
Merritt Properties, LLC 2066 Lord Baltimore Drive Baltimore, Maryland 21244	PARCEL NO.	STREET ADDRESS
	PAR. 'A' BLDG. NO. 1	6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	PAR. 'A' BLDG. NO. 2	6516 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	PAR. 'A' BLDG. NO. 3	6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	PAR. 'A' BLDG. NO. 4	6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PROJECT NAME	SECTION NAME	PARCEL * A
The Meadows Corporate Park	Elkridge	73, 178, 407, 412, 536 & 538
LIBER / FOLIO GRID	ZONE	TAX MAP
PLAT NO. 1513/75	22	OCT
WATER CODE	SEWER CODE	
B 02	4020000	

PREPARED BY:



GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
1020 Cromwell Bridge Road
Towson, Maryland 21286
(410) 825-3120

DEVELOPER CERTIFICATION:
I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a certificate of attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an 'as-built' plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District.

Signature of Developer: _____ Date: 6/28/05
Print Name: DANIEL F. JACOBS

ENGINEER CERTIFICATION:
I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements and must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an 'as-built' plan of the pond within 30 days of completion.

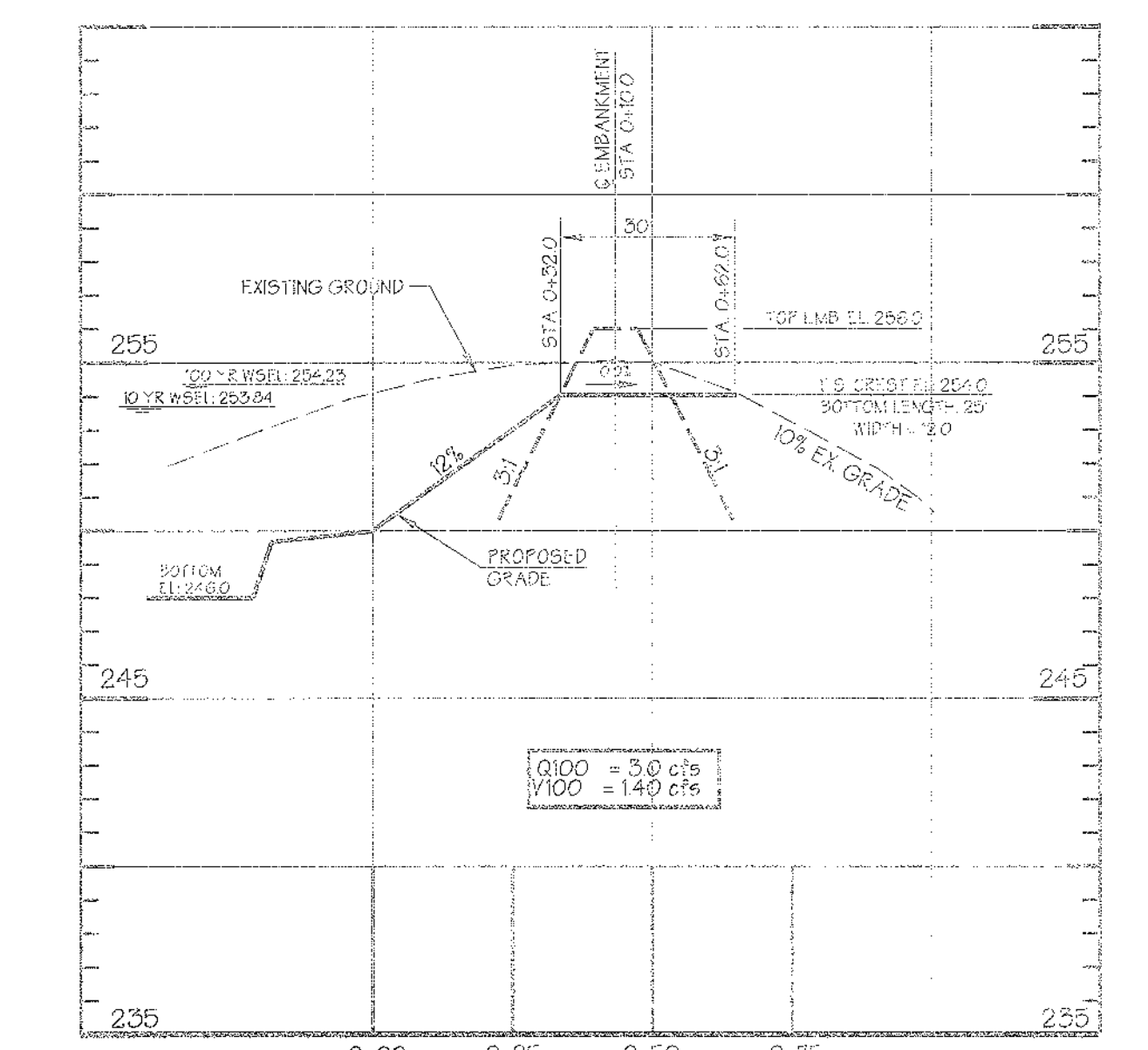
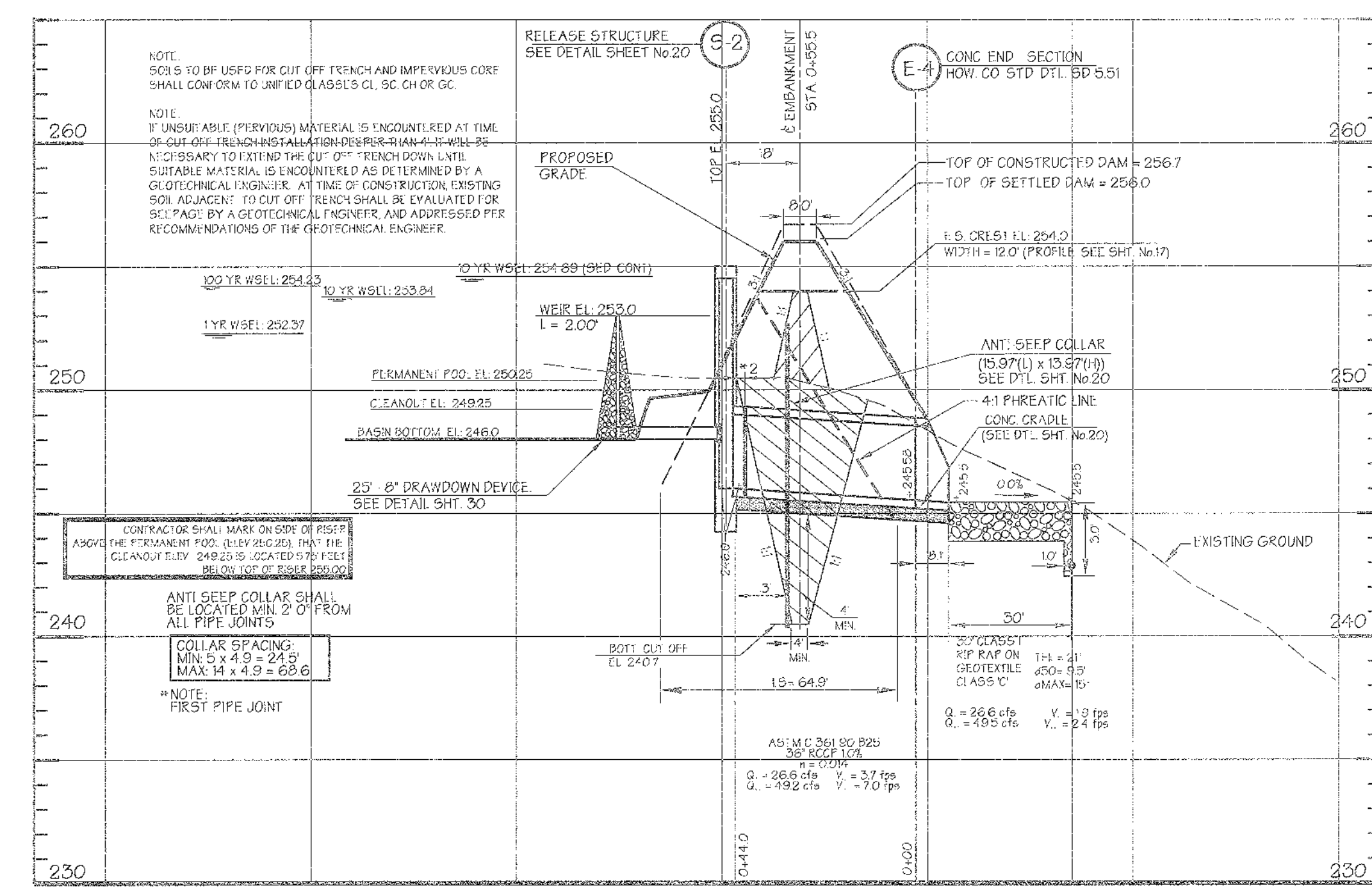
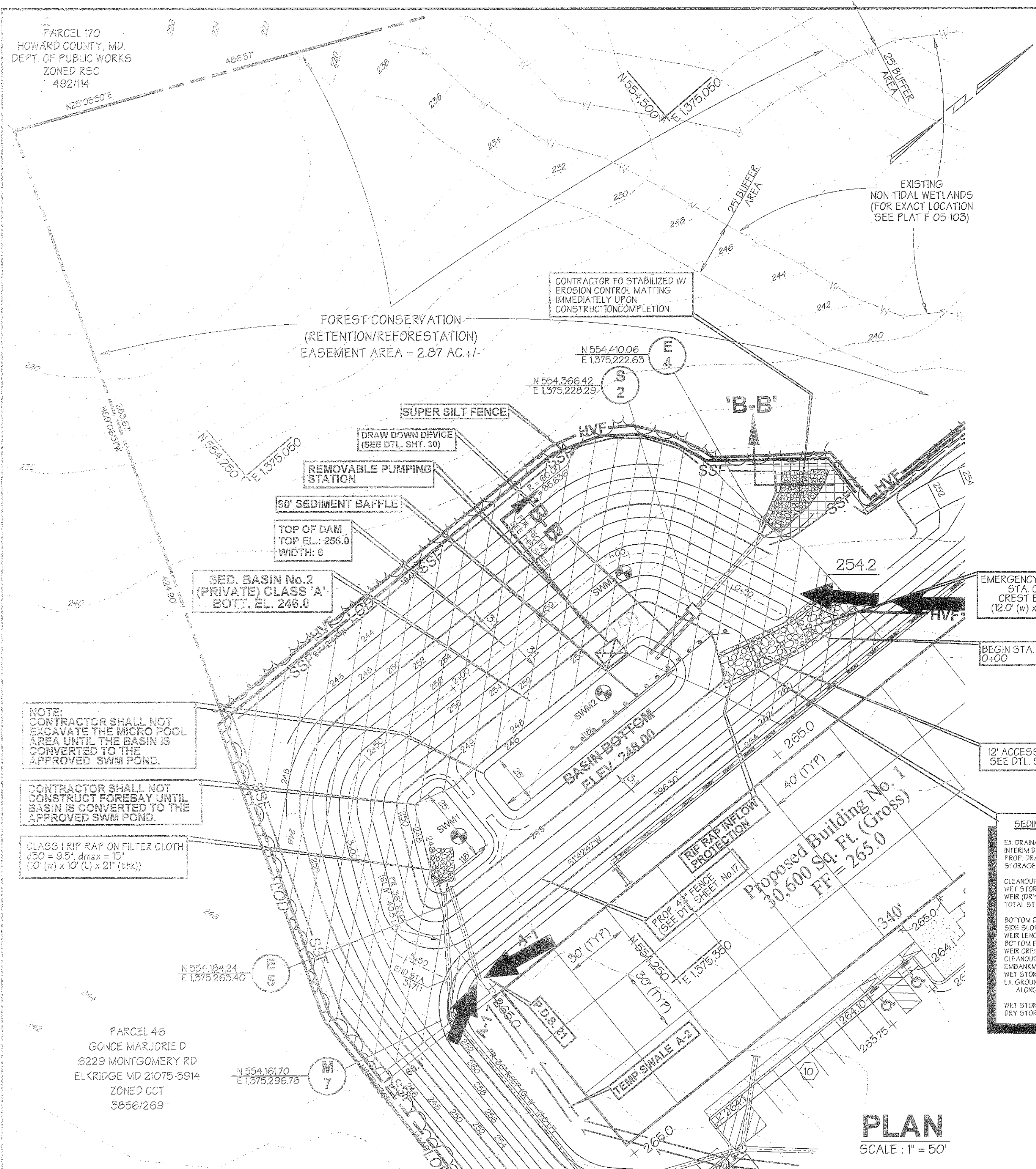
Signature of Engineer: _____ Date: 6/28/05
Print Name: Daniel F. Jacobs PE # 252847

DESIGNED BY: H.P.P.
DRAWN BY: H.P.P.
CHECKED BY: H.P.P.
REVISIONS

Sediment Basin No. 1 Notes and Details
The Meadows Corporate Park
Parcel 'A'

Site Improvements: General Offices SDP -05-072
Election District No. 1 Scale: As Shown
Howard County, Maryland SHT 28 OF 43 Date: December 06, 2004

SDP -05-072 7/1/05



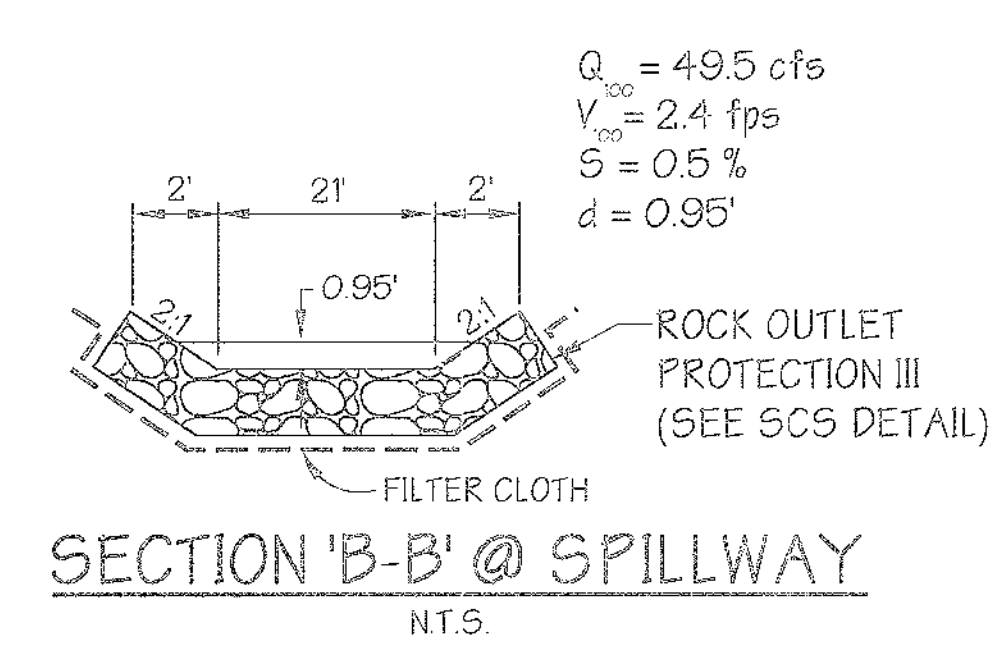
PROFILE ALONG C/O OF PRINCIPAL SPILLWAY SCALE: HORIZ. 1" = 50' VERT. 1" = 5'

PROFILE ALONG C/O OF EMERGENCY SPILLWAY - Pond 2 SCALE: HORIZ. 1" = 50' VERT. 1" = 5'

- NOTES:**
- NO TREES, SHRUBS OR OTHER WOODY VEGETATION WILL BE ALLOWED WITHIN 25' OF THE INLET STRUCTURE IN THE POOL AREA AND NOT ALLOWED WITHIN 15' FROM THE TOE OF THE EMBANKMENT.
 - THE CONSTRUCTION MAY REQUIRE A PERMIT FROM THE ARMY CORPS OF ENGINEERS, THE WATER RESOURCES ADMINISTRATION AND/OR HOWARD COUNTY. IT IS THE RESPONSIBILITY OF THE LANDOWNER TO CONTACT THESE THREE AGENCIES TO DETERMINE IF THE PROJECT REQUIRES A PERMIT. U.S. ARMY CORPS OF ENGINEERS (410) 962 3620 WRA NON-TIDAL WETLANDS AND WATERWAYS DIVISION (410) 974 3641 HARFORD COUNTY (410) 887 3380
 - CLASS II STREAMS CLOSURE WILL BE IN EFFECT BETWEEN MARCH 1 THROUGH MAY 31 INCLUSIVE.
 - IF REQUIRED BY THE SEDIMENT CONTROL INSPECTOR FENCING SHALL BE INSTALLED TO PREVENT ACCESS TO THE BASIN BY CHILDREN.
 - THIS STORMWATER MANAGEMENT FACILITY IS DESIGNED TO MEET OR EXCEED ALL APPLICABLE REQUIREMENTS OF THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS AND THE SOIL CONSERVATION DISTRICT. MAINTENANCE OF THIS FACILITY WILL BE THE RESPONSIBILITY OF THE OWNER (THE SWM FACILITY IS PRIVATE).
 - SOILS TO BE USED FOR CUT OFF TRENCH AND IMPERVIOUS CORE SHALL CONFORM TO UNIFIED CLASSES CL 5C, CH OR GC.
 - IF UNSUITABLE (PERVIOUS) MATERIAL IS ENCOUNTERED AT TIME OF CUT OFF TRENCH INSTALLATION DEEPER THAN 4' IT WILL BE NECESSARY TO EXTEND THE CUT OFF TRENCH DOWN UNTIL SUITABLE MATERIAL IS ENCOUNTERED AS DETERMINED BY A GEOTECHNICAL ENGINEER. AT TIME OF CONSTRUCTION EXISTING SOIL ADJACENT TO CUT OFF TRENCH SHALL BE EVALUATED FOR SEEPAGE BY A GEOTECHNICAL ENGINEER AND ADDRESSED PER RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
 - ANY TEMPORARY STOCKPILE AREAS WILL BE LOCATED WITHIN THE LIMITS OF DISTURBANCE AND POSITIONED SUCH THAT ANY SEDIMENT FROM THE STOCKPILE FILL AREAS WILL BE CONTROLLED BY ONE OR MORE OF THE SEDIMENT CONTROL MEASURES SHOWN ON THIS PLAN. THESE STOCKPILE AREAS WILL ALSO BE LOCATED SUCH THAT NO DRAINAGE AREAS TO THE SEDIMENT TRAP/BASIN ARE CHANGED AND THAT SUCH DRAINAGE TO THE TRAP IS UNIMPEDDED AND NO CLOSER THAN 10 FEET FROM THE SEDIMENT CONTROL DEVICE.
 - ANY EXCAVATED MATERIAL NOT IMMEDIATELY RE-USED FOR EMBANKMENT CONSTRUCTION SHALL BE TAKEN TO A DESIGNATED SOIL OR FILL AREA, AND HAVE SOME FORM OF SEDIMENT CONTROL PROVIDED FOR IT. IF THE SPILLWAY AREA IS IN AN AREA NOT DRAINING TO THE BASIN THEN SEDIMENT CONTROL MEASURES (i.e. SUPER SILT FENCE) FOR THE SPILLWAY AREA MUST BE INSTALLED PRIOR TO TRANSPORTING THE EXCESS SOIL MATERIAL.
 - FINAL BASIN DREDGE IS TO BE TAKEN TO A SITE WITH AN APPROVED EROSION & SEDIMENT CONTROL PLAN AND AN ACTIVE GRADING PLAN.

SEDIMENT BASIN NO. 2

EX. DRAINAGE AREA	= 71 Acs
INTERIM DRAINAGE AREA	= N/A
PROP. DRAINAGE AREA	= 83.4 Acs
STORAGE REQUIRED	= 8.9 x 3600 = 30,600 1"3
CLEANOUT STORAGE PROVIDED	= (10,500 1"3 WET / 18,500 1"3 DRY)
WEIR (50%) STORAGE PROVIDED	= 7,630 1"3
TOTAL STORAGE (R1-252.85)	= 20,020 1"3
	= 47,067 1"3
BOTTOM DIMENSIONS	= 150' x 35'
SIDE SLOPES	= (3:1)
WEIR LENGTH	= 10'
WEIR ELEVATION	= 248.00
CLEANOUT ELEVATION	= 253.00
EMBANKMENT ELEVATION	= 249.25
WET STORAGE @ OUTLET	= 256.00
EX. GROUND @ OUTLET	= 250.25
ALONG EMBANKMENT	= 248.00
WET STORAGE ZONE	= 248.00 TO 250.25
DRY STORAGE ZONE	= 250.25 TO 253.00



Legend

EXISTING SANITARY	---
EXISTING STORM DRAINS	---
EXISTING GAS LINE	---
EXISTING ELECTRIC	---
EXISTING GAS AND OUTLET	---
PROPERTY LINE	---
PROPOSED CURB AND GUTTER	---
TOE OF ROAD	---
EXISTING WATER LINE	---
EXISTING 2 CONDUITS	---
EXISTING 1 CONDUIT	---
PROPOSED CONDUIT	---
EXISTING / PROPOSED FIRE HYDRANT	---
EXISTING TRUSS	---
EXISTING TRILL LINE	---
EXISTING / PROPOSED WATER VALVES	---
PROPOSED STORM DRAIN	---
PROPOSED DRAINAGE	---
PROPOSED WATER	---
EXISTING WETLANDS	---
TOE OF FLOOD PLAIN	---

POND SPECIFICATION FOR DRAINAGE AREA 2

POND SPECIFICATIONS FOR STORMWATER MANAGEMENT FACILITY No 2

DESCRIPTION	DATA
STRUCTURE CLASSIFICATION	A
STORAGE HEIGHT PRODUCT	(146 AC FT) (8.2) = 1,999 AC FT ³
WATERSHED AREA TO THE POND	8.60 AC +/-
HEIGHT TO EMERGENCY SPILLWAY	5.6
NORMAL SURFACE AREA	0.074 AC +/- @ EL. 248.0 (TOP WATER QUALITY)
PRINCIPLE SPILLWAY CAPACITY	50.0 CFS
EMERGENCY SPILLWAY CAPACITY/CREST	3.0 CFS/254.00
POND TYPE	MICRO POOL EP (P)
FREEBOARD	REQUIRED / PROVIDED
IMPERVIOUS AREA (AREA SERVED)	620 AC +/-
WATER QUALITY STORAGE REQUIRED	SEE WATER QUALITY COMPS & DWGS
WATER QUALITY STORAGE PROVIDED	SEE WATER QUALITY COMPS & DWGS
WATER QUALITY	PROVIDED BY MICRO POOL
TOP OF EMBANKMENT	255.0
MAXIMUM HEIGHT OF FILL (FT)	5.9'
WATERSHED	DEEP RUN WATERSHED

APPROVED: Howard County Department of Planning and Zoning

Reviewed For: Howard SCD and meets Technical Requirements

USDA-NATURAL RESOURCE CONSERVATION SERVICE

HOWARD SOIL CONSERVATION DISTRICT

PREPARED BY: **GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.** Civil Engineers and Land Surveyors 1020 Cromwell Bridge Road, Towson, Maryland 21286 (410) 826-8120

DESIGN STORM: 10 YR, 3.96 CFS

FACILITY INFLOW (CFS)	RELEASE RATE (CFS) AREA 1		FACILITY DISCHARGE (CFS)		OFF SITE DISCHARGE (CFS)		BYPASS DISCHARGE (CFS)		TOTAL DISCHARGE (CFS)		WATER SURFACE ELEVATION (FT)		STORAGE VOL WITH WATER QUALITY (ac. ft.)	
	During	Post	During	Post	During	Post	During	Post	During	Post	During	Post	During	Post
3.96	17.71	17.71	3.30	0.41	0.08	0.08	1.76	1.76	2.08	2.08	253.55	252.37	126	0.90
10 YR 23.18	39.40	39.40	26.60	0.61	0.81	0.81	11.73	11.73	44.32	31.41	254.69	253.84	180	1.34
100 YR 44.03	57.51	57.51	49.16	0.83	1.33	1.33	22.29	22.29	65.28	254.23	254.23	146	1.46	

AS BUILT CERTIFICATION: I certify that this facility shown on this plan was constructed as shown on the 'as built' plans and meet the approved plans and specifications.

CONSULTANT'S HAZARD CLASS CERTIFICATION: I certify that this pond meets all requirements for hazard class (C) or C. (requirements as stated in the soil conservation service, Maryland standards and specifications for pond code 37B, November 1992). All necessary investigations and computations have been performed to verify this finding. A copy of said information has been supplied to Howard County soil conservation district.

DEVELOPER CERTIFICATION: I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a certificate of attendance of a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an 'as-built' plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard soil conservation District.

ENGINEER CERTIFICATION: I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an 'as-built' plan of the pond within 30 days of completion.

OWNER / DEVELOPER: **Merritt Properties, LLC** 2066 Lord Baltimore Drive Baltimore, Maryland 21244

ADDRESS CHART: PARCEL NO. 6922 MEADOWRIDGE ROAD MARYLAND ROUTE 103

PROJECT NAME: The Meadows Corporate Park

SECTION NAME: Elkridge

LIBER / FOLIO GRID: 22

ZONE: OCT

WATER CODE: P 02

SEWER CODE: 4620000

DESIGNED BY: H.P.P.

DRAWN BY: H.P.P.

CHECKED BY: H.P.P.

REVISIONS:

SEDIMENT BASIN NO. 2 PLAN & PROFILES

The Meadows Corporate Park Parcel 'A'

Site Improvements: General Offices

Election District No.1

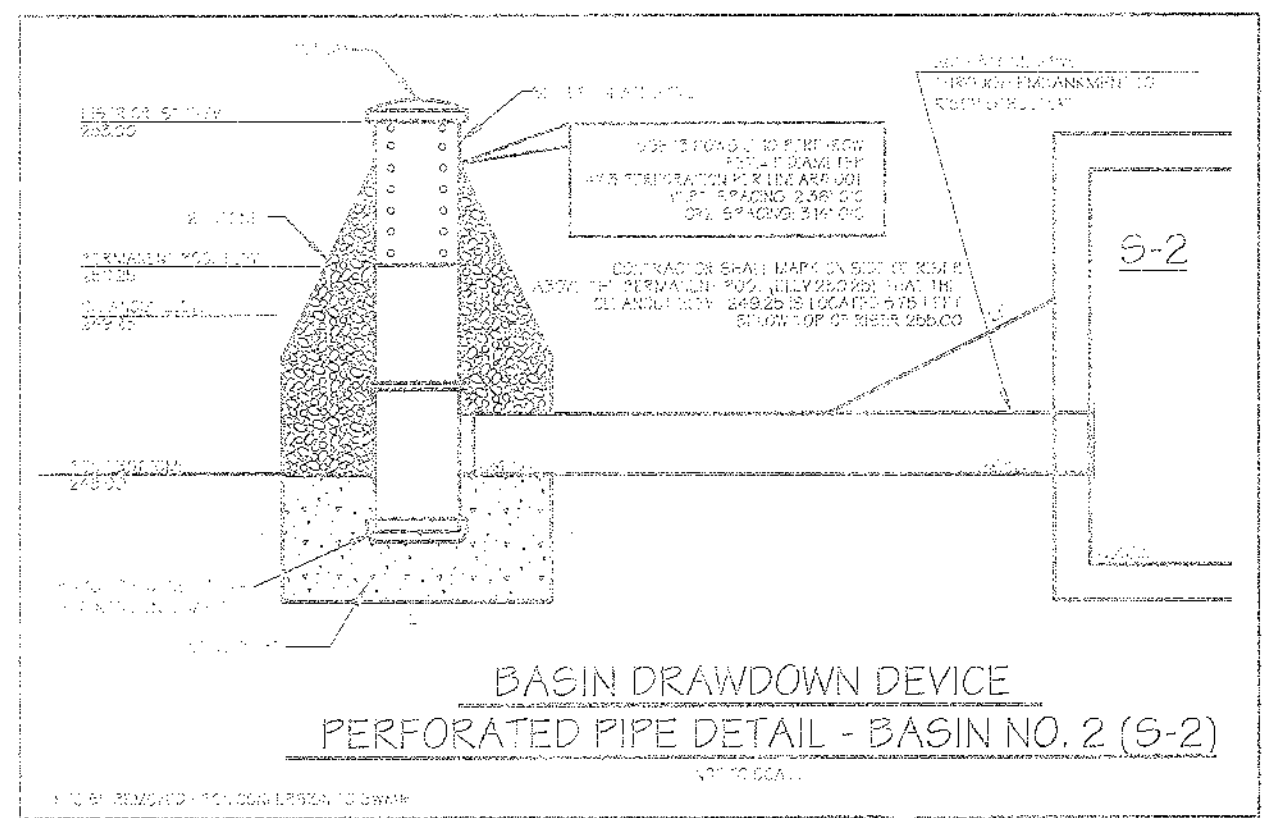
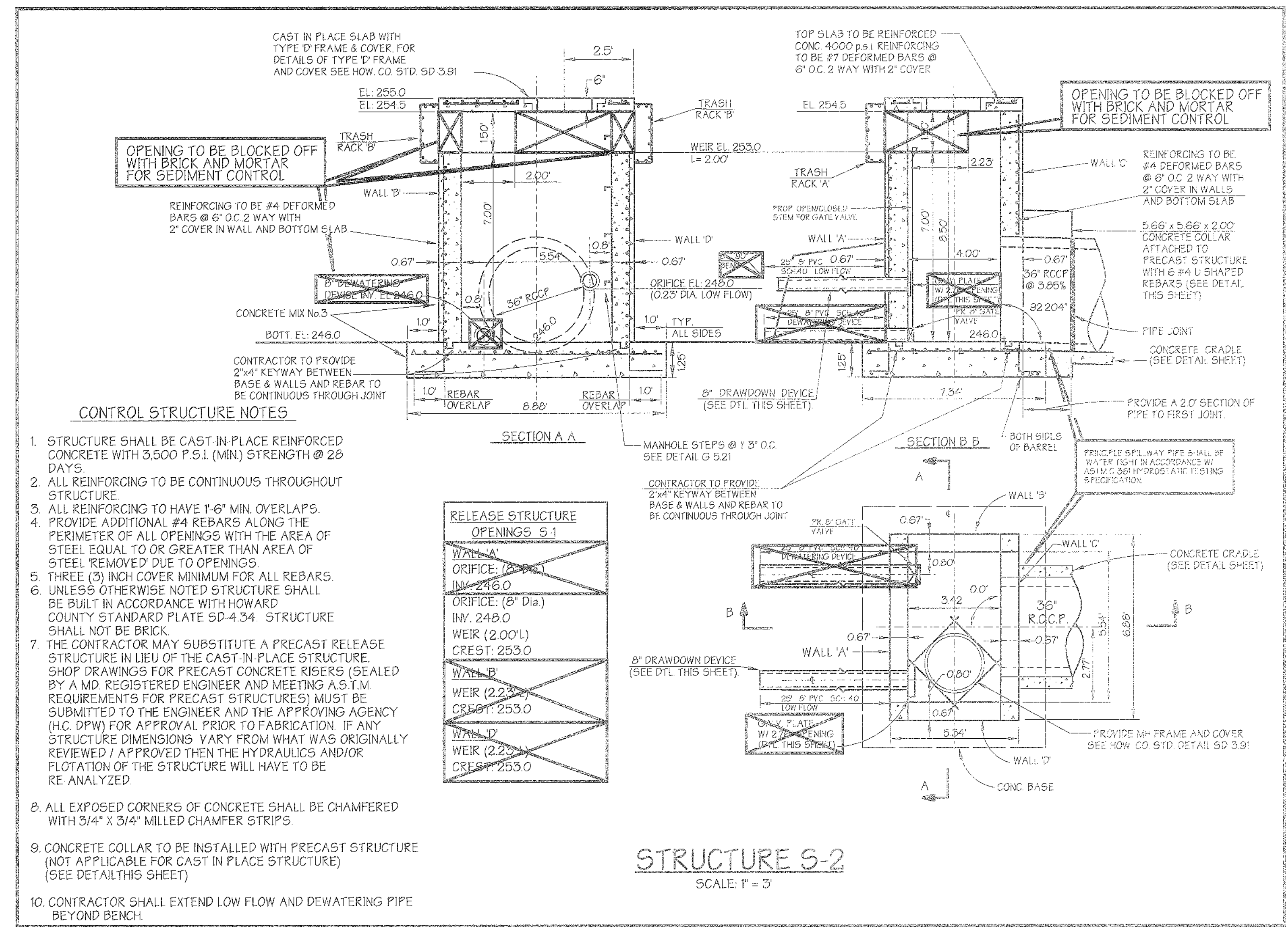
Howard County, Maryland

SDP 05-072

Scale: As Shown

Date: December 06, 2004

SDP 05-072



APPROVED: Howard County Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 12/1/05

CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 12/1/05

DIRECTOR DATE: 12/1/05

Reviewed for Howard SCD and meets Technical Requirements

USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE: 7/2/05

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District

HOWARD SOIL CONSERVATION DISTRICT DATE: 7/2/05

OWNER / DEVELOPER	ADDRESS CHART
Merritt Properties, LLC 2066 Lord Baltimore Drive Baltimore, Maryland 21244	PARCEL NO. STREET ADDRESS
	PAR 'A' BLDG. NO 1 6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	PAR 'A' BLDG. NO 2 6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	PAR 'A' BLDG. NO 3 6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR 'A' BLDG. NO 4 6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103	
PROJECT NAME	SECTION NAME
The Meadows Corporate Park	Ekridge
LIBER / FOLIO GRID	ZONE
(PLAT NO. 1737/75) 22	CCT
WATER CODE P.02	SEWER CODE 4022000

PREPARED BY:

GWS

**GEORGE W. STEPHENS, JR.
AND ASSOCIATES, INC.**
Civil Engineers and Land Surveyors
1020 Cromwell Bridge Road
Towson, Maryland 21286
(410) 825-5120

DEVELOPER CERTIFICATION:
I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a certificate of attendance or a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an 'as-built' plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District.

Signature of Developer: _____ Date: 6/2/05
Print Name: **Daniel F. Palace**

ENGINEER CERTIFICATION:
I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements and must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an 'as-built' plan of the pond within 30 days of completion.

Signature of Engineer: _____ Date: 6/2/05
Print Name: **Daniel F. Palace** PE # 03247

DESIGNED BY: H.P.P.
DRAWN BY: H.P.P.
CHECKED BY: H.P.P.
REVISIONS:

Sediment Basin No. 2 Notes & Details
The Meadows Corporate Park
Parcel 'A'

Site Improvements: General Offices SDP-05-072
Election District No. 1 Scale: As Shown
Howard County, Maryland SHT 30 OF 43 Date: December 06, 2004
SDP-05-072

SPECIFICATIONS
KEYSTONE MODULAR CONCRETE BLOCK RETAINING WALL

PART 1: GENERAL

- 1.01 Description**
A. Work shall consist of furnishing and construction of a KEYSTONE Retaining Wall System in accordance with these specifications and in reasonably close conformity with the lines, grades, design, and dimensions shown on the plans.
B. Work includes preparing foundation soil, furnishing and installing leveling pad, unit drainage fill and backfill to the lines and grades shown on the construction drawings.
C. Work includes furnishing and installing geogrid soil reinforcement of the type, size, location, and lengths designated on the construction drawings.

- 1.02 Delivery, Storage and Handling**
A. Contractor shall check all materials upon delivery to assure that the proper type, grade, color, and certification has been received.
B. Contractor shall protect all materials from damage due to job site conditions and in accordance with manufacturer's recommendations. Damaged materials shall not be incorporated into the work.

PART 2: PRODUCTS

- 2.01 Modular Concrete Retaining Wall Units**
A. Modular concrete units shall conform to the following architectural requirements:
face color - concrete gray - standard manufacturer's color may be specified by the Owner.
face finish - sculptured rock face in angular tri-planer configuration. Other face finishes will not be allowed without written approval of Owner.
base configuration - running with bonds nominally located at midpoint vertically adjacent units, in both straight and curved alignments.
exposed surfaces of units shall be free of chips, cracks or other imperfections when viewed from a distance of 10 feet under diffused lighting.
B. Modular concrete materials shall conform to the requirements of ASTM C1372 - Standard Specifications for Segmental Retaining Wall Units.
C. Modular concrete units shall conform to the following structural and geometric requirements measured in accordance with appropriate references:
compressive strength = 3000 psi minimum;
absorption = 8% maximum (6% in northern states) for standard weight aggregates;
dimensional tolerances = 1/8" from nominal unit dimensions - not including rough split face, ±1/16" unit height - top and bottom planes;
unit size - 8" (H) x 16" (W) x 16" (D) minimum;
unit weight - 100 lbs/unit minimum for standard weight

- aggregates:
inter-unit shear strength - 1000 pcf minimum at 2 psi normal pressure;
geogrid/soil peak connection strength - 1000 pcf minimum at 2 psi normal force.
D. Modular concrete units shall conform to the following conductivity requirements:
vertical setback = 1/8" per course (near vertical) or 1" per course per the design;
alignment and grid positioning mechanisms - fiberglass pins, two per unit minimum;
maximum horizontal gap between erected units shall be - 1/2 inch.

- 2.02 Shear Connectors**
A. Shear connectors shall be 1/2 inch diameter thermoset isophthalic polyester resin-provided fiberglass reinforcement rods or equivalent to provide connection between vertically and horizontally adjacent units. Strength of shear connectors between vertical adjacent units shall be applicable over a design temperature of 10 degrees F to +100 degrees F.
B. Shear connectors shall be capable of holding the geogrid in the proper design position during grid pre-tensioning and backfilling.

- 2.03 Base Leveling Pad Material**
A. Material shall consist of a compacted #57 crushed stone base as shown on the construction drawings.

- 2.04 Unit Drainage Fill**
A. Unit drainage fill shall consist of #7 crushed stone.
B. One cubic foot, minimum, of drainage fill shall be used for each square foot of wall face. Drainage fill shall be placed within cores of, between, and behind units to meet this requirement.

- 2.05 Reinforced Backfill**
A. Reinforced backfill shall type SM, be free of debris and meet the following gradation tested in accordance with ASTM D-422 and meet other properties shown on the plan:

Sieve Size	Percent Passing
2 inch	100-75
3/4 inch	100-75
No. 40	0-50
No. 200	0-40

Plasticity Index (PI) <15 and Liquid Limit <40 per ASTM D-4318.
B. Material can be site excavated soils where the above requirements can be met. Unsuitable soils for backfill (high plastic clays or organic soils) shall not be used in the reinforced soil mass.

- 2.06 Geogrid Soil Reinforcement**

- A. Geosynthetic reinforcement shall consist of geogrids manufactured specifically for soil reinforcement applications and shall be manufactured from high tenacity polyester yarn.

- 2.07 Drainage Pipe**
A. The drainage pipe shall be perforated corrugated HDPE pipe manufactured in accordance with ASTM D-1248.

PART 3: EXECUTION

- 3.01 Excavation**
A. Contractor shall excavate to the lines and grades shown on the construction drawings. Owner's representative shall be responsible for inspecting and approving the excavation prior to placement of leveling material or fill soils.

- 3.02 Base Leveling Pad**
A. Leveling pad material shall be placed to the lines and grades shown on the construction drawings, to a minimum thickness of 6 inches and extend laterally a minimum of 6' in front and behind the modular wall unit.
B. Leveling pad shall be prepared to insure full contact to the base surface of the concrete units.

- 3.03 Modular Unit Installation**
A. First course of units shall be placed on the leveling pad at the appropriate line and grade. Alignment and level shall be checked in all directions and ensure that all units are in full contact with the base and properly seated.
B. Place the front of units side-by-side. Do not leave gaps between adjacent units. Layout of corners and curves shall be in accordance with manufacturer's recommendations.
C. Install sheartie connecting devices per manufacturer's recommendations.
D. Place and compact drainage fill within and behind wall units. Place and compact backfill soil behind drainage fill. Follow wall erection and drainage fill closely with structure backfill.
E. Maximum stacked vertical height of wall units, prior to unit drainage fill and backfill placement and compaction, shall not exceed three courses.

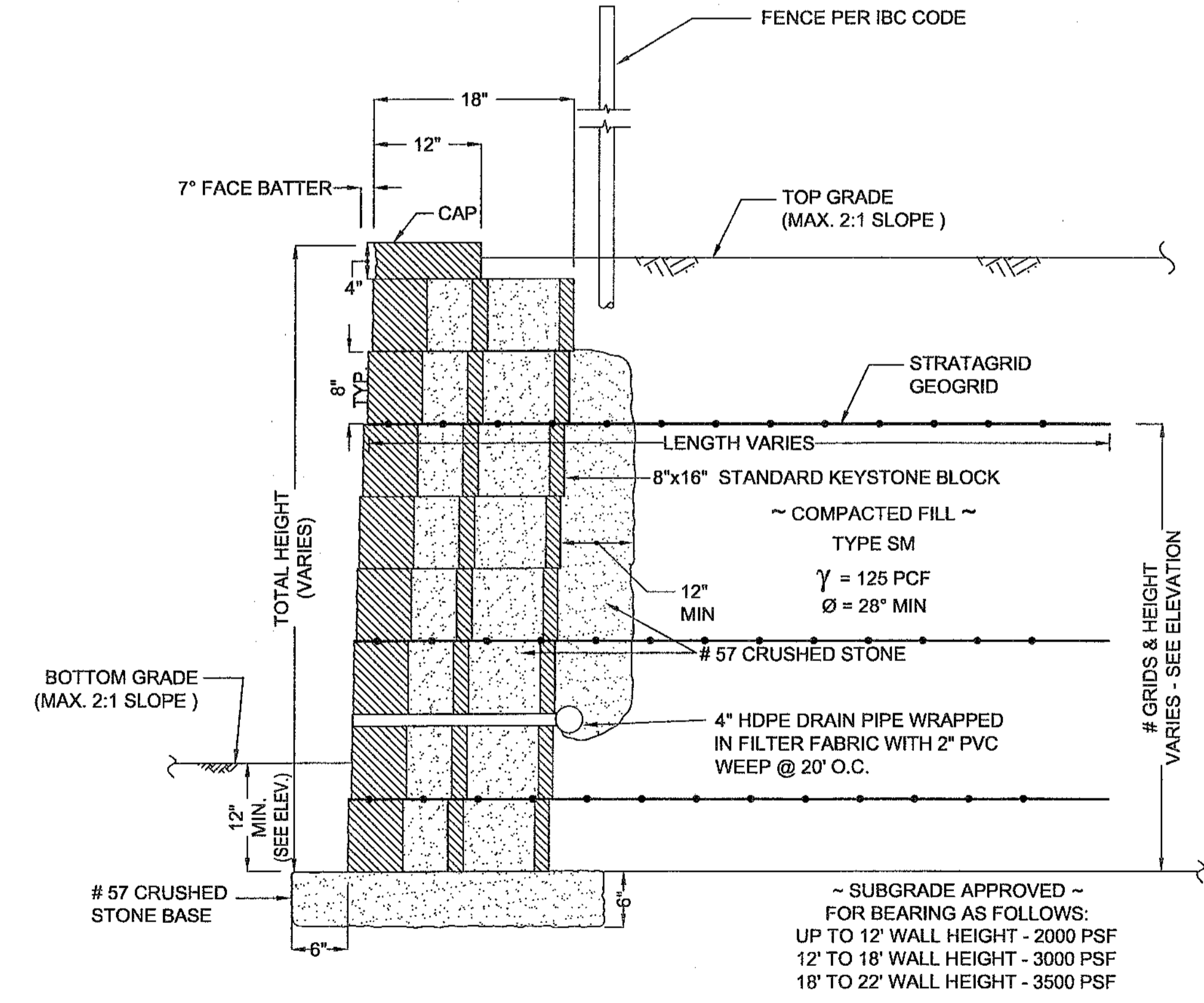
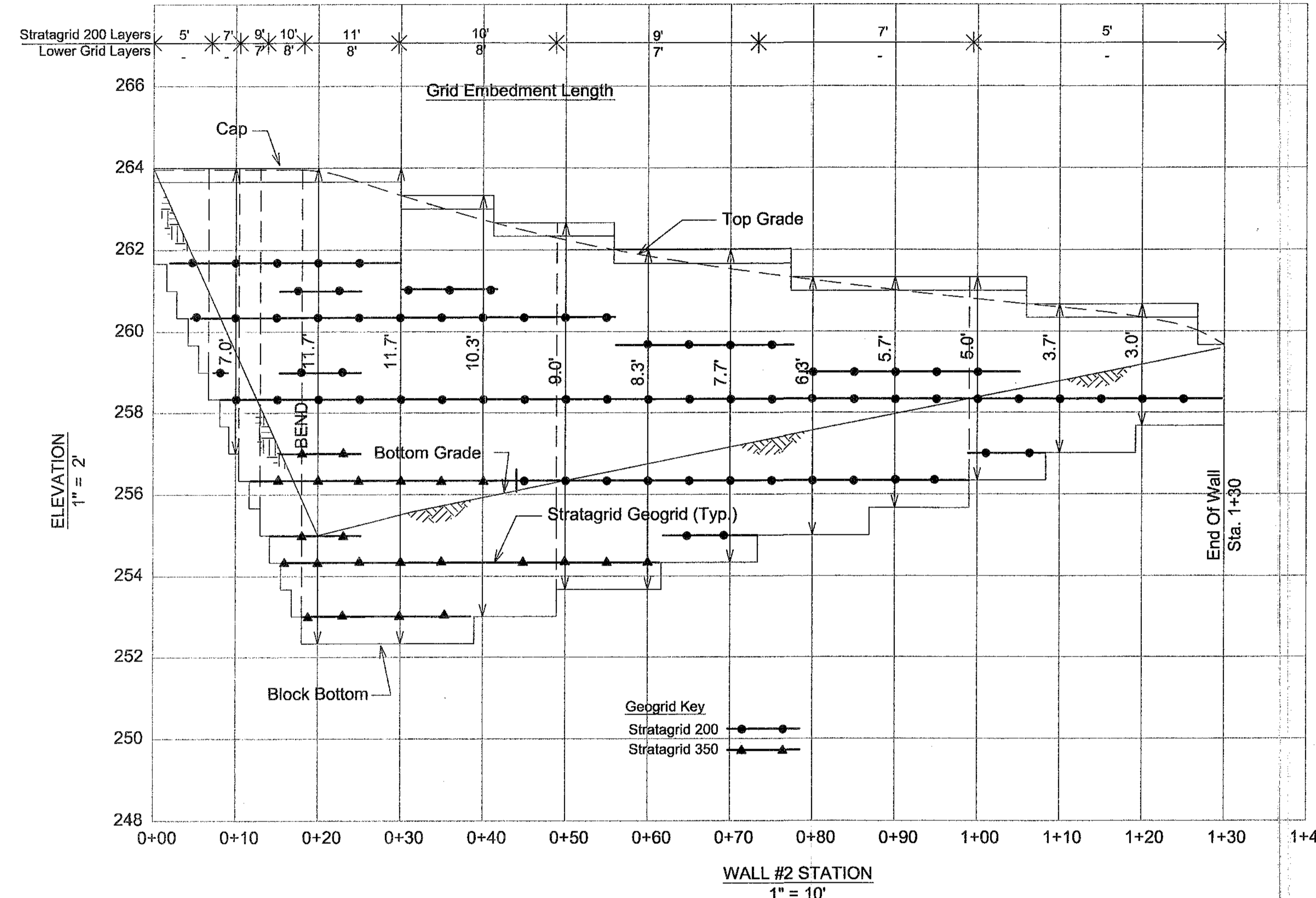
- 3.04 Structural Geogrid Installation**
A. Geogrid shall be oriented with the highest strength axis perpendicular to the wall alignment.
B. Geogrid reinforcement shall be placed at the strength, length, and elevations shown on the construction design drawings or as directed by the Engineer.
C. The geogrid shall be laid horizontally on compacted backfill and attached to the modular wall units. Place the next course of modular concrete units over the geogrid. The geogrid shall be pulled taut, and anchored prior to

- backfill placement on the geogrid.
D. Geogrid reinforcements shall be continuous throughout their embedment lengths and placed side-by-side to provide 100% coverage at each level. Spliced connectors between shorter pieces of geogrid or gaps between adjacent pieces of geogrid are not permitted.

- 3.05 Reinforced Backfill Placement**
A. Reinforced backfill shall be placed, spread, and compacted in such a manner that minimizes the development of slacks in the geogrid and installation damage.
B. Reinforced backfill shall be placed and compacted in lifts not to exceed 6 inches where hand compaction is used, or 8 - 10 inches where heavy compaction equipment is used. Lift thickness shall be decreased to achieve the required density as required.
C. Reinforced backfill shall be compacted to 95% of the maximum density as determined by ASTM D698.
D. Only lightweight hand-operated equipment shall be allowed within 3 feet from the tail of the modular concrete unit.
E. Tracked construction equipment shall not be operated directly upon the geogrid reinforcement. A minimum fill thickness of 6 inches is required prior to operation of tracked vehicles over the geogrid. Tracked vehicle turning should be kept to a minimum to prevent tracks from displacing the fill and damaging the geogrid.
F. Rubber lined equipment may pass over geogrid reinforcement at slow speeds, less than 10 MPH. Sudden braking and sharp turning shall be avoided.
G. At the end of each day's operation, the Contractor shall slope the tail fill of reinforced backfill away from the wall units to direct runoff away from wall face. The Contractor shall not allow surface runoff from adjacent areas to enter the wall construction area.

- 3.06 Cap Installation**
A. Cap units shall be glued to underlying units with an all-weather adhesive recommended by the manufacturer.

- 3.07 Field Quality Control**
A. The Owner shall engage inspection and testing services, including independent laboratories, to provide quality assurance and testing services during construction.
B. As a minimum, quality assurance testing should include foundation soil inspection, soil and backfill testing, verification of design parameters, and observation of construction for general compliance with design drawings and specifications.



- NOTES:**
1.) No trees shall be planted within 10 feet of the top of the retaining wall.
2.) Retaining walls shall only be constructed under the observation of a registered professional engineer and a (NICET, WACEL, or equiv.) certified soils technician.
3.) The required bearing pressure beneath the wall system shall be verified in the field by a certified soils technician. Testing documentation must be provided to the Howard County Inspector prior to start of construction. The required bearing test shall be the Dynamic Cone Penetrometer test ASTM STP-399.
4.) The suitability of fill material shall be confirmed by the on-site soils technician. Each 8" lift must be compacted to a minimum 95% standard proctor density and the testing report shall be made available to the Howard County Inspector upon completion of construction.
5.) One soil boring is required every one hundred feet along the length of the wall. Copies of the boring reports shall be provided to the Howard County Inspector prior to the start of the construction.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: [Signature] Date: 7/16/05
Chief, Division of Land Development: [Signature] Date: 7/16/05
Chief, Development Engineering Division: [Signature] Date: 7/16/05

HILLIS-CARNES
ENGINEERING ASSOCIATES, INC.
12011 Guilford Road, Suite 106, Annapolis Junction, Maryland 20701
Tel: (410) 885-4785, D.C. (202) 410-4228 Fax: (410) 885-4788

DES.	RVS.	DRN.	AM.	CHK.	RMH.	DATE	REVISION	BY	APPR.

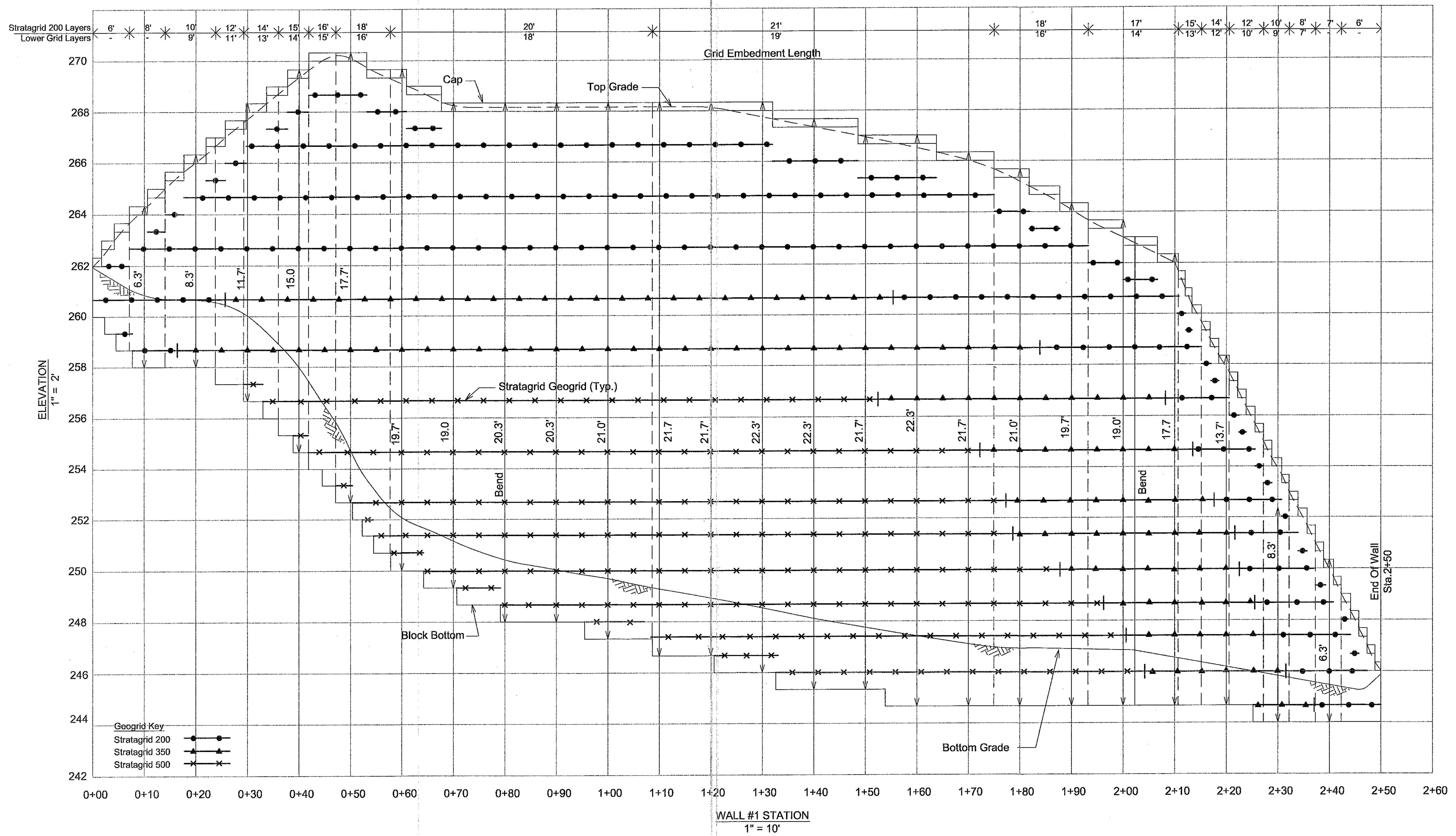
DATE	REVISION	BY	APPR.

PREPARED FOR: Merritt Properties, LLC
2008 Lord Baltimore Drive
Baltimore, MD 21244

RETAINING WALL ELEVATION & CONSTRUCTION DETAILS
THE MEADOWS CORPORATE PARK
PARCEL 'A'

SCALE	ZONING	HCEA FILE No.
AS SHOWN	CCT	04619-B
DATE	TAX MAP	SHEET
12/2/04	37	32 OF 43

ELECTION DISTRICT NO. 1 HOWARD COUNTY, MARYLAND



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 2/10/05

Chief, Division of Land Development: *[Signature]* Date: 2/10/05

Chief, Development Engineering Division: *[Signature]* Date: 2/10/05

HILLIS-CARNES
ENGINEERING ASSOCIATES, INC.

12011 Guilford Road, Suite 106, Annapolis Junction, Maryland 20701
Baltimore, (410) 860-4788 D.C. (301) 470-4239 Fax (410) 860-4098

DES.	RWS	DRN.	AM	CHK.	RMH	DATE	REVISION	BY	APP'R.
						3/31/05	REVISED WALL #1 ELEVATION		

PREPARED FOR:
Merritt Properties, LLC
2086 Lord Baltimore Drive
Baltimore, MD 21244

RETAINING WALL ELEVATION

THE MEADOWS CORPORATE PARK
PARCEL 173

ELECTION DISTRICT NO. 1

HOWARD COUNTY, MARYLAND

SCALE	ZONING	HCEA FILE No.
AS SHOWN	CCT	04619-B
DATE	TAX MAP	SHEET
12/2/04	37	33 OF 43

NOTE:
CONTRACTOR TO REMOVE ANY TRASH, JUNK AND DEBRIS FROM FOREST CONSERVATION, WETLAND AND BUFFER AREAS AFTER EACH WORKING DAY.

FOREST CONSERVATION WORKSHEET

Project: Meadows Corporate Park
Date: March 30, 2005

BASIC SITE DATA		Acres
Gross Site Areaage		24.5
Area within 100 Year Floodplain		0.0
Other Deductions to Gross Area		0
Net Tract Area		24.5
Forest Conservation Threshold (percentage)		
Forest Conservation Threshold	15%	3.7
Afforestation Threshold	15%	3.7
Existing Forest on NTA		
Existing Forest on NTA		24.5
Break-Even Point		7.8
Forest to be Cleared or Retained Outside FCE		
Forest to be Cleared or Retained Outside FCE		20.9
Forest to be Retained in FCE		3.6
AFFORESTATION CALCULATIONS		
No Forest Clearing		
Forest Clearing		
REFORESTATION CALCULATIONS		
Clearing Above Threshold (20.8 x 0.25)		5.2
Clearing Below Threshold (0.1 X 2)		0.2
Retention Credit (forest retained above Conservation Threshold)		
Total Planting Required		5.4

FCP NOTES

- Any Forest Conservation Easement (FCE) area shown hereon is subject to protective covenants which may be found in the Land Records of Howard County which restrict the disturbance and use of these areas.
- Forested areas occurring outside of the FCE shall not be considered part of the FCE and shall not be subject to protective land covenants.
- Limits of disturbance shall be restricted to areas outside the limit of temporary fencing or the FCE boundary, whichever is greater.
- The forest conservation easement has been established to fulfill the requirements of Section 16.1200 of the Howard County Code and the Forest Conservation Manual. No clearing, grading, or construction in the forest conservation easement, however, forest management practices as defined in the Deed of Forest Conservation Easement are allowed.
- No stockpiles, parking areas, equipment cleaning areas, etc. shall occur within areas designated as Forest Conservation Easements.
- Temporary fencing shall be used to protect forest resources during construction. Fencing shall be installed along limits of disturbance occurring within 50 feet of the proposed FCE limits.
- Permanent signage will be posted at a 60-100 foot intervals along all FCE limits.
- THIS PROJECT COMPLES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR THE FOREST CONSERVATION WITH AN OBLIGATION OF 3.6 ACRES PROVIDED BY 3.6 ACRES OF ON-SITE RETENTION, 0.25 ACRES ON-SITE REFORESTATION WITH FOREST CONSERVATION SECURITY IN THE AMOUNT OF \$54,842.30 PROVIDED WITH THE FCE, 0.25 ACRES REFORESTATION + \$6.58 = \$54,848.88 AND 0.6 ACRES OF RETENTION + \$6.29 = \$31,263.20, DEVELOPER'S AGREEMENT AND 5.15 ACRES OF A FEE - IN - LIEU PAYMENT BY THE AMOUNT OF \$11,167.40.

FCP Legend

- Ex. Contours
- Proposed Contours
- Ex. Forest
- Proposed Forest
- Proposed Reforestation Area
- Wetlands
- Wetland/Stream Buffer
- Temporary Protective Fencing
- Permanent Protective Signage

Legend

- Ex. 2' Contours
- Ex. 10' Contours
- Prop. 2' Contours
- Prop. 10' Contours
- Ex. Curb & Gutter
- Prop. Curb & Gutter
- Blgd. Restriction Line
- Ex. Sanitary
- Ex. Storm Drain
- Ex. Water
- Prop. Sanitary
- Prop. Storm Drain
- Prop. Water
- Light Duty Paving (P-2)
- Intermediate Duty Paving (P-3)
- Heavy Duty Paving (P-5)
- Handicapped Detail No.
- PROPOSED FULL DEPTH PAVING (SEE DETAIL SHT. 6)
- PROPOSED SHA FULL DEPTH PAVING
- LIGHT POLE LOCATION
- TREE LINE TO REMAIN
- FOREST CONSERVATION EASEMENT
- HIGH VISIBLE FENCE
- REFORESTATION AREA

NOTE:
ALL ROOF DRAINS SHALL CONNECT TO THE STORM DRAIN SYSTEM AND DRAIN TO THE PROPOSED SWM PONDS AS SHOWN.

APPROVED: Howard County Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 12/10/05

CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 12/10/05

DIRECTOR DATE: 12/10/05

OWNER / DEVELOPER	ADDRESS CHART			
Merritt Properties, LLC 2066 Lord Baltimore Drive Baltimore, Maryland 21244	PARCEL NO. STREET ADDRESS			
	PAR. 'A' BLDG. NO. 1 6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103			
	PAR. 'A' BLDG. NO. 2 6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103			
	PAR. 'A' BLDG. NO. 3 6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103			
PAR. 'A' BLDG. NO. 4 6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103				
PROJECT NAME	SECTION NAME			
The Meadows Corporate Park	Elkridge			
LIBER / FOLIO GRID	ZONE CCT	TAX MAP	ELECT. DIST.	CENSUS TRACT
17573/75	22	57	1	601102
WATER CODE B-02	SEWER CODE	4020000		

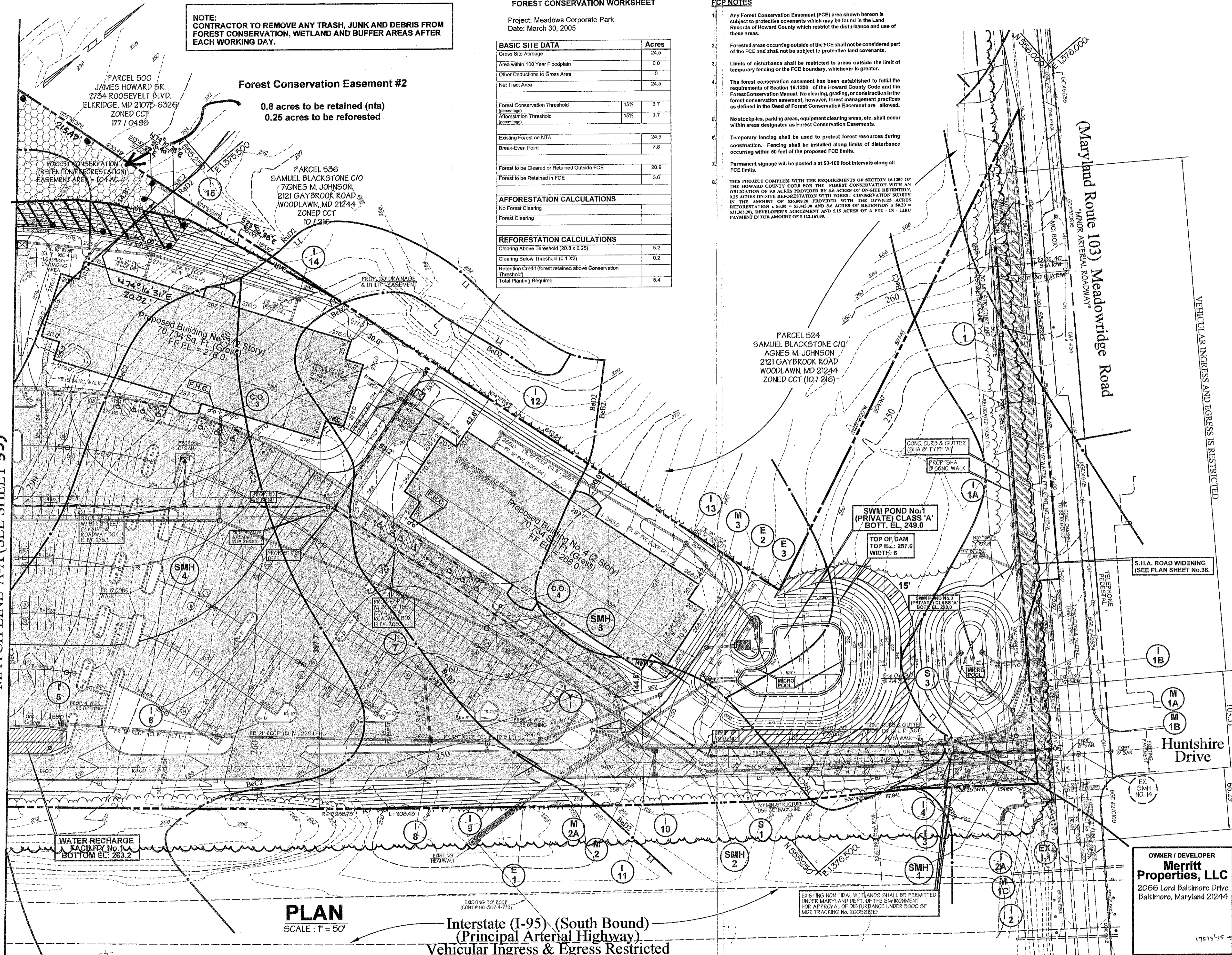
DESIGNED BY: H.P.P.
DRAWN BY: H.P.P.
CHECKED BY: H.P.P.
REVISIONS:

FOREST CONSERVATION PLAN
The Meadows Corporate Park
Parcel 'A'

Site Improvements: General Offices
Election District No.1
Howard County, Maryland
SHT. 34 OF 43
Date: December 06, 2004

SDP -05-072

MATCH LINE 'A-A' (SEE SHEET 35)



PLAN
SCALE: 1" = 50'

Interstate (I-95) (South Bound)
(Principal Arterial Highway)
Vehicular Ingress & Egress Restricted

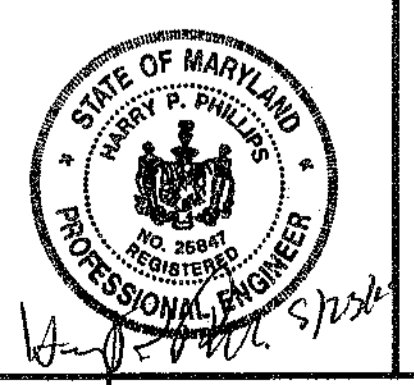
DENOTES: TREES AND/OR SHRUBS WILL NOT BE ALLOWED ON ANY EMBANKMENT, WILL NOT BE ALLOWED WITHIN THE BUFFER ZONE (16 FEET FROM TOE OF DAM) AND WILL NOT BE ALLOWED WITHIN A 25 FOOT RADIUS AROUND THE INLET STRUCTURE.

Eco-Science Professionals, Inc.
Consulting Ecologists
P.O. Box 9006 Clia Arm, Maryland 21087
Telephone (410) 592-6752 Fax (410) 833-5488

MD DNR Qualified Professional
USA CODE Wetland Delimitator
Certification # WD0603300600400402
John J. Cavallaro

PREPARED BY:

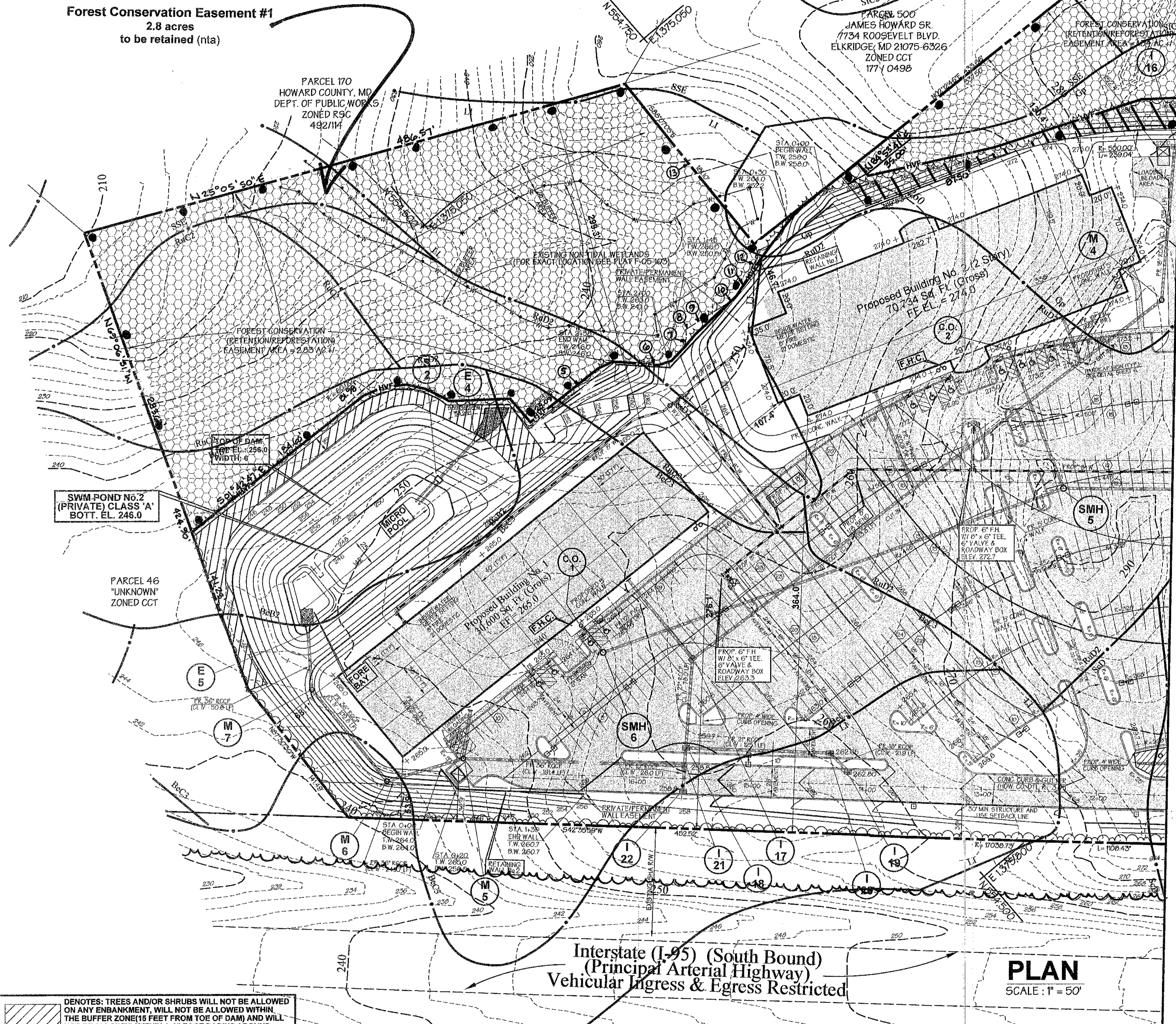
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
1020 Cromwell Bridge Road
Towson, Maryland 21286
(410) 825-8120



NOTE:
CONTRACTOR TO REMOVE ANY TRASH, JUNK AND DEBRIS FROM FOREST CONSERVATION, WETLAND AND BUFFER AREAS AFTER EACH WORKING DAY.

COURSE	BEARING	DISTANCE
5	N 02°09'13" E	36.83'
6	N 45°32'24" E	34.17'
7	R = 25.00' L = 47.00'	CHD. = N 08°24'16" W 40.41'
8	N 08°57'17" E	5.08'
9	N 08°11'01" E	39.66'
10	R = 25.00' L = 12.54'	CHD. = N 06°11'16" W 12.41'
11	N 20°33'41" W	19.59'
12	N 24°38'35" W	20.15'
13	N 88°07'03" W	126.38'

Forest Conservation Easement #1
2.8 acres
to be retained (nta)



Planting Area FCE # 2 - 0.25 acres
Planting units required: 178
Planting units proposed: 178

Qty	Species	Size	Spacing	Total Units
8	Liriodendron tulipifera - Tulip poplar	1" cal.	15' o.c.	
10	Quercus alba - White oak	1" cal.	15' o.c.	
10	Quercus rubra - Red oak	1" cal.	15' o.c.	
28	Total 1" caliper trees (3.5 planting units per tree)	FCA unit credit		98
10	Cornus florida - Flowering dogwood	2-3" whip	11" o.c.	
10	Liriodendron tulipifera - Tulip poplar	2-3" whip	11" o.c.	
10	Quercus alba - White oak	2-3" whip	11" o.c.	
10	Viburnum prunifolium - Blackhaw	2-3" whip	11" o.c.	
40	Total whip plantings (2 planting units per tree)	FCA unit credit		80
				Total Unit Credit 178

- Planting Notes/Key:**
- 2" caliper trees = 7 planting units, 1" caliper trees = 3.5 planting units, whips with shelter = 2 planting units, seedlings = 1 planting unit
 - One inch caliper trees shall be planted along the outer edge of the FCE along. The species may be randomly placed.
 - Whip plantings should be installed in a curvilinear pattern to facilitate maintenance but avoid a grid appearance. Tree shelters should be installed on all whip plantings.

- Planting/Soil Specifications**
- Installation of bareroot plant stock shall take place between March 15 - April 30; 60 container stock March 15 - May 30 or September 15 - November 15. Fall planting of B&B stock is not recommended.
 - Disturbed areas shall be seeded and established as per general construction plan for project. Planting areas not impacted by site grading shall have no additional topsoil installed.
 - Bareroot plants shall be installed so that the top of root mass is level with the top of existing grade. Roots shall be dipped in an anti-desiccant gel prior to planting. Backfill in the planting pit shall consist of 3 parts existing soil to 1 part pine fines or equivalent.
 - Fertilizer shall consist of AgriForm 22-8-2, or equivalent, applied as per manufacturer's specifications, for woody plants. Herbaceous plants shall be fertilized with Osmocote 8-6-12.
 - Plant material shall be transported to the site in a tarped or covered truck. Plants shall be kept moist prior to planting.
 - All non-organic debris associated with the planting operation shall be removed from the site by the contractor.

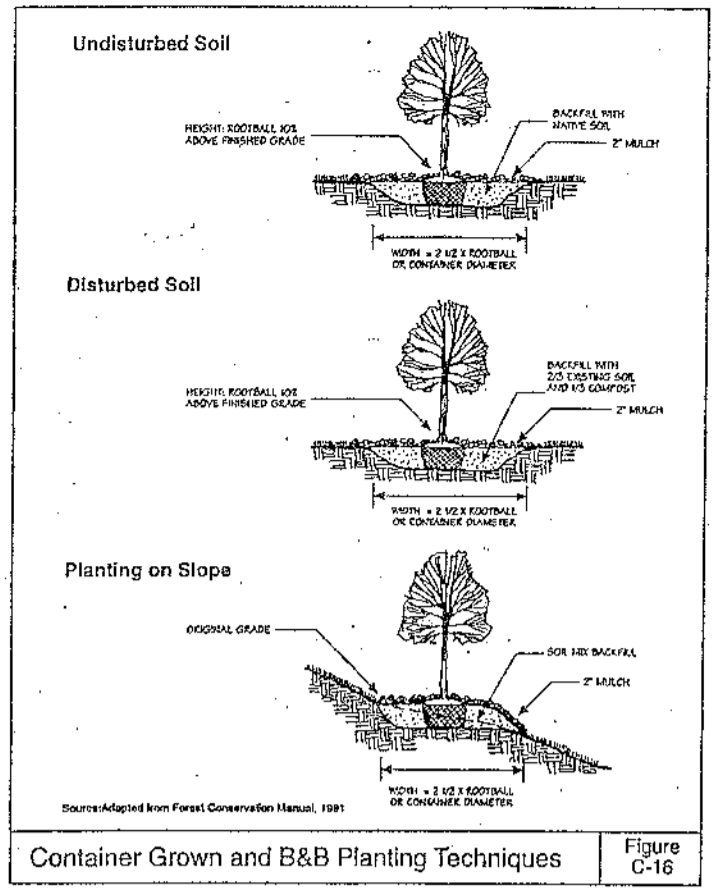
- Sequence of Construction**
- Sediment control shall be installed in accordance with general construction plan for site.
 - Plants shall be installed as per Plant Schedule and the Planting/Soil Specifications for the project.
 - Upon completion of the planting, signage shall be installed as shown.
 - Plantings shall be maintained and guaranteed in accordance with the Maintenance and Guarantee requirements for project.

- Maintenance of Plantings**
- Maintenance of plantings shall last for a period of 2 years.
 - Plantings must receive 2 gallons of water, either through precipitation or watering, weekly during the 1st growing season, as needed. During second growing season, once a month during May-September, if needed.
 - Invasive exotic and noxious weeds will be removed, as required, from planting areas mechanically and/or with limited herbicide application (see groundcover note where appropriate). Old field successional species will be retained.
 - Plants will be examined a minimum two times during the growing season for serious plant pests and diseases. Serious problems will be treated with the appropriate agent.
 - Dead branches will be pruned from plantings.

- Guarantee Requirements**
- A 75 percent survival rate of forestation plantings will be required at the end of 2 growing seasons. All plant material below the 75 percent threshold will be replaced at the beginning of the next growing season. Wild trees arising from natural regeneration may be counted up to 50 percent towards the total survival number if they are healthy, native species at least 12 inches tall.

Surety for Forestation

- The developer shall post a surety (bond, letter of credit) to ensure that forestation plantings are completed.



Planting Notes

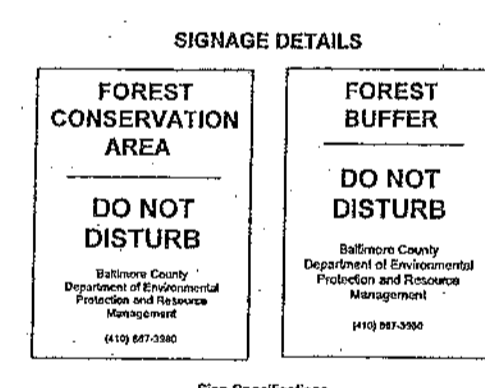
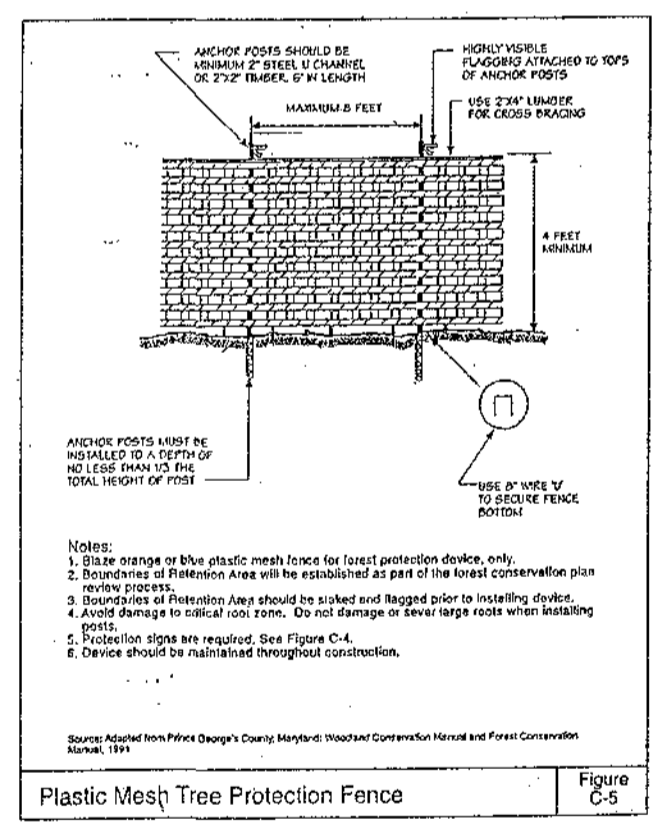
When possible, plants shall be installed within 24 hours of delivery. If installation cannot be performed within this time frame, plant stock shall be watered and protected from desiccation.

Application of herbicide, Round-up or equivalent, may be used to reduce plant competition from old field successional growth at the time of installation. Mowing, re-application of herbicide, or a combination thereof, may be used to control unwanted, competing vegetation.

Planting shall be installed within one year or two growing seasons of subdivision approval. Plantings shall be installed in accordance with the time schedule included in Note 1 of the planting/Seeding Specifications.

Legend

- Ex. 2' Contours
 - Ex. 10' Contours
 - Prop. 2' Contours
 - Prop. 10' Contours
 - Ex. Curb & Gutter
 - Prop. Curb & Gutter
 - Bldg. Restriction Line
 - Ex. Sanitary
 - Ex. Storm Drain
 - Ex. Water
 - Prop. Sanitary
 - Prop. Storm Drain
 - Prop. Water
- FOR PAVING LOCATION SEE SHEET 6 OF 40.
- Light Duty Paving (P-2)
 - Intermediate Duty Paving (P-3)
 - Heavy Duty Paving (P-5)
- Handicapped Detail No. 3
- PROPOSED FULL DEPTH PAVING (SEE DETAIL SHT. 6)
- PROPOSED SHA FULL DEPTH PAVING
- LIGHT POLE LOCATION
- TREE LINE TO REMAIN
- FOREST CONSERVATION EASEMENT
- HIGH VISIBLE FENCE



NOTE:
ALL ROOF DRAINS SHALL CONNECT TO THE STORM DRAIN SYSTEM AND DRAIN TO THE PROPOSED SWM PONDS AS SHOWN.

MATCHLINE 'A-A' (SEE SHEET 34)

Interstate (I-95) (South Bound)
Principal Arterial Highway
Vehicular Ingress & Egress Restricted

PLAN
SCALE: 1" = 50'

NOTES: TREES AND/OR SHRUBS WILL NOT BE ALLOWED ON ANY ENBANKMENT, WILL NOT BE ALLOWED WITHIN THE BUFFER ZONE (15 FEET FROM TOE OF DAM) AND WILL NOT BE ALLOWED WITHIN A 25 FOOT RADIUS AROUND THE INLET STRUCTURE.

PREPARED BY:

GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
1020 Cromwell Bridge Road
Towson, Maryland 21286
(410) 825-8120

STATE OF MARYLAND
HARRY P. PHILLIPS
PROFESSIONAL ENGINEER

Eco-Science Professionals, Inc.
Consulting Ecologists
P.O. Box 5056 Glen Arm, Maryland 21057
Telephone (410) 595-4752 Fax (410) 833-3498

MD DNR Qualified Professional
USACO E Wetland Delineator
Certification # WD0793MD061094483

OWNER / DEVELOPER
Merritt Properties, LLC
2066 Lord Baltimore Drive
Baltimore, Maryland 21244

DESIGNED BY: H.P.P.
DRAWN BY: HPP
CHECKED BY: H.P.P.
REVISIONS

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
PAR. 'A' BLDG. NO. 1	6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR. 'A' BLDG. NO. 2	6518 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR. 'A' BLDG. NO. 3	6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR. 'A' BLDG. NO. 4	6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103

PROJECT NAME: The Meadows Corporate Park SECTION NAME: Ekridge PARCEL # A: 175, 176, 407, 412, 535 & 536

LIBER / FOLIO / GRID: 7157315 / 22 ZONE CCT: 1 TAX MAP: 1 ELECT. DIST.: 1 CENSUS TRACT: 60102

WATER CODE: B-02 SEWER CODE: 4020000

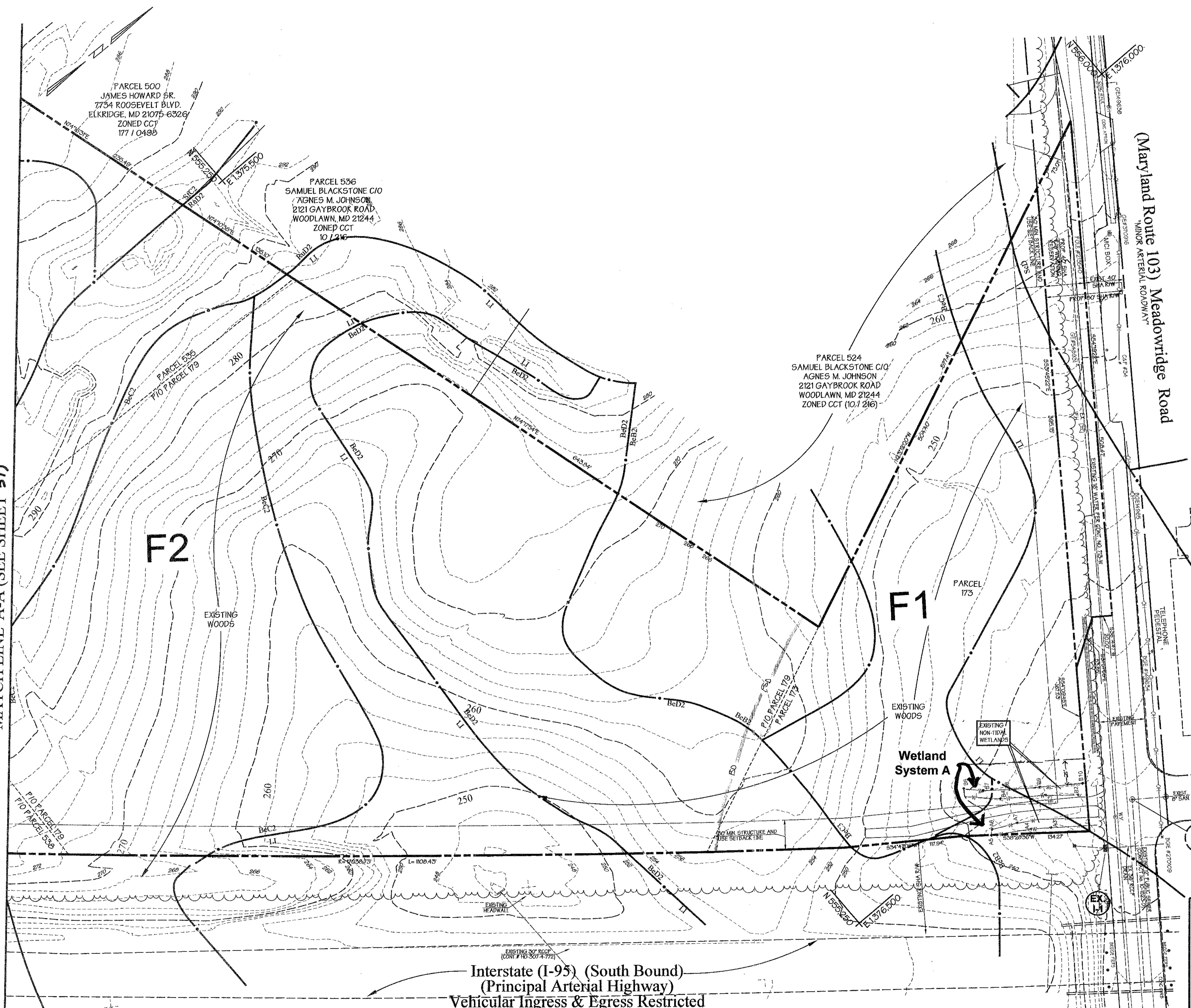
FOREST CONSERVATION PLAN
The Meadows Corporate Park
Parcel 'A'

Site Improvements: General Offices Election District No.1
Howard County, Maryland SHT. 35 OF 43 Date: December 06, 2004

SDP -05-072 Scale: As Shown Date: December 06, 2004

IN: 10-9698

MATCHLINE 'A-A' (SEE SHEET 37)



Forest Stand Data					
Key	Community Type	Acreage	Dominant Vegetation	General Condition	Priority Acreage
F1	Mixed Successional	3.4	Liriodendron tulipifera, Acer rubrum, Prunus serotina, Morus rubra, Robinia, pseudo-acacia	Good	0.3 ± wetland/buffers
F2	Oak/Pine	21.1	Quercus alba, Quercus rubra, Quercus prinus, Pinus virginiana, Liriodendron tulipifera, Acer rubrum	Good	1.2 ± wetland/buffers

See accompanying report for complete stand descriptions

FSD NOTES:

- No rare, threatened or endangered species were observed on the property.
- Surrounding land use is primarily high density residential and commercial.

FSD Legend

- - - Ex. Contours
- ~ Ex. Forest
- - - Wetlands
- - - Wetland/Stream Buffer

Legend

- Ex. 2' Contours
- Ex. 10' Contours
- Prop. 2' Contours
- Prop. 10' Contours
- Ex. Curb & Gutter
- Prop. Curb & Gutter
- Blgd. Restriction Line
- Ex. Sanitary
- Ex. Storm Drain
- Ex. Water

APPROVED: Howard County Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* DATE: 7/12/05

CHIEF, DIVISION OF LAND DEVELOPMENT *[Signature]* DATE: 7/12/05

DIRECTOR *[Signature]* DATE: 1/10/06

OWNER / DEVELOPER Merritt Properties, LLC 2066 Lord Baltimore Drive Baltimore, Maryland 21244		ADDRESS CHART	
PARCEL NO.	STREET ADDRESS	PARCEL NO.	STREET ADDRESS
FAR 'A' BLDG. NO. 1	6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103	FAR 'A' BLDG. NO. 2	6519 MEADOWRIDGE ROAD MARYLAND ROUTE 103
FAR 'A' BLDG. NO. 3	6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103	FAR 'A' BLDG. NO. 4	6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PROJECT NAME The Meadows Corporate Park		SECTION NAME Elkridge	PARCEL # A 175, 179, 407, 412, 538 & 539
LIBER / FOLIO	GRID	ZONE	TAX MAP
PLAT NO. F-05-103	22	CCT	1
WATER CODE B-02		SEWER CODE 4020000	

Interstate (I-95) (South Bound)
(Principal Arterial Highway)
Vehicular Ingress & Egress Restricted

PREPARED BY:

GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
1020 Cromwell Bridge Road
Towson, Maryland 21286
(410) 825-8120

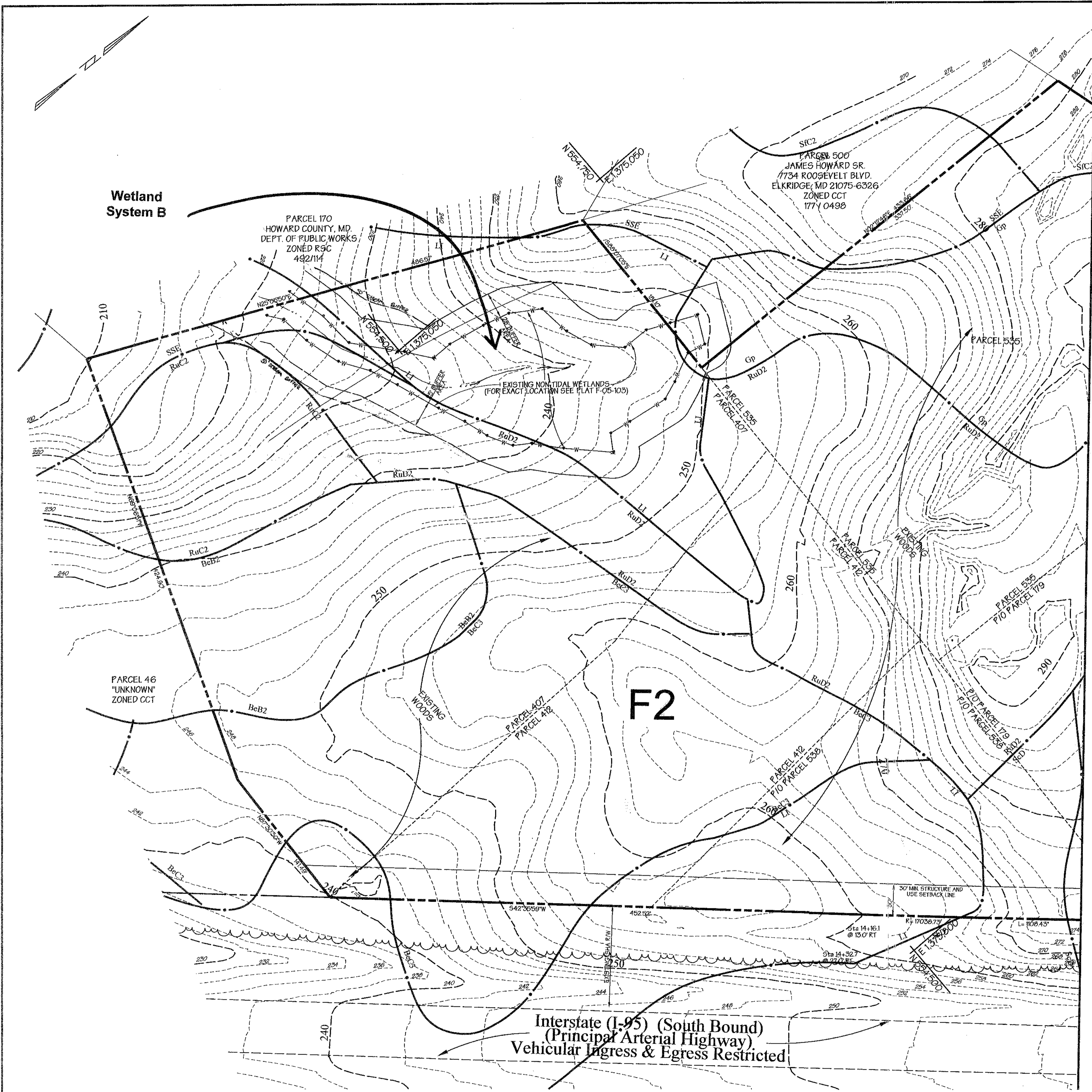
PLAN
SCALE: 1" = 50'

Eco-Science Professionals, Inc.
Consulting Ecologists
P.O. Box 5006 Glen Arm, Maryland 21057
Telephone: (410) 592-6752 Fax: (410) 832-2488

MD DNR Qualified Professional
USACOE Wetland Delineator
Certification # WDCP23000604403
[Signature]
John T. Canfield

DESIGNED BY: H.P.P.
DRAWN BY: H.P.P.
CHECKED BY: H.P.P.
REVISIONS

WETLAND AND FOREST STAND DELINEATION
The Meadows Corporate Park
Parcel 'A'
Site Improvements: General Offices
Election District No. 1
Howard County, Maryland
SDP -05-072
Scale: As Shown
Date: December 06, 2004
SHT 36 of 43
Date: December 06, 2004
SDP -05-072



MATCH LINE 'A-A' (SEE SHEET 36)

Legend

Ex. 2' Contours	---	394
Ex. 10' Contours	---	395
Prop. 2' Contours	---	394
Prop. 10' Contours	---	395
Ex. Curb & Gutter	---	
Prop. Curb & Gutter	---	
Bldg. Restriction Line	---	
Ex. Sanitary	---	
Ex. Storm Drain	---	
Ex. Water	---	

FSD Legend

Ex. Contours	---
Ex. Forest	---
Wetlands	---
Wetland/Stream Buffer	---

APPROVED: Howard County Department of Planning and Zoning	
CHIEF, DEVELOPMENT ENGINEERING DIVISION	7/12/05
CHIEF, DIVISION OF LAND DEVELOPMENT	7/15/05
DIRECTOR	11/13/05

OWNER / DEVELOPER Merritt Properties, LLC 2066 Lord Baltimore Drive Baltimore, Maryland 21244	ADDRESS CHART PARCEL NO. STREET ADDRESS PAR 'A' BLDG. NO. 1 6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103 PAR 'A' BLDG. NO. 2 6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103 PAR 'A' BLDG. NO. 3 6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103 PAR 'A' BLDG. NO. 4 6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103				
PROJECT NAME The Meadows Corporate Park	SECTION NAME Elkridge	PARCEL # A 175, 179, 407, 412, 535 & 536			
LIBER / FOLIO PLAT NO. F-05-103	GRID 22	ZONE CCT	TAX MAP 1	ELECT. DIST. 1	CENSUS TRACT 601102
WATER CODE B-02		SEWER CODE 4020000			

DESIGNED BY: H.P.P.	WETLAND AND FOREST STAND DELINEATION The Meadows Corporate Park Parcel 'A' Site Improvements: General Offices Election District No. 1 Howard County, Maryland SDP -05-072 Scale: As Shown Date: December 06, 2004
DRAWN BY: H.P.P.	
CHECKED BY: H.P.P.	
REVISIONS	

PREPARED BY:

**GEORGE W. STEPHENS, JR.
AND ASSOCIATES, INC.**
Civil Engineers and Land Surveyors
1020 Cromwell Bridge Road
Towson, Maryland 21286
(410) 825-8120

**Eco-Science
Professionals, Inc.**
Consulting Ecologists
P.O. Box 5006 Glen Arm, Maryland 21057
Telephone (410) 592-4752 Fax (410) 832-2488

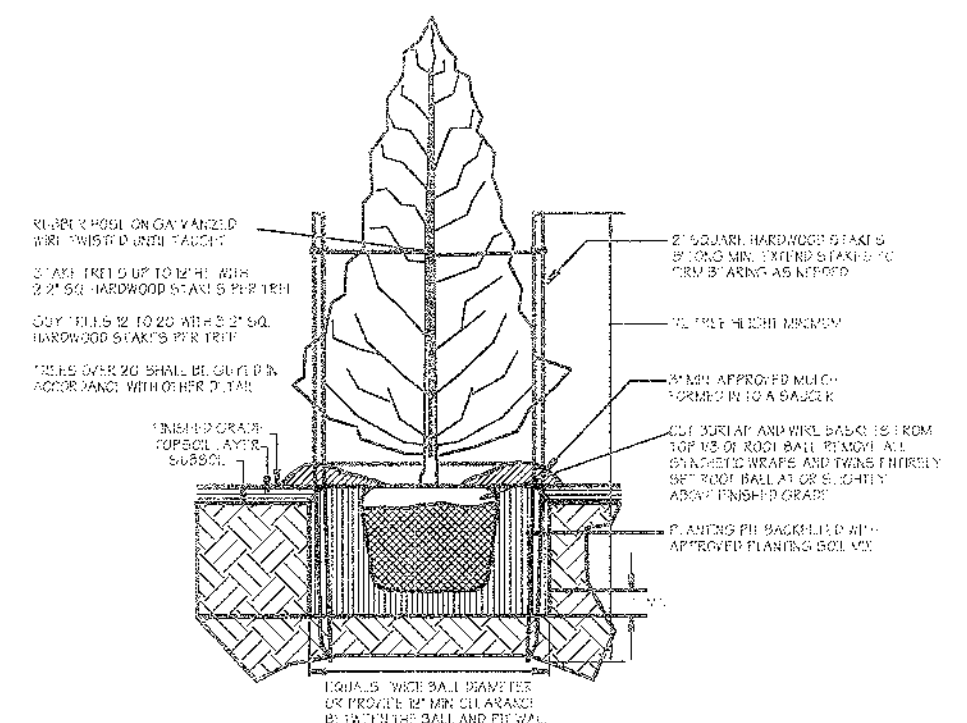
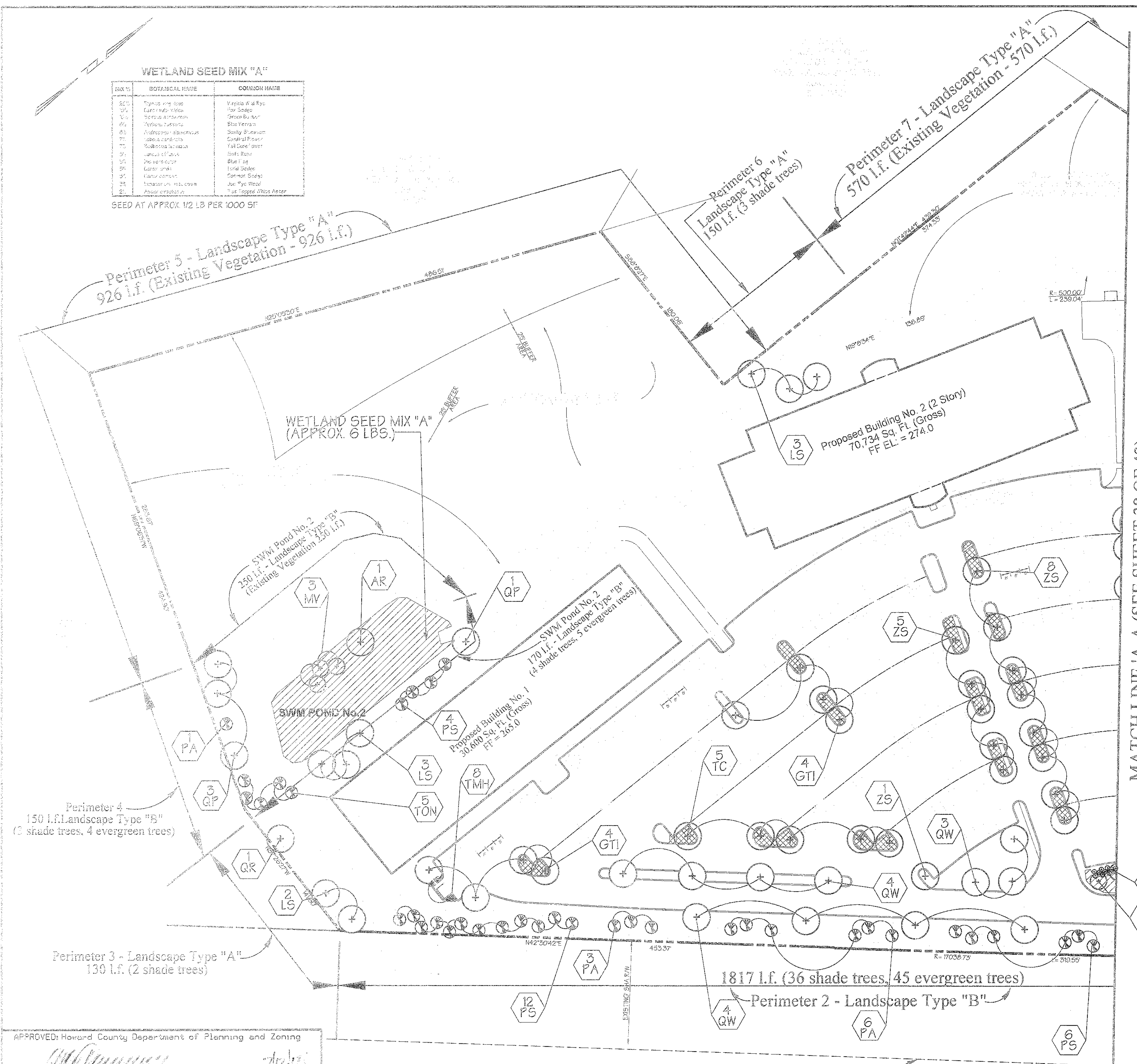
MD DNR Qualified Professional
USACE Wetland Delineator
Certification # WD07034061004412
John P. Canales

PLAN
SCALE: 1" = 50'

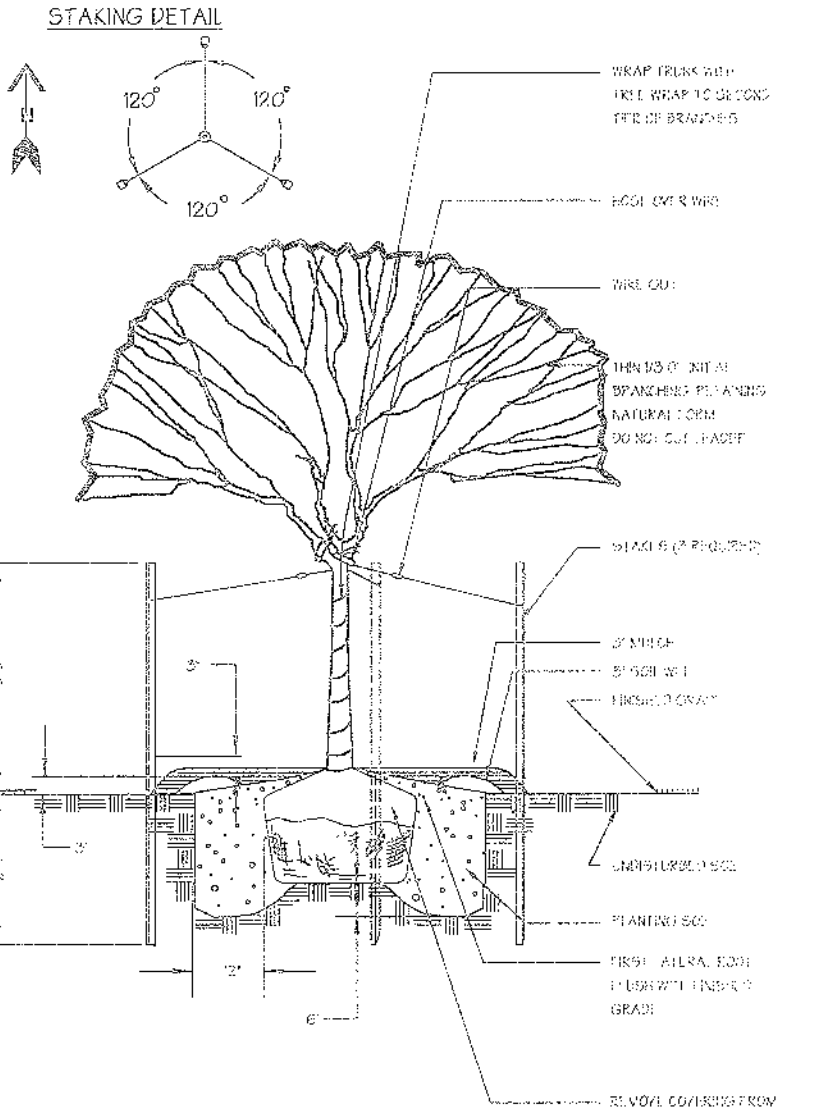
WETLAND SEED MIX "A"

MIX #	BOTANICAL SOURCE	COMMON NAME
01	Typha angustifolia	Wetland Bulrush
02	Cyperus tenuis	Wetland Sedge
03	Sagittaria arifolia	Arrowhead
04	Sparganium angustifolium	Wetland Sparganium
05	Scirpus americanus	Wetland Sedge
06	Phragmites australis	Common Reed
07	Eleocharis acicularis	Wetland Sedge
08	Eleocharis obtusa	Wetland Sedge
09	Eleocharis palustris	Wetland Sedge
10	Eleocharis obtusa	Wetland Sedge
11	Eleocharis obtusa	Wetland Sedge
12	Eleocharis obtusa	Wetland Sedge
13	Eleocharis obtusa	Wetland Sedge
14	Eleocharis obtusa	Wetland Sedge
15	Eleocharis obtusa	Wetland Sedge

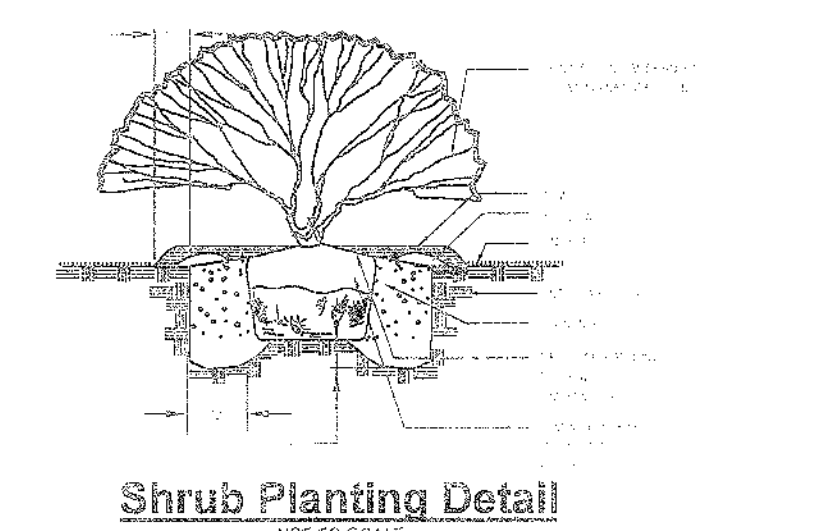
SEED AT APPROX. 1/2 LB PER 1000 SF



Evergreen Planting Detail



Tree Planting Detail



Shrub Planting Detail

PLANTING NOTES
 PLANT LOCATIONS SHALL BE FIELD ADJUSTED TO AVOID UTILITIES. CONTRACTOR IS RESPONSIBLE FOR LOCATING UTILITIES PRIOR TO START OF WORK. ALL TREES AND SHRUBS SHALL BE MULCHED TO A MINIMUM OF 10" BEYOND THE EDGE OF THE ROOT BALL. SHRUBS MASSSES SHALL BE PLANTED IN CONTINUOUS MULD BEDS. ALL WIRE PLASTIC AND TWINE TIES SHALL BE REMOVED FROM TOP OF THE ROOT BALL.

PLANT STANDARDS
 ALL NURSERY STOCK SHALL BE TOP QUALITY AND IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. "AMERICAN STANDARDS FOR NURSERY STOCK", LATEST EDITION. INTERIOR NURSERY STOCK WILL BE SUBJECT TO REJECTION BY THE LANDSCAPE ARCHITECT. BARE ROOT SHALL NOT BE ALLOWED FOR ANY TREE DEFINED AS MAJOR DECIDUOUS, MINOR DECIDUOUS OR EVERGREEN.

CHANGES MAY IMPACT REQUIRED CERTIFICATION
 PLANT TYPES (DECIDUOUS TREES, EVERGREEN, ETC.), QUANTITIES, SPACING, LOCATION, AND SPECIES SHOWN ON THE APPROVED LANDSCAPE PLAN ARE BASED ON REQUIREMENTS STATED IN THE LATEST HOWARD COUNTY LANDSCAPE MANUAL. ANY CHANGE IN THESE ITEMS MAY AFFECT THE REQUIRED APPROVAL AND CERTIFICATION OF THE INSTALLED PLANTING. OWNER IS REQUIRED TO ARRANGE AND PAY FOR CERTIFICATION BY LANDSCAPE ARCHITECT.

LANDSCAPE SPECIFICATIONS
 LANDSCAPE SPECIFICATION SHALL CONFORM TO LCA LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE WASHINGTON METROPOLITAN AREA, INCLUDING PLANTING PROCEDURES AND SOIL PREPARATION FOR SHRUBS AND PERENNIAL BEDS. A ONE YEAR WARRANTY PERIOD SHALL BE REQUIRED. MAINTENANCE REQUIRED TO HONOR THE ONE YEAR WARRANTY SHALL BE PERFORMED AS PART OF THIS CONTRACT.

SPECIAL PROVISIONS TO LCA STANDARD SPECIFICATIONS
 CONTRACTOR IS ENCOURAGED TO PERFORM SOIL TESTING. TEST RESULTS SHALL BE SUBMITTED 30 DAYS BEFORE PLANTING. FAILURE TO PERFORM TESTING SHALL NOT VOID GUARANTEE PROVISIONS.

CONTRACTOR SHALL REVIEW AND TEST SUBSOIL DRAINAGE CHARACTERISTICS 30 DAYS PRIOR TO PLANTING AND NOTIFY OWNER UNACCEPTABLE CONDITIONS.

NO EXCEPTIONS TO THE GUARANTEE PROVISIONS ARE ALLOWED UNLESS AGREED TO IN WRITING PRIOR TO PLANTING.

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPE IN THE AMOUNT OF \$48,000.00 IS A PART OF THE DEVELOPER'S AGREEMENT.

PLANT'S PROVIDED CALCULATIONS

SHADE TREES	122 @ 300.00 =	\$36,600.00
EVERGREEN TREES	76 @ 150.00 =	\$11,400.00
	TOTAL =	\$48,000.00

MATCH LINE 'A-A' (SEE SHEET 38 OF 43)

APPROVED: Howard County Department of Planning and Zoning

 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 11/15/11

 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 11/15/11

 DIRECTOR
 DATE: 11/15/11

PREPARED BY:

GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
 Civil Engineers and Land Surveyors
 1020 Cromwell Bridge Road
 Towson, Maryland 21286
 (410) 825-8120

Landscape Legend

- PROPOSED SHADE TREE (+)
- PROPOSED ORNAMENTAL TREE (x)
- PROPOSED EVERGREEN TREE (A)
- PROPOSED SHRUBS (G)
- INTERNAL LANDSCAPE ISLAND (G)
- PROPOSED SHADE TREE ALONG PERIMETER #2 (+)

PLAN
 SCALE: 1" = 50'

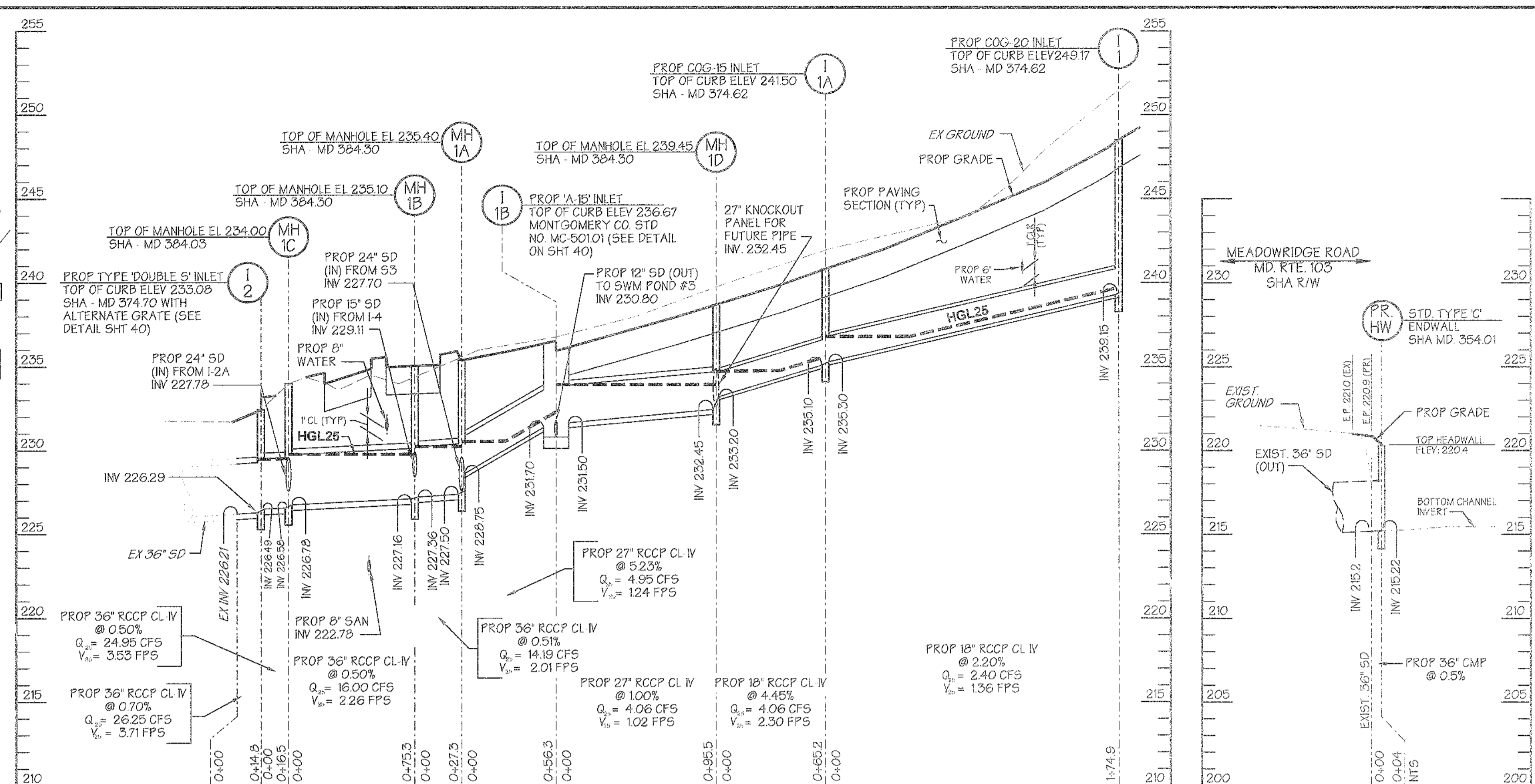
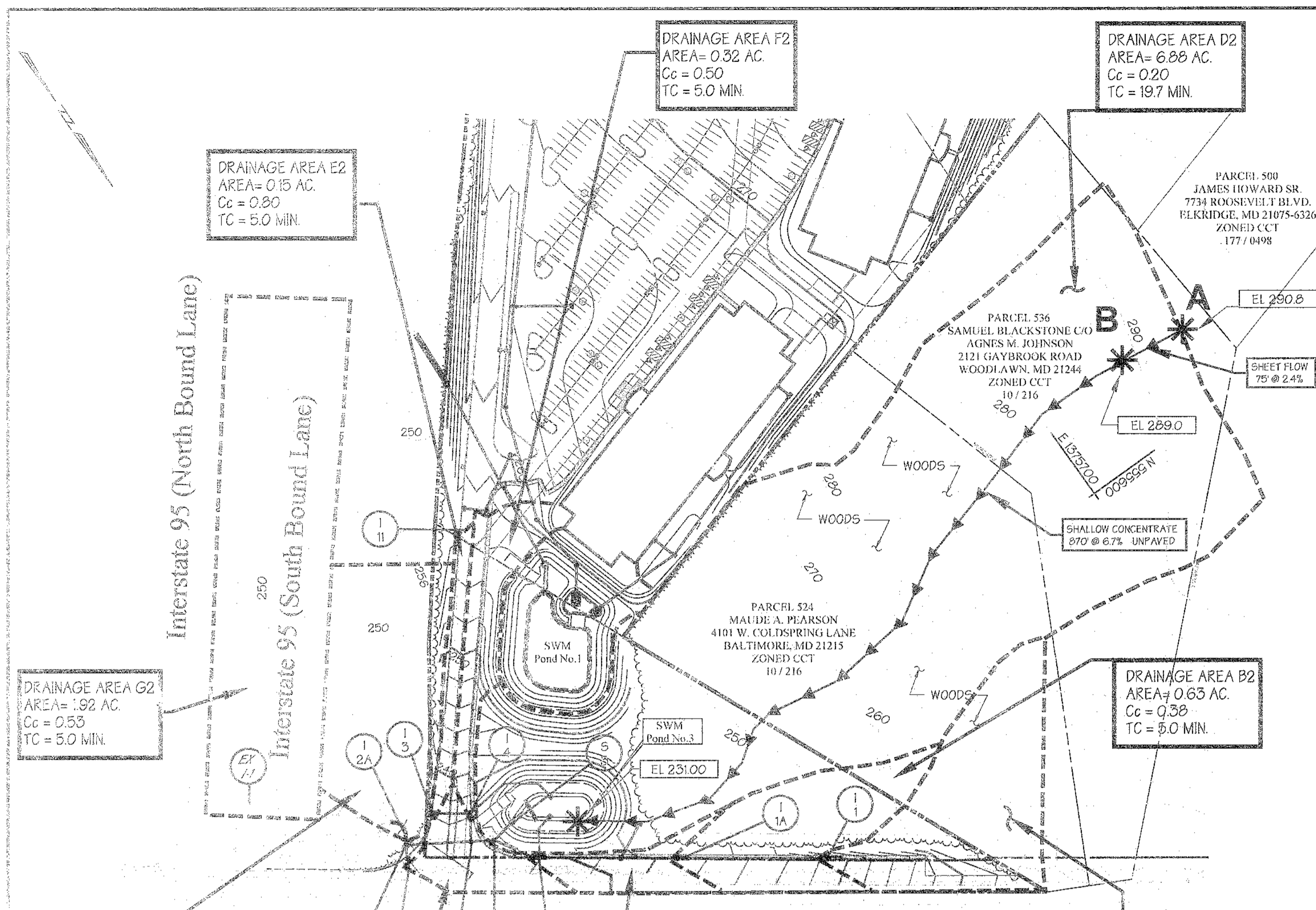
DEVELOPER'S / BUILDER'S CERTIFICATION

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN SECTION 16124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: Daniel F. Talarca DATE: 6/27/15

PRINT NAME: Daniel F. Talarca

OWNER / DEVELOPER	ADDRESS CHART	
Merritt Properties, LLC 2066 Lord Baltimore Drive Baltimore, Maryland 21244	PARCEL NO. STREET ADDRESS	
	PAR 'A' BLDG. NO. 1 6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103	
	PAR 'A' BLDG. NO. 2 6516 MEADOWRIDGE ROAD MARYLAND ROUTE 103	
	PAR 'A' BLDG. NO. 3 6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103	
PAR 'A' BLDG. NO. 4 6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103		
PROJECT NAME	SECTION NAME	PARCEL #
The Meadows Corporate Park	Elkridge	# 173, 178, 407, 412, 535 & 536
LIBER / FOLIO GRID	ZONE	TAX MAP
PLAT NO. 173/178	22	57
WATER CODE	SEWER CODE	
B 02	4020000	
DESIGNED BY: H.P.P.	DRAWN BY: H.P.P.	
CHECKED BY: H.P.P.	REVISIONS	
Landscape Plan		
The Meadows Corporate Park Parcel 'A'		
Site Improvements: General Offices		SDP 05-072
Election District No. 1		Scale: As Shown
Howard County, Maryland		SHT. 39 OF 43 Date: December 06, 2004
SDP -05-072		



**I-1 TO I-2
STORM DRAIN PROFILE**
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'

SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'

PIPE SCHEDULE

FROM	TO	SIZE (IN.)	TYPE	CLASS	Q (cfs)
I-1	I-1A	18"	RCCP	IV	174.9
I-1A	I-1B	18"	RCCP	IV	160.7
I-1B	POND #3	12"	PVC	SCH-40	42
I-1B	MH-1A	21"	RCCP	IV	56.3
MH-1A	MH-1B	36"	RCCP	IV	27.3
MH-1B	MH-1C	36"	RCCP	IV	75.3
I-2A	MH-1C	24"	RCCP	IV	111
MH-1C	I-2	24"	RCCP	IV	16.5
I-2	EX PIPE	36"	RCCP	IV	14.8
I-3	I-4	15"	RCCP	IV	44
I-4	MH-1B	15"	RCCP	IV	33.2

STRUCTURE SCHEDULE

No.	TYPE	INV IN	INV OUT	TOP OF CURB ELEV	Q (cfs)	REMARKS
I-1	COG-20	239.15	249.17	249.17	2.40	SHA - MD 374.62
I-1A	CO-15	235.30	235.10	241.50	1.92	SHA - MD 374.62
I-1B	A-15	231.95	229.20	236.67	1.36	MONTGOMERY CO. STD NO. MC 50101
I-2	TYPE 315 CONCRETE	226.48	226.26	233.08	1.60	SHA - MD 374.04 WITH ALTERNATE CURVE VANE GRATE (SEE DETAIL SHT 40)
I-2A	58256-02H	227.78	227.78	227.78	10.84	SHA - MD 378.05
I-5	INLET	233.00	233.00	233.00	0.96	STD.HO.CODTL. SD-4.34
I-4	INLET	232.78	232.00	232.00	2.16	STD.HO.CODTL. SD-4.34
MH-1A	INLET	227.50	227.50	227.50	1.92	SHA - MD 384.03
MH-1B	INLET	227.16	227.16	227.16	1.92	SHA - MD 384.05
MH-1C	INLET	226.56	226.56	226.56	1.92	SHA - MD 384.05

DRAINAGE AREA MAP
SCALE: 1" = 100'

DRAINAGE AREA A2
AREA = 0.99 AC.
Cc = 0.30
TC = 5.0 MIN

DRAINAGE AREA B2
AREA = 0.65 AC.
Cc = 0.30
TC = 5.0 MIN

DRAINAGE AREA C2
AREA = 0.22 AC.
Cc = 0.30
TC = 5.0 MIN

DRAINAGE AREA H2
AREA = 0.9 AC.
Cc = 0.36
TC = 5.0 MIN

DRAINAGE AREA G2
AREA = 1.92 AC.
Cc = 0.53
TC = 5.0 MIN

DRAINAGE AREA F2
AREA = 0.32 AC.
Cc = 0.50
TC = 5.0 MIN

DRAINAGE AREA D2
AREA = 6.88 AC.
Cc = 0.20
TC = 19.7 MIN

DRAINAGE AREA E2
AREA = 0.15 AC.
Cc = 0.80
TC = 5.0 MIN

STORM DRAIN COMPUTATION - 2 YEAR FREQ.

LOCATION	AREA	COEFF	TIME CONC. MIN	INTENSITY	Q (cfs)	REMARKS
I-1	A2	0.99	0.30	5.0	5.0	5.38
I-1A	B2	0.65	0.30	5.0	5.0	5.38
I-1B	C2	0.22	0.17	5.0	5.0	5.38
I-2	E2	0.15	0.12	5.0	5.0	5.38
I-3	F2	0.32	0.16	5.0	5.0	5.38
I-4	H2	0.90	0.16	5.0	5.0	5.38

STORM DRAIN COMPUTATION - 25 YEAR FREQ.

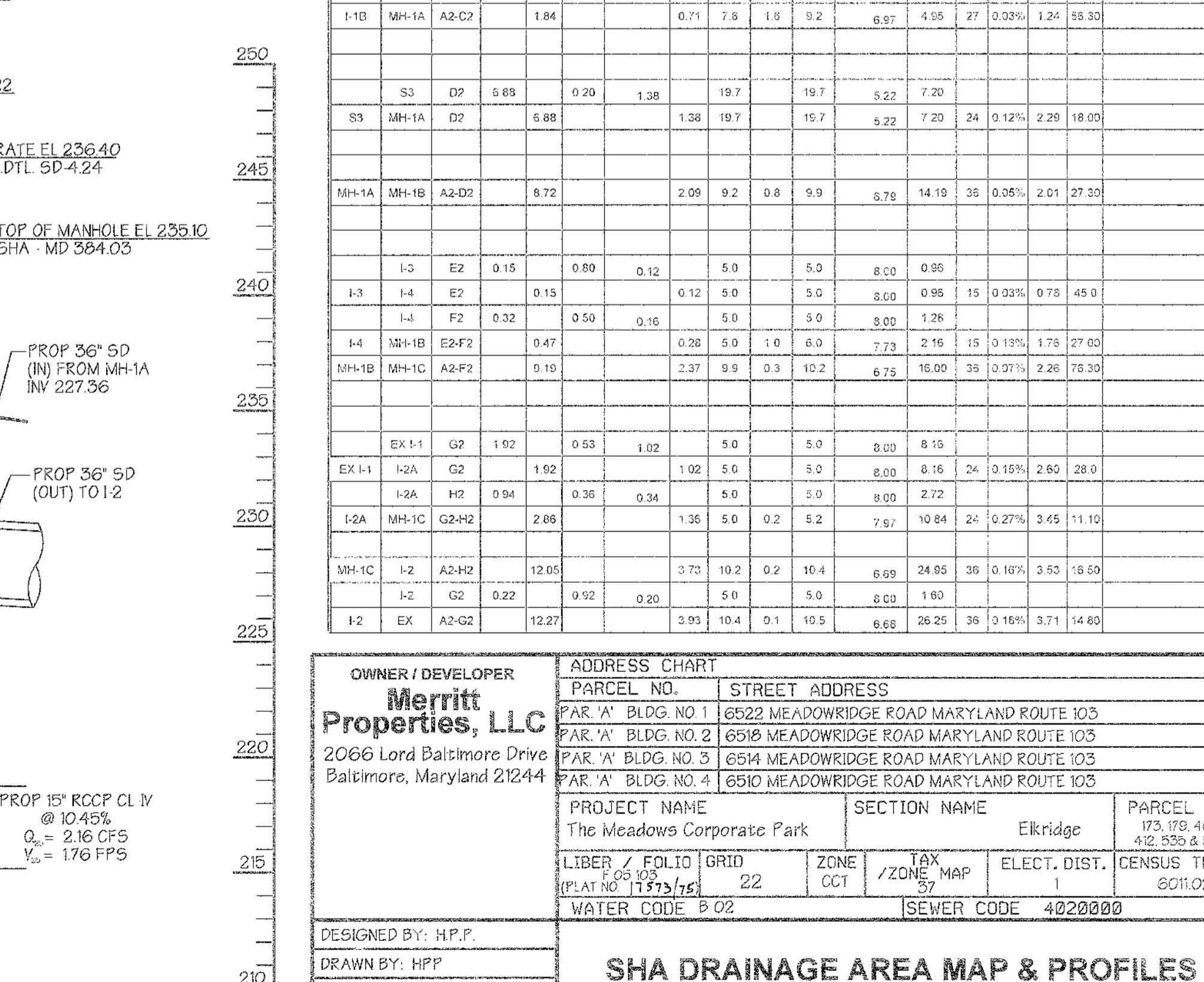
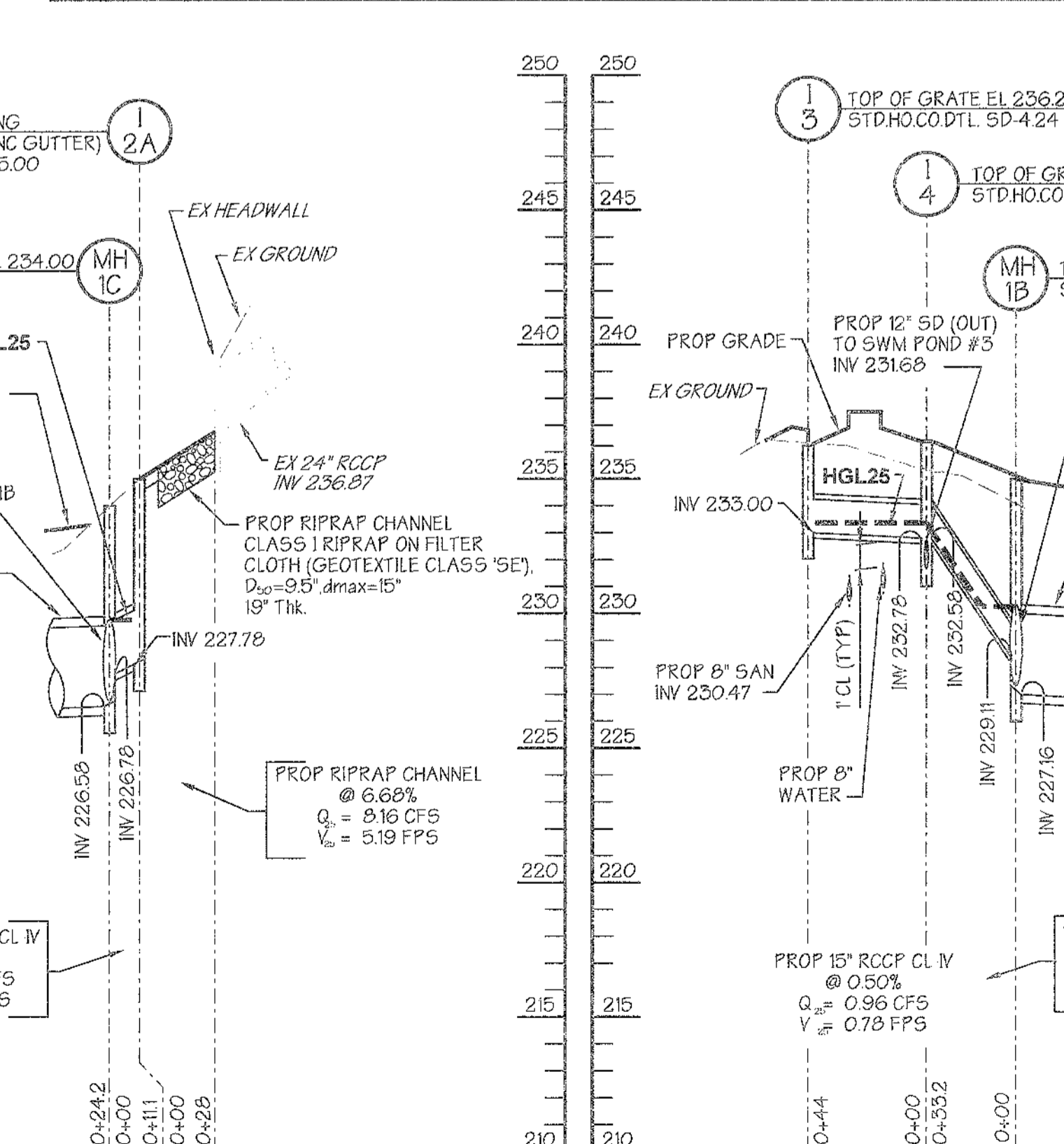
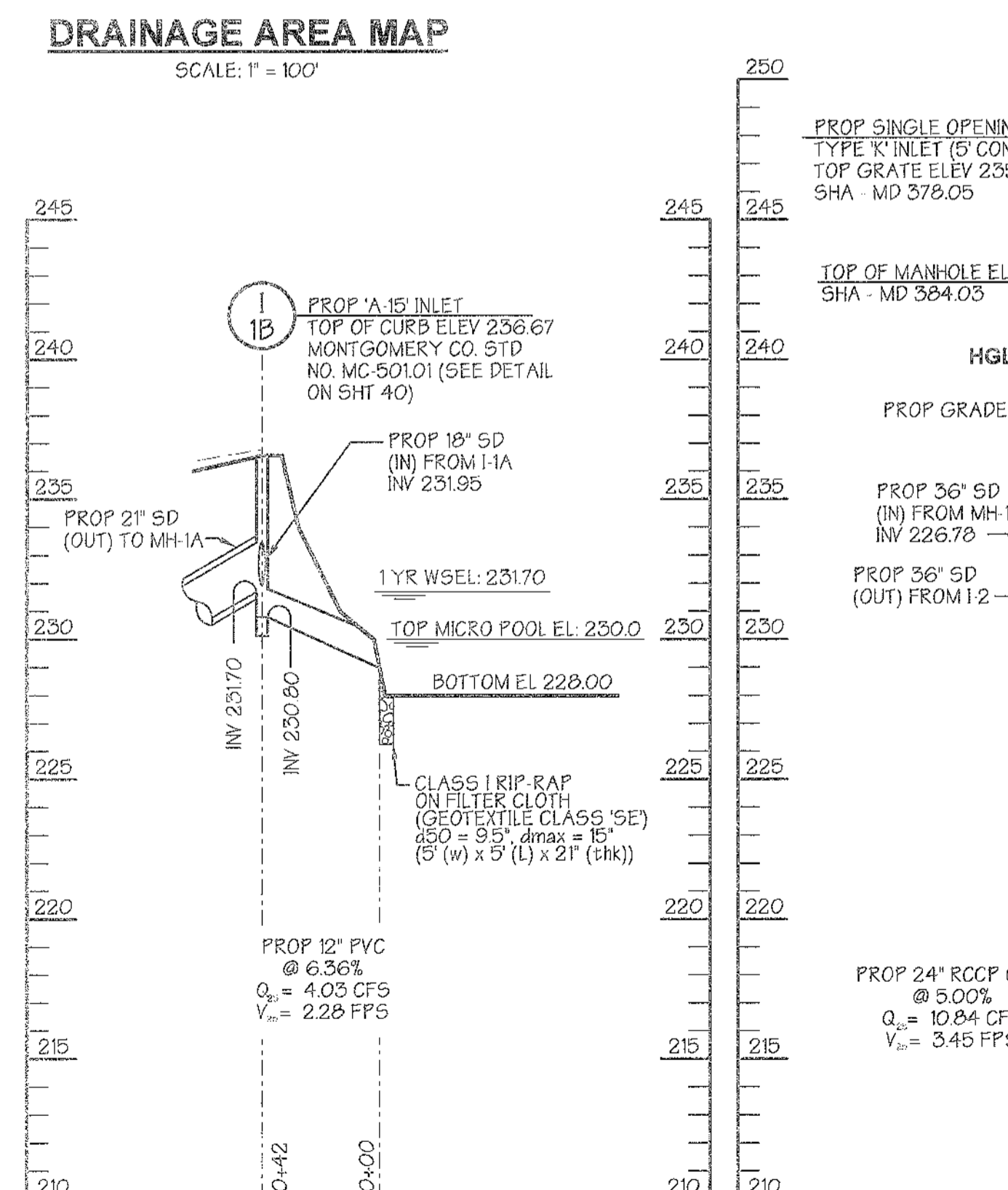
LOCATION	AREA	COEFF	TIME CONC. MIN	INTENSITY	Q (cfs)	REMARKS
I-1	A2	0.99	0.30	5.0	5.0	8.00
I-1A	B2	0.65	0.30	5.0	5.0	8.00
I-1B	C2	0.22	0.17	5.0	5.0	8.00
I-2	E2	0.15	0.12	5.0	5.0	8.00
I-3	F2	0.32	0.16	5.0	5.0	8.00
I-4	H2	0.90	0.16	5.0	5.0	8.00

APPROVED: Howard County Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* DATE: *[Date]*

CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: *[Date]*

DIRECTOR: *[Signature]* DATE: *[Date]*



**I-1B TO POND #3
STORM DRAIN PROFILE**
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'

**EX HEADWALL TO I-2A
STORM DRAIN PROFILE**
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'

**I-3 TO MH-1B
STORM DRAIN PROFILE**
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'

GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
1020 Cromwell Bridge Road
Towson, Maryland 21286
(410) 828-8120

Merritt Properties, L.L.C.
2066 Lord Baltimore Drive
Baltimore, Maryland 21244

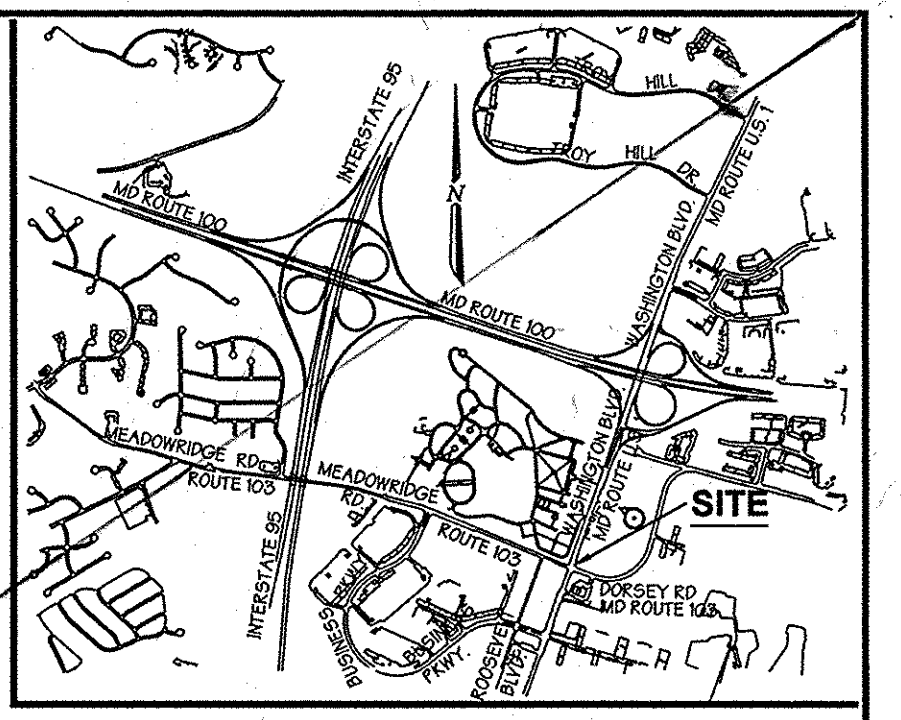
SHA DRAINAGE AREA MAP & PROFILES
The Meadows Corporate Park
Parcel 'A'

Site Improvements: General Offices
Election District No. 1
Howard County, Maryland
SHP -05-072
Scale: As Shown
Date: December 06, 2004

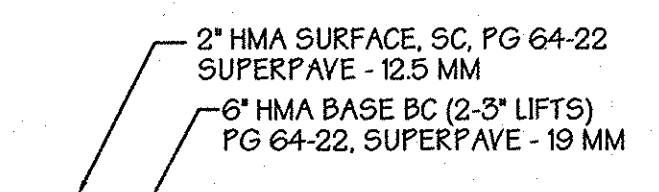
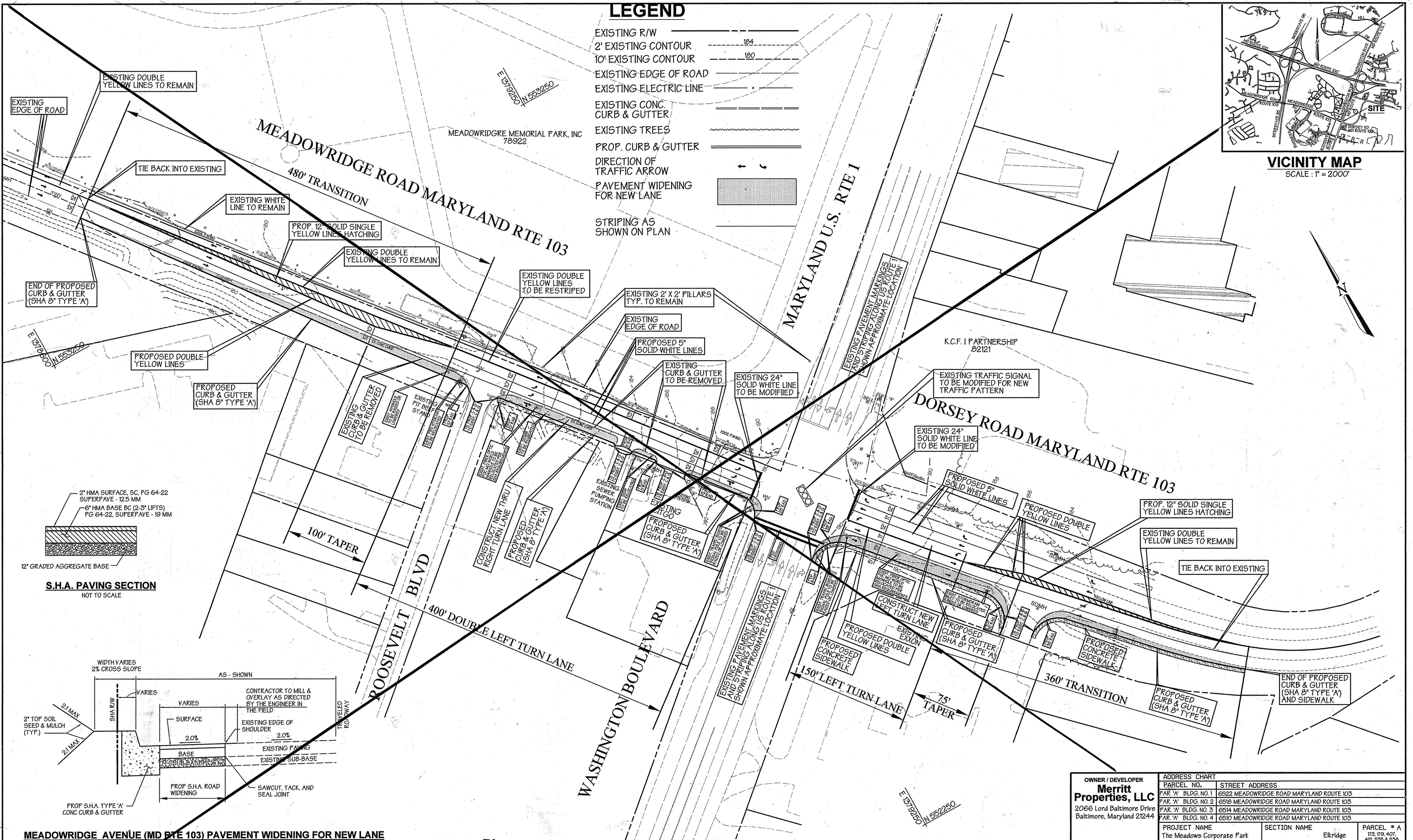


LEGEND

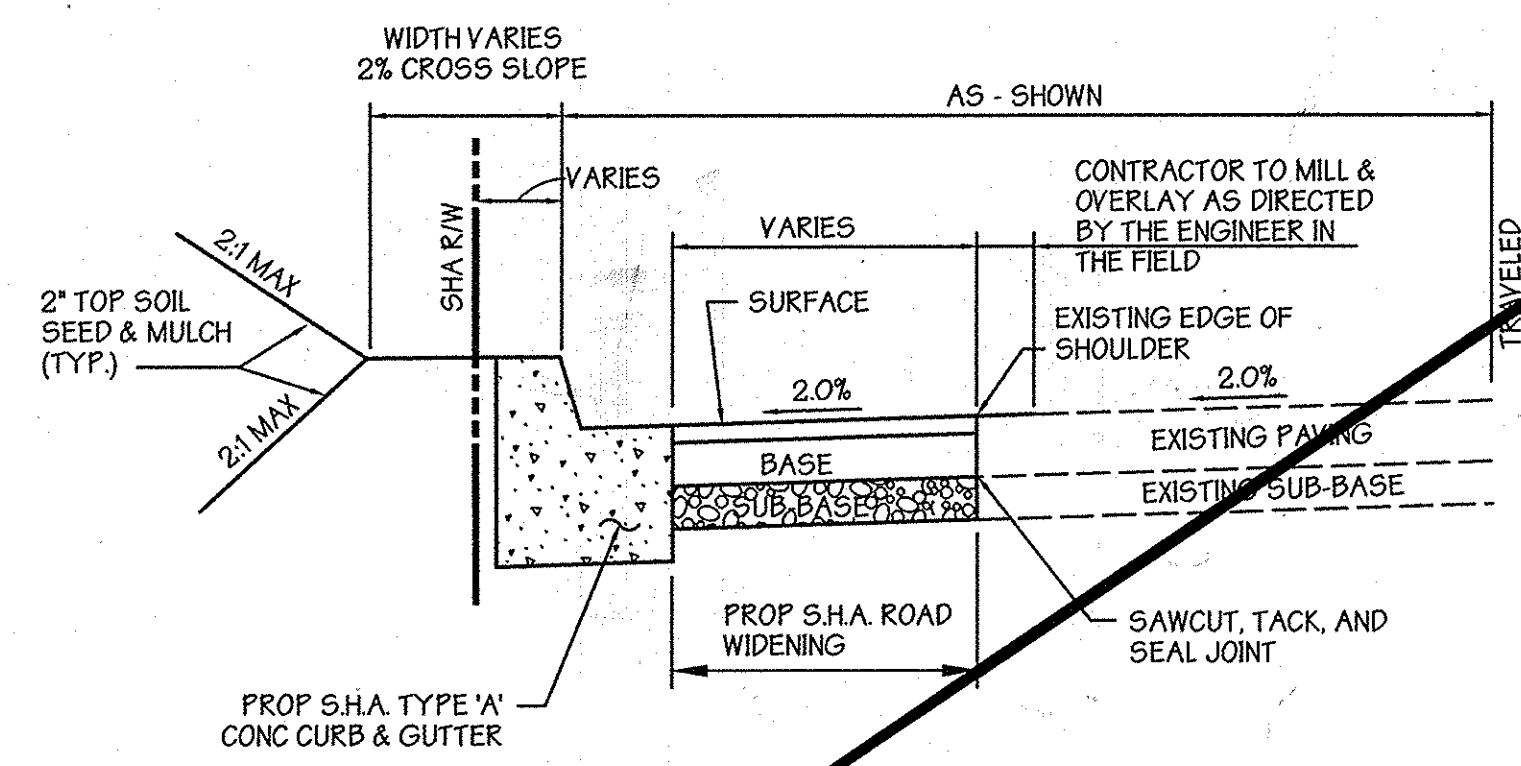
- EXISTING R/W
- 2' EXISTING CONTOUR
- 10' EXISTING CONTOUR
- EXISTING EDGE OF ROAD
- EXISTING ELECTRIC LINE
- EXISTING CONC. CURB & GUTTER
- EXISTING TREES
- PROP. CURB & GUTTER
- DIRECTION OF TRAFFIC ARROW
- PAVEMENT WIDENING FOR NEW LANE
- STRIPING AS SHOWN ON PLAN



VICINITY MAP
SCALE: 1" = 2000'



S.H.A. PAVING SECTION
NOT TO SCALE



MEADOWRIDGE AVENUE (MD RTE 103) PAVEMENT WIDENING FOR NEW LANE
NOT TO SCALE

Professional Certification: I hereby certify that these documents were prepared or approved by me and that I am duly licensed professional engineer under the laws of the State of Maryland. License No. 29173, Expiration Date: 06-18-12.

Plan
SCALE: 1" = 50'

The purpose of Revision #1 to sheet 43 of the SDP-05-072 plan set is to cross out with an "X" any notes to mitigation work shown. The owner Merritt LLC, is to pay a fee in-lieu to Howard County for any oblique road improvements as the associated with Meadows Corporate Park, however, Howard County would still like the Mitigation Sheet to remain part of the set for future informational purposes.

PREPARED BY:

GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
1020 Cromwell Bridge Road
Towson, Maryland 21286
(410) 825-8120

APPROVED: Howard County Department of Planning and Zoning

Howard
CHIEF, DEVELOPMENT ENGINEERING DIVISION &
DATE: 7/12/05

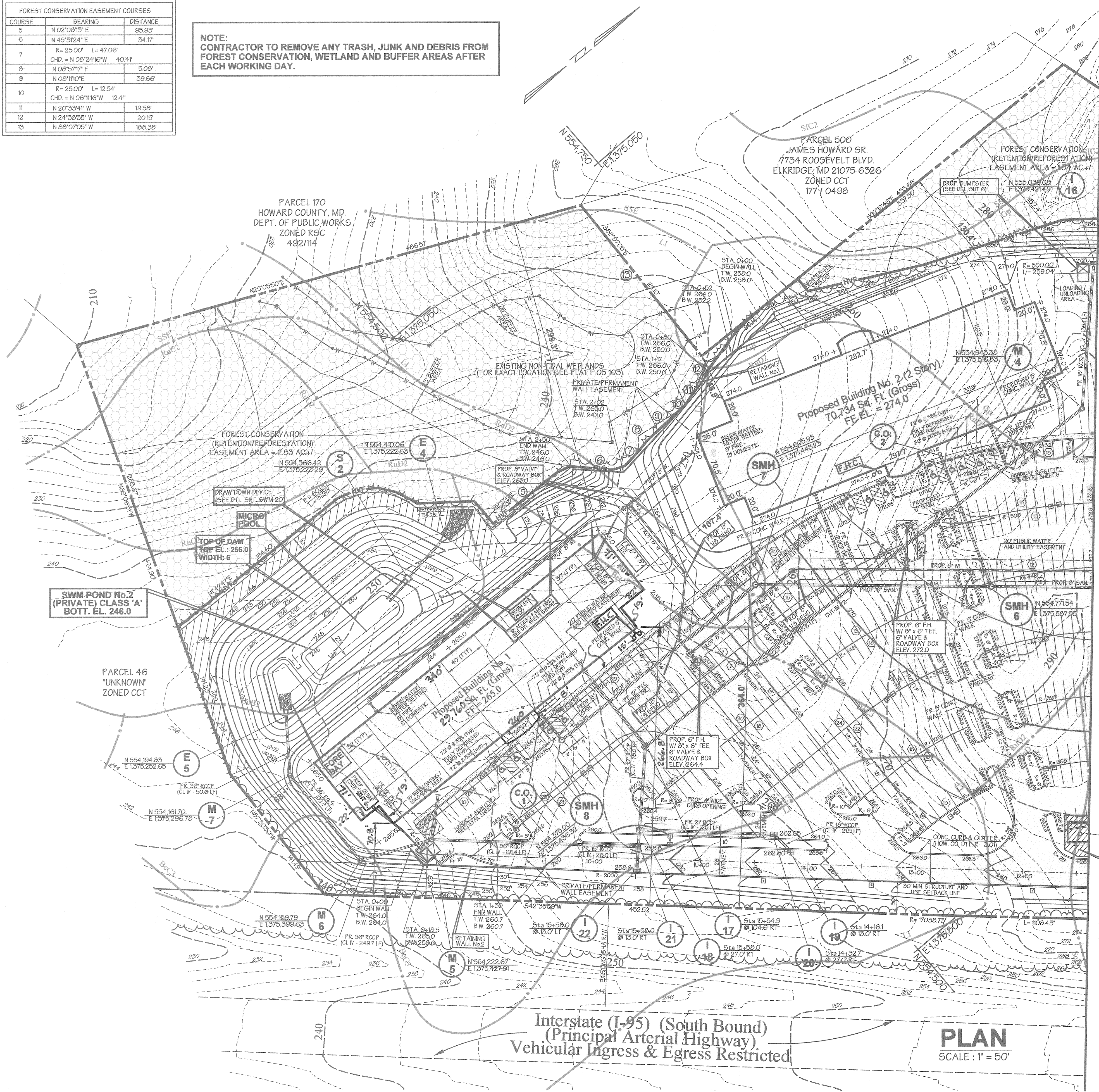
David
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 7/13/05

Joseph
DIRECTOR
DATE: 7/19/05

OWNER / DEVELOPER Merritt Properties, LLC 2066 Lord Baltimore Drive Baltimore, Maryland 21244		ADDRESS CHART	
PARCEL NO.	STREET ADDRESS	SECTION NAME	PARCEL # A
PAR. 'A' BLDG. NO. 1	6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103	Elkridge	173, 179, 407
PAR. 'A' BLDG. NO. 2	6518 MEADOWRIDGE ROAD MARYLAND ROUTE 103		412, 535 & 536
PAR. 'A' BLDG. NO. 3	6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103		
PAR. 'A' BLDG. NO. 4	6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103		601, 02
PROJECT NAME The Meadows Corporate Park		LIBER / FOLIO GRID PLAT NO. F-05-103	ZONE CCT
WATER CODE B-02		TAX MAP 37	ELECT. DIST. 1
SEWER CODE 4020000		CENSUS TRACT 601102	
DESIGNED Mitigation Plan		REVISIONS	
DRAWN BY: H.P.P.		CHECKED BY: H.P.P.	
REMOVED Removed oblique mitigation shown on sheet 43 from plan set. By: T.L.B. & Mavis Wardell, Inc. Date: 5/19/16		The Meadows Corporate Park Parcel 'A'	
Site Improvements: General Offices Election District No. 1 Howard County, Maryland		SDP -05-072 Scale: As Shown Date: APRIL 13, 2005	
SHT. 43 OF 43		SDP -05-072 FIN: 10-9698	

COURSE	BEARING	DISTANCE
5	N 02°09'13" E	95.93'
6	N 45°31'24" E	34.17'
7	R=25.00' L=47.06'	
8	N 08°57'17" E	5.00'
9	N 08°11'02" E	39.66'
10	R=25.00' L=12.54'	
11	N 20°33'41" W	19.58'
12	N 24°38'35" W	20.15'
13	N 88°07'05" W	188.38'

NOTE:
CONTRACTOR TO REMOVE ANY TRASH, JUNK AND DEBRIS FROM FOREST CONSERVATION, WETLAND AND BUFFER AREAS AFTER EACH WORKING DAY.



MATCHLINE 'A-A' (SEE SHEET 4)

Typical Lighting

- □ □ TWIN 400 W METAL HALIDE FIXTURES ON 25' POLE TYPE 3 DISTRIBUTION WIDELITE AL3M400 SERIES HORIZONTAL LAMP FLAT GLASS FULL CUT OFF & FULL SHIELDED LIGHT FIXTURE INTENSITY: 22,000 LUMENS
 - SINGLE 400 W METAL HALIDE FIXTURES ON 25' POLE TYPE 3 DISTRIBUTION WIDELITE AL3M400 SERIES HORIZONTAL LAMP FLAT GLASS FULL CUT OFF & FULL SHIELDED LIGHT FIXTURE INTENSITY: 22,000 LUMENS
- NOTE:
ALL EXTERIOR LIGHTING SHALL CONFORM TO ZONING REGULATIONS, SECTION 154

Legend

- Ex. 2' Contours --- 394 ---
 - Ex. 10' Contours --- 395 ---
 - Prop. 2' Contours --- 394 ---
 - Prop. 10' Contours --- 395 ---
 - Ex. Curb & Gutter --- ---
 - Prop. Curb & Gutter --- ---
 - Bldg. Restriction Line --- ---
 - Ex. Sanitary --- ---
 - Ex. Storm Drain --- ---
 - Ex. Water --- ---
 - Prop. Sanitary --- ---
 - Prop. Storm Drain --- ---
 - Prop. Water --- ---
- FOR PAVING LOCATION SEE SHEET 6 OF 43.
- Light Duty Paving (P-2) --- Light Duty Paving
 - Intermediate Duty Paving (P-3) --- Intermediate Duty Paving
 - Heavy Duty Paving (P-5) --- Heavy Duty Paving
- Handicapped Detail No. 3
- PROPOSED FULL DEPTH PAVING (SEE DETAIL SHT. 6) [Pattern]
 - PROPOSED SHA FULL DEPTH PAVING [Pattern]
 - LIGHT POLE LOCATION [Symbol]
 - TREE LINE TO REMAIN [Symbol]
 - FOREST CONSERVATION EASEMENT [Pattern]
 - HIGH VISIBLE FENCE --- HVF ---

NOTE:
ALL ROOF DRAINS SHALL CONNECT TO THE STORM DRAIN SYSTEM AND DRAIN TO THE PROPOSED SWM PONDS AS SHOWN.

APPROVED: Howard County Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* 7/12/05 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT *[Signature]* 7/15/05 DATE

DIRECTOR *[Signature]* 7/13/05 DATE

OWNER / DEVELOPER	ADDRESS CHART			
Merritt Properties, LLC 2066 Lord Baltimore Drive Baltimore, Maryland 21244	PARCEL NO. STREET ADDRESS			
	PAR. 'A' BLDG. NO. 1 6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103			
	PAR. 'A' BLDG. NO. 2 6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103			
	PAR. 'A' BLDG. NO. 3 6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103			
	PAR. 'A' BLDG. NO. 4 6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103			
PROJECT NAME	SECTION NAME			
The Meadows Corporate Park	Elkridge			
LIBER / FOLIO GRID	ZONE	TAX MAP	ELECT. DIST.	CENSUS TRACT
(PLAT NO. 11573/16)	22	5	1	601102
WATER CODE B-02	SEWER CODE	4020000		

PREPARED BY:

GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
1020 Cromwell Bridge Road
Towson, Maryland 21286
(410) 825-8120

NOTES: TREES AND/OR SHRUBS WILL NOT BE ALLOWED ON ANY ENBANKMENT, WILL NOT BE ALLOWED WITHIN THE BUFFER ZONE (15 FEET FROM TOE OF DAM) AND WILL NOT BE ALLOWED WITHIN A 25 FOOT RADIUS AROUND THE INLET STRUCTURE.

PLAN
SCALE: 1" = 50'

BY	NO.	REVISION	DATE
HP	1	REV. BLDG. NO. 1 GEOMETRY/AREA	9/9/05

DESIGNED BY: H.P.P.
DRAWN BY: H.P.P.
CHECKED BY: H.P.P.
REVISIONS

Site and Grading Plan

The Meadows Corporate Park Parcel 'A'

Site Improvements: General Offices
Election District No. 1
Howard County, Maryland
SDP-05-072
Scale: As Shown
Date: December 06, 2004
SDP-05-072
SHT. 5 OF 43
P/N: 10-9698

Construction Notes

- THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST 24 HOURS PRIOR TO STARTING ANY OF THE WORK SHOWN HEREON.
- ALL AREAS NOT BEING PAVED OR RECEIVING BUILDING COVERAGE SHALL BE STABILIZED IN ACCORDANCE WITH THE PLANS APPROVED BY THE HOWARD SOIL CONSERVATION DISTRICT.
- THE CONTRACTOR SHALL NOTE THAT IN CASE OF DISCREPANCY BETWEEN ANY SCALED DIMENSIONS AND THE FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
- CONTRACTOR SHALL MEET ALL EXISTING IMPROVEMENTS SMOOTHLY FOR LINE, GRADE AND FINISH.
- ALL WORK SHOWN ON THESE PLANS SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS AND OF THE MARYLAND STATE HIGHWAY ADMINISTRATION AND THE HOWARD COUNTY PLUMBING CODE, UNLESS OTHERWISE NOTED.
- IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PERFORM SUCH WORK. THE COST OF SUCH WORK SHALL BE INCLUDED IN THE BASE BID.
- THE CONTRACTOR SHALL INSPECT THE SITE TO DETERMINE IF ANY TREES, PAVING, ETC. ARE TO BE REMOVED PRIOR TO PLACING A BID ON SUCH ITEMS.
- THE LOCATIONS OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE LOCATIONS ARE TAKEN FROM LOCATIONS. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 A MINIMUM OF 5 WORKING DAYS PRIOR TO DIGGING. THE CONTRACTOR SHALL CONFIRM TO HIS OWN SATISFACTION THE LOCATION OF ALL UTILITIES PRIOR TO ANY EXCAVATION OR PLACEMENT OF MATERIALS. IF ANY CONFLICT IS FOUND BETWEEN UNDERGROUND UTILITIES AND THE PROPOSED LOCATION OF ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT G. W. STEPHENS AND THE OWNER OF THE UTILITY IMMEDIATELY. ANY DAMAGE OR DISRUPTION OF SERVICE SHALL BE AT THE EXPENSE OF THE CONTRACTOR. RELOCATION OF ANY EXISTING UTILITIES, IF NECESSARY, SHALL BE AT THE EXPENSE OF THE OWNER. THE CONTRACTOR SHALL COORDINATE RELOCATION OF THESE FACILITIES, IF NECESSARY.
- CONTRACTOR SHALL PROTECT ALL EXISTING TREES OUTSIDE THE LIMIT OF DISTURBANCE AT ALL TIMES DURING CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS NOT SCHEDULED FOR REMOVAL OR DEMOLITION. COST OF REPAIR TO EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE BASE BID. ALL EXISTING SITE FEATURES NOT BEING RETAINED SHALL BE REMOVED AND DISPOSED OF AT AN APPROVED LOCATION. ANY DAMAGE TO OFFSITE ROADS, RIGHTS OF WAY, OR ADJACENT PROPERTY SHALL BE REPAIRED IMMEDIATELY AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL CLEAR THE PROJECT SITE OF ALL TREES, PAVING, STRUCTURES, ETC. WITHIN THE CONSTRUCTION AREA UNLESS OTHERWISE NOTED ON THE PLAN.
- ONLY SUITABLE MATERIAL SHALL BE USED AS FILL AND ALL FILL SHALL BE PLACED AND COMPACTED AS SPECIFIED IN THE SOILS REPORT PREPARED FOR THIS SITE OR AS RECOMMENDED BY THE EXCEPTING THOSE ASSOCIATED WITH LANDSCAPE BERMING. ALL GRADING UNDER PROPOSED PAVING, AND ALL FILL AND COMPACTION SHALL BE APPROVED BY A GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL PROVIDE MINIMUM 4 FOOT BENCH AT EDGE OF PAVING IN FILL AREAS. MAXIMUM SLOPE OF BENCH SHALL BE 4% (1/4 IN PER FOOT).
- MAXIMUM SLOPE SHALL BE 2 HORIZONTALLY TO 1 VERTICALLY.
- CONTRACTOR SHALL PLACE 4" MINIMUM TOPSOIL IN LANDSCAPE AREAS.
- CONTRACTOR SHALL PLACE A WITNESS POST AT THE TERMINUS OF ALL UTILITY STUBS.
- CONTRACTOR SHALL PROVIDE A MINIMUM OF 1 FOOT OF PROTECTIVE FILL OVER STORM DRAIN PIPES DURING CONSTRUCTION.
- ALL TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". ALL STREET AND REGULATORY SIGNS SHALL BE INSTALLED PRIOR TO INSTALLATION OF FINISHED PAVING.
- THE CONTRACTOR SHALL REPLACE ANY EXISTING BITUMINOUS PAVING OR SUB-BASE WHICH IS DAMAGED OR REMOVED DURING CONSTRUCTION. ALL EXCAVATED AREAS SHALL BE BACKFILLED AND IN ACCORDANCE WITH THE SOILS REPORT AND/OR AS DIRECTED BY GEOTECHNICAL ENGINEER. ANY AREAS TO BE PAVED WHICH EXHIBIT UNSTABLE SUBGRADE CONDITIONS SHALL BE EXCAVATED TO BEARING SOIL, REFILLED AND COMPACTED.
- IN AN AREA WHERE EXCAVATION IS NEEDED WITHIN THE ROAD RIGHT-OF-WAY, EXCAVATION MUST BE MADE WITHIN ONE (1) FOOT OF THE FINAL SUBGRADE.
- WHERE FILL IS PROPOSED WITHIN THE ROAD RIGHT-OF-WAY, THE FILL SHALL BE A MINIMUM OF TWO (2) FEET BELOW THE FINAL ROAD SUBGRADE.
- ALL EXTERIOR LIGHT FIXTURES SHALL BE ORIENTED TO DIRECT LIGHT INWARDS AND DOWNWARDS ON SITE AWAY FROM ALL ADJOINING RESIDENTIAL PROPERTIES AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
- ALL STORM DRAINS TO BE RCPP OR HDPE UNLESS OTHERWISE NOTED.

APPROVED: Howard County Department of Planning and Zoning

[Signature] 7/12/05
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

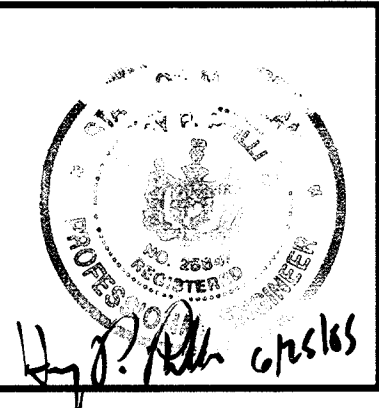
[Signature] 7/13/05
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 7/13/05
 DIRECTOR DATE

PREPARED BY:

**GEORGE W. STEPHENS, JR.
 AND ASSOCIATES, INC.**
 Civil Engineers and Land Surveyors

1020 Cromwell Bridge Road
 Towson, Maryland 21286
 (410) 825-8120



NOTE: The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building, shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTIONS DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM A FIELD RUN SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY G. W. STEPHENS JR. & ASSOC. DATED SEPTEMBER 2004.
- THE COORDINATES SHOWN HEREON ARE BASED UPON NATIONAL GEODETIC SURVEY CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. NATIONAL GEODETIC SURVEY MONUMENT NOS. J 109 AND U 25 WERE USED FOR THIS PROJECT.
- WATER IS PUBLIC.
- SEWER IS PUBLIC.
- THE STORMWATER MANAGEMENT FACILITIES: FOND No.1 - MICRO POOL ED (P1), FOND No.2 - MICRO POOL ED (P1), FOND No.3 - MICRO POOL ED (P1) AND GROUND WATER RECHARGE FACILITY No.1 (SERVES OVERALL SITE); INFILTRATION TRENCH (I1), THESE FACILITIES ARE PRIVATE AND TO BE MAINTAINED BY MERRITT PROPERTIES, LLC.
- EXISTING UTILITIES ARE BASED ON CONTRACT NO. 713 W FOR WATER AND CONTRACT NO. 10-1523-D FOR SEWER.
- THERE IS NO FLOOD PLAIN ON SITE.
- THERE ARE WETLANDS ON SITE. THE WETLANDS STUDY WAS PREPARED BY ECO-SCIENCE PROFESSIONALS, INC. DATED 12/03/04.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY TRAFFIC GROUP, DATED NOVEMBER 2004 AND WAS APPROVED ON JUNE 1, 2005.

- THIS SITE IS ZONED CCT PER THE FEBRUARY 02, 2004 COMPREHENSIVE ZONING PLAN.
- APPLICABLE FILES ARE F-05-103 AND WP-05-86.
- ALL EXTERIOR LIGHTING WILL BE DIRECTED / REFLECTED AWAY FROM ALL ADJACENT PUBLIC ROADS AND RESIDENTIAL ZONED DISTRICTS, IN ACCORDANCE WITH SECTION 134 OF THE ZONING REGULATIONS. LIGHT TRESPASS ONTO AN ADJACENT "RSC" ZONING DISTRICT IS LIMITED TO 0.1 FOOT CANDLES.
- THERE ARE NO CEMETERIES OR BURIAL GROUNDS LOCATED ON THIS SITE.
- THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR THE FOREST CONSERVATION WITH AN OBLIGATION OF 9.0 ACRES PROVIDED BY 3.6 ACRES OF ON-SITE RETENTION, 0.25 ACRES ON-SITE REFORESTATION WITH FOREST CONSERVATION SURETY IN THE AMOUNT OF \$36,808.20 PROVIDED WITH THE DPW (0.25 ACRES REFORESTATION x \$90.50 = \$22,445.00 AND 3.6 ACRES OF RETENTION x \$90.20 = \$321,963.20), DEVELOPER'S AGREEMENT AND 5.15 ACRES OF A FEE-IN-LIEU PAYMENT IN THE AMOUNT OF \$112,167.00.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL WITH 122 SHADE TREES, AND 76 EVERGREEN TREES PROVIDED WITH THE LANDSCAPE SURETY IN THE AMOUNT OF \$482,000.00 WITH THE DPW, DEVELOPER'S AGREEMENT.
- NO GRADING, REMOVAL OF VEGETATIVE COVER AND TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN 25 FEET OF A WETLANDS OR FOREST CONSERVATION EASEMENT, EXCEPT AS APPROVED PER WP-05-86.
 - A WAIVER PETITION (WP-05-86) HAS BEEN SUBMITTED AND APPROVED BY HOWARD COUNTY DEPT. OF PLANNING AND ZONING ON MARCH 7, 2005 FROM SECTION 16.116(a)(1) WHICH PROHIBITS GRADING, REMOVAL OF VEGETATIVE COVER AND TREES, PAVING AND NEW STRUCTURES WITHIN 25 FEET OF A WETLAND.
 - A PERMIT REQUEST (TRACKING No.05-NT-0020/20056919) HAS BEEN SUBMITTED AND APPROVED BY MARYLAND DEPARTMENT OF THE ENVIRONMENTAL NON-TIDAL WETLAND AND WATERWAYS DIVISION OF WATER MANAGEMENT ADMINISTRATION (WMA) ON DATE: 12/12/04 FOR ALTERATION OF ANY FLOODPLAIN, WATERWAY, TIDAL OR NONTIDAL WETLANDS IN MARYLAND. A LETTER OF INTENT WAS ISSUED (DEC. 20, 2004) BY MDE TO APPROVE AND ISSUE A LETTER OF AUTHORIZATION (LOA) FOR THE DISTURBANCE OF THE WETLANDS.
- THIS PROJECT IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL 45-2003 AND THE ZONING REGULATIONS AS AMENDED BY COUNCIL BILL 75-2003. DEVELOPMENT OR CONSTRUCTION ON THIS PROPERTY MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION APPLICATION OR BUILDING/GRADING PERMIT APPLICATIONS.

BENCHMARKS

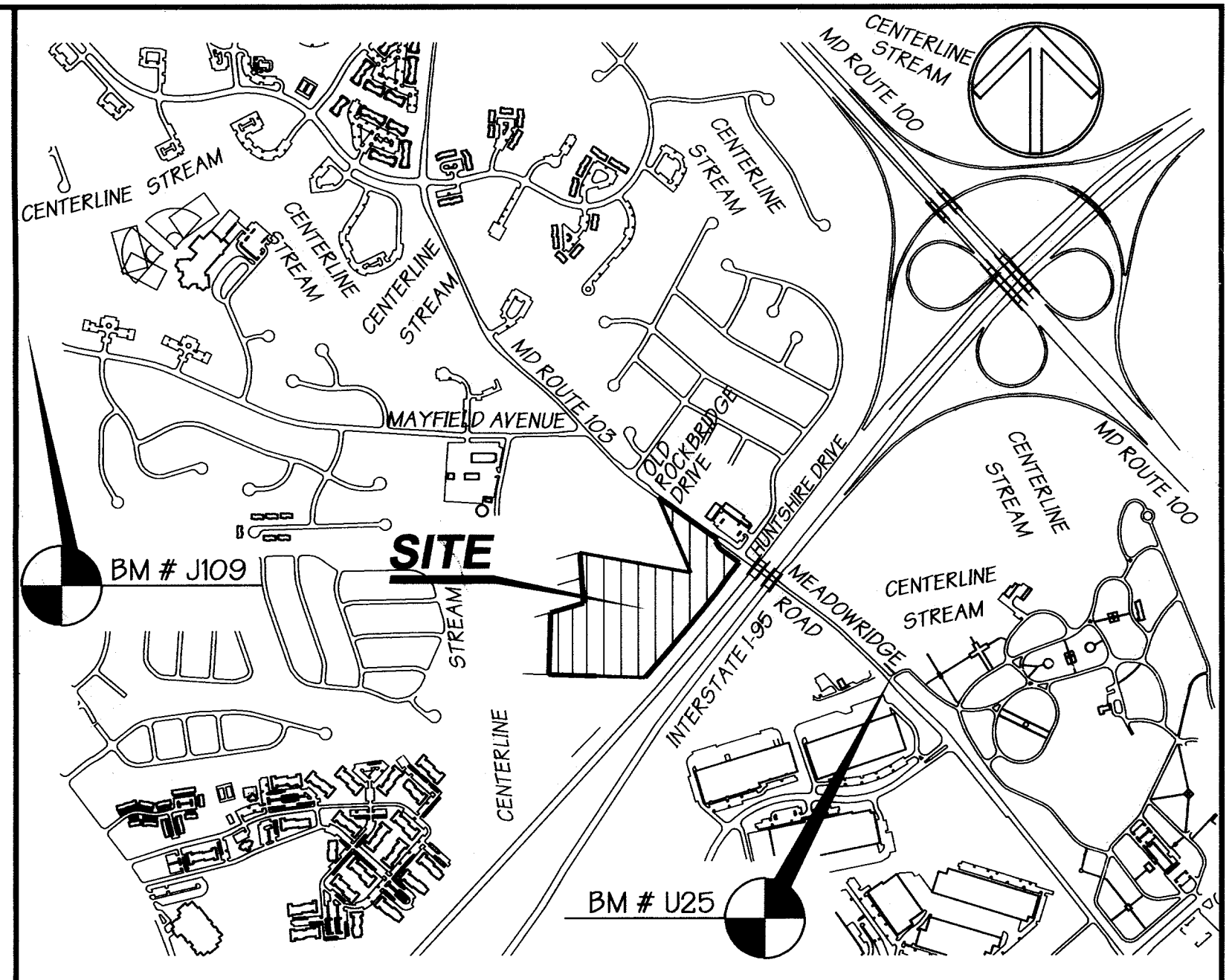
NOTE: HORIZONTAL AND VERTICAL DATUMS BASED ON (NAD 83) MARYLAND STATE COORDINATE SYSTEM AS PROJECTED BY NATIONAL GEODETIC SURVEY MONUMENT CONTROL STATIONS.

BM # J 109 ELEVATION 348.04 NAD 83
 THE DISK IS SET IN A CONCRETE MONUMENT PROJECTING TEN CENTIMETERS AND THE DISK IS STAMPED J 109 1965 USC AND GS

N 557,526.35 E 1,370,661.99

BM # U 25 ELEVATION 215.39 NAD 83
 THE DISK IS SET IN A ROUND CONCRETE POST PROJECTING SIX INCHES AND THE DISK IS STAMPED U 25 1957

N 554,701.88 E 1,377,647.62



Site Data

TOTAL AREA OF SITE - EXISTING ZONING - PROPERTY REFERENCE - EXISTING USE - PROPOSED USE - BUILDING COVERAGE - % OF BUILDING COVERAGE - FLOOR AREA - FLOOR AREA RATIO - AREA TO BE PAVED PLUS BUILDING AREA - TOTAL AREA OF PARKING LOT - % OF PARKING LOT COVERAGE - AREA TO BE DISTURBED - AREA TO BE VEGETATIVELY STABILIZED - PARKING SPACES REQUIRED (3.3 SP/1000 SF): PARKING SPACES PROVIDED: (INCLUDING 25 HANDICAP SPACES)

1,077,544 Sq. Ft. or 24.737 Ac. +/- CCT
L. 5975 F. 118 VACANT
GENERAL OFFICE
136,701 Sq. Ft.
12.8%
203,228 Sq. Ft.
0.23
548,850 Sq. Ft. or 12.6 Ac.
344,125 Sq. Ft. or 7.9 Ac. +/-
32%
808,100 Sq. Ft. or 18.55 Ac. +/-
259,250 Sq. Ft. or 5.95 Ac. +/-
812 SPACES
867 SPACES

Site Development Plans for THE MEADOWS CORPORATE PARK Parcel 'A' Howard County, Maryland SDP 05 - 072

SITE USE AND PARKING TABULATION

A. EXISTING USE VACANT

B. NUMBER OF PARKING SPACES REQUIRED

BUILDING NO. 1 - 29,760 SQ. FT.	OFFICE BUILDING - 3.3 SP. / 1,000 SQ. FT. X 29,760 SQ. FT. = 99 SPACES REQ'D INCLUDING 4 HANDICAPPED
BUILDING NO. 2 - 70,734 SQ. FT.	OFFICE BUILDING - 3.3 SP. / 1,000 SQ. FT. X 70,734 SQ. FT. = 234 SPACES REQ'D INCLUDING 7 HANDICAPPED
BUILDING NO. 3 - 70,734 SQ. FT.	OFFICE BUILDING - 3.3 SP. / 1,000 SQ. FT. X 70,734 SQ. FT. = 234 SPACES REQ'D INCLUDING 7 HANDICAPPED
BUILDING NO. 4 - 32,000 SQ. FT.	OFFICE BUILDING - 3.3 SP. / 1,000 SQ. FT. X 32,000 SQ. FT. = 106 SPACES REQ'D INCLUDING 7 HANDICAPPED
TOTAL OFFICE BUILDING = 203,228 SQ. FT. = 673 SPACES REQ'D INCLUDING 25 HANDICAPPED	

C. TOTAL NUMBER OF PARKING SPACES PROVIDED 812 SPACES INCLUDING 25 HANDICAPPED

Index of Sheets

- SHEET NO. 1 - COVER SHEET
- SHEET NO. 2 - EXISTING CONDITIONS PLAN
- SHEET NO. 3 - EXISTING CONDITIONS PLAN
- SHEET NO. 4 - SITE PLAN
- SHEET NO. 5 - SITE PLAN
- SHEET NO. 6 - SITE PLAN DETAILS
- SHEET NO. 7 - SITE PLAN DETAILS
- SHEET NO. 8 - BUILDING SECTIONS
- SHEET NO. 9 - DRAINAGE AREA MAP AND STORM DRAIN COMPUTATIONS
- SHEET NO. 10 - STORM DRAIN PROFILES
- SHEET NO. 11 - STORM DRAIN PROFILES
- SHEET NO. 12 - SANITARY SEWER PROFILES
- SHEET NO. 13 - STORMWATER MANAGEMENT PLAN & PROFILES POND NO. 1
- SHEET NO. 14 - STORMWATER MANAGEMENT PLAN, PROFILES & DETAILS POND NO. 1 & 3
- SHEET NO. 15 - STORMWATER MANAGEMENT NOTES & DETAILS POND NO. 1
- SHEET NO. 16 - STORMWATER MANAGEMENT NOTES & DETAILS POND NO. 3
- SHEET NO. 17 - STORMWATER MANAGEMENT PLAN & PROFILES POND NO. 2
- SHEET NO. 18 - STORMWATER MANAGEMENT NOTES & DETAILS POND NO. 2
- SHEET NO. 19 - GROUND WATER RECHARGE FACILITY No.4 PLAN, PROFILES & DETAILS
- SHEET NO. 20 - STORMWATER MANAGEMENT NOTES & DETAILS POND NO. 2
- SHEET NO. 21 - STORMWATER MANAGEMENT SOIL BORING DETAILS
- SHEET NO. 22 - STORMWATER MANAGEMENT EXISTING DRAINAGE AREA MAP
- SHEET NO. 23 - STORMWATER MANAGEMENT PROPOSED DRAINAGE AREA MAP
- SHEET NO. 24 - EROSION AND SEDIMENT CONTROL PLAN
- SHEET NO. 25 - EROSION AND SEDIMENT CONTROL PLAN
- SHEET NO. 26 - EROSION AND SEDIMENT CONTROL NOTES AND DETAILS
- SHEET NO. 27 - SEDIMENT BASIN PLAN & PROFILES POND NO. 1
- SHEET NO. 28 - SEDIMENT BASIN NOTES & DETAILS POND NO. 1
- SHEET NO. 29 - SEDIMENT BASIN PLAN & PROFILES POND NO. 2
- SHEET NO. 30 - SEDIMENT BASIN NOTES & DETAILS POND NO. 2
- SHEET NO. 31 - SEDIMENT BASIN NOTES & DETAILS
- SHEET NO. 32 - RETAINING WALL NO. 2 - ELEVATIONS AND DETAILS
- SHEET NO. 33 - RETAINING WALL NO. 1 - ELEVATIONS AND DETAILS
- SHEET NO. 34 - FOREST CONSERVATION PLAN
- SHEET NO. 35 - FOREST CONSERVATION PLAN
- SHEET NO. 36 - WETLANDS AND FOREST STAND DELINEATION PLAN
- SHEET NO. 37 - WETLANDS AND FOREST STAND DELINEATION PLAN
- SHEET NO. 38 - LANDSCAPE PLAN
- SHEET NO. 39 - LANDSCAPE PLAN
- SHEET NO. 40 - SHA PLAN - ROAD WIDENING AND DETAILS
- SHEET NO. 41 - SHA PLAN - DRAINAGE AREA MAP AND PROFILES
- SHEET NO. 42 - SHA PLAN - STRIPPING AND PAVEMENT MARKING PLAN
- SHEET NO. 43 - SHA PLAN - MITIGATION PLAN

Vicinity Map

SCALE: 1" = 1000'

OWNER / DEVELOPER Merritt Properties, LLC 2066 Lord Baltimore Drive Baltimore, Maryland 21244	ADDRESS CHART	
	PARCEL NO.	STREET ADDRESS
	PAR. 'A'; BLDG. NO. 1	6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	PAR. 'A'; BLDG. NO. 2	6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR. 'A'; BLDG. NO. 3	6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103	
PAR. 'A'; BLDG. NO. 4	6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103	
PROJECT NAME The Meadows Corporate Park		SECTION NAME Elkridge
LIBER / FOLIO GRID (PLAT NO. 21673 HS)		TAX MAP 22
WATER CODE B-02		SEWER CODE 4020000

DESIGNED BY: H.P.P.
 DRAWN BY: H.P.P.
 CHECKED BY: H.P.P.
 REVISIONS

Cover Sheet

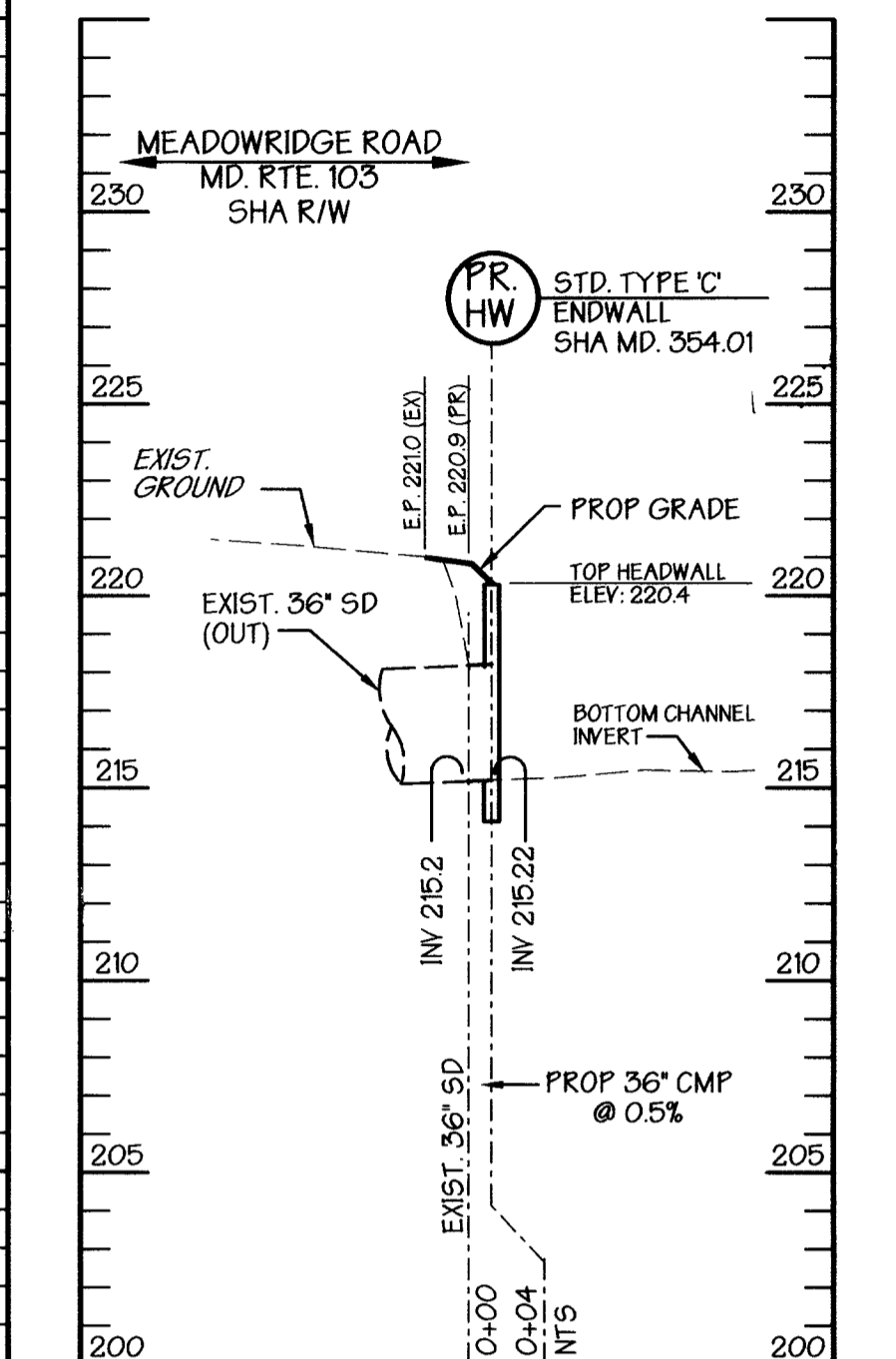
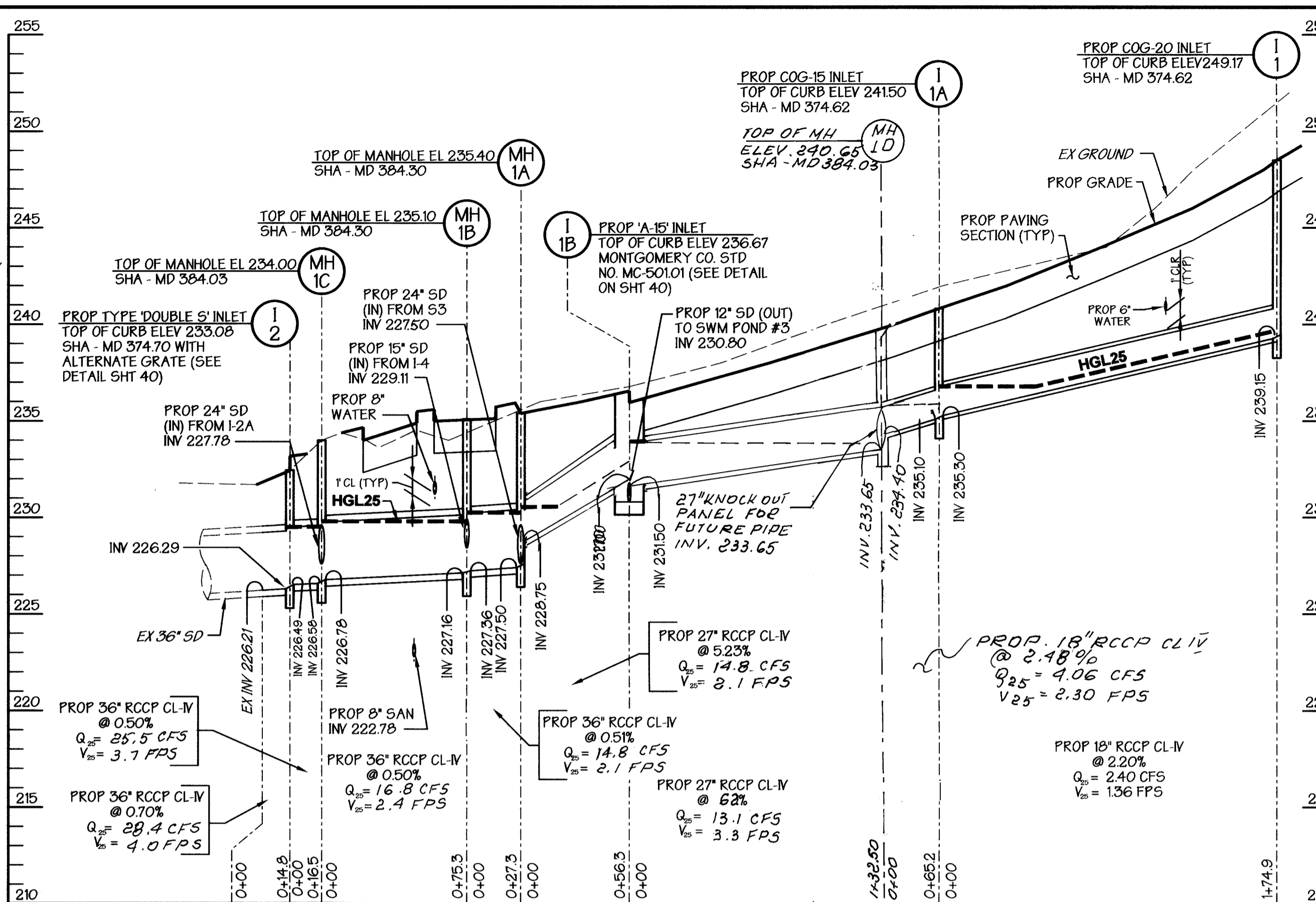
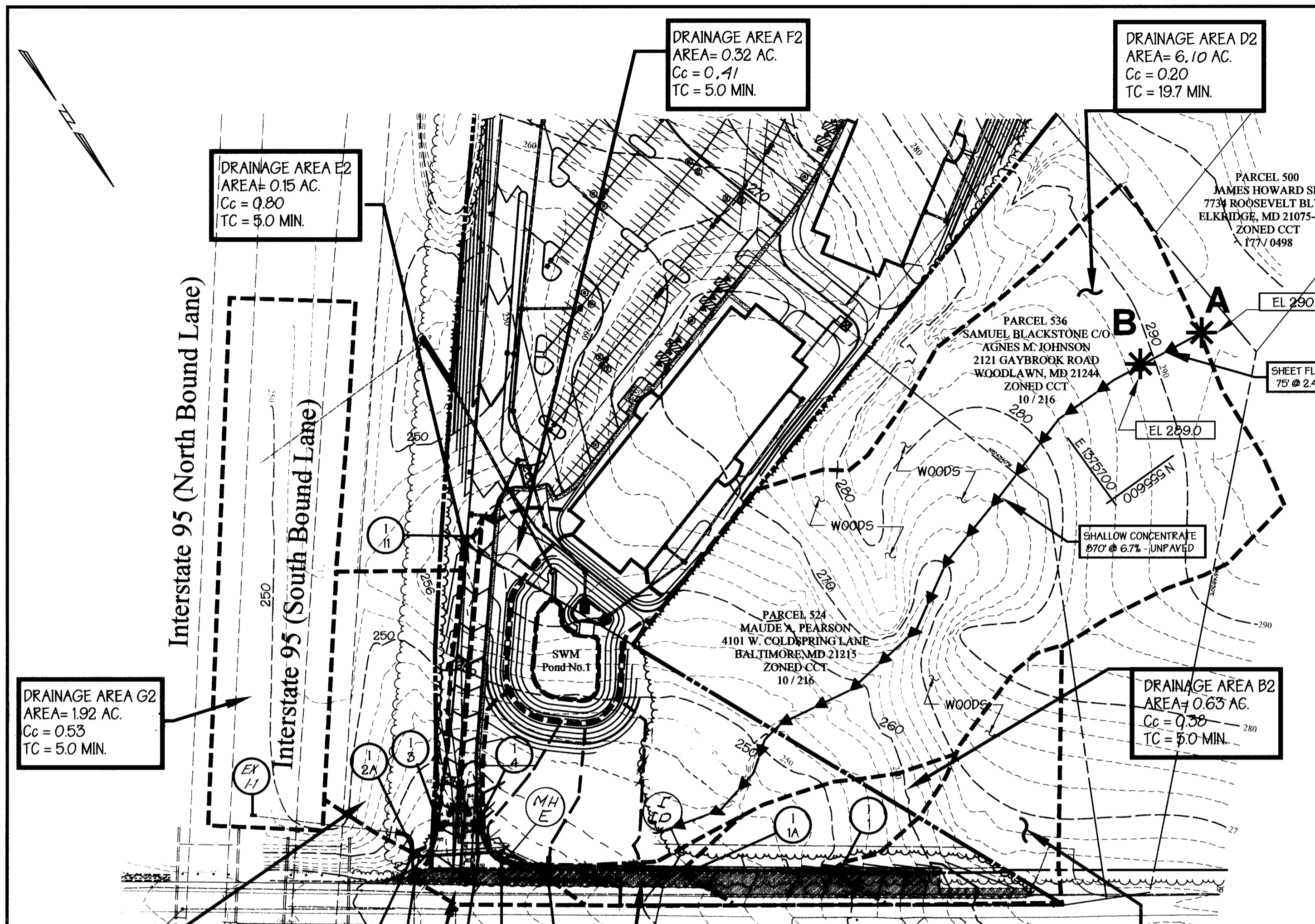
The Meadows Corporate Park
 Parcel 'A' THRU 'A-4'

Site Improvements: General Offices
 Election District No.1
 Howard County, Maryland

SDP-05-072
 Scale: As Shown
 Date: December 06, 2004

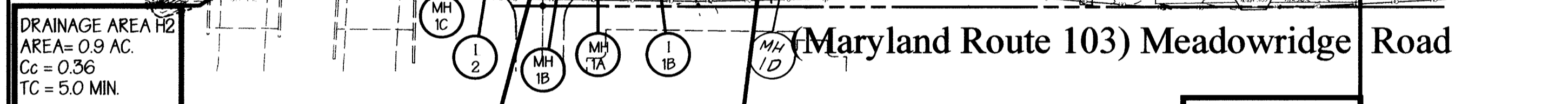
SHP-05-072

BY	NO.	REVISION	DATE
HP	1	REV. PARKING TAB. & BUILDING AREA NO. 1	9/10/05
HP	2	REV. PARKING TAB. & BUILDING AREA NO. 4 TO 32,000 SF - 6510 MEADOWRIDGE RD	5/10/06



**L-1 TO I-2
STORM DRAIN PROFILE**
SCALE: HORZ. 1" = 50'
VERT. 1" = 5'

**PROPOSED HEADWALL TO EX. 36" CMP
STORM DRAIN PROFILE**
SCALE: HORZ. 1" = 50'
VERT. 1" = 5'



STORM DRAIN COMPUTATION - 2 YEAR FREQ.

LOCATION	AREA	COEFF	TIME CONC. MIN	INTENSITY	Q=CA	PIPE #	0.014	REMARKS
FROM	TO	SUB	TOTAL	CA	CA	INLET	DRAIN	TOTAL
I-1	A2	0.99	0.30	0.30	5.0	5.0	5.38	1.61
I-1A	B2	0.63	0.38	0.24	19.3	19.3	2.78	0.67
I-1B	C2	0.55	0.46	0.25	5.0	5.0	5.38	0.35
I-2	I2	0.50	0.40	0.27	5.0	5.0	5.38	0.45
I-3	E2	0.15	0.80	0.12	5.0	5.0	5.38	0.65
I-4	F2	0.50	0.41	0.21	5.0	5.0	5.38	0.3

STORM DRAIN COMPUTATION - 25 YEAR FREQ.

LOCATION	AREA	COEFF	TIME CONC. MIN	INTENSITY	Q=CA	PIPE #	0.014	REMARKS
FROM	TO	SUB	TOTAL	CA	CA	INLET	DRAIN	TOTAL
I-1	A2	0.99	0.30	0.30	5.0	5.0	5.00	2.40
I-1A	B2	0.63	0.38	0.24	0.30	5.0	8.00	2.40
I-1A	B2	0.63	0.38	0.24	5.0	5.0	8.00	1.92
I-1A	MH-1D	A2-B2	1.62	0.54	5.0	2.1	7.2	4.08
MH-1D	I-1B	A2-C2	7.72	7.72	7.2	0.2	7.4	1.47
I-1B	C2	0.55	0.46	0.25	5.0	5.0	8.00	2.0
I-1B	MH-1A	A2-D2	0.27	2.01	7.4	0.5	7.8	7.35
I-1E	MH-1D	D2	6.10	0.20	1.22	19.7	19.7	5.22
MH-1D	I-1B	A2-B2	7.72	1.76	7.2	0.2	7.4	7.47
I-1B	C2	0.55	0.46	0.25	5.0	5.0	8.00	2.00
MH-1A	MH-1B	A2-D2	8.27	2.01	7.4	5	7.8	7.35
I-1B	MH-1A	A2-D2	8.27	2.01	7.4	0.3	8.1	7.30
I-3	E2	0.15	0.80	0.12	5.0	5.0	8.00	0.96
I-4	F2	0.50	0.41	0.21	5.0	5.0	8.00	0.96
MH-1B	MH-1C	A2-F2	8.92	2.34	8.1	0.2	8.3	7.21
EX I-1	G2	1.92	1.02	5.0	5.0	8.00	8.16	2.40
EX I-1	A2	0.94	0.36	0.34	5.0	5.0	8.00	2.72
I-2A	MH-1C	G2-H2	2.86	1.36	5.0	0.2	5.2	7.97
MH-1C	I-2	A2-H2	11.78	3.70	8.3	0.2	8.5	7.15
I-2	G2	0.50	0.54	0.27	5.0	5.0	8.00	2.16
I-2	EX	A2-G2	12.28	3.97	8.5	0.1	8.6	6.88

PIPE SCHEDULE

FROM	TO	SIZE (IN.)	TYPE	CLASS
I-1	I-1A	18"	RCCP	IV
I-1A	MH-1D	18"	RCCP	IV
I-1B	MH-1A	27"	RCCP	IV
MH-1A	MH-1B	36"	RCCP	IV
MH-1B	MH-1C	36"	RCCP	IV
I-2A	MH-1C	24"	RCCP	IV
MH-1C	I-2	36"	RCCP	IV
I-2	EX PIPE	36"	RCCP	IV
I-3	I-4	15"	RCCP	IV
I-4	MH-1B	15"	RCCP	IV

STRUCTURE SCHEDULE

No.	TYPE	INV IN	INV OUT	TOP OF CURB ELEV.	Q (cfs)	REMARKS
I-1	COG-20	235.15	249.17	2.40	SHA - MD 374.62	
I-1A	CO5-15	235.30	241.50	1.92	SHA - MD 374.62	
I-1B	A-15	231.50	236.67	1.36	MONTGOMERY CO. STD NO. MC-50101	
I-2	TYPE B1B	226.46	233.06	1.60	SHA - MD 378.04 WITH ALTERNATE CURVE VANE	
I-2A	TYPE K SINGLE OPEN.	227.78	233.06	10.84	SHA - MD 378.05	
I-3	INLET	233.00	233.00	0.96	STD.HO.CO.DTL. SD-4.34	
I-4	INLET	232.78	232.78	2.16	STD.HO.CO.DTL. SD-4.34	
MH-1A	INLET	227.50	227.50	5.00	SHA - MD 384.03	
MH-1B	INLET	227.16	227.16	5.00	SHA - MD 384.03	
MH-1C	INLET	226.58	226.58	5.00	SHA - MD 384.03	

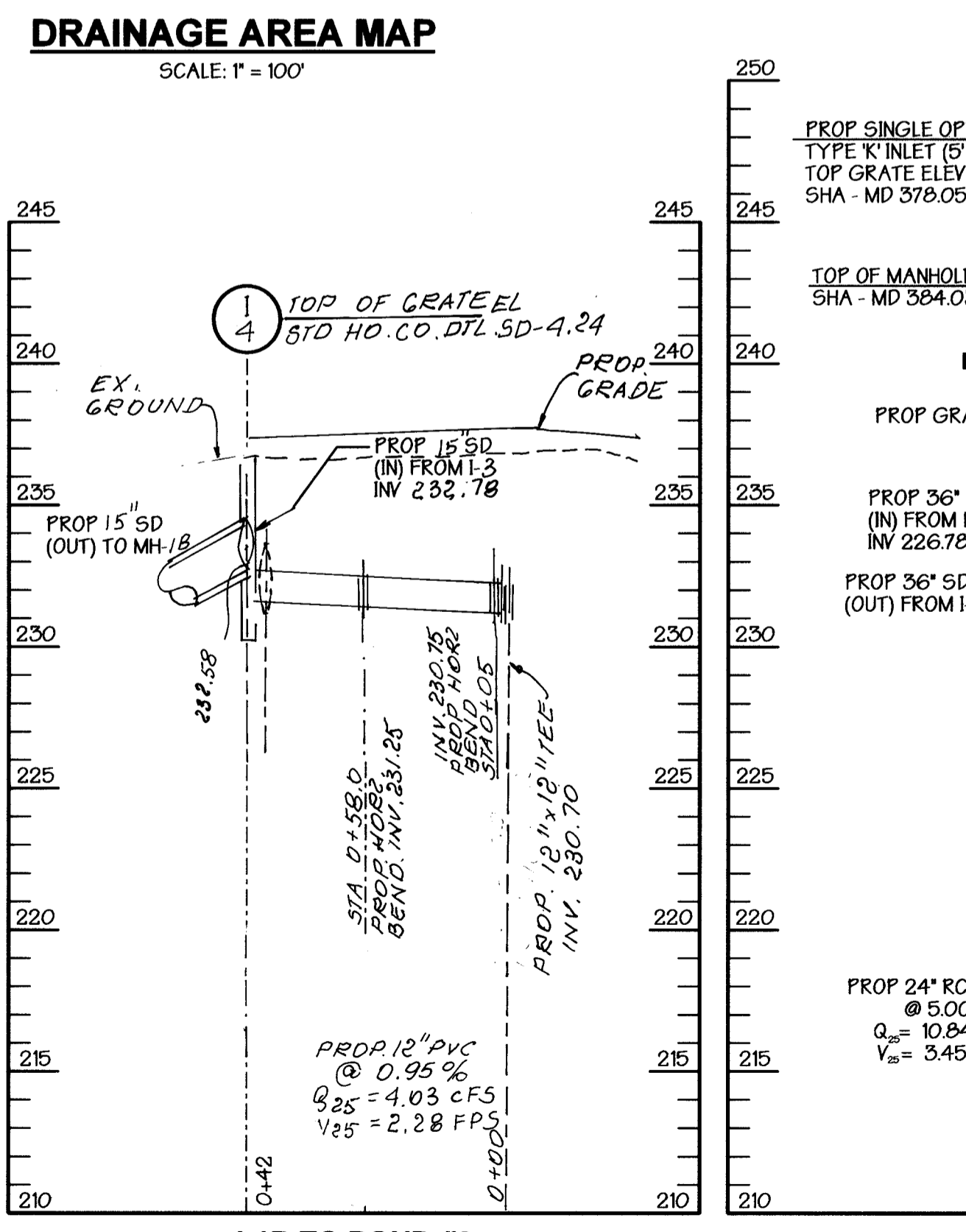
APPROVED: Howard County Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* DATE: 7/12/05

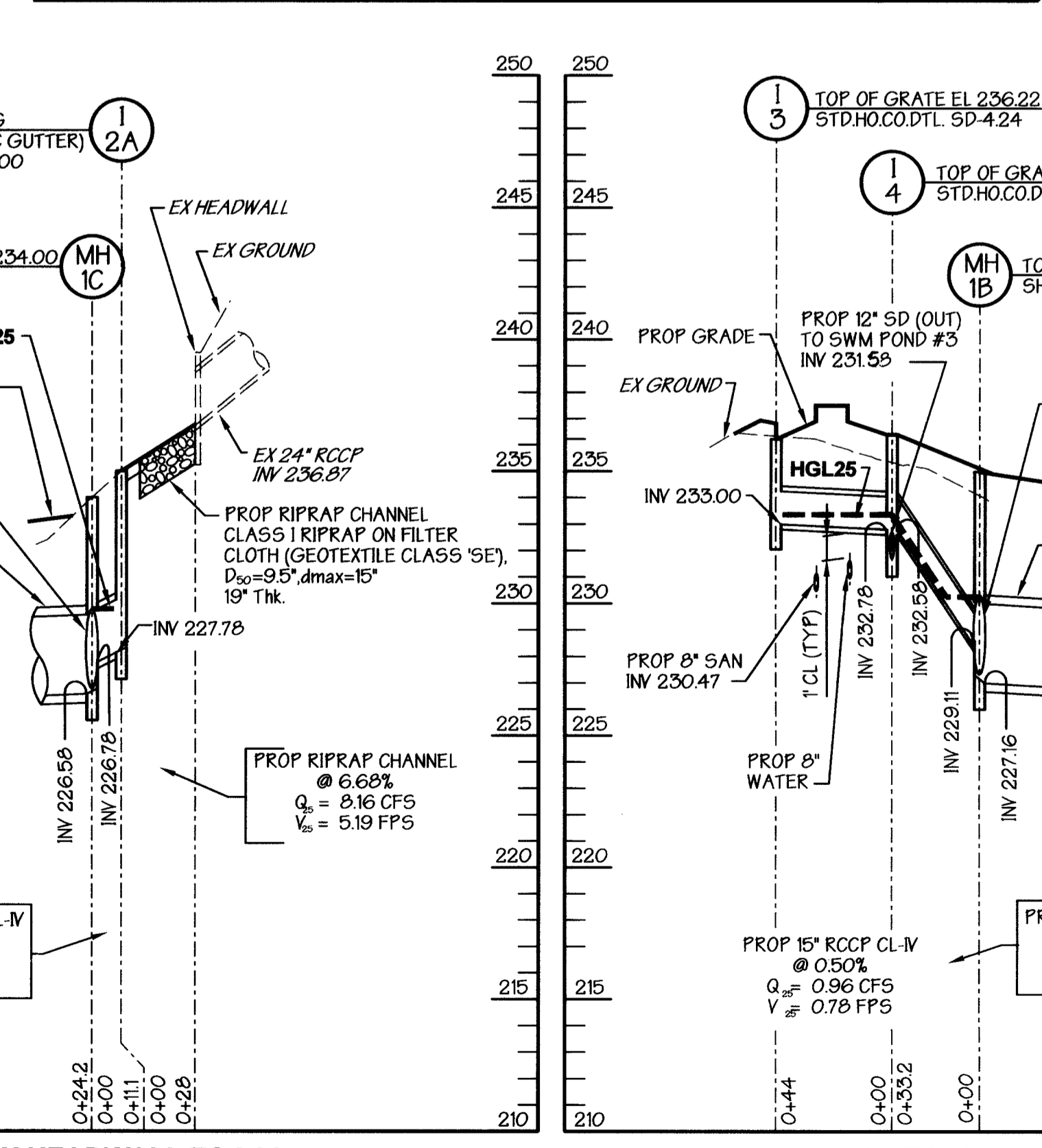
CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: 7/16/05

DIRECTOR: *[Signature]* DATE: 7/13/05

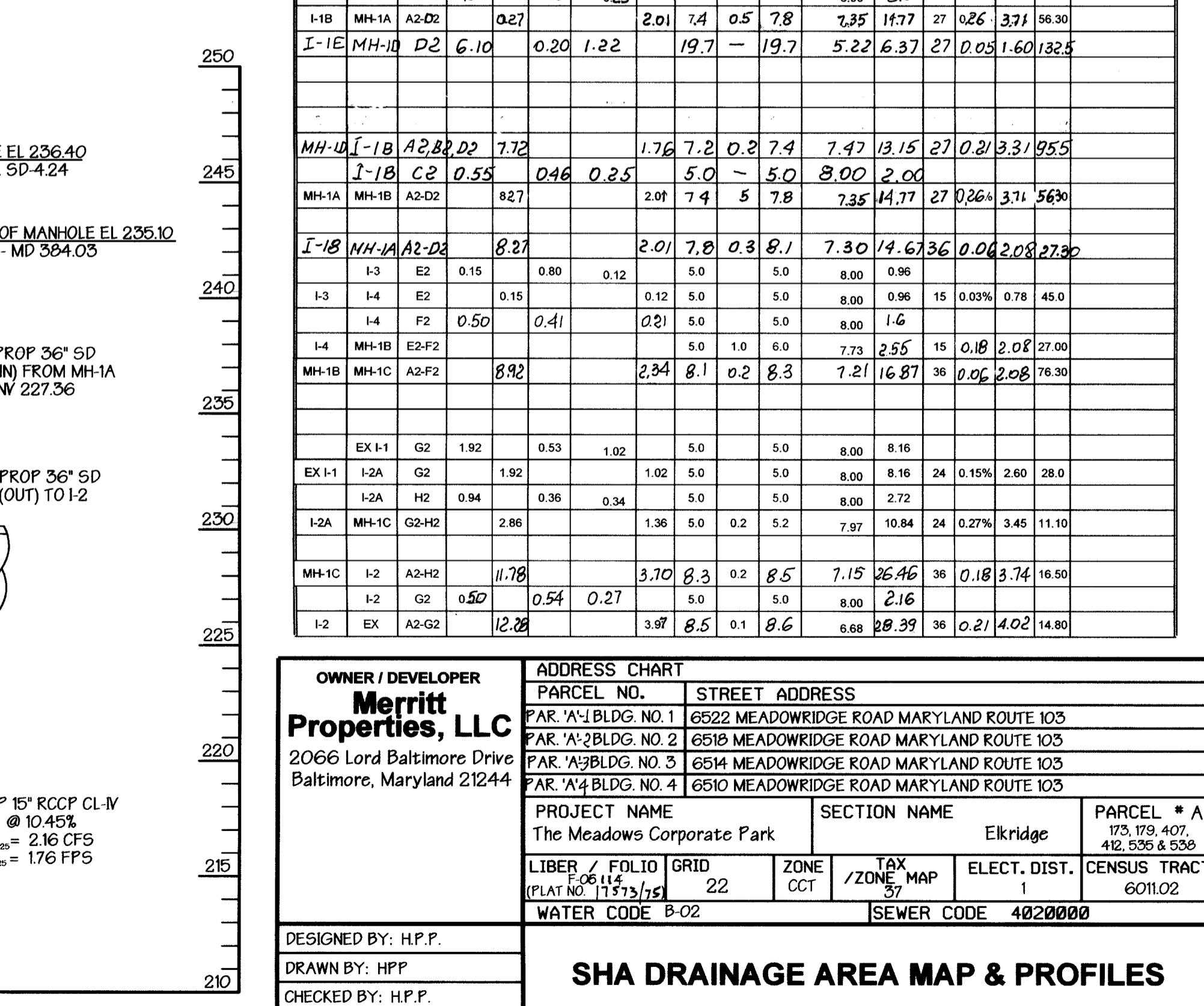
PREPARED BY: **GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**
Civil Engineers and Land Surveyors
1020 Cromwell Bridge Road
Towson, Maryland 21286
(410) 825-8120



**I-1B TO POND #3
STORM DRAIN PROFILE**
SCALE: HORZ. 1" = 50'
VERT. 1" = 5'



**EX HEADWALL TO I-2A
STORM DRAIN PROFILE**
SCALE: HORZ. 1" = 50'
VERT. 1" = 5'



**I-3 TO MH-1B
STORM DRAIN PROFILE**
SCALE: HORZ. 1" = 50'
VERT. 1" = 5'

OWNER / DEVELOPER
Merritt Properties, LLC
2066 Lord Baltimore Drive
Baltimore, Maryland 21244

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
PAR. 'A'1 BLDG. NO. 1	6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR. 'A'2 BLDG. NO. 2	6518 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR. 'A'3 BLDG. NO. 3	6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR. 'A'4 BLDG. NO. 4	6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103

PROJECT NAME
The Meadows Corporate Park

SECTION NAME
Elkridge

PARCEL # A
175, 178, 407, 412, 536 & 538

LIBER / FOLIO GRID
22

ZONE
CCT

TAX MAP
57

ELECT. DIST.
601102

CENSUS TRACT
601102

WATER CODE
B-02

SEWER CODE
4020000

DESIGNED BY: H.P.P.
DRAWN BY: H.P.P.
CHECKED BY: H.P.P.

REVISIONS
REVISED STORM DR. GWS - 5.15.2005

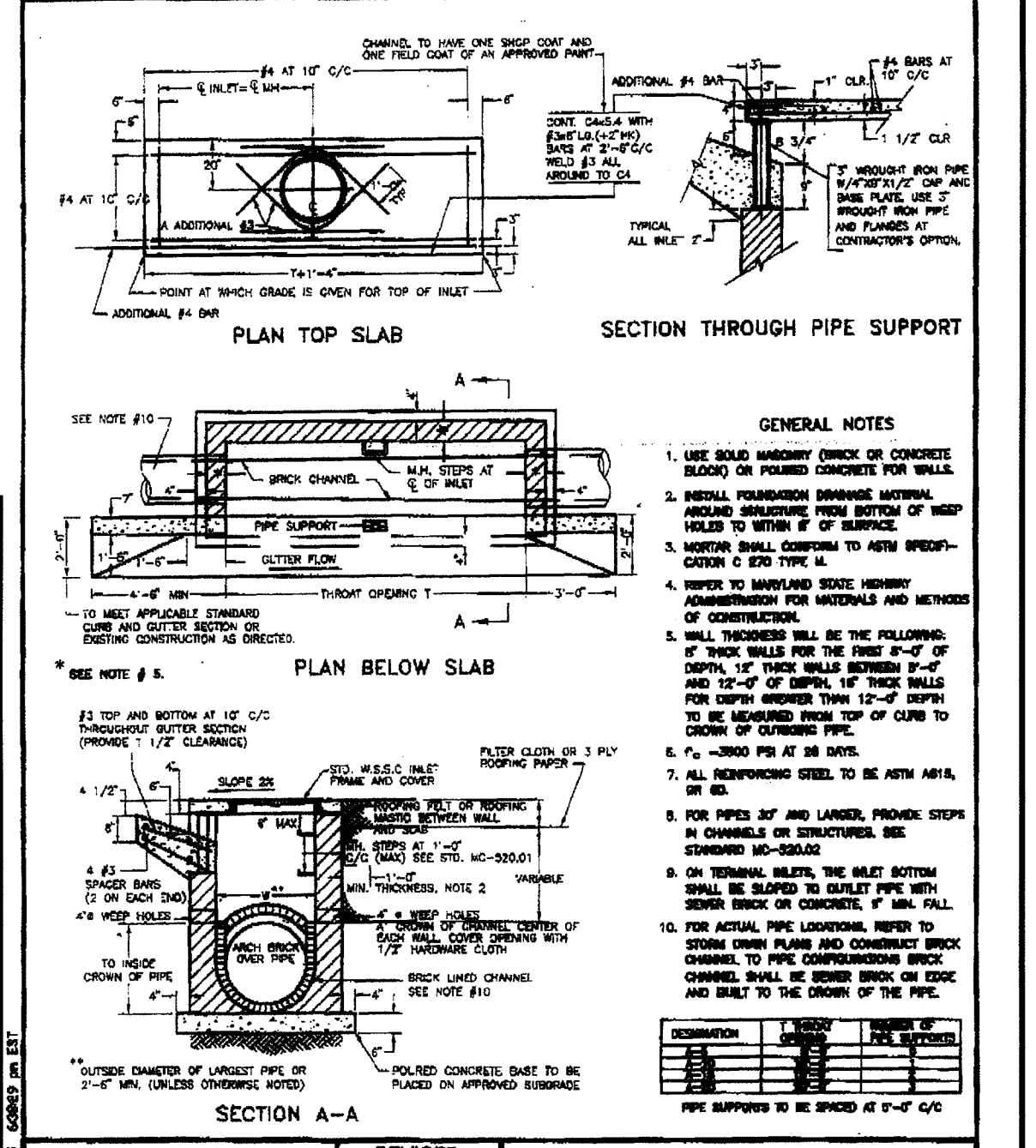
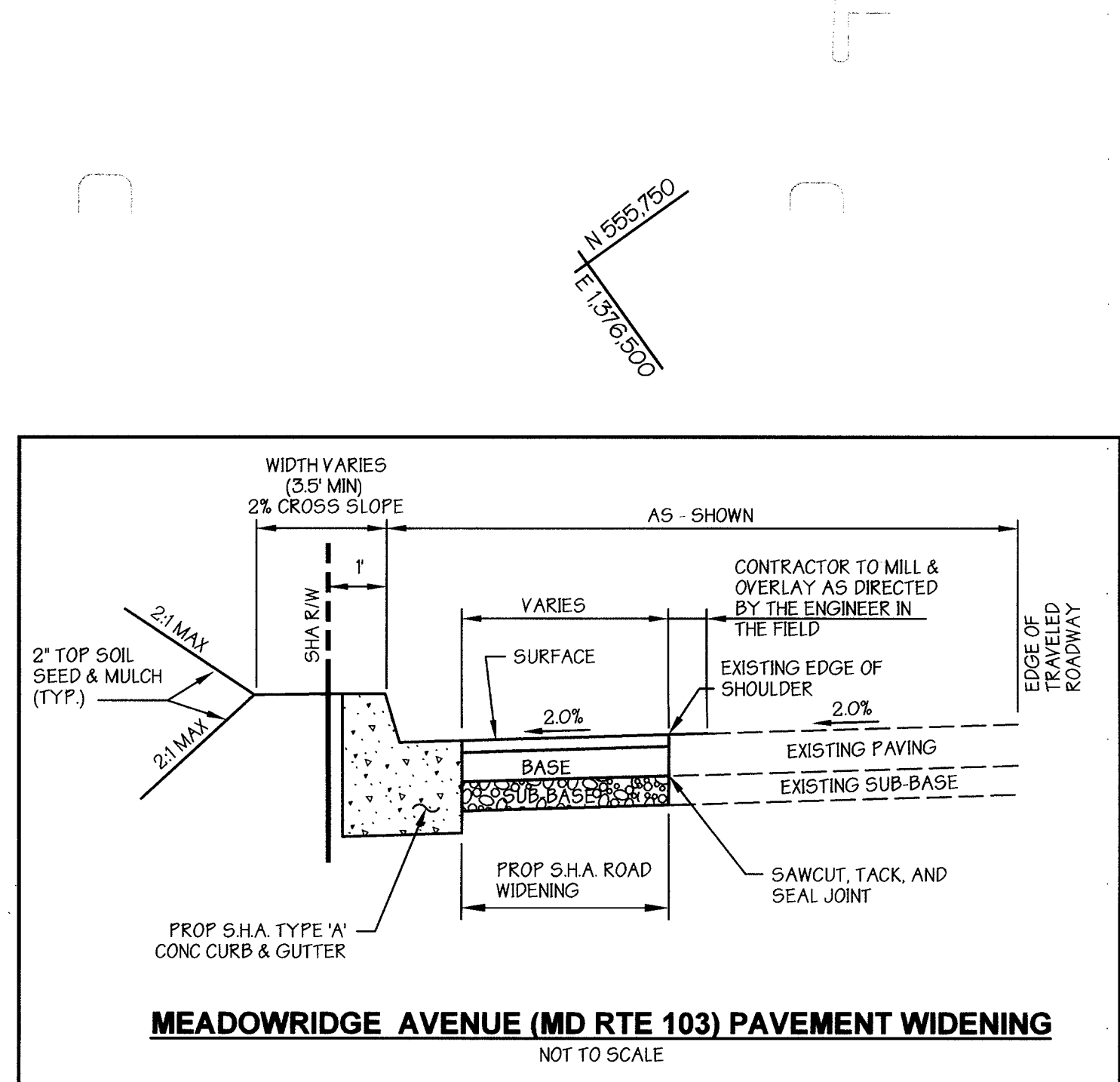
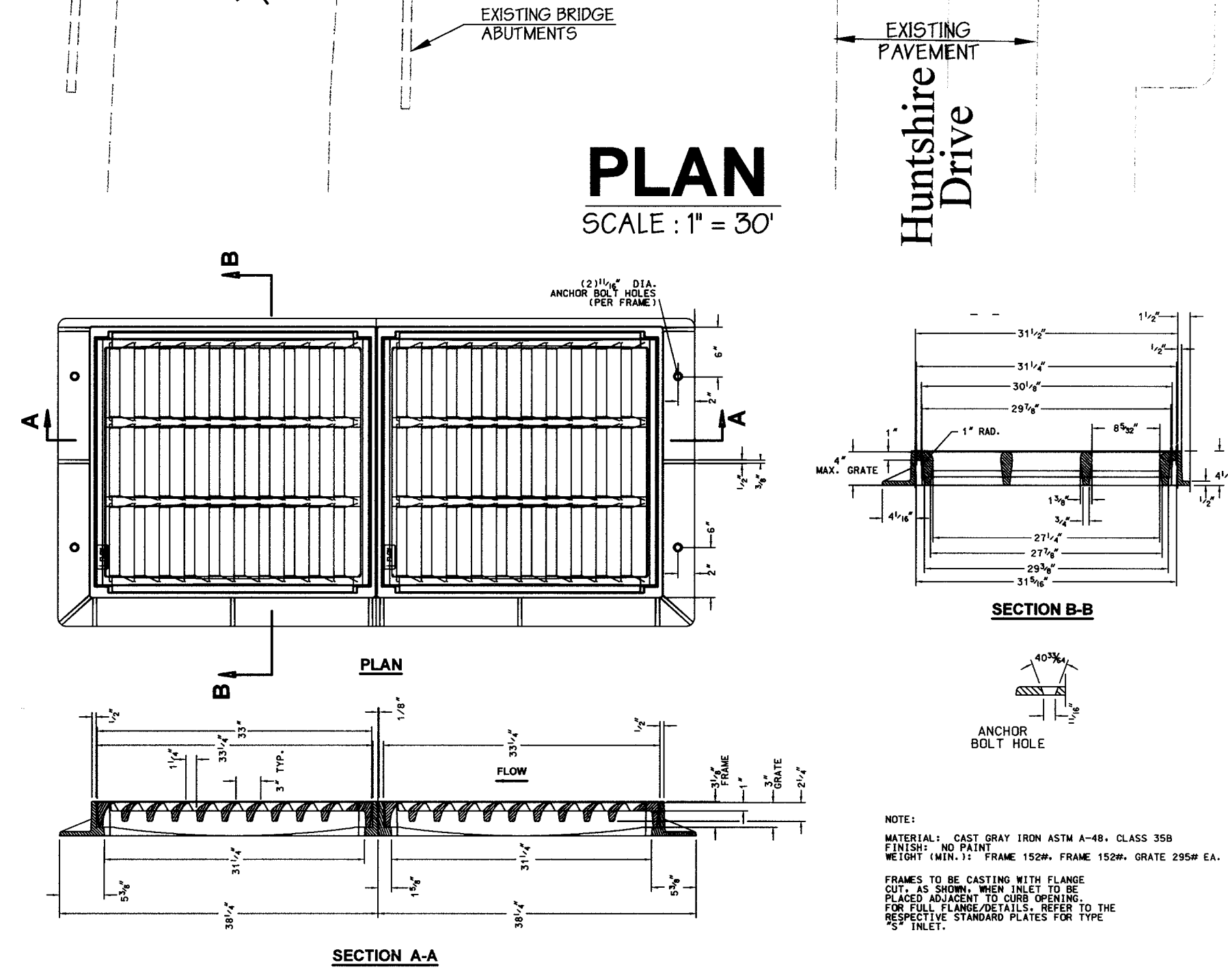
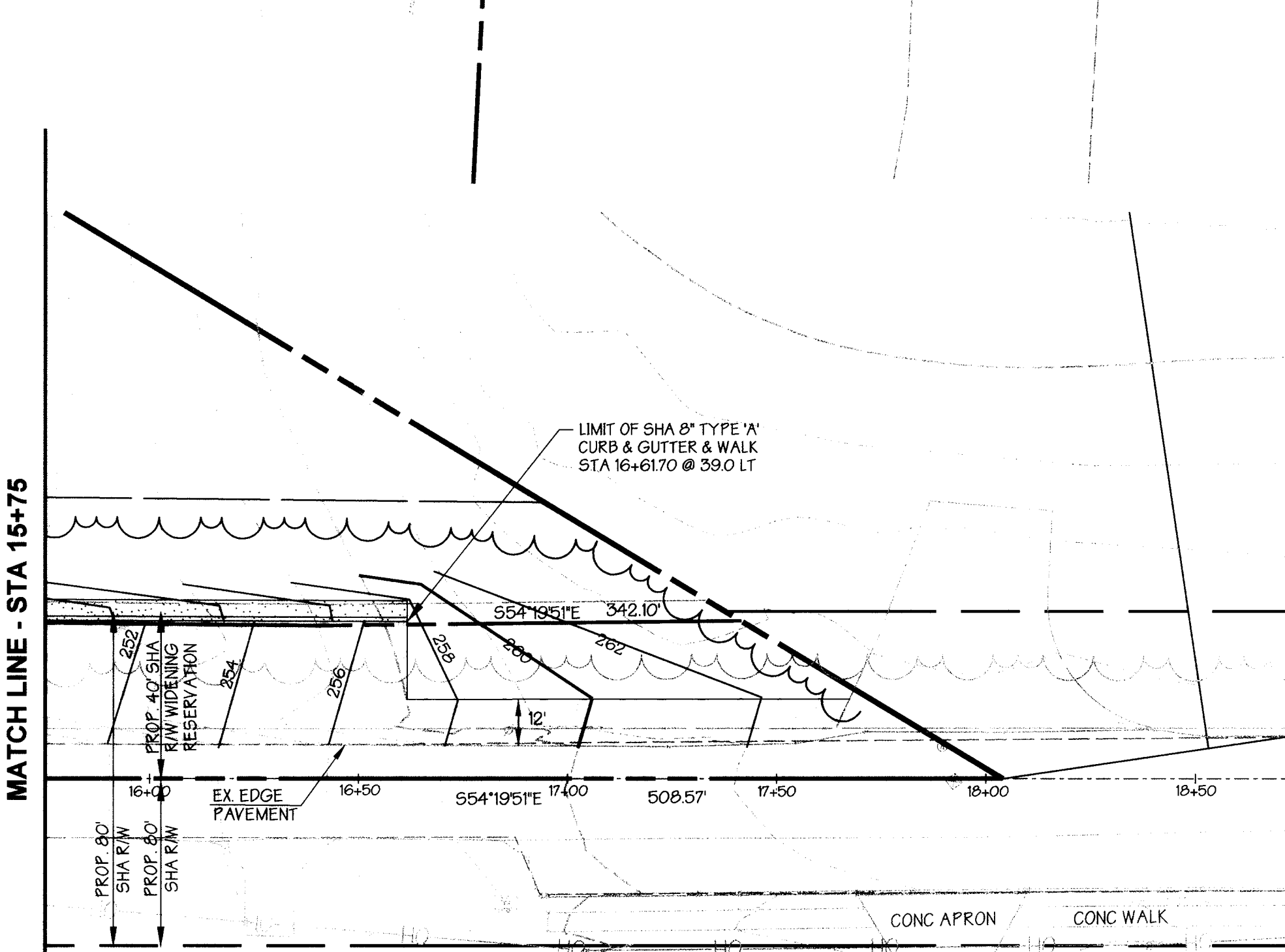
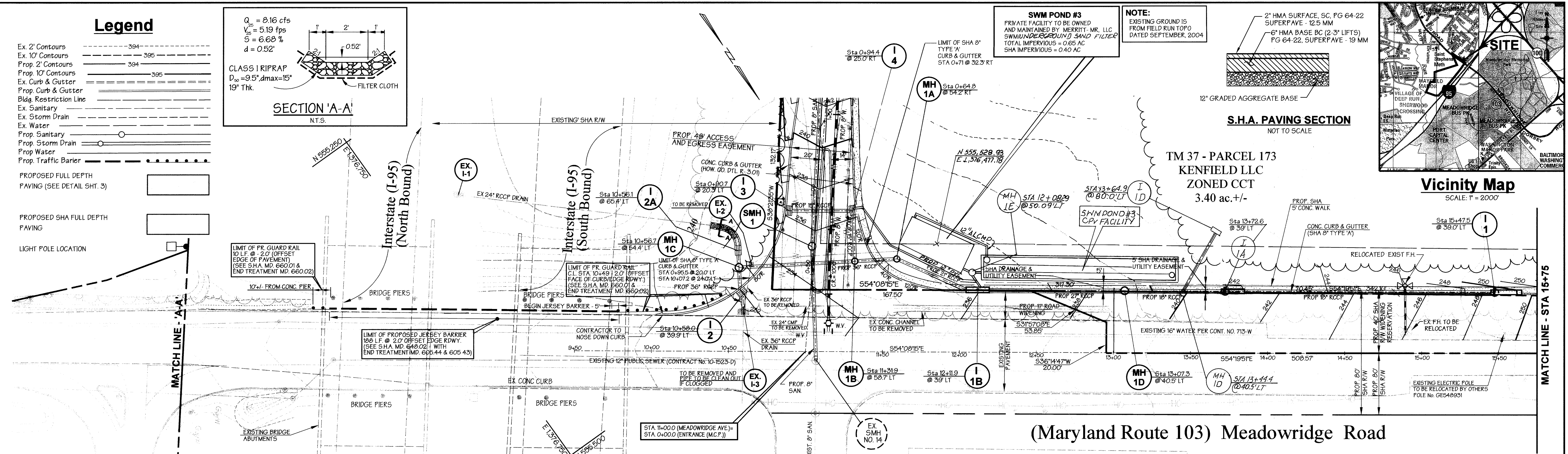
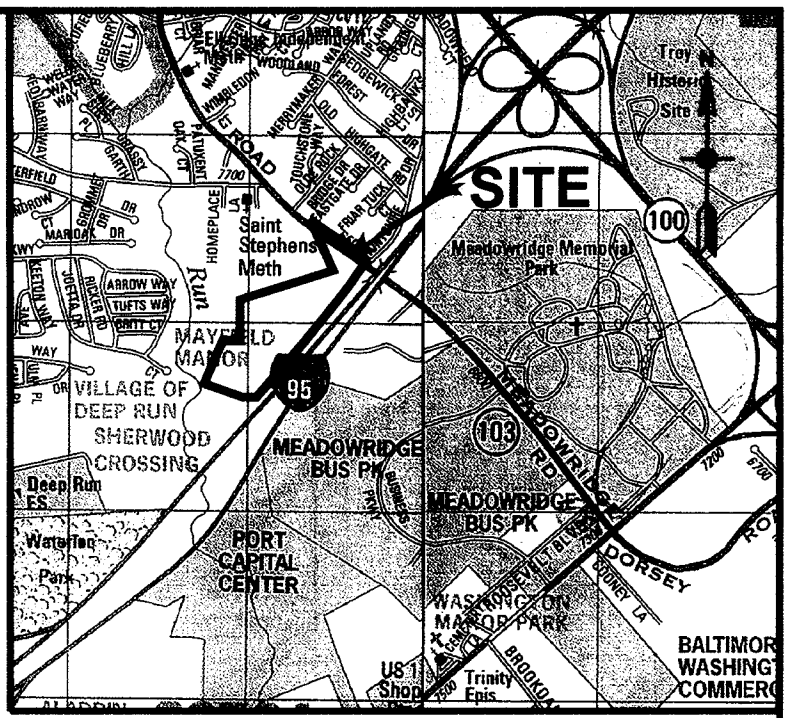
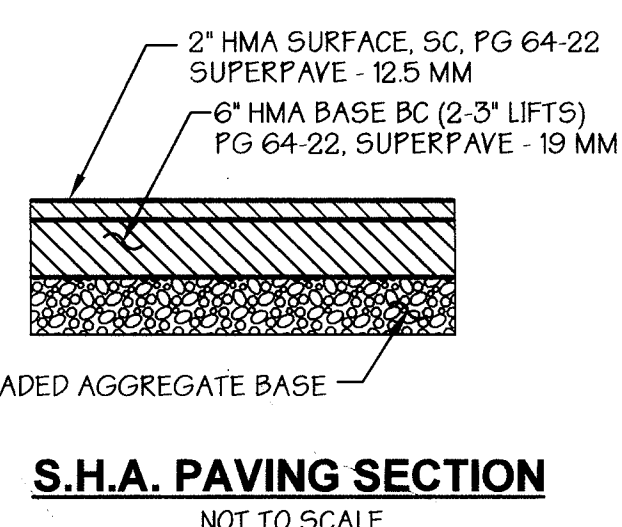
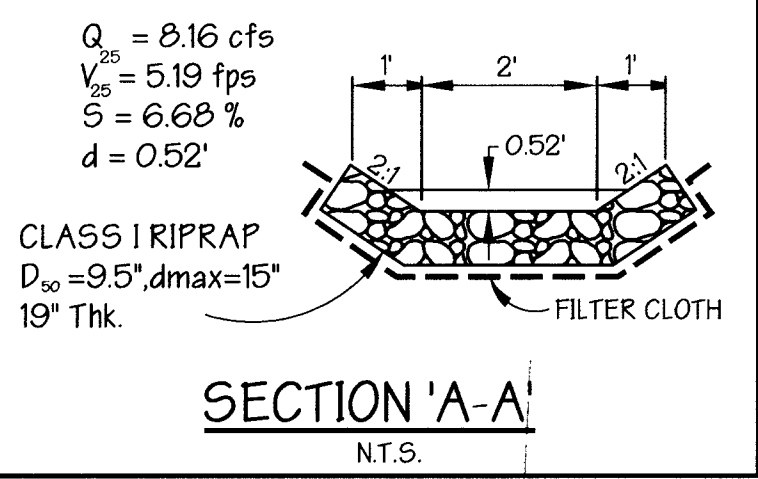
SHA DRAINAGE AREA MAP & PROFILES
The Meadows Corporate Park
Parcel 'A-1' THRU 'A-4'

Site Improvements: General Offices
Election District No.1
Howard County, Maryland
SHT. 41 OF 43
Date: December 06, 2004

SDP-05-072
Scale: As Shown
Date: December 06, 2004
F.N. 10-9698

Legend

- Ex. 2' Contours ----- 394
- Ex. 10' Contours ----- 395
- Prop. 2' Contours ----- 394
- Prop. 10' Contours ----- 395
- Ex. Curb & Gutter -----
- Prop. Curb & Gutter -----
- Bldg. Restriction Line -----
- Ex. Sanitary -----
- Ex. Storm Drain -----
- Ex. Water -----
- Prop. Sanitary -----
- Prop. Storm Drain -----
- Prop. Water -----
- Prop. Traffic Barrier -----



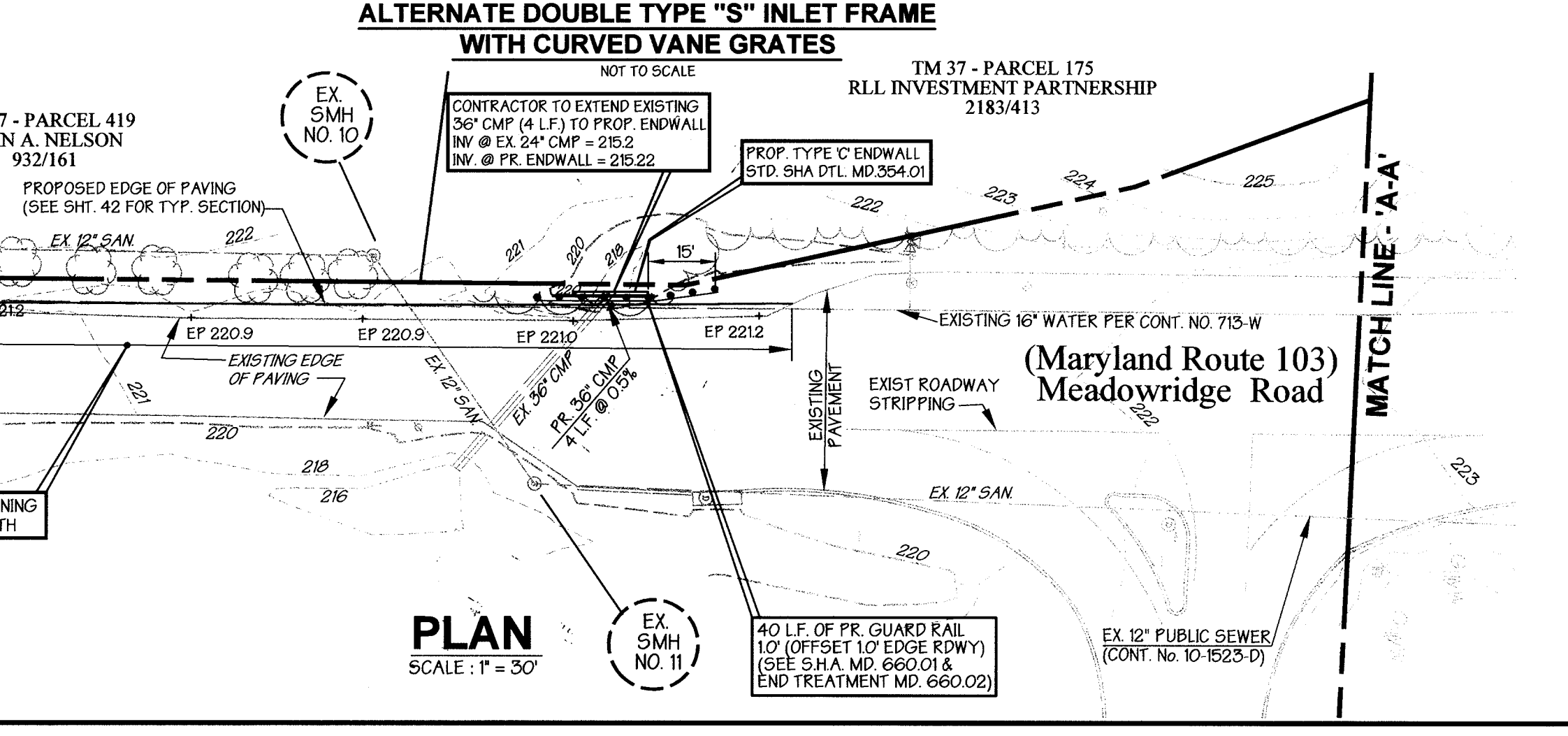
APPROVED: Howard County Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* DATE: 7/12/05

CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: 7/13/05

DIRECTOR: *[Signature]* DATE: 7/13/05

PREPARED BY: **GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**
Civil Engineers and Land Surveyors
1020 Cromwell Bridge Road
Towson, Maryland 21286
(410) 825-8120



MEADOWRIDGE AVENUE (MD RTE 103) PAVEMENT WIDENING	LT
CURB WIDENING STA & OFFSET	ELEV T/C
STA 12+00.05 @ 39.00' LT	236.44
STA 12+50.00 @ 39.00' LT	237.75
STA 13+00.00 @ 39.00' LT	240.77
STA 14+00.00 @ 39.00' LT	242.44
STA 14+50.00 @ 39.00' LT	244.42
STA 15+00.00 @ 39.00' LT	246.54
STA 15+50.00 @ 39.00' LT	249.35
STA 16+00.00 @ 39.00' LT	252.82
STA 16+50.00 @ 39.00' LT	256.52
STA 16+61.70 @ 39.00' LT	257.52

OWNER / DEVELOPER
Merritt Properties, LLC
2066 Lord Baltimore Drive
Baltimore, Maryland 21244

ADDRESS CHART

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PAR. 'A4' BLDG. NO. 4	6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103

PROJECT NAME
The Meadows Corporate Park

SECTION NAME
Elkridge

PARCEL # A
175,179,407, 412,535 & 536

LIBER / FOLIO GRID
175,179,407, 412,535 & 536

ZONE
CCT

TAX MAP
57

ELECT. DIST.
1

CENSUS TRACT
601102

WATER CODE
B-02

SEWER CODE
4020000

DESIGNED BY: H.P.P.
DRAWN BY: H.P.P.
CHECKED BY: H.P.P.

REVISIONS
REVISED SHA ROAD PLAN AND DETAILS
#3. GWS 5/15/2006

SHA ROAD PLAN AND DETAILS
The Meadows Corporate Park
Parcel 'A' thru 'A-4'

Site Improvements: General Offices SDP -05-072
Election District No.1 Scale: As Shown
Howard County, Maryland SHT. 40 OF 43 Date: December 06, 2004
SDP -05-072

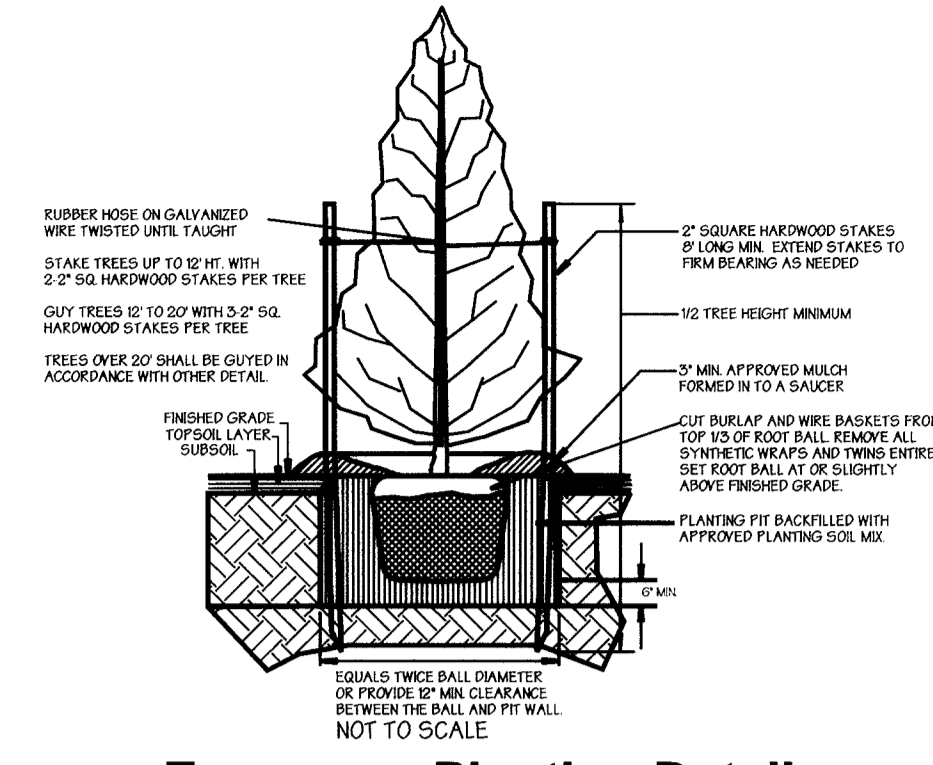
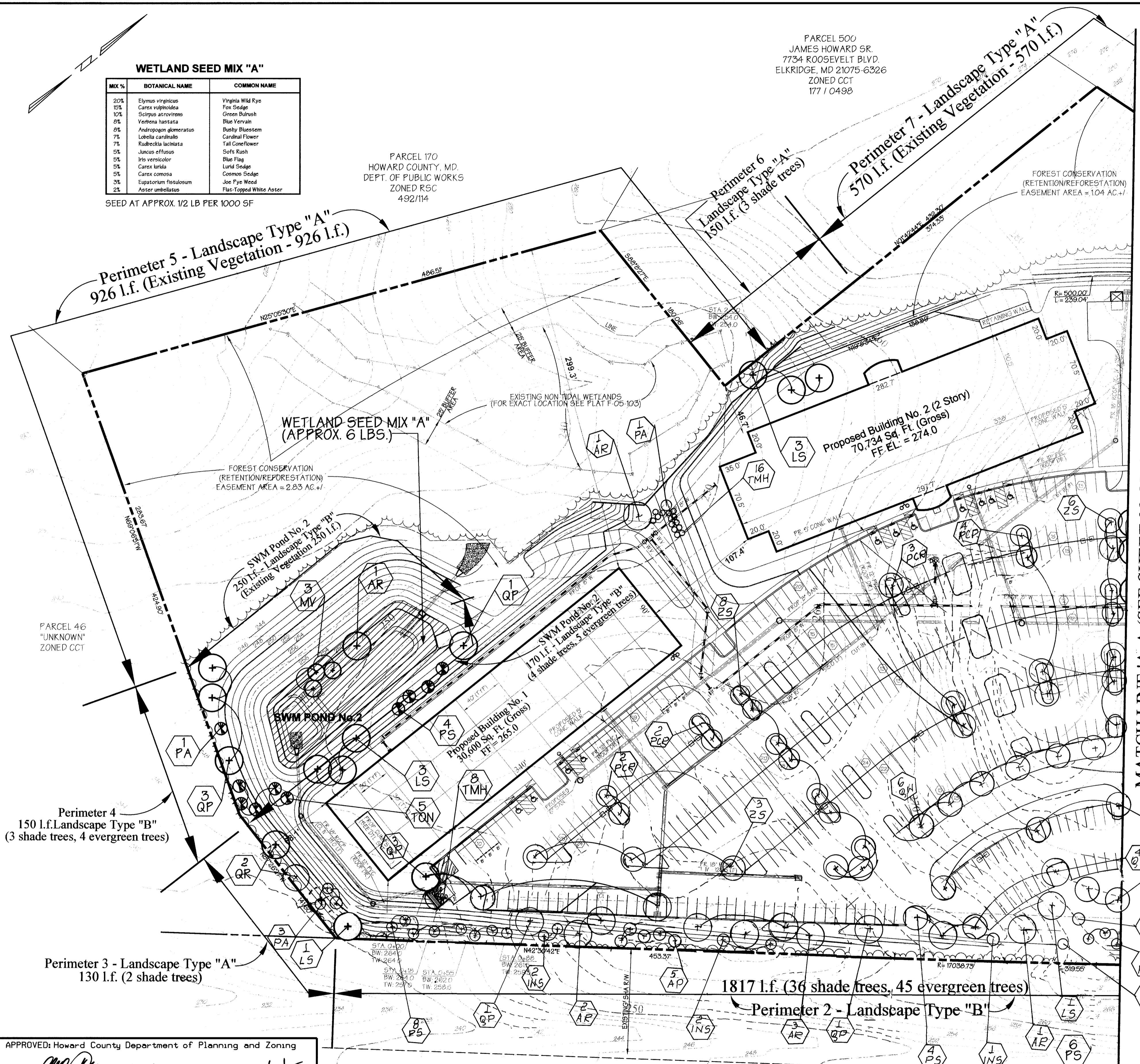
WETLAND SEED MIX "A"

MIX %	BOTANICAL NAME	COMMON NAME
20%	<i>Elymus virginicus</i>	Virginia Wild Ryegrass
10%	<i>Carex vulpocarpa</i>	Fox Sedge
10%	<i>Scirpus atrovirens</i>	Groen Bulrush
5%	<i>Veronica hastata</i>	Blue Veronica
5%	<i>Andropogon glomeratus</i>	Bushy Bluestem
5%	<i>Lebetta cardinalis</i>	Cardinal Flower
5%	<i>Rudbeckia laciniata</i>	Tall Coneflower
5%	<i>Juncus effusus</i>	Soft Rush
5%	<i>Iris versicolor</i>	Blue Flag
5%	<i>Carex lurida</i>	Lurid Sedge
5%	<i>Carex comosa</i>	Common Sedge
5%	<i>Eupatorium fistulosum</i>	Joe Pye Weed
5%	<i>Aster umbellatus</i>	Flax-Topped White Aster

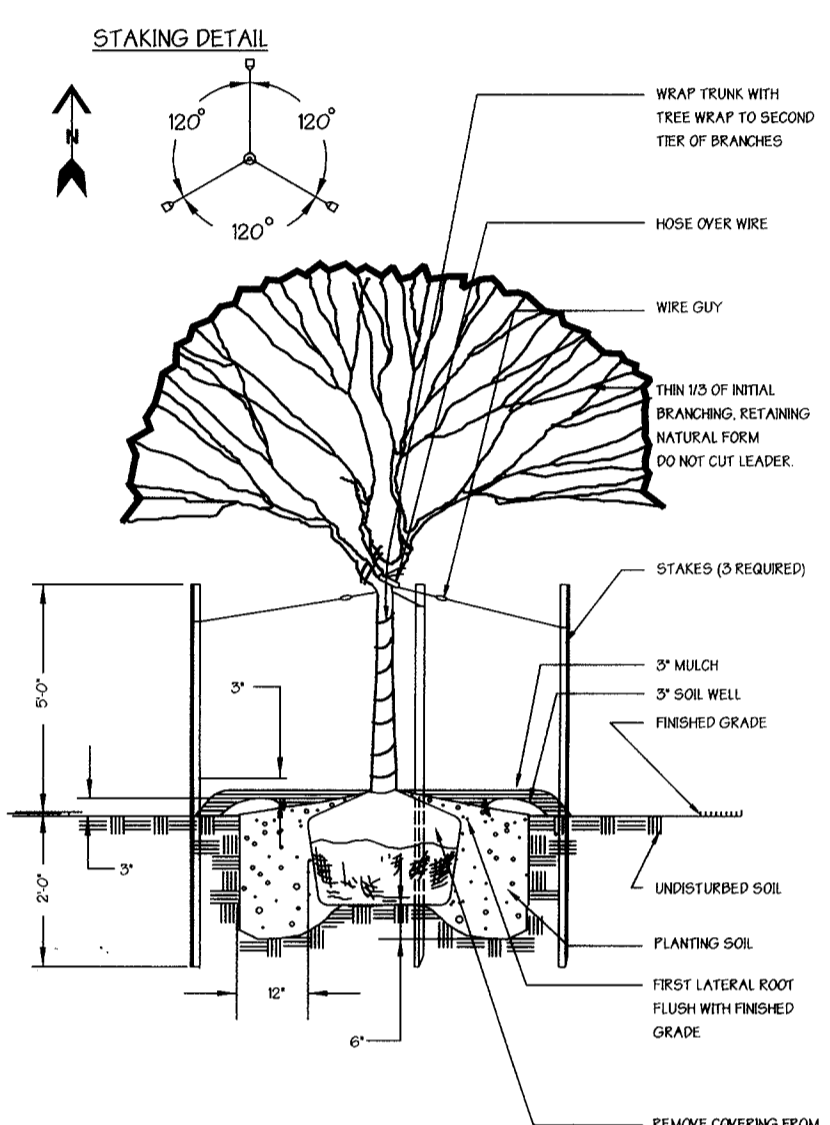
SEED AT APPROX. 1/2 LB PER 1000 SF

PARCEL 500
JAMES HOWARD SR.
7734 ROOSEVELT BLVD.
ELK RIDGE, MD 21075-6326
ZONED CCT
177 / 0498

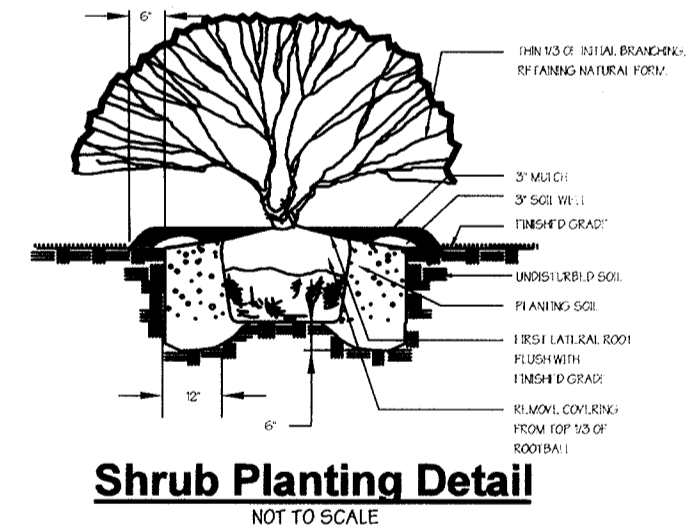
PARCEL 170
HOWARD COUNTY, MD
DEPT. OF PUBLIC WORKS
ZONED R5C
492/114



Evergreen Planting Detail
NOT TO SCALE



Tree Planting Detail
NOT TO SCALE



Shrub Planting Detail
NOT TO SCALE

PLANTING NOTES
PLANT LOCATIONS SHALL BE FIELD ADJUSTED TO AVOID UTILITIES. CONTRACTOR IS RESPONSIBLE FOR LOCATING UTILITIES PRIOR TO START OF WORK. ALL TREES AND SHRUBS SHALL BE MULCHED TO A MINIMUM OF 10" BEYOND THE EDGE OF THE ROOT BALL. SHRUBS MASSSES SHALL BE PLANTED IN CONTINUOUS MULCH BEDS. ALL WIRE, PLASTIC AND TWINE TIES SHALL BE REMOVED FROM TOP OF THE ROOT BALL.

PLANT STANDARDS
ALL NURSERY STOCK SHALL BE TOP QUALITY AND IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., "AMERICAN STANDARDS FOR NURSERY STOCK", LATEST EDITION. INFERIOR NURSERY STOCK WILL BE SUBJECT TO REJECTION BY THE LANDSCAPE ARCHITECT. BARE-ROOT SHALL NOT BE ALLOWED FOR ANY TREE DEFINED AS MAJOR DECIDUOUS, MINOR DECIDUOUS OR EVERGREEN.

CHANGES MAY IMPACT REQUIRED CERTIFICATION
PLANT TYPES (DECIDUOUS TREES, EVERGREEN, ETC.), QUANTITIES, SPACING, LOCATION, AND SPECIES SHOWN ON THE APPROVED LANDSCAPE PLAN ARE BASED ON REQUIREMENTS STATED IN THE LATEST HOWARD COUNTY LANDSCAPE MANUAL. ANY CHANGE IN THESE ITEMS MAY AFFECT THE REQUIRED APPROVAL AND CERTIFICATION OF THE INSTALLED PLANTING. OWNER IS REQUIRED TO ARRANGE AND PAY FOR CERTIFICATION BY LANDSCAPE ARCHITECT.

LANDSCAPE SPECIFICATIONS
LANDSCAPE SPECIFICATION SHALL CONFORM TO LCA LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREA, INCLUDING PLANTING PROCEDURES AND SOIL PREPARATION FOR SHRUBS AND PERENNIAL BEDS. A ONE-YEAR WARRANTY PERIOD SHALL BE REQUIRED. MAINTENANCE REQUIRED TO HONOR THE ONE YEAR WARRANTY SHALL BE PERFORMED AS PART OF THIS CONTRACT.

SPECIAL PROVISIONS TO LCA STANDARD SPECIFICATIONS
CONTRACTOR IS ENCOURAGED TO PERFORM SOIL TESTING. TEST RESULTS SHALL BE SUBMITTED 30 DAYS BEFORE PLANTING. FAILURE TO PERFORM TESTING SHALL NOT VOID GUARANTEE PROVISIONS.

CONTRACTOR SHALL REVIEW AND TEST SUBSOIL DRAINAGE CHARACTERISTICS 30 DAYS PRIOR TO PLANTING AND NOTIFY OWNER UNACCEPTABLE CONDITIONS.
NO EXCEPTIONS TO THE GUARANTEE PROVISIONS ARE ALLOWED UNLESS AGREED TO IN WRITING PRIOR TO PLANTING.

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPE IN THE AMOUNT OF \$48,000.00 IS A PART OF THE DEVELOPER'S AGREEMENT.

PLANTS PROVIDED	QUANTITY	UNIT PRICE	TOTAL
SHADE TREES	122 @ 300.00	=	\$36,600.00
EVERGREEN TREES	76 @ 150.00	=	\$11,400.00
			TOTAL = \$48,000.00

BY	NO.	REVISION	DATE
GNS	1	REV. LANDSCAPE PER PARKING LOT	6.15.06

DEVELOPER'S / BUILDER'S CERTIFICATION

I/ WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/ WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: D. G. R. T. DATE: 6/27/05

PRINT NAME: Daniel F. Palace

APPROVED: Howard County Department of Planning and Zoning

[Signature] 7/12/05
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 7/13/05
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 7/13/05
DIRECTOR DATE

PREPARED BY:

GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
1020 Cromwell Bridge Road
Towson, Maryland 21286
(410) 825-8120

Landscape Legend

- PROPOSED SHADE TREE (+)
- PROPOSED ORNAMENTAL TREE (+)
- PROPOSED EVERGREEN TREE (+)
- PROPOSED SHRUBS (●●●●)
- INTERNAL LANDSCAPE ISLAND (■)
- PROPOSED SHADE TREE ALONG PERIMETER #2 (+)

PLAN
SCALE: 1" = 50'

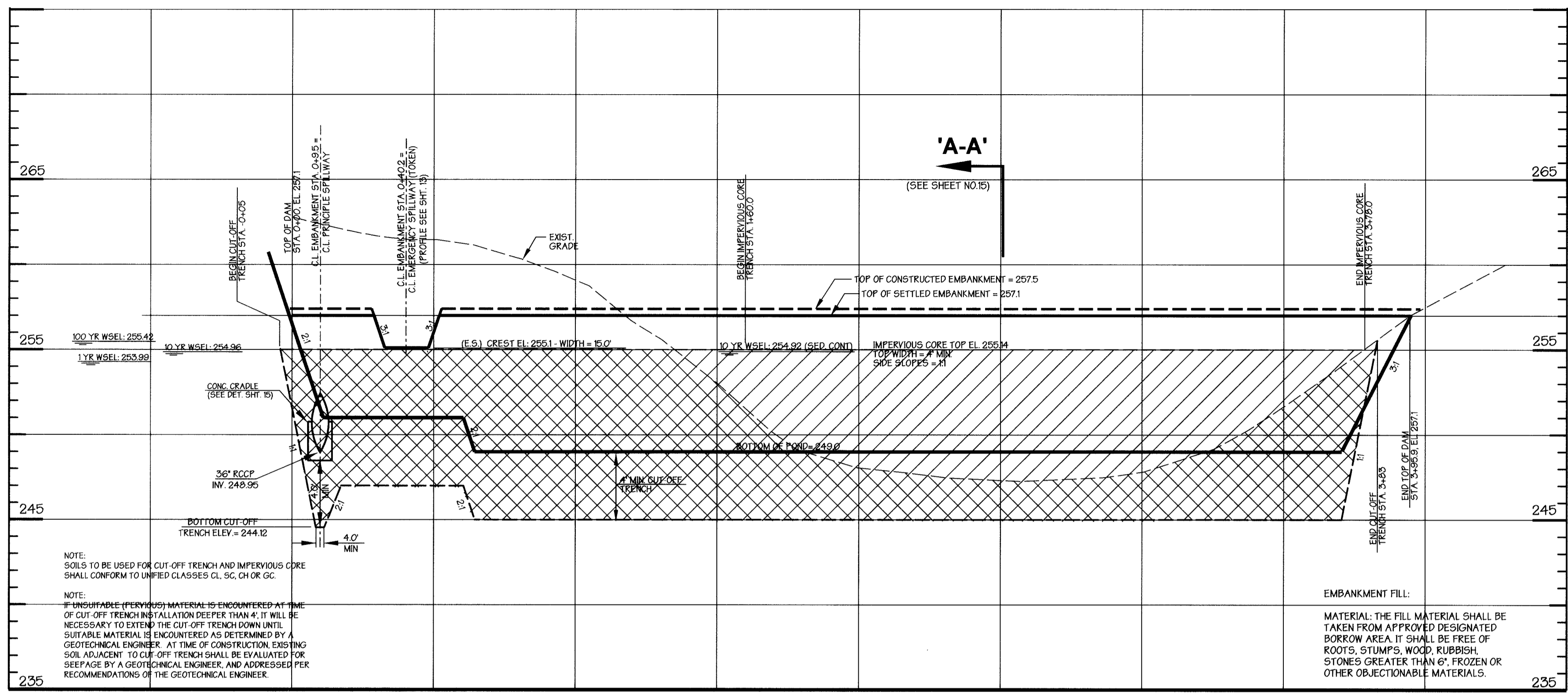
OWNER / DEVELOPER
Merritt Properties, LLC
2066 Lord Baltimore Drive
Baltimore, Maryland 21244

ADDRESS CHART	PROJECT NAME	SECTION NAME	PARCEL # A
PARCEL NO. 1	The Meadows Corporate Park	Elkridge	175, 179, 407, 412, 536 & 538
PAR. 'A1' BLDG. NO. 1			
PAR. 'A2' BLDG. NO. 2			
PAR. 'A3' BLDG. NO. 3			
PAR. 'A4' BLDG. NO. 4			
LIBER / FOLIO GRID (PLAT NO. 175/179)	ZONE C22	TAX MAP ST. / ZONE MAP ST.	ELECT. DIST. CENSUS TRACT 601102
WATER CODE B-02		SEWER CODE 402000	

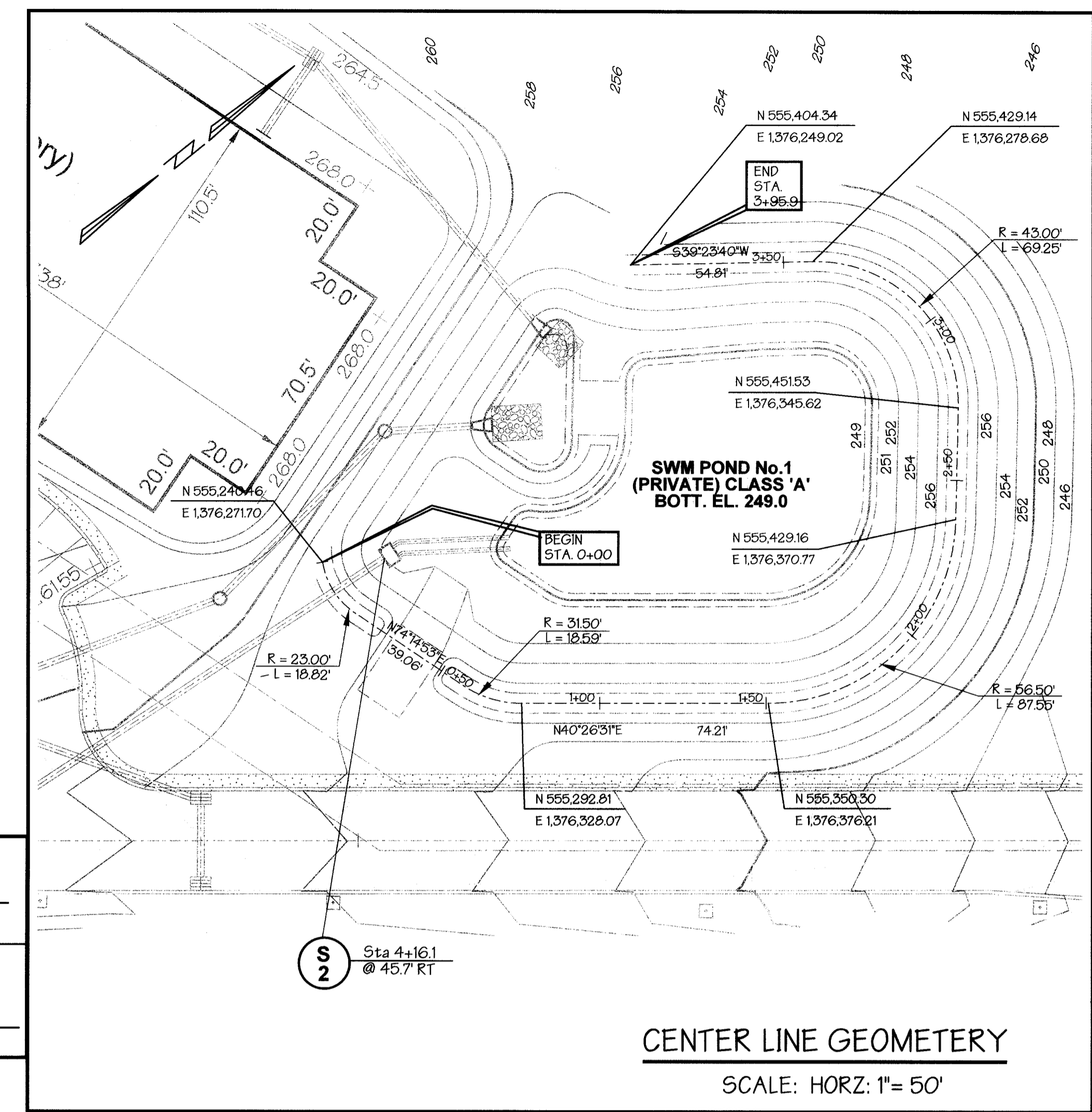
Landscape Plan
The Meadows Corporate Park
Parcel 'A' thru 'A-4'

Site Improvements: General Offices SDP -05-072
Election District No.1 Scale: As Shown
Howard County, Maryland SHT. 39 OF 43 Date: December 06, 2004
SDP -05-072

MATCH LINE 'A-A' (SEE SHEET 38 OF 43)



PROFILE ALONG C OF EMBANKMENT - POND No.1
SCALE: HORIZ: 1" = 30'
VERT: 1" = 5'



CENTER LINE GEOMETRY
SCALE: HORIZ: 1" = 50'

POND No.3 OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMWATER PONDS - (P.1 THROUGH P.5)

Routine Maintenance:

1. Facility shall be inspected annually and after major storms. Inspections shall be performed during wet weather to determine if the pond is functioning properly.
2. Top and side slopes of the embankment shall be mowed a minimum of two (2) times per year, once in June and once in September. Other side slopes and maintenance access shall be mowed as needed.
3. Debris and litter shall be removed during regular mowing operations and as needed.
4. Visible signs of erosion in the pond as well as the riprap or gabion outlet area shall be repaired as soon as it is noticed.

Non-Routine Maintenance:

1. Structural components of the pond such as the dam, the riser, and the pipes shall be repaired upon the detection of any damage. The components shall be inspected during routine maintenance operations.
2. Sediment shall be removed from the pond, and forspay, no later than when the capacity of the pond, or forspay, is half full of sediment, or when deemed necessary for aesthetic reasons, upon approval from the Department of Public Works.

Reviewed for Howard SCD and meets Technical Requirements

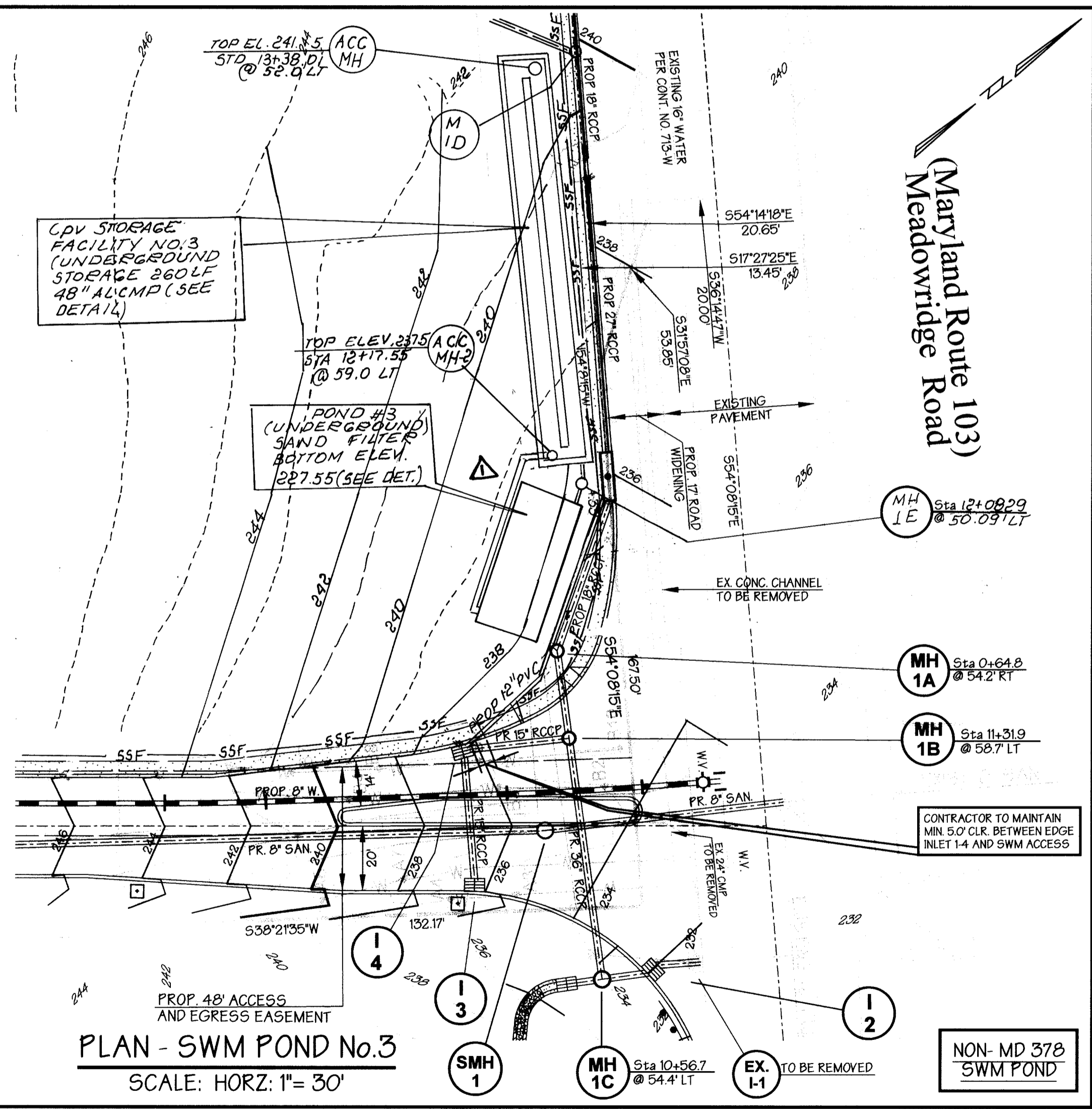
USDA-NATURAL RESOURCE CONSERVATION SERVICE DATE 7/15/05

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District

HOWARD SOIL CONSERVATION DISTRICT DATE 7/15/05

Stormwater Management Sequence of Construction

1. COMPLETE THE SEQUENCE OF OPERATIONS ON THE APPROVED SEDIMENT AND EROSION CONTROL PLANS.
2. NOTIFY HOWARD COUNTY, DEPARTMENT OF PUBLIC WORKS AND ENGINEER PREPARING AS-BUILT DRAWINGS, AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION. (DPW) (410-313-2414), THE GEOTECHNICAL ENGINEER (410-247-5533) AND THE ENGINEER IN CHARGE (410-225-2120) AT LEAST 48 HOURS PRIOR TO BEGINNING WORK. ALSO NOTIFY ENGINEER IN CHARGE FOR AS-BUILT.
3. AFTER ALL AREAS HAVE BEEN PERMANENTLY STABILIZED AND WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL DEVICES AND STABILIZE WITH PERMANENT SEEDING. CONVERT SEDIMENT BASINS TO STORM WATER MANAGEMENT FACILITIES IN ACCORDANCE WITH THE APPROVED STORM WATER MANAGEMENT PLANS:
 - A. CLEAN OUT BASINS.
 - B. MAKE NECESSARY CHANGES TO RELEASE STRUCTURE.
 - C. REPLACE SEDIMENT BASIN DEWATERING DEVICE WITH POND DEWATERING DEVICE.
 - D. UPON BASIN CONVERSION, COMPLETE ALL WATER QUALITY FACILITIES INSTALLATION AND CONVERSION.
4. COMPLETE AS-BUILT SURVEYS AND STUDIES AND SUBMIT TO APPROPRIATE AGENCIES WITHIN 30 DAYS OF COMPLETION OF INSTALLATION.



PLAN - SWM POND No.3
SCALE: HORIZ: 1" = 30'

POND NO.3 SPECIFICATION FOR DRAINAGE AREA 3

DESCRIPTION	DATA
STRUCTURE CLASSIFICATIONS	A
STORAGE HEIGHT PRODUCT	(0.17 ACFT (4.00)) = 0.67 AC FT
WATERSHED TO THE POND	8.7 AC +/-
HEIGHT TO EMERGENCY SPILLWAY	N/A
NORMAL SURFACE AREA	0.00 AC +/- EL. 228.0 (BOTTOM FACILITY)
PRINCIPLE SPILLWAY CAPACITY	3.4 ACRES
EMERGENCY SPILLWAY CAPACITY CREST	N/A
POND TYPE	UNDERGROUND STORAGE
FREEBORDS REQUIRED/PROVIDED	N/A
IMPERVIOUS AREA (AREA SERVED)	0.65 AC +/-
WATER QUALITY STORAGE REQUIRED	SEE WATER QUALITY COMPLETION DRAWINGS
IMPERVIOUS AREA (AREA SERVED)	SEE WATER QUALITY COMPLETION DRAWINGS
WATER QUALITY STORAGE PROVIDED	PROVIDED BY MISCED POND
WATER QUALITY STORAGE PROVIDED	N/A
MAXIMUM HEIGHT OF FILL (FT)	N/A
WATERSHED	DEEP RUN WATERSHED

OFFLINE (C/PV W/OV) FACILITY POND NO.3 SUMMARY DRAINAGE AREA NO.3

DESIGN STORM	EXISTING SITE REAL RATE (CFS)	FACILITY INFLOW (CFS)	FACILITY DISCHARGE (CFS)	OFF SITE BYPASS DISCHARGE (CFS)	TOTAL DISCHARGE (CFS)	WATER SURFACE ELEVATION (FT)	STORAGE VOL WITH WATER GU. (AC FT)
1yr	3.70	3.4	0.09	N/A	0.09	232.0	0.17
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

PREPARED BY:
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
1020 Cromwell Bridge Road
Towson, Maryland 21286
(410) 825-8120

DEVELOPER CERTIFICATION:
"I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a certificate of Attendance of a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an 'as-built' plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District."

Signature of Developer: *[Signature]* Date: 6/27/05
Print Name: DANIEL F. PALACE

ENGINEER CERTIFICATION:
"I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District with an 'as-built' plan of the pond within 30 days of completion."

Signature of Engineer: *[Signature]* Date: 6/28/05
Print Name: Henry P. Quinn PE # 26847

OWNER / DEVELOPER
Merritt Properties, LLC
2066 Lord Baltimore Drive
Baltimore, Maryland 21244

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
PAR. 'A1' BLDG. NO. 1	6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR. 'A2' BLDG. NO. 2	6519 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR. 'A3' BLDG. NO. 3	6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR. 'A4' BLDG. NO. 4	6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103

PROJECT NAME: The Meadows Corporate Park SECTION NAME: Elkridge PARCEL # A: 173, 179, 407, 412, 536 & 538

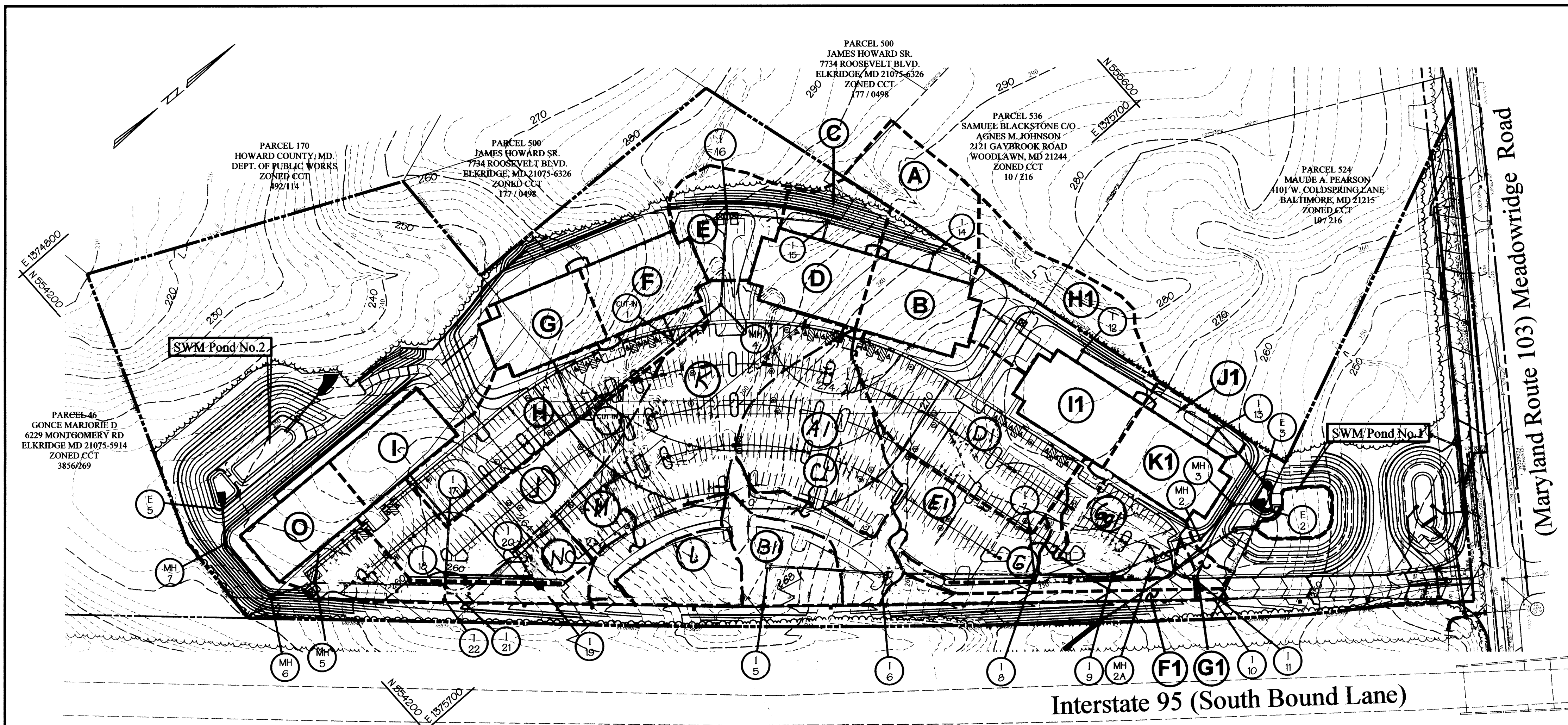
LIBER / FOLIO: 06-114 / 22 ZONE: CCT TAX MAP: 37 ELECT. DIST.: 1 CENSUS TRACT: 601102

WATER CODE: B-02 SEWER CODE: 4020000

Pond No.1 & Pond No.3 SWM Plan, Profiles & Details
The Meadows Corporate Park
Parcel 'A'-1 THRU A-4

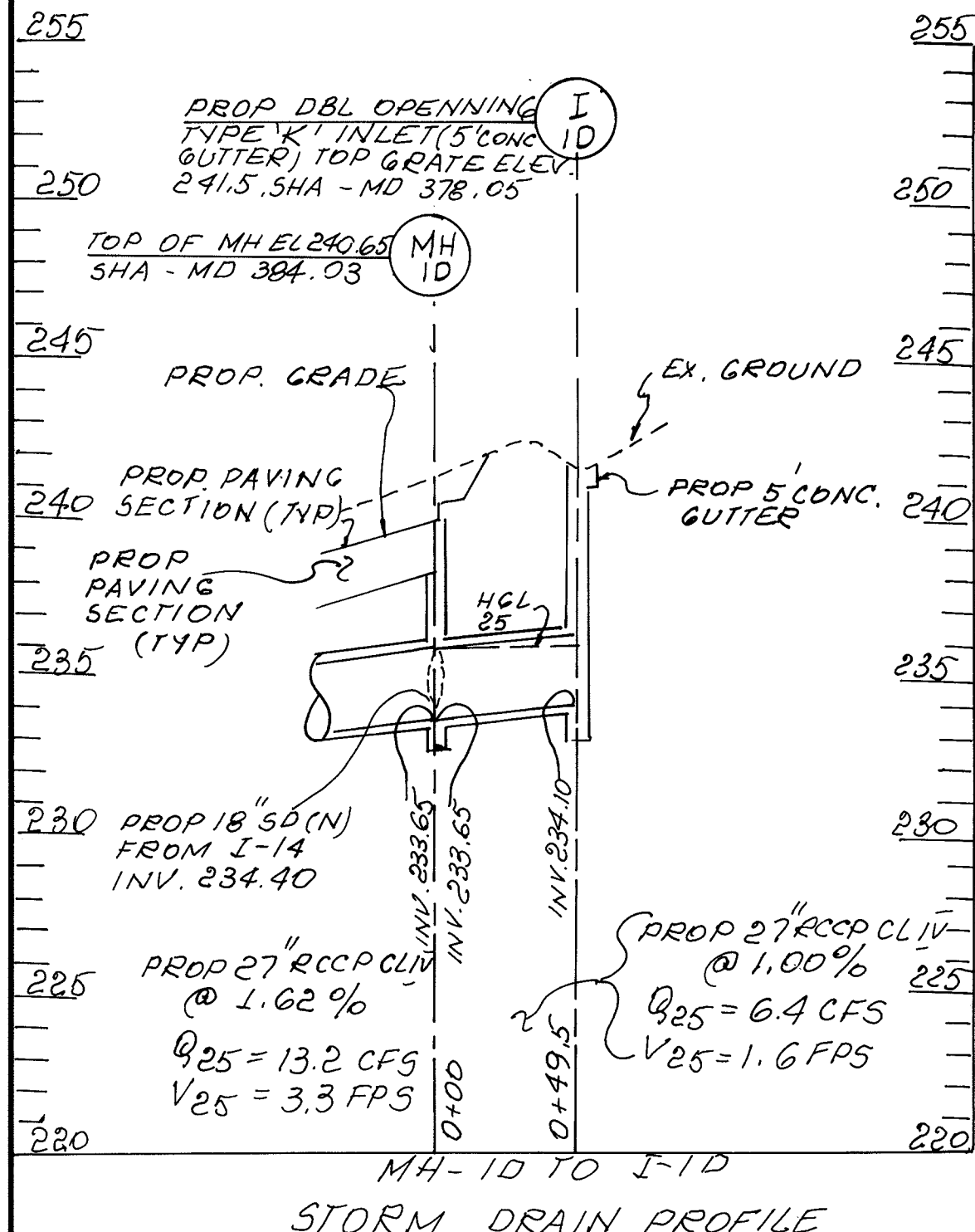
Site Improvements: General Offices SDP-05-072
Election District No.1 Scale: As Shown
Howard County, Maryland SHT. 14 OF 43 Date: December 06, 2004

SDP-05-072 P/N: 10-9698



DA	ACRES	COMP %
A	0.62	0.28
B	0.41	0.95
C	0.28	0.27
D	0.41	0.95
E	0.49	0.32
F	0.41	0.95
G	0.41	0.95
H	1.03	0.81
I	0.35	0.95
J	0.97	0.89
K	1.49	0.84
L	0.43	0.86
M	0.29	0.85
N	0.87	0.88
O	0.35	0.95
A1	0.97	0.90
B1	0.42	0.85
C1	0.34	0.85
D1	1.28	0.84
E1	0.59	0.90
F1	0.33	0.86
G1	0.36	0.82
H1	0.93	0.24
I1	0.41	0.95
J1	0.17	0.27
K1	0.41	0.95
Gg1	0.57	0.85

STORM DRAIN COMPUTATION - 10 YEAR FREQ.														
LOCATION	AREA	COEFF	TIME CONC.	INTENSITY	Q-CA	PIPE	PIPE	PIPE	PIPE	PIPE	PIPE	PIPE	REMARKS	
FROM	TO	AREA	CA	CA	INLET	DRAIN	TOTAL	TOTAL	TOTAL	TOTAL	TOTAL	TOTAL		
ROOF	B	0.41	0.95	0.39	5.00	5.0	8.50	3.32						
I-14	I-15	A-B	1.03	0.21	0.13	5.00	5.0	8.50	1.11					
I-15	I-16	A-D	0.28	0.27	0.08	5.00	5.0	8.50	0.68					
ROOF	D	0.41	0.95	0.39	5.00	5.0	8.50	3.32						
I-16	I-17	A-D	1.72	0.99	0.50	5.00	5.0	8.50	5.8					
I-17	I-18	A-E	2.21	1.15	0.55	6.3	7.88	9.06	18	0.74%	5.13	135.1		
M-4	Y-2	A-E	2.21	1.15	0.30	4.4	7.72	9.06	21	0.33%	3.77	88.8		
Y-2	Y-3	F	0.41	0.95	0.39	5.00	5.0	8.50	3.32					
Y-2	Y-3	A-F	2.62	1.54	0.74	0.39	7.1	11.64	21	0.54%	4.84	182.6		
Y-3	Y-4	G	0.41	0.95	0.39	5.00	5.0	8.50	3.32					
I-17	I-18	A-G	3.03	1.93	1.13	0.63	7.8	14.13	21	0.79%	5.87	242.4		
ROOF	I	0.35	0.95	0.33	5.00	5.0	8.50	2.81						
I-17	H	1.03	0.81	0.83	5.00	5.0	8.50	7.06						
I-17	I-18	A-I	4.41	3.09	1.76	0.69	8.5	15.84	27	0.50%	5.50	78.0		
I-18	I-19	A-J	0.91	0.89	0.81	5.00	5.0	8.50	6.89					
I-18	I-20	A-J	5.32	3.90	2.14	0.87	7.02	12.36	21	0.78%	6.89	21.9		
I-18	I-20	M	0.29	0.85	0.25	5.00	5.0	8.50	2.13					
I-18	I-20	K	1.49	1.25	1.31	0.09	5.1	10.63	21	0.45%	4.12	74.0		
I-19	I-20	L	0.43	0.82	0.32	5.00	5.0	8.50	3.15					
I-18	I-20	A-J	5.32	3.80	2.14	0.87	7.02	12.36	21	0.78%	6.89	21.9		
I-20	I-22	K-M	2.21	1.87	1.00	0.28	5.3	8.40	15.71	24	0.48%	5.00	216.0	
I-22	N	0.41	0.90	0.37	5.00	5.0	8.50	3.15						
I-22	M-5	A-N	8.34	6.46	3.69	0.05	8.7	15.30	36	0.46%	6.41	192.6		
ROOF	O	0.35	0.95	0.33	5.00	5.0	8.50	2.81						
M-5	M-6	A-O	8.69	6.81	3.71	0.25	9.2	16.32	36	0.49%	6.59	68.0		
M-6	M-7	A-O	8.69	6.81	3.71	0.20	9.7	16.32	36	0.49%	6.59	102.9		
M-7	E-5	A-O	8.69	6.81	3.71	0.26	9.7	16.32	36	0.49%	6.59	50.6		
I-5	I-6	B1	0.42	0.85	0.36	5.00	5.0	8.50	3.06	15	0.22%	2.49	96.0	
I-6	I-7	C1	0.34	0.85	0.29	5.00	5.0	8.50	2.41					
I-6	I-8	A1	1.73	1.52	1.00	0.35	5.4	8.35	12.69	21	0.64%	5.28	188.0	
I-6	I-8	A1	0.97	0.90	0.87	5.00	5.00	8.50	7.40	18	0.50%	4.18	87.0	
I-7	I-8	D1	1.28	1.08	1.08	5.00	5.0	8.50	9.9	19	0.15%	5.19	66.0	
I-8	I-9	E1	0.59	0.90	0.53	5.00	5.0	8.50	4.51					
I-8	I-9	E1	3.60	5.1	5.35	0.55	5	8.05	25.24	27	0.66%	6.34	202.0	
I-9	I-10	E1	0.35	0.87	0.30	5.00	5.0	8.50	2.85					
I-9	Y-4	A1-E1	4.23	3.74	6.34	0.29	6.6	7.76	29.02	30	0.50%	5.91	58.1	
I-10	I-11	F1	0.25	0.86	0.22	5.00	5.0	8.50	1.87	18	0.03%	1.06	38.7	
I-11	G1	0.88	0.82	0.72	5.00	5.0	8.50	6.12						
I-11	M-2A	F1-G1	1.13	0.94	5.00	0.61	5.6	8.20	7.71	21	0.24%	3.26	48.0	
M-2A	I-9	F1-G1	1.13	0.94	5.00	0.25	5.9	8.10	7.71	21	0.24%	3.26	11.5	
I-9	MH-2	F1-G1	5.30	4.58	5.92	0.19	6.11	7.96	63	36.0	3.9	5.18	70.7	
MH-2	M3	F1-G1	5.30	4.58	5.92	0.19	6.11	7.96	63	36.0	3.9	5.18	70.7	
M-3	E-2	F1-G1	5.30	4.58	5.92	0.19	6.11	7.96	63	36.0	3.9	5.18	26.3	
I-9	Gg1	0.57	0.85	0.48	5.00	5.00	8.50	4.08						
ROOF	I1	0.41	0.95	0.39	5.00	5.0	8.50	3.32						
I-12	H1	0.93	0.24	0.22	5.00	5.0	8.50	1.87						
I-12	H1-I1	1.34	0.61	5.00	5.0	8.50	5.19	15	0.64%	4.23	229.7			
ROOF	K1	0.41	0.95	0.39	5.00	5.0	8.50	3.32						
I-13	J1	0.17	0.27	0.05	5.00	5.0	8.50	0.43						
I-13	E-3	H1-J1	1.82	1.05	5.00	0.91	5.9	8.05	8.45	18	0.85%	4.78	93.9	



APPROVED: Howard County Department of Planning and Zoning

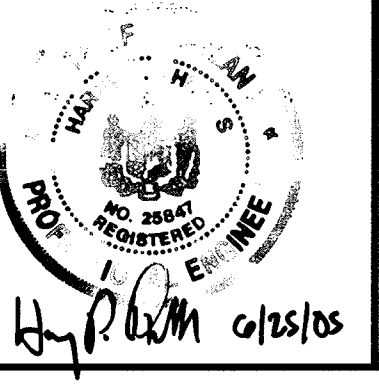
[Signature] 7/12/05
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 7/13/05
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 7/13/05
DIRECTOR DATE

PREPARED BY:

GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
1020 Cromwell Bridge Road
Towson, Maryland 21286
(410) 825-8120



DRAINAGE AREA MAP
SCALE: 1" = 100'

BY	NO	REVISION	DATE
HP	1	REV. STORM DRAIN	5.10.06

OWNER / DEVELOPER
Merritt Properties, LLC
2066 Lord Baltimore Drive
Baltimore, Maryland 21244

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
PAR. 'A1' BLDG. NO. 1	6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR. 'A2' BLDG. NO. 2	6518 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR. 'A3' BLDG. NO. 3	6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR. 'A4' BLDG. NO. 4	6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103

PROJECT NAME
The Meadows Corporate Park

SECTION NAME
Elkridge

PARCEL # A
175, 179, 407, 412, 536 & 538

LIBER / FOLIO
20611.4

GRID
22

ZONE
CCT

TAX MAP
57

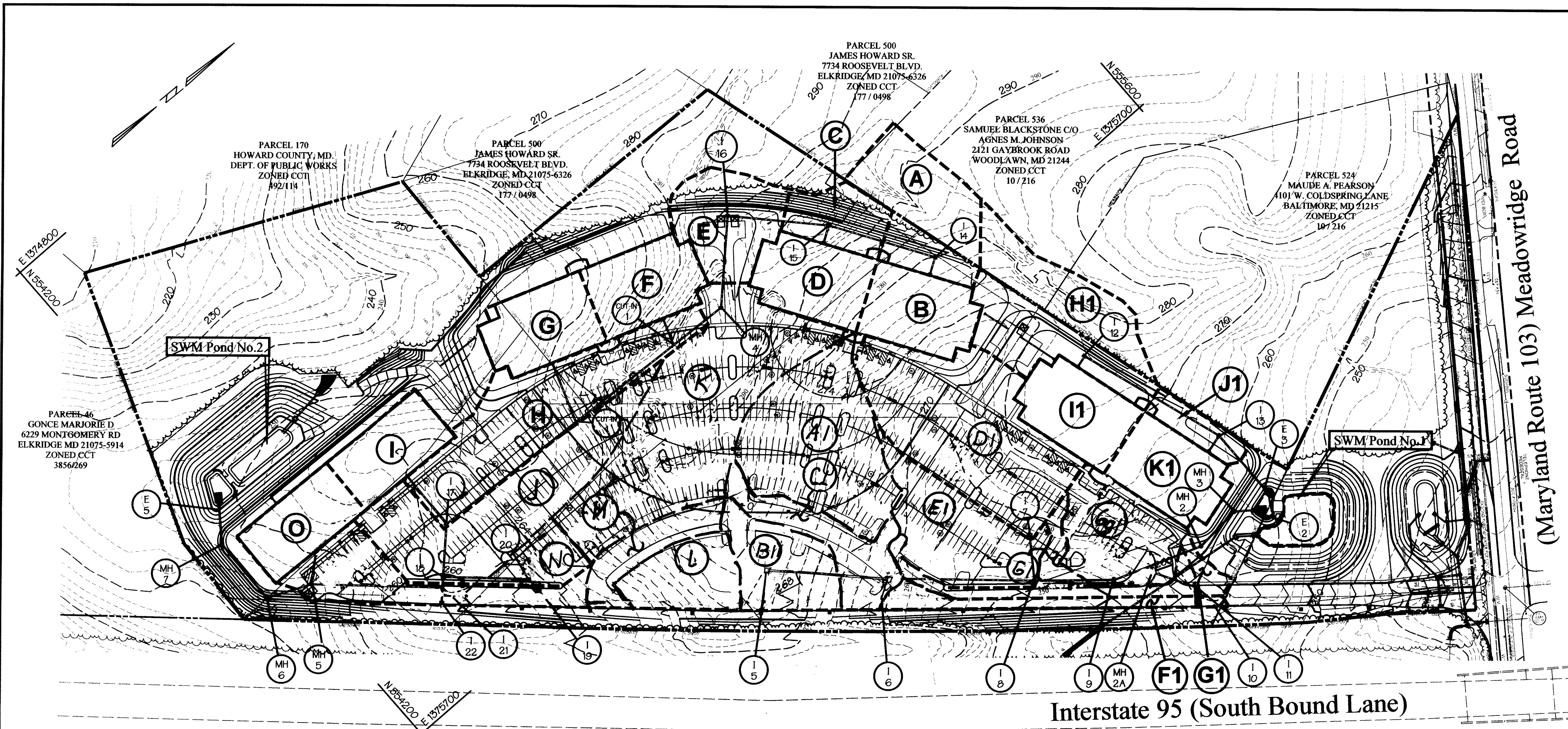
ELECT. DIST.
1

CENSUS TRACT
601102

DESIGNED BY: H.P.P.
DRAWN BY: H.P.P.
CHECKED BY: H.P.P.
REVISIONS

Drainage Area Map and Storm Drain Computations
The Meadows Corporate Park
Parcel 'A1' THRU 'A4'

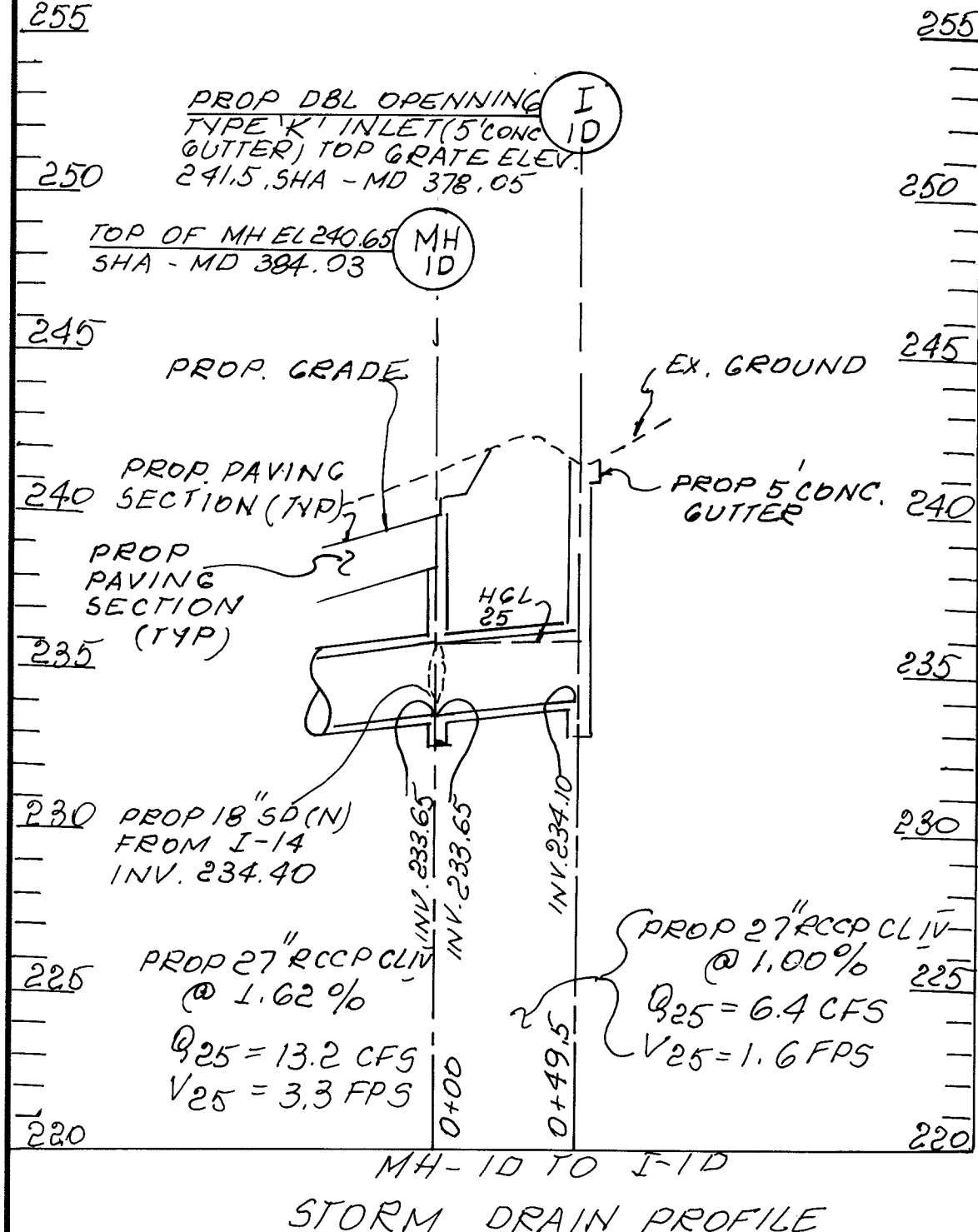
Site Improvements: General Offices
Election District No.1
Howard County, Maryland
SDP-05-072
Scale: As Shown
Date: December 06, 2004



D.A.	ACRES	COMP 'C'
A	0.62	0.28
B	0.41	0.95
C	0.28	0.27
D	0.41	0.95
E	0.49	0.32
F	0.41	0.95
G	0.41	0.95
H	1.03	0.81
I	0.35	0.95
J	0.91	0.89
K	1.49	0.84
L	0.43	0.86
M	0.29	0.85
N	0.81	0.88
O	0.35	0.95
A1	0.97	0.90
B1	0.42	0.85
C1	0.34	0.85
D1	1.28	0.84
E1	0.59	0.90
F1	0.53	0.86
G1	0.35	0.82
H1	0.93	0.24
I1	0.41	0.95
J1	0.17	0.27
K1	0.41	0.95
691	0.57	0.85

STORM DRAIN COMPUTATION - 10 YEAR FREQ.														
LOCATION	TO	AREA	SUB	COEFF	CA	CA	INLET	DRAIN	TOTAL	T	INTENSITY	Q-CA	PIPE NO. 0.013	
FROM												C.F.S.	PIPE SLOPE	
ROOF	B	0.41		0.95	0.39		5.00	5.0	8.50	3.32				
I-14	A	0.62		0.21	0.13		5.00	5.0	8.50	1.11				
I-14	I-15	A-B		1.03			0.52	5.00	5.0	8.50	4.42	15	0.47%	
I-15	C	0.28		0.27	0.08		5.00	5.0	8.50	0.68				
ROOF	D	0.41		0.95	0.39		5.00	5.0	8.50	3.32				
I-15	I-16	A-D		1.72			0.98	5.00	0.75	5.8	8.15	8.07	18	0.59%
I-16	E	0.49		0.32	0.16		5.00	5.0	8.50	1.36				
I-16	M-4	A-E		2.21			1.15	5.75	0.55	6.3	7.88	9.06	18	0.74%
M-4	Y-2	A-E		2.21			1.15	6.30	0.44	6.7	7.72	9.06	21	0.33%
Y-2	F	0.41		0.95	0.39		5.00	5.0	8.50	3.32				
Y-2	Y-3	A-F		2.62			1.54	6.74	0.39	7.1	7.56	11.64	21	0.54%
Y-3	G	0.41		0.95	0.39		5.00	5.0	8.50	3.32				
I-17	I-17	A-G		3.03			1.93	7.13	0.63	7.8	7.32	14.13	21	0.79%
ROOF	I	0.35		0.95	0.33		5.00	5.0	8.50	2.81				
I-17	H	1.03		0.81	0.83		5.00	5.0	8.50	7.06				
I-17	I-18	A-I		4.41			3.09	7.76	0.69	8.5	7.08	21.88	27	0.50%
I-18	I-18	KJ		0.91			5.00	5.0	8.50	6.87				
I-18	I-20	A-J		5.32			3.90	8.45	0.24	8.7	7.02	27.36	21	0.28
I-20	M	0.29		0.85	0.25		5.00	5.0	8.50	2.13				
I-18	I-20	K		1.49	0.84		1.31	5.00	0.09	5.1	8.50	10.63	21	0.45
I-19	I-20	L		0.43	0.86		0.32	5.00	5.0	8.50	3.15			
I-18	I-22	A-M		5.32			3.86	8.45	0.24	8.7	7.02	27.36	15	0.24
I-20	I-22	A-M		2.21			1.87	5.00	0.28	5.3	8.40	15.11	24	0.48
I-22	N	0.41		0.90	0.37		5.00	5.0	8.50	3.15				
M-5	A-N			8.34			6.48	8.69	0.05	8.7	6.99	45.30	36	0.46
ROOF	O	0.35		0.95	0.33		5.00	5.0	8.50	2.81				
M-6	M-7	A-O		8.69			6.81	8.71	0.5	9.2	6.84	46.32	36	0.49
M-7	E-5	A-O		8.69			6.81	9.41	0.24	9.7	8.12	46.38	36	0.49
M-7	E-5	A-O		8.69			6.81	9.41	0.26	9.7	8.12	46.38	36	0.49
I-5	I-6	B1		0.42	0.85	0.36	5.00	5.0	8.50	3.06	15	0.22		
I-6	C1	0.34		0.85	0.29		5.00	5.0	8.50	2.47				
I-6	I-8	A1-C1		1.73			1.52	5.00	0.35	5.4	8.35	12.69	21	0.24
I-6A	I-6	A1		0.97	0.90	0.87	5.00	5.00	8.50	7.40	18	0.50		
I-7	I-8	B1		1.28	0.84	1.08	5.00	5.0	8.50	9.8	18	0.75		
I-8	I-9	E1		0.59	0.90	0.53	5.00	5.0	8.50	4.31				
I-8	I-9	E1		3.60			5.1	5.35	0.55	5.5	8.05	25.26	27	0.66
I-9	E1	0.35		0.87	0.30		5.00	5.0	8.50	2.55				
I-9	Y-1	A1-E1		4.23			3.74	6.34	0.29	6.6	7.76	29.02	30	0.50%
I-10	I-11	F1		0.25	0.86	0.22	5.00	5.0	8.50	1.87	18	0.03		
I-11	I-11	G1		0.88	0.82	0.72	5.00	5.0	8.50	6.12				
I-11	M-2A	F1-G1		1.13			0.94	5.00	0.61	5.6	8.20	7.71	21	0.24
M-2A	I-9	F1-G1		1.13			0.94	5.01	0.25	5.9	8.10	7.71	21	0.24
I-9	MH-2	F1-G1		5.30			4.58	5.92	0.19	6.11	7.96	63	36	0.30
MH-2	M3	F1-G1		5.30			4.58	5.92	0.19	6.11	7.96	63	36	0.30
M-3	E-2	F1-G1		5.30			4.58	5.92	0.19	6.11	7.96	63	36	0.30
I-9	G-1	0.57		0.85	0.48		5.00	5.00	8.50	4.08				
ROOF	I1	0.41		0.95	0.39		5.00	5.0	8.50	3.32				
I-12	H1	0.93		0.24	0.22		5.00	5.0	8.50	1.87				
ROOF	K1	0.41		0.95	0.39		5.00	5.0	8.50	3.32				
I-13	J1	0.17		0.27	0.05		5.00	5.0	8.50	0.43				
I-13	E-3	H1-J1		1.92			1.05	5.00	0.91	5.9	8.05	8.45	18	0.65%

DRAINAGE AREA MAP
SCALE: 1" = 100'



BY	NO	REVISION	DATE
HP	1	REV. STORM DRAIN	5/10/06

APPROVED: Howard County Department of Planning and Zoning
 Chief, Development Engineering Division: 7/12/05
 Chief, Division of Land Development: 7/13/05
 Director: 7/13/05

PREPARED BY:
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
 Civil Engineers and Land Surveyors
 1020 Cromwell Bridge Road
 Towson, Maryland 21286
 (410) 825-8120

Merritt Properties, LLC
 2066 Lord Baltimore Drive
 Baltimore, Maryland 21244

Address Chart
 PARCEL NO. 1: 6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103
 PARCEL NO. 2: 6518 MEADOWRIDGE ROAD MARYLAND ROUTE 103
 PARCEL NO. 3: 6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103
 PARCEL NO. 4: 6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103

PROJECT NAME: The Meadows Corporate Park
SECTION NAME: Elkridge
PARCEL NO.: A
LIBER / FOLIO: 09/11.4
GRID: 22
ZONE: CCT
TAX MAP: 37
ELECT. DIST.: 1
CENSUS TRACT: 6011.02
WATER CODE: B-02
SEWER CODE: 4820000

DESIGNED BY: H.P.P.
DRAWN BY: H.P.P.
CHECKED BY: H.P.P.

Drainage Area Map and Storm Drain Computations
The Meadows Corporate Park
 Parcel 'A' thru 'A-4'

Site Improvements: General Offices
 Election District No. 1
 Howard County, Maryland

SDP-05-072
 SHT. 9 OF 43
 Date: December 06, 2004

Landscape Legend

- PROPOSED SHADE TREE (+)
- PROPOSED ORNAMENTAL TREE (o)
- PROPOSED EVERGREEN TREE (x)

WETLAND SEED MIX "A"

MIX %	BOTANICAL NAME	COMMON NAME
20%	Elymus virginicus	Virginia Wild Rye
10%	Carex vaginellata	Fox Sedge
10%	Scirpus atrovirens	Green Bulrush
10%	Yorhama hastata	Blue Vernal
10%	Andropogon glomeratus	Beauty Bluestem
10%	Lobelia cardinalis	Cardinal Flower
10%	Rudbeckia lactiflora	Fall Coneflower
10%	Juncus effusus	Soft Rush
10%	Iris versicolor	Blue Flag
10%	Carex lurida	Lurid Sedge
10%	Carex comosa	Common Sedge
10%	Eupatorium fistulosum	Joe Pye Weed
2%	Aster amurensis	Flat Topped White Aster

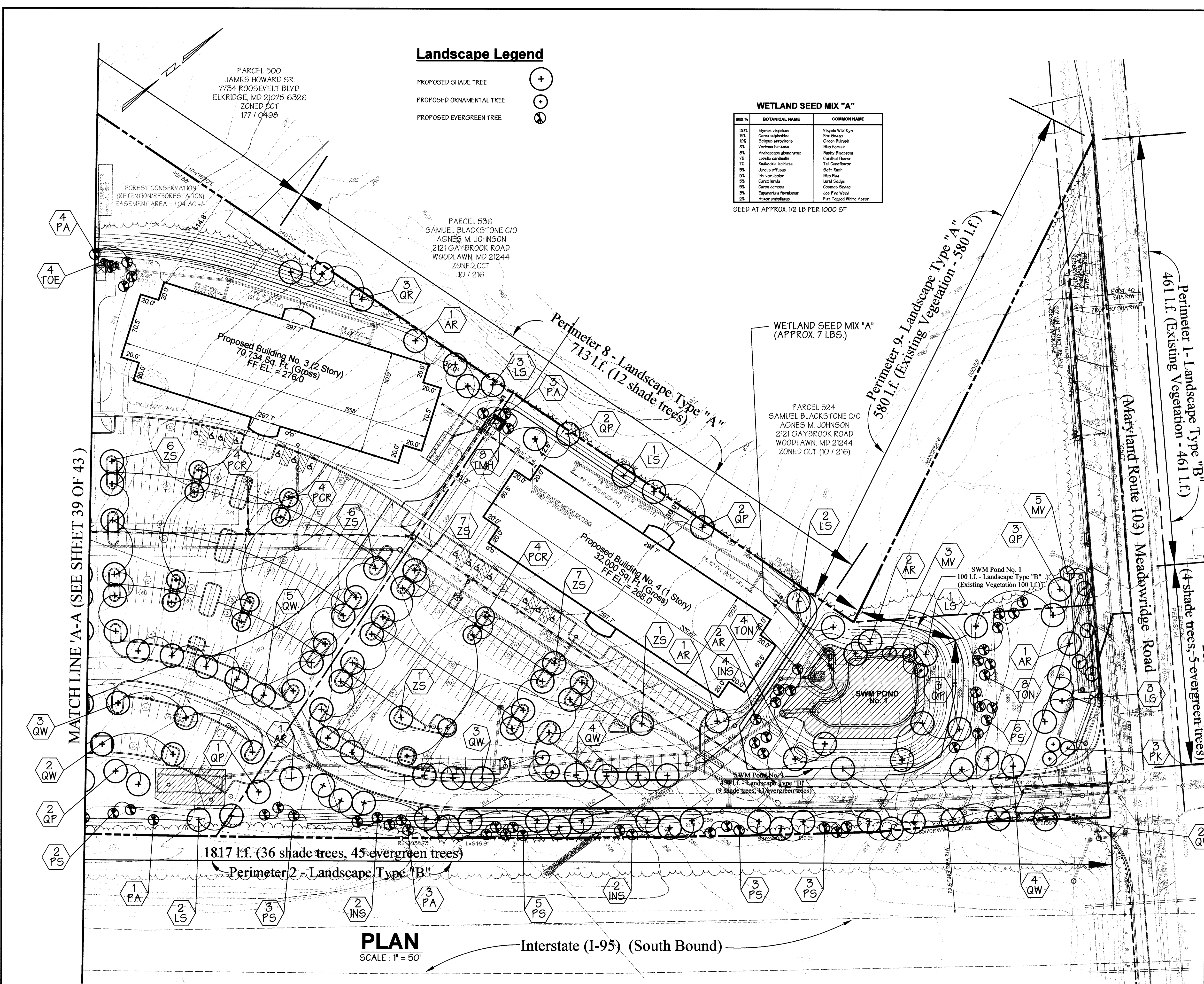
SEED AT APPROX. 1/2 LB PER 1000 SF

SCHEDULE A PERIMETER LANDSCAPE EDGE					
Landscape Type	ROADWAYS		PLANTS PROVIDED		EXISTING VEGETATION CREDIT
	B	A	PERIMETER PROPERTIES	PLANTS REQUIRED	
Perimeter Edge 1	461'	0	Shade Evergreen	0	461'
Perimeter Edge 1a	215'	0	Shade Evergreen	4	0
Perimeter Edge 2	1817'	0	Shade Evergreen	36	0
Perimeter Edge 3	0	150'	Shade Evergreen	2	0
Perimeter Edge 4	150'	0	Shade Evergreen	3	0
Perimeter Edge 5	0	926'	Shade Evergreen	0	926'
Perimeter Edge 6	0	150'	Shade Evergreen	3	0
Perimeter Edge 7	0	570'	Shade Evergreen	0	570'
Perimeter Edge 8	0	710'	Shade Evergreen	12	0
Perimeter Edge 9	0	580'	Shade Evergreen	0	580'

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING		
Number of Parking Spaces		D12
Number of Trees Required		41
Number of Trees Provided		44
Shade Trees		

SCHEDULE D STORMWATER MANAGEMENT AREA LANDSCAPING			
Linear Feet of Perimeter	SWM POND #1		SWM POND #2
	552'	572' - 402' = 170'	402' - 210' = 192'
Number of Trees Required	Landscape Type "B"	Landscape Type "B"	Landscape Type "B"
Shade Trees	9	4	5
Evergreen Trees	11	0	0
Credits for Existing Vegetation (No. Yes and %)	Yes - 100'	Yes - 250'	
Credits for Other Landscaping (No. Yes and %)	NO	Yes - 150' (P-4)	
Number of Trees Provided**			
Shade Trees	9	4	4
Evergreen Trees	11	0	0
Other Trees (2:1 substitution)	0	0	0
Shade (2:1 substitution)	0	0	0

PLANT LIST - FOR SCHEDULES A & D					
KEY	QUANT	BOTANICAL NAME / COMMON NAME	SIZE / COND.	SPACING	REMARKS
SHADE TREES					
QP	20	Quercus palustris / Pin Oak	2 1/2' - 3' cal. B&B	As Shown	Full Crown
LS	21	Liquidambar styraciflua / Sweet Gum	2 1/2' - 3' cal. B&B	As Shown	Full Crown
AR	19	Acer rubrum 'Red Sunset' / Red Sunset Maple	2 1/2' - 3' cal. B&B	As Shown	Full Crown
QR	5	Quercus rubra / Red Oak	2 1/2' - 3' cal. B&B	As Shown	Full Crown
QW	63	Quercus phellos / Willow Oak	2 1/2' - 3' cal. B&B	As Shown	Full Crown
TKK	23	Fyrus calycarpa 'Kidd's' / 'Kidd's' Pear	2 1/2' - 3' cal. B&B	As Shown	Full Crown
ZS	42	Zelkova serrata Green Vase / Green Vase Zelkova	2 1/2' - 3' cal. B&B	As Shown	Full Crown
MINOR TREES / EVERGREENS					
PS	39	Pinus strobus / White Pine	6' - 8' ht. B&B	As Shown	Heavy
PA	27	Ficus sphenoloba / Norway Spruce	6' - 8' ht. B&B	As Shown	Heavy
DS	14	Ilex x 'Nella E. Stevens' / 'Nella E. Stevens' Holly	6' - 8' ht. B&B	As Shown	Heavy
TON	17	Thuja occidentalis 'Nana' / 'Nana' American Arborvitae	6' - 8' ht. B&B	As Shown	Heavy
TOE	7	Thuja occidentalis 'Emerald Green' / 'Emerald Green' Arborvitae	5' - 6' ht. B&B	As Shown	Heavy
PK	5	Prunus serotina 'Kwanza' / 'Kwanza' Cherry	2 1/2' - 3' cal. B&B	As Shown	Full Crown
MV	11	Magnolia virginiana / Sweetbay Magnolia	6' - 8' ht. B&B	multi-stem	Heavy
SHRUBS					
TMH	32	Taxus media 'Hicks' / 'Hicks' Yew	24' - 30' ht. B&B	3' o/c	Heavy



PLAN
SCALE: 1" = 50'

APPROVED: Howard County Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* 6/14/06 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* 6/15/06 DATE

DIRECTOR: *[Signature]* 6/16/06 DATE

OWNER / DEVELOPER	ADDRESS CHART
Merritt Properties, LLC 2066 Lord Baltimore Drive Baltimore, Maryland 21244 ph: 410-298-2600 fx: 410-298-9644	PARCEL NO. STREET ADDRESS
	PAR. 'A-1' BLDG. NO. 1 6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	PAR. 'A-2' BLDG. NO. 2 6518 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	PAR. 'A-3' BLDG. NO. 3 6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	PAR. 'A-4' BLDG. NO. 4 6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	PROJECT NAME SECTION NAME PARCEL * A
	The Meadows Corporate Park Elkridge 173, 179, 407, 412, 536 & 538
	LIBER / FOLIO GRID ZONE TAX MAP ELECT. DIST. CENSUS TRACT
	(PLAT NO. 18324-38) 22 CCT 37 1 601102
	WATER CODE SEWER CODE
	B-02 4020000

PREPARED BY:

GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
1020 Cromwell Bridge Road
Towson, Maryland 21286
(410) 825-8120

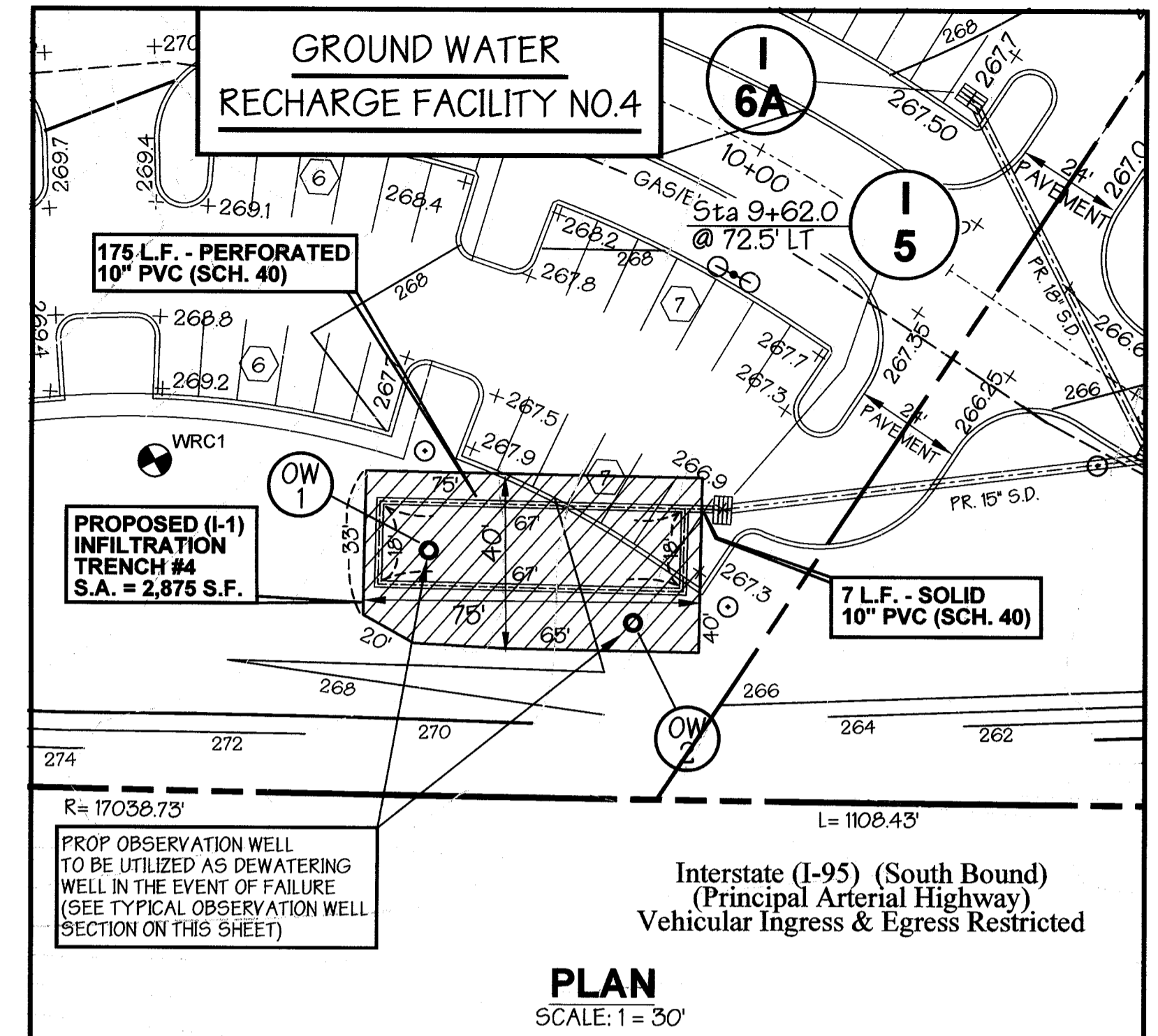
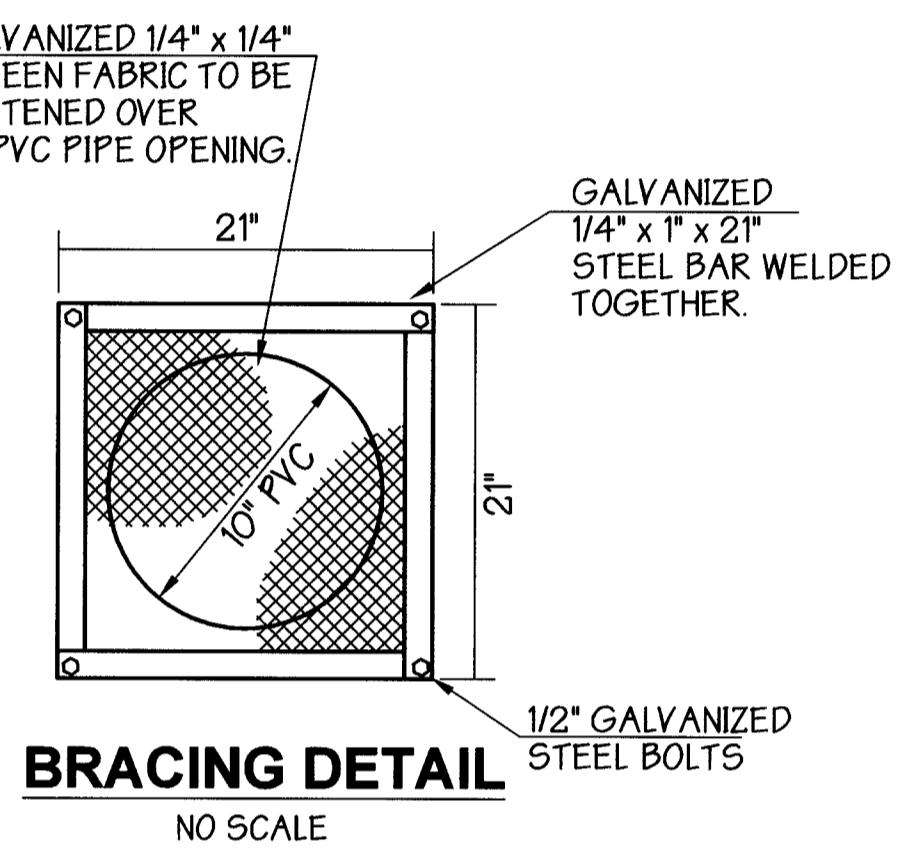
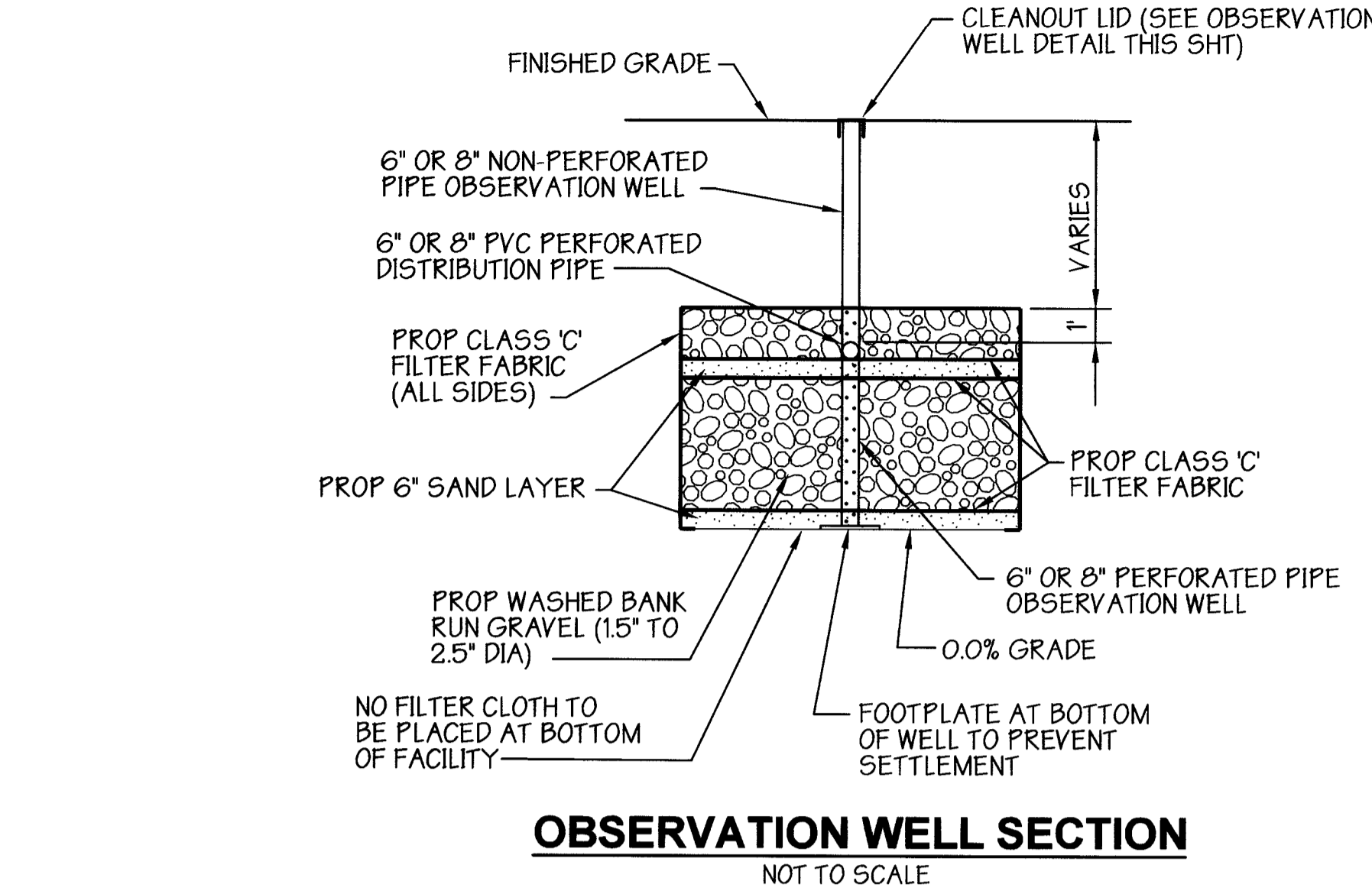
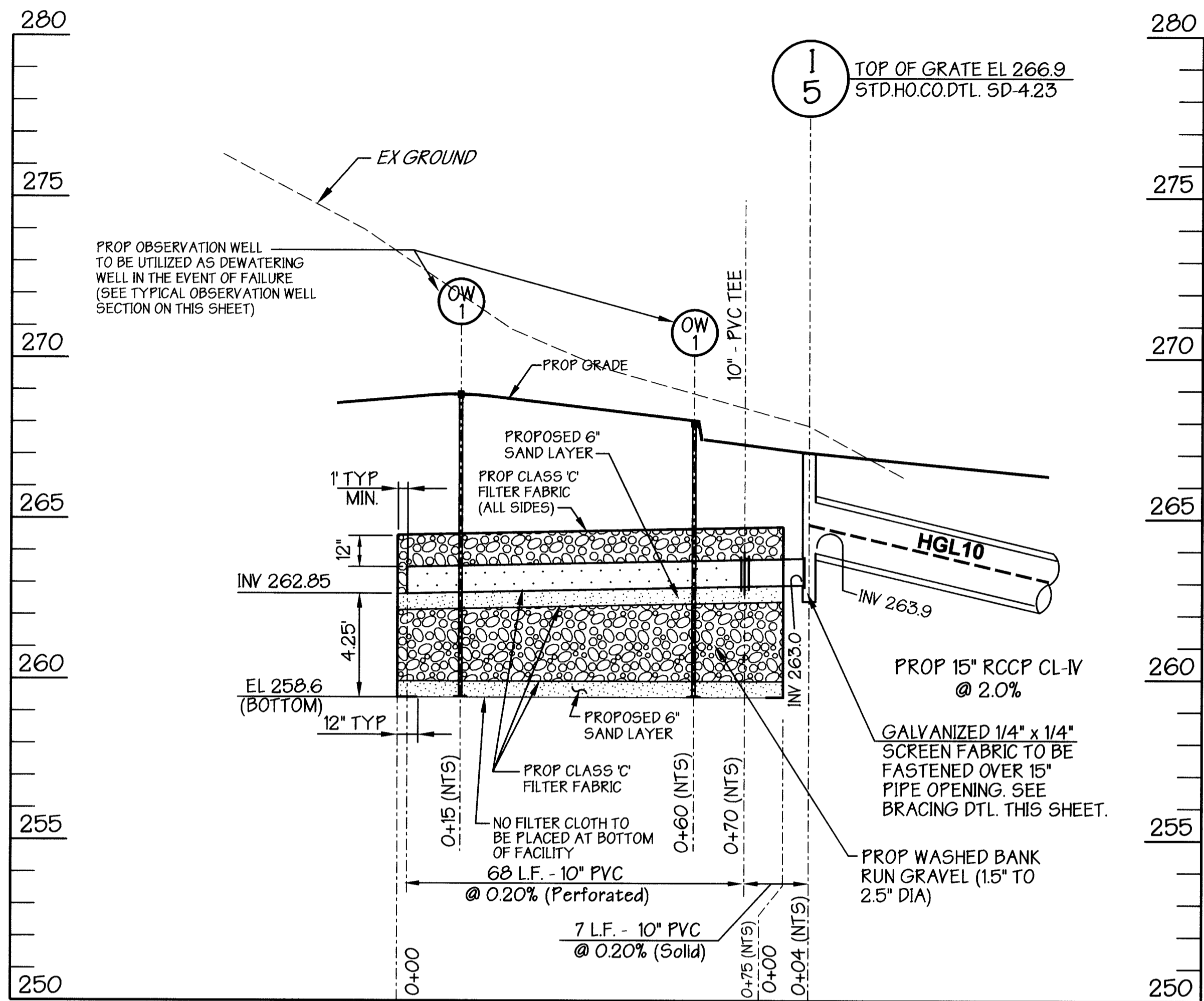
STATE OF MARYLAND
Professional Engineer
[Signature]

DESIGNED BY: H.P.P.
DRAWN BY: HPP
CHECKED BY: H.P.P.

REVISIONS
REV. NO. 1 - REV. LANDSCAPING PER PARKING LOT RECONFIG. 10/21/05
REV. 2/20/06 - REV. SHADING AREA AND ADJ. PERIMETER A-1 THROUGH A-4

Landscape Plan
The Meadows Corporate Park
Parcel 'A-1' thru Parcel 'A-4'

Site Improvements: General Offices | SDP -05-072
Election District No. 1 | Scale: As Shown
Howard County, Maryland | SHT. 38 OF 43 | Date: December 06, 2004
SDP -05-072



INFILTRATION TRENCH MAINTENANCE NOTES

- The infiltration trench must be inspected several times during the first few months of operations after major storms, then annually thereafter. Inspections shall examine evidence of surface ponding, clogging, etc. Water levels in observation wells should be recorded over a several day period to check trench drainage.
- The pre-treatment inlets of underground trenches should be checked periodically and cleaned out when sediment depletes more than 10% of the available capacity. Sediment removal can be performed manually or by use of a vacuum pump. Inlet and outlet pipes must be checked for clogging and vandalism.
- Any adjacent trees may require trimming to ensure that the drip-line does not extend over a trench surface so that tree leaves do not clog the trench. Any seedling growth that develops in vicinity of a trench should be removed to prevent root puncture which may cause sediment to enter trench.
- Rehabilitation of a clogged underground trench required the removal of the topsoil, vegetation or structural (paved, concrete, etc.) layer, removal of the protective plastic lay, removal of the entire stone aggregate layer, removal of the bottom filter fabric, tilling of the subsoil layer to promote better infiltration and then replacement of each layer.

POND No. 4
OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMWATER INFILTRATION TRENCHES (I-1)

- The monitoring wells and structures shall be inspected on a quarterly basis and after every large storm event.
- Water levels and sediment build up in the monitoring wells shall be recorded over a period of several days to insure trench drainage.
- A logbook shall be maintained to determine the rate at which the facility drains.
- When the facility becomes clogged so that it does not drain down within the 72 hour time period, corrective action shall be taken.
- The maintenance logbook shall be available to Howard County for inspection to insure compliance with operation and maintenance criteria.
- Once the performance characteristics of the infiltration facility have been verified, the monitoring schedule can be reduced to an annual basis unless the performance data indicates that a more frequent schedule is required.

An infiltration trench may not receive run-off until the entire contributing drainage area to the infiltration trench has received final stabilization.

- Heavy equipment and traffic shall be restricted from traveling over the proposed location of the infiltration trench to minimize compaction of the soil.
- Excavate the infiltration trench to the design dimensions. Excavated materials shall be placed away from the trench sides to enhance trench wall stability. Large tree roots must be trimmed flush with the trench sides in order to prevent fabric puncturing or tearing of the filter fabric during subsequent installation procedures. The sidewalls of the trench shall be roughened where sheared and sealed by heavy equipment.
- A Class "C" geotextile or better (see Section 24.0, Material Specifications, 1994 Standards and Specifications for Soil Erosion and Sediment Control, MDE, 1994) shall interface between the trench sidewalls and between the stone reservoir and gravel filter layers. A partial list of non-woven filter fabrics that meet the Class "C" criteria follows. Any alternative filter fabric must be approved by the plan approval authority.

Amoco 4552 Carthage FX-80S
GEOLON N70 Mirafix 180-N
WEBTEC N07

The width of the geotextile must include sufficient material to conform to trench perimeter irregularities and for a 6-inch minimum top overlap. The filter fabric shall be tucked under the sand layer on the bottom of the infiltration trench for a distance of 6 to 12-inches. Stones or other anchoring objects should be placed on the fabric at the edge of the trench to keep the trench open during windy periods. When overlaps are required between rolls, the uphill roll should be a minimum of 2-feet over the downhill roll in order to provide a shingled effect.

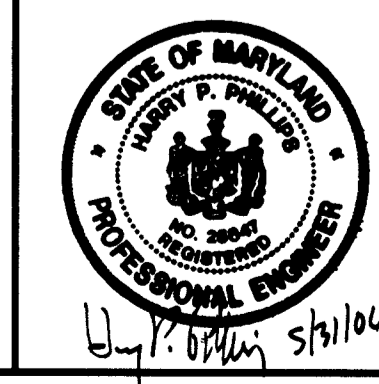
- If a 6-inch sand filter layer is placed on the bottom of the infiltration trench, the sand for the infiltration trench shall be washed and meet AASHTO-M-43, ASTM C-33 Concrete Sand. Any alternative sand gradation must be approved by the plan approval authority.
- The stone aggregate should be placed in a maximum loose lift thickness of 12-inches. The gravel (rounded "bank run" gravel is preferred) for the infiltration trench shall be washed and meet one of the following AASHTO-M-43, Size No. 2 or No. 3.
- Following the stone aggregate placement, the filter fabric shall be folded over the stone aggregate to form a 6-inch minimum longitudinal lap. The desired fill soil or stone aggregate shall be placed over the lap at sufficient intervals to maintain the lap during subsequent backfilling.
- Care shall be exercised to prevent natural or fill soils from intermixing with the stone aggregate. All contaminated stone aggregate shall be removed and replaced with uncontaminated stone aggregate.
- Voids may occur between the fabric and the excavation sides shall be avoided. Removing boulders or other obstacles from the trench walls is one source of such voids. Therefore, natural soils should be placed in these voids at the most convenient time during construction to ensure fabric conformity to the excavation sides.
- Vertically excavated walls may be difficult to maintain in areas where soil moisture is high or where soft cohesive or cohesionless soils are dominant. These conditions may require laying back of the side slopes to maintain stability.

- PVC distribution pipes shall be Schedule 40 and meet ASTM-D-1785. All fittings shall meet ASTM-D-2729. Perforations shall be 3/8-inch in diameter. A perforated pipe shall be provided only within the infiltration trench and shall terminate 1-foot short of the infiltration trench wall. The end of the PVC pipe shall be capped. Note: PVC pipe with a wall thickness classification of SDR-35 meeting ASTM-D-3034 is an acceptable substitute for the Schedule 40 pipe.
- The observation well is to consist of 6-inch diameter perforated PVC Schedule 40 pipe (M278 or F758, Type PS28) with a cap set 6-inches above ground level and is to be located near the longitudinal center of the infiltration trench. The pipe shall have a plastic collar with ribs to prevent rotation when removing the cap. The screw top lid shall be a cleanout with a locking mechanism or special bolt to discourage vandalism. The depth to the invert shall be marked on the lid. The pipe shall be placed vertically within the gravel portion of the infiltration trench and a cap provided at the bottom of the pipe. The bottom of the cap shall rest on the infiltration trench bottom.
- If a distribution structure with a wet well is used, a 4 inch drain pipe shall be provided at opposite ends of the infiltration trench distribution structure. Two (2) cubic feet of porous backfill meeting AASHTO-M-43, Size No. 57 shall be provided at each drain.
- If a distribution structure is used, the manhole cover shall be bolted to the frame.

APPROVED: Howard County Department of Planning and Zoning
 [Signature]
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature]
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature]
 DIRECTOR

Reviewed for Howard SCD and meets Technical Requirements
 USDA-NATURAL RESOURCES CONSERVATION SERVICE
 This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District
 HOWARD SOIL CONSERVATION DISTRICT

GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
 Civil Engineers and Land Surveyors
 1020 Cromwell Bridge Road
 Towson, Maryland 21286
 (410) 825-8120



DEVELOPER CERTIFICATION:
 I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard soil Conservation District.

Signature of Developer: [Signature]
 Print Name: Stuart Ford
 Date: 5/31/06

ENGINEER CERTIFICATION:
 I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the State of Maryland and I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion.

Signature of Engineer: [Signature]
 Print Name: Henry P. Phillips
 Date: 5/31/06
 PE # 25847

NO.	DATE	REVISIONS	BY

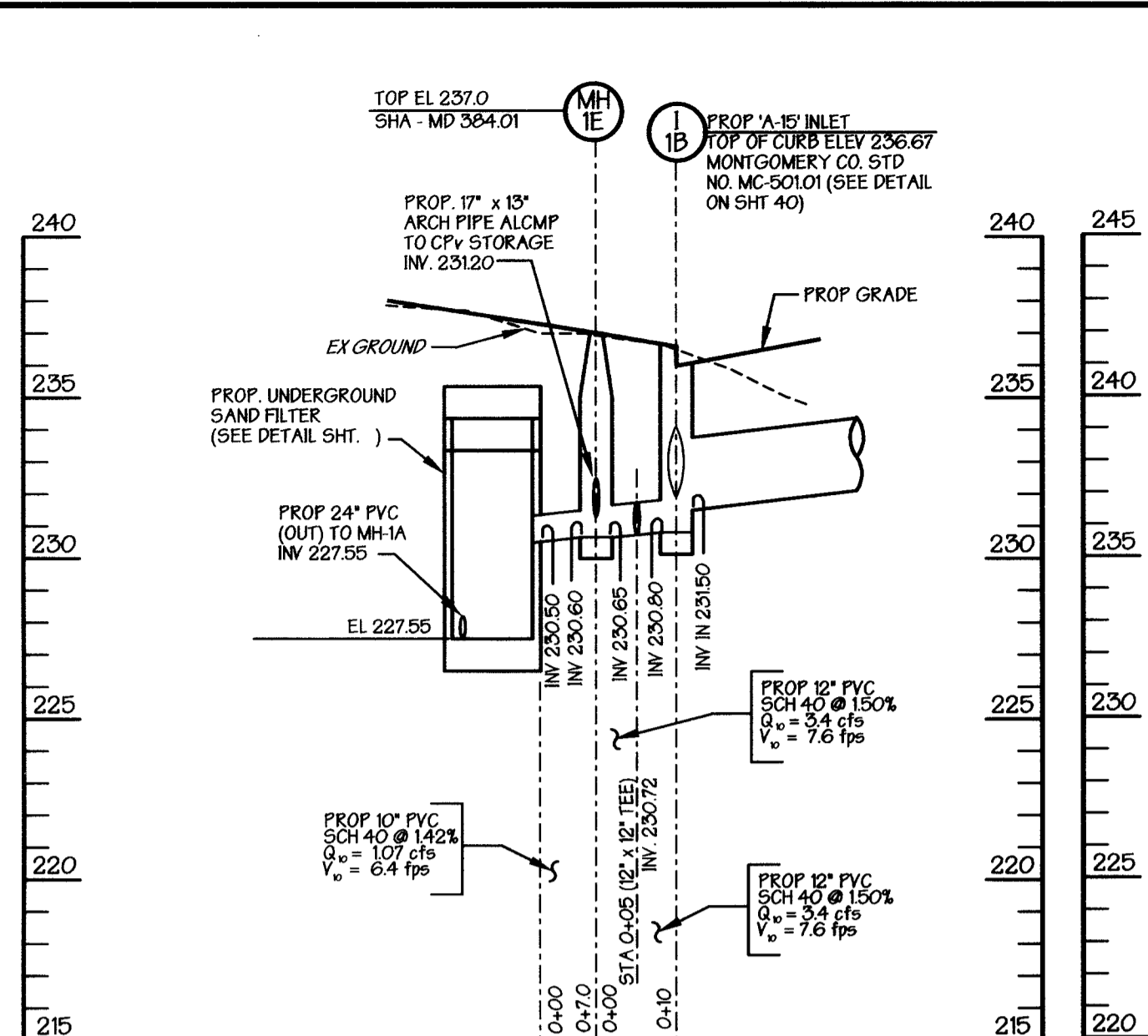
OWNER / DEVELOPER
Merritt Properties, LLC
 2066 Lord Baltimore Drive
 Baltimore, Maryland 21244
 ph: 410-298-2600
 fx: 410-298-9644

ADDRESS CHART		PROJECT NAME		SECTION NAME		PARCEL # A	
PAR. 'A-1' BLDG. NO. 1	6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103	The Meadows Corporate Park	Elkridge	173,179,407	412,536,536		
PAR. 'A-2' BLDG. NO. 2	6518 MEADOWRIDGE ROAD MARYLAND ROUTE 103						
PAR. 'A-3' BLDG. NO. 3	6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103						
PAR. 'A-4' BLDG. NO. 4	6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103						
LIBER / FOLIO GRID	22	ZONE	OCT	ELECT. DIST.	1	CENSUS TRACT	6011.02
WATER CODE	B-02	SEWER CODE	4020000				

DESIGNED BY: H.P.P.
 DRAWN BY: H.P.P.
 CHECKED BY: H.P.P.
 REVISIONS

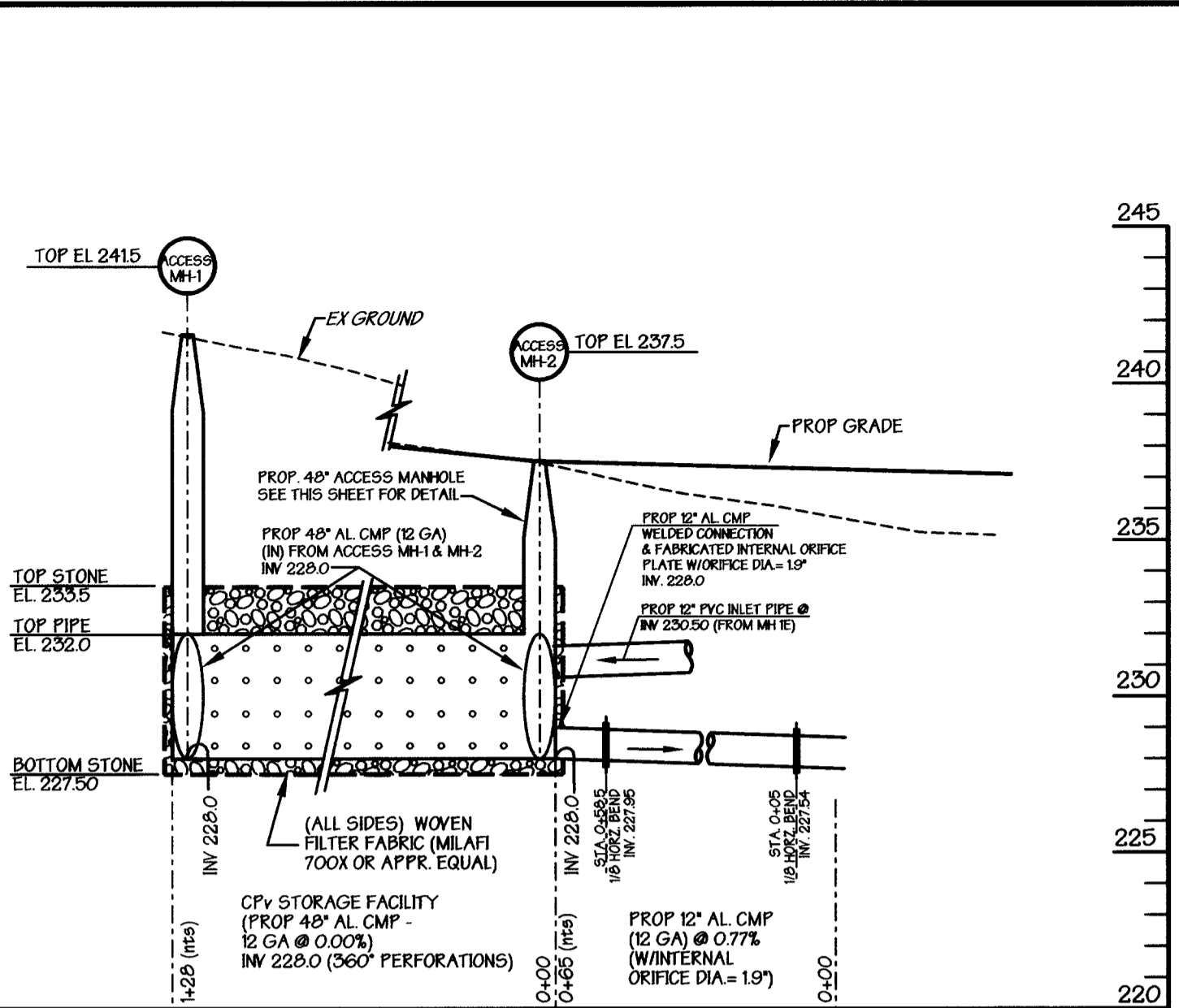
Ground Water Recharge Facility No. 4
Plan, Profiles & Details
The Meadows Corporate Park
 Parcel 'A-1' thru Parcel 'A-4'

Site Improvements: General Offices
 Election District No. 1
 Howard County, Maryland
 SHT. 19 OF 43
 Date: December 06, 2004
 SDP -05-072
 Scale: As Shown



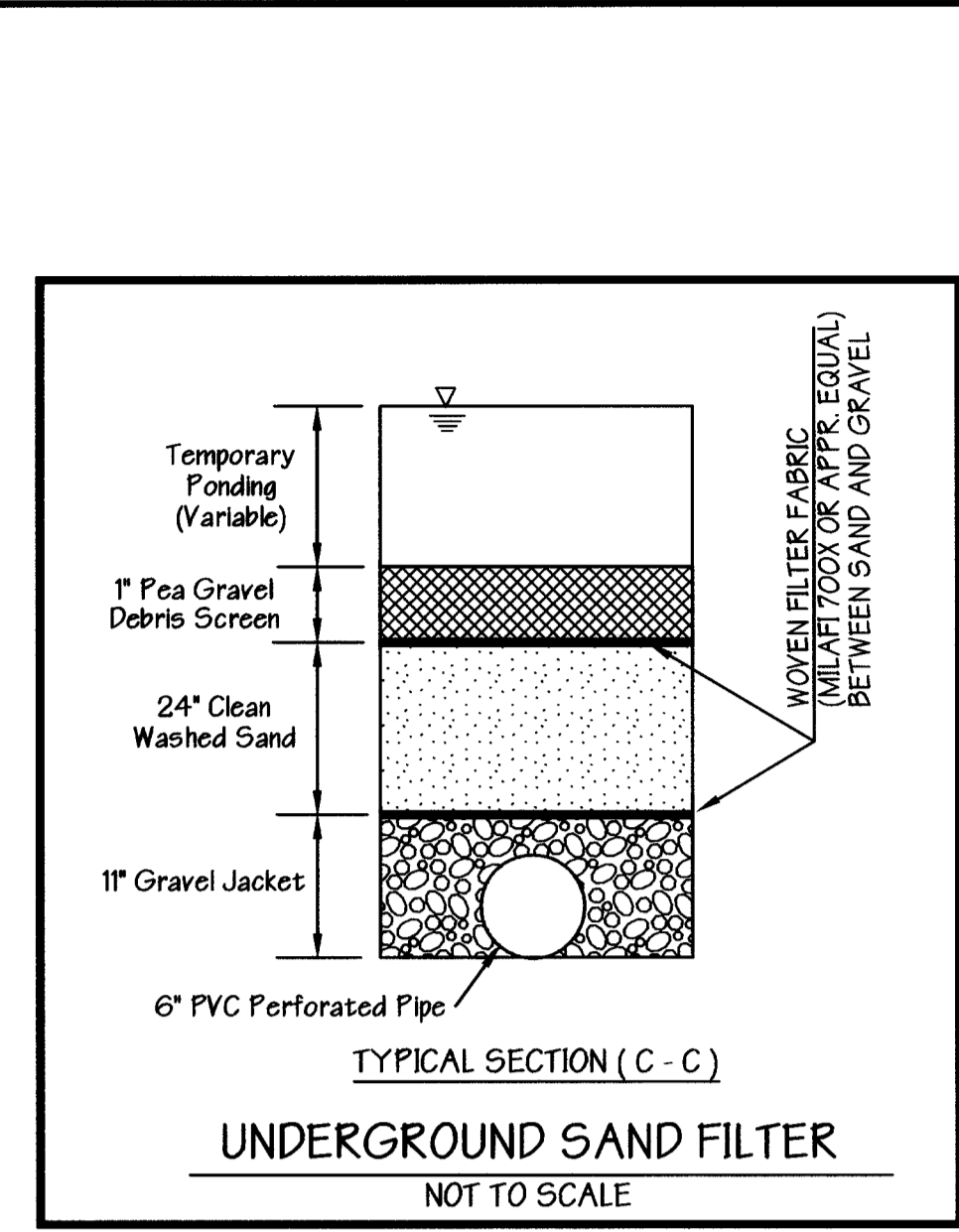
STORM DRAIN PROFILE

SCALE: HORIZ. 1" = 20'
VERT. 1" = 5'

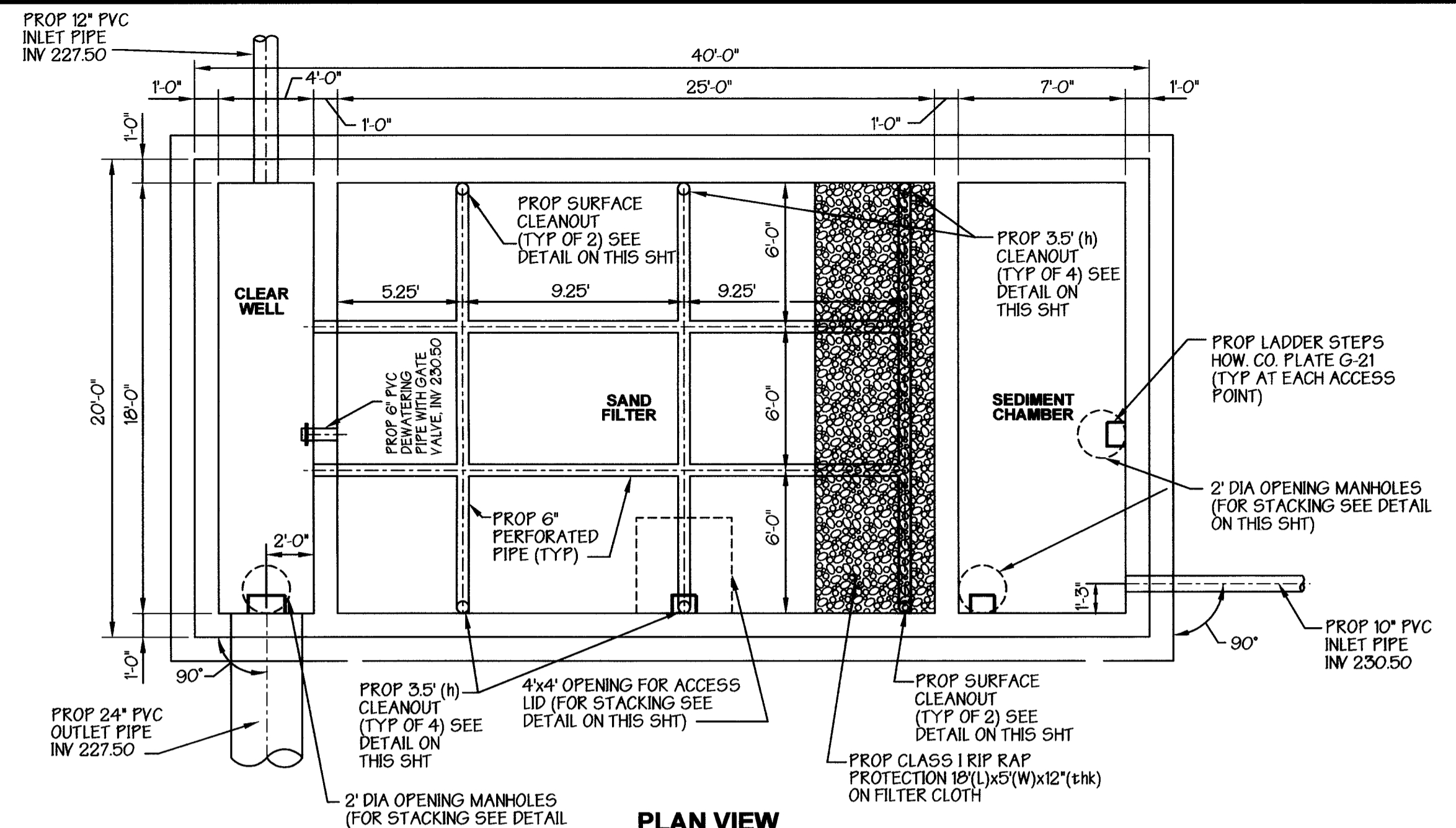


CpV STORAGE FACILITY - SECTION A-A

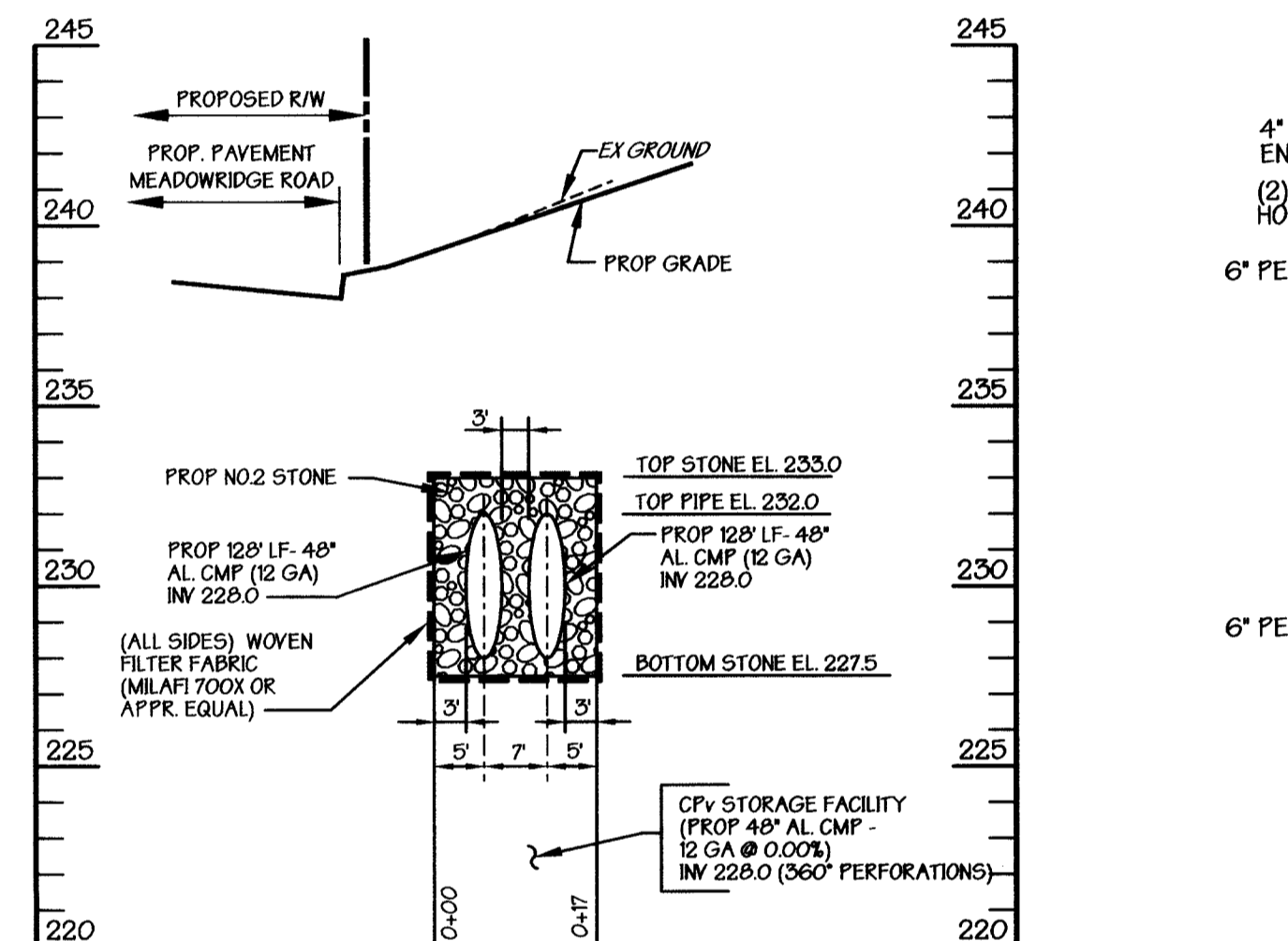
SCALE: HORIZ. 1" = 20'
VERT. 1" = 5'



UNDERGROUND SAND FILTER
NOT TO SCALE

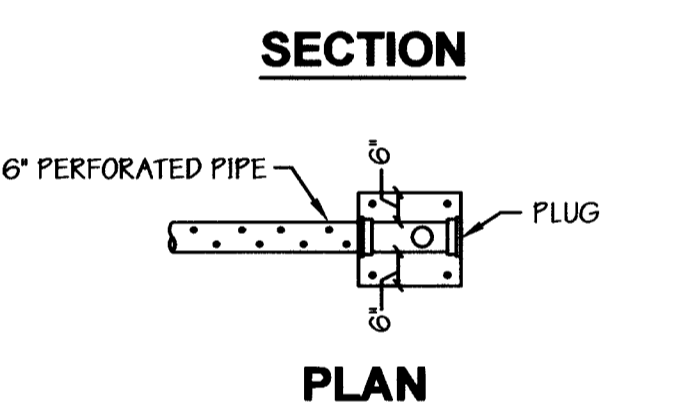
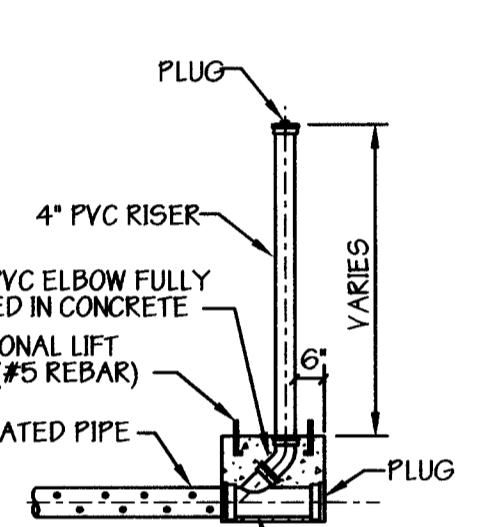


PLAN VIEW



CpV STORAGE FACILITY - SECTION B-B

SCALE: HORIZ. 1" = 20'
VERT. 1" = 5'

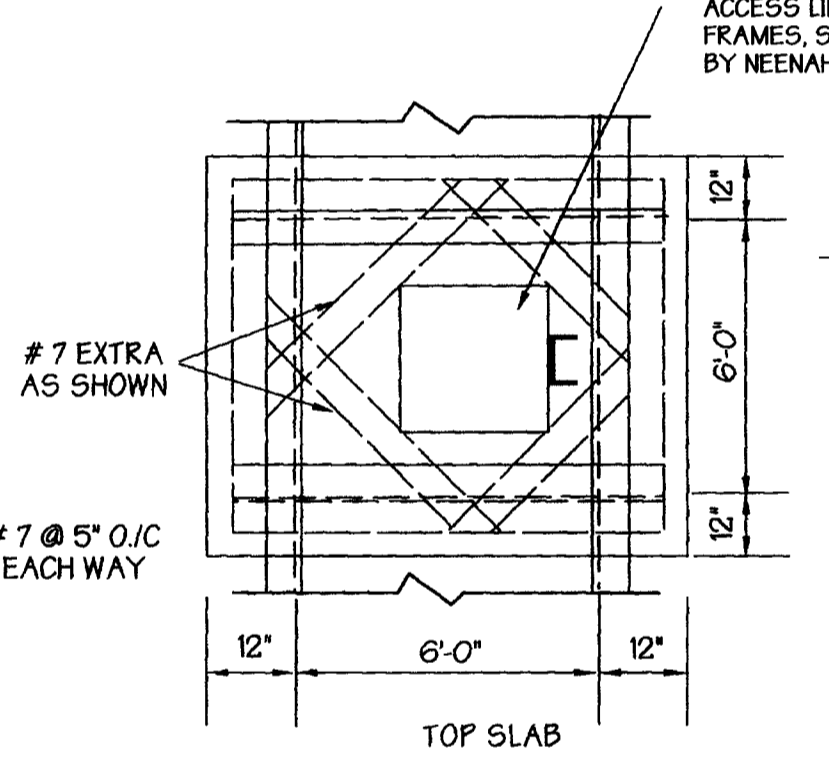


CLEANOUT DETAIL

NTS

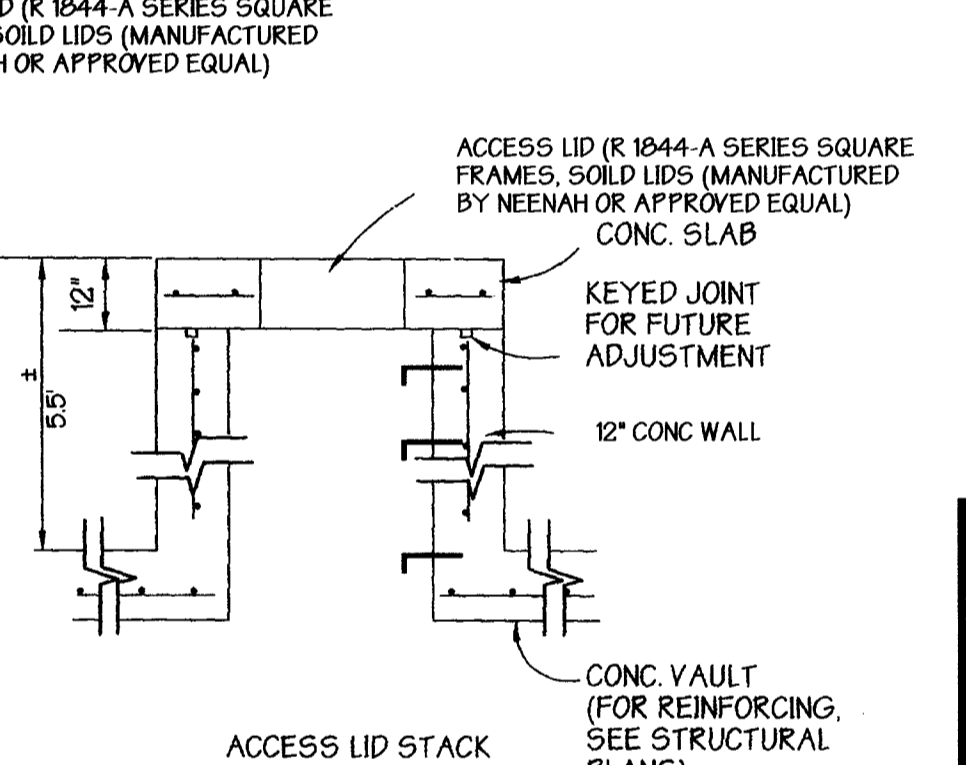
OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED UNDERGROUND STORMWATER FILTRATION SYSTEMS (F-2 AND F-3)

- The sediment chamber outlet devices shall be cleaned and/or repaired when drawn down times within the chamber exceed 36 hours.
- Debris and litter shall be removed as necessary to insure proper operation of the system.
- Sediment shall be cleaned out of the sedimentation chamber when it accumulates to a depth of 6 inches. Vegetation within the sediment chamber shall be limited to a height of 18 inches.
- When water ponds on the surface of the filter bed for more than 72 hours, the top few inches of discolored material shall be replaced with fresh material. Proper cleaning and disposal of the removed materials and liquid must be followed by the owner.
- A logbook shall be maintained to determine the rate at which the facility drains.
- The maintenance logbook shall be available to Howard County for inspection to insure compliance with operation and maintenance criteria.
- Once the performance characteristics of the infiltration system have been verified, the monitoring schedule can be reduced to an annual basis unless the performance data indicates that a more frequent schedule is required.



ACCESS LID STACK FOR UNDERGROUND SAND FILTER

NOT TO SCALE



ACCESS MANHOLE DETAIL

NT.S.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED UNDERGROUND FACILITIES

- The underground stormwater management facility shall be inspected yearly at a minimum and after especially severe storm events.
- When sediment accumulation of more than 2" is observed or any debris that might obstruct the outfall is observed, the facility shall be cleaned.
- The facility shall be cleaned immediately after petroleum spills. The owner shall contact the appropriate regulatory agencies notifying them of the spill and cleanup operation.
- The sediment and debris shall be removed from the underground stormwater management facility by vacuum truck or other manual means. The owner shall follow proper cleaning and disposal of the removed material and liquid.
- The inlet and outlet pipes shall be checked for any obstructions at least once every six (6) months. If obstructions are found, the owner shall have them removed and properly disposed of.

UNDERGROUND SAND FILTER

SCALE: 1" = 5'

Materials Specifications for Sand Filters

PARAMETER	SPECIFICATION	SIZE	NOTES
Sand	AASHTO M-6 or ASTM C-33 33 concrete sand	0.02" to 0.04"	Sand substitutions such as Diabase and Graystones #10 are not acceptable. No calcium carbonated or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand.
Peat			The material must be reed-sedge hemic peat, shredded, uncompacted, uniform, and clean.
Leaf Compost		n/a	
Underdrain Gravel	AASHTO M-43	0.35" TO 0.75"	
Geotextile Fabric (if required)	ASTM-D-4833 (puncture strength - 125 lbs ASTM-D-4632 (tensile strength - 300 lbs)	0.08" thick equivalent opening size of #50 sieve	Must maintain 125 gpm per sq. ft. flow rate. Note: a 4" pea gravel layer may be substituted for geotextiles meant to "separate" sand filter layers.
Impermeable liner (if required)	ASTM-D-4833 (puncture strength 1100 lbs, elongation 200%) ASTM-D-624 (Tear resistance 150 lbs/in) ASTM-D-471 (water adsorption: +5 to -2 % mass)		
underdrain piping	F 750, Type PS 28 or AS55HTO-M-27B	4" - 6" rigid schedule 40 PVC or SDR35	3/8" perf. @ 6" on center. 4 holes per row; minimum of 3" of gravel over pipes; not necessary underneath pipes
concrete (cast in place)	MNSA Standard and Spec, Section 902 - Mix No. 3, fc = 3500 psi, normal weight, air-entrained; re-enforcing to meet ASTM 615-60	n/a	on-site testing of poured-in-place concrete required: 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using previously approved State or local standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland - design to include meeting ACI Code 350R/89; vertical loading [H-10 or H-20]; allowable horizontal loading (based on soil pressures); and analysis of potential cracking
concrete (pre-cast)	per pre-cast manufacturer	n/a	SEE ABOVE NOTE
non-rebar steel	ASTM A-36	n/a	structural steel to be hot-dipped galvanized ASTM - A 123

PREPARED BY:
GEORGE W. STEPHENS, JR.
AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
1020 Cromwell Bridge Road
Towson, Maryland 21286
(410) 825-8120



ENGINEER CERTIFICATION:
I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Signature of Engineer: *Harry P. Phillips* Date: 5/31/06
Print Name: Harry P. Phillips PE # 25847

DEVELOPER CERTIFICATION:
I/We certify that all development and/or construction will be done according to this plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspections by the Howard Soil Conservation District.
Signature of Developer: *Steve Ford* Date: 5/31/06
Print Name: Steve Ford

NO.	DATE	REVISIONS	BY
1	5/17/06	Revised SWM pond no.3 to an underground facility	hpp

OWNER / DEVELOPER
Merritt Properties, LLC
2066 Lord Baltimore Drive
Baltimore, Maryland 21244

DESIGNED BY: H.P.P.
DRAWN BY: H.P.P.
CHECKED BY: H.P.P.
REVISIONS

Reviewed for Howard SCD and meets Technical Requirements

Jim Meyer 6/12/06
SDA-NATURAL RESOURCE CONSERVATION SERVICE DATE

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District

Heather W. Schrimm 6/12/06
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: Howard County Department of Planning and Zoning

Walter J. Schrimm 6/12/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Kent Schrimm 6/15/06
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Patrick J. Meyer 6/15/06
DIRECTOR DATE

ADDRESS CHART		SECTION NAME	PARCEL #
PARCEL NO.	STREET ADDRESS	Elkridge	A-3
PARCEL A-3	Meadowridge Road		

PROJECT NAME	SECTION NAME	PARCEL #
The Meadows Corporate Park	Elkridge	A-3

LIBER / FOLIO	GRID	ZONE	TAX / ZONE MAP	ELECT. DIST.	CENSUS TRACT
06-14	22	CCT	37	1	606901

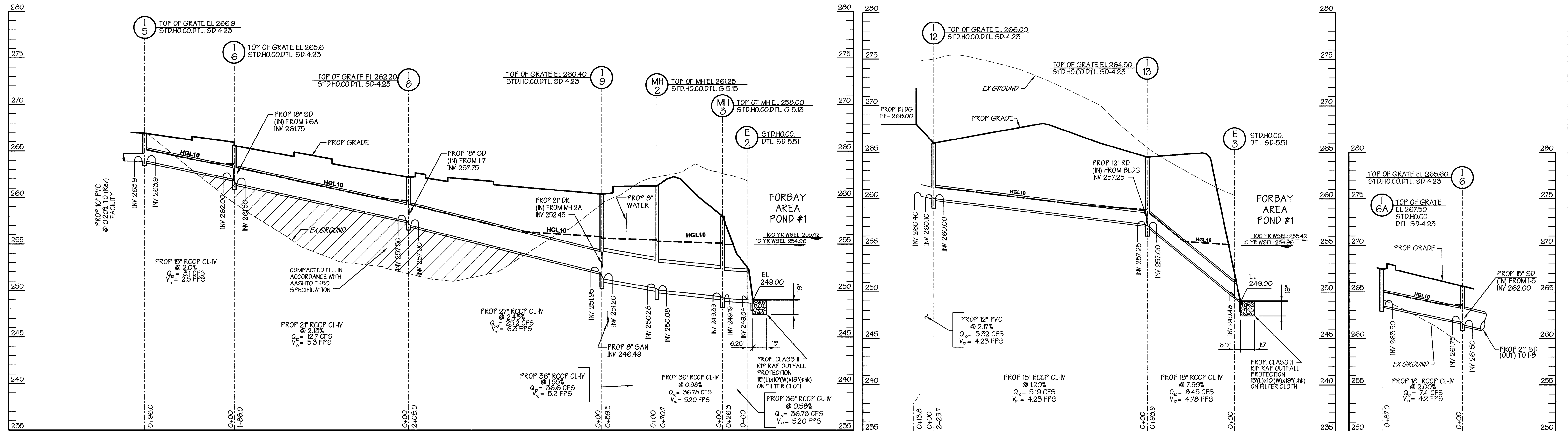
WATER CODE B-02 SEWER CODE 402000

Water Quality Pond No.3 - Details
Meadows Corporate Park
Parcel 'A-1' thru Parcel 'A-4'

Election District No.1
Howard County, Maryland
SDP 05-072

Scale: As Shown
Date: August 06, 2004

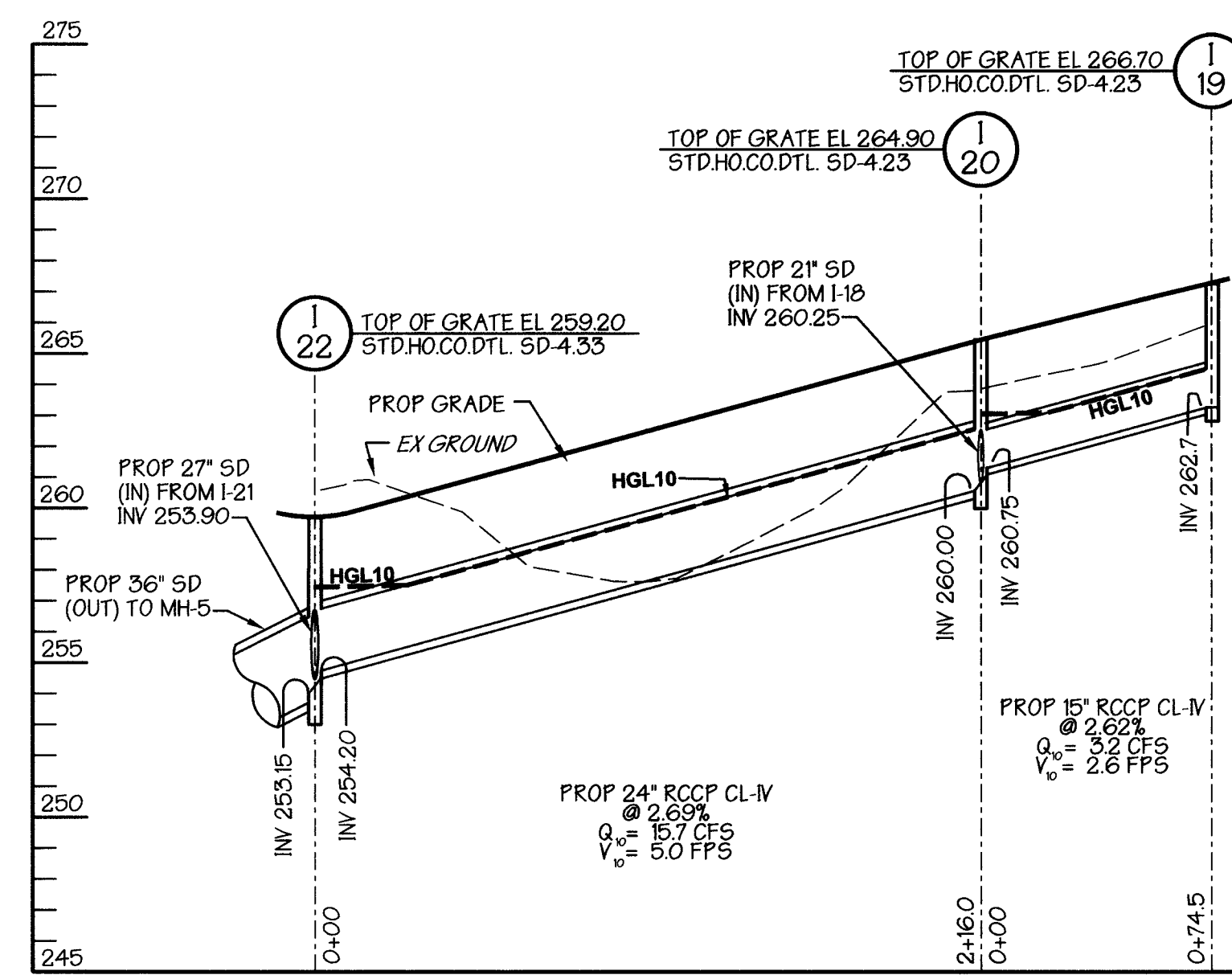
SHT. 16 OF 43
P/N: 9698



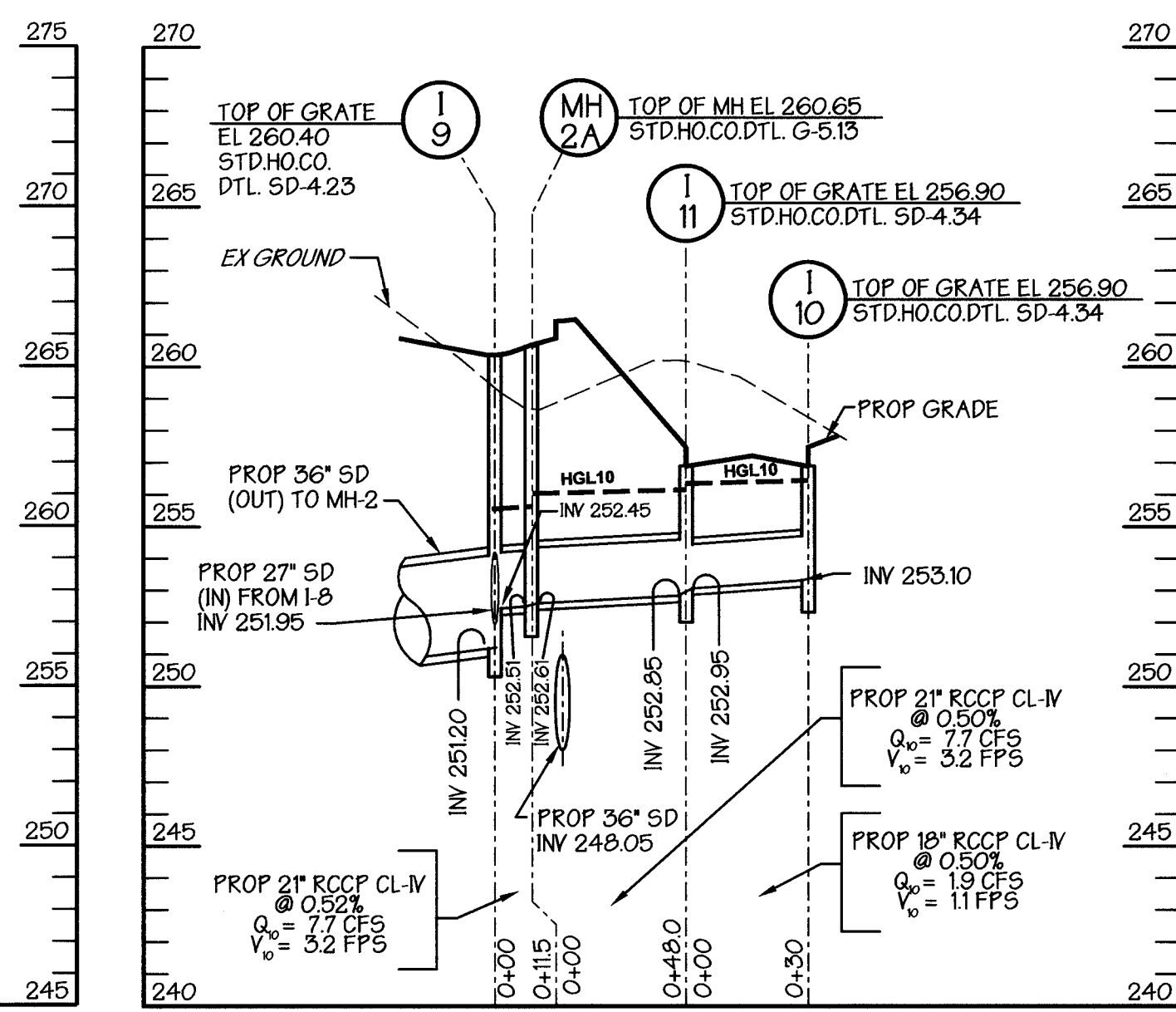
I-5 TO E-2

I-12 TO E-3

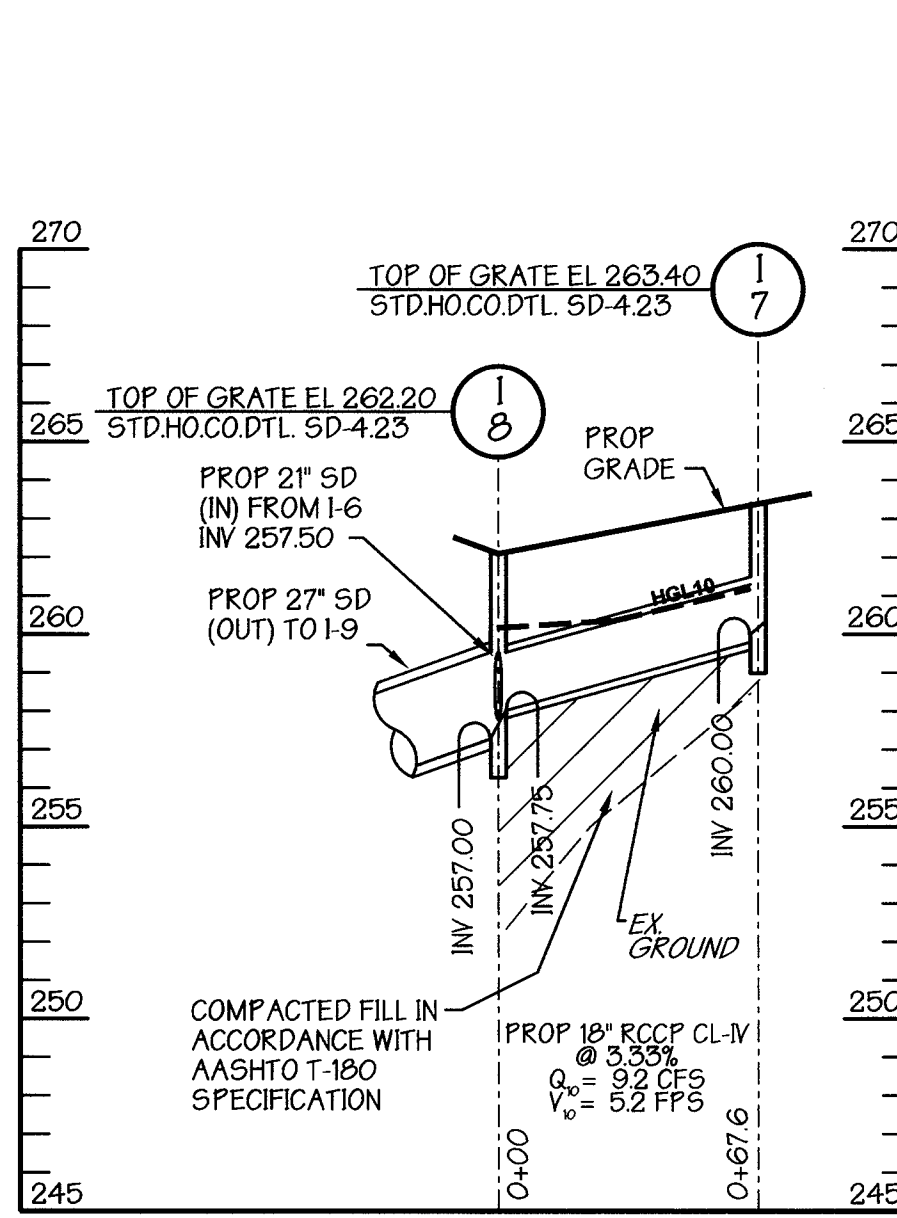
I-6 TO I-6A



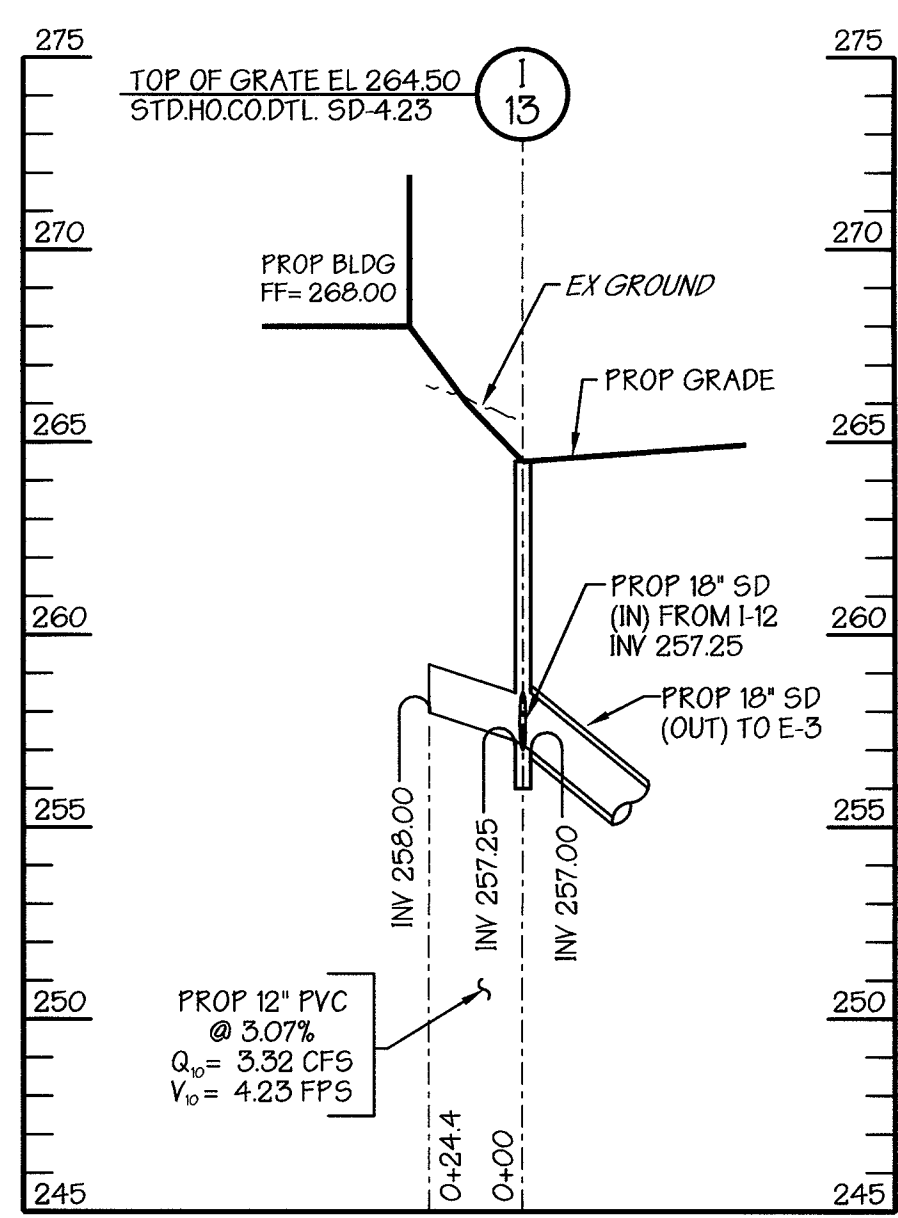
I-22 TO I-18



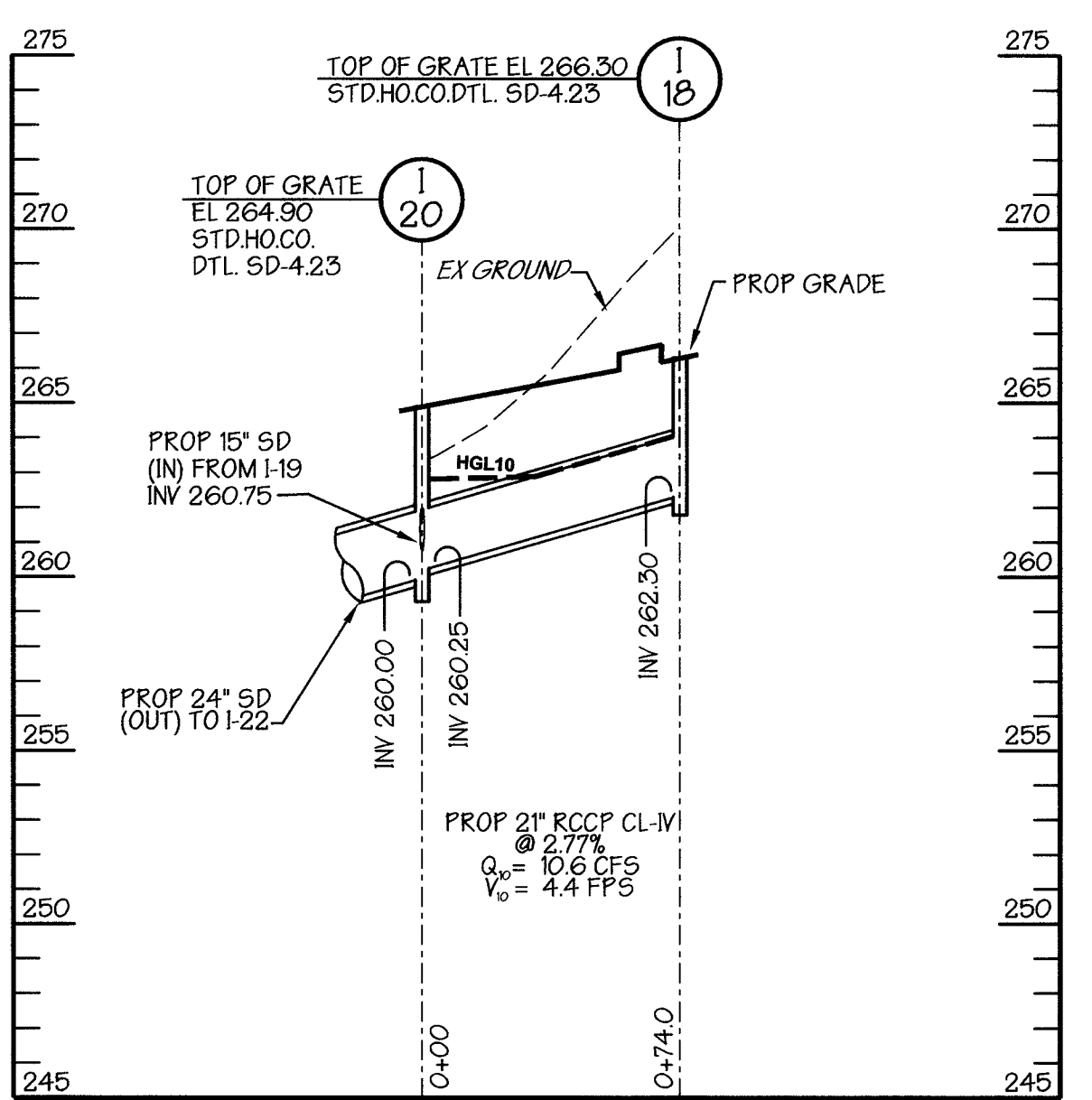
I-10 TO MH-2A



I-7 TO I-8



ROOF DRAIN TO I-13



I-20 TO I-18

APPROVED: Howard County Department of Planning and Zoning
 [Signature] 6/14/06
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 6/15/06
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 6/16/06
 DIRECTOR

INLET SCHEDULE					
NO.	TYPE	INV. IN	INV. OUT	TOP. GRADE ELEV.	HO. CO. DTL.
5	DBL 'S'	263.90 (107)	263.90	266.90	SD-4.23
6	DBL 'S'	261.75 (107)	261.50	265.60	SD-4.23
6A	DBL 'S'		263.50	267.50	SD-4.23
7	DBL 'S'		260.00	263.40	SD-4.23
8	DBL 'S'	257.75 (107)	257.50 (211)	262.20	SD-4.23
9	DBL 'S'	252.45 (107)	251.20 (211)	260.40	SD-4.23
10	COMB. DBL 'S'	253.10 (107)	253.10	256.90	SD-4.34
11	COMB. DBL 'S'	252.95 (107)	252.85 (211)	256.90	SD-4.34
12	DBL 'S'	260.10	260.00	266.00	SD-4.23
13	DBL 'S'	257.25 (107)	257.00 (211)	264.50	SD-4.23
18	DBL 'S'		262.30	266.30	SD-4.23
19	DBL 'S'		262.70	266.70	SD-4.23
20	DBL 'S'	260.75 (107)	260.00 (211)	264.90	SD-4.23
22	DBL 'S'	263.90 (107)	263.90	259.20	SD-4.33

MANHOLE SCHEDULE					
NO.	TYPE	INV. IN	INV. OUT	TOP. ELEV.	HO. CO. DTL.
2	STD	250.28	250.08	261.25	G-5.13
2A	STD	252.61	252.51	260.65	G-5.13
3	STD	249.39	249.19	258.00	G-5.13

STRUCTURE SCHEDULE						
NO.	TYPE	SIZE	INV. IN	INV. OUT	TOP. ELEV.	HO. CO. DTL.
E-2	CON. END SECTION	36"	249.04	249.00	---	SD-5.51
E-3	CON. END SECTION	18"	249.48	249.00	---	SD-5.51

PIPE SCHEDULE			
SIZE (IN)	CLASSIFICATION	TYPE	TOTAL LENGTH (FT.)
15	IV	RCP	400.2
18	IV	RCP	278.5
21	IV	RCP	321.5
24	IV	RCP	216.0
27	IV	RCP	208.0
36	IV	RCP	156.5
12	SCH 40	PVC	39.0

COMPACTED FILL IN ACCORDANCE WITH AASHTO T-180 SPECIFICATION (FOR ALL PIPES IN FILL).

PREPARED BY:
GWS
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
 Civil Engineers and Land Surveyors
 1020 Cromwell Bridge Road
 Towson, Maryland 21286
 (410) 825-8120



OWNER / DEVELOPER		ADDRESS CHART	
Merritt Properties, LLC		PARCEL NO.	STREET ADDRESS
2066 Lord Baltimore Drive Baltimore, Maryland 21244 ph: 410-298-2600 fx: 410-298-9644		PAR 'A-1' BLDG. NO. 1	6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PLAT #'s 1833C-78		PAR 'A-2' BLDG. NO. 2	6518 MEADOWRIDGE ROAD MARYLAND ROUTE 103
		PAR 'A-3' BLDG. NO. 3	6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103
		PAR 'A-4' BLDG. NO. 4	6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PROJECT NAME	SECTION NAME	PARCEL # A	
The Meadows Corporate Park	Elkridge	173, 179, 407, 412, 535, 4, 536	
LIBER / FOLIO	GRID	TAX / ZONE MAP	ELECT. DIST.
F. 06.14	22	37	1
(PLAT NO. 1753/79)			
WATER CODE		SEWER CODE	
B-02		4020000	

DESIGNED BY: H.P.P.
 DRAWN BY: H.P.P.
 CHECKED BY: H.P.P.
 REVISIONS
 REV. NO. 1 - REV. STORM DRAINS 10/21/05

Storm Drain Profiles

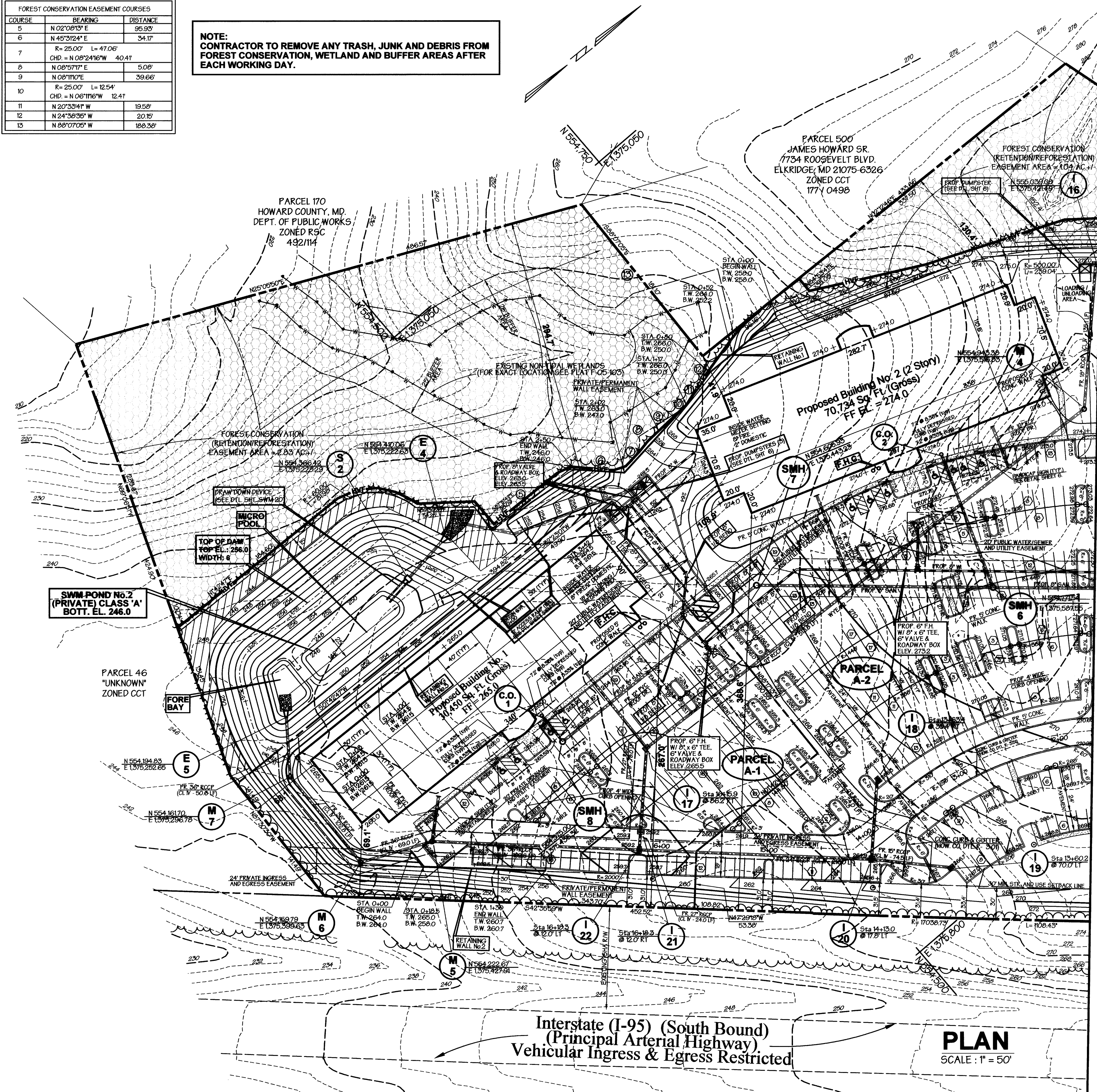
The Meadows Corporate Park
 Parcel 'A-1' thru Parcel 'A-4'

Site Improvements: General Offices
 Election District No. 1
 Howard County, Maryland

SDP -05-072
 Scale: As Shown
 Date: December 06, 2004
 SHT. 11 OF 43

COURSE	BEARING	DISTANCE
5	N 02°09'10" E	85.95'
6	N 45°31'24" E	34.17'
7	R = 25.00' L = 47.06' CHD. = N 08°24'16" W 40.41'	
8	N 08°57'07" E	5.08'
9	N 08°17'02" E	39.66'
10	R = 25.00' L = 12.54' CHD. = N 06°11'16" W 12.41'	
11	N 20°29'41" W	19.58'
12	N 24°58'29" W	20.15'
13	N 88°07'05" W	106.35'

NOTE:
CONTRACTOR TO REMOVE ANY TRASH, JUNK AND DEBRIS FROM FOREST CONSERVATION, WETLAND AND BUFFER AREAS AFTER EACH WORKING DAY.



MATCH LINE 'A-A' (SEE SHEET 4)

Typical Lighting

□ — SINGLE 400 W METAL HALIDE FIXTURES ON 25' POLE TYPE 3 DISTRIBUTION WIDELITE AL3M400 SERIES HORIZONTAL LAMP FLAT GLASS FULL CUT-OFF & FULL SHIELDED LIGHT FIXTURE INTENSITY: 22,000 LUMENS

□ — SINGLE 400 W METAL HALIDE FIXTURES ON 25' POLE TYPE 3 DISTRIBUTION WIDELITE AL3M400 SERIES HORIZONTAL LAMP FLAT GLASS FULL CUT-OFF & FULL SHIELDED LIGHT FIXTURE INTENSITY: 22,000 LUMENS

NOTE:
ALL EXTERIOR LIGHTING SHALL CONFORM TO ZONING REGULATIONS, SECTION 134

Legend

- PROPOSED SITE GAS/ELECTRIC
- Ex. 2' Contours
- Ex. 10' Contours
- Prop. 2' Contours
- Prop. 10' Contours
- Ex. Curb & Gutter
- Prop. Curb & Gutter
- Bldg. Restriction Line
- Ex. Sanitary
- Ex. Storm Drain
- Ex. Water
- Prop. Sanitary
- Prop. Storm Drain
- Prop. Water
- Light Duty Paving (P-2)
- Intermediate Duty Paving (P-3)
- Heavy Duty Paving (P-5)
- Handicapped Detail No. 3
- PROPOSED FULL DEPTH PAVING (SEE DETAIL SHT. 6)
- PROPOSED SHA FULL DEPTH PAVING
- LIGHT POLE LOCATION
- TREE LINE TO REMAIN
- FOREST CONSERVATION EASEMENT
- HIGH VISIBLE FENCE

NOTE:
ALL ROOF DRAINS SHALL CONNECT TO THE STORM DRAIN SYSTEM AND DRAIN TO THE PROPOSED SWM PONDS AS SHOWN.

APPROVED: Howard County Department of Planning and Zoning

[Signature] 12/14/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 6/15/06
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 6/16/06
DIRECTOR DATE

OWNER / DEVELOPER	ADDRESS CHART										
Merritt Properties, LLC 2066 Lord Baltimore Drive Baltimore, Maryland 21244 ph: 410-298-2600 fx: 410-298-9644	<table border="1"> <thead> <tr> <th>PARCEL NO.</th> <th>STREET ADDRESS</th> </tr> </thead> <tbody> <tr> <td>PAR. 'A-1' BLDG. NO. 1</td> <td>6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103</td> </tr> <tr> <td>PAR. 'A-2' BLDG. NO. 2</td> <td>6518 MEADOWRIDGE ROAD MARYLAND ROUTE 103</td> </tr> <tr> <td>PAR. 'A-3' BLDG. NO. 3</td> <td>6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103</td> </tr> <tr> <td>PAR. 'A-4' BLDG. NO. 4</td> <td>6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103</td> </tr> </tbody> </table>	PARCEL NO.	STREET ADDRESS	PAR. 'A-1' BLDG. NO. 1	6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103	PAR. 'A-2' BLDG. NO. 2	6518 MEADOWRIDGE ROAD MARYLAND ROUTE 103	PAR. 'A-3' BLDG. NO. 3	6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103	PAR. 'A-4' BLDG. NO. 4	6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103
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PAR. 'A-4' BLDG. NO. 4	6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103										
PLAT #18336-38	PROJECT NAME: The Meadows Corporate Park SECTION NAME: Elkridge PARCEL # A-1 thru A-4										
DESIGNED BY: H.P.P.	LIBER / FOLIO GRID ZONE TAX ELECT. DIST. CENSUS TRACT (PLAT NO. 18336/38) 22 CCT /ZONE MAP 37 1 6011.02										
DRAWN BY: HPP	WATER CODE B-02 SEWER CODE 4820000										
CHECKED BY: H.P.P.	Revised Site Development Plan										
REVISIONS	Site and Grading Plan										
	The Meadows Corporate Park										
	Parcel 'A-1' thru Parcel 'A-4'										
	Site Improvements: General Offices SDP -05-072										
	Election District No.1 Scale: As Shown										
	Howard County, Maryland SHT. 5 OF 43 Date: December 06, 2004										
	SDP -05-072										

PREPARED BY:

GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
1020 Cromwell Bridge Road
Towson, Maryland 21286
(410) 825-8120

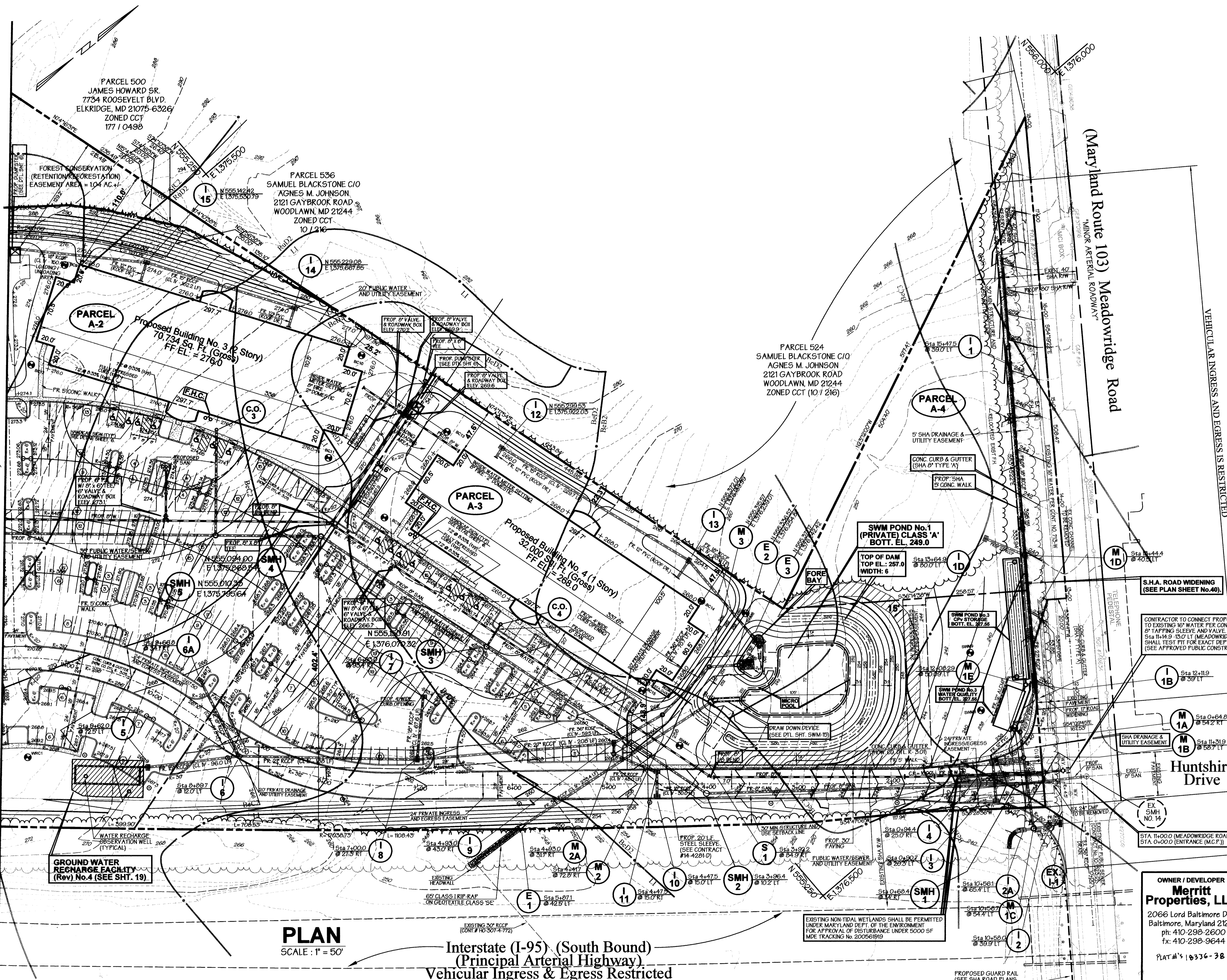


NOTES: TREES AND/OR SHRUBS WILL NOT BE ALLOWED ON ANY EMBANKMENT, WILL NOT BE ALLOWED WITHIN THE BUFFER ZONE (16 FEET FROM TOE OF DAM AND WILL NOT BE ALLOWED WITHIN A 25 FOOT RADIUS AROUND THE INLET STRUCTURE.

Note: Purpose for revision to this SDP. 5/29/06 To revise the entrance driveway, adjacent parking area, and associated storm drains and added additional landscape islands. Also, revised swm pond #3 and the Water Recharge Facility.

NO.	DATE	REVISIONS	BY
1	8/17/05	rev. front parking area	hpp
2	8/27/05	added retaining wall behind bldg no. 1	hpp
3	10/10/05	Revised access road between Bldg #1 & #2	hpp
4	10/25/05	Revised light poles & add prop. gas & electric	hpp
5	5/29/06	Revised SDP, entrance roadway, swm pond #3, front parking area, and storm drains. Added 2 storm ponds at Parcel A-1.	hpp

MATCHLINE 'A-A' (SEE SHEET 5)



Typical Lighting

TWIN 400 W METAL HALIDE FIXTURES ON 25' POLE TYPE 3 DISTRIBUTION WIDELITE ALSM400 SERIES HORIZONTAL LAMP FLAT GLASS FULL CUT-OFF & FULL SHIELDED LIGHT FIXTURE INTENSITY: 22,000 LUMENS

SINGLE 400 W METAL HALIDE FIXTURES ON 25' POLE TYPE 3 DISTRIBUTION WIDELITE ALSM400 SERIES HORIZONTAL LAMP FLAT GLASS FULL CUT-OFF & FULL SHIELDED LIGHT FIXTURE INTENSITY: 22,000 LUMENS

NOTE: ALL EXTERIOR LIGHTING SHALL CONFORM TO ZONING REGULATIONS, SECTION 134

Legend

- PROPOSED SITE GAS & ELECTRIC
 - Ex. 2' Contours
 - Ex. 10' Contours
 - Prop. 2' Contours
 - Prop. 10' Contours
 - Ex. Curb & Gutter
 - Prop. Curb & Gutter
 - Bldg. Restriction Line
 - Ex. Sanitary
 - Ex. Storm Drain
 - Ex. Water
 - Prop. Sanitary
 - Prop. Storm Drain
 - Prop. Water
- FOR PAVING LOCATION SEE SHEET 6 OF 43.
- Light Duty Paving (P-2)
 - Intermediate Duty Paving (P-3)
 - Heavy Duty Paving (P-5)
- Handicapped Detail No. 3
- PROPOSED FULL DEPTH PAVING (SEE DETAIL SHT. 6)
- PROPOSED SHA FULL DEPTH PAVING
- LIGHT POLE LOCATION
- TREE LINE TO REMAIN
- FOREST CONSERVATION EASEMENT
- HIGH VISIBLE FENCE

NOTE: ALL ROOF DRAINS SHALL CONNECT TO THE STORM DRAIN SYSTEM AND DRAIN TO THE PROPOSED SWM PONDS AS SHOWN.

APPROVED: Howard County Department of Planning and Zoning

Mark D. Wagle 6/18/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Kent Shanley 6/15/06
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Mark D. Wagle 6/18/06
DIRECTOR DATE

PARCEL NO.	STREET ADDRESS
PAR 'A-1' BLDG. NO. 1	6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR 'A-2' BLDG. NO. 2	6519 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR 'A-3' BLDG. NO. 3	6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR 'A-4' BLDG. NO. 4	6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103

PROJECT NAME	SECTION NAME	PARCEL
The Meadows Corporate Park	Elkridge	'A' 175, 179, 407, 412, 535 & 539

LIBER / FOLIO	GRID	ZONE	TAX	ELECT. DIST.	CENSUS TRACT
F-06-14 (PLAN NO. 175/475)	22	CCT	/ZONE MAP 57		601102

WATER CODE P-02 SEWER CODE 4820000

PLAN
SCALE: 1" = 50'

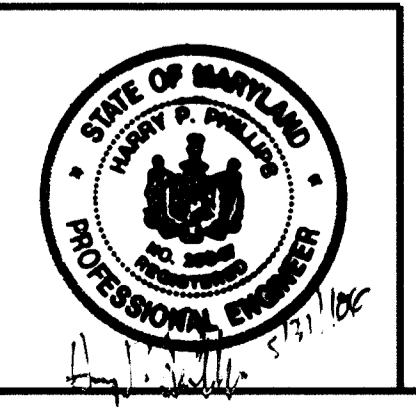
Interstate (I-95) (South Bound)
(Principal Arterial Highway)
Vehicular Ingress & Egress Restricted

Note: Purpose for revision to this SDP, 5/29/06 To revise the entrance driveway, adjacent parking area, and associated storm drains and added additional landscape islands. Also, revised swm pond #3 and the Water Recharge Facility.

DENOTES: TREES AND/OR SHRUBS WILL NOT BE ALLOWED ON ANY ENHANCEMENT. WILL NOT BE ALLOWED WITHIN THE BUFFER ZONE (5 FEET FROM TOE OF DAM) AND WILL NOT BE ALLOWED WITHIN A 25 FOOT RADIUS AROUND THE INLET STRUCTURE.

PREPARED BY:

GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
1020 Cromwell Bridge Road
Towson, Maryland 21286
(410) 825-8120



OWNER / DEVELOPER
Merritt Properties, LLC
2066 Lord Baltimore Drive
Baltimore, Maryland 21244
ph: 410-298-2600
fx: 410-298-9644
PLAT #'s 10336-38

DESIGNED BY: H.P.P.
DRAWN BY: H.P.P.
CHECKED BY: H.P.P.
REVISIONS

Revised Site Development Plan
Site and Grading Plan
The Meadows Corporate Park
Parcel 'A-1' thru Parcel 'A-4'

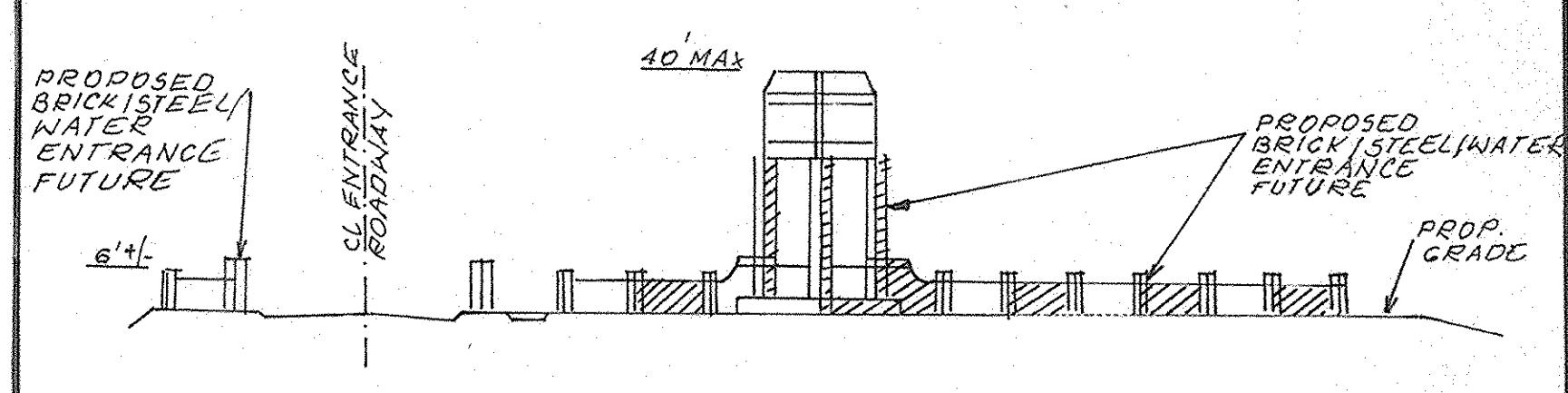
Site Improvements: General Offices
Election District No.1
Howard County, Maryland
SHT. 4 OF 43
Date: December 06, 2004

SDP -05-072
Scale: As Shown
Date: December 06, 2004

NO.	DATE	REVISIONS	BY
1	8/17/05	rev. front parking area	hpp
2	10/26/05	Revised Light poles & add prop. gas & electric	hpp
3	5/29/06	Revised SDP, entrance driveway, swm pond #3, front parking area, and storm drains. Also	hpp

SHOW SUBDIVISION OF PARCEL A INTO PARCELS A-1 THRU A-4.

ELEVATION-PROPOSED ENTRANCE FEATURE N.T.S.



Typical Lighting

TWIN 400 W METAL HALIDE FIXTURES ON 25' POLE TYPE 3 DISTRIBUTION WIDELITE AL3M400 SERIES HORIZONTAL LAMP FLAT GLASS FULL CUT-OFF & FULL SHIELDED LIGHT FIXTURE INTENSITY: 22,000 LUMENS

SINGLE 400 W METAL HALIDE FIXTURES ON 25' POLE TYPE 3 DISTRIBUTION WIDELITE AL3M400 SERIES HORIZONTAL LAMP FLAT GLASS FULL CUT-OFF & FULL SHIELDED LIGHT FIXTURE INTENSITY: 22,000 LUMENS

NOTE: ALL EXTERIOR LIGHTING SHALL CONFORM TO ZONING REGULATIONS, SECTION 154

Legend

- PROPOSED SITE GAS & ELECTRIC
- Ex. 2' Contours
- Ex. 10' Contours
- Prop. 2' Contours
- Prop. 10' Contours
- Ex. Curb & Gutter
- Prop. Curb & Gutter
- Prop. Restriction Line
- Ex. Sanitary
- Ex. Storm Drain
- Ex. Water
- Prop. Sanitary
- Prop. Storm Drain
- Prop. Water
- Light Duty Paving (P-2)
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- Heavy Duty Paving (P-5)
- Handicapped Detail No. 3
- PROPOSED FULL DEPTH PAVING (SEE DETAIL SHT. 6)
- PROPOSED SHA FULL DEPTH PAVING
- LIGHT POLE LOCATION
- TREE LINE TO REMAIN
- FOREST CONSERVATION EASEMENT
- HIGH VISIBLE FENCE - HVF

FOR PAVING LOCATION SEE SHEET 6 OF 43.

NOTE: ALL ROOF DRAINS SHALL CONNECT TO THE STORM DRAIN SYSTEM AND DRAIN TO THE PROPOSED SWM PONDS AS SHOWN.

APPROVED: Howard County Department of Planning and Zoning

Michael D. ... 6/14/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Kent ... 6/15/06
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Marsh ... 6/16/06
DIRECTOR DATE

OWNER / DEVELOPER	ADDRESS CHART	
Merritt Properties, LLC 2066 Lord Baltimore Drive Baltimore, Maryland 21244 ph: 410-298-2600 fx: 410-298-9644 PLAT #'s 18336-38	PARCEL NO. 1	6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	PARCEL NO. 2	6519 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	PARCEL NO. 3	6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	PARCEL NO. 4	6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PROJECT NAME	SECTION NAME	PARCEL # A
The Meadows Corporate Park	Elkridge	173, 179, 407, 412, 535 & 539
LIBER / FOLIO GRID	ZONE	TAX MAP
(PLAT NO. 17523/75)	22	7
WATER CODE B-02	SEWER CODE	CENSUS TRACT
	4020000	601102

DESIGNED BY: H.P.P.
DRAWN BY: H.P.P.
CHECKED BY: H.P.P.

Revised Site Development Plan

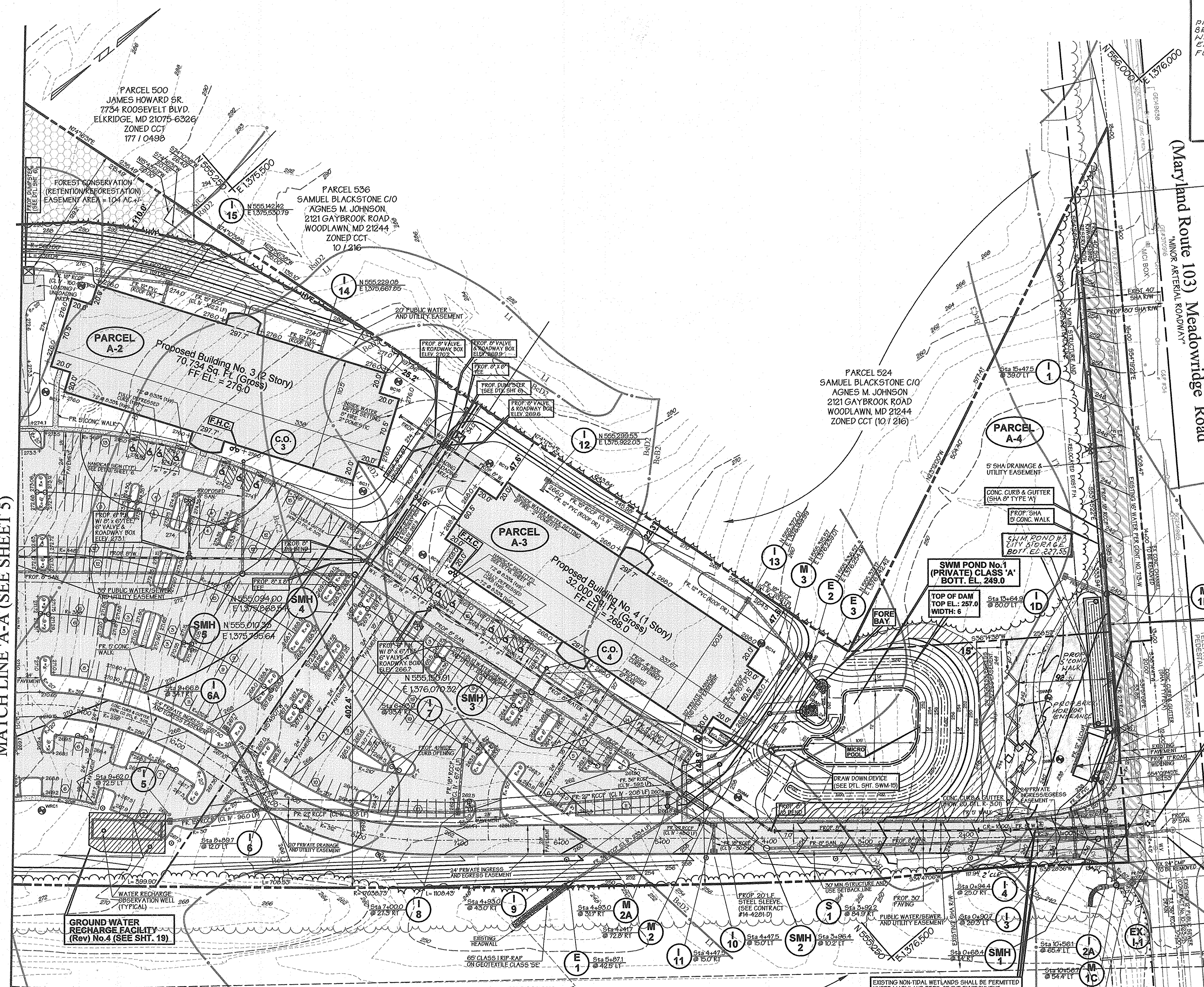
Site and Grading Plan

The Meadows Corporate Park

Parcel 'A-1' thru Parcel 'A-4'

Site Improvements: General Offices SDP-05-072
Election District No.1 Scale: As Shown
Howard County, Maryland SHT. 4 OF 43 Date: December 06, 2004
SDP-05-072 P/N: 10-9698

MATCH LINE 'A-A' (SEE SHEET 5)



PLAN
SCALE: 1" = 50'

Interstate (I-95) (South Bound)
(Principal Arterial Highway)
Vehicular Ingress & Egress Restricted

EXISTING NON-TIDAL WETLANDS SHALL BE PERMITTED UNDER MARYLAND DEPT. OF THE ENVIRONMENT FOR APPROVAL OF DISTURBANCE UNDER 5000 SF MDE TRACKING NO. 200561919

NOTES: TREES AND/OR SHRUBS WILL NOT BE ALLOWED ON ANY ENBANKMENT, WILL NOT BE ALLOWED WITHIN THE BUFFER ZONE (15 FEET FROM TOE OF DAM) AND WILL NOT BE ALLOWED WITHIN A 25 FOOT RADIUS AROUND THE INLET STRUCTURE.

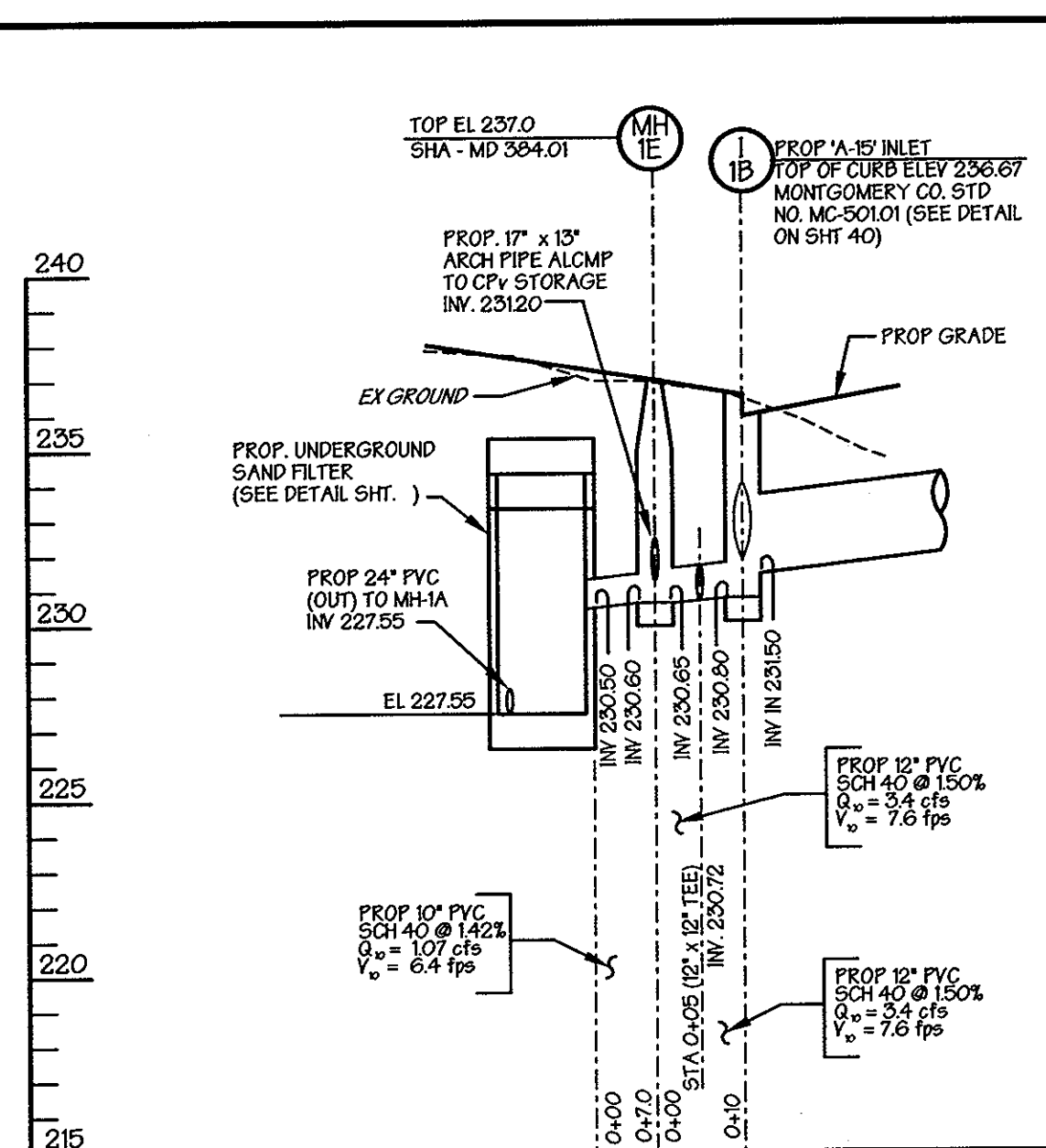
Note: Purpose for revision to this SDP. 5/29/06 To revise the entrance driveway, adjacent parking area, and associated storm drains and added additional landscape islands. Also, revised swm pond #3 and the Water Recharge Facility.

PREPARED BY:

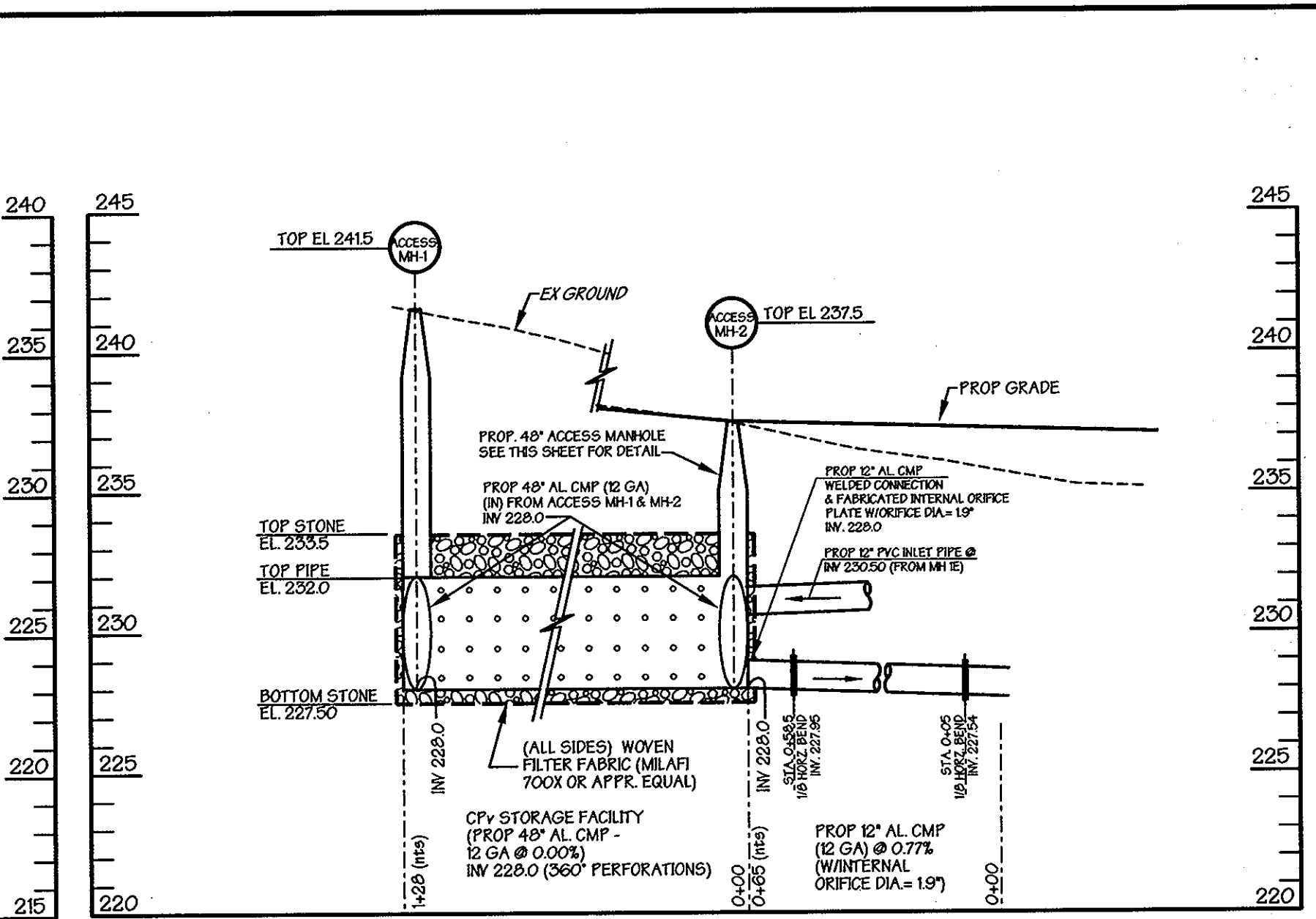
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
1020 Cromwell Bridge Road
Towson, Maryland 21286
(410) 825-8120

STATE OF MARYLAND
PROFESSIONAL ENGINEER
5711/106

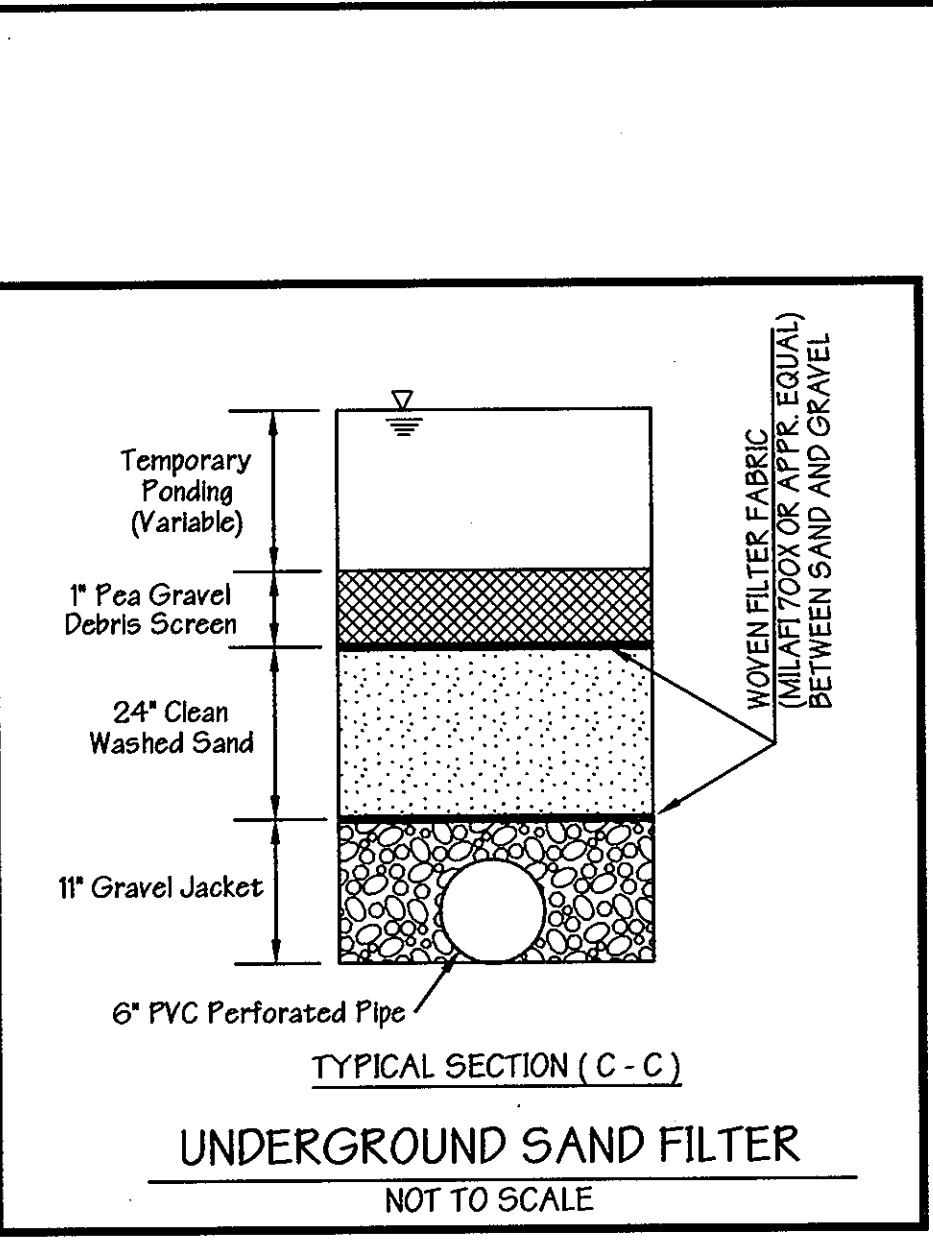
NO.	DATE	REVISIONS	BY
1	8/17/05	rev. front parking area	hpp
2	10/20/05	Revised utility poles & add prop. gas & electric	hpp
3	5/29/06	Revised SDP, entrance roadway, swm pond #3, front parking area, and storm drains. ALS	hpp
4	7/21/06	ADDED ENTRANCE FEATURE	hpp



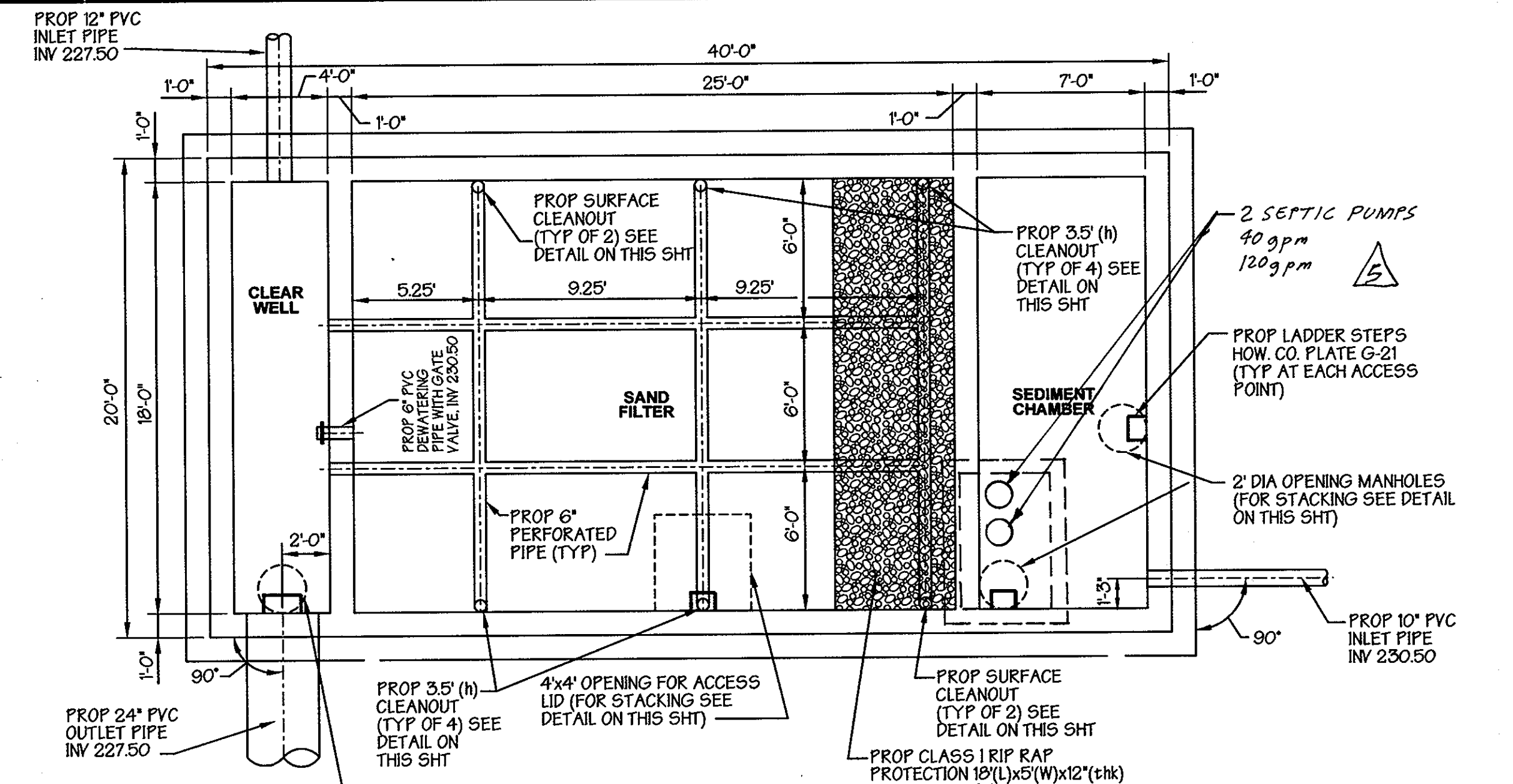
STORM DRAIN PROFILE
SCALE: HORIZ. 1"=20'
VERT. 1"=5'



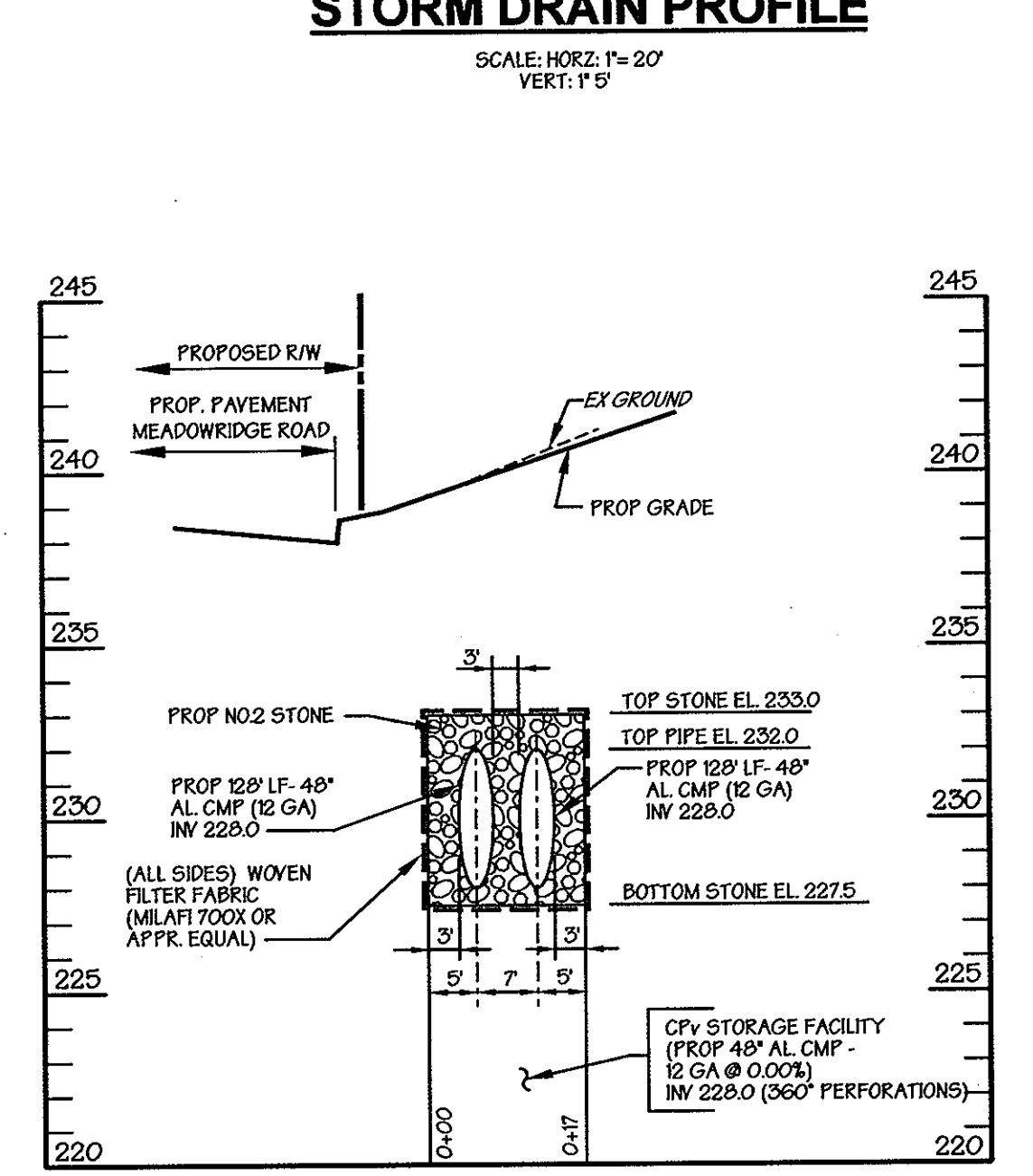
CPv STORAGE FACILITY - SECTION A-A
SCALE: HORIZ. 1"=20'
VERT. 1"=5'



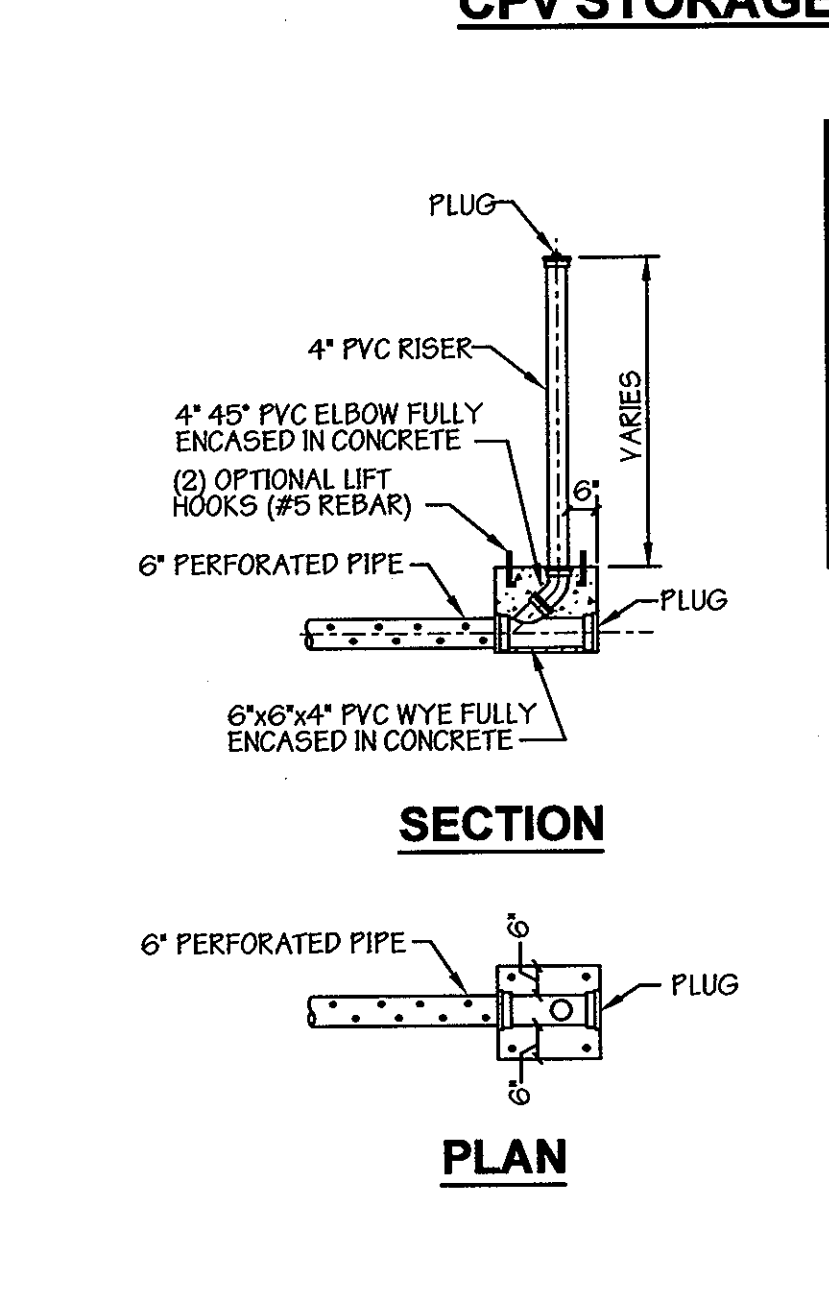
UNDERGROUND SAND FILTER
NOT TO SCALE



PLAN VIEW



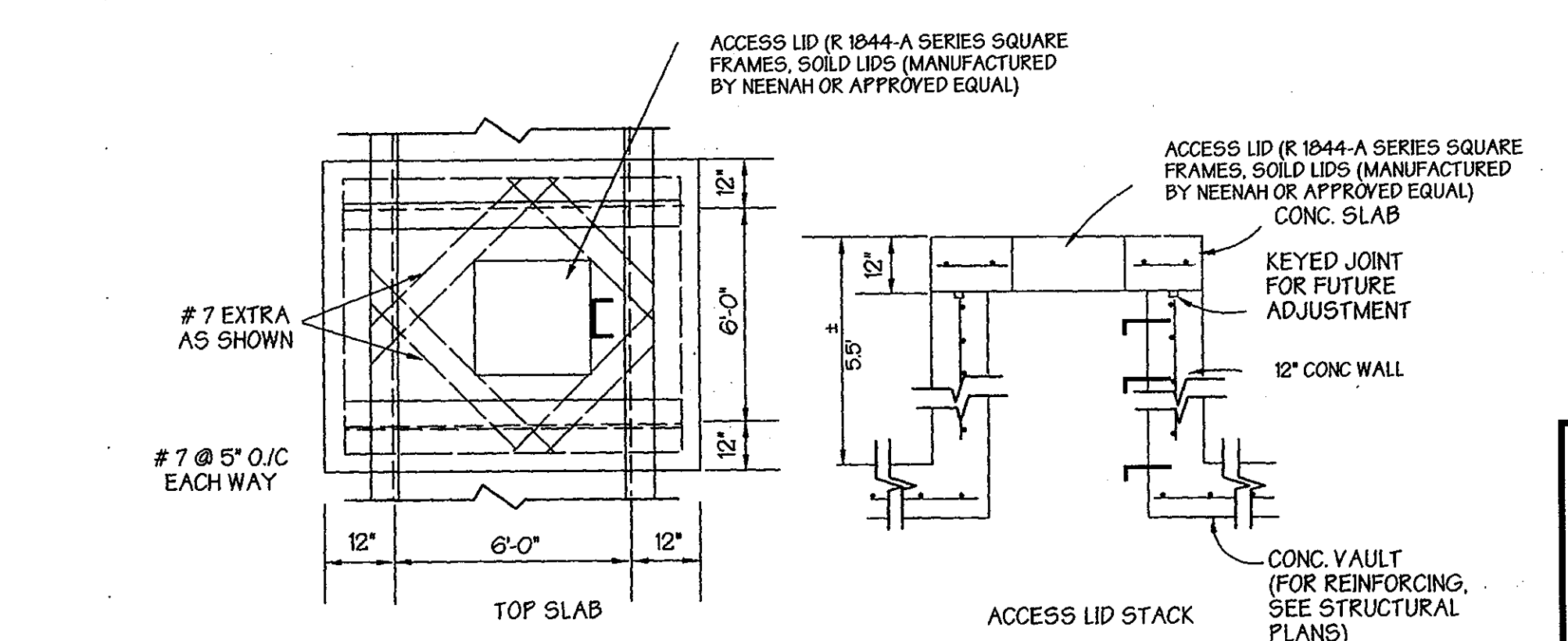
CPv STORAGE FACILITY - SECTION B-B
SCALE: HORIZ. 1"=20'
VERT. 1"=5'



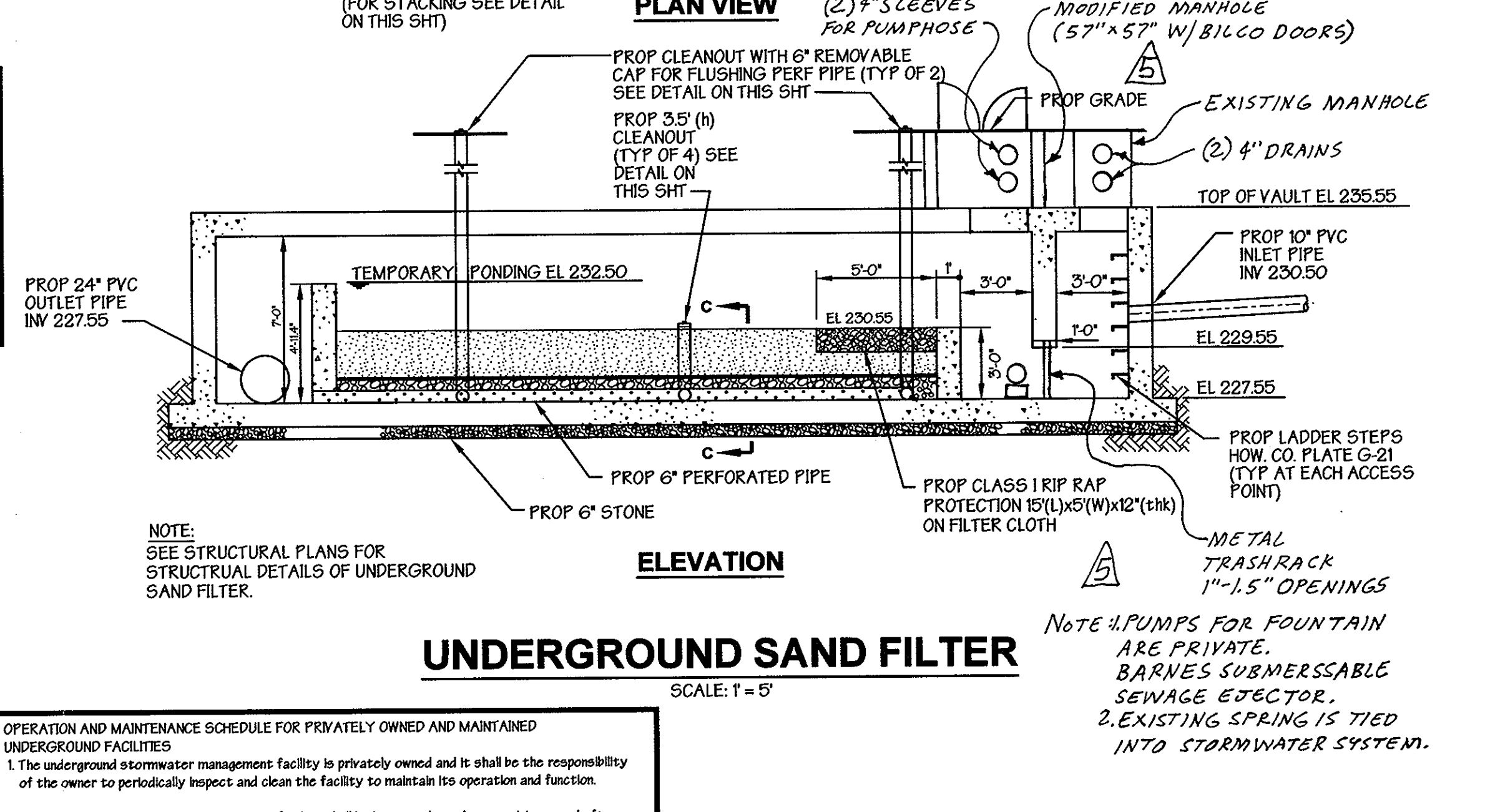
CLEANOUT DETAIL
N.T.S.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED UNDERGROUND STORMWATER FILTRATION SYSTEMS (F-2 AND F-3)

- The sediment chamber outlet devices shall be cleaned and/or repaired when drawdown times within the chamber exceed 36 hours.
- Debris and litter shall be removed as necessary to insure proper operation of the system.
- Sediment shall be cleaned out of the sedimentation chamber when it accumulates to a depth of 6 inches. Vegetation within the sediment chamber shall be limited to a height of 18 inches.
- When water ponds on the surface of the filter bed for more than 72 hours, the top few inches of discolored material shall be replaced with fresh material. Proper cleaning and disposal of the removed materials and liquid must be followed by the owner.
- A logbook shall be maintained to determine the rate at which the facility drains.
- The maintenance logbook shall be available to Howard County for inspection to insure compliance with operation and maintenance criteria.
- Once the performance characteristics of the filtration system have been verified, the monitoring schedule can be reduced to an annual basis unless the performance data indicates that a more frequent schedule is required.



ACCESS LID STACK FOR UNDERGROUND SAND FILTER
NOT TO SCALE



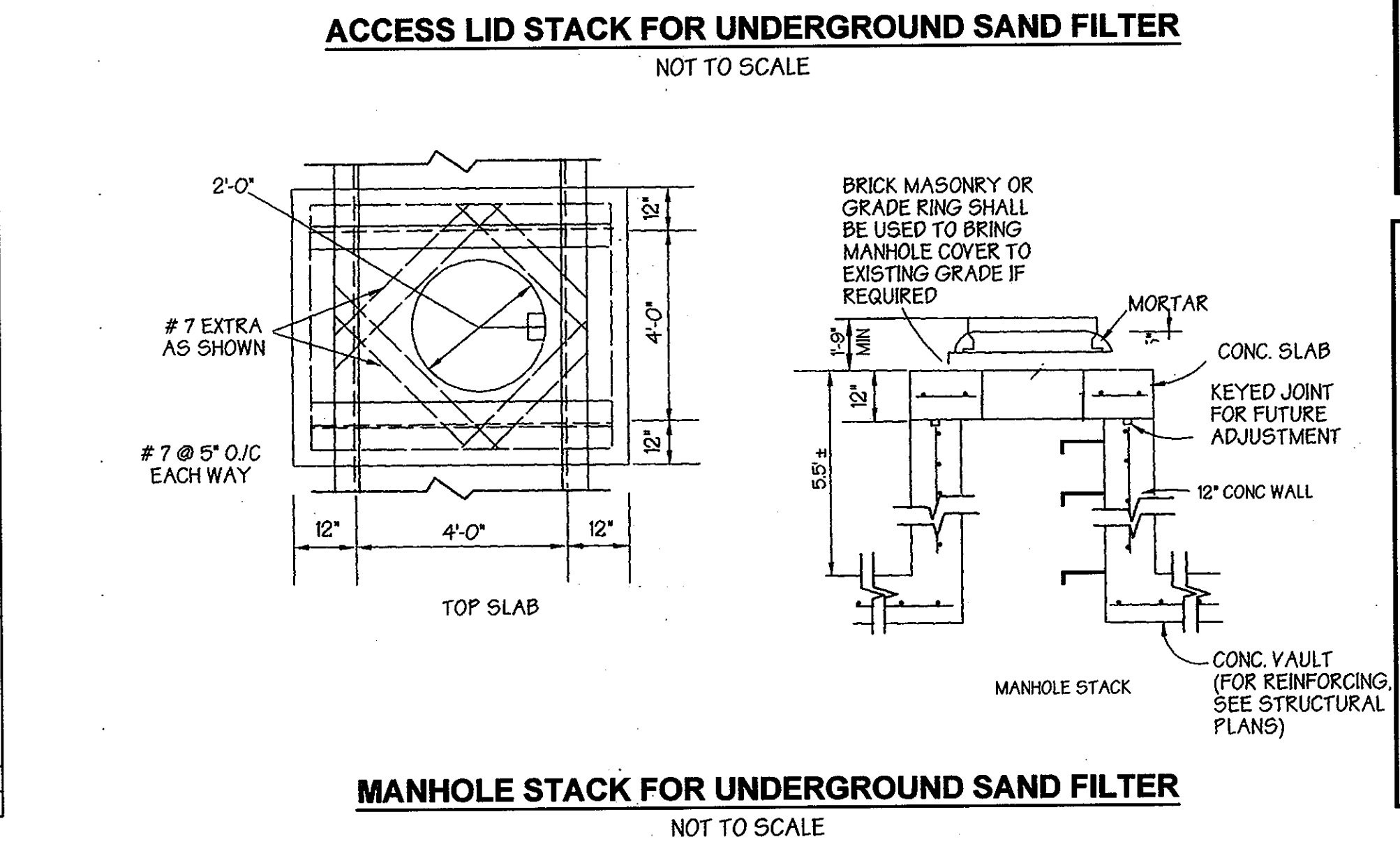
UNDERGROUND SAND FILTER
SCALE: 1"=5'

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED UNDERGROUND FACILITIES

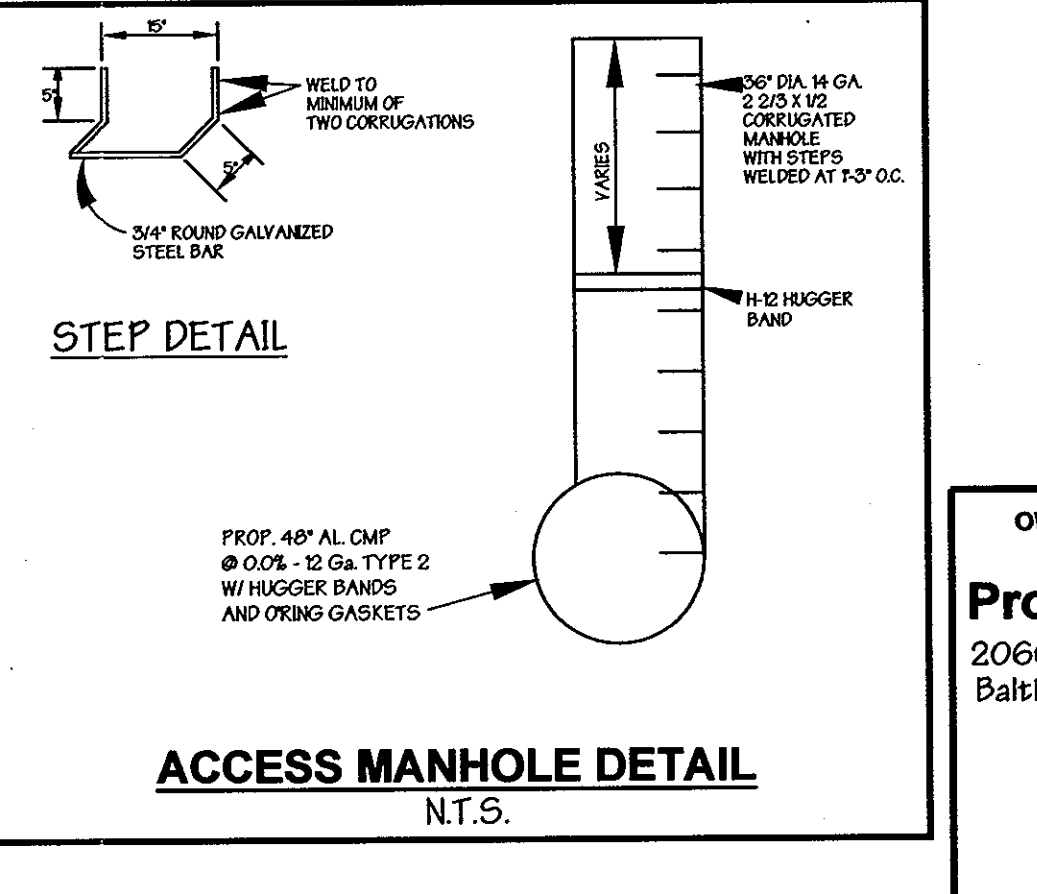
- The underground stormwater management facility is privately owned and it shall be the responsibility of the owner to periodically inspect and clean the facility to maintain its operation and function.
- The underground stormwater management facility shall be inspected yearly at a minimum and after especially severe storm events.
- When sediment accumulation of more than 2\"/>

Materials Specifications for Sand Filters

PARAMETER	SPECIFICATION	SIZE	NOTES
Sand	AASHTO M-6 or ASTM C-33 33 concrete sand	0.02" to 0.04"	Sand substitutions such as Diabase and Graystone #10 are not acceptable. No calcium carbonate or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand.
Peat		n/a	The material must be reed-sedge hemc peat, shredded, uncompacted, uniform, and clean.
Leaf Compost		n/a	
Underdrain Gravel	AASHTO M-43	0.35" TO 0.75"	
Geotextile Fabric (if required)	ASTM-D-4833 (puncture strength - 125 lbs) ASTM-D-4632 (tensile strength - 300 lbs)	0.08" thick equivalent opening size of #80 sieve	Must maintain 125 gpm per sq. ft. flow rate. Note: a 4\"/>
Impermeable liner (if required)	ASTM-D-4833 (puncture strength - 100 lbs, elongation 200%) ASTM-D-624 (Tear resistance 150 lbs/in) ASTM-D-471 (water adsorption: +3 to -2 % mass)		
underdrain piping	F 756, Type FS 29 or ASSSHTO-M-27B	4" - 6" rigid schedule 40 PVC or SDR35	3/8" perf. @ 6" on center, 4 holes per row; minimum of 2\"/>
concrete (cast in place)	MHSA Standard and Spec. Section 902 - Mix No. 3; f _c = 3500 psi, normal weight, air-entrained; re-enforcing to meet ASTM 615-60	n/a	on-site testing of poured-in-place concrete required: 28 day strength and slump tests; all concrete design (cast-in-place or pre-cast) not using previously approved State or local standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland - design to include meeting ACI Code 308R/89; vortical loading [H-10 or H-20]; allowable horizontal loading (based on soil pressures); and analysis of potential cracking
concrete (pre-cast)	per pre-cast manufacturer	n/a	SEE ABOVE NOTE
non-rebar steel	ASTM A-36	n/a	structural steel to be hot-dipped galvanized ASTM-A 123

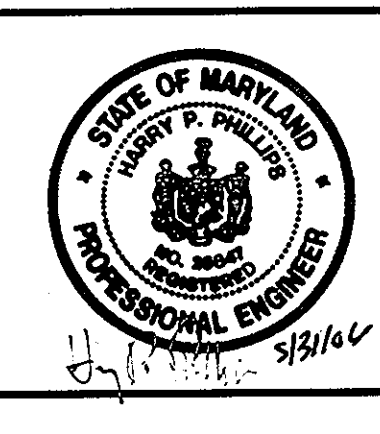


MANHOLE STACK FOR UNDERGROUND SAND FILTER
NOT TO SCALE



ACCESS MANHOLE DETAIL
N.T.S.

PREPARED BY:
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
1020 Cromwell Bridge Road
Towson, Maryland 21286
(410) 825-8120



ENGINEER CERTIFICATION:
I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Signature of Engineer: *Harry P. Phillips* Date: 5/31/06
Print Name: Harry P. Phillips PE # 25847

DEVELOPER CERTIFICATION:
I/We certify that all development and/or construction will be done according to this plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspections by the Howard Soil Conservation District.
Signature of Developer: *Steve Board* Date: 5/31/06
Print Name: Steve Board

DESIGNED BY: H.P.P.
DRAWN BY: H.P.P.
CHECKED BY: H.P.P.

NO.	DATE	REVISIONS:	BY
1	5/17/06	Revised SWM pond no.3 to an underground facility	hgp

Reviewed for Howard SCD and meets Technical Requirements

Jim M. Nolan 6/12/06
SDA-NATURAL RESOURCE CONSERVATION SERVICE DATE

Harvey W. Schminz 6/12/06
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: Howard County Department of Planning and Zoning

Alan Deussen 6/14/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Kent Schindler 6/15/06
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Joseph A. Cagle 6/14/06
DIRECTOR DATE

OWNER / DEVELOPER
Merritt Properties, LLC
2066 Lord Baltimore Drive
Baltimore, Maryland 21244

ADDRESS CHART
PARCEL NO. PARCEL A-3
STREET ADDRESS Meadowridge Road

PROJECT NAME The Meadows Corporate Park
SECTION NAME Elkridge
PARCEL # A-3

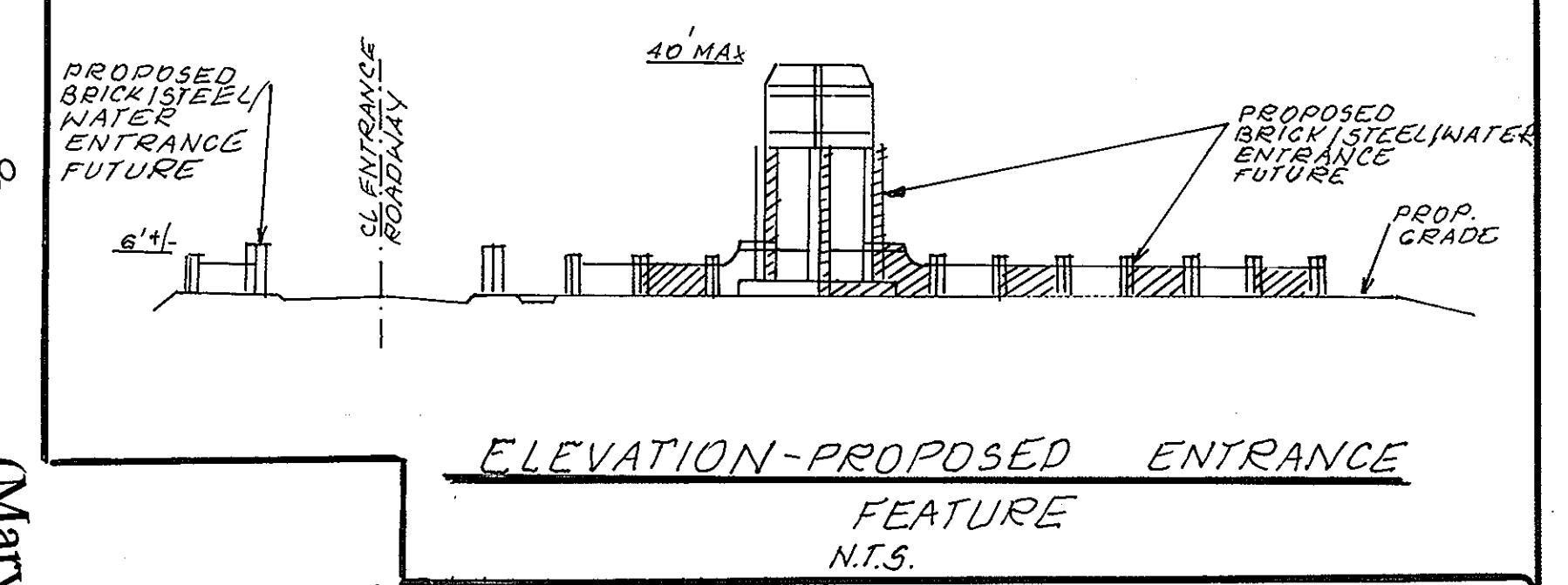
LIBER / FOLIO GRID 22
PLAT NO. 1834-38
ZONE CCT
TAX MAP 57
ELECT. DIST. 1
CENSUS TRACT 606901

WATER CODE P-02
SEWER CODE 4020000

Water Quality Pond No.3 - Details
Meadows Corporate Park
Parcel 'A-1' thru Parcel 'A-4'
SDP
Election District No.1
Howard County, Maryland
SDP 05-072

Scale: As Shown
Date: August 06, 2004

SHT. 16 OF 43
PIN: 9680



Typical Lighting

- TWIN 400 W METAL HALIDE FIXTURES ON 25' POLE TYPE 3 DISTRIBUTION WIDELITE AL3M400 SERIES HORIZONTAL LAMP FLAT GLASS FULL CUT-OFF & FULL SHIELDED LIGHT FIXTURE INTENSITY: 22,000 LUMENS
 - SINGLE 400 W METAL HALIDE FIXTURES ON 25' POLE TYPE 3 DISTRIBUTION WIDELITE AL3M400 SERIES HORIZONTAL LAMP FLAT GLASS FULL CUT-OFF & FULL SHIELDED LIGHT FIXTURE INTENSITY: 22,000 LUMENS
- NOTE: ALL EXTERIOR LIGHTING SHALL CONFORM TO ZONING REGULATIONS, SECTION 134

Legend

- PROPOSED SITE GAS & ELECTRIC: --- GAS/ELECTRIC ---
 - Ex. 2' Contours: - - - - - 394
 - Ex. 10' Contours: - - - - - 395
 - Prop. 2' Contours: - - - - - 394
 - Prop. 10' Contours: - - - - - 395
 - Ex. Curb & Gutter: --- ---
 - Prop. Curb & Gutter: --- ---
 - Blgd. Restriction Line: --- ---
 - Ex. Sanitary: --- ---
 - Ex. Storm Drain: --- ---
 - Ex. Water: --- ---
 - Prop. Sanitary: --- ---
 - Prop. Storm Drain: --- ---
 - Prop. Water: --- ---
 - Light Duty Paving (P-2): --- Light Duty Paving ---
 - Intermediate Duty Paving (P-3): --- Intermediate Duty Paving ---
 - Heavy Duty Paving (P-5): --- Heavy Duty Paving ---
 - Handicapped Detail No. 3: [Symbol]
 - PROPOSED FULL DEPTH PAVING (SEE DETAIL SHT. 6): [Symbol]
 - PROPOSED SHA FULL DEPTH PAVING: [Symbol]
 - LIGHT POLE LOCATION: [Symbol]
 - TREE LINE TO REMAIN: [Symbol]
 - FOREST CONSERVATION EASEMENT: [Symbol]
 - HIGH VISIBLE FENCE: --- HVF ---
- NOTE: FOR 4" PVC FOUNTAIN UNDERDRAIN PROVIDE MIN. 3.5' COVER AND 1.0' MIN. CLEARANCE BETWEEN EXISTING UTILITIES.

NOTE: ALL ROOF DRAINS SHALL CONNECT TO THE STORM DRAIN SYSTEM AND DRAIN TO THE PROPOSED SWM PONDS AS SHOWN.

APPROVED: Howard County Department of Planning and Zoning

John D. ... CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 6/15/06

Kurt ... CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 6/15/06

March ... DIRECTOR DATE: 6/15/06

OWNER / DEVELOPER		ADDRESS CHART	
Merritt Properties, LLC		PARCEL NO.	STREET ADDRESS
2066 Lord Baltimore Drive		PAR. 'A-1' BLDG. NO. 1	6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103
Baltimore, Maryland 21244		PAR. 'A-2' BLDG. NO. 2	6518 MEADOWRIDGE ROAD MARYLAND ROUTE 103
ph: 410-298-2600		PAR. 'A-3' BLDG. NO. 3	6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103
fx: 410-298-9644		PAR. 'A-4' BLDG. NO. 4	6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PLAT #'S 10336-38		PROJECT NAME	SECTION NAME
		The Meadows Corporate Park	Elkridge
		LIBER. FOLIO	ELECT. DIST.
		PLAT NO. 17513/79	2
		WATER CODE	SEWER CODE
		B-02	4020000

DESIGNED BY: H.P.P.

DRAWN BY: H.P.P.

CHECKED BY: H.P.P.

REVISIONS

5. ADDED 4" PVC UNDERDRAIN FOR FOUNTAIN. BY GWS DATED 5/21/07

Revised Site Development Plan

Site and Grading Plan

The Meadows Corporate Park

Parcel 'A-1' thru Parcel 'A-4'

Site Improvements: General Offices

Election District No. 1

Howard County, Maryland

SHT. 4 OF 43

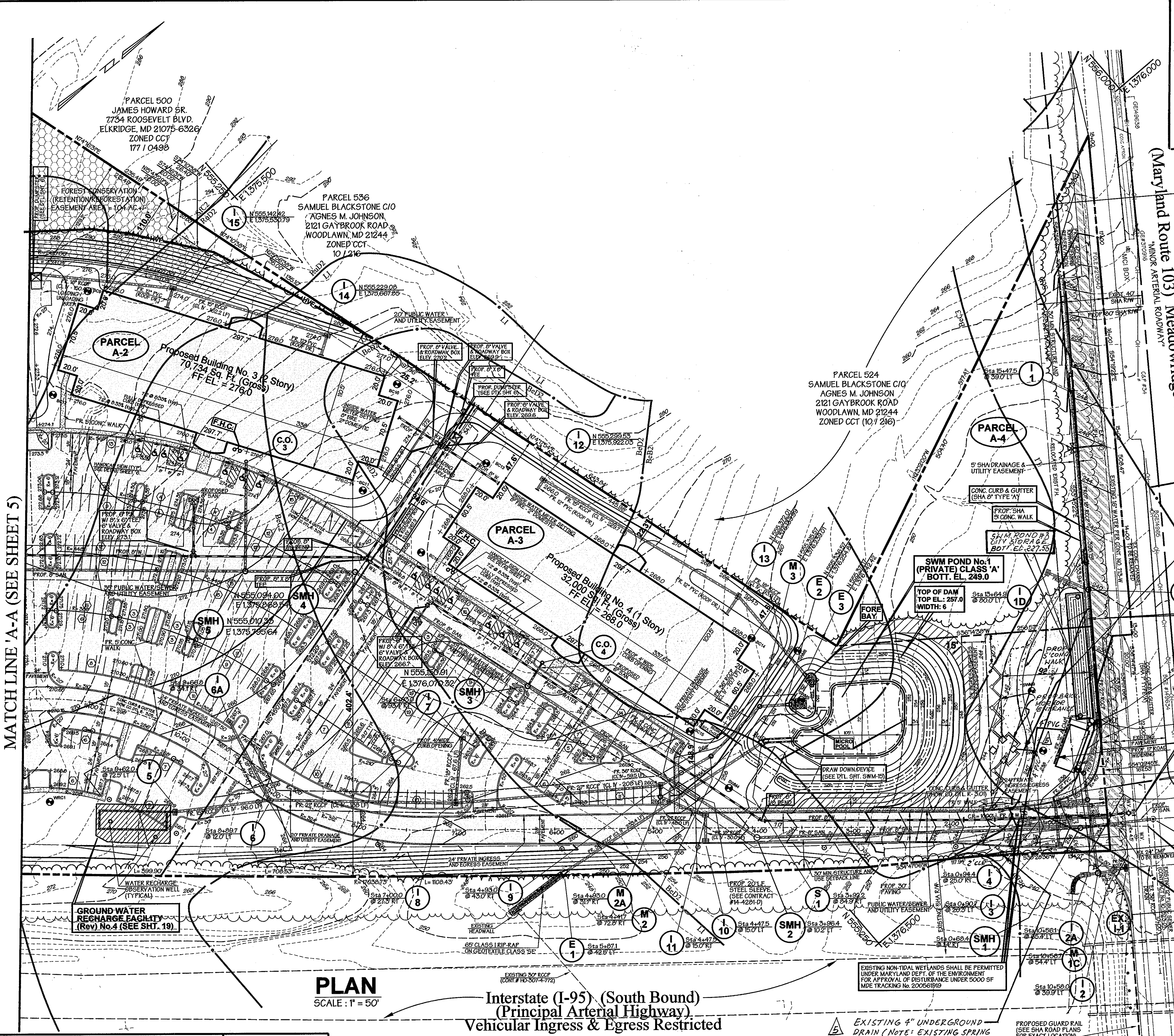
Date: December 06, 2004

SDP-05-072

Scale: As Shown

SDP-05-072

PN: 10-9638



PLAN

SCALE: 1" = 50'

Interstate (I-95) (South Bound)

(Principal Arterial Highway)

Vehicular Ingress & Egress Restricted

Note: Purpose for revision to this SDP. 5/29/06 To revise the entrance driveway, adjacent parking area, and associated storm drains and added additional landscape islands. Also, revised swm pond #3 and the Water Recharge Facility.

DENOTES: TREES AND/OR SHRUBS WILL NOT BE ALLOWED ON ANY ENBANKMENT, WILL NOT BE ALLOWED WITHIN THE BUFFER ZONE(S) FEET FROM TOE OF DAM AND WILL NOT BE ALLOWED WITHIN A 25 FOOT RADIUS AROUND THE INLET STRUCTURE.

PREPARED BY:

GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.

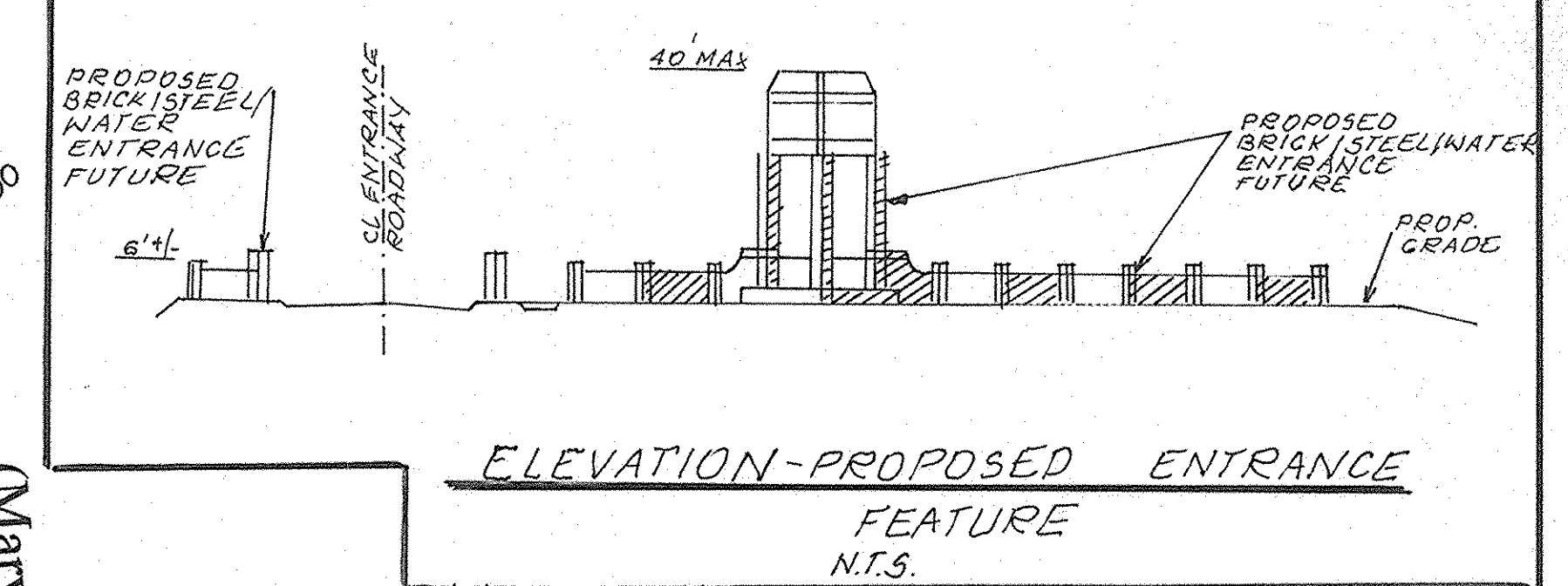
Civil Engineers and Land Surveyors

1020 Cromwell Bridge Road

Towson, Maryland 21286

(410) 825-8120

MATCH LINE 'A-A' (SEE SHEET 5)



Typical Lighting

TWIN 400 W METAL HALIDE FIXTURES ON 25' POLE TYPE 3 DISTRIBUTION HORIZONTAL LAMP FLAT GLASS FULL CUT-OFF & FULL SHIELDED LIGHT FIXTURE INTENSITY: 22,000 LUMENS
SINGLE 400 W METAL HALIDE FIXTURES ON 25' POLE TYPE 3 DISTRIBUTION WIDELITE AL3MH00 SERIES HORIZONTAL LAMP FLAT GLASS FULL CUT-OFF & FULL SHIELDED LIGHT FIXTURE INTENSITY: 22,000 LUMENS
NOTE: ALL EXTERIOR LIGHTING SHALL CONFORM TO ZONING REGULATIONS, SECTION 134

Legend

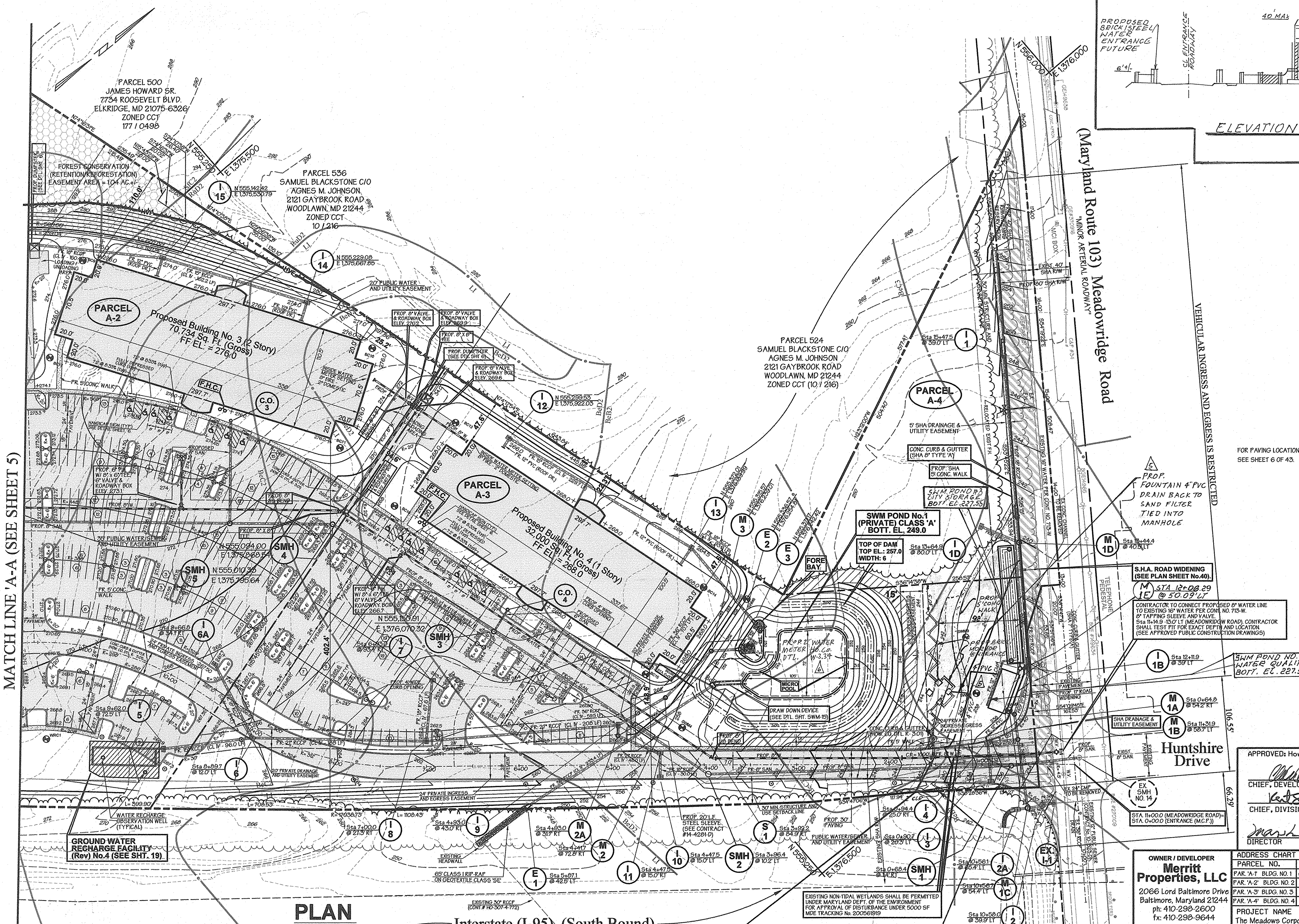
- PROPOSED SITE GAS & ELECTRIC --- GAS/ELECT
- Ex 2' Contours --- 394
- Ex 10' Contours --- 395
- Prop. 2' Contours --- 394
- Prop. 10' Contours --- 395
- Ex. Curb & Gutter ---
- Prop. Curb & Gutter ---
- Blgd. Restriction Line ---
- Ex. Sanitary ---
- Ex. Storm Drain ---
- Ex. Water ---
- Prop. Sanitary ---
- Prop. Storm Drain ---
- Prop. Water ---
- FOR PAVING LOCATION SEE SHEET 6 OF 43:
 - Light Duty Paving (P-2) ---
 - Intermediate Duty Paving (P-3) ---
 - Heavy Duty Paving (P-5) ---
- Handicapped Detail No. 5
- PROPOSED FULL DEPTH PAVING (SEE DETAIL SHT. 6) ---
- PROPOSED SHA FULL DEPTH PAVING ---
- LIGHT POLE LOCATION ---
- TREE LINE TO REMAIN ---
- FOREST CONSERVATION EASEMENT ---
- HIGH VISIBLE FENCE ---

NOTE: FOR 4" PVC FOUNTAIN UNDERDRAIN PROVIDE MIN. 3.5' COVER AND 1.0' MIN. CLEARANCE BETWEEN EXISTING UTILITIES.

APPROVED: Howard County Department of Planning and Zoning
Mark D. Ingler 6/18/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
Kent Schenck 6/15/06
CHIEF, DIVISION OF LAND DEVELOPMENT DATE
DIRECTOR DATE

OWNER / DEVELOPER	ADDRESS CHART
Merritt Properties, LLC 2066 Lord Baltimore Drive Baltimore, Maryland 21244 ph: 410-298-2600 fx: 410-298-9644 PLAT #'S 10336-38	PARCEL NO. STREET ADDRESS
	PAR 'A-1' BLDG. NO. 1 6522 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	PAR 'A-2' BLDG. NO. 2 6519 MEADOWRIDGE ROAD MARYLAND ROUTE 103
	PAR 'A-3' BLDG. NO. 3 6514 MEADOWRIDGE ROAD MARYLAND ROUTE 103
PAR 'A-4' BLDG. NO. 4 6510 MEADOWRIDGE ROAD MARYLAND ROUTE 103	
PROJECT NAME SECTION NAME ELK RIDGE	
LIBER / FOLIO GRID ZONE TAX MAP ELECT. DIST. CENSUS TRACT	
WATER CODE B-02 SEWER CODE 4020000	

Revised Site Development Plan
Site and Grading Plan
The Meadows Corporate Park
Parcel 'A-1' thru Parcel 'A-4'
Site Improvements: General Offices
Election District No. 1
Howard County, Maryland SHT. 4 OF 43 Date: December 06, 2004
SDP-05-072 Scale: As Shown
P/N: 10-9690



PLAN
SCALE: 1" = 50'
Interstate (I-95) (South Bound)
(Principal Arterial Highway)
Vehicular Ingress & Egress Restricted

2" WATER SERVICE CONNECTION FOR 2" METER, HO. CO. DTL. W-3.21

PROPOSED WATER METER TO BE USED FOR ENTRANCE MONUMENT WATERFALL AND SHALL NOT EXTEND ACROSS THE PROPERTY LINE TO PARCELA-4

NOTE: PURPOSE FOR REVISION TO THIS SDP. 5/29/06 TO REVISE THE ENTRANCE DRIVEWAY, ADJACENT PARKING AREA, AND ASSOCIATED STORM DRAINS AND ADDED ADDITIONAL LANDSCAPE ISLANDS. ALSO, REVISED SWM POND #3 AND THE WATER RECHARGE FACILITY.

REVISION ADDED 2" WATER METER FOR ENTRANCE MONUMENT WATERFALL BY GWS DATED 6/18/07

NO.	DATE	REVISIONS	BY
1	8/17/05	rev. front parking area	hpp
2	10/26/05	Revised site plan & add prop. gas & electric	hpp
3	5/29/06	Revised SDP, entrance driveway, swm pond #3, and landscape islands	hpp
4	7/27/07	ADDED 4" PVC UNDERDRAIN FOR FOUNTAIN, BY GWS DATED 5/21/07	hpp

PREPARED BY:
GWS
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.
Civil Engineers and Land Surveyors
1020 Cromwell Bridge Road
Towson, Maryland 21286
(410) 825-8120

NOTES: TREES AND/OR SHRUBS WILL NOT BE ALLOWED ON ANY ENBANKMENT. WILL NOT BE ALLOWED WITHIN THE BUFFER ZONE (5 FEET FROM TOE OF DAM) AND WILL NOT BE ALLOWED WITHIN A 25 FOOT RADIUS AROUND THE INLET STRUCTURE.