

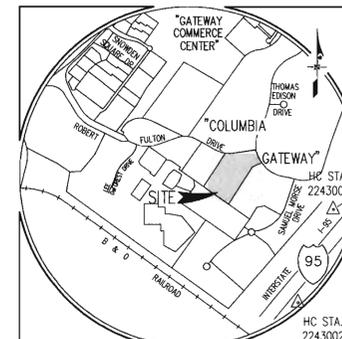
GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARD AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF INSPECTION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-251-TITI AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, BUREAU OF UTILITIES AT (410) 313-4400 AT LEAST FIVE WORKING DAYS PRIOR TO STARTING ANY EXCAVATION WORK.
- AREA OF SITE: 11.03 AC. DISTURBED AREA: 10.64 AC.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING TOPOGRAPHY WAS DETERMINED BY APPROVED FINAL CONSTRUCTION PLANS FOR DEVELOPMENT. EXISTING UTILITY INFORMATION IS BASED UPON CONSTRUCTION PLANS AND AS-BUILT PLANS PREPARED BY FISHER, COLLINS AND CARTER INC. ON MARCH OF 1992.
- COORDINATES AND BEARINGS ARE BASED UPON THE MD STATE PLANE SYSTEM (NAD '83).
- WATER AND SEWER SHOWN IS PUBLIC.
- ALL EXISTING WATER AND SEWER IS SHOWN PER CONT. NOS. 24-1440-D, 24-1581-D, 20-1391-D, 24-3843-D.
- STORMWATER MANAGEMENT QUANTITY CONTROL IS PROVIDED OFFSITE AT REGIONAL FACILITIES. QUALITY CONTROL IS PROVIDED BY TWO IN-LINE STORMCEPTOR QUALITY STRUCTURES. (MGA-A 4MG-B) THESE STRUCTURES ARE TO BE PRIVATELY OWNED AND MAINTAINED.
- ALL EXISTING PUBLIC STORM DRAIN IS PER F-49-166, F-00-149 & F-86-128.
- ALL CURB RADII ARE 5' UNLESS NOTED OTHERWISE.
- UTILITY INFORMATION TAKEN FROM APPROVED FINAL CONSTRUCTION PLANS FOR DEVELOPMENT.
- SIDEWALKS ADJACENT TO PERPENDICULAR PARKING SHALL BE 6' WIDE. ALL OTHER SIDEWALKS SHALL BE 5' WIDE, EXCEPT WHERE DIMENSIONED OTHERWISE. PROVIDE 3' RADIUS ROUNDING AT ALL ANGLE BREAKS AND INTERSECTIONS.
- CONTRACTOR SHALL UTILIZE PVC PIPE FOR ALL SEWER HOUSE CONNECTIONS. CONTRACTOR SHALL UTILIZE D.I.P. (CL. 5) FOR 4" AND 6" WATER HOUSE CONNECTIONS AND D.I.P. (CL. 50) FOR 8" WATER HOUSE CONNECTIONS.
- CONTRACTOR TO FIELD LOCATE ALL EXISTING UTILITY CONNECTIONS. SHOULD SUBSTANTIAL DISCREPANCIES ARISE, THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER BEFORE MAKING ADJUSTMENTS.
- USE TRENCH BEDDING CLASS "C" FOR STORM DRAINS.
- PAVED AREAS INDICATED ARE PRIVATE EXCEPT AS NOTED.
- RECORDING REFERENCE: PLAT NO. 14248 (PARCEL N-10) & PLAT NO. 17095
- ALL PROPOSED RAMPS SHALL BE IN ACCORDANCE WITH CURRENT A.D.A. STANDARDS. MAXIMUM SIDEWALK CROSS SLOPE SHALL BE TWO PERCENT. PROVIDE A FIVE-FOOT BY FIVE-FOOT LEVEL (2 PERCENT MAX.) LANDING AT THE TOP AND BOTTOM OF ALL RAMPS AND BUILDING ENTRANCES AND EXITS.
- ALL WATER METERS SHALL BE LOCATED INSIDE BUILDINGS.
- THE PROPOSED WATER AND SEWER HOUSE CONNECTION ALIGNMENTS INDICATED ON THE PLANS, FROM THE EXISTING UTILITIES TO THE BUILDING, ARE TO BE CONSTRUCTED BY THE BUILDING PLUMBER AND ARE APPROXIMATE. THE PROPOSED STUBS ARE LOCATED 5' FROM THE BUILDING FACE.
- ALL THE PROPOSED STORM DRAIN HAS BEEN CONSERVATIVELY SIZED TO ACCOMMODATE ROOF DRAIN LEADER TIE IN AT ANY POINT IN THE SYSTEM. THE BUILDINGS-STORM DRAIN CONNECTIONS ARE TO BE CONSTRUCTED BY THE BUILDING PLUMBER.
- MAINTAIN 2% CROSS-SLOPES ON SIDEWALKS, PER STANDARD DETAILS. WHERE SIDEWALK IS ADJACENT TO BUILDING, SLOPE AWAY FROM BUILDING, AND UTILIZE EXPANSION JOINT MATERIAL AND SEALER IN THE JOINT BETWEEN THE SIDEWALK AND THE BUILDING WALL.
- SUFFICIENT SIGHT DISTANCE PER THE HOWARD COUNTY DESIGN MANUAL MUST BE PROVIDED AT ALL ACCESS POINTS. ANY LANDSCAPING THAT OBSTRUCTS THE LINE OF SIGHT MUST BE RELOCATED.
- A TRAFFIC STUDY AND A.P.F.O. ANALYSIS, WHICH INCLUDED THIS PARCEL, WERE PERFORMED UNDER F-49-156. THE UPDATED APFO MEMORANDUM DATED JULY 26, 2004 IS APPROVED.
- THERE IS NO FLOODPLAIN ON THIS SITE.
- THERE ARE NO WETLANDS, STREAMS, OR STEEP SLOPES ON THIS SITE.
- THIS PARCEL DOES NOT APPEAR ON THE COUNTY'S CEMETERY INVENTORY AS HAVING CEMETERIES OR BURIAL GROUNDS. ALSO, THERE IS NO PHYSICAL EVIDENCE OF EITHER CEMETERIES OR BURIAL GROUNDS BEING PRESENT ON THE SITE.
- COORDINATES AND BEARINGS ARE BASED UPON THE '83 MD STATE COORDINATE SYSTEM (NAD '83) AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NOS. 2243002, 2243003.
- ALL EXTERIOR LIGHTING SHALL CONFORM TO SECTION 134 OF THE ZONING REGULATIONS. (SEE DETAIL SHEET-3)
- THIS SITE IS EXEMPT FROM THE FOREST CONSERVATION ORDINANCE IN ACCORDANCE WITH SECTION 16.1202 (b)(1)(v) A PLANNED OFFICE PARK GREATER THAN 75 ACRES.
- THE SUBJECT PROPERTY IS ZONED M-1 PER THE LATEST COMPREHENSIVE ZONING PLAN DATED 02/02/2004.
- THIS SDP HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL, CHAPTER VI (ALTERNATIVE COMPLIANCE).
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT AS NOTED ON SHEET #10.

# SITE DEVELOPMENT PLAN

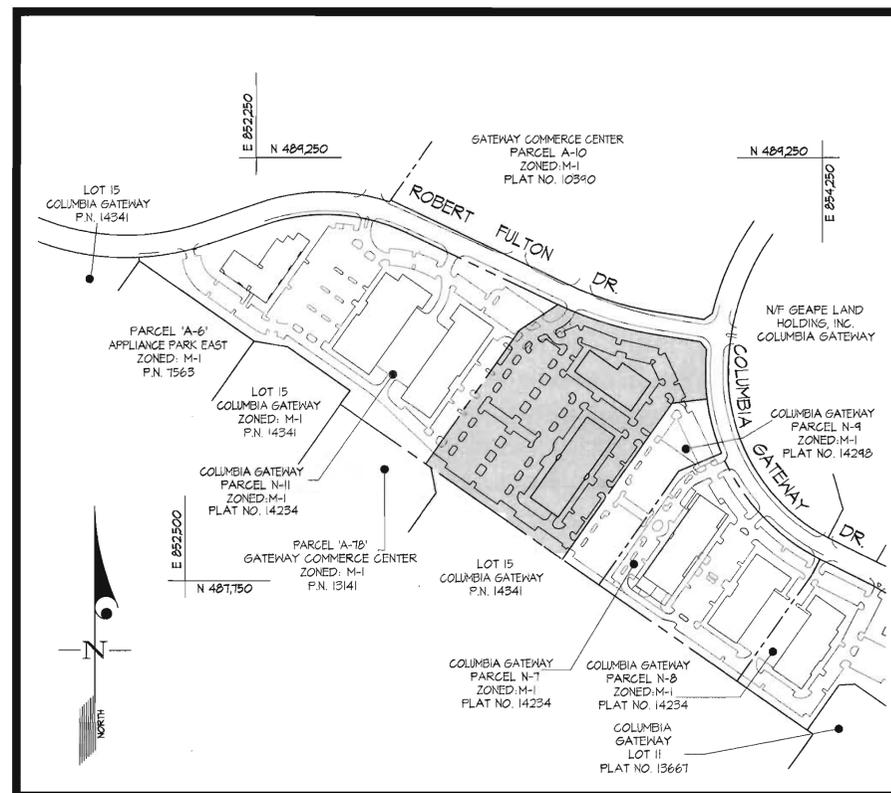
## COLUMBIA GATEWAY

### PARCEL N-10



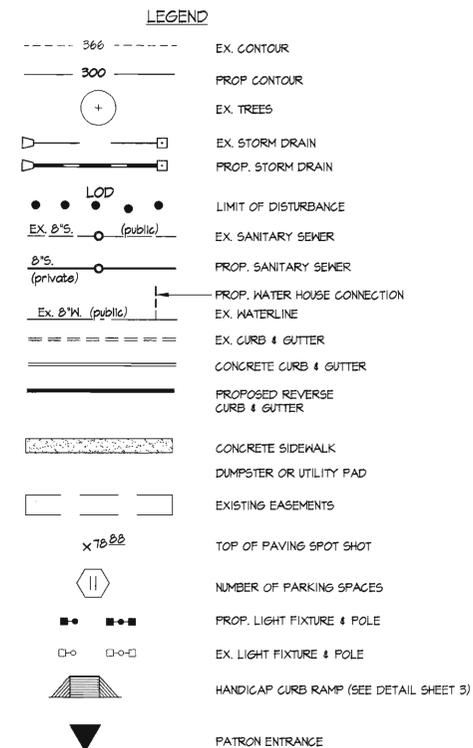
VICINITY MAP  
SCALE: 1" = 2,000'

BENCHMARKS  
2243002  
STANDARD DISC ON CONCRETE MONUMENT  
2243003  
STANDARD DISC ON CONCRETE MONUMENT



KEY MAP

SCALE: 1" = 300'



SITE ANALYSIS DATA CHART

- GROSS AREA PARCEL N-10: 480,249 SF OR 11.03 AC.
  - LIMIT OF DISTURBED AREA = 463,431 SF OR 10.64 AC.
  - PRESENT ZONING = M-1
  - PROPOSED USE: RESEARCH AND DEVELOPMENT/LIGHT WAREHOUSE
  - GROSS FLOOR AREA: BUILDING E = 52,600 SF  
BUILDING F = 84,000 SF  
TOTAL = 136,600 SF
  - NO. OF PARKING SPACES REQUIRED: 451 SPACES (BASED ON GENERAL OFFICE USE @ 3.3 SPACES/1000 SF)
  - NO. OF PARKING SPACES PROVIDED: 667 SPACES (INCL. ACCESSIBLE SPACES).
  - NO. OF HANDICAP SPACES REQUIRED: 14 SPACES (4 VAN SPACES).
  - NO. OF HANDICAP SPACES PROVIDED: 16 SPACES (4 VAN SPACES).
  - BUILDING PERCENT COVERAGE = Building Coverage/Gross Parcel Area = 136,600/480,249 = 28.4%
  - PROJECT BACKGROUND: SEE DEPT. OF PLANNING & ZONING FILE NUMBERS: F-85-55, F-85-63, F-86-17, F-86-63, F-86-182, F-87-16, F-88-11, F-90-175, F-91-18, F-92-15, F-94-156, F-94-166, F-00-11, WP 99-138, F-00-148, F-86-22, 5-84-44, F-00-160, F-00-144.
- | BUILDING 'E'                      | BUILDING 'F'                      |
|-----------------------------------|-----------------------------------|
| 2 STORY OFFICE BUILDING           | 2 STORY OFFICE BUILDING           |
| GROSS FLOOR AREA = 52,600 SF.     | GROSS FLOOR AREA = 84,000 SF.     |
| USE: R/D/LIGHT WAREHOUSE          | USE: R/D/LIGHT WAREHOUSE          |
| PARKING RATE: 3.3 SPACES/1000 SF. | PARKING RATE: 3.3 SPACES/1000 SF. |
| PARKING REQUIRED = 174 SPACES     | PARKING REQUIRED = 271 SPACES     |

SHEET INDEX

- COVER SHEET
- SITE DEVELOPMENT PLAN
- SITE & HANDICAP ACCESSIBILITY DETAILS
- SITE & HANDICAP ACCESSIBILITY DETAILS/PAVING PLAN
- STORM DRAIN/UTILITY PROFILES
- SEDIMENT CONTROL PLAN
- SEDIMENT CONTROL NOTES & DETAILS
- DRAINAGE AREA MAP
- LANDSCAPE PLAN
- LANDSCAPE NOTES, DETAILS & SCHEDULES

NOTE: THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION SHALL BE NOTIFIED WHEN THE SITE HAS BEEN COMPLETED SO THAT AN INSPECTION CAN BE PERFORMED BY THE ARCHITECTURAL CONTROL COMMITTEE. A CERTIFICATE OF COMPLIANCE WILL BE ISSUED BY THE COMMITTEE UPON SATISFACTORY COMPLETION OF THE SITE WORK.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Marc A. Lytle* 12/3/04  
 Chief, Division of Land Development: *Carol Hammett* 12/3/04  
 Chief, Development Engineering Division: *Mark* 11/22/04



GLWGUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
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 BURTONSVILLE, MARYLAND 20886  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR:  
 GATEWAY 70 LLC  
 7061 Columbia Gateway Drive  
 COLUMBIA, MARYLAND 21046  
 PH: 410-290-1400 ext. 1461  
 ATTN.: MR. R. Colfax Schnorf Jr.

COVER SHEET  
 COLUMBIA GATEWAY  
 PARCEL N-10  
 PLAT NO. 14298, 17095

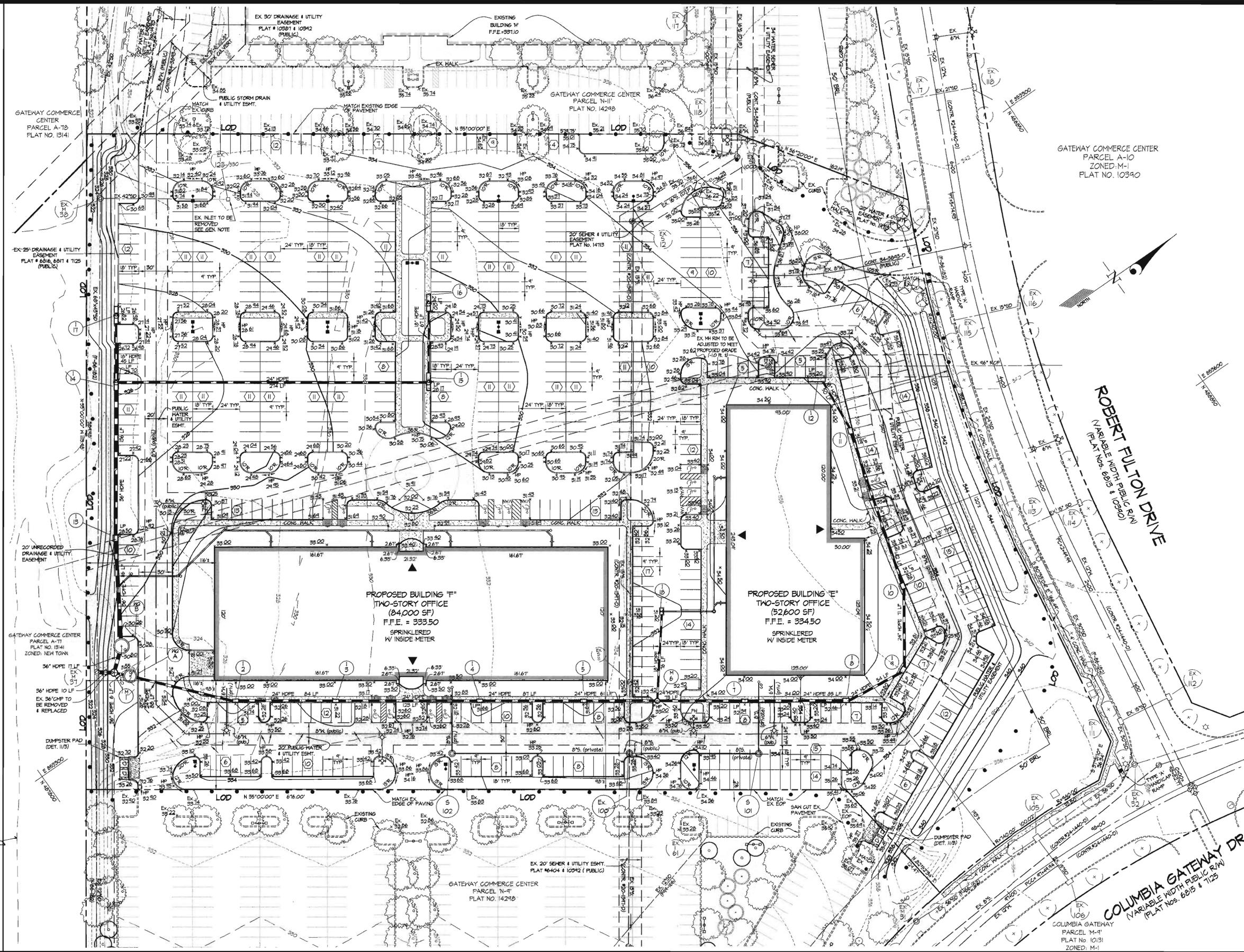
ADDRESS CHART	
BUILDING NUMBER	STREET ADDRESS
E	8601 ROBERT FULTON DRIVE
F	8621 ROBERT FULTON DRIVE

SUBDIVISION NAME:		SECTION/AREA	PARCELS
COLUMBIA GATEWAY		N/A	P/O P 671

PLAT No.	ZONE	TAX MAP	BLOCK	ELEC. DIST.	CENSUS TRACT
14298, 17095	M-1	42	12	6	6067.03

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	M-1	04031
DATE	TAX MAP - GRID	SHEET
NOV., 2004	42 - 12	1 OF 10

NOTES:  
 1. FOR HANDICAP PARKING/ACCESS DETAILS SEE SHEET 3 & 4.  
 2. STORM DRAIN STRUCTURES HQ-A AND HQ-B ARE STORM CEPTOR WATER QUALITY STRUCTURES. SEE SHEET 4 FOR DETAILS.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Mark L. Layell* Date: 12/21/04  
 Chief, Division of Land Development: *Chris Hambo* Date: 12/13/04  
 Chief, Development Engineering Division MK: *Michael J. ...* Date: 11/22/04

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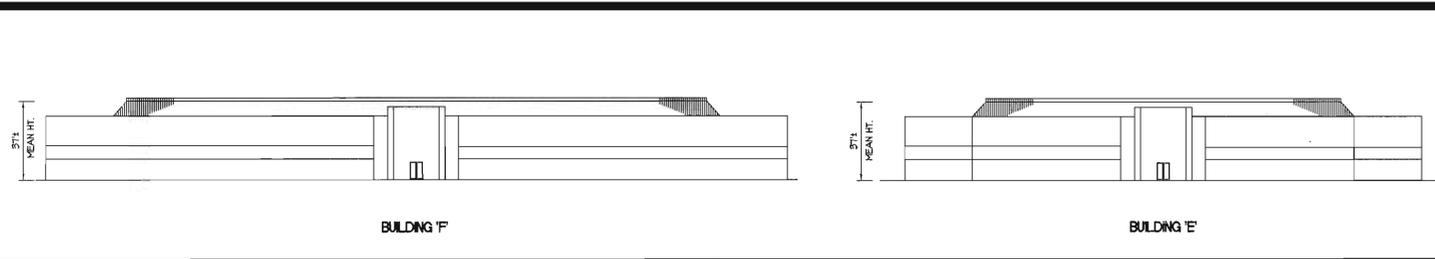
DATE	REVISION	BY	APPR.

PREPARED FOR:  
 GATEWAY 70 LLC  
 7061 Columbia Gateway Drive  
 COLUMBIA, MARYLAND 21046  
 PH.: 410-290-1400 ext. 1461  
 ATTN: MR. R. Colfax Schnorf Jr.

**SITE DEVELOPMENT PLAN**  
**COLUMBIA GATEWAY**  
**PARCEL N-10**  
**PLAT NO. 14298, 17045**

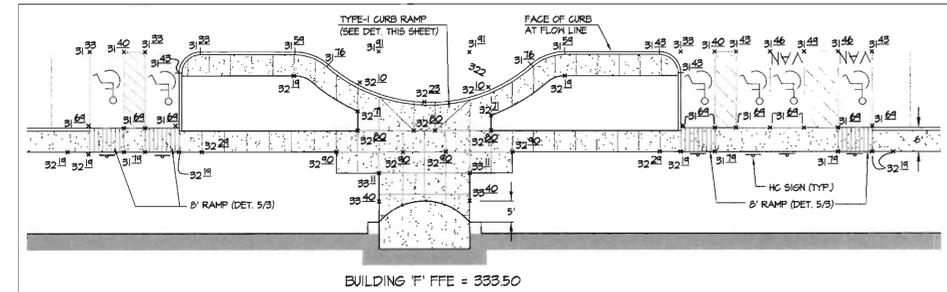
SCALE	ZONING	G. L. W. FILE NO.
1"=40'	M-1	04031
DATE	TAX MAP - GRID	SHEET
NOV., 2004	42 - 12	2 OF 10





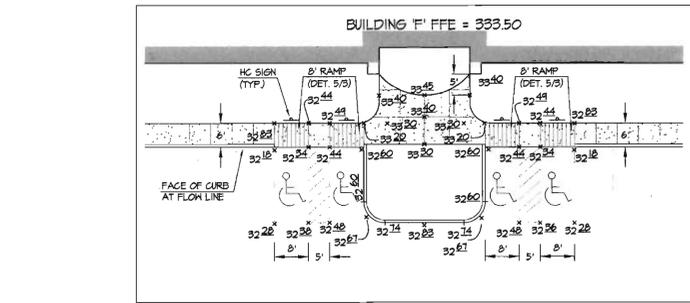
BUILDING FRONT ELEVATIONS

SCALE: 1"=40'

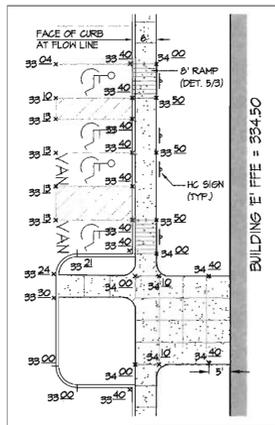


WEST SIDE OF BUILDING-F

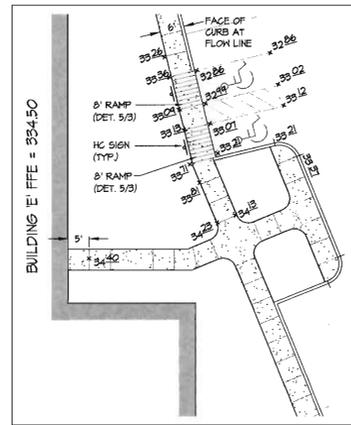
SEE SHEET 3 FOR APPLICABLE HANDICAP PARKING DETAILS (1-5 & 8)



EAST SIDE OF BUILDING-F



SOUTH SIDE OF BUILDING-E



NORTH SIDE OF BUILDING-E

HANDICAP ACCESSIBILITY DETAILS

SCALE: 1"=20'

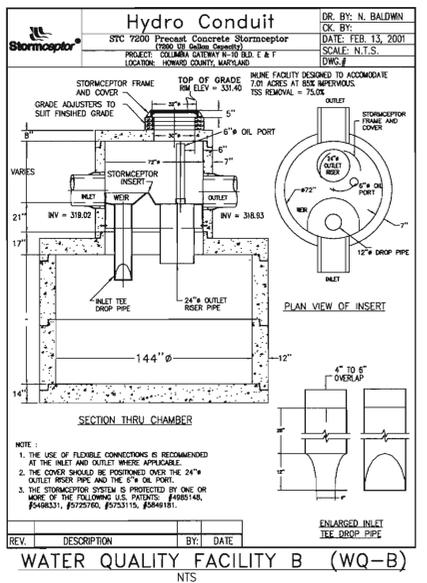
**STORMSEPTOR CONSTRUCTION SEQUENCE**  
 THE CONCRETE STORMSEPTORS ARE INSTALLED IN SECTIONS IN THE FOLLOWING SEQUENCE:  
 1. AGGREGATE BASE  
 2. BASE SLAB  
 3. TREATMENT CHAMBER SECTION(S)  
 4. TRANSITION SLAB (IF REQUIRED)  
 5. BY-PASS SECTION  
 6. CONNECT INLET AND OUTLET PIPES  
 7. RISER SECTION AND/OR TRANSITION SLAB (IF REQUIRED)  
 8. MAINTENANCE RISER SECTION(S) (IF REQUIRED)  
 9. FRAME AND ACCESS COVER  
 \*\*\* STRUCTURE BACKFILL SHALL CONFORM TO THE LATEST HD-318 STANDARDS.

**MAINTENANCE NOTES**  
 1. ROUTINE INSPECTION OF BOTH HQ-A AND HQ-B IS REQUIRED EVERY 6 MONTHS.  
 2. THE CLEANOUT DEPTH FOR BOTH HQ-A AND HQ-B IS 14 INCHES.  
 3. STRICT ADHERENCE TO THE MANUFACTURERS RECOMMENDATIONS IS REQUIRED.

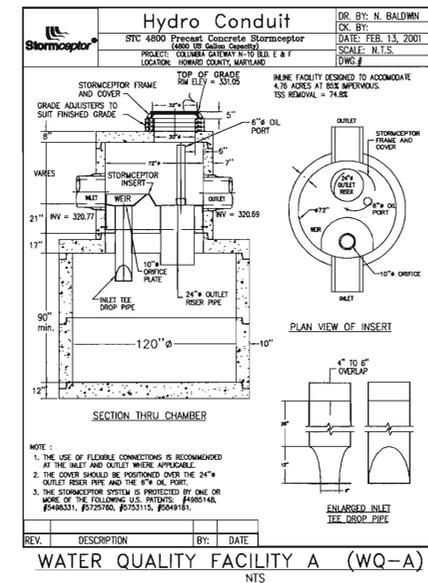
**SHOP DRAWINGS**  
 STRUCTURAL SHOP DRAWINGS AND FLOTATION COMPUTATIONS MUST BE SUBMITTED TO THE DESIGN ENGINEERS AS WELL AS TO HOWARD COUNTY D.E.D. PRIOR TO FABRICATION THESE DRAWINGS AND COMPUTATIONS MUST BE SIGNED AND SEALED BY A LICENSED STRUCTURAL ENGINEER. BOTH STRUCTURES MUST BE DESIGNED TO H2O LOADING STANDARDS. BOTH STRUCTURES ARE TO BE PRECAST.

**POST SEDIMENT CONTROL**  
 FOLLOWING THE STABILIZATION OF THE ENTIRE SITE, HQ-A AND HQ-B ARE TO BE FLUSHED AND PUMPED FREE OF ALL SEDIMENT AND DEBRIS.

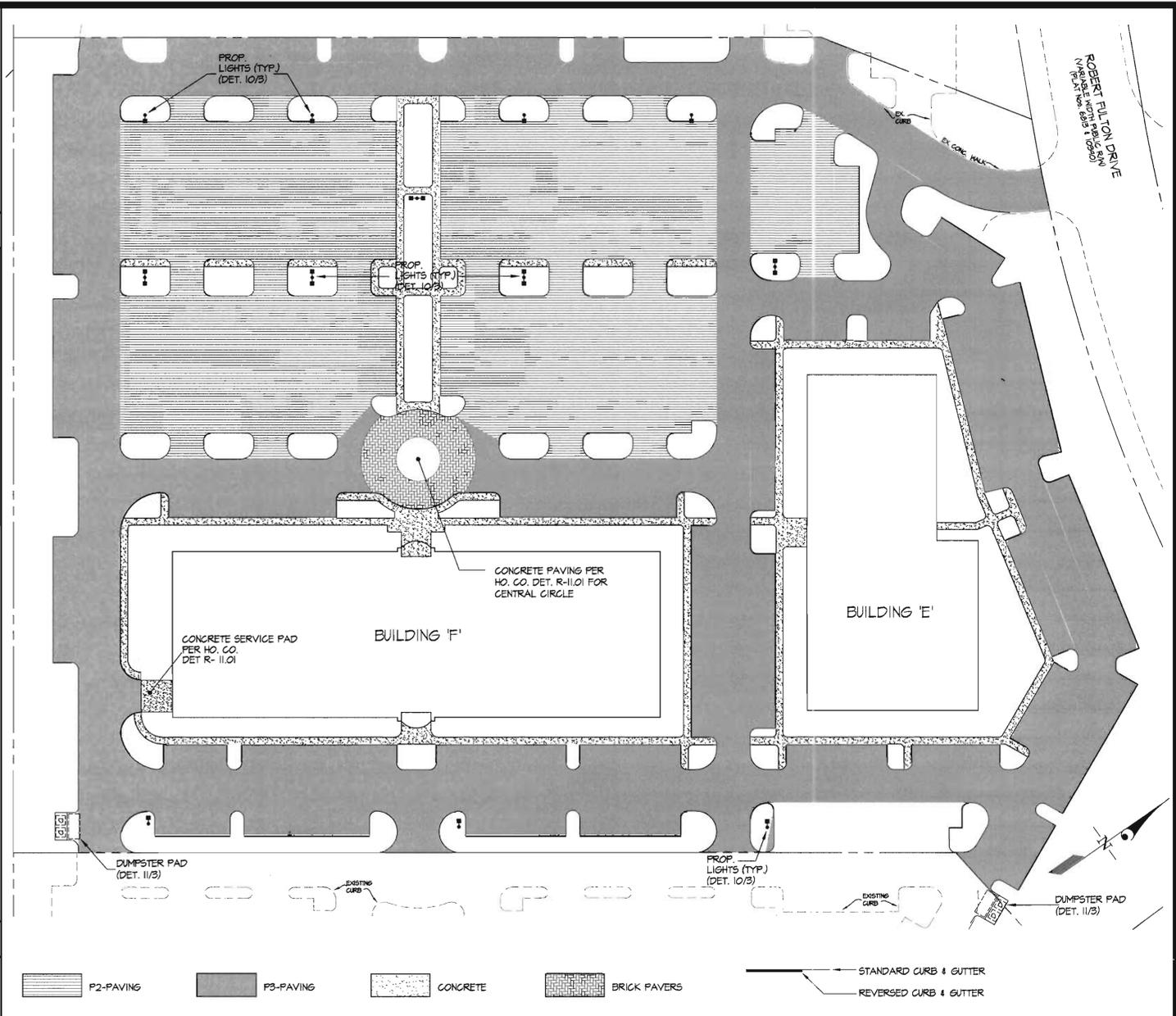
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Frank J. Taylor* 12/13/04  
 Chief, Division of Land Development: *Chris Hambley* 12/13/04  
 Chief, Development Engineering Division: *Mike Williams* 11/22/04



WATER QUALITY FACILITY B (WQ-B)

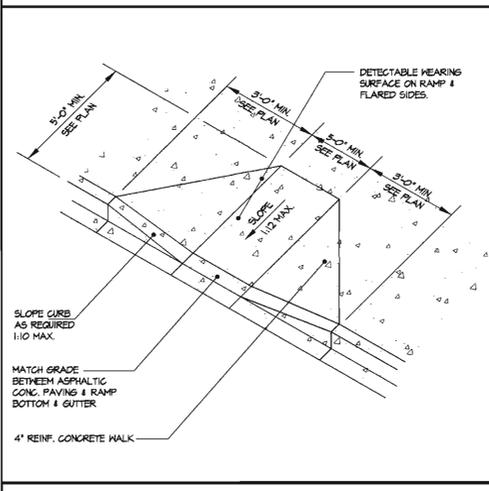


WATER QUALITY FACILITY A (WQ-A)

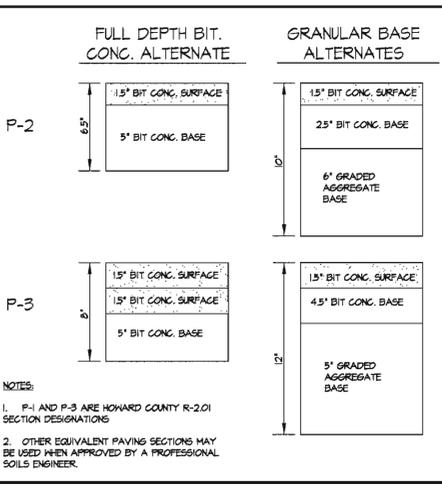


PAVING DELINEATION + LIGHTING PLAN

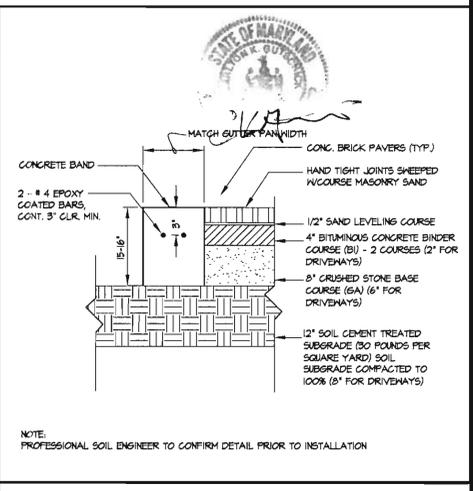
SCALE: 1" = 100'



TYPE-1 CURB RAMP



BITUMINOUS PAVING SECTIONS



BRICK PAVER SECTION DETAIL

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DATE	REVISION	BY	APP'R

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 7061 Columbia Gateway Drive  
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 PH.: 410-290-1400 ext. 1461  
 ATTN: MR. R. Colfax Schnorf Jr.

**SITE/HANDICAP ACCESSIBILITY DETAILS**  
**COLUMBIA GATEWAY**  
**PARCEL N-10**  
**PLAT NO. 14298, 17095**

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	M-1	04031
DATE	TAX MAP - GRID	SHEET
NOV., 2004	42 - 12	4 OF 10

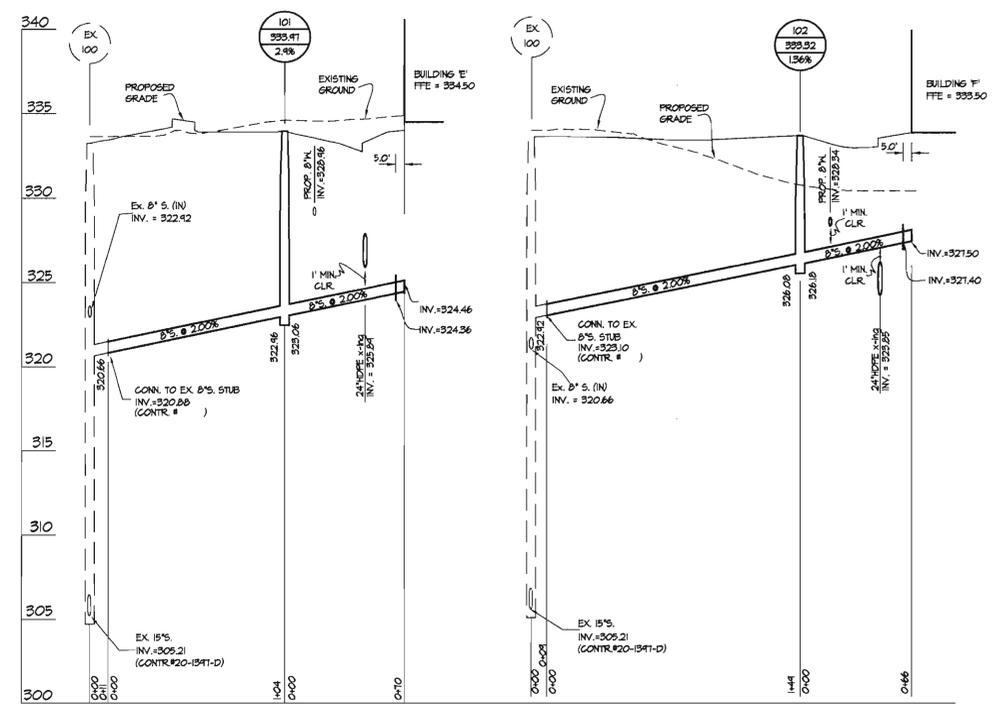
### S.D. STRUCTURE SCHEDULE

NO.	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STANDARD DETAIL	LOCATIONS & REMARKS
			UPPER	LOWER	UPPER	LOWER		
M-1	5' PRECAST MH	5'	---	331.53	318.84	312.82	HC-G-5.13	see plan
I-2	A-5 SUMP INLET	2.5'	---	332.24	321.84	321.74	HC-SD-4.40	see plan
I-3	A-5 SUMP INLET	2.5'	---	331.12	322.86	322.76	HC-SD-4.40	see plan
I-4	A-5 SUMP INLET	2.5'	---	332.16	324.07	323.97	HC-SD-4.40	see plan
I-5	A-5 SUMP INLET	2.5'	---	332.14	324.81	324.71	HC-SD-4.40	see plan
M-6	4' PRECAST MH	4'	---	333.00	326.68	325.28	HC-G-5.12	see plan
I-7	A-5 SUMP INLET	2.5'	---	332.84	325.84	325.74	HC-SD-4.40	see plan
I-8	A-5 SUMP INLET	3.5'	---	332.46	326.36	326.26	HC-SD-4.40	see plan
I-9	A-5 SUMP INLET	3.5'	---	333.03	326.73	326.63	HC-SD-4.40	see plan
I-10	A-5 SUMP INLET	3.5'	---	332.18	327.18	327.08	HC-SD-4.40	see plan
I-11	A-5 SUMP INLET	3.5'	---	332.44	328.44	327.94	HC-SD-4.40	see plan
I-12	A-10 INLET	2.5'	---	333.10	terminal	324.10	HC-SD-4.41	18" HDPE CONNECTION TO REAR OFFSET TO FAR RIGHT (REAR PERSPECTIVE)
I-13	A-5 SUMP INLET	4'	---	324.00	319.57	319.47	HC-SD-4.40	see plan
I-14	COS-15 INLET	5'	---	326.20	321.35	320.25	MDSHA-314.62	see plan
I-15	COS-15 INLET	4'	---	328.67	324.64	324.04	MDSHA-314.62	see plan
I-16	COS-15 INLET	4'	---	324.50	terminal	325.50	MDSHA-314.62	see plan
I-17	COS-15 INLET	4'	---	321.32	terminal	322.75	MDSHA-314.62	see plan
I-18	DOUBLE S INLET	2.62'	---	331.20	terminal	327.08	HC-SD-4.43	see plan

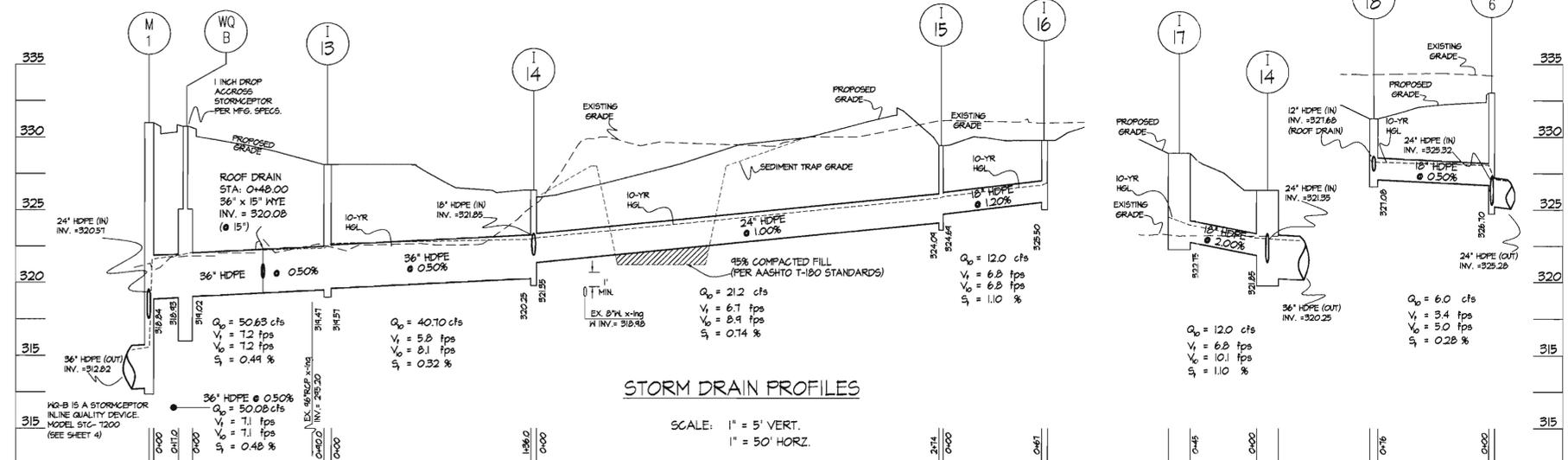
### S.D. Pipe Summary Table

Size (in)	Type	Quantity (LF)	Remarks
18	HDPE	238	ADS N12 or equiv.
24	HDPE	1150	ADS N12 or equiv.
36	HDPE	253	ADS N12 or equiv.

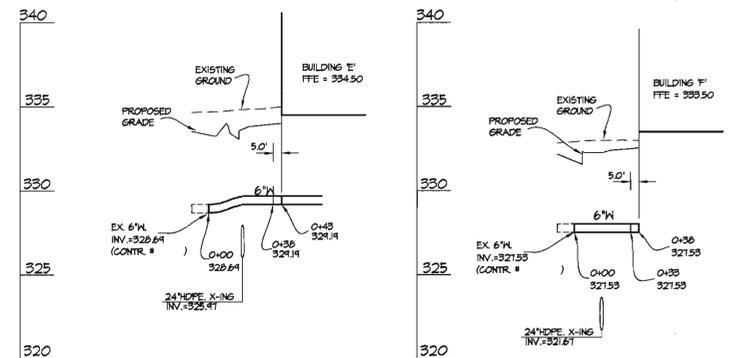
- S.D. NOTES**
- SEE SHEET 3 FOR ROOF DRAIN MANIFOLD LAYOUT. ROOF DRAIN PIPES AND STRUCTURES NOT ACCOUNTED FOR IN SCHEDULES ON THIS SHEET.
  - ALL STRUCTURES TO BE PRECAST.
  - WATER QUALITY FACILITIES WQ-A 4 WQ-B ARE NOT ACCOUNTED FOR IN THE STORM DRAIN STRUCTURE SCHEDULE. SEE SHEET 4 FOR DETAILS REGARDING THESE STRUCTURES.
  - PROVIDE WATER TIGHT JOINT AT ALL PIPE AND STRUCTURE CONNECTIONS.
  - ALL STORM DRAIN PIPE, STRUCTURES AND WATER QUALITY DEVICES ARE TO BE FLUSHED AND PUMPED CLEAN PRIOR TO REMOVAL OF ALL SEDIMENT CONTROLS.
  - STRUCTURE I-12 TO HAVE CONNECTION FOR 18" HDPE OFFSET TO RIGHT SIDE OF INLET. RIGHT SIDE TAKEN FROM REAR PERSPECTIVE. PRECAST MANUFACTURER TO PROVIDE POSITIVE DRAINAGE TOWARD 18" INVERT OUT.



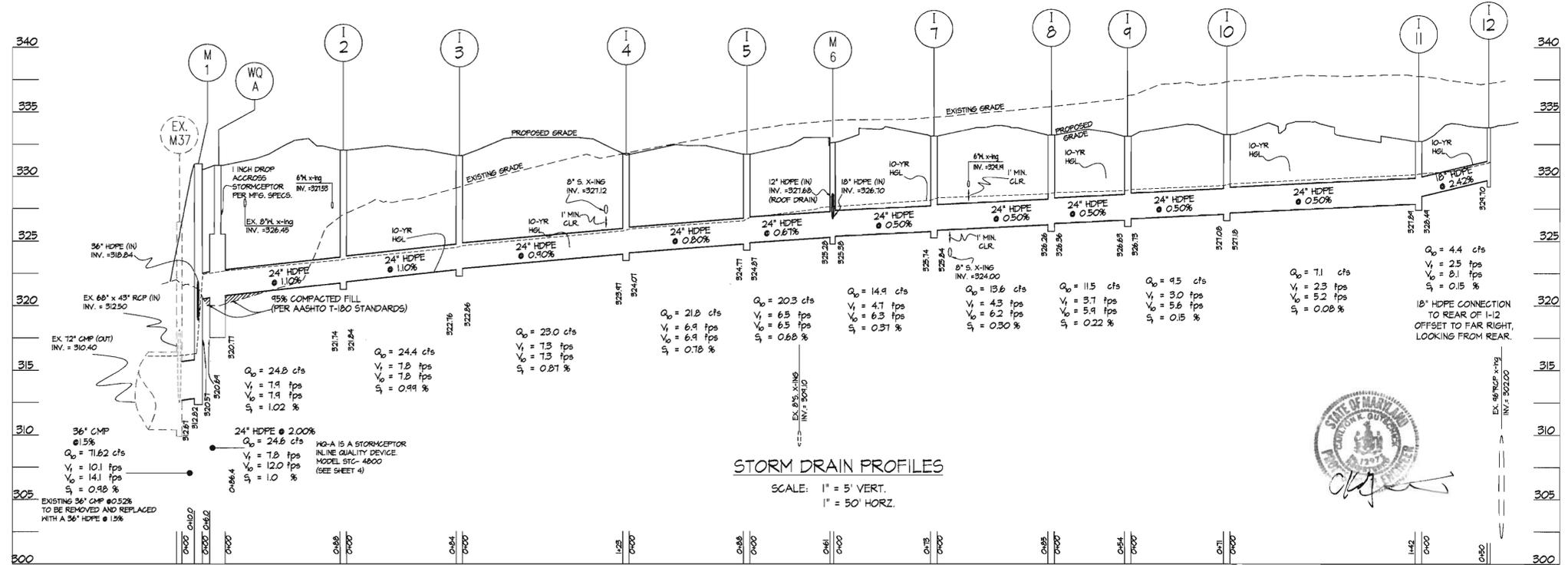
**PRIVATE SEWER PROFILES**  
SCALE: 1" = 5' VERT.  
1" = 50' HORIZ.



**STORM DRAIN PROFILES**  
SCALE: 1" = 5' VERT.  
1" = 50' HORIZ.



**PRIVATE WATER PROFILES**  
SCALE: 1" = 5' VERT.  
1" = 50' HORIZ.



**STORM DRAIN PROFILES**  
SCALE: 1" = 5' VERT.  
1" = 50' HORIZ.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*David A. Leyle* 12/15/14  
Director Date

*Chris Hanrahan* 12/16/14  
Chief, Division of Land Development Date

*Michael...* 11/20/14  
Chief, Development Engineering Division MK Date



**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
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3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
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TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-988-2524 FAX: 301-421-4186

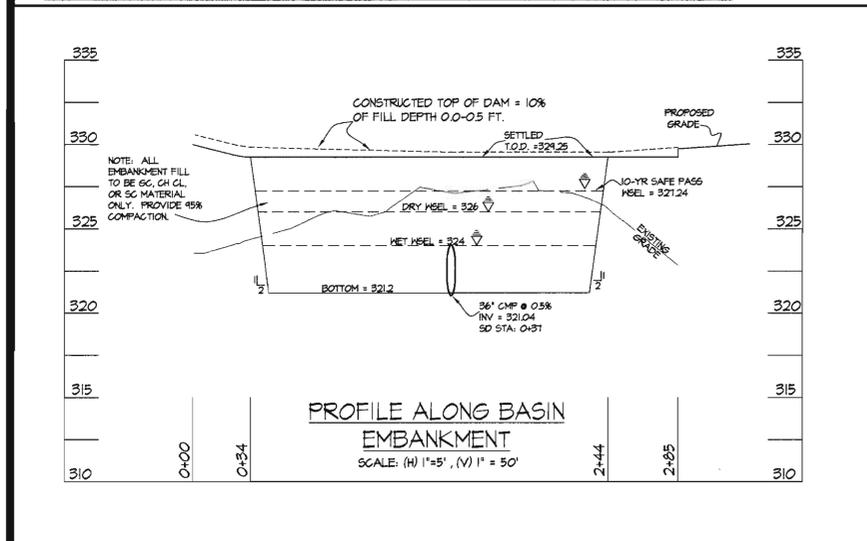
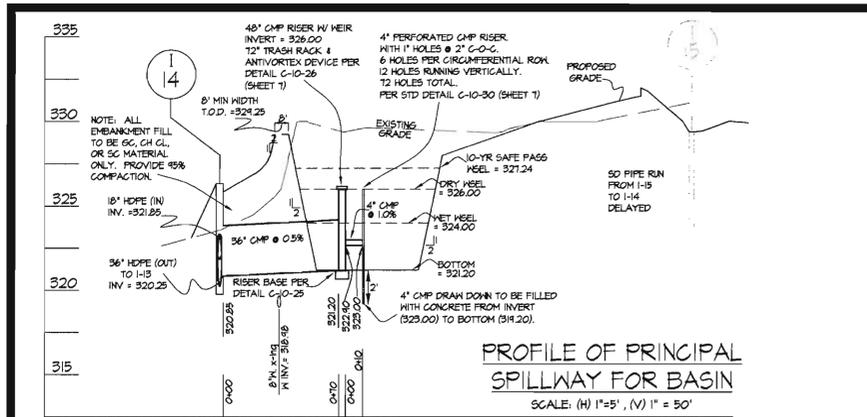
DATE	REVISION	BY	APP'R

PREPARED FOR:  
GATEWAY 70 LLC  
7061 Columbia Gateway Drive  
COLUMBIA, MARYLAND 21046  
PH.: 410-290-1400 ext. 1461  
ATTN: MR. R. Colfax Schnorf Jr.

**UTILITY PROFILES**  
**COLUMBIA GATEWAY**  
PARCEL N-10  
PLAT NO. 14298/17195

ELECTION DISTRICT No. 6

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	M-1	04031
DATE	TAX MAP - GRID	SHEET
NOV., 2004	42 - 12	5 OF 10



THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*[Signature]* 11/16/04  
HOWARD S.C.D. DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

*[Signature]* 11/16/04  
NATIONAL RESOURCES CONSERVATION SERVICE DATE

**LEGEND**

+326.00	PROPOSED SPOT ELEVATION	GM	GABION MATTRESS INFLOW PROTECTION
---	EXISTING CONTOUR	---	EXISTING EARTH DIKE
---	PROPOSED CONTOUR THIS PHASE	SIP	STANDARD INLET PROTECTION
x-x-x	PROPOSED SAFETY FENCE	CIP	CURB INLET PROTECTION
---	PROPOSED SILT FENCE	SCE	STABILIZED CONSTRUCTION ENTRANCE
---	PROPOSED SUPER SILT FENCE		
•	LIMIT OF DISTURBANCE		
---	DRAINAGE DIVIDE		

**ENGINEER'S CERTIFICATE**

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*[Signature]* 11/8/04  
DATE

**SEDIMENT BASIN DATA**

PIPE OUTLET SEDIMENT BASIN  
EX DRAINAGE AREA: 11.06 AC  
PROP. DRAINAGE AREA: 11.06 AC  
NET STORAGE VOL. REQUIRED: 0.46 AC-FT  
NET STORAGE VOL. PROVIDED: 0.81 AC-FT  
NET STORAGE ELEV.: 324  
DRY STORAGE REQUIRED: 0.46 AC-FT  
DRY STORAGE PROVIDED: 0.59 AC-FT  
DRY STORAGE INEL.: 326  
PROVIDED BY OFFSITE REGIONAL FACILITY  
SAFE PASS OF 10-YR STORM PROVIDED  
Q10 = 42.50 CFS  
10-YR INEL.: 321.24 LF  
BOTTOM ELEVATION: 321.20  
TOP OF EMBANKMENT: 324.25

OUTFALL: 10 LF 36" CMP @ 0.5%  
OUTFALL TO PROPOSED STORM DRAIN (1-14)  
OUTFALL INVERT AT RISER: 321.20  
OUTFALL INVERT AT I-14: 320.25

DEWATERING DEVICE = 4" PERFORATED CMP  
DEWATERING OUTFALL = 10 LF 4" CMP @ 1.0%  
DEWATERING INVERT AT 4" RISER = 322.00  
DEWATERING INVERT FIRST PERFORATION = 324.00  
DEWATERING INVERT FIRST PERFORATION = 324.00

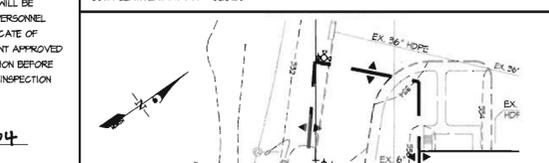
DEWATERING PERFORATION CONFIGURATION:  
WITH 1" HOLES @ 2" C-O-C,  
6 HOLES PER CIRCUMFERENTIAL ROW,  
12 HOLES RUNNING VERTICALLY,  
12 HOLES TOTAL.

EMERGENCY SPILLWAY ELEV.: NONE  
CLEANOUT ELEVATION: 322.50  
EMBANKMENT TOP WIDTH: 8' MIN  
SIDE SLOPES: 2:1

**DEVELOPER'S/BUILDER'S CERTIFICATE**

I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD.

*[Signature]* 11/8/04  
SIGNATURE OF DEVELOPER/BUILDER DATE



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

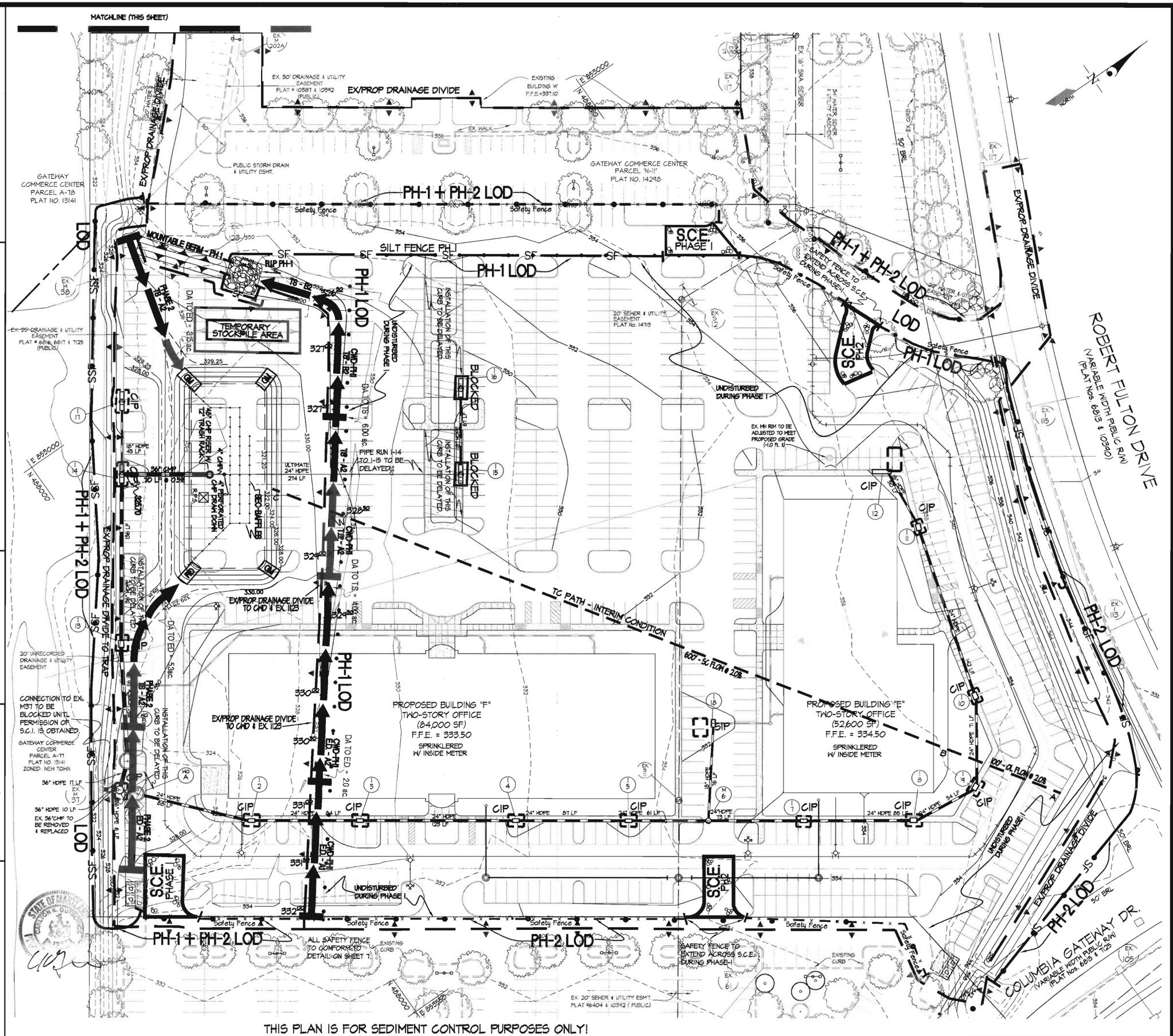
*[Signature]* 11/16/04  
Director Date

*[Signature]* 11/16/04  
Chief, Division of Land Development Date

*[Signature]* 11/16/04  
Chief, Development Engineering Division Date

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

NO.	DATE	REVISION	BY	APP'R.



PREPARED FOR:  
GATEWAY 70 LLC  
7061 Columbia Gateway Drive  
COLUMBIA, MARYLAND 21046  
PH.: 410-290-1400 ext. 1461  
ATTN: MR. R. Colfax Schnorf Jr.

**SEDIMENT CONTROL PLAN**  
**COLUMBIA GATEWAY**  
PARCEL N-10  
PLAT NO. 14298, 17095

SCALE	ZONING	G. L. W. FILE NO.
1"=40'	M-1	04031
DATE	TAX MAP - GRID	SHEET
NOV., 2004	42 - 12	6 OF 10

HOWARD COUNTY, MARYLAND  
ELECTION DISTRICT No. 6

### PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREA NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDING PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCS OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENED).

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

- PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (#2 LBS/1000 SQUARE FEET) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ FT) BEFORE SEEDING. HARROW OR DISC UNDER UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS PER ACRE 30-0-0 UNIFORM FERTILIZER (14 LBS/1000 SQ FT).
- ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (#2 LBS/1000 SQ FT) AND 1000 LBS PER ACRE 10-10-10 FERTILIZER (28 LBS/1000 SQ FT) BEFORE SEEDING. HARROW OR DISC UNDER THREE INCHES OF SOIL.

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS PER ACRE (14 LBS/1000 SQ FT) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS PER ACRE (0.5 LBS/1000 SQ FT) OF KEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY: OPTION (1) 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOG. OPTION (3) SEED WITH 60 LBS/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

MULCHING: APPLY 1/2 TO 2 TONS PER ACRE (10 TO 90 LBS/1000 SQ FT) OF UNROTTED SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 210 GALLONS PER ACRE (5 GALLON/100 SQ FT) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 6 FT OR HIGHER, USE 345 GALLONS PER ACRE (8 GALLON/100 SQ FT) FOR ANCHORING.

MAINTENANCE: INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

### TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDING PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCS OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENED).

SOIL AMENDMENTS: APPLY 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ FT).

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU OCTOBER 15, SEED WITH 2-1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS/1000 SQ FT). FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS PER ACRE OF KEEPING LOVEGRASS (1 THRU LBS/1000 SQ FT). FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOG.

MULCHING: APPLY 1/2 TO 2 TONS PER ACRE (10 TO 90 LBS/1000 SQ FT) OF UNROTTED, NEED-FREE, SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 210 GAL PER ACRE (5 GAL/1000 SQ FT) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 6 FT OR HIGHER, USE 345 GAL PER ACRE (8 GAL/1000 SQ FT) FOR ANCHORING.

### ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

11/9-04  
DATE

### DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD.

11/8/04  
DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Mark A. Unger* 11/20/04  
Chief, Division of Land Development: *Craig Hamito* 11/23/04  
Chief, Development Engineering Division: *Michael...* 11/22/04

### SEDIMENT CONTROL NOTES

- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION. (410) 315-1855.
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1984 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 1 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES AND PERIMETER SLOPES AND SLOPES GREATER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1985 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS, SOG, TEMPORARY SEEDING AND MULCHING (SEC. 6).
- TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DPM SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO 3 PIPE LENGTHS OR THAT WHICH SHALL BE BACKFILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

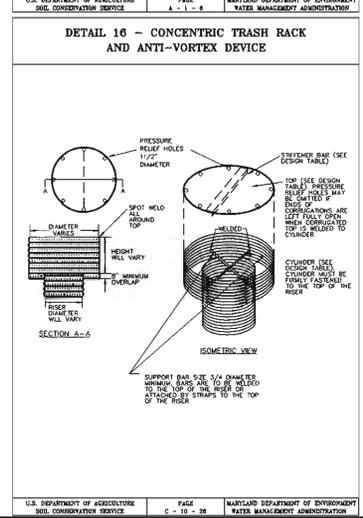
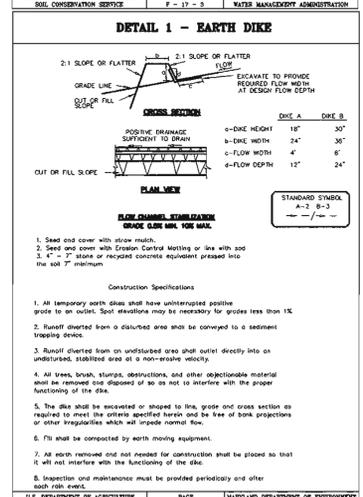
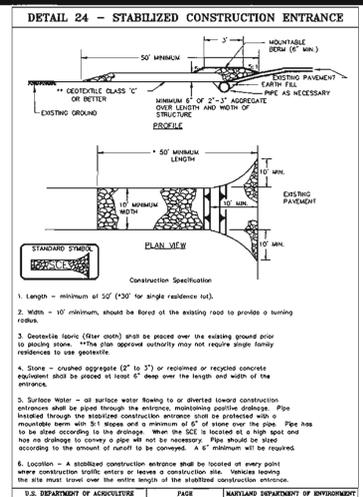
### CONSTRUCTION AND MATERIAL & TOPSOIL SPECIFICATIONS

- TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE RESPECTIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.
- TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
  - TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY SILT LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY A GEOMORPHOLOGIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CLAY, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1/2" IN DIAMETER.
  - TOPSOIL MUST BE FREE OF PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
  - WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE IF 4-6 TONS/ACRE (200-400 POUNDS PER 1000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.
- FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:
  - PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 3.0.0 VEGETATIVE STABILIZATION - SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS (OR SEE SEEDING NOTES).
  - PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER.
  - ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 15 PERCENT BY WEIGHT.
  - TOPSOIL HAVING SOLUBLE SALT GREATER THAN 500 PARTS PER MILL SHALL NOT BE USED.
  - NO SOG OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN WITH SOIL STERILANTS OR CHEMICALS USED FOR KEEP CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN) TO PERMIT DISSIPATION OF PHOTOTOXIC MATERIALS.
- FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:
  - ON SOIL MEETINGS TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:
    - PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER.
    - ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 15 PERCENT BY WEIGHT.
    - NO SOG OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN WITH SOIL STERILANTS OR CHEMICALS USED FOR KEEP CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN) TO PERMIT DISSIPATION OF PHOTOTOXIC MATERIALS.

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

11/16/04  
DATE

GLWGUTSCHICK LITTLE & WEBER, P.A.  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONVILLE OFFICE PARK  
BURTONVILLE, MARYLAND 20866  
TEL: 301-421-4024 FAX: 410-980-1820 MD/NR: 301-989-2524 FAX: 301-421-4186



### SEDIMENT AND EROSION CONTROL SEQUENCE OF CONSTRUCTION

PHASE 1:

- OBTAIN GRADING PERMIT AND ARRANGE PRE-CONSTRUCTION MEETINGS WITH SEDIMENT CONTROL INSPECTOR (1 DAY)
- INSTALL THE PHASE 1 STABILIZED CONSTRUCTION ENTRANCES, SAFETY FENCE AND SILT FENCE/SUPER SILT FENCE. ANY SEDIMENT CONTROL FEATURES KNOCED DOWN OR DISABLED ARE TO BE REPAIRED IMMEDIATELY OR BY THE END OF THE WORK DAY. (5 DAYS)
- CONSTRUCT THE PHASE 1 CLEAN WATER DIVERSION DIKE/SHALE AND INSTALL THE RIP-RAP-INFLOW PROTECTION ASSOCIATED WITH IT. (LABELED CND ON SHEET #6) (5 DAYS)
- ROUGH GRADE SITE SOUTH WEST OF CND. INSTALL STORM DRAIN STRUCTURES I-1, I-4, I-10, I-14, I-18, I-24, I-30, I-36, I-42, I-48, I-54, I-60, I-66, I-72, I-78, I-84, I-90, I-96, I-102, I-108, I-114, I-120, I-126, I-132, I-138, I-144, I-150, I-156, I-162, I-168, I-174, I-180, I-186, I-192, I-198, I-204, I-210, I-216, I-222, I-228, I-234, I-240, I-246, I-252, I-258, I-264, I-270, I-276, I-282, I-288, I-294, I-300, I-306, I-312, I-318, I-324, I-330, I-336, I-342, I-348, I-354, I-360, I-366, I-372, I-378, I-384, I-390, I-396, I-402, I-408, I-414, I-420, I-426, I-432, I-438, I-444, I-450, I-456, I-462, I-468, I-474, I-480, I-486, I-492, I-498, I-504, I-510, I-516, I-522, I-528, I-534, I-540, I-546, I-552, I-558, I-564, I-570, I-576, I-582, I-588, I-594, I-600, I-606, I-612, I-618, I-624, I-630, I-636, I-642, I-648, I-654, I-660, I-666, I-672, I-678, I-684, I-690, I-696, I-702, I-708, I-714, I-720, I-726, I-732, I-738, I-744, I-750, I-756, I-762, I-768, I-774, I-780, I-786, I-792, I-798, I-804, I-810, I-816, I-822, I-828, I-834, 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I-5358, I-5364, I-5370, I-5376, I-5382, I-5388, I-5394, I-540

DRAINAGE AREAS			
AREA	D.A.	% IMP.	C'
1-2	0.10	85%	0.25
1-3	0.21	85%	0.25
1-4	0.22	85%	0.25
1-5	0.22	85%	0.25
1-7	0.22	85%	0.25
1-8	0.31	85%	0.25
1-9	0.31	85%	0.25
1-10	0.36	85%	0.25
1-11	0.39	85%	0.25
1-12	0.61	85%	0.25
1-13	0.46	85%	0.25
1-14	1.22	85%	0.25
1-15	1.30	85%	0.25
1-16	1.66	85%	0.25
1-17	1.66	85%	0.25
1-18	0.36	85%	0.25
RD-E	0.62	95%	0.45
RD-F	0.96	95%	0.45

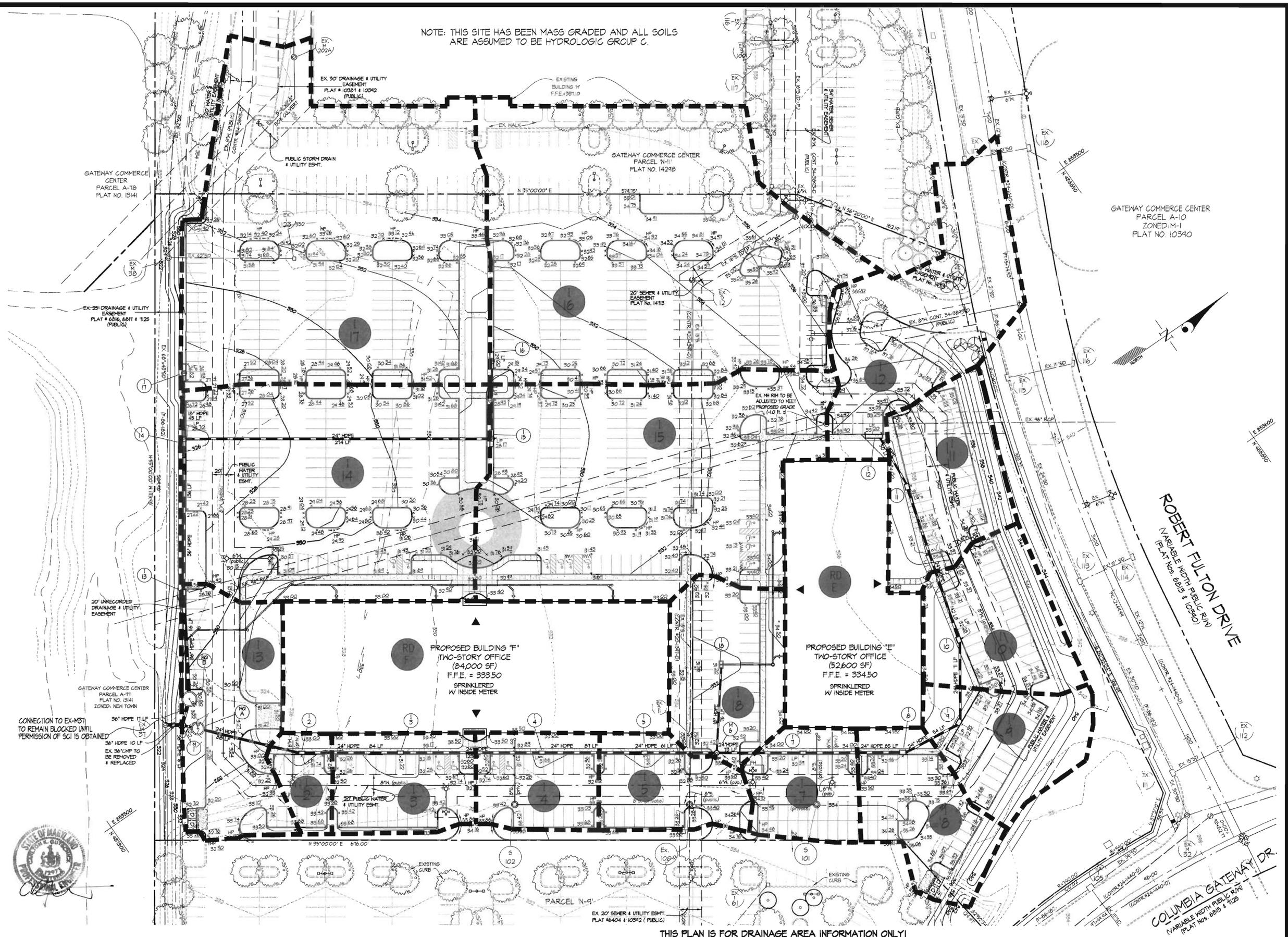
TOTAL AREA ENTERING SYSTEM = 11.06 AC.

**WATER QUALITY TABULATION**

**MG-A**  
TOTAL AREA TREATED = 3.16 acres  
% RUNOFF TREATED = 10.5 %  
% TSS REMOVAL = 71.2 %  
DEVICE: STORMCEPTOR MODEL stc 4800  
10-YR PEAK DISCHARGE TO STRUCTURE = 24.6 cfs

**MG-B**  
TOTAL AREA TREATED = 1.26 acres  
% RUNOFF TREATED = 15.6 %  
% TSS REMOVAL = 14.5 %  
DEVICE: STORMCEPTOR MODEL stc 1200  
10-YR PEAK DISCHARGE TO STRUCTURE = 50.00 cfs

NOTE: THIS SITE HAS BEEN MASS GRADED AND ALL SOILS ARE ASSUMED TO BE HYDROLOGIC GROUP C.



NOTES:  
1. THIS SITE HAS BEEN MASS GRADED AND ALL SOILS HAVE BEEN ASSUMED TO BE SCS HYDROLOGIC GROUP C.  
2. % IMPERVIOUS FOR ALL DRAINAGE AREA EXCEPT ROOFTOPS ARE CONSERVATIVELY APPROXIMATED AT 85%.

**LEGEND**  
--- 600 --- EXISTING CONTOUR  
--- 602 --- PROPOSED CONTOUR  
- - - - - PROPOSED DRAINAGE DIVIDE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*Barry L. Goyette* 12/17/04  
Director Date  
*Chris Hamrick* 12/17/04  
Chief, Division of Land Development Date  
*Chris DeWitt* 12/17/04  
Chief, Development Engineering Division Date

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONTVILLE OFFICE PARK  
BURTONTVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-589-2524 FAX: 301-421-4186

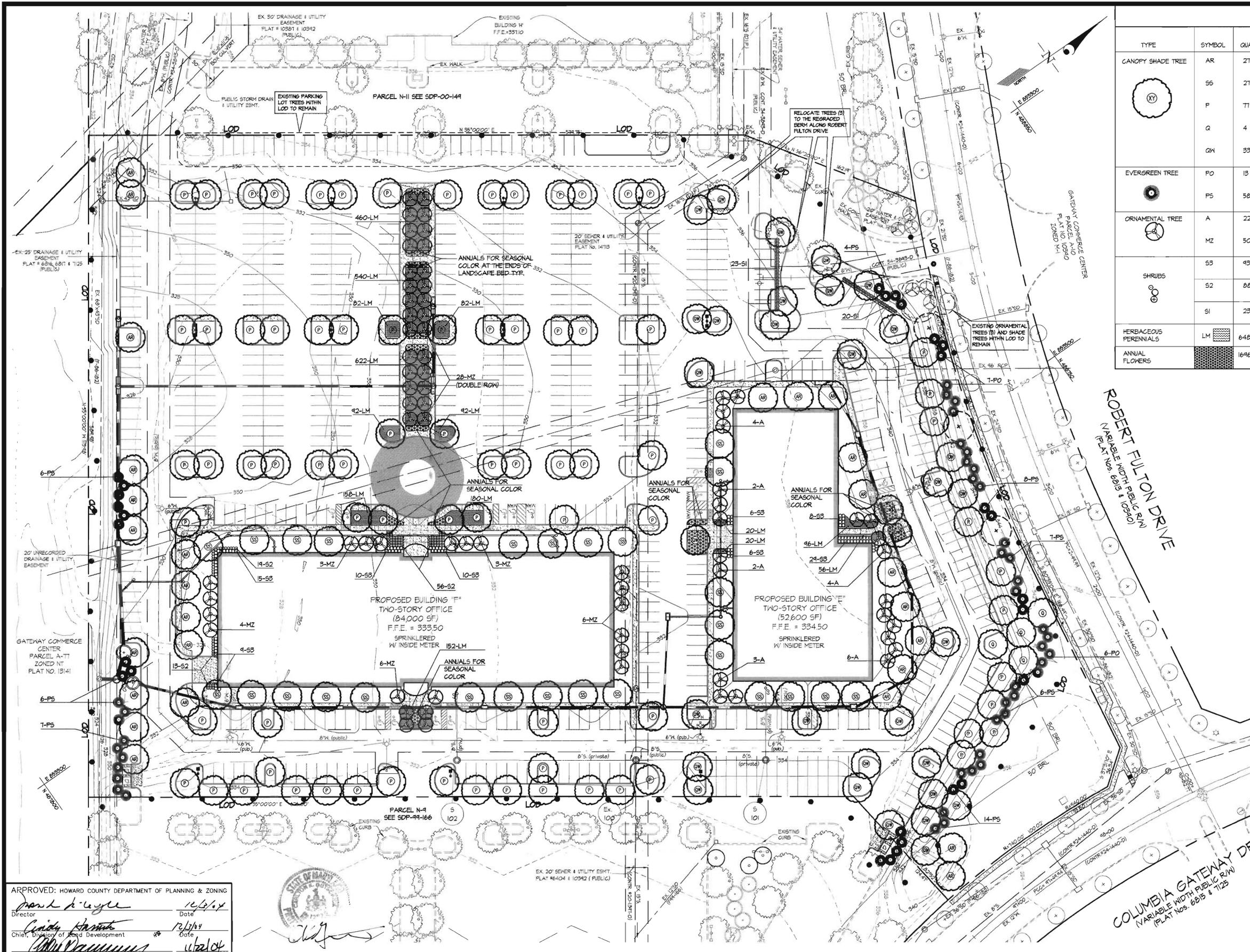
DATE	REVISION	BY	APP'R

PREPARED FOR:  
GATEWAY 70 LLC  
7061 Columbia Gateway Drive  
COLUMBIA, MARYLAND 21046  
PH: 410-290-1400 ext. 1461  
ATTN: MR. R. Colfax Schnorf Jr.

**STORM DRAIN DRAINAGE AREA MAP**  
**COLUMBIA GATEWAY**  
**PARCEL N-10**  
**PLAT NO. 14298, 17096**

SCALE	ZONING	G. L. W. FILE NO.
1"=40'	M-1	04031
DATE	TAX MAP - GRID	SHEET
NOV., 2004	42 - 12	8 OF 10

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PLANT SCHEDULE					
TYPE	SYMBOL	QUANT.	NAME (BOTANICAL/COMMON)	SIZE	COMMENTS
CANOPY SHADE TREE	AR	21	ACER RUBRUM 'RED SUNSET' / RED SUNSET RED MAPLE	25"-3.0' CAL.	B4B
	96	21	ACER RUBRUM 'SCARLET SENTINEL' / SCARLET SENTINEL RED MAPLE	25"-3.0' CAL.	B4B
	P	71	PLATANUS x ACERIFOLIA 'BLOODGOOD' / BLOODGOOD LONDON PLANETREE	25"-3.0' CAL.	B4B
	Q	4	QUERCUS PALUSTRIS / PIN OAK	25"-3.0' CAL.	B4B
	QM	33	QUERCUS PHELLOS / WILLOW OAK	25"-3.0' CAL.	B4B
EVERGREEN TREE	PO	13	PICEA OMORIKA / SERBIAN SPRUCE	10' HT. MIN.	B4B, WITH INTACT CENTRAL LEADER
	PS	58	PINUS STROBUS / EASTERN WHITE PINE	10' HT. MIN.	B4B, WITH INTACT CENTRAL LEADER
ORNAMENTAL TREE	A	22	AMELANCHIER ARBOREA 'AUTUMN SUNSET' / AUTUMN SUNSET SERVICEBERRY	2.5" CAL. MIN.	B4B, TREE FORM
	MZ	50	MALUS 'ZUMI' / ZUMI CRABAPPLE	2.5" CAL. MIN.	B4B
SHRUBS	S3	43	ILEX CRENATA 'HELLERI' / HELLERI HOLLY	30" SPR. MIN.	CONTAINERIZED
	S2	88	COTONEASTER HORIZONTALIS 'TOM THUMB' / TOM THUMB COTONEASTER	24" SPR. MIN.	CONTAINERIZED
	S1	23	EUONYMUS ALATUS 'COMPACTA' / DWARF WINGED EUONYMUS	30" SPR. MIN.	CONTAINERIZED
HERBACEOUS PERENNIALS	LM	6480 S.F.	LIRIOPE MUSCARI / GREEN LIRIOPE	2652 1-GAL @ 18" O.C.	OPTIONAL IN LIEU OF LAWN
ANNUAL FLOWERS		1696 S.F.	FOR SUMMER PLANTING: PETUNIAS, MARIGOLDS AND SALVIAS FOR FALL PLANTING: PANSIES		

**LEGEND**

- LIMIT OF DISTURBANCE (LOD)
- SHADED AREA: UTILITY EASEMENTS (SHADED AREA). PERMANENT PLANTING IS NOT PERMITTED IN THIS AREA
- (X) NEW LOCATION OF 3 EXISTING SHADE TREES TO BE RELOCATED.
- (M) SHADE TREE PER SDP-00-144 AND SDP-44-166

- NOTES:**
- ALL EXISTING TREES WITHIN THE L.O.D. NOTED TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. IF THESE TREES ARE DAMAGED, THEY SHALL BE REPLACED WITH THE SAME TYPE & SIZE.
  - ALL EXISTING TREES WITHIN THE L.O.D. NOTED TO BE RELOCATED SHALL BE PROTECTED UNTIL THEY CAN BE MOVED TO THEIR NEW LOCATION ON THE REGRADED BERM.
  - SEE SHEET 10 FOR ADDITIONAL LANDSCAPE NOTES, SPECIFICATIONS AND DETAILS.

**DEVELOPER'S/BUILDER'S CERTIFICATE**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: *K. Egan* DATE: *11-8-04*

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Frank K. Egan* 11/8/04  
Director Date

*Cindy Harris* 12/1/04  
Chief, Division of Land Development Date

*John Vanman* 11/2/04  
Chief, Development Engineering Division Date

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20886  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-988-2524 FAX: 301-421-4196

DATE	REVISION	BY	APPR.

PREPARED FOR:  
GATEWAY 70 LLC  
7061 Columbia Gateway Drive  
COLUMBIA, MARYLAND 21046  
PH.: 410-290-1400 ext. 1461  
ATTN: MR. R. Colfax Schnorf Jr.

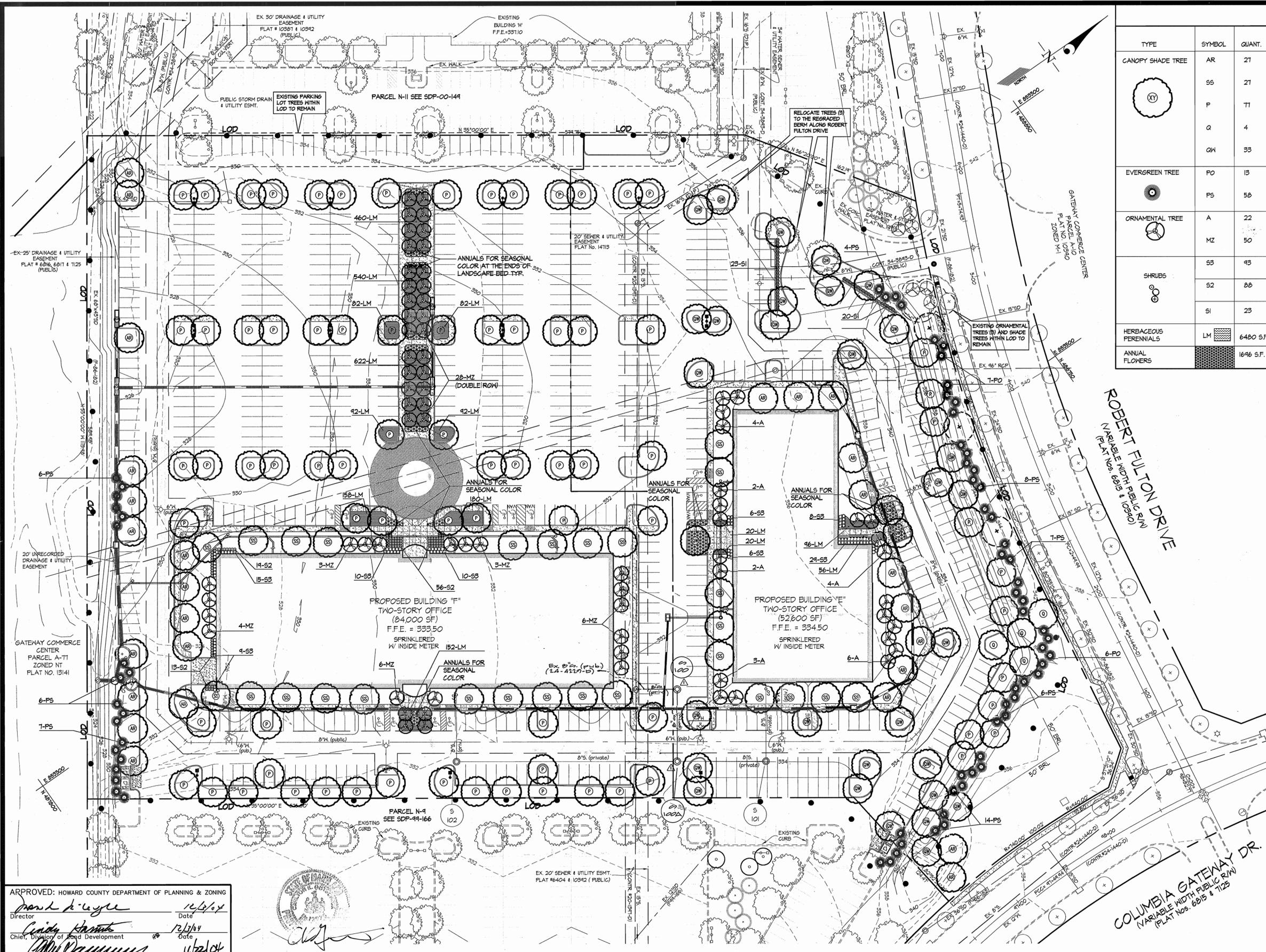
**LANDSCAPE PLAN**  
**COLUMBIA GATEWAY**  
PARCEL N-10  
PLAT NO. 14298, 17095

ELECTION DISTRICT No. 6

SCALE	ZONING	G. L. W. FILE NO.
1"=40'	M-1	04031
DATE	TAX MAP - GRID	SHEET
NOV., 2004	42 - 12	9 OF 10

HOWARD COUNTY, MARYLAND





PLANT SCHEDULE					
TYPE	SYMBOL	QUANT.	NAME (BOTANICAL/COMMON)	SIZE	COMMENTS
CANOPY SHADE TREE	AR	27	ACER RUBRUM 'RED SUNSET' / RED SUNSET RED MAPLE	25"-3.0' CAL.	B4B
	SS	27	ACER RUBRUM 'SCARLET SENTINEL' / SCARLET SENTINEL RED MAPLE	25"-3.0' CAL.	B4B
	P	71	PLATANUS x ACERIFOLIA 'BLOODGOOD' / BLOODGOOD LONDON PLANETREE	25"-3.0' CAL.	B4B
	Q	4	QUERCUS PALUSTRIS / PIN OAK	25"-3.0' CAL.	B4B
	QM	33	QUERCUS PHELLOS / WILLOW OAK	25"-3.0' CAL.	B4B
EVERGREEN TREE	PO	13	PICEA OMORICA / SERBIAN SPRUCE	10' HT. MIN.	B4B, WITH INTACT CENTRAL LEADER
	PS	58	PINUS STROBUS / EASTERN WHITE PINE	10' HT. MIN.	B4B, WITH INTACT CENTRAL LEADER
ORNAMENTAL TREE	A	22	AMELANCHIER ARBOREA 'AUTUMN SUNSET' / AUTUMN SUNSET SERVICEBERRY	25" CAL MIN.	B4B, TREE FORM
	MZ	50	MALUS 'ZUMI' / ZUMI CRABAPPLE	25" CAL MIN.	B4B
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	S2	88	COTONEASTER HORIZONTALIS 'TOM THUMB' / TOM THUMB COTONEASTER	24" SFR. MIN.	CONTAINERIZED
	SI	23	EUONYMUS ALATUS 'COMPACTA' / DWARF WINGED EUONYMUS	30" SFR. MIN.	CONTAINERIZED
HERBACEOUS PERENNIALS	LM	6480 S.F.	LIRIOPE MUSCARI / GREEN LIRIOPE	2652 1-GAL @ 18" O.C.	OPTIONAL IN LIEU OF LAWN
ANNUAL FLOWERS		1696 S.F.	FOR SUMMER PLANTING: PETUNIAS, MARIGOLDS AND SALVIAS FOR FALL PLANTING: PANSIES		

**LEGEND**

- LIMIT OF DISTURBANCE (LOD)
- Utility easements (shaded area). Permanent planting is not permitted in this area.
- ⊗ NEW LOCATION OF 3 EXISTING SHADE TREES TO BE RELOCATED.
- ⊙ SHADE TREE PER SDP-00-144 AND SDP-99-166

- NOTES:**
- ALL EXISTING TREES WITHIN THE L.O.D. NOTED TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. IF THESE TREES ARE DAMAGED, THEY SHALL BE REPLACED WITH THE SAME TYPE & SIZE.
  - ALL EXISTING TREES WITHIN THE L.O.D. NOTED TO BE RELOCATED SHALL BE PROTECTED UNTIL THEY CAN BE MOVED TO THEIR NEW LOCATION ON THE REGRADED BERM.
  - SEE SHEET 10 FOR ADDITIONAL LANDSCAPE NOTES, SPECIFICATIONS AND DETAILS.

**DEVELOPER'S/BUILDER'S CERTIFICATE**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: *K. Egan* DATE: *11-8-04*

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*David K. Lytle* 12/6/04  
Director Date

*Cathy Harvath* 12/1/04  
Chief, Division of Land Development Date

*Chris Krumm* 11/22/04  
Chief, Development Engineering Division Date

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-589-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
11/22/04	Revise Sewer Main		

PREPARED FOR:  
GATEWAY 70 LLC  
7061 Columbia Gateway Drive  
COLUMBIA, MARYLAND 21046  
PH.: 410-290-1400 ext. 1461  
ATTN: MR. R. Colfax Schnorf Jr.

**LANDSCAPE PLAN**  
**COLUMBIA GATEWAY**  
PARCEL N-10  
PLAT NO. 14298 / 17095

ELECTION DISTRICT No. 6

SCALE	ZONING	G. L. W. FILE No.
1"=40'	M-1	04031
DATE	TAX MAP - GRID	SHEET
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HOWARD COUNTY, MARYLAND

DRAINAGE AREAS			
AREA	D.A.	% IMP.	'C'
(No.)	(ACRES)	(%)	(")
1-2	0.10	85%	0.25
1-3	0.21	85%	0.25
1-4	0.22	85%	0.25
1-5	0.24	85%	0.25
1-7	0.22	85%	0.25
1-8	0.31	85%	0.25
1-4	0.31	85%	0.25
1-10	0.36	85%	0.25
1-11	0.39	85%	0.25
1-12	0.61	85%	0.25
1-13	0.46	85%	0.25
1-14	1.22	85%	0.25
1-15	1.30	85%	0.25
1-16	1.66	85%	0.25
1-17	1.66	85%	0.25
1-18	0.36	85%	0.25
RD-E	0.62	95%	0.45
RD-F	0.36	95%	0.45

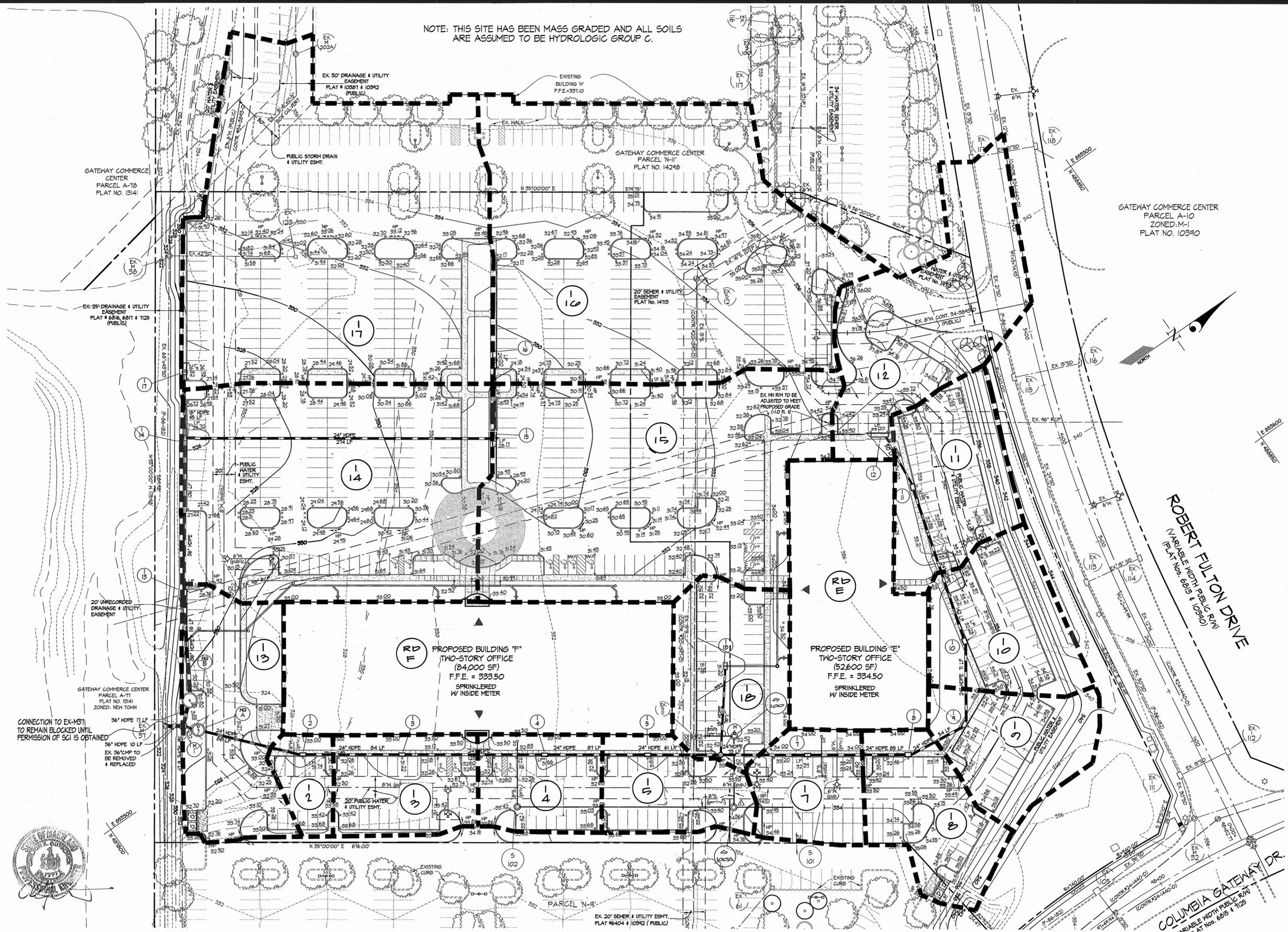
TOTAL AREA ENTERING SYSTEM = 11.06 AC.

**WATER QUALITY TABULATION**

**WQ-A**  
 TOTAL AREA TREATED = 3.78 acres  
 % RUNOFF TREATED = 78.5 %  
 % TSS REMOVAL = 71.2 %  
 DEVICE, STORMCEPTOR MODEL stc 4800  
 10-YR PEAK DISCHARGE TO STRUCTURE = 24.6 cfs

**WQ-B**  
 TOTAL AREA TREATED = 7.26 acres  
 % RUNOFF TREATED = 75.6 %  
 % TSS REMOVAL = 14.5 %  
 DEVICE, STORMCEPTOR MODEL stc 1200  
 10-YR PEAK DISCHARGE TO STRUCTURE = 50.08 cfs

NOTE: THIS SITE HAS BEEN MASS GRADED AND ALL SOILS ARE ASSUMED TO BE HYDROLOGIC GROUP C.



NOTES:  
 1. THIS SITE HAS BEEN MASS GRADED AND ALL SOILS HAVE BEEN ASSUMED TO BE S25 HYDROLOGIC GROUP C.  
 2. % IMPERVIOUS FOR ALL DRAINAGE AREA EXCEPT ROOFTOPS ARE CONSERVATIVELY APPROXIMATED AT 85%.

**LEGEND**  
 --- 600 --- EXISTING CONTOUR  
 --- 600 --- PROPOSED CONTOUR  
 - - - - - PROPOSED DRAINAGE DIVIDE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Charles A. Coyle* Date: 12/17/04  
 Chief, Division of Land Development: *Cindy Hamrick* Date: 12/17/04  
 Chief, Development Engineering Division: *Mike* Date: 12/17/04

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 FAX: 301-421-4186

PREPARED FOR:  
 GATEWAY 70 LLC  
 7061 Columbia Gateway Drive  
 COLUMBIA, MARYLAND 21046  
 PH.: 410-290-1400 ext. 1461  
 ATTN: MR. R. Colfax Schnorf Jr.

**STORM DRAIN DRAINAGE AREA MAP**  
**COLUMBIA GATEWAY**  
 PARCEL N-10  
 PLAT NO. 14298, 17095

SCALE	ZONING	G. L. W. FILE NO.
1" = 40'	M-1	04031
DATE	TAX MAP - GRID	SHEET
NOV., 2004	42 - 12	8 OF 10

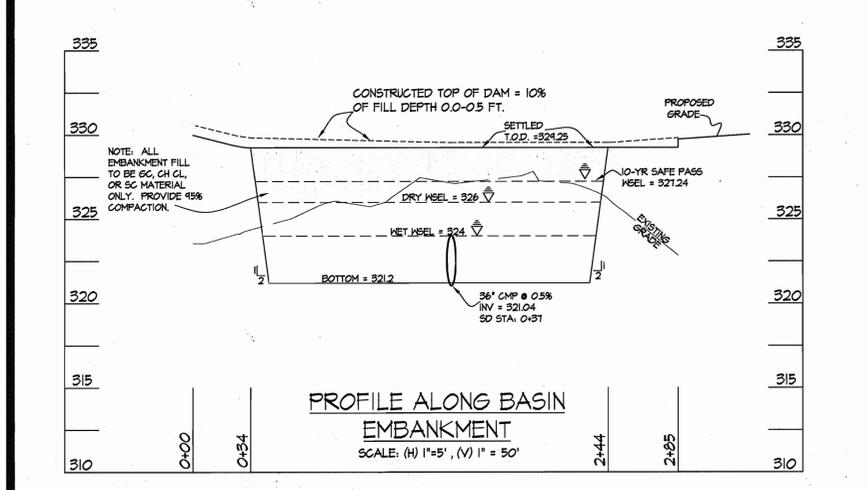
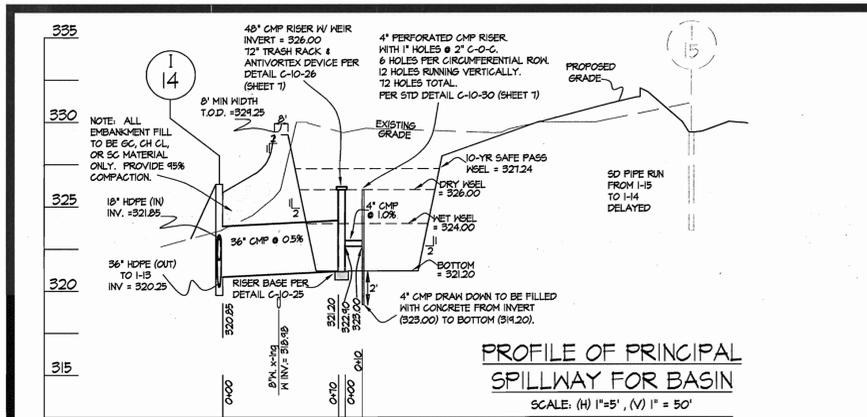
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Drawings\04031\sdp\04031DAM.dwg DES. B.M. DRN. KLP CHK. XXX

DATE: 12/17/04 BY: APPR:

ELECTION DISTRICT No. 6

HOWARD COUNTY, MARYLAND



THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*[Signature]* 11/16/04  
HOWARD S.C.D. DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

*[Signature]* 11/16/04  
NATIONAL RESOURCES CONSERVATION SERVICE DATE

LEGEND	
± 306.00	PROPOSED SPOT ELEVATION
---	EXISTING CONTOUR
---	PROPOSED CONTOUR THIS PHASE
x x x	PROPOSED SAFETY FENCE
---	PROPOSED SILT FENCE
---	PROPOSED SUPER SILT FENCE
• LOD	LIMIT OF DISTURBANCE DRAINAGE DIVIDE
◻ G.M.	GABION MATTRESS INFLOW PROTECTION
→	EXISTING EARTH DIKE
◻ SIP	STANDARD INLET PROTECTION
◻ CIP	CURB INLET PROTECTION
◻ SCE	STABILIZED CONSTRUCTION ENTRANCE

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

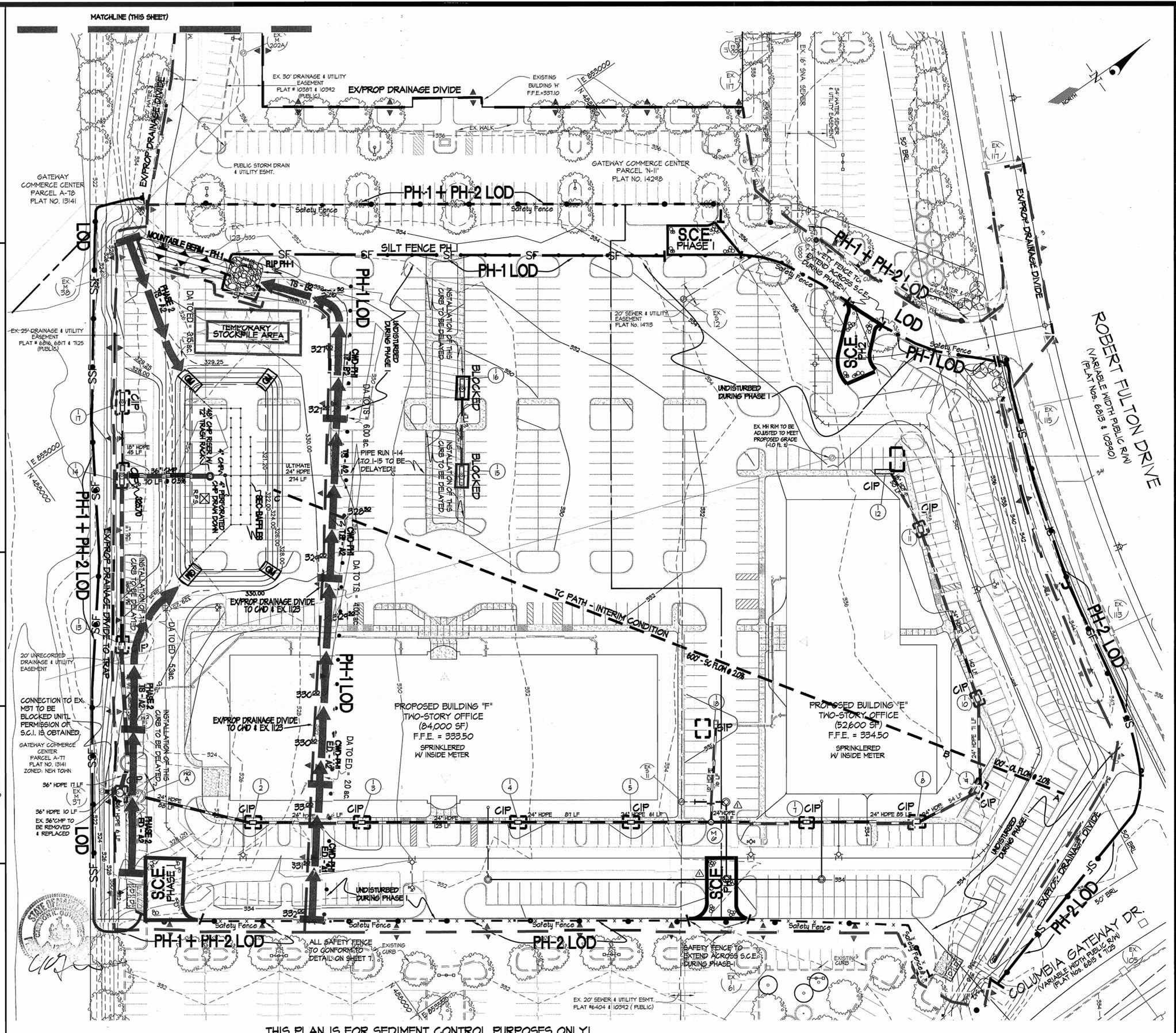
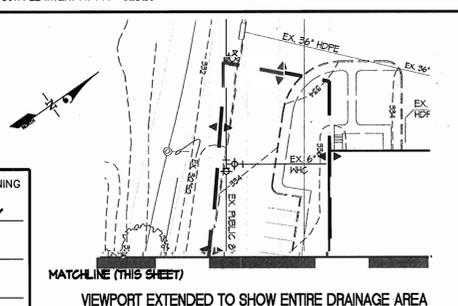
*[Signature]* 11/8/04  
DATE

SEDIMENT BASIN DATA	
PIPE OUTLET SEDIMENT BASIN	
EX DRAINAGE AREA: 11.06 AC	PROP. DRAINAGE AREA: 11.06 AC
NET STORAGE VOL. REQUIRED: 0.46 AC-FT	NET STORAGE VOL. PROVIDED: 0.81 AC-FT
NET STORAGE ELEV.: 324	
DRY STORAGE REQUIRED: 0.46 AC-FT	DRY STORAGE PROVIDED: 0.59 AC-FT
DRY STORAGE INVERT: 326	
PROVIDED BY OFFSITE REGIONAL FACILITY	
SAFE PASS OF 10-YR STORM PROVIDED	
Q10 = 42.25 cfs	
10-YR WEEL = 321.24 ft	
BOTTOM ELEVATION: 321.20	
TOP OF EMBANKMENT: 324.25	
OUTFALL: 10 LF 36" CMP @ 0.5%	
OUTFALL TO PROPOSED STORM DRAIN (I-14)	
OUTFALL INVERT AT RISER = 322.20	
OUTFALL INVERT AT I-14 = 320.25	
DEMATERING DEVICE = 4" PERFORATED CMP	
DEMATERING OUTFALL = 10 LF @ 2" CMP @ 10%	
DEMATERING INVERT AT 4" RISER = 322.00	
DEMATERING INVERT FIRST PERFORATION = 324.00	
DEMATERING INVERT FIRST PERFORATION = 324.00	
DEMATERING PERFORATION CONFIGURATION:	
WITH 1" HOLES @ 2" C-O-C	
6 HOLES PER CIRCUMFERENTIAL ROW	
12 HOLES RUNNING VERTICALLY	
12 HOLES TOTAL	
EMERGENCY SPILLWAY ELEV. NONE	
CLEANOUT ELEVATION: 322.50	
EMBANKMENT TOP WIDTH: 8' MIN	
SIDE SLOPES: 2:1	

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

*[Signature]* 11/8/04  
SIGNATURE OF DEVELOPER/BUILDER DATE



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*[Signature]* 11/16/04  
Director

*[Signature]* 11/16/04  
Chief, Division of Land Development

*[Signature]* 11/22/04  
Chief, Development Engineering Division MK

DATE	REVISION	BY	APP'R.
11/22/04	Rev. Sewer Main		

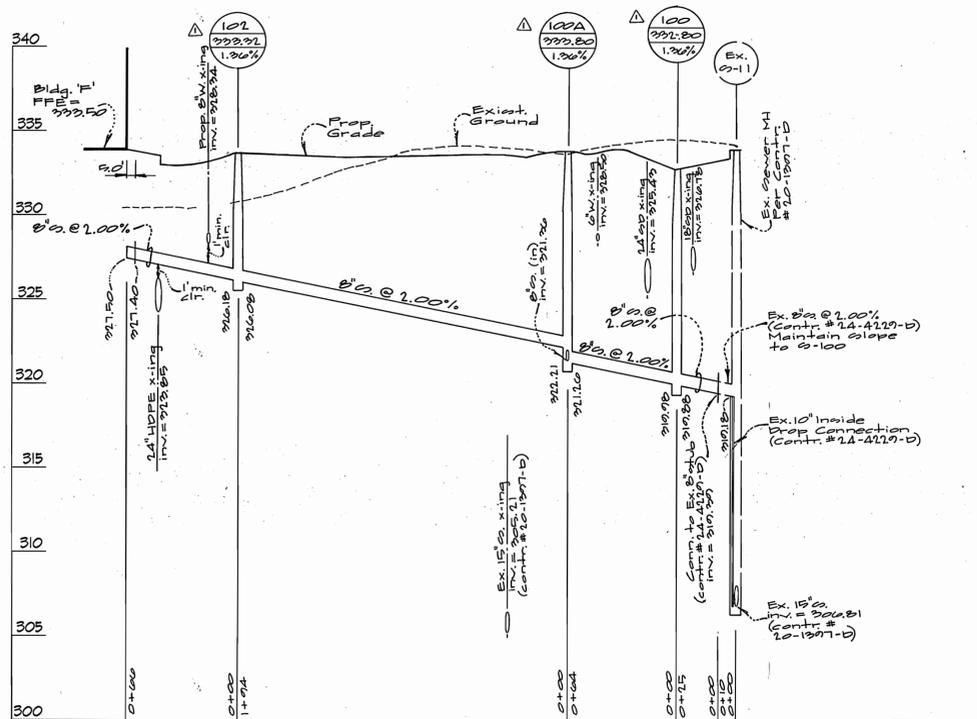
THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY!

PREPARED FOR:  
GATEWAY 70 LLC  
7061 Columbia Gateway Drive  
COLUMBIA, MARYLAND 21046  
PH.: 410-290-1400 ext. 1461  
ATTN: MR. R. Colfax Schnorf Jr.

SEDIMENT CONTROL PLAN		
COLUMBIA GATEWAY PARCEL N-10 PLAT NO. 14298/17095		
SCALE	ZONING	G. L. W. FILE NO.
1" = 40'	M-1	04031
DATE	TAX MAP - GRID	SHEET
NOV., 2004	42 - 12	6 OF 10

HOWARD COUNTY, MARYLAND

ELECTION DISTRICT No. 6

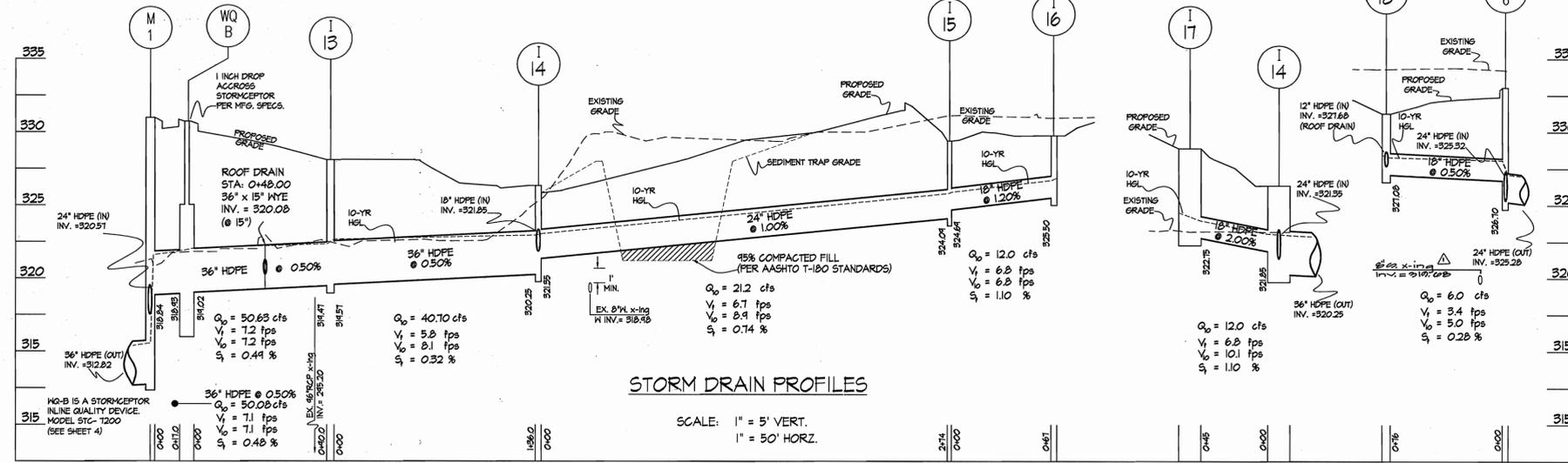


**PRIVATE SEWER PROFILES**  
 SCALE: 1" = 5' VERT.  
 1" = 50' HORIZ.

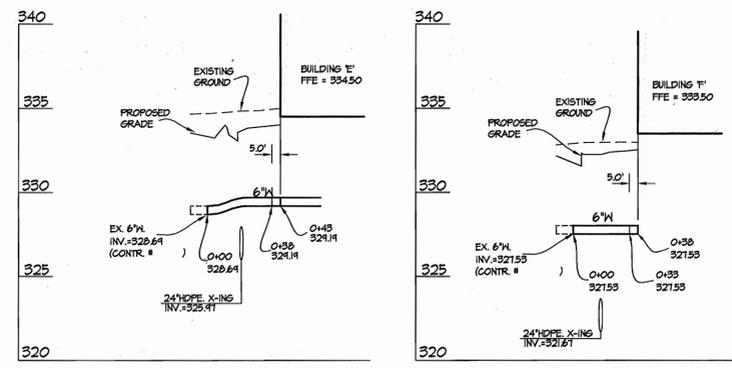
S.D. STRUCTURE SCHEDULE								
NO.	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STANDARD DETAIL	LOCATIONS & REMARKS
			UPPER	LOWER	UPPER	LOWER		
M-1	5' PRECAST MH	5'	---	331.53	318.84	312.82	HC-G-51B	see plan
I-2	A-5 SUMP INLET	2.5'	---	332.24	321.84	321.74	HC-SD-4.40	see plan
I-3	A-5 SUMP INLET	2.5'	---	331.72	322.86	322.76	HC-SD-4.40	see plan
I-4	A-5 SUMP INLET	2.5'	---	332.16	324.01	323.91	HC-SD-4.40	see plan
I-5	A-5 SUMP INLET	2.5'	---	332.14	324.81	324.71	HC-SD-4.40	see plan
M-6	4' PRECAST MH	4'	---	333.00	326.68	325.28	HC-G-512	see plan
I-7	A-5 SUMP INLET	2.5'	---	332.84	325.84	325.74	HC-SD-4.40	see plan
I-8	A-5 SUMP INLET	3.5'	---	332.96	326.36	326.26	HC-SD-4.40	see plan
I-9	A-5 SUMP INLET	3.5'	---	333.03	326.13	326.63	HC-SD-4.40	see plan
I-10	A-5 SUMP INLET	3.5'	---	332.78	327.18	327.08	HC-SD-4.40	see plan
I-11	A-5 SUMP INLET	3.5'	---	332.44	328.44	327.84	HC-SD-4.40	see plan
I-12	A-10 INLET	2.5'	---	333.10	terminal	324.10	HC-SD-4.41	18" HDPE CONNECTION TO REAR OFFSET TO FAR RIGHT (REAR PERSPECTIVE)
I-13	A-5 SUMP INLET	4'	---	324.00	314.51	314.41	HC-SD-4.40	see plan
I-14	COS-15 INLET	5'	---	326.20	321.35	320.25	MDSHA-314.62	see plan
I-15	COS-15 INLET	4'	---	326.61	324.64	324.04	MDSHA-314.62	see plan
I-16	COS-15 INLET	4'	---	324.50	terminal	325.50	MDSHA-314.62	see plan
I-17	COS-15 INLET	4'	---	327.32	terminal	322.75	MDSHA-314.62	see plan
I-18	DOUBLE S INLET	2.62'	---	331.20	terminal	327.08	HC-SD-4.43	see plan

S.D. Pipe Summary Table			
Size (in)	Type	Quantity (LF)	Remarks
18	HDPE	238	ADS N12 or equiv.
24	HDPE	1150	ADS N12 or equiv.
36	HDPE	253	ADS N12 or equiv.

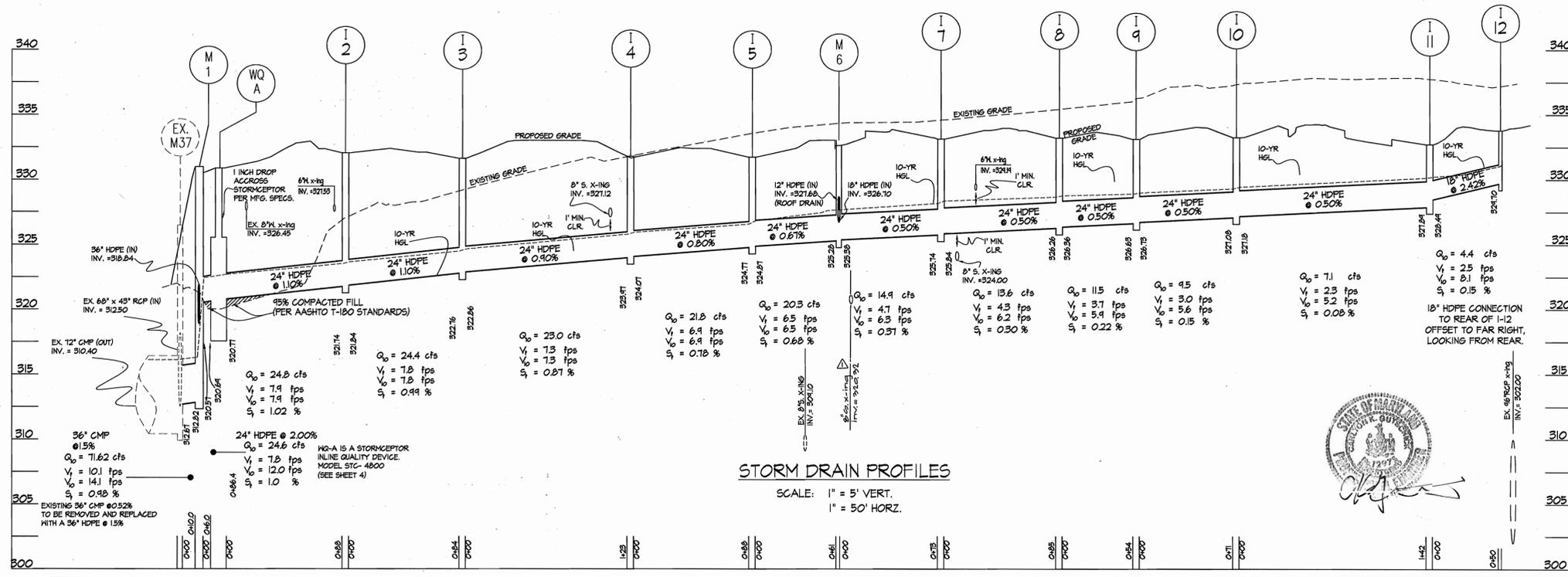
- S.D. NOTES**
- SEE SHEET 3 FOR ROOF DRAIN MANIFOLD LAYOUT. ROOF DRAIN PIPES AND STRUCTURES NOT ACCOUNTED FOR IN SCHEDULES ON THIS SHEET.
  - ALL STRUCTURES TO BE PRECAST.
  - WATER QUALITY FACILITIES WQ-A & WQ-B ARE NOT ACCOUNTED FOR IN THE STORM DRAIN STRUCTURE SCHEDULE. SEE SHEET 4 FOR DETAILS REGARDING THESE STRUCTURES.
  - PROVIDE WATER TIGHT JOINT AT ALL PIPE AND STRUCTURE CONNECTIONS.
  - ALL STORM DRAIN PIPE, STRUCTURES AND WATER QUALITY DEVICES ARE TO BE FLUSHED AND PUMPED CLEAN PRIOR TO REMOVAL OF ALL SEDIMENT CONTROLS.
  - STRUCTURE I-12 TO HAVE CONNECTION FOR 18" HDPE OFFSET TO RIGHT SIDE OF INLET. RIGHT SIDE TAKEN FROM REAR PERSPECTIVE. PRECAST MANUFACTURER TO PROVIDE POSITIVE DRAINAGE TOWARD 18" INVERT OUT.



**STORM DRAIN PROFILES**  
 SCALE: 1" = 5' VERT.  
 1" = 50' HORIZ.



**PRIVATE WATER PROFILES**  
 SCALE: 1" = 5' VERT.  
 1" = 50' HORIZ.



**STORM DRAIN PROFILES**  
 SCALE: 1" = 5' VERT.  
 1" = 50' HORIZ.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 12/31/04

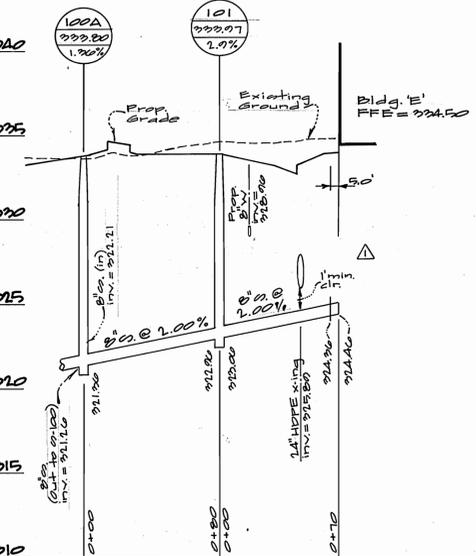
Chief, Division of Land Development: *[Signature]* Date: 12/31/04

Chief, Development Engineering Division: *[Signature]* Date: 1/2/05

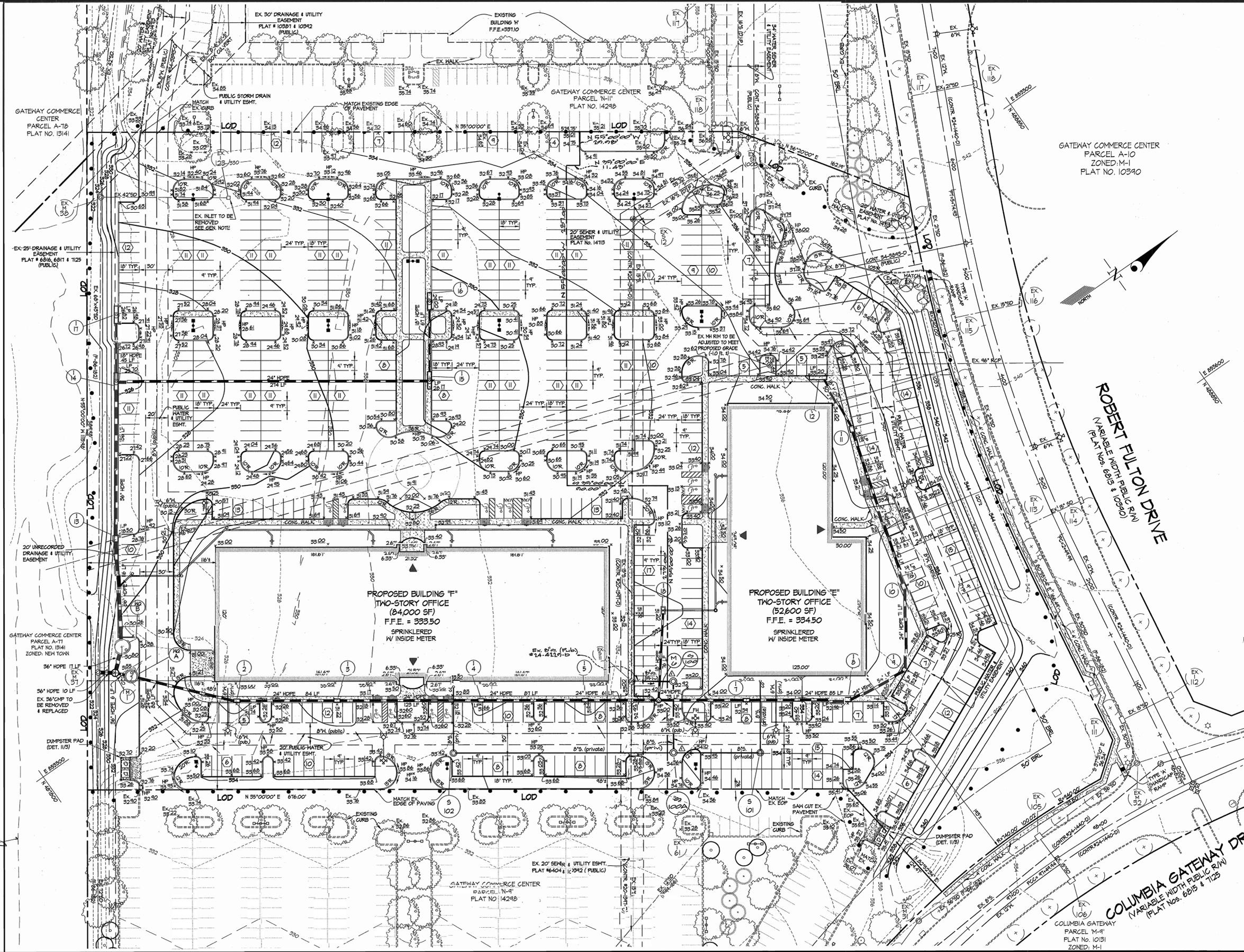


<b>GLWGUTSCHICK LITTLE &amp; WEBER, P.A.</b> CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK BURTONSVILLE, MARYLAND 20866 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186	PREPARED FOR: GATEWAY 70 LLC 7061 Columbia Gateway Drive COLUMBIA, MARYLAND 21046 PH: 410-290-1400 ext. 11461 ATTN: MR. R. Colfax Schnorf Jr.	<b>UTILITY PROFILES</b> <b>COLUMBIA GATEWAY</b> <b>PARCEL N-10</b> <b>PLAT NO. 14298, 17195</b>	SCALE: AS SHOWN ZONING: M-1 DATE: NOV., 2004 TAX MAP - GRID: 42 - 12 SHEET: 5 OF 10
	ELECTION DISTRICT No. 6 HOWARD COUNTY, MARYLAND	G. L. W. FILE NO. 04031	SHEET 5 OF 10

NOTES:  
 1. FOR HANDICAP PARKING/ACCESS DETAILS SEE SHEET 3 & 4.  
 2. STORM DRAIN STRUCTURES HQ-A AND HQ-B ARE STORM CEPTOR WATER QUALITY STRUCTURES. SEE SHEET 4 FOR DETAILS.



Private Sewer Profiles  
 scales: 1" = 5' vert.  
 1" = 50' horiz.  
 Note: For other Sewer Profiles see sheet 5.



*OK*  
 [Signature]

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*Howell d. Levell* 12/3/04  
 Director Date  
*Cindy Hamble* 12/3/04  
 Chief, Division of Land Development Date  
*Michael J. ...* 11/22/04  
 Chief, Development Engineering Division MK Date

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-389-2524 FAX: 301-421-4186

PREPARED FOR:  
 GATEWAY 70 LLC  
 7061 Columbia Gateway Drive  
 COLUMBIA, MARYLAND 21046  
 PH.: 410-290-1400 ext. 1461  
 ATTN: MR. R. Colfax Schnorf Jr.

**SITE DEVELOPMENT PLAN**  
**COLUMBIA GATEWAY**  
**PARCEL N-10**  
**PLAT NO. 14298, 17095**

SCALE	ZONING	G. L. W. FILE No.
1" = 40'	M-1	04031
DATE	TAX MAP - GRID	SHEET
NOV., 2004	42 - 12	2 OF 10

Drawings\04031\sdp's\04031sp2.dwg DES. B.M DRN. KLP CHK. MBT

DATE	REVISION	BY	APP'R.
12/2/05	Rev. sewer & add sewer profile		

ELECTION DISTRICT No. 6

HOWARD COUNTY, MARYLAND

GENERAL NOTES

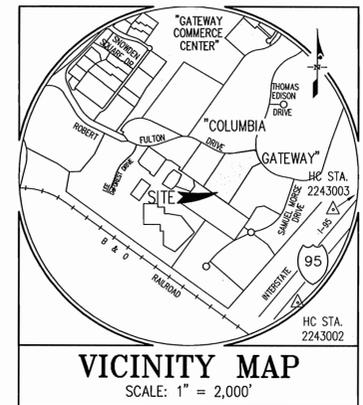
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARD AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF INSPECTION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, BUREAU OF UTILITIES AT (410) 313-4400 AT LEAST FIVE WORKING DAYS PRIOR TO STARTING ANY EXCAVATION WORK.
- AREA OF SITE: 11.03 AC. DISTURBED AREA: 10.64 AC.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING TOPOGRAPHY WAS DETERMINED BY APPROVED FINAL CONSTRUCTION PLANS FOR DEVELOPMENT. EXISTING UTILITY INFORMATION IS BASED UPON CONSTRUCTION PLANS AND AS-BUILT PLANS PREPARED BY FISHER, COLLINS AND CARTER INC. ON MARCH OF 1992.
- COORDINATES AND BEARINGS ARE BASED UPON THE MD STATE PLANE SYSTEM (NAD '83).
- WATER AND SEWER SHOWN IS PUBLIC.
- ALL EXISTING WATER AND SEWER IS SHOWN PER CONT. NOS. 24-1440-D, 24-1587-D, 20-1397-D, 24-3893-D.
- STORMWATER MANAGEMENT QUANTITY CONTROL IS PROVIDED OFFSITE AT REGIONAL FACILITIES. QUALITY CONTROL IS PROVIDED BY TWO IN-LINE STORMWATER QUALITY STRUCTURES. (M3-A & M3-B) THESE STRUCTURES ARE TO BE PRIVATELY OWNED AND MAINTAINED.
- ALL EXISTING PUBLIC STORM DRAIN IS PER F-99-166, F-00-144 & F-06-128.
- ALL CURB RADII ARE 5' UNLESS NOTED OTHERWISE.
- UTILITY INFORMATION TAKEN FROM APPROVED FINAL CONSTRUCTION PLANS FOR DEVELOPMENT.
- SIDEWALKS ADJACENT TO PERPENDICULAR PARKING SHALL BE 6' WIDE. ALL OTHER SIDEWALKS SHALL BE 5' WIDE, EXCEPT WHERE DIMENSIONED OTHERWISE. PROVIDE 3' RADIUS ROUNDING AT ALL ANGLE BREAKS AND INTERSECTIONS.
- CONTRACTOR SHALL UTILIZE PVC PIPE FOR ALL SEWER HOUSE CONNECTIONS. CONTRACTOR SHALL UTILIZE D.I.P. (CL. 5) FOR 4" AND 6" WATER HOUSE CONNECTIONS AND D.I.P. (CL. 50) FOR 8" WATER HOUSE CONNECTIONS.
- CONTRACTOR TO FIELD LOCATE ALL EXISTING UTILITY CONNECTIONS. SHOULD SUBSTANTIAL DISCREPANCIES ARISE, THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER BEFORE MAKING ADJUSTMENTS.
- USE TRENCH BEDDING CLASS "C" FOR STORM DRAINS.
- PAVED AREAS INDICATED ARE PRIVATE EXCEPT AS NOTED.
- RECORDING REFERENCE: PLAT NO. 14298 (PARCEL N-10) & PLAT NO. 17095
- ALL PROPOSED RAMPS SHALL BE IN ACCORDANCE WITH CURRENT A.D.A. STANDARDS. MAXIMUM SIDEWALK CROSS SLOPE SHALL BE TWO PERCENT. PROVIDE A FIVE-FOOT LEVEL (2 PERCENT MAX) LANDING AT THE TOP AND BOTTOM OF ALL RAMPS AND BUILDING ENTRANCES AND EXITS.
- ALL WATER METERS SHALL BE LOCATED INSIDE BUILDINGS.
- THE PROPOSED WATER AND SEWER HOUSE CONNECTION ALIGNMENTS INDICATED ON THE PLANS, FROM THE EXISTING UTILITIES TO THE BUILDING, ARE TO BE CONSTRUCTED BY THE BUILDING PLUMBER AND ARE APPROXIMATE. THE PROPOSED STUBS ARE LOCATED 5' FROM THE BUILDING FACE.
- ALL THE PROPOSED STORM DRAIN HAS BEEN CONSERVATIVELY SIZED TO ACCOMMODATE ROOF DRAIN LEADER TIE IN AT ANY POINT IN THE SYSTEM. THE BUILDING-STORM DRAIN CONNECTIONS ARE TO BE CONSTRUCTED BY THE BUILDING PLUMBER.
- MAINTAIN 2% CROSS-SLOPES ON SIDEWALKS, PER STANDARD DETAILS, WHERE SIDEWALK IS ADJACENT TO BUILDING, SLOPE AWAY FROM BUILDING, AND UTILIZE EXPANSION JOINT MATERIAL AND SEALER IN THE JOINT BETWEEN THE SIDEWALK AND THE BUILDING WALL.
- SUFFICIENT SIGHT DISTANCE PER THE HOWARD COUNTY DESIGN MANUAL MUST BE PROVIDED AT ALL ACCESS POINTS. ANY LANDSCAPING THAT OBSTRUCTS THE LINE OF SIGHT MUST BE RELOCATED.
- A TRAFFIC STUDY AND A.P.F.O. ANALYSIS, WHICH INCLUDED THIS PARCEL, WERE PERFORMED UNDER F-99-156. THE UPDATED AFFO MEMORANDUM DATED JULY 26, 2004 IS APPROVED.
- THERE IS NO FLOODPLAIN ON THIS SITE.
- THERE ARE NO WETLANDS, STREAMS, OR STEEP SLOPES ON THIS SITE.
- THIS PARCEL DOES NOT APPEAR ON THE COUNTY'S CEMETERY INVENTORY AS HAVING CEMETERIES OR BURIAL GROUNDS. ALSO, THERE IS NO PHYSICAL EVIDENCE OF EITHER CEMETERIES OR BURIAL GROUNDS BEING PRESENT ON THE SITE.
- COORDINATES AND BEARINGS ARE BASED UPON THE '83 MD STATE COORDINATE SYSTEM (NAD '83) AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NOS. 2243002, 2243003.
- ALL EXTERIOR LIGHTING SHALL CONFORM TO SECTION 134 OF THE ZONING REGULATIONS. (SEE DETAIL SHEET-3)
- THIS SITE IS EXEMPT FROM THE FOREST CONSERVATION ORDINANCE IN ACCORDANCE WITH SECTION 16.1202 (b)(1)(v) A PLANNED OFFICE PARK GREATER THAN 15 ACRES.
- THE SUBJECT PROPERTY IS ZONED M-1 PER THE LATEST COMPREHENSIVE ZONING PLAN DATED 02/02/2004.
- THIS SDP HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL, CHAPTER VI (ALTERNATIVE COMPLIANCE).
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT AS NOTED ON SHEET #10.

Δ 28 Parcel N-10 has been changed from N-10 to N-14 & N-15 Per F-05-180c.

# SITE DEVELOPMENT PLAN

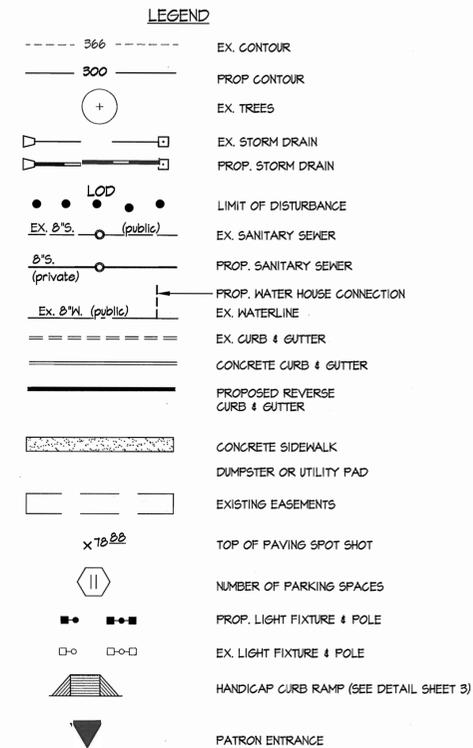
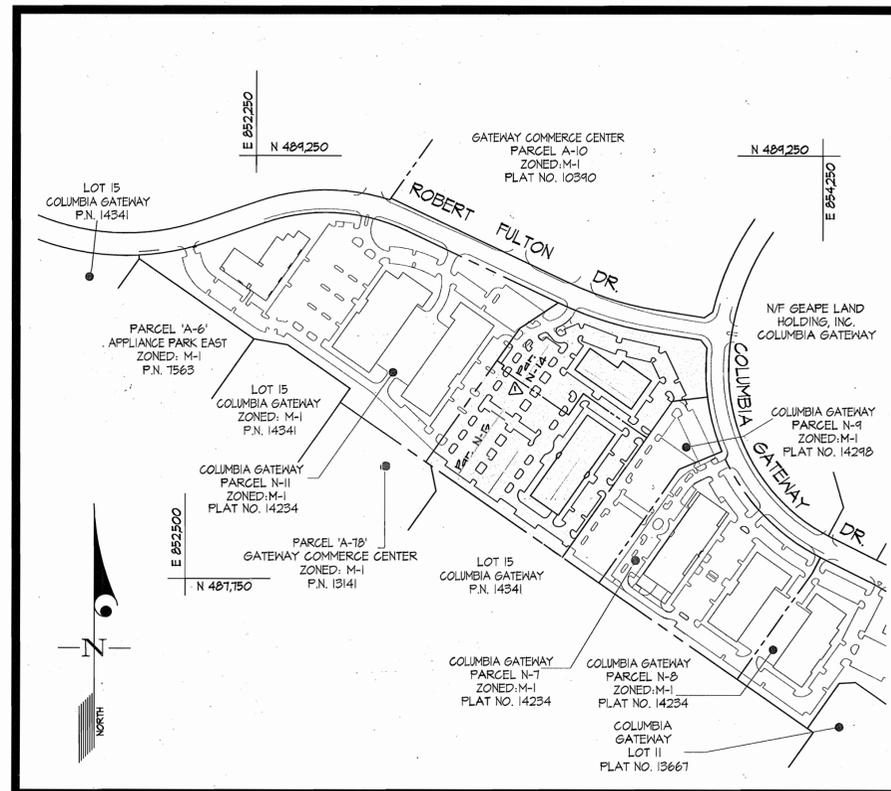
## COLUMBIA GATEWAY

### PARCEL N-10



**VICINITY MAP**  
SCALE: 1" = 2,000'

BENCHMARKS  
2243002  
STANDARD DISC ON CONCRETE MONUMENT  
2243003  
STANDARD DISC ON CONCRETE MONUMENT



**SITE ANALYSIS DATA CHART**

- GROSS AREA PARCEL N-10: 480,249 SF OR 11.03 AC.
- LIMIT OF DISTURBED AREA = 463,431 SF OR 10.64 AC.
- PRESENT ZONING = M-1
- PROPOSED USE: RESEARCH AND DEVELOPMENT/LIGHT WAREHOUSE
- GROSS FLOOR AREA: BUILDING E = 52,600 SF  
BUILDING F = 84,000 SF  
TOTAL = 136,600 SF
- NO. OF PARKING SPACES REQUIRED: 451 SPACES (BASED ON GENERAL OFFICE USE @ 3.3 SPACES/1000 SF)
- NO. OF PARKING SPACES PROVIDED: 661 SPACES (INCL. ACCESSIBLE SPACES).
- NO. OF HANDICAP SPACES REQUIRED: 14 SPACES (4 VAN SPACES).
- NO. OF HANDICAP SPACES PROVIDED: 16 SPACES (4 VAN SPACES).
- BUILDING PERCENT COVERAGE = Building Coverage/Gross Parcel Area = 136,600/480,249 = 28.4%
- PROJECT BACKGROUND: SEE DEPT. OF PLANNING & ZONING FILE NUMBERS: F-85-55, F-85-63, F-86-17, F-86-63, F-86-182, F-87-46, F-88-41, F-90-15, F-91-16, F-92-15, F-94-156, F-99-166, F-00-11, WP 99-138, F-00-148, F-06-22, 5-84-44, F-00-160, F-00-144.

BUILDING 'E'	BUILDING 'F'
2 STORY OFFICE BUILDING	2 STORY OFFICE BUILDING
GROSS FLOOR AREA = 52,600 S.F.	GROSS FLOOR AREA = 84,000 S.F.
USE: R4D/LIGHT WAREHOUSE	USE: R4D/LIGHT WAREHOUSE
PARKING RATE: 3.3 SPACES/1000 S.F.	PARKING RATE: 3.3 SPACES/1000 S.F.
PARKING REQUIRED = 174 SPACES	PARKING REQUIRED = 271 SPACES

**KEY MAP**

SCALE: 1" = 300'

NOTE: THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION SHALL BE NOTIFIED WHEN THE SITE HAS BEEN COMPLETED SO THAT AN INSPECTION CAN BE PERFORMED BY THE ARCHITECTURAL CONTROL COMMITTEE. A CERTIFICATE OF COMPLIANCE WILL BE ISSUED BY THE COMMITTEE UPON SATISFACTORY COMPLETION OF THE SITE WORK.

**SHEET INDEX**

- COVER SHEET
- SITE DEVELOPMENT PLAN
- SITE & HANDICAP ACCESSIBILITY DETAILS
- SITE & HANDICAP ACCESSIBILITY DETAILS/PAVING PLAN
- STORM DRAIN/UTILITY PROFILES
- SEDIMENT CONTROL PLAN
- SEDIMENT CONTROL NOTES & DETAILS
- DRAINAGE AREA MAP
- LANDSCAPE PLAN
- LANDSCAPE NOTES, DETAILS & SCHEDULES

**ADDRESS CHART**

BUILDING NUMBER	STREET ADDRESS
E	8601 ROBERT FULTON DRIVE
F	8621 ROBERT FULTON DRIVE

WATER CODE:	SEWER CODE:	SECTION/AREA	PARCELS		
E06	4400000	N/A	P/O P 671		
PLAT No.	ZONE	TAX MAP	BLOCK	ELEC. DIST.	CENSUS TRACT
14298 17095	M-1	42	12	6	6061.03

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Frank deLoyle* 12/13/04  
Director Date

*Carole Hammit* 12/16/04  
Chief, Division of Land Development Date

*Mark* 11/22/04  
Chief, Development Engineering Division Date

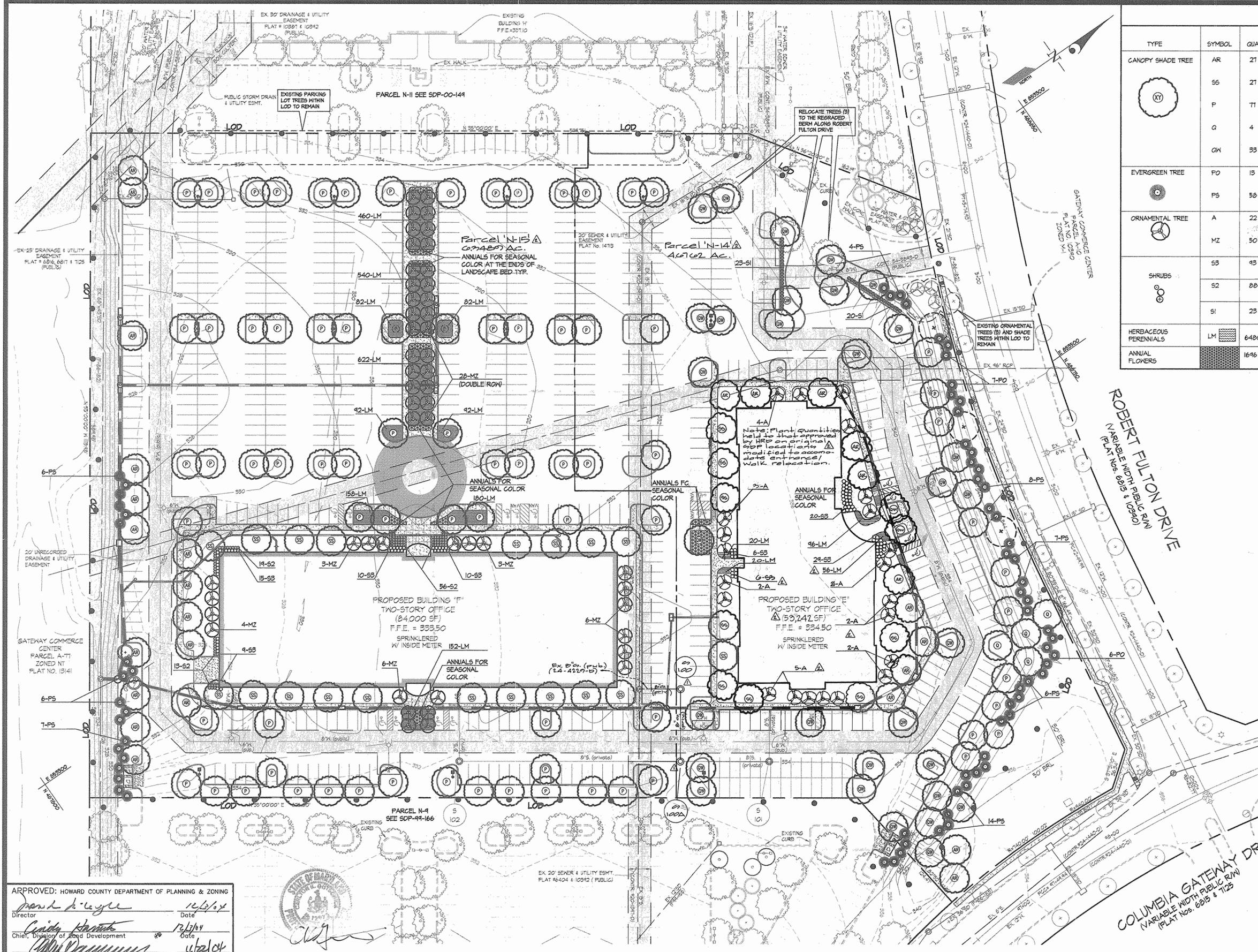


**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20886  
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR:  
GATEWAY 70 LLC  
7061 Columbia Gateway Drive  
COLUMBIA, MARYLAND 21046  
PH: 410-290-1400 ext. 1461  
ATTN: MR. R. Colfax Schnorr Jr.

**COVER SHEET**  
**COLUMBIA GATEWAY**  
**PARCEL N-10**  
PLAT NO. 14298, 17095

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	M-1	04031
DATE	TAX MAP - GRID	SHEET
NOV, 2004	42 - 12	1 OF 10



PLANT SCHEDULE					
TYPE	SYMBOL	QUANT.	NAME (BOTANICAL/COMMON)	SIZE	COMMENTS
CANOPY SHADE TREE	AR	27	ACER RUBRUM 'RED SUNSET' / RED SUNSET RED MAPLE	25"-3.0" CAL.	B4B
	SS	27	ACER RUBRUM 'SCARLET SENTINEL' / SCARLET SENTINEL RED MAPLE	25"-3.0" CAL.	B4B
	F	71	PLATANUS x ACERIFOLIA 'BLOODGOOD' / BLOODGOOD LONDON PLANETREE	25"-3.0" CAL.	B4B
	Q	4	QUERCUS PALUSTRIS / PIN OAK	25"-3.0" CAL.	B4B
	OM	33	QUERCUS PHELLOS / WILLOW OAK	25"-3.0" CAL.	B4B
EVERGREEN TREE	PO	13	PICEA OMORICA / SERBIAN SPRUCE	10' HT. MIN.	B4B, WITH INTACT CENTRAL LEADER
	PS	50	PINUS STROBUS / EASTERN WHITE PINE	10' HT. MIN.	B4B, WITH INTACT CENTRAL LEADER
ORNAMENTAL TREE	A	22	AMELANCHIER ARBOREA 'AUTUMN SUNSET' / AUTUMN SUNSET SERVICEBERRY	25" CAL. MIN.	B4B, TREE FORM
	MZ	50	MALUS 'ZUMI' / ZUMI CRABAPPLE	25" CAL. MIN.	B4B
SHRUBS	S3	43	ILEX CRENATA 'HELLERI' / HELLERI HOLLY	30" SFR. MIN.	CONTAINERIZED
	S2	80	COTONEASTER HORIZONTALIS 'TOM THUMB' / TOM THUMB COTONEASTER	24" SFR. MIN.	CONTAINERIZED
	S1	23	EUONYMUS ALATUS 'COMPACTA' / DWARF WINGED EUONYMUS	30" SFR. MIN.	CONTAINERIZED
HERBACEOUS PERENNIALS	LM	6480 S.F.	LIRIOPE MASCARI / GREEN LIRIOPE	2632 1-GAL @ 18" O.C.	OPTIONAL IN LIEU OF LAWN
ANNUAL FLOWERS		1696 S.F.	FOR SUMMER PLANTING: PETUNIAS, MARIGOLDS AND SALVIAS FOR FALL PLANTING: FANSIES		

LEGEND	
	LIMIT OF DISTURBANCE (LOD)
	UTILITY EASEMENTS (SHADED AREA). PERMANENT PLANTING IS NOT PERMITTED IN THIS AREA
	NEW LOCATION OF 3 EXISTING SHADE TREES TO BE RELOCATED.
	SHADE TREE PER SDP-00-149 AND SDP-91-166

**NOTES:**

- ALL EXISTING TREES WITHIN THE L.O.D. NOTED TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. IF THESE TREES ARE DAMAGED, THEY SHALL BE REPLACED WITH THE SAME TYPE & SIZE.
- ALL EXISTING TREES WITHIN THE L.O.D. NOTED TO BE RELOCATED SHALL BE PROTECTED UNTIL THEY CAN BE MOVED TO THEIR NEW LOCATION ON THE REGRADED BERM.
- SEE SHEET 10 FOR ADDITIONAL LANDSCAPE NOTES, SPECIFICATIONS AND DETAILS.

**DEVELOPER'S/BUILDER'S CERTIFICATE**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: R. Taylor DATE: 11-8-04

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: [Signature] Date: 12/1/04

Chief, Division of Land Development: [Signature] Date: 12/1/04

Chief, Development Engineering Division: [Signature] Date: 11/22/04

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
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 BURTONSVILLE, MARYLAND 20886  
 TEL: 301-421-4024 FAX: 410-380-1820 DC/VA: 301-989-2324 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
6/21/05	Rev Title to Reflect Approved Naming Adjust. Landscaping to support Bldg. Mod.	WJL	
6/21/05	Revise Sewer Main		

PREPARED FOR:  
 GATEWAY 70 LLC  
 7061 Columbia Gateway Drive  
 COLUMBIA, MARYLAND 21046  
 PH.: 410-290-1400 ext. 1461  
 ATTN.: MR. R. Colfax Schnorf Jr.

**LANDSCAPE PLAN**  
**COLUMBIA GATEWAY**  
**PARCELS 'N-14' & 'N-15'**  
 PLAT NO. 14298 / 17095

SCALE: 1"=40'  
 ZONING: M-1  
 G. L. W. FILE No. 04031

DATE: NOV., 2004  
 TAX MAP - GRID: 42 - 12  
 SHEET: 9 OF 10

ELECTION DISTRICT No. 6  
 HOWARD COUNTY, MARYLAND

THIS PLAN IS FOR PLANTING PURPOSES ONLY!

NOTE: THIS SITE HAS BEEN MASS GRADED AND ALL SOILS ARE ASSUMED TO BE HYDROLOGIC GROUP C.

DRAINAGE AREAS			
AREA No.	D.A. (ACRES)	% IMP.	C
1-2	0.10	85%	0.85
1-3	0.21	85%	0.85
1-4	0.22	85%	0.85
1-5	0.24	85%	0.85
1-7	0.22	85%	0.85
1-8	0.31	85%	0.85
1-4	0.31	85%	0.85
1-10	0.36	85%	0.85
1-11	0.39	85%	0.85
1-12	0.61	85%	0.85
1-13	0.46	85%	0.85
1-14	1.22	85%	0.85
1-15	1.52	85%	0.85
1-16	1.66	85%	0.85
1-17	1.66	85%	0.85
1-18	0.36	85%	0.85
RD-F	0.62	95%	0.95
RD-E	0.86	95%	0.95

TOTAL AREA ENTERING SYSTEM = 11.06 AC.

**WATER QUALITY TABULATION**

WQ-A	
TOTAL AREA TREATED = 3.78 acres	
% RUNOFF TREATED = 18.5 %	
% TSS REMOVAL = 71.2 %	
DEVICE: STORMCEPTOR MODEL szc 4800	
10-YR PEAK DISCHARGE TO STRUCTURE = 24.6 cfs	

WQ-B	
TOTAL AREA TREATED = 7.26 acres	
% RUNOFF TREATED = 15.6 %	
% TSS REMOVAL = 14.5 %	
DEVICE: STORMCEPTOR MODEL szc 1200	
10-YR PEAK DISCHARGE TO STRUCTURE = 50.08 cfs	

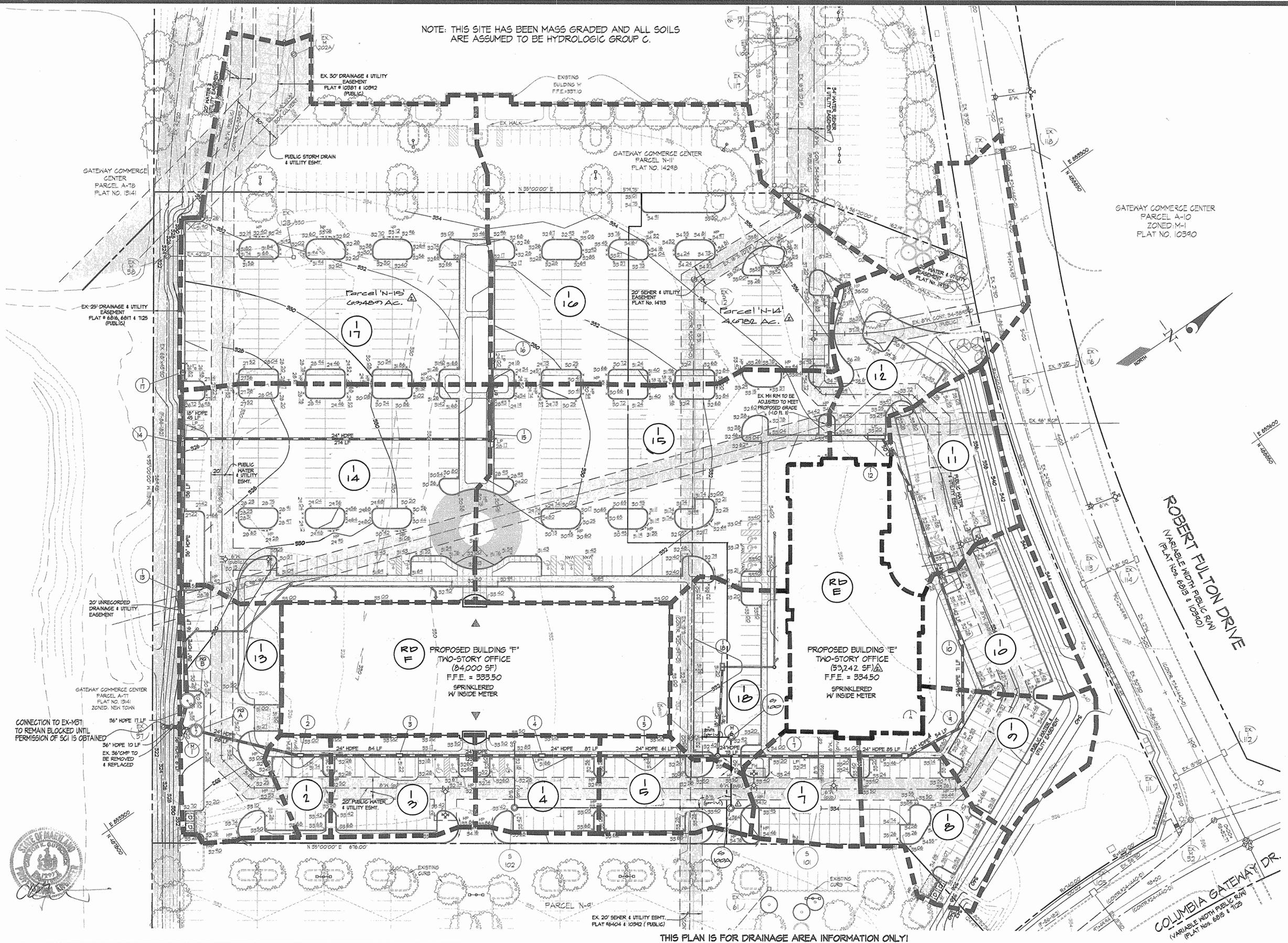
NOTES:  
 1. THIS SITE HAS BEEN MASS GRADED AND ALL SOILS HAVE BEEN ASSUMED TO BE SC5 HYDROLOGIC GROUP C.  
 2. & 3. INTERIORS FOR ALL DRAINAGE AREA EXCEPT ROOFTOPS ARE CONSERVATIVELY APPROXIMATED AT 85%.

**LEGEND**

--- 600 ---	EXISTING CONTOUR
--- 600 ---	PROPOSED CONTOUR
---	PROPOSED DRAINAGE DIVIDE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*David A. Coyle* Director Date: 11/17/04  
*Cindy Harvath* Chief, Division of Land Development Date: 11/17/04  
*Michael J. Williams* Chief, Development Engineering Division MK Date: 11/22/04



THIS PLAN IS FOR DRAINAGE AREA INFORMATION ONLY!

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
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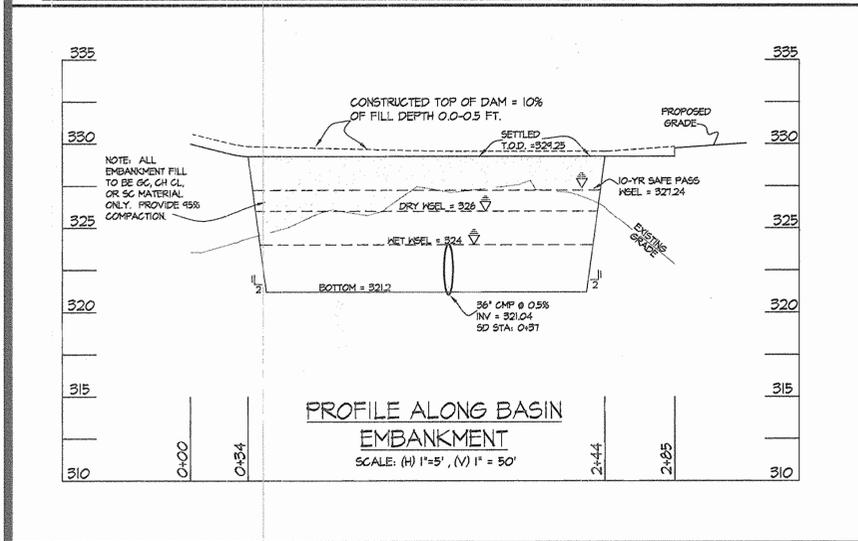
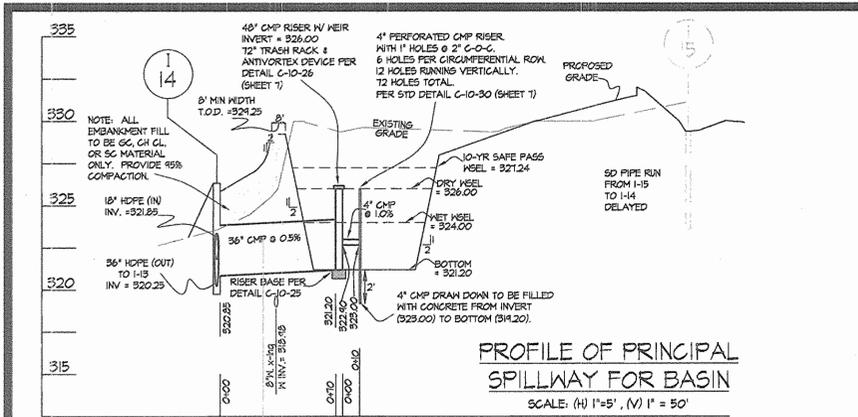
DATE	REVISION	BY	APPR.
11/17/04	Modified Bldg E to Final Design Updated Title		
11/22/04	Rev. Sewer Main and make D.A. tanks suitable		

PREPARED FOR:  
 GATEWAY 70 LLC  
 7061 Columbia Gateway Drive  
 COLUMBIA, MARYLAND 21046  
 PH: 410-290-1400 ext. 1461  
 ATTN: MR. R. Colfax Schnorf Jr.

**STORM DRAIN DRAINAGE AREA MAP**  
**COLUMBIA GATEWAY**  
 PARCELS 'N-14' & 'N-15'  
 PLAT NO. 14298, 17095

SCALE	ZONING	G. L. W. FILE NO.
1"=40'	M-1	04031
DATE	TAX MAP - GRID	SHEET
NOV., 2004	42 - 12	8 OF 10

L:\CADD\DRAWINGS\04031\sdp\04031SP2.dwg 05/12/2004 09:01:26 AM EDT



THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Howard S.C.D.*  
DATE: 11/16/04

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

*Jim Myers*  
NATURAL RESOURCES CONSERVATION SERVICE DATE: 11/16/04

**LEGEND**

Proposed Spot Elevation	EM	GABION MATTRESS INFLOW PROTECTION
Existing Contour	---	Existing Earth Dike
Proposed Contour This Phase	---	Standard Inlet Protection
Proposed Safety Fence	X-X-X	Curb Inlet Protection
Proposed Silt Fence	---	Stabilized Construction Entrance
Proposed Super Silt Fence	---	
Limit of Disturbance	LOD	
Drainage Divide	---	

**ENGINEER'S CERTIFICATE**

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*CKJ*  
DATE: 11/18/04

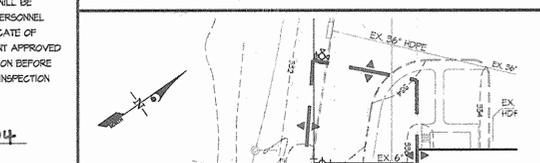
**SEDIMENT BASIN DATA**

<p>PIPE OUTLET SEDIMENT BASIN</p> <p>EX DRAINAGE AREA: 11.06 AC PROP. DRAINAGE AREA: 11.06 AC</p> <p>NET STORAGE VOL. REQUIRED: 0.46 AC-FT NET STORAGE VOL. PROVIDED: 0.61 AC-FT</p> <p>NET STORAGE ELEV.: 324 DRY STORAGE REQUIRED: 0.46 AC-FT DRY STORAGE PROVIDED: 0.59 AC-FT</p> <p>DRY STORAGE HEEL: 326 (PROVIDED BY OFFSITE REGIONAL FACILITY)</p> <p>SAFE PASS OF 10-YR STORM PROVIDED 310 = 42.59 @ 10-YR HEEL = 321.24 ft.</p> <p>BOTTOM ELEVATION: 321.20 TOP OF EMBANKMENT: 324.25</p> <p>OUTFALL: TO LF 36" CMP @ 0.5% OUTFALL TO PROPOSED STORM DRAIN (I-14) OUTFALL INVERT AT RISER = 321.20 OUTFALL INVERT AT I-14 = 320.25</p>	<p>RISER/WEIR DIAMETER = 48" CMP RISER HEEL CREST ELEVATION: 326.00 RISER HEEL LENGTH: 1.27 ft. RISER TRASH RACK/ANTIVORTEX 12" DEMATERING DEVICE = 4" PERFORATED CMP DEMATERING OUTFALL = 10 LF 4" CMP @ 1.0% DEMATERING INVERT AT 4" RISER = 325.20 DEMATERING - INVERT FIRST PERFORATION = 324.00</p> <p>DEMATERING PERFORATION CONFIGURATION WITH 1" HOLES @ 2" C-C-C, 6 HOLES PER CIRCUMFERENTIAL ROW, 12 HOLES TOTAL.</p> <p>EMERGENCY SPILLWAY ELEV. NONE CLEANOUT ELEVATION: 322.50 EMBANKMENT TOP WIDTH: 8' MIN SIDE SLOPES: 2:1</p>
---	---

**DEVELOPER'S/BUILDER'S CERTIFICATE**

"I ME CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

*R. Encley*  
DATE: 11/18/04



**APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING**

*David M. Taylor* Director  
Date: 11/18/04

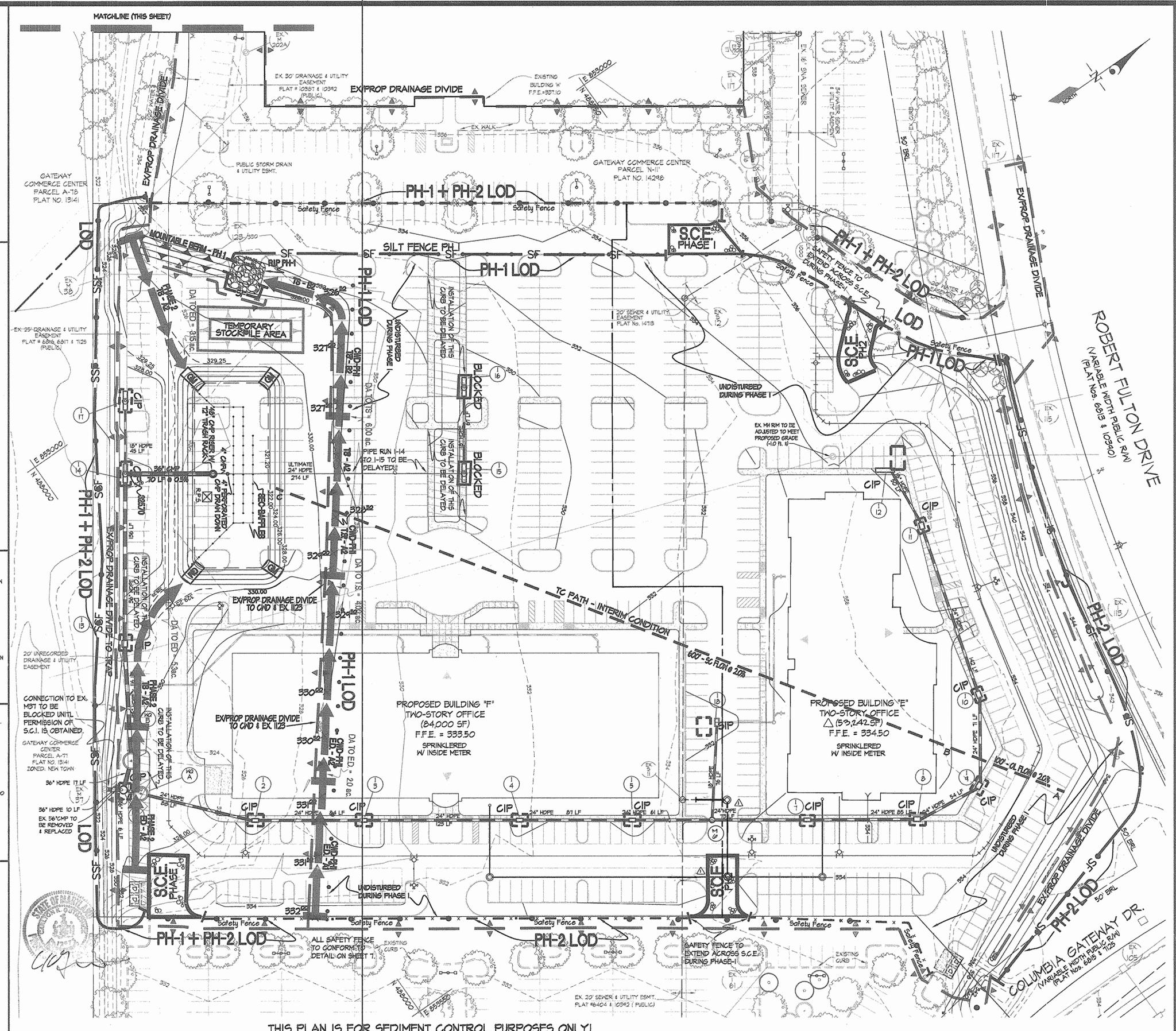
*Chris Hammonds* Chief, Division of Land Development  
Date: 11/18/04

*M. J. K. [Signature]* Chief, Development Engineering Division  
Date: 11/22/04

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
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3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 FAX: 301-421-4186

2/11/05	Medfield Bldg. E to Final Design, Updated Title	WJG	
2/22/05	Rev. Sewer Main		

DATE: \_\_\_\_\_ BY: \_\_\_\_\_ APPR: \_\_\_\_\_



PREPARED FOR:  
GATEWAY 70 LLC  
7061 Columbia Gateway Drive  
COLUMBIA, MARYLAND 21046  
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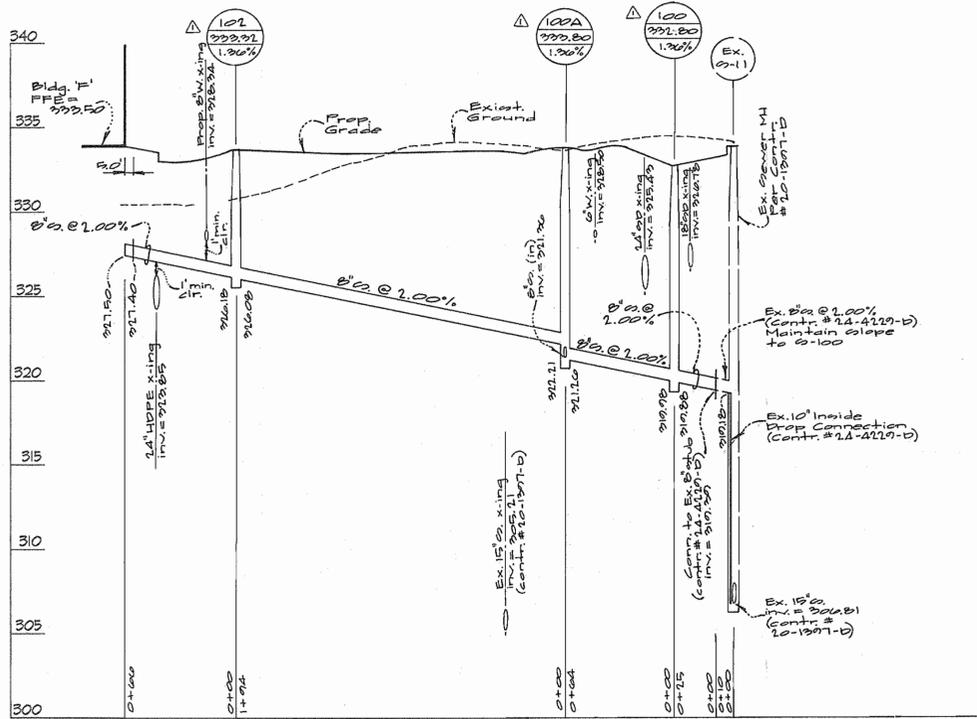
**SEDIMENT CONTROL PLAN**  
**COLUMBIA GATEWAY**  
PARCELS 'N-14' & 'N-F'  
PLAT NO. 14298, 17095

SCALE	ZONING	G. L. W. FILE NO.
1"=40'	M-1	04031
DATE	TAX MAP - GRID	SHEET
NOV, 2004	42 - 12	6 OF 10

HOWARD COUNTY, MARYLAND

ELECTION DISTRICT No. 6

SDP-05-13

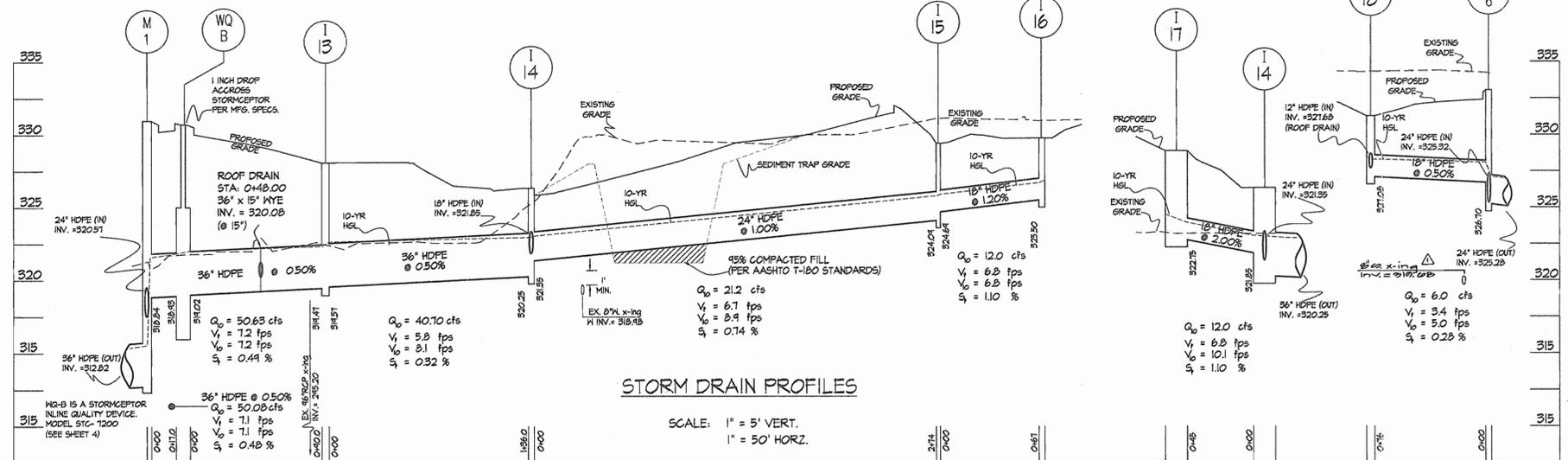


**PRIVATE SEWER PROFILES**  
SCALE: 1" = 5' VERT.  
1" = 50' HORIZ.

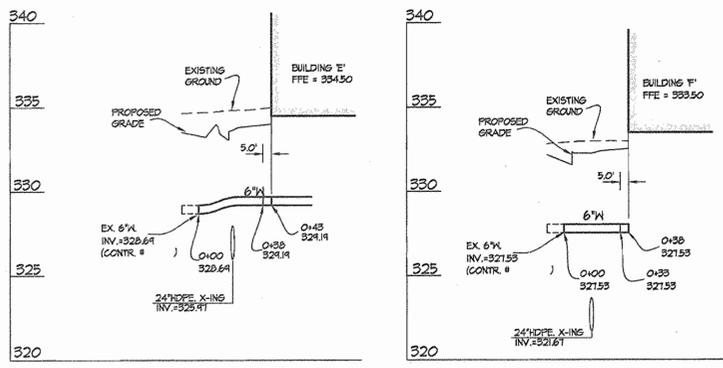
S.D. STRUCTURE SCHEDULE									
NO.	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STANDARD DETAIL	LOCATIONS & REMARKS	
			UPPER	LOWER	UPPER	LOWER			
M-1	5' PRECAST MH	5'	---	331.53	318.24	312.82	HC-S-5.13	see plan	
I-2	A-5 SUMP INLET	25'	---	332.24	321.84	321.74	HC-SD-4.40	see plan	
I-3	A-5 SUMP INLET	25'	---	331.12	322.86	322.76	HC-SD-4.40	see plan	
I-4	A-5 SUMP INLET	25'	---	332.16	324.01	323.91	HC-SD-4.40	see plan	
I-5	A-5 SUMP INLET	25'	---	332.14	324.81	324.71	HC-SD-4.40	see plan	
M-6	4' PRECAST MH	4'	---	333.00	326.68	325.28	HC-S-5.12	see plan	
I-7	A-5 SUMP INLET	25'	---	332.84	325.84	325.74	HC-SD-4.40	see plan	
I-8	A-5 SUMP INLET	35'	---	332.96	326.36	326.26	HC-SD-4.40	see plan	
I-9	A-5 SUMP INLET	35'	---	333.03	326.13	326.63	HC-SD-4.40	see plan	
I-10	A-5 SUMP INLET	35'	---	332.18	327.18	327.08	HC-SD-4.40	see plan	
I-11	A-5 SUMP INLET	35'	---	332.48	328.48	327.88	HC-SD-4.40	see plan	
I-12	A-10 INLET	25'	---	333.10	terminal	324.10	HC-SD-4.41	18" HDPE CONNECTION TO REAR OFFSET TO FAR RIGHT (REAR PERSPECTIVE)	
I-13	A-5 SUMP INLET	4'	---	329.00	319.51	319.41	HC-SD-4.40	see plan	
I-14	COS-15 INLET	5'	---	326.20	321.35	320.25	MDSA-S14.62	see plan	
I-15	COS-15 INLET	4'	---	328.61	324.64	324.04	MDSA-S14.62	see plan	
I-16	COS-15 INLET	4'	---	329.50	terminal	325.50	MDSA-S14.62	see plan	
I-17	COS-15 INLET	4'	---	321.32	terminal	321.75	MDSA-S14.62	see plan	
I-18	DOUBLE S INLET	2.62'	---	331.20	terminal	327.08	HC-SD-4.43	see plan	

S.D. Pipe Summary Table			
Size (in)	Type	Quantity (LF)	Remarks
18	HDPE	238	ADS N12 or equiv.
24	HDPE	1150	ADS N12 or equiv.
36	HDPE	253	ADS N12 or equiv.

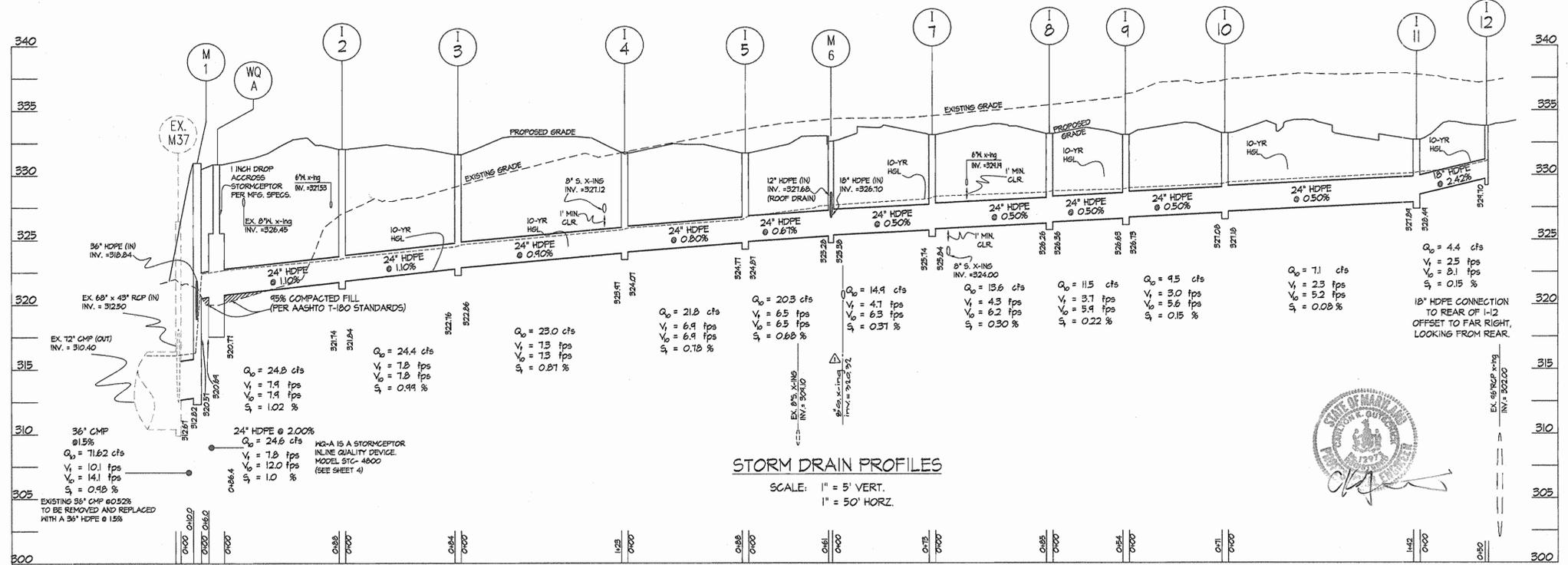
- S.D. NOTES**
- SEE SHEET 3 FOR ROOF DRAIN MANIFOLD LAYOUT. ROOF DRAIN PIPES AND STRUCTURES NOT ACCOUNTED FOR IN SCHEDULES ON THIS SHEET.
  - ALL STRUCTURES TO BE PRECAST.
  - WATER QUALITY FACILITIES HQ-A & HQ-B ARE NOT ACCOUNTED FOR IN THE STORM DRAIN STRUCTURE SCHEDULE. SEE SHEET 4 FOR DETAILS REGARDING THESE STRUCTURES.
  - PROVIDE WATER TIGHT JOINT AT ALL PIPE AND STRUCTURE CONNECTIONS.
  - ALL STORM DRAIN PIPE STRUCTURES AND WATER QUALITY DEVICES ARE TO BE FLUSHED AND PUMPED CLEAN PRIOR TO REMOVAL OF ALL SEDIMENT CONTROLS.
  - STRUCTURE I-12 TO HAVE CONNECTION FOR 18" HDPE OFFSET TO RIGHT SIDE OF INLET. RIGHT SIDE TAKEN FROM REAR PERSPECTIVE. PRECAST MANUFACTURER TO PROVIDE POSITIVE DRAINAGE TOWARD 18" INVERT OUT.



**STORM DRAIN PROFILES**  
SCALE: 1" = 5' VERT.  
1" = 50' HORIZ.



**PRIVATE WATER PROFILES**  
SCALE: 1" = 5' VERT.  
1" = 50' HORIZ.



**STORM DRAIN PROFILES**  
SCALE: 1" = 5' VERT.  
1" = 50' HORIZ.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 12/3/04

Chief, Division of Land Development: *[Signature]* Date: 12/6/04

Chief, Development Engineering Division: *[Signature]* Date: 12/21/04



**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
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BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
12/1/04	Rev. Title to Approved Naming	WJS	
12/1/04	Rev. Sewer Profile	WJS	

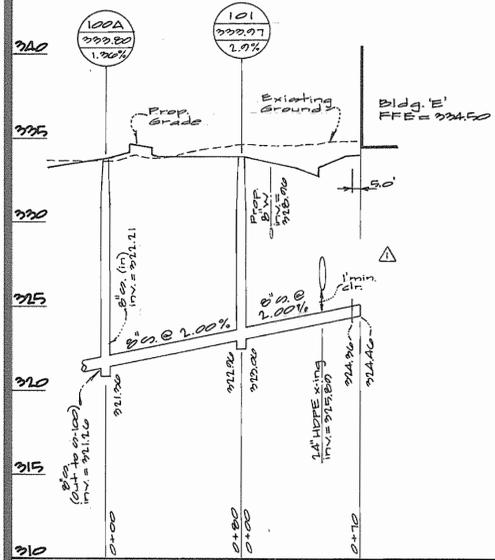
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**UTILITY PROFILES**  
**COLUMBIA GATEWAY**  
PARCELS 'N-14' & 'N-15'  
PLAT NO. 14298, 17095

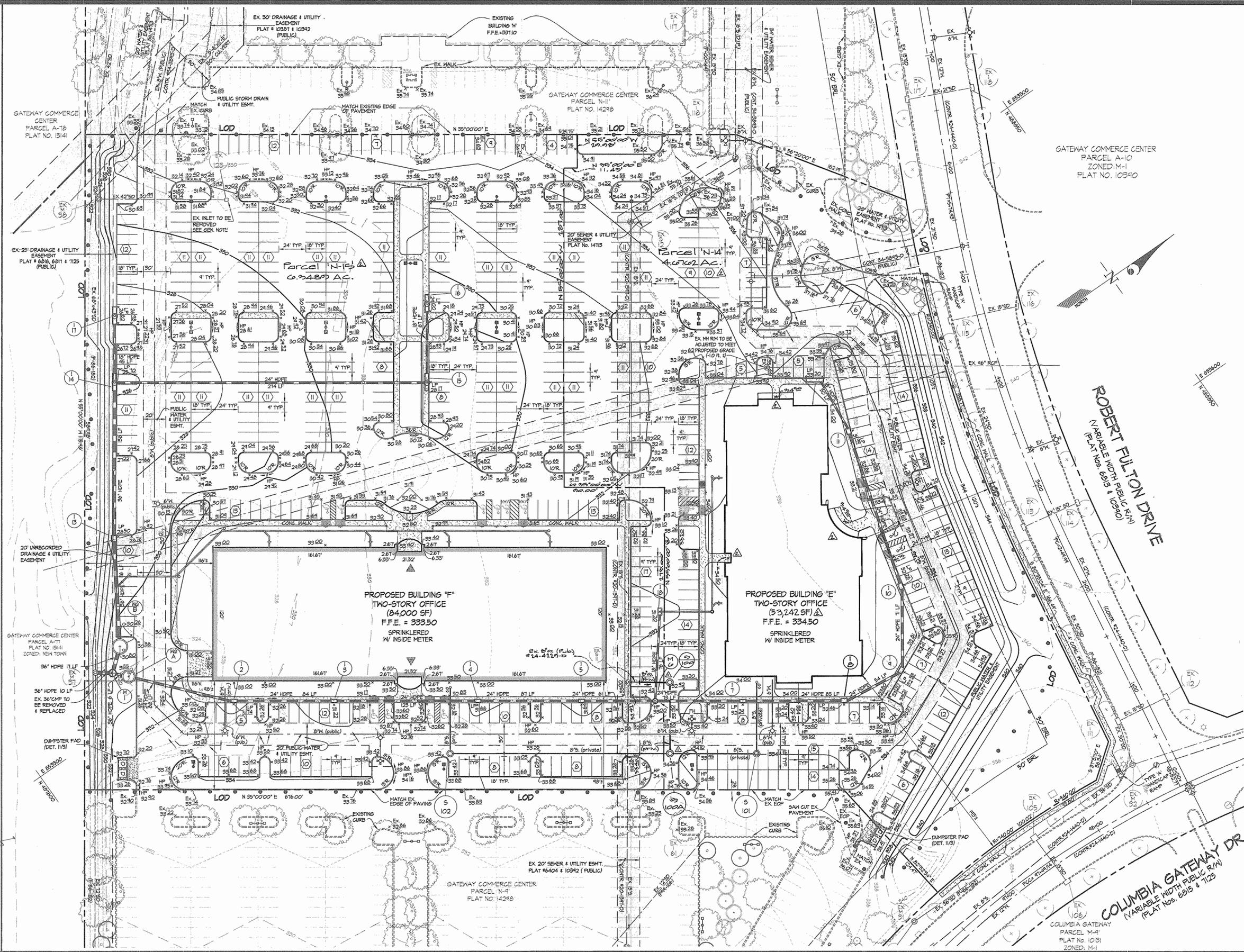
SCALE: AS SHOWN  
ZONING: M-1  
DATE: NOV, 2004  
TAX MAP - GRID: 42 - 12  
SHEET: 5 OF 10

ELECTION DISTRICT No. 6  
HOWARD COUNTY, MARYLAND

- NOTES:
- FOR HANDICAP PARKING/ACCESS DETAILS SEE SHEET 3 & 4.
  - STORM DRAIN STRUCTURES M2-A AND M2-B ARE STORM CEPTOR WATER QUALITY STRUCTURES. SEE SHEET 4 FOR DETAILS.



Note: For other Sewer Profiles see sheet 5.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*March d. Rayell* 12/3/14  
 Director Date

*Craig Hamato* 12/3/14  
 Chief, Division of Land Development Date

*Mike...* 11/22/14  
 Chief, Development Engineering Division Date

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3009 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20886  
 TEL: 301-421-4024 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
12/11/14	Medicinal Bldg. E to Final Design Relocated 21/2 Spaces to Front of Bldg.	WES	
12/22/14	Rev. sewer & add sewer profile		

PREPARED FOR:  
 GATEWAY 70 LLC  
 7061 Columbia Gateway Drive  
 COLUMBIA, MARYLAND 21046  
 PH.: 410-290-1400 ext. 1461  
 ATTN: MR. R. Colfax Schnorf Jr.

**SITE DEVELOPMENT PLAN**  
**COLUMBIA GATEWAY**  
 PARCELS N-14 & N-15  
 PLAT NO. 14298, 17095

ELECTION DISTRICT No. 6

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1" = 40'	M-1	04031
DATE	TAX MAP - GRID	SHEET
NOV, 2004	42 - 12	2 OF 10

GENERAL NOTES

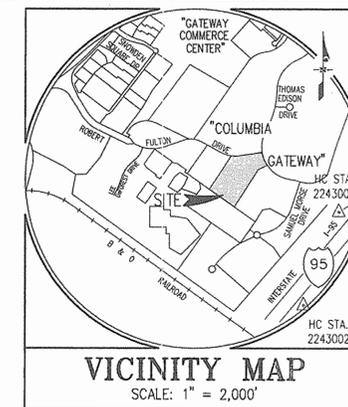
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARD AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF INSPECTION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MIS UTILITY" AT 1-800-257-TITI AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, BUREAU OF UTILITIES AT (410) 313-4400 AT LEAST FIVE WORKING DAYS PRIOR TO STARTING ANY EXCAVATION WORK.
- AREA OF SITE: 11.03 AC. DISTURBED AREA: 10.64 AC.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING TOPOGRAPHY WAS DETERMINED BY APPROVED FINAL CONSTRUCTION PLANS FOR DEVELOPMENT. EXISTING UTILITY INFORMATION IS BASED UPON CONSTRUCTION PLANS AND AS-BUILT PLANS PREPARED BY FISHER, COLLINS AND CARTER INC. ON MARCH OF 1992.
- COORDINATES AND BEARINGS ARE BASED UPON THE MD STATE PLANE SYSTEM (NAD '83).
- WATER AND SEWER SHOWN IS PUBLIC.
- ALL EXISTING WATER AND SEWER IS SHOWN PER CONT. NOS. 24-1440-D, 24-1581-D, 20-1541-D, 24-3843-D.
- STORMWATER MANAGEMENT QUANTITY CONTROL IS PROVIDED OFFSITE AT REGIONAL FACILITIES. QUALITY CONTROL IS PROVIDED BY TWO IN-LINE STORMCEPTOR QUALITY STRUCTURES. (MCA-A & MCA-B) THESE STRUCTURES ARE TO BE PRIVATELY OWNED AND MAINTAINED.
- ALL EXISTING PUBLIC STORM DRAIN IS PER F-44-166, F-00-144 & F-86-128.
- ALL CURB RADII ARE 5' UNLESS NOTED OTHERWISE.
- UTILITY INFORMATION TAKEN FROM APPROVED FINAL CONSTRUCTION PLANS FOR DEVELOPMENT.
- SIDEWALKS ADJACENT TO PERPENDICULAR PARKING SHALL BE 6' WIDE. ALL OTHER SIDEWALKS SHALL BE 5' WIDE, EXCEPT WHERE DIMENSIONED OTHERWISE. PROVIDE 3' RADIUS ROUNDING AT ALL ANGLE BREAKS AND INTERSECTIONS.
- CONTRACTOR SHALL UTILIZE PVC PIPE FOR ALL SEWER HOUSE CONNECTIONS. CONTRACTOR SHALL UTILIZE D.I.P. (CL. 3) FOR 4" AND 6" WATER HOUSE CONNECTIONS AND D.I.P. (CL. 50) FOR 8" WATER HOUSE CONNECTIONS.
- CONTRACTOR TO FIELD LOCATE ALL EXISTING UTILITY CONNECTIONS. SHOULD SUBSTANTIAL DISCREPANCIES ARISE, THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER BEFORE MAKING ADJUSTMENTS.
- USE TRENCH BEDDING CLASS "C" FOR STORM DRAINS.
- PAVED AREAS INDICATED ARE PRIVATE EXCEPT AS NOTED.
- RECORDING REFERENCE: PLAT NO. 14298 (PARCEL N-10) & PLAT NO. 17095
- ALL PROPOSED RAMPS SHALL BE IN ACCORDANCE WITH CURRENT A.D.A. STANDARDS. MAXIMUM SIDEWALK CROSS SLOPE SHALL BE TWO PERCENT. PROVIDE A FIVE-FOOT BY FIVE-FOOT LEVEL (2 PERCENT MAX) LANDING AT THE TOP AND BOTTOM OF ALL RAMPS AND BUILDING ENTRANCES AND EXITS.
- ALL WATER METERS SHALL BE LOCATED INSIDE BUILDINGS.
- THE PROPOSED WATER AND SEWER HOUSE CONNECTION ALIGNMENTS INDICATED ON THE PLANS, FROM THE EXISTING UTILITIES TO THE BUILDING, ARE TO BE CONSTRUCTED BY THE BUILDING PLUMBER AND ARE APPROXIMATE. THE PROPOSED STUBS ARE LOCATED 5' FROM THE BUILDING FACE.
- ALL THE PROPOSED STORM DRAIN HAS BEEN CONSERVATIVELY SIZED TO ACCOMMODATE ROOF DRAIN LEADER TIE IN AT ANY POINT IN THE SYSTEM. THE BUILDING-STORM DRAIN CONNECTIONS ARE TO BE CONSTRUCTED BY THE BUILDING PLUMBER.
- MAINTAIN 2% CROSS-SLOPES ON SIDEWALKS, PER STANDARD DETAILS. WHERE SIDEWALK IS ADJACENT TO BUILDING, SLOPE AWAY FROM BUILDING, AND UTILIZE EXPANSION JOINT MATERIAL AND SEALER IN THE JOINT BETWEEN THE SIDEWALK AND THE BUILDING WALL.
- SUFFICIENT SIGHT DISTANCE PER THE HOWARD COUNTY DESIGN MANUAL MUST BE PROVIDED AT ALL ACCESS POINTS. ANY LANDSCAPING THAT OBSTRUCTS THE LINE OF SIGHT MUST BE RELOCATED.
- A TRAFFIC STUDY AND A.F.F.O. ANALYSIS, WHICH INCLUDED THIS PARCEL, WERE PERFORMED UNDER F-44-156. THE UPDATED AFFO MEMORANDUM DATED JULY 26, 2004 IS APPROVED.
- THERE IS NO FLOODPLAIN ON THIS SITE.
- THERE ARE NO WETLANDS, STREAMS, OR STEEP SLOPES ON THIS SITE.
- THIS PARCEL DOES NOT APPEAR ON THE COUNTY'S CEMETERY INVENTORY AS HAVING CEMETERIES OR BURIAL GROUNDS. ALSO, THERE IS NO PHYSICAL EVIDENCE OF EITHER CEMETERIES OR BURIAL GROUNDS BEING PRESENT ON THE SITE.
- COORDINATES AND BEARINGS ARE BASED UPON THE '83 MD STATE COORDINATE SYSTEM (NAD '83) AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NOS. 2243002, 2243003.
- ALL EXTERIOR LIGHTING SHALL CONFORM TO SECTION 134 OF THE ZONING REGULATIONS. (SEE DETAIL SHEET-3)
- THIS SITE IS EXEMPT FROM THE FOREST CONSERVATION ORDINANCE IN ACCORDANCE WITH SECTION 16.1202 (b)(1)(iv) A PLANNED OFFICE PARK GREATER THAN 75 ACRES.
- THE SUBJECT PROPERTY IS ZONED M-1 PER THE LATEST COMPREHENSIVE ZONING PLAN DATED 02/02/2004.
- THIS SDP HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL, CHAPTER VI (ALTERNATIVE COMPLIANCE).
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPM DEVELOPER'S AGREEMENT AS NOTED ON SHEET #10.

Parcel N-10 has been changed from N-10 to N-14 & N-15 Per F-05-180.

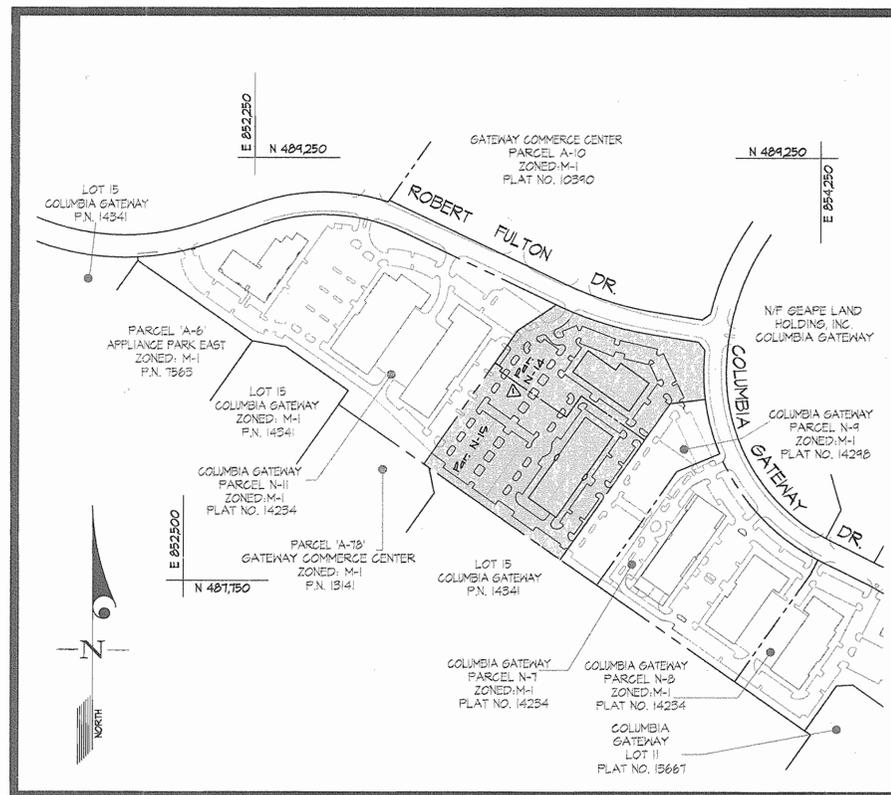
# SITE DEVELOPMENT PLAN

## COLUMBIA GATEWAY

### PARCELS 'N-14' & 'N-15'



BENCHMARKS  
 2243002  
 STANDARD DISC ON CONCRETE MONUMENT  
 2243003  
 STANDARD DISC ON CONCRETE MONUMENT



KEY MAP  
 SCALE: 1" = 300'

LEGEND

---	366	EX. CONTOUR
---	300	PROP. CONTOUR
○		EX. TREES
—○—		EX. STORM DRAIN
—○—		PROP. STORM DRAIN
○	LOD	LIMIT OF DISTURBANCE
○	EX. 8" (public)	EX. SANITARY SEWER
○	8" (private)	PROP. SANITARY SEWER
—	EX. 8" (public)	PROP. WATER HOUSE CONNECTION
---		EX. CURB & GUTTER
---		CONCRETE CURB & GUTTER
---		PROPOSED REVERSE CURB & GUTTER
---		CONCRETE SIDEWALK
---		DUMPSTER OR UTILITY PAD
---		EXISTING EASEMENTS
○	x 7622	TOP OF PAVING SPOT SHOT
○		NUMBER OF PARKING SPACES
○		PROP. LIGHT FIXTURE & POLE
○		EX. LIGHT FIXTURE & POLE
△		HANDICAP CURB RAMP (SEE DETAIL SHEET 3)
△		PATRON ENTRANCE

SITE ANALYSIS DATA CHART

- GROSS AREA PARCEL N-10: 480,244 SF OR 11.03 AC.
- LIMIT OF DISTURBED AREA = 463,431 SF OR 10.64 AC.
- PRESENT ZONING = M-1
- PROPOSED USE: RESEARCH AND DEVELOPMENT/LIGHT WAREHOUSE
- GROSS FLOOR AREA: BUILDING E = 53,242 SF  
 BUILDING F = 84,000 SF  
 TOTAL = 137,242 SF
- NO. OF PARKING SPACES REQUIRED: 453 SPACES (BASED ON GENERAL OFFICE USE @ 3.3 SPACES/1000 SF)
- NO. OF PARKING SPACES PROVIDED: 667 SPACES (INCL. ACCESSIBLE SPACES).
- NO. OF HANDICAP SPACES REQUIRED: 14 SPACES (4 VAN SPACES).
- NO. OF HANDICAP SPACES PROVIDED: 16 SPACES (4 VAN SPACES).
- BUILDING PERCENT COVERAGE = Building Coverage/Gross Parcel Area = 137,242/480,244 = 28.6%
- PROJECT BACKGROUND: SEE DEPT. OF PLANNING & ZONING FILE NUMBERS: F-85-55, F-85-63, F-86-11, F-86-63, F-86-182, F-91-16, F-88-91, F-90-175, F-91-16, F-92-15, F-99-156, F-99-166, F-00-11, WP 99-128, F-00-148, P-86-22, S-84-44, F-00-160, F-00-149 & F-17-002

BUILDING 'E'	BUILDING 'F'
2 STORY OFFICE BUILDING	2 STORY OFFICE BUILDING
GROSS FLOOR AREA = 53,242 S.F.	GROSS FLOOR AREA = 84,000 S.F.
USE: R&D/LIGHT WAREHOUSE	USE: R&D/LIGHT WAREHOUSE
PARKING RATE: 3.3 SPACES/1000 S.F.	PARKING RATE: 3.3 SPACES/1000 S.F.
PARKING REQUIRED = 171 SPACES	PARKING REQUIRED = 271 SPACES

SHEET INDEX

- COVER SHEET
- SITE DEVELOPMENT PLAN
- SITE & HANDICAP ACCESSIBILITY DETAILS
- SITE & HANDICAP ACCESSIBILITY DETAILS/PAVING PLAN
- STORM DRAIN/UTILITY PROFILES
- SEDIMENT CONTROL PLAN
- SEDIMENT CONTROL NOTES & DETAILS
- DRAINAGE AREA MAP
- LANDSCAPE PLAN
- LANDSCAPE NOTES, DETAILS & SCHEDULES

NOTE: THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION SHALL BE NOTIFIED WHEN THE SITE HAS BEEN COMPLETED SO THAT AN INSPECTION CAN BE PERFORMED BY THE ARCHITECTURAL CONTROL COMMITTEE. A CERTIFICATE OF COMPLIANCE WILL BE ISSUED BY THE COMMITTEE UPON SATISFACTORY COMPLETION OF THE SITE WORK.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: [Signature] Date: 12/13/04  
 Chief, Division of Land Development: [Signature] Date: 12/16/04  
 Chief, Development Engineering Division: [Signature] Date: 11/22/04



GLWGUTSCHICK LITTLE & WEBER, P.A.  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BIRTONSVILLE OFFICE PARK  
 BIRTONSVILLE, MARYLAND 20855  
 TEL: 301-421-4024 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
12-22-04	Updated general cont. to reflect approved parcel names, updated site analysis	WSP	
12-22-04	Added cover sheet #28		

PREPARED FOR:  
 GATEWAY 70 LLC  
 7061 Columbia Gateway Drive  
 COLUMBIA, MARYLAND 21046  
 PH: 410-290-1400 ext. 1461  
 ATTN: MR. R. Colfax Schnorf Jr.

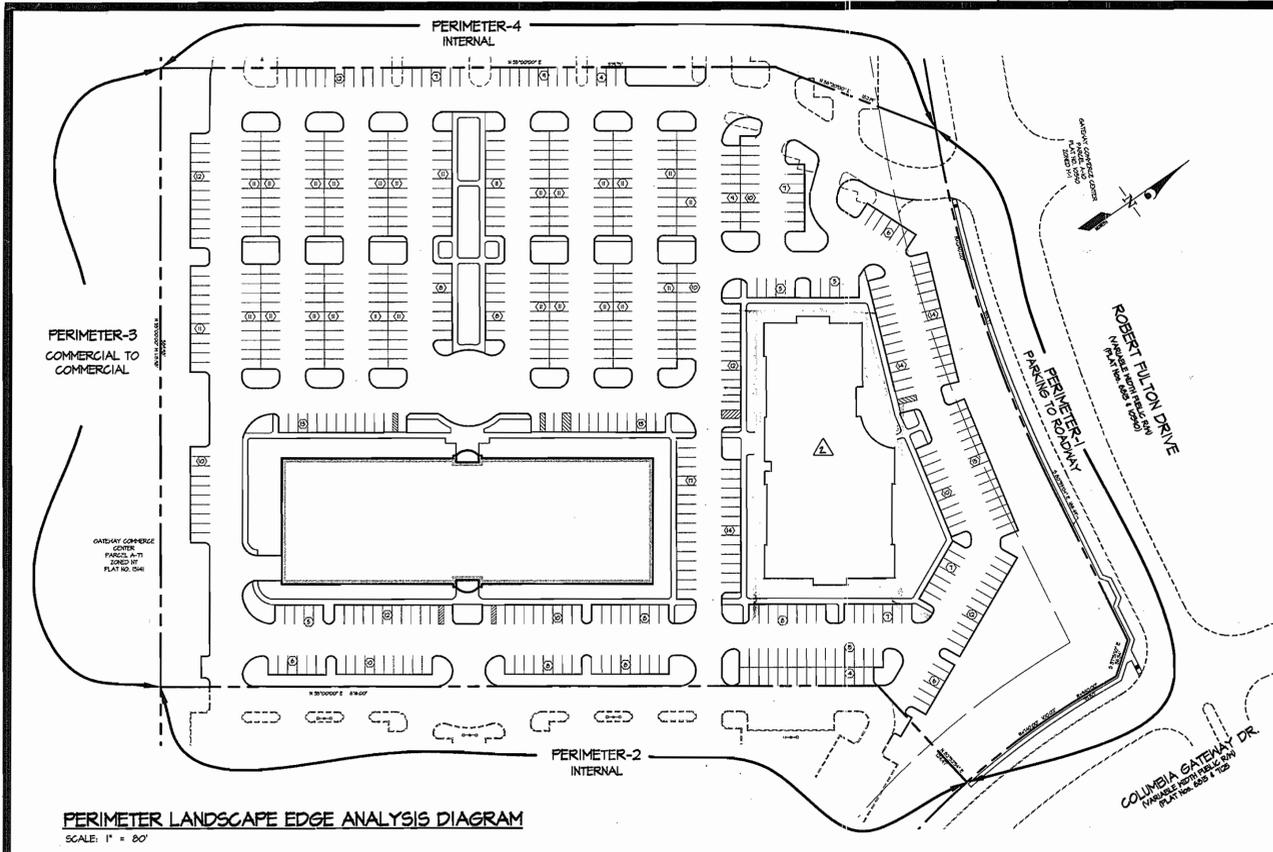
COVER SHEET  
**COLUMBIA GATEWAY**  
 PARCELS 'N-14' & 'N-15'  
 PLAT NO. 14298, 17095  
 ELECTION DISTRICT No. 6  
 HOWARD COUNTY, MARYLAND

ADDRESS CHART	
BUILDING NUMBER	STREET ADDRESS
E	8601 ROBERT FULTON DRIVE
F	8621 ROBERT FULTON DRIVE

SUBDIVISION NAME	SECTION/AREA	PARCELS P/O P 671
COLUMBIA GATEWAY	N/A	

PLAT No.	ZONE	TAX MAP	BLOCK	E.LEG. DIST.	CENSUS TRACT
14298, 17095	M-1	42	12	6	6067.03

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	M-1	04031
DATE	TAX MAP - GRID	SHEET
NOV, 2004	42 - 12	1 OF 10



PLANT MATERIALS AND PLANTING METHODS

A. PLANT MATERIALS

THE LANDSCAPE CONTRACTOR SHALL FURNISH AND INSTALL AND/OR DIG, BALL, BURLAP AND TRANSPORT ALL OF THE PLANT MATERIALS CALLED FOR ON DRAWINGS AND/OR LISTED IN THE PLANT SCHEDULE.

1. PLANT NAMES

PLANT NAMES USED IN THE PLANT SCHEDULE SHALL CONFORM WITH "STANDARDIZED PLANT NAMES," LATEST EDITION.

2. PLANT STANDARDS

ALL PLANT MATERIAL SHALL BE EQUAL TO OR BETTER THAN THE REQUIREMENTS OF THE "USA STANDARD FOR NURSERY STOCK" LATEST EDITION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (HEREAFTER REFERRED TO AS AAN STANDARDS). ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, SHALL HAVE A NORMAL HABIT OF GROWTH AND SHALL BE FIRST QUALITY, SOUND, VIGOROUS, WELL-BRANCHED AND WITH HEALTHY, WELL-DIVIDED ROOT SYSTEMS. THEY SHALL BE FREE OF DISEASE, INSECT PESTS AND MECHANICAL INJURIES.

ALL PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE BEEN GROWN UNDER THE SAME CLIMATE CONDITIONS AS THE LOCATION OF THIS PROJECT FOR AT LEAST TWO YEARS BEFORE PLANTING. NEITHER HEATED-IN PLANTS NOR PLANTS FROM COLD STORAGE WILL BE ACCEPTED.

3. PLANT MEASUREMENTS

ALL PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED IN THE PLANT SCHEDULE AS APPROVED BY THE ARC.

A. CALIPER MEASUREMENTS SHALL BE TAKEN SIX INCHES (6") ABOVE GRADE FOR TREES UNDER FOUR-INCH (4") CALIPER AND TWELVE (12") ABOVE GRADE FOR TREES FOUR INCHES (4") IN CALIPER AND OVER.

B. MINIMUM BRANCHING HEIGHT FOR ALL TREES SHALL BE SIX FEET (6'), MAXIMUM EIGHT FEET (8').

C. MINIMUM SIZE FOR PLANTING SHADE TREES SHALL BE 3-5" CALIPER, 14-16" IN HEIGHT.

D. MINIMUM SIZE FOR PLANTING MINOR OR INTERMEDIATE FOCUS TREES (PINES, CRABAPPLES, ETC.) SHALL BE 3-5" CALIPER, 10-12" IN HEIGHT.

E. MINIMUM SIZE FOR PLANTING SHRUBS SHALL BE 18" - 24" SPREAD UNLESS NOTED OTHERWISE.

F. CALIPER HEIGHT, SPREAD AND SIZE OF BALL SHALL BE GENERALLY AS FOLLOWS:

CALIPER	HEIGHT	SPREAD	SIZE OF BALL
3" - 3.5"	14-16'	6'-8"	32" DIAMETER
3.5" - 4"	14-18'	8'-10"	36" DIAMETER
4" - 4.5"	16-18'	8'-10"	40" DIAMETER
4.5" - 5"	16-17'	10'-12"	44" DIAMETER
5" - 5.5"	18-20'	12'-14"	48" DIAMETER
5.5" - 6"	18-20'	12'-14"	52" DIAMETER

ALL PLANT MATERIAL SHALL GENERALLY AVERAGE THE MEDIAN FOR THE SIZE RANGES INDICATED ABOVE AS INDICATED IN THE "AAN STANDARDS".

4. PLANT IDENTIFICATION

LEGIBLE LABELS SHALL BE ATTACHED TO ALL SHADE TREES, MINOR TREES, SPECIEN SHRUBS AND BUNDLES OR BOXES OF OTHER PLANT MATERIAL. GIVING THE BOTANICAL NAME AND COMMON NAME, SIZE AND QUANTITY OF EACH. EACH SHIPMENT OF PLANTS SHALL BEAR CERTIFICATES OF INSPECTION AS REQUIRED BY FEDERAL, STATE AND COUNTY AUTHORITIES.

5. PLANT INSPECTION

THE ARC MAY, UPON REQUEST BY THE BUILDER OR DEVELOPER, AT LEAST TEN (10) DAYS PRIOR TO THE INSTALLATION OF ANY PROPOSED PLANT MATERIAL, INSPECT ALL PROPOSED PLANT MATERIAL AT THE SOURCE OF ORIGIN.

B. PLANTING METHODS

ALL PROPOSED PLANT MATERIALS THAT MEET THE SPECIFICATIONS IN SECTION A ARE TO BE PLANTED IN ACCORDANCE WITH THE FOLLOWING METHODS DURING THE PROPER PLANTING SEASONS AS DESCRIBED IN THE FOLLOWING:

1. PLANTING SEASONS

THE PLANTING OF DECIDUOUS TREES, SHRUBS AND VINES SHALL BE FROM MARCH 1ST TO JUNE 15TH AND FROM SEPTEMBER 15TH TO DECEMBER 15TH. PLANTING OF DECIDUOUS MATERIAL SHALL BE CONTINUED DURING THE WINTER MONTHS PROVIDING THERE IS NO FROST IN THE GROUND AND FROST-FREE TOPSOIL PLANTING MIXTURES ARE USED.

THE PLANTING OF EVERGREEN MATERIAL SHALL BE FROM MARCH 15TH TO JUNE 15TH AND FROM AUGUST 15TH TO DECEMBER 15TH. NO PLANTING SHALL BE DONE WHEN GROUND IS FROZEN OR EXCESSIVELY MOIST. NO FROZEN OR WET TOPSOIL SHALL BE USED AT ANY TIME.

2. DIGGING

ALL PLANT MATERIAL SHALL BE DIG, BALLED AND BURLAPPED (B&B) IN ACCORDANCE WITH THE "AAN STANDARDS".

3. EXCAVATION OF PLANT PITS

THE LANDSCAPE CONTRACTOR SHALL EXCAVATE ALL PLANT PITS, VINE PITS, HEDGE TRENCHES AND SHRUB BEDS IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

A. LOCATIONS OF ALL PROPOSED PLANT MATERIAL SHALL BE STAKED AND APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT BEFORE ANY OF THE PROPOSED PLANT MATERIAL IS INSTALLED BY THE LANDSCAPE CONTRACTOR.

B. ALL PITS SHALL BE GENERALLY CIRCULAR IN OUTLINE, VERTICAL SIDES, DEPTH SHALL NOT BE LESS THAN 6" DEEPER THAN THE ROOT BALL. DIAMETER SHALL NOT BE LESS THAN TWO TIMES THE DIAMETER OF THE ROOT BALL AS SET FORTH IN THE FOLLOWING SCHEDULE.

C. IF AREAS ARE DESIGNATED AS SHRUB BEDS OR HEDGE TRENCHES, THEY SHALL BE EXCAVATED TO AT LEAST 18" DEPTH MINIMUM. AREAS DESIGNATED FOR GROUND COVERS AND VINES SHALL BE EXCAVATED TO AT LEAST 12" IN DEPTH MINIMUM.

D. DIAMETER AND DEPTH OF TREE PITS SHALL GENERALLY BE AS FOLLOWS:

PLANT SIZE	ROOT BALL	PIT DIAMETER	PIT DEPTH
3" - 3.5" CAL.	32"	64"	28"
3.5" - 4" CAL.	36"	72"	32"
4" - 4.5" CAL.	40"	80"	36"
4.5" - 5" CAL.	44"	88"	40"
5" - 5.5" CAL.	48"	96"	44"
5.5" - 6" CAL.	52"	104"	48"

A 20% COMPACTION FIGURE OF THE SOIL TO BE REMOVED IS ASSUMED AND WILL BE ALLOWED IN CALCULATION OF EXTRA TOPSOIL. THE TABULATED PIT SIZES ARE FOR PURPOSES OF INFORM CALCULATION AND SHALL NOT OVERRIDE THE SPECIFIED DEPTHS BELOW THE BOTTOMS OF THE ROOT BALLS.

4. STAKING, GUYING AND WRAPPING  
ALL PLANT MATERIAL SHALL BE STAKED OR GUYED, AND WRAPPED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

A. STAKES SHALL BE SOUND WOOD 2" X 2" ROUGH SAWN OAK OR SIMILAR DURABLE WOODS, OR LENGTHS, MINIMUM 1'-0" FOR MAJOR TREES AND 5'-0" MINIMUM FOR MINOR TREES.

B. WIRE AND CABLE: WIRE SHALL BE #10 GA. GALVANIZED OR BETHANIZED ANNEALED STEEL WIRE. FOR TREES OVER 3" CALIPER, PROVIDE 5/16" TURN BUCKLES, EYE AND EYE WITH 4" TAKE-UP. FOR TREES OVER 5" CALIPER, PROVIDE 3/16" 7 STRAND CABLE CADMIUM PLATED STEEL, WITH GALVANIZED "EYE" THIMBLES OF WIRE AND HOSE ON TREES UP TO 3" IN CALIPER.

C. HOSE: SHALL BE NEW 2 PLY REINFORCED RUBBER HOSE, MINIMUM 1/2" I.D. "PLASTIC LOCK TIES" OR "PAUL'S TREES BRACES" MAY BE USED IN PLACE OF WIRE AND HOSE ON TREES UP TO 3" IN CALIPER.

D. ALL TREES UNDER 3" IN CALIPER ARE TO BE PLANTED AND STAKED IN ACCORDANCE WITH THE ATTACHED TYPICAL TREE STAKING DETAIL. ALL TREES OVER 3" IN CALIPER ARE TO BE PLANTED AND GUYED IN ACCORDANCE WITH THE ATTACHED TYPICAL TREE GUYING DETAIL.

5. PLANT PRUNING, EDGING AND MULCHING

A. EACH TREE, SHRUB OR VINE SHALL BE PRUNED IN AN APPROPRIATE MANNER TO ITS PARTICULAR REQUIREMENTS, IN ACCORDANCE WITH ACCEPTED STANDARD PRACTICE. BROKEN OR BRUISED BRANCHES SHALL BE REMOVED WITH CLEAN CUTS FLUSH WITH THE ADJACENT TRUNK OR BRANCHES. ALL CUTS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED ANTISEPTIC TREE WOUND DRESSING.

B. ALL TRENCHES AND SHRUB BEDS SHALL BE EDGED AND CULTIVATED TO THE LINES SHOWN ON THE DRAWING. THE AREAS AROUND ISOLATED PLANTS SHALL BE EDGED AND CULTIVATED TO THE FULL DIAMETER OF THE PIT. SOIL WHICH HAS BEEN REMOVED AND STACKED SHALL BE USED TO TRIM THE EDGES OF ALL EXCAVATED AREAS TO THE NEAT LINES OF THE PLANT PIT SAUCERS, THE EDGES OF SHRUB AREAS, HEDGE TRENCHES AND VINE POCKETS.

6. PLANT INSPECTION AND ACCEPTANCE

THE ARC SHALL BE RESPONSIBLE FOR INSPECTING ALL PLANTING PROJECTS ON A PERIODIC BASIS TO ASSURE THAT ALL WORK IS PROCEEDING IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.

7. PLANT GUARANTEE

ALL PLANT MATERIAL SHALL BE GUARANTEED FOR THE DURATION OF ONE FULL GROWING SEASON, AFTER FINAL INSPECTION AND ACCEPTANCE OF WORK IN THE PLANTING PROJECT. PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD.

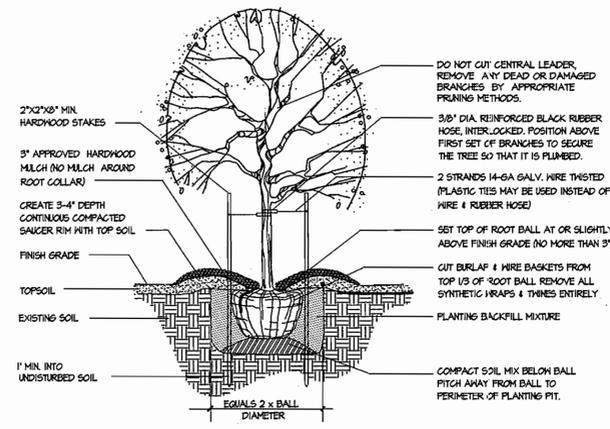
A. FOR THIS PURPOSE, THE "GROWING SEASON" SHALL BE THAT PERIOD BETWEEN THE END OF THE "SPRING" PLANTING SEASON, AND THE COMMENCEMENT OF THE "FALL" PLANTING SEASON.

B. GUARANTEE FOR PLANTING PERFORMED AFTER THE SPECIFIED END OF THE "SPRING" PLANTING SEASON SHALL BE EXTENDED THROUGH THE END OF THE NEXT FOLLOWING "SPRING" PLANTING SEASON.

SODDING

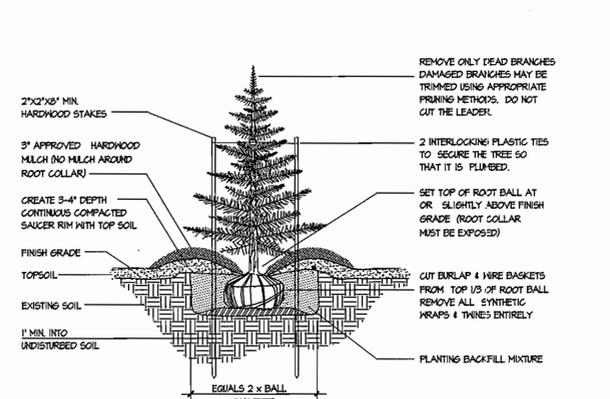
ALL SODDING SHALL BE IN ACCORDANCE TO THE "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREA" LATEST EDITION, APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF METROPOLITAN WASHINGTON AND THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS.

ALL SOD SHALL BE STRONGLY ROOTED SOD, NOT LESS THAN TWO YEARS OLD AND FREE OF WEEDS AND UNDESIRABLE NATIVE GRASSES. PROVIDE ONLY SOD CAPABLE OF GROWTH DEVELOPMENT WHEN PLANTED AND IN STRIPS NOT MORE THAN 18" WIDE X 4' LONG. PROVIDE SOD COMPOSED PRINCIPALLY OF IMPROVED STRAIN KENTUCKY BLUEGRASS, SUCH AS, COLUMBIA, VICTA, OR ESCORT.



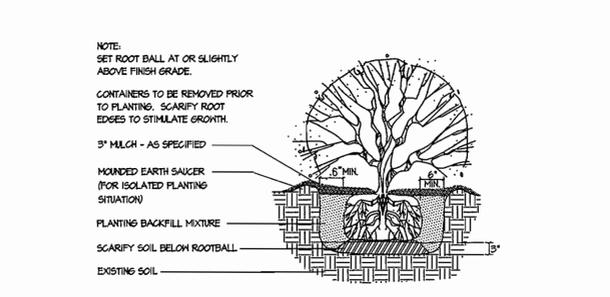
NOTE: ALL SUPPORTING DEVICES (STAKES, TIES, ETC.) SHALL BE REMOVED AFTER 2 GROWING SEASONS.

EVERGREEN TREE PLANTING DETAIL



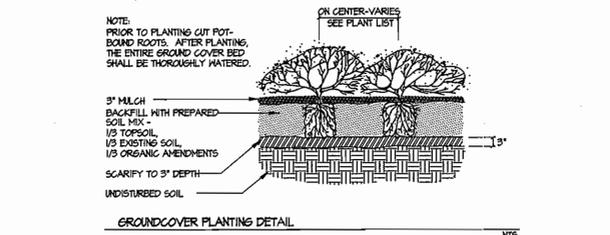
NOTE: ALL SUPPORTING DEVICES (STAKES, TIES, ETC.) SHALL BE REMOVED AFTER 2 GROWING SEASONS.

SHRUB PLANTING DETAIL



NOTE: SET ROOT BALL AT OR SLIGHTLY ABOVE FINISH GRADE.

GROUND COVER PLANTING DETAIL



NOTE: PRIOR TO PLANTING CUT POT-BOUND ROOTS. AFTER PLANTING, THE ENTIRE GROUND COVER BED SHALL BE THOROUGHLY WATERED.

PERIMETER LANDSCAPE EDGE ANALYSIS DIAGRAM  
SCALE: 1" = 80'

LANDSCAPING NOTES

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND CHAPTER VI (ALTERNATIVE COMPLIANCE) OF THE HOWARD COUNTY LANDSCAPE MANUAL.
- CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET 1 SHALL APPLY.
- FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT ENGINEER / LANDSCAPE ARCHITECT IF ANY RELOCATIONS ARE REQUIRED.
- PLANT QUANTITIES SHOWN ON PLANT LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
- ALL PLANT MATERIAL SHALL BE FULL, HEAVY, WELL FORMED, AND SYMMETRICAL, AND CONFORM TO THE A.A.N. SPECIFICATIONS, AND BE INSTALLED IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
- NO SUBSTITUTION SHALL BE MADE WITHOUT WRITTEN CONSENT OF THE OWNER OR HIS REPRESENTATIVE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SEEDED OR SODDED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS WHICH MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
- ALL EXPOSED EARTH WITHIN LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER PLANTING DETAILS.
- TREE PLANTING WITHIN THE PUBLIC WATER 4 SEWER EASEMENT IS PROHIBITED.
- THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND, WHEN NECESSARY, REPAIRED AND REPLACED.
- "SCHEDULE A - PERIMETER LANDSCAPE EDGE, AND "SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING" ARE PROVIDED FOR LANDSCAPE SURETY CALCULATION PURPOSES ONLY. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED WITH THE DPM DEVELOPERS AGREEMENT IN THE AMOUNT OF \$18,000.00 FOR THE VALUE OF 61 REQUIRED SHADE TREES (AT \$300.00/TREE).
- TABULATION FOR LANDSCAPE SHOWN:

REQUIRED PLANTING BY HRD FOR 11.03 ACRES OF R4/D OFFICE AT 28 TREES PER ACRE = 304 TREES (OR EQUIVALENT) STANDARDS PROVIDED:

SHADE TREES:	116 (66 NEW + 4 EXISTING)
EVERGREEN TREES:	71 = 35 E.S.T. (EQV. SHADE TREE)
ORNAMENTAL TREES:	12 = 36 E.S.T. (FOR 60 NEW + 3 EXISTING)
SHRUBS:	224 = 224 E.S.T.
TOTAL EQUIVALENT SHADE TREE (E.S.T.) = 210	

THE REMAINING 34 E.S.T. SHALL BE SATISFIED BY 146 SF. OF ANNUAL PLANTING BEDS (ABOUT 42 E.S.T.)

SCHEDULE-A: PERIMETER LANDSCAPE EDGE

PERIMETER No.	1	2	3	4
USE SITUATION	PARKING ADJACENT TO ROADWAY		COMMERCIAL TO COMMERCIAL	
LANDSCAPE TYPE	E-BUFFER		A-BUFFER	
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	102' (182' LESS 30' CURB OPENING)		590'	
CREDIT FOR EXISTING VEGETATION	YES, 1 SHADE & 3 ORNAMENTAL TREES		NONE	
CREDIT FOR WALL, FENCE OR BERM	YES $\Delta$		NONE	
NUMBER OF PLANTS REQUIRED	16 (W CREDIT FACTOR) SHADE TREES N/A (N/A BERM CREDIT) EVERGREEN TREES N/A (N/A BERM CREDIT) SHRUBS		10 N/A N/A	
NUMBER OF PLANTS PROVIDED	54 (COMBINED) SHADE, EVERGREEN & ORNAMENTAL TREES ARE PROVIDED BY ALTERNATIVE COMPLIANCE		26 (COMBINED) SHADE & EVERGREEN TREES ARE PROVIDED BY ALTERNATIVE COMPLIANCE $\Delta$	

- $\Delta$  A BERM AT LEAST 3' HIGH IS PROVIDED ALONG THE LENGTH OF THE PARKING AREA FRONTING THE ROAD.
- $\Delta$  SINCE PLANTING IS PROHIBITED WITHIN THE PUBLIC UTILITY EASEMENT ALONG THIS PERIMETER, PLANTING PENINSULAS ("LARGE PARKING ISLAND") ARE CREATED TO ACCOMMODATE THE REQUIRED LANDSCAPING.

SCHEDULE-B: PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	667
NUMBER OF SHADE TREES REQUIRED? (1 PER 10 SPACES FOR RESIDENTIAL; 1 PER 20 SPACES FOR COMMERCIAL)	33 TREES/ISLANDS
NUMBER OF TREES PROVIDED	68 PARKING LOT ISLANDS ARE PROVIDED ON WHICH OVER 68 PARKING SHADE TREES ARE PROVIDED BY ALTERNATIVE COMPLIANCE.
OTHER TREES (2:1 SUBSTITUTION)	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Paul D. Layle* Date: 12/10/04  
 Chief, Division of Land Development: *Cindy Hamilton* Date: 12/3/04  
 Chief, Development Engineering Division: *Mark* Date: 12/2/04

GLWGUTSCHICK LITTLE & WEBER, P.A.  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK  
 BURTNSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 FAX: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR:  
 GATEWAY 70 LLC  
 7061 Columbia Gateway Drive  
 COLUMBIA, MARYLAND 21046  
 PH: 410-290-1400 ext 1461  
 ATTN: MR. R. Colfax Schnorf Jr.

LANDSCAPE NOTES, DETAILS & SCHEDULES  
**COLUMBIA GATEWAY**  
 PARCELS 'N-14' & 'N-15'  
 PLAT NO. 14298, 17095  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 40'	M-1	04031
DATE	TAX MAP - GRID	SHEET
NOV., 2004	42 - 12	10 OF 10

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREA NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED. SEEDING PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCS OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENED).

SEEDING: FOR THE PERIODS MARCH 1 THRU APRIL 30 AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS PER ACRE (4 LBS/1000 SQ FT) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS PER ACRE (2 LBS/1000 SQ FT) OF KEEPINGS LOVEGRASS.

MULCHING: APPLY 1/2 TO 2 TONS PER ACRE (10 TO 40 LBS/1000 SQ FT) OF UNROTATED SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 210 GALLONS PER ACRE (6 GALLONS SQ FT) OF DMSIFIED ASPHALT ON FLAT AREAS.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDING PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCS OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENED).

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 1 THRU OCTOBER 15, SEED WITH 2-1/2 BUSHEL PER ACRE OF ANNUAL RYE (32 LBS/1000 SQ FT).

MULCHING: APPLY 1/2 TO 2 TONS PER ACRE (10 TO 40 LBS/1000 SQ FT) OF UNROTATED, WEE-FREE, SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 210 GAL PER ACRE (6 GALLONS SQ FT) OF DMSIFIED ASPHALT ON FLAT AREAS.

REFER TO THE 1984 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

11-8-04 DATE

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

11/8/04 DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: Mark D. Ueyl 12/10/04 Date

GLWGUTSCHICK LITTLE & WEBER, P.A. CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS

SEDIMENT CONTROL NOTES

1. A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION. (410) 315-1855. 2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1984 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 1 CALENDAR DAY FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES AND PERIMETER SLOPES AND ALL SLOPES GREATER THAN 5:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.

4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN HANDBOOK, STORM DRAINAGE. 5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS, SO2, TEMPORARY SEEDING AND MULCHING (SEC. 6).

CONSTRUCTION AND MATERIAL & TOPSOIL SPECIFICATIONS

I. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE RESPECTIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-EGS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.

II. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING: A. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND, OTHER SOILS MAY BE USED IF RECOMMENDED BY A AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY.

III. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES: A. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 2.00 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS (OR SEE SEEDING NOTES).

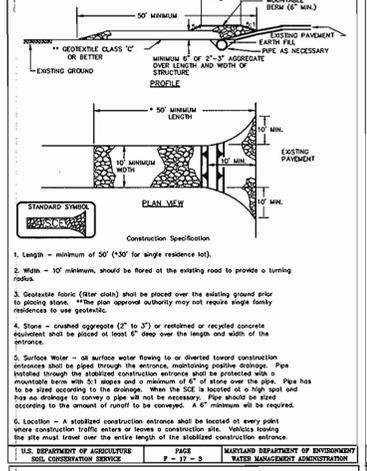
IV. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES: A. ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER & LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:

1. PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER. 2. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 15 PERCENT BY WEIGHT.

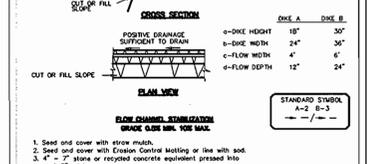
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

HOWARD S.C.D. DATE: 11/16/04

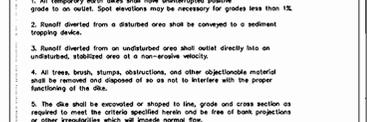
DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



1. Length - minimum of 50' (30' for single residence lots). 2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.

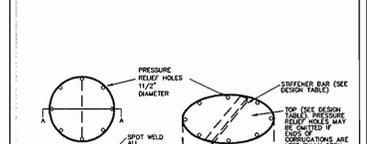


1. Fence posts shall be a minimum of 30" diameter when 18" minimum into the ground. Flood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 1/4" diameter round (minimum) cut.



1. Gabion inflow protection shall be constructed of 9" x 3" x 9" gabion baskets forming a V-shaped cross section 1' deep, with 2:1 side slopes, and a 3' bottom width.

DETAIL 1 - EARTH DIKE



1. All temporary earth dikes shall have unobstructed positive grade to an outlet. Spot elevations may be necessary for grades less than 1%.

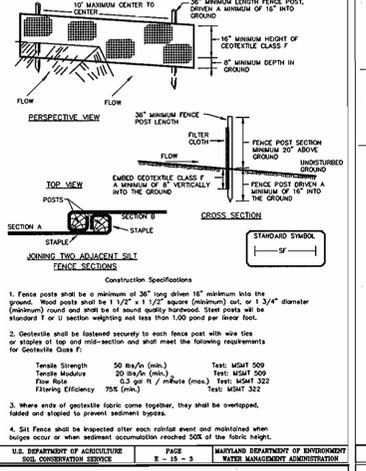


1. The outer pipe should be 48" dia. or shall, in any case, be at least 4" greater in diameter than the center pipe. The outer pipe shall be wrapped with 1/2" hardware cloth to prevent silt from entering the pump.

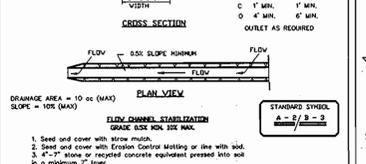
DETAIL 16 - CONCENTRIC TRASH RACK AND ANTI-VORTEX DEVICE

Table with columns: Riser Diameter, Trash Rack Depth, Minimum Size, Maximum Top, Thickness, Stiffener. Lists specifications for various riser diameters from 12" to 72".

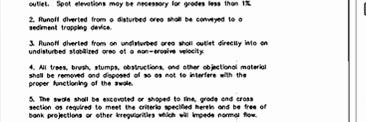
DETAIL 22 - SILT FENCE



1. Fence posts shall be a minimum of 30" diameter when 18" minimum into the ground. Flood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 1/4" diameter round (minimum) cut.



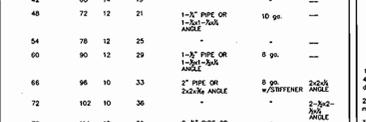
1. Gabion inflow protection shall be constructed of 9" x 3" x 9" gabion baskets forming a V-shaped cross section 1' deep, with 2:1 side slopes, and a 3' bottom width.



1. The outer pipe should be 48" dia. or shall, in any case, be at least 4" greater in diameter than the center pipe. The outer pipe shall be wrapped with 1/2" hardware cloth to prevent silt from entering the pump.

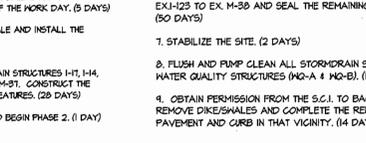
DETAIL 16 - CONCENTRIC TRASH RACK AND ANTI-VORTEX DEVICE (continued)

Continuation of the table for Detail 16, listing specifications for riser diameters from 12" to 72".

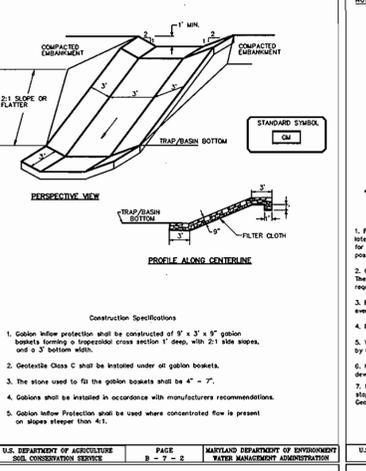


1. Attach a continuous piece of wire mesh (30" minimum width by three foot length plus 2") to the 2" x 4" wire (minimum three foot length plus 2") to be shown on the standard drawing.

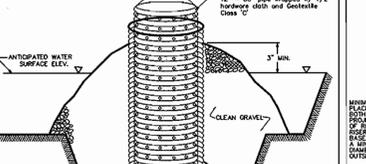
SEDIMENT AND EROSION CONTROL SEQUENCE OF CONSTRUCTION



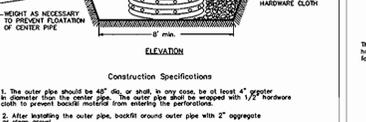
DETAIL 33 - SUPER SILT FENCE



1. Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Design for Drain Line Fencing. The specification for a 6' fence shall be used, substituting 42" for 6' and 9' for 6'.

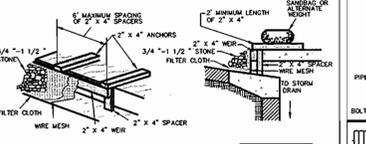


1. The riser shall have a base constructed with a water-tight connection and shall have sufficient weight to prevent flotation of the riser. Two approved bases for risers 12" in height are:



1. Site Preparation: Perimeter sediment control devices must be installed prior to clearing and grading. Areas where the embankment is to be placed shall be cleared, graded, and stripped of topsoil to remove trees, vegetation, roots or other objectionable material.

DETAIL 17 - TYPES OF COUPLERS FOR CORRUGATED STEEL PIPE



1. Site Preparation: Perimeter sediment control devices must be installed prior to clearing and grading. Areas where the embankment is to be placed shall be cleared, graded, and stripped of topsoil to remove trees, vegetation, roots or other objectionable material.

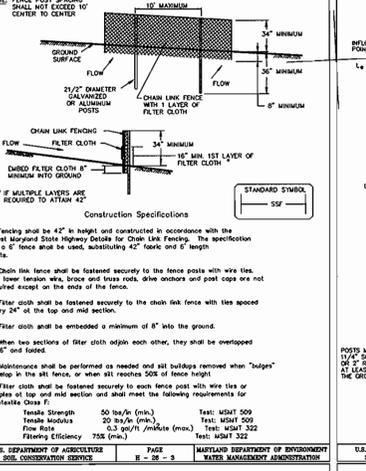
2. Cut-off Trench: A cut-off trench shall be excavated along the centerline of earth fill embankment. The minimum depth shall be four feet. The cut-off trench shall extend to both abutments to the riser crest elevation.

3. Embankment: The fill material shall be taken from approved areas shown on the plans. It shall be clean mineral soil free of roots, woody vegetation, oversized stones, rocks, or other objectionable material.

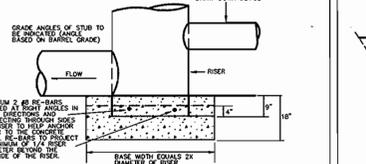
4. Principal Spillway: Steel risers shall be securely attached to the barrel or barrel stub by welding the full circumference making a water-tight connection. Concrete risers shall be poured with the principal spillway in place or precast with voids around the principal spillway filled with concrete or brick grout for water-tight connection.

5. Final Disposal: When temporary structures have served their intended purpose and the contributing drainage area has been properly stabilized, the embankment and resulting sediment deposits are to be leveled or otherwise disposed of in accordance with the approved sediment control plan.

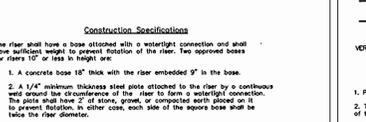
DETAIL 18 - SEDIMENT BASIN BAFFLES



1. Partitions in the draw-down device may not extend into the wet storage. 2. The total area of the partitions must be greater than 4 times the area of the internal orifice.

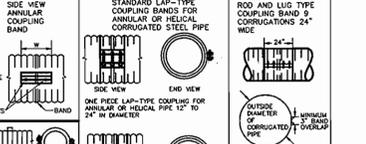


1. Partitions in the draw-down device may not extend into the wet storage. 2. The total area of the partitions must be greater than 4 times the area of the internal orifice.



1. The outer pipe should be 48" dia. or shall, in any case, be at least 4" greater in diameter than the center pipe. The outer pipe shall be wrapped with 1/2" hardware cloth to prevent silt from entering the pump.

DETAIL 17 - TYPES OF COUPLERS FOR CORRUGATED STEEL PIPE



1. Site Preparation: Perimeter sediment control devices must be installed prior to clearing and grading. Areas where the embankment is to be placed shall be cleared, graded, and stripped of topsoil to remove trees, vegetation, roots or other objectionable material.

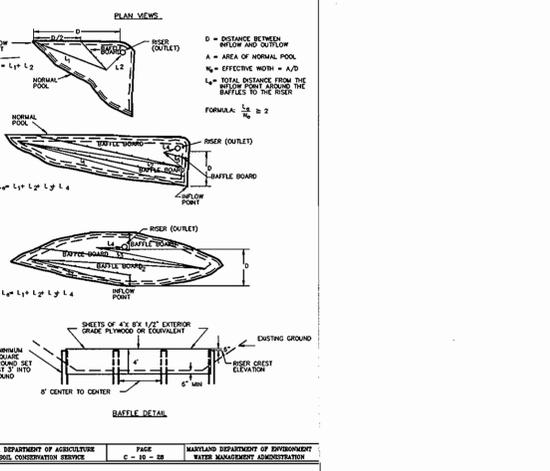
2. Cut-off Trench: A cut-off trench shall be excavated along the centerline of earth fill embankment. The minimum depth shall be four feet. The cut-off trench shall extend to both abutments to the riser crest elevation.

3. Embankment: The fill material shall be taken from approved areas shown on the plans. It shall be clean mineral soil free of roots, woody vegetation, oversized stones, rocks, or other objectionable material.

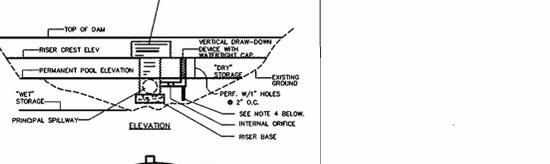
4. Principal Spillway: Steel risers shall be securely attached to the barrel or barrel stub by welding the full circumference making a water-tight connection. Concrete risers shall be poured with the principal spillway in place or precast with voids around the principal spillway filled with concrete or brick grout for water-tight connection.

5. Final Disposal: When temporary structures have served their intended purpose and the contributing drainage area has been properly stabilized, the embankment and resulting sediment deposits are to be leveled or otherwise disposed of in accordance with the approved sediment control plan.

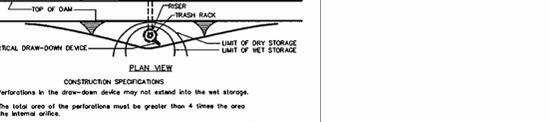
DETAIL 16 - CONCENTRIC TRASH RACK AND ANTI-VORTEX DEVICE



1. The above trash rack and anti-vortex device information is only for corrugated metal pipe. Concrete risers must meet the requirements of MD 37B.

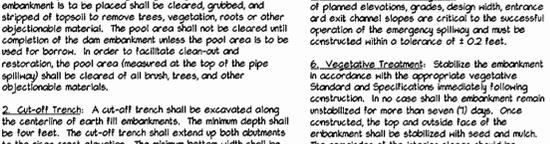


1. Attach a continuous piece of wire mesh (30" minimum width by three foot length plus 2") to the 2" x 4" wire (minimum three foot length plus 2") to be shown on the standard drawing.



1. Site Preparation: Perimeter sediment control devices must be installed prior to clearing and grading. Areas where the embankment is to be placed shall be cleared, graded, and stripped of topsoil to remove trees, vegetation, roots or other objectionable material.

DETAIL 17 - TYPES OF COUPLERS FOR CORRUGATED STEEL PIPE



1. Site Preparation: Perimeter sediment control devices must be installed prior to clearing and grading. Areas where the embankment is to be placed shall be cleared, graded, and stripped of topsoil to remove trees, vegetation, roots or other objectionable material.

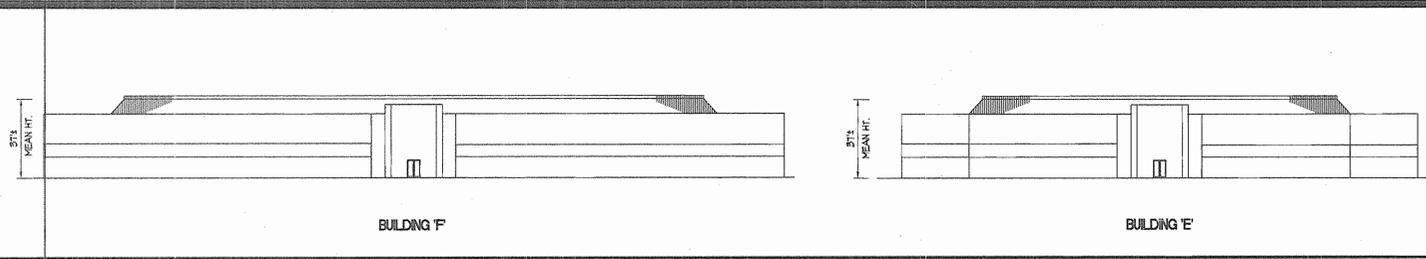
2. Cut-off Trench: A cut-off trench shall be excavated along the centerline of earth fill embankment. The minimum depth shall be four feet. The cut-off trench shall extend to both abutments to the riser crest elevation.

3. Embankment: The fill material shall be taken from approved areas shown on the plans. It shall be clean mineral soil free of roots, woody vegetation, oversized stones, rocks, or other objectionable material.

4. Principal Spillway: Steel risers shall be securely attached to the barrel or barrel stub by welding the full circumference making a water-tight connection. Concrete risers shall be poured with the principal spillway in place or precast with voids around the principal spillway filled with concrete or brick grout for water-tight connection.

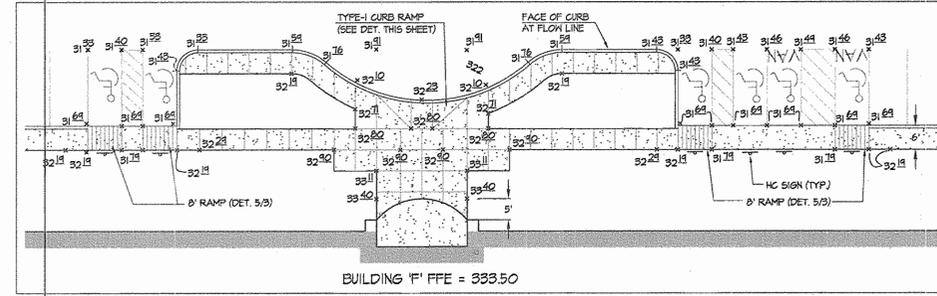
5. Final Disposal: When temporary structures have served their intended purpose and the contributing drainage area has been properly stabilized, the embankment and resulting sediment deposits are to be leveled or otherwise disposed of in accordance with the approved sediment control plan.

THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY! SEDIMENT CONTROL NOTES & DETAILS COLUMBIA GATEWAY PARCELS N-14, E-11, N-13



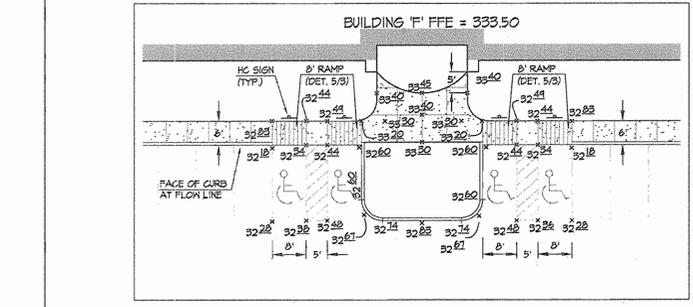
BUILDING FRONT ELEVATIONS

SCALE: 1"=40'

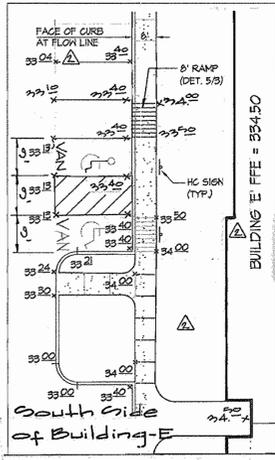


WEST SIDE OF BUILDING-F

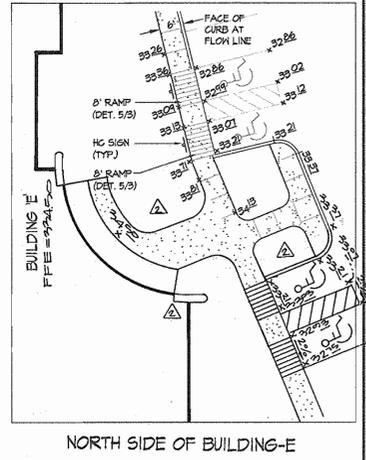
SEE SHEET 3 FOR APPLICABLE HANDICAP PARKING DETAILS (1-5 & 8)



EAST SIDE OF BUILDING-F



South Side of Building-E



NORTH SIDE OF BUILDING-E

HANDICAP ACCESSIBILITY DETAILS

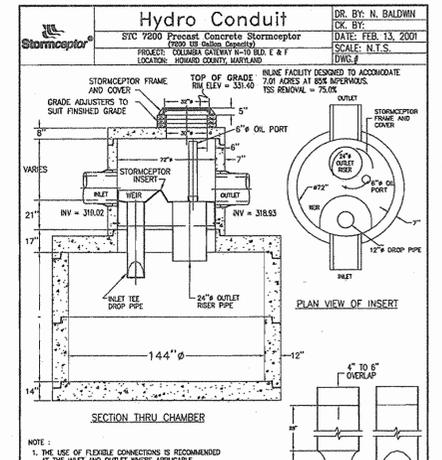
SCALE: 1"=20'

**STORMCEPTOR CONSTRUCTION SEQUENCE**  
 THE CONCRETE STORMCEPTOR IS INSTALLED IN SECTIONS IN THE FOLLOWING SEQUENCE:  
 1. AGGREGATE BASE  
 2. BASE SLAB  
 3. TREATMENT CHAMBER SECTIONS  
 4. TRANSITION SLAB (IF REQUIRED)  
 5. BY-PASS SECTION  
 6. CONCRETE INLET AND OUTLET PIPES  
 7. RISER SECTION AND/OR TRANSITION SLAB (IF REQUIRED)  
 8. MAINTENANCE RISER SECTIONS (IF REQUIRED)  
 9. FRAME AND ACCESS COVER  
 \*\*\* STRUCTURE BACKFILL SHALL CONFORM TO THE LATEST MD-STD STANDARDS.

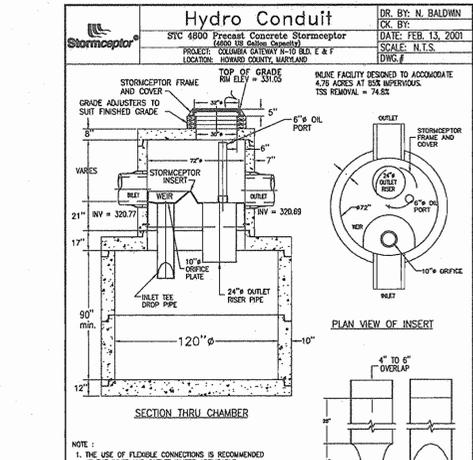
**MAINTENANCE NOTES**  
 1. ROUTINE INSPECTION OF BOTH HQ-A AND HQ-B IS REQUIRED EVERY 6 MONTHS.  
 2. THE CLEANOUT DEPTH FOR BOTH HQ-A AND HQ-B IS 14 INCHES.  
 3. STRICT ADHERENCE TO THE MANUFACTURERS RECOMMENDATIONS IS REQUIRED.

**SHOP DRAWINGS**  
 STRUCTURAL SHOP DRAWINGS AND FLOTATION COMPUTATIONS MUST BE SUBMITTED TO THE DESIGN ENGINEER AS WELL AS TO HOWARD COUNTY P.E.D. PRIOR TO FABRICATION. THESE DRAWINGS AND COMPUTATIONS MUST BE SIGNED AND SEALED BY A LICENSED STRUCTURAL ENGINEER. BOTH STRUCTURES MUST BE DESIGNED TO HQ LOADINGS STANDARDS. BOTH STRUCTURES ARE TO BE PRECAST.

**POST SEDIMENT CONTROL**  
 FOLLOWING THE STABILIZATION OF THE ENTIRE SITE, HQ-A AND HQ-B ARE TO BE FLUSHED AND PUMPED FREE OF ALL SEDIMENT AND DEBRIS.



WATER QUALITY FACILITY B (WQ-B)

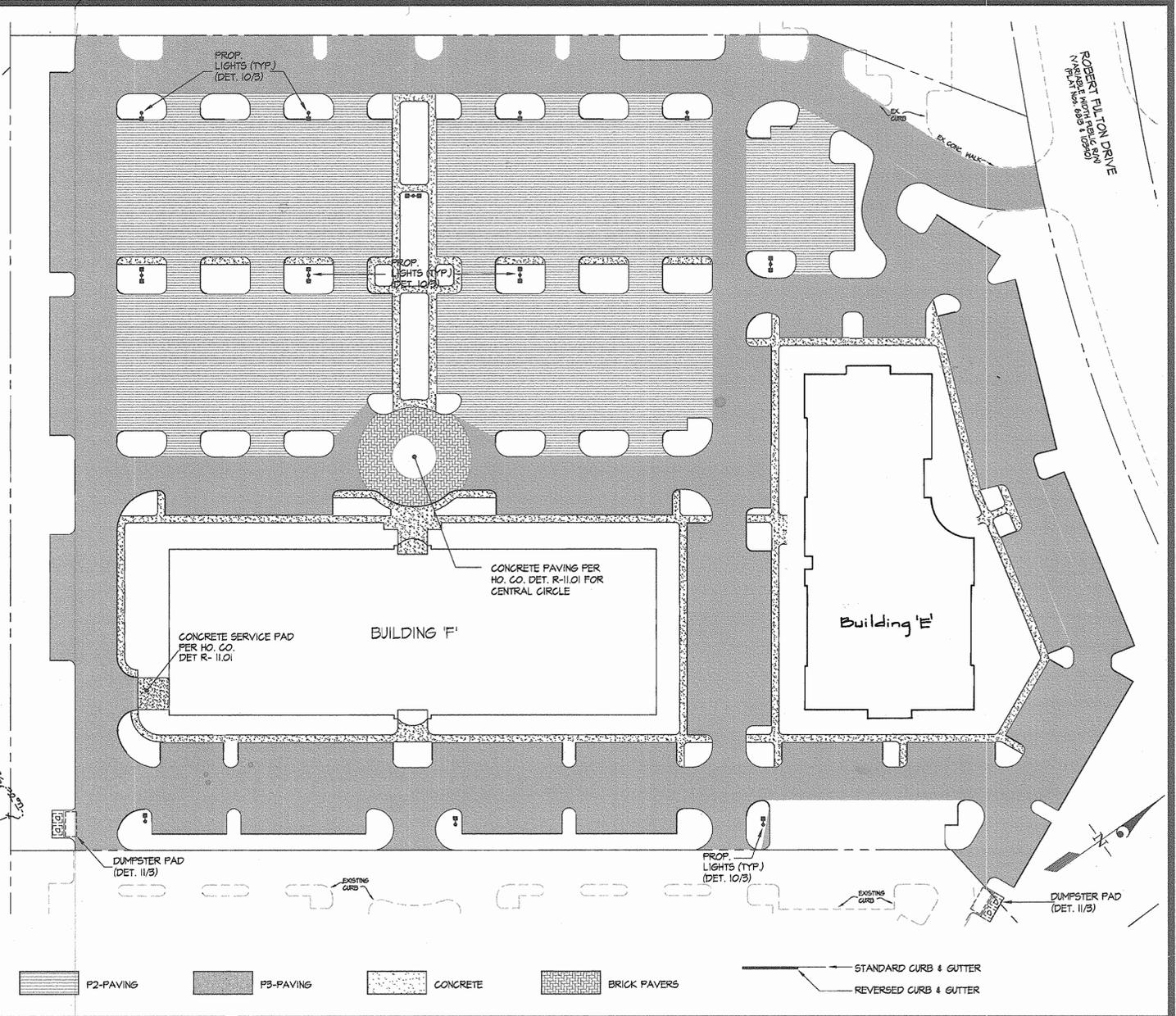


WATER QUALITY FACILITY A (WQ-A)

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *[Signature]* Date: 12/12/04  
 Chief, Division of Land Development: *[Signature]* Date: 12/13/04  
 Chief, Development Engineering Division: *[Signature]* Date: 1/22/05

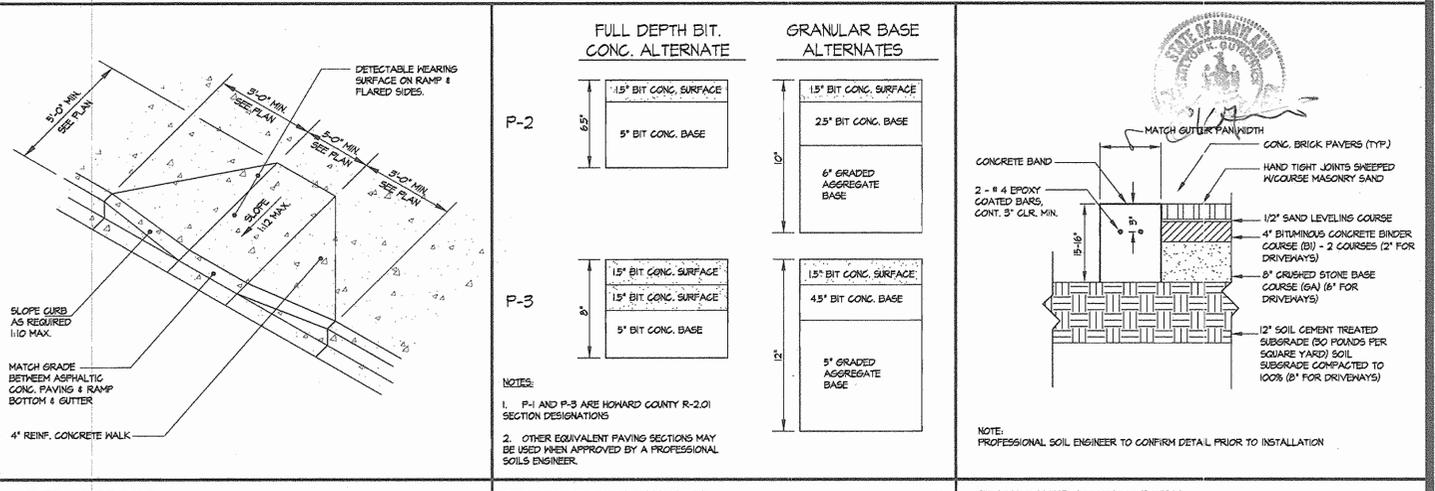
**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 FAX: 301-421-4186

REV.	DESCRIPTION	BY	DATE
1	Modify Bldg. E to Final Design, Relocate 24" HC Pipes to Front of Bldg.	WJ	



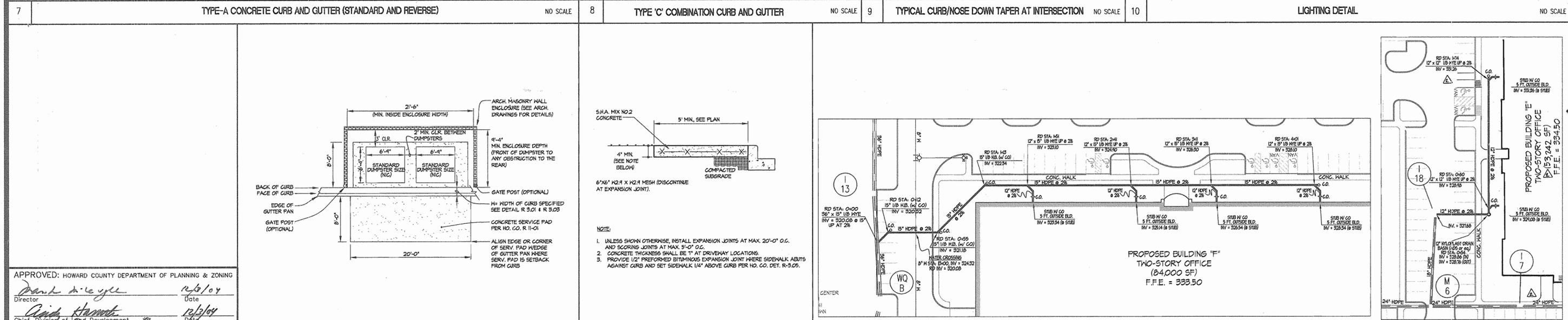
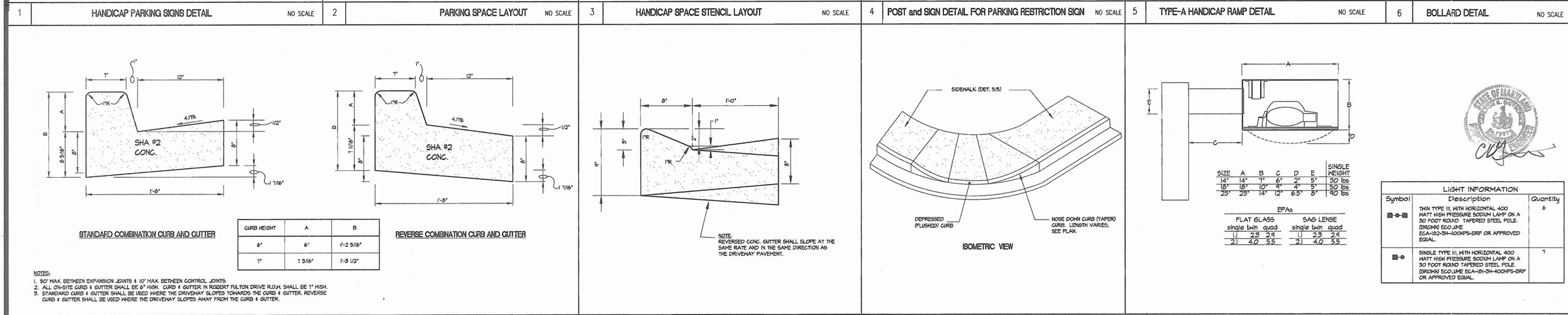
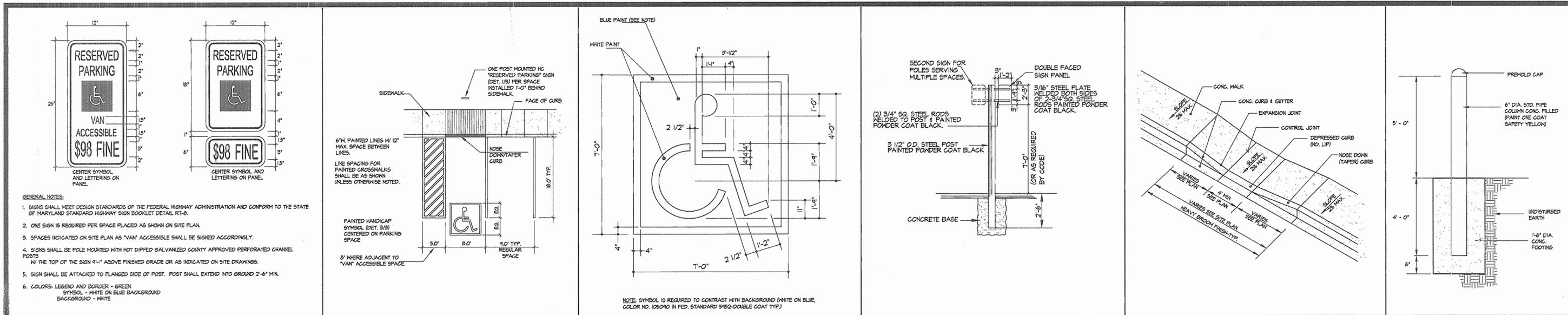
PAVING DELINEATION + LIGHTING PLAN

SCALE: 1"=100'



TYPE-1 CURB RAMP NO SCALE BITUMINOUS PAVING SECTIONS NO SCALE BRICK PAVEMENT SECTION DETAIL NO SCALE

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	M-1	04031
DATE	TAX MAP - GRID	SHEET
NOV., 2004	42 - 12	4 OF 10



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Frank A. LeVelle* Date: 12/6/04

Chief, Division of Land Development: *Chris Hammett* Date: 12/3/04

Chief, Development Engineering Division: *Mike* Date: 11/24/04

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-885-1820 DC/VA: 301-985-2524 FAX: 301-421-4186

PREPARED FOR: GATEWAY 70 LLC  
 7061 Columbia Gateway Drive  
 COLUMBIA, MARYLAND 21046  
 PH: 410-290-1400 ext. 1461  
 ATTN: MR. R. Colfax Schnorf Jr.

**SITE/HANDICAP ACCESSIBILITY DETAILS**  
**COLUMBIA GATEWAY**  
 PARCELS 'N-14' & 'N-15'  
 PLAT NO. 14298, 17095

SCALE: AS SHOWN ZONING: M-1 G. L. W. FILE NO.: 04031  
 DATE: NOV, 2004 TAX MAP - GRID: 42 - 12 SHEET: 3 OF 10

DATE: 12/22/04 BY: [Signature] APPR: [Signature]

REVISION: Modified Bldg. E to Final Design Relocated H.C. Spaces to Front of Bldg.

ELECTION DISTRICT No. 6 HOWARD COUNTY, MARYLAND