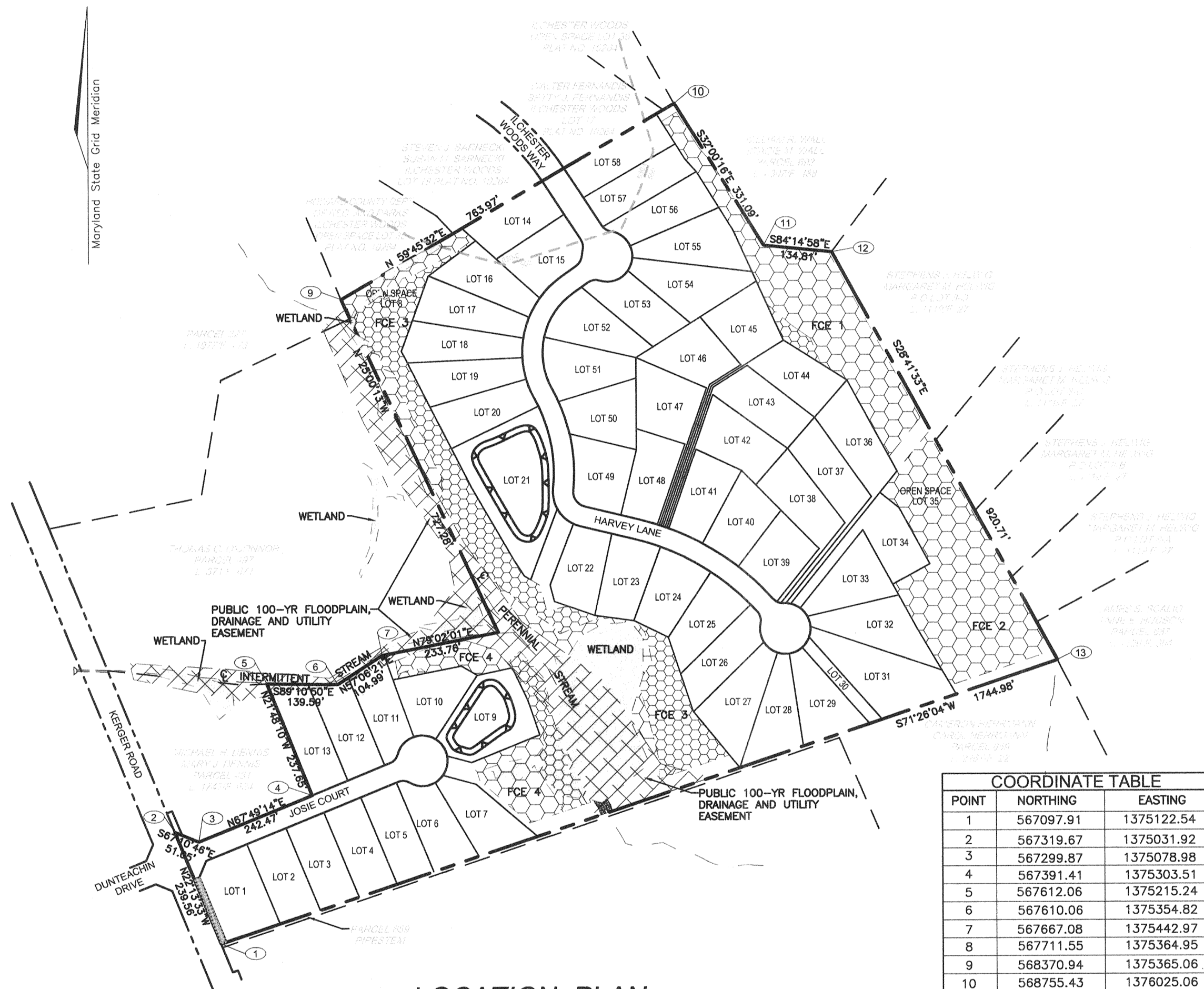


**GENERAL NOTES**

- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
  - MISS UTILITY 1-800-257-7777
  - VERIZON TELEPHONE 725-9976
  - HOWARD COUNTY BUREAU OF UTILITIES: 313-2366
  - AT&T CABLE LOCATION DIVISION: 393-3553
  - B.G.&E. CO. CONTRACTOR SERVICES: 850-4620
  - B.G.&E. CO. UNDERGROUND DAMAGE CONTROL: 787-4620
  - STATE HIGHWAY ADMINISTRATION: 531-5533
- SITE ANALYSIS:
  - TOTAL AREA OF SITE: 31.37 AC
  - PRESENT ZONING: R-20
  - LIMIT OF DISTURBANCE: 16.87 AC
  - PROPOSED USE OF SITE: SINGLE FAMILY DETACHED DWELLINGS
  - AREA OF OPEN SPACE REQUIRED: 30% OR 9.41 AC
  - AREA OF CREDITED OPEN SPACE PROVIDED: 36% OR 10.76 AC
  - AREA OF NON-CREDITED OPEN SPACE: 0.09 AC
  - TOTAL AREA OF OPEN SPACE PROVIDED: 10.84% OR 34.6%
- PROJECT BACKGROUND:
  - LOCATION: TAX MAP 31, PARCEL 226, GRID 21
  - ZONING: R-20
  - DEED REFERENCE: 5347/533
  - DPZ REFERENCES: S-01-06, P-02-27, WP-03-07 (APP. 11/05/02), F-04-74, 14-4078-D
- ALL ASPECTS OF THE PROJECT ARE IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- THE PROJECT BOUNDARY IS BASED ON A SURVEY PREPARED BY FREDERICK WARD ASSOCIATES, DATED DECEMBER 2001.
- THE TOPOGRAPHY SHOWN HEREON IS BASED ON AERIAL PHOTOGRAMMETRIC SURVEY PREPARED BY GREENMAN PEDERSON, DATED FEBRUARY 2001.
- COORDINATE DATUM IS BASED ON THE MARYLAND COORDINATE SYSTEM (NAD 83) AS PROJECTED BY THE FOLLOWING HOWARD COUNTY GEODETIC CONTROL STATIONS: 31EA & 31EB.
- WATER AND SEWER FOR THIS PROJECT WILL BE PUBLIC AND PROVIDED THROUGH CONTRACT NO. 14-4078-D.
- THE DISTURBANCE TO THE STEEP SLOPES FOR THE 8" SEWER CONTRACT NO. 14-4078-D HAS BEEN DEEMED NECESSARY IN ACCORDANCE WITH SECTION 16.116(c) OF THE HOWARD COUNTY SUBDIVISION & LAND DEVELOPMENT REGULATIONS PER F-04-74.
- STORMWATER MANAGEMENT IS PROVIDED FOR THIS DEVELOPMENT. THE TWO STORMWATER MANAGEMENT FACILITIES ARE LOCATED ON OPEN SPACE LOTS 9 AND 21 AND WILL BE PRIVATELY OWNED AND MAINTAINED BY THE HOA. BOTH POND #1 AND POND #2 ARE MICROPOOL EXTENDED DETENTION FACILITIES PROVIDING THE REQUIRED WQv AND CPv FOR THE DEVELOPMENT. BOTH FACILITIES ARE HAZARD CLASS 'A'.
- STORMWATER MANAGEMENT SOIL BORINGS FOR THIS SITE ARE BASED ON A GEOTECHNICAL ANALYSIS PREPARED BY HILLS-GARNES ENGINEERING ASSOC. DATED JANUARY, 2002.
- WETLANDS AND STREAMS SHOWN ON-SITE ARE BASED ON A FIELD INVESTIGATION BY EXPLORATION RESEARCH, DATED JUNE 2000, AND THE AERIAL PHOTOGRAMMETRIC SURVEY PREPARED BY GREENMAN PEDERSON.
- FLOODPLAIN SHOWN ON-SITE IS BASED ON A STUDY PREPARED BY FREDERICK WARD ASSOC. DATED MAY 2002.
- A FOREST STAND DELINEATION PLAN WAS PREPARED FOR THIS SITE BY FREDERICK WARD ASSOCIATES, DATED FEBRUARY, 2001, AND APPROVED UNDER S-01-06.
- FOREST CONSERVATION PLAN PREPARED BY FREDERICK WARD ASSOCIATES, DATED JANUARY 2002. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1202 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY THE RETENTION OF EXISTING FOREST IN THE AMOUNT OF 4.89 ACRES, ON-SITE REFORESTATION IN THE AMOUNT OF 2.03 AC. AND FEE-IN-LIEU OF \$6,534.00 FOR THE REMAINING 0.30 AC OF REFORESTATION. TOTAL OBLIGATION FOR THIS SITE IS 4.89 AC OF RETENTION AND 2.33 AC OF REFORESTATION, FINANCIAL SURETY IN THE AMOUNT OF \$86,815.00 HAS BEEN PAID WITH THE FC MAINTENANCE AGREEMENT UNDER F-04-074.
- NO CLEARING, GRADING, OR CONSTRUCTION IS PERMITTED WITHIN THE WETLANDS, STREAMS, OR THEIR BUFFERS, AND THE FOREST FOREST CONSERVATION PLAN IS IN EFFECT.
- APFO TRAFFIC STUDY PREPARED BY THE TRAFFIC GROUP, DATED AUGUST 2000, AND APPROVED UNDER S-01-06.
- PERIMETER AND STORMWATER MANAGEMENT LANDSCAPING REQUIREMENTS AS SET FORTH IN SECTION 16.124 OF THE SUBDIVISION REGULATIONS, THE HOWARD COUNTY LANDSCAPE MANUAL AND PB-352 (APP. 6/13/01) SHALL BE COMPLIED WITH. A FINANCIAL SURETY IN THE AMOUNT OF \$18,350.00 FOR THE REQUIRED 40 SHADE TREES AND 29 EVERGREEN TREES HAS BEEN PAID AS A PART OF THE DEVELOPER'S AGREEMENT UNDER F-04-074. FINANCIAL SURETY FOR THE REQUIRED PERIMETER LANDSCAPING PROVIDED WITH THIS SDP IN THE AMOUNT OF \$8,400.00 FOR 17 SHADE TREES AND 22 EVERGREEN TREES TO BE PAID AS PART OF THE BUILDER'S GRADING PERMIT.
- STREET TREES ARE REQUIRED FOR THIS PROJECT IN ACCORDANCE WITH SECTION 16.124(e)(1) OF THE SUBDIVISION REGULATIONS AND THE LANDSCAPE MANUAL. A FINANCIAL SURETY IN THE AMOUNT OF \$21,900.00 HAS BEEN PAID AS PART OF THE DEVELOPER'S AGREEMENT FOR THE REQUIRED 73 STREET TREES UNDER F-04-074.
- TREE PROTECTION FENCING WILL BE PROVIDED AT THE LIMITS OF DISTURBANCE WHERE GRADING IS ADJACENT TO FOREST CONSERVATION RETENTION AREAS AND SENSITIVE ENVIRONMENTAL AREAS, SUCH AS STREAM BUFFERS AND STEEP SLOPES.
- STREET LIGHTING HAS BEEN PROVIDED FOR THE PUBLIC ROAD IN ACCORDANCE WITH SECTION 16.135 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE DESIGN MANUAL. A MINIMUM OF 20' SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY TREE.
- SEDIMENT AND EROSION CONTROL HAS BEEN PROVIDED FOR THIS SITE.
- THIS PROPERTY IS WITHIN THE METROPOLITAN DISTRICT.
- TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO BURIAL/CEMETARY LOCATIONS ON SITE.
- A NOISE STUDY IS NOT REQUIRED FOR THIS SITE.
- OPEN SPACE LOTS 9, 21 AND 34 TO BE PRIVATELY OWNED AND MAINTAINED BY THE HOA. OPEN SPACE LOTS 8 AND 35 TO BE OWNED AND MAINTAINED BY HOWARD COUNTY DEPT. OF RECREATION AND PARKS.
- FOR FLAG OR PIPE STEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPE STEM AND THE ROAD RIGHT-OF-WAY ONLY AND NOT ONTO THE FLAG OR PIPE STEM DRIVEWAY.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DEWELLINGS TO ENSURE SAFE ACCESS FOR FIRE EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
  - A. WIDTH - 12 (14' FOR SERVING MORE THAN ONE RESIDENCE)
  - B. SURFACE - 6" OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" MIN)
  - C. GEOMETRY - MAX 15% GRADE, MAX 10% GRADE CHANGE, AND MIN 45' TURNING RADIUS
  - D. STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING)
  - E. DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT OF DEPTH OVER DRIVEWAY SURFACE
  - F. MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE
- WP-03-07: A WAIVER PETITION HAS BEEN SUBMITTED AND APPROVED, DATED NOVEMBER 5, 2002, TO WAIVE SECTION 16.147 TO WAIVE THE REQUIREMENT OF A FINAL SUBDIVISION PLAN/PLAN AND PERMIT THE ADJUSTMENT OF THE PROPERTY LINES AND ACRES OF PARCELS 226, 327, 431 AND 497 TO BE DONE BY ADJOINER DEED CONVEYANCE. APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
  - A. THE ADJOINER TRANSFERS OF LAND SHALL BE ACCOMPLISHED PRIOR TO SUBMISSION OF THE FUTURE SUBDIVISION PLAN FOR THIS PROJECT, AND THE NEW DEED RECORDING NUMBER SHALL BE INDICATED WHERE REQUIRED ON THE FUTURE FINAL SUBDIVISION PLATS AND PLANS.
  - THIS WAIVER IS VALID FROM 11/5/02 TO 11/5/03 OR AS LONG AS THE SUBDIVISION REMAINS IN ACTIVE PROCESSING.
- AS A CONSEQUENCE OF ITS SUBMISSION PRIOR TO NOVEMBER 15, 2001, THIS SUBDIVISION PLAN IS GRANDFATHERED TO THE FOURTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND BECAUSE THE PRELIMINARY PLAN WAS NOT APPROVED PRIOR TO NOVEMBER 1, 2001, THIS PROJECT IS SUBJECT TO COMPLIANCE WITH COUNTY COUNCIL BILL 50-2001, WHICH AMENDED PORTIONS OF THE ZONING REGULATIONS. DEVELOPMENT OR CONSTRUCTION ON THESE LOTS MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SDP OR BUILDING/GRADING PERMITS.
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS. OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT REAR YARD SETBACK.
- FOR ALL DRYWELLS AFFECTIVE AREAS MUST BE ENTIRELY IN CUT.

# SITE DEVELOPMENT PLAN DENNIS PRESERVE LOTS 1-58 HOWARD COUNTY, MARYLAND



**LOCATION PLAN**  
SCALE: 1" = 100'

POINT	NORTHING	EASTING
1	567097.91	1375122.54
2	567319.67	1375031.92
3	567299.87	1375078.98
4	567391.41	1375303.51
5	567612.06	1375215.24
6	567610.06	1375354.82
7	567667.08	1375442.97
8	567711.55	1375364.95
9	568370.94	1375365.06
10	568755.43	1376025.06
11	568474.86	1376200.53
12	568461.15	1376334.67
13	567653.00	1376776.71

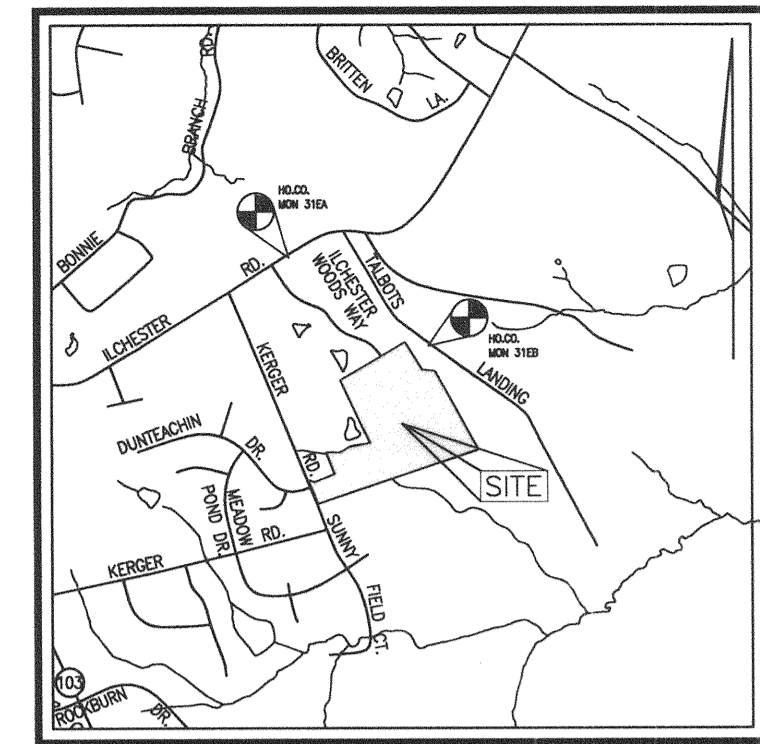
AREA TABULATION	TOTAL
NUMBER OF BUILDABLE LOTS TO BE RECORDED.....	52
NUMBER OF NON-BUILDABLE LOTS TO BE RECORDED.....	1
NUMBER OF OPEN SPACE LOTS TO BE RECORDED.....	5
NUMBER OF LOTS TO BE RECORDED.....	58
AREA OF BUILDABLE LOTS TO BE RECORDED.....	18.3229 AC
AREA OF NON-BUILDABLE LOTS TO BE RECORDED.....	0.1144 AC
AREA OF OPEN SPACE LOTS TO BE RECORDED.....	10.8393 AC
AREA OF LOTS TO BE RECORDED.....	29.2766 AC
AREA OF ROADWAY TO BE RECORDED.....	2.0942 AC
AREA TO BE RECORDED.....	31.3708 AC

**PERMIT INFORMATION CHART**

PROJECT NAME		SECTION/AREA	LOT/PARCEL
DENNIS PRESERVE, LOTS 1-58		N/A	226
PLAT REF	BLOCK NO	ZONE	TAX MAP ELECT DIST CENSUS TR
17153 THRU 17159	21	R-20	31 1ST 6011.01
WATER CODE:		D-03	SEWER CODE: 2155000

**SHEET INDEX**

DESCRIPTION	SHEET NO
COVER SHEET	1 OF 7
SITE DEVELOPMENT AND SEDIMENT AND EROSION CONTROL PLAN	2 OF 7
SITE DEVELOPMENT, LANDSCAPE AND SEDIMENT AND EROSION CONTROL PLAN	3 OF 7
SITE DEVELOPMENT AND SEDIMENT AND EROSION CONTROL PLAN	4 OF 7
SITE DEVELOPMENT AND SEDIMENT AND EROSION CONTROL PLAN	5 OF 7
SEDIMENT AND EROSION CONTROL NOTES AND DETAILS	6 OF 7
HOUSE TYPES	7 OF 7



**VICINITY MAP**  
SCALE: 1" = 2000'

**BENCHMARK ESTIMATION**

NO	NORTHING	EASTING	ELEVATION
31EA	569641.123	1374815.935	469.603
31EB	568730.984	1376273.491	453.396

**ADDRESS CHART**

LOT NO	STREET ADDRESS	LOT NO	STREET ADDRESS
1	5402 JOSIE COURT	30	OPEN SPACE
2	5406 JOSIE COURT	31	5258 HARVEY LANE
3	5410 JOSIE COURT	32	5263 HARVEY LANE
4	5414 JOSIE COURT	33	5259 HARVEY LANE
5	5418 JOSIE COURT	34	OPEN SPACE LOT
6	5422 JOSIE COURT	35	5257 REC. OPEN SPACE
7	5426 JOSIE COURT	36	5255 HARVEY LANE
8	OPEN SPACE LOT	37	5251 HARVEY LANE
9	OPEN SPACE LOT	38	5247 HARVEY LANE
10	5427 JOSIE COURT	39	5243 HARVEY LANE
11	5423 JOSIE COURT	40	5239 HARVEY LANE
12	5419 JOSIE COURT	41	5235 HARVEY LANE
13	5415 JOSIE COURT	42	5106 DAWNS WAY
14	5172 ILCHESTER WOODS WAY	43	5110 DAWNS WAY
15	5200 HARVEY LANE	44	5114 DAWNS WAY
16	5204 HARVEY LANE	45	5115 DAWNS WAY
17	5208 HARVEY LANE	46	5111 DAWNS WAY
18	5212 HARVEY LANE	47	5107 DAWNS WAY
19	5216 HARVEY LANE	48	5231 HARVEY LANE
20	5220 HARVEY LANE	49	5221 HARVEY LANE
21	OPEN SPACE LOT	50	5217 HARVEY LANE
22	5226 HARVEY LANE	51	5213 HARVEY LANE
23	5230 HARVEY LANE	52	5209 HARVEY LANE
24	5234 HARVEY LANE	53	5205 HARVEY LANE
25	5238 HARVEY LANE	54	5201 HARVEY LANE
26	5242 HARVEY LANE	55	5185 ILCHESTER WOODS WAY
27	5246 HARVEY LANE	56	5181 ILCHESTER WOODS WAY
28	5250 HARVEY LANE	57	5177 ILCHESTER WOODS WAY
29	5254 HARVEY LANE	58	5173 ILCHESTER WOODS WAY

**OWNER**

LAND DESIGN & DEVELOPMENT  
8000 MAIN STREET  
ELLICOTT CITY, MD 21043  
ATTN: MR DONALD R REUWER  
(410) 480-9105

**DEVELOPER**

RYAN HOMES  
6085 MARSHALEE DRIVE  
ELK RIDGE, MARYLAND 21075  
ATTN: JOHN LEWIS  
(410) 796-0980

NO.	REVISION	DATE

**COVER SHEET**  
**SITE DEVELOPMENT PLAN**  
**DENNIS PRESERVE**  
LOTS 1-58  
SINGLE FAMILY DETACHED UNITS  
REF: S-01-06, P-02-27, F-04-74  
WP-03-07 (APP 11/05/02)  
TAX MAP: 31 BLOCK: 21 PARCEL: 226  
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

**ROBERT H. VOGEL ENGINEERING, INC.**  
ENGINEERS • SURVEYORS • PLANNERS  
8407 MAIN STREET ELLICOTT CITY, MD 21043 TEL: 410.461.7666 FAX: 410.461.8961

DESIGN BY: RJ  
DRAWN BY: RJ  
CHECKED BY: RHV  
DATE: 02-11-2005  
SCALE: AS SHOWN  
W.O. NO.: 2017019.00  
**1** SHEET OF **7**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DIRECTOR

DATE: 3/1/05  
DATE: 2/18/05  
DATE: 2/18/05

BY THE ENGINEER

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

ROBERT H VOGEL, PE  
DATE: 4/15/05

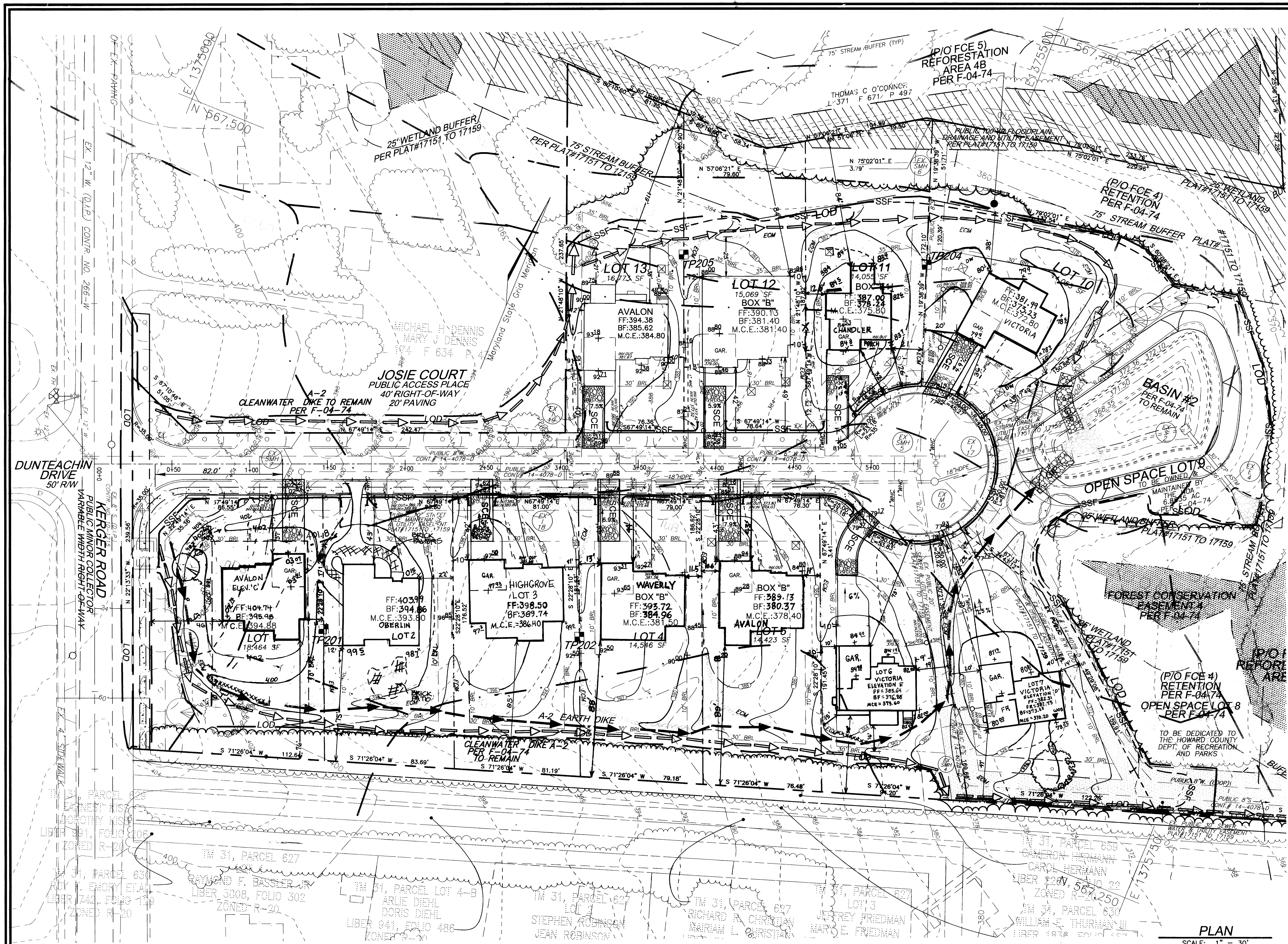
BY THE DEVELOPER

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT."

DATE: 2/18/05

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

USDA - NATURAL RESOURCES CONSERVATION SERVICE  
DATE: \_\_\_\_\_  
THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.  
HOWARD SCD DATE: \_\_\_\_\_



### LEGEND

- EXISTING CONTOUR: --- 382
- PROPOSED CONTOUR: --- 482.52
- SPOT ELEVATION: 482.52
- DIRECTION OF FLOW: [Symbol]
- EXISTING TREES TO REMAIN: [Symbol]
- AREA OF 15 TO 24.9 PERCENT SLOPES AS SHOWN ON F-04-074: [Symbol]
- AREA OF 25 PERCENT OR GREATER SLOPES AS SHOWN ON F-04-074: [Symbol]
- STABILIZED CONSTRUCTION ENTRANCE: [Symbol]
- LIMIT OF DISTURBANCE: LOD
- SILT FENCE: [Symbol]
- SILT FENCE AS SHOWN ON F-04-074 TO REMAIN: [Symbol]
- SUPER SILT FENCE: [Symbol]
- SUPER SILT FENCE AS SHOWN ON F-04-074 TO REMAIN: [Symbol]
- EARTHDIKE: [Symbol]
- EARTHDIKE AS SHOWN ON F-04-074 TO REMAIN: [Symbol]
- EROSION CONTROL MATTING AS SHOWN ON F-04-074 TO REMAIN: [Symbol]
- PROPOSED DRYWELL, TYPICAL (FOR DETAILS AND SPECIFICATIONS SEE SHEET 6 OF 7): [Symbol]
- LANDSCAPING AS SHOWN ON F-04-074: [Symbol]
- STREET TREE AS SHOWN ON F-04-074: [Symbol]
- PROPOSED LANDSCAPING: [Symbol]

NO.	REVISION	DATE
10	REVISE FIRST FLOOR ELEVATIONS & GRADING LOT 1	6/21/05
9	ADD HOUSE FOOTPRINT AND GRADES PER AS-BUILT LOT 2	8/24/05
8	REVISE LOT GRADES PER AS-BUILT LOT 11	1/12/05
7	REVISE FIRST FLOOR ELEVATION AND GRADING LOT 10	6/24/05
NO.	REVISION	DATE

NO.	REVISION	DATE
6	REVISE FIRST FLOOR ELEVATION AND HOUSE LOCATION LOT 3	6/6/05
5	REVISE FIRST FLOOR ELEVATION LOT 6	6/6/05
4	REVISE FIRST FLOOR ELEVATION AND GRADING - LOT 7	5/24/05
3	REVISE FIRST FLOOR ELEVATION AND HOUSE LOCATION - LOT 4	5/12/05
2	REVISE FIRST FLOOR ELEVATION AND HOUSE LOCATION - LOT 5	5/12/05
1	REVISE FIRST FLOOR ELEVATION AND HOUSE LOCATION - LOT 11	5/12/05
NO.	REVISION	DATE

**SITE DEVELOPMENT, SEDIMENT EROSION CONTROL AND LANDSCAPE PLAN**  
**SITE DEVELOPMENT PLAN**  
**DENNIS PRESERVE**  
 LOTS 1 - 58  
 SINGLES FAMILY DETACHED UNITS  
 REF: S-01-06, P-02-27, F-04-74  
 WP-03-07 (APP 11/05/02)

TAX MAP: 31 BLOCK: 21 PARCEL: 226  
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

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 8407 MAIN STREET ELLICOTT CITY, MD 21043  
 TEL: 410.461.7666 FAX: 410.461.8961

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION  
*Carole Kramich*  
 DATE: 3/10/05

CHIEF, DIVISION OF LAND DEVELOPMENT  
*Robert H. Vogel*  
 DATE: 3/10/05

BY THE ENGINEER

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*Robert H. Vogel*  
 SIGNATURE OF ENGINEER  
 ROBERT H. VOGEL, PE  
 DATE: 2/14/05

BY THE DEVELOPER

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT."

*John M. ...*  
 SIGNATURE OF DEVELOPER  
 DATE: 2/14/05

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

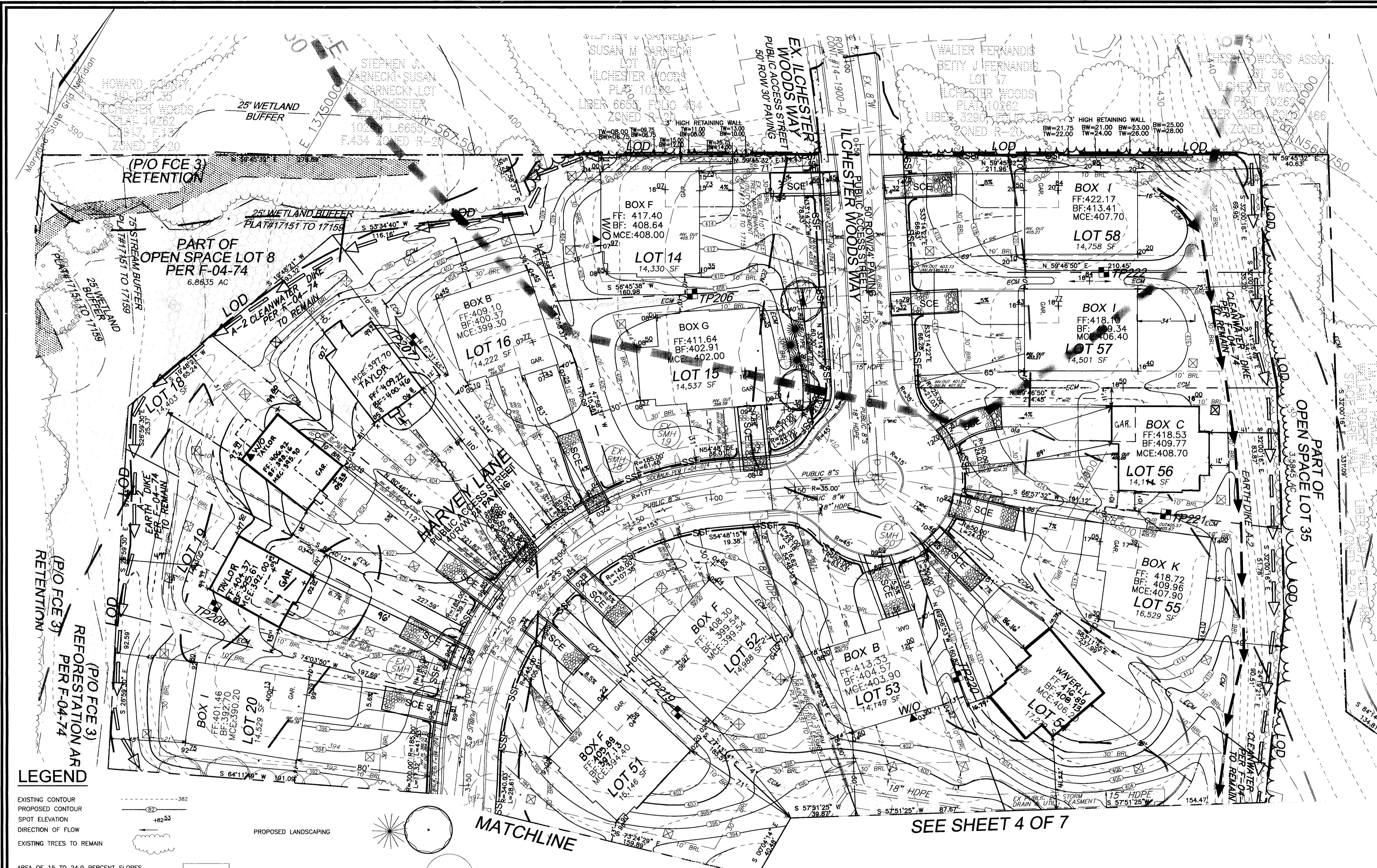
*John M. ...*  
 SIGNATURE OF DEVELOPER  
 DATE: 2/24/05

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

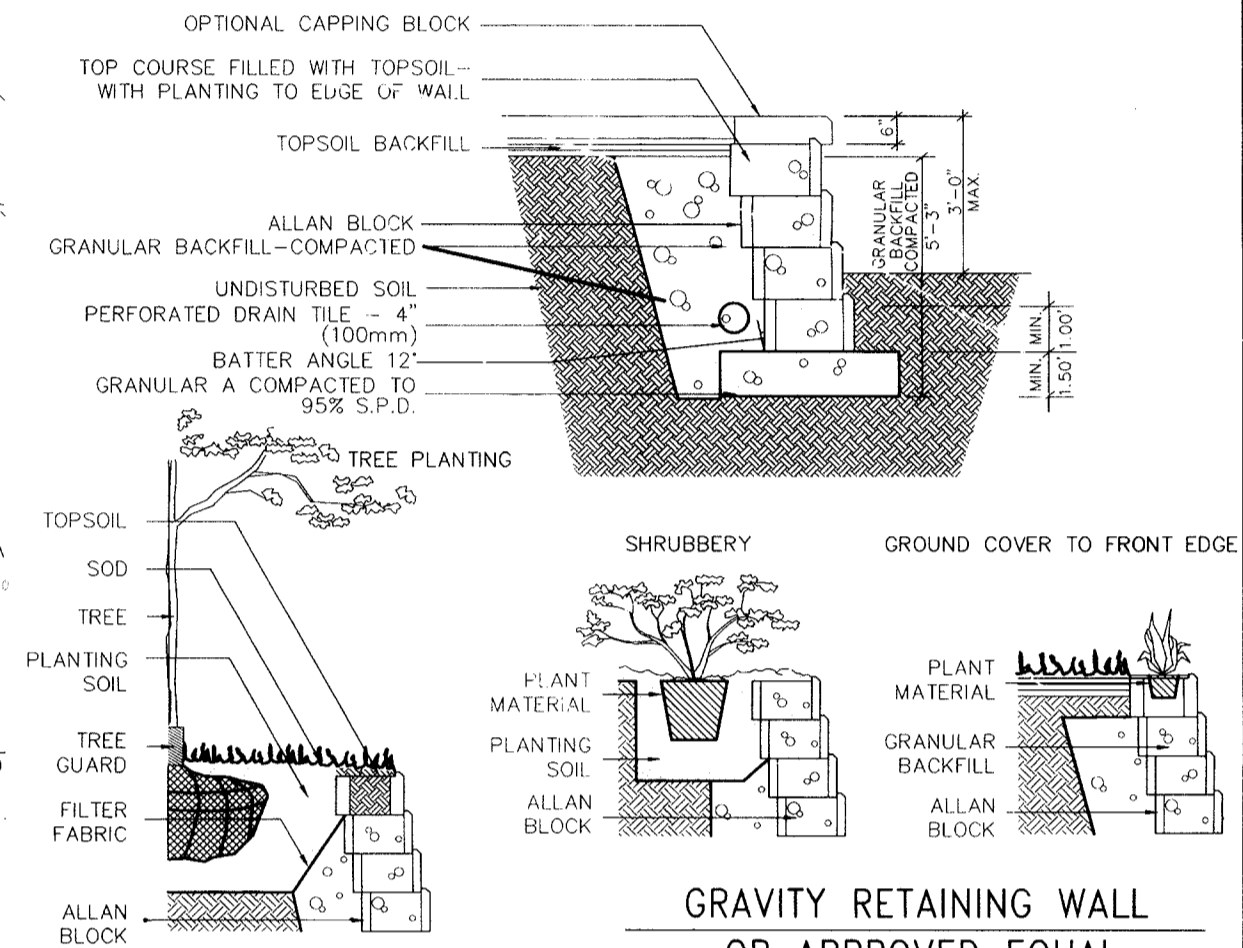
*John M. ...*  
 SIGNATURE OF DEVELOPER  
 DATE: 2/24/05

DESIGN BY: RJ  
 DRAWN BY: RJ  
 CHECKED BY: RHV  
 DATE: 02-11-2005  
 SCALE: AS SHOWN  
 W.O. NO.: 201709.00

2 SHEET OF 7



7400 METRO BLVD, SUITE 185  
EDINA, MN 55439  
TEL: (612) 835-5309  
FAX: (612) 835-0013



- SPECIFICATIONS:**
- EXCAVATE AREA TO LINE AND GRADES AS SHOWN ON CONSTRUCTION DRAWINGS
  - SUBGRADE TO BE FIRM AND UNDISTURBED AND COMPACTED TO 95% S.P.D.
  - BASE MATERIAL SHALL BE GRANULAR A COMPACTED TO 95% S.P.D. AND GRADED TO PROVIDE LEVEL HARD SURFACE ON WHICH TO PLACE THE FIRST COURSE OF UNITS. MIN. THICKNESS - 6" (150mm)
  - PLACE FIRST COURSE A MINIMUM OF 4" (100mm) BELOW FINISHED GRADE. WITH THE RAISED LIP FACING OUT AND THE FRONT EDGES TIGHT TOGETHER. FILL CAVITIES WITH SAND OR CLEAR CRUSHED STONE AND COMPACT. SWEEP CLEAN AND CHECK THE UNITS FOR LEVEL AND ALIGNMENT. BACKFILL FRONT AND BACK OF ENTIRE BASE ROW TO FIRMLY LOCK IN PLACE.
  - INSTALL SUBSEQUENT COURSES IN SIMILAR FASHION PROVIDING A MIN. 5" (125mm) OVERLAP OF SEAMS AND A MIN. OF 12" (305mm) GRANULAR BACKFILL.
  - ALLAN BLOCKS COME IN 3 STYLES - STANDARD BLOCK, ANGLE BLOCK, AND CORNER BLOCK AS WELL AS A STANDARD CAPPING STONE. THE BLOCKS HAVE A COMPRESSIVE STRENGTH OF OVER 4000 PSI (28MPa)
  - A WIDE VARIETY OF DESIGNS CAN BE ACHIEVED INCLUDING INSIDE AND OUTSIDE CORNERS, CURVES AND STEPS. BLOCKS COME IN 5 STANDARD COLOURS: NATURAL, BUFF BROWN, EARTH RANGE, SMOKE BLEND, 8. WALLS HIGHER THAN 6' REQUIRE GEOTEXTILES OR REBAR AND MASONRY CONSTRUCTION - CONSULT MANUF.

**OWNER**  
LAND DESIGN & DEVELOPMENT  
8000 MAIN STREET  
ELLCOTT CITY, MD 21043  
ATTN: MR DONALD R REUWER  
(410) 480-9105

**DEVELOPER**  
RYAN HOMES  
6085 MARSHALEE DRIVE  
ELKRIDGE, MARYLAND 21075  
ATTN: JOHN LEWIS  
(410) 796-0980

5	REVISE HOUSE MODEL LOCATION AND GRADING ON LOT 17	4.4.06
4	ADD TAYLOR MODEL TO LOT 19	2.16.06
3	ADD TAYLOR MODEL TO LOT 18	9.28.05
2	ADD WAVERLY MODEL AND REVISE 1 <sup>ST</sup> FLOOR ELEV LOT 5	7.15.05
1	REVISE HOUSE MODEL AND GRADING LOT 50	6.10.05
NO.	REVISION	DATE

**SITE DEVELOPMENT, SEDIMENT EROSION CONTROL AND LANDSCAPE PLAN**  
**SITE DEVELOPMENT PLAN**  
**DENNIS PRESERVE**  
LOTS 1 - 58  
SINGLE FAMILY DETACHED UNITS  
REF: S-01-06, P-02-27, F-04-74  
WP-03-07 (APP 11/05/02)

TAX MAP: 31 BLOCK: 21 PARCEL: 226  
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

**ROBERT H. VOGEL ENGINEERING, INC.**  
ENGINEERS • SURVEYORS • PLANNERS  
8407 MAIN STREET  
ELLCOTT CITY, MD 21043  
TEL: 410.461.7666  
FAX: 410.461.8961

DESIGN BY: RJ  
DRAWN BY: RJ  
CHECKED BY: RHW  
DATE: 02-11-2006  
SCALE: AS SHOWN  
W.O. NO.: 2017019.00

3 SHEET OF 7

**LEGEND**

EXISTING CONTOUR  
PROPOSED CONTOUR  
SPOT ELEVATION  
DIRECTION OF FLOW  
EXISTING TREES TO REMAIN

AREA OF 15 TO 24.9 PERCENT SLOPES AS SHOWN ON F-04-074  
AREA OF 25 PERCENT OR GREATER SLOPES AS SHOWN ON F-04-074

STABILIZED CONSTRUCTION ENTRANCE

LIMIT OF DISTURBANCE

SILT FENCE  
SUPER SILT FENCE  
EARTHDIKE

EARTHDIKE AS SHOWN ON F-04-074 TO REMAIN  
EROSION CONTROL MATTING AS SHOWN ON F-04-074 TO REMAIN

PROPOSED LANDSCAPING  
STREET TREE AS SHOWN ON F-04-074  
LANDSCAPING AS SHOWN ON F-04-074

PROPOSED DRYWELL, TYPICAL (FOR DETAILS AND SPECIFICATIONS SEE SHEET 6 OF 7)

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DIRECTOR

3/6/05  
3/10/05  
3/10/05

BY THE ENGINEER

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF ENGINEER  
ROBERT H. VOGEL, PE

2/11/05

BY THE DEVELOPER

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

SIGNATURE OF DEVELOPER

2/14/05

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

USDA - NATURAL RESOURCES CONSERVATION SERVICE

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SCD

2/24/05

SEE SHEET 4 OF 7

**PLAN**  
SCALE: 1" = 30'

**LEGEND**

- EXISTING CONTOUR
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- EARTHDIKE AS SHOWN ON F-04-074 TO REMAIN
- EROSION CONTROL MATTING AS SHOWN ON F-04-074 TO REMAIN
- PROPOSED DRYWELL TYPICAL (FOR DETAILS AND SPECIFICATIONS SEE SHEET 6 OF 7)
- LANDSCAPING AS SHOWN ON F-04-074
- STREET TREE AS SHOWN ON F-04-074
- PROPOSED LANDSCAPING

**SCHEDULE A PERIMETER LANDSCAPE EDGE**

CATEGORY	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO ROADWAYS							
		LOT 40	LOT 41	LOT 39	LOT 38	LOT 37	LOT 36	LOT 35	LOT 34
LANDSCAPE TYPE		B	B	B	B	B	B	B	B
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	PER F-04-074	185 LF	165 LF	131 LF	197 LF	82 LF	15 LF	95 LF	49 LF
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)		No	No	No	No	No	No	No	No
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)		No	No	No	No	No	No	No	No
NUMBER OF PLANTS REQUIRED		1:50 3	1:50 3	1:50 3	1:50 4	1:50 2	1:50 2	1:50 2	1:50 2
NUMBER OF PLANTS PROVIDED		1:40 4	1:40 4	1:40 3	1:40 5	1:40 3	1:40 3	1:40 3	1:40 3
LANDSCAPE SURETY AMOUNTS FOR EACH INDIVIDUAL LOT		\$1,500.00	\$1,500.00	\$1,350.00	\$1,950.00	\$1,050.00	\$1,050.00	\$1,050.00	\$1,050.00

**BUILDER'S GRADING PERMIT APPLICATION**  
 FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING PROVIDED PER THE LANDSCAPE MANUAL TO BE POSTED WITH THE BUILDER'S GRADING PERMIT APPLICATION IN THE AMOUNT OF \$8,400 FOR THE REQUIRED 17 SHADE TREES (\$5,100) AND 22 EVERGREEN TREES (\$3,300)

**OWNER**  
 LAND DESIGN & DEVELOPMENT  
 8000 MAIN STREET  
 ELLICOTT CITY, MD 21043  
 ATTN: MR DONALD R REUWER  
 (410) 480-9105

**DEVELOPER**  
 RYAN HOMES  
 6085 MARSHALEE DRIVE  
 ELKBRIDGE, MARYLAND 21075  
 ATTN: JOHN LEWIS  
 (410) 796-0860

**LANDSCAPE SCHEDULE**

KEY	QUAN.	BOTANICAL NAME	SIZE	REM.
QR	17	QUERCUS RUBRA RED OAK	2 1/2" - 3" Col.	B & B
RS	22	PINUS STROBUS EASTERN WHITE PINE	7' - 9' HL.	B & B

- ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT AM SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH LCAMM PLANTING SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE(1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
- FINAL LOCATION OF PLANT MATERIALS MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
- CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.

**NOTE:**  
 A MINIMUM OF 20" IS REQUIRED BETWEEN ANY STREET LIGHT AND ANY TREE

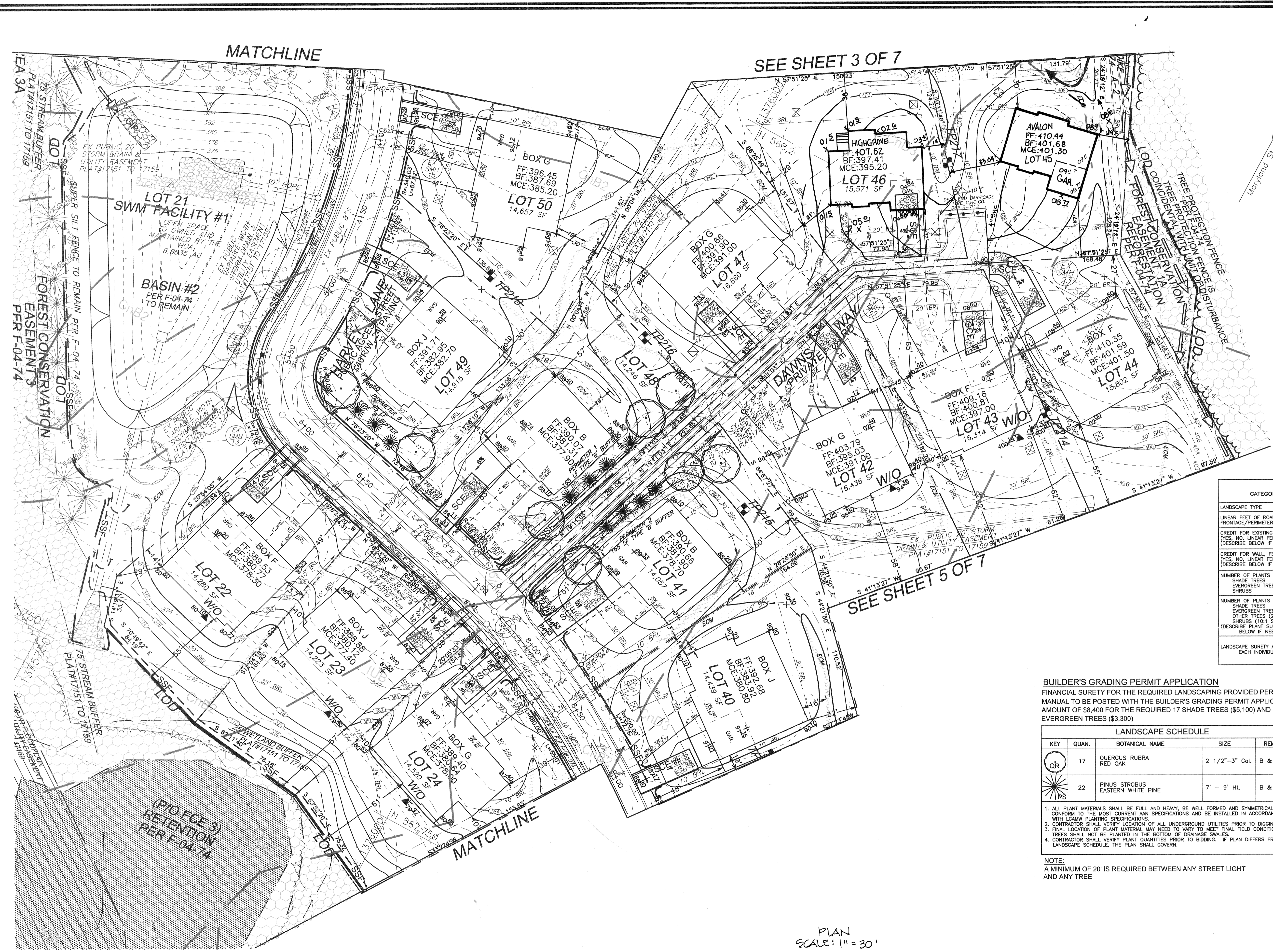
**SITE DEVELOPMENT, SEDIMENT EROSION CONTROL AND LANDSCAPE PLAN**  
**SITE DEVELOPMENT PLAN**  
**DENNIS PRESERVE**  
 LOTS 1-58  
 SITS 1-58 SINGLE FAMILY DETACHED UNITS  
 REF: S-01-06, P-02-27, F-04-74  
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TAX MAP: 31 BLOCK: 21 PARCEL 226  
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

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4 SHEET OF 7



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 DATE: 3/3/05

CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE: 2/10/05

DIRECTOR  
 DATE: 3/10/05

BY THE ENGINEER

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

ROBERT H. VOGEL, PE  
 DATE: 2/10/05

BY THE DEVELOPER

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

DATE: 2/10/05

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

DATE: 2/10/05

THESE PLANS FOR SOIL CONSERVATION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

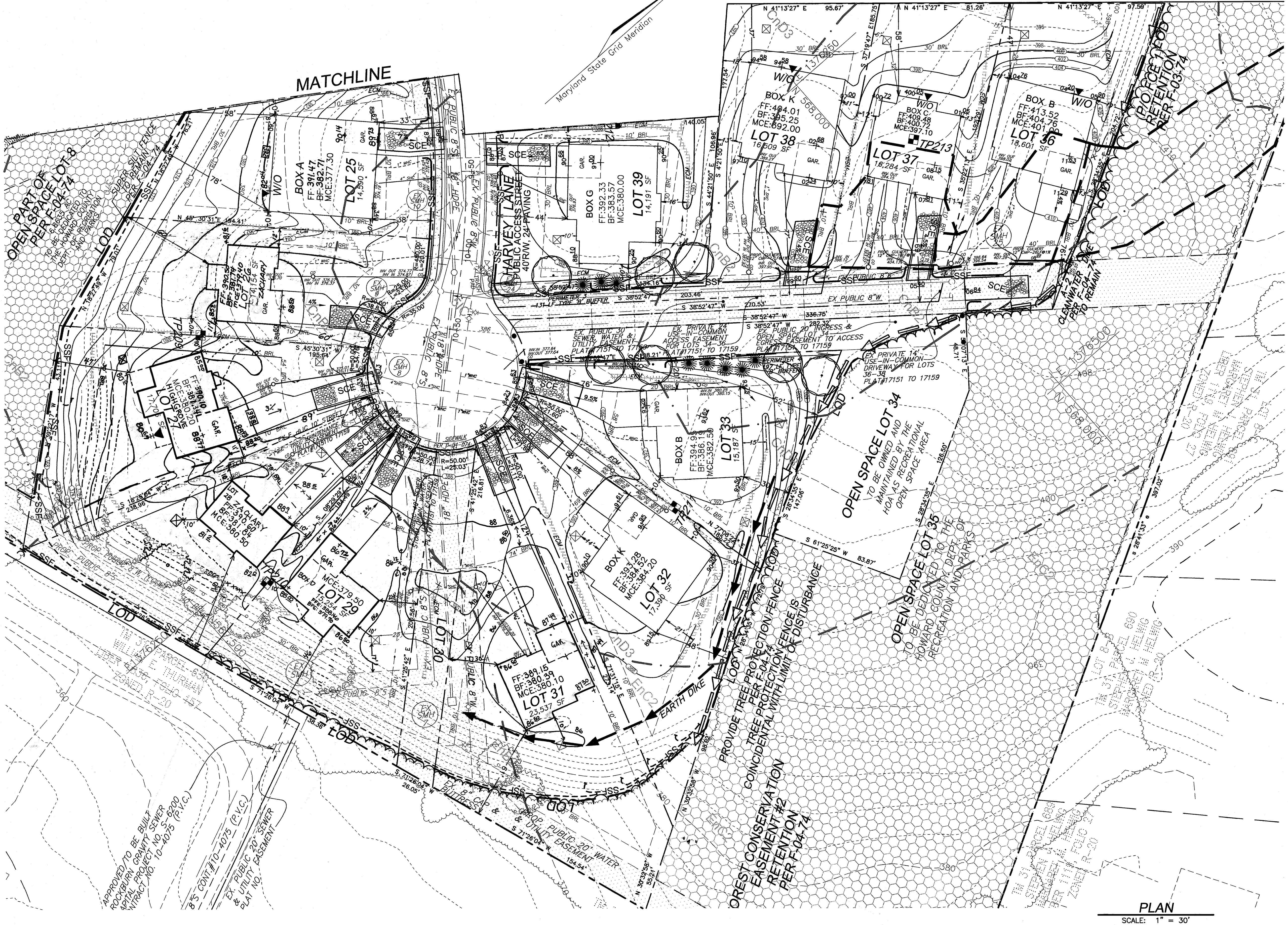
DATE: 2/10/05

BY THE DEVELOPER/BUILDER

"I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE(1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DATE: \_\_\_\_\_

SEE SHEET 4 OF 7



### LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- SPOT ELEVATION
- DIRECTION OF FLOW
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- AREA OF 15 TO 24.9 PERCENT SLOPES AS SHOWN ON F-04-074
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- STABILIZED CONSTRUCTION ENTRANCE
- LIMIT OF DISTURBANCE
- SILT FENCE
- SUPER SILT FENCE
- EARTHDIKE
- EARTHDIKE AS SHOWN ON F-04-074 TO REMAIN
- EROSION CONTROL MATING AS SHOWN ON F-04-074 TO REMAIN
- PROPOSED DRYWELL, TYPICAL (FOR DETAILS AND SPECIFICATIONS SEE SHEET 6 OF 7)
- LANDSCAPING AS SHOWN ON F-04-074
- STREET TREE AS SHOWN ON F-04-074
- PROPOSED LANDSCAPING

LOT NO.	CULVERT SIZE	TYPE	TOTAL LENGTH
36	12"	CMP	26 LF
37	12"	CMP	18 LF
38	12"	CMP	17 LF

**OWNER**  
 LAND DESIGN & DEVELOPMENT  
 8000 MAIN STREET  
 ELLICOTT CITY, MD 21043  
 ATTN: MR DONALD R REUWER  
 (410) 480-9105

**DEVELOPER**  
 RYAN HOMES  
 6085 MARSHALEE DRIVE  
 ELK RIDGE, MARYLAND 21075  
 ATTN: JOHN LEWIS  
 (410) 796-0980

NO.	REVISION	DATE
6	REVISE FIRST FLOOR ELEVATION & GRADING LOT 29	6.6.06
5	REVISE FIRST FLOOR ELEVATION & GRADING LOT 31	5/30/06
4	REVISE FIRST FLOOR AND GRADING LOT 26	5/17/06
3	REVISE FIRST FLOOR ELEVATION AND GRADING LOT 28	4.21.06
2	REVISE FIRST FLOOR ELEVATION LOTS 25 & 27	2-10-06
1	ADD HIGHGROVE MODEL TO LOT 27	1.3.06

SITE DEVELOPMENT, SEDIMENT EROSION CONTROL AND LANDSCAPE PLAN  
**SITE DEVELOPMENT PLAN**  
**DENNIS PRESERVE**  
 LOTS 1 - 58  
 LOTS 1 - 58 SINGLE FAMILY DETACHED UNITS  
 REF: S-01-06, P-02-27, F-04-74  
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APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION  
*[Signature]* 3/1/05 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT  
*[Signature]* 3/1/05 DATE

DIRECTOR  
*[Signature]* 3/1/05 DATE

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*[Signature]* 2/14/05 DATE  
 SIGNATURE OF ENGINEER  
 ROBERT H. VOGEL, PE

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*[Signature]* 2-14-05 DATE  
 SIGNATURE OF DEVELOPER

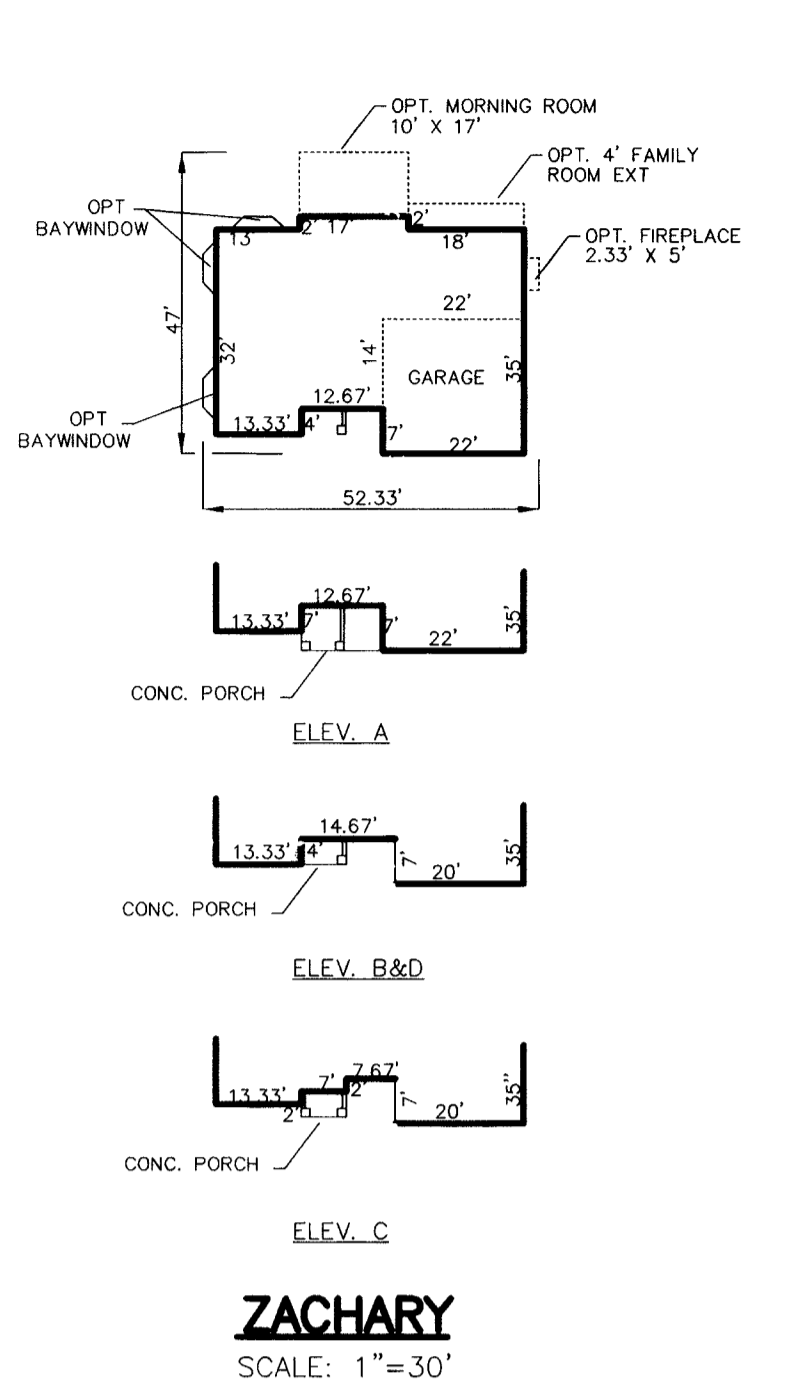
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USDA - NATURAL RESOURCE CONSERVATION SERVICE

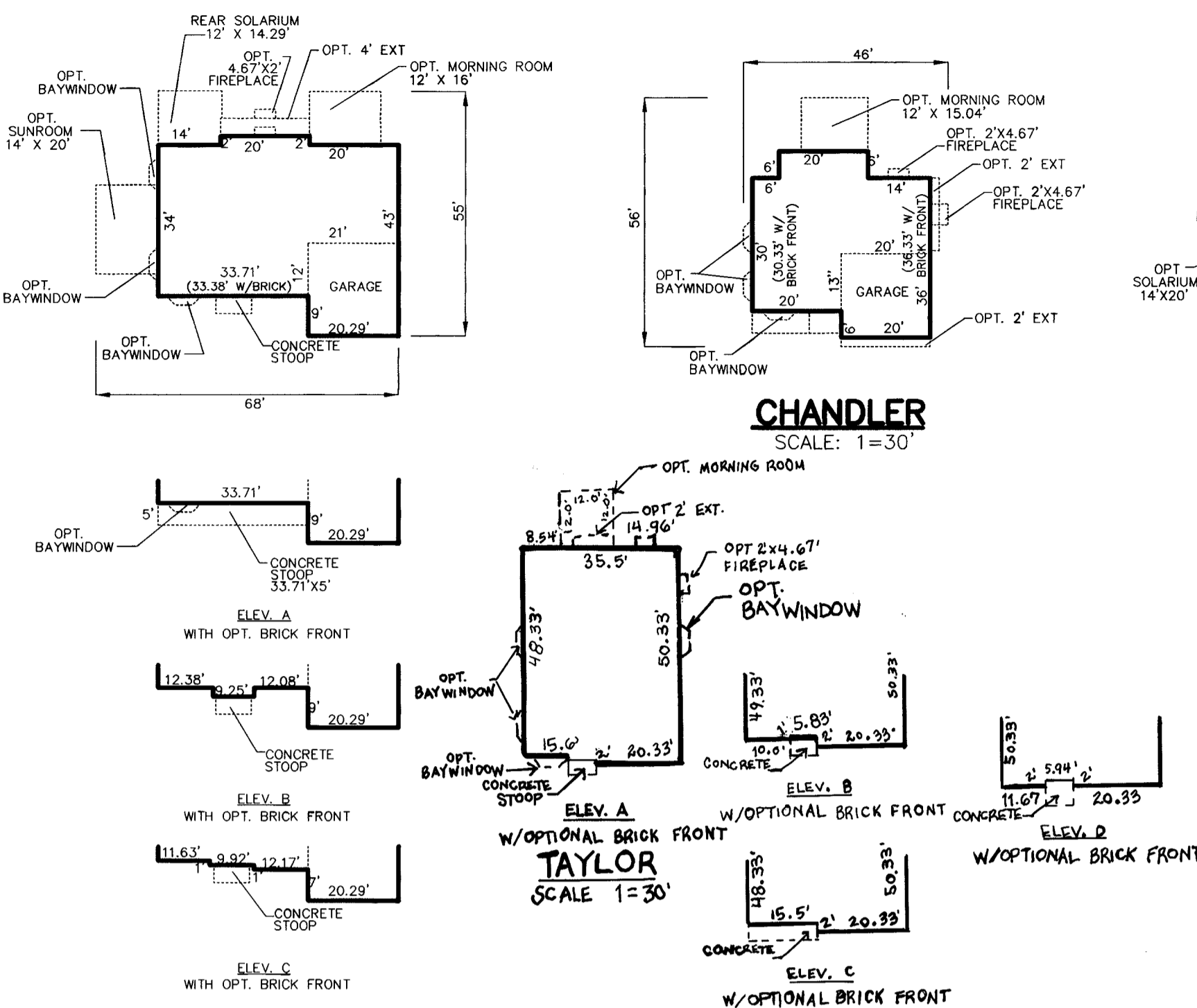
*[Signature]* 2/24/05 DATE  
 SIGNATURE OF REVIEWER  
 JIM M. GLENN  
 HOWARD SCD

PLAN  
 SCALE: 1" = 30'

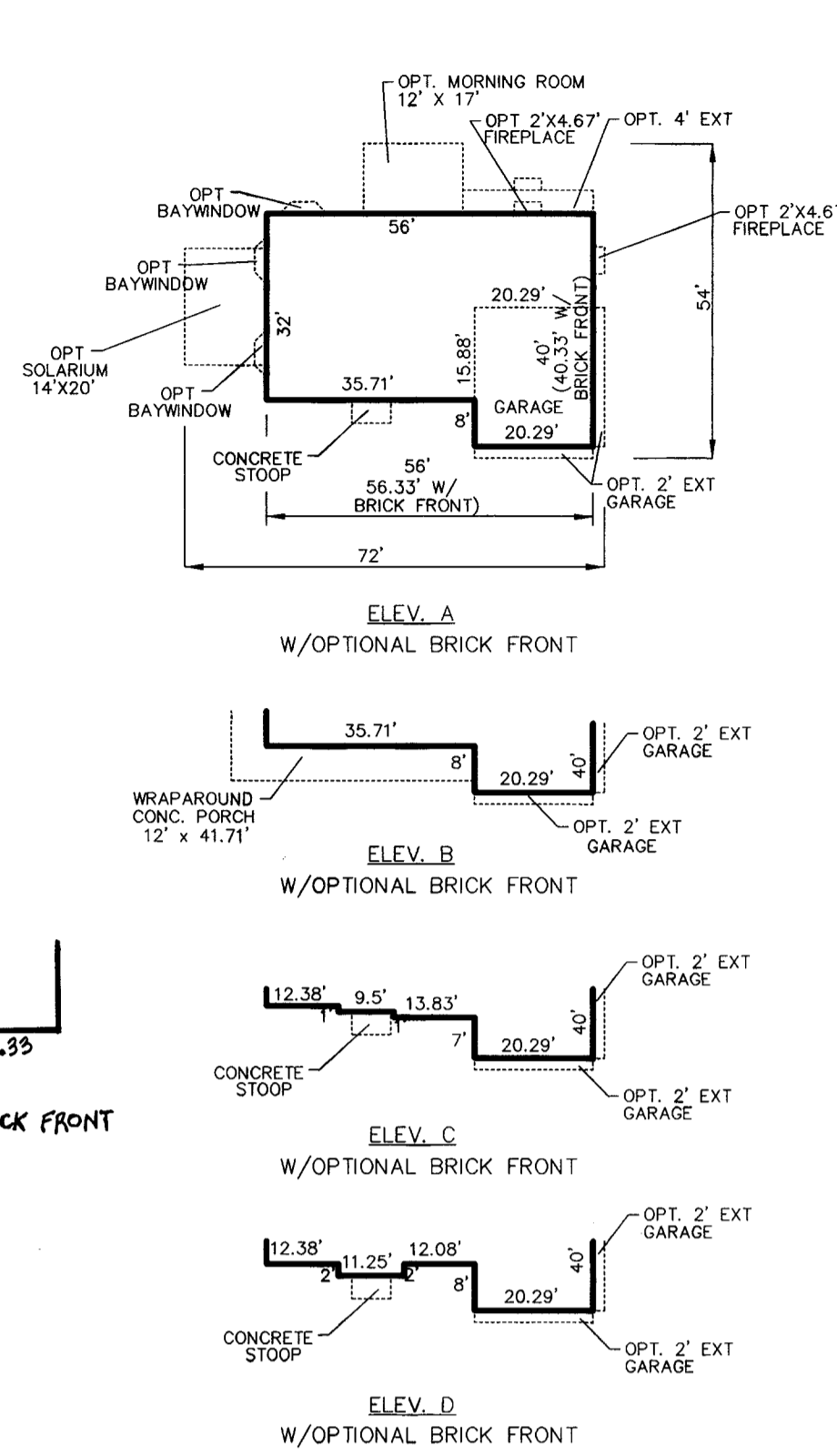




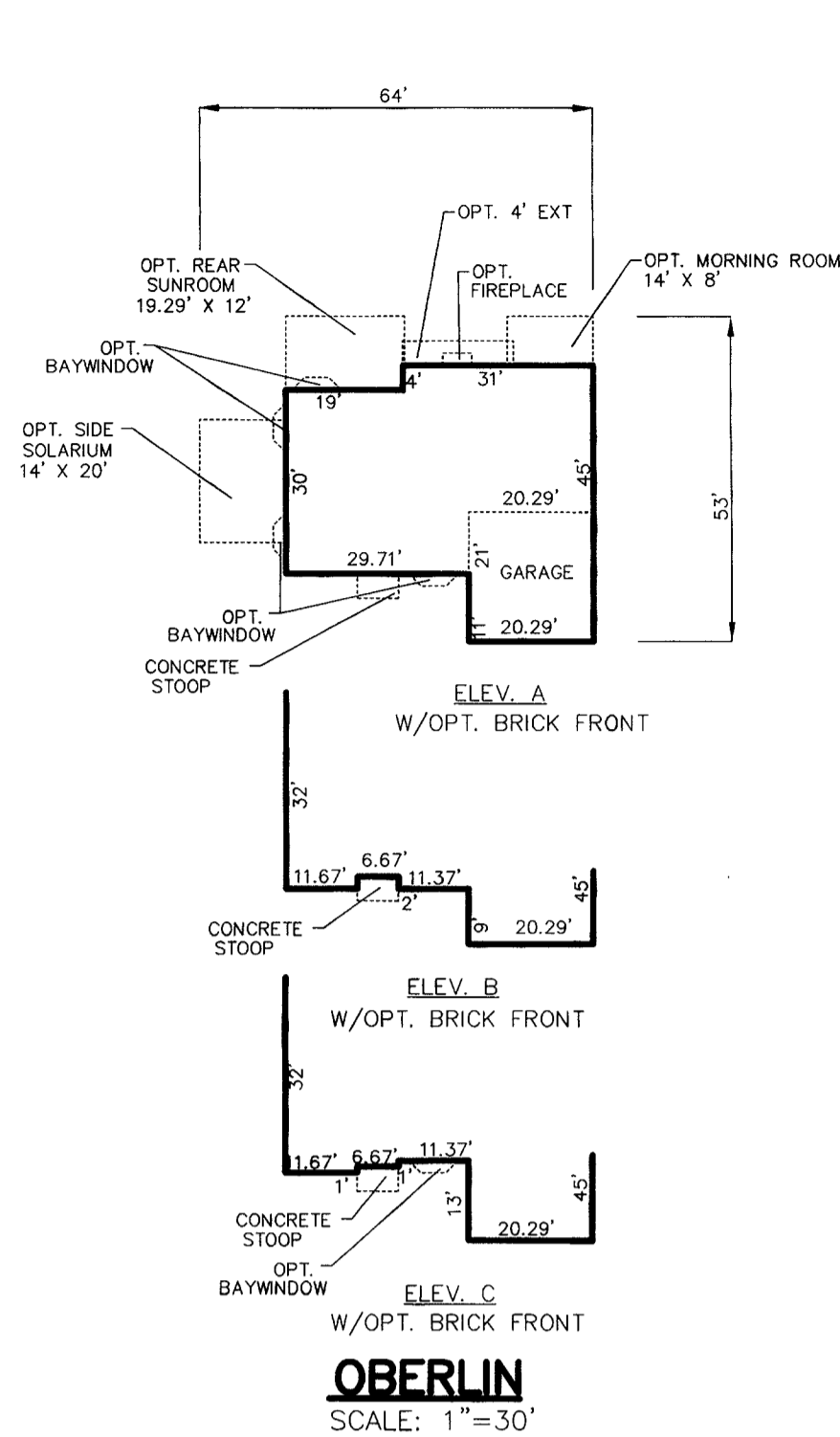
**ZACHARY**  
SCALE: 1"=30'



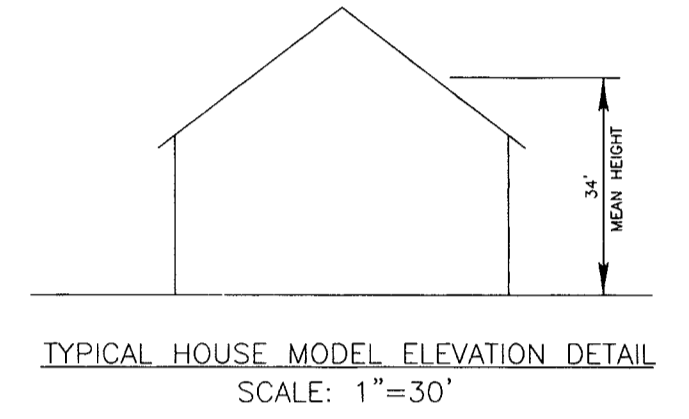
**CHANDLER**  
SCALE: 1"=30'



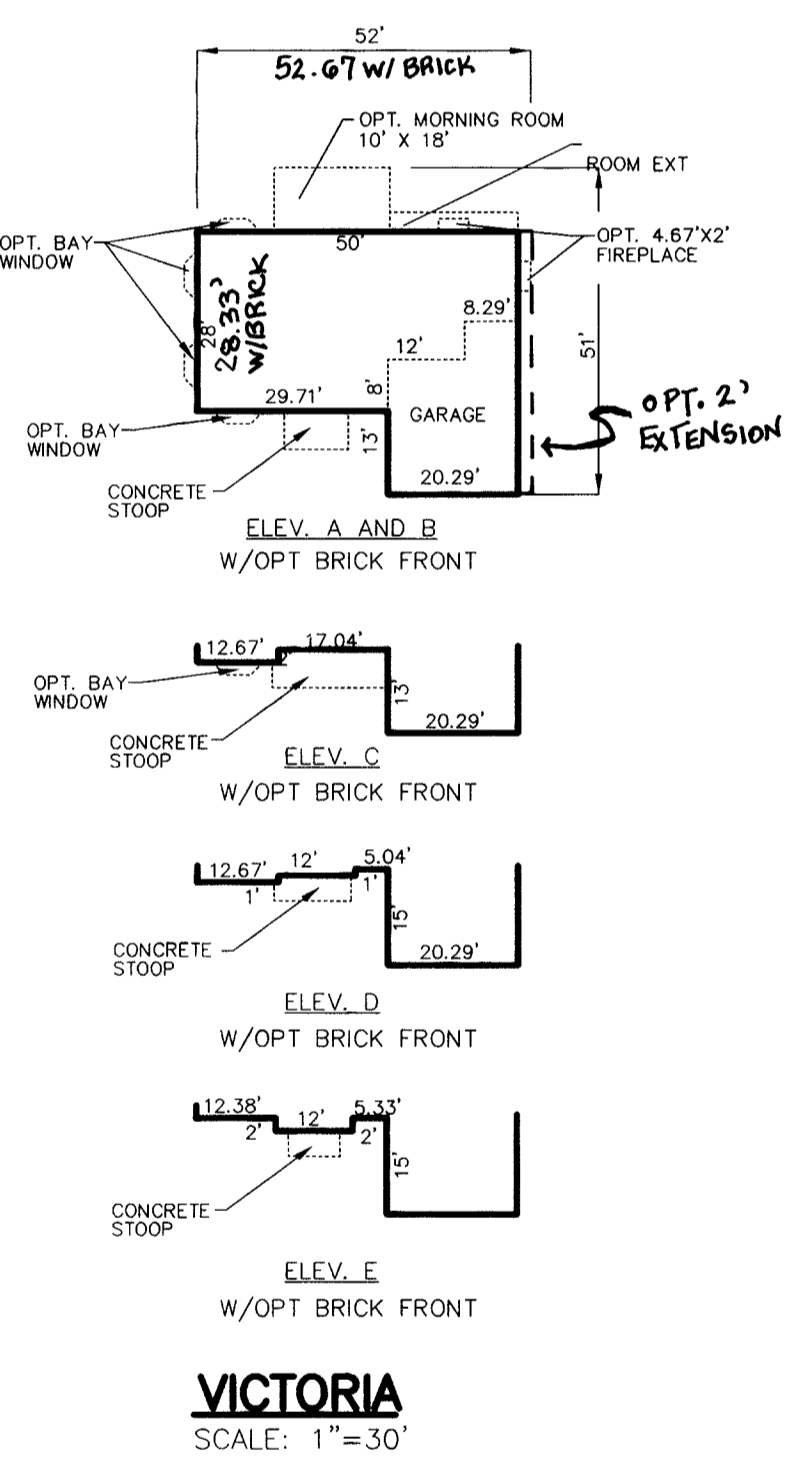
**HIGHGROVE**  
SCALE: 1"=30'



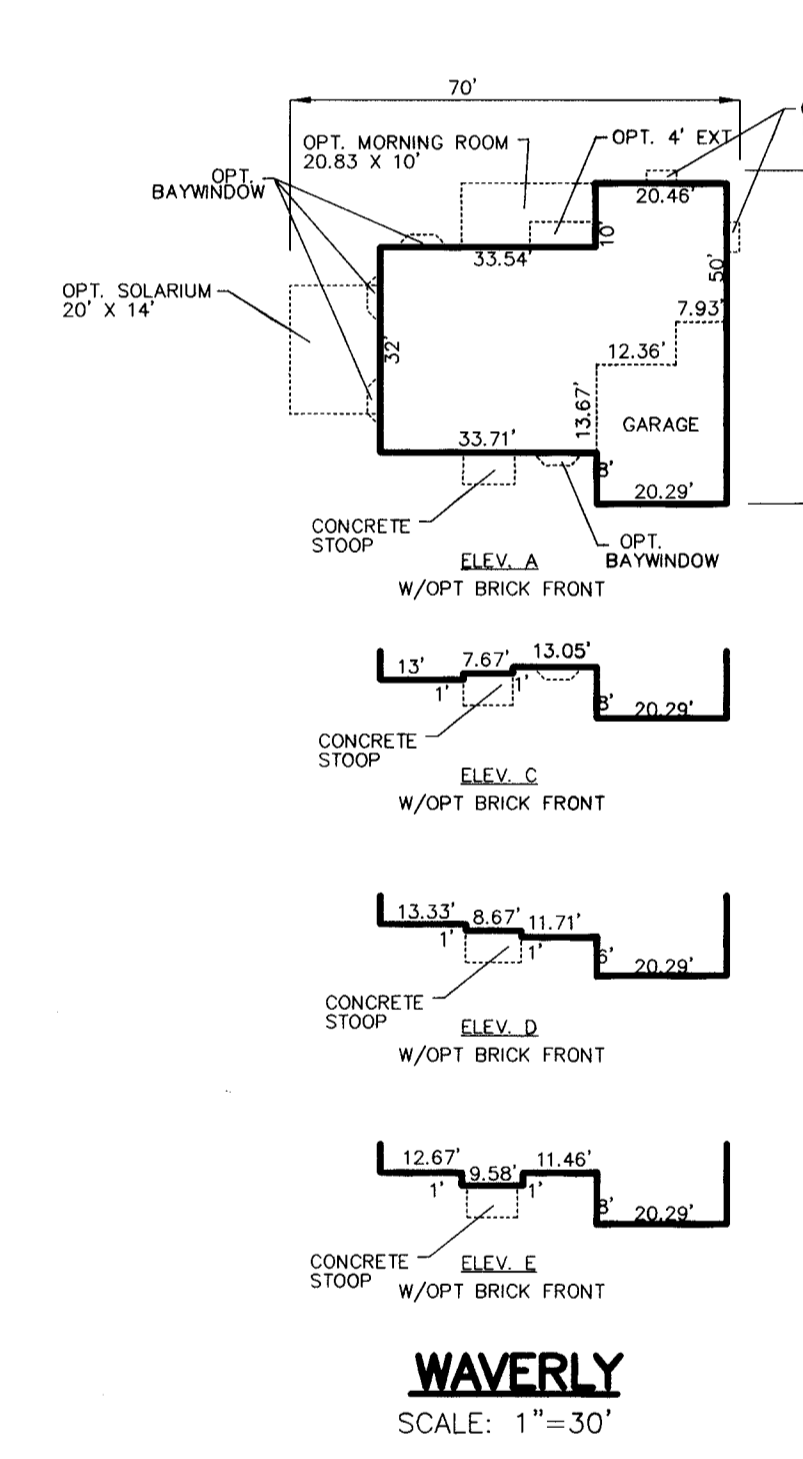
**OBERLIN**  
SCALE: 1"=30'



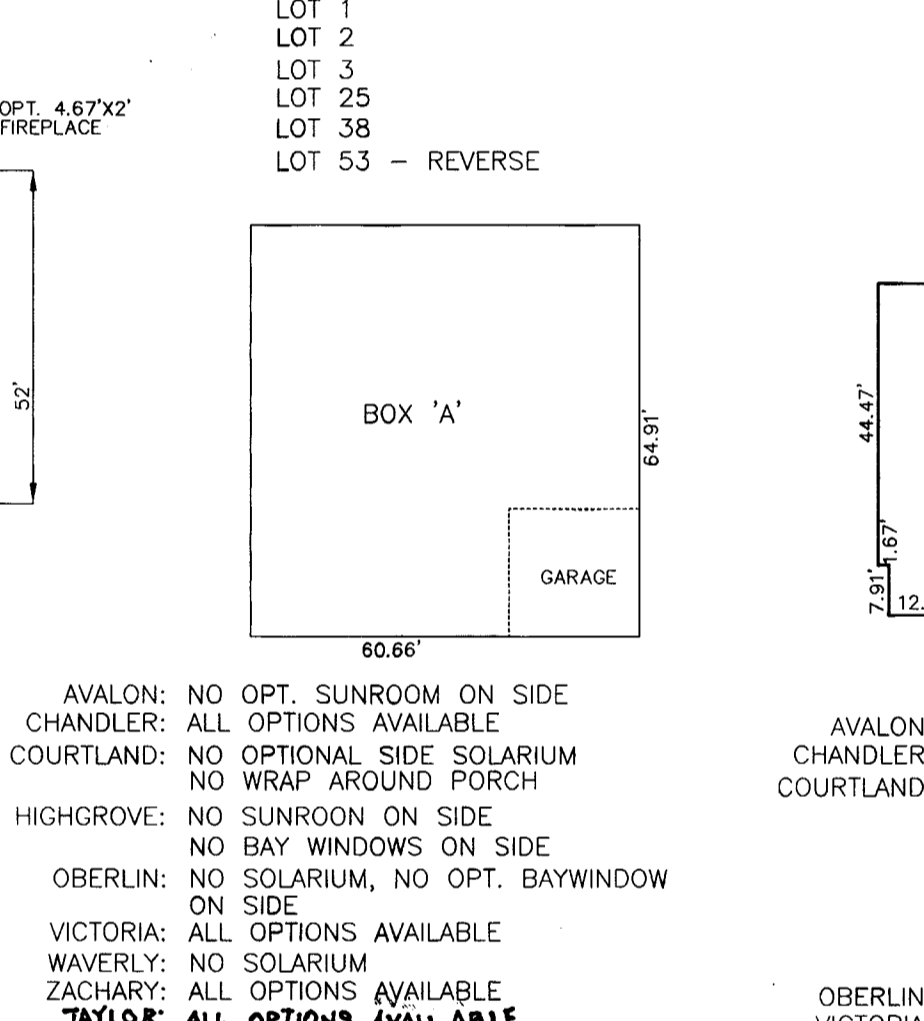
TYPICAL HOUSE MODEL ELEVATION DETAIL  
SCALE: 1"=30'



**VICTORIA**  
SCALE: 1"=30'



**WAVERLY**  
SCALE: 1"=30'



**TAYLOR**  
SCALE: 1"=30'

**LOT 1**  
LOT 2  
LOT 3  
LOT 25  
LOT 38  
LOT 53 - REVERSE

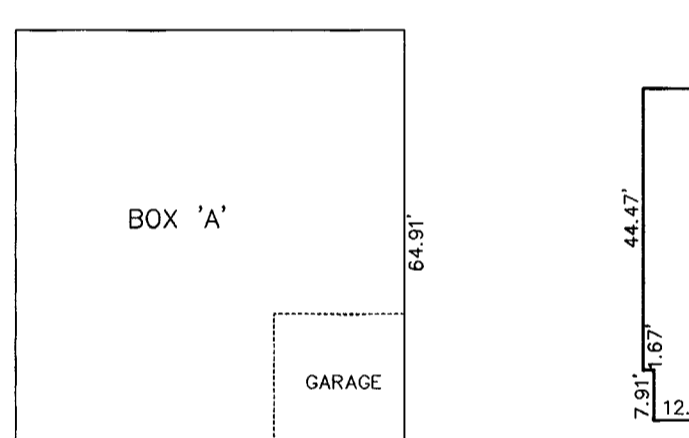
**LOT 4**  
LOT 5  
LOT 12-REVERSE  
LOT 33  
LOT 36  
LOT 39-REVERSE  
LOT 41-REVERSE  
LOT 48

**LOT 10- REVERSE**  
LOT 13- REVERSE  
LOT 37  
LOT 56- REVERSE  
LOT 31- REVERSE

**LOT 6**  
LOT 8  
LOT 26 - REVERSE  
LOT 28 - REVERSE  
LOT 29

**LOT 14**  
LOT 22  
LOT 27- REVERSE  
LOT 43- REVERSE  
LOT 44  
LOT 51- REVERSE  
LOT 52- REVERSE  
LOT 54- REVERSE

**LOT 32- REVERSE**  
LOT 38  
LOT 55- REVERSE



**LOT 15**  
LOT 24  
LOT 42-REVERSE  
LOT 45  
LOT 46  
LOT 47-REVERSE  
LOT 50-REVERSE

**LOT 20**  
LOT 17  
LOT 57 - REVERSE  
LOT 58 - REVERSE

**LOT 23- REVERSE**  
LOT 40  
LOT 49- REVERSE

**AVALON:** NO OPT. SUNROOM ON SIDE  
**CHANDLER:** ALL OPTIONS AVAILABLE  
**COURTLAND:** NO OPTIONAL SIDE SOLARIUM  
NO WRAP AROUND PORCH  
**HIGHGROVE:** NO SUNROOM ON SIDE  
NO BAY WINDOWS ON SIDE  
**OBERLIN:** NO SOLARIUM, NO OPT. BAYWINDOW ON SIDE  
**VICTORIA:** ALL OPTIONS AVAILABLE  
**WAVERLY:** NO SOLARIUM  
**ZACHARY:** ALL OPTIONS AVAILABLE  
**TAYLOR:** ALL OPTIONS AVAILABLE

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**TAYLOR:** NO REAR SUNROOM

**AVALON:** NO OPTIONAL SIDE SUNROOM  
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**COURTLAND:** NO SUNROOM  
NO OPT. BAY WINDOWS ON SIDE  
NO WRAP AROUND CONC. PORCH  
NO OPT. FIREPLACE ON SIDE  
NO OPT. 2' EXT. GARAGE  
NO 4" BRICK FACE WRAP ON SIDES FOR LOTS 5 & 16  
**OBERLIN:** NO SOLARIUM ON SIDE  
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NO WRAP AROUND PORCH  
**HIGHGROVE:** NO OPT. SIDE SUNROOM  
NO BAY WINDOWS ON SIDE  
NO OPT. EXT. FIREPLACE  
OPT. EX. FAMILY RM AT REAR  
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LAND DESIGN & DEVELOPMENT  
8000 MAIN STREET  
ELLCOTT CITY, MD 21043  
ATTN: MR DONALD R. REUWER  
(410) 480-9105

**DEVELOPER**  
RYAN HOMES  
11460 CRONRODGE DRIVE  
SUITE 128, OWINGS MILLS  
MD 21117  
ATTN: JOHN LEWIS  
(410) 654-0501

NO.	REVISION	DATE
3	ADD BAYWINDOW(SIDE) TO TAYLOR MODEL	8.26.05
2	ADD TAYLOR MODEL	6.6.05
1	ADD VICTORIA DIMENSIONS FOR BRICK AND 2' SIDE EXT.	6.2.05

**HOUSE PLANS**  
**SITE DEVELOPMENT PLAN**  
**DENNIS PRESERVE**  
LOTS 1 - 58 SINGLE FAMILY DETACHED UNITS  
REF: S-01-06, P-02-27, F-04-74  
WP-03-07 (APP 11/05/02)

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DRAWN BY: \_\_\_\_\_ RJ  
CHECKED BY: \_\_\_\_\_ RHV  
DATE: 02-11-2005  
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W.O. NO.: 2017019.00

7 SHEET OF 7

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF DEVELOPMENT ENGINEERING DIVISION  
DATE: 3/3/05  
DATE: 3/16/05  
DATE: 4/10/05

BY THE ENGINEER

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DATE: 2/14/05  
SIGNATURE OF ENGINEER: ROBERT H. VOGEL, PE

BY THE DEVELOPER

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

DATE: 2/14/05  
SIGNATURE OF DEVELOPER

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

USDA - NATURAL RESOURCES CONSERVATION SERVICE DATE

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SCD DATE