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**NOTE:**  
SEE GENERAL NOTE NO. 19 FOR  
REFUSE COLLECTION RESPONSIBILITIES

# SITE DEVELOPMENT PLAN

# SCOT'S GLEN SOUTH

## BUILDABLE BULK PARCEL "A" - UNITS 1 THRU 55 AND COMMUNITY CENTER PLANNED SENIOR COMMUNITY (PSC) - AGE RESTRICTED ADULT HOUSING A RESUBDIVISION OF PARCELS 224 AND 326 5th ELECTION DISTRICT, TAX MAP 35, GRID 17 HOWARD COUNTY, MARYLAND 21044

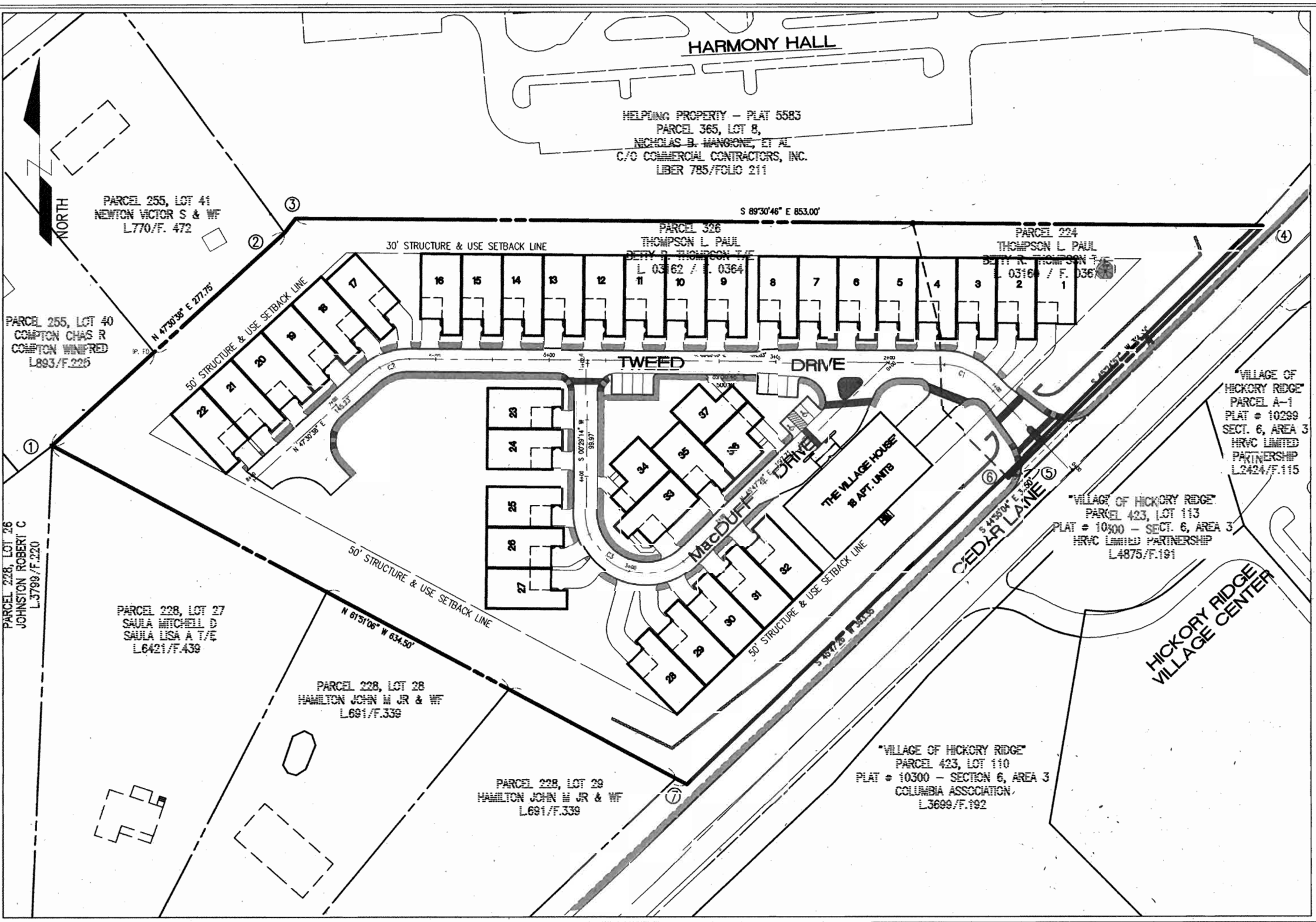
CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHRD BEARING
C1	39.73	50.00	45°31'32"	20.98	38.69	N66°44'59"W
C2	37.50	50.00	42°58'37"	19.68	36.63	S68°59'56"W
C3	126.95	54.00	134°41'49"	129.40	99.67	N66°51'40"W

COORDINATE TABLE		
POINT	NORTH	EAST
1	556907.6777	1343722.5837
2	557095.2826	1343927.3943
3	557107.9065	1343937.2247
4	557100.6512	1344790.1938
5	556880.1454	1344566.4632
6	556882.6245	1344563.9912
7	556808.3485	1344282.0409

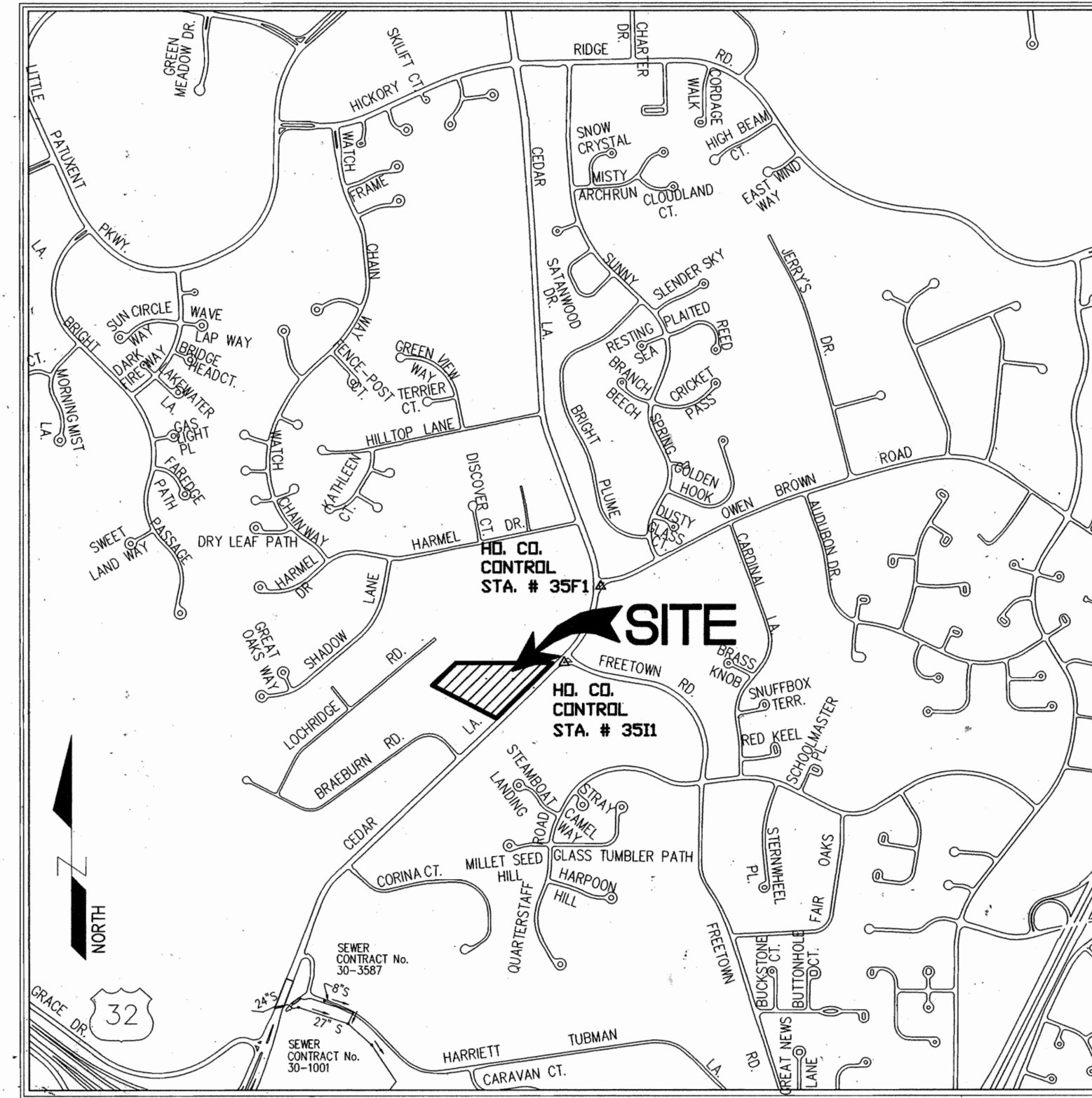
ADDRESS CHART	
BUILDING / GARAGE NO.	STREET ADDRESS
UNIT 1	6402 TWEED DRIVE
UNIT 2	6404 TWEED DRIVE
UNIT 3	6406 TWEED DRIVE
UNIT 4	6408 TWEED DRIVE
UNIT 5	6410 TWEED DRIVE
UNIT 6	6412 TWEED DRIVE
UNIT 7	6414 TWEED DRIVE
UNIT 8	6416 TWEED DRIVE
UNIT 9	6420 TWEED DRIVE
UNIT 10	6422 TWEED DRIVE
UNIT 11	6424 TWEED DRIVE
UNIT 12	6426 TWEED DRIVE
UNIT 13	6428 TWEED DRIVE
UNIT 14	6430 TWEED DRIVE
UNIT 15	6432 TWEED DRIVE
UNIT 16	6434 TWEED DRIVE
UNIT 17	6438 TWEED DRIVE
UNIT 18	6440 TWEED DRIVE
UNIT 19	6442 TWEED DRIVE
UNIT 20	6444 TWEED DRIVE
UNIT 21	6446 TWEED DRIVE
UNIT 22	6448 TWEED DRIVE
UNIT 23	10725 MacDUFF DRIVE
UNIT 24	10723 MacDUFF DRIVE
UNIT 25	10721 MacDUFF DRIVE
UNIT 26	10719 MacDUFF DRIVE
UNIT 27	10717 MacDUFF DRIVE
UNIT 28	10715 MacDUFF DRIVE
UNIT 29	10713 MacDUFF DRIVE
UNIT 30	10711 MacDUFF DRIVE
UNIT 31	10709 MacDUFF DRIVE
UNIT 32	10707 MacDUFF DRIVE
UNIT 33	10705 MacDUFF DRIVE
UNIT 34	10703 MacDUFF DRIVE
UNIT 35	10701 MacDUFF DRIVE
UNIT 36	10700 MacDUFF DRIVE
UNIT 37	8421 TWEED DRIVE
COMMUNITY BLDG.	10701 MacDUFF DRIVE

STREET SIGN CHART				
STREET NAME	STATION	OFFSET	POSTED SIGN	SIGN CODE
MacDuff Drive	0+10.0	20.0' LT.	STOP	R1-1
Tweed Drive	0+40.0	0.0' LT.	KEEP RIGHT	R4-7
Tweed Drive	0+58.0	27.0' LT.	STOP	R1-1
MacDuff Drive	4+77.0	19.0' RT.	STOP	R1-1
Tweed Drive	2+23.0	20.0' LT.	DO NOT ENTER	R5-1
MacDuff Drive	0+36.5	16.0' LT.	YIELD	R1-2

STREET LIGHT CHART				
STREET NAME	STATION	OFFSET	FIXTURE POLE TYPE	COMMENTS
Tweed Drive	0+36.2	43.7' LT.	250-WATT H.P.S. VAPOR PENDANT FIXTURE (SAG) MOUNTED AT 30-FOOT ON A BRONZE FIBERGLASS POLE, USING A 12' ARM ANGLED RADIAL TO FILLET	PUBLIC TO BE INSTALLED BY BCG&E
Tweed Drive	1+90.00	23.0' LT.	100-WATT "TRADITIONARE" H.P.S. VAPOR COLONIAL POST TOP FIXTURE MOUNTED ON A 14-FOOT BLACK FIBERGLASS POLE	PRIVATE
Tweed Drive	4+47.00	20.0' LT.	100-WATT "TRADITIONARE" H.P.S. VAPOR COLONIAL POST TOP FIXTURE MOUNTED ON A 14-FOOT BLACK FIBERGLASS POLE	PRIVATE
Tweed Drive	7+65.00	40.0' LT.	100-WATT "TRADITIONARE" H.P.S. VAPOR COLONIAL POST TOP FIXTURE MOUNTED ON A 14-FOOT BLACK FIBERGLASS POLE	PRIVATE



SITE LAYOUT PLAN  
SCALE: 1" = 100'



VICINITY PLAN  
SCALE: 1" = 1200'

### UNIVERSAL DESIGN REQUIREMENTS FOR AGE-RESTRICTED ADULT HOUSING IN HOWARD COUNTY

- FOR MULTI-FAMILY APARTMENT OR CONDO DEVELOPMENTS, AN ACCESSIBLE PATH BETWEEN PARKING, DWELLING UNITS, AND COMMON AREAS THAT MEETS ADA STANDARDS.
- FOR SINGLE FAMILY DETACHED AND ATTACHED DEVELOPMENTS, A "NO-STEP" ACCESS TO THE FRONT ENTRANCE TO THE COMMUNITY BUILDING AND ALL DWELLING (A NO-STEP ENTRANCE IS DESIRABLE, BUT NOT REQUIRED TO OTHER ENTRANCES)
- 36" WIDE FRONT DOOR WITH EXTERIOR LIGHTING OF THE ENTRANCE
- ALL INTERIOR DOORWAYS AT LEAST 32" WIDE (38" IS PREFERABLE)
- HALLWAYS AT LEAST 36" WIDE, (40-42" IS PREFERABLE)
- COMPLETE LIVING AREA INCLUDING MASTER BEDROOM & BATH ON FIRST FLOOR (OR ELEVATOR ACCESS IF MULTI-STORY RENTAL/CONDO APARTMENTS)
- LEVER HANDLES ON INTERIOR AND EXTERIOR DOORS
- BLOCKING FOR GRAB BARS IN WALLS IN BATHROOM WALLS NEAR TOILET AND SHOWER

### OPEN SPACE TABULATION

GROSS ACREAGE	= 6.88± AC.
OPEN SPACE REQUIRED	= 2.41 AC. (35%)
OPEN SPACE CREDITED *	= 2.61 AC. (38%)
OPEN SPACE NON-CREDITED	= 0.41 AC.
TOTAL OPEN SPACE PROVIDED	= 3.02 AC. (44%)

\* OPEN SPACE NORTH OF UNITS 1-16 HAS BEEN CATEGORIZED AS NON-CREDITED.

### DENSITY TABULATION

GROSS ACREAGE	= 6.88± AC.
FLOOD PLAIN	= 0.0 AC.
STEEP SLOPES	= 0.0 AC.
NET ACREAGE	= 6.88 AC.
ALLOWABLE UNITS = 55 (8 PER AC.)	
PROPOSED UNITS = 55	

### PARKING ANALYSIS

PARKING REQUIREMENTS:	
18 APTS. x 1 SP/UNIT = 18	
37 UNITS x 2 SP/UNIT = 74 SPACES	
TOTAL SPACES REQUIRED = 92 SPACES	
PARKING PROPOSED:	
34 UNITS x 2 SP/GARAGE = 68 SPACES	
34 UNITS x 2 SP/DRWY = 68 SPACES	
3 UNITS x 1 SP/GARAGE = 3 SPACES	
3 UNITS x 1 SP/DRWY = 3 SPACES	
TOTAL SPACES = 179 SPACES*	
(87 MORE SPACES THAN REQUIRED)	
*26 SPACES BELOW GARDEN UNITS TO INCLUDE 1 VAN ACCESSIBLE HANDICAPPED SPACE	

### GENERAL NOTES :

- THE PROPERTY IS ZONED PSC PER Z.B. CASE 1030M DATED SEPT. 24, 2003 AND THE 2/2/04 COMPREHENSIVE ZONING PLAN.
- PROPOSED USE FOR SITE AND STRUCTURES: AGE RESTRICTED CONDOMINIUM SFA AND GARDEN OR APARTMENT UNITS.
- TOTAL AREA OF PROPERTY = 6.88 AC.
- TOTAL AREA OF FLOOD PLAIN = 0
- TOTAL AREA SLOPES IN EXCESS OF 25% = 0
- NET TRACT AREA = 6.88 AC.
- TOTAL AREA OF DISTURBANCE = 6.59 ± AC.
- TOTAL AREA OF HOUSES = 2.27 ± AC.
- TOTAL NUMBER OF BUILDABLE UNITS ALLOWED = 55 UNITS (8 PER ACRE)
- TOTAL NUMBER OF PROPOSED BUILDABLE UNITS = 55 UNITS  
A. NUMBER OF SINGLE FAMILY ATTACHED (TOWNHOUSES) = 37 UNITS  
B. NUMBER OF APARTMENT UNITS = 18
- TOTAL AREA OF ROADWAY DEDICATION = 0.03 AC. OR 1,327 S.F.
- THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- PUBLIC WATER AND PUBLIC SEWER TO BE UTILIZED. EXISTING UTILITIES ARE BASED ON CURRENT HOWARD COUNTY CONTRACT DRAWINGS.  
EX 12" WATER - CONTRACT No. 44-1760  
EX 8" SEWER - CONTRACT No. 309-3587 (AT HARRIETT TUBMAN LANE)
- WETLANDS AND STREAM BUFFERS WERE DELINEATED BY WILLIAM T. BRIDGEMAN ON APRIL 14, 2003. NO FLOODPLAINS ARE ON THE SITE.
- THE PROPERTY SHOWN IS LOCATED WITHIN THE METROPOLITAN DISTRICT.
- THE BOUNDARY AND TOPOGRAPHY IS BASED ON A FIELD MONUMENTED SURVEY PERFORMED BY JOHN C. MELLEMA SR. INC. IN APRIL 2003.
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK. EXTERIOR STAIRWAYS OR RAMPS, ABOVE OR BELOW GRADE LEVEL, MAY PROJECT UP TO 10 FEET INTO A FRONT SETBACK OR PROJECT BOUNDARY SETBACK OR UP TO 16 FEET INTO A REAR SETBACK.
- A STRUCTURE AND USE SETBACK LINE HAS BEEN ESTABLISHED PER SECT. 127.1.E.2
- DRIVEWAY(S) SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING (MINIMUM) REQUIREMENTS:  
a.) WIDTH - 12' (14' SERVING MORE THAN ONE RESIDENCE)  
b.) SURFACE - SIX (6") INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING. (1 1/2" MIN.)  
c.) GEOMETRY - MAXIMUM 15 % GRADE, MAXIMUM 10 % GRADE CHANGE AND 45 FOOT TURNING RADIUS;  
d.) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25-LOADING);  
e.) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY;  
f.) STRUCTURE CLEARANCES - MINIMUM 12 FEET;  
g.) MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
- REFUSE COLLECTION, SNOW REMOVAL AND PRIVATE ROAD MAINTENANCE WILL BE PROVIDED BY THE HOMEOWNERS ASSOCIATION. REFUSE COLLECTION TO BE PROVIDED BY PRIVATE CONTRACTOR. THERE WILL BE INTERNAL TRASH COLLECTION WITHIN THE CONDOMINIUM BUILDINGS TO BE REMOVED BY A PRIVATE JANITORIAL SERVICE FOR CURBSIDE PICK-UP.
- THIS PROJECT IS SUBJECT TO THE AMENDED SUBDIVISION AND LAND DEVELOPMENT REGULATIONS ADOPTED PER COUNCIL BILL 45-2003 EFFECTIVE OCTOBER 2, 2003 AND THE ZONING REGULATIONS PER COUNCIL BILL NO. 75-2003 ADOPTED 2/2/04.
- ALL ROADS AND PARKING AREAS ARE TO BE PRIVATELY MAINTAINED BY THE H-0-A.
- HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY GEODETIC CONTROL STATIONS:  
HOWARD COUNTY MONUMENT 35F1 N 55787.367 ELEV. = 401.165  
E 134527.309  
HOWARD COUNTY MONUMENT 35H1 N 55710.367 ELEV. = 400.759  
E 1344893.647
- THE FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1202 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION MANUAL FOR THIS PROJECT HAS BEEN FULFILLED BY THE PAYMENT OF A FEE IN LIEU EQUAL TO \$21,780. FOR AN AFFORESTATION OBLIGATION OF 1 ACRE. ADDITIONAL DETAIL CAN BE FOUND ON SHEET 3 OF 25.
- SIDEWALKS ARE TO BE PROVIDED OR CONSTRUCTED ON BOTH SIDES OF THE PROPOSED ROAD.
- TOTAL NUMBER OF "MODERATE INCOME HOUSING UNITS" REQUIRED FOR THIS SITE PER THE (PSC) ZONING DISTRICT IS 10% OF THE TOTAL NUMBER OF UNITS TO BE PROVIDED OFFSITE AT THE TIBER HUDSON CENTER (SP-04-27)  
A) TOTAL NUMBER OF "MILHU" REQUIRED = 6
- STORMWATER MANAGEMENT FACILITY IS HAZARD CLASS "A", AND WILL BE PRIVATELY OWNED AND MAINTAINED.
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- ALL EXISTING STRUCTURES TO BE RAZED. FURTHER, THE ONE (1) EXISTING DWELLING UNIT MUST BE RAZED PRIOR TO ISSUANCE OF BUILDING PERMITS FOR THE LAST CONDOMINIUM UNIT.
- THERE ARE NO HISTORIC STRUCTURES OR CEMETERIES LOCATED ON THIS PROPERTY.
- THIS PSC DISTRICT IS SUBJECT TO COMPLIANCE WITH THE DECISION AND ORDER ISSUED FOR ZB CASE 1030M APPROVED BY THE HOWARD COUNTY ZONING BOARD ON SEPTEMBER 24, 2003. NO CONDITIONS WERE IMPOSED.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN WETLANDS, STREAMS OR THEIR BUFFERS.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISION OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$ 65,130.00. FOR ADDITIONAL DETAIL SEE SHEET 3 OF 25.
- UNMITIGATED 65 dBA NOISE LINE BASED ON LOCATION PROVIDED BY STANO ENGINEERING INC. SERVICES DATED FEBRUARY 2004.
- PARKING IS ONLY ALLOWED WITHIN GARAGES, MARKED PARKING SPACES OR DRIVEWAYS. PARKING IS PROHIBITED ALONG CURBS.
- A PLAT OF CONSOLIDATION WAS PROCESSED TO COMBINE PARCEL 326 & 224 INTO BULK PARCEL "A". SEE F-05-063
- NO PHASING IS PROPOSED.
- THE COMMUNITY AND GARDEN APARTMENT BUILDING WILL BE KNOWN AS "THE VILLAGE HOUSE".
- THIS PROJECT COMPLETES WITH THE COMMUNITY BUILDING REQUIREMENT PER THE PSC ZONING REGULATIONS OF 20 SQUARE FEET PER UNIT OR 1,100 SQUARE FEET BY PROVIDING A COMMUNITY CENTER BUILDING OF 1,500 SQUARE FEET IN SIZE.
- THIS PLAN INCLUDES RECREATION AND COMMUNITY ACTIVITY AREAS FOR RESIDENTS PER THE PSC ZONING REGULATIONS SUCH AS PATHWAYS, GAZEBOS WITH SEATING AREAS, A BOCCO COURT AND A COMMUNITY CENTER.
- "SCOT'S GLEN ACADOMINIUM" HAS BEEN REGISTERED WITH THE SECRETARY OF THE STATE OF MARYLAND ON JANUARY 19, 2005. COVENANTS INCLUDE THE AGE RESTRICTED REQUIREMENTS PER HOWARD COUNTY ZONING REGULATION REPEALED BY JUNE 1, 2005 LIBER 7201/1400 530.
- THIS PROJECT WAS FORMERLY NAMED CEDAR VILLAS II. THE NEW NAME, "SCOT'S GLEN SOUTH" WAS APPROVED AUGUST 19, 2004.
- THE DEVELOPER HAS EXECUTED AN MHU AGREEMENT WITH HOWARD COUNTY DATED AUG. 25, 2004 AND IT IS RECORDED IN THE LAND RECORDS DEC. 16, 2004 UNDER LIBER 8855, FOLIO 017.
- ALL SIGN POST USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. A GALVANIZED STEEL POST CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- STREET LIGHTS WILL BE REQUIRED IN ACCORDANCE WITH THE DESIGN MANUAL, STREET LIGHTS PLACEMENTS AND THE TYPE OF FIXTURES AND POLE SELECTED SHALL BE IN ACCORDANCE WITH THE LATEST HOWARD COUNTY DESIGN MANUAL, VOLUME III (1993) AND AS MODIFIED BY "GUIDELINES FOR THE STREET LIGHTS IN RESIDENTIAL DEVELOPMENTS (JUNE 1993)". THE JUNE 1993 POLICY INCLUDES GUIDELINES FOR LATERAL AND LONGITUDINAL PLACEMENT. A MINIMUM SPACING OF 20' SHALL BE MAINTAINED BETWEEN ANY STREETLIGHT AND ANY TREE.

NO.	DATE	REVISIONS

SUBDIVISION NAME	SCOT'S GLEN SOUTH	SECTION/AREA	N/A	LOT/PARCEL NO.	1-37 AND COMM. CTR. / APT.
PLAT # OR L/F	17400	GRID #	17	ZONING	PSC
TAX MAP NO.	35	ELEC. DIST.	5	CENSUS TRACT	6055.01
WATER CODE	E28	SEWER CODE			5326200

PREPARED BY:  
**American Land Development and Engineering, Inc.**  
10749 BIRMINGHAM WAY, WOODSTOCK, MD 21163  
TEL. (410) 465-7903 FAX. (410) 465-3845

OWNERS: Paul L. Thompson  
Betty R. Thompson  
6436 Cedar Lane  
Columbia, MD 21044

DEVELOPER: Freetown, LLC  
6258 Cardinal Lane  
Columbia, Md. 21044

**ENGINEER'S CERTIFICATE**  
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."  
*David C. Woessner*  
SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE)  
DAVID C. WOESSNER  
DATE: 4/15/05

**DEVELOPER'S CERTIFICATE**  
"WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERSONNEL TO BE INSPECTED BY THE HOWARD SOIL CONSERVATION DISTRICT."  
*Dale Thompson*  
SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE)  
DALE THOMPSON  
DATE: 4/19/05

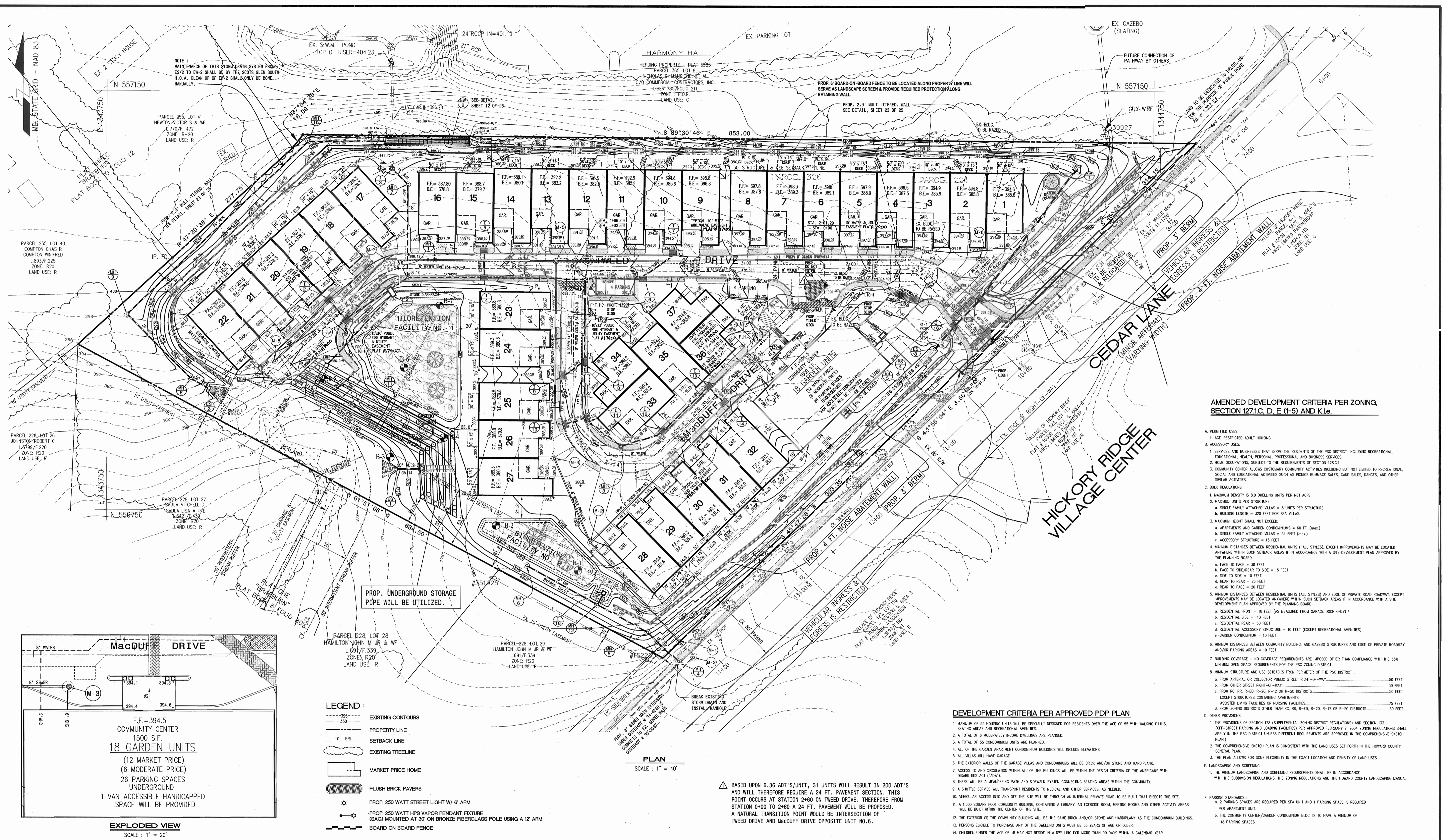
REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS  
*Jim Meyer*  
DATE: 5/14/05  
*John K. Blanton*  
DATE: 5/14/05



APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*David C. Woessner*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 4/15/05  
*Condy Hester*  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 4/15/05  
*Mark D. Joyce*  
DATE: 4/15/05

TITLE: **COVER SHEET**  
PROJECT NAME: **SCOT'S GLEN SOUTH**  
BUILDABLE BULK PARCEL "A" - UNITS 1 THRU 55 AND COMMUNITY CENTER  
PLANNED SENIOR COMMUNITY (PSC) - AGE RESTRICTED ADULT HOUSING  
A RESUBDIVISION OF PARCELS 224 AND 326  
HOWARD COUNTY, MARYLAND. 21044  
S-04-05, PB CASE 363, ZB 1030M, F-05-63

DES.: AVG	JOB:	PROJ.:	DATE: 04-13-05
DRW.: AVG	CHK.: D.C.W.	SCALE: AS SHOWN	SHEET 1 OF 25

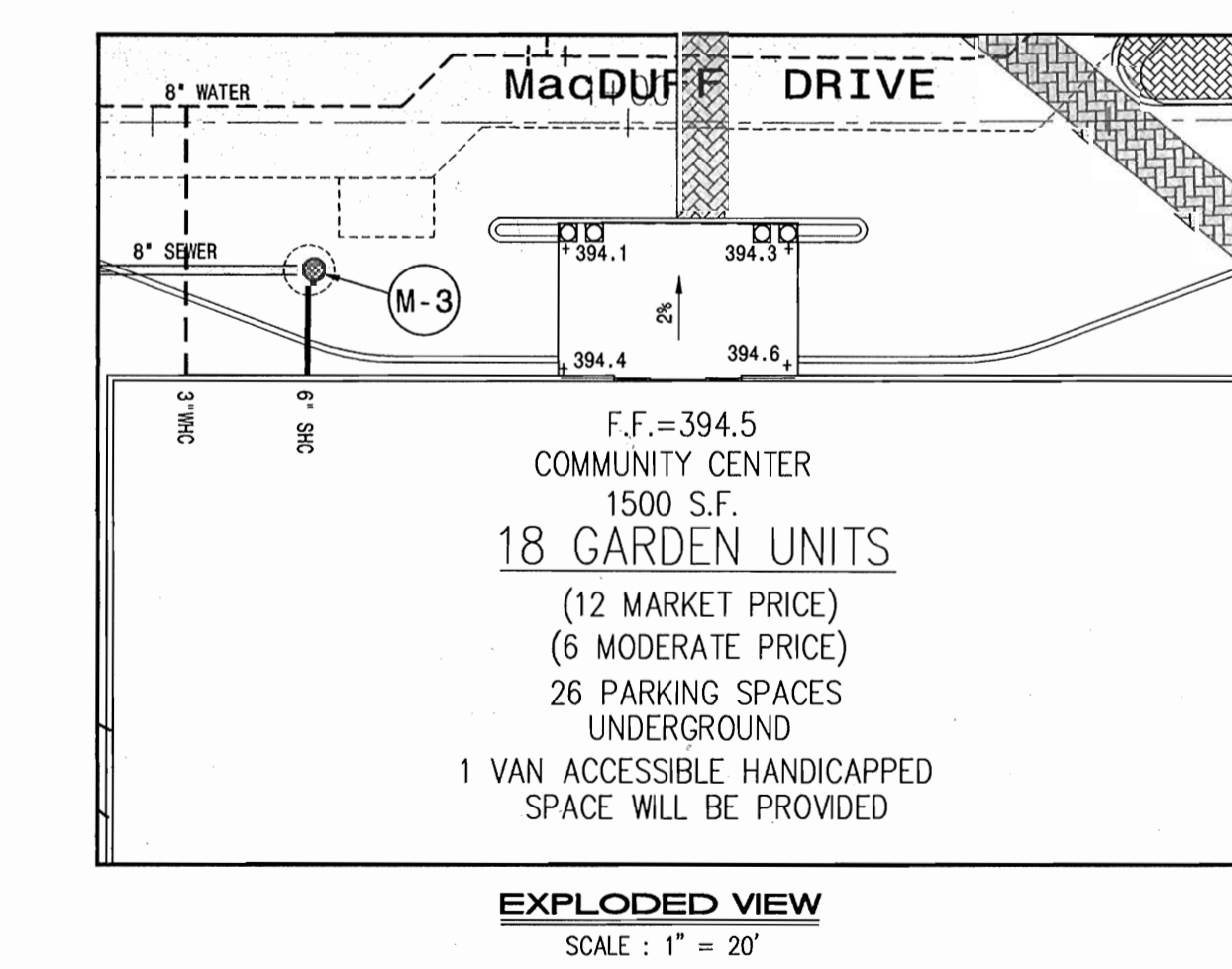


**AMENDED DEVELOPMENT CRITERIA PER ZONING, SECTION 127.1C, D, E (1-5) AND K.I.e.**

- A. PERMITTED USES:**
- AGE-RESTRICTED ADULT HOUSING.
- B. ACCESSORY USES:**
- SERVICES AND BUSINESSES THAT SERVE THE RESIDENTS OF THE PSC DISTRICT, INCLUDING RECREATIONAL, EDUCATIONAL, HEALTH, PERSONAL, PROFESSIONAL AND BUSINESS SERVICES.
  - HOME OCCUPATIONS, SUBJECT TO THE REQUIREMENTS OF SECTION 126C.1.
  - COMMUNITY CENTER ALLOWS CUSTOMARY COMMUNITY ACTIVITIES INCLUDING BUT NOT LIMITED TO RECREATIONAL, SOCIAL AND EDUCATIONAL ACTIVITIES SUCH AS PICNICS, RUMMAGE SALES, CAFE SALES, DANCES, AND OTHER SIMILAR ACTIVITIES.
- C. BULK REGULATIONS:**
- MAXIMUM DENSITY IS 8.0 DWELLING UNITS PER NET ACRE.
  - MAXIMUM UNITS PER STRUCTURE:
    - SINGLE FAMILY ATTACHED VILLAS = 8 UNITS PER STRUCTURE
    - BUILDING LENGTH = 320 FEET FOR SFA VILLAS
  - MAXIMUM HEIGHT SHALL NOT EXCEED:
    - APARTMENTS AND GARDEN CONDOMINIUMS = 60 FT. (MAX)
    - SINGLE FAMILY ATTACHED VILLAS = 34 FEET (MAX)
  - ACCESSORY STRUCTURE = 15 FEET
  - MINIMUM DISTANCES BETWEEN RESIDENTIAL UNITS (ALL STYLES), EXCEPT IMPROVEMENTS MAY BE LOCATED ANYWHERE WITHIN SUCH SETBACK AREAS IF IN ACCORDANCE WITH A SITE DEVELOPMENT PLAN APPROVED BY THE PLANNING BOARD:
    - FACE TO FACE = 10 FEET
    - FACE TO SIDE/REAR TO SIDE = 15 FEET
    - SIDE TO SIDE = 10 FEET
    - REAR TO REAR = 25 FEET
    - REAR TO FACE = 20 FEET
  - MINIMUM DISTANCES BETWEEN RESIDENTIAL UNITS (ALL STYLES) AND EDGE OF PRIVATE ROADWAY, EXCEPT IMPROVEMENTS MAY BE LOCATED ANYWHERE WITHIN SUCH SETBACK AREAS IF IN ACCORDANCE WITH A SITE DEVELOPMENT PLAN APPROVED BY THE PLANNING BOARD:
    - RESIDENTIAL FRONT = 18 FEET (AS MEASURED FROM GARAGE DOOR ONLY)
    - RESIDENTIAL SIDE = 10 FEET
    - RESIDENTIAL REAR = 30 FEET
    - RESIDENTIAL ACCESSORY STRUCTURE = 10 FEET (EXCEPT RECREATIONAL AMENITIES)
    - GARDEN CONDOMINIUM = 10 FEET
  - MINIMUM DISTANCES BETWEEN COMMUNITY BUILDING, AND GAZEBO STRUCTURES AND EDGE OF PRIVATE ROADWAY AND/OR PARKING AREAS = 10 FEET
  - BUILDING COVERAGE = NO COVERAGE REQUIREMENTS ARE IMPOSED OTHER THAN COMPLIANCE WITH THE 35% MINIMUM OPEN SPACE REQUIREMENTS FOR THE PSC ZONING DISTRICT
  - MINIMUM STRUCTURE AND USE SETBACKS FROM PERIMETER OF THE PSC DISTRICT:
    - FROM ARTERIAL OR COLLECTOR PUBLIC STREET RIGHT-OF-WAY: 50 FEET
    - FROM OTHER STREET RIGHT-OF-WAY: 30 FEET
    - FROM RC, RR, R-ED, R-20, R-12 OR R-SC DISTRICTS: 50 FEET EXCEPT STRUCTURES CONTAINING APARTMENTS, ASSISTED LIVING FACILITIES OR NURSING FACILITIES: 75 FEET
    - FROM ZONING DISTRICTS OTHER THAN RC, RR, R-ED, R-20, R-12 OR R-SC DISTRICTS: 30 FEET
- D. OTHER PROVISIONS:**
- THE PROVISIONS OF SECTION 128 (SUPPLEMENTAL ZONING DISTRICT REGULATIONS) AND SECTION 133 (OFF-STREET PARKING AND LOADING FACILITIES) PER APPROVED FEBRUARY 2, 2004 ZONING REGULATIONS SHALL APPLY IN THE PSC DISTRICT UNLESS DIFFERENT REQUIREMENTS ARE APPROVED IN THE COMPREHENSIVE SKETCH PLAN.
  - THE COMPREHENSIVE SKETCH PLAN IS CONSISTENT WITH THE LAND USES SET FORTH IN THE HOWARD COUNTY GENERAL PLAN.
  - THE PLAN ALLOWS FOR SOME FLEXIBILITY IN THE EXACT LOCATION AND DENSITY OF LAND USES.
- E. LANDSCAPING AND SCREENING:**
- THE MINIMUM LANDSCAPING AND SCREENING REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS, THE ZONING REGULATIONS AND THE HOWARD COUNTY LANDSCAPING MANUAL.
- F. PARKING STANDARDS:**
- 2 PARKING SPACES ARE REQUIRED PER SFA UNIT AND 1 PARKING SPACE IS REQUIRED PER APARTMENT UNIT.
  - THE COMMUNITY CENTER/GARDEN CONDOMINIUM BLDG. IS TO HAVE A MINIMUM OF 18 PARKING SPACES.

**DEVELOPMENT CRITERIA PER APPROVED PDP PLAN**

- MAXIMUM OF 55 HOUSING UNITS WILL BE SPECIALLY DESIGNED FOR RESIDENTS OVER THE AGE OF 55 WITH WALKING PATHS, SEATING AREAS AND RECREATIONAL AMENITIES.
- A TOTAL OF 6 MODERATELY INCOME DWELLINGS ARE PLANNED.
- A TOTAL OF 55 CONDOMINIUM UNITS ARE PLANNED.
- ALL OF THE GARDEN APARTMENT CONDOMINIUM BUILDINGS WILL INCLUDE ELEVATORS.
- ALL VILLAS WILL HAVE GARAGE.
- THE EXTERIOR WALLS OF THE GARAGE VILLAS AND CONDOMINIUMS WILL BE BRICK AND/OR STONE AND HARDPLANK.
- ACCESS TO AND CIRCULATION WITHIN ALL OF THE BUILDINGS WILL BE WITHIN THE DESIGN COTE OF THE AMERICANS WITH DISABILITIES ACT ("ADA").
- THERE WILL BE A MEANDERING PATH AND SIDEWALK SYSTEM CONNECTING SEATING AREAS WITHIN THE COMMUNITY.
- A SHUTTLE SERVICE WILL TRANSPORT RESIDENTS TO MEDICAL AND OTHER SERVICES, AS NEEDED.
- VEHICULAR ACCESS INTO AND OFF THE SITE WILL BE THROUGH AN INTERNAL PRIVATE ROAD TO BE BUILT THAT BISects THE SITE.
- A 1,500 SQUARE FOOT COMMUNITY BUILDING, CONTAINING A LIBRARY, AN EXERCISE ROOM, MEETING ROOMS AND OTHER ACTIVITY AREAS WILL BE BUILT WITHIN THE CENTER OF THE SITE.
- THE EXTERIOR OF THE COMMUNITY BUILDING WILL BE THE SAME BRICK AND/OR STONE AND HARDPLANK AS THE CONDOMINIUM BUILDINGS.
- PERSONS ELIGIBLE TO PURCHASE ANY OF THE DWELLING UNITS MUST BE 55 YEARS OF AGE OR OLDER.
- CHILDREN UNDER THE AGE OF 18 MAY NOT RESIDE IN A DWELLING FOR MORE THAN 90 DAYS WITHIN A CALENDAR YEAR.



**LEGEND:**

- EXISTING CONTOURS
- PROPERTY LINE
- SETBACK LINE
- EXISTING TREELINE
- MARKET PRICE HOME
- FLUSH BRICK PAVERS
- PROP. 250 WATT STREET LIGHT W/ 6' ARM
- PROP. 250 WATT HPS VAPOR PENDANT FIXTURE (SAG) MOUNTED AT 30" ON BRONZE FIBERGLASS POLE USING A 12' ARM
- BOARD ON BOARD FENCE

**PLAN**  
SCALE: 1" = 40'

BASED UPON 6.36 ADT'S/UNIT, 31 UNITS WILL RESULT IN 200 ADT'S AND WILL THEREFORE REQUIRE A 24 FT. PAVEMENT SECTION. THIS POINT OCCURS AT STATION 2+60 ON TWEED DRIVE. THEREFORE FROM STATION 0+00 TO 2+60 A 24 FT. PAVEMENT WILL BE PROPOSED. A NATURAL TRANSITION POINT WOULD BE INTERSECTION OF TWEED DRIVE AND MacDUFF DRIVE OPPOSITE UNIT NO. 6.

PREPARED BY:  
**American Land Development and Engineering, Inc.**  
10749 BIRMINGHAM WAY, WOODSTOCK, MD 21163  
TEL. (410) 465-7903 FAX. (410) 465-3845

OWNERS: Paul L. Thompson  
Betty R. Thompson  
6436 Cedar Lane  
Columbia, MD 21044

DEVELOPER: Freetown, LLC  
6258 Cardinal Lane  
Columbia, Md. 21044

**ENGINEER'S CERTIFICATE**  
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."  
Signature of Engineer: David C. Woessner  
DATE: 4/14/05

**DEVELOPER'S CERTIFICATE**  
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/ALSO AUTHORIZE PER [ ] SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."  
Signature of Developer: Dale Thompson  
DATE: 4/14/05



APPROVED: DEPARTMENT OF PLANNING AND ZONING

Signature: [ ]  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 5/5/05

Signature: [ ]  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 6/9/05

Signature: [ ]  
DIRECTOR - DEPARTMENT OF PLANNING AND ZONING  
DATE: 6/9/05

TITLE: **SITE DEVELOPMENT PLAN**

PROJECT NAME: **SCOT'S GLEN SOUTH**  
BUILDABLE BULK PARCEL "A" - UNITS 1 THRU 55 AND COMMUNITY CENTER  
PLANNED SENIOR COMMUNITY (PSC) - AGE RESTRICTED ADULT HOUSING  
A RESUBDIVISION OF PARCELS 224 AND 326  
HOWARD COUNTY, MARYLAND, 21044

S-04-05 PB CASE 363 ZB 1030M F-05-63

DES.: AVG JOB: PROJ.: DATE: 04-13-05  
DRW.: AVG CHK.: D.C.W. SCALE: 1" = 40' SHEET 2 OF 25

SCHEDULE "A" PERIMETER LANDSCAPE EDGE									
PERIMETER	CATEGORY	LANDSCAPE TYPE	LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	CREDIT FOR EXISTING VEGETATION (No. No. Linear Feet) (Describe below if needed)	CREDIT FOR WALL, FENCE OR BERM (No. No. Linear Feet) (Describe below if needed)	EVERGREEN TREES	SHADE TREES	SMALL TREES	SMALL DECIDUOUS TREES
P 1	R	C	705 FT.	0	YES 705' (0) *	0	0	0	0
P 2	P	C	635 FT.	0	YES 60' WALL (575)	29	15	0	29
P 3	P	C	278 FT.	0	YES 250' FENCE (28)	2	1	0	2
P 4	R	A	853 FT.	0	YES 770' FENCE (83)	0	2	0	4
TOTAL						31	18	0	35

TYPICAL PERIMETER LANDSCAPE EDGE SYMBOL: **Ar3** **Io**

NOTE:

- ONE SHADE TREE PER 60 FT. IS PROPOSED FOR PERIMETER 1 IN ADDITION TO A COMBINATION OF 3 FT. BERM AND 4 FT. WALL.
- A CREDIT OF 18 STREET TREES IS TAKEN FROM CEDAR LANE.
- LANDSCAPE BUFFER HAS BEEN REDUCED TO 10 FT. ALONG PERIMETERS 3 AND 4. A 6 FT. CLOSED FENCE IS PROPOSED. TWO (2) EVERGREENS PER 60 FT. OF FENCE IS PROPOSED IN ADDITION TO THE REQUIRED LANDSCAPING ALONG PERIMETER 3.
- NATIVE EVERGREENS WILL BE TRANSPLANTED FROM THE EXISTING FARMS TO PERIMETERS 2 AND 3 AS SHOWN ON PLAN.

SCHEDULE "B" PARKING LOT INTERNAL LANDSCAPING	
Number of Parking Units	11 SP
Number of Trees Required	2
Number of Trees Provided 1 PER 10 SPACES	2

TYPICAL PARKING LOT LANDSCAPING SYMBOL: **Ar2**

SCHEDULE "C" RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING			
Number of Dwelling Units	37 SFA AND 18 APT. UNITS		
Number of Trees Required (1:50 SFA; 1:30 DU APTS)	43 = (37 + 6)		
Number of Trees Provided	EVERGREEN / SMALL DECIDUOUS / SHADE	TOTAL EQUIVALENT TREES	
	62 = (31 SHADES @ 2:1 RATIO)	12	43

TYPICAL INTERNAL LANDSCAPING SYMBOL: **Ar2** **Py**

SCHEDULE "D" STORMWATER MANAGEMENT AREA LANDSCAPING BIO-RETENTION FACILITY # 1	
Linear Feet of Perimeter	375 FT.
Number of Trees Required	
Shade Trees 1:50	8
Evergreen Trees 1:40	10
Credit for Existing Vegetation (No, Yes and %)	0
Credit for Other Landscaping (No, Yes and %)	YES 100%*

SCHEDULE "D" STORMWATER MANAGEMENT AREA LANDSCAPING BIO-RETENTION FACILITY # 2	
Linear Feet of Perimeter	305 FT.
Number of Trees Required	
Shade Trees 1:50	7
Evergreen Trees 1:40	8
Credit for Existing Vegetation (No, Yes and %)	0
Credit for Other Landscaping (No, Yes and %)	YES 100%*

STREET TREE CHART		
LARGE TREES (1:40 FT.)	REQUIRED	PROVIDED
SMALL TREES (1:30 FT.)	40 TREES	40 [EQUIVALENT] TREES (= 10 SHADE, 40 SMALL DECIDUOUS)
TWEED DR. 1600 FT.	24 TREES	24 [EQUIVALENT] TREES (= 13 SHADE, 15 SMALL DECIDUOUS)
MACDUFF DR. 934 FT.	18 TREES	18 CREDIT TAKEN (SEE NOTE)
CEDAR LANE ** 705 FT.	82 TREES	82 [EQUIVALENT] TREES** (= 23 SHADE, 55 SMALL DECIDUOUS)
TOTAL TREES	18 TREES	

CREDIT FOR EX. STREET TREES ON CEDAR LANE = 18 TREES

\*\*18 STREET TREES ARE EXISTING ALONG CEDAR LANE. FIVE (5) WILL REQUIRE RELOCATION AS SHOWN.

△ SOME STREET TREES ARE LOCATED ALONG P-1, P-2 AND P-3 BECAUSE OF SPACING CONSTRAINTS ALONG INTERNAL PRIVATE ROADS

TYPICAL STREET TREE LANDSCAPING SYMBOL:	EX. STREET TREE	RELOCATED STREET TREE
<b>Qr</b> <b>Py</b>		

ALTERNATIVE LANDSCAPING	
Small Deciduous / Evergreen	Proposed between unit 36 and unit 37 and the proposed parking area
31 Shrubs (SYMBOL = O)	

TYPICAL ALTERNATIVE LANDSCAPING SYMBOL:

LEGEND:	
	EXISTING CONTOURS
	PROPERTY LINE
	SETBACK LINE
	EXISTING TREELINE
	PROP. BOARD ON BOARD FENCE

PROP. 6' BOARD-ON-BOARD FENCE TO BE LOCATED ALONG PROPERTY LINE WILL SERVE AS LANDSCAPE SCREEN & PROVIDE REQUIRED PROTECTION ALONG RETAINING WALL. SEE DETAIL ALONG SHEET

PROP. 6' BOARD-ON-BOARD FENCE TO BE LOCATED ALONG PROPERTY LINE WILL SERVE AS LANDSCAPE SCREEN & PROVIDE REQUIRED PROTECTION ALONG RETAINING WALL.

NOTE: FENCE TO BE TERMINATED 50 FT. FROM PROPERTY LINE ALONG CEDAR LANE.

\* LANDSCAPING WITHIN THE BIORETENTION FACILITY EXCEEDS THE LANDSCAPING REQUIREMENTS OF THE TWO SCHEDULE "D"s, AND THEREFORE A 100% CREDIT HAS BEEN TAKEN.

QUANTITY	SYMBOL	DESCRIPTION	MINIMUM SIZE
16	Ar1	Acer rubrum 'Red Sunset' Red Maple	2 1/2" cal.
7	Ar2	Acer rubrum 'Armstrong' Armstrong Columnar Red Maple	2 1/2" cal.
2	Ar3	Acer rubrum 'October Glory' October Glory Red Maple	2 1/2" cal.
5	Op	Quercus phellos Willow Oak	2 1/2" cal.
16	Qr	Quercus rubra Northern Red Oak	2 1/2" cal.
7	Pa	Platanus acerifolia 'Bloodgood' Bloodgood London Plane Tree	2 1/2" cal.
6	Cl	Magnolia x soulangiana Leyland Cypress	6'-8" ht.
5	Io	Ilex opaca American Holly	6'-8" ht.
38	P	Picea abies Norway Spruce	6'-8" ht.
42*	Ps	Pinus strobus Eastern White Pine	6'-8" ht.
21	Ck	Cornus kousa Kousa Dogwood	8'-10" ht.
4	Mf	Malus floribunda 'Harvest Gold' Harvest Gold Flowering Crabapple	2 1/2" cal.
4	Py	Prunus x yedoensis Yoshino Cherry	2 1/2" cal.
4	Ms	Magnolia x soulangiana Saucer Magnolia	8' ht.
31	ea	Eunonymus alatus 'compactus' Dwarf Winged Euonymus	30" ht. 38" o.c.

Release of surety will not be granted until all landscaping shown on the approved final plan or site development plan has been completed in accordance with the approved landscape plan. Surety for landscaping shall be based on the total number of required new trees (shade, ornamental and evergreen) or comparable elements shown on the landscape plan. The unit prices to be used for establishing surety requirements shall be in accordance with the adopted County Fee Schedule which is \$300.00 per shade tree, \$150.00 per evergreen/ornamental tree, \$30.00 per shrub, \$10.00 per linear foot of fencing and \$20.00 per linear foot of wall.

Based on all the Planting Schedule, the surety for required landscaping is the following:

53 shade trees x \$300.00 = \$15,900 (Schedule A = 16, Sch. B = 2, Sch. C = 12, Large Street Trees = 23)

152 ornamental/evergreen trees x \$150.00 = \$22,800.00 (Sch. A = 35, Sch. C = 62, 55 Small Street Trees)

1,020 linear feet of wall x \$10.00 = \$10,200.00

765 linear feet of well x \$20.00 = \$15,300.00

31 shrubs x \$30.00 = \$930.00

Total = \$65,130.00

NOTE: THE LANDSCAPING SURETY WILL BE POSTED WITH THE DEVELOPER'S AGREEMENT.

AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE.

DATE:	REVISION	BY:

OWNERS: Paul L. Thompson  
Betty R. Thompson  
6436 Cedar Lane  
Columbia, MD 21044

DEVELOPER: Freetown, LLC  
6258 Cardinal Lane  
Columbia, Md. 21044

PREPARED BY:

**American Land Development and Engineering, Inc.**

10749 BIRMINGHAM WAY, WOODSTOCK, MD 21163  
TEL. (410) 465-7903 FAX. (410) 465-3845

DEVELOPER'S / OWNER'S LANDSCAPE CERTIFICATE

I / WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. I / WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

*Dale Thompson*  
DEVELOPER'S / OWNER'S NAME  
DALE THOMPSON

4/1/05  
DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*William D. Williams*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
5/5/05  
DATE

*Cindy Hartman*  
CHIEF, DIVISION OF LAND DEVELOPMENT  
6/9/05  
DATE

*Mark M. Carver*  
DIRECTOR - DEPARTMENT OF PLANNING AND ZONING  
6/9/05  
DATE

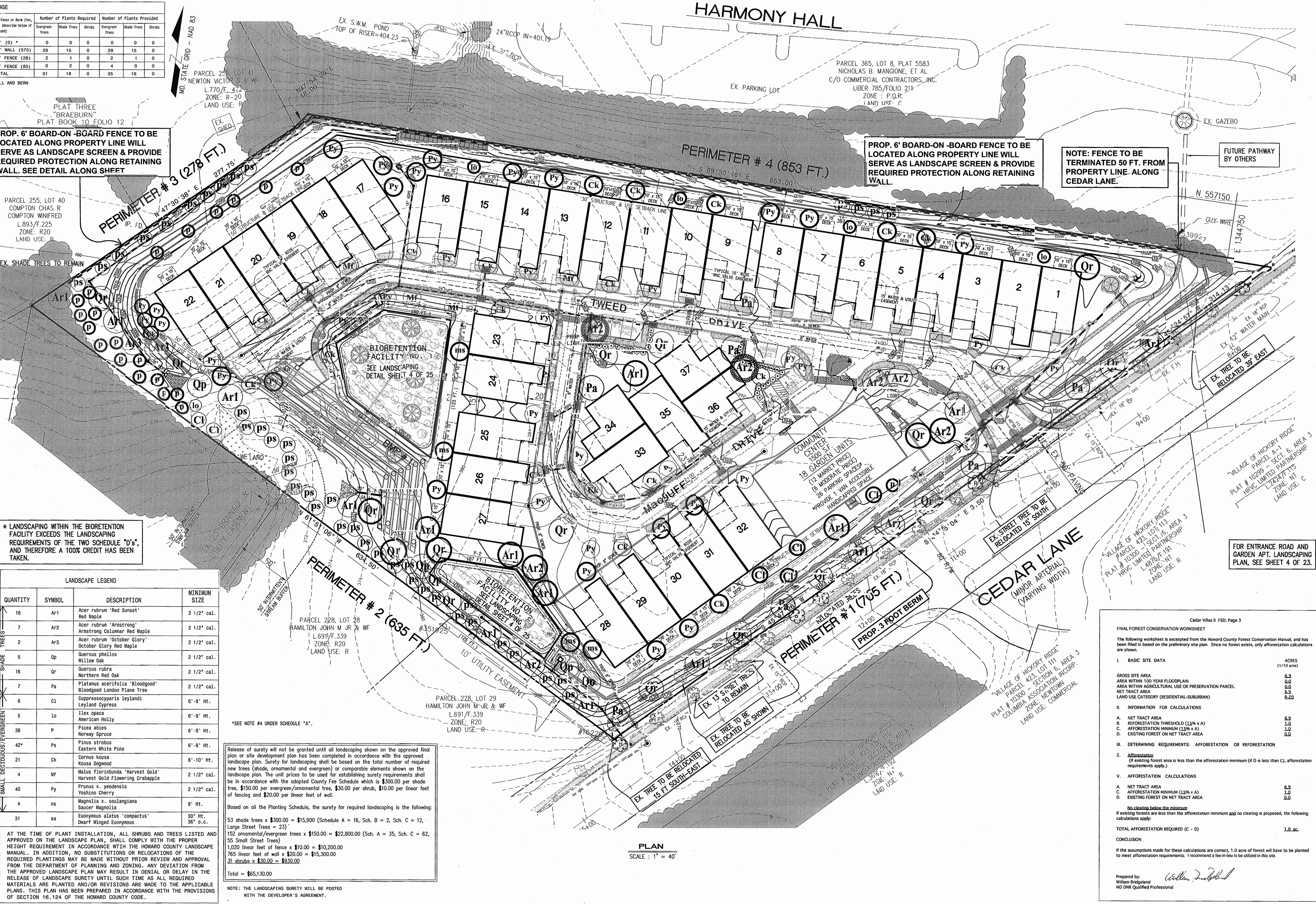
TITLE: **LANDSCAPE PLAN**

PROJECT NAME: **SCOT'S GLEN SOUTH**  
BUILDABLE BULK PARCEL "A" - UNITS 1 THRU 55 AND COMMUNITY CENTER  
PLANNED SENIOR COMMUNITY (PSC) - AGE RESTRICTED ADULT HOUSING  
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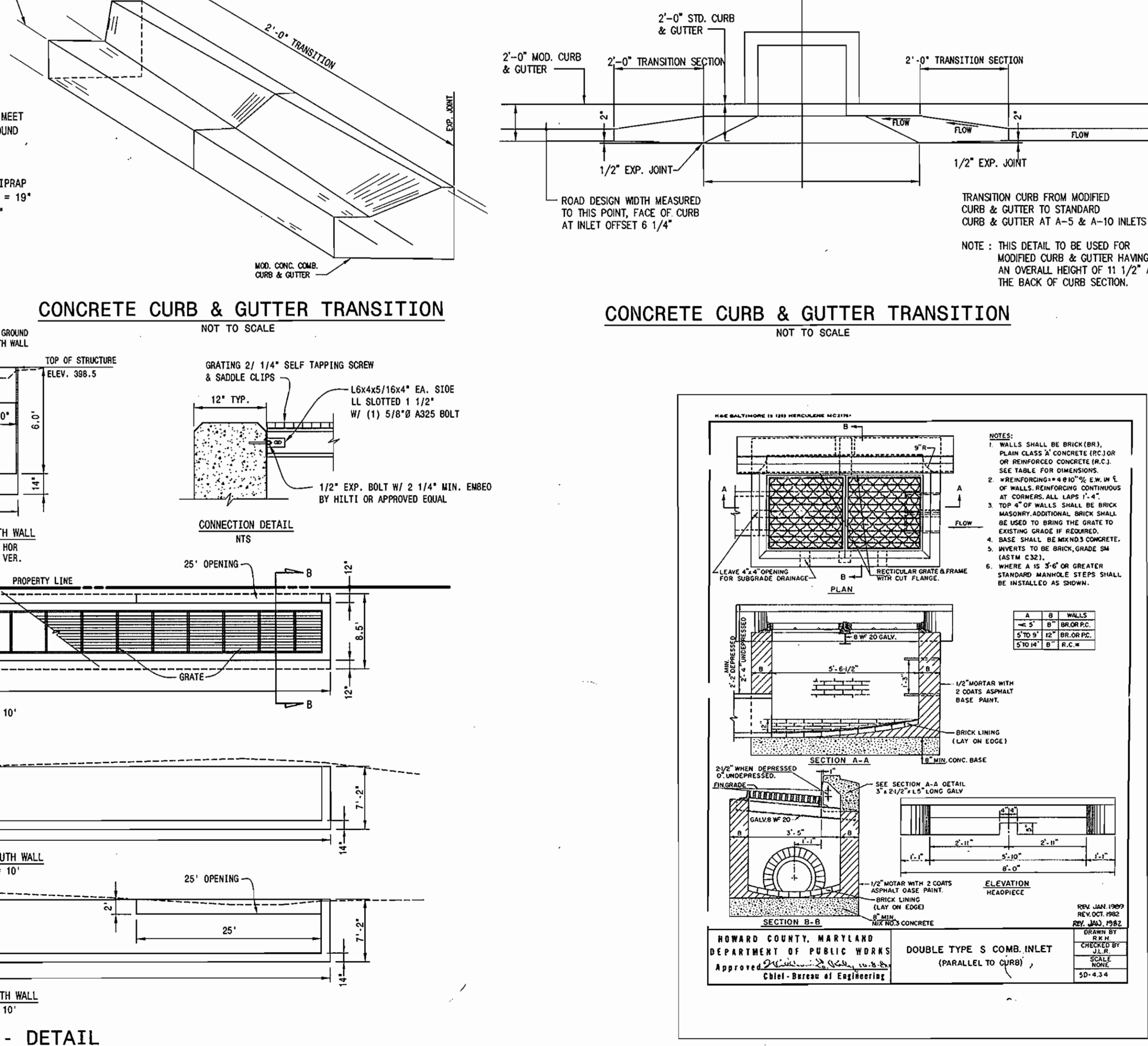
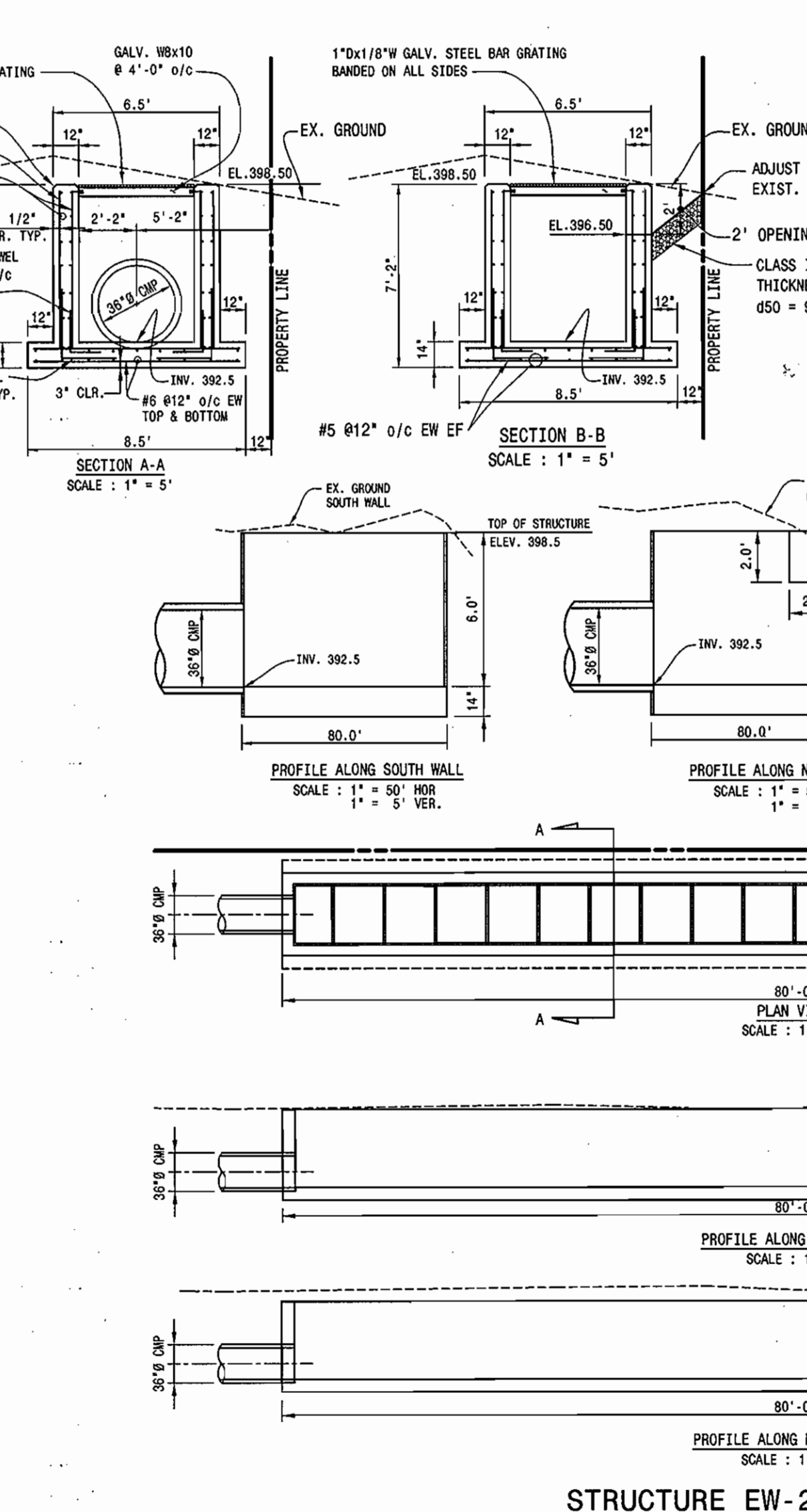
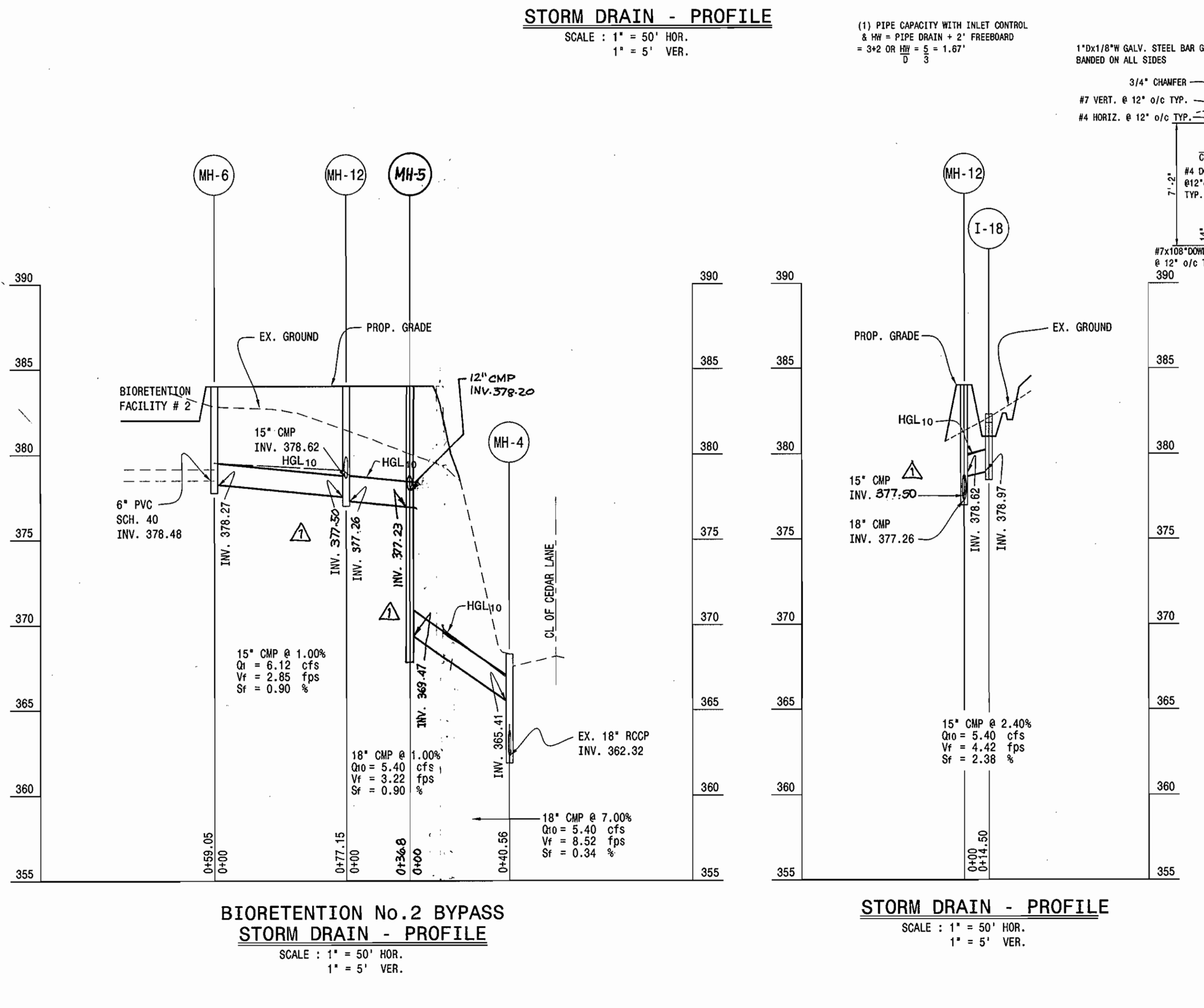
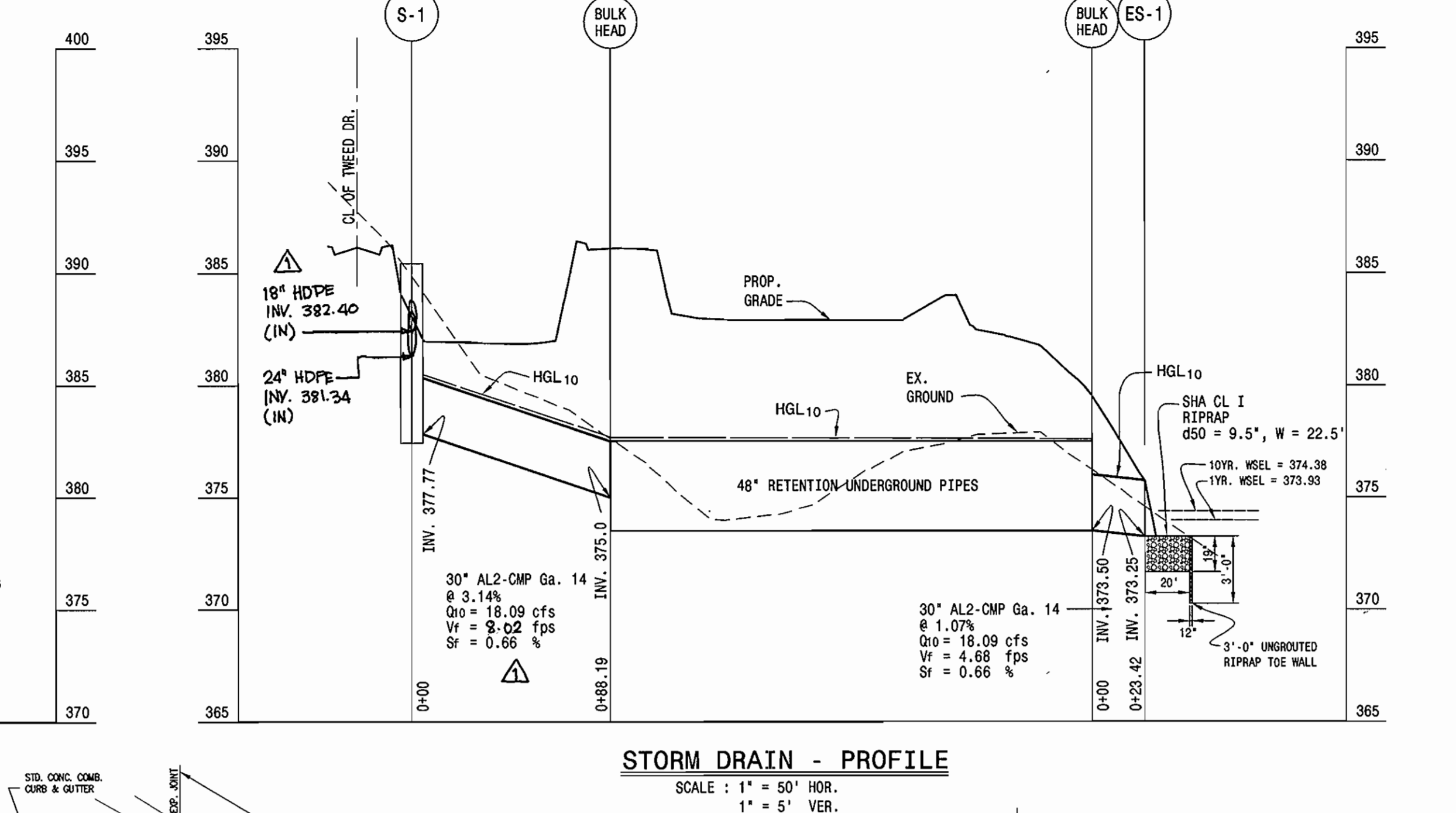
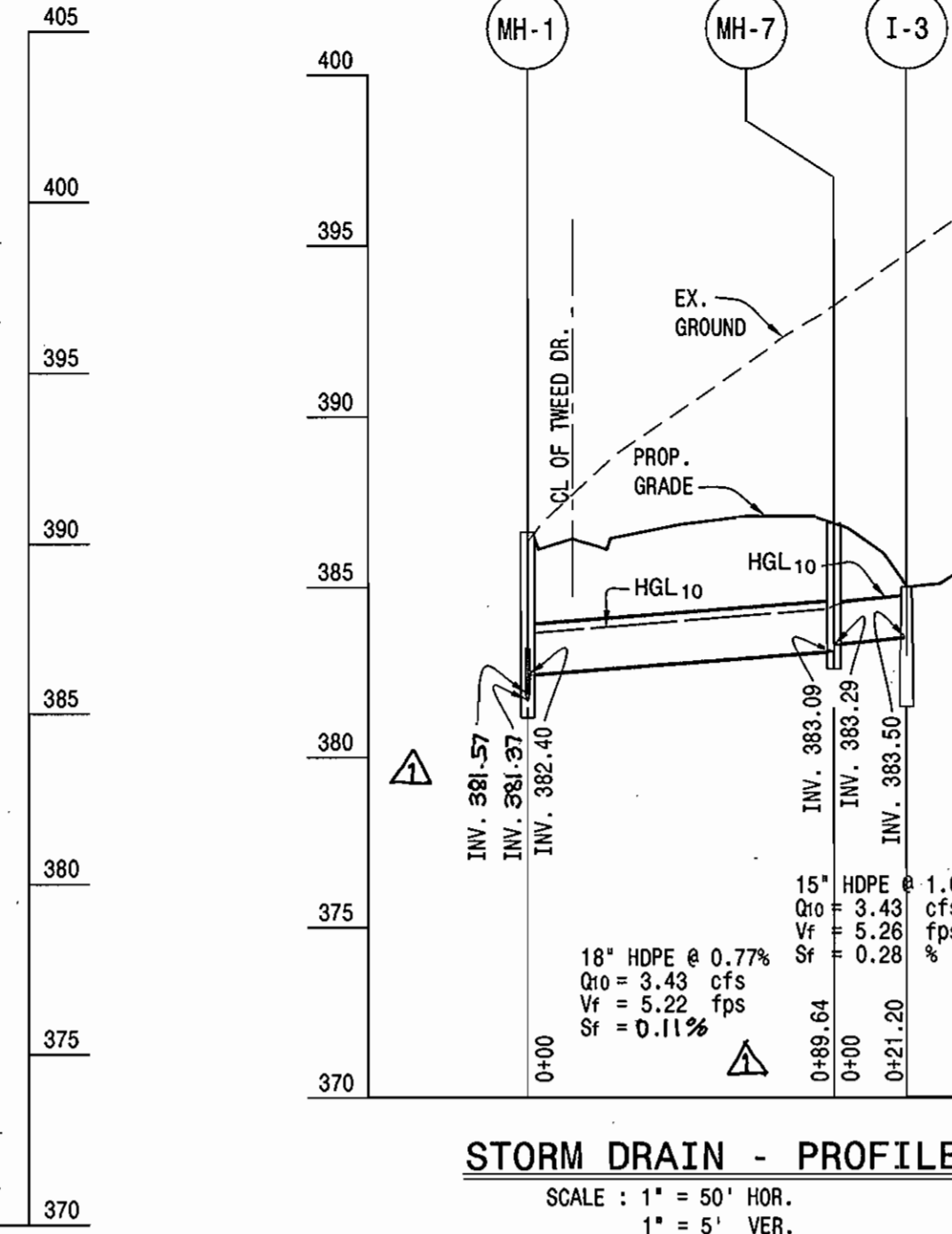
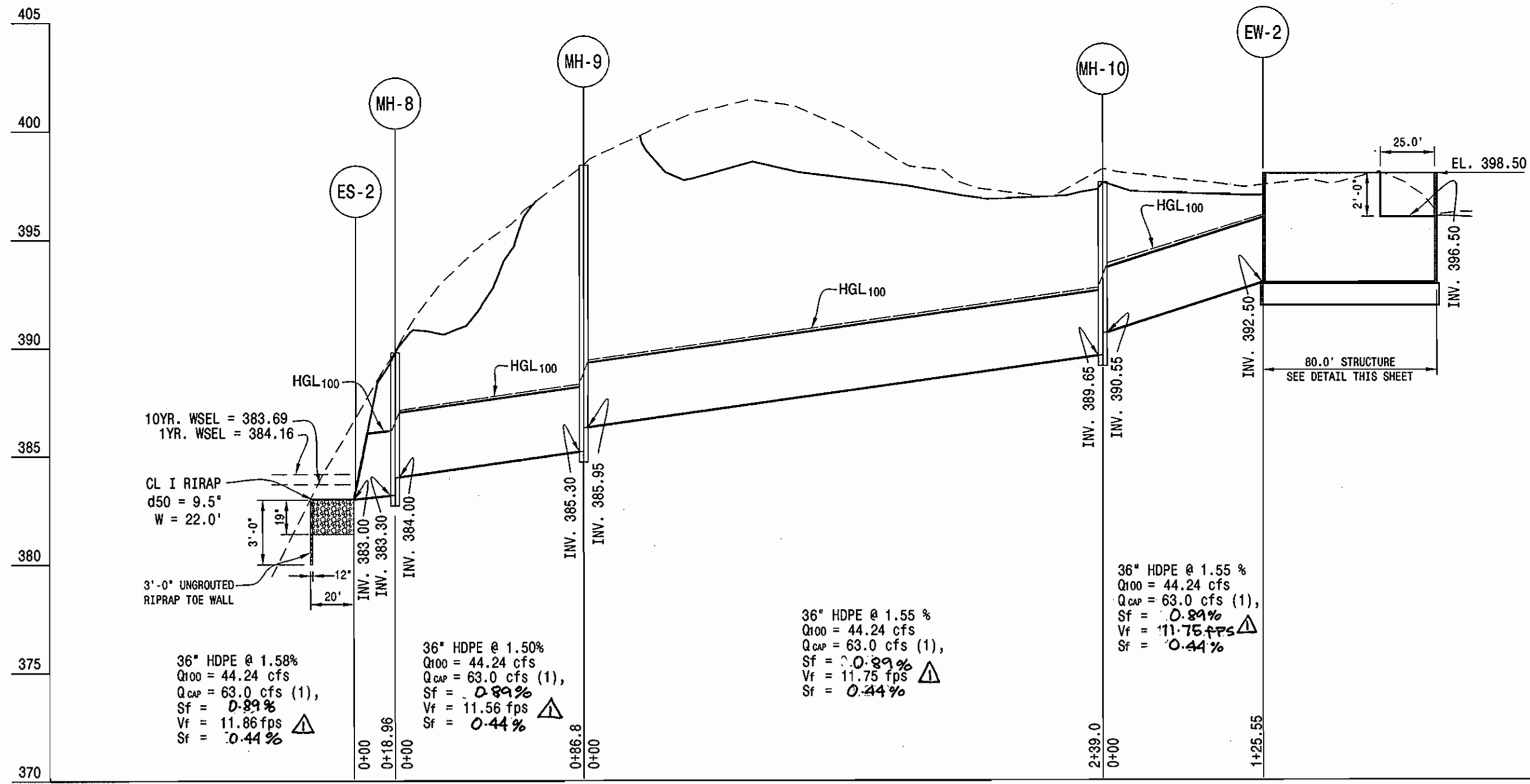
S-04-05 PB CASE 363 ZB 1030M F-05-63

DES.: AVG	JOB:	PROJ.:	DATE:
DRW.: AVG	CHK.: D.C.W.	SCALE: 1" = 40'	04-13-05

SHEET 3 OF 25







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**ENGINEER'S CERTIFICATE**  
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Signature: David C. Woessner  
DATE: 4/15/05

**DEVELOPER'S CERTIFICATE**  
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Signature: Dale Thompson  
DATE: 4/14/05

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Signature: Chief, Development Engineering Division  
DATE: 5/5/05

Signature: Chief, Division of Land Development  
DATE: 6/9/05

Signature: Director - Department of Planning and Zoning  
DATE: 6/3/05

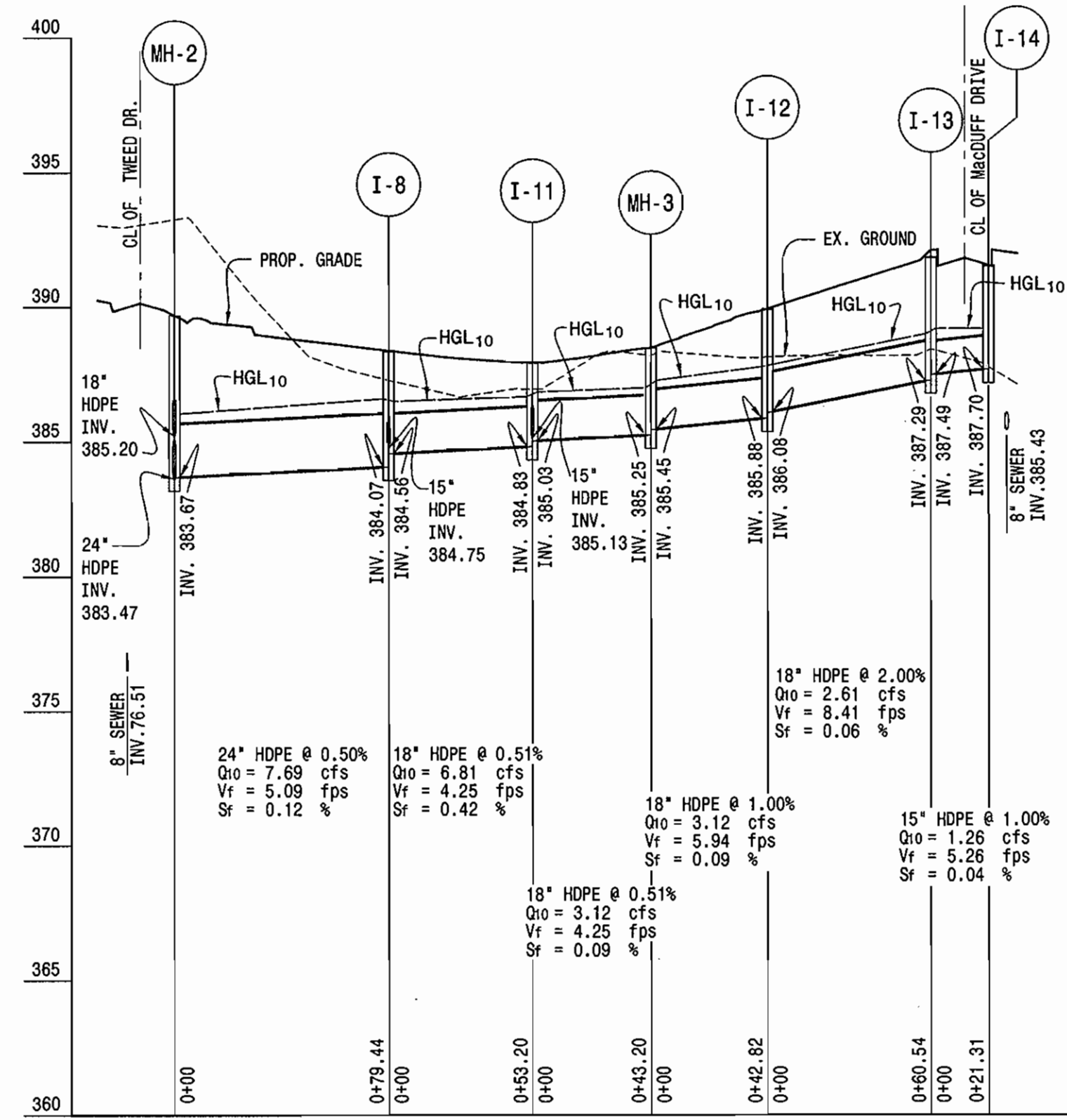
TITLE: **STORM DRAIN PROFILES**

PROJECT NAME: **SCOT'S GLEN SOUTH**  
BUILDABLE BULK PARCEL "A" - UNITS 1 THRU 55 AND COMMUNITY CENTER  
PLANNED SENIOR COMMUNITY (PSC) - AGE RESTRICTED ADULT HOUSING  
A RESUBDIVISION OF PARCELS 224 AND 326  
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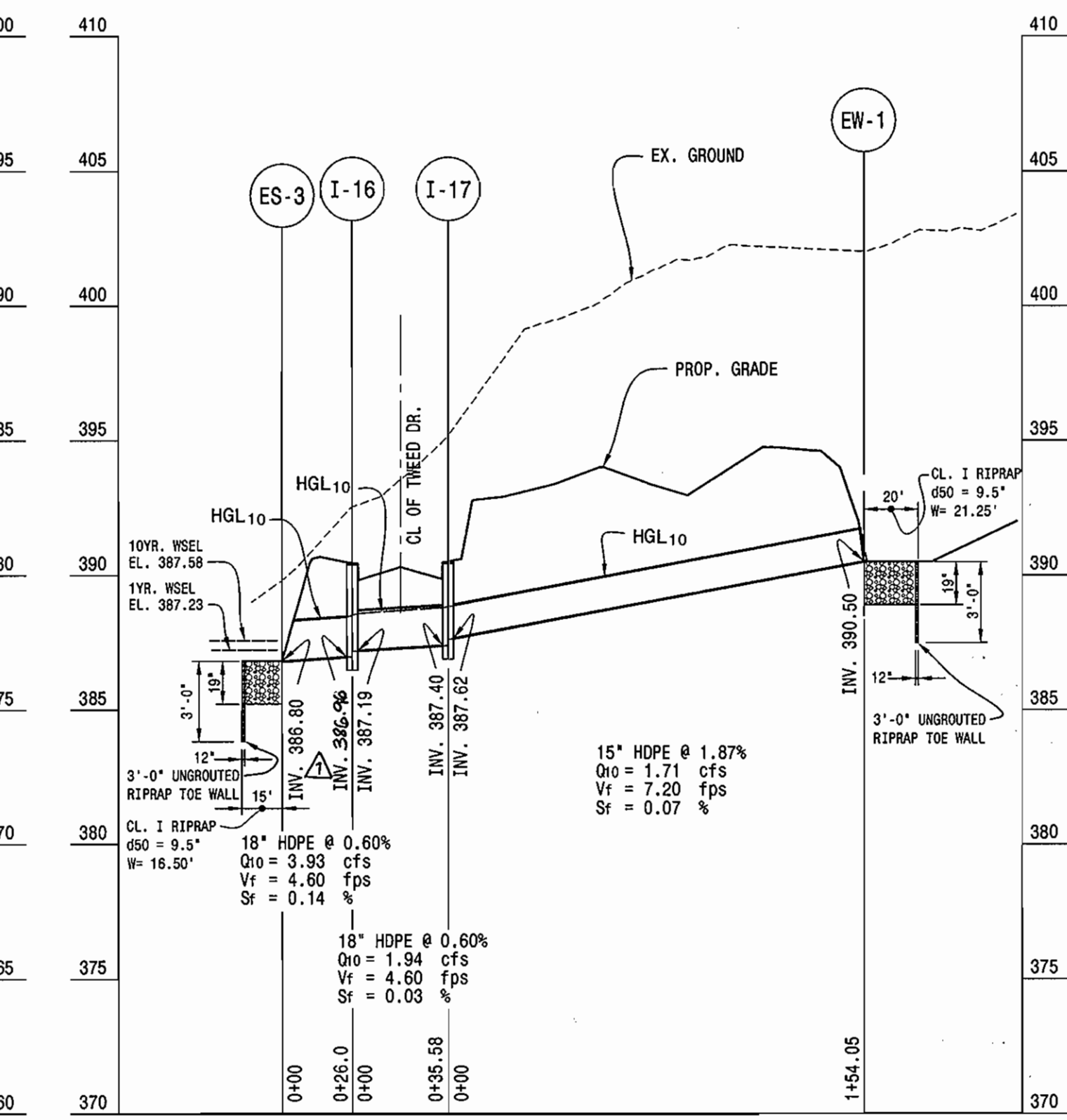
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DES.: AVG JOB: PROJ.: DATE: 04-13-05  
DRAW.: AVG CHK.: D.C.W. SCALE: SHEET 12 OF 25

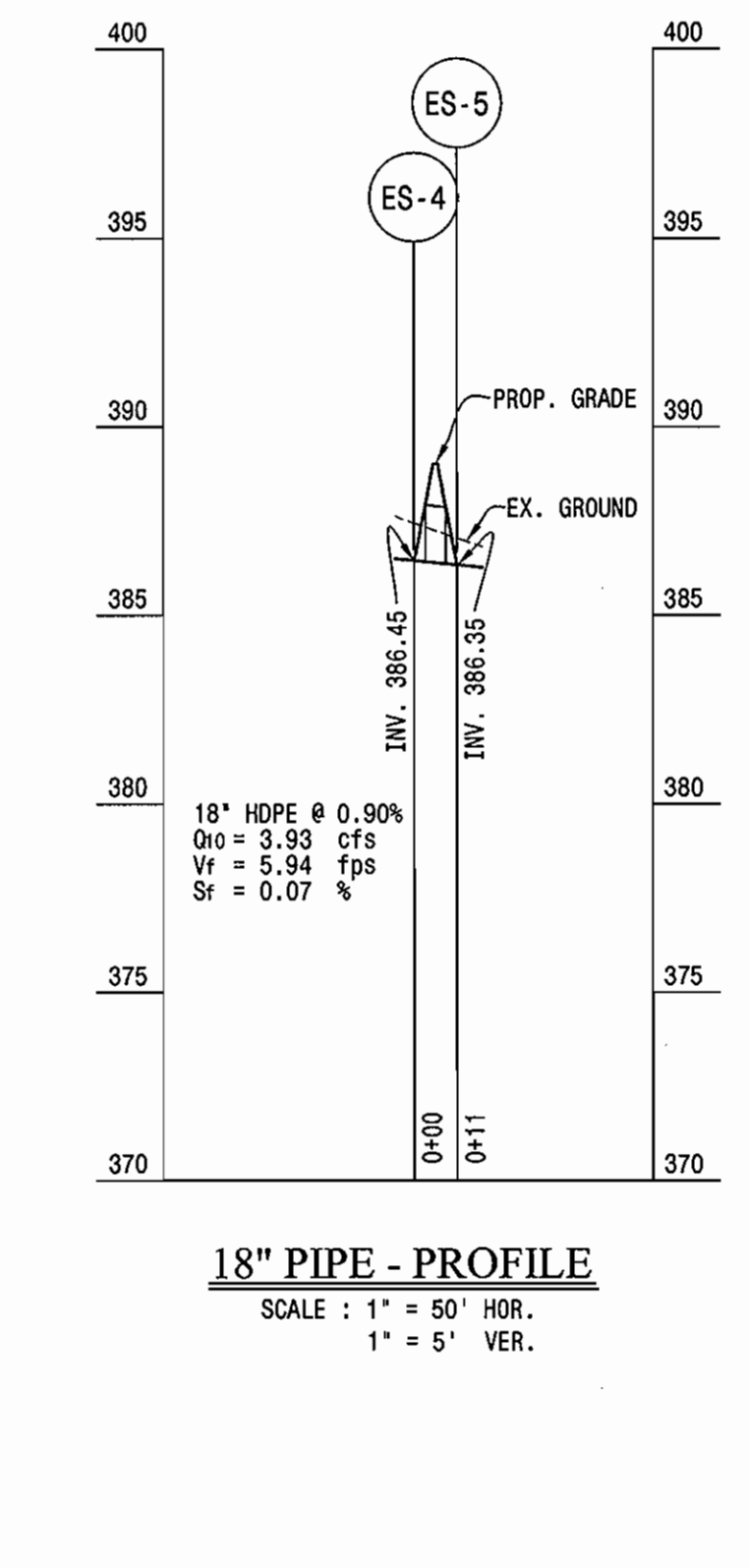
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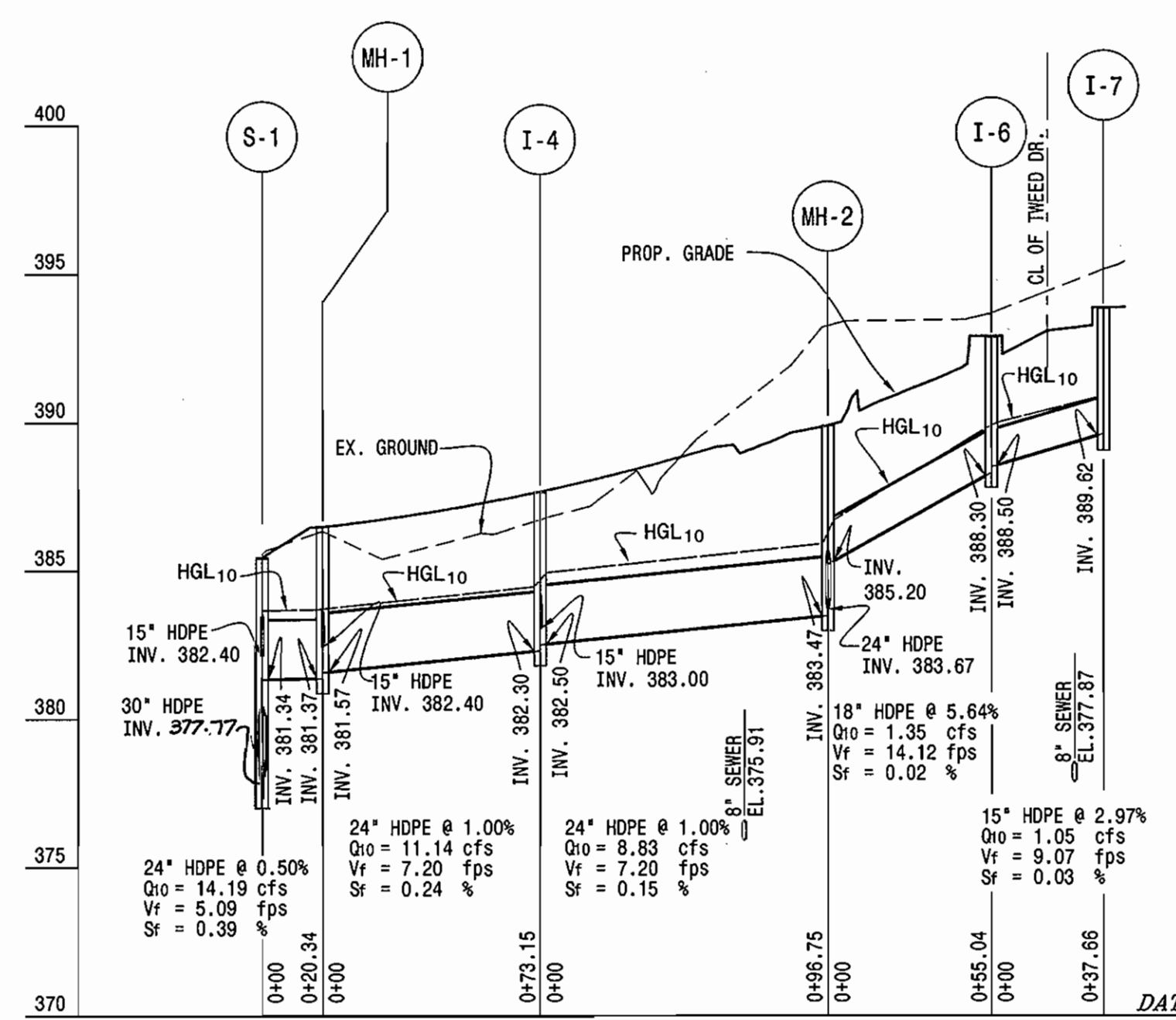
**STORM DRAIN - PROFILE**  
SCALE: 1" = 50' HOR.  
1" = 5' VER.



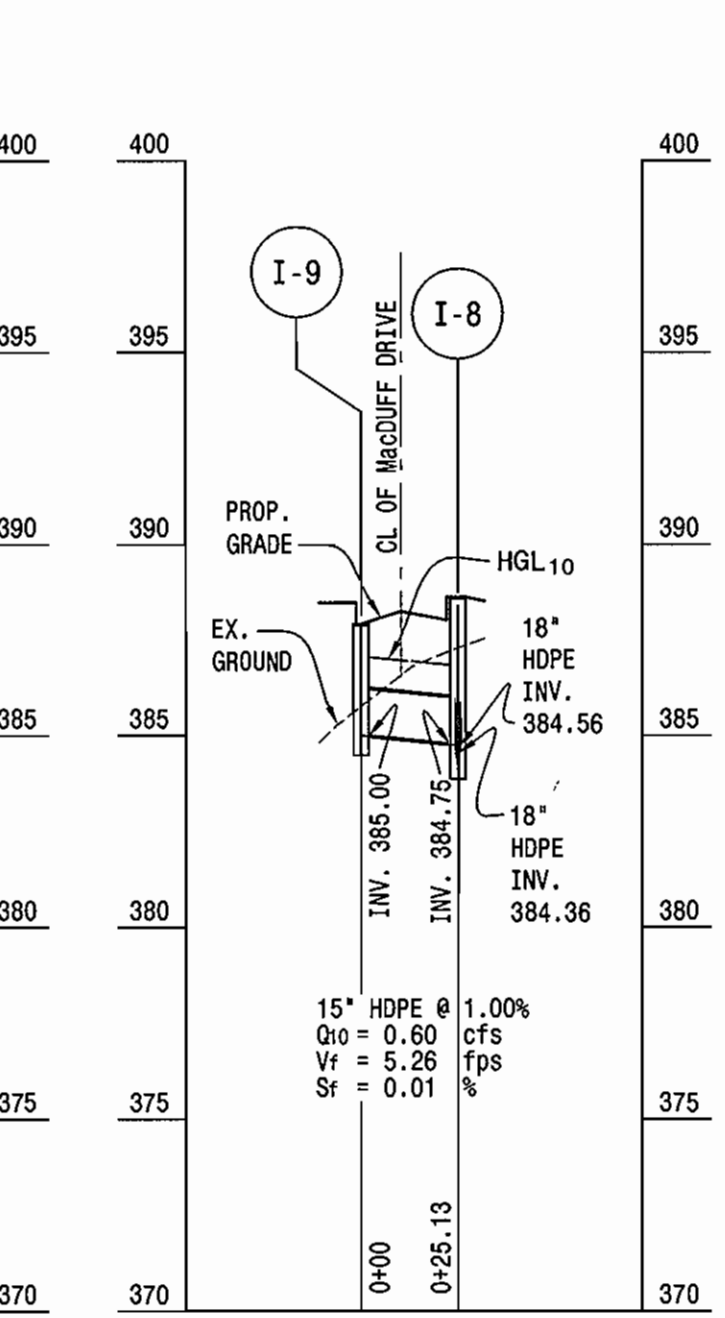
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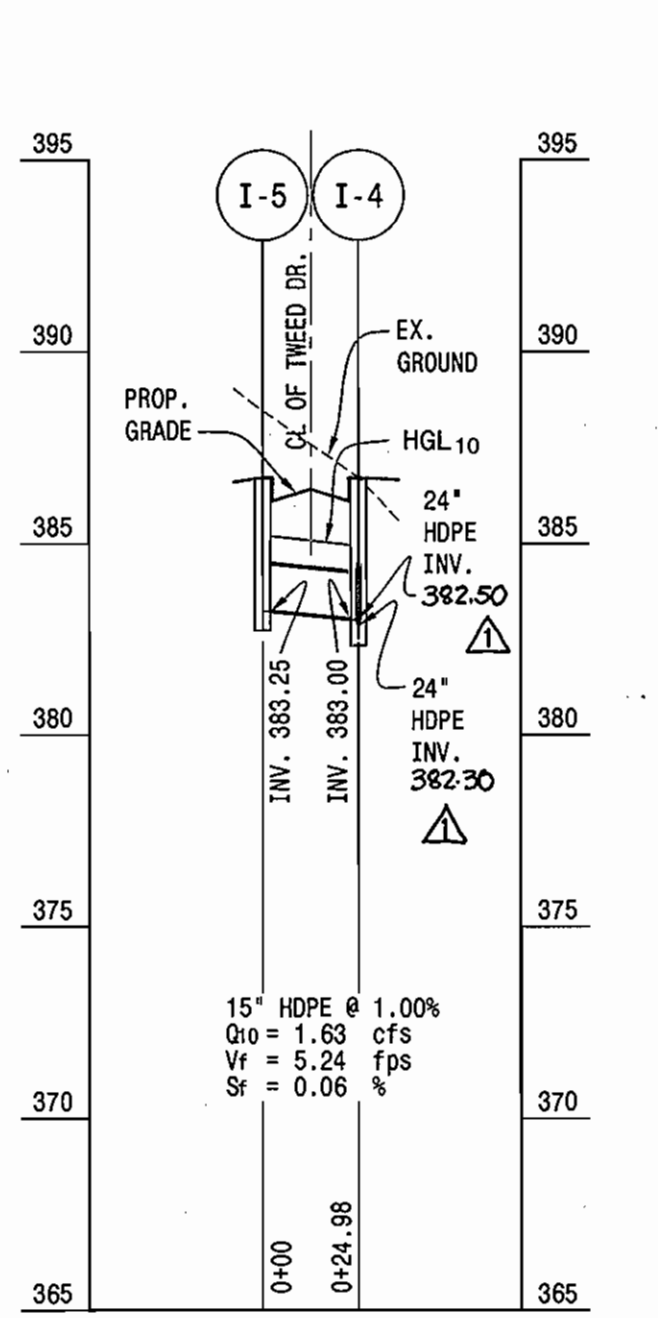
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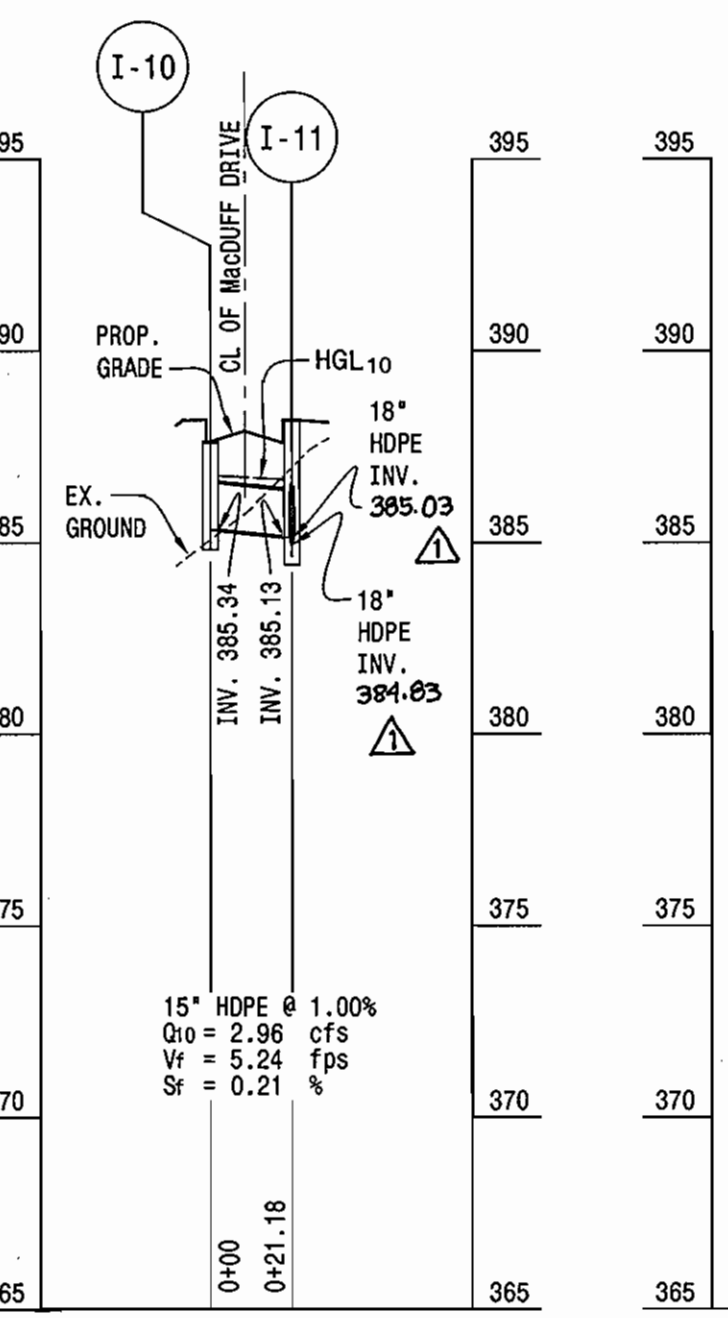
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SCALE: 1" = 50' HOR.  
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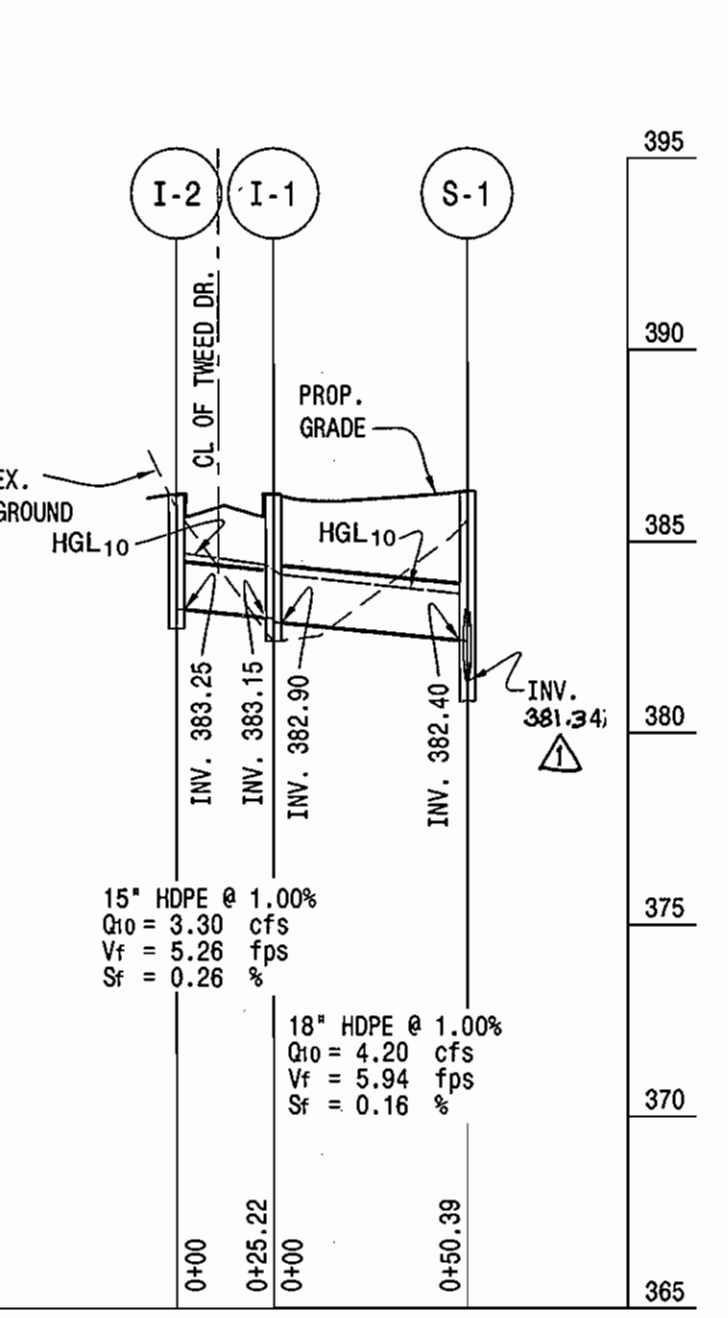
**STORM DRAIN - PROFILE**  
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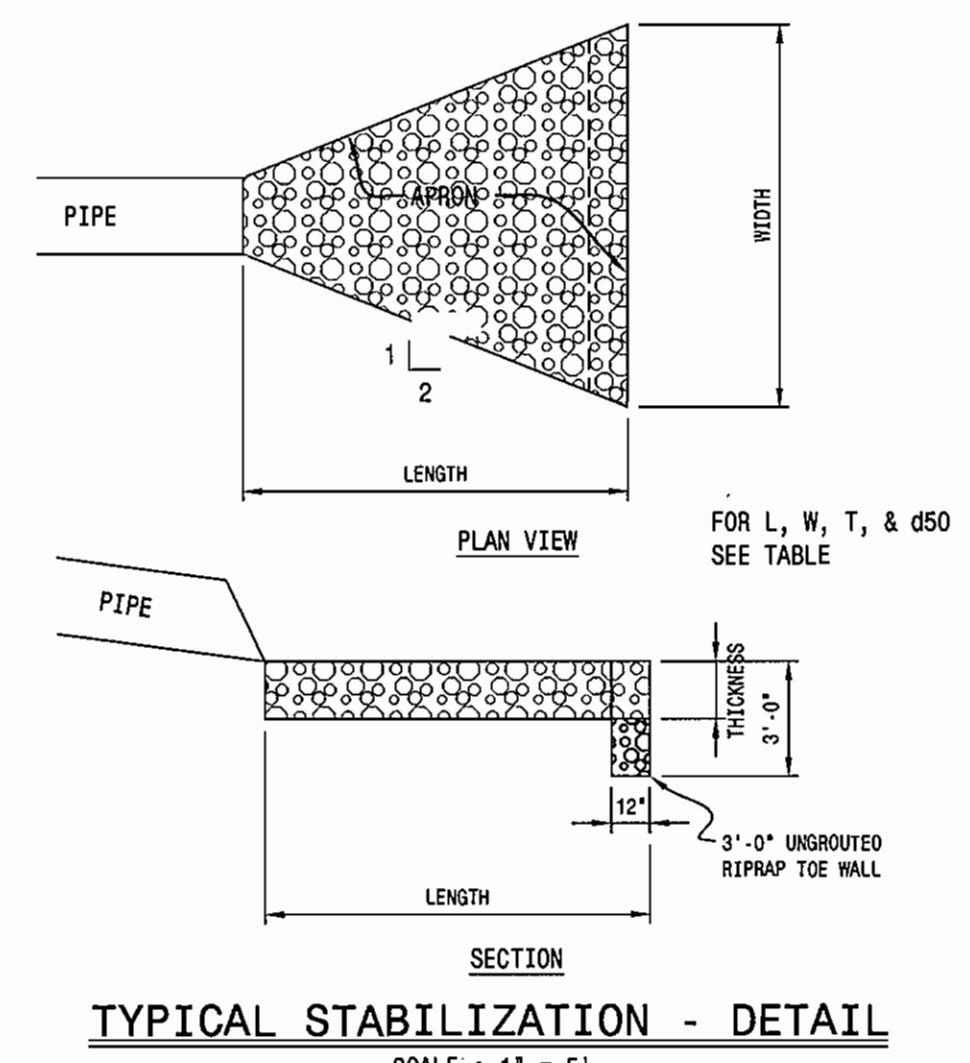


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SCALE: 1" = 50' HOR.  
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**STORM DRAIN - PROFILE**  
SCALE: 1" = 50' HOR.  
1" = 5' VER.

STRUCTURE SCHEDULE										
STRUCTURE NO.	TYPE	TOP ELEVATION	INV. IN	INV. OUT	ROAD NAME	ROAD STA.	OFFSET	HO. CO. STD.		
I - 1	A-5 (2'-6" WIDE)	386.01	383.15	382.90	TWEED DRIVE	7+05.79	10.0' L	S.D. 4.34		
I - 2	A-5 (2'-6" WIDE)	385.99		383.25	TWEED DRIVE	7+05.99	10.0' R	S.D. 4.01		
I - 3	YARD INLET	385.00 *		383.50	TWEED DRIVE	N 557075.4142, E 1344022.3890		S.D. 4.01		
I - 4	A-5 (2'-6" WIDE)	387.67	382.50, 383.00	382.30	TWEED DRIVE	5+50.34	10.0' L	S.D. 4.01		
I - 5	A-5 (2'-6" WIDE)	386.46		383.25	TWEED DRIVE	5+50.38	10.0' R	S.D. 4.34		
I - 6	A-5 (2'-6" WIDE)	382.90	388.50	388.30	TWEED DRIVE	3+98.64	10.0' L	S.D. 4.01		
I - 7	A-5 (2'-6" WIDE)	383.85		389.62	TWEED DRIVE	3+70.43	10.0' R	S.D. 4.34		
I - 8	A-5 (2'-6" WIDE)	388.39	384.56, 384.75	384.07	MacDUFF DRIVE	4+10.51	10.0' R	S.D. 4.34		
I - 9	DOUBLE TYPE S COMB. INLET	387.92		385.00	MacDUFF DRIVE	3+97.17	10.0' L	S.D. 4.34		
I - 10	DOUBLE TYPE S COMB. INLET	387.64		385.34	MacDUFF DRIVE	3+53.05	10.0' L	S.D. 4.34		
I - 11	A-5 (2'-6" WIDE)	388.10	385.03, 385.13	384.83	MacDUFF DRIVE	3+53.25	10.0' R	S.D. 4.11		
I - 12	A-5 (2'-6" WIDE)	389.94	386.08	385.88	MacDUFF DRIVE	2+36.43	10.0' R	S.D. 4.11		
I - 13	A-5 (2'-6" WIDE)	392.11	387.49	387.29	MacDUFF DRIVE	1+75.90	10.0' R	S.D. 4.34		
I - 14	DOUBLE TYPE S INLET	391.55		387.70	MacDUFF DRIVE	1+75.75	10.0' L	S.D. 4.23		
I - 16	A-5 (2'-6" WIDE)	390.42	387.19	386.96	TWEED DRIVE	6+23.56	18.09' L	S.D. 4.01		
I - 17	A-5 (2'-6" WIDE)	390.47	387.62	387.40	TWEED DRIVE	6+23.71	17.88' R	S.D. 4.01		
I - 18	YARD INLET	382.3	381.47	378.97	TWEED DRIVE	N 556670.1762, E 1344225.2922		S.D. 4.01		
MH 1	STD. MANHOLE	386.48	381.57, 382.40	381.37	TWEED DRIVE	6+23.57	13.14' L	S.D.-5.11		
MH 2	STD. MANHOLE	389.90	385.20, 383.67	383.47	TWEED DRIVE	4+53.60	12.71' L	S.D.-5.11		
MH 3	STD. MANHOLE	388.49	385.45	385.25	MacDUFF DRIVE	2+93.36	13.49' R	S.D.-5.11		
MH 4	STD. MANHOLE	386.29	365.41	362.32	CEDAR LANE	N 556604.1963, E 1344216.0147		S.D.-5.11		
MH 5	STD. MANHOLE	384.0	377.25	369.47		N 556641.4466, E 1344251.5242		S.D.-5.11		
MH 6	STD. MANHOLE	384.0	378.48	378.27		N 556686.4846, E 1344151.7547		S.D.-5.11		
MH 7	STD. MANHOLE	386.87	383.29	381.09		N 557060.5003, E 1344037.4904		S.D.-5.11		
MH 8	STD. MANHOLE	389.80	384.00	383.30		N 556874.9026, E 1343830.6951		S.D.-5.11		
MH 9	STD. MANHOLE	398.41	385.95	385.30		N 556936.5402, E 1343769.6108		S.D.-5.11		
MH 10	STD. MANHOLE	397.60	390.55	389.65		N 557101.6623, E 1343942.3945		S.D.-5.11		
MH 12	STD. MANHOLE	384.00	377.50, 378.62	377.26		N 556659.2117, E 1344219.3126		S.D.-5.11		
S-1	STRUCTURE	398.41	381.34, 382.40	377.77	TWEED DRIVE	6+52.86	22.29' L	PRE-CAST		
ES-1	END SECTION			373.25		N 556782.7116, E 1344025.9873		S.D.-5.52		
ES-2	END SECTION			383.00		N 556866.2213, E 1343846.7021		S.D.-5.61		
ES-3	END SECTION			386.80		N 556904.0908, E 1344541.5456		S.D.-5.61		
ES-4	END SECTION			386.45		N 556877.9398, E 1344514.4626		S.D.-5.61		
ES-5	END SECTION			386.35		N 556870.2675, E 1344506.5569		S.D.-5.61		
EW-1	TYPE "A" HEADWALL			390.50		N 557073.9673, E 1344675.2246		S.D.-5.11		
EW-2	SPECIAL STRUCTURE	398.50		392.50		N 557101.8034, E 1344046.2745		SPECIAL STRUCTURE	END TO END OF STRUCTURE	



PIPE SCHEDULE			
TYPE/CLASS OF PIPE	PIPE SIZE (IN.)	TOTAL LENGTH (FT.)	REMARKS
PVC *	4	900	
	6	125	
HDPE, SMOOTH INTERIOR	15	309	
	18	834	
	24	269	
	36	471	
AL2 CMP	30	112	
	48	1,281	
CMP	15	92	
	18	96	

* STORMWATER MANAGEMENT RELATED PIPES				
OUTFALL/INFLOW RIPRAP STABILIZATION DATA				
STRUCTURE NO.	d50 (in.)	LENGTH (FT.) (L)	WIDTH (FT.) (W)	THICKNESS (in.) (T)
ES-1	9.5"	20'	22.50'	19"
ES-2	9.5"	20'	22.0'	19"
ES-3	9.5"	15'	16.5'	19"
EW-1	9.5"	20'	21.25'	19"

PREPARED BY:  
**American Land Development and Engineering, Inc.**  
10749 BIRMINGHAM WAY, WOODSTOCK, MD 21163  
TEL. (410) 465-7903 FAX. (410) 465-3845

ENGINEER'S CERTIFICATE  
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."  
Signature: David C. Woessner  
DATE: 4/15/05  
SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE)  
DAVID C. WOESSNER

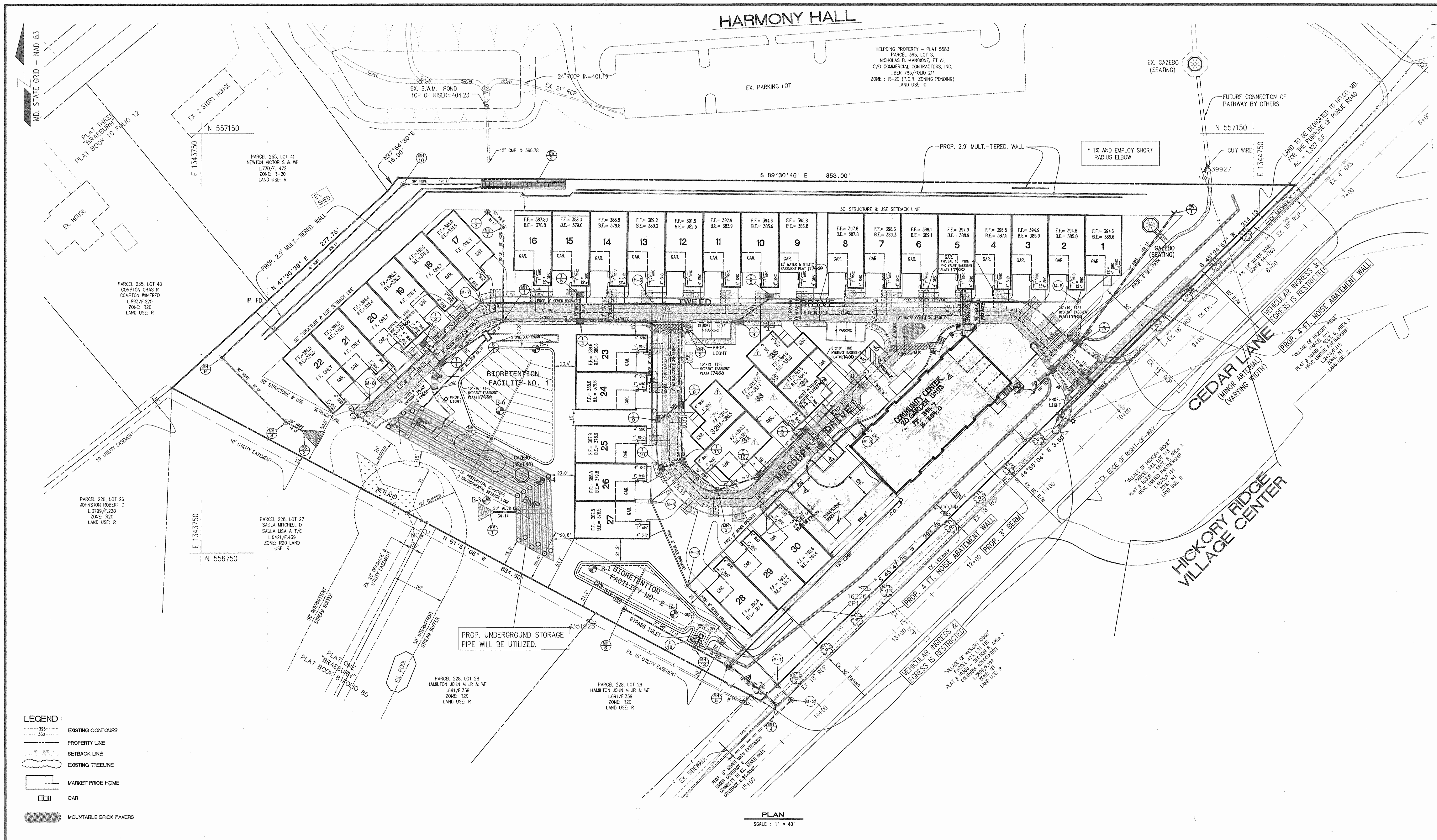
DEVELOPER'S CERTIFICATE  
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."  
Signature: Dale Thompson  
DATE: 4/15/05  
SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE)  
DALE THOMPSON

OWNERS: Paul L. Thompson, Betty R. Thompson, 6436 Cedar Lane, Columbia, MD 21044  
DEVELOPER: Frestown, LLC, 6258 Cardinal Lane, Columbia, Md. 21044

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
Signature: Chief, Development Engineering Division  
DATE: 5/5/05  
Signature: Chief, Division of Land Development  
DATE: 6/9/05  
Signature: Director - Department of Planning and Zoning  
DATE: 6/9/05

TITLE: **STORM DRAIN PROFILES**  
PROJECT NAME: **SCOT'S GLEN SOUTH**  
BUILDABLE BULK PARCEL "A" - UNITS 1 THRU 55 AND COMMUNITY CENTER  
PLANNED SENIOR COMMUNITY (PSC) - AGE RESTRICTED ADULT HOUSING  
A RESUBDIVISION OF PARCELS 224 AND 326  
HOWARD COUNTY, MARYLAND, 21044  
S-04-05 PB CASE 363 ZB 10300M F-05-63

DES.: AVG JOB: PROJ.: DATE: 04-13-05  
DRW.: AVG CHK.: D.C.W. SCALE: SHEET 11 OF 25



- LEGEND :**
- 325 --- EXISTING CONTOURS
  - 330 --- EXISTING CONTOURS
  - PROPERTY LINE
  - SETBACK LINE
  - EXISTING TREELINE
  - MARKET PRICE HOME
  - CAR
  - MOUNTABLE BRICK PAVERS

**PLAN**  
SCALE: 1" = 40'

PREPARED BY :

**American Land Development and Engineering, Inc.**

10749 BIRMINGHAM WAY, WOODSTOCK, MD 21163  
TEL. (410) 465-7903 FAX. (410) 465-3845

DATE	REVISION	BY
8-9-06	REVISE CONDOMINIUM BUILDING LAYOUT & RELOCATE UNDERGROUND PARKING ENTRANCE AND ELIMINATE UNITS 31 & 32 AND CONVERT TO APARTMENT UNITS	

OWNERS: Paul L. Thompson  
Betty R. Thompson  
6436 Cedar Lane  
Columbia, MD 21044

DEVELOPER: Freetown, LLC  
6258 Cardinal Lane  
Columbia, Md. 21044

**ENGINEER'S CERTIFICATE**

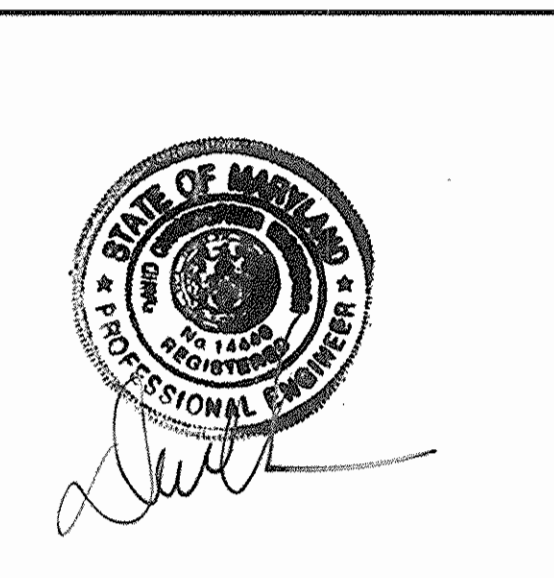
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

DAVID C. WOESSNER  
DATE: 4/15/05

**DEVELOPER'S CERTIFICATE**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/AM AUTHORIZED PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

DALE THOMPSON  
DATE: 4/14/05



APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 5/5/05

CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 6/6/05

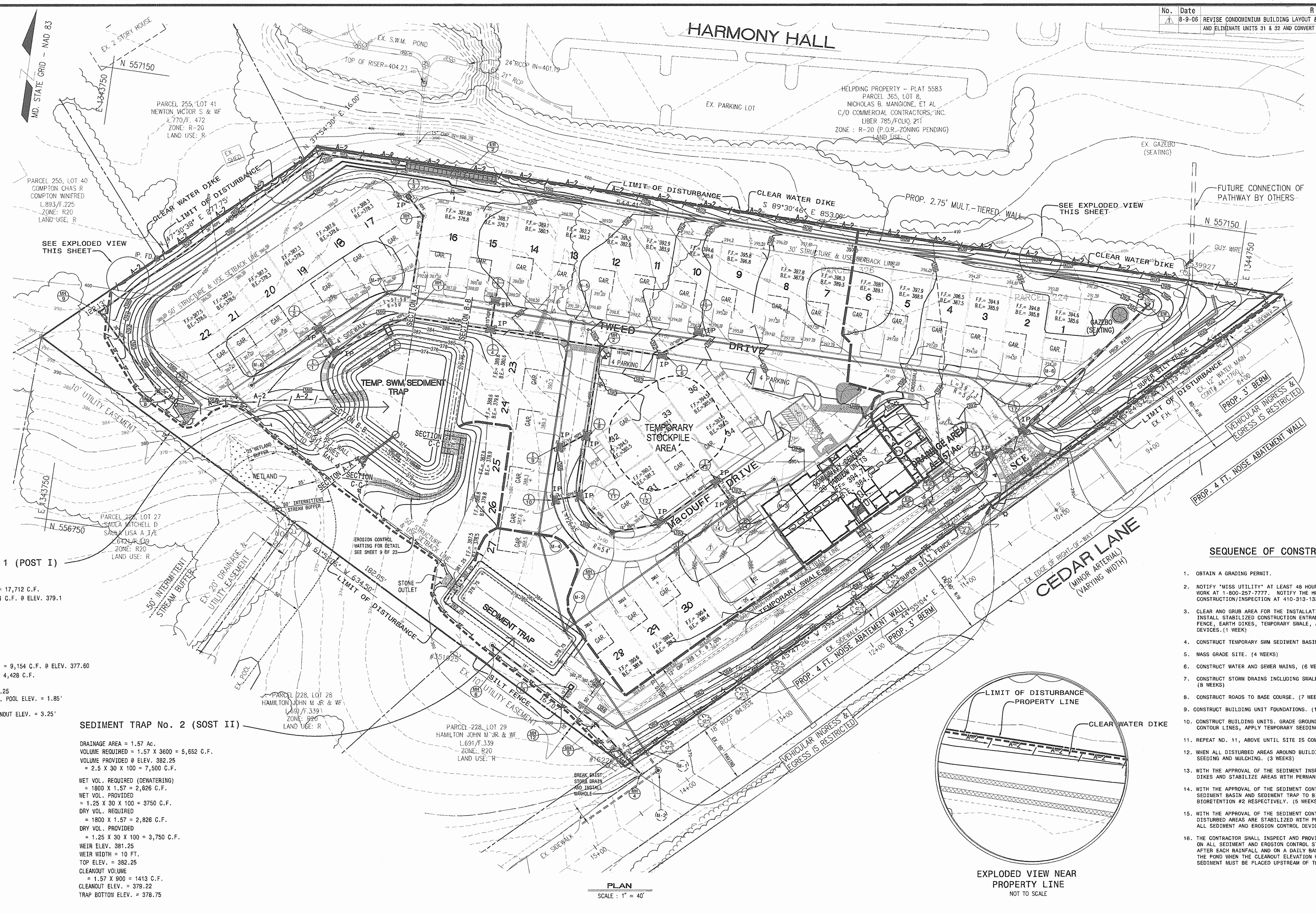
DIRECTOR - DEPARTMENT OF PLANNING AND ZONING  
DATE: 6/8/05

TITLE: **UTILITY PLAN**

PROJECT NAME: **SCOT'S GLEN SOUTH**  
BUILDABLE BULK PARCEL "A" - UNITS 1 THRU 55 AND COMMUNITY CENTER  
PLANNED SENIOR COMMUNITY (PSC) - AGE RESTRICTED ADULT HOUSING  
A RESUBDIVISION OF PARCELS 224 AND 326  
HOWARD COUNTY, MARYLAND, 21044

S-04-05 PB CASE 363 ZB 1030M F-05-63

DES.: AVG	JOB.:	PROJ.:	DATE: 04-13-05
DRW.: AVG	CHK.: D.C.W.	SCALE:	SHEET 10 OF 25



**SEDIMENT TRAP No. 1 (POST I)**

DRAINAGE AREA = 4.92 Ac.  
VOLUME REQUIRED = 4.92 X 3600 = 17,712 C.F.  
ACTUAL VOLUME OF BASIN = 33,561 C.F. @ ELEV. 379.1

WET VOL. REQUIRED (DEWATERING) = 1800 X 4.92 = 8,856 C.F.  
WET VOL. PROVIDED = 12,817 @ ELEV. 376.25  
DRY VOL. REQUIRED = 1800 X 4.92 = 8,856 C.F.  
DRY VOL. PROVIDED = (21,971 C.F. - 12,817 C.F.) = 9,154 C.F. @ ELEV. 377.60

CLEANOUT VOLUME = 4.92 X 900 = 4,428 C.F.  
RISER CREST ELEV. = 378.10  
PERMANENT POOL ELEVATION = 376.25  
DIST. FROM RISER CREST TO PERM. POOL ELEV. = 1.85'  
BASIN CLEANOUT ELEV. = 374.85'  
DIST. FROM RISER CREST TO CLEANOUT ELEV. = 3.25'  
Q<sub>s</sub> = 1.09 CFS  
EX. Q<sub>s</sub> = 1.99 CFS

**SEDIMENT TRAP No. 2 (SOST II)**

DRAINAGE AREA = 1.57 Ac.  
VOLUME REQUIRED = 1.57 X 3600 = 5,652 C.F.  
VOLUME PROVIDED @ ELEV. 382.25 = 2.5 X 30 X 100 = 7,500 C.F.

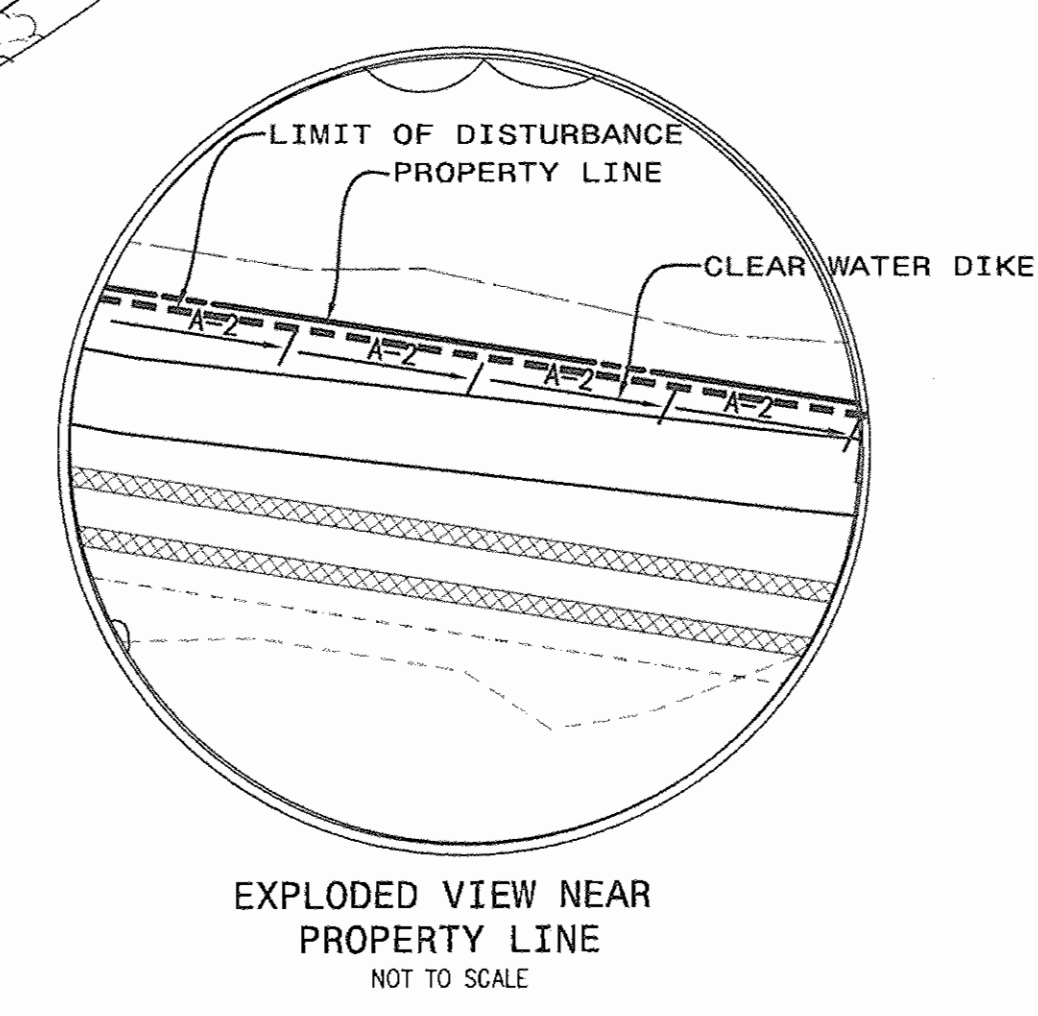
WET VOL. REQUIRED (DEWATERING) = 1800 X 1.57 = 2,826 C.F.  
WET VOL. PROVIDED = 1,25 X 30 X 100 = 3750 C.F.  
DRY VOL. REQUIRED = 1800 X 1.57 = 2,826 C.F.  
DRY VOL. PROVIDED = 1.25 X 30 X 100 = 3,750 C.F.

WEIR ELEV. 381.25  
WEIR WIDTH = 10 FT.  
TOP ELEV. = 382.25  
CLEANOUT VOLUME = 1.57 X 900 = 1413 C.F.  
CLEANOUT ELEV. = 379.22  
TRAP BOTTOM ELEV. = 378.75

**PLAN**  
SCALE: 1" = 40'

**SEQUENCE OF CONSTRUCTION**

1. OBTAIN A GRADING PERMIT.
2. NOTIFY "MISS UTILITY" AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK AT 1-800-257-7777. NOTIFY THE HOWARD COUNTY OFFICE OF CONSTRUCTION/INSPECTION AT 410-313-1330 24 HOURS BEFORE STARTING WORK.
3. CLEAR AND GRUB AREA FOR THE INSTALLATION OF ALL SEDIMENT CONTROL SHOW. INSTALL STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, SUPER SILT FENCE, EARTH DIKES, TEMPORARY SWALE, AND CONSTRUCT OTHER SEDIMENT CONTROL DEVICES. (1 WEEK)
4. CONSTRUCT TEMPORARY SWM SEDIMENT BASIN AND SEDIMENT TRAP. (3 WEEKS)
5. MASS GRADE SITE. (4 WEEKS)
6. CONSTRUCT WATER AND SEWER MAINS. (6 WEEKS)
7. CONSTRUCT STORM DRAINS INCLUDING SWALES. INSTALL INLET PROTECTIONS. (8 WEEKS)
8. CONSTRUCT ROADS TO BASE COURSE. (7 WEEKS)
9. CONSTRUCT BUILDING UNIT FOUNDATIONS. (10 WEEKS)
10. CONSTRUCT BUILDING UNITS. GRADE GROUND AROUND BUILDING TO PERMANENT CONTOUR LINES, APPLY TEMPORARY SEEDING AND MULCHING. (15 WEEKS)
11. REPEAT NO. 11, ABOVE UNTIL SITE IS COMPLETELY BUILT OUT.
12. WHEN ALL DISTURBED AREAS AROUND BUILDINGS ARE STABILIZED APPLY PERMANENT SEEDING AND MULCHING. (3 WEEKS)
13. WITH THE APPROVAL OF THE SEDIMENT INSPECTOR, REMOVE THE CLEAR WATER DIKES AND STABILIZE AREAS WITH PERMANENT SEEDING AND MULCHING. (2 WEEKS)
14. WITH THE APPROVAL OF THE SEDIMENT INSPECTOR CONVERT TEMP. SWM SEDIMENT BASIN AND SEDIMENT TRAP TO BIRETENTION #1 AND BMP, AND BIRETENTION #2 RESPECTIVELY. (5 WEEKS)
15. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, AFTER ALL DISTURBED AREAS ARE STABILIZED WITH PERMANENT SEEDING, REMOVE ALL SEDIMENT AND EROSION CONTROL DEVICES. (1 WEEK)
16. THE CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE ON ALL SEDIMENT AND EROSION CONTROL STRUCTURES SHOWN HEREON AFTER EACH RAINFALL AND ON A DAILY BASIS. REMOVE SEDIMENT FROM THE POND WHEN THE CLEANOUT ELEVATION HAS BEEN REACHED. ALL SEDIMENT MUST BE PLACED UPSTREAM OF THE APPROVED TRAPPING DEVICE.



PREPARED BY:

**American Land Development and Engineering, Inc.**

10749 BIRMINGHAM WAY, WOODSTOCK, MD 21163  
TEL. (410) 465-7903 FAX. (410) 465-3845

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DEVELOPER: Freetown, LLC, 6258 Cardinal Lane, Columbia, Md. 21044

**ENGINEER'S CERTIFICATE**

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DAVID C. WOESSNER 4/15/05

**DEVELOPER'S CERTIFICATE**

"I WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

DALE THOMPSON 4/15/05

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

Jimm Meyer 5/4/05

U.S. NATURAL RESOURCES CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Peterson 5/4/05

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division 5/5/05

Chief, Division of Land Development 6/1/05

Director - Department of Planning and Zoning 6/5/05

TITLE: **GRADING, SEDIMENT AND EROSION CONTROL PLAN**

PROJECT NAME: **SCOT'S GLEN SOUTH**

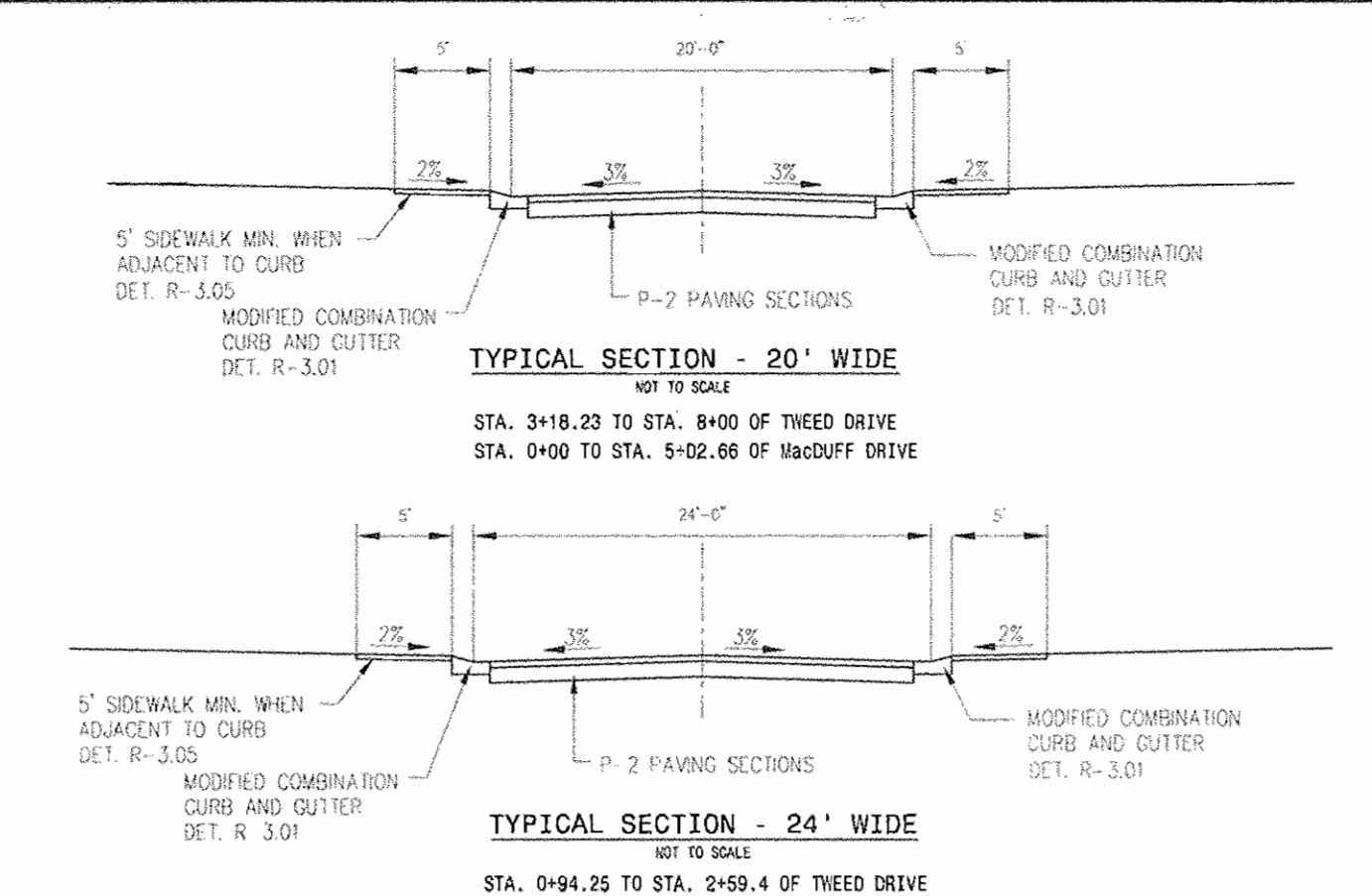
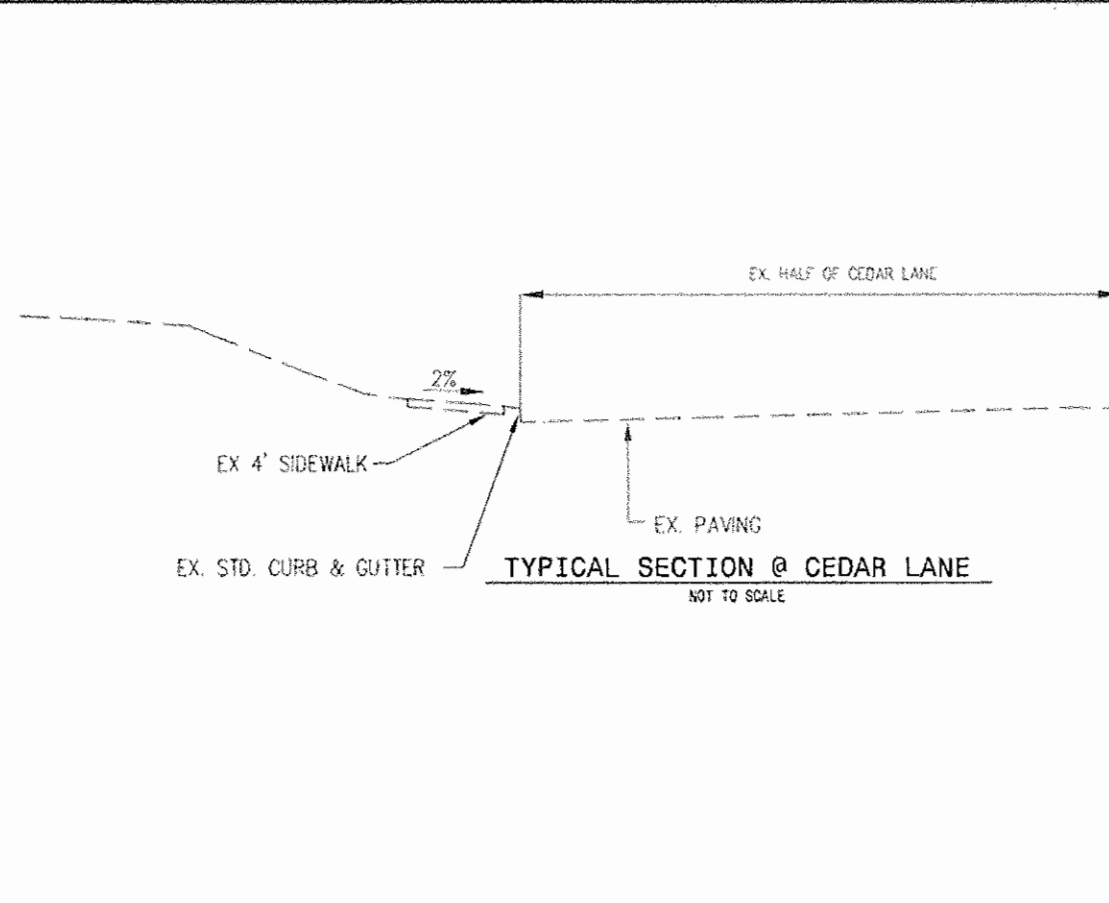
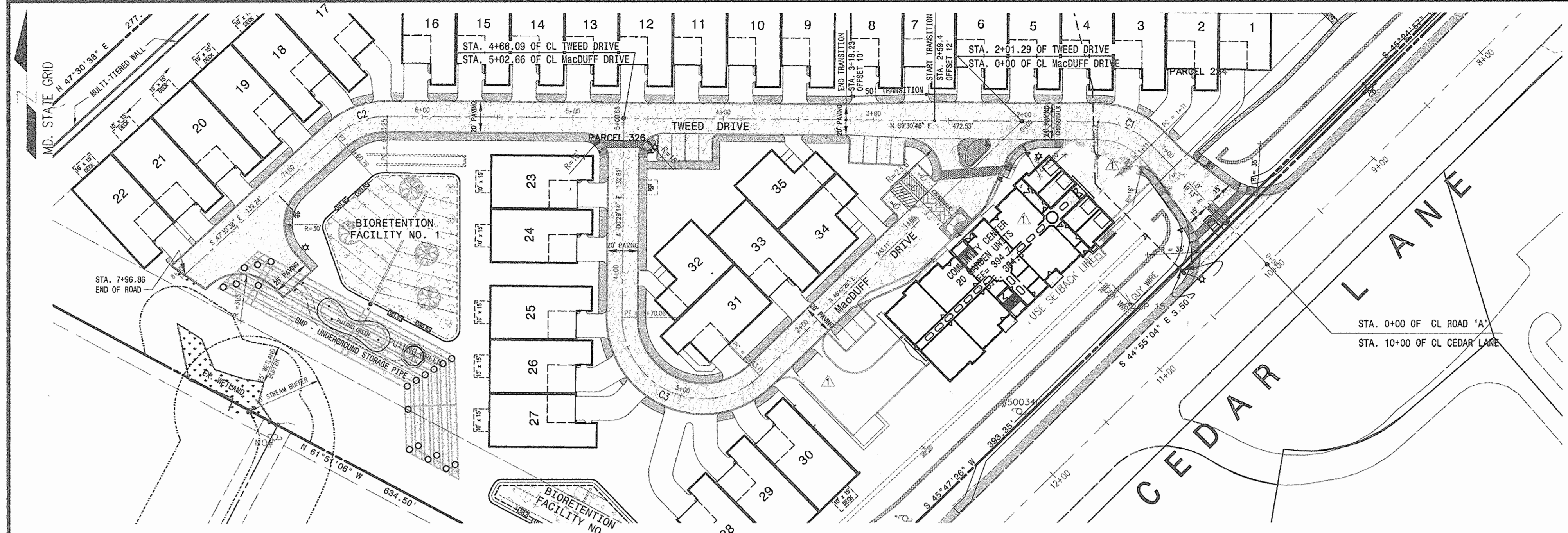
BUILDABLE BULK PARCEL "A" - UNITS 1 THRU 55 AND COMMUNITY CENTER PLANNED SENIOR COMMUNITY (PSC) - AGE RESTRICTED ADULT HOUSING A RESUBDIVISION OF PARCELS 224 AND 326 HOWARD COUNTY, MARYLAND, 21044

S-04-05 PB CASE 363 ZB 1030M F-05-G3

DES.: AVG	JOB.: D.C.W.	PROJ.: SCALE: 1" = 40'	DATE: 04-13-05
DRW.: AVG	CHK.: D.C.W.	SCALE: 1" = 40'	SHEET 7 OF 25

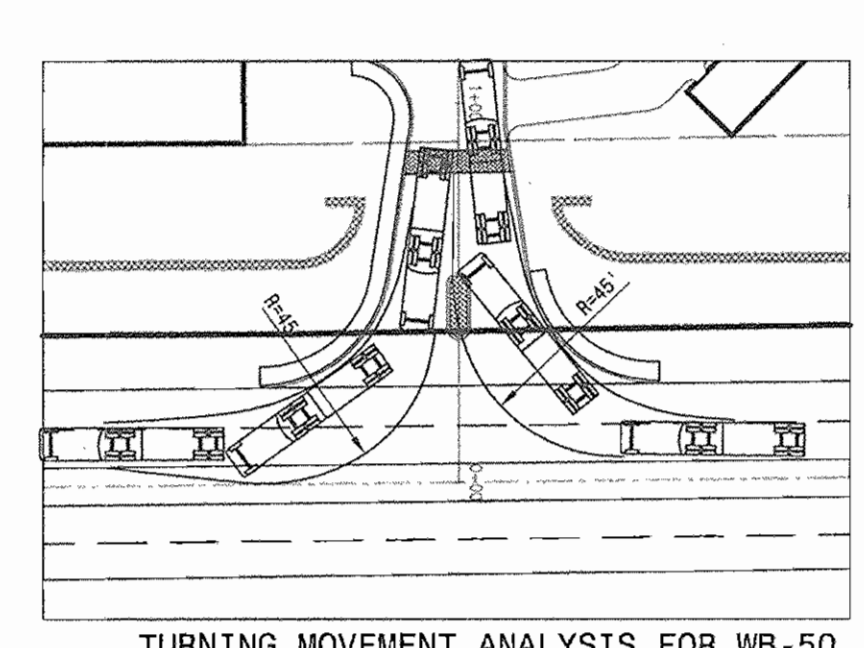
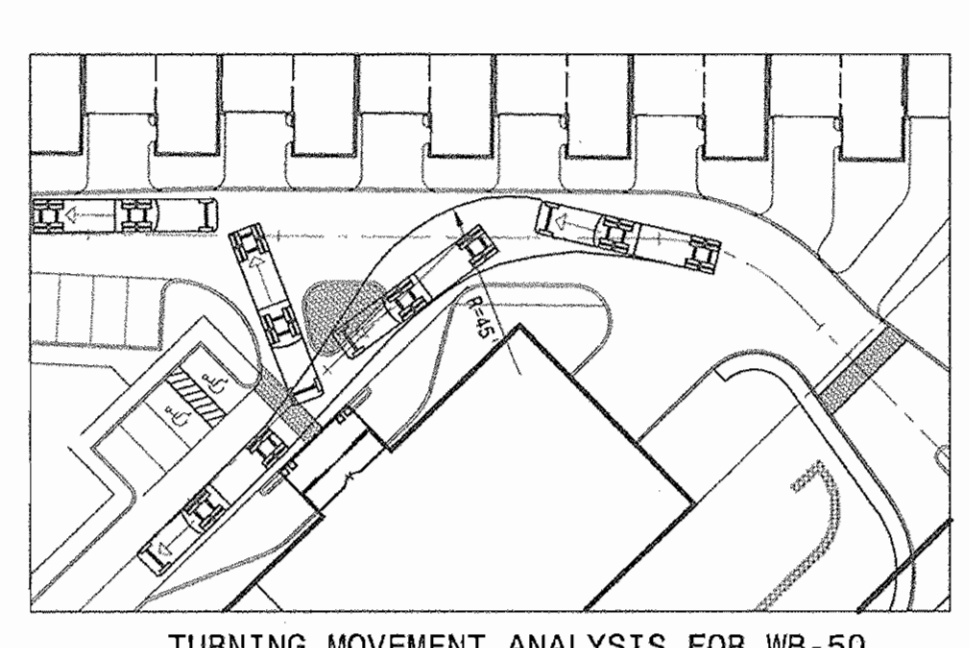
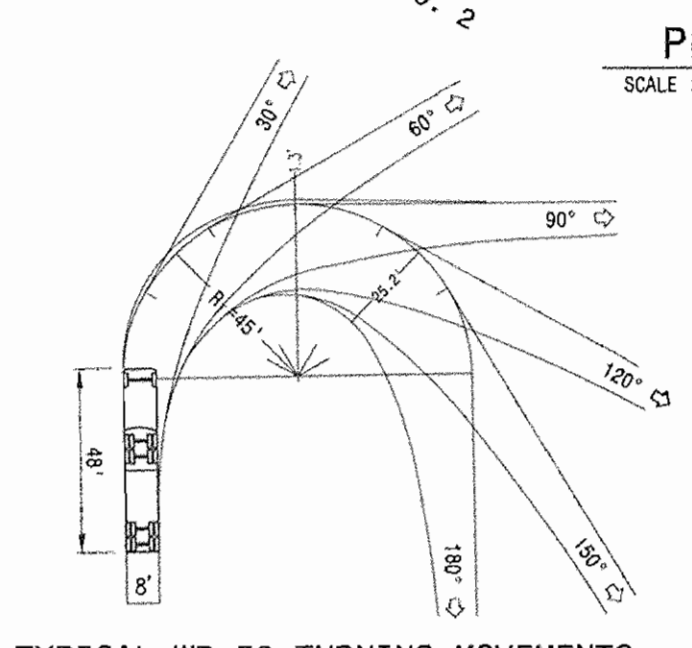
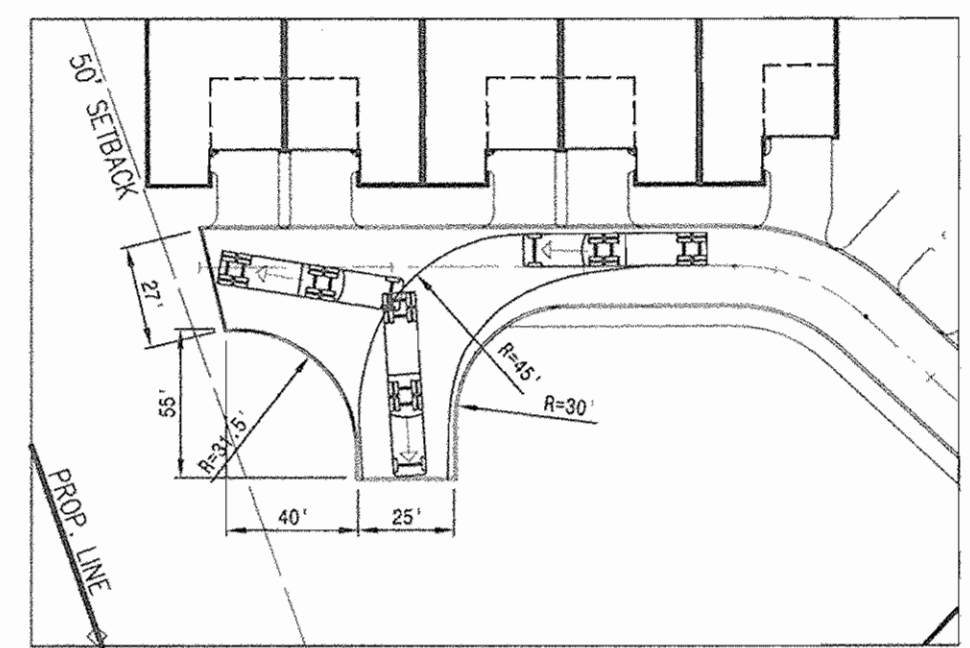
1: SUBDIVISION PROJECTS/CEARVILLE CEDAR VILLA II - FINAL SDP/7-8 SEDIMENT CONTROL.dwg, 4/13/2005 3:55:07 PM, BUC





CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD
C1	39.73	50.00	45°31'32"	20.98	38.69
C2	37.50	50.00	42°38'37"	19.68	36.63
C3	126.95	54.00	134°41'49"	129.40	99.67

PAVING SECTIONS		
SECTION NUMBER	ROAD AND STREET CLASSIFICATION	PAVEMENT MATERIALS
P-2	RESIDENTIAL ZONES LOCAL, COLLECTOR, ALLEY AND PRIVATE ROADS SERVING INDIVIDUAL LOTS	1 1/2" BIT CONC. SURFACE 2 1/2" BIT CONC. BASE
	THRUWAYS, ARTERIALS AND COMMERCIAL DEVELOPMENT ZONES WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY	1 1/2" BIT CONC. SURFACE 2 1/2" BIT CONC. BASE 1" GRANULAR FILL OVER CURBS, 1" COURSE OR 2" COURSE (SEE SPECIFICATIONS FOR COURSE)



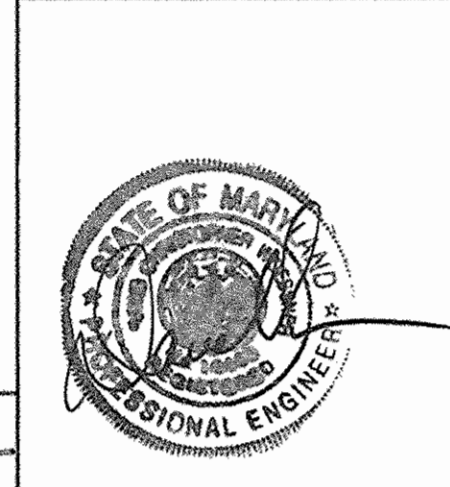
TURNING MOVEMENT ANALYSIS FOR WB-50 AT BRANCH N.T.S.

TYPICAL WB-50 TURNING MOVEMENTS N.T.S.

TURNING MOVEMENT ANALYSIS FOR WB-50 AT TWEED DRIVE & MacDUFF DRIVE N.T.S.

TURNING MOVEMENT ANALYSIS FOR WB-50 AT THE ENTRANCE N.T.S.

Approved: DPZ  
 Director  
 DATE: 5/9/05



REVISE CONDOMINIUM BUILDING LAYOUT & RELOCATE UNDERGROUND PARKING ENTRANCE AND ELIMINATE UNITS 31 & 32 AND CONVERT TO APARTMENT UNITS

NO. DATE REVISIONS

A SUBDIVISION OF PARCELS 111 AND 142

TITLE: **PLAN, PROFILE AND DETAILS**

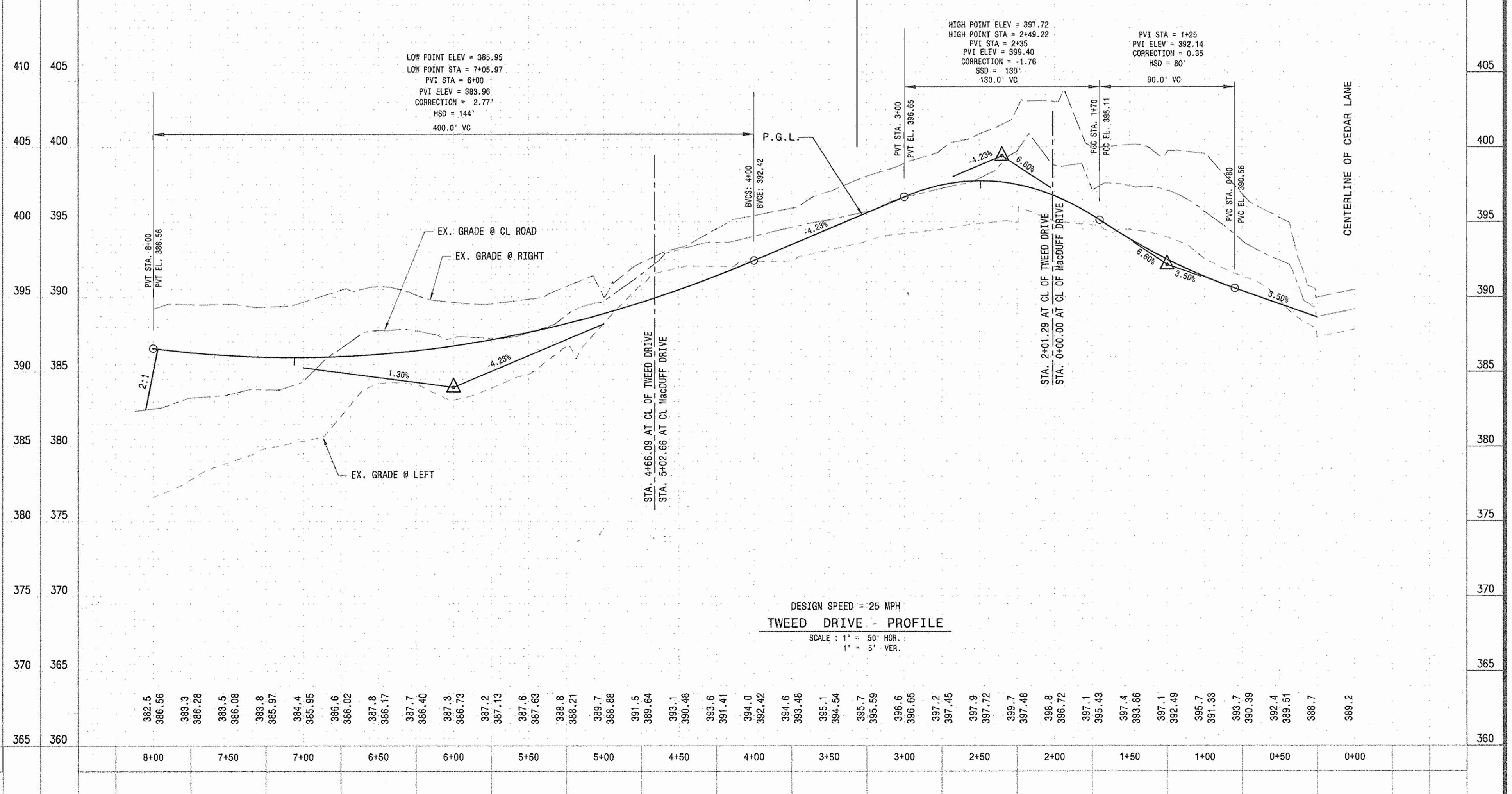
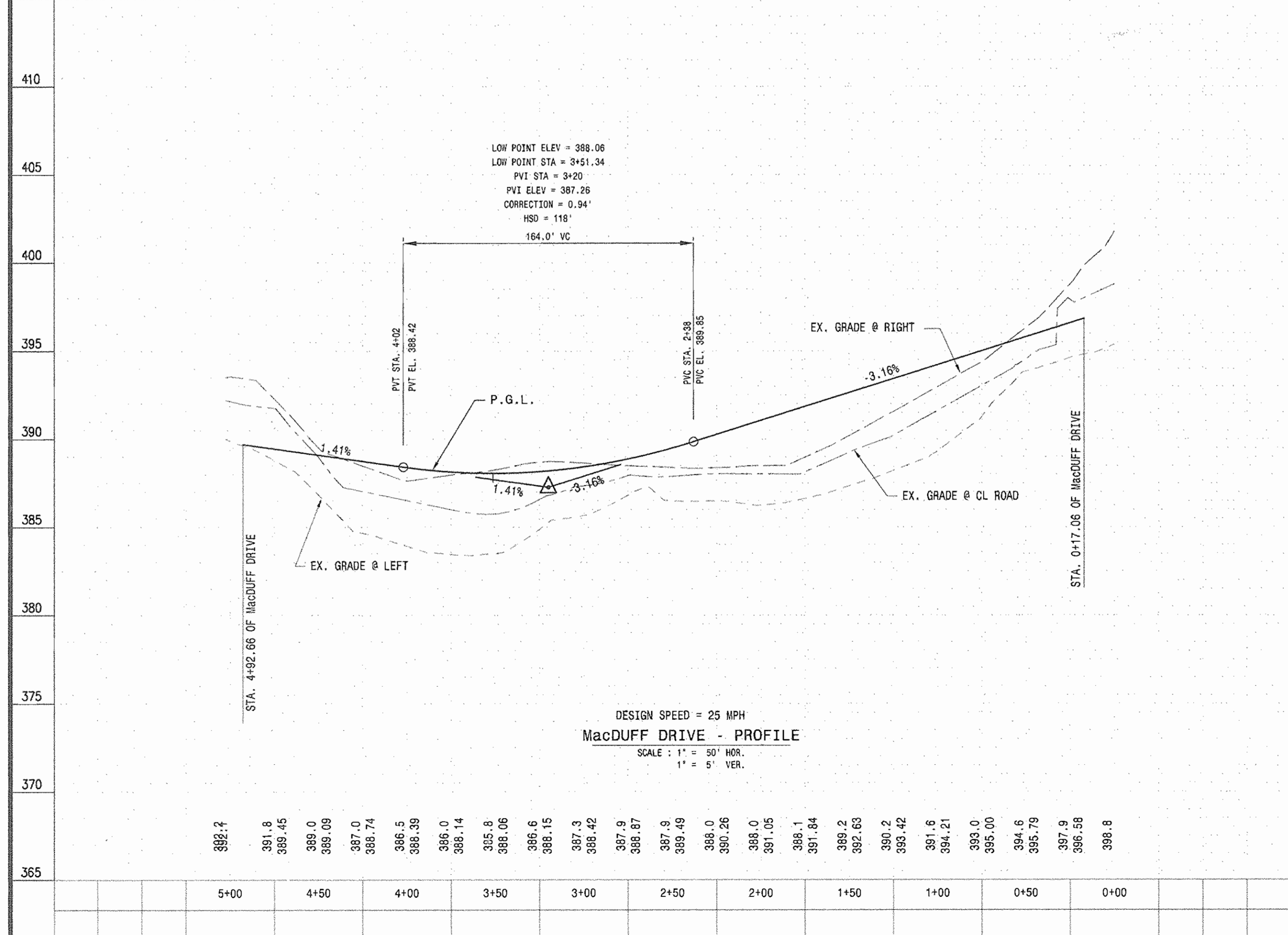
PROJECT NAME: **SCOTS GLEN SOUTH**  
 BUILDABLE BULK PARCEL "A" - UNITS 1 THRU 55 AND COMMUNITY CENTER  
 PLANNED SENIOR COMMUNITY (PSC) - AGE RESTRICTED ADULT HOUSING  
 A RESUBDIVISION OF PARCELS 224 AND 326  
 HOWARD COUNTY, MARYLAND, 21044  
 S-04-05 PB CASE 363 ZB 1030M F-05-63

**American Land Development and Engineering, Inc.**  
 10749 BIRMINGHAM WAY WOODSTOCK, MD. 21163  
 TEL. (410) 465-7903 FAX. (410) 465-3845

OWNERS: Paul L. Thompson  
 Betty R. Thompson  
 6436 Cedar Lane  
 Columbia, MD 21044

DEVELOPER: Frostown PSC, LLC  
 6255 Cardinal Lane  
 Columbia, Md. 21044

SCALE: 1" = 50'  
 SHEET 6 OF 25



I:\SUBDIVISION\PROJECTS\CEDARVILLE\CDAR\_VILLA\_11\_FINAL\SDP\PLAN\PROFILE.dwg, PLANPROFILE, 4/1/05



SCHEDULE "A" PERIMETER LANDSCAPE EDGE											
PERIMETER	CATEGORY	LANDSCAPE TYPE	LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	CREDIT FOR EXISTING VEGETATION (No, Linear Feet) (describe below if needed)	CREDIT FOR WALL, FENCE OR BERM (Yes, Linear Feet) (describe below if needed)	NUMBER OF PLANTS REQUIRED	NUMBER OF PLANTS PROVIDED	SHRUBS	SMALL TREES	SHADE TREES	EVERGREENS
P 1	R	C	705 FT.	0	YES 705' (0) *	0	0	0	0	0	0
P 2	P	C	635 FT.	0	YES 60' WALL (575)	29	15	0	29	15	0
P 3	P	C	278 FT.	0	YES 250' FENCE (28)	2	1	0	2	1	0
P 4	R	A	853 FT.	0	YES 770' FENCE (83)	0	2	0	4	0	0
TOTAL						31	18	0	35	16	0

NOTE:  
 1. ONE SHADE TREE PER 60 FT. IS PROPOSED FOR PERIMETER 1 IN ADDITION TO A COMBINATION OF 3 FT. BERM AND 4 FT. WALL.  
 2. A CREDIT OF 18 STREET TREES IS TAKEN FROM CEDAR LANE.  
 3. LANDSCAPE BUFFER HAS BEEN REDUCED TO 10 FT. ALONG PERIMETERS 3 AND 4. A 6 FT. CLOSED FENCE IS PROPOSED. TWO (2) EVERGREENS PER 60 FT. OF FENCE IS PROPOSED IN ADDITION TO THE REQUIRED LANDSCAPING ALONG PERIMETER 3.  
 4. MATURE EVERGREENS WILL BE TRANSPLANTED FROM THE EXISTING FARMS TO PERIMETERS 2 AND 3 AS SHOWN ON PLAN.

SCHEDULE "B" PARKING LOT INTERNAL LANDSCAPING	
Number of Parking Units	11 SP
Number of Trees Required	2
Number of Trees Provided	2

SCHEDULE "C" RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING			
Number of Dwelling Units	35 SPA AND 20 OPT. UNITS		
Number of Trees Required (1:50 SHADE, 1:30 EVERGREEN)	42 + (95' 7")		
Number of Trees Provided (SHADEGREEN / SMALL DECIDUOUS / SHADE / TOTAL EQUIVALENT TREES (2:1 ratio Evergreen to Shade))	52 + (31 SHADES @ 2:1 RATIO)	14	45

SCHEDULE "D" STORMWATER MANAGEMENT AREA LANDSCAPING BIO-RETENTION FACILITY # 1	
Linear Feet of Perimeter	375 FT.
Number of Trees Required (Shade Trees 1:50, Evergreen Trees 1:40)	8 / 10
Credit for Existing Vegetation (No, Yes and %)	0
Credit for Other Landscaping (No, Yes and %)	YES 100% *

SCHEDULE "D" STORMWATER MANAGEMENT AREA LANDSCAPING BIO-RETENTION FACILITY # 2	
Linear Feet of Perimeter	305 FT.
Number of Trees Required (Shade Trees 1:50, Evergreen Trees 1:40)	7 / 8
Credit for Existing Vegetation (No, Yes and %)	0
Credit for Other Landscaping (No, Yes and %)	YES 100% *

STREET TREE CHART		
LARGE TREES (1:40 FT.)	REQUIRED	PROVIDED
SMALL TREES (1:30 FT.)	40 TREES	40 (EQUIVALENT) TREES (= 10 SHADE, 40 SMALL DECIDUOUS)
TWEED DR. 1600 FT.	24 TREES	24 (EQUIVALENT) TREES (= 13 SHADE, 15 SMALL DECIDUOUS)
MACDUFF DR. 934 FT.	18 TREES	18 (EQUIVALENT) TREES (= 10 SHADE, 15 SMALL DECIDUOUS)
CEDAR LANE ** 705 FT.	18 TREES	18 (EQUIVALENT) TREES (= 10 SHADE, 15 SMALL DECIDUOUS)
TOTAL TREES	82 TREES	82 (EQUIVALENT) TREES** (= 23 SHADE, 55 SMALL DECIDUOUS)

CREDIT FOR EX. STREET TREES ON CEDAR LANE = 18 TREES  
 \*\*18 STREET TREES ARE EXISTING ALONG CEDAR LANE. FIVE (5) WILL REQUIRE RELOCATION AS SHOWN.  
 Δ SOME STREET TREES ARE LOCATED ALONG P-1, P-2 AND P-3 BECAUSE OF SPACING CONSTRAINTS ALONG INTERNAL PRIVATE ROADS

TYPICAL STREET TREE LANDSCAPING SYMBOL:  
 EX. STREET TREE: RELOCATED STREET TREE:

ALTERNATIVE LANDSCAPING	
Small Deciduous / Evergreen	Proposed between 36 and 37 and alternate parking area
31 Shrubs (SYMBOL = ○)	

LEGEND:  
 --- 325 --- EXISTING CONTOURS  
 --- 330 --- PROPERTY LINE  
 --- 10' --- SETBACK LINE  
 --- --- EXISTING TREELINE  
 --- --- PROP. BOARD ON BOARD FENCE

PLAT THREE "BRAEBURN" PLAT BOOK 10 FOLIO 12  
 PROP. 6" BOARD-ON-BOARD FENCE TO BE LOCATED ALONG PROPERTY LINE WILL SERVE AS LANDSCAPE SCREEN & PROVIDE REQUIRED PROTECTION ALONG RETAINING WALL. SEE DETAIL ALONG SHEET

PARCEL 255, LOT 40 COMPTON CHAS R L 893/F.225 ZONE: R20 LAND USE: R  
 EX. SHADE TREES TO REMAIN

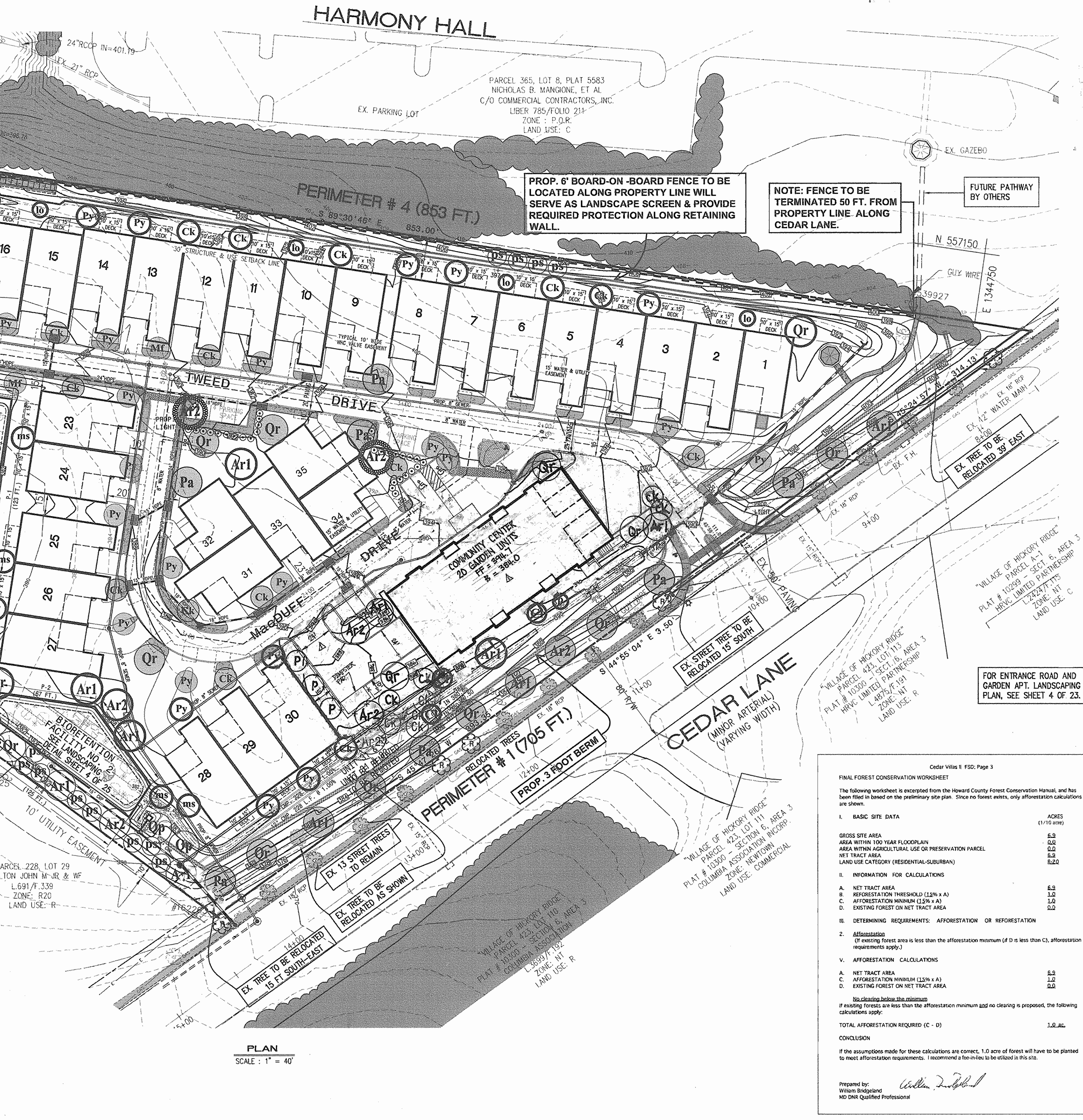
\* LANDSCAPING WITHIN THE BIORETENTION FACILITY EXCEEDS THE LANDSCAPING REQUIREMENTS OF THE TWO SCHEDULE "D"s, AND THEREFORE A 100% CREDIT HAS BEEN TAKEN.

QUANTITY	SYMBOL	DESCRIPTION	MINIMUM SIZE
16	Ar1	Acer rubrum 'Red Sunset' Red Maple	2 1/2" cal.
2	Ar2	Acer rubrum 'Armstrong' Armstrong Columnar Red Maple	2 1/2" cal.
2	Ar3	Acer rubrum 'October Glory' October Glory Red Maple	2 1/2" cal.
5	Qp	Quercus phellos Willow oak	2 1/2" cal.
7	Qr	Quercus rubra Northern Red Oak	2 1/2" cal.
7	Pa	Platanus acerifolia 'Bloodgood' Bloodgood London Plane Tree	2 1/2" cal.
6	Cl	Cupressocyparis leylandii Leyland Cypress	6'-8" ht.
5	Io	Ilex opaca American Holly	6'-8" ht.
42*	Ps	Pinus strobus Eastern White Pine	6'-8" ht.
4	Ck	Cornus kousa Kousa Dogwood	8'-10" ht.
4	Mf	Morus nigra 'Harvest Gold' Harvest Gold Flowering Crabapple	2 1/2" cal.
40	Py	Prunus x. yedoensis Yoshino Cherry	2 1/2" cal.
4	Ms	Magnolia x. soulangeana Saucer Magnolia	8' ht.
31	Es	Eunonymus alatus 'compactus' Dwarf Winged Euonymus	30" ht. 36" g.c.

AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN WILL RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE.

Release of surety will not be granted until all landscaping shown on the approved final plan or site development plan has been completed in accordance with the approved landscape plan. Surety for landscaping shall be based on the total number of required new trees (shade, ornamental and evergreen) or comparable elements shown on the landscape plan. The unit prices to be used for establishing surety requirements shall be in accordance with the adopted County Fee Schedule which is \$300.00 per shade tree, \$150.00 per evergreen/ornamental tree, \$30.00 per shrub, \$10.00 per linear foot of fencing and \$20.00 per linear foot of wall.  
 Based on all the Planting Schedule, the surety for required landscaping is the following:  
 53 shade trees x \$300.00 = \$15,900 (Schedule A = 16, Sch. B = 2, Sch. C = 12, Large Street Trees = 23)  
 152 ornamental/evergreen trees x \$150.00 = \$22,800.00 (Sch. A = 35, Sch. C = 62, 55 Small Street Trees)  
 1,020 linear feet of fence x \$10.00 = \$10,200.00  
 765 linear feet of wall x \$20.00 = \$15,300.00  
 31 shrubs x \$30.00 = \$930.00  
 Total = \$65,130.00  
 NOTE: THE LANDSCAPING SURETY WILL BE POSTED WITH THE DEVELOPER'S AGREEMENT.

DEVELOPER'S / OWNER'S LANDSCAPE CERTIFICATE  
 I/ WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. I/ WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.  
 OWNERS: Paul L. Thompson, Betty R. Thompson, 6436 Cedar Lane, Columbia, MD 21044  
 DEVELOPER: Freetown, LLC, 6258 Cardinal Lane, Columbia, MD 21044  
 DEVELOPER'S / OWNER'S NAME: DALE THOMPSON



PLAN SCALE: 1" = 40'

Cedar Vitis II FSC Page 3  
 FINAL FOREST CONSERVATION WORKSHEET  
 The following worksheet is excerpted from the Howard County Forest Conservation Manual, and has been filled in based on the preliminary site plan. Since no forest exists, only afforestation calculations are shown.

I. BASIC SITE DATA	ACRES (1/10 acre)
GROSS SITE AREA	6.9
AREA WITHIN 100 YEAR FLOODPLAIN	0.0
AREA WITHIN AGRICULTURAL USE OR PRESERVATION PARCEL	0.0
NET TRACT AREA	6.9
LAND USE CATEGORY (RESIDENTIAL-SUBURBAN)	0.22

II. INFORMATION FOR CALCULATIONS

A. NET TRACT AREA	B. REGENERATION THRESHOLD (15% x A)	C. AFFORESTATION MINIMUM (15% x A)	D. EXISTING FOREST ON NET TRACT AREA
6.9	1.0	1.0	0.0

III. DETERMINING REQUIREMENTS: AFFORESTATION OR REFORESTATION

IV. AFFORESTATION CALCULATIONS

A. NET TRACT AREA	B. AFFORESTATION MINIMUM (15% x A)	C. EXISTING FOREST ON NET TRACT AREA
6.9	1.0	0.0

No clearing below the minimum  
 If existing forest are less than the afforestation minimum and no clearing is proposed, the following calculations apply:  
 TOTAL AFFORESTATION REQUIRED (C - D) 1.0 ac.  
 CONCLUSION  
 If the assumptions made for these calculations are correct, 1.0 acre of forest will have to be planted to meet afforestation requirements. Recommend a tree-in-row to be utilized in this site.

Prepared by: William Bridgeland, MD DED Qualified Professional

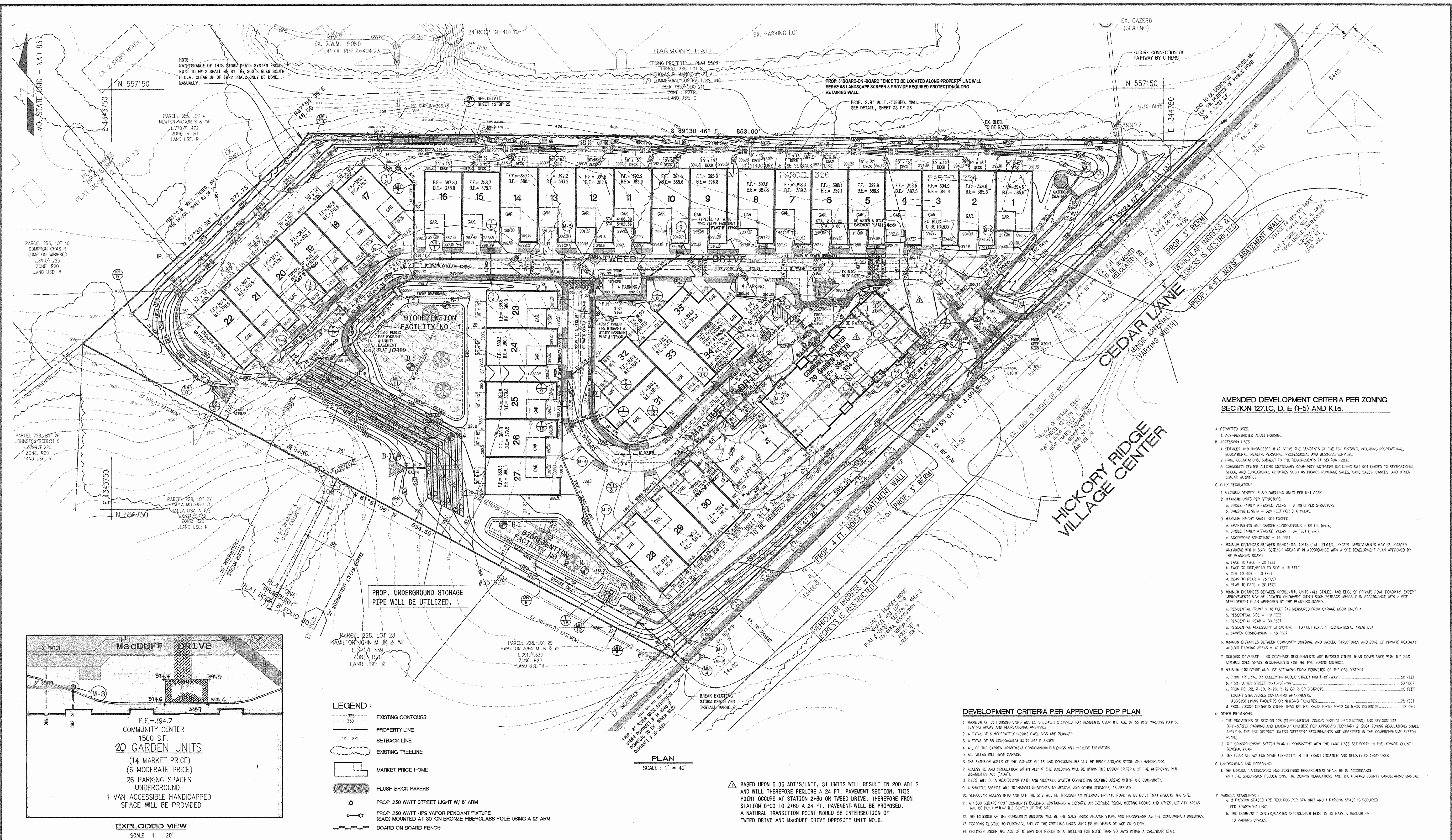
PREPARED BY:  
**American Land Development and Engineering, Inc.**  
 10749 BIRMINGHAM WAY, WOODSTOCK, MD 21163  
 TEL. (410) 465-7903 FAX. (410) 465-3845

DATE:	REVISION	BY:
3-3-05	REVISE CONDOMINIUM BUILDING LAYOUT & RELOCATE UNDERGROUND PARKING ENTRANCE AND ELIMINATE UNITS 3192 AND CONVERT TO APARTMENT UNITS & RENUMBER UNITS 3-9-05	

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION:   
 CHIEF, DIVISION OF LAND DEVELOPMENT:   
 DIRECTOR - DEPARTMENT OF PLANNING AND ZONING:

TITLE: **LANDSCAPE PLAN**  
 PROJECT NAME: **SCOT'S GLEN SOUTH**  
 BUILDABLE BULK PARCEL "A" - UNITS 1 THRU 55 AND COMMUNITY CENTER PLANNED SENIOR COMMUNITY (PSC) - AGE RESTRICTED ADULT HOUSING A RESUBDIVISION OF PARCELS 224 AND 326 HOWARD COUNTY, MARYLAND, 21044  
 S-04-05 PB CASE 363 ZB 1030M F-05-63

DES.:	AVG	JOB:	PROJ.:	DATE:
DRW.:	AVG	CHK.:	D.C.W.	04-13-05



**AMENDED DEVELOPMENT CRITERIA PER ZONING, SECTION 127.1C, D, E (1-5) AND K.1.e.**

- A. PERMITTED USES:**
- AGE-RESTRICTED ADULT HOUSING
  - ACCESSORY USES
- B. SERVICES AND BUSINESSES THAT SERVE THE RESIDENTS OF THE PSC DISTRICT, INCLUDING RECREATIONAL, EDUCATIONAL, HEALTH, PERSONAL, PROFESSIONAL AND BUSINESS SERVICES:**
- HOME OCCUPATIONS, SUBJECT TO THE REQUIREMENTS OF SECTION 126.1.
  - COMMUNITY CENTER ALLOWS CUSTOMARY COMMUNITY ACTIVITIES INCLUDING BUT NOT LIMITED TO RECREATIONAL, SOCIAL AND EDUCATIONAL ACTIVITIES SUCH AS PICNICS, BAZAARS, SALES, GAMES, DANCES, AND OTHER SIMILAR ACTIVITIES.
- C. DENSITY REGULATIONS:**
- MAXIMUM DENSITY IS 8.0 DWELLING UNITS PER NET ACRE.
  - MAXIMUM UNITS PER STRUCTURE:
    - a. SINGLE FAMILY ATTACHED VILAS = 8 UNITS PER STRUCTURE
    - b. BUILDING LENGTH = 320 FEET FOR SPA VILAS
  - MAXIMUM HEIGHT SHALL NOT EXCEED:
    - a. APARTMENTS AND GARDEN CONDOMINIUMS = 60 FEET (max.)
    - b. SINGLE FAMILY ATTACHED VILAS = 34 FEET (max.)
    - c. ACCESSORY STRUCTURE = 15 FEET
  - MINIMUM DISTANCES BETWEEN RESIDENTIAL UNITS (ALL STORIES), EXCEPT IMPROVEMENTS MAY BE LOCATED ANYWHERE WITHIN SUCH SETBACK AREAS IF IN ACCORDANCE WITH A SITE DEVELOPMENT PLAN APPROVED BY THE PLANNING BOARD:
    - a. FACE TO FACE = 30 FEET
    - b. FACE TO SIDE/REAR TO SIDE = 15 FEET
    - c. SIDE TO SIDE = 10 FEET
    - d. REAR TO REAR = 25 FEET
    - e. REAR TO FACE = 20 FEET
  - MINIMUM DISTANCES BETWEEN RESIDENTIAL UNITS (ALL STORIES) AND EDGE OF PRIVATE ROAD ROADWAY, EXCEPT IMPROVEMENTS MAY BE LOCATED ANYWHERE WITHIN SUCH SETBACK AREAS IF IN ACCORDANCE WITH A SITE DEVELOPMENT PLAN APPROVED BY THE PLANNING BOARD:
    - a. RESIDENTIAL FRONT = 18 FEET (AS MEASURED FROM GARAGE DOOR ONLY)
    - b. RESIDENTIAL SIDE = 10 FEET
    - c. RESIDENTIAL REAR = 30 FEET
    - d. RESIDENTIAL ACCESSORY STRUCTURE = 10 FEET (EXCEPT RECREATIONAL AMENITIES)
    - e. GARDEN CONDOMINIUM = 10 FEET
  - MINIMUM DISTANCES BETWEEN COMMUNITY BUILDING AND GAZEBO STRUCTURES AND EDGE OF PRIVATE ROADWAY AND/OR PARKING AREAS = 10 FEET
  - BUILDING COVERAGE - NO COVERAGE REQUIREMENTS ARE IMPOSED OTHER THAN COMPLIANCE WITH THE 30% MINIMUM OPEN SPACE REQUIREMENTS FOR THE PSC ZONING DISTRICT.
  - MINIMUM STRUCTURE AND USE SETBACKS FROM PERIMETER OF THE PSC DISTRICT:
    - a. FROM ARTERIAL OR COLLECTOR PUBLIC STREET RIGHT-OF-WAY... 50 FEET
    - b. FROM OTHER STREET RIGHT-OF-WAY... 30 FEET
    - c. FROM RR, RR, R-10, R-20, R-12 OR R-30 DISTRICTS... 50 FEET EXCEPT STRUCTURES CONTAINING APARTMENTS, ASSISTED LIVING FACILITIES OR NURSING FACILITIES... 70 FEET
    - d. FROM ZONING DISTRICTS OTHER THAN RR, RR, R-10, R-20, R-12 OR R-30 DISTRICTS... 30 FEET
  - OTHER PROVISIONS:
    - THE PROVISIONS OF SECTION 128 (SUPPLEMENTAL ZONING DISTRICT REGULATIONS) AND SECTION 133 (OFF-STREET PARKING AND LOADING FACILITIES) PER APPROVED FEBRUARY 2, 2004 ZONING REGULATIONS SHALL APPLY IN THE PSC DISTRICT UNLESS DIFFERENT REQUIREMENTS ARE APPROVED IN THE COMPREHENSIVE SKETCH PLAN.)
    - THE COMPREHENSIVE SKETCH PLAN IS CONSISTENT WITH THE LAND USES SET FORTH IN THE HOWARD COUNTY GENERAL PLAN.
    - THE PLAN ALLOWS FOR SOME FLEXIBILITY IN THE EXACT LOCATION AND DENSITY OF LAND USES.

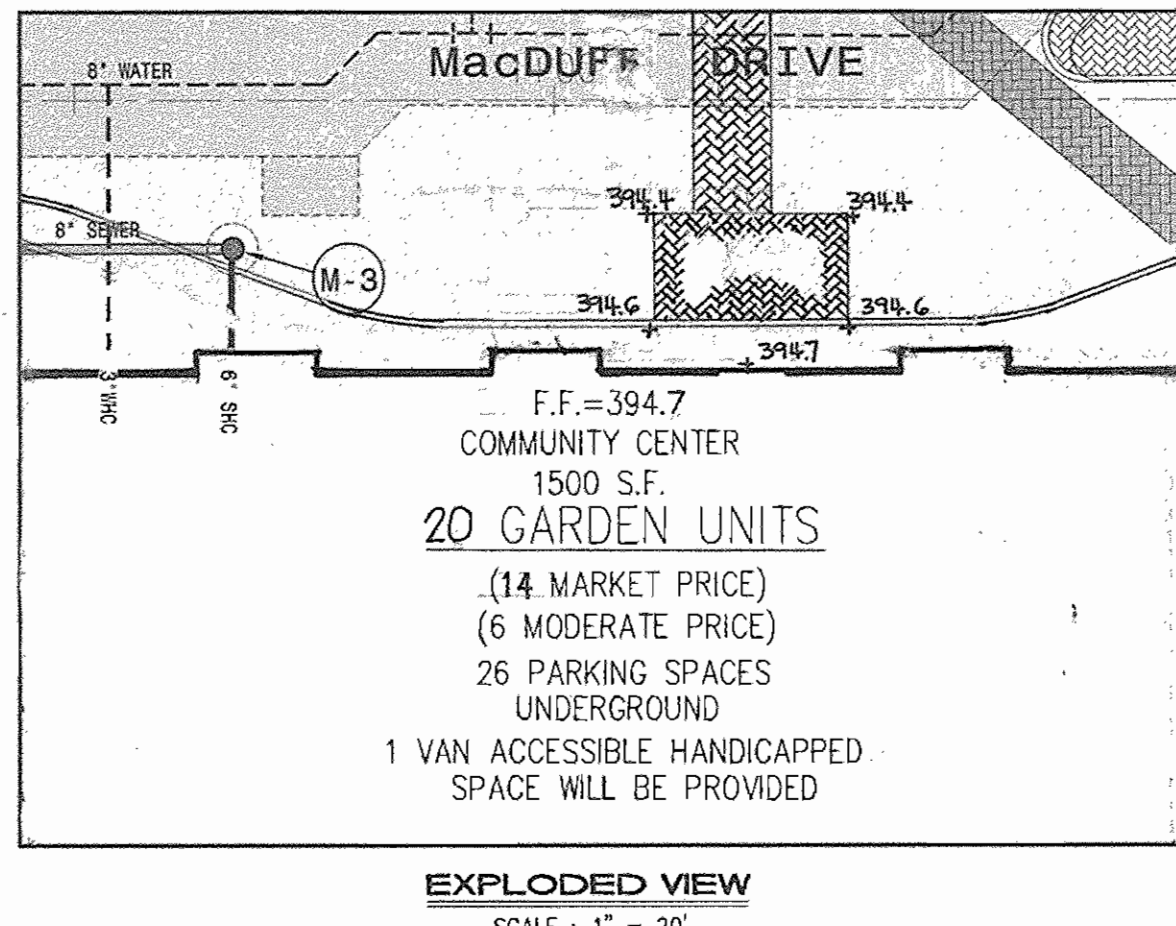
**DEVELOPMENT CRITERIA PER APPROVED PDP PLAN**

- MAXIMUM OF 50 HOUSING UNITS WILL BE SPECIALLY DESIGNED FOR RESIDENTS OVER THE AGE OF 55 WITH WALKING AIDS, SEATING AREAS AND RECREATIONAL AMENITIES.
- A TOTAL OF 6 MODERATELY INCOME DWELLINGS ARE PLANNED.
- A TOTAL OF 55 CONDOMINIUM UNITS ARE PLANNED.
- ALL OF THE GARDEN APARTMENT CONDOMINIUM BUILDINGS WILL INCLUDE ELEVATORS.
- ALL VILAS WILL HAVE GARAGE.
- THE EXTERIOR WALLS OF THE GARAGE VILAS AND CONDOMINIUMS WILL BE BRICK AND/OR STONE AND HARDPLANK.
- ACCESS TO AND CIRCULATION WITHIN ALL OF THE BUILDINGS WILL BE WITHIN THE DESIGN CRITERIA OF THE AMERICANS WITH DISABILITIES ACT ("ADA").
- THERE WILL BE A MEANDERING PATH AND SIDEWALK SYSTEM CONNECTING SEATING AREAS WITHIN THE COMMUNITY.
- A SHUTTLE SERVICE WILL TRANSPORT RESIDENTS TO MEDICAL AND OTHER SERVICES, AS NEEDED.
- VEHICULAR ACCESS INTO AND OFF THE SITE WILL BE THROUGH AN INTERNAL PRIVATE ROAD TO BE BUILT THAT BISects THE SITE.
- A 1,500 SQUARE FOOT COMMUNITY BUILDING, CONTAINING A LIBRARY, AN EXERCISE ROOM, MEETING ROOMS AND OTHER ACTIVITY AREAS WILL BE BUILT WITHIN THE CENTER OF THE SITE.
- THE EXTERIOR OF THE COMMUNITY BUILDING WILL BE THE SAME BRICK AND/OR STONE AND HARDPLANK AS THE CONDOMINIUM BUILDINGS.
- PERSONS ELIGIBLE TO PURCHASE ANY OF THE DWELLING UNITS MUST BE 55 YEARS OF AGE OR OLDER.
- CHILDREN UNDER THE AGE OF 18 MAY NOT RESIDE IN A DWELLING FOR MORE THAN 90 DAYS WITHIN A CALENDAR YEAR.

- LEGEND:**
- EXISTING CONTOURS
  - PROPERTY LINE
  - SETBACK LINE
  - EXISTING TREELINE
  - MARKET PRICE HOME
  - FLUSH BRICK PAVERS
  - PROP. 250 WATT STREET LIGHT W/ 6' ARM
  - PROP. 250 WATT HPS VAPOR PENDANT FIXTURE (SAC) MOUNTED AT 30' ON BRONZE FIBERGLASS POLE USING A 12' ARM
  - BOARD ON BOARD FENCE

**PLAN**  
SCALE: 1" = 40'

BASED UPON 6.36 ADT'S/UNIT, 31 UNITS WILL RESULT IN 200 ADT'S AND WILL THEREFORE REQUIRE A 24 FT. PAVEMENT SECTION. THIS POINT OCCURS AT STATION 2+60 ON TWEED DRIVE. THEREFORE FROM STATION 0+00 TO 2+60 A 24 FT. PAVEMENT WILL BE PROPOSED. A NATURAL TRANSITION POINT WOULD BE INTERSECTION OF TWEED DRIVE AND MacDUFF DRIVE OPPOSITE UNIT NO. 6.



PREPARED BY:  
**American Land Development and Engineering, Inc.**  
10749 BIRMINGHAM WAY, WOODSTOCK, MD 21163  
TEL. (410) 465-7903 FAX. (410) 465-3845

REVISION	DATE	BY
REVISE CONDOMINIUM BUILDING LAYOUT & RELOCATE UNDERGROUND PARKING ENTRANCE & ELIMINATE UNITS 31 & 32 AND CONVERT TO APARTMENTS UNITS, REVISE UNITS 33 - 37.		

OWNERS: Paul L. Thompson, Betty R. Thompson, 6436 Cedar Lane, Columbia, MD 21044  
DEVELOPER: Frectown, LLC, 6258 Cardinal Lane, Columbia, MD 21044

**ENGINEER'S CERTIFICATE**  
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."  
Signature: David C. Woelssner, 4/14/05  
DATE: 4/14/05

**DEVELOPER'S CERTIFICATE**  
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PER [Signature] AS THE SITE INSPECTOR, THE HOWARD SOIL CONSERVATION DISTRICT."  
Signature: Dale Thompson, 9/18/05  
DATE: 9/18/05



APPROVED: DEPARTMENT OF PLANNING AND ZONING  
Signature: [Name], 5/5/05  
DATE: 5/5/05  
Signature: [Name], 6/9/05  
DATE: 6/9/05  
Signature: [Name], 6/9/05  
DATE: 6/9/05

**TITLE: SITE DEVELOPMENT PLAN**

PROJECT NAME:  
**SCOT'S GLEN SOUTH**  
BUILT-BULK PARCEL "A" - UNITS 1 THRU 55 AND COMMUNITY CENTER  
PLANNED SENIOR COMMUNITY (PSC) - AGE RESTRICTED ADULT HOUSING  
A RESUBDIVISION OF PARCELS 224 AND 326  
HOWARD COUNTY, MARYLAND, 21044

S-04-05 PB CASE 363 ZB 1030M F-05-63

DES.: AVG	JOB:	PROJ.:	DATE: 04-13-05
DRW.: AVG	CHK.: D.C.W.	SCALE: 1" = 40'	SHEET 2 OF 25

SHEET No.	SHEET
1	COVER SHEET
2	SITE DEVELOPMENT PLAN
3	LANDSCAPE PLAN
4	NOISE ATTENUATION PLAN AND NON-BONDED LANDSCAPING
5	SITE DIMENSION PLAN
6	PLAN, PROFILE AND DETAILS
7	GRADING, SEDIMENT AND EROSION CONTROL PLAN
8	TEMPORARY STORMWATER MANAGEMENT BASIN, SECTIONS, NOTES & DETAILS
9	SEDIMENT & EROSION CONTROL NOTES AND DETAILS
10	UTILITY PLAN
11	STORM DRAIN PROFILES
12	STORM DRAIN PROFILES AND DETAILS
13	PRIVATE SEWER MAIN PROFILES
14	DRAINAGE AREA AND SOILS MAP (SITE & OFF SITE AREA) EXISTING CONDITION
15	DRAINAGE AREA MAP (SITE AREA ONLY) EXISTING CONDITION
16	SWM, DRAINAGE AREA MAP (SITE AREA ONLY) DEVELOPED CONDITIONS
17	SWM, DRAINAGE AREA MAP (SITE AND OFF SITE AREAS) DEVELOPED CONDITIONS
18	DRAINAGE AREA MAP, STORM DRAINS
19	STORMWATER MANAGEMENT DETAILS
20	STORMWATER MANAGEMENT NOTES, BORINGS AND DETAILS
21	HANDICAPPED DETAILS / TRAFFIC SIGNS
22	ENTRANCE FEATURES AND BUILDING ELEVATIONS AND DETAILS
23	RETAINING WALL DETAILS (NORTH) TIERED WALL
24	TRAFFIC CONTROL PLAN
25	PAVEMENT MARKING PLAN / M.O.T.

NOTE:  
SEE GENERAL NOTE NO. 19 FOR  
REFUSE COLLECTION RESPONSIBILITIES

# SITE DEVELOPMENT PLAN

## SCOT'S GLEN SOUTH

### BUILDABLE BULK PARCEL "A" - UNITS 1 THRU 55 AND COMMUNITY CENTER PLANNED SENIOR COMMUNITY (PSC) - AGE RESTRICTED ADULT HOUSING A RESUBDIVISION OF PARCELS 224 AND 326 5th ELECTION DISTRICT, TAX MAP 35, GRID 17 HOWARD COUNTY, MARYLAND 21044

- GENERAL NOTES:**
- THE PROPERTY IS ZONED PSC PER Z.B. CASE 1030M DATED SEPT. 24, 2003 AND THE 2/04 COMPREHENSIVE ZONING PLAN.
  - PROPOSED USE FOR SITE AND STRUCTURES: AGE RESTRICTED CONDOMINIUM SFA AND GARDEN OR APARTMENT UNITS.
  - TOTAL AREA OF PROPERTY = 6.88 AC.
  - TOTAL AREA OF FLOOD PLAIN = 0
  - TOTAL AREA SLOPES IN EXCESS OF 25% = 0
  - NET TRACT AREA = 6.88 AC.  
TOTAL AREA OF DISTURBANCE = 6.56 ± AC.  
TOTAL AREA OF HOUSES = 2.27 ± AC.
  - TOTAL NUMBER OF BUILDABLE UNITS ALLOWED = 55 UNITS (8 PER ACR)
  - TOTAL NUMBER OF PROPOSED BUILDABLE UNITS = 55 UNITS  
A. NUMBER OF SINGLE FAMILY ATTACHED (TOWNHOUSES) = 35 UNITS  
B. NUMBER OF APARTMENT UNITS = 20
  - TOTAL AREA OF ROADWAY DEDICATION = 0.03 AC. OR 1,327 S.F.
  - THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST (5) WORKING DAYS PRIOR TO THE START OF WORK.
  - THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
  - PUBLIC WATER AND PUBLIC SEWER TO BE UTILIZED. EXISTING UTILITIES ARE BASED ON CURRENT HOWARD COUNTY CONTRACT DRAWINGS.  
EX. 12" WATER - CONTRACT No. 44-1760  
EX. 6" SEWER - CONTRACT No. 30-3507 (AT HARBETT TUBMAN LANE)
  - WETLANDS AND STREAM BUFFERS WERE DELINEATED BY WILLIAM T. BRIDGEMAN ON APRIL 14, 2003. NO FLOODPLANS ARE ON THE SITE.
  - THE PROPERTY SHOWN IS LOCATED WITHIN THE METROPOLITAN DISTRICT.
  - THE BOUNDARY AND TOPOGRAPHY IS BASED ON A FIELD MONUMENTED SURVEY PERFORMED BY JOHN C. MELLEMA SR. IN APRIL 2003.
  - IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK, EXTERIOR STAIRWAYS OR RAMPS, ABOVE OR BELOW GROUND LEVEL MAY PROJECT UP TO 10 FEET INTO A FRONT SETBACK OR PROJECT BOUNDARY SETBACK OR UP TO 16 FEET INTO A REAR SETBACK.
  - A STRUCTURE AND USE SETBACK LINE HAS BEEN ESTABLISHED PER SECT. 127.1.E.2
  - DRIVEWAY(S) SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING (MINIMUM) REQUIREMENTS:  
a.) WIDTH - 12' (14' SERVING MORE THAN ONE RESIDENCE)  
b.) SURFACE - SIX (6") INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1 1/2" MIN.)  
c.) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10' RADIUS GRADE CHANGE AND 45 FOOT TURNING RADIUS.  
d.) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25-LOADING).  
e.) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY.  
f.) STRUCTURE CLEARANCES - MINIMUM 12 FEET;  
g.) MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
  - REFUSE COLLECTION, SNOW REMOVAL AND PRIVATE ROAD MAINTENANCE WILL BE PROVIDED BY THE HOMEOWNERS ASSOCIATION. REFUSE COLLECTION TO BE PROVIDED BY PRIVATE CONTRACTOR. THERE WILL BE INTERNAL TRASH COLLECTION WITHIN THE CONDOMINIUM BUILDINGS TO BE REMOVED BY A PRIVATE JANITORIAL SERVICE FOR CURBSIDE PICK-UP.
  - THIS PROJECT IS SUBJECT TO THE AMENDED SUBDIVISION AND LAND DEVELOPMENT REGULATIONS ADOPTED PER COUNCIL BILL 45-2003 EFFECTIVE OCTOBER 2, 2003 AND THE ZONING REGULATIONS PER COUNCIL BILL NO. 75-2003 ADOPTED 2/2/04.
  - ALL ROADS AND PARKING AREAS ARE TO BE PRIVATELY MAINTAINED BY THE H-O-A.
  - HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY GEODETIC CONTROL STATIONS:  
HOWARD COUNTY MONUMENT 35F1 N 557787.367 ELEV. = 401.165  
N 55710.307 E 1345217.309  
HOWARD COUNTY MONUMENT 35I1 N 55710.307 E 1344893.647 ELEV. = 400.759
  - THE FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1202 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION MANUAL FOR THIS PROJECT HAS BEEN FULFILLED BY THE PAYMENT OF A FEE IN LIEU EQUAL TO \$ 21,780. FOR AN AFFORESTATION OBLIGATION OF 1 ACRE. ADDITIONAL DETAIL CAN BE FOUND ON SHEET 3 OF 25.
  - SIDEWALKS ARE TO BE PROVIDED OR CONSTRUCTED ON BOTH SIDES OF THE PROPOSED ROAD.
  - TOTAL NUMBER OF "MODERATE INCOME HOUSING UNITS" REQUIRED FOR THIS SITE PER THE (PSC) ZONING DISTRICT IS 10% OF THE TOTAL NUMBER OF UNITS TO BE PROVIDED OFFSITE AT THE TIBER HUDSON CENTER (SDP-04-27)  
A.) TOTAL NUMBER OF "M.I.H.U." REQUIRED = 6
  - STORMWATER MANAGEMENT PLAN IS HAZARD CLASS "A", AND WILL BE PRIVATELY OWNED AND MAINTAINED.
  - ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
  - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
  - ALL EXISTING STRUCTURES TO BE RAZED. FURTHER, THE ONE (1) EXISTING DWELLING UNIT MUST BE RAZED PRIOR TO ISSUANCE OF BUILDING PERMITS FOR THE LAST CONDOMINIUM UNIT.
  - THERE ARE NO HISTORIC STRUCTURES OR CEMETERIES LOCATED ON THIS PROPERTY.
  - THIS PSC DISTRICT IS SUBJECT TO COMPLIANCE WITH THE DECISION AND ORDER ISSUED FOR ZB CASE No. 1030M APPROVED BY THE HOWARD COUNTY ZONING BOARD ON SEPTEMBER 24, 2003. NO CONDITIONS WERE IMPOSED.
  - NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN WETLANDS, STREAMS OR THEIR BUFFERS.
  - ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  - THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$ 65,100.00. FOR ADDITIONAL DETAIL SEE SHEET 3 OF 25.
  - UNIMATED 65 DBA NOISE LINE BASED ON LOCATION PROVIDED BY STAINO ENGINEERING INC. SERVICES DATED FEBRUARY 2004.
  - PARKING IS ONLY ALLOWED WITHIN GARAGES, MARKED PARKING SPACES OR DRIVEWAYS. PARKING IS PROHIBITED ALONG CURBS.
  - A PLAT OF CONSOLIDATION WAS PROCESSED TO COMBINE PARCEL 326 & 224 INTO BULK PARCEL "A", SEE F-05-063
  - NO PHASING IS PROPOSED.
  - THE COMMUNITY AND GARDEN APARTMENT BUILDING WILL BE KNOWN AS "THE VILLAGE HOUSE".
  - THIS PROJECT COMPLIES WITH THE COMMUNITY BUILDING REQUIREMENT PER THE PSC ZONING REGULATIONS OF 20 SQUARE FEET PER UNIT OR 1,100 SQUARE FEET BY PROVIDING A COMMUNITY CENTER BUILDING OF 1,500 SQUARE FEET IN SIZE.
  - THIS PLAN INCLUDES RECREATION AND COMMUNITY ACTIVITY AREAS FOR RESIDENTS PER THE PSC ZONING REGULATIONS SUCH AS PATHWAYS, GAZONS WITH SEATING AREAS, A BOYZE COURT AND A COMMUNITY CENTER.
  - "SCOT'S GLEN, A ZONING DISTRICT" HAS BEEN REVERTED WITH SECRETARY OF THE STATE OF MARYLAND ON JANUARY 19, 2005. GOVERNANTS INCLUDE THE AGE RESTRICTED REQUIREMENTS PER HOWARD COUNTY ZONING REGULATION RECORDED ON JUNE 1, 2005 LIBER 7204/FOLIO 538.
  - THIS PROJECT WAS FORMERLY NAMED CEDAR VILLAS II. THE NEW NAME, "SCOT'S GLEN SOUTH" WAS APPROVED AUGUST 19, 2004.
  - THE DEVELOPER HAS EXECUTED AN MHU AGREEMENT WITH HOWARD COUNTY DATED AUG. 25, 2004 AND IT IS RECORDED IN THE LAND RECORDS DEC. 16, 2004 UNDER LIBER 8855, FOLIO D17.
  - ALL SIGN POST USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL PERFORATED SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL PERFORATED SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
  - STREET LIGHTS WILL BE REQUIRED IN THIS DEVELOPMENT IN ACCORDANCE WITH THE DESIGN MANUAL, STREET LIGHTS PLACEMENTS AND THE TYPE OF FIXTURES AND POLE SELECTED SHALL BE IN ACCORDANCE WITH THE LATEST HOWARD COUNTY DESIGN MANUAL, VOLUME II (1993) AND AS MODIFIED BY "GUIDELINES FOR THE STREET LIGHTS IN RESIDENTIAL DEVELOPMENTS (JUNE 1993)". THE JUNE 1993 POLICY INCLUDES GUIDELINES FOR LATERAL AND LONGITUDINAL PLACEMENT. A MINIMUM SPACING OF 20' SHALL BE MAINTAINED BETWEEN ANY STREETLIGHT AND ANY TREE.

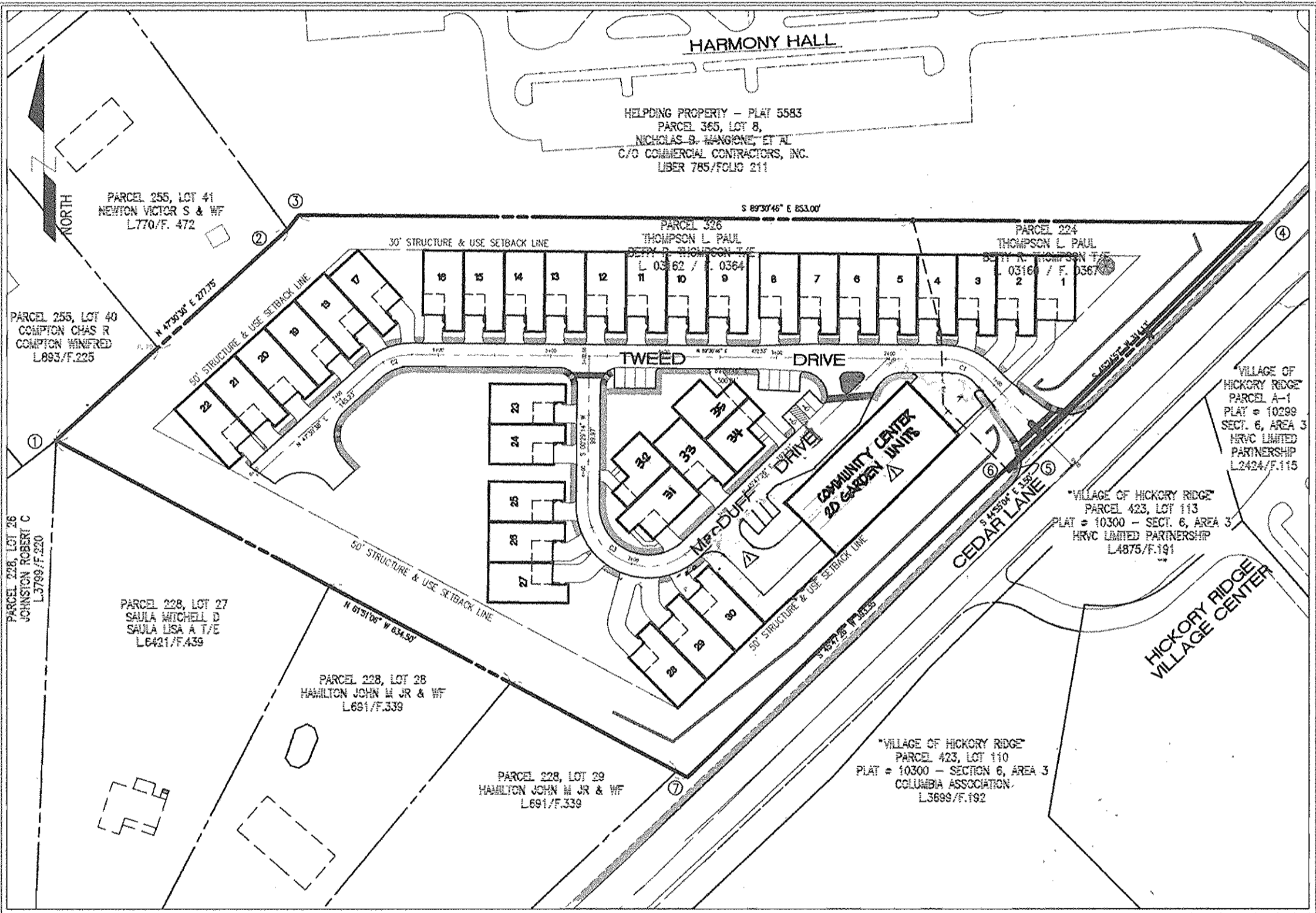
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHRD BEARING
C1	39.73	50.00	45°31'32"	20.98	38.69	N66°44'59"W
C2	37.50	50.00	42°58'37"	19.68	36.63	S88°59'56"W
C3	126.95	54.00	134°41'49"	129.40	99.67	N66°51'40"W

POINT	NORTH	EAST
1	556907.6777	1343722.5837
2	557095.2826	1343927.3943
3	557107.9065	1343937.2247
4	557100.6512	1344790.1938
5	556880.1454	1344566.4632
6	556882.6245	1344563.9912
7	556808.3485	1344282.0409

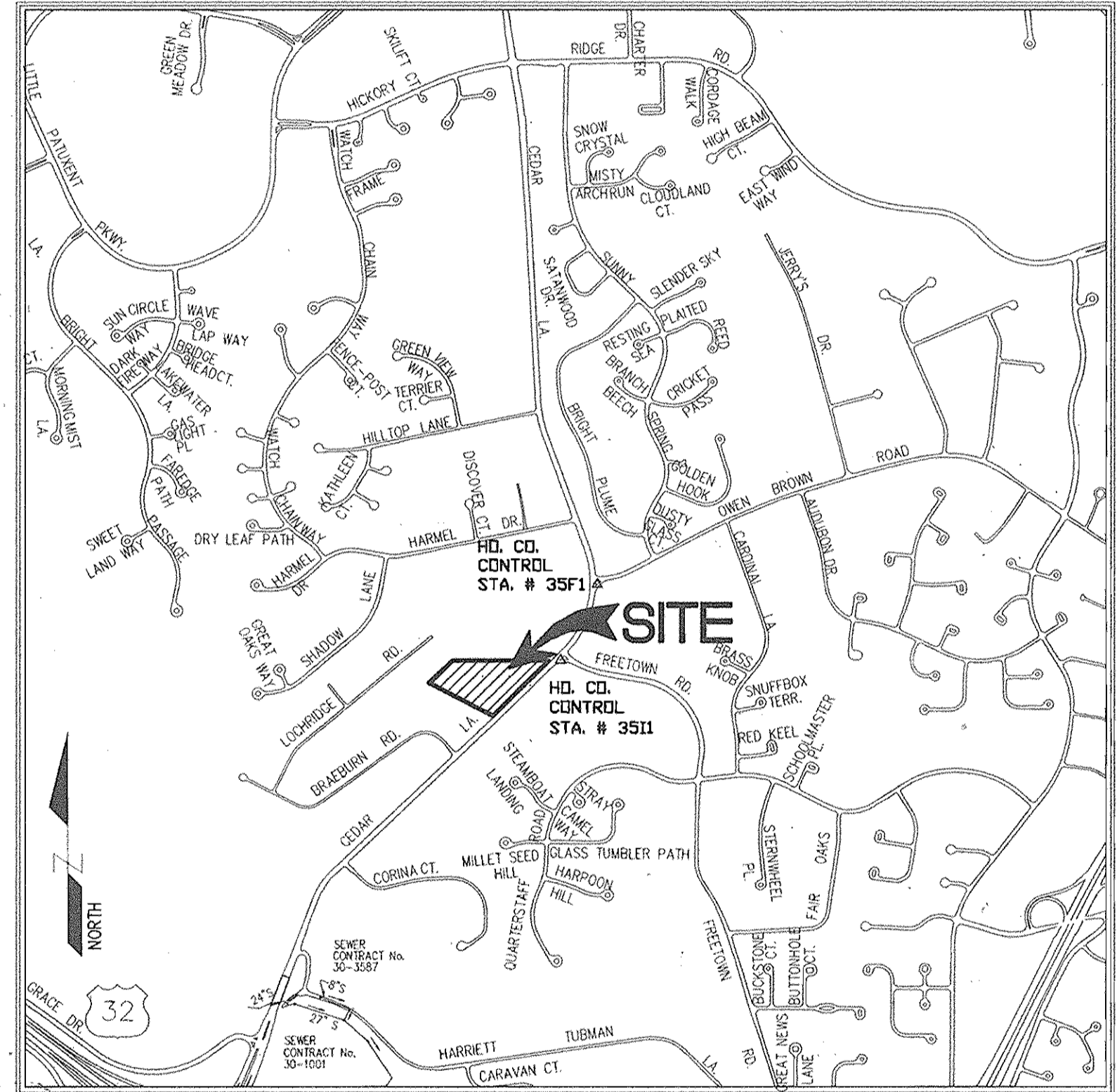
BUILDING / GARAGE NO.	STREET ADDRESS
UNIT 1	6402 TWEED DRIVE
UNIT 2	6404 TWEED DRIVE
UNIT 3	6406 TWEED DRIVE
UNIT 4	6408 TWEED DRIVE
UNIT 5	6410 TWEED DRIVE
UNIT 6	6412 TWEED DRIVE
UNIT 7	6414 TWEED DRIVE
UNIT 8	6416 TWEED DRIVE
UNIT 9	6420 TWEED DRIVE
UNIT 10	6422 TWEED DRIVE
UNIT 11	6424 TWEED DRIVE
UNIT 12	6426 TWEED DRIVE
UNIT 13	6428 TWEED DRIVE
UNIT 14	6430 TWEED DRIVE
UNIT 15	6432 TWEED DRIVE
UNIT 16	6434 TWEED DRIVE
UNIT 17	6438 TWEED DRIVE
UNIT 18	6440 TWEED DRIVE
UNIT 19	6442 TWEED DRIVE
UNIT 20	6444 TWEED DRIVE
UNIT 21	6446 TWEED DRIVE
UNIT 22	6448 TWEED DRIVE
UNIT 23	10726 MacDUFF DRIVE
UNIT 24	10728 MacDUFF DRIVE
UNIT 25	10721 MacDUFF DRIVE
UNIT 26	10719 MacDUFF DRIVE
UNIT 27	10717 MacDUFF DRIVE
UNIT 28	10713 MacDUFF DRIVE
UNIT 29	10711 MacDUFF DRIVE
UNIT 30	10709 MacDUFF DRIVE
UNIT 31	10706 MacDUFF DRIVE
UNIT 32	10722 MacDUFF DRIVE
UNIT 33	10704 MacDUFF DRIVE
UNIT 34	10722 MacDUFF DRIVE
UNIT 35	6421 TWEED DRIVE
COMMUNITY BLDG.	10701 MacDUFF DRIVE

STREET NAME	STATION	OFFSET	POSTED SIGN	SIGN CODE
MacDuff Drive	0+10.0	20.0' LT.	STOP	R1-1
Tweed Drive	0+40.0	0.0' LT.	KEEP RIGHT	R4-7
Tweed Drive	0+49.0	27.0' LT.	STOP	R1-1
MacDuff Drive	4+77.0	19.0' RT.	STOP	R1-1
Tweed Drive	2+23.0	20.0' LT.	DO NOT ENTER	PS-1
MacDuff Drive	0+36.5	16.0' LT.	YIELD	R1-2

STREET NAME	STATION	OFFSET	FIXTURE POLE TYPE	COMMENTS
Tweed Drive	0+36.2	43.7' LT.	250-WATT H.P.S. VAPOR PENDANT FIXTURE (SAG) MOUNTED AT 30-FOOT ON A BRONZE FIBERGLASS POLE, USING A 12' ARM ANGGLED RADIAL TO FILLET	PUBLIC TO BE INSTALLED BY BG&E
Tweed Drive	1+90.00	23.0' LT.	100-WATT "TRADITIONARE" H.P.S. VAPOR COLONIAL POST TOP FIXTURE MOUNTED ON A 14-FOOT BLACK FIBERGLASS POLE.	PRIVATE
Tweed Drive	4+47.00	20.0' LT.	100-WATT "TRADITIONARE" H.P.S. VAPOR COLONIAL POST TOP FIXTURE MOUNTED ON A 14-FOOT BLACK FIBERGLASS POLE.	PRIVATE
Tweed Drive	7+65.00	40.0' LT.	100-WATT "TRADITIONARE" H.P.S. VAPOR COLONIAL POST TOP FIXTURE MOUNTED ON A 14-FOOT BLACK FIBERGLASS POLE.	PRIVATE



**SITE LAYOUT PLAN**  
SCALE: 1" = 100'



**VICINITY PLAN**  
SCALE: 1" = 1200'

- UNIVERSAL DESIGN REQUIREMENTS FOR AGE-RESTRICTED ADULT HOUSING IN HOWARD COUNTY**
- FOR MULTI-FAMILY APARTMENT OR CONDO DEVELOPMENTS, AN ACCESSIBLE PATH BETWEEN PARKING, DWELLING UNITS, AND COMMON AREAS THAT MEETS ADA STANDARDS.
  - FOR SINGLE FAMILY DETACHED AND ATTACHED DEVELOPMENTS, A "NO-STEP" ACCESS TO THE FRONT ENTRANCE TO THE COMMUNITY BUILDING AND ALL DWELLING (A NO-STEP ENTRANCE IS DESIRABLE, BUT NOT REQUIRED TO OTHER ENTRANCES)
  - 36" WIDE FRONT DOOR WITH EXTERIOR LIGHTING OF THE ENTRANCE
  - ALL INTERIOR DOORWAYS AT LEAST 32" WIDE (36" IS PREFERABLE)
  - HALLWAYS AT LEAST 36" WIDE, (40-42" IS PREFERABLE)
  - COMPLETE LIVING AREA INCLUDING MASTER BEDROOM & BATH ON FIRST FLOOR (OR ELEVATOR ACCESS IF MULTI-STORY RENTAL/CONDO APARTMENTS)
  - LEVER HANDLES ON INTERIOR AND EXTERIOR DOORS
  - BLOCKING FOR GRAB BARS IN WALLS IN BATHROOM WALLS NEAR TOILET AND SHOWER

OPEN SPACE TABULATION	DENSITY TABULATION	PARKING ANALYSIS
GROSS ACREAGE = 6.88± AC.	GROSS ACREAGE = 6.88± AC.	PARKING REQUIREMENTS:
OPEN SPACE REQUIRED = 2.41 AC. (35%)	FLOOD PLAIN = 0.0 AC.	20 APTS. x 1 SP/UNIT = 20
OPEN SPACE CREDITED * = 2.61 AC. (38%)	STEEP SLOPES = 0.0 AC.	35 UNITS x 2 SP/UNIT = 70 SPACES
OPEN SPACE NON-CREDITED = 0.41 AC.	NET ACREAGE = 6.88 AC.	TOTAL SPACES REQUIRED = 90 SPACES
TOTAL OPEN SPACE PROVIDED = 3.02 AC. (44%)	ALLOWABLE UNITS = 55 (8 PER AC.)	PARKING PROPOSED:
	PROPOSED UNITS = 55	32 UNITS x 2 SP/GARAGE = 64 SPACES
		32 UNITS x 2 SP/DRIVY = 64 SPACES
		3 UNITS x 1 SP/GARAGE = 3 SPACES
		3 UNITS x 1 SP/DRIVY = 3 SPACES
		TOTAL SPACES = 170 SPACES*
		(80 MORE SPACES THAN REQUIRED)
		* 22 SPACES BELOW GARDEN UNITS TO INCLUDE 1 VAN ACCESSIBLE HANDICAPPED SPACE

\* OPEN SPACE NORTH OF UNITS 1-16 HAS BEEN CATEGORIZED AS NON-CREDITED.

PREPARED BY:  
**American Land Development and Engineering, Inc.**  
10749 BIRMINGHAM WAY, WOODSTOCK, MD 21163  
TEL. (410) 465-7903 FAX. (410) 465-3845

OWNERS: Paul L. Thompson  
Betsy R. Thompson  
6436 Cedar Lane  
Columbia, MD 21044

DEVELOPER: Freetown, LLC  
6255 Cardinal Lane  
Columbia, Md. 21044

**ENGINEER'S CERTIFICATE**  
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT.  
*David C. Woessner*  
SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE)  
DAVID C. WOESSNER  
DATE: 4/15/05

**DEVELOPER'S CERTIFICATE**  
I WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERSONNEL INSPECTION BY THE HOWARD COUNTY CONSERVATION DISTRICT.  
*Dale Thompson*  
SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE)  
DALE THOMPSON  
DATE: 4/19/05

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS  
*Jim Meyer* 5/14/05  
S.D.A.-NATURAL RESOURCES CONSERVATION SERVICE  
DATE: 5/14/05

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.  
*John K. Platter* 5/14/05  
DATE: 5/14/05

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*David W. Moore*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 5/15/05

*Cindy Hamrick*  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 6/16/05

*Wanda D. Taylor*  
DIRECTOR - DEPARTMENT OF PLANNING AND ZONING  
DATE: 6/16/05

NO.	DATE	REVISION
1	8-9-06	REVISE CONDOMINIUM BUILDING LAYOUT & RELOCATE UNDERGROUND PARKING ENTRANCE AND ELIMINATE UNITS 31 & 32 AND CONVERT TO APARTMENT UNITS
2		AND CONVERT TO APARTMENT UNITS

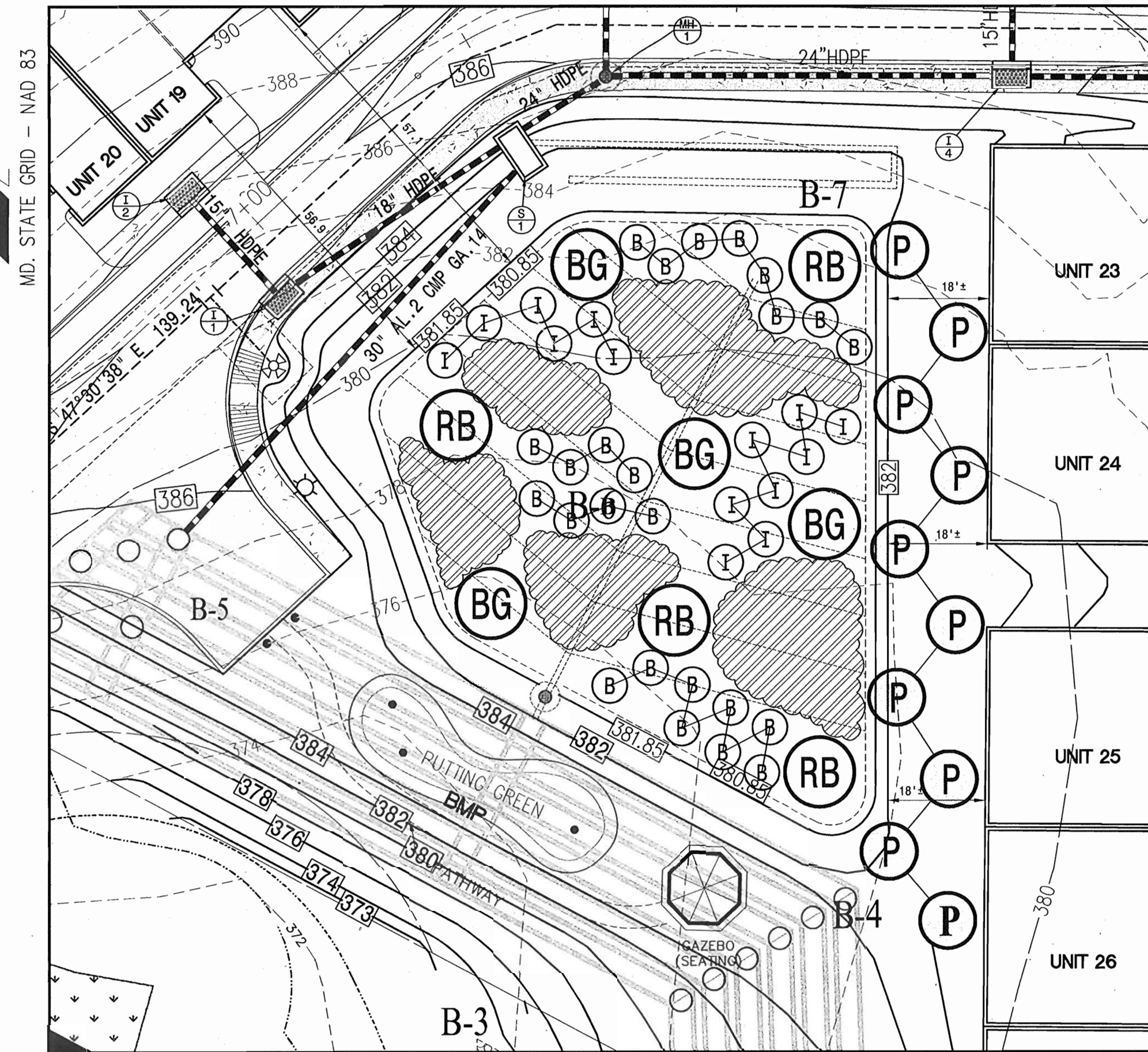
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO.
SCOT'S GLEN SOUTH	N/A	1-37 AND COMM. CTR. / APT.
PLAT # OR L/F	GRID #	ZONING
174-00	17	PSC
TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
35	5	6055.01
WATER CODE	SEWER CODE	
E28		5326200

TITLE: **COVER SHEET**

PROJECT NAME: **SCOT'S GLEN SOUTH**  
BUILDABLE BULK PARCEL "A" - UNITS 1 THRU 55 AND COMMUNITY CENTER  
PLANNED SENIOR COMMUNITY (PSC) - AGE RESTRICTED ADULT HOUSING  
A RESUBDIVISION OF PARCELS 224 AND 326  
HOWARD COUNTY, MARYLAND, 21044

S-04-05 PB CASE 363 ZB 1030M F-05-63

DES.: AVG	JOB:	PROJ.:	DATE: 04-13-05
DRW.: AVG	CHK.: D.C.W.	SCALE: AS SHOWN	SHEET 1 OF 25



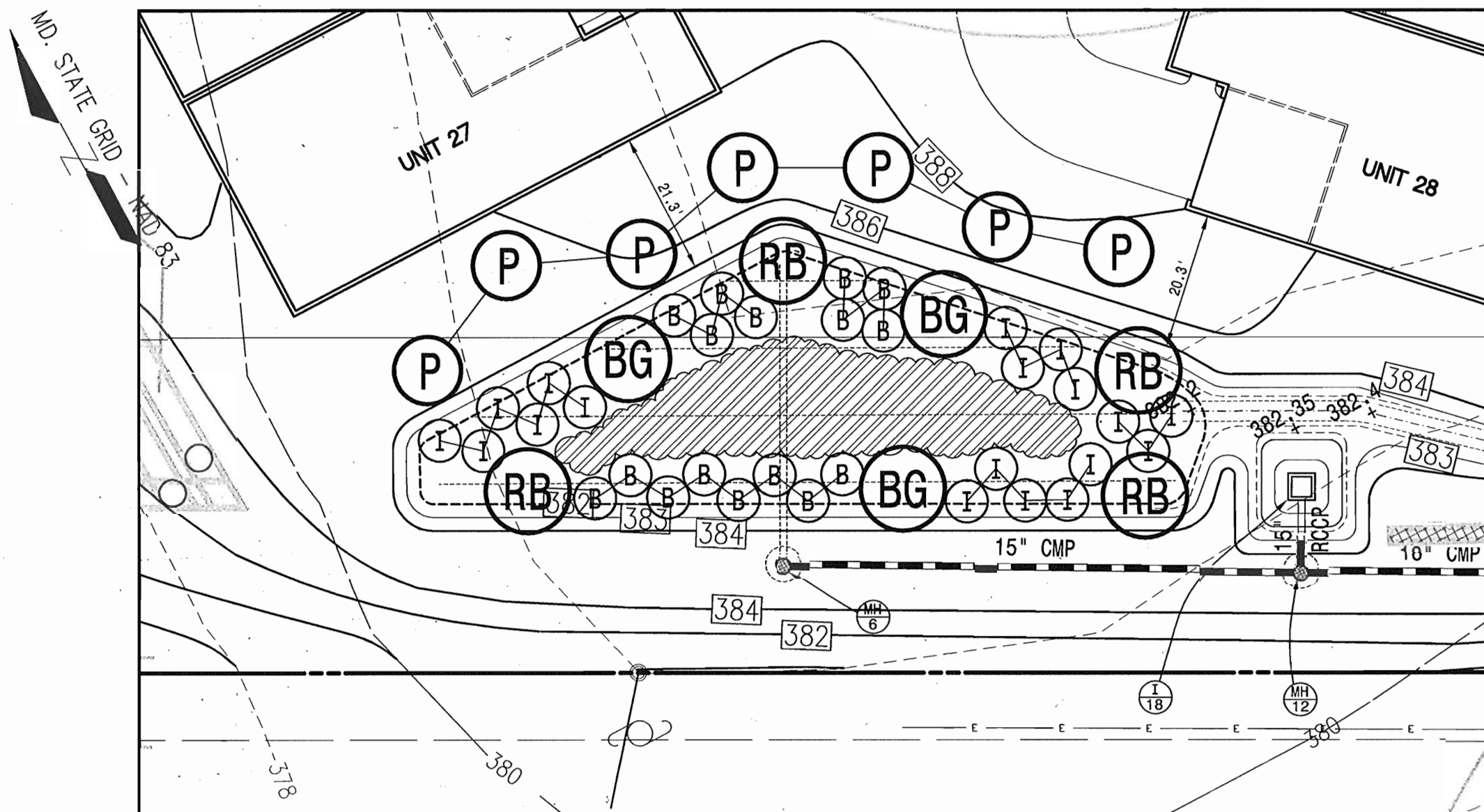
**BIO-RETENTION #1 LANDSCAPING - DETAIL**  
SCALE: 1" = 20'

**Typical Bio-Retention #1 Landscaping**

Shrub Quantity	Symbol	Description
4	Ⓚ	Betula nigra River Birch
4	Ⓛ	Nyssa sylvatica Black Gum
24	Ⓞ	Cephalanthus occidentalis Butterfly Bush
14	Ⓢ	Ilex glabra Inkberry
..	Ⓜ	Lobelia cardinalis Cardinal Flower
..	Ⓝ	Rudbeckia laciniata Tall Coneflower
..	Ⓟ	Iris versicolor Blue Flag
10	Ⓛ	Picea Abies Norway Spruce

PLANTING MATERIAL SELECTED FROM THE LANDSCAPING GUIDELINES FOR STORM WATER BMP'S (APPENDIX "A" TABLE A.4)

MIXED PERENNIALS (CARDINAL FLOWER, CONEFLOWER, BLUE FLAG)



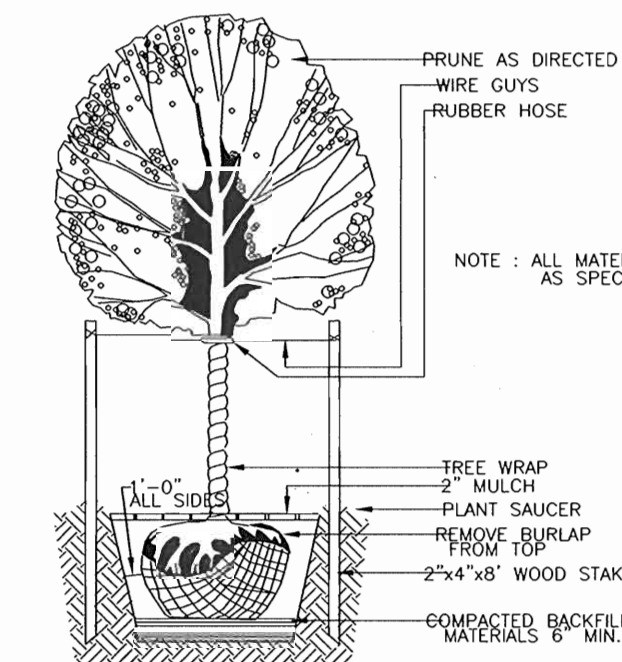
**BIO-RETENTION #2 LANDSCAPING - DETAIL**  
SCALE: 1" = 20'

**Typical Bio-Retention #2 Landscaping**

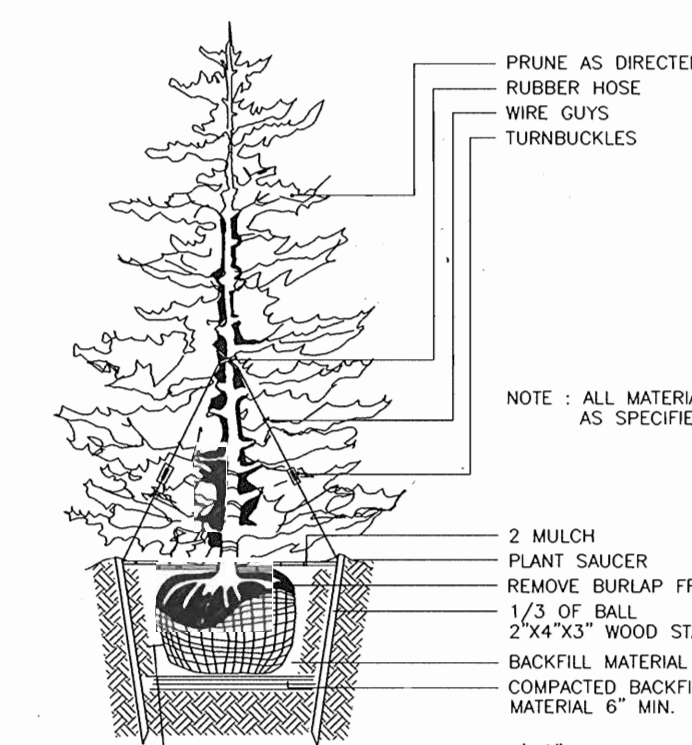
Shrub Quantity	Symbol	Description
4	Ⓚ	Betula nigra River Birch
3	Ⓛ	Nyssa sylvatica Black Gum
16	Ⓞ	Cephalanthus occidentalis Butterfly Bush
18	Ⓢ	Ilex glabra Inkberry
..	Ⓜ	Lobelia cardinalis Cardinal Flower
..	Ⓝ	Rudbeckia laciniata Tall Coneflower
..	Ⓟ	Iris versicolor Blue Flag
7	Ⓛ	Picea Abies Norway Spruce

PLANTING MATERIAL SELECTED FROM THE LANDSCAPING GUIDELINES FOR STORM WATER BMP'S (APPENDIX "A" TABLE A.4)

MIXED PERENNIALS (CARDINAL FLOWER, CONEFLOWER, BLUE FLAG)



**TYPICAL DECIDUOUS TREE PLANTING DETAIL**  
NOT TO SCALE



**TYPICAL EVERGREEN TREE PLANTING DETAIL**  
NOT TO SCALE

**TABLE 1. TRAFFIC NOISE PREDICTION RESULTS**  
Peak-hour equivalent sound levels for 2008 Cedar Ln. traffic; all values rounded to nearest whole decibel; bold sound levels exceed County design goal

EVALUATION LOCATION ID	Position Coordinates		Elev. (ft)	PRED. SOUND LEVEL (dBA)		IL
	X	Y		without Mitigation	with Mitigation*	
<b>BUILDING-FACADE LOCATIONS</b>						
D01	1344613.6	557050.5	394.3	60	59	1
D02	1344577.5	557001.2	394.5	64	62	2
D03	1344543.2	557000.3	394.5	63	62	1
*D27	1344272.0	556672.3	390.6	69	65	5
D29	1344337.0	556732.5	384.4	69	63	7
D31	1344387.4	556783.1	394.3	69	63	6
AS	1344429.5	556823.2	392.1	69	64	5
AN	1344496.9	556890.3	394.0	69	64	5
<b>YARD LOCATIONS</b>						
Y27	1344281.0	556664.4	383.0	70	58	12
Y29	1344345.1	556723.1	384.0	69	59	10
Y31	1344398.9	556771.1	385.5	69	60	10
YS	1344441.4	556812.5	386.0	69	59	10
YN	1344510.2	556880.1	388.0	69	60	10

\*per Table 2, and Figures 1 and 2  
Insertion loss (IL) is the sound attenuation provided by noise barrier.

**TABLE 2. ANALYZED NOISE BARRIER CONFIGURATION**  
barriers per Figures 1 and 2; dimensions in feet

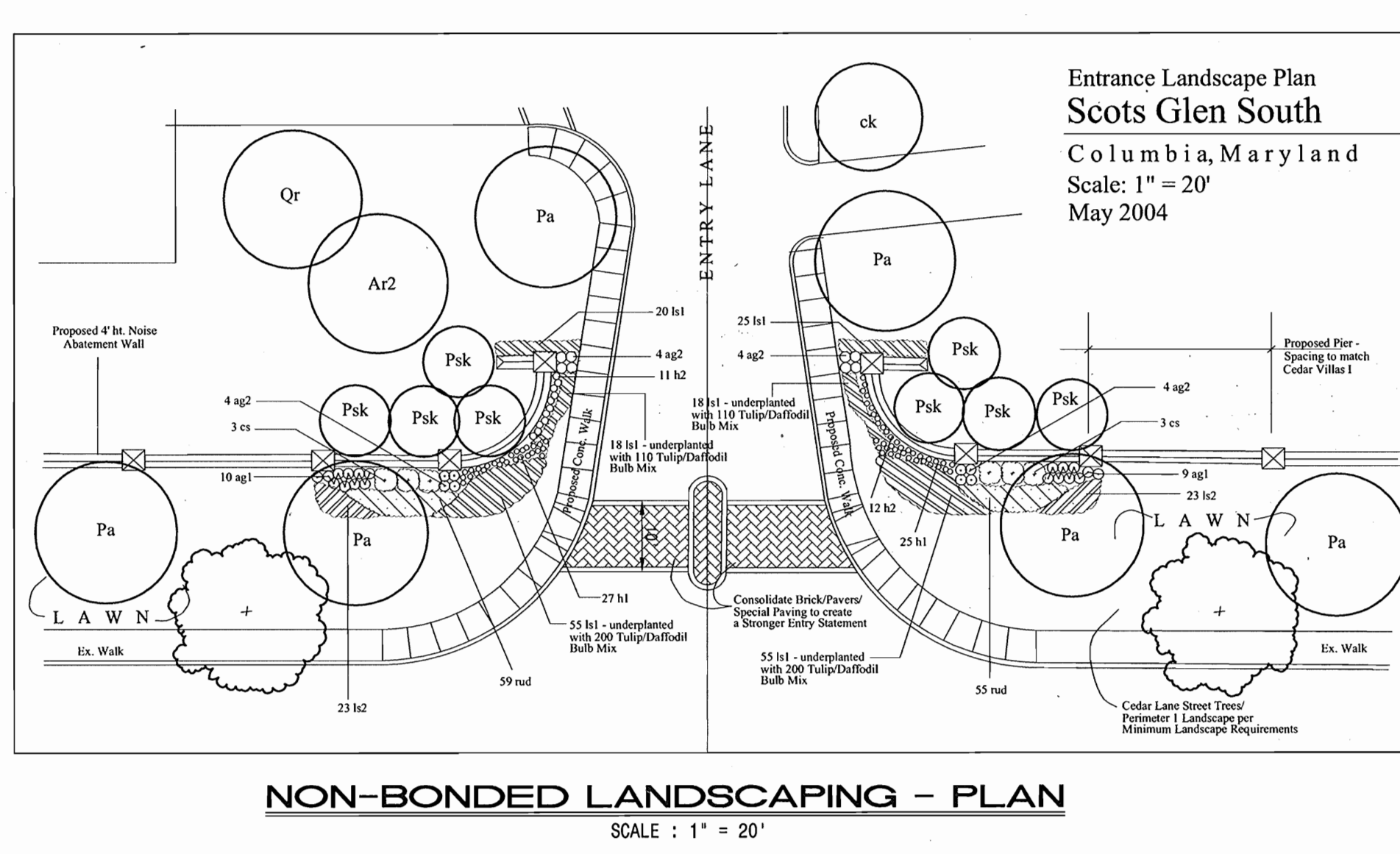
BARRIER SEGMENT ID	ENDPOINT		Elev. (ft)	SEGMENT		
	X (ft)	Y (ft)		Hgt. (ft)	Len. (ft)	Area* (ft <sup>2</sup> )
<b>ROW NORTH</b>						
B100	1344749.2	557088.6	402.0	4	58	232
B110	1344709.4	557046.4	402.0	4	70	278
B113	1344657.8	556999.8	400.0	4	53	213
B118	1344619.1	556963.0	398.0	4	15	61
B120	1344605.6	556956.1	393.0	4	12	48
B122	1344593.6	556955.1	392.0	4		
<b>TOTAL</b>					208	832
<b>ROW SOUTH</b>						
B201	1344559.6	556909.6	389.0	6	21	126
B202	1344549.0	556891.4	390.0	6	76	456
B211	1344494.0	556839.1	390.0	6	44	265
B215	1344462.9	556807.8	388.0	6	60	332
B221	1344418.6	556766.6	387.0	5	55	275
B227	1344379.4	556728.2	386.0	6	52	285
B232A	1344339.6	556695.1	384.0	7	40	280
B236A	1344308.4	556670.0	384.0	7	46	325
B241	1344270.9	556642.6	384.0	7	30	197
<b>TOTAL</b>					394	2324
<b>SOUTH PROPERTY LINE</b>						
BS0	1344270.9	556642.6	384.0	7	30	197
BS3	1344243.0	556654.6	384.0	6	30	149
BS6	1344216.8	556668.6	384.0	4	60	346
<b>TOTAL</b>					60	346

\* surface area of wall

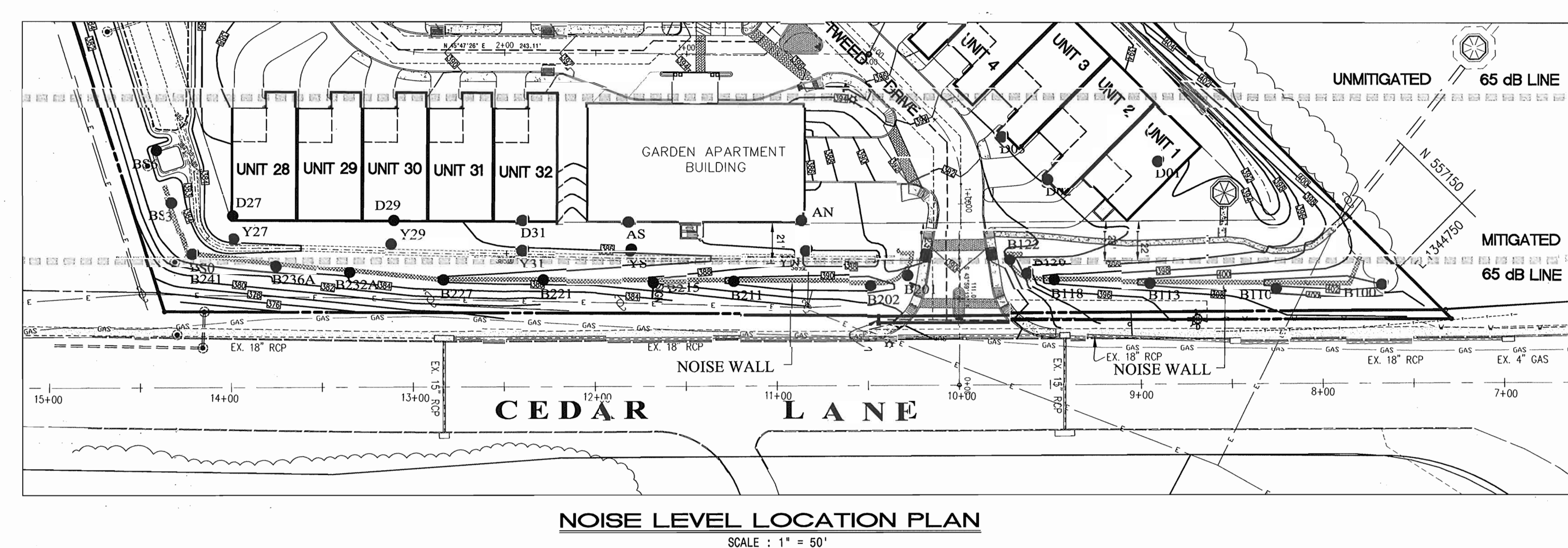
**Entrance Feature Landscaping (Not included in Minimum Landscape Submission)**

Quantity	Symbol	Name	Size	Comments
8	Psk	Prunus serotina 'Nanus'	3.5" cal.	Nanus Cherry
<b>Small/Flowering Trees</b>				
16	ag1	Azalea 'Gumpo'	18-24" ht.	Plant spacing @ 24" o.c.
10	ag2	Gumpo White Azalea	18-24" ht.	Plant spacing @ 24" o.c.
6	cs	Cornus stolonifera	36" ht.	Plant spacing @ 48" o.c.
<b>Shrubs</b>				
52	h1	Hemerocallis 'Stella De Oro'	#1 cont.	Plant spacing @ 18" oc.
23	h2	Hemerocallis 'Happy Returns'	#1 cont.	Plant spacing @ 18" oc.
194	h3	Liriope spicata	#1 cont.	Plant spacing @ 15" ocar
46	h4	Liriope spicata 'Silver Dragon'	#1 cont.	Plant spacing @ 15" oc.
114	h5	Rudbeckia 'Goldstrum'	#1 cont.	Plant spacing @ 15" oc.
640	bulb	Bufford's Tulip Bulb Mix	Bulb	Plant bulbs between Liriope @ 4-6" o.c.
<b>Perennials/Groundcovers</b>				

**ENTRANCE AND COMMUNITY BUILDING LANDSCAPE PLAN (NON-BONDED)**



**NON-BONDED LANDSCAPING - PLAN**  
SCALE: 1" = 20'



**NOISE LEVEL LOCATION PLAN**  
SCALE: 1" = 50'

PREPARED BY:  
**American Land Development and Engineering, Inc.**  
10749 BIRMINGHAM WAY, WOODSTOCK, MD 21163  
TEL. (410) 465-7903 FAX. (410) 465-3845

OWNERS: Paul L. Thompson, Betty R. Thompson, 6436 Cedar Lane, Columbia, MD 21044  
DEVELOPER: Freetown, LLC, 6258 Cardinal Lane, Columbia, Md. 21044

**DEVELOPER'S/OWNER'S LANDSCAPE CERTIFICATE**  
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.  
DALE THOMPSON  
DATE

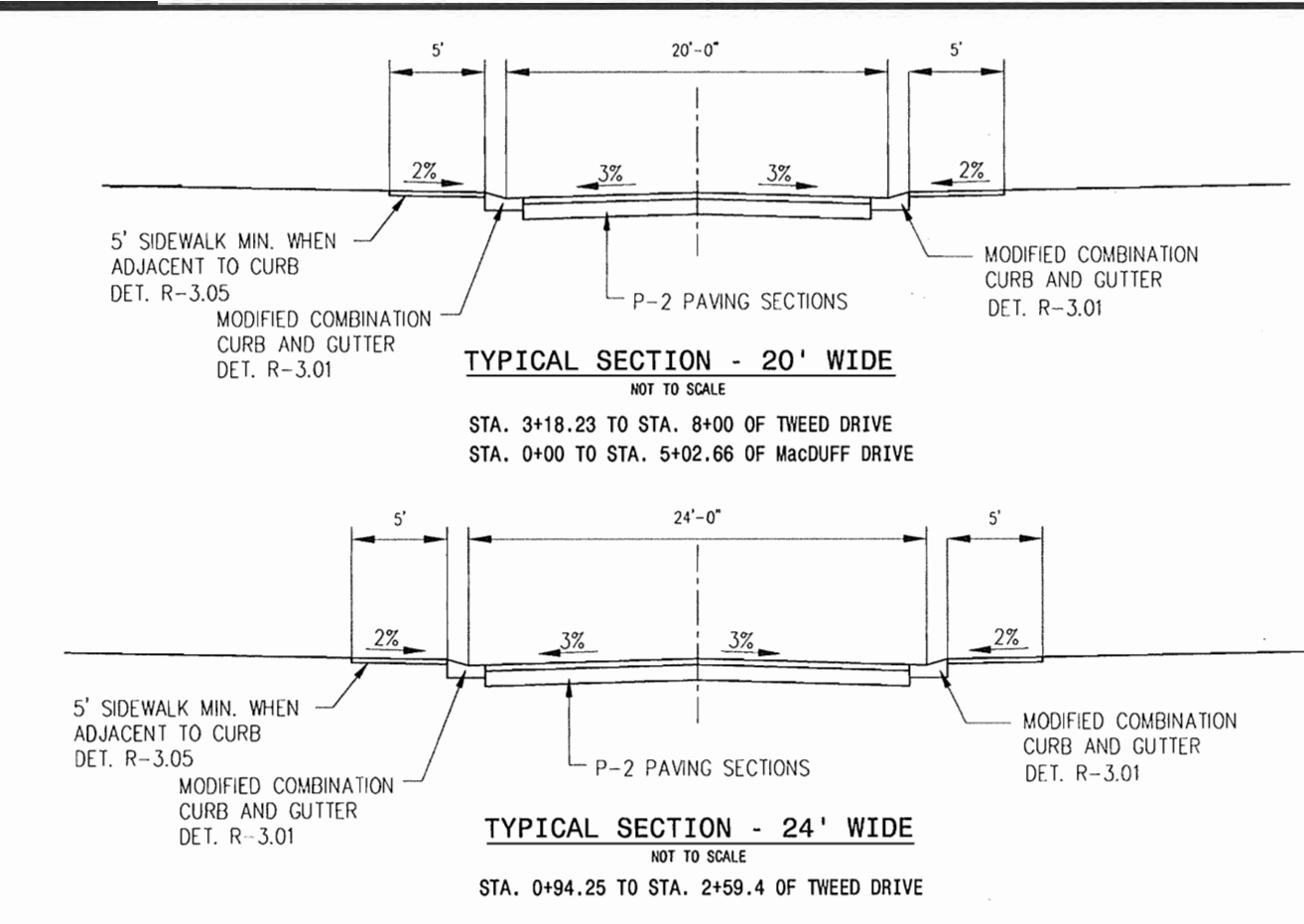
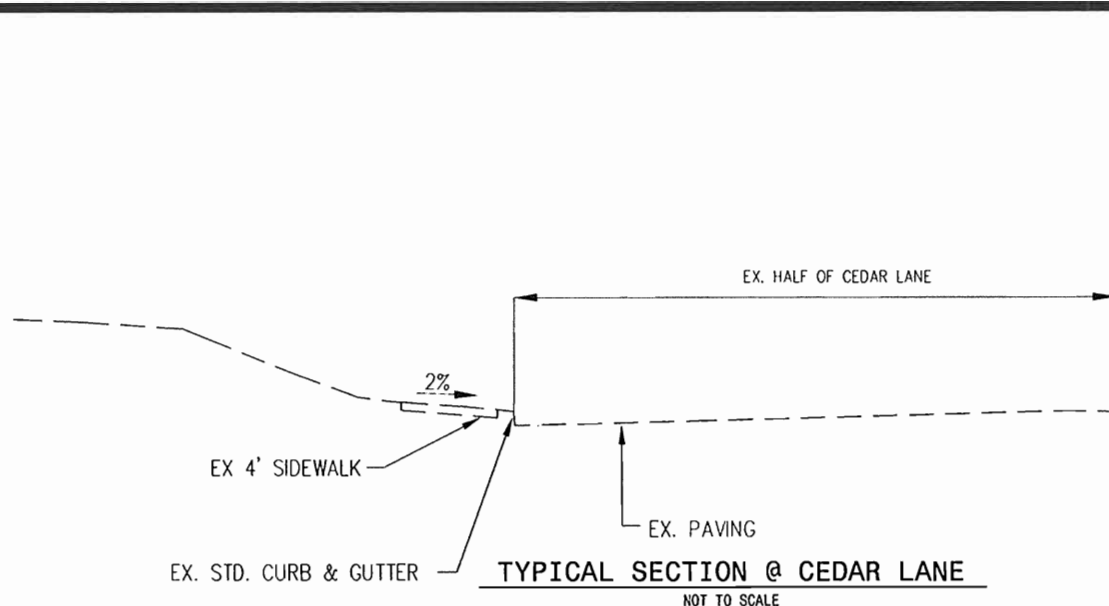
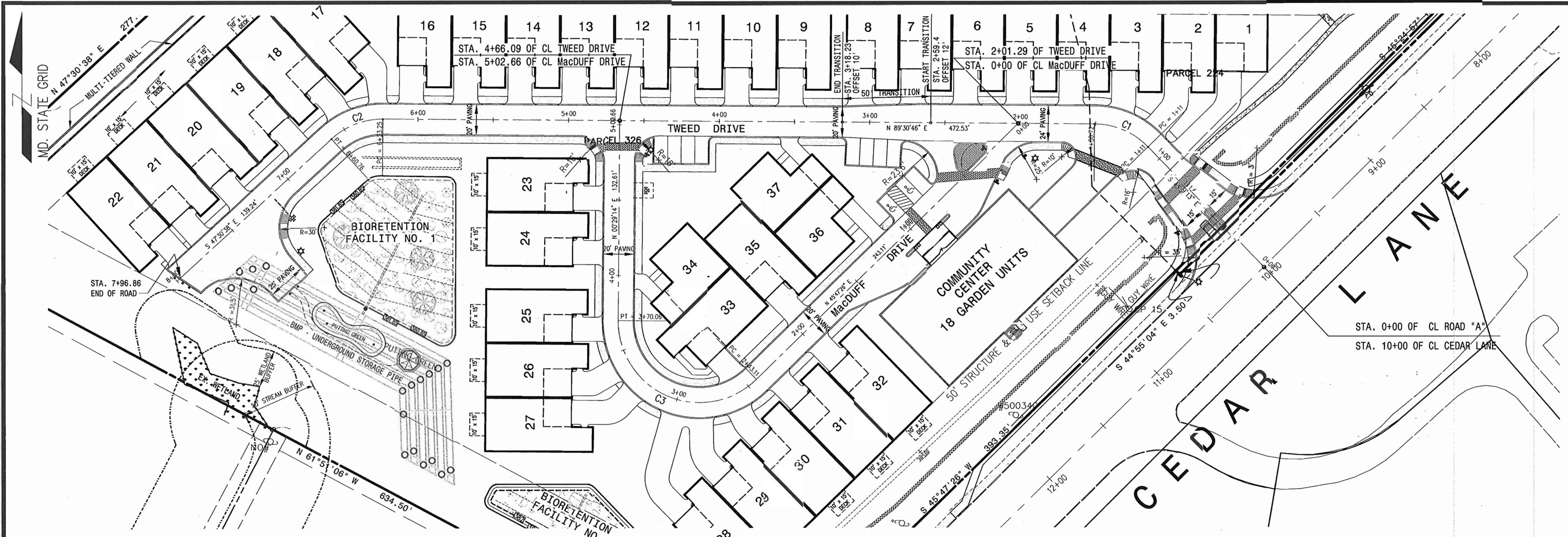
REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS  
U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE  
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
HOWARD SCD  
DATE



APPROVED: DEPARTMENT OF PLANNING AND ZONING  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DIRECTOR - DEPARTMENT OF PLANNING AND ZONING  
5/5/05 DATE  
6/4/05 DATE  
4/6/05 DATE

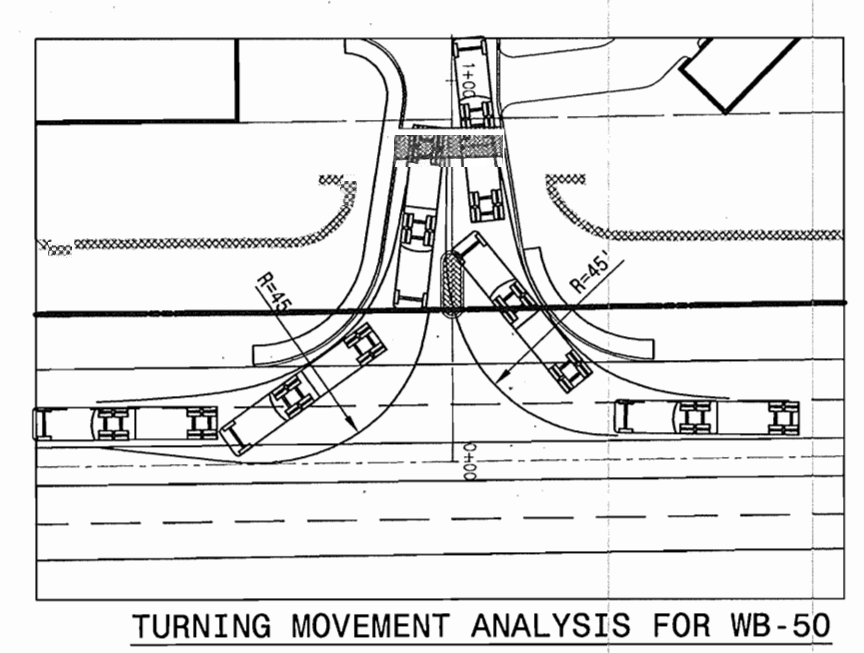
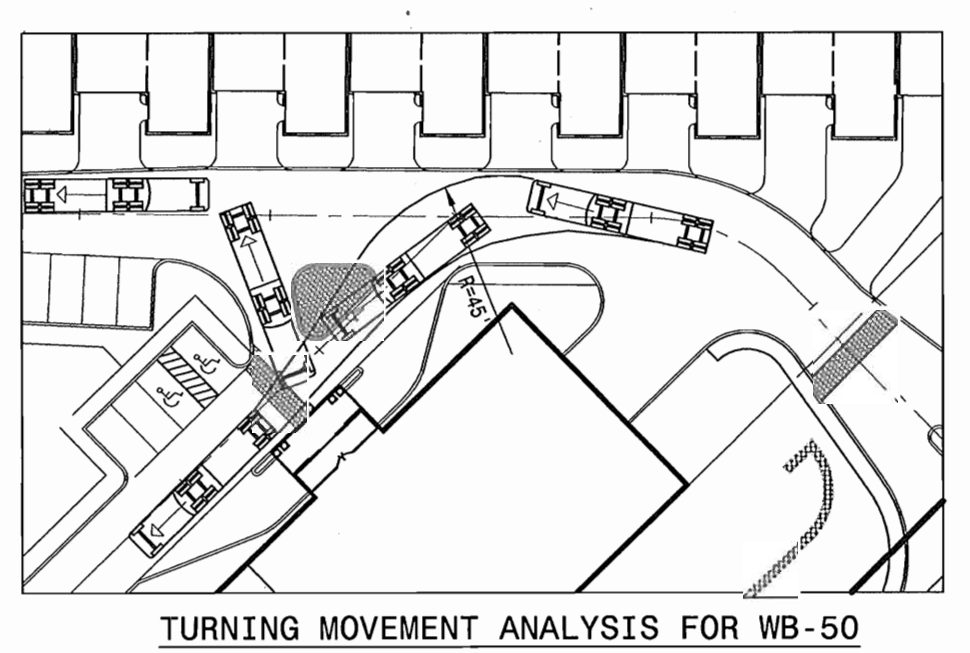
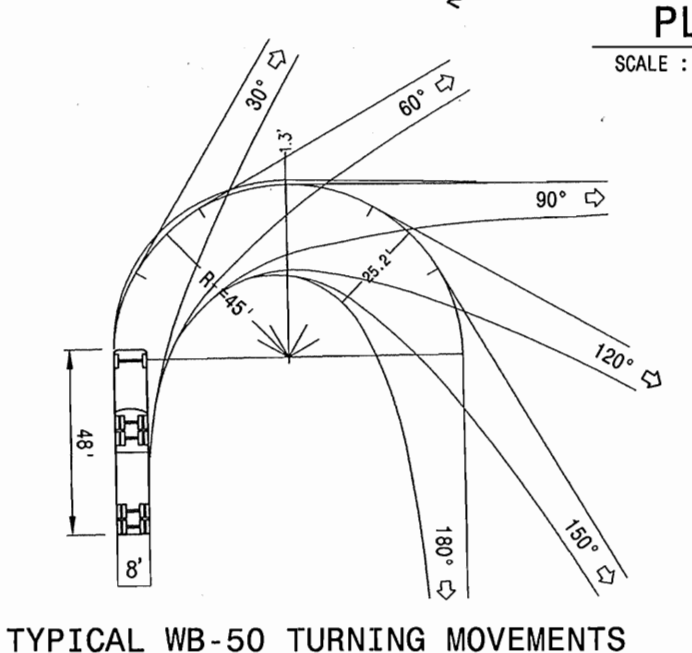
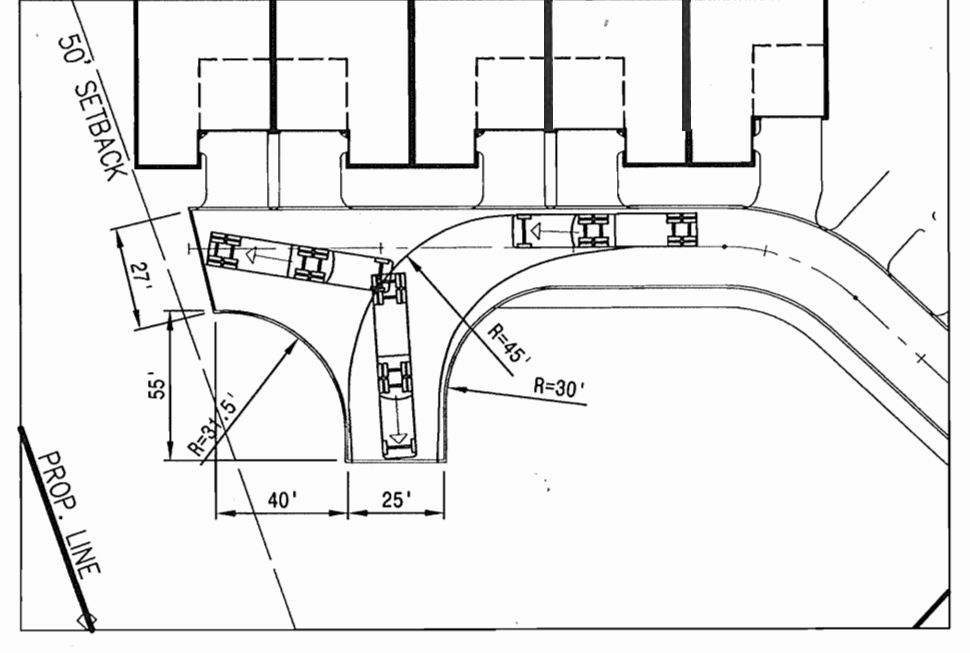
**TITLE: NOISE ATTENUATION PLAN, NON-BONDED LANDSCAPING AND BIORETENTION PLANTING DETAILS**  
PROJECT NAME: **SCOT'S GLEN SOUTH**  
BUILDABLE BULK PARCEL "A" - UNITS 1 THRU 55 AND COMMUNITY CENTER PLANNED SENIOR COMMUNITY (PSC) - AGE RESTRICTED ADULT HOUSING A RESUBDIVISION OF PARCELS 224 AND 326 HOWARD COUNTY, MARYLAND, 21044  
S-04-05 PB CASE 363 ZB 1030M F-05-63  
DES.: AVG JOB.: PROJ.: DATE: 04-13-05  
DRW.: AVG CHK.: D.C.W. SCALE: SHEET 4 OF 25





CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHRD BEARING
C1	39.73	50.00	45°31'32"	20.98	38.69	N65°44'59"W
C2	37.50	50.00	42°58'37"	19.68	36.63	S58°59'56"W
C3	128.95	54.00	134°41'49"	129.40	99.67	N66°51'40"W

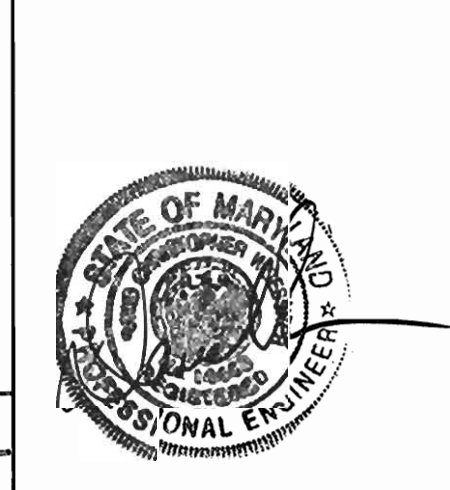
SECTION NUMBER	ROAD AND STREET CLASSIFICATION	PAVING SECTIONS	
		FULL DEPTH BIT. CONC. ALTERNATIVE	GRANULAR BASE ALTERNATIVES
P-2	RESIDENTIAL ZONES LOCAL, COLLEGE-AGE STS. ALLEYS AND PRIVATE ROADS SERVING INDIVIDUAL LOTS TRAVELWAYS, ARTERIALS AND COMMERCIAL ROADS WITH TRUCK TRAFFIC MORE THAN 10 HEAVY TRUCKS PER DAY	1 1/2" BIT. CONC. SURFACE	1 1/2" BIT. CONC. SURFACE
		5" BIT. CONC. BASE	2 1/2" BIT. CONC. BASE



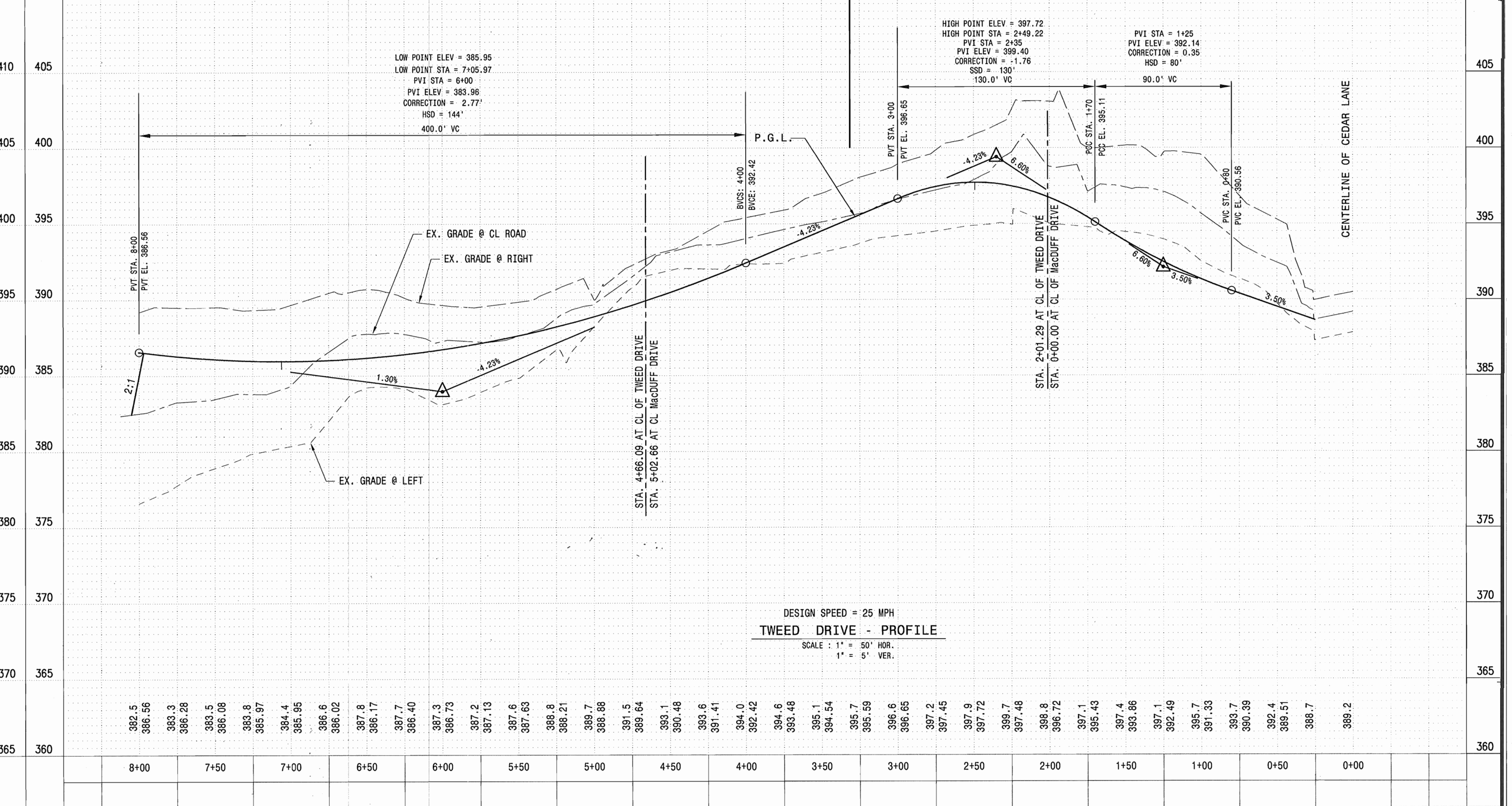
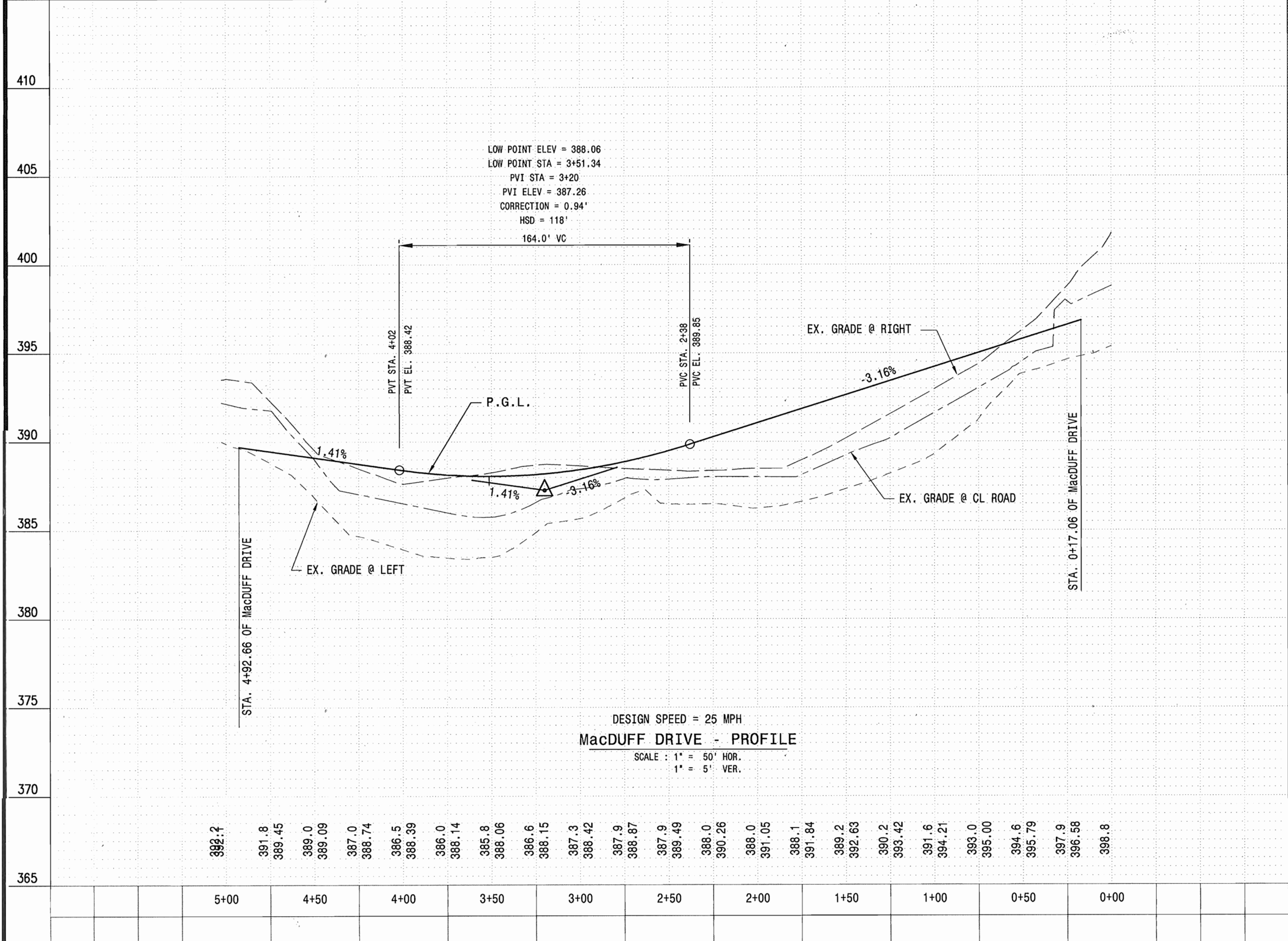
Approved: D.P.E.  
 Director  
 DATE: 9/9/05

APPROVED: DEPARTMENT OF PUBLIC WORKS  
 CHIEF, BUREAU OF HIGHWAYS  
 DATE: 9/9/05

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE: 5/5/05

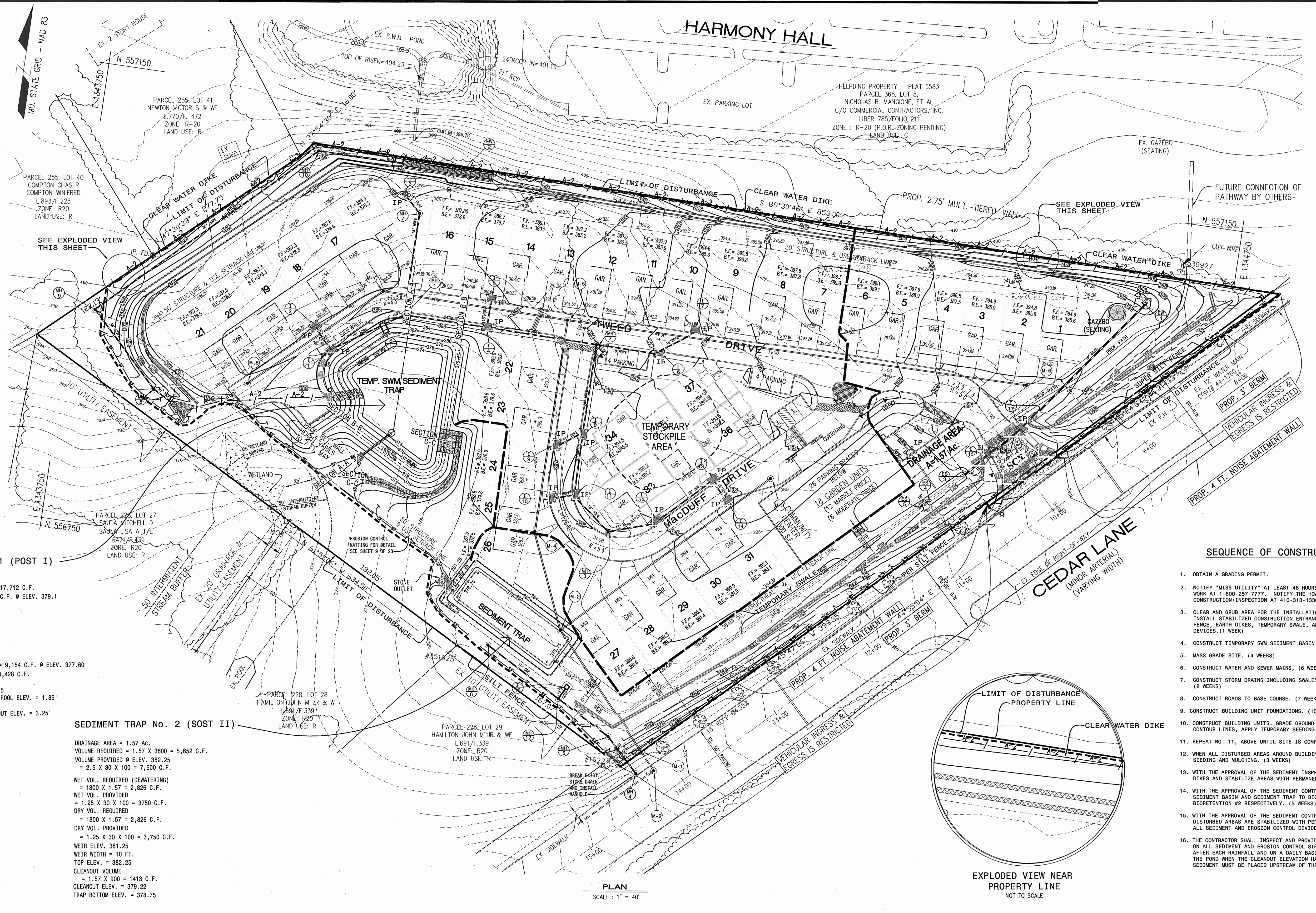


REVISIONS	
NO.	DATE
A SUBDIVISION OF PARCELS 111 AND 142	
TITLE: <b>PLAN, PROFILE AND DETAILS</b>	
PROJECT NAME: <b>SCOT'S GLEN SOUTH</b>	
BUILDABLE BULK PARCEL "A" - UNITS 1 THRU 55 AND COMMUNITY CENTER	
PLANNED SENIOR COMMUNITY (PSC) - AGE RESTRICTED ADULT HOUSING	
A RESUBDIVISION OF PARCELS 224 AND 326	
HOWARD COUNTY, MARYLAND, 21044	
S-04-05 PB CASE 363 ZB 1030M F-05-63	
OWNERS:	Paul L. Thompson Betty R. Thompson 6436 Cedar Lane Columbia, MD 21044
DEVELOPER:	Freetown PSC, LLC 6258 Cardinal Lane Columbia, MD 21044
DES.:	AVG
DRW.:	AVG
CHK.:	DCW
DATE:	04-13-05
SCALE:	1" = 50'
SHEET:	6 OF 25



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**SEDIMENT TRAP No. 1 (POST I)**

DRAINAGE AREA = 4.92 AC.  
 VOLUME REQUIRED = 4.92 X 3600 = 17,712 C.F.  
 ACTUAL VOLUME OF BASIN = 33,561 C.F. @ ELEV. 379.1  
 WET VOL. REQUIRED (DEWATERING)  
 = 1800 X 4.92 = 8,856 C.F.  
 WET VOL. PROVIDED  
 = 12,817 @ ELEV. 376.25  
 DRY VOL. REQUIRED  
 = 1800 X 4.92 = 8,856 C.F.  
 DRY VOL. PROVIDED  
 = (21,971 C.F. - 12,817 C.F.) = 9,154 C.F. @ ELEV. 377.60  
 CLEANOUT VOLUME = 4.92 X 900 = 4,428 C.F.  
 RISER CREST ELEV. = 378.10  
 PERMANENT POOL ELEVATION = 376.25  
 DIST. FROM RISER CREST TO PERM. POOL ELEV. = 1.85'  
 BASIN CLEANOUT ELEV. = 374.85'  
 DIST. FROM RISER CREST TO CLEANOUT ELEV. = 3.25'  
 $Q_1 = 1.09$  CFS  
 $Q_2 = 1.99$  CFS

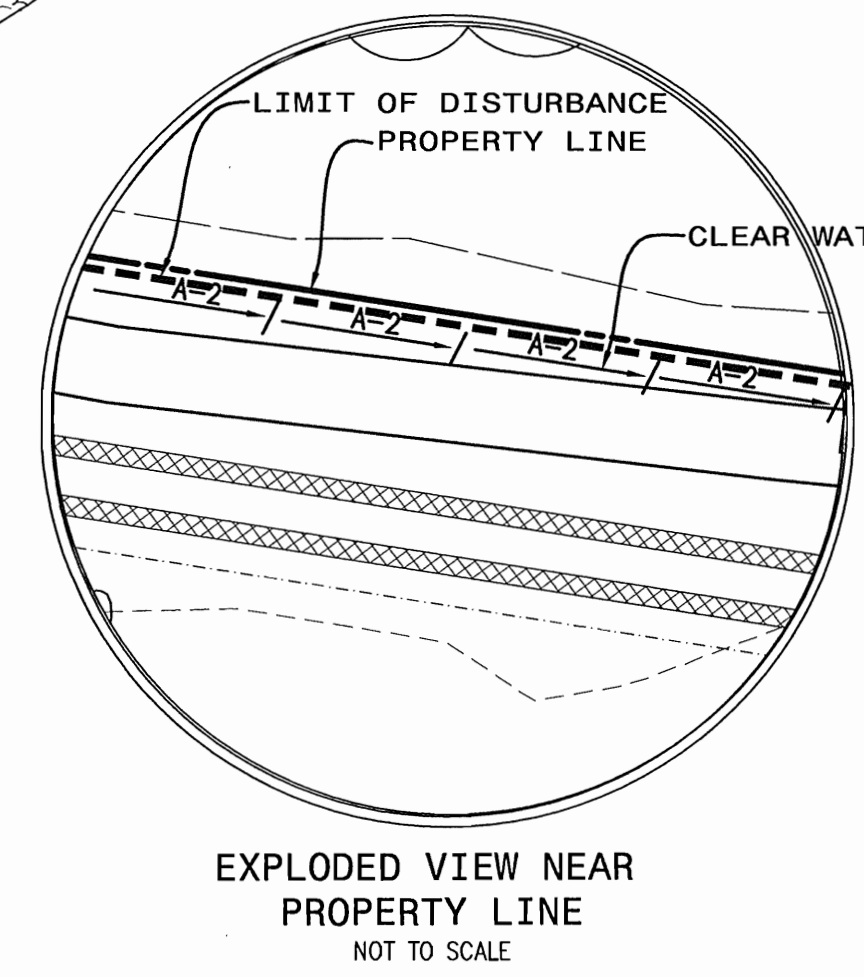
**SEDIMENT TRAP No. 2 (SOST II)**

DRAINAGE AREA = 1.57 AC.  
 VOLUME REQUIRED = 1.57 X 3600 = 5,652 C.F.  
 VOLUME PROVIDED @ ELEV. 382.25  
 = 2.5 X 30 X 100 = 7,500 C.F.  
 WET VOL. REQUIRED (DEWATERING)  
 = 1800 X 1.57 = 2,826 C.F.  
 WET VOL. PROVIDED  
 = 1,25 X 30 X 100 = 3750 C.F.  
 DRY VOL. REQUIRED  
 = 1800 X 1.57 = 2,826 C.F.  
 DRY VOL. PROVIDED  
 = 1,25 X 30 X 100 = 3,750 C.F.  
 WEIR ELEV. 381.25  
 WEIR WIDTH = 10 FT.  
 TOP ELEV. = 382.25  
 CLEANOUT VOLUME  
 = 1.57 X 900 = 1413 C.F.  
 CLEANOUT ELEV. = 379.22  
 TRAP BOTTOM ELEV. = 378.75

PLAN  
 SCALE: 1" = 40'

**SEQUENCE OF CONSTRUCTION**

- OBTAIN A GRADING PERMIT.
- NOTIFY "MISS UTILITY" AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK AT 1-800-257-7777. NOTIFY THE HOWARD COUNTY OFFICE OF CONSTRUCTION/INSPECTION AT 410-313-1330 24 HOURS BEFORE STARTING WORK.
- CLEAR AND GRUB AREA FOR THE INSTALLATION OF ALL SEDIMENT CONTROL SHOW. INSTALL STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, SUPER SILT FENCE, EARTH DIKES, TEMPORARY SWALE, AND CONSTRUCT OTHER SEDIMENT CONTROL DEVICES. (1 WEEK)
- CONSTRUCT TEMPORARY SWM SEDIMENT BASIN AND SEDIMENT TRAP. (3 WEEKS)
- MASS GRADE SITE. (4 WEEKS)
- CONSTRUCT WATER AND SEWER MAINS. (6 WEEKS)
- CONSTRUCT STORM DRAINS INCLUDING SWALES. INSTALL INLET PROTECTIONS. (8 WEEKS)
- CONSTRUCT ROADS TO BASE COURSE. (7 WEEKS)
- CONSTRUCT BUILDING UNIT FOUNDATIONS. (10 WEEKS)
- CONSTRUCT BUILDING UNITS. GRADE GROUND AROUND BUILDING TO PERMANENT CONTOUR LINES, APPLY TEMPORARY SEEDING AND MULCHING. (15 WEEKS)
- REPEAT NO. 11, ABOVE UNTIL SITE IS COMPLETELY BUILT OUT.
- WHEN ALL DISTURBED AREAS AROUND BUILDINGS ARE STABILIZED APPLY PERMANENT SEEDING AND MULCHING. (3 WEEKS)
- WITH THE APPROVAL OF THE SEDIMENT INSPECTOR, REMOVE THE CLEAR WATER DIKES AND STABILIZE AREAS WITH PERMANENT SEEDING AND MULCHING. (2 WEEKS)
- WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR CONVERT TEMP. SWM SEDIMENT BASIN AND SEDIMENT TRAP TO BIORETENTION #1 AND BMP, AND BIORETENTION #2 RESPECTIVELY. (5 WEEKS)
- WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, AFTER ALL DISTURBED AREAS ARE STABILIZED WITH PERMANENT SEEDING, REMOVE ALL SEDIMENT AND EROSION CONTROL DEVICES. (1 WEEK)
- THE CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE ON ALL SEDIMENT AND EROSION CONTROL STRUCTURES SHOWN HEREON AFTER EACH RAINFALL AND ON A DAILY BASIS. REMOVE SEDIMENT FROM THE POND WHEN THE CLEANOUT ELEVATION HAS BEEN REACHED. ALL SEDIMENT MUST BE PLACED UPSTREAM OF THE APPROVED TRAPPING DEVICE.



PREPARED BY:  
**American Land Development and Engineering, Inc.**  
 10749 BIRMINGHAM WAY, WOODSTOCK, MD 21163  
 TEL. (410) 465-7903 FAX. (410) 465-3845

OWNERS:  
 Paul L. Thompson  
 Betty R. Thompson  
 6436 Cedar Lane  
 Columbia, MD 21044

DEVELOPER:  
 Freetown, LLC  
 6258 Cardinal Lane  
 Columbia, Md. 21044

**ENGINEER'S CERTIFICATE**  
 "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."  
 Signature: David C. Woessner  
 DATE: 4/15/05

**DEVELOPER'S CERTIFICATE**  
 "I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC CONSTRUCTION INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."  
 Signature: Dale Thompson  
 DATE: 4/14/05

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS  
 Signature: Jim M...  
 DATE: 5/4/05

Signature: John R. Dawson  
 DATE: 5/14/05



APPROVED: DEPARTMENT OF PLANNING AND ZONING

Signature: [Name]  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 DATE: 5/5/05

Signature: Cindy Hamble  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE: 6/4/05

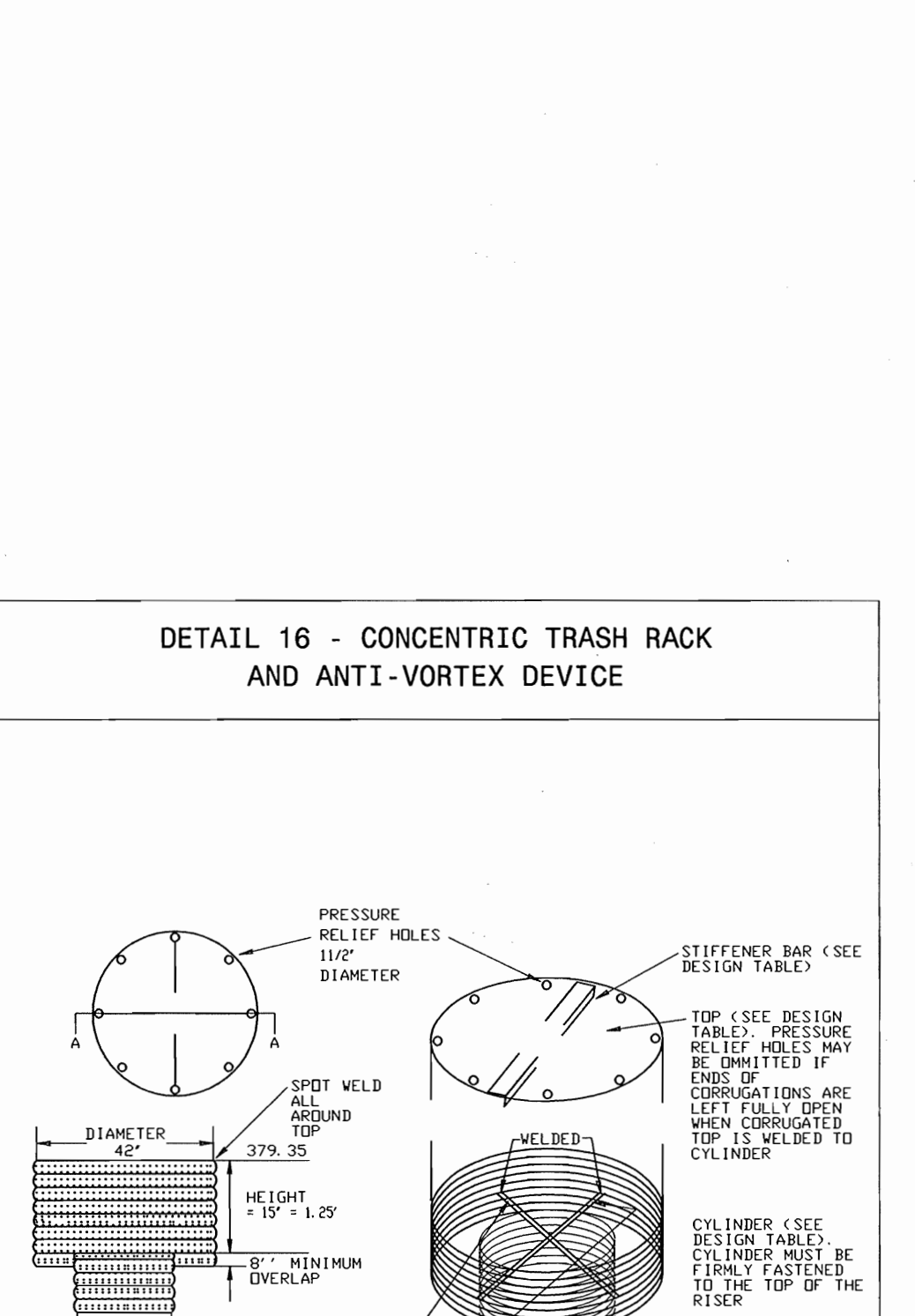
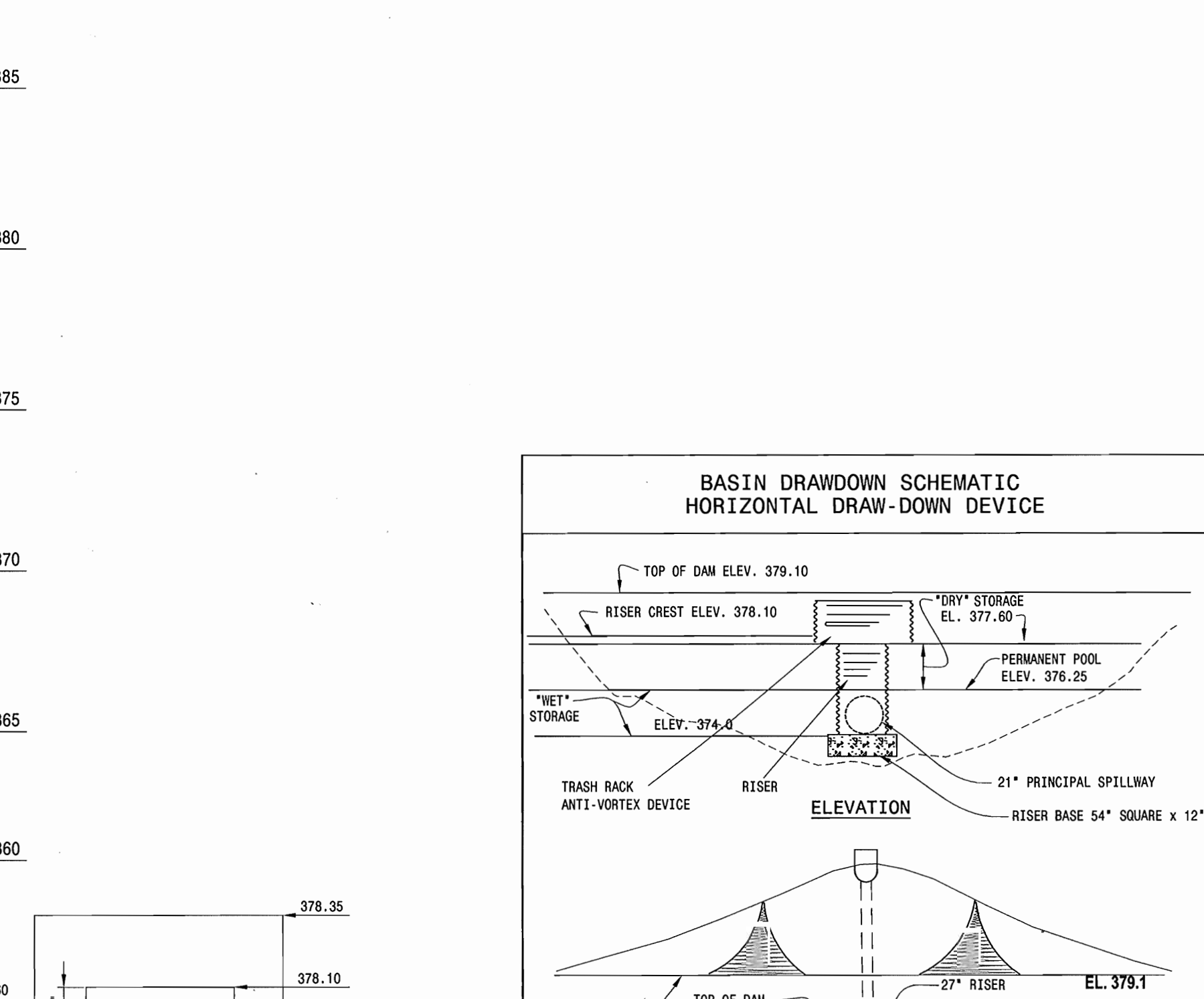
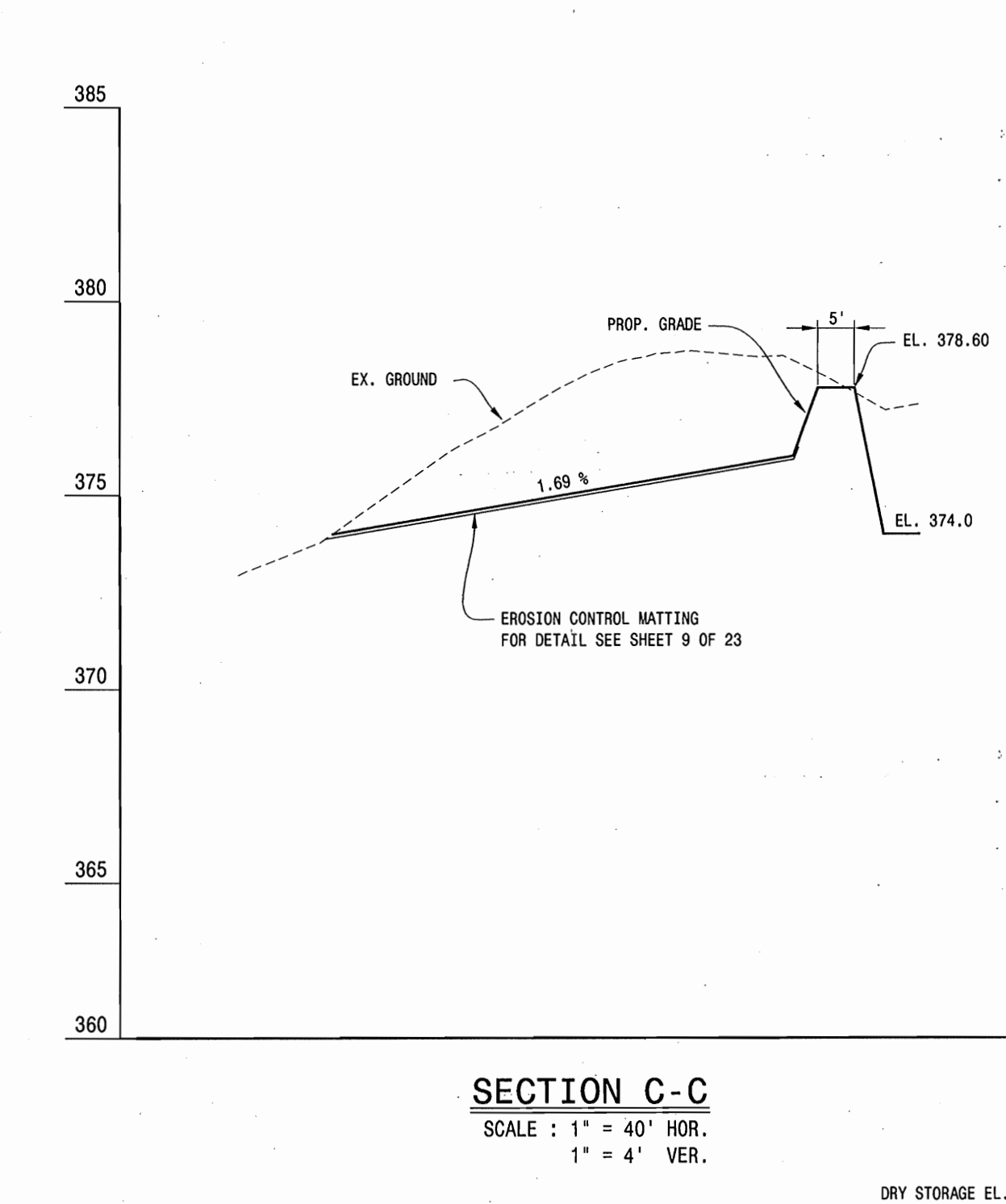
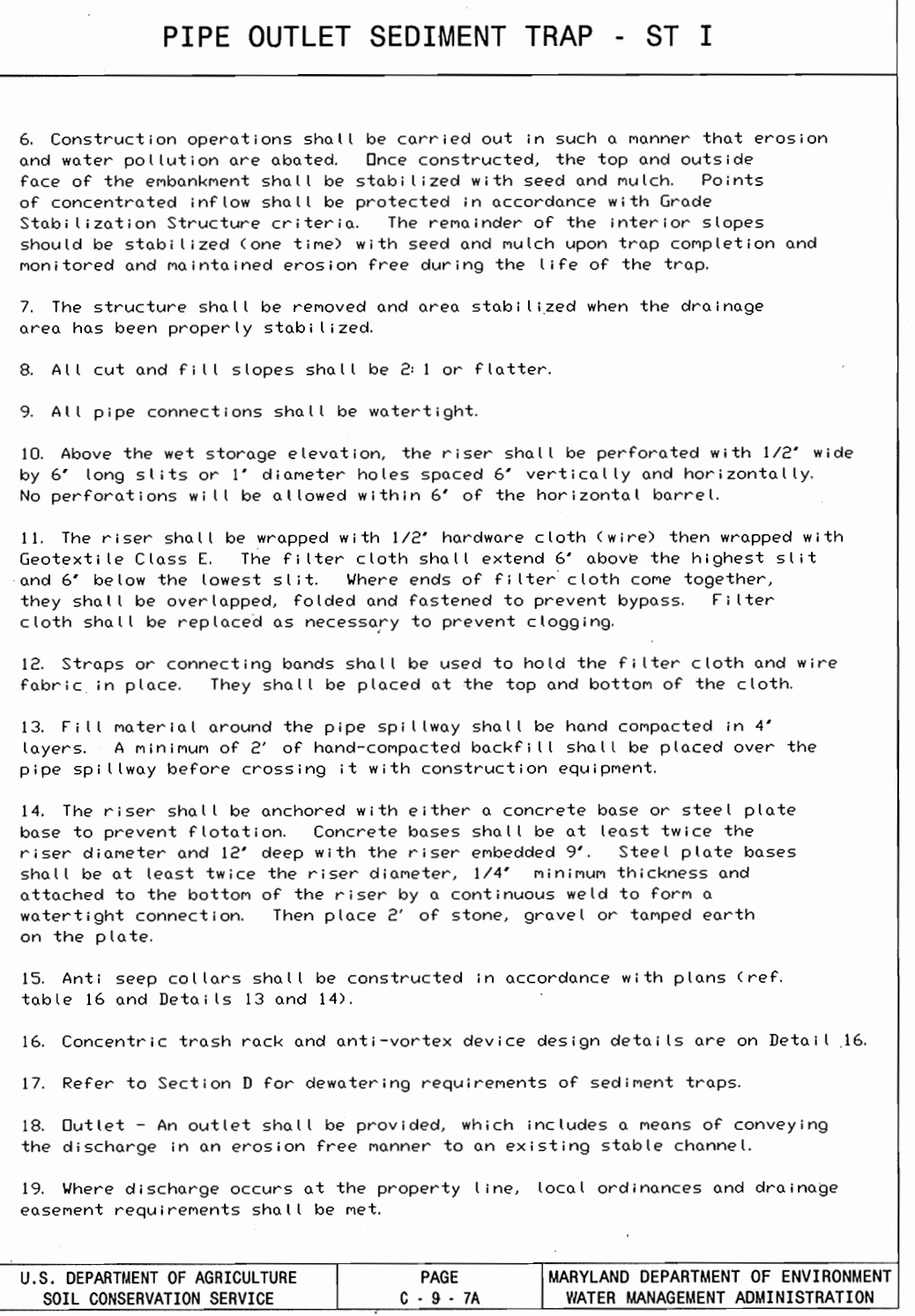
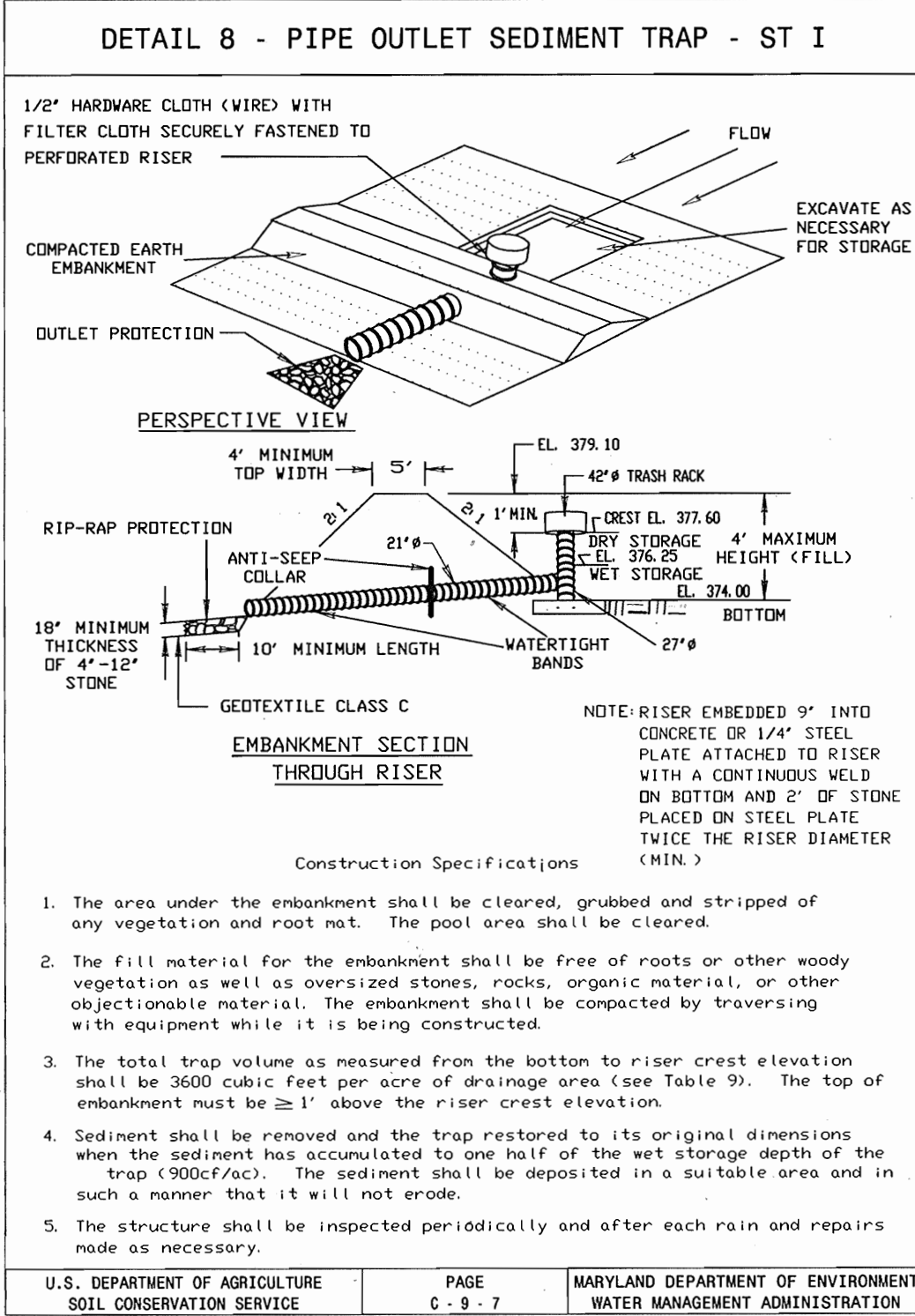
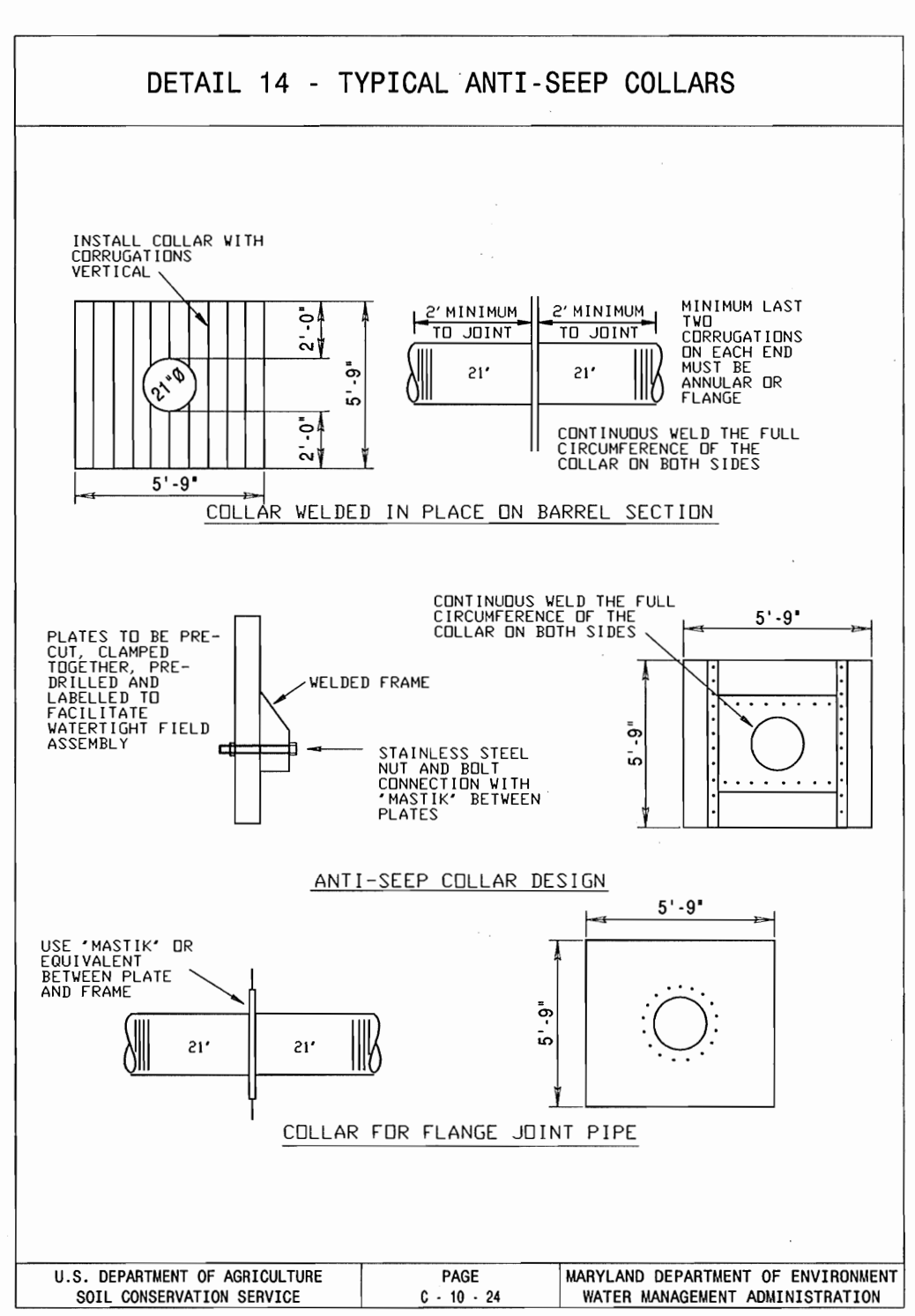
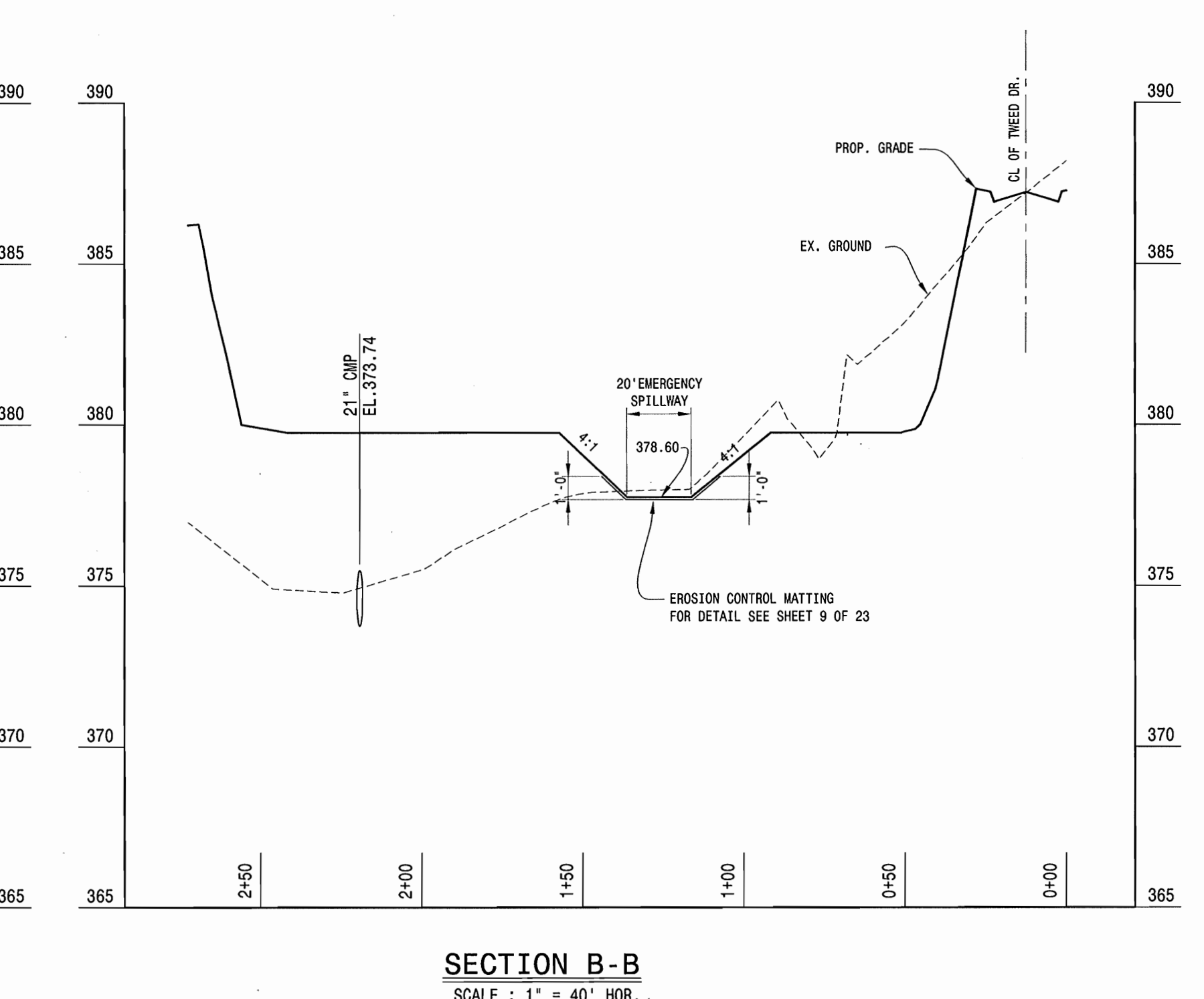
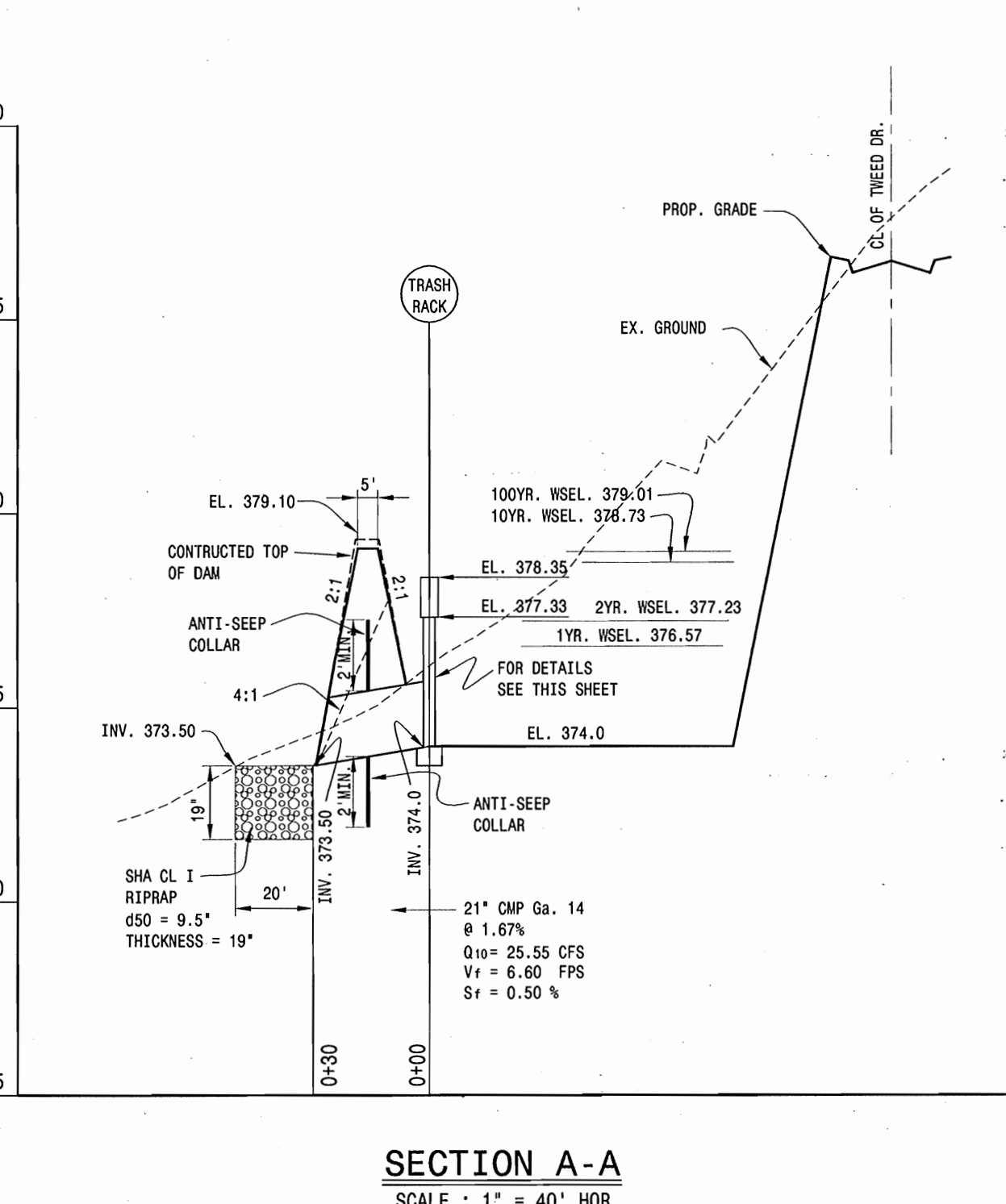
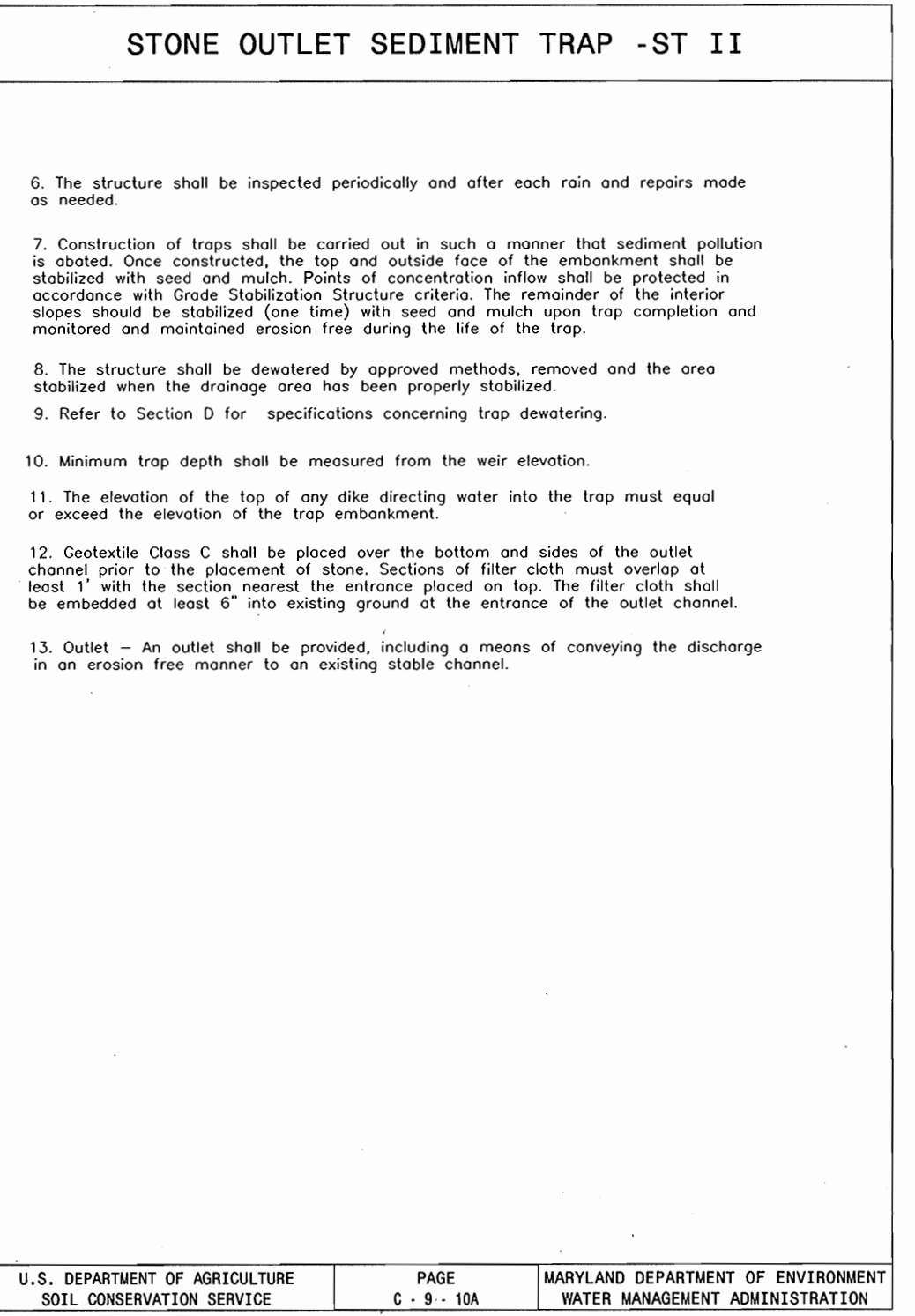
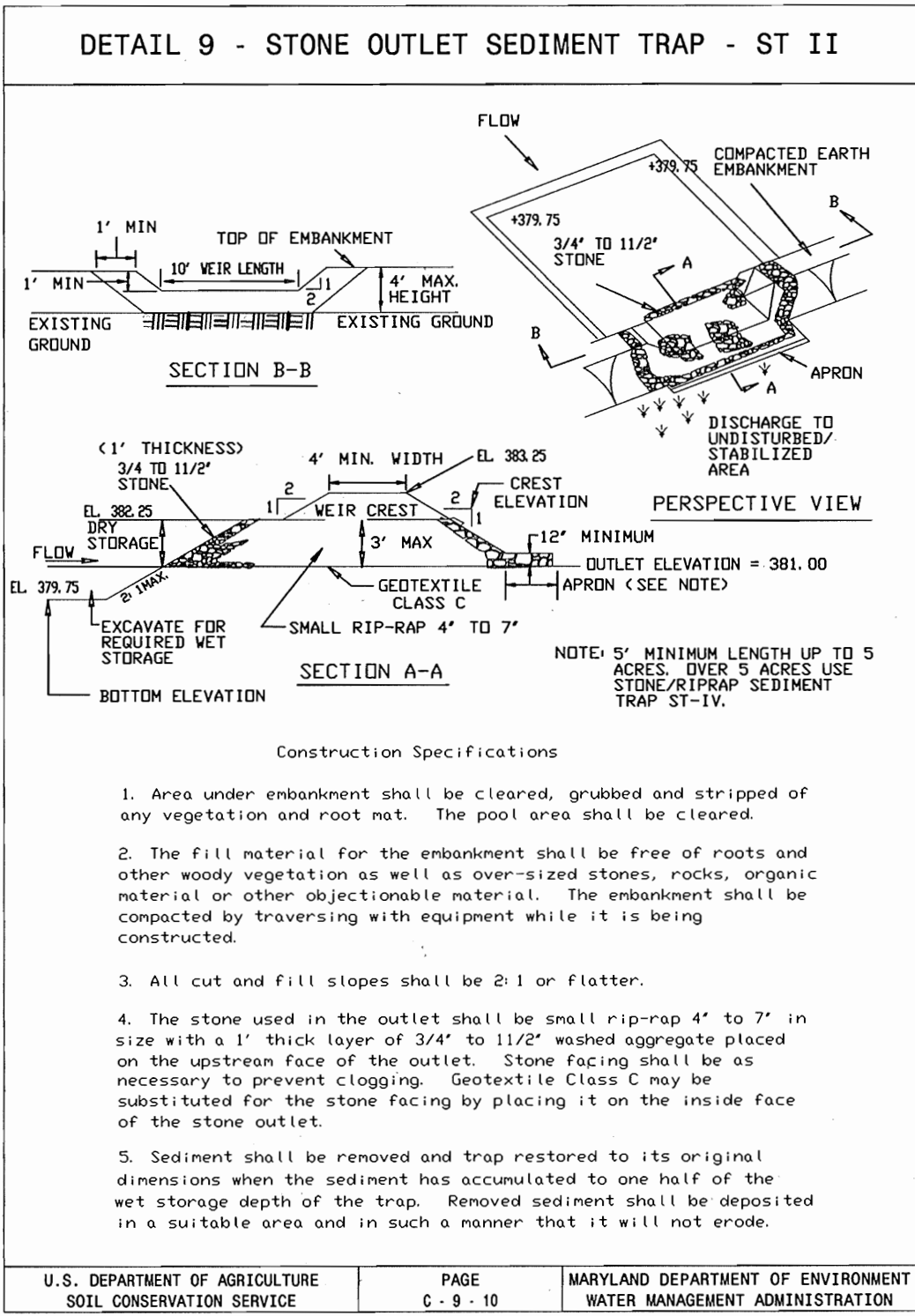
Signature: [Name]  
 DIRECTOR - DEPARTMENT OF PLANNING AND ZONING  
 DATE: 6/29/05

TITLE:  
**GRADING, SEDIMENT AND EROSION CONTROL PLAN**

PROJECT NAME:  
**SCOT'S GLEN SOUTH**  
 BUILDABLE BULK PARCEL "A" - UNITS 1 THRU 55 AND COMMUNITY CENTER  
 PLANNED SENIOR COMMUNITY (PSC) - AGE RESTRICTED ADULT HOUSING  
 A RESUBDIVISION OF PARCELS 224 AND 326  
 HOWARD COUNTY, MARYLAND, 21044

S-04-05 PB CASE 363 ZB 1030M F-05-G3

DES.: AVG	JOB:	PROJ.:	DATE: 04-13-05
DRW.: AVG	CHK.: D.C.W.	SCALE: 1" = 40'	SHEET 7 OF 25



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PREPARED BY:

**American Land Development and Engineering, Inc.**

10749 BIRMINGHAM WAY, WOODSTOCK, MD 21163  
TEL. (410) 465-7903 FAX. (410) 465-3845

OWNERS: Paul L. Thompson  
Betsy R. Thompson  
6436 Cedar Lane  
Columbia, MD 21044

DEVELOPER: Freetown, LLC  
6258 Cardinal Lane  
Columbia, Md. 21044

**ENGINEER'S CERTIFICATE**

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*David C. Woessner*  
SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE)  
DAVID C. WOESSNER  
DATE 4/15/05

**DEVELOPER'S CERTIFICATE**

"WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*Paul L. Thompson*  
SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE)  
DALE THOMPSON  
DATE 4/14/05

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

*Jim Meyer*  
U.S. NATURAL RESOURCES CONSERVATION SERVICE  
DATE 5/19/05

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John R. Platon*  
HOWARD SCD  
DATE 5/19/05



APPROVED: DEPARTMENT OF PLANNING AND ZONING

*John Dammann*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE 5/5/05

*Andy Stewart*  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE 6/9/05

*David J. Boyle*  
DIRECTOR - DEPARTMENT OF PLANNING AND ZONING  
DATE 6/9/05

TITLE: **TEMPORARY STORMWATER MANAGEMENT BASIN SECTIONS, NOTES & DETAILS**

PROJECT NAME: **SCOT'S GLEN SOUTH**  
BUILDABLE BULK PARCEL "A" - UNITS 1 THRU 55 AND COMMUNITY CENTER  
PLANNED SENIOR COMMUNITY (PSC) - AGE RESTRICTED ADULT HOUSING  
A RESUBDIVISION OF PARCELS 224 AND 326  
HOWARD COUNTY, MARYLAND, 21044

S-04-05 PB CASE 363 ZB 1030M F-05-63

DES.: AVG	JOB:	PROJ.:	DATE: 04-13-05
DRW.: AVG	CHK.: D.C.W.	SCALE:	SHEET 8 OF 25

STANDARD SEDIMENT CONTROL NOTES

20.0 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

- 1. A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permit, Sediment Control Division prior to the start of any construction (313-1855).

Using vegetation as cover for barren soil to protect it from forces that cause erosion.

PURPOSE

Vegetative stabilization specifications are provided to the establishment of vegetation on exposed soil. When soil is stabilized with vegetation, the soil is less likely to erode and more likely to allow infiltration of rainfall.

CONDITIONS WHERE PRACTICE APPLIES

This practice shall be used on denuded areas as specified on the plans and may be used on highly erodible or critically erodible areas. This specification is divided into Temporary Seeding to quickly establish vegetation and Permanent Seeding for long term vegetative cover.

EFFECTS OF WATER QUALITY AND QUANTITY

Planting vegetation in disturbed areas will have an effect on the water budget, especially on volumes and rates of run-off, infiltration, evaporation, transpiration, percolation, and groundwater recharge.

SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS

A. Site Preparation

- 1. Install erosion and sediment control structures (either temporary or permanent) such as diversion, grade stabilization structures, berms, waterways, or sediment control basins.

B. Soil Amendments (Fertilizer and Lime Specifications)

- 1. Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas over 5 acres. Soil analysis may be performed by the University of Maryland or a recognized commercial laboratory.

C. Seeded Preparation

- 1. Temporary Seeding
a. Seeded preparation shall consist of loosening soil to a depth of 3" to 5" by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or rollers mounted on construction equipment.

D. Seeded Preparation

- 1. Temporary Seeding
a. Seeded preparation shall consist of loosening soil to a depth of 3" to 5" by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or rollers mounted on construction equipment.

E. Seeded Preparation

- 1. Temporary Seeding
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F. Seeded Preparation

- 1. Temporary Seeding
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G. Seeded Preparation

- 1. Temporary Seeding
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H. Seeded Preparation

- 1. Temporary Seeding
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I. Seeded Preparation

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J. Seeded Preparation

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K. Seeded Preparation

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L. Seeded Preparation

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M. Seeded Preparation

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R. Seeded Preparation

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S. Seeded Preparation

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U. Seeded Preparation

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V. Seeded Preparation

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W. Seeded Preparation

- 1. Temporary Seeding
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X. Seeded Preparation

- 1. Temporary Seeding
a. Seeded preparation shall consist of loosening soil to a depth of 3" to 5" by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or rollers mounted on construction equipment.

STANDARDS AND SPECIFICATIONS FOR TOPSOIL

DEFINITION

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

PURPOSE

To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

CONDITIONS WHERE PRACTICE APPLIES

- 1. This practice is limited to areas having 2:1 or flatter slopes where:

- a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
c. The original soil to be vegetated contains material toxic to plant growth.

d. The soil is so acidic that treatment with limestone is not feasible. If, for the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

- 1. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCA in cooperation with Maryland Agricultural Experiment Station.

2. Topsoil Specifications - Soil to be used as topsoil must meet the following:

- 1. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, or silty clay loam. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slugs, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2" in diameter.
2. Topsoil must be free of plants or plant parts such as Bermuda grass, quack grass, Johnson grass, net, poison ivy, thistle, or others as specified.

- 3. Where the subsoil is either highly acidic or composed of heavy clay, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over the degraded area and worked into the soil in conjunction with tillage operations as described in the following procedures.

3. For sites having disturbed areas over 5 acres:

- i. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.

- IV. For sites having disturbed areas over 5 acres: 1. On soil meeting topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:

- a. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.

- b. Organic content of topsoil shall be not less than 1.5 percent by weight.

- c. Topsoil having soluble salt content greater than 500 parts per million shall not be used.

- d. No seed or soil shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials. Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate authority, may be used in lieu of natural topsoil. If Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.

V. Topsoil Application

- 1. When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.

- 2. Grades on the areas to be top soiled, which have been previously established, shall be maintained, albeit 4"-8" higher in elevation.

- 3. Topsoil shall be uniformly distributed in a 4"-8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seed line can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from top soiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.

- 4. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seeded preparation.

- 5. Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:

- a. Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:

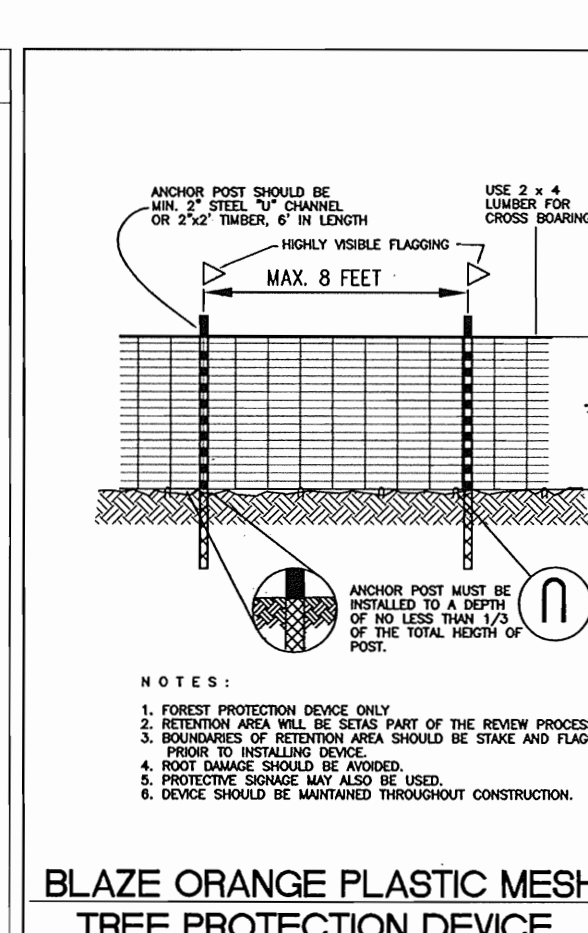
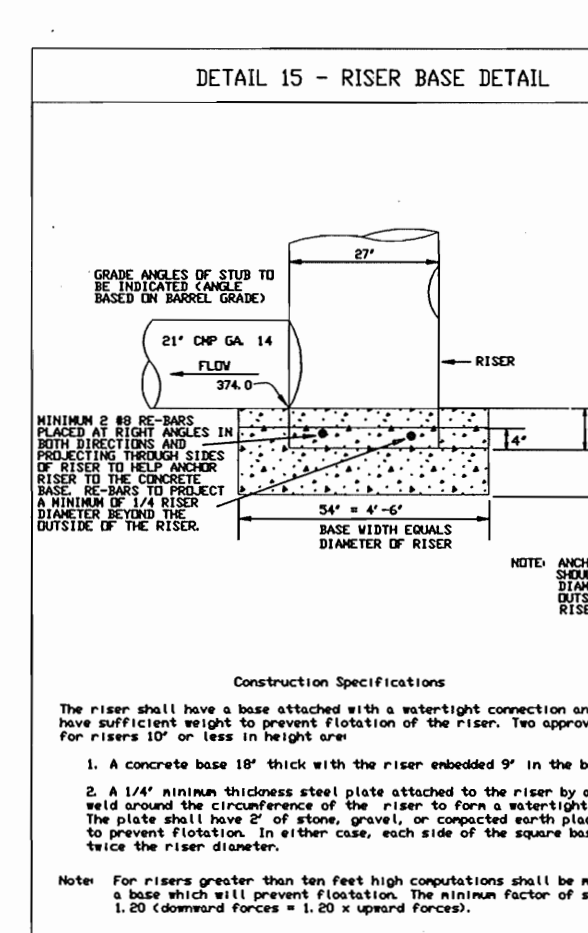
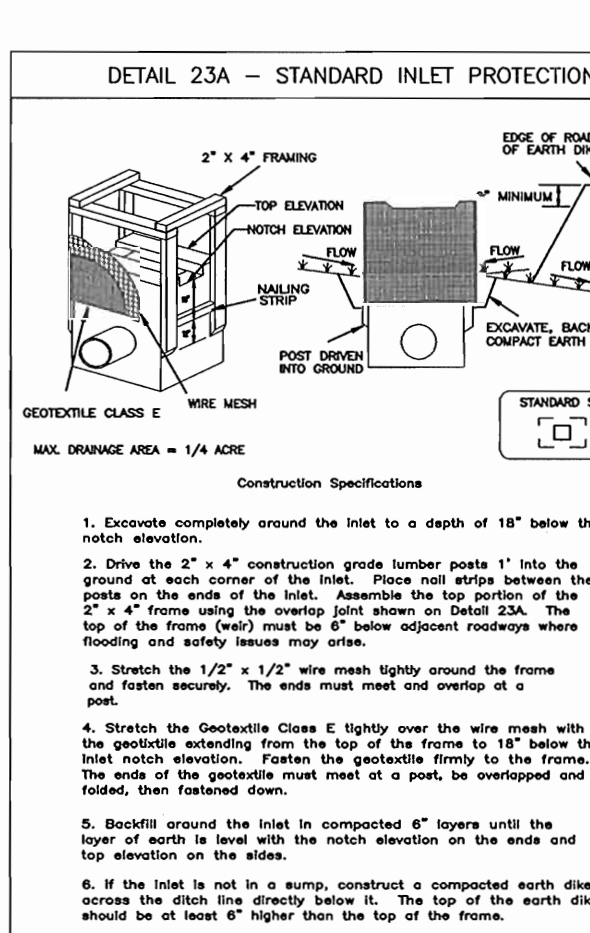
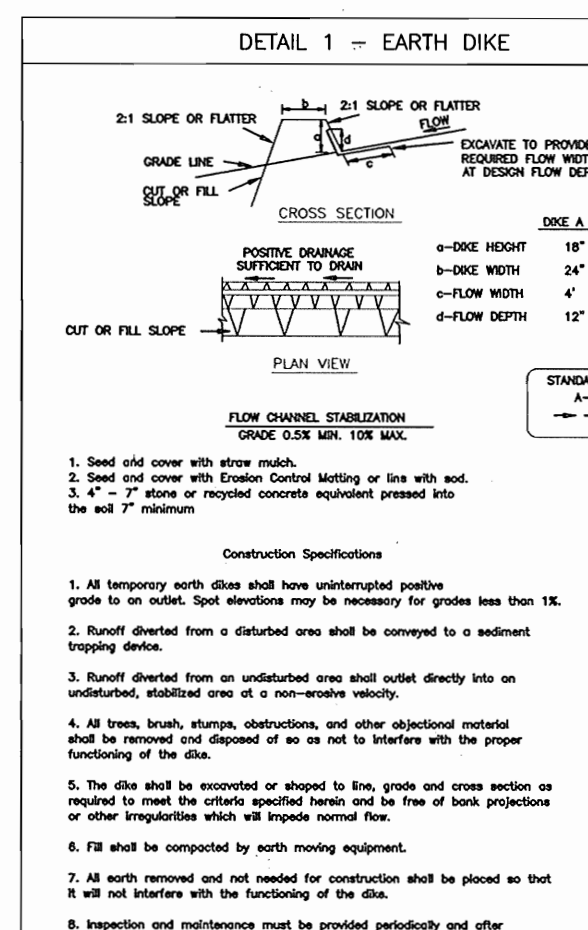
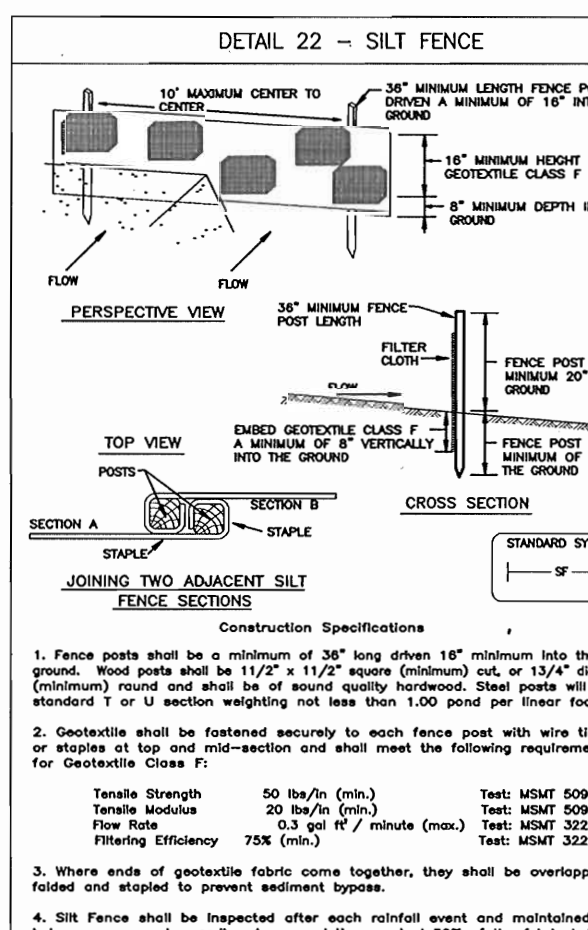
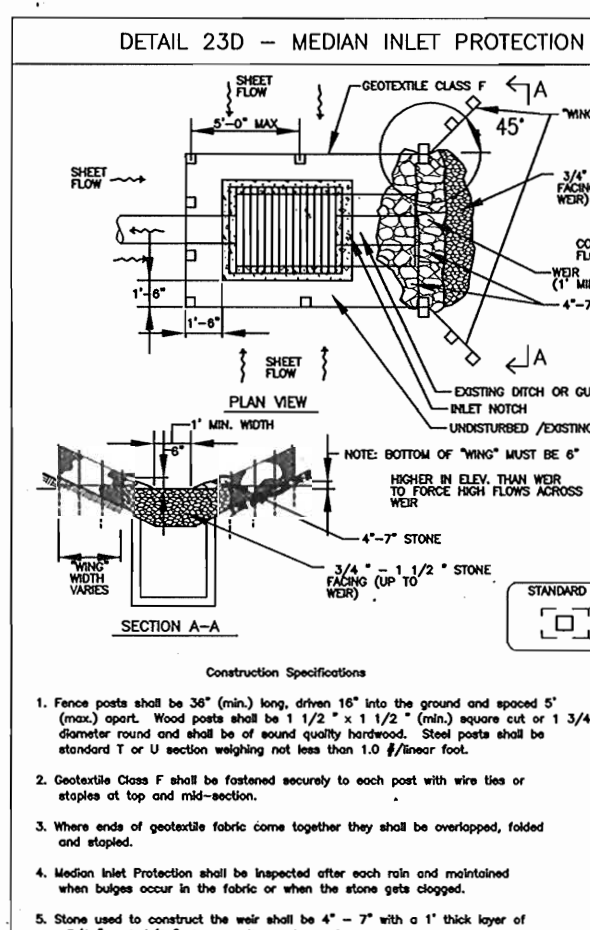
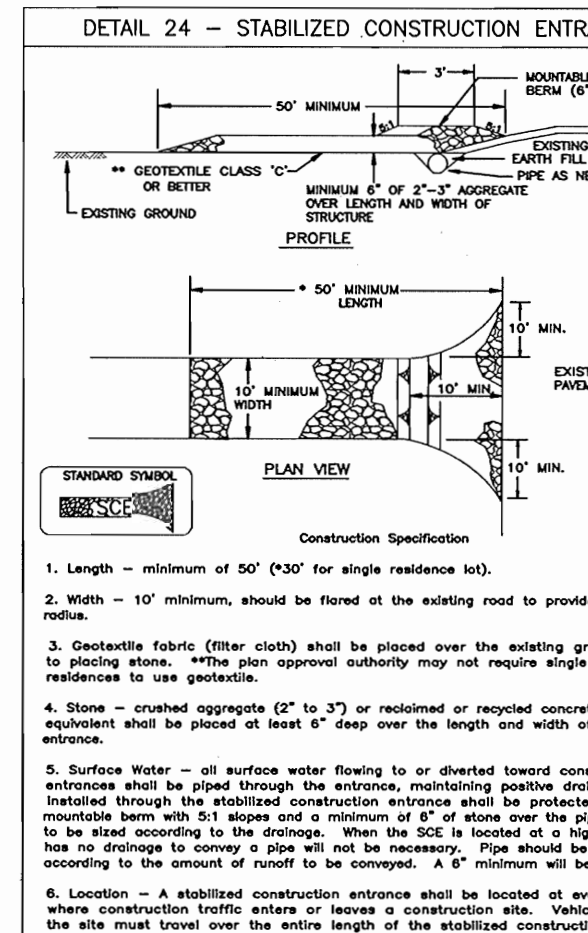
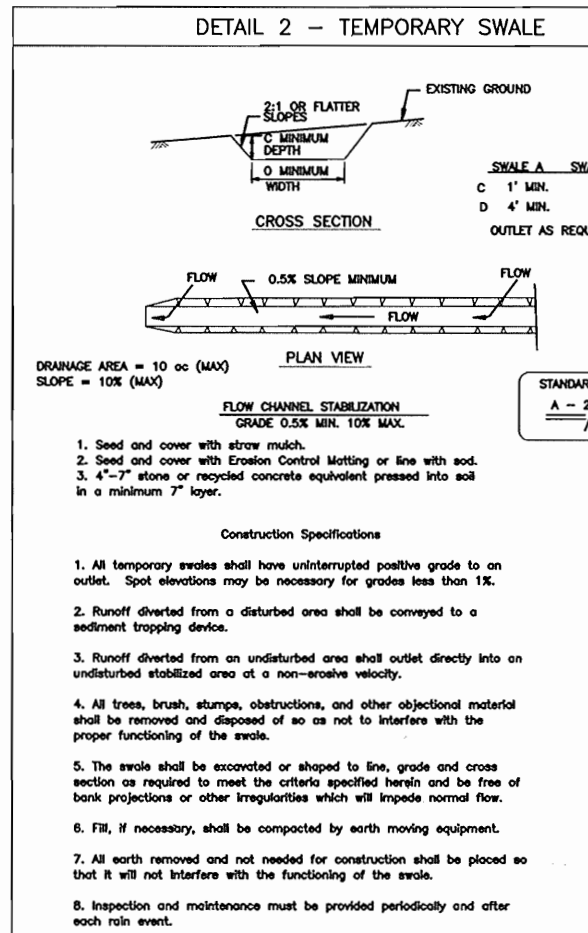
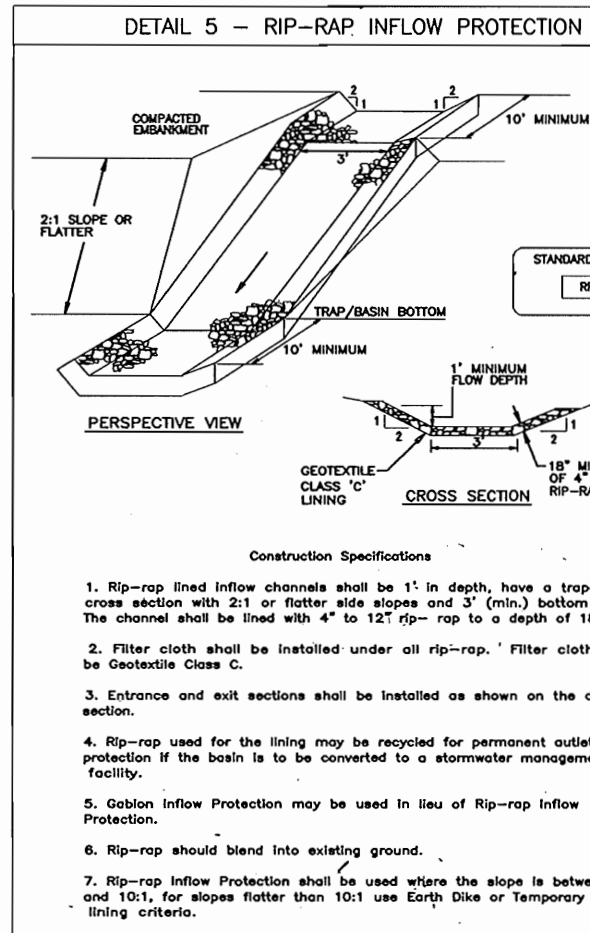
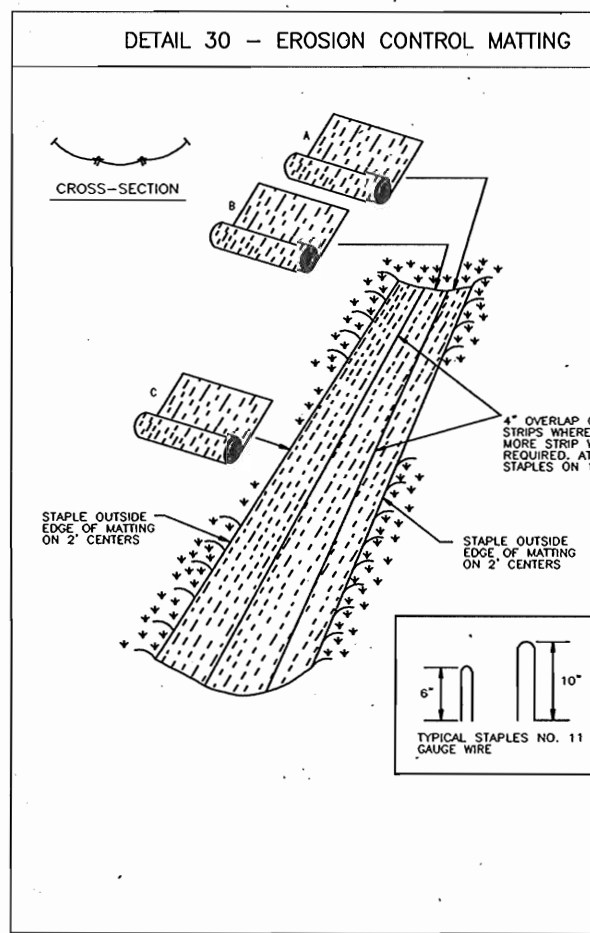
- i. Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.

- ii. Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.

- iii. Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.

- iv. Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate.

Reference: Guideline Specifications, Soil Preparation and Sodding, MD-VA, Pub. #1, Cooperative Insect Extension Service, University of Maryland and Virginia Polytechnic Institutes. Revised 1973.



PREPARED BY: American Land Development and Engineering, Inc. 10749 BIRMINGHAM WAY, WOODSTOCK, MD 21163 TEL. (410) 465-7903 FAX. (410) 465-3845

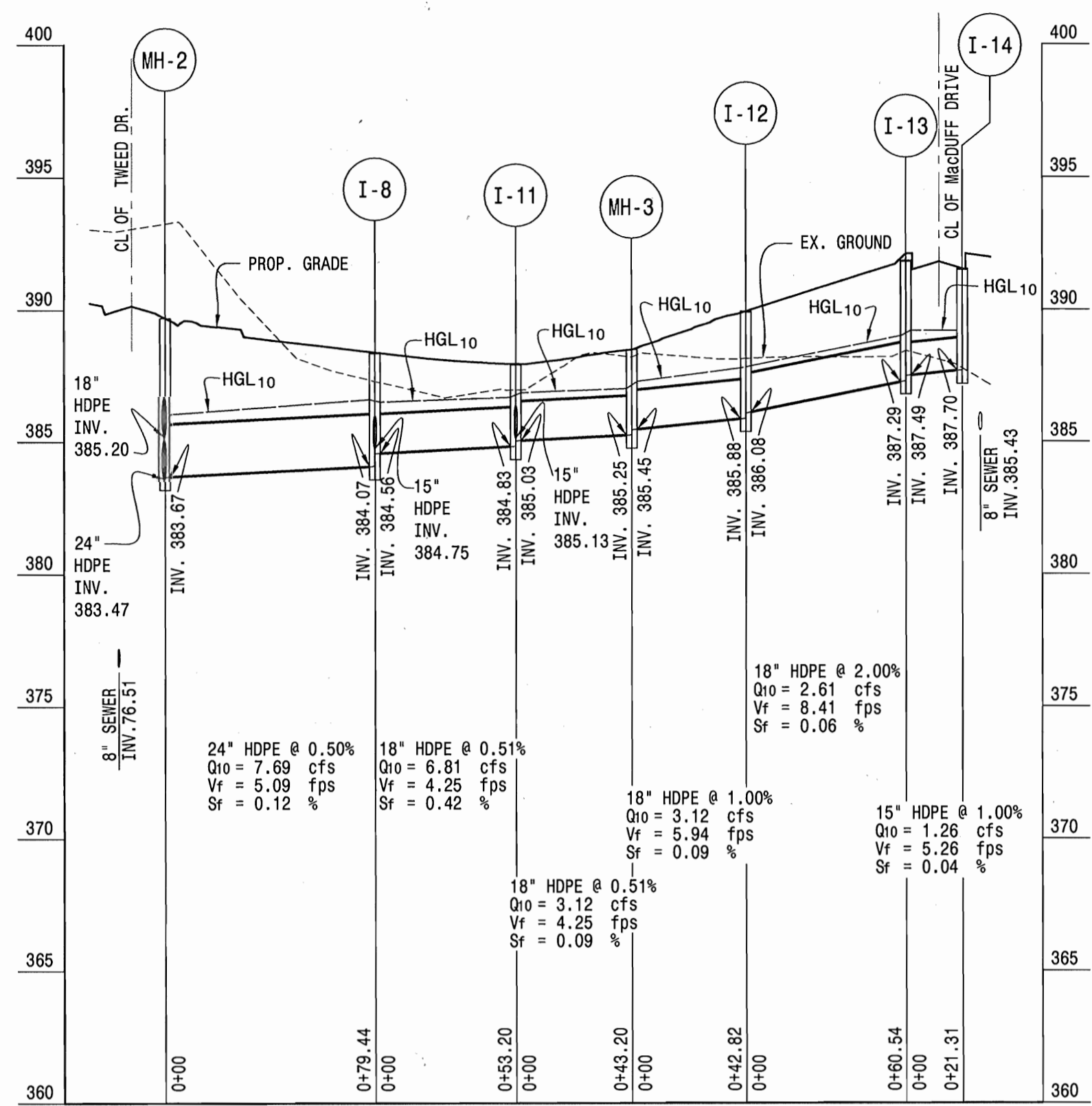
ENGINEER'S CERTIFICATE: I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS. DEVELOPER'S CERTIFICATE: I WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

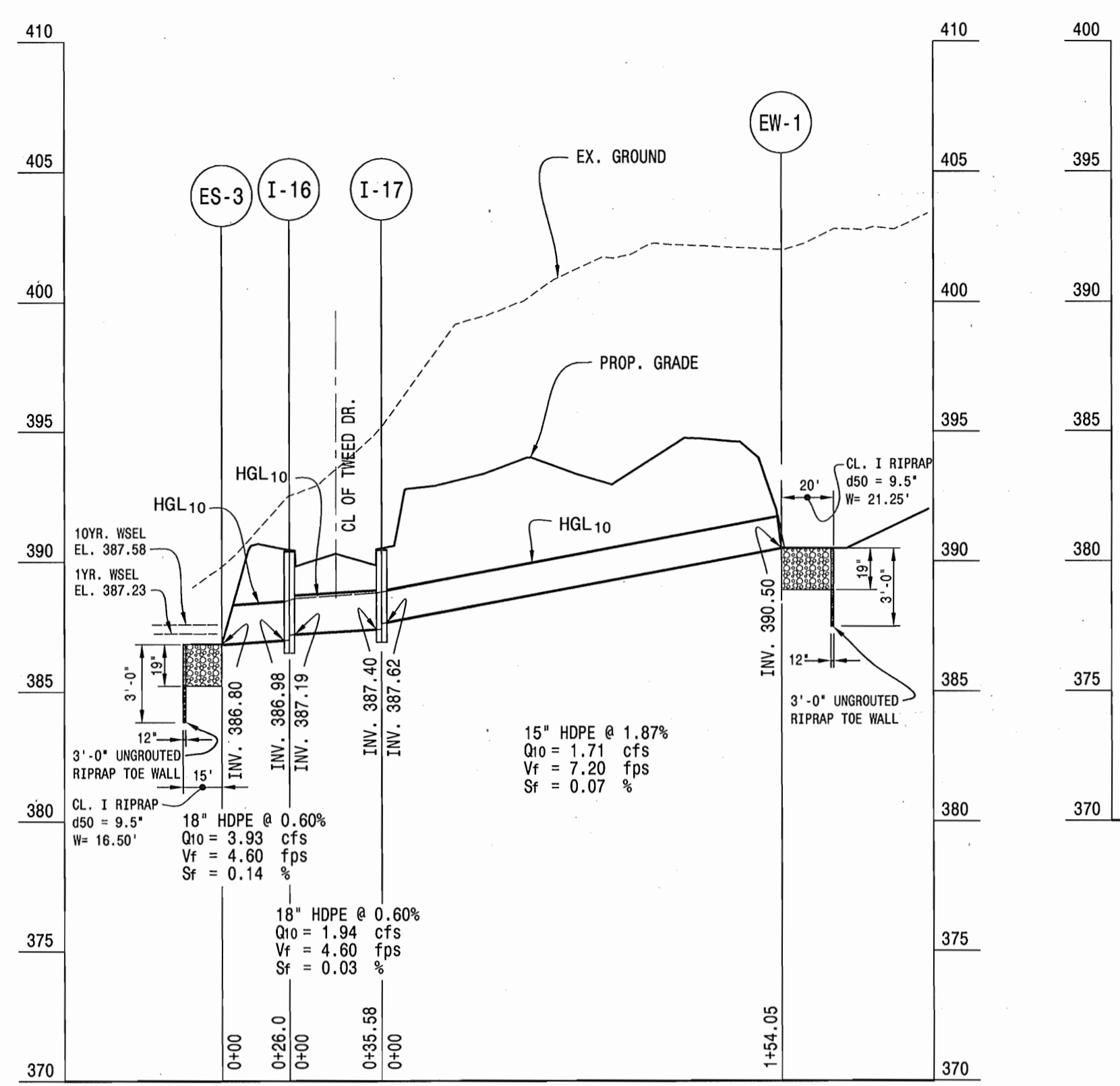
APPROVED: DEPARTMENT OF PLANNING AND ZONING. CHIEF, DEVELOPMENT ENGINEERING DIVISION. CHIEF, DIVISION OF LAND DEVELOPMENT. DIRECTOR - DEPARTMENT OF PLANNING AND ZONING.

TITLE: SEDIMENT AND EROSION CONTROL NOTES AND DETAILS. PROJECT NAME: SCOT'S GLEN SOUTH BUILDABLE BULK PARCEL "A" - UNITS 1 THRU 55 AND COMMUNITY CENTER PLANNED SENIOR COMMUNITY (PSC) - AGE RESTRICTED ADULT HOUSING A RESUBDIVISION OF PARCELS 224 AND 326 HOWARD COUNTY, MARYLAND, 21044

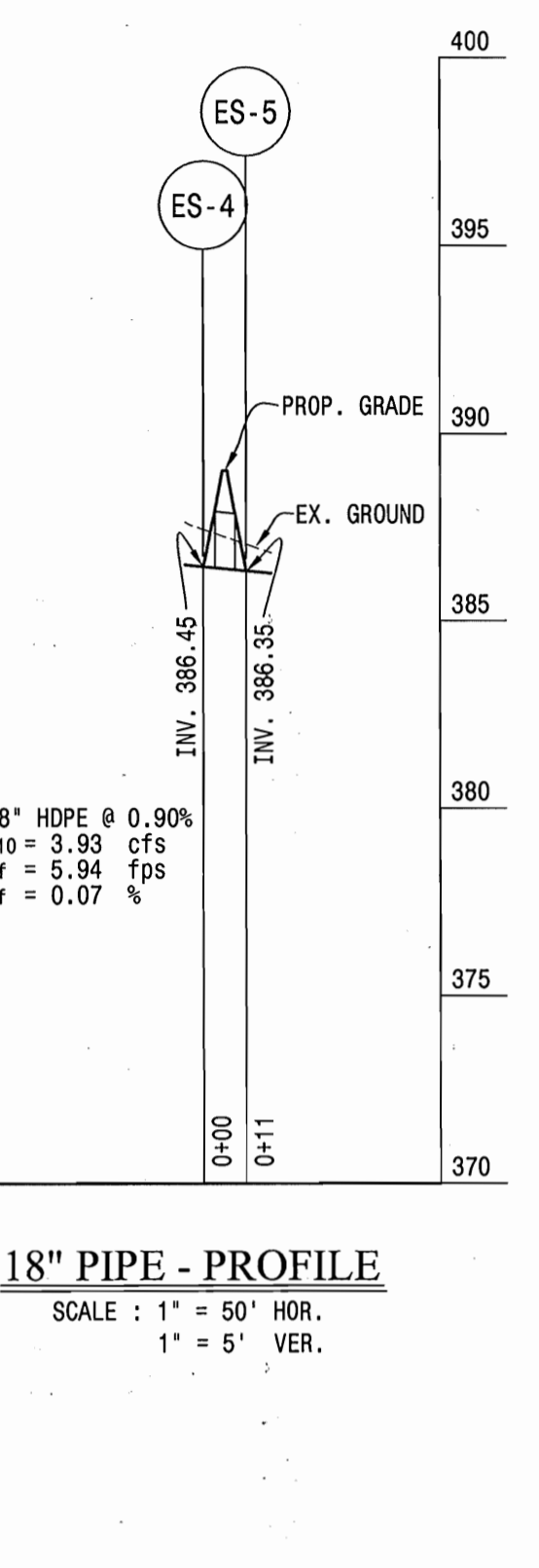




**STORM DRAIN - PROFILE**  
SCALE : 1" = 50' HOR.  
1" = 5' VER.

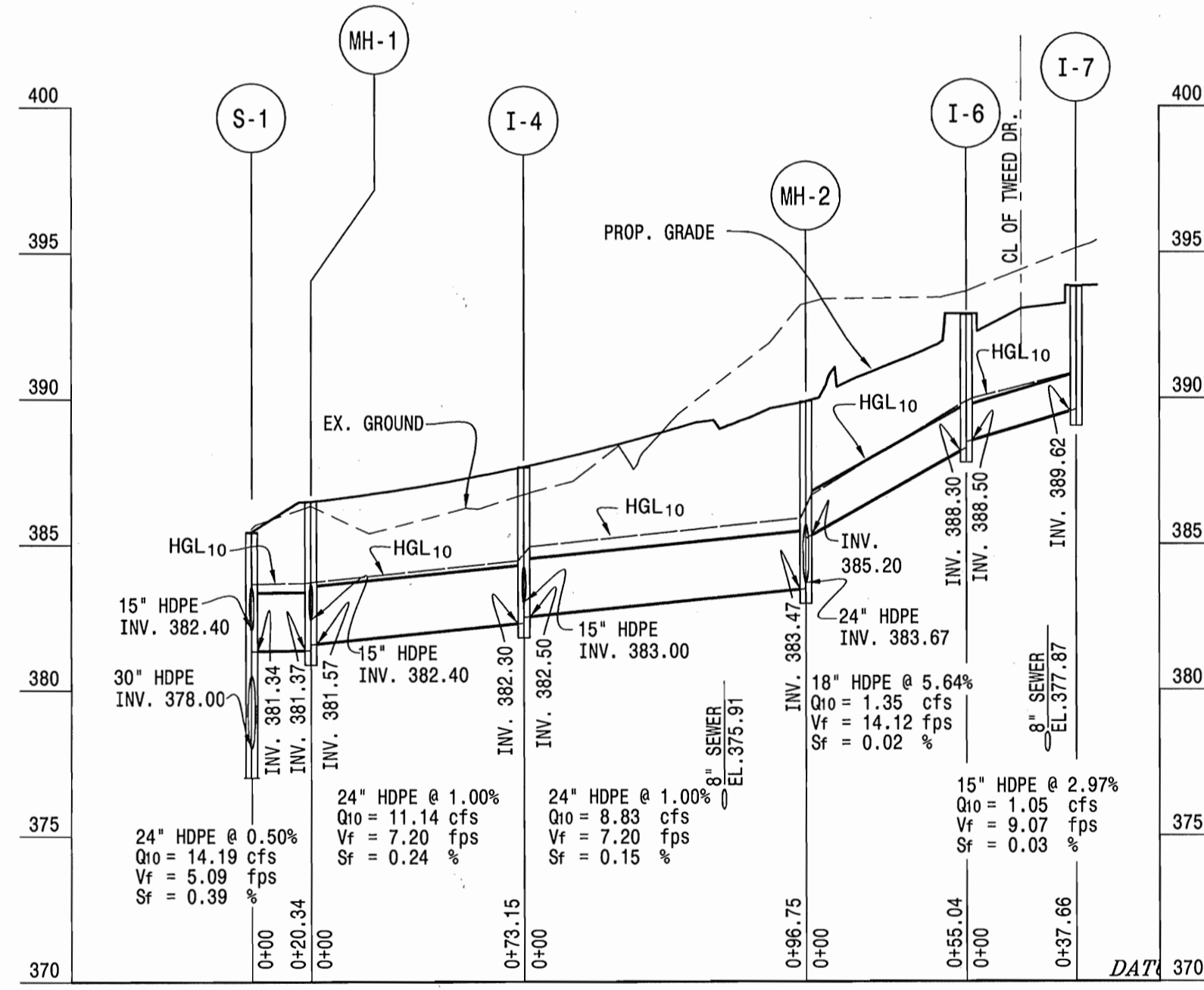


**STORM DRAIN - PROFILE**  
SCALE : 1" = 50' HOR.  
1" = 5' VER.

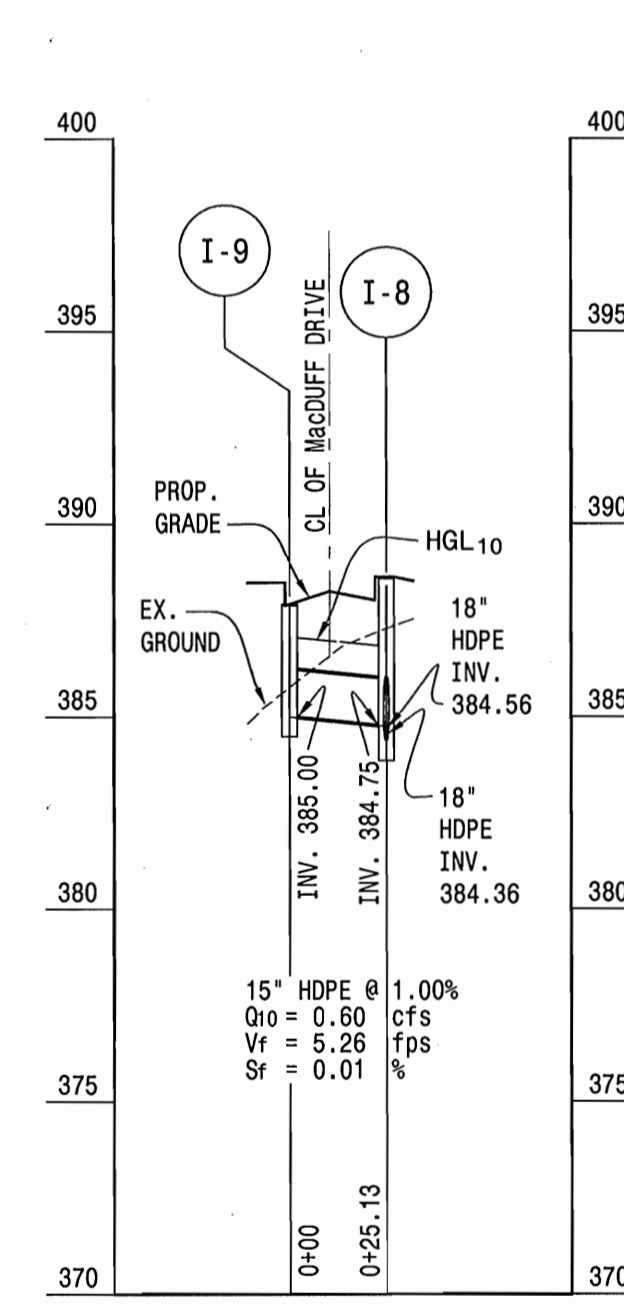


**18" PIPE - PROFILE**  
SCALE : 1" = 50' HOR.  
1" = 5' VER.

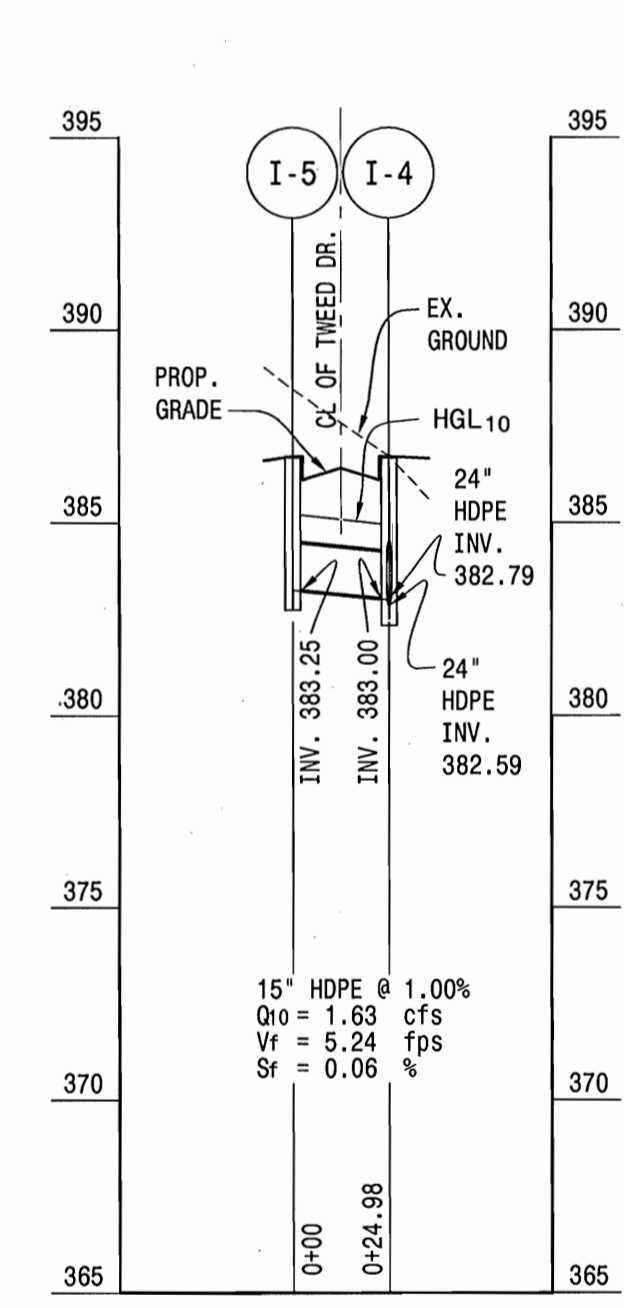
STRUCTURE SCHEDULE											
STRUCTURE NO.	TYPE	TOP ELEVATION	INV. IN	INV. OUT	ROAD NAME	ROAD STA.	OFFSET	HO. CO. STD.			
I - 1	A-5 (2'-6" WIDE)	386.01	382.75	382.55	TWEED DRIVE	7+05.79	12.95' L	S.D. 4.34			
I - 2	A-5 (2'-6" WIDE)	385.99		383.00	TWEED DRIVE	7+05.99	12.69' R	S.D. 4.01			
I - 3	YARD INLET	385.00 *		383.50		N 557075.4142, E 1344022.3690					
I - 4	A-5 (2'-6" WIDE)	387.67	382.50, 383.00	382.30	TWEED DRIVE	5+50.34	12.69' L	S.D. 4.01			
I - 5	A-5 (2'-6" WIDE)	386.46		383.25	TWEED DRIVE	5+50.38	12.69' R	S.D. 4.34			
I - 6	A-5 (2'-6" WIDE)	392.90	388.50	388.30	TWEED DRIVE	3+98.64	12.64' L	S.D. 4.01			
I - 7	A-5 (2'-6" WIDE)	393.85		389.62	TWEED DRIVE	3+70.43	12.69' R	S.D. 4.34			
I - 8	A-5 (2'-6" WIDE)	388.39	384.56, 384.75	384.07	MacDUFF DRIVE	4+10.51	12.70' R	S.D. 4.34			
I - 9	DOUBLE TYPE S COMB. INLET	387.92		385.00	MacDUFF DRIVE	3+97.17	8.61' L	S.D. 4.34			
I - 10	DOUBLE TYPE S COMB. INLET	387.64		385.34	MacDUFF DRIVE	3+53.05	8.49' L	S.D. 4.34			
I - 11	A-5 (2'-6" WIDE)	387.95	385.03, 385.13	384.83	MacDUFF DRIVE	3+53.25	12.69' R	S.D. 4.11			
I - 12	A-5 (2'-6" WIDE)	389.94	386.08	385.88	MacDUFF DRIVE	2+36.43	12.69' R	S.D. 4.11			
I - 13	A-5 (2'-6" WIDE)	392.11	387.49	387.29	MacDUFF DRIVE	1+75.90	12.69' R	S.D. 4.34			
I - 14	DOUBLE TYPE S COMB. INLET	391.55	391.55	387.70	MacDUFF DRIVE	1+75.75	8.61' L	S.D. 4.34			
I - 16	A-5 (2'-6" WIDE)	390.42	387.19	386.98	TWEED DRIVE	0+72.56	18.09' L	S.D. 4.01			
I - 17	A-5 (2'-6" WIDE)	390.47	387.62	387.40	TWEED DRIVE	0+73.71	17.88' R	S.D. 4.01			
I - 18	YARD INLET	382.3	381.47	388.00		N 556670.1762, E 1344225.2922					
MH 1	STD. MANHOLE	386.48	381.57	381.37	TWEED DRIVE	6+23.57	13.14' L	S.D. -5.11			
MH 2	STD. MANHOLE	389.90	385.20, 383.67	383.47	TWEED DRIVE	4+53.60	12.71' L	S.D. -5.11			
MH 3	STD. MANHOLE	388.49	385.45	385.25	MacDUFF DRIVE	2+93.36	13.49' R	S.D. -5.11			
MH 4	STD. MANHOLE	386.29	363.78	363.32	CEDAR LANE	N 556604.1963, E 1344296.0147		S.D. -5.11			
MH 5	STD. MANHOLE	384.0	371.68	365.0		N 556632.7845, E 1344267.2382		S.D. -5.11			
MH 6	STD. MANHOLE	384.0	378.48	378.27		N 556696.4646, E 1344151.7547		S.D. -5.11			
MH 7	STD. MANHOLE	386.87	383.29	381.10		N 557060.5503, E 1344037.4904		S.D. -5.11			
MH 8	STD. MANHOLE	389.80	384.00	383.20		N 556874.9026, E 1343830.6951		S.D. -5.11			
MH 9	STD. MANHOLE	397.60	386.30	385.22		N 556936.5402, E 1343769.6108		S.D. -5.11			
MH 10	STD. MANHOLE	397.60	390.15	389.65		N 557101.6623, E 1343942.3945		S.D. -5.11			
MH 12	STD. MANHOLE	384.00	377.60	377.26		N 556659.2117, E 1344219.3126		S.D. -5.11			
S-1	STRUCTURE	385.44	381.34, 381.84	377.77	TWEED DRIVE	6+52.86	22.29' L	PRE-CAST			
ES-1	END SECTION			373.25		N 556764.6359, E 1344026.9631		S.D. -5.52			
ES-2	END SECTION			383.00		N 556866.2213, E 1343846.7021		S.D. -5.61			
ES-3	END SECTION			386.80		N 556904.0908, E 1344541.5456		S.D. -5.61			
ES-4	END SECTION			386.45		N 556877.9398, E 1344514.4626		S.D. -5.61			
ES-5	END SECTION			386.35		N 556870.2675, E 1344506.5569		S.D. -5.61			
EW-1	TYPE "A" HEADWALL			390.50		N 557073.9673, E 1344675.2246		S.D. -5.11			
EW-2	SPECIAL STRUCTURE			393.00		N 557101.9747, E 1344067.9077		SPECIAL STRUCTURE			



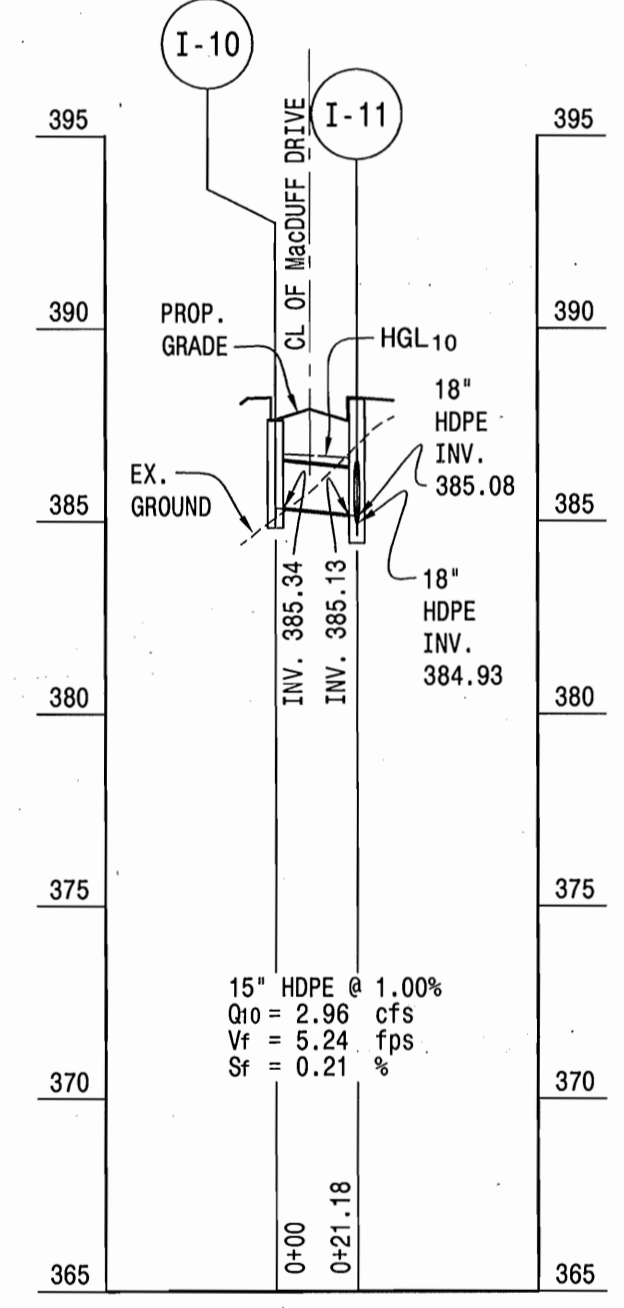
**STORM DRAIN - PROFILE**  
SCALE : 1" = 50' HOR.  
1" = 5' VER.



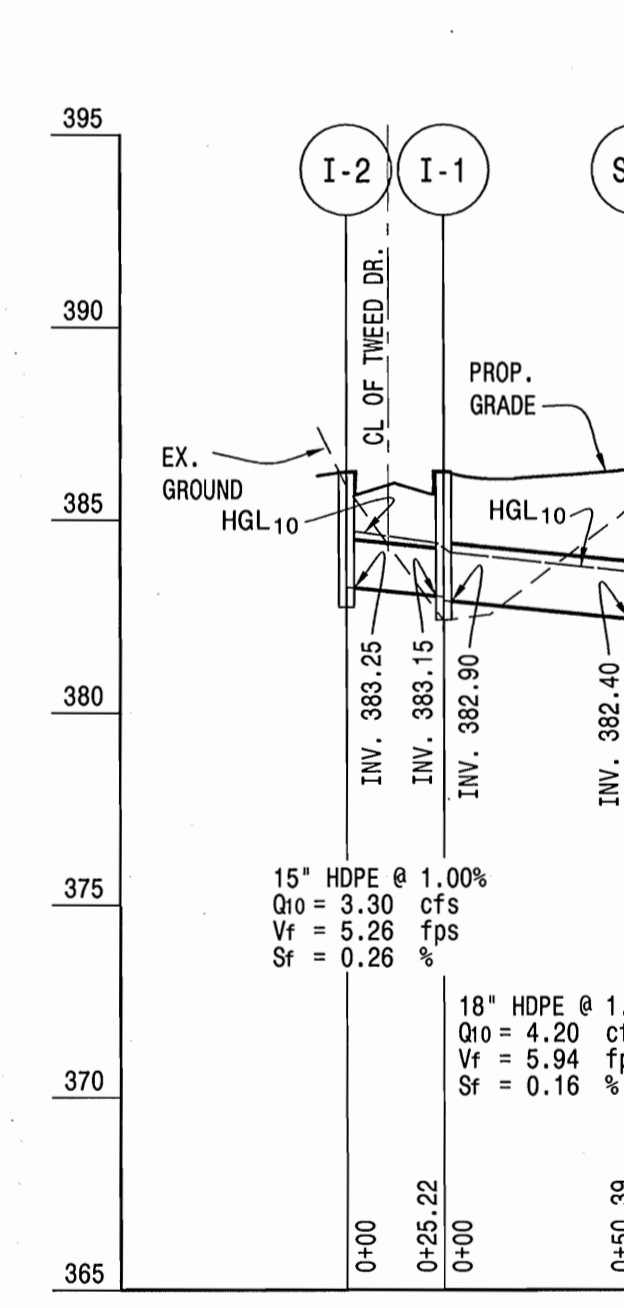
**STORM DRAIN - PROFILE**  
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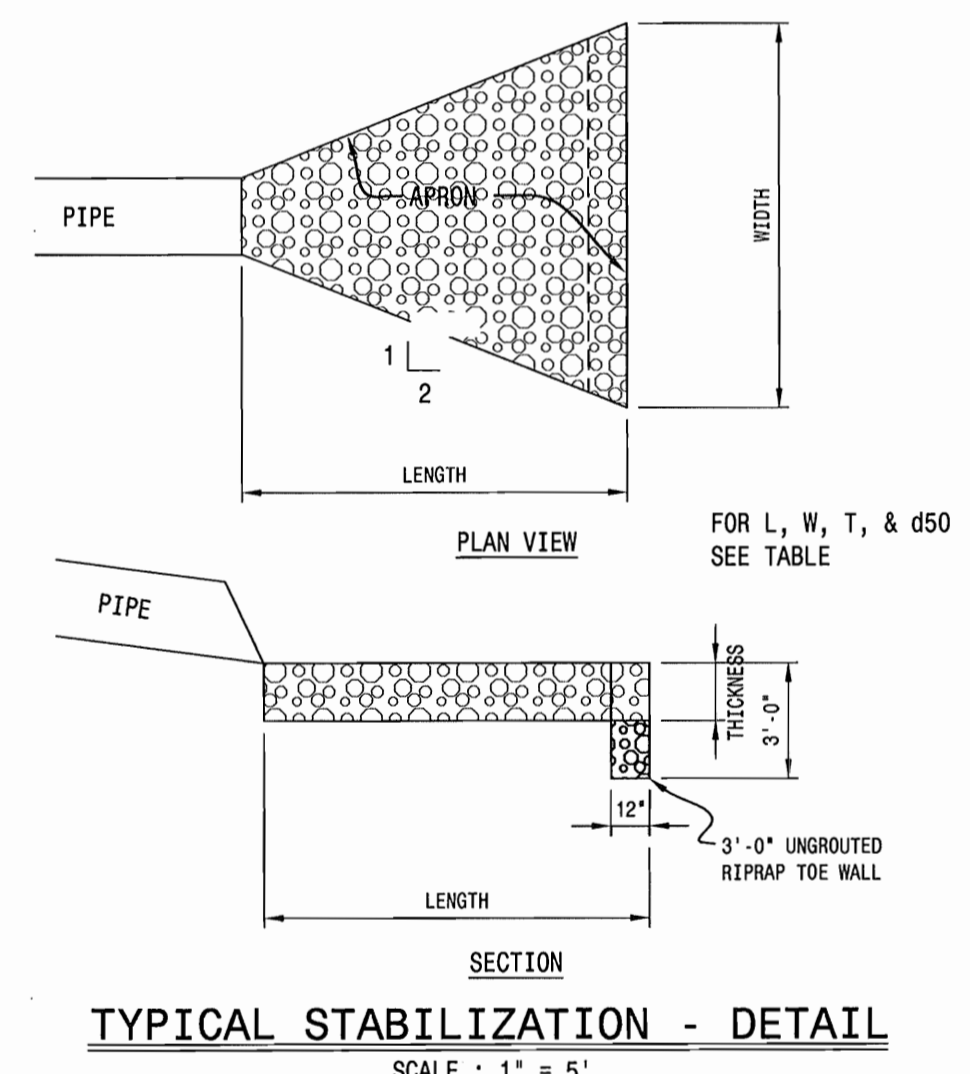
**STORM DRAIN - PROFILE**  
SCALE : 1" = 50' HOR.  
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**STORM DRAIN - PROFILE**  
SCALE : 1" = 50' HOR.  
1" = 5' VER.



**STORM DRAIN - PROFILE**  
SCALE : 1" = 50' HOR.  
1" = 5' VER.



**TYPICAL STABILIZATION - DETAIL**  
SCALE : 1" = 5'

PIPE SCHEDULE			
TYPE/CLASS OF PIPE	PIPE SIZE (IN.)	TOTAL LENGTH (FT.)	REMARKS
PVC *	4	900	
	6	125	
	15	331	
	18	468	
HDPE, SMOOTH INTERIOR	24	270	
	36	471	
	30	112	
AL2 CMP	48	1,281	
	15	92	
CMP	18	96	

\* STORMWATER MANAGEMENT RELATED PIPES

OUTFALL/INFLOW RIPRAP STABILIZATION DATA				
STRUCTURE NO.	d50 (in.)	LENGTH (FT.) (L)	WIDTH (FT.) (W)	THICKNESS (in.) (T)
ES-1	9.5"	20'	22.50'	19"
ES-2	9.5"	20'	22.0'	19"
ES-3	9.5"	15'	16.5'	19"
EW-1	9.5"	20'	21.25'	19"

PREPARED BY:  
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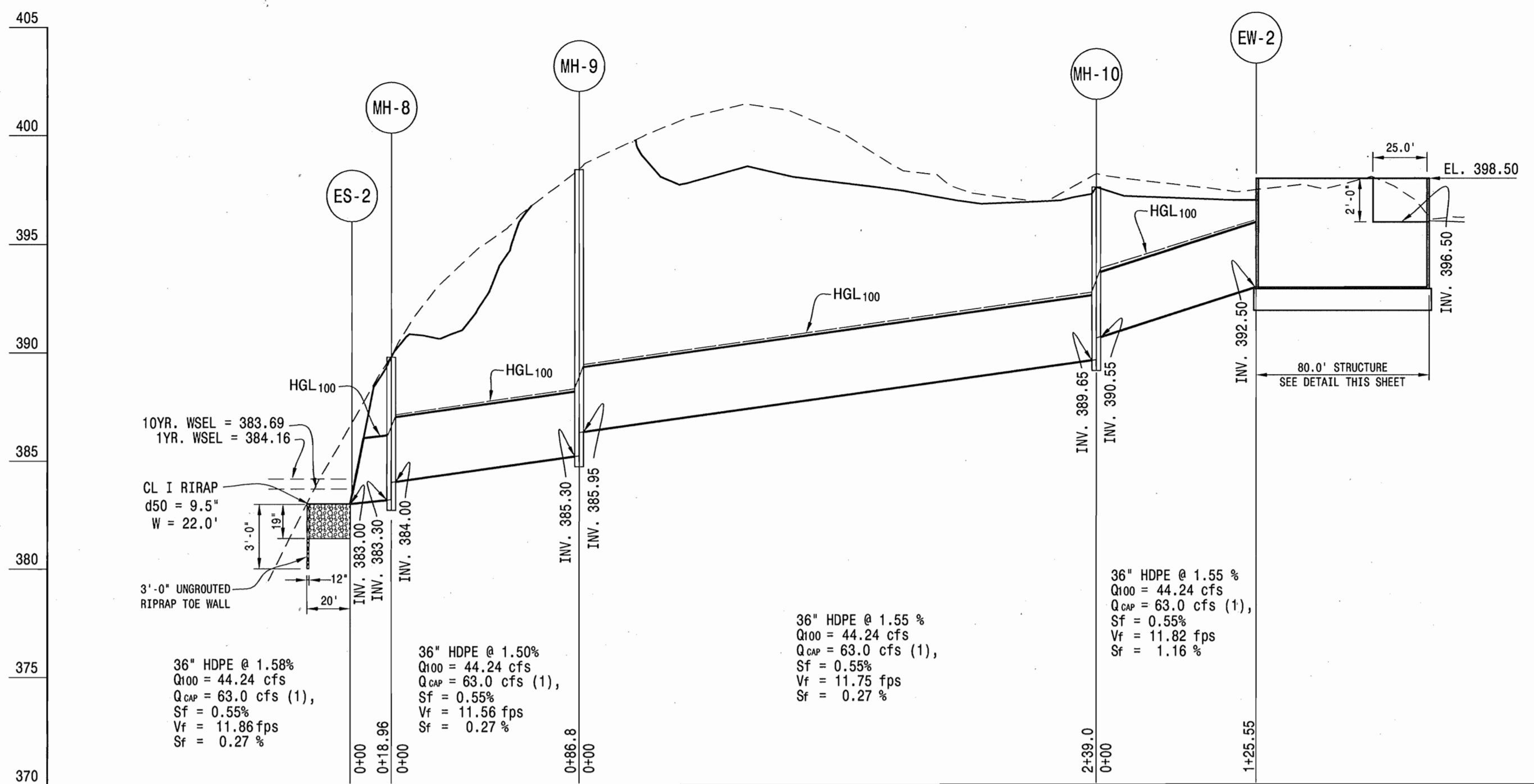
DATE: \_\_\_\_\_ REVISION: \_\_\_\_\_ BY: \_\_\_\_\_  
OWNERS: Paul L. Thompson, Betty R. Thompson, Columbia, MD 21044  
DEVELOPER: Fretcrown, LLC, 6258 Cardinal Lane, Columbia, Md. 21044

**ENGINEER'S CERTIFICATE**  
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."  
Signature: David C. Woessner, DATE: 4/15/05  
**DEVELOPER'S CERTIFICATE**  
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."  
Signature: Paul L. Thompson, DATE: 4/19/05

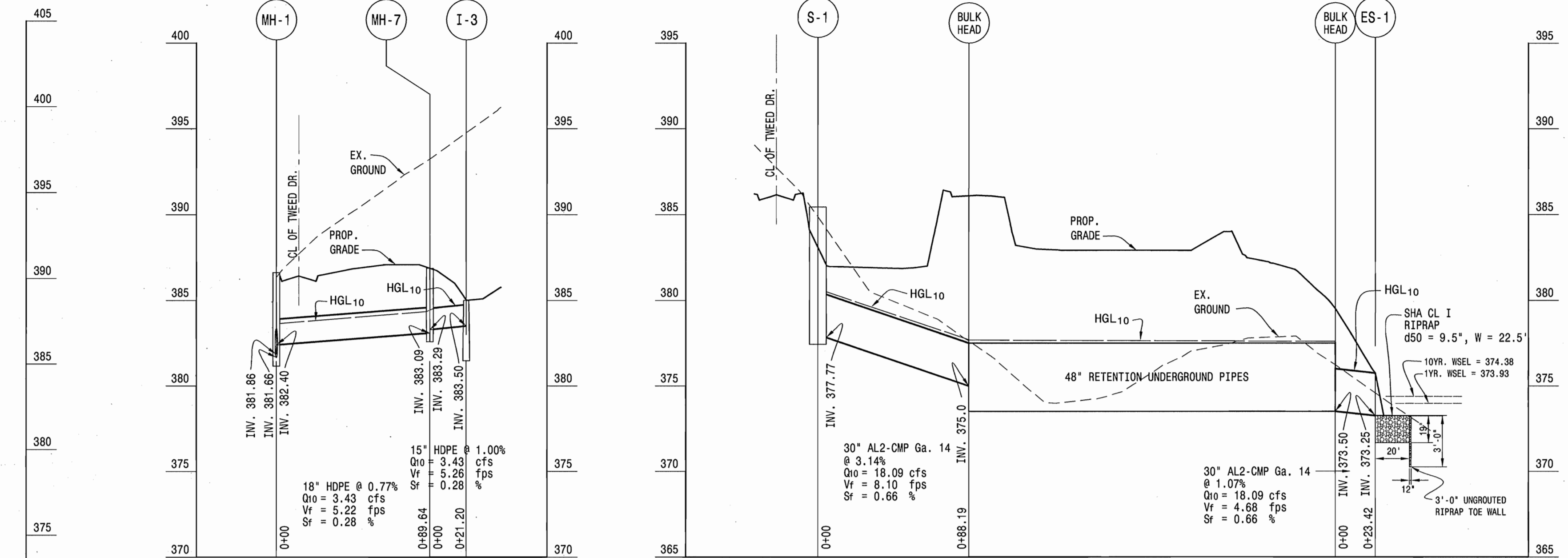


APPROVED: DEPARTMENT OF PLANNING AND ZONING  
Signature: Chief, Development Engineering Division, DATE: 5/5/05  
Signature: Chief, Division of Land Development, DATE: 5/9/05  
Signature: Director, Department of Planning and Zoning, DATE: 5/9/05

TITLE: **STORM DRAIN PROFILES**  
PROJECT NAME: **SCOT'S GLEN SOUTH**  
BUILDABLE BULK PARCEL "A" - UNITS 1 THRU 55 AND COMMUNITY CENTER  
PLANNED SENIOR COMMUNITY (PSC) - AGE RESTRICTED ADULT HOUSING  
A RESUBDIVISION OF PARCELS 224 AND 326  
HOWARD COUNTY, MARYLAND, 21044  
S-04-05 PB CASE 363 ZB 1030M F-05-63  
DES.: AVG JOB: \_\_\_\_\_ PROJ.: \_\_\_\_\_ DATE: 04-13-05  
DRW.: AVG CHK.: D.C.W. SCALE: \_\_\_\_\_ SHEET 11 OF 25

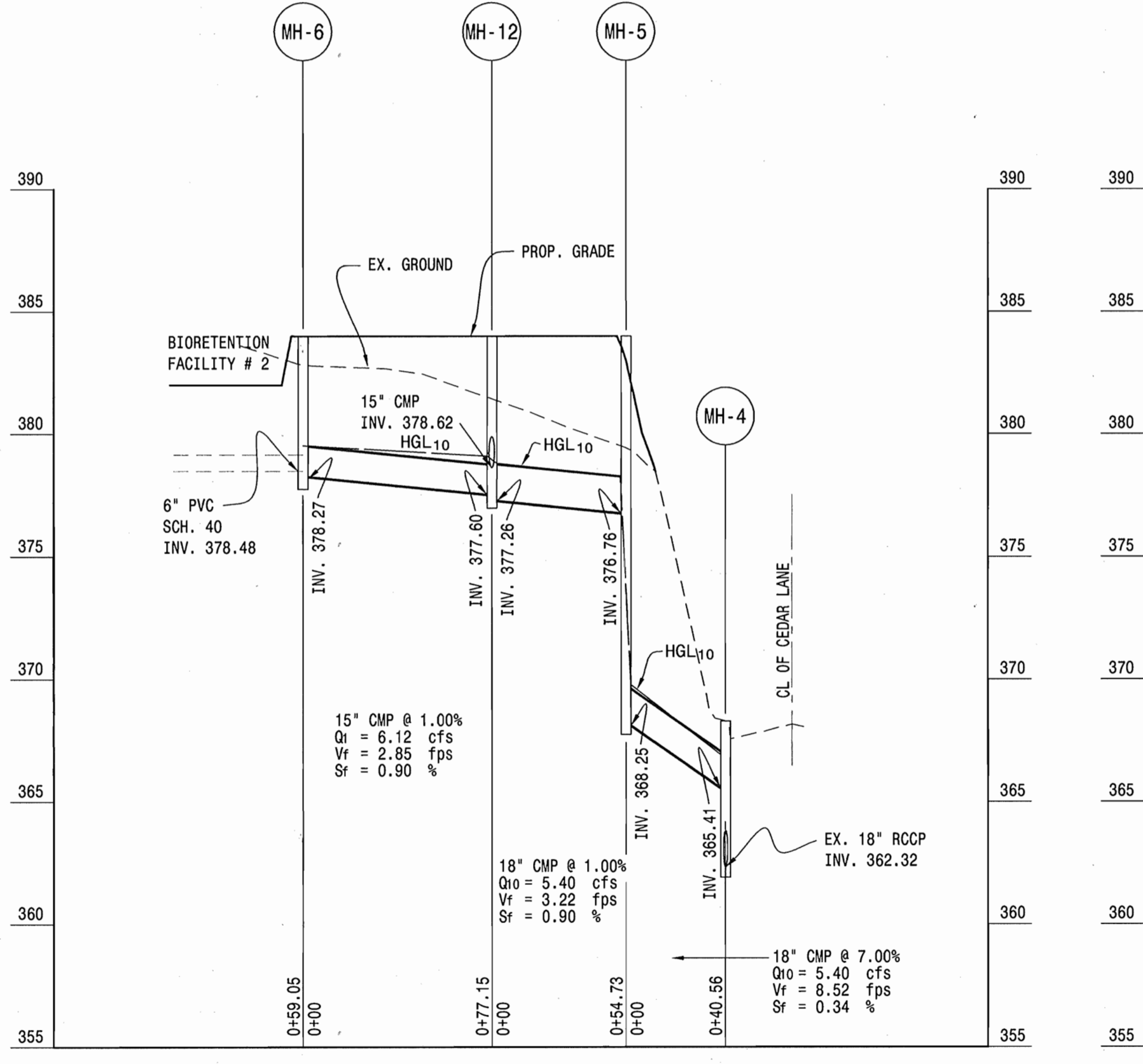


**STORM DRAIN - PROFILE**  
SCALE: 1" = 50' HOR.  
1" = 5' VER.

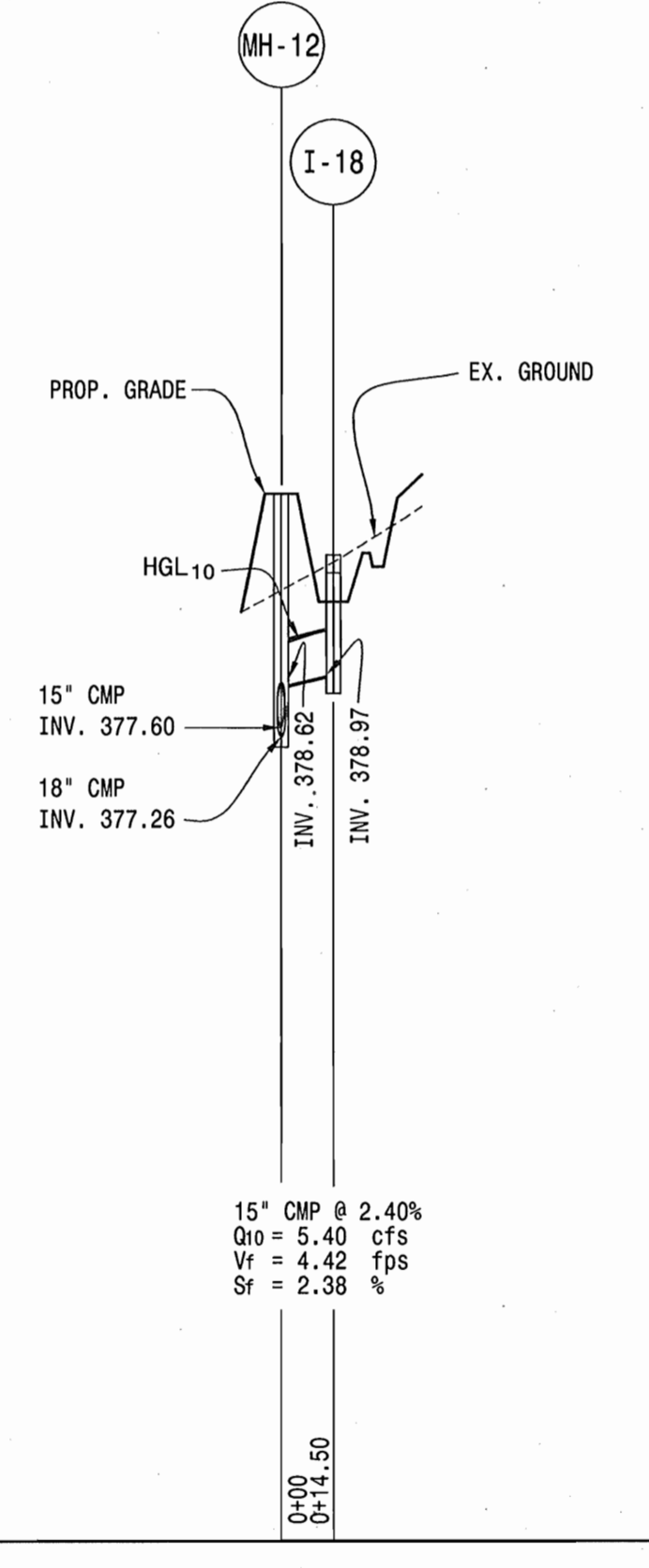


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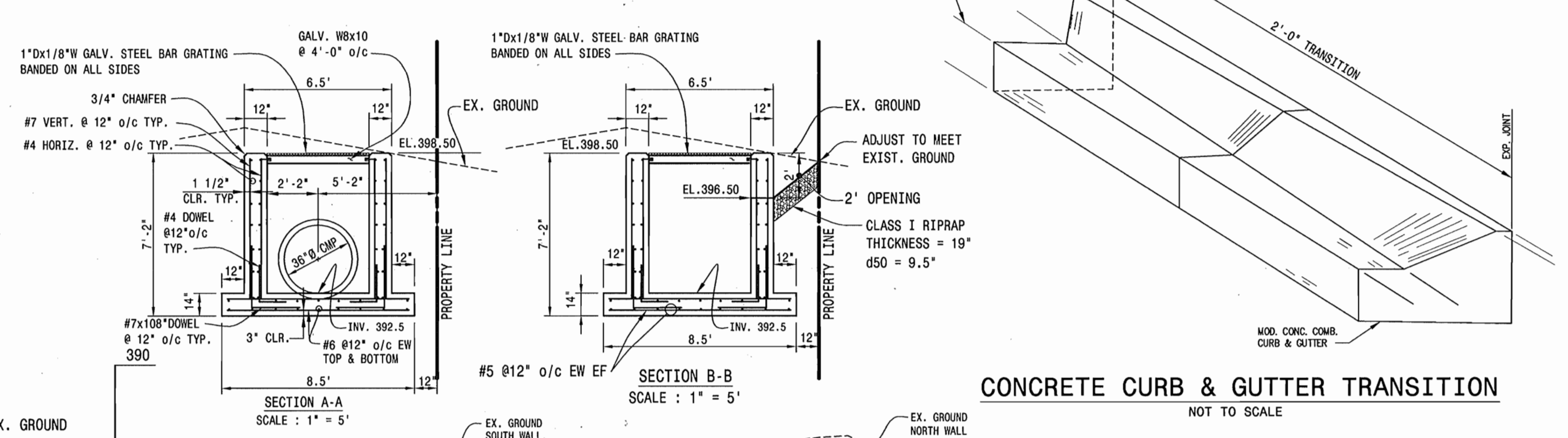
**STORM DRAIN - PROFILE**  
SCALE: 1" = 50' HOR.  
1" = 5' VER.



**BIORETENTION No. 2 BYPASS  
STORM DRAIN - PROFILE**  
SCALE: 1" = 50' HOR.  
1" = 5' VER.

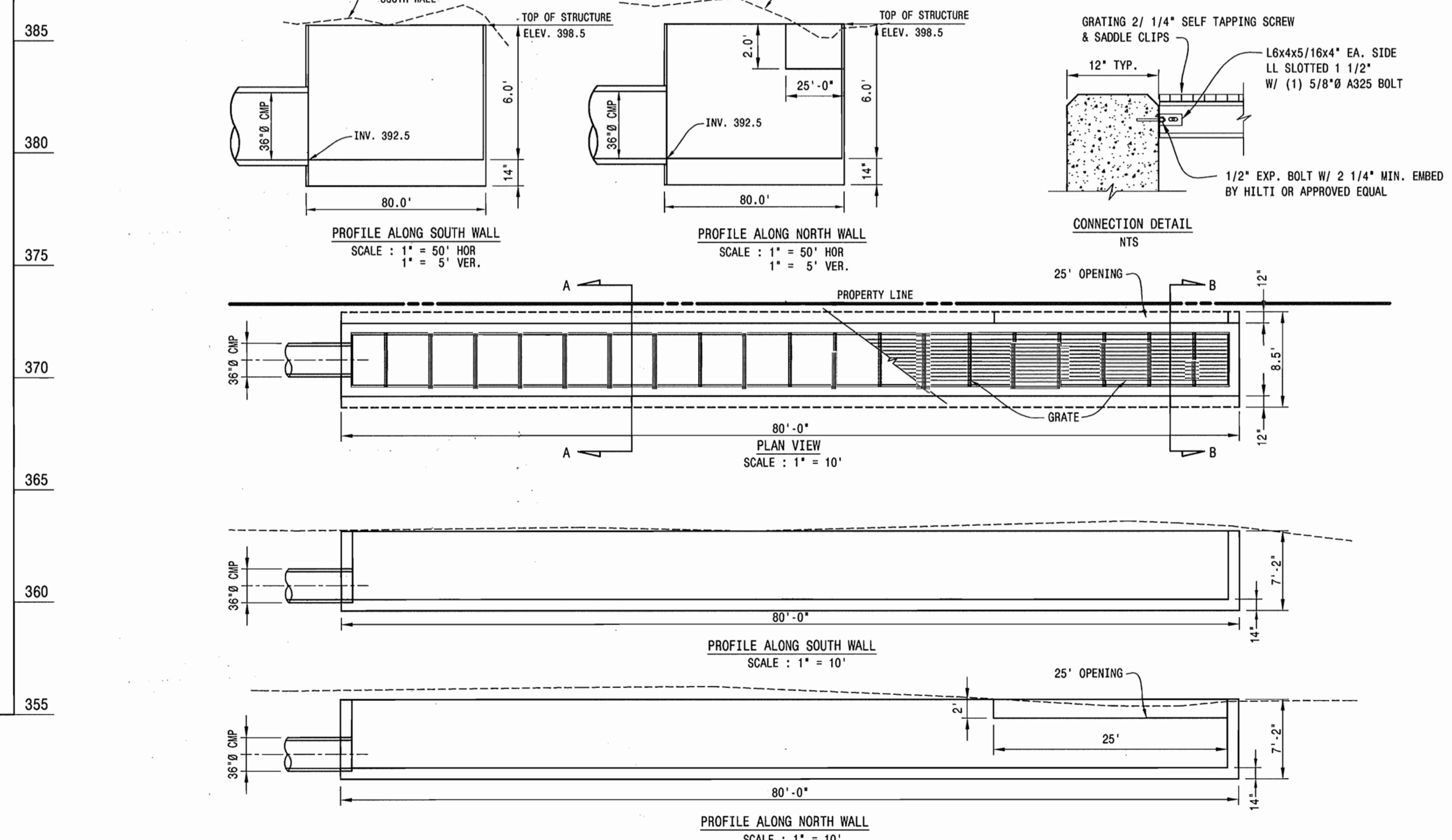


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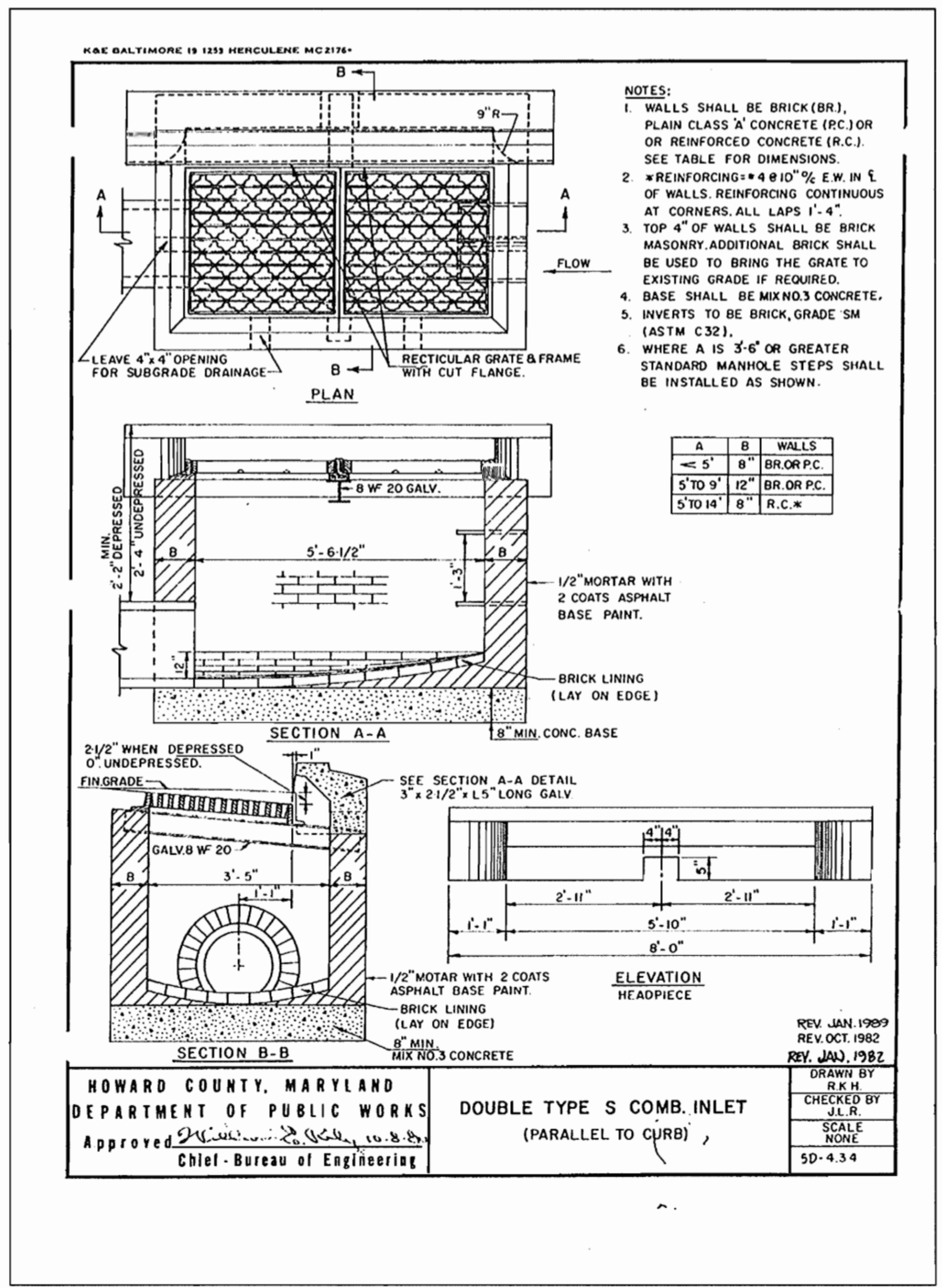


**CONCRETE CURB & GUTTER TRANSITION**  
NOT TO SCALE

**CONCRETE CURB & GUTTER TRANSITION**  
NOT TO SCALE



**STRUCTURE EW-2 - DETAIL**  
AS SHOWN



PREPARED BY:  
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10749 BIRMINGHAM WAY, WOODSTOCK, MD 21163  
TEL. (410) 465-7903 FAX. (410) 465-3845

DATE: \_\_\_\_\_ REVISION: \_\_\_\_\_ BY: \_\_\_\_\_  
OWNERS: Paul L. Thompson, Betty R. Thompson, 6436 Cedar Lane, Columbia, MD 21044  
DEVELOPER: Freetown, L.L.C., 6258 Cardinal Lane, Columbia, Md. 21044

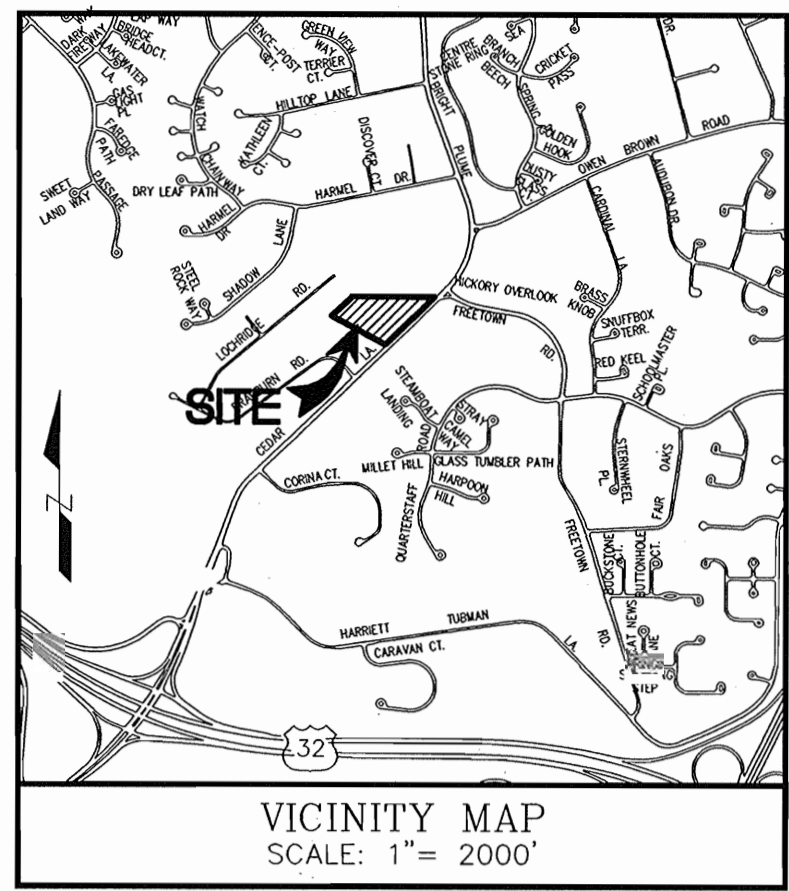
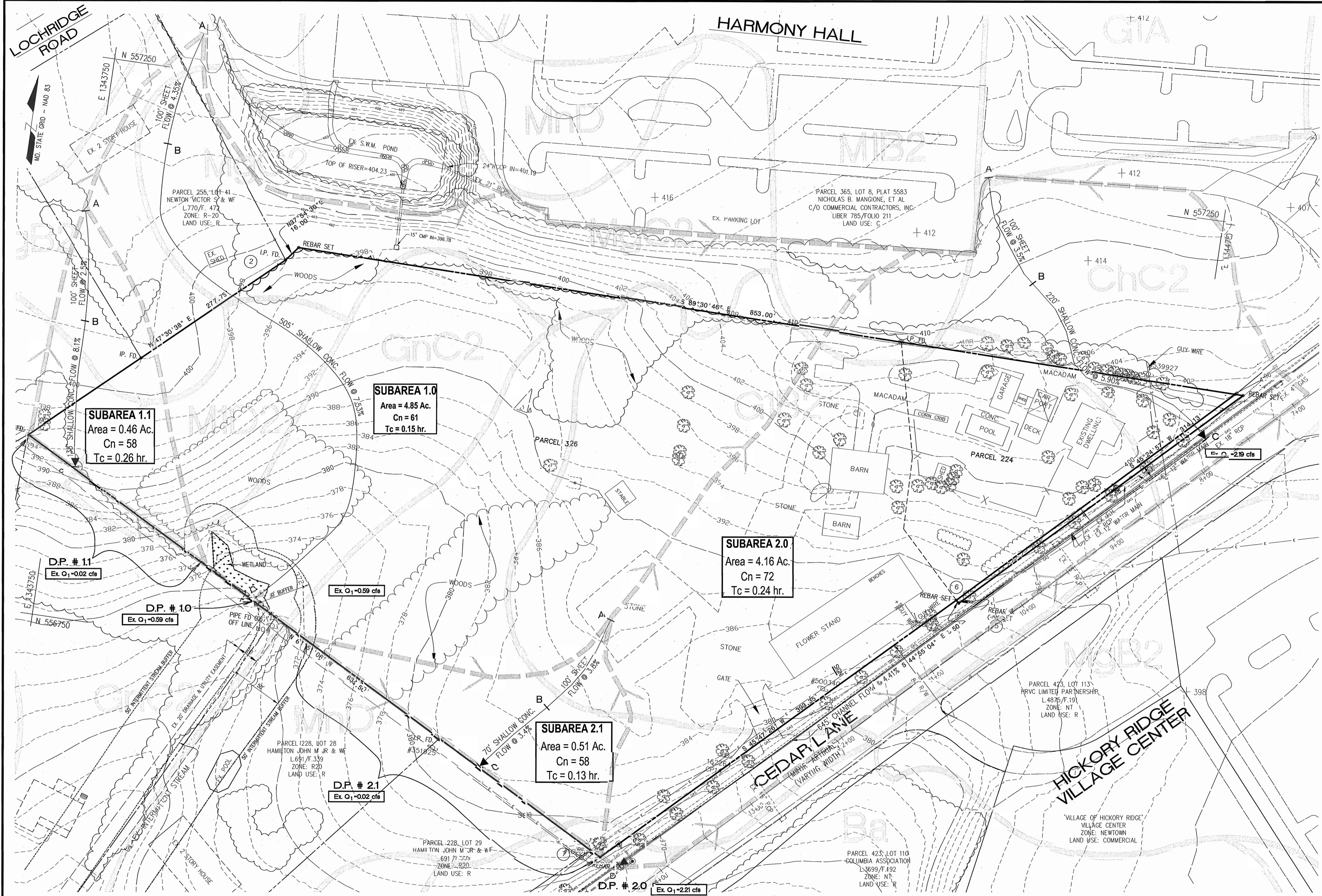
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Signature: David C. Woessner, Date: 4/15/05  
**DEVELOPER'S CERTIFICATE**  
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Signature: Dale Thompson, Date: 4/14/05

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
Signature: David C. Woessner, Chief, Development Engineering Division, Date: 5/5/05  
Signature: Cindy Smith, Chief, Division of Land Development, Date: 6/9/05  
Signature: [Redacted], Director - Department of Planning and Zoning, Date: 6/9/05

TITLE: **STORM DRAIN PROFILES**  
PROJECT NAME: **SCOT'S GLEN SOUTH**  
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S-04-05 PB CASE 363 ZB 1030M F-05-G3  
DES.: AVG JOB: \_\_\_\_\_ PROJ.: \_\_\_\_\_ DATE: 04-13-05  
DRW.: AVG CHK.: D.C.W. SCALE: \_\_\_\_\_ SHEET 12 OF 25

I:\SUBDIVISION-PROJECTS\CEDARVILLAS\CEDAR VILLA II-FINAL\SDP\11-12\DRAINAGE PROFILES.dwg, DRAINAGE PROFILES (2), 4/13/2005 4:07:29 PM, guz





**SOILS TABLE**

SYMBOL	MAPPING UNIT	TYPE
ChA	CHESTER SILT LOAM, 0 TO 3% SLOPE	B
ChB2	CHESTER SILT LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
ChC2	CHESTER SILT LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
Eka	ELIOK SILT LOAM, 0 TO 3% SLOPE	C
G1B2	GLENELG LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
GnA	GLENVILLE SILT LOAM, 0 TO 3% SLOPE	B
GnB2	GLENVILLE SILT LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
GnC2	GLENVILLE SILT LOAM, 8 TO 15% SLOPE, MODERATELY ERODED	C
M1A	MANOR LOAM, 0 TO 3% SLOPE	B
M1B2	MANOR LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
M1C2	MANOR LOAM, 8 TO 15% SLOPE, MODERATELY ERODED	B
M1D2	MANOR LOAM, 15 TO 25% SLOPE, SEVERELY ERODED	B
MnD	MANOR VERY STONY LOAM, 3 TO 25% SLOPE	B
MgB2	MANOR GRAVELLY LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B

**HYDROLOGIC SUMMARY TABLE (EXISTING CONDITION - SITE AND OFFSITE AREA)**

SUBAREA	AREA, AC.	CN	Tc, HR.	DISCHARGE, CFS		
				1 YR.	2 YR.	10 YR.
SUBAREA 1.0	4.85	61	0.15	0.59	2.11	8.98
SUBAREA 1.1	0.46	58	0.26	0.02	0.07	0.46
DP #1	5.31	-	-	0.59	2.16	8.45
SUBAREA 2.0	4.16	72	0.24	2.19	3.88	10.36
SUBAREA 2.1	0.51	58	0.13	0.02	0.15	0.83
DP #2	4.67	-	-	2.21	4.03	11.19

**LEGEND :**

- EXISTING CONTOURS
- - - PROPERTY LINE
- EXISTING TREELINE
- DRAINAGE DIVIDE
- A|B|C FLOW PATH
- 'B' SOIL GROUP
- 'C' SOIL GROUP
- SOILS BOUNDARY

NOTE: TOPOGRAPHY OBTAINED FROM JACK C. MELLEMA SR. INC. SURVEYS, MARCH 2003.

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DATE: 4/15/05  
BY: DAVID C. WOESSNER

**DEVELOPER'S CERTIFICATE**  
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."  
DATE: 4/15/05  
BY: DALE THOMPSON

OWNERS: Paul L. Thompson, Betty R. Thompson, 6436 Cedar Lane, Columbia, MD 21044  
DEVELOPER: Freetown, LLC, 6258 Cardinal Lane, Columbia, Md. 21044

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
CHIEF, DEVELOPMENT ENGINEERING DIVISION: 5/5/05  
CHIEF, DIVISION OF LAND DEVELOPMENT: 6/9/05  
DIRECTOR - DEPARTMENT OF PLANNING AND ZONING: 4/30/05

STATE OF MARYLAND PROFESSIONAL ENGINEER

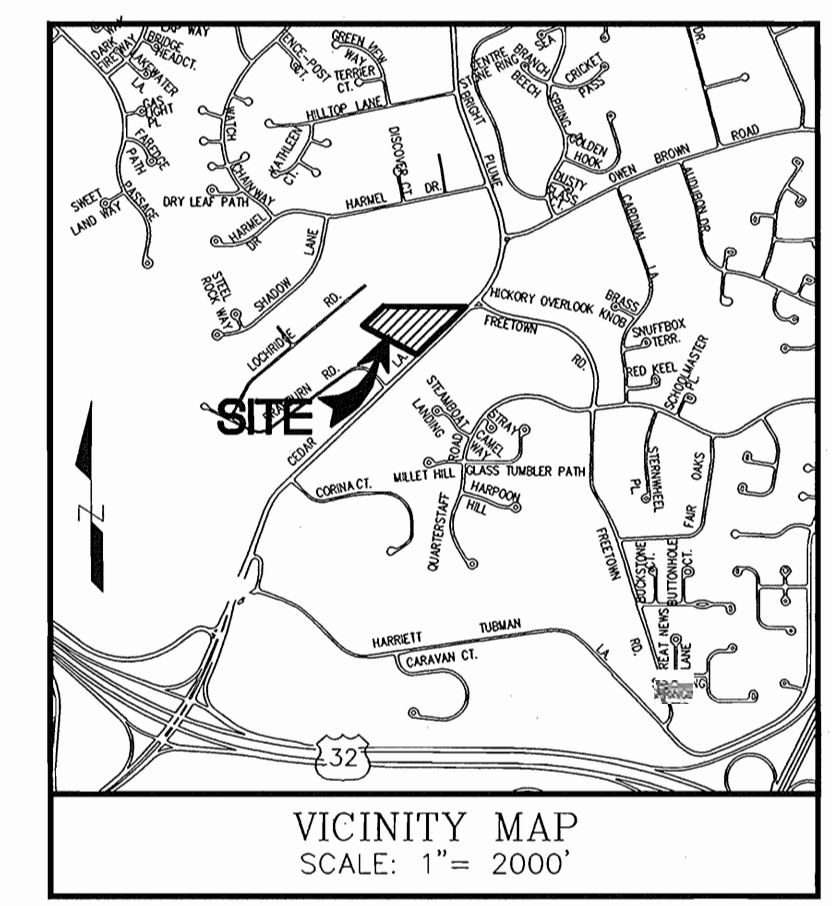
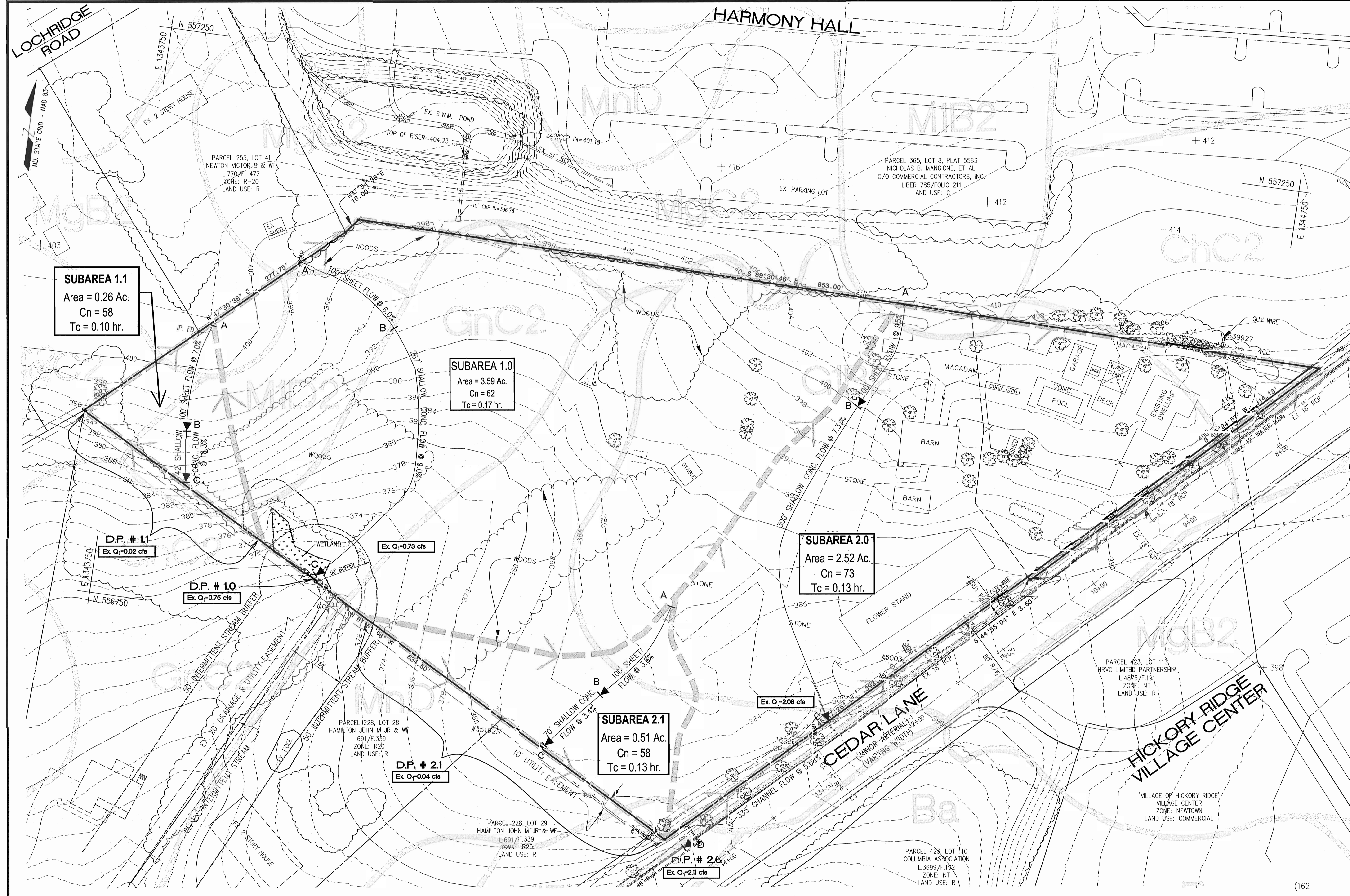
TITLE:  
**STORMWATER MANAGEMENT DRAINAGE AREA AND SOILS MAP (SITE AND OFF SITE AREA) EXISTING CONDITION**

PROJECT NAME:  
**SCOT'S GLEN SOUTH**  
BUILDABLE BULK PARCEL "A" - UNITS 1 THRU 55 AND COMMUNITY CENTER  
PLANNED SENIOR COMMUNITY (PSC) - AGE RESTRICTED ADULT HOUSING  
A RESUBDIVISION OF PARCELS 224 AND 326  
HOWARD COUNTY, MARYLAND, 21044  
S-04-05 PB CASE 363 ZB 1030M F-05-63

DES.: AVG JOB: PROJ.: DATE: 04-13-05  
DRW.: AVG CHK.: D.C.W. SCALE: 1" = 40' SHEET 14 OF 25

I:\SUBDIVISION-PROJECTS\CEDARVILLE\CEDAR VILLA II-FINAL\SDP 14-15-16-17\drain area map.dwg, 14 damp exist (site and offsite), 4/13/2005 4:33:07 PM, qiz





**SOILS TABLE**

SYMBOL	MAPPING UNIT	TYPE
CHA	CHESTER SILT LOAM, 0 TO 3% SLOPE	B
CHB2	CHESTER SILT LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
CHC2	CHESTER SILT LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
EKA	ELKOak SILT LOAM, 0 TO 3% SLOPE	C
G1B2	GLENLEIGH LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
GNA	GLENVILLE SILT LOAM, 0 TO 3% SLOPE	B
GNB2	GLENVILLE SILT LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
GC2	GLENVILLE SILT LOAM, 8 TO 15% SLOPE, MODERATELY ERODED	C
MIA	MANOR LOAM, 0 TO 3% SLOPE	B
MIB2	MANOR LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
MIC2	MANOR LOAM, 8 TO 15% SLOPE, MODERATELY ERODED	B
MID2	MANOR LOAM, 15 TO 25% SLOPE, SEVERELY ERODED	B
MnD	MANOR VERY STONY LOAM, 3 TO 25% SLOPE	B
MgB2	MANOR GRAVELLY LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B

**HYDROLOGIC SUMMARY TABLE**  
(EXISTING CONDITION - SITE AREA ONLY)

SUBAREA	AREA, AC.	CN	Tc, HR.	DISCHARGE, CFS		
				1 YR.	2 YR.	10 YR.
SUBAREA 1.0	3.59	62	0.17	0.75	1.90	6.99
SUBAREA 1.1	0.26	58	0.10	0.02	0.09	0.45
DP #1	3.85	-	-	0.75	1.99	7.42
SUBAREA 2.0	2.52	73	0.13	2.08	3.38	8.15
SUBAREA 2.1	0.51	58	0.13	0.04	0.18	0.83
DP #2	3.03	-	-	2.11	3.54	8.98

**LEGEND :**

- EXISTING CONTOURS
- PROPERTY LINE
- EXISTING TREELINE
- DRAINAGE DIVIDE
- A | B | C FLOW PATH
- 'B' SOIL GROUP
- 'C' SOIL GROUP
- SOILS BOUNDARY

NOTE: TOPOGRAPHY OBTAINED FROM JACK C. MELLEMA SR. INC. SURVEYS, MARCH 2003.

PREPARED BY:  
**American Land Development and Engineering, Inc.**  
10749 BIRMINGHAM WAY, WOODSTOCK, MD 21163  
TEL. (410) 465-7903 FAX. (410) 465-3845

DATE:	REVISION	BY:

OWNERS: Paul L. Thompson  
Betty R. Thompson  
6436 Cedar Lane  
Columbia, MD 21044

DEVELOPER: Freetown, LLC.  
6258 Cardinal Lane  
Columbia, Md. 21044

**ENGINEER'S CERTIFICATE**  
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."  
SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE) *David C. Woessner*  
DAVID C. WOESSNER  
DATE: 4/15/05

**DEVELOPER'S CERTIFICATE**  
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SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE) *Dale Thompson*  
DALE THOMPSON  
DATE: 4/19/05

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Chad Dammann*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 5/5/05

*Carly Hunt*  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 6/9/05

*Mark A. Cooper*  
DEPARTMENT OF PLANNING AND ZONING  
DATE: 6/9/05

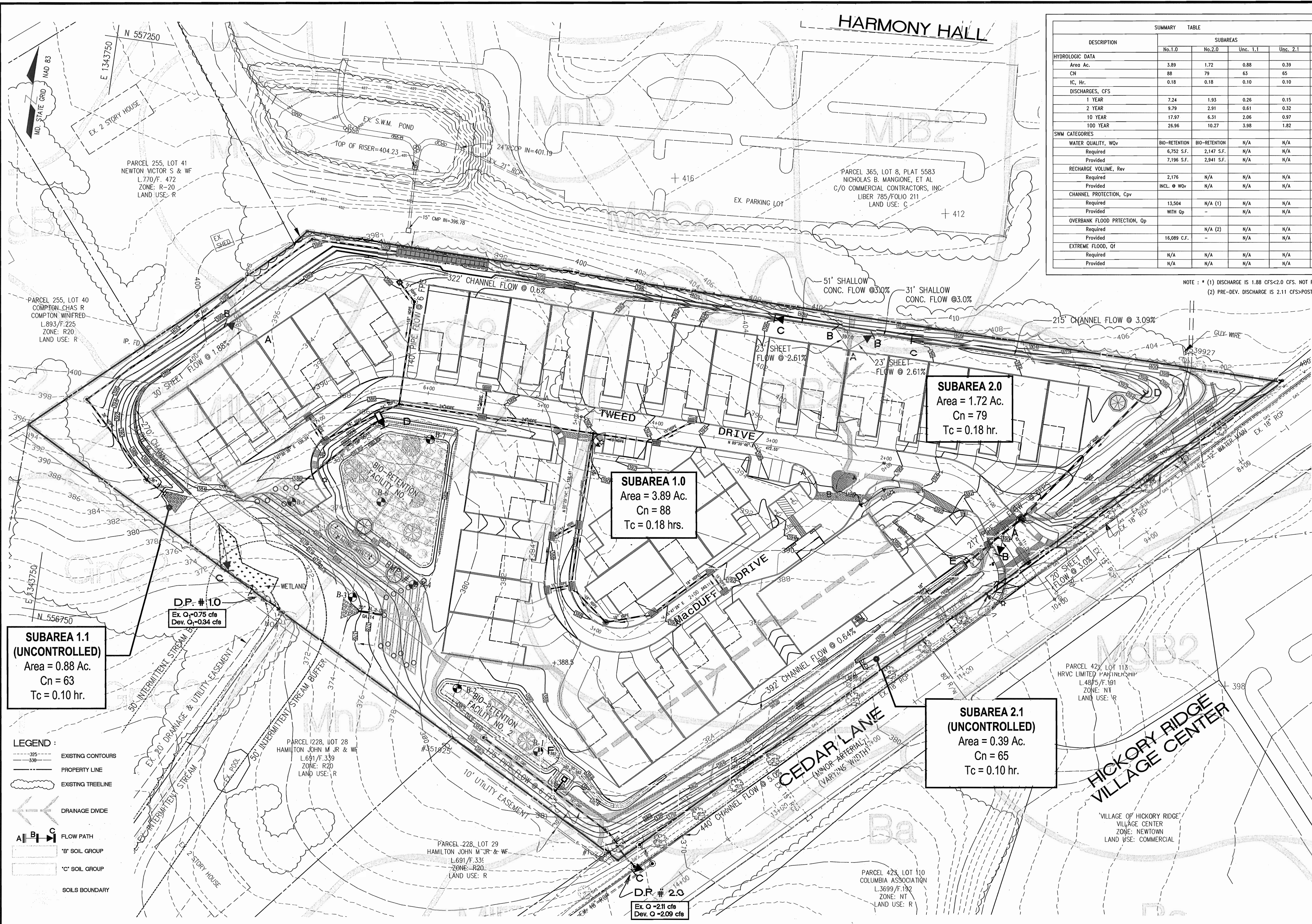
TITLE: **STORMWATER MANAGEMENT DRAINAGE AREA MAP (SITE AREA ONLY) EXISTING CONDITION**

PROJECT NAME: **SCOT'S GLEN SOUTH**  
BUILDABLE BULK PARCEL "A" - UNITS 1 THRU 55 AND COMMUNITY CENTER  
PLANNED SENIOR COMMUNITY (PSC) - AGE RESTRICTED ADULT HOUSING  
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S-04-05 PB CASE 363 ZB 1030M F-05-63

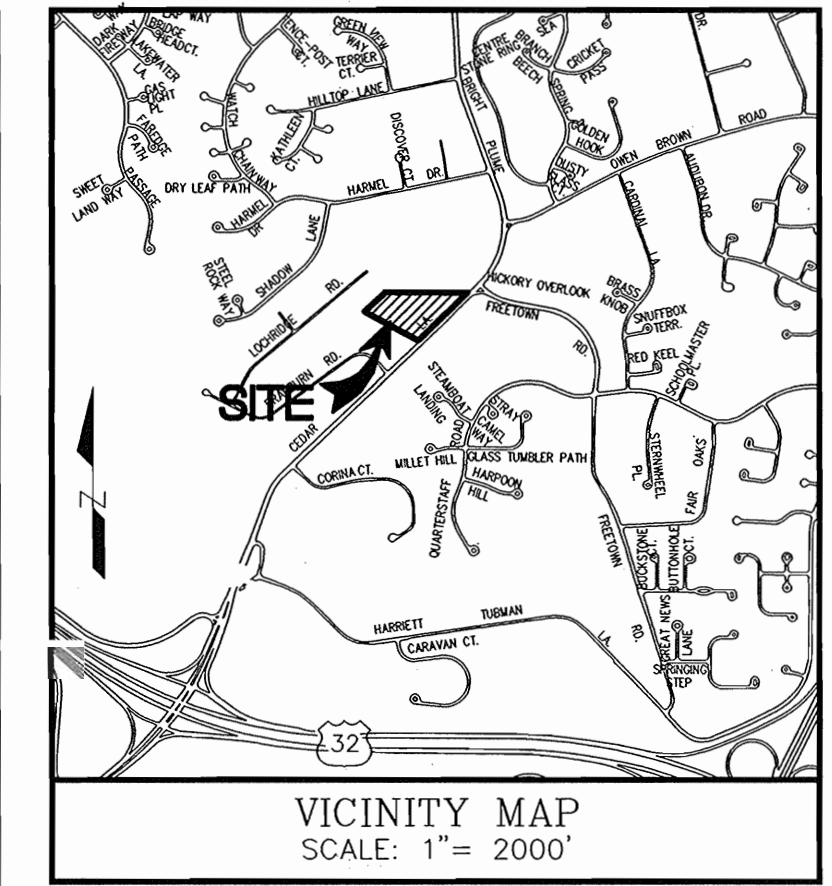
DES.: AVG JOB: PROJ.: DATE: 04-13-05  
DRW.: AVG CHK.: D.C.W. SCALE: 1"=40' SHEET 15 OF 25

I:\SUBDIVISION-PROJECTS\CEDARVILLE\CEDAR VILLA II-FINAL\SDP14-15-16-17\Drawn area map.dwg, 15 dmsap exist (site only), 4/13/2005 4:31:48 PM, gzi



DESCRIPTION	SUBAREAS				AT DISCHARGE POINTS	
	No.1.0	No.2.0	Unc. 1.1	Unc. 2.1	DP #1	DP #2
<b>HYDROLOGIC DATA</b>						
Area Ac.	3.89	1.72	0.88	0.39		
CN	88	79	63	65		
IC, Hr.	0.18	0.18	0.10	0.10		
<b>DISCHARGES, CFS</b>						
1 YEAR	7.24	1.93	0.26	0.15	0.34	2.09
2 YEAR	9.79	2.91	0.61	0.32	2.28	3.22
10 YEAR	17.97	6.31	2.06	0.97	13.93	7.28
100 YEAR	26.96	10.27	3.98	1.82	32.26	12.09
<b>SWM CATEGORIES</b>						
<b>WATER QUALITY, WQv</b>						
Required	BIO-RETENTION	BIO-RETENTION	N/A	N/A		
Provided	6,752 S.F.	2,147 S.F.	N/A	N/A		
<b>RECHARGE VOLUME, Rev</b>						
Required	2,176	N/A	N/A	N/A		
Provided	INCL. @ WQv	N/A	N/A	N/A		
<b>CHANNEL PROTECTION, Cpr</b>						
Required	13,504	N/A (1)	N/A	N/A		
Provided	WITH Op	-	N/A	N/A		
<b>OVERBANK FLOOD PROTECTION, Op</b>						
Required		N/A (2)	N/A	N/A		
Provided	16,089 C.F.	-	N/A	N/A		
<b>EXTREME FLOOD, Of</b>						
Required	N/A	N/A	N/A	N/A		
Provided	N/A	N/A	N/A	N/A		

NOTE: \* (1) DISCHARGE IS 1.88 CFS<2.0 CFS. NOT REQUIRED  
 (2) PRE-DEV. DISCHARGE IS 2.11 CFS>POST DEV. DISCHARGE = 2.09 CFS



**SUBAREA 1.1 (UNCONTROLLED)**  
 Area = 0.88 Ac.  
 Cn = 63  
 Tc = 0.10 hr.

**SUBAREA 1.0**  
 Area = 3.89 Ac.  
 Cn = 88  
 Tc = 0.18 hrs.

**SUBAREA 2.0**  
 Area = 1.72 Ac.  
 Cn = 79  
 Tc = 0.18 hr.

**SUBAREA 2.1 (UNCONTROLLED)**  
 Area = 0.39 Ac.  
 Cn = 65  
 Tc = 0.10 hr.

- LEGEND:**
- EXISTING CONTOURS
  - PROPERTY LINE
  - EXISTING TRELINE
  - DRAINAGE DIVIDE
  - FLOW PATH
  - 'B' SOIL GROUP
  - 'C' SOIL GROUP
  - SOILS BOUNDARY

- SWM NOTES:**
- BIO-RETENTION FACILITY NO. 1 IS TO PROVIDE WATER QUALITY, WQv, CONTROL FOR SUBAREA 1.0. SAND FILTER LAYER, GRAVEL DIAPHRAGM, AND 2"-3" OF MULCH LAYER SHALL BE PROVIDED AS PRE-TREATMENT OF FACILITY.
  - THE UNDERGROUND DETENTION SYSTEM NO. 1 IS TO PROVIDE Cpr, & Qp(1YR) CONTROL FOR SUBAREA NO.1.0.
  - ALLOWABLE DISCHARGE RATES AT STUDY POINTS ARE:
    - a. DISCHARGE POINT DP 1.0 - 0.75 CFS
    - b. DISCHARGE POINT DP 2.0 - 2.11 CFS

SOILS TABLE		
SYMBOL	MAPPING UNIT	TYPE
ChA	CHESTER SILT LOAM, 0 TO 3% SLOPE	B
ChB2	CHESTER SILT LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
ChC2	CHESTER SILT LOAM, 3 TO 8% SLOPE, SEVERELY ERODED	B
EKA	ELIASK SILT LOAM, 0 TO 3% SLOPE	C
G1B2	GLENNELG LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
GnA	GLENNVILLE SILT LOAM, 0 TO 3% SLOPE	B
GnB2	GLENNVILLE SILT LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
GnC	GLENNVILLE SILT LOAM, 8 TO 15% SLOPE, MODERATELY ERODED	C
M1A	MANOR LOAM, 0 TO 3% SLOPE	B
M1B2	MANOR LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
M1C2	MANOR LOAM, 8 TO 15% SLOPE, MODERATELY ERODED	B
M1D	MANOR LOAM, 15 TO 25% SLOPE, SEVERELY ERODED	B
MnD	MANOR VERY STONY LOAM, 3 TO 25% SLOPE	B
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NOTE: TOPOGRAPHY OBTAINED FROM JACK C. MELLEMA SR. INC. SURVEYS MARCH 2003.

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DATE: \_\_\_\_\_ REVISION: \_\_\_\_\_ BY: \_\_\_\_\_

OWNERS: Paul L. Thompson  
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DEVELOPER: Freetown, LLC.  
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Signature: *[Signature]* DATE: 4/15/05  
 SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE) DATE  
 DAVID C. WOSSNER

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 DALE THOMPSON

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Signature: *[Signature]* DATE: 5/5/05  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

Signature: *[Signature]* DATE: 4/9/05  
 CHIEF, DIVISION OF LAND DEVELOPMENT

Signature: *[Signature]* DATE: 4/9/05  
 DIRECTOR - DEPARTMENT OF PLANNING AND ZONING

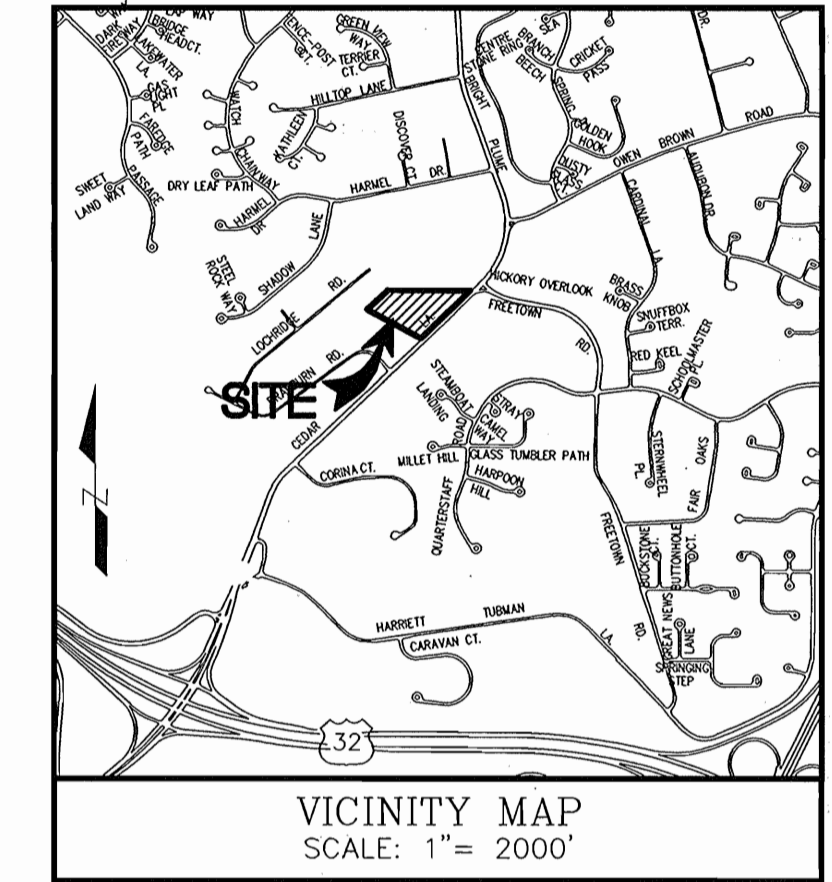
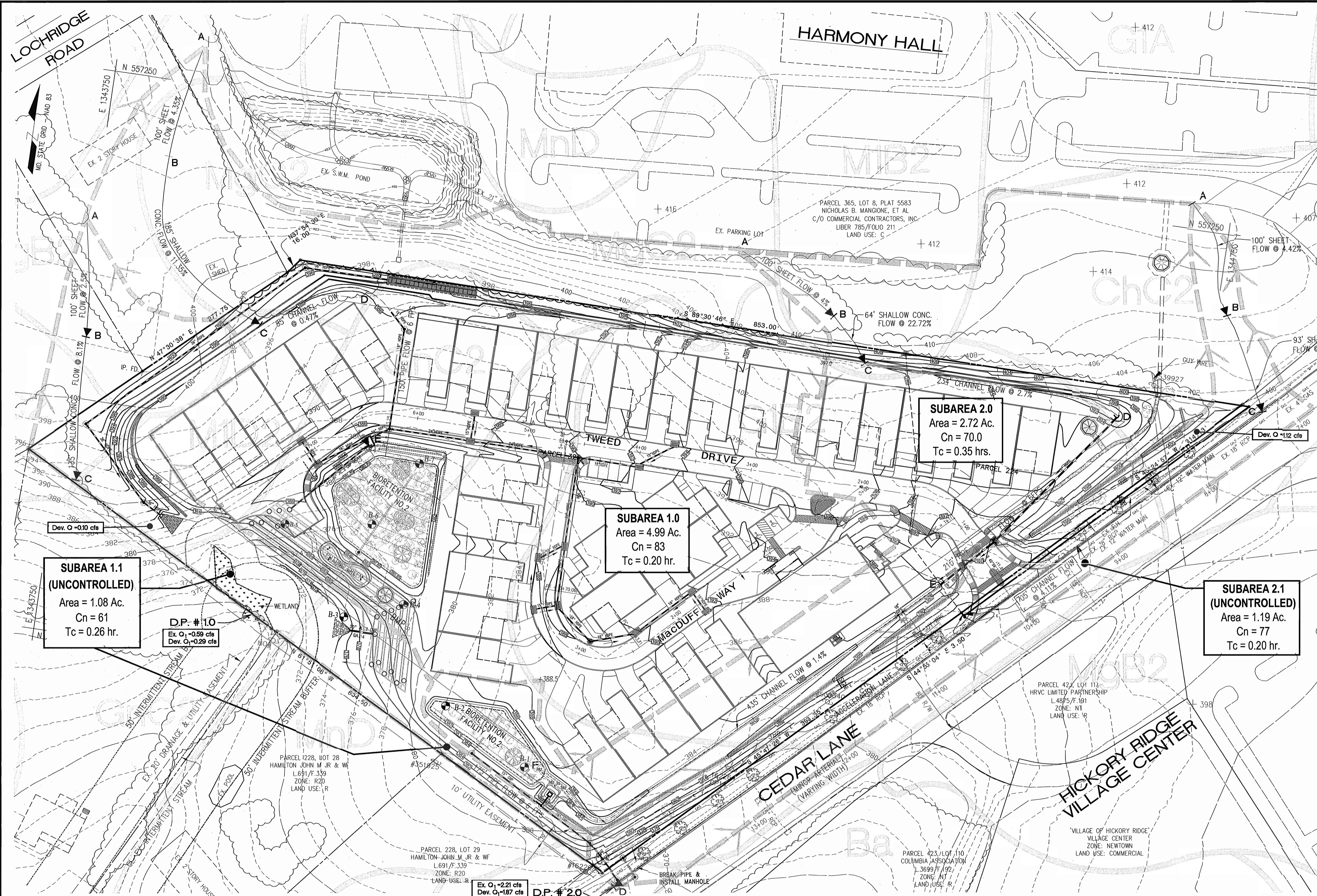
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 PLANNED SENIOR COMMUNITY (PSC) - AGE RESTRICTED ADULT HOUSING  
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S-04-05 PB CASE 363 ZB 1030M F-05-63

DES.: AVG JOB: \_\_\_\_\_ PROJ.: \_\_\_\_\_ DATE: 04-13-05  
 DRW.: AVG CHK.: D.C.W. SCALE: 1"= 40' SHEET 16 OF 25

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**SOILS TABLE**

SYMBOL	MAPPING UNIT	TYPE
ChA	CHESTER SILT LOAM, 0 TO 3% SLOPE	B
ChB2	CHESTER SILT LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
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M1B2	MANOR GRAVELLY LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B

**HYDROLOGIC SUMMARY TABLE**  
(DEVELOPED CONDITION - SITE AND OFFSITE AREA)

SUBAREA	AREA, AC.	CN	Tc, HR.	DISCHARGE, CFS			
				1 YR.	2 YR.	10 YR.	100 YR.
SUBAREA 1.0	4.99	83	0.20	6.81	9.76	19.68	30.91
SUBAREA 1.1	1.08	61	0.26	0.10	0.25	1.45	3.15
DP #1	6.07	-	-	0.29	2.96	17.03	36.18
SUBAREA 2.0	2.72	70	0.35	0.95	1.71	4.82	8.93
SUBAREA 2.1	1.19	77	0.20	1.12	1.75	4.00	6.68
DP #2	3.91	-	-	1.87	3.27	8.81	15.31

- LEGEND :**
- 325 --- EXISTING CONTOURS
  - 330 --- EXISTING CONTOURS
  - PROPERTY LINE
  - EXISTING TREELINE
  - DRAINAGE DIVIDE
  - A | B | C FLOW PATH
  - "B" SOIL GROUP
  - "C" SOIL GROUP
  - SOILS BOUNDARY

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Signature: *David C. Woessner* DATE: 4/15/05  
DAVID C. WOESSNER

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Signature: *Paul L. Thompson* DATE: 4/15/05  
DALE THOMPSON



APPROVED: DEPARTMENT OF PLANNING AND ZONING

Signature: *Mark J. Layle* DATE: 5/6/05  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

Signature: *Wanda Hamer* DATE: 6/9/05  
CHIEF, DIVISION OF LAND DEVELOPMENT

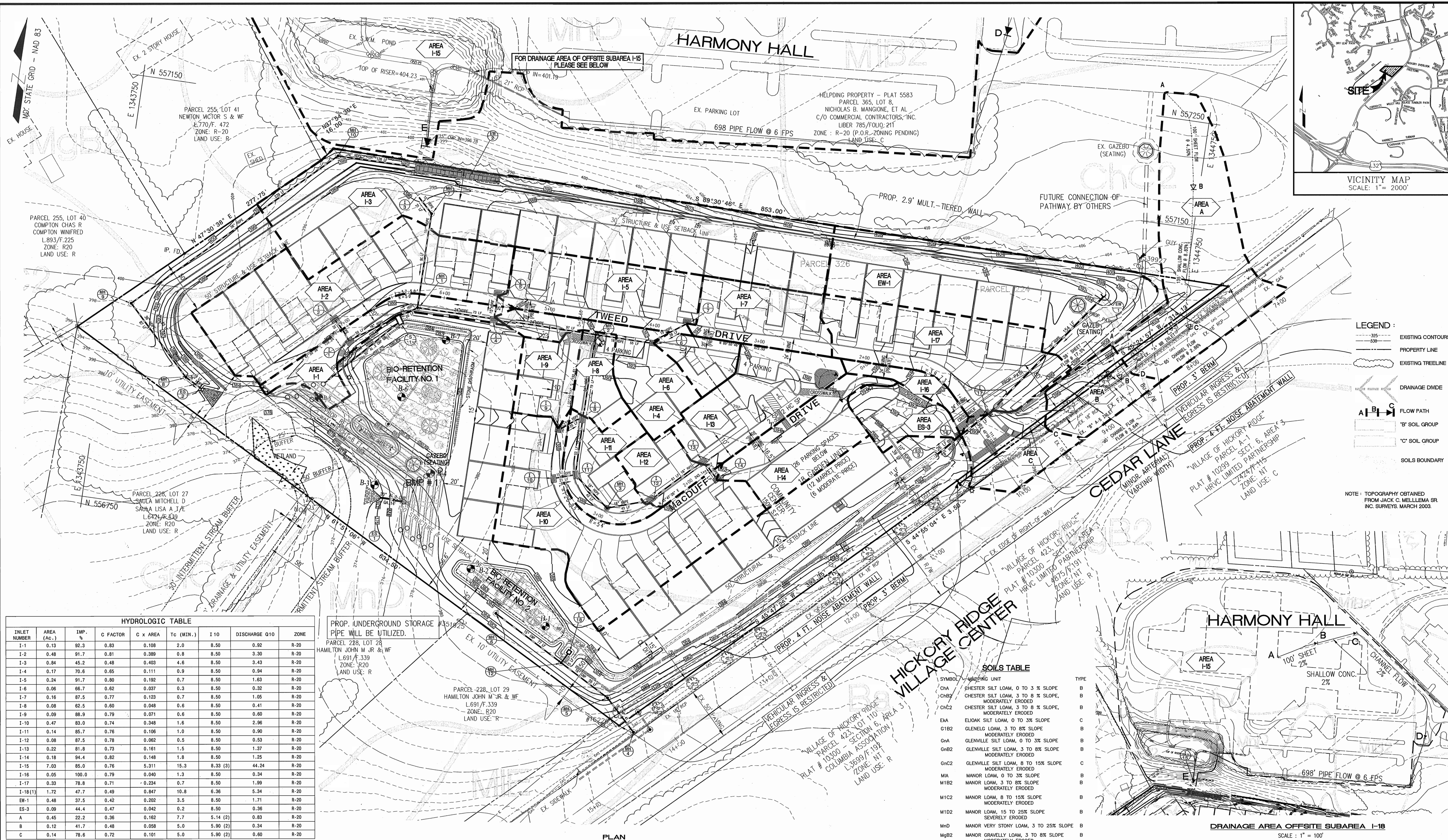
Signature: *Mark J. Layle* DATE: 4/15/05  
DIRECTOR, DEPARTMENT OF PLANNING AND ZONING

TITLE: **STORMWATER MANAGEMENT DRAINAGE AREA MAP (SITE AND OFF SITE AREAS) DEVELOPED CONDITION**

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**HYDROLOGIC TABLE**

INLET NUMBER	AREA (Ac.)	IMP. %	C FACTOR	C x AREA	Tc (MIN.)	I 10	DISCHARGE Q10	ZONE
I-1	0.13	92.3	0.83	0.108	2.0	8.50	0.92	R-20
I-2	0.48	91.7	0.81	0.389	0.8	8.50	3.30	R-20
I-3	0.84	45.2	0.48	0.403	4.6	8.50	3.43	R-20
I-4	0.17	70.8	0.65	0.111	0.9	8.50	0.94	R-20
I-5	0.24	91.7	0.80	0.192	0.7	8.50	1.63	R-20
I-6	0.06	66.7	0.62	0.037	0.3	8.50	0.32	R-20
I-7	0.16	87.5	0.77	0.123	0.7	8.50	1.05	R-20
I-8	0.08	62.5	0.60	0.048	0.6	8.50	0.41	R-20
I-9	0.09	88.9	0.79	0.071	0.6	8.50	0.60	R-20
I-10	0.47	83.0	0.74	0.348	1.6	8.50	2.96	R-20
I-11	0.14	85.7	0.76	0.106	1.0	8.50	0.90	R-20
I-12	0.08	87.5	0.78	0.062	0.5	8.50	0.53	R-20
I-13	0.22	91.8	0.73	0.161	1.5	8.50	1.37	R-20
I-14	0.18	94.4	0.82	0.148	1.8	8.50	1.25	R-20
I-15	7.03	85.0	0.76	5.311	15.3	8.33 (3)	44.24	R-20
I-16	0.05	100.0	0.79	0.040	1.3	8.50	0.34	R-20
I-17	0.33	78.8	0.71	0.234	0.7	8.50	1.99	R-20
I-18(1)	1.72	47.7	0.49	0.847	10.8	6.36	5.34	R-20
EW-1	0.48	37.5	0.42	0.202	3.5	8.50	1.71	R-20
ES-3	0.09	44.4	0.47	0.042	0.2	8.50	0.36	R-20
A	0.45	22.2	0.36	0.162	7.7	5.14 (2)	0.83	R-20
B	0.12	41.7	0.48	0.058	5.0	5.90 (2)	0.34	R-20
C	0.14	78.6	0.72	0.101	5.0	5.90 (2)	0.60	R-20

(1) OVERFLOW FOR BIORETENTION NO. 2 (3) 100 YR. STORM INTENSITY  
 (2) 2 YEAR STORM INTENSITY

PROP. UNDERGROUND STORAGE PIPE WILL BE UTILIZED.

PARCEL 228, LOT 28  
 HAMILTON JOHN M JR & WF  
 L.691/F.339  
 ZONE: R20  
 LAND USE: R

PARCEL 228, LOT 29  
 HAMILTON JOHN M JR & WF  
 L.691/F.339  
 ZONE: R20  
 LAND USE: R

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SYMBOL	DESCRIBING UNIT	TYPE
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CHB2	CHESTER SILT LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
CHC2	CHESTER SILT LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
EKA	ELIOAK SILT LOAM, 0 TO 3% SLOPE	C
G1B2	GLENVILLE SILT LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
GnA	GLENVILLE SILT LOAM, 0 TO 3% SLOPE	B
GnB2	GLENVILLE SILT LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
GnC2	GLENVILLE SILT LOAM, 8 TO 15% SLOPE, MODERATELY ERODED	C
MIA	MANOR LOAM, 0 TO 3% SLOPE	B
M1B2	MANOR LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B
M1C2	MANOR LOAM, 8 TO 15% SLOPE, MODERATELY ERODED	B
M1D2	MANOR LOAM, 15 TO 25% SLOPE, SEVERELY ERODED	B
MnD	MANOR VERY STONY LOAM, 3 TO 25% SLOPE	B
MgB2	MANOR GRAVELLY LOAM, 3 TO 8% SLOPE, MODERATELY ERODED	B

PREPARED BY:

**American Land Development and Engineering, Inc.**

10749 BIRMINGHAM WAY, WOODSTOCK, MD 21163  
 TEL. (410) 465-7903 FAX. (410) 465-3845

DATE: \_\_\_\_\_ REVISION: \_\_\_\_\_ BY: \_\_\_\_\_

OWNERS: Paul L. Thompson  
 Betty R. Thompson  
 6436 Cedar Lane  
 Columbia, MD 21044

DEVELOPER: Freetown, LLC.  
 6258 Cardinal Lane  
 Columbia, Md. 21044

**ENGINEER'S CERTIFICATE**

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Signature: *David C. Woessner* DATE: 4/15/05

SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE)  
 DAVID C. WOESSNER

**DEVELOPER'S CERTIFICATE**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

Signature: *Paul L. Thompson* DATE: 4/14/05

SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE)  
 DALE THOMPSON

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Signature: *David C. Woessner* DATE: 5/5/05  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

Signature: *Wendy Havel* DATE: 4/9/05  
 CHIEF, DIVISION OF LAND DEVELOPMENT

Signature: *David C. Woessner* DATE: 4/9/05  
 DIRECTOR - DEPARTMENT OF PLANNING AND ZONING

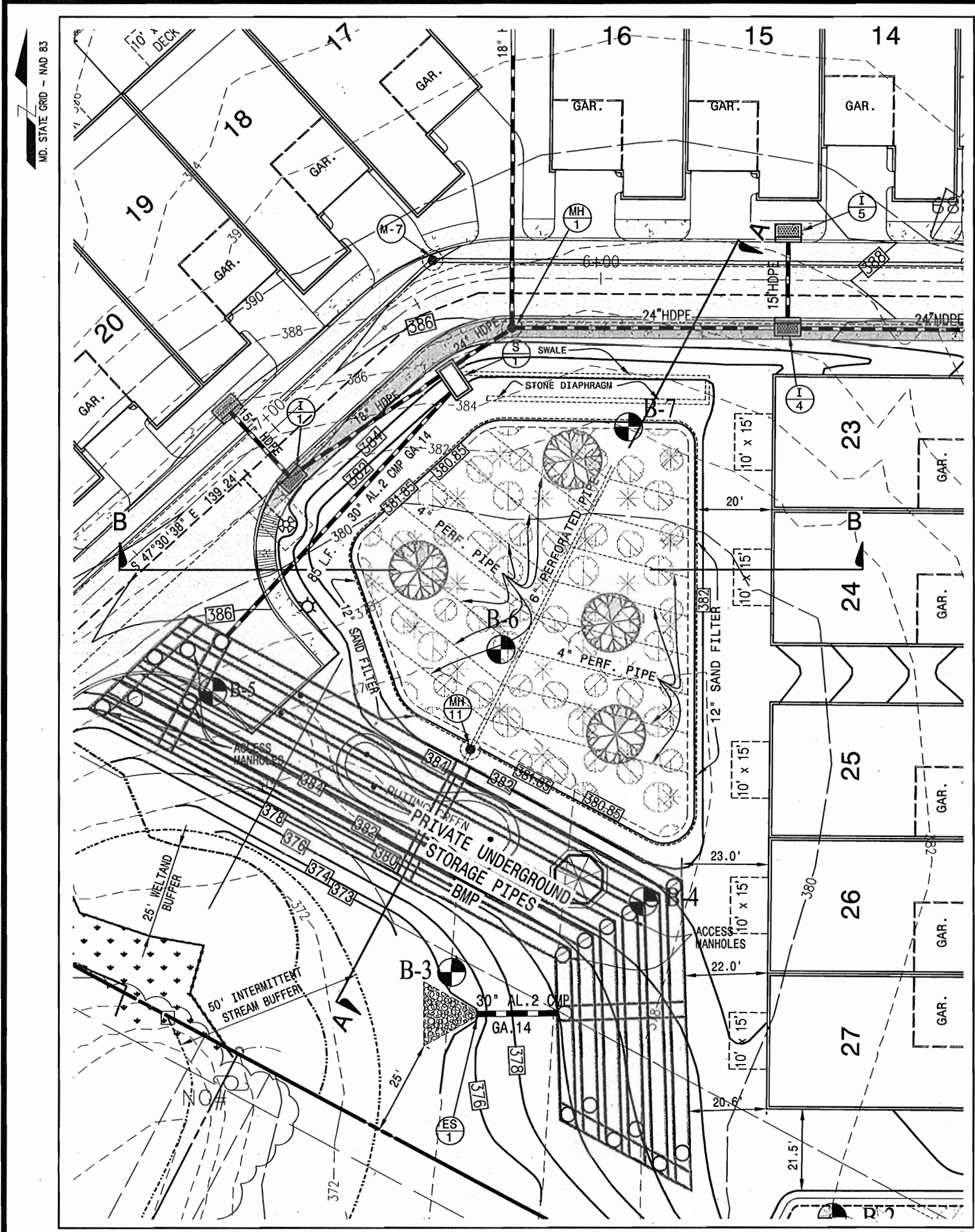
TITLE: **DRAINAGE AREA MAP, STORM DRAINS**

PROJECT NAME: **SCOT'S GLEN SOUTH**  
 BUILDABLE BULK PARCEL "A" - UNITS 1 THRU 55 AND COMMUNITY CENTER  
 PLANNED SENIOR COMMUNITY (PSC) - AGE RESTRICTED ADULT HOUSING  
 A RESUBDIVISION OF PARCELS 224 AND 326  
 HOWARD COUNTY, MARYLAND, 21044

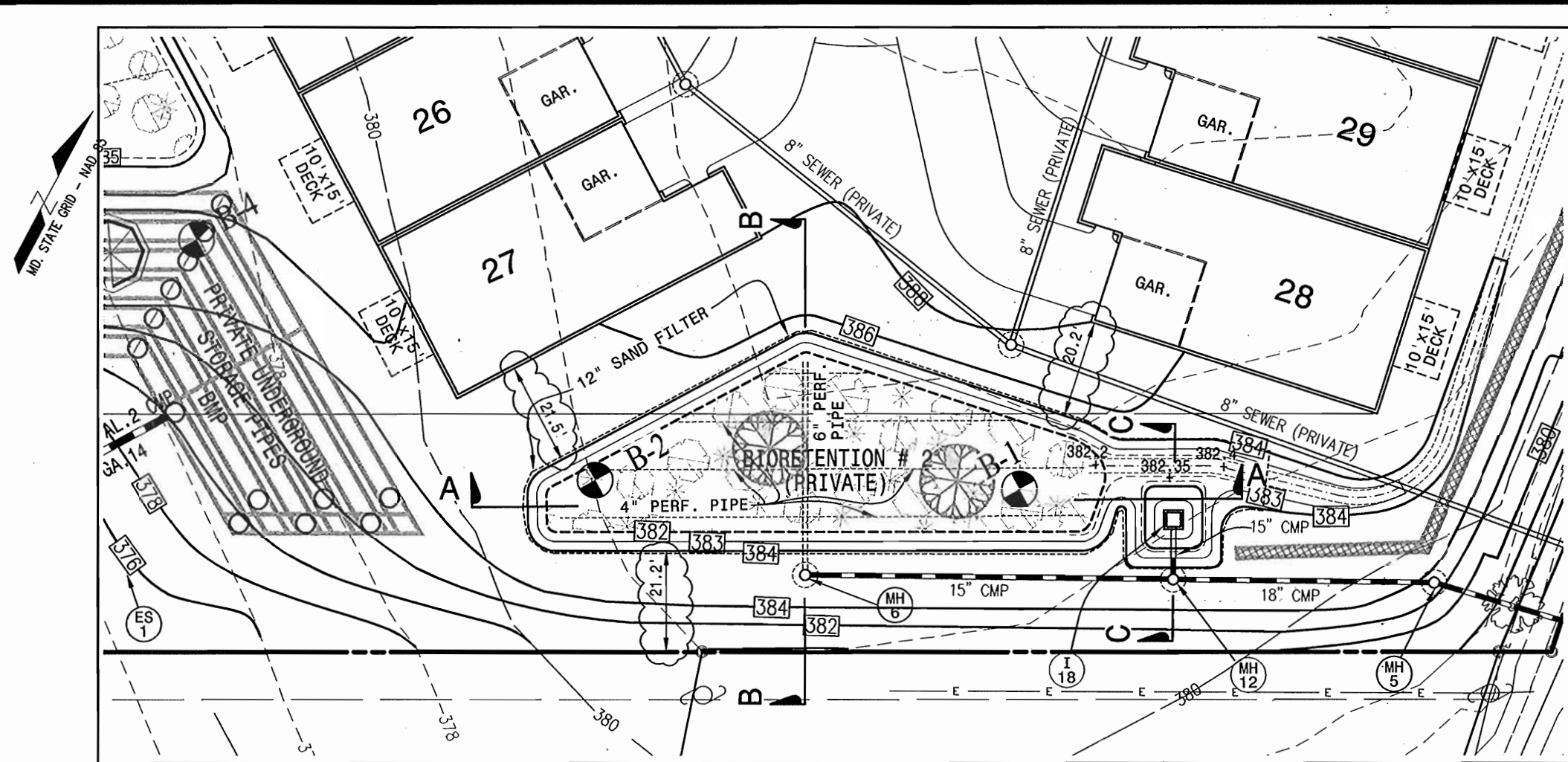
S-04-05 PB CASE 363 ZB 1030M F-05-63

DES.: AVG	JOB:	PROJ.:	DATE: 04-13-05
DRW.: AVG	CHK.: D.C.W.	SCALE: AS SHOWN	SHEET 18 OF 25

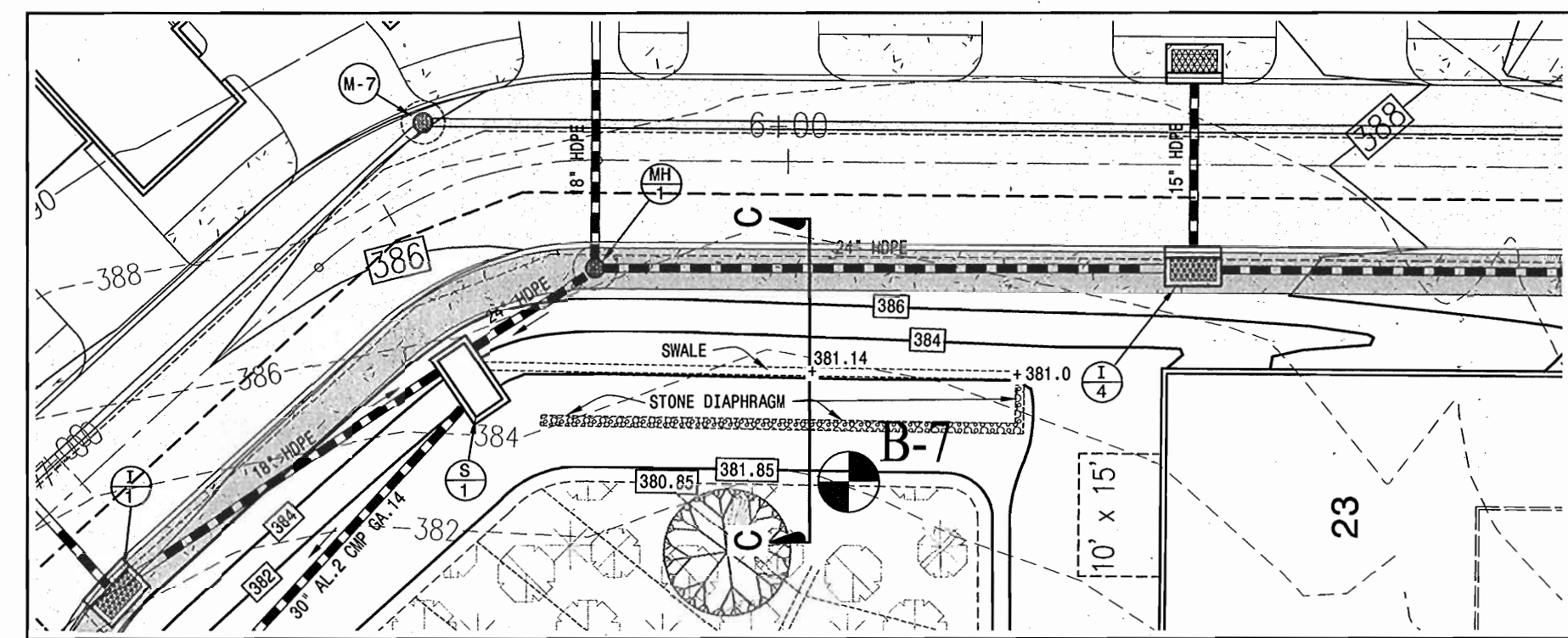
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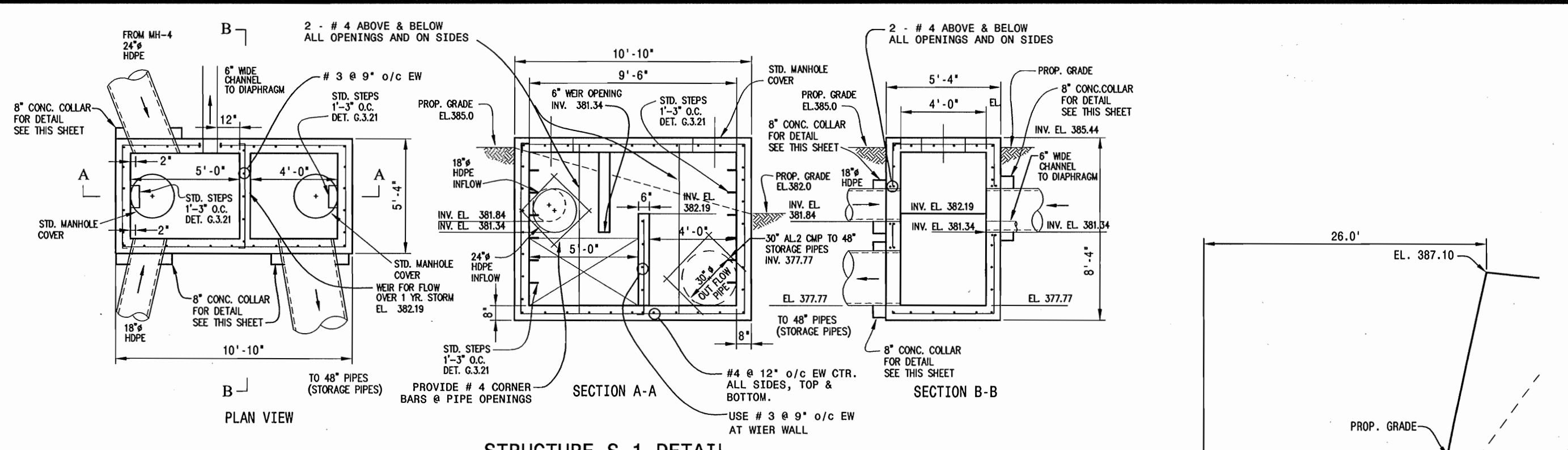
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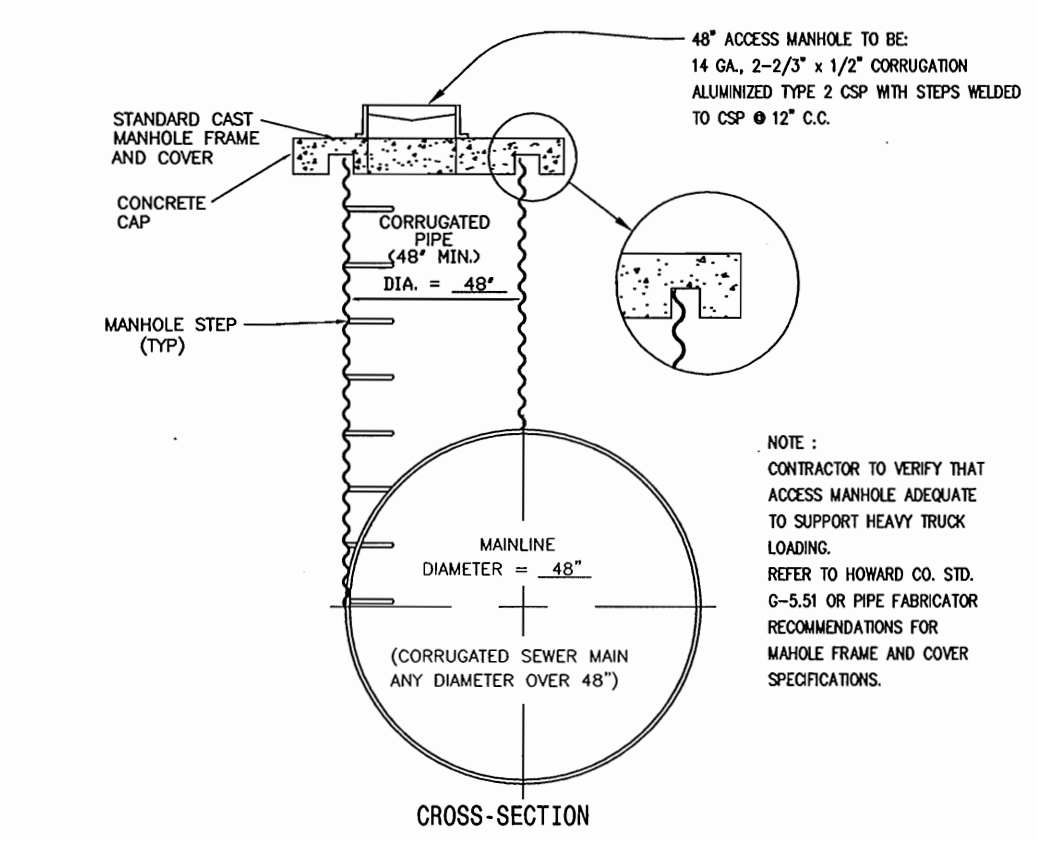
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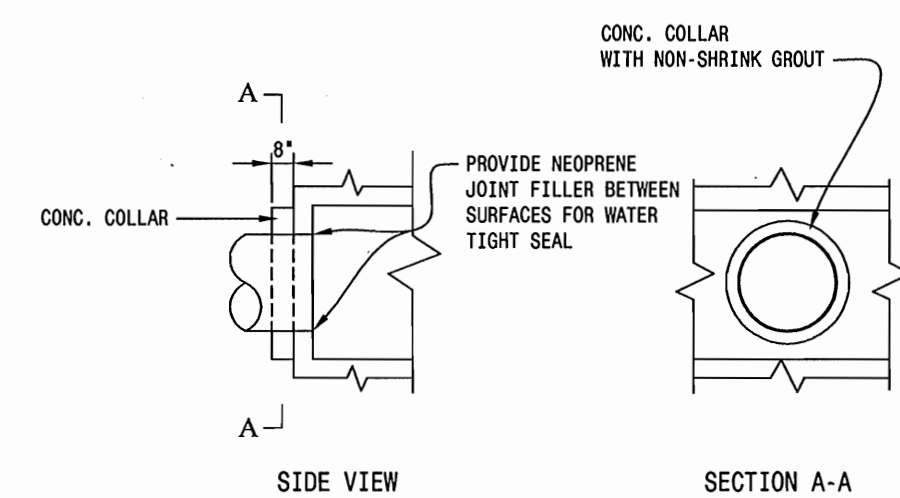
SWALE / STONE DIAPHRAGM PLAN - DETAIL  
SCALE: 1" = 20'



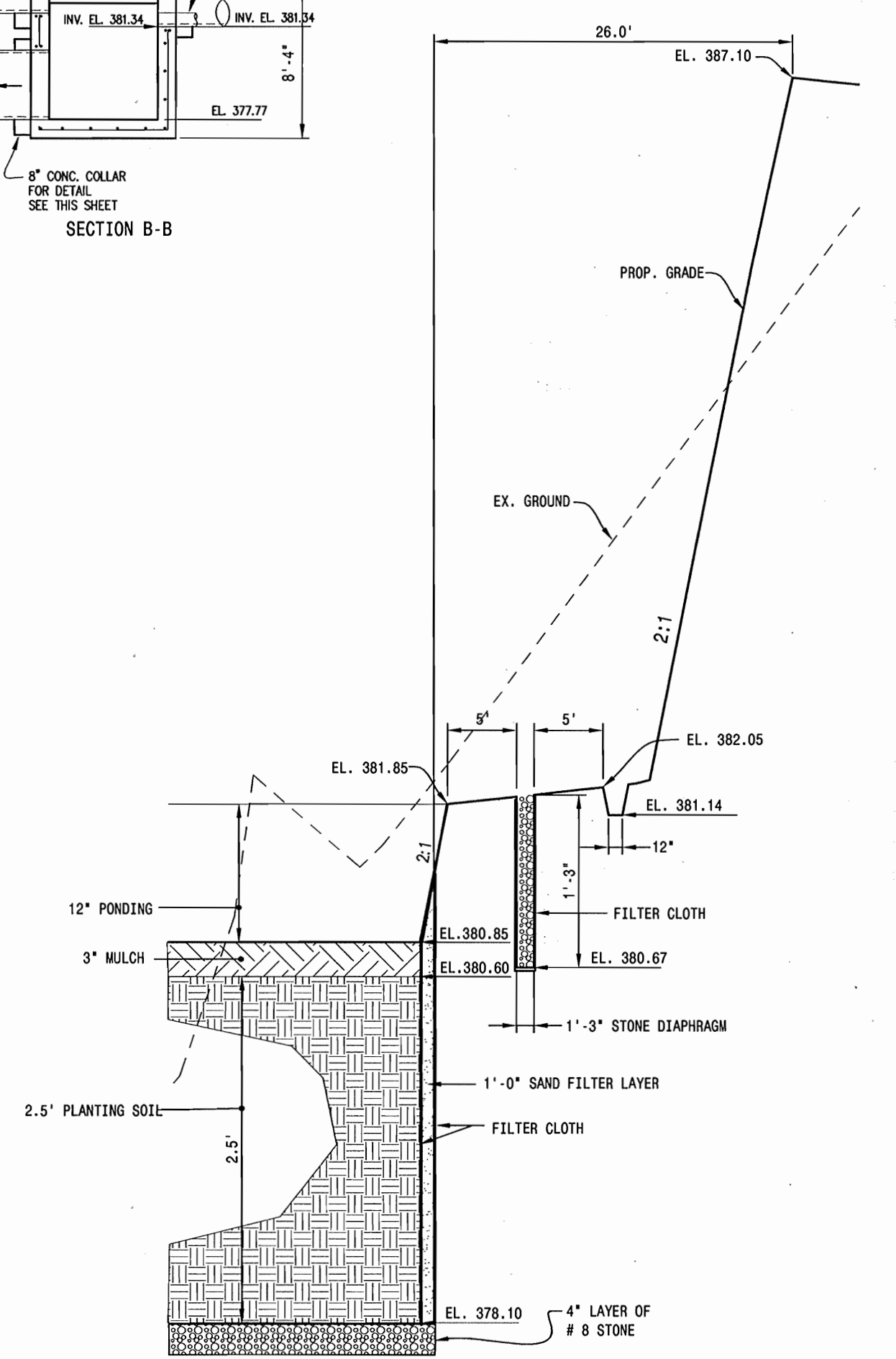
STRUCTURE S-1 DETAIL  
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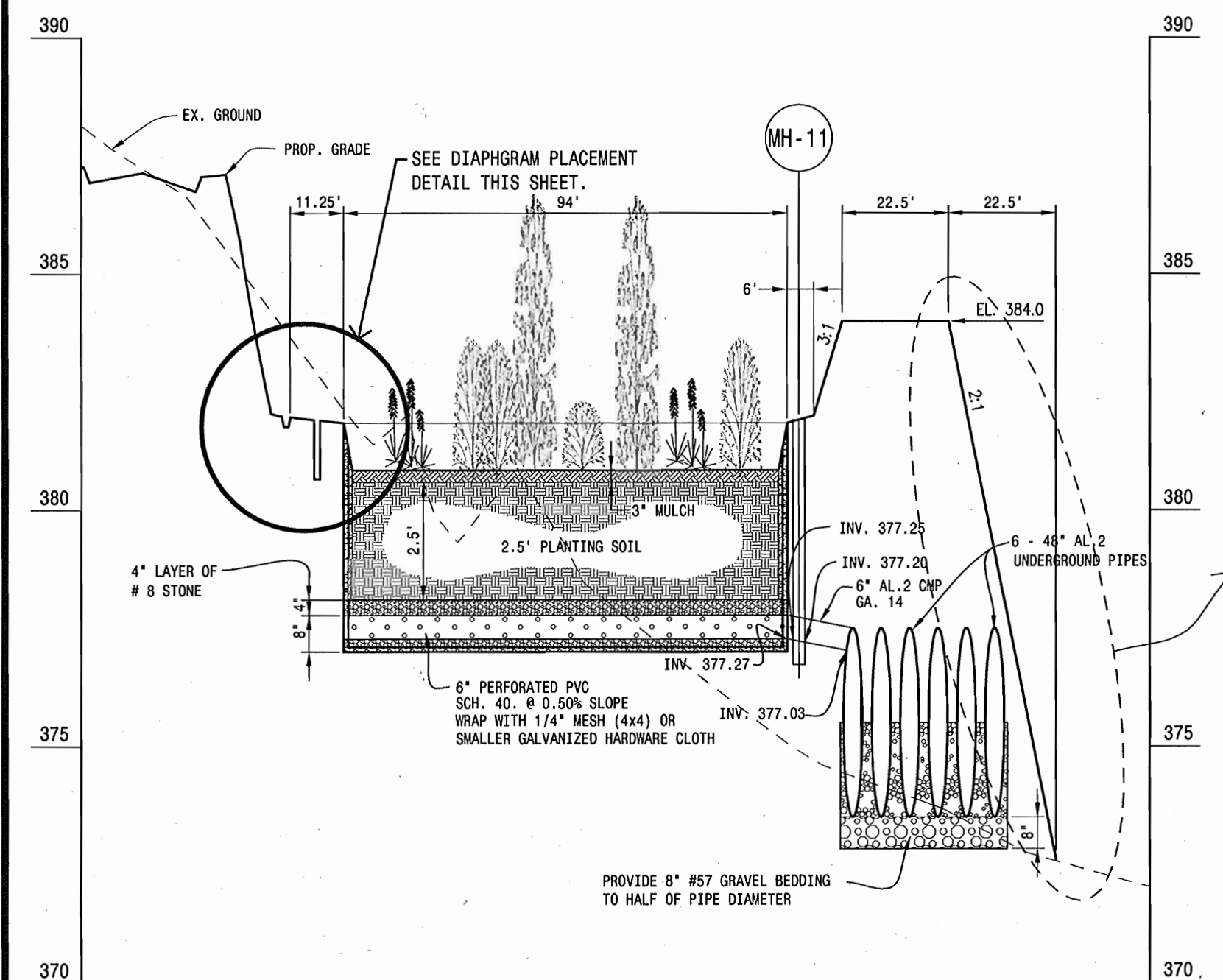
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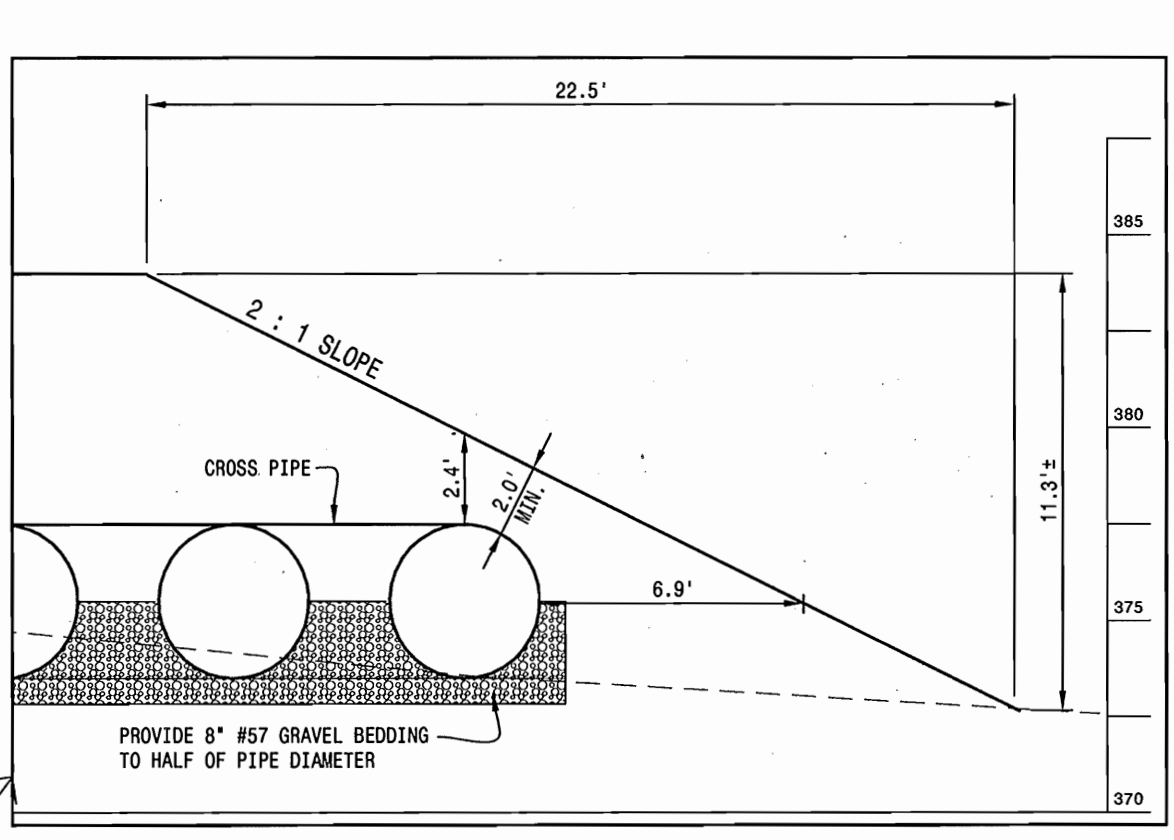
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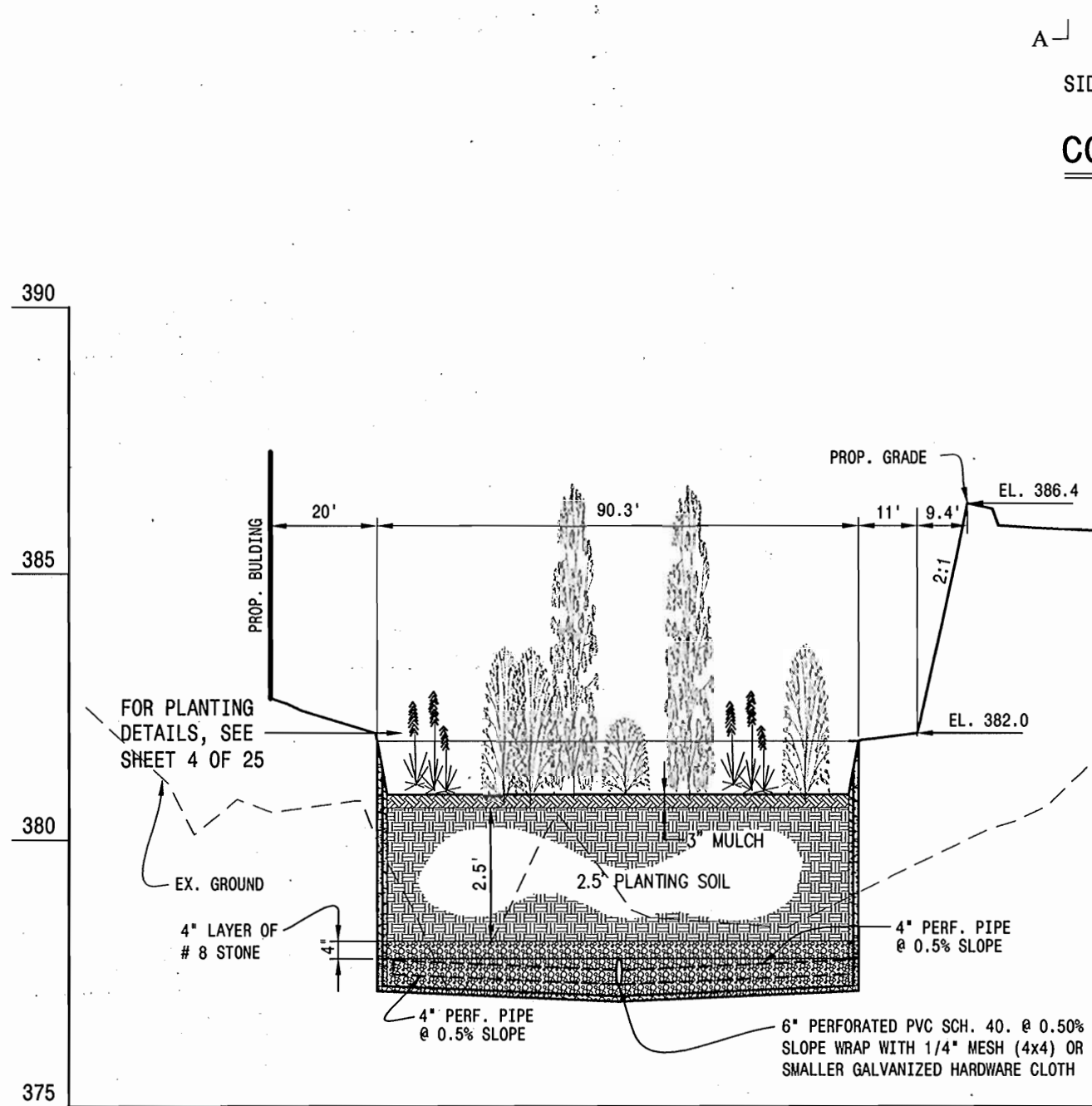
SECTION C-C  
SWALE/DIAPHRAGM PLACEMENT DETAIL  
SCALE: 1" = 10' HOR.  
1" = 1' VER.



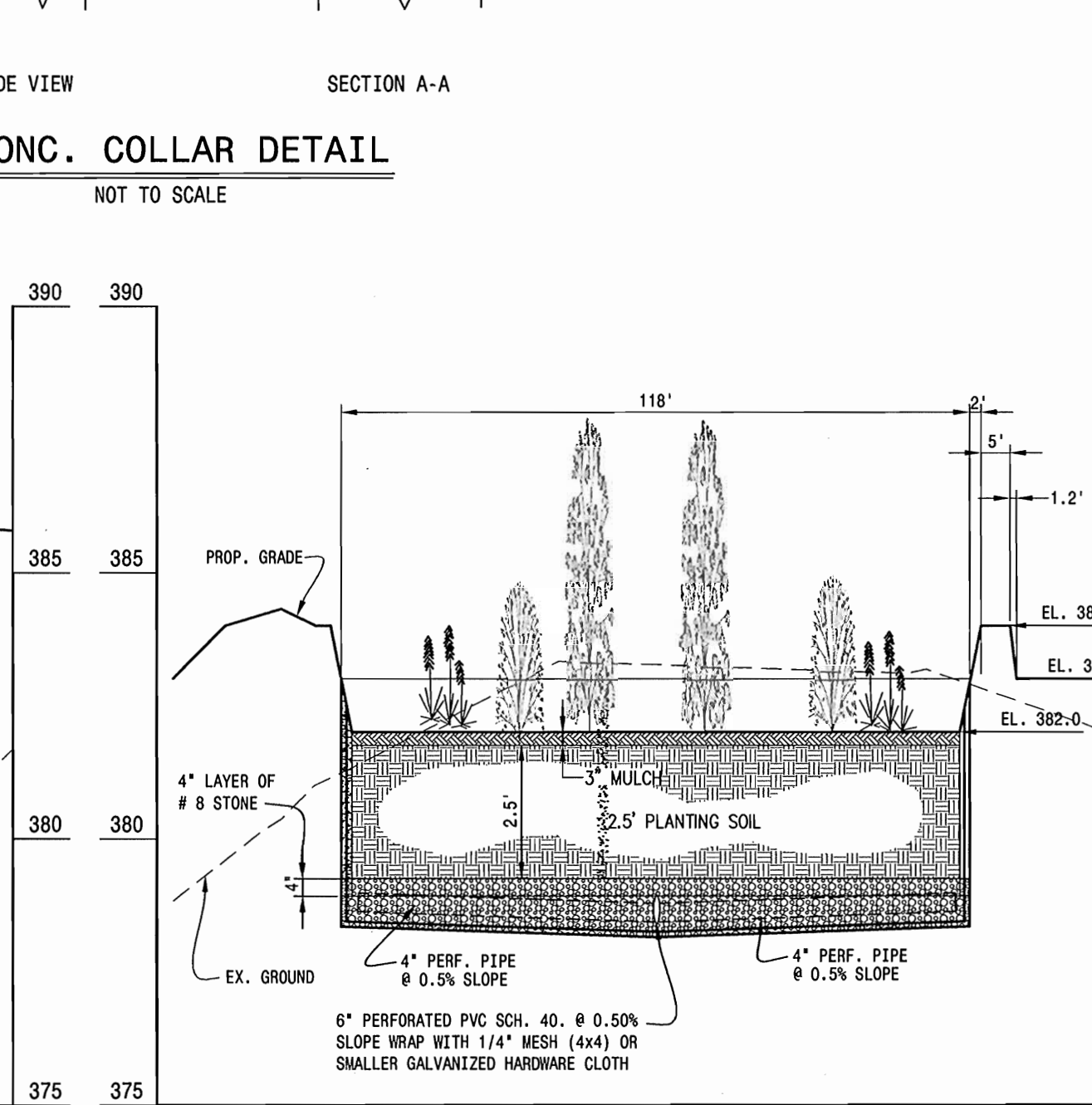
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SCALE: 1" = 30' HOR.  
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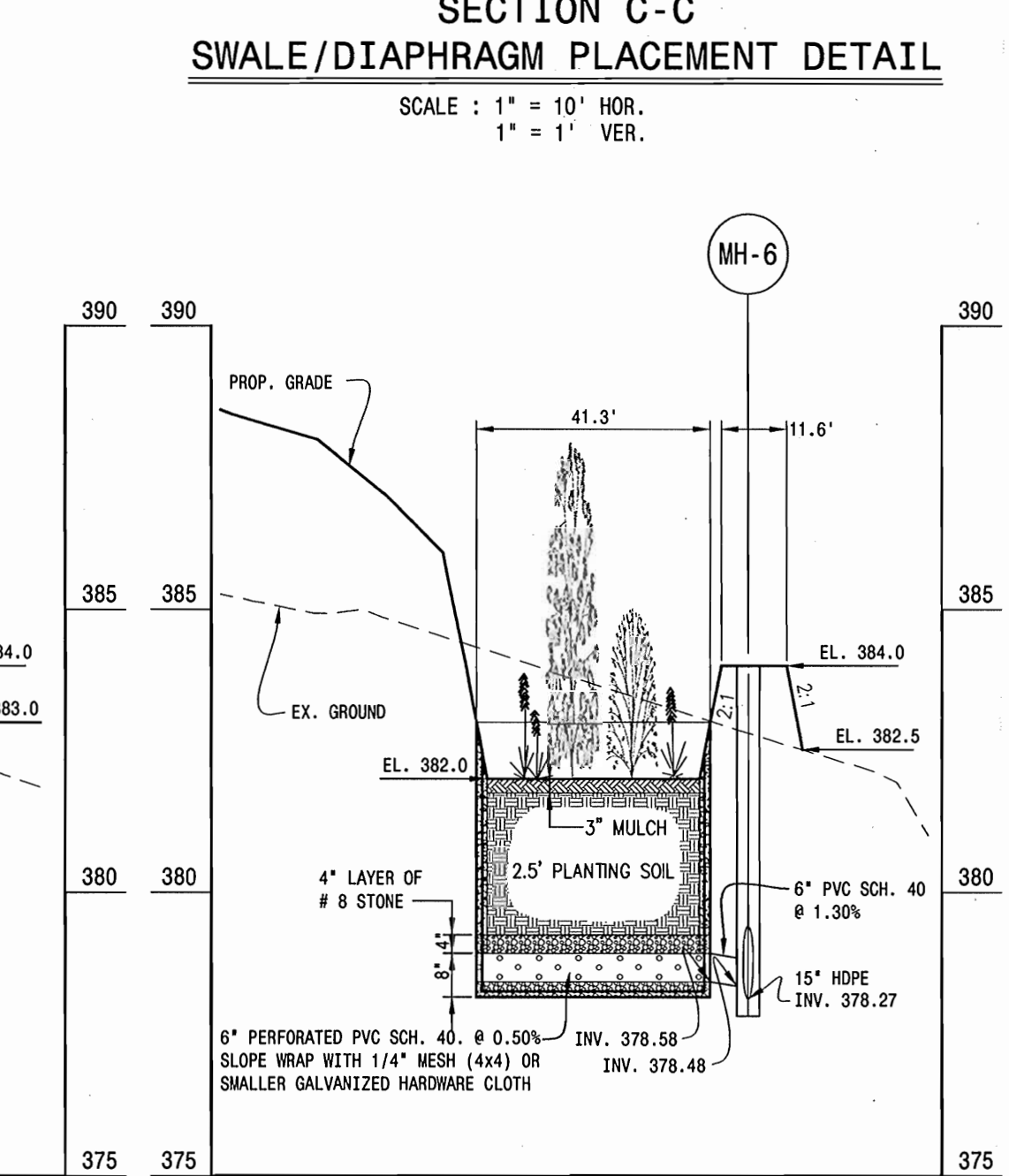
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BIORETENTION # 1 - SECTION B-B  
SCALE: 1" = 30' HOR.  
1" = 3' VER.



BIORETENTION # 2 - SECTION A-A  
SCALE: 1" = 30' HOR.  
1" = 3' VER.



BIORETENTION # 2 - SECTION B-B  
SCALE: 1" = 30' HOR.  
1" = 3' VER.

PREPARED BY:  
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TEL. (410) 465-7903 FAX. (410) 465-3845

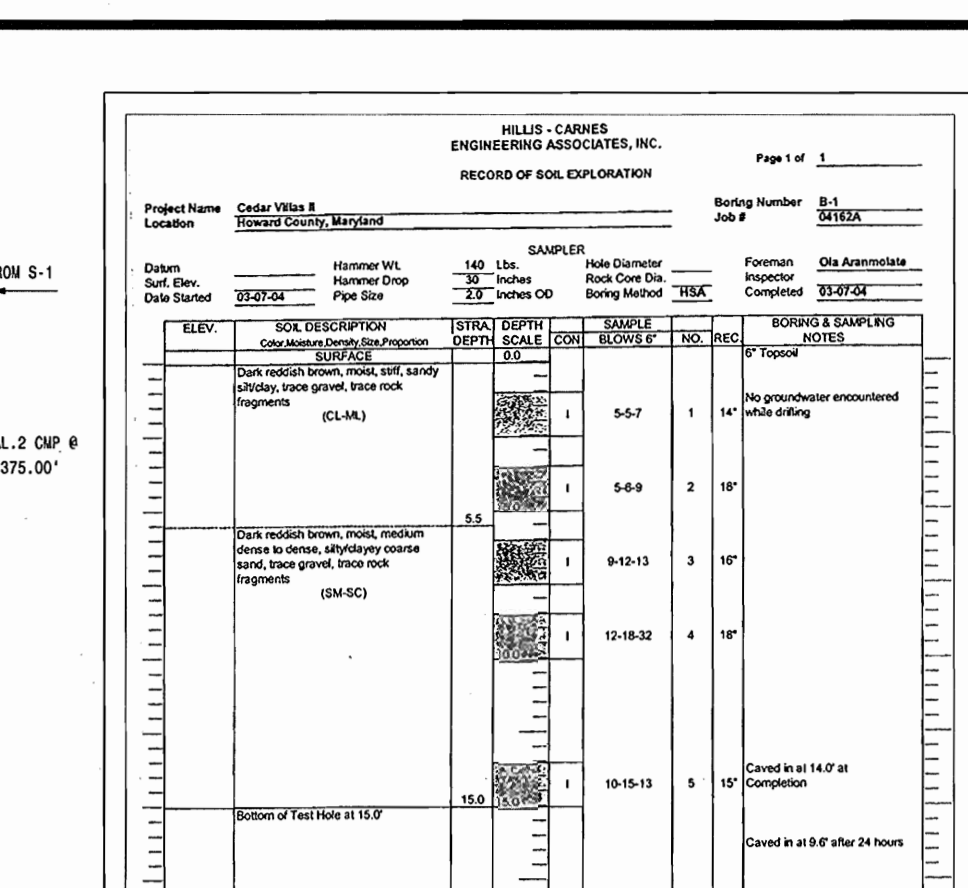
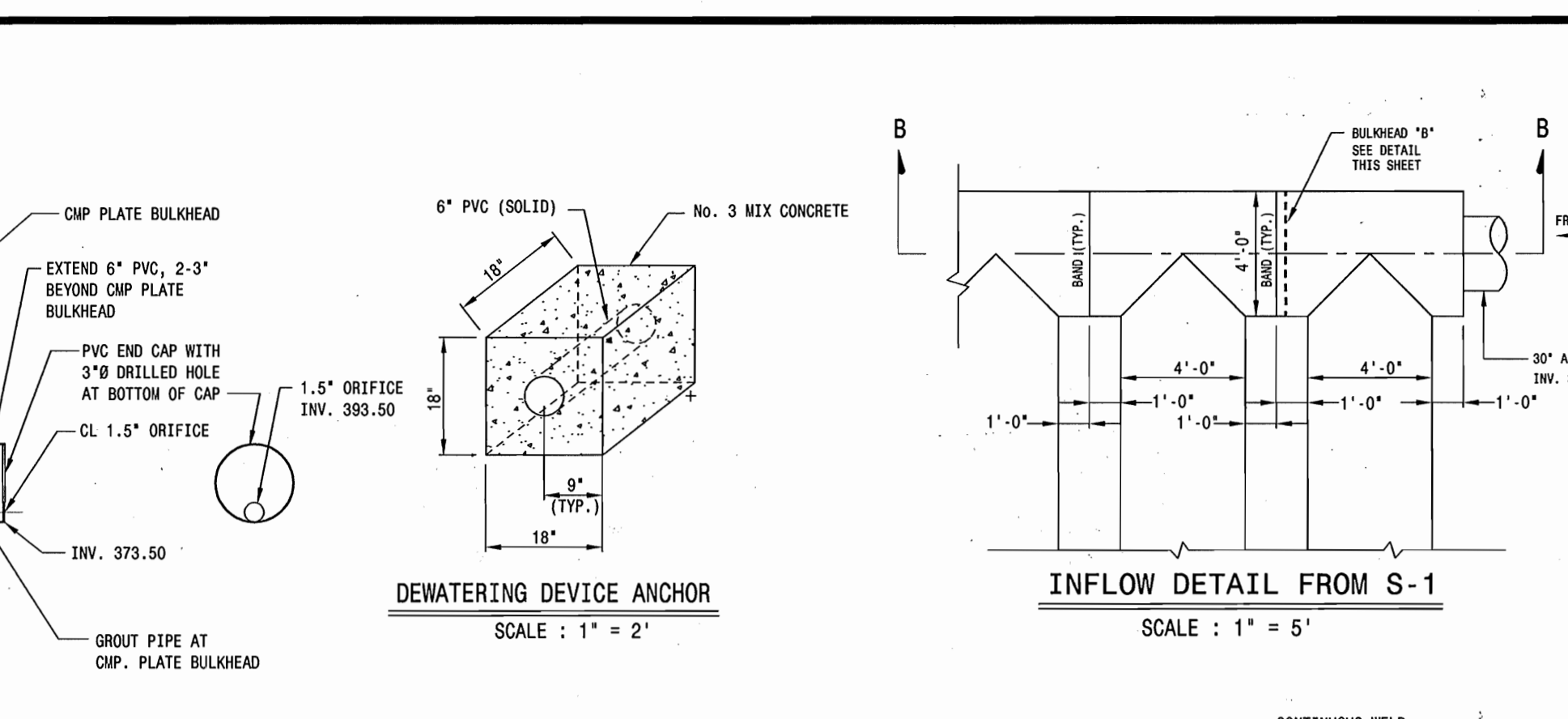
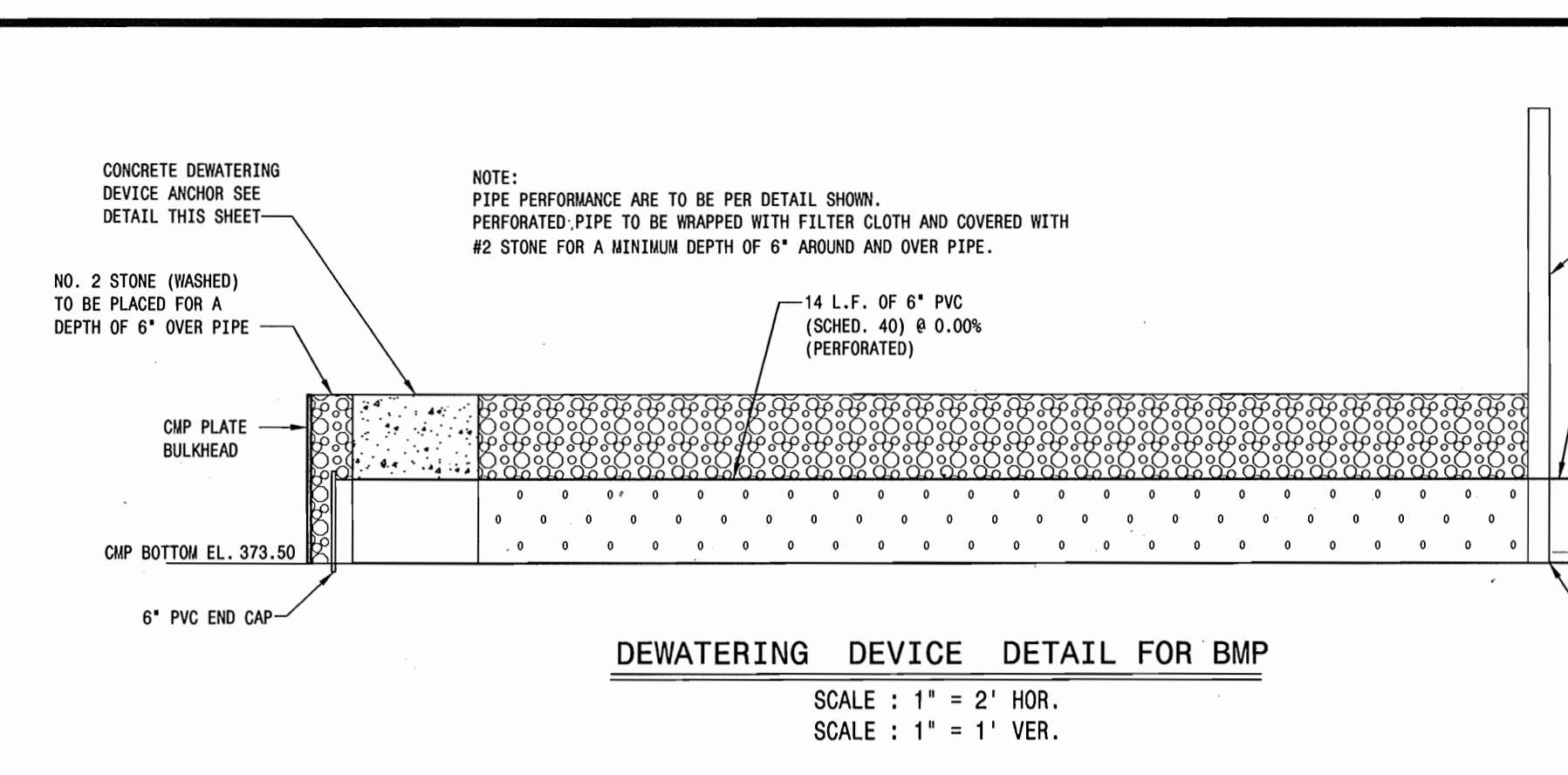
DATE: \_\_\_\_\_ REVISION: \_\_\_\_\_ BY: \_\_\_\_\_  
OWNERS: Paul L. Thompson, Betty R. Thompson, 6436 Cedar Lane, Columbia, MD 21044  
DEVELOPER: Fretcrown, LLC, 6258 Cardinal Lane, Columbia, Md. 21044

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SIGNATURE OF ENGINEER: *David C. Woessner* DATE: 4/15/05  
DAVID C. WOESSNER  
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SIGNATURE OF DEVELOPER: *Paul L. Thompson* DATE: 4/14/05  
DALE THOMPSON

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
CHIEF, DEVELOPMENT ENGINEERING DIVISION: *Stefanos* DATE: 5/6/05  
CHIEF, DIVISION OF LAND DEVELOPMENT: *Wanda Krametz* DATE: 6/9/05  
DIRECTOR, DEPARTMENT OF PLANNING AND ZONING: *David C. Woessner* DATE: 5/10/05

TITLE: **STORMWATER MANAGEMENT - BMP 1 & 2 - PLAN**  
PROJECT NAME: **SCOT'S GLEN SOUTH**  
BUILDABLE BULK PARCEL "A" - UNITS 1 THRU 55 AND COMMUNITY CENTER  
PLANNED SENIOR COMMUNITY (PSC) - AGE RESTRICTED ADULT HOUSING  
A RESUBDIVISION OF PARCELS 224 AND 326  
HOWARD COUNTY, MARYLAND, 21044  
S-04-05 PB CASE 363 ZB 1030M F-05-63  
DES.: AVG JOB: \_\_\_\_\_ PROJ.: \_\_\_\_\_ DATE: 04-13-05  
DRW.: AVG CHK.: D.C.W. SCALE: \_\_\_\_\_ SHEET 19 OF 25

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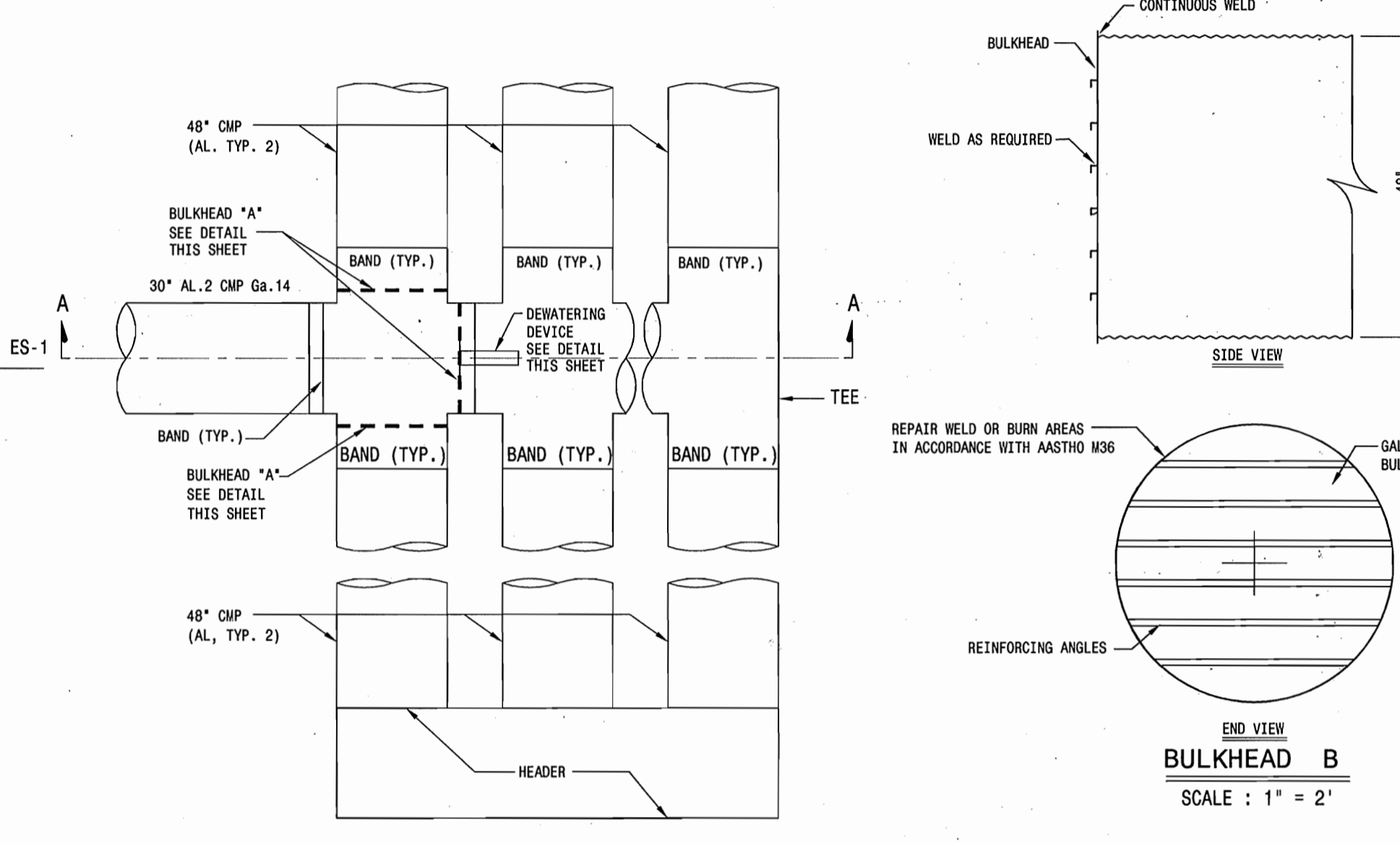
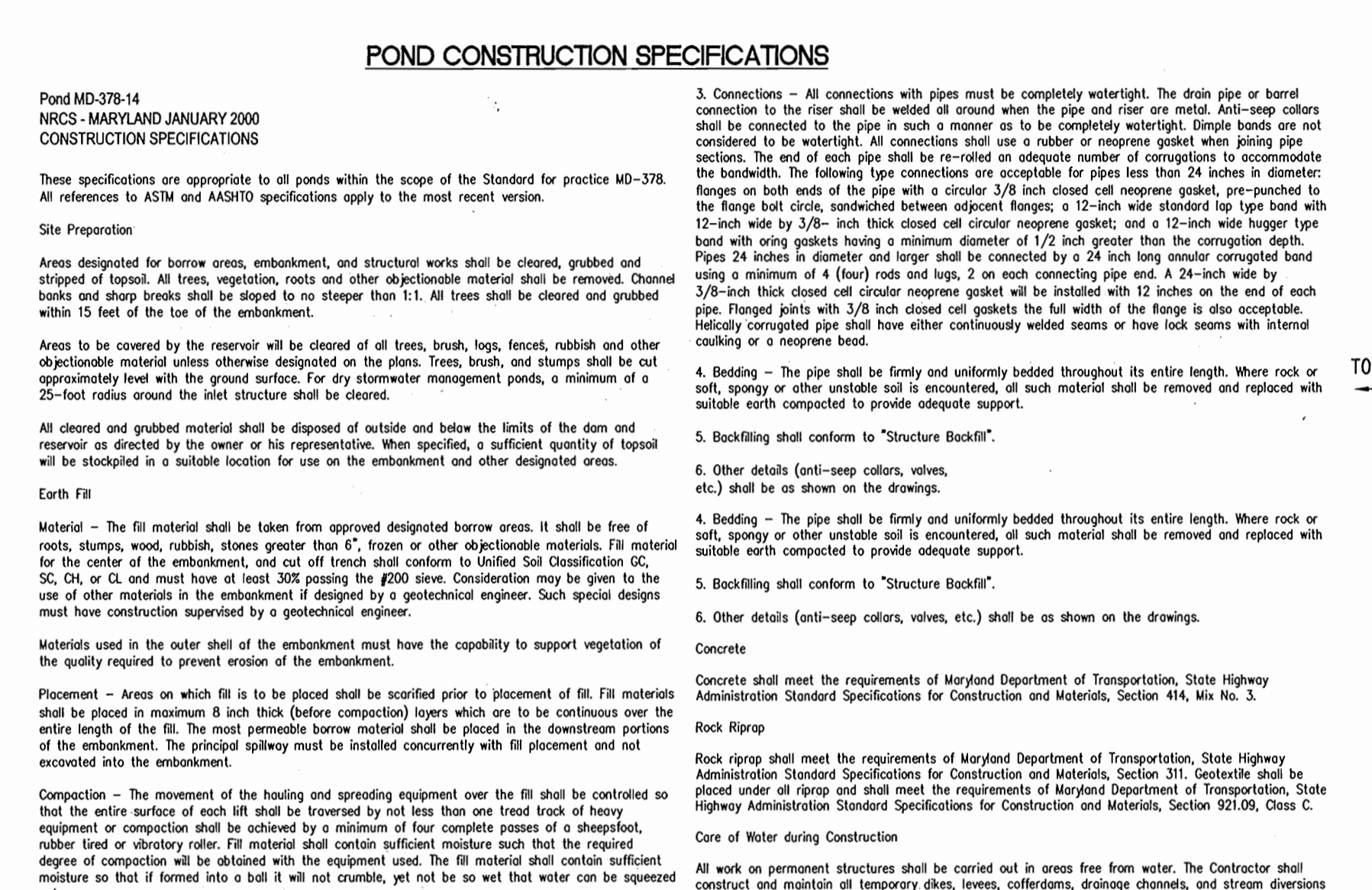
HILLIS-CARNEY ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION

Project Name	Location	Sheet No.	Job #	Scale
SCOT'S GLEN SOUTH	HOWARD COUNTY, MARYLAND	1	05	AS SHOWN

ELEV.	SOIL DESCRIPTION	DEPTH	DIAMETER	NO.	DATE	NOTES
3.0	CLAY	1.0-1.5	12"	1	1/10/05	1' of topsoil
3.0	CLAY	1.5-2.0	12"	2	1/10/05	1' of topsoil
3.0	CLAY	2.0-2.5	12"	3	1/10/05	1' of topsoil
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3.0	CLAY	3.0-3.5	12"	5	1/10/05	1' of topsoil

HILLIS-CARNEY ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION

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HILLIS-CARNEY ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION

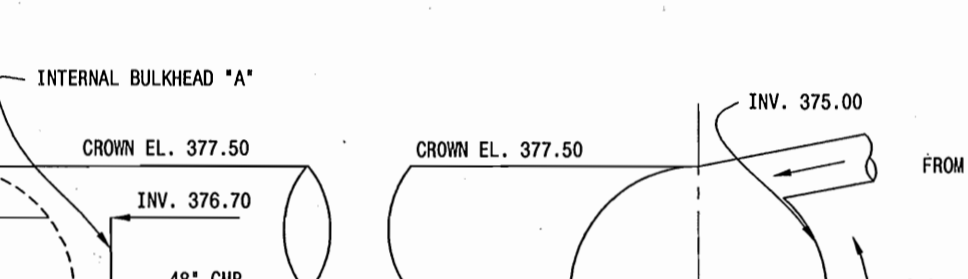
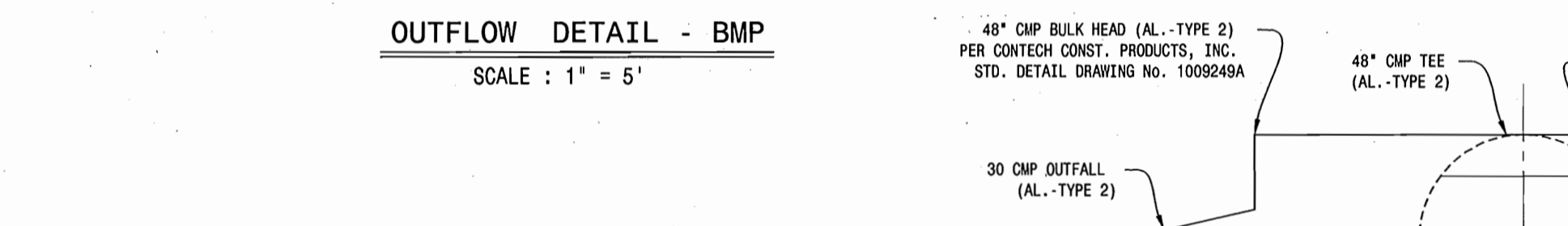
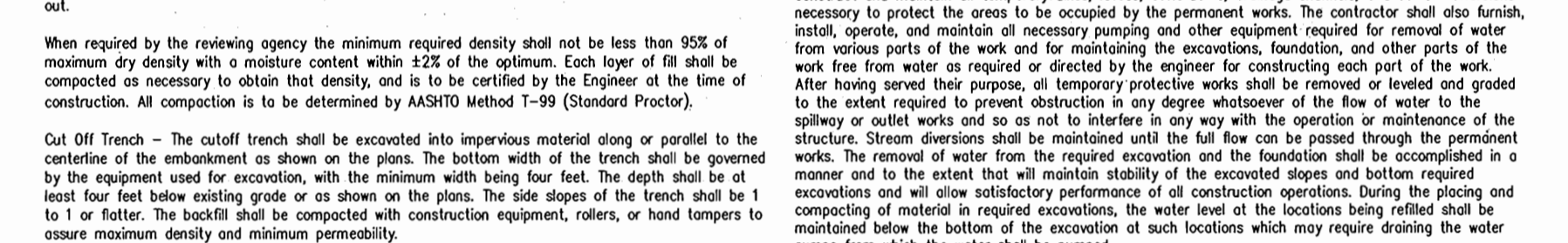
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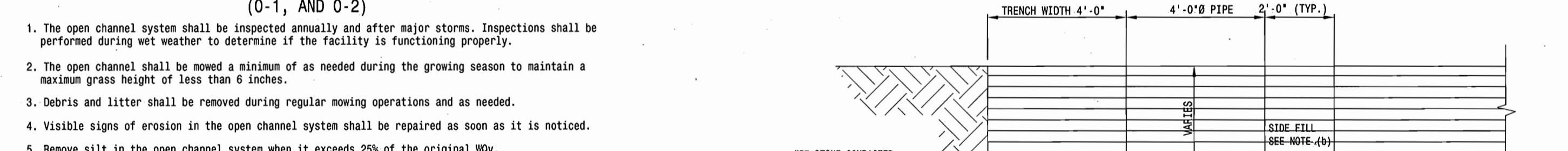
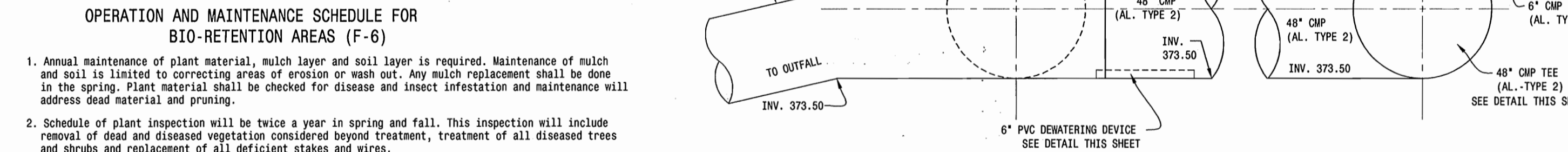


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3.0	CLAY	3.0-3.5	12"	5	1/10/05	1' of topsoil



**Excavated Ponds**

General - Excavated ponds that create a failure potential through a constructed or created embankment will be designed as follows: Excavated ponds that include a pipe or weir outlet control system for urban stormwater management shall be designed using the principal and emergency spillway hydraulic criteria for Embankment Ponds, Table 1.

Side Slopes - Side slopes of excavated ponds shall be such that they will be stable and shall not be steeper than 1 horizontal to 1 vertical. Flatter slopes are to be utilized where safety for children, livestock watering, etc. is a design factor.

Reinforced Form - Where the structures are used for recreation or are located in high public view, the perimeter of the structure shall be finished with a decorative finish.

Inlet Protection - When the excavated pond is a bypass type and water is being diverted from a stream, the minimum size inlet pipe shall be a 4-inch diameter pipe. All storm water entering the pond and downstream rights shall be strictly controlled. Where surface water enters the pond in a natural or excavated channel, the side slope of the pond shall be protected against erosion.

Outlet Protection - An excavated pond with a low embankment (combination excavation / embankment) shall be designed to ensure a stable outlet for the 10-year, 24-hour frequency storm.

Placement of Excavated Material - The material excavated from the pond shall be placed in one of the following ways so that its weight will not endanger the stability of the pond side slopes and where it will not be washed back into the pond by rainfall:

- Uniformly spread to a height not exceeding 3 feet with the top grade to a continuous slope away from the pond.
- Uniformly placed or shaped regardless of well with side slopes no steeper than 2 to 1. The excavated material will be placed at a distance equal to the depth of the pond, but not less than 12 feet from the edge of the pond.
- Shaped to a designed form that blends visually with the landscape.

Reservoir Area for Wet Ponds

For most ponds, the topography of the site shall permit storage of water at depth and volume that creates a dependable supply, considering beneficial use, sedimentation, season of use, and evaporation and seepage losses. Soils in the reservoir shall be impervious enough to minimize seepage losses or shall be of a type that sealing is practical. Excavation and shaping required to permit the reservoir area to subside shall be included in the construction plans.

Reservoirs designed specifically for fish production or wildlife management shall follow design criteria in the standards and specifications for fish production or wildlife management shall follow design criteria in the standards and specifications for fish production or wildlife management (MD-359) and Wildlife Habitat Management (MD-64), as appropriate.

Fish Pond Management (MD-359) and Wildlife Habitat Management (MD-64), as appropriate.

**Pipe Conduits**

All pipes shall be circular in cross section.

Corrugated Metal Pipe - All of the following criteria shall apply for corrugated metal pipe:

- Materials - (Polymer Coated Steel Pipe) - Steel pipes with polymer coatings shall have a minimum coating thickness of 0.01 inch (10 mil) on both sides of the pipe. This pipe and its appurtenances shall conform to the requirements of AASHTO Specifications M-245 & M-246 with watertight coupling bands or flanges.
- Materials - (Aluminum Coated Steel Pipe) - This pipe and its appurtenances shall conform to the requirements of AASHTO Specification M-274 with watertight coupling bands or flanges. Aluminum Coated Steel Pipe, when used with flowable fill or when soil and/or water conditions warrant the need for increased durability, shall be fully bituminous coated per requirements of AASHTO Specification M-190 Type A. Any aluminum coating damaged or otherwise removed shall be replaced with cold applied bituminous coating compound. Aluminum coating that is in contact with concrete shall be painted with one coat of zinc chromate primer or two coats of asphalt.
- Materials - (Aluminum Pipe) - This pipe and its appurtenances shall conform to the requirements of AASHTO Specification M-196 or M-211 with watertight coupling bands or flanges.
- Materials - (Aluminum Pipe) - This pipe and its appurtenances shall conform to the requirements of AASHTO Specification M-196 or M-211 with watertight coupling bands or flanges.

Aluminum pipe, when used with flowable fill or when soil and/or water conditions warrant the need for increased durability, shall be fully bituminous coated per requirements of AASHTO Specification M-190 Type A. Aluminum surfaces that are to be in contact with concrete shall be painted with one coat of zinc chromate primer or two coats of asphalt. Hot dip galvanized bolts may be used for connections. The pH of the surrounding soils shall be between 4 and 9.

- Coupling bands, anti-seep collars, and sections, etc., must be composed of the same material and coatings as the pipe. Metals must be insulated from dissimilar materials with use of rubber or plastic insulating materials of least 2-mil thickness.

PREPARED BY: American Land Development and Engineering, Inc. 10749 BIRMINGHAM WAY, WOODSTOCK, MD 21163 TEL. (410) 465-7903 FAX. (410) 465-3845

OWNERS: Paul L. Thompson Betty R. Thompson 6436 Cedar Lane Columbia, MD 21044

DEVELOPER: Freetown, LLC. 6258 Cardinal Lane Columbia, MD 21044

ENGINEER'S CERTIFICATE: I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

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APPROVED: DEPARTMENT OF PLANNING AND ZONING

TITLE: STORMWATER MANAGEMENT NOTES, BORINGS AND DETAILS

PROJECT NAME: SCOT'S GLEN SOUTH BUILDABLE BULK PARCEL "A" - UNITS 1 THRU 55 AND COMMUNITY CENTER PLANNED SENIOR COMMUNITY (PSC) - AGE RESTRICTED ADULT HOUSING A RESUBDIVISION OF PARCELS 224 AND 326 HOWARD COUNTY, MARYLAND, 21044

DES: AVG JOB: PROJ: DATE: 04-13-05

DRW: AVG CHK.: D.C.W. SCALE: AS SHOWN SHEET 20 OF 25

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

U.S.D.A. NATIONAL RESOURCES CONSERVATION SERVICE DATE: 4/15/05

HOWARD SCD DATE: 4/15/05

APPROVED: DEPARTMENT OF PLANNING AND ZONING

5/5/05 DATE

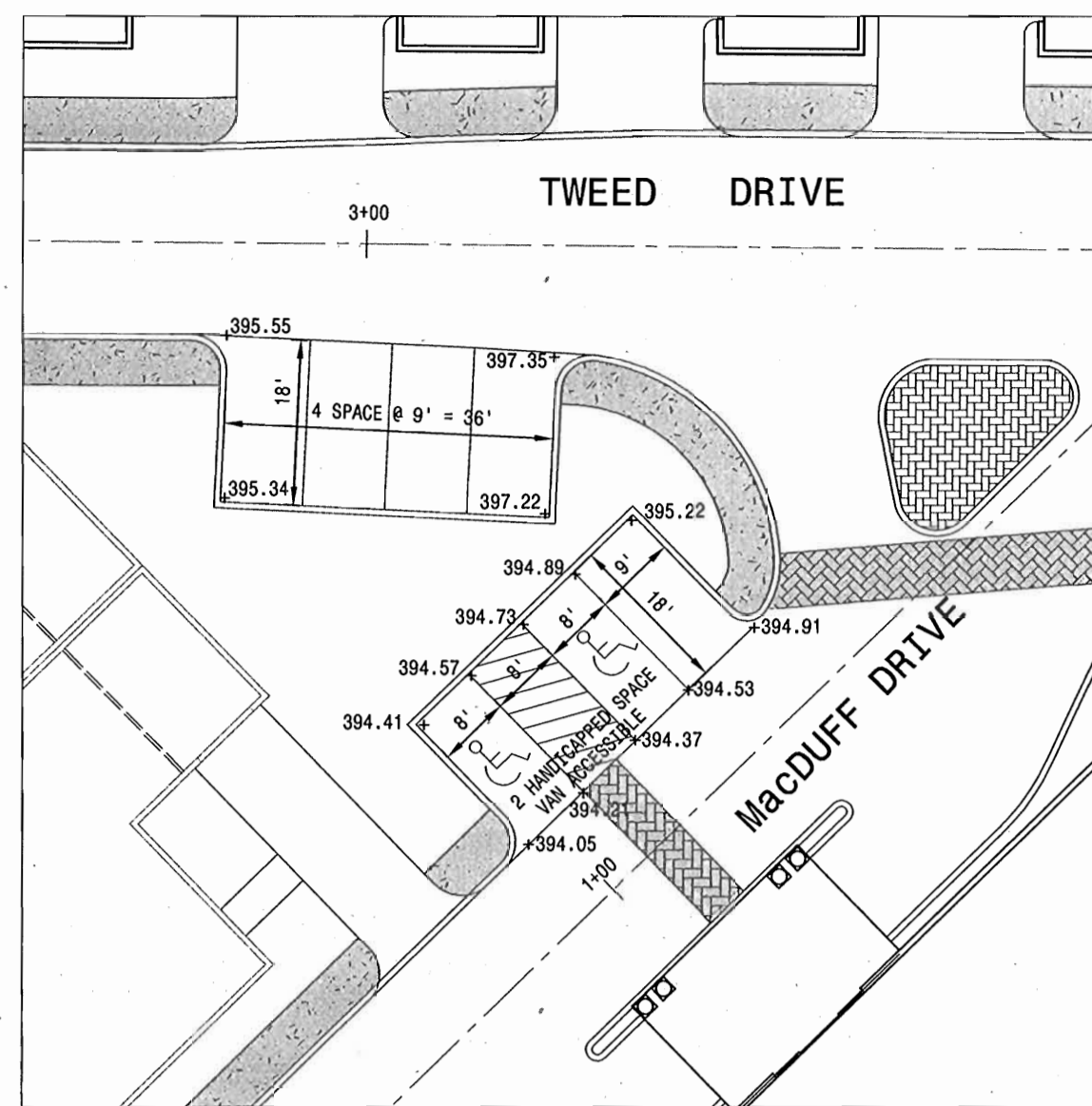
6/9/05 DATE

6/15/05 DATE

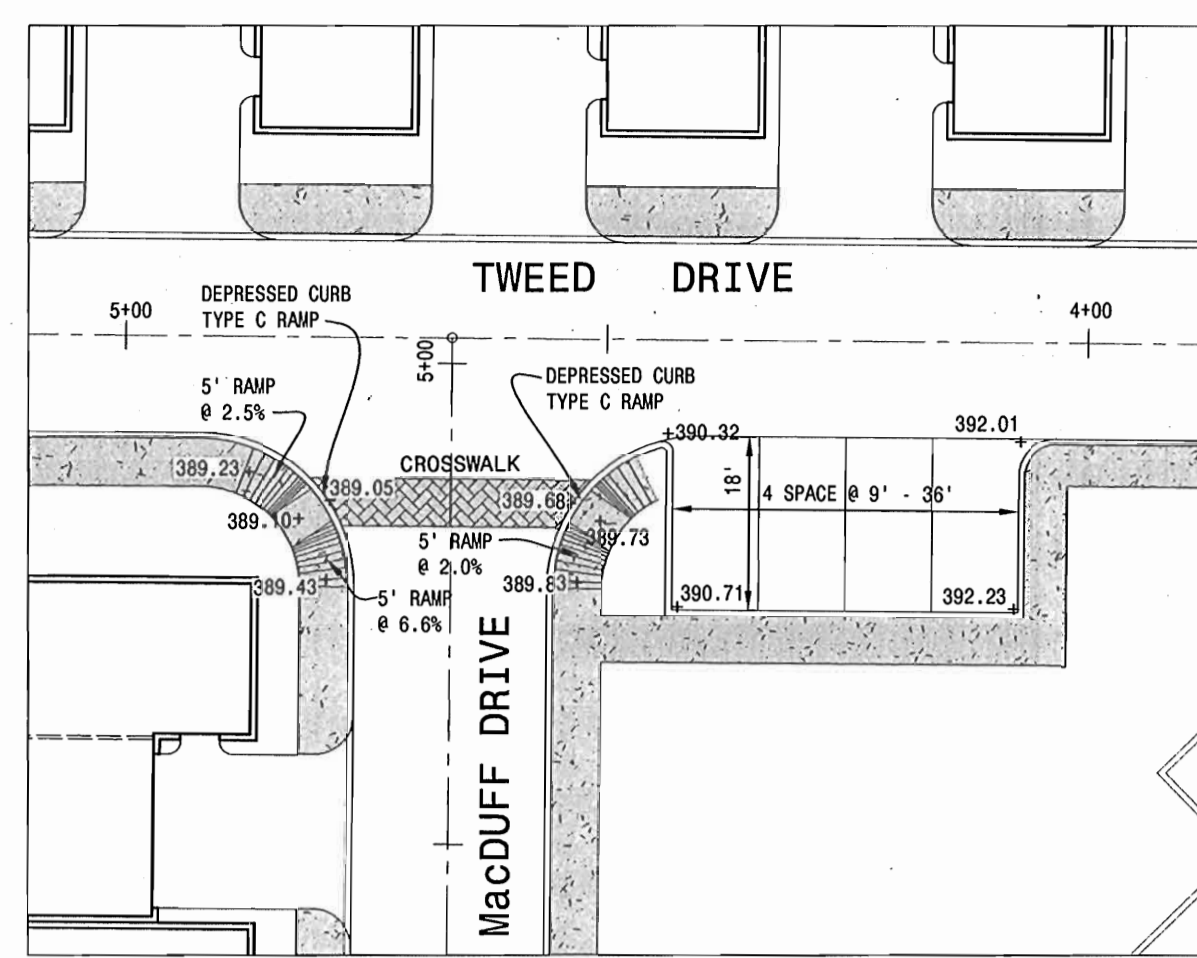
DATE: 04-13-05

SHEET 20 OF 25

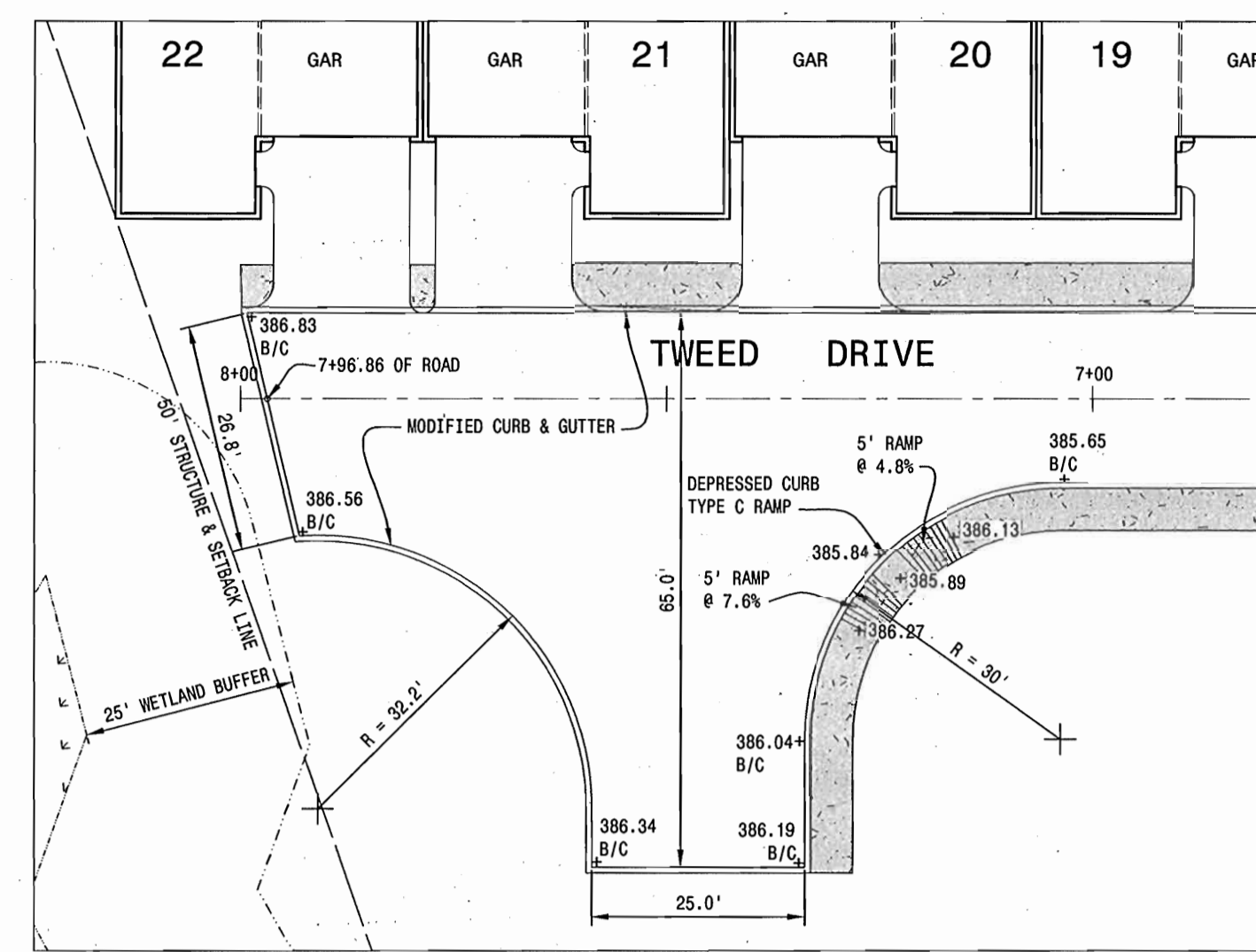
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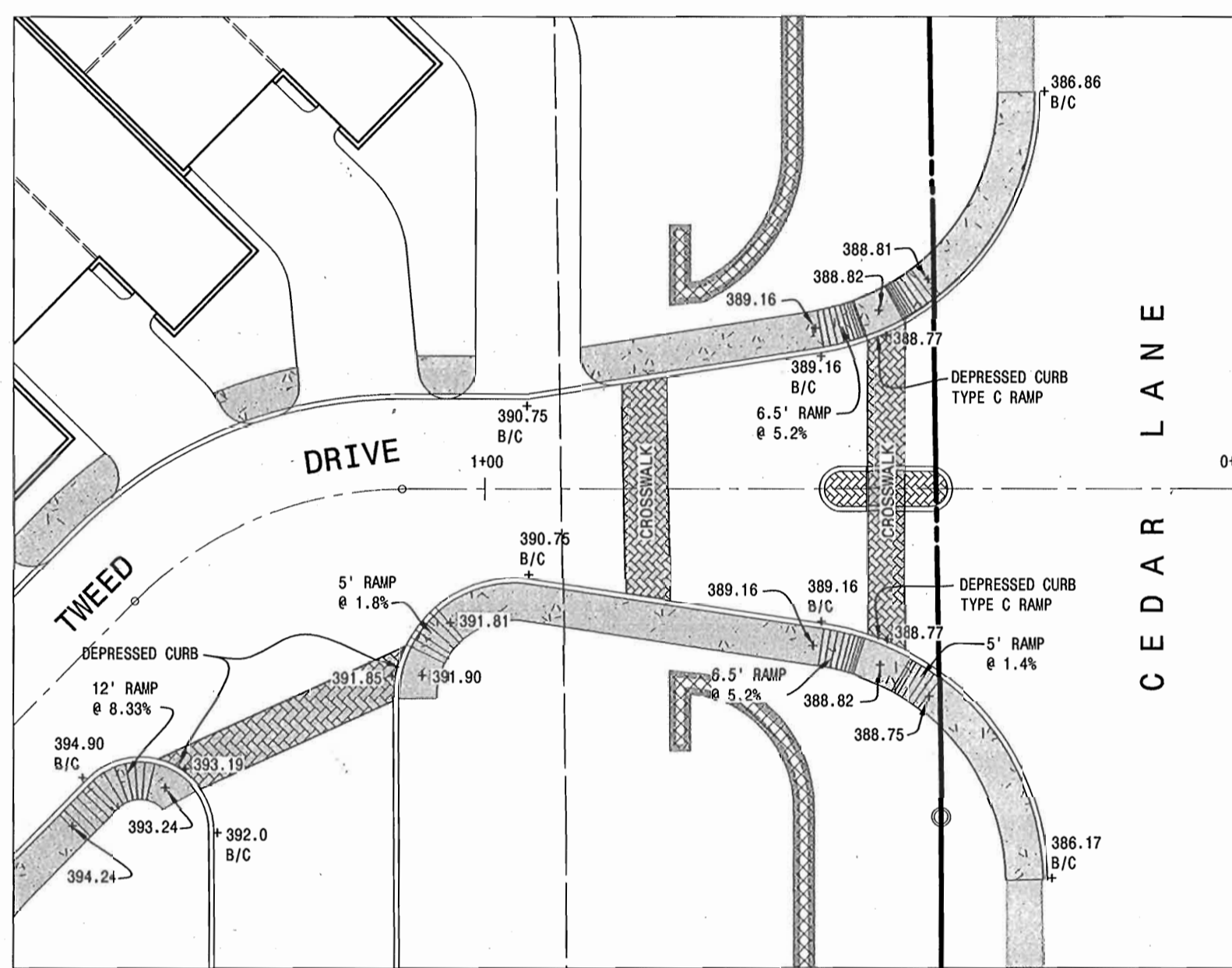
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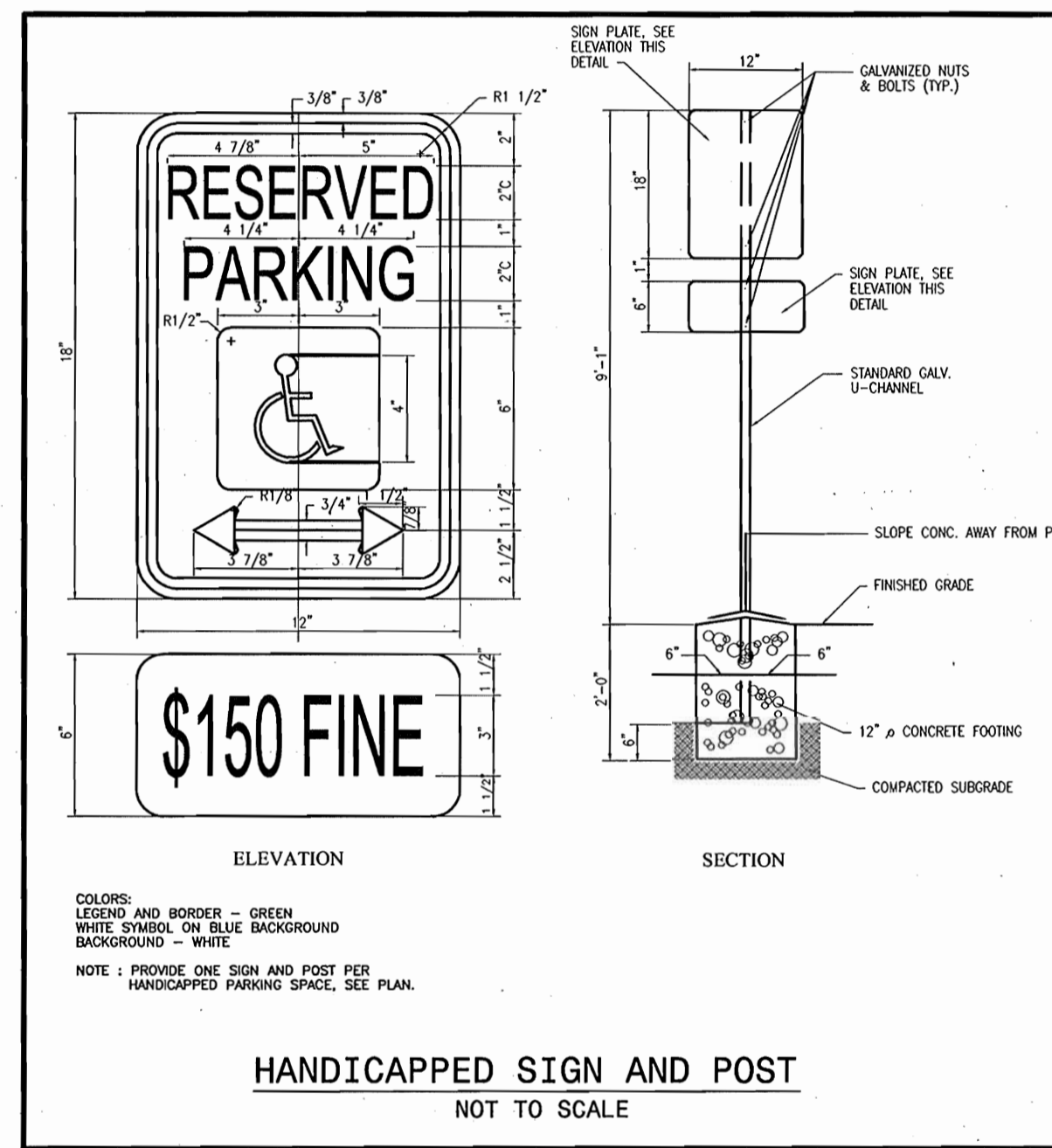
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SCALE: 1" = 20'



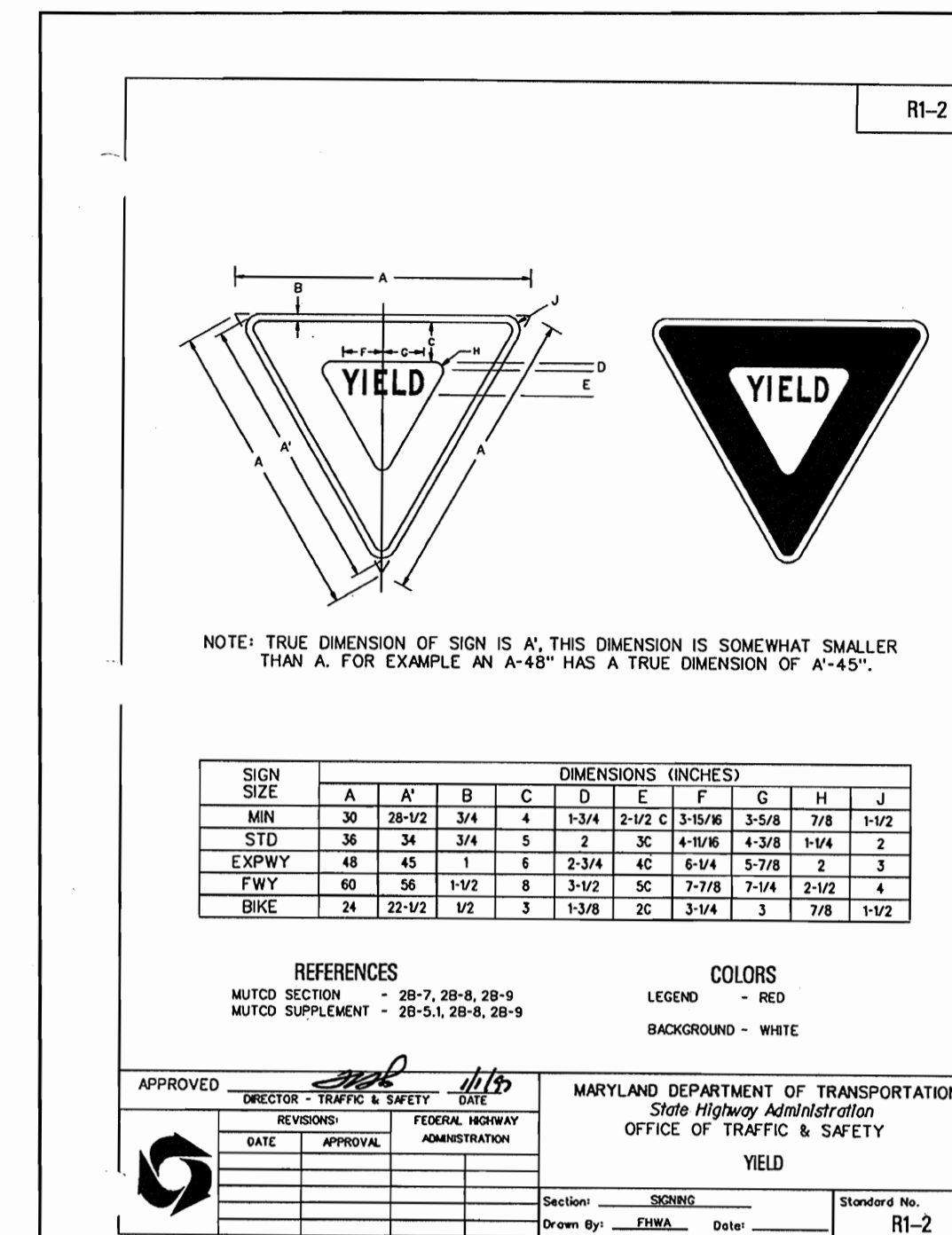
HANDICAPPED RAMP DETAIL  
SCALE: 1" = 20'



HANDICAPPED RAMP @ ENTRANCE DETAIL  
SCALE: 1" = 20'



HANDICAPPED SIGN AND POST  
NOT TO SCALE



NOTE: TRUE DIMENSION OF SIGN IS 'A'. THIS DIMENSION IS SOMEWHAT SMALLER THAN 'A'. FOR EXAMPLE AN 'A-48" HAS A TRUE DIMENSION OF 'A'-45".

SIGN SIZE	DIMENSIONS (INCHES)									
	A	A'	B	C	D	E	F	G	H	J
MIN	30	28-1/2	3/4	4	1-3/4	2-1/2	3-1/8	3-5/8	7/8	1-1/2
STD	36	34	3/4	5	2	3	4-1/8	4-3/8	1-1/4	2
EXPWY	48	45	1	8	2-3/4	4	6-3/4	5-7/8	2	3
FWY	60	56	1-1/2	8	3-1/2	5	7-7/8	7-1/4	2-1/2	4
BIKE	24	22-1/2	1/2	3	1-3/8	2	3-1/4	3	7/8	1-1/2

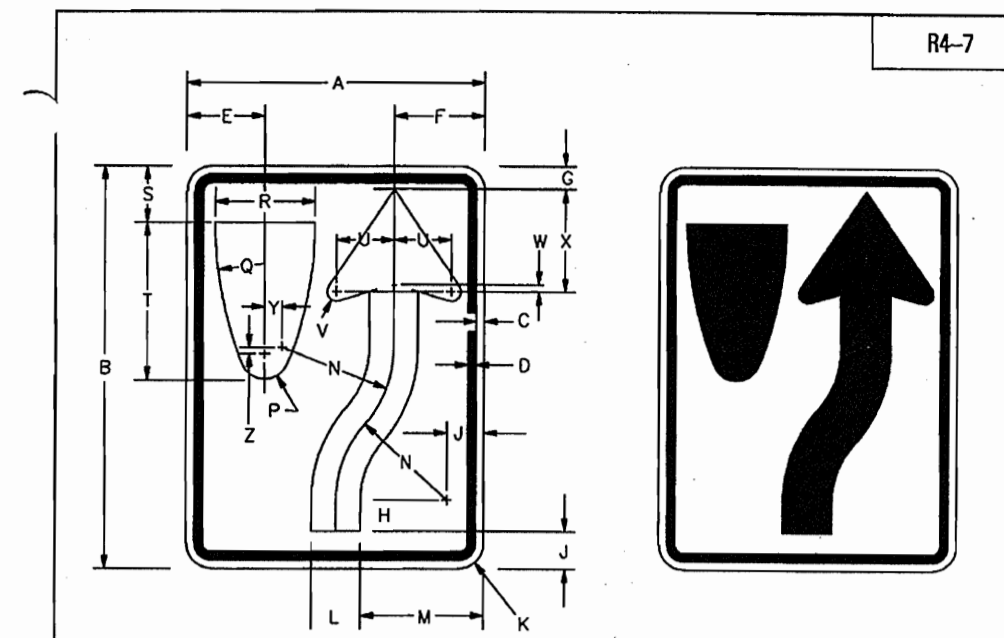
REFERENCES: MUTCD SECTION 2B-7, 2B-8, 2B-9; MUTCD SUPPLEMENT 2B-5.1, 2B-6, 2B-9

COLORS: LEGEND - RED; BACKGROUND - WHITE

APPROVED: DIRECTOR - TRAFFIC & SAFETY; MARYLAND DEPARTMENT OF TRANSPORTATION; State Highway Administration; OFFICE OF TRAFFIC & SAFETY

DATE: 1/15/05; APPROVAL: [Signature]; FEDERAL HIGHWAY ADMINISTRATION

Section: SIGNING; Standard No.: RI-2



SIGN SIZE	DIMENSIONS (INCHES)															
	A	B	C	D	E	F	G	H	J	K	L	M	N	P		
MIN	24	24	1/2	1/2	4-1/8	5-1/2	3/8	1-7/8	2-1/4	1-1/2	3	7-1/2	6-3/4	1-1/2		
STD	30	30	1/2	1/2	5-1/4	7-3/8	1/2	2-1/2	3	1-1/2	4	8	6	2		
EXPWY	36	36	3/4	3/4	6-3/8	9-3/8	1/2	3-1/4	4-1/2	2-1/4	4	10	8-1/2	3		
FWY	48	48	1	1	8-1/2	11-3/8	3/4	4-1/2	5-3/4	3	5	12	10	4		

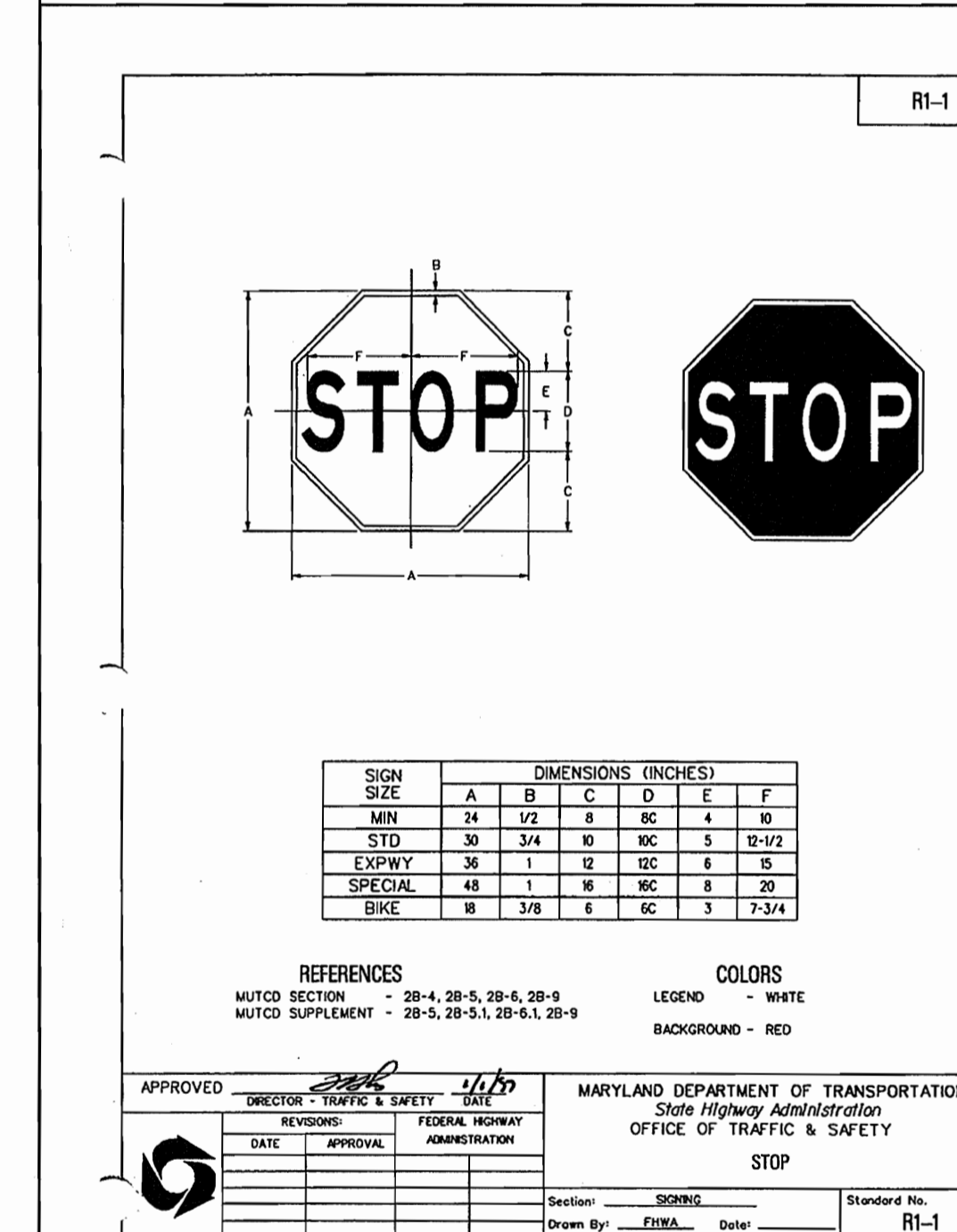
REFERENCES: MUTCD SECTION 2B-25; MUTCD SUPPLEMENT 2B-25

COLORS: LEGEND - BLACK; BACKGROUND - WHITE

APPROVED: DIRECTOR - TRAFFIC & SAFETY; MARYLAND DEPARTMENT OF TRANSPORTATION; State Highway Administration; OFFICE OF TRAFFIC & SAFETY

DATE: 1/15/05; APPROVAL: [Signature]; FEDERAL HIGHWAY ADMINISTRATION

Section: SIGNING; Standard No.: RI-7



SIGN SIZE	DIMENSIONS (INCHES)					
	A	B	C	D	E	F
MIN	34	1/2	8	6	4	10
STD	30	3/4	10	8	5	11-1/2
EXPWY	36	1	12	10	6	15
SPECIAL	48	1	18	16	8	20
BIKE	18	3/8	6	6	3	7-3/4

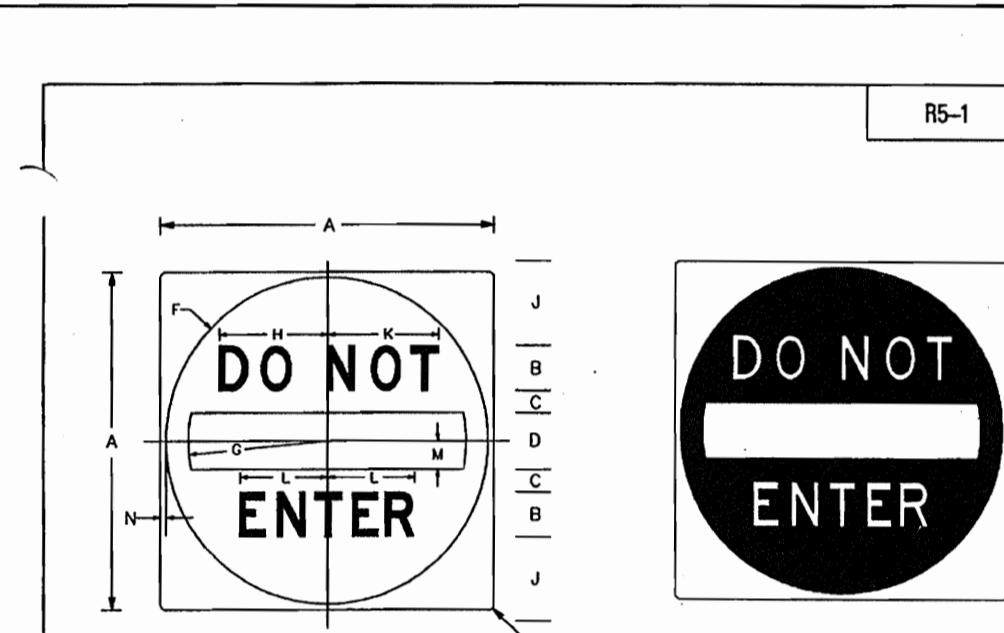
REFERENCES: MUTCD SECTION 2B-4, 2B-5, 2B-6, 2B-9; MUTCD SUPPLEMENT 2B-5, 2B-5.1, 2B-6.1, 2B-9

COLORS: LEGEND - WHITE; BACKGROUND - RED

APPROVED: DIRECTOR - TRAFFIC & SAFETY; MARYLAND DEPARTMENT OF TRANSPORTATION; State Highway Administration; OFFICE OF TRAFFIC & SAFETY

DATE: 1/15/05; APPROVAL: [Signature]; FEDERAL HIGHWAY ADMINISTRATION

Section: SIGNING; Standard No.: RI-1



SIGN SIZE	DIMENSIONS (INCHES)					
	A	B	C	D	E	F
STD	30	40	2	5	1-7/8	14-1/2
EXPWY	36	50	2-1/2	6	2-1/4	18-1/2
FWY	48	60	3	8	3	23-1/2

REFERENCES: MUTCD SECTION 2B-26; MUTCD SUPPLEMENT 2B-26

COLORS: LEGEND - WHITE; BACKGROUND - RED

APPROVED: DIRECTOR - TRAFFIC & SAFETY; MARYLAND DEPARTMENT OF TRANSPORTATION; State Highway Administration; OFFICE OF TRAFFIC & SAFETY

DATE: 1/15/05; APPROVAL: [Signature]; FEDERAL HIGHWAY ADMINISTRATION

Section: SIGNING; Standard No.: RI-1

PREPARED BY:  
**American Land Development and Engineering, Inc.**  
10749 BIRMINGHAM WAY, WOODSTOCK, MD 21163  
TEL. (410) 465-7903 FAX. (410) 465-3845

DATE: \_\_\_\_\_ REVISION \_\_\_\_\_ BY: \_\_\_\_\_

OWNERS: Paul L. Thompson  
Betty R. Thompson  
6436 Cedar Lane  
Columbia, MD 21044

DEVELOPER: Freetown, LLC.  
6258 Cardinal Lane  
Columbia, Md. 21044

ENGINEER'S CERTIFICATE  
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."  
[Signature] 4/15/05  
DATE

DEVELOPER'S CERTIFICATE  
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."  
[Signature] 1/14/05  
DATE



APPROVED: DEPARTMENT OF PLANNING AND ZONING  
[Signature] 5/5/05  
DATE

[Signature] 6/9/05  
DATE

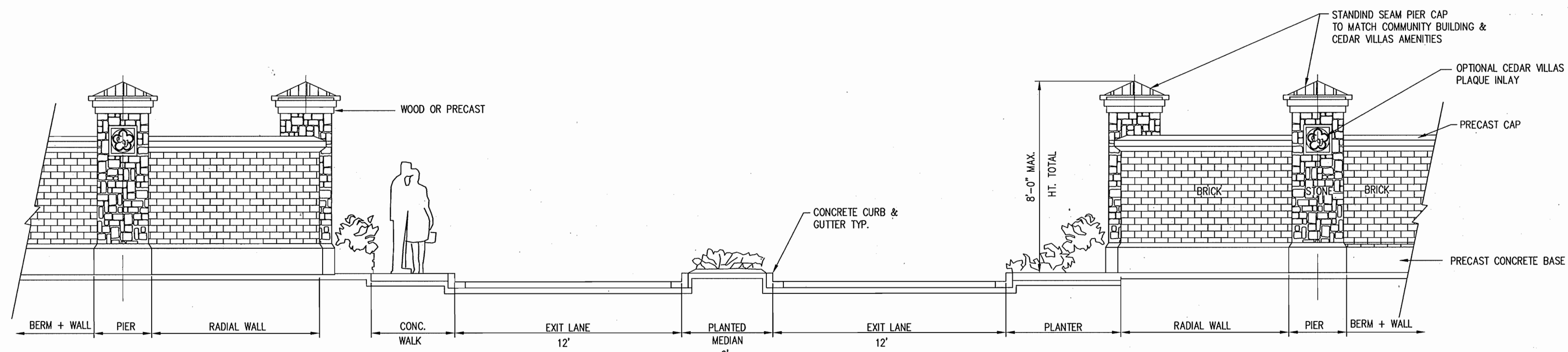
[Signature] 6/5/05  
DATE

TITLE: HANDICAPPED DETAILS / TRAFFIC SIGNS

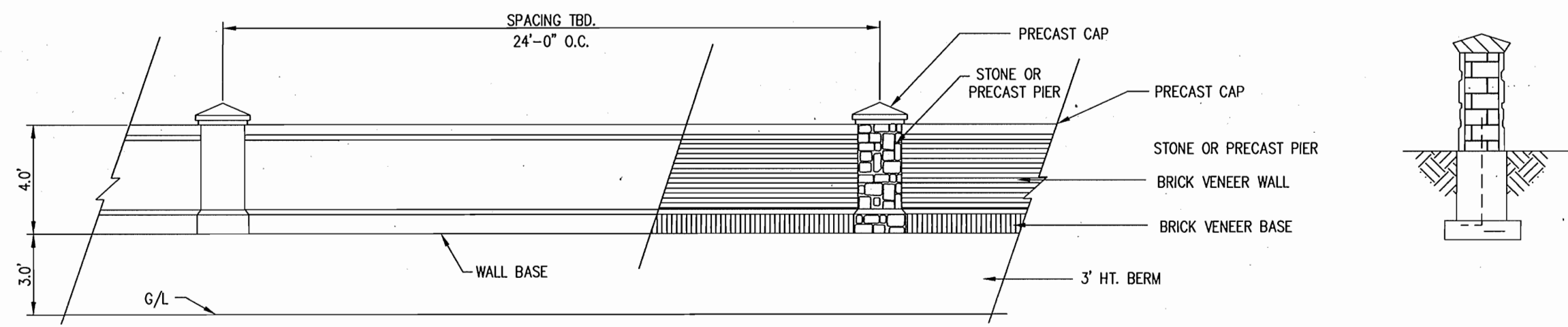
PROJECT NAME: SCOT'S GLEN SOUTH  
BUILDABLE BULK PARCEL "A" - UNITS 1 THRU 55 AND COMMUNITY CENTER  
PLANNED SENIOR COMMUNITY (PSC) - AGE RESTRICTED ADULT HOUSING  
A RESUBDIVISION OF PARCELS 224 AND 326  
HOWARD COUNTY, MARYLAND, 21044

S-04-05 PB CASE 363 ZB 1030M F-05-63

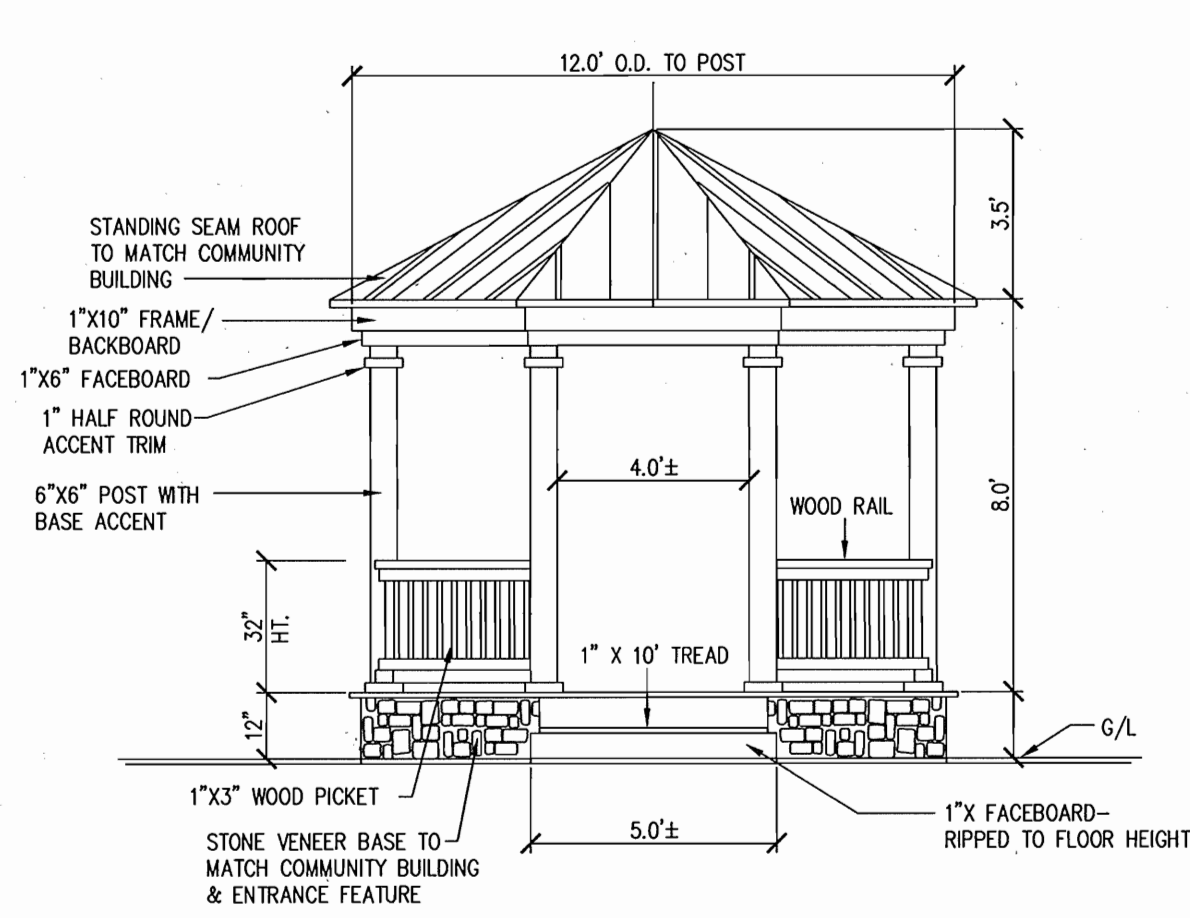
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DRW.: AVG CHK.: D.C.W. SCALE: AS SHOWN SHEET 21 OF 25



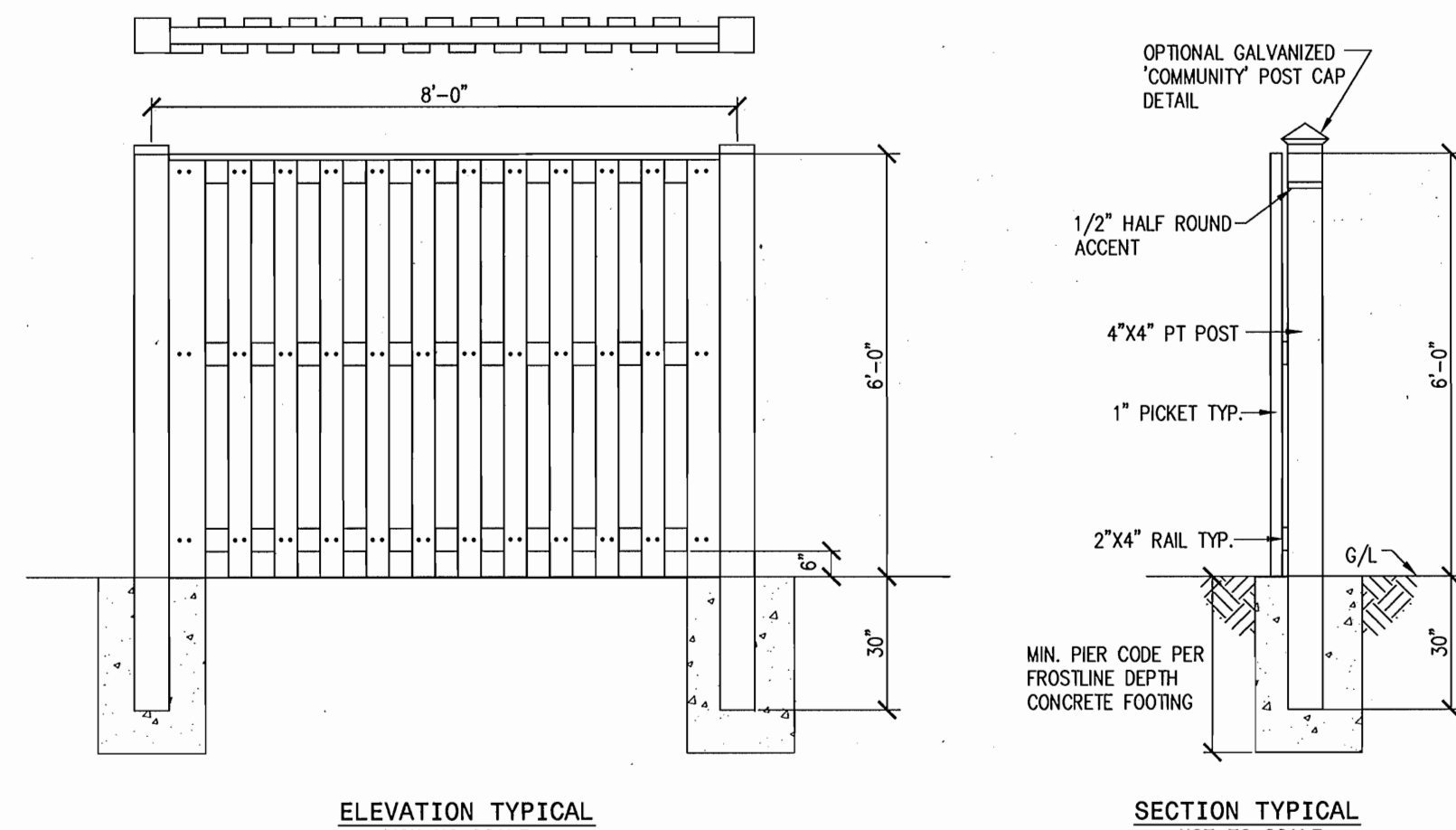
COMMUNITY ENTRANCE WALL ELEVATION (ALSO ACTS AS NOISE ABATEMENT)  
NOT TO SCALE



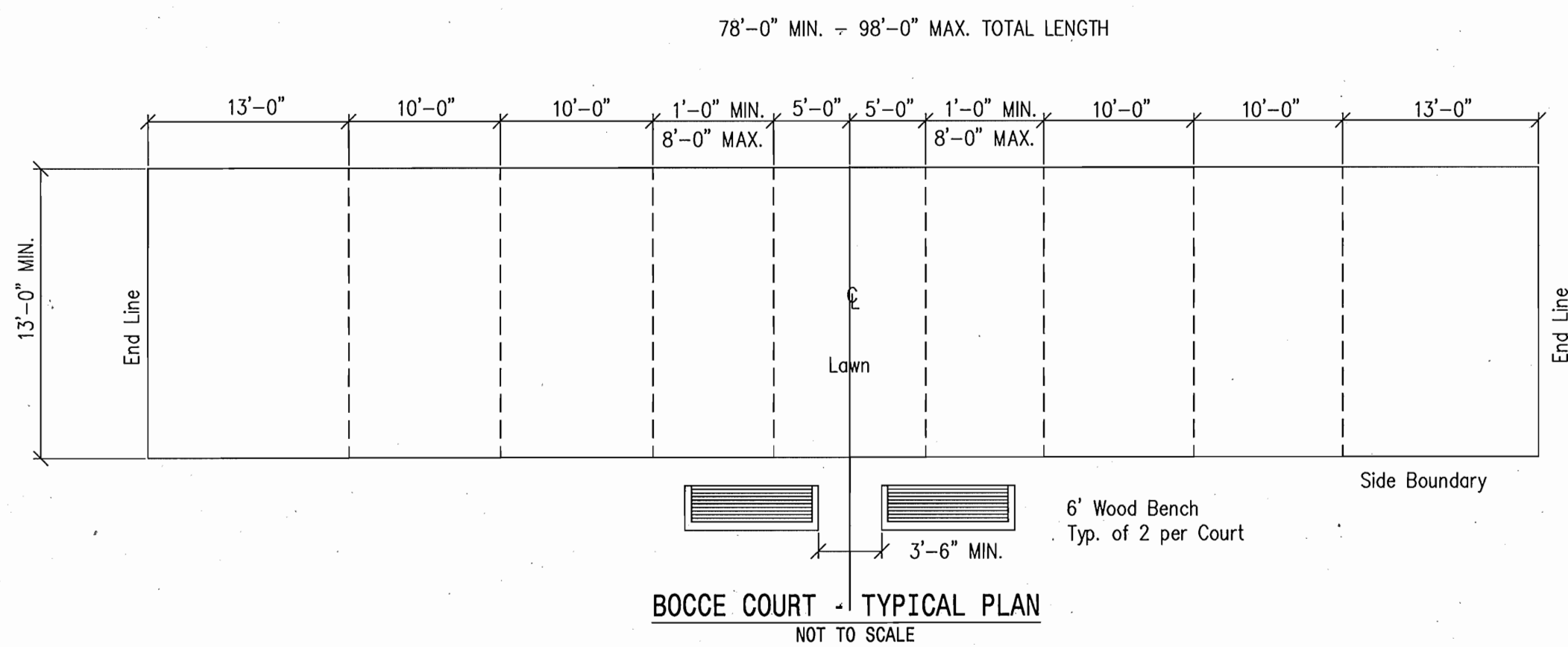
NOISE ABATEMENT WALL ELEVATION  
NOT TO SCALE



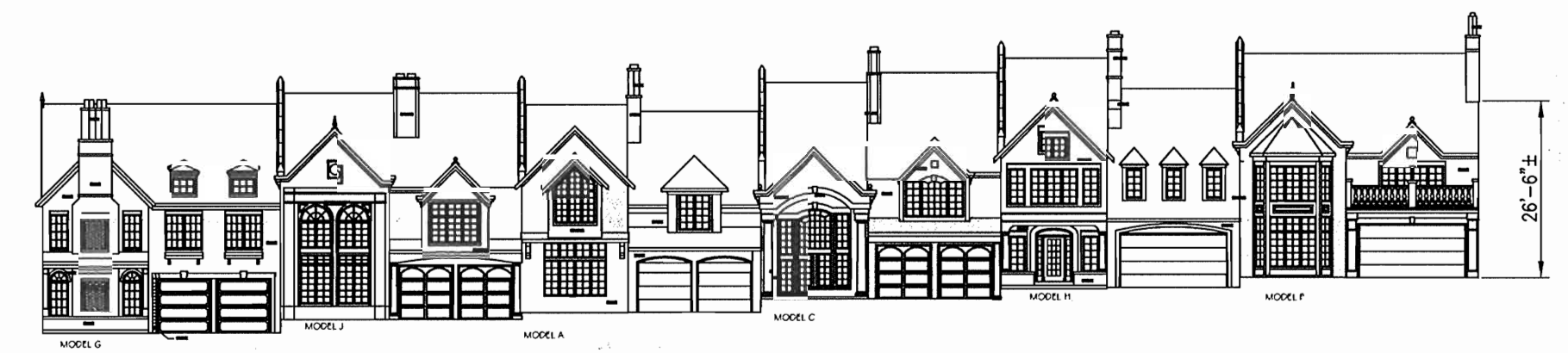
GAZEBO ELEVATION  
NOT TO SCALE



ELEVATION TYPICAL  
NOT TO SCALE  
CLOSED WOOD FENCE DETAIL - PERIMETER 2  
NOT TO SCALE



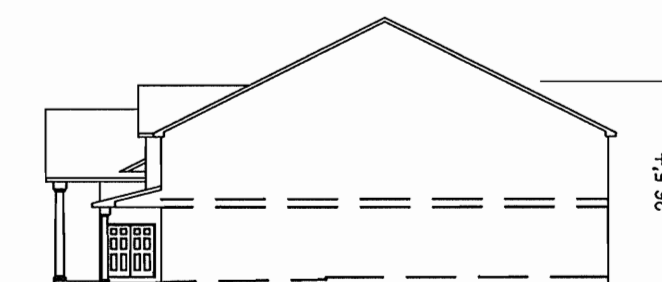
BOCCO COURT - TYPICAL PLAN  
NOT TO SCALE



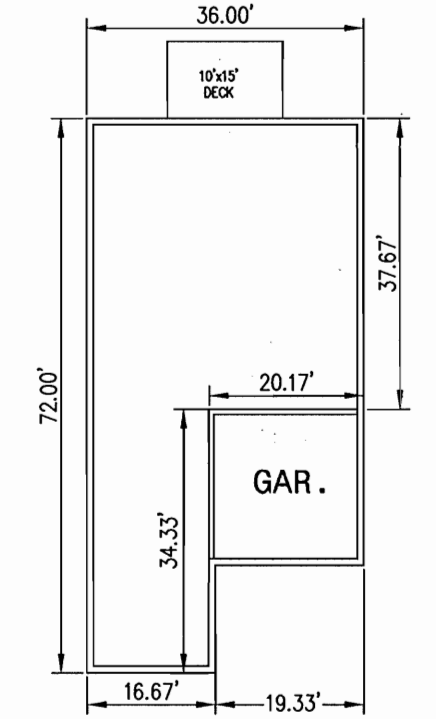
TYPICAL 6 UNIT BLOCK  
N.T.S.



TYPICAL VILLA UNIT (2 CAR GARAGE)  
FRONT ELEVATION  
N.T.S.



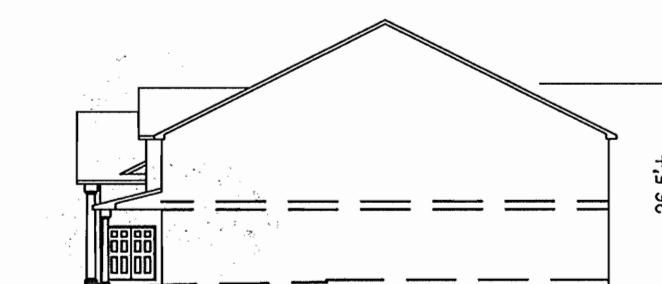
SIDE ELEVATION  
N.T.S.



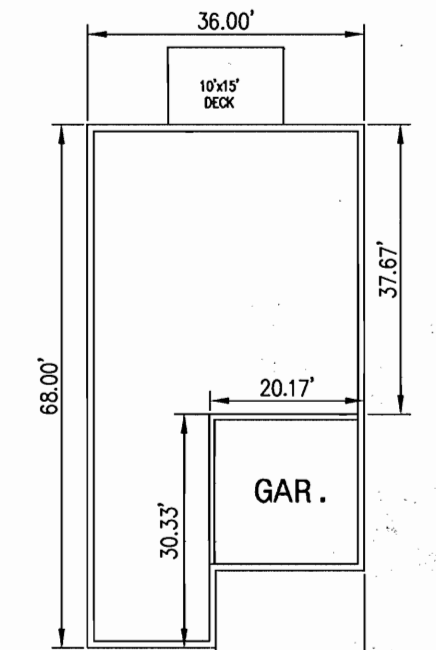
FOOT PRINT  
N.T.S.



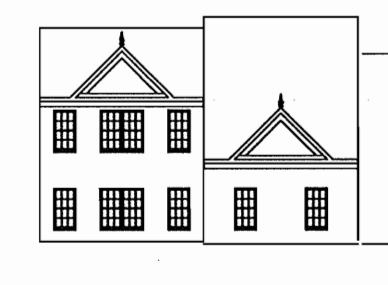
FRONT ELEVATION  
N.T.S.



SIDE ELEVATION  
N.T.S.



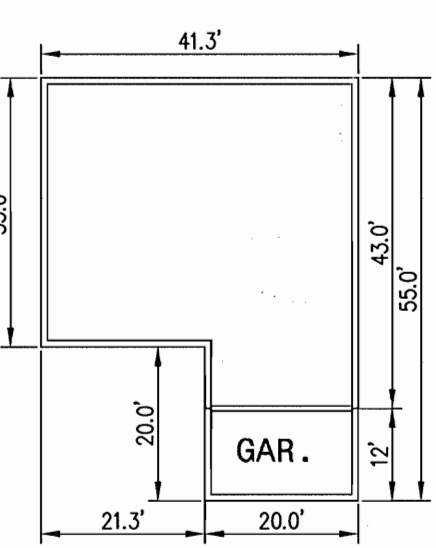
FOOT PRINT  
N.T.S.



FRONT ELEVATION  
N.T.S.



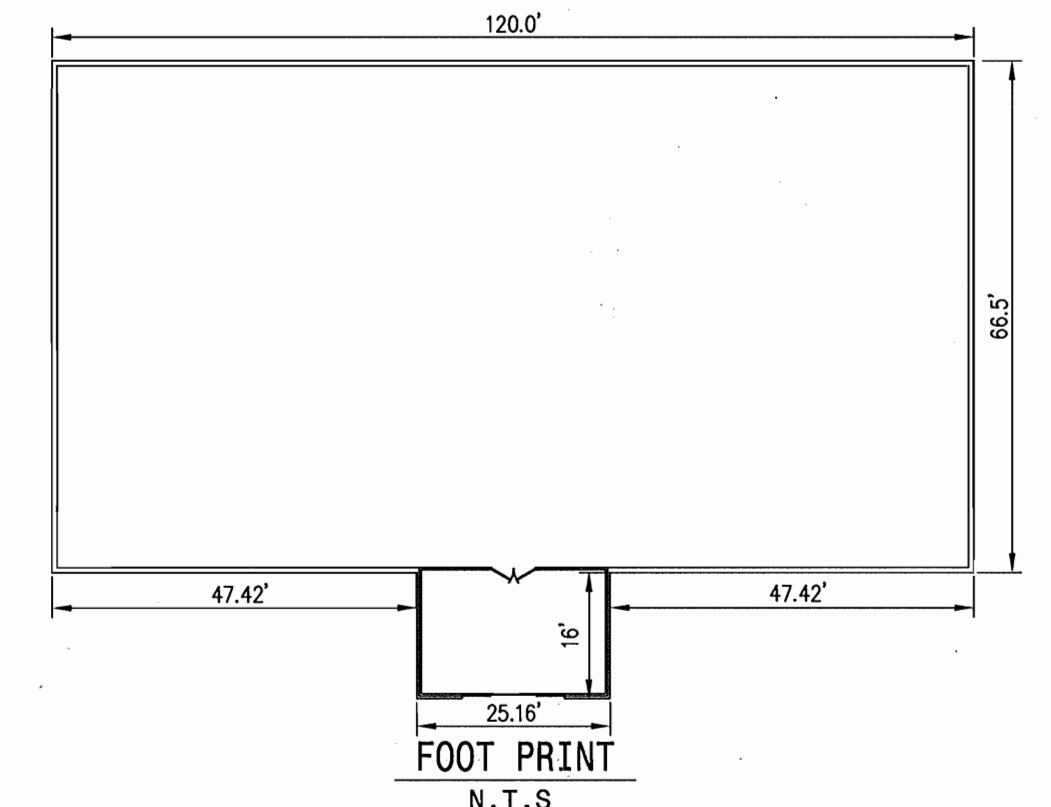
SIDE ELEVATION  
N.T.S.



FOOT PRINT  
N.T.S.



FRONT ELEVATION  
N.T.S.



FOOT PRINT  
N.T.S.

PREPARED BY:  
**American Land Development and Engineering, Inc.**

10749 BIRMINGHAM WAY, WOODSTOCK, MD 21163  
TEL. (410) 465-7903 FAX. (410) 465-3845

OWNERS: Paul L. Thompson, Betty R. Thompson, 6436 Cedar Lane, Columbia, MD 21044  
DEVELOPER: Freetown, LLC, 6258 Cardinal Lane, Columbia, Md. 21044

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."  
Signature: David C. Woessner, DATE: 4/15/05

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."  
Signature: Dale Thompson, DATE: 4/19/05



APPROVED: DEPARTMENT OF PLANNING AND ZONING

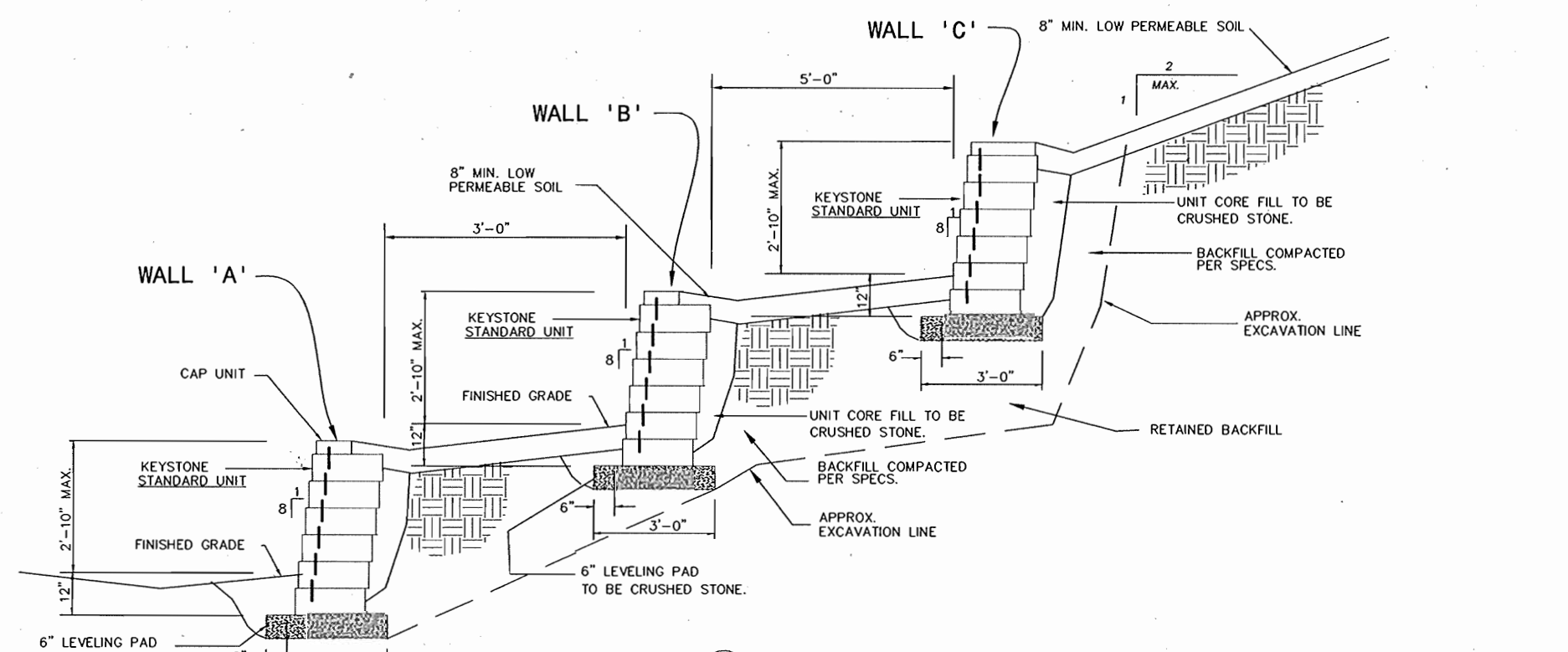
Signature: Michael J. Damm, DATE: 5/5/05  
Signature: Cindy Kemnitz, DATE: 6/1/05  
Signature: David DeCarlin, DATE: 6/1/05

TITLE: ENTRANCE FEATURES AND BUILDING ELEVATIONS AND DETAILS

PROJECT NAME: SCOT'S GLEN SOUTH  
BUILDABLE BULK PARCEL "A" - UNITS 1 THRU 55 AND COMMUNITY CENTER  
PLANNED SENIOR COMMUNITY (PSC) - AGE RESTRICTED ADULT HOUSING  
A RESUBDIVISION OF PARCELS 224 AND 326  
HOWARD COUNTY, MARYLAND, 21044  
S-04-05 PB CASE 363 ZB 1030M F-05-63

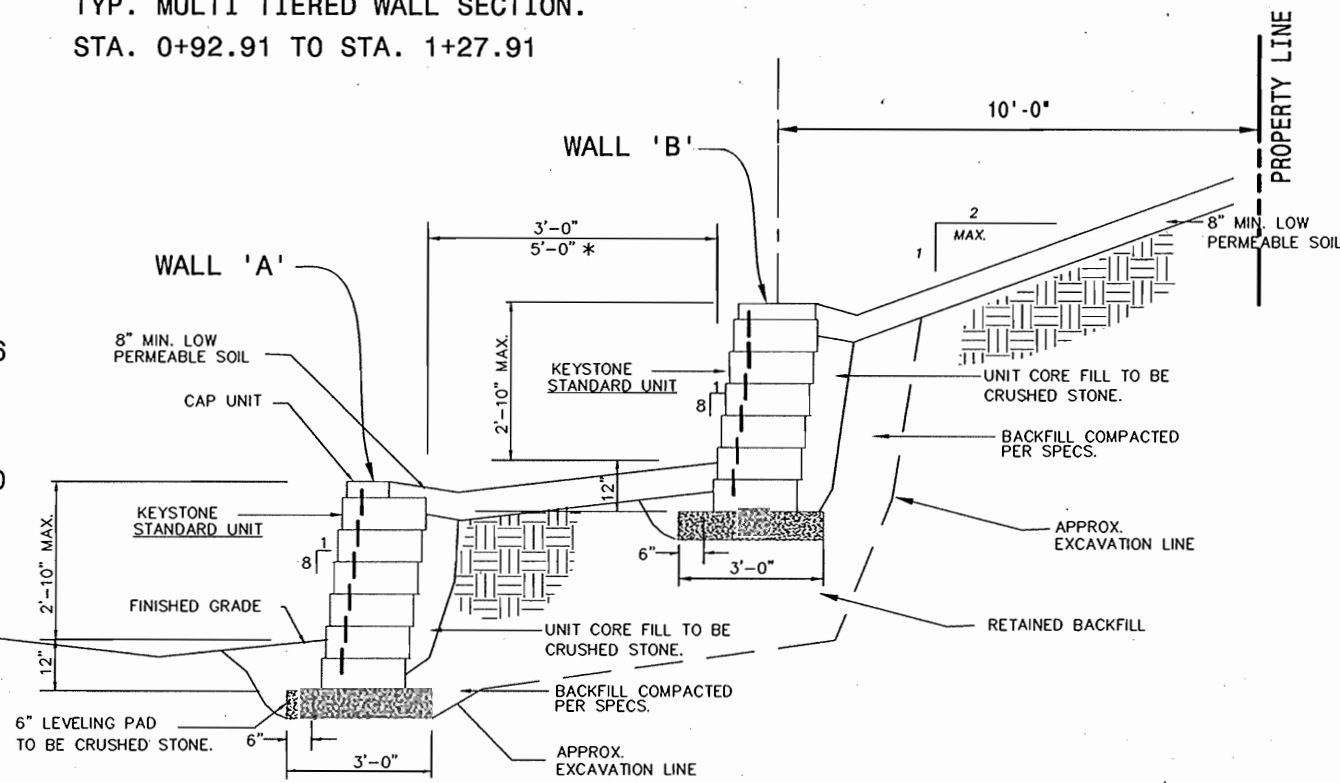
DES.: AVG JOB: PROJ.: DATE: 04-13-05  
DRW.: AVG CHK.: D.C.W. SCALE: AS SHOWN SHEET 22 OF 25



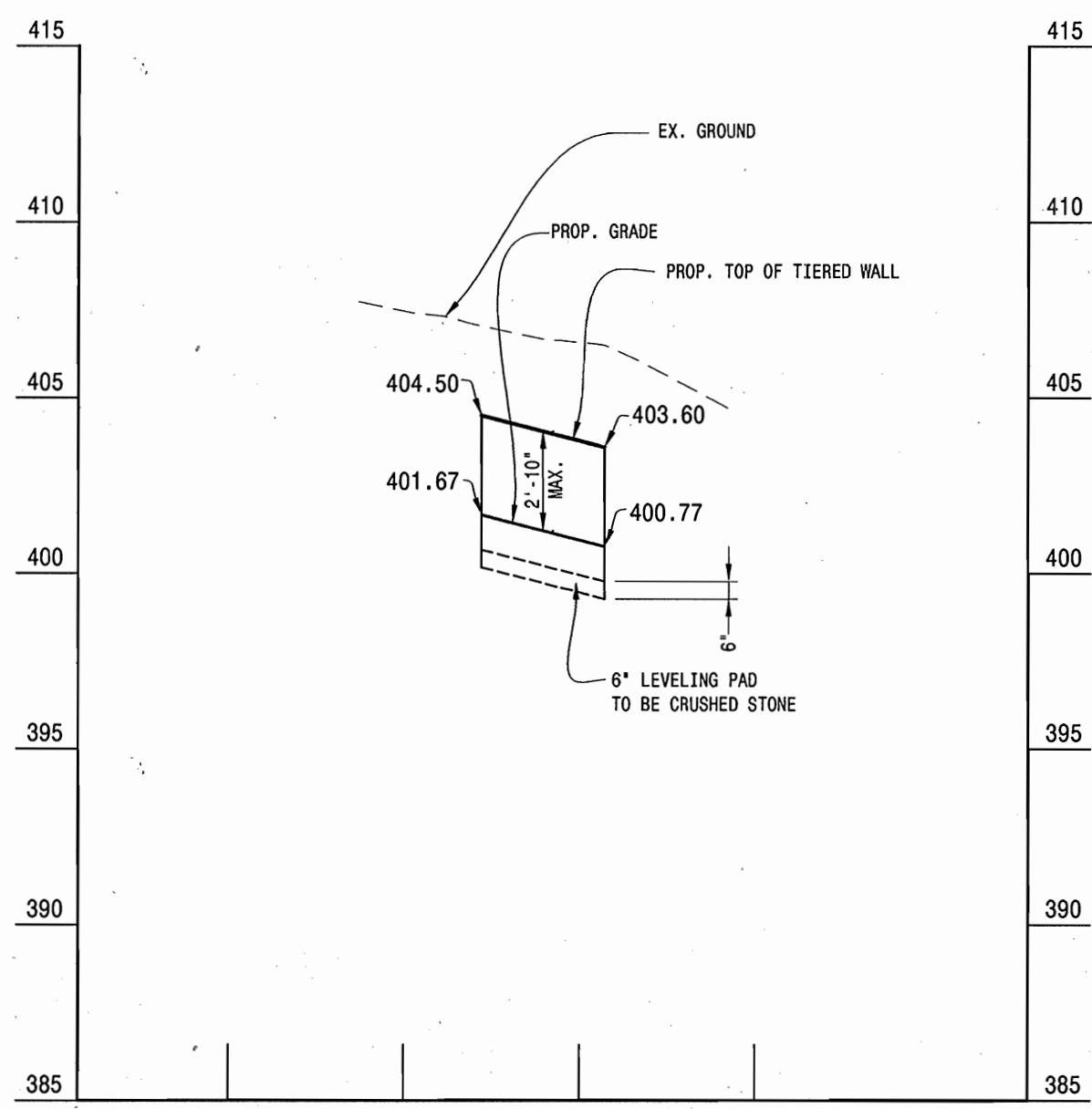


SECTION 2 1/4" = 1'-0"  
TYP. MULTI TIERED WALL SECTION.  
STA. 0+92.91 TO STA. 1+27.91

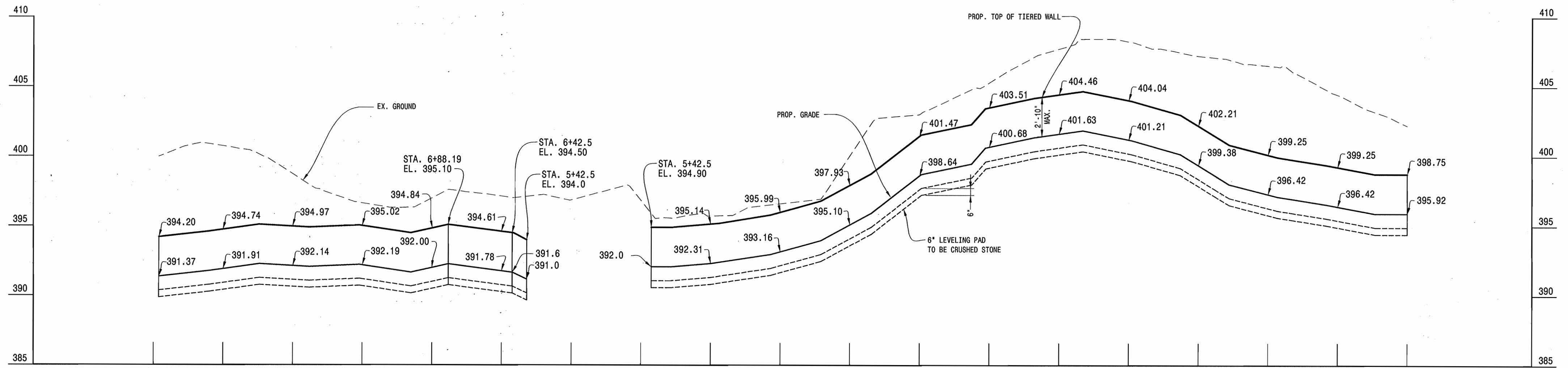
- NOTES:
- FOR TIERED WALL STATIONS SEE DIMENSION PLAN SHEET 5 OF 25.
  - GEGRID NOT REQUIRED FOR TIERED WALLS. SEE DUNLAP ENG'G INC. COMPS DATED 6/24/04 SHEET 1 OF 6
  - THE SOILS ENGINEER TO ASSURE THE ACTUAL FOUNDATION SOIL STRENGTH MEETS OR EXCEEDS ASSUMED DESIGN STRENGTHS MUST EXAMINE FOUNDATION SOILS.
  - THE PROPOSED CONSTRUCTION OF THE RETAINING WALL SHALL BE PERFORMED UNDER THE OBSERVATION OF A MARYLAND REGISTERED PROFESSIONAL ENGINEER.



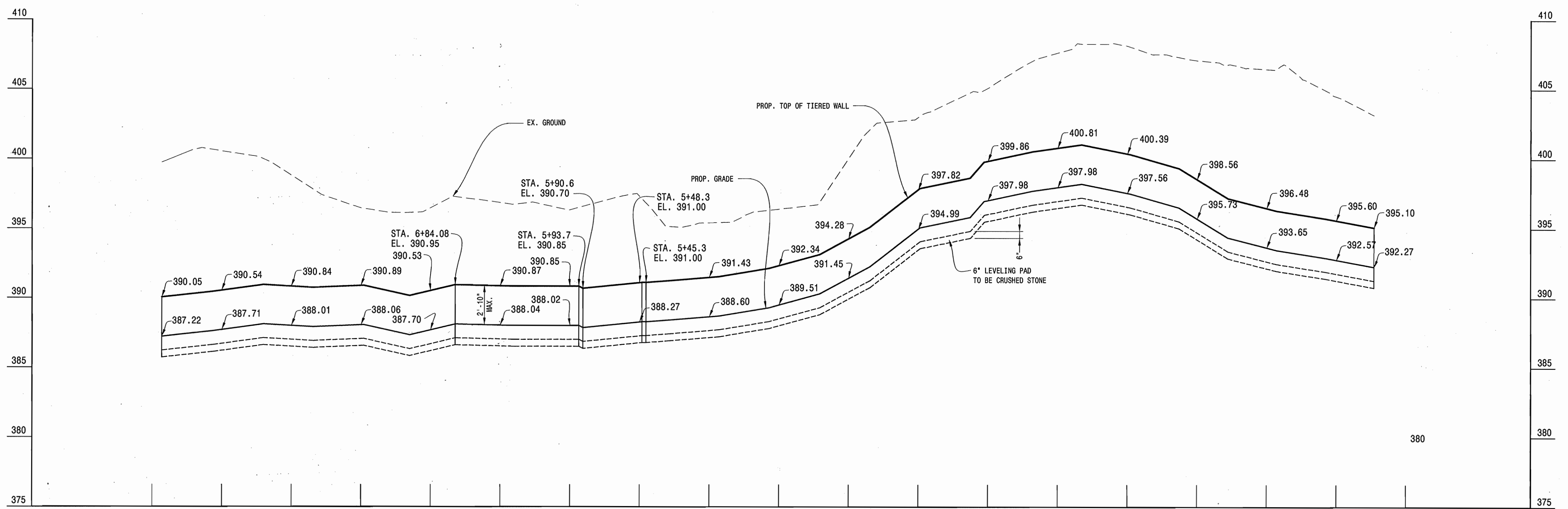
SECTION 1 1/4" = 1'-0"  
TYP. TIERED WALL SECTION.  
STA. 0+00.00 TO STA. 0+92.91  
STA. 1+27.91 TO STA. 6+88.19  
\* STA. 6+88.19 TO STA. 8+96.17



TIERED WALL 'C' - PROFILE  
SCALE: 1" = 50' HOR.  
1" = 5' VER.



TIERED WALL 'B' - PROFILE  
SCALE: 1" = 50' HOR.  
1" = 5' VER.



TIERED WALL 'A' - PROFILE  
SCALE: 1" = 50' HOR.  
1" = 5' VER.

PREPARED BY:

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Signature of Engineer (Print Name Below Signature): *David C. Woessner*  
DATE: 4/15/05

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

Signature of Developer (Print Name Below Signature): *Dale Thompson*  
DATE: 4/15/05



APPROVED: DEPARTMENT OF PLANNING AND ZONING

Signature: *Michael J. ...*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

5/5/05  
DATE

Signature: *Chris Hamilton*  
CHIEF, DIVISION OF LAND DEVELOPMENT

6/4/05  
DATE

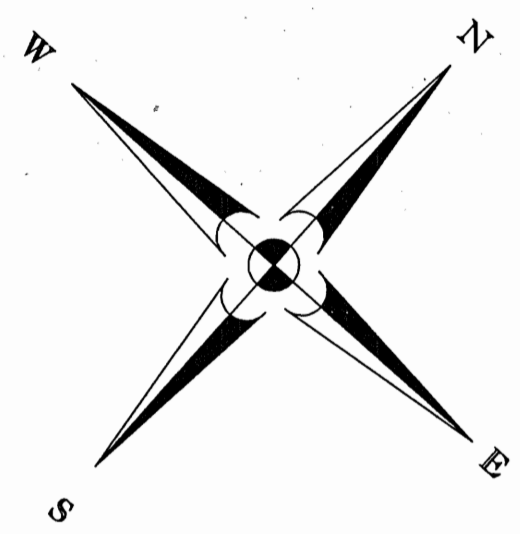
Signature: *Michael J. ...*  
DIRECTOR - DEPARTMENT OF PLANNING AND ZONING

6/3/05  
DATE

TITLE: **RETAINING WALL DETAILS (NORTH) / MULTI TIERED WALL**

PROJECT NAME: **SCOT'S GLEN SOUTH**  
BUILDABLE BULK PARCEL "A" - UNITS 1 THRU 55 AND COMMUNITY CENTER  
PLANNED SENIOR COMMUNITY (PSC) - AGE RESTRICTED ADULT HOUSING  
A RESUBDIVISION OF PARCELS 224 AND 326  
HOWARD COUNTY, MARYLAND. 21044  
S-04-05 PB CASE 363 ZB 1030M F-05-63

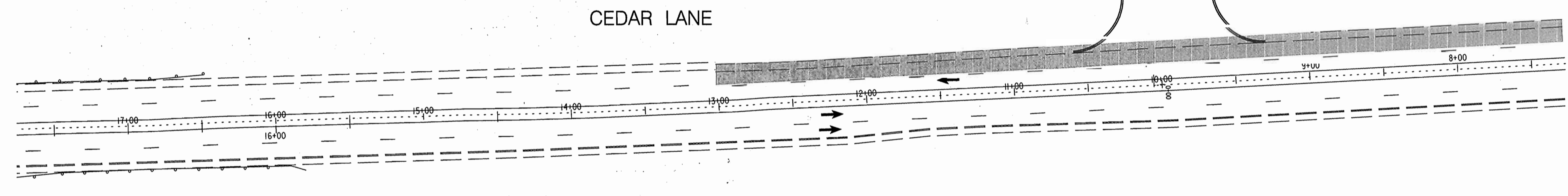
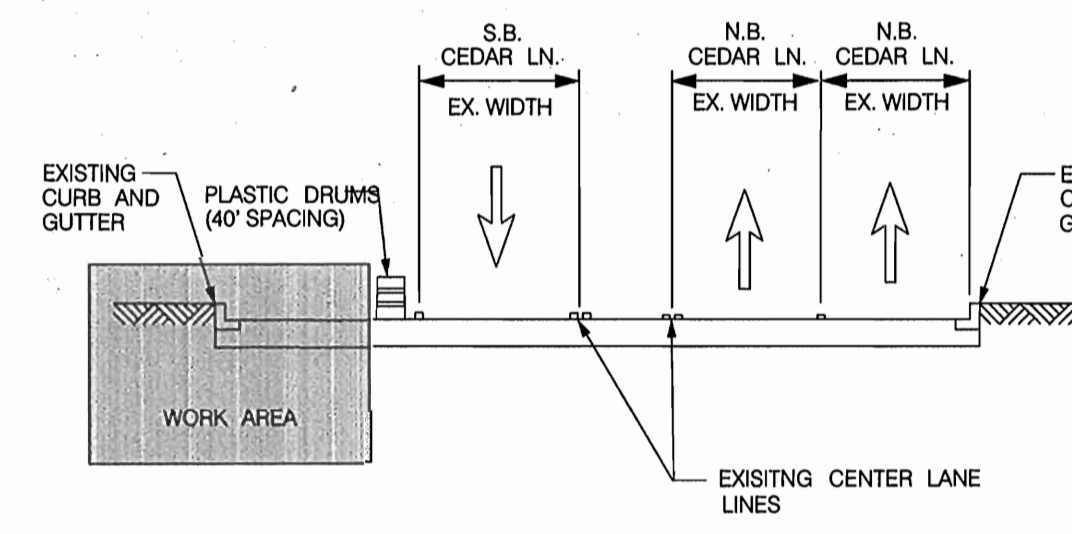
DES.: AVG	JOB:	PROJ.:	DATE: 04-13-05
DRW.: AVG	CHK.: D.C.W.	SCALE:	SHEET 23 OF 25



CONSTRUCT PROPOSED ACCESS FROM STA. 7+50 TO 13+00 WHILE MAINTAINING TRAFFIC IN ACCORDANCE WITH MSHA TRAFFIC CONTROL TYPICAL MD 104.03.06.

PROPOSED ACCESS

TYPICAL SECTION  
STATION 10+00 TO 32+00



I. General Requirements

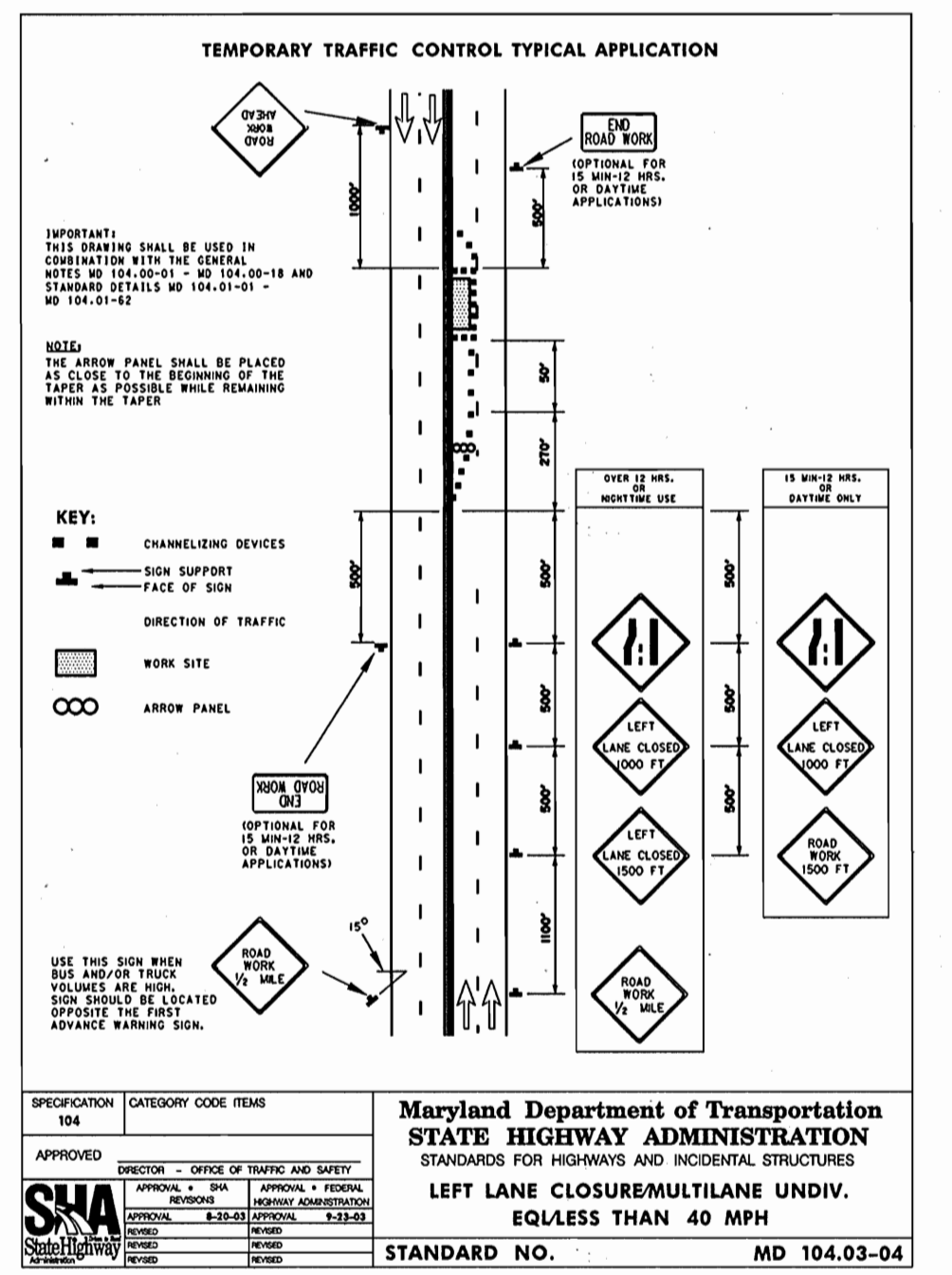
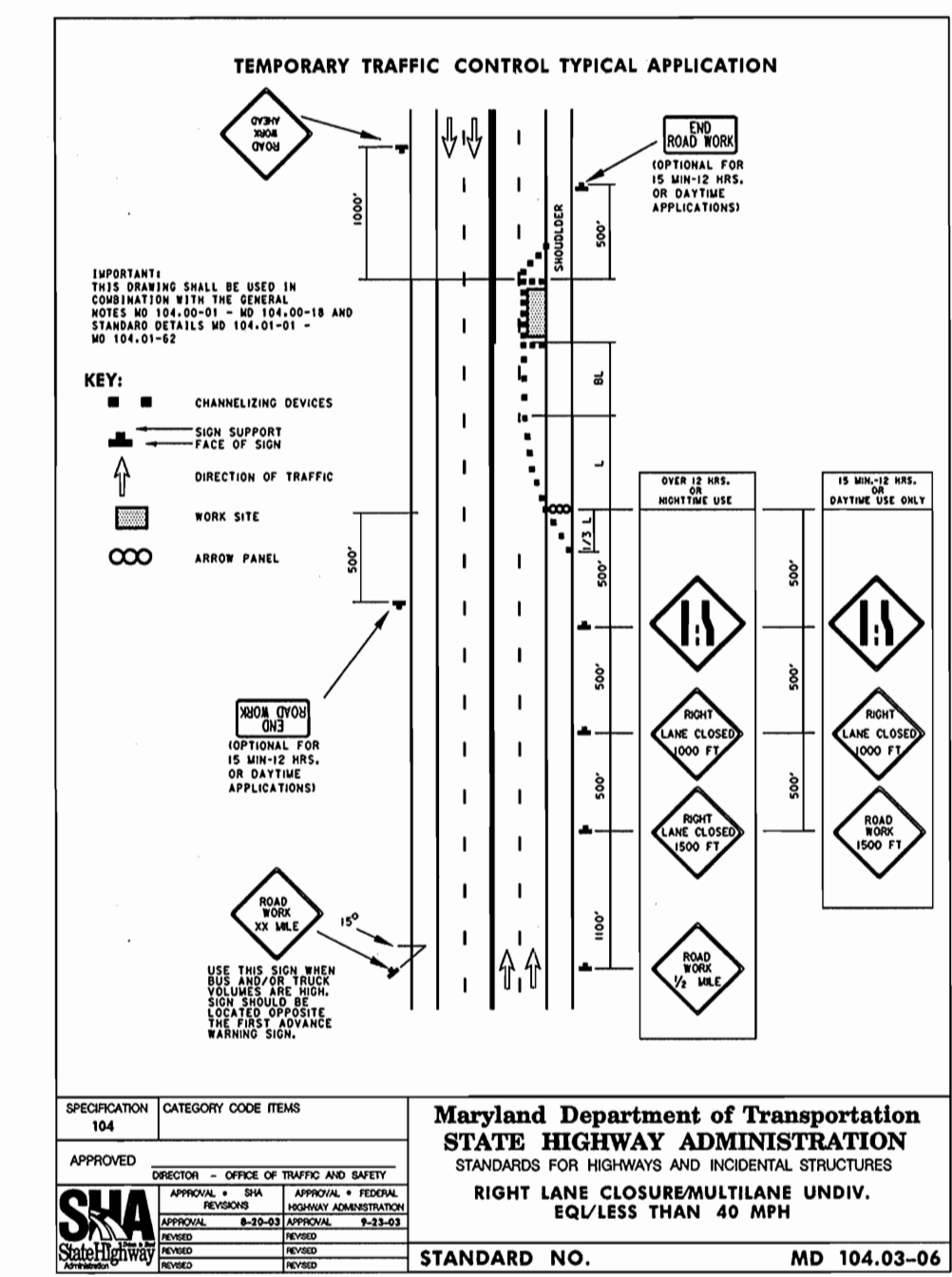
Each phase of construction, including the follow up restoration operations shall be provided with appropriate work zone traffic controls. The contractor will be solely responsible for all accidents and/or damage to persons and/or property damage resulting from his operations. The contractor shall refer to the attached Traffic Control Plan (TCP) drawings to select the appropriate work zone traffic controls for each phase of construction. Work zone situations which are not addressed in the attached TCP shall conform to the guidelines set forth in Section 6 of the MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (MUTCD), most recent edition. The Inspector has the authority to modify the TCP as deemed necessary. The Inspector has the authority to order the contractor to stop work and vacate the public right-of-way if the TCP is not complied with. Road closures of any duration shall require the submission of a written request to the Inspector with justification as to why work activity cannot occur while traffic is being maintained. Road closure shall require additional traffic controls including advance notification, approach, and detour signage, as approved by the Inspector. All sidewalk closures shall require the approval of the Inspector. Any sidewalk closure greater than two (2) weeks shall require the submission of a written request to the Inspector and may require additional traffic controls. Sidewalk closures shall be limited to occur only during the actual work activity. During closure, sidewalks shall be barricaded to physically prevent pedestrian passage and appropriate pedestrian detours shall be posted. During all other times, provisions for safe pedestrian access through the work area via a temporary walkway shall be provided. Any work within the traveled portion of roadways shall be restricted to the hours of 9:00 AM to 4:00 PM, Monday through Friday. Construction activity, loading or unloading of equipment shall not block any traffic lane other than those delineated within the work zone. Exclusive of emergency work, the permittee shall contact occupants of all adjoining properties and inform them of the scope and timing of construction. A minimum of 24 hours notification shall be required prior to the commencement of any activity on the site. Access shall be maintained to all driveways unless permission for closure is granted by the property owner/manager. However, accessibility for emergency vehicles shall be maintained at all times. Pavement excavation shall be limited to a maximum of one travel lane at any time unless otherwise specified on the TCP. Hazardous materials shall not be stored within public right-of-way.

All existing traffic control devices (i.e., signs, marking, etc.) that must be removed shall be replaced in their proper location prior to the completion of the project. Cost for the replacement and/or repair of devices damaged as a result of the project shall be assessed to the contractor. All traffic control devices shall conform to the most recent edition of the MUTCD. The implementation date and continuance of work activities may be altered at the discretion of the Inspector in the event of conflicts with previously approved or emergency activities. At the completion of work activities, conditions within the public space shall be fully restored to those that existed prior to the work activity.

TRAFFIC CONTROL REQUIREMENTS

II. Specific Requirements

\* BEGIN INSTALLING SEWER AS SHOWN ON THE APPROVED SEWER PLANS. SEWER EXCAVATIONS TO BE BACKFILLED AS THE CONSTRUCTION COMMENCES WITH NO MORE THAN 100 LF OF EXCAVATION OPEN AT ONE TIME. ALL EXCAVATION WILL BE BACKFILLED AT THE END OF THE WORK DAY. When possible, two-way traffic shall be maintained, otherwise, flaggers shall be used to control traffic with appropriate signage. At least one 10-foot travel lane shall be available for traffic at all times in each direction. Provisions shall be made for safe maintenance of pedestrian and bicycle traffic, subject to approval of the Inspector. Installation of Traffic Control Devices Signage, traffic drums, traffic cones, and arrow panels shall be placed in accordance with the appropriate typical and spacing chart. All signs, traffic drums and cones shall be fully reflectorized with high intensity, reflective sheeting as per the MUTCD. Appropriate distances for sign legends are "AHEAD", "500 FT.", "1000 FT.", "1500 FT.", or "1/2 MILE". For distances less than 500 feet, "AHEAD" shall be used. All warning signs, unless otherwise specified, shall be a minimum of 48" x 48", black symbol or legend on orange background and diamond shaped. All portable signs shall be mounted a minimum of one (1) foot above the level of the roadway, with higher mounting heights desirable. All warning signs not applicable to the actual situation shall be removed or covered during non-applicable periods. Work Area Ahead (W20-1 modified) signs must be installed at the end of each roadway when temporary aggregate ramping is implemented. Reflectorized traffic drums or cones shall be used to delineate the work zone. These channelizing devices shall be placed in accordance with the typicals and spacing chart. Additionally, channelizing devices shall be placed along excavations at ten (10) foot intervals. During nighttime operations reflectorized traffic drums should be used. However, for emergency work activities where traffic drums are not readily available, reflectorized traffic cones that are a minimum of twenty eight (28) inches in height and having six (6) inch and four (4) inch reflective color within the top sixteen (16) inches of the cone may be used. All work areas left unattended at night shall be delineated with reflectorized traffic drums. Flashing Arrow Panels shall be used at the beginning of any lane closure on a multi-lane roadway. When temporary concrete barrier (TCB) is used, reflectorized markers are required as per TCP 109.02. Also, a 12" x 36" object marker (vertical panel as per TCP 109-01) shall be installed. When pavement markings have been obliterated by the work activity, the contractor shall install any artificial interim pavement markings prior to the end of the workday as specified by the Inspector. On road sections that are not scheduled to be overlaid, all temporary pavement markings shall be (removed) detour grade marking tape. Any conflicting markings, which need to be temporarily removed, are to be masked using "3M Removable Block Lane Mask" or an approved equal. On road sections that are to be overlaid, temporary markings can be either tape or paint. Any conflicting markings should be removed with a pavement grinder.



**TRAFFIC CONCEPTS, INC.**  
325 Gambrells Road  
Suite E  
Gambrells, MD 21054  
(410) 923-7101  
FAX (410) 923-6473 EMAIL: TRACONCEPT@AOL.COM

PREPARED BY:  
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DATE	REVISION	BY

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Columbia, Md. 21044

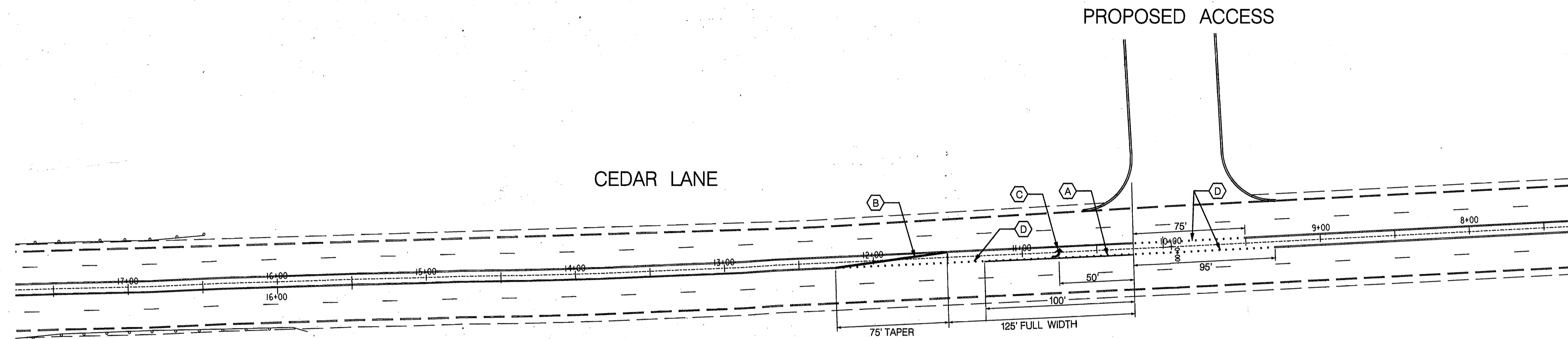
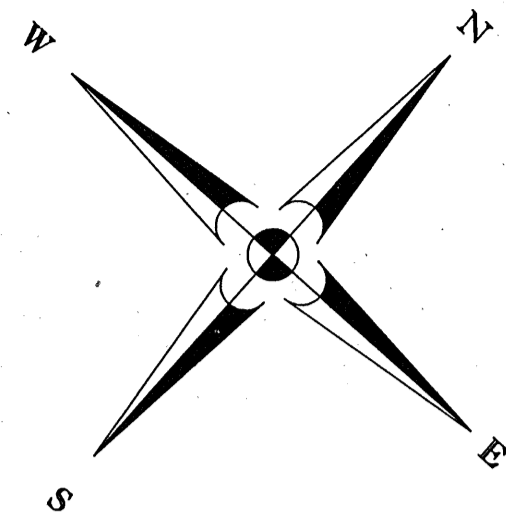
ENGINEER'S CERTIFICATE  
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."  
*David Williams* 2/6/05  
SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE)

DEVELOPER'S CERTIFICATE  
"I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE REVISION BY THE HOWARD SOIL CONSERVATION DISTRICT."  
*David Williams* 2/6/05  
SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE)

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Condy Hemster* 5/6/05  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
*Frank de Weger* 4/9/05  
DIRECTOR - DEPARTMENT OF PLANNING AND ZONING

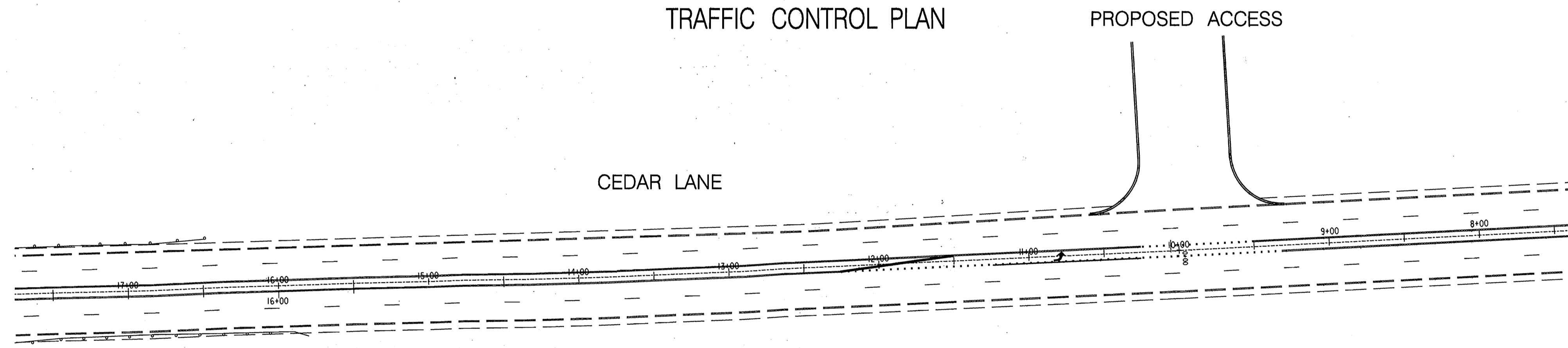
TITLE: **TRAFFIC CONTROL PLAN**  
PROJECT NAME: **SCOT'S GLEN SOUTH**  
BUILDABLE BULK PARCEL "A" - UNITS 1 THRU 55 AND COMMUNITY CENTER  
PLANNED SENIOR COMMUNITY (PSC) - AGE RESTRICTED ADULT HOUSING  
A RESUBDIVISION OF PARCELS 224 AND 328  
HOWARD COUNTY, MARYLAND, 21044  
S-04-05 PB CASE 363 ZB 10300M F-05-03  
SDP-04-162  
DES: M.HOWELL JOB: PROJ: DATE: 1994  
DRW: M.HOWELL CHK: SCALE: 50 SHEET 24 OF 25

PAVEMENT MARKING PLAN

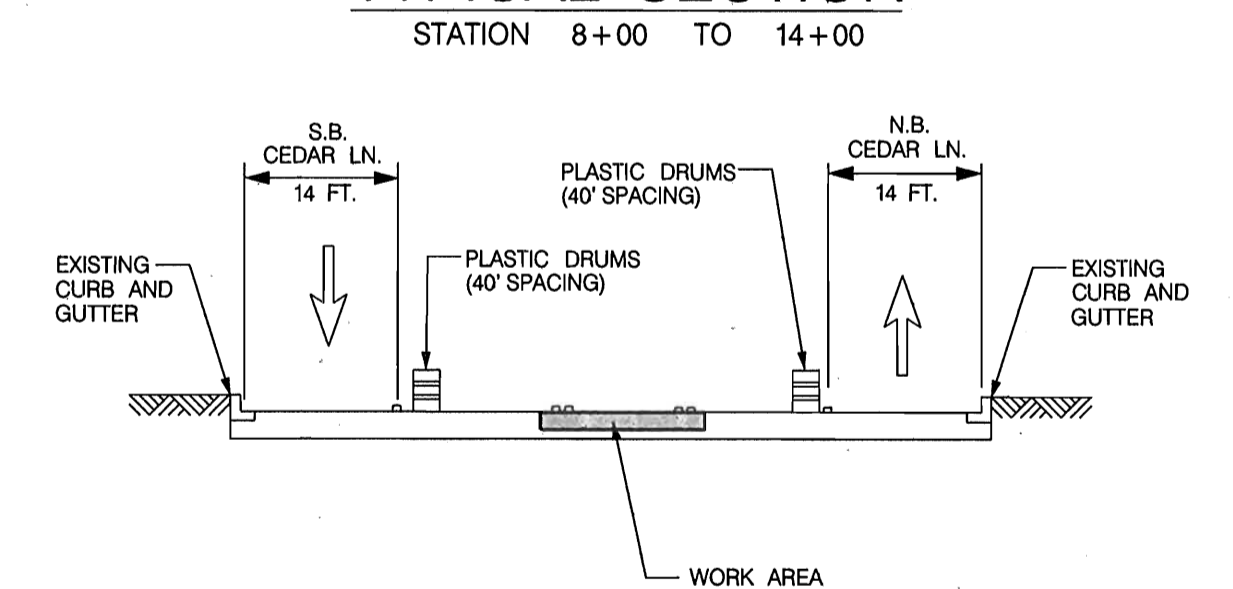


- CONSTRUCTION DETAILS
- A. INSTALL 5 IN. WHITE PAVEMENT MARKING
  - B. INSTALL 5 IN. DOUBLE YELLOW PAVEMENT MARKING
  - C. INSTALL PAVEMENT MARKING ARROW
  - D. EXISTING PAVEMENT MARKING TO BE REMOVED BY GRINDING (---)

TRAFFIC CONTROL PLAN



TYPICAL SECTION



CONSTRUCT PROPOSED ACCESS PAVEMENT MARKING FROM STA. 8+00 TO 14+00 WHILE MAINTAINING TRAFFIC IN ACCORDANCE WITH MSHA TRAFFIC CONTROL TYPICAL MD 104.03.04.

**TRAFFIC CONCEPTS, INC.**  
 325 Gambrills Road  
 Suite E  
 Gambrills, MD 21054  
 (410) 923-7101  
 FAX (410) 923-6473 EMAIL TRACONCEPT@AOL.COM

PREPARED BY :

American Land Development  
 and Engineering, Inc.

10749 BIRMINGHAM WAY, WOODSTOCK, MD 21163  
 TEL (410) 465-7903 FAX (410) 465-3845

DATE	REVISION	BY

OWNERS : Paul L. Thompson  
 Betty R. Thompson  
 6436 Cedar Lane  
 Columbia, MD 21044

DEVELOPER : Freetown PSC, LLC.  
 6258 Cardinal Lane  
 Columbia, Md. 21044

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*David Wilson*  
 SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE) DATE 2/1/05

DEVELOPER'S CERTIFICATE

"WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT."

*[Signature]*  
 SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE) DATE 4/14/05



APPROVED: DEPARTMENT OF PLANNING AND ZONING

*[Signature]*  
 CHIEF DEVELOPMENT ENGINEERING DIVISION

*[Signature]*  
 CHIEF DIVISION OF LAND DEVELOPMENT

*[Signature]*  
 DIRECTOR - DEPARTMENT OF PLANNING AND ZONING

5/16/05

6/19/05

4/5/05

PMTCP-2

TITLE : PAVEMENT MARKING PLAN M.O.T.			
PROJECT NAME : SCOT'S GLEN SOUTH BUILDABLE BULK PARCEL "A" - UNITS 1 THRU 55 AND COMMUNITY CENTER PLANNED SENIOR COMMUNITY (PSC) - AGE RESTRICTED ADULT HOUSING A RESUBDIVISION OF PARCELS 224 AND 326 HOWARD COUNTY, MARYLAND, 21044			
S-04-05	PB CASE 363	ZB 10300M	F-05-63
DES. : M. HOWELL	JOB :	PROJ. :	DATE : 1994
DRW. : M. HOWELL	CHK. : KS	SCALE : 50	SHEET 25 OF 25