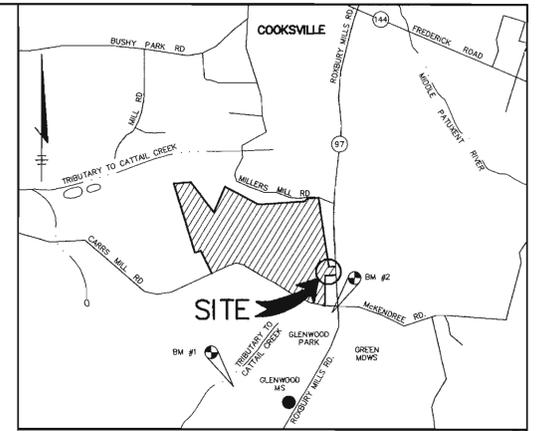


SHEET INDEX	
NO	DESCRIPTION
1	TITLE SHEET
2	SITE DEVELOPMENT PLAN
3	SITE DEVELOPMENT PLAN
4	SITE DEVELOPMENT PLAN
5	GRADING, SEDIMENT CONTROL AND DRAINAGE AREA MAP
6	GRADING, SEDIMENT CONTROL AND DRAINAGE AREA MAP
7	GRADING, SEDIMENT CONTROL AND DRAINAGE AREA MAP
8	SEDIMENT CONTROL NOTES AND DETAILS
9	PROFILES AND DETAILS
10	LANDSCAPE PLAN
11	LANDSCAPE PLAN
12	LANDSCAPE SCHEDULES AND DETAILS
13	DEMOLITION PLAN

SITE DEVELOPMENT PLAN GLENWOOD COMMUNITY CENTER CAPITAL PROJECT C-0291 4th ELECTION DISTRICT HOWARD COUNTY, MARYLAND



VICINITY MAP

SCALE: 1"=2000'
COPYRIGHT ADC THE MAP PEOPLE
PERMITTED USE NO. 20894285

AREA TABULATION CHART

AREA OF PARCEL	189.65 ACRES
LIMIT OF DISTURBED AREA	8.23 ACRES
PRESENT ZONING	RC-DEO
PROPOSED USE	COMMUNITY CENTER (ONE STORY)
BUILDING COVERAGE	53,961 SF (0.65% OF SITE)
REQUIRED PARKING*	332 SPACES
PROPOSED PARKING	332 SPACES (INCL. 26 HC SPACES)= 141 PROPOSED UNDER THIS SDP & 191 EXISTING UNDER SDP-99-21

* A PARKING NEEDS ANALYSIS DATED APRIL 20, 2004, WAS SUBMITTED AND APPROVED, ALLOWING THE SHARING OF PARKING BETWEEN THE LIBRARY AND COMMUNITY CENTER. THE REQUIRED PARKING IS BASED ON OTHER SIMILAR COUNTY FACILITIES. NOTE: 594 PARKING SPACES ARE PROPOSED FOR THE WESTERN REGIONAL PARK PER APPROVED SDP-02-64.

SITE TABULATION FOR SDP-99-21

GLENWOOD LIBRARY

AREA OF PROPERTY:	183.37 ACRES
AREA OF SUBMISSION	17.7 ACRES
PRESENT ZONING:	RC-DEO
EXISTING USE:	RURAL CONSERVATION
PROPOSED USE:	PARK AND PUBLIC LIBRARY
BUILDING AREA:	29,808 S.F.
BUILDING COVERAGE (% OF SITE):	0.37%
PARKING REQUIRED: 6 SP/1000 SF	180
PARKING PROVIDED:	191
(INCLUDES 14 HANDICAP SPACES)	6 REQUIRED
LIMIT OF SUBMISSION/DISTURBANCE	17.7 ACRES
TOTAL OCCUPANCY	343 PEOPLE

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS.

Robert A. Wale 1/19/05
COUNTY HEALTH OFFICER JAB DATE
HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Debra D. Taylor 1/27/05
DIRECTOR DATE

John P. ... 1/4/05
CHIEF, DEVELOPMENT ENGINEERING DIVISION MAB DATE

John ... 1/28/05
CHIEF, DIVISION OF LAND DEVELOPMENT KE DATE

DATE	NO.	REVISION

OWNER / DEVELOPER
HOWARD COUNTY
DEPARTMENT OF PUBLIC WORKS
3450 COURT HOUSE DRIVE
ELLCOTT CITY, MARYLAND 21043

PROJECT
**GLENWOOD COMMUNITY CENTER
PARCEL A**

AREA TAX MAP 14 ZONED RC-DEO PARCEL 249
4th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

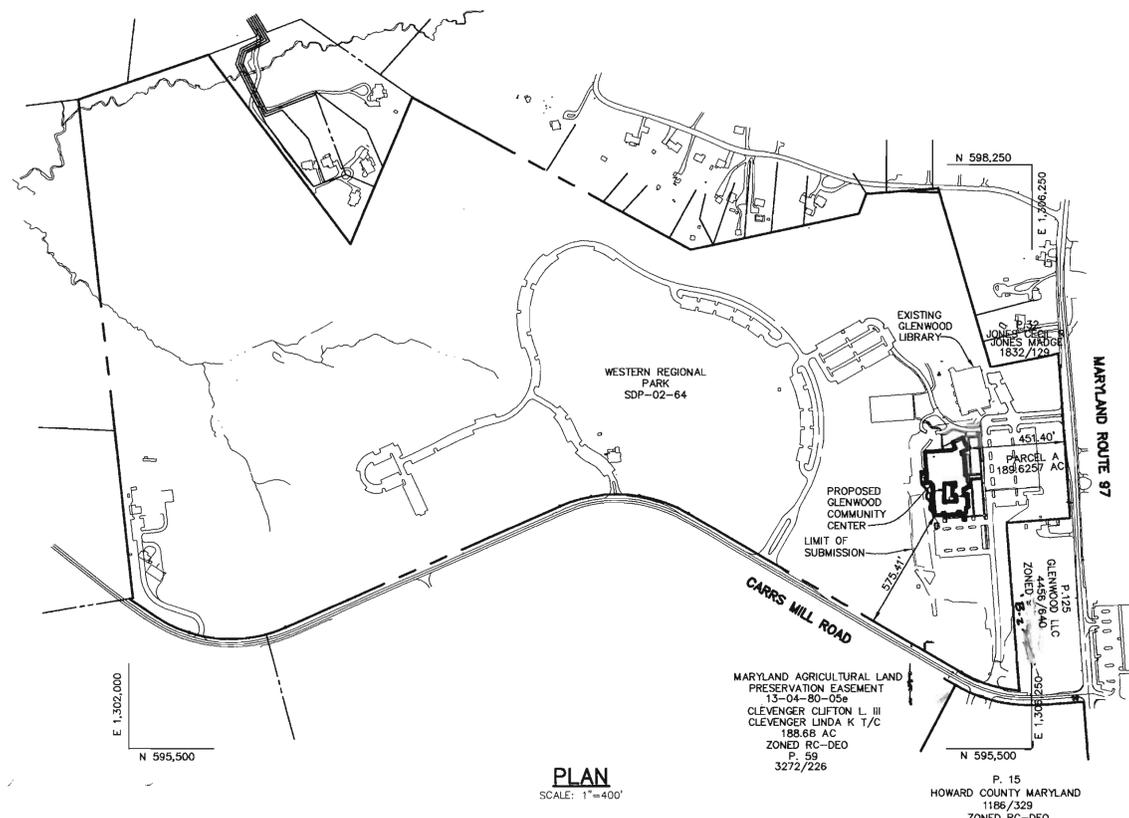
TITLE
TITLE SHEET

Patton Harris Rust & Associates, pc
Engineers, Surveyors, Planners, Landscape Architects.
8818 Centre Park Drive
Columbia, MD 21045
T 410.997.8900
F 410.997.9282

DATE: 12-22-04
DESIGNED BY: C.J.R.
DRAWN BY: MAD
PROJECT NO.: 12492/1-0/ENGR PLANS/CO09COV
DATE: DECEMBER 22, 2004
SCALE: AS SHOWN
DRAWING NO.: 1 OF 13
CHRISTOPHER J. REID #19949

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY, NSHA STANDARDS AND SPECIFICATIONS AND APPLICABLE PORTIONS OF THE PROJECT SPECIFICATIONS PREPARED BY THE LUKMIRE PARTNERSHIP, PROJECT ARCHITECT.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY RIEMER MUEGGE & ASSOCIATES, INC., DATED FEBRUARY, 1998, AND BY PHR&A, JANUARY, 2004, AND PROPOSED GRADING INDICATED ON SDP-02-64.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 0033 AND 0039 WERE USED FOR THIS PROJECT.
- SITE WILL BE SERVED BY WELL AND SEPTIC.
- STORMWATER MANAGEMENT QUALITY AND QUANTITY ARE PROVIDED BY TWO EXTENDED DETENTION FACILITIES THAT WILL BE OWNED AND MAINTAINED BY HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS. ONE WAS CONSTRUCTED UNDER SDP-99-21, THE OTHER UNDER SDP-02-64.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- THERE IS NO 100 YEAR FLOODPLAIN IMPACTING THE DEVELOPMENT AREA OF THIS PROJECT.
- THE WETLANDS DELINEATION STUDY FOR THIS PROJECT WAS PREPARED BY RICHARD C. PAIS, INC. DATED FEBRUARY, 1998. THERE ARE NO WETLANDS IN THE COMMUNITY CENTER AREA OF DEVELOPMENT.
- NO TRAFFIC STUDY IS REQUIRED FOR THIS PROJECT.
- NO GEOTECHNICAL STUDY FOR STORMWATER MANAGEMENT IS REQUIRED FOR THIS PROJECT.
- THE BOUNDARY SURVEY FOR THIS PROJECT WAS PREPARED BY HOWARD COUNTY, DATED APRIL 5, 1998.
- SUBJECT PROPERTY ZONED RC-DEO PER 2-2-04 COMPREHENSIVE ZONING PLAN.
- ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
- SEE DEPARTMENT OF PLANNING AND ZONING FILE NO'S: F-79-71, SDP-99-21, WP-99-38, SDP-02-64, F-01-174, WP-02-92
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD.
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE.
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- STORM DRAIN TRENCHES WITHIN ROADWAY SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL VOLUME IV, I.E., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, LATEST AMENDMENTS.
- PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T99.
- SITE LIGHTING SHALL BE IN ACCORDANCE WITH THE OUTDOOR LIGHTING REQUIREMENTS OF SECTION 134 OF THE ZONING REGULATIONS AND SHALL DIRECT LIGHT DOWNWARDS AND INWARDS ON-SITE AWAY FROM ADJOINING RESIDENTIAL USE PROPERTIES AND PUBLIC ROADS.
- LANDSCAPING HAS BEEN PROVIDED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- THE FOREST CONSERVATION REQUIREMENTS FOR THIS PROJECT AREA WERE PREVIOUSLY ADDRESSED UNDER SDP-02-64 AND F-01-174 WITH A BREAK-EVEN OBLIGATION OF 41.77 ACRES MET WITH THE RECORDING OF 42.54 ACRES OF ON-SITE RETENTION EASEMENT.
- THIS SDP IS SUBJECT TO THE FIRST AMENDMENT TO THE FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS DATED OCTOBER 2, 2003 AND THE COMPREHENSIVE ZONING PLAN AND REGULATIONS ADOPTED ON FEBRUARY 2, 2004.



PLAN
SCALE: 1"=400'

PRIVATE WATER AND SEWER GENERAL NOTES

- THIS AREA DESIGNATES A PRIVATE SEWAGE EASEMENT OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL (COMAR 26.0403). IMPROVEMENT OF ANY NATURE IN THIS AREA AREA RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE. THIS EASEMENT SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS INTO THE PRIVATE SEWAGE EASEMENT. RECORDED OF A MODIFIED SEWAGE EASEMENT SHALL NOT BE NECESSARY.
- PERC HOLES SHOWN HEREON HAVE BEEN FIELD LOCATED BY HOWARD COUNTY SURVEY DIVISION.
- SUBJECT PROPERTY ZONED RC-DEO.
- THERE ARE NO SLOPES 25% OR GREATER WITHIN 25' OF PROPOSED SEPTIC AREA.
- ALL WELLS AND SEPTIC SYSTEMS WITHIN 100' OF PROPERTY LINES HAVE BEEN SHOWN.
- GROUNDWATER APPROPRIATION PERMIT (GWAP)*HO-2004-0010. EFFECTIVE DATE: JANUARY 1, 2005. EXPIRATION DATE: JANUARY 1, 2017.
- INSTALL WATER METER ON INLET SIDE OF TANK. METER TO BE MONITORED MONTHLY.
- ORENCO "NIBBLER" AERATOR TO BE INSTALLED IN SECOND CHAMBER.

SEPTIC DESIGN CALCULATIONS

BASED ON SIMILAR FACILITY ACTUAL WATER USAGE WE FIND THE FOLLOWING:
688 GPD AVERAGE FLOW FOR 30,000 SF ACTIVITY CENTER IN HARFORD COUNTY.
PEAK FLOW = 688 X 2 = 1376 GPD
THEREFORE FOR 53,961 SF FACILITY : 1376 X 53961/30000 = 2475 GPD
TRENCH LENGTH CALCULATION: 2475 GPD / 0.8 = 3093.75 / 3' TRENCH BOTTOM WIDTH = 1031' REQUIRED
SEPTIC TANK VOLUME = 1125 + .75(2475) = 4012.5 USE 4000 GALLON TANK
SEPTIC TANK: 2 CHAMBER WITH AERATING DEVICE IN SECOND CHAMBER
TRENCHES TO BE 3' WIDE, 12" ON CENTER

BENCHMARKS

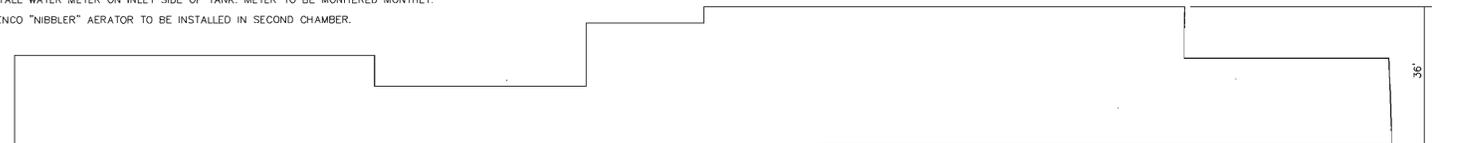
BM #1 HOWARD CO. SURVEY CONTROL STATION: 0033
N 593953.2439 E 1304825.8350
NGS STAMPED CONCRETE MONUMENT ELEV. 594.56
BM #2 HOWARD CO. SURVEY CONTROL STATION: 0039
N 595722.8335 E 1306481.6720
STAMPED CONCRETE MONUMENT ELEV. 620.07

ADDRESS CHART

PARCEL NUMBER	STREET ADDRESS
A	2400 ROUTE 97

SUBDIVISION NAME	SECT./AREA	PARCEL
WESTERN REGIONAL PARK	-	249, A
PLAT NO. 15581-15585	BLOCK # 3, 4, 9, 10 ZONING RC-DEO	TAX MAP NO. 14 ELECT. DIST. 4 CENSUS TRACT 6040.02
WATER CODE -	SEWER CODE -	

BUILDING ELEVATION
NO SCALE



MATCH LINE SEE SHEET 4

NOTES:

1. ALL RADII ARE 5' UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO FACE OF CURB OR BUILDING UNLESS OTHERWISE NOTED.
3. ALL ON-SITE ROADS ARE PRIVATE.
4. ALL LIGHTING IS TO BE DIRECTED, REFLECTED AWAY FROM ADJACENT PUBLIC ROADS AND RESIDENTIALLY ZONED PROPERTIES, AND BE IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
5. * STD/REV - STANDARD TO REVERSE CURB TRANSITION.

LEGEND

EXISTING 2' CONTOUR	400
EXISTING 10' CONTOUR	400
PROPOSED 2' CONTOUR	400
PROPOSED 10' CONTOUR	400
PROPERTY LINE AND RIGHT OF WAY	
EXISTING STORM DRAIN	15" D
PROPOSED STORM DRAIN	15" D
EXISTING TREELINE	
PROPOSED TREELINE	
EXISTING TREE	
PROP. SPOT ELEVATION	13' 2"
SETBACK LINES	
EXISTING WATER	
EXISTING CURB	
PROPOSED CURB	

WATER NOTE

CONTRACTOR TO ENSURE WATER LINE WORK DOES NOT OCCUR DURING LIBRARY HOURS OF OPERATION AND THAT WATER SERVICE IS MAINTAINED TO FACILITY AT ALL TIMES DURING HOURS OF OPERATION.

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS.

Robert W. Wade 1/19/05
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Martha M. Vogel 1/21/05
 DIRECTOR

W. De... .. 1/4/05
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

Andy Hamstra 1/21/05
 CHIEF, DIVISION OF LAND DEVELOPMENT

4-B-05: ADDED VESTIBULE, CARPOOL SPACES + MODIFIED PLAY AREA

DATE NO. REVISION

OWNER / DEVELOPER
 HOWARD COUNTY
 DEPARTMENT OF PUBLIC WORKS
 3450 COURT HOUSE DRIVE
 ELLICOTT CITY, MARYLAND 21043

PROJECT
**GLENWOOD COMMUNITY CENTER
 PARCEL A**

AREA TAX MAP 14 ZONED RC-DEO PARCEL 249
 4th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

TITLE
SITE DEVELOPMENT PLAN

Patton Harris Rust & Associates, pc
 Engineers. Surveyors. Planners. Landscape Architects.
 8818 Centre Park Drive
 Columbia, MD 21045
 T 410.997.8900
 F 410.997.9282

DATE
 12-22-04

DESIGNED BY: C.J.R.

DRAWN BY: MAD

PROJECT NO: 1249211-0/ENGR PLANS/C400SIT

DATE: DECEMBER 22, 2004

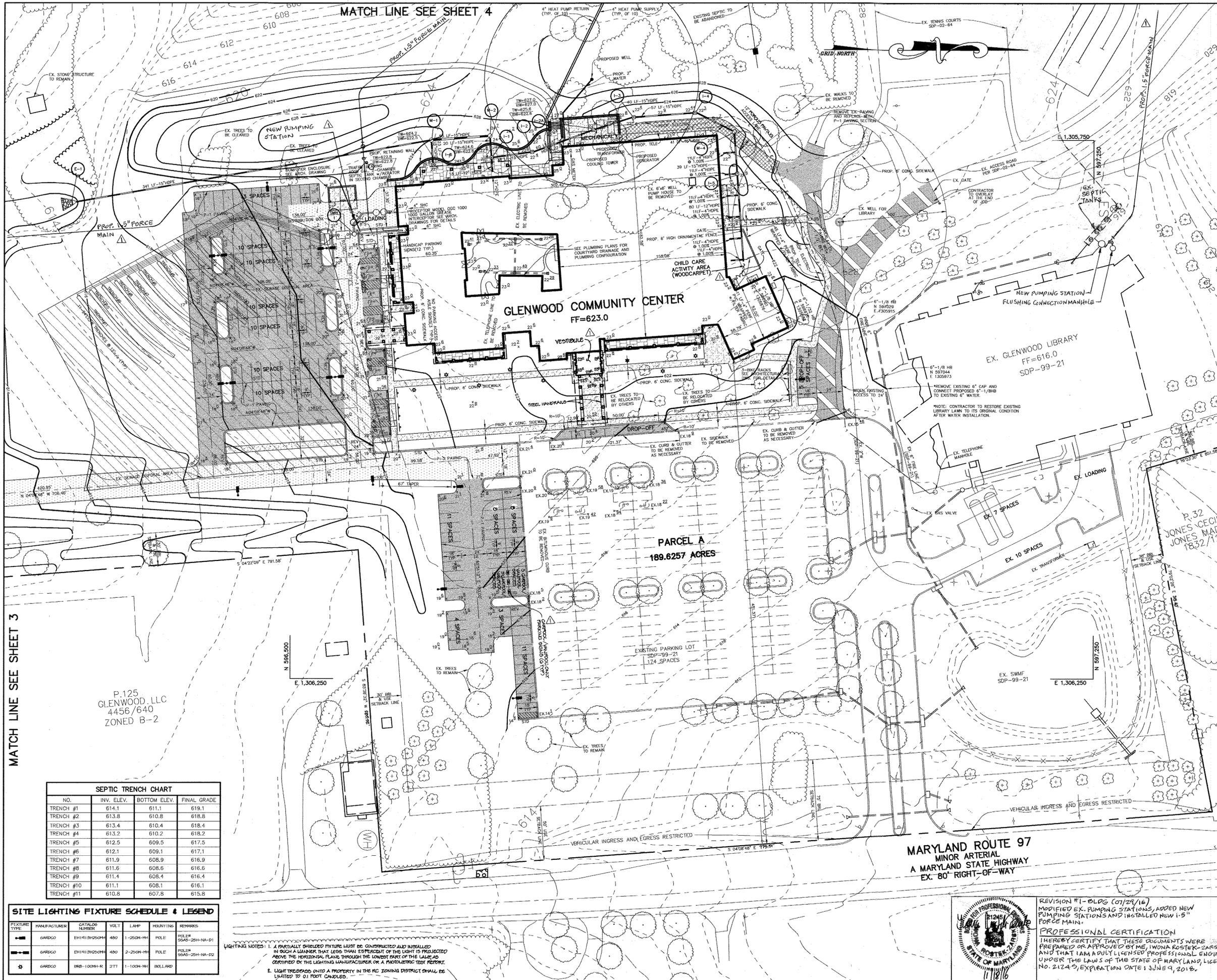
SCALE: 1"=40'

DRAWING NO. 2 OF 13

CHRISTOPHER J. REID #19949

SDP-04-134

MATCH LINE SEE SHEET 3



P.125
 GLENWOOD, LLC
 4456/640
 ZONED B-2

SEPTIC TRENCH CHART

NO.	INV. ELEV.	BOTTOM ELEV.	FINAL GRADE
TRENCH #1	614.1	611.1	619.1
TRENCH #2	613.8	610.8	618.8
TRENCH #3	613.4	610.4	618.4
TRENCH #4	613.2	610.2	618.2
TRENCH #5	612.5	609.5	617.5
TRENCH #6	612.1	609.1	617.1
TRENCH #7	611.9	608.9	616.9
TRENCH #8	611.6	608.6	616.6
TRENCH #9	611.4	608.4	616.4
TRENCH #10	611.1	608.1	616.1
TRENCH #11	610.8	607.8	615.8

SITE LIGHTING FIXTURE SCHEDULE & LEGEND

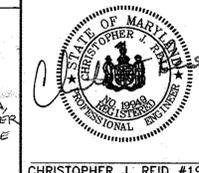
FIXTURE TYPE	MANUFACTURER	CATALOG NUMBER	VOLT.	LAMP	HOURS/TIME	REMARKS
■	GARCO	EH141SH0504	480	1-250W-1H	POLE	POLE 5545-25H-NA-D1
■	GARCO	EH141SH0504	480	2-250W-1H	POLE	POLE 5545-25H-NA-D2
■	GARCO	982-10081-R	277	1-100W-1H	RELLAND	

LIGHTING NOTES:
 1. A PARTIALLY SHIELDED FIXTURE MUST BE CONSTRUCTED AND INSTALLED IN SUCH A MANNER THAT LESS THAN 2% OF THE LIGHT IS PROJECTED ABOVE THE HORIZONTAL PLANE THROUGH THE LOWEST PART OF THE LAMP AND CERTIFIED BY THE LIGHTING MANUFACTURER OR A PHOTOGRAPHIC TEST REPORT.
 2. LIGHT TRESPASS ONTO A PROPERTY IN THE RC ZONING DISTRICT SHALL BE LIMITED TO 0.1 FOOT CANDLES.

MARYLAND ROUTE 97
 MINOR ARTERIAL
 A MARYLAND STATE HIGHWAY
 EX. 80' RIGHT-OF-WAY



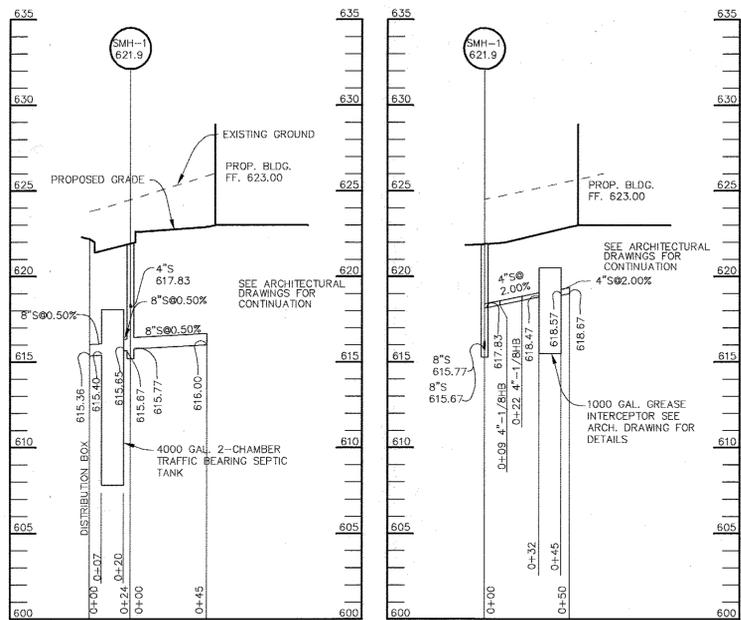
REVISION #1 - CLDG (01/29/16)
 MODIFIED EX. PUMPING STATIONS, ADDED NEW PUMPING STATIONS AND INSTALLED NEW 1.5" FORCE MAIN.
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, INONA ROSTEK-SARSKA, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21243, EXPIRATION DATE: JUNE 9, 2018.



DATE
 12-22-04

SDP-04-134

P:\project\1249211-0\Engr\PLANS\C400SIT.dwg, 12/22/2004 08:41:56 AM, HP750C(98).pc3, 1, 1



SEWER PROFILE

SCALE:
HOR. - 1"=50'
VERT. - 1"=5'

SEWER PROFILE

SCALE:
HOR. - 1"=50'
VERT. - 1"=5'



MARYLAND AGRICULTURAL LAND PRESERVATION EASEMENT
13-04-80-05e
CLEVINGER CLIFTON L. III
CLEVINGER LINDA K T/C
188.68 AC

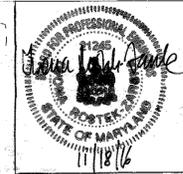
ZONED RC-DEO
P. 59
3272/226

P. 15
HOWARD COUNTY MARYLAND
1186/329
ZONED RC-DEO

P. 125
GLENWOOD LLC
4456/640
ZONED B-2

CARRS MILL ROAD
HOWARD COUNTY PUBLIC ROAD
SCENIC ROAD

NOTE:
PLEASE SEE SDP-10-049 FOR
MORE DETAILS ABOUT EXISTING
STRUCTURES



REVISION #1 - BLQS (07/29/16)
MODIFIED EX. PUMPING STATIONS, ADDED NEW
PUMPING STATIONS AND INSTALLED NEW
1.5" FORCE MAIN.
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED
OR APPROVED BY ME, IMONA RUSTEK-ZARSKA AND THAT I AM
A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE
LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21243,
EXPIRATION DATE: JUNE 9, 2018.

MARYLAND ROUTE 97
MINOR ARTERIAL
A MARYLAND STATE HIGHWAY
EX. 80' RIGHT-OF-WAY

NOTES:

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- * STD/REV - STANDARD TO REVERSE CURB TRANSITION.
- P-1 PAVING
- P-3 PAVING
- GRASSCRETE
- CONCRETE

LEGEND

EXISTING 2" CONTOUR	400
EXISTING 10" CONTOUR	400
PROPOSED 2" CONTOUR	400
PROPOSED 10" CONTOUR	400
PROPERTY LINE AND RIGHT OF WAY	
EXISTING STORM DRAIN	15" D
PROPOSED STORM DRAIN	15" D
EXISTING TREELINE	
PROPOSED TREELINE	
EXISTING TREE	
PROP. SPOT ELEVATION	1' x 2'
SETBACK LINES	
EXISTING WATER	
EXISTING CURB	
PROPOSED CURB	

WATER NOTE

CONTRACTOR TO ENSURE WATER LINE WORK DOES NOT OCCUR DURING LIBRARY HOURS OF OPERATION AND THAT WATER SERVICE IS MAINTAINED TO FACILITY AT ALL TIMES DURING HOURS OF OPERATION.

MATCH LINE SEE SHEET 2

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
 Director: *Mark A. Langley* 1/24/05
 Chief, Development Engineering Division: *Chris Deussen* 1/4/05
 Chief, Division of Land Development: *Cindy Starnes* 1/21/05

OWNER / DEVELOPER
 HOWARD COUNTY
 DEPARTMENT OF PUBLIC WORKS
 3450 COURT HOUSE DRIVE
 ELLICOTT CITY, MARYLAND 21043

PROJECT
**GLENWOOD COMMUNITY CENTER
 PARCEL A**

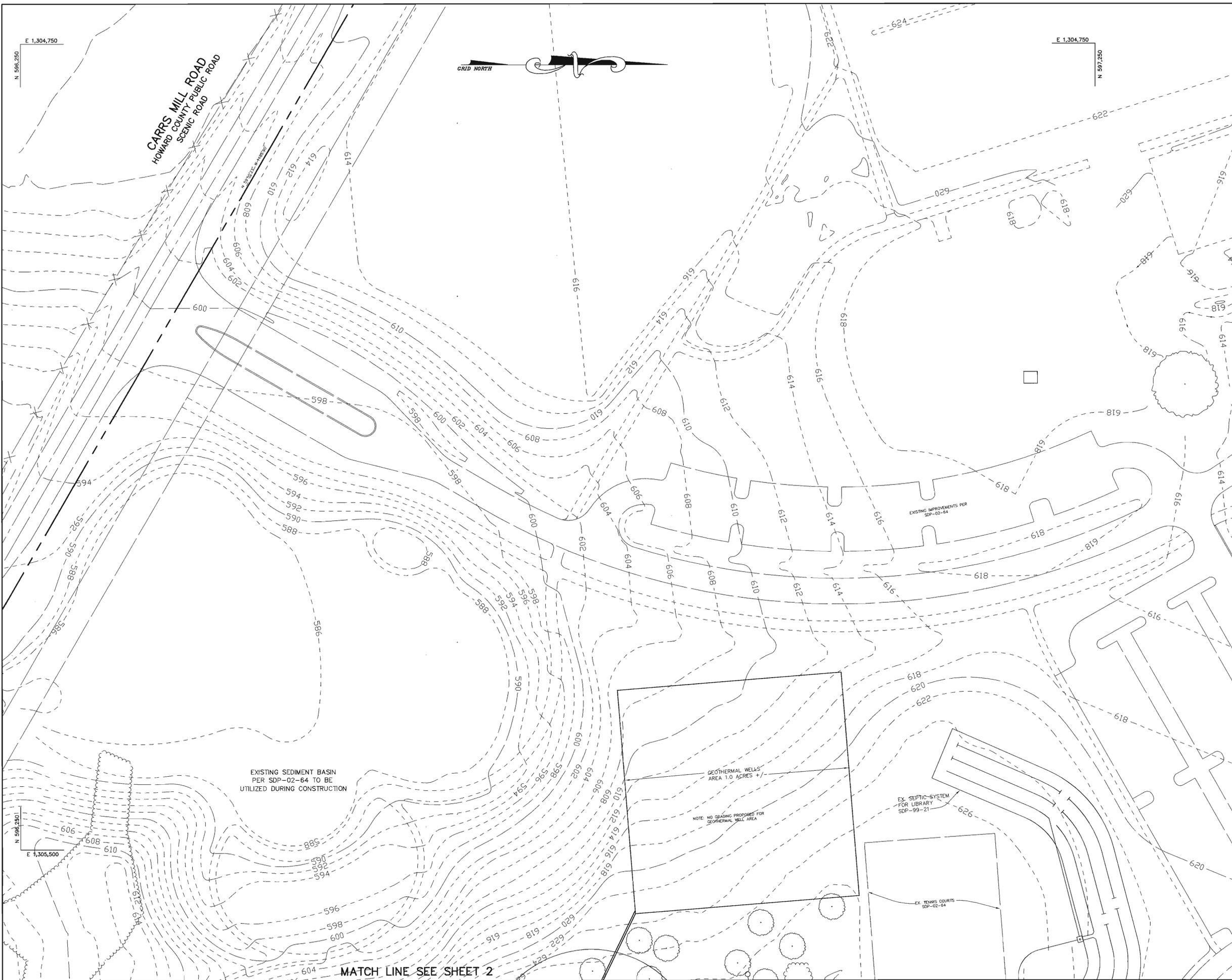
AREA TAX MAP 14 ZONED RC-DEO PARCEL 249
 4th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

TITLE
SITE DEVELOPMENT PLAN

Patton Harris Rust & Associates, pc
 Engineers, Surveyors, Planners, Landscape Architects.
 8818 Centre Park Drive
 Columbia, MD 21045
 T 410.997.8900
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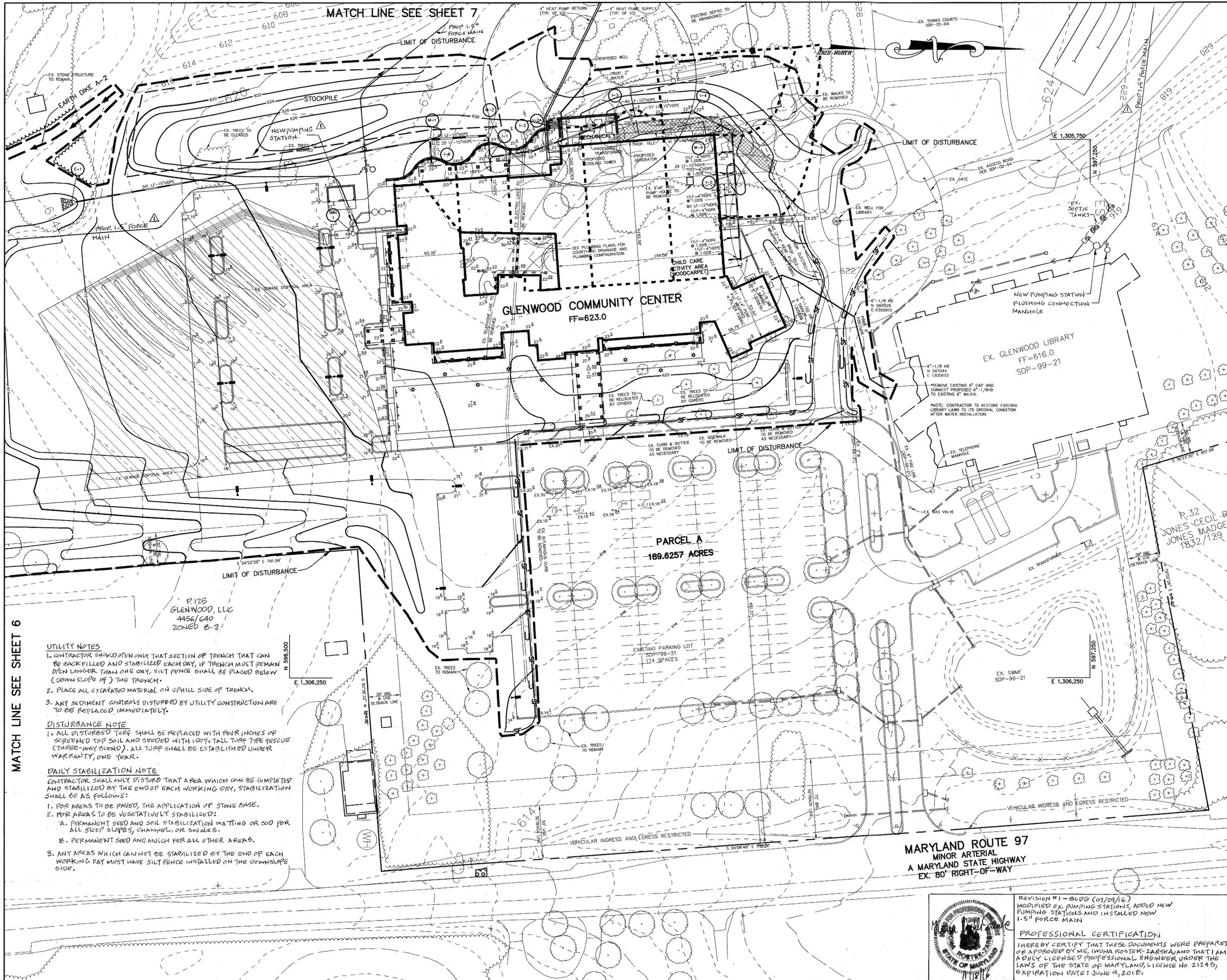
DATE: 12-22-04
 DESIGNED BY: C.J.R.
 DRAWN BY: MAD
 PROJECT NO: 12492/1-0/ENGR PLANS/C401SIT
 DATE: DECEMBER 22, 2004
 SCALE: 1"=40'
 DRAWING NO. 3 OF 13

CHRISTOPHER J. REID #19949



APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.	
DIRECTOR <i>Mark Drayton</i>	1/24/15 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION <i>Mark Drayton</i>	1/14/15 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT <i>Cindy Hamstra</i>	1/21/15 DATE
DATE	NO. REVISION
OWNER / DEVELOPER HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS 3450 COURT HOUSE DRIVE ELLCOTT CITY, MARYLAND 21043	
PROJECT GLENWOOD COMMUNITY CENTER PARCEL A	
AREA TAX MAP 14 ZONED RC-DEO PARCEL 249 4th ELECTION DISTRICT HOWARD COUNTY, MARYLAND	
TITLE SITE DEVELOPMENT PLAN	
Patton Harris Rust & Associates, pc Engineers, Surveyors, Planners, Landscape Architects. PHRA 8818 Centre Park Drive Columbia, MD 21045 T 410.997.8900 F 410.997.9282	
12.22.04 DATE 	DESIGNED BY : C.J.R. DRAWN BY: MAD PROJECT NO : 12492/1-0/ENGR PLANS/C4023IT DATE : DECEMBER 22, 2004 SCALE : 1"=40' DRAWING NO. 4 OF 13
CHRISTOPHER J. REID #19949 SDP-04-134	

MATCH LINE SEE SHEET 2



MATCH LINE SEE SHEET 6

MATCH LINE SEE SHEET 7

- UTILITY NOTES**
- CONTRACTOR SHALL ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY, IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWN SLOPE OF) THE TRENCH.
 - PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
 - ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPLACED IMMEDIATELY.
- DISTURBANCE NOTE**
- ALL DISTURBED TURF SHALL BE REPLACED WITH FOUR INCHES OF SCREENED TOP SOIL AND SEEDED WITH 100% TALL TURF TYPE FESCUE (THREE-WAY BLEND). ALL TURF SHALL BE ESTABLISHED UNDER WARRANTY, ONE YEAR.
- DAILY STABILIZATION NOTE**
- CONTRACTOR SHALL ONLY DISTURB THAT AREA WHICH CAN BE COMPLETED AND STABILIZED BY THE END OF EACH WORKING DAY, STABILIZATION SHALL BE AS FOLLOWS:
- FOR AREAS TO BE PAVED, THE APPLICATION OF STONE BASE.
 - FOR AREAS TO BE VEGETATIVELY STABILIZED:
 - PERMANENT SEED AND SOIL STABILIZATION MATTING OR SOO FOR ALL STEEP SLOPES, CHANNELS, OR SWALES.
 - PERMANENT SEED AND MULCH FOR ALL OTHER AREAS.
 - ANY AREAS WHICH CANNOT BE STABILIZED BY THE END OF EACH WORKING DAY MUST HAVE SILT FENCE INSTALLED ON THE DOWNSLOPE SIDE.

DRAINAGE AREA DATA			
INLET NO.	DRAINAGE AREA	'C' FACTOR	PERCENT IMPERVIOUS
I-1	0.08 AC	0.86	100
I-2	0.19 AC	0.86	100
I-3	0.27 AC	0.78	92
I-4	0.34 AC	0.49	48
I-5	0.20 AC	0.30	20
I-6	0.04 AC	0.69	75
I-7	0.06 AC	0.50	50
I-8	0.04 AC	0.50	50

BY THE DEVELOPER :

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Janey K 12/22/04
DEVELOPER DATE

BY THE ENGINEER :

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Cheryl R 12-22-04
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Jim Meyer 12/28/04
NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Rhoton 12/28/04
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Mark M. Lough 1/24/15
DIRECTOR DATE

William D. ... 1/24/05
CHIEF, DEVELOPMENT ENGINEERING DIVISION M&Z DATE

Cindy Hamrick 1/21/15
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE	NO.	REVISION

OWNER / DEVELOPER
HOWARD COUNTY
DEPARTMENT OF PUBLIC WORKS
3450 COURT HOUSE DRIVE
ELLCOTT CITY, MARYLAND 21043

PROJECT
**GLENWOOD COMMUNITY CENTER
PARCEL A**

AREA TAX MAP 14 ZONED RC-DEO PARCEL 249
4th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE
**GRADING, SEDIMENT CONTROL
AND DRAINAGE AREA MAP**

Patton Harris Rust & Associates, pc
Engineers, Surveyors, Planners, Landscape Architects.
8818 Centre Park Drive
Columbia, MD 21045
T 410.997.8900
F 410.997.9282

12-22-04
DATE

DESIGNED BY : C.J.R.

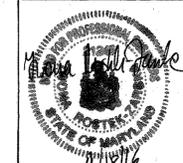
DRAWN BY: MAD

PROJECT NO : 12492/1-0/ENGR
PLANS/C200ESC

DATE : DECEMBER 22, 2004

SCALE : 1"=40'

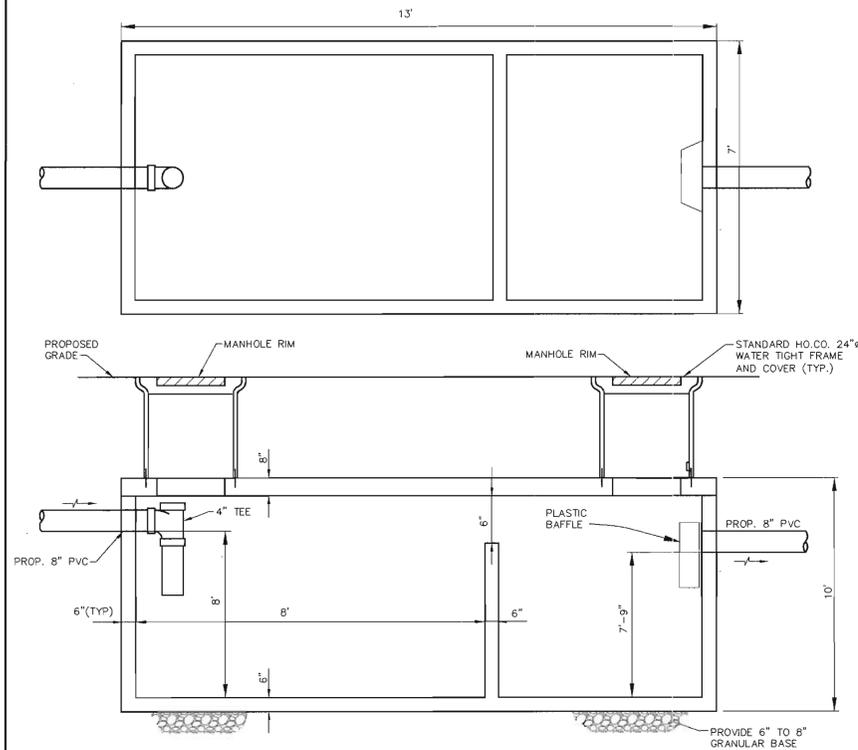
DRAWING NO. 5 OF 13



REVISION #1-BLOG (07/29/16)
MODIFIED EX. PUMPING STATIONS, ADDED NEW PUMPING STATIONS AND INSTALLED NEW 1.5" FORCE MAIN

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, IWONA ROSTEK-ZARSKA AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21249, EXPIRATION DATE: JUNE 9, 2018.

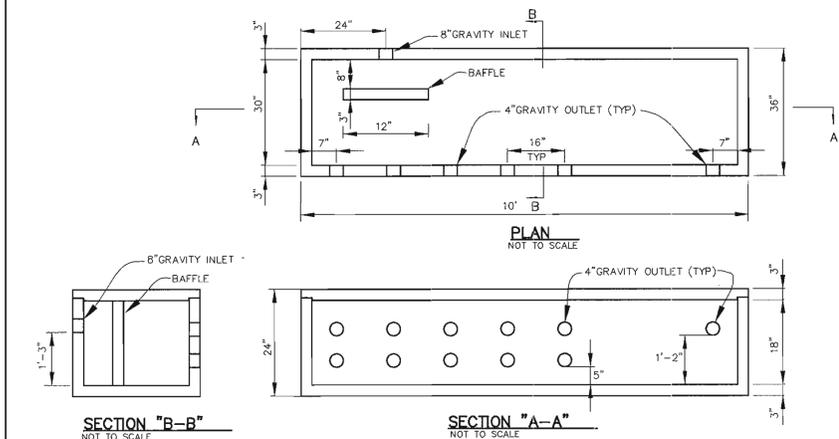
CHRISTOPHER J. REID #19949



4000 GALLON SEPTIC TANK STRUCTURE NOTES:

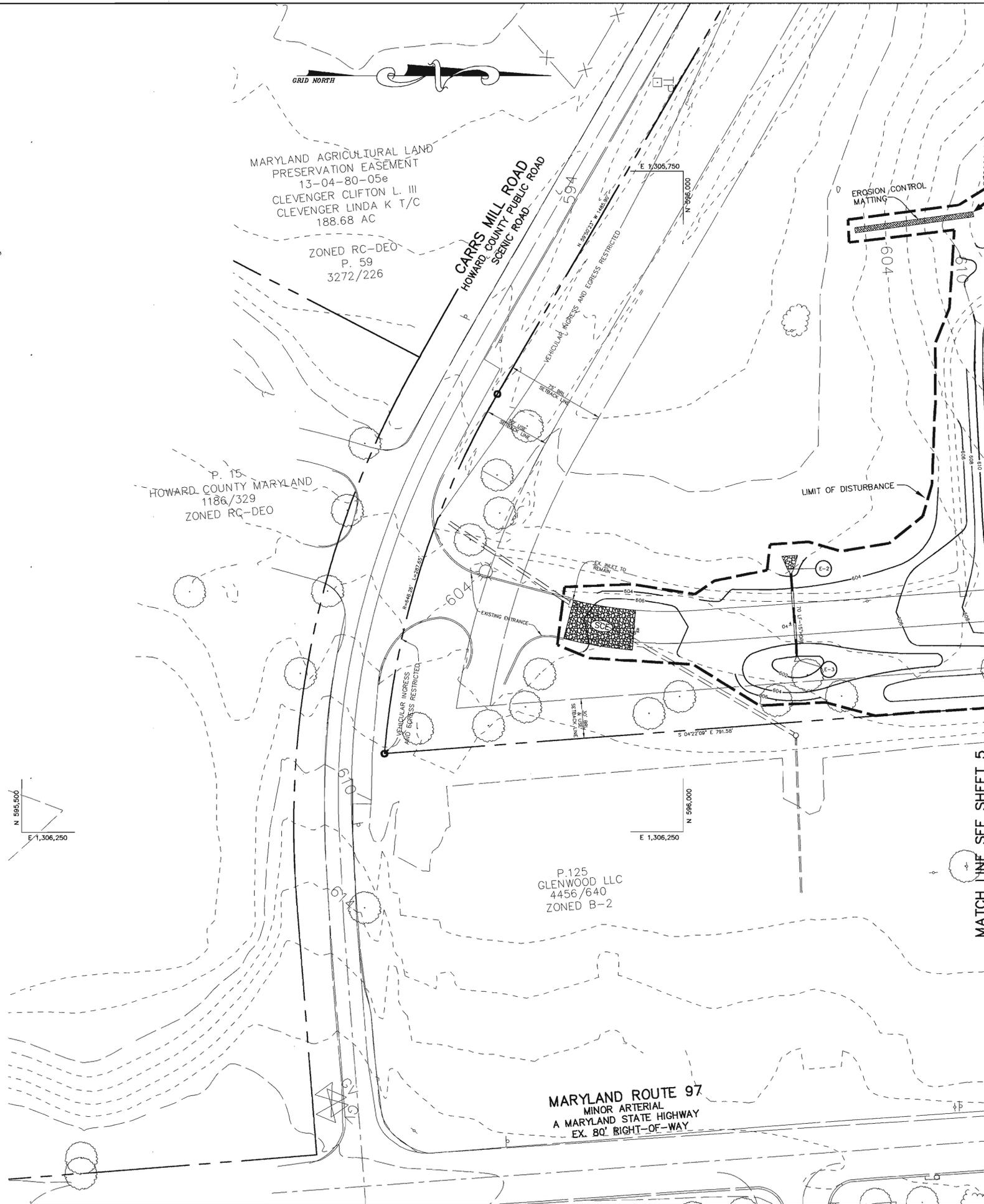
1. RISER TO BE PREFABRICATED. SHOP DRAWINGS FOR THIS PRE-CAST CONCRETE STRUCTURE SHALL MEET THE MINIMUM ASTM REQUIREMENTS FOR PRECAST STRUCTURES AND HS-10 TRAFFIC LOADING. A SHOP DRAWING SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO FABRICATION AND SHALL BE SIGNED AND SEALED BY A MARYLAND REGISTERED PROFESSIONAL ENGINEER FOR STRUCTURAL CERTIFICATION FOR THE DEPTH AS SHOWN ON THE SITE PLANS.
2. CONCRETE STRENGTH TO BE 4,000 PSI MINIMUM @ 28 DAYS.
3. SEPTIC TANK SHALL BE PLACED ON A FIRMLY COMPACTED SUBGRADE APPROVED BY A GEOTECHNICAL ENGINEER.
4. ALL DIMENSIONS SHOWN ABOVE ARE MINIMUM. FABRICATOR SHALL MAINTAIN 4000 GALLON VOLUME.
5. THIS STRUCTURE SHALL BE SET WITH THE STRUCTURE FLOOR @ 0% IN ALL DIRECTIONS.
6. INSTALL WATER METER ON INLET SIDE OF TANK. METER TO BE MONITORED MONTHLY.
7. ORENCO "NIBBLER" AERATOR TO BE INSTALLED IN SECOND CHAMBER.

4000 GALLON CONCRETE TWO CHAMBER SEPTIC TANK
NOT TO SCALE



OUTLET DISTRIBUTION BOX

1. THIS STRUCTURE TO BE PRECAST CONCRETE.
2. CONCRETE TO HAVE A 4,000 PSI MINIMUM COMPRESSION STRENGTH @ 28 DAYS.
3. WIRE MESH SHALL BE 3" x 5" No. 8 GAUGE AND CONFORM TO ASTM-85-90 SMOOTH.
4. THIS STRUCTURE SHALL BE SET WITH THE STRUCTURE FLOOR @ 0% IN ALL DIRECTIONS.



BY THE DEVELOPER :
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Developer Signature 12/22/04
DEVELOPER DATE

BY THE ENGINEER :
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Engineer Signature 12/22/04
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Jim Meyer Signature 12/28/04
NATURAL RESOURCES CONSERVATION SERVICE DATE

John R. Burtner Signature 12/28/04
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Director Signature 1/4/05
DIRECTOR DATE

Chief Signature 1/4/05
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Chief Signature 1/21/05
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE	NO.	REVISION

OWNER / DEVELOPER
HOWARD COUNTY
DEPARTMENT OF PUBLIC WORKS
3450 COURT HOUSE DRIVE
ELLCOTT CITY, MARYLAND 21043

PROJECT
**GLENWOOD COMMUNITY CENTER
PARCEL A**

AREA TAX MAP 14 ZONED RC-DEO PARCEL 249
4th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE
**GRADING, SEDIMENT CONTROL
AND DRAINAGE AREA MAP**

Patton Harris Rust & Associates, pc
Engineers, Surveyors, Planners, Landscape Architects.
8818 Centre Park Drive
Columbia, MD 21045
T 410.997.8900
F 410.997.9282

12-22-04
DATE

DESIGNED BY : C.J.R.
DRAWN BY : MAD
PROJECT NO : 12492/1-0/ENGR
PLANS/G201ESC
DATE : DECEMBER 22, 2004
SCALE : 1"=40'
DRAWING NO. 6 OF 13

CHRISTOPHER J. REID #19949





BY THE DEVELOPER :

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

James L. ... 12/22/04
 DEVELOPER DATE

BY THE ENGINEER :

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Christopher J. Reid 12.22.04
 ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Jim Meyer 12/28/04
 NATURAL RESOURCE CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Whitson 12/28/04
 HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Mark A. ... 1/24/05
 DIRECTOR DATE

Mike ... 1/14/05
 CHIEF, DEVELOPMENT ENGINEERING DIVISION M&Z DATE

Cindy ... 1/21/05
 CHIEF, DIVISION OF LAND DEVELOPMENT LS DATE

DATE	NO.	REVISION

OWNER / DEVELOPER

HOWARD COUNTY
 DEPARTMENT OF PUBLIC WORKS
 3450 COURT HOUSE DRIVE
 ELLICOTT CITY, MARYLAND 21043

PROJECT

**GLENWOOD COMMUNITY CENTER
 PARCEL A**

AREA TAX MAP 14 ZONED RC-DEO PARCEL 249
 4th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

TITLE

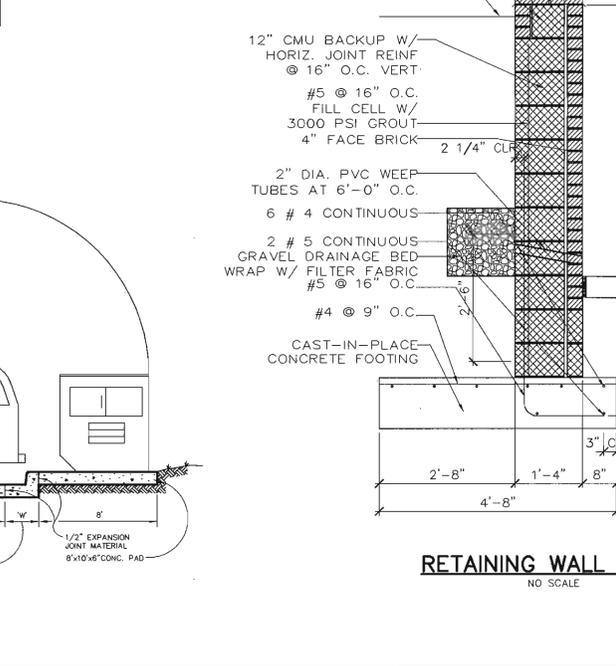
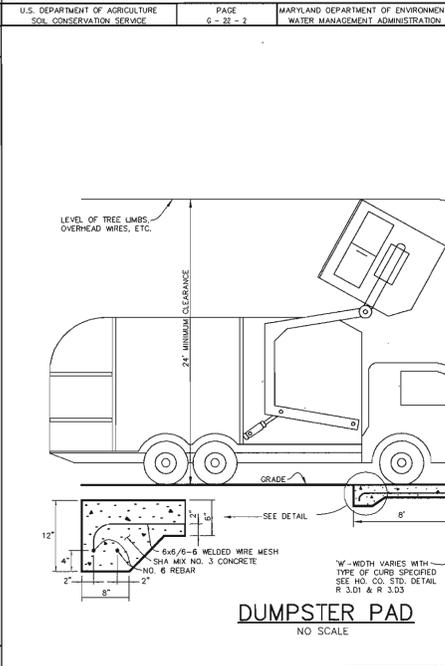
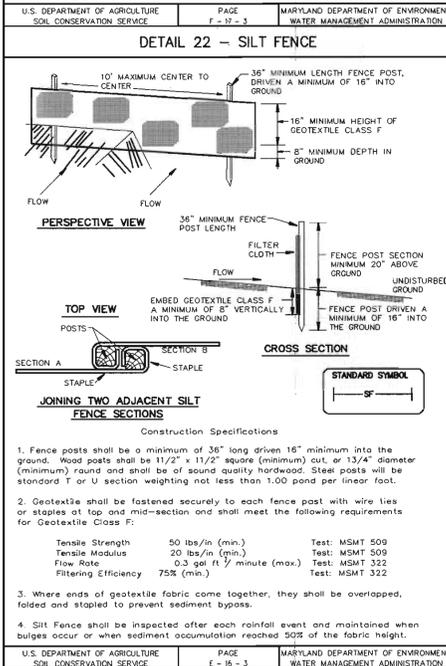
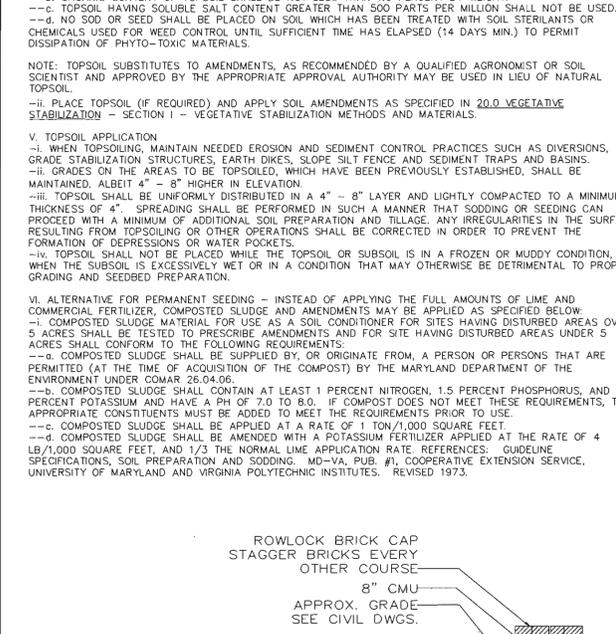
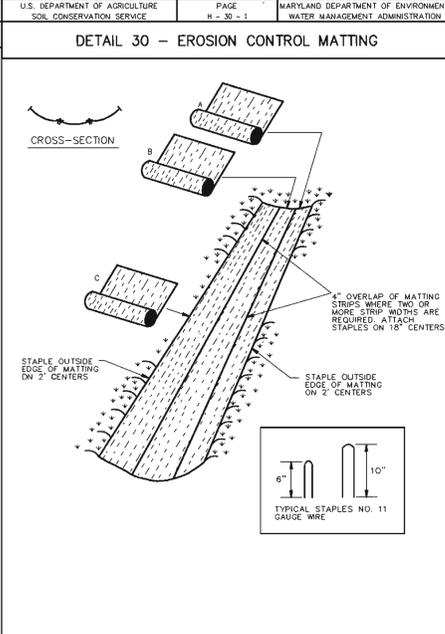
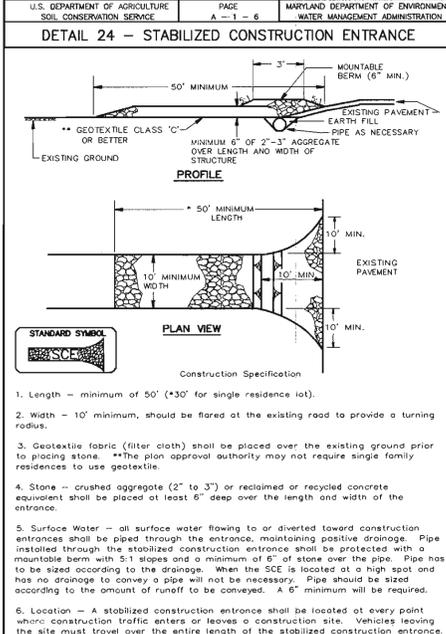
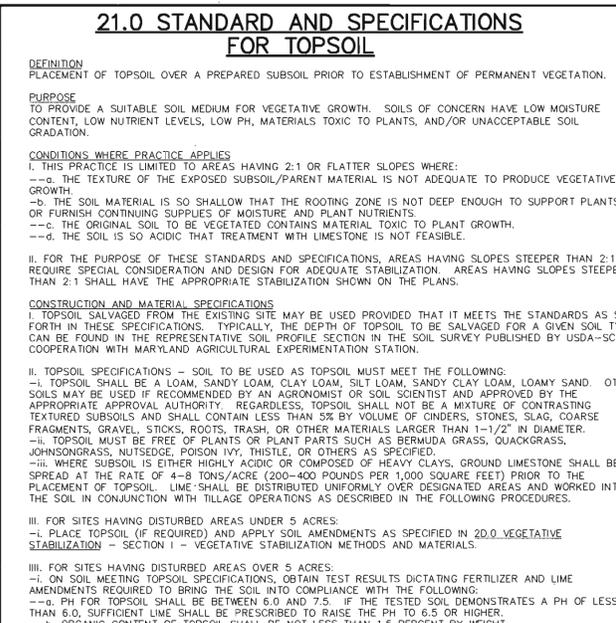
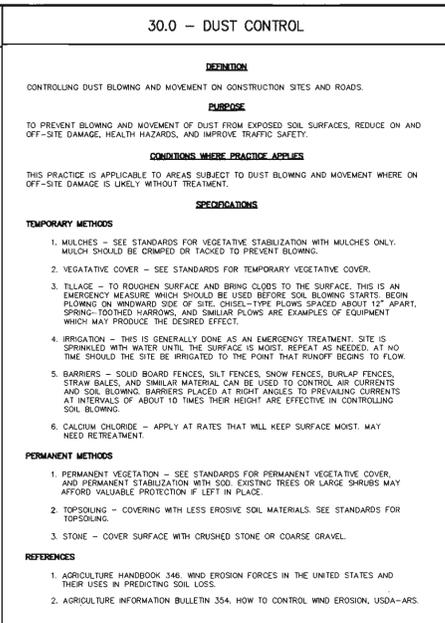
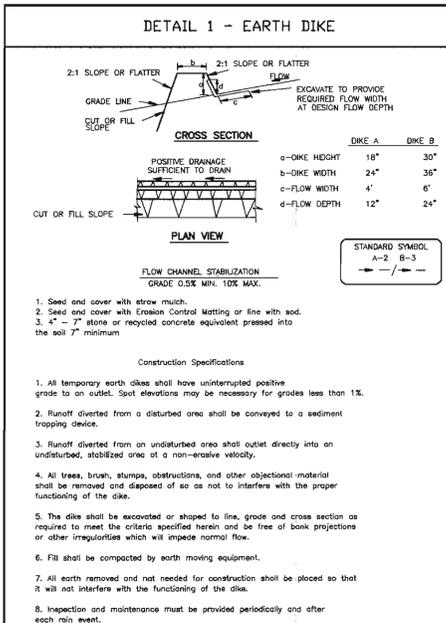
**GRADING, SEDIMENT CONTROL
 AND DRAINAGE AREA MAP**

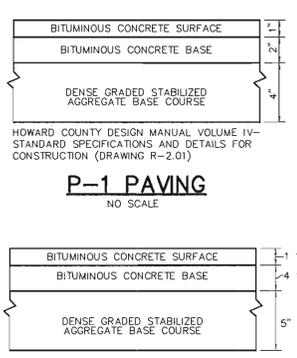
Patton Harris Rust & Associates, pc
 Engineers, Surveyors, Planners, Landscape Architects.
 8818 Centre Park Drive
 Columbia, MD 21045
 T 410.997.8900
 F 410.997.9282

12.22.04
 DATE

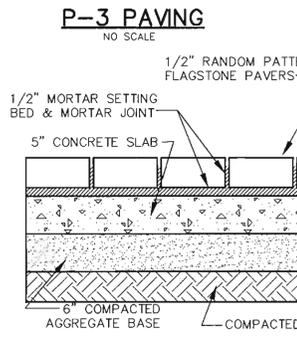
DESIGNED BY : C.J.R.
 DRAWN BY : MAD
 PROJECT NO : 12492/1-0/ENGR PLANS/202ESC
 DATE : DECEMBER 22, 2004
 SCALE : 1"=40'
 DRAWING NO. 7 OF 13

CHRISTOPHER J. REID #19949

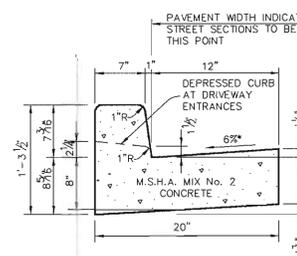




HOWARD COUNTY DESIGN MANUAL VOLUME IV- STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (DRAWING R-2.01)



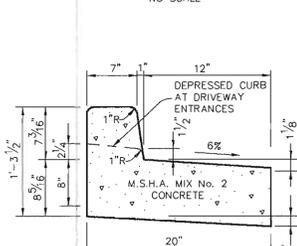
HOWARD COUNTY DESIGN MANUAL VOLUME IV- STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (DRAWING R-2.01)



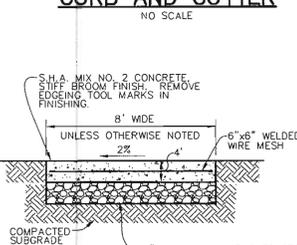
HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (DRAWING R-3.01).

* GUTTER PAN AT THE MEDIAN EDGE OF INTERMEDIATE ARTERIALS OR THE HIGH SIDE OF SUPERELEVATED SECTIONS SHALL BE SLOPED AT THE SAME RATE AS THE PAVEMENT.

STANDARD 7" COMBINATION CURB AND GUTTER
NO SCALE

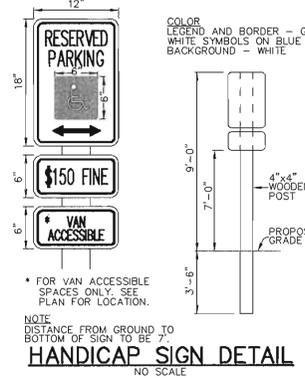


REVERSE 7" COMBINATION CURB AND GUTTER
NO SCALE

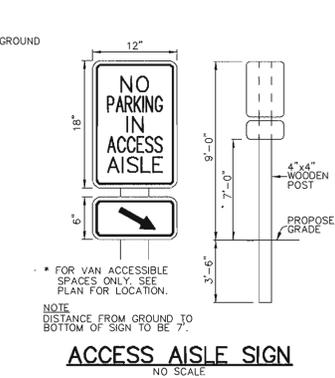


NOTES:
PROVIDE LATITUDINAL EXPANSION JOINTS AT 15' O.C. (MAX.) PROVIDE CONTRACTION (CONSUMY) JOINT AT 5' O.C. INTERVALS BETWEEN EXPANSION JOINTS. SIDEWALK TO BE SCRIBED IN 5" MAX. SQUARES.

SIDEWALK w/ REINFORCING
NO SCALE



NOTE: DISTANCE FROM GROUND TO BOTTOM OF SIGN TO BE 7".



NOTE: DISTANCE FROM GROUND TO BOTTOM OF SIGN TO BE 7".

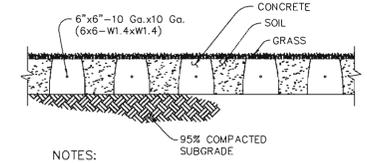
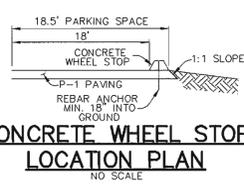
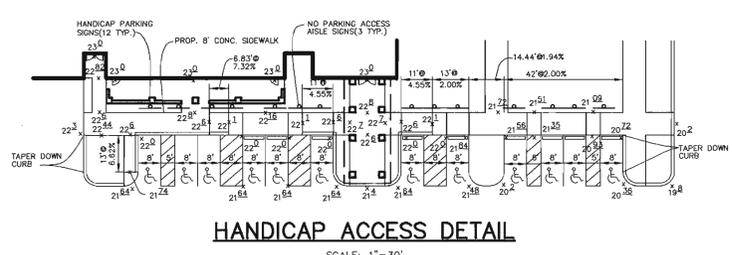
PIPE SCHEDULE

PIPE LENGTH	SIZE	TYPE
855	15"	HDPE
80	12"	HDPE

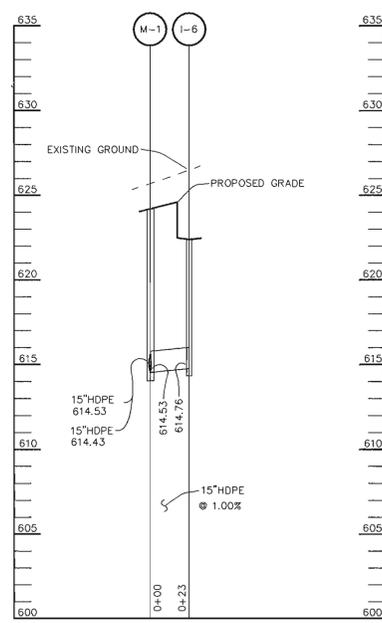
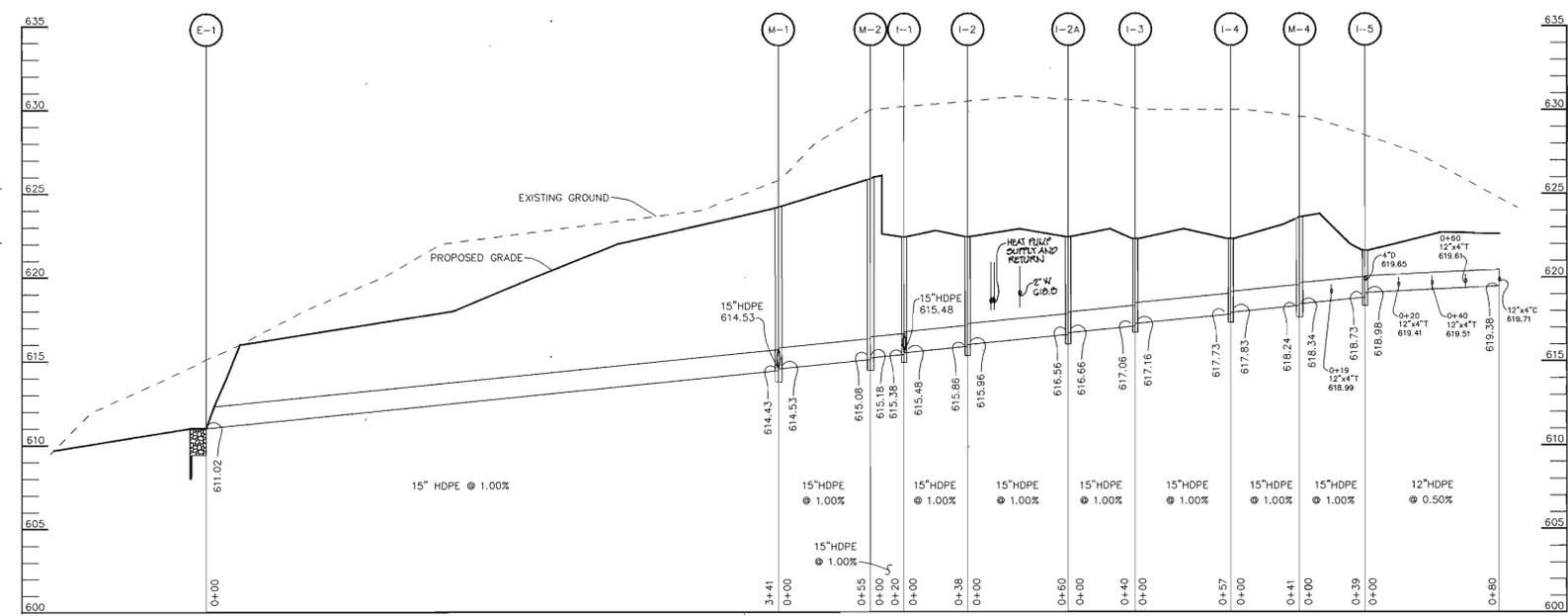
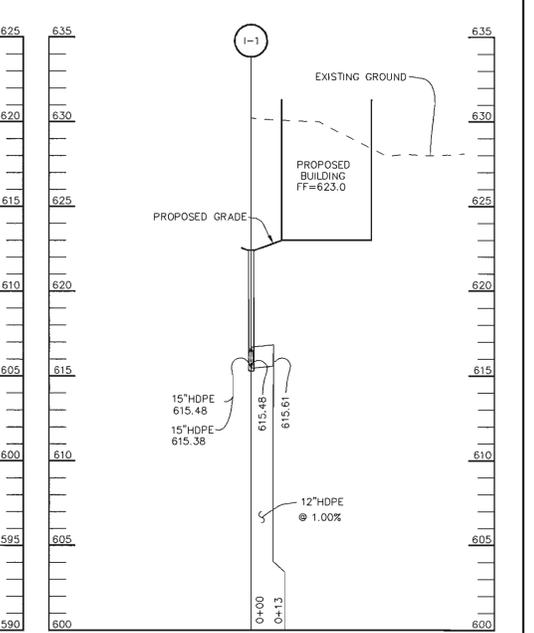
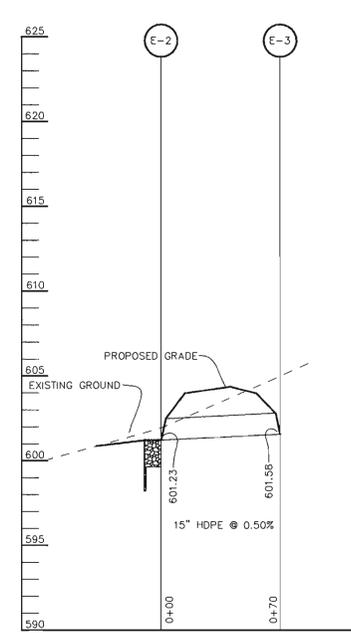
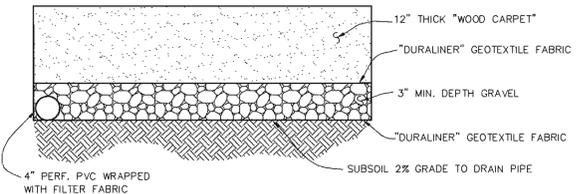
STRUCTURE SCHEDULE

STRUCTURE	TYPE	LOCATION	INV. IN	INV. OUT	TOP	REMARKS
I-1	S	N 596687 E 1305766	615.48 (12") 615.48 (15")	615.38 (15")	622.4	HOCO STD. DETAIL SD-4.22
I-2	S	N 596726 E 1305781	615.96 (15")	615.86 (15")	622.4	HOCO STD. DETAIL SD-4.22
I-2A	S	N 596782 E 1305741	616.66 (15")	616.56 (15")	622.4	HOCO STD. DETAIL SD-4.22
I-3	S	N 596820 E 1305728	617.16 (15")	617.06 (15")	622.3	HOCO STD. DETAIL SD-4.22
I-4	S	N 596877 E 1305724	617.83 (15")	617.73 (15")	622.3	HOCO STD. DETAIL SD-4.22
I-5	S	N 596917 E 1305781	619.65 (4") 618.98 (12")	618.73 (15")	621.6	HOCO STD. DETAIL SD-4.22
I-6	S	N 596632 E 1305772	-	614.76 (15")	622.4	HOCO STD. DETAIL SD-4.22
M-1	4'-0" DIA.	N 596631 E 1305750	614.53 (15") 614.53 (15")	614.43 (15")	624.0	HOCO STD. DETAIL G-5.12
M-2	4'-0" DIA.	N 596686 E 1305746	615.18 (15")	615.08 (15")	624.7	HOCO STD. DETAIL G-5.12
M-4	4'-0" DIA.	N 596914 E 1305742	618.34 (15")	618.24 (15")	623.7	HOCO STD. DETAIL G-5.12
E-1	S	N 596296 E 1305808	-	611.02	-	HOCO STD. DETAIL SD-5.61
E-2	S	N 596081 E 1306051	-	601.23	-	HOCO STD. DETAIL SD-5.61
E-3	S	N 596086 E 1306120	-	601.58	-	HOCO STD. DETAIL SD-5.61

NOTES:
FOR END SECTIONS THE LOCATION IS CENTER OF THROAT OPENING AT FACE OF STRUCTURE. LOCATION OF INLETS AND MANHOLES IS AT CENTER OF TOP COVER.



NOTES:
1. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS.
2. EXPANSION JOINTS SHALL BE PROVIDED WHEREVER A GRASSCRETE SLAB ABUTS OTHER CONCRETE OR STRUCTURES.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
 DIRECTOR: *[Signature]* DATE: 1/24/05
 CHIEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* DATE: 1/14/05
 CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: 1/21/05

DATE NO. REVISION

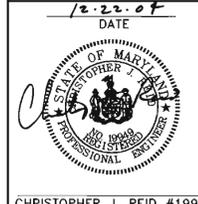
OWNER / DEVELOPER
 HOWARD COUNTY
 DEPARTMENT OF PUBLIC WORKS
 3450 COURT HOUSE DRIVE
 ELLICOTT CITY, MARYLAND 21043

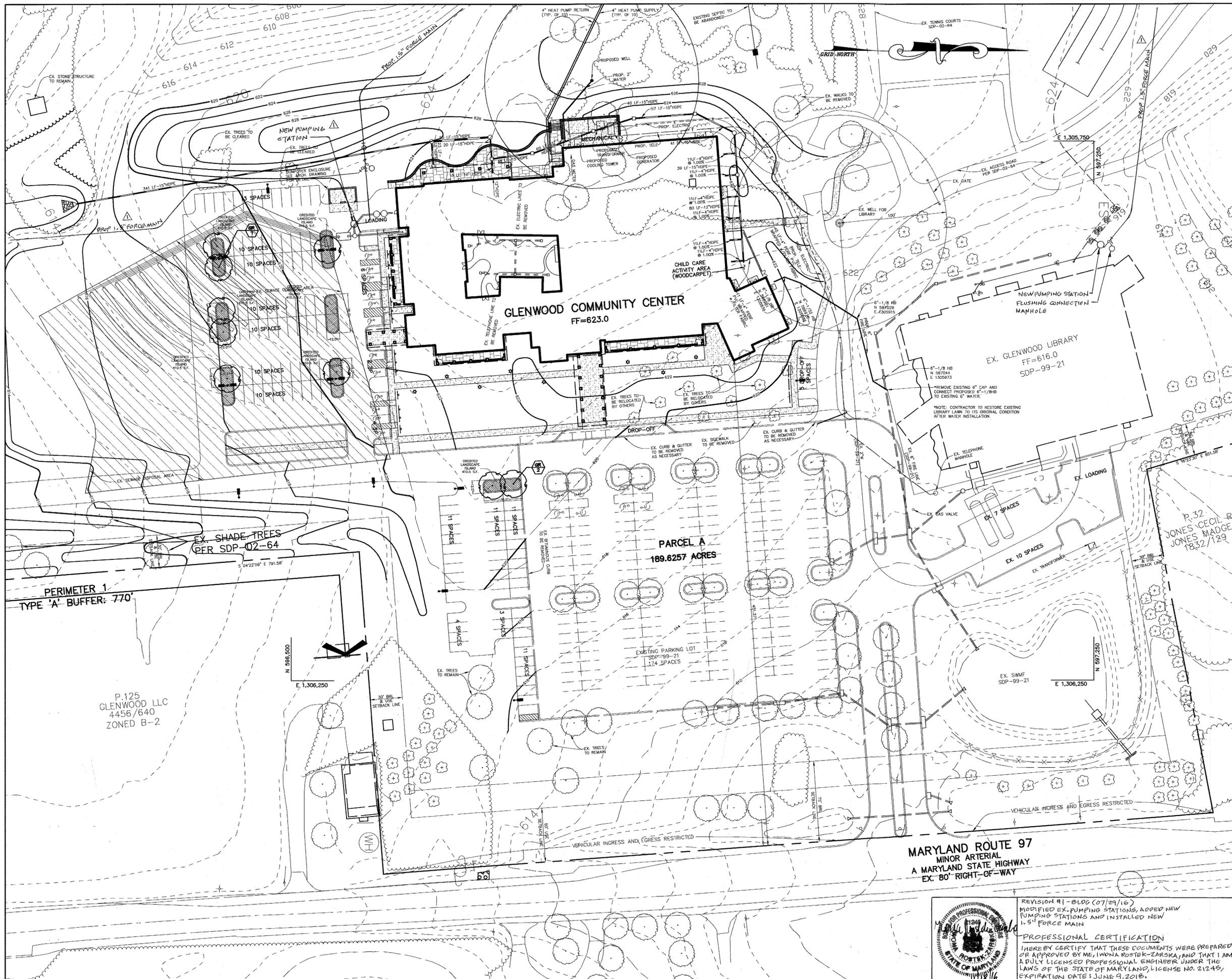
PROJECT: **GLENWOOD COMMUNITY CENTER PARCEL A**
 AREA: TAX MAP 14 ZONED RC-DEO PARCEL 249
 4th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

TITLE: **PROFILES AND DETAILS**

Patton Harris Rust & Associates, pc
 Engineers, Surveyors, Planners, Landscape Architects.
 8818 Centre Park Drive
 Columbia, MD 21045
 T 410.997.8900
 F 410.997.9282

DATE: 12.22.04
 DESIGNED BY: C.J.R.
 DRAWN BY: MAD
 PROJECT NO: 12492/1-0/ENR PLANS/C700PROF
 DATE: DECEMBER 22, 2004
 SCALE: AS SHOWN
 DRAWING NO. 9 OF 13





LEGEND	
EX. TREELINE	
PROP. TREELINE	
PROPERTY LINE	
CONTOUR LINES	
EX. BUILDING	
PROP. SHADE TREE	
PROP. EVERGREEN TREE	
PARKING LOT LANDSCAPE REQUIREMENT	
PERIMETER LANDSCAPE REQUIREMENT	
PERIMETER LANDSCAPE EDGE LIMITS	
CREDITED LANDSCAPE ISLAND	

LANDSCAPE NOTE
 1. IF REQUIRED, REPLACE ANY EXISTING LANDSCAPE TREE(S) REMOVED FOR THE LINE INSTALLATION IN A LOCATION IN PROXIMITY OF THE ORIGINAL TREE OR AS SHOWN ON THE PLANS.

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
 Director: *Paul A. Gagnier* 1/24/05
 Chief, Development Engineering Division: *John P. ...* 1/14/05
 Chief, Division of Land Development: *Chris ...* 1/21/05

DATE	NO.	REVISION

OWNER / DEVELOPER
 HOWARD COUNTY
 DEPARTMENT OF PUBLIC WORKS
 3450 COURT HOUSE DRIVE
 ELLICOTT CITY, MARYLAND 21043

PROJECT: **GLENWOOD COMMUNITY CENTER PARCEL A**
 AREA: TAX MAP 14 ZONED RC-DEO PARCEL 249
 4th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

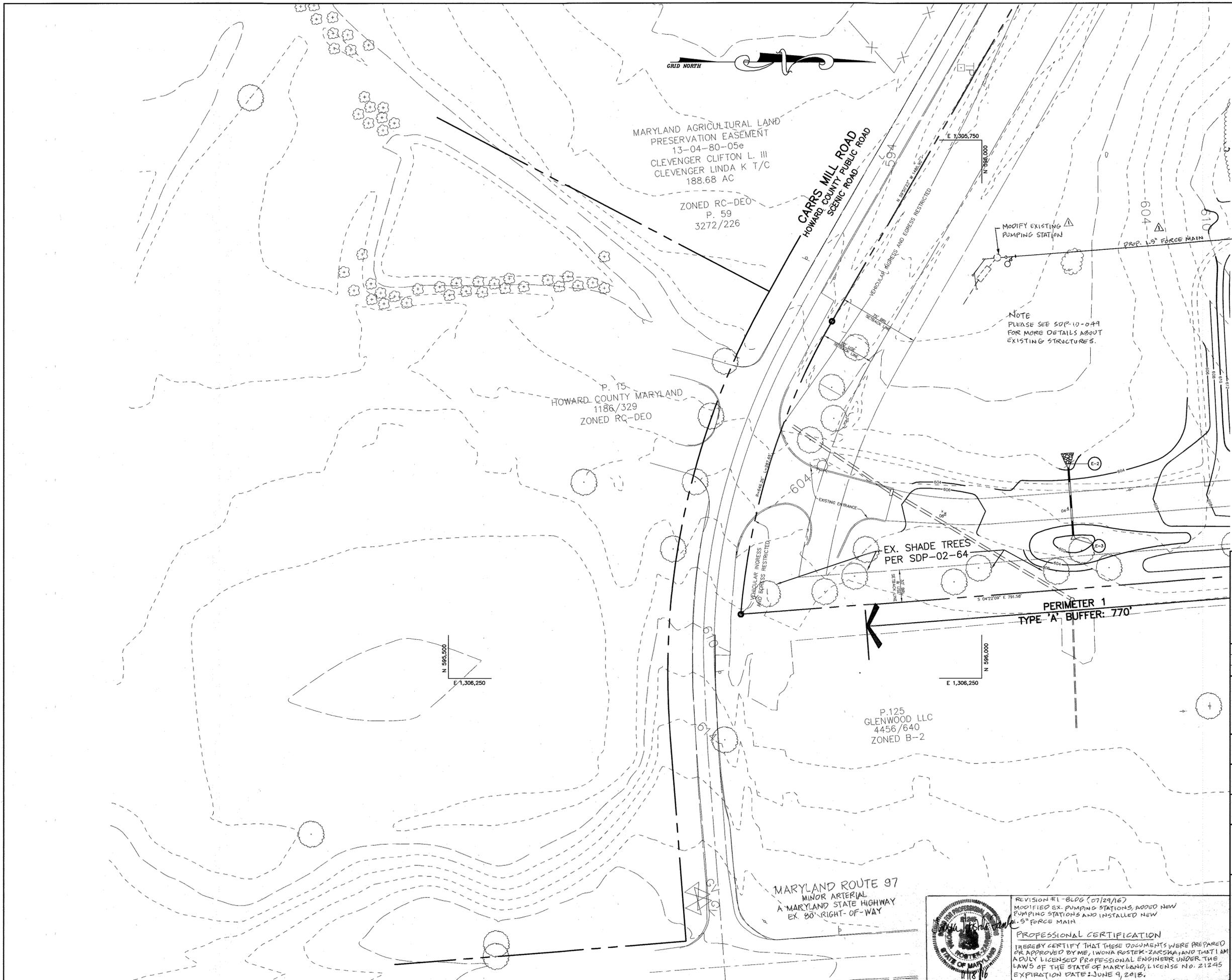
TITLE: **LANDSCAPE PLAN**

Patton Harris Rust & Associates, pc
 Engineers, Surveyors, Planners, Landscape Architects.
 8818 Centre Park Drive
 Columbia, MD 21045
 T 410.997.8900
 F 410.997.9282

12.22.04
 DATE
 DESIGNED BY : ALC
 DRAWN BY : ALC
 PROJECT NO : 12492/1-0/ENGR PLANS/L200LND
 DATE : DECEMBER 22, 2004
 SCALE : 1"=40'
 DRAWING NO. 10 OF 13



REVISION #1 - BLOC (07/29/16)
 MODIFIED EX. PUMPING STATIONS, ADDED NEW PUMPING STATIONS AND INSTALLED NEW 1.5" FORCE MAIN
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, IWONA ROSTEK-ZARSKA, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2016.



LEGEND	
EX. TREELINE	
PROP. TREELINE	
PROPERTY LINE	
CONTOUR LINES	
EX. BUILDING	
PROP. SHADE TREE	
PROP. EVERGREEN TREE	
PARKING LOT LANDSCAPE REQUIREMENT	
PERIMETER LANDSCAPE REQUIREMENT	
PERIMETER LANDSCAPE EDGE LIMITS	
CREDITED LANDSCAPE ISLAND	

LANDSCAPE NOTE
 1. IF REQUIRED, REPLACE ANY EXISTING LANDSCAPE TREE(S) REMOVED FOR THE LINE INSTALLATION IN A LOCATION IN PROXIMITY OF THE ORIGINAL TREE OR AS SHOWN ON THE PLANS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
Frank A. Lytle 1/24/05
 DIRECTOR DATE
Mark D. ... 1/14/05
 CHIEF, DEVELOPMENT ENGINEERING DIVISION M&T DATE
Cindy Hamstra 1/21/05
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE	NO.	REVISION

OWNER / DEVELOPER
 HOWARD COUNTY
 DEPARTMENT OF PUBLIC WORKS
 3450 COURT HOUSE DRIVE
 ELLICOTT CITY, MARYLAND 21043

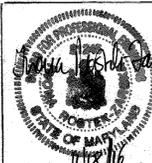
PROJECT
**GLENWOOD COMMUNITY CENTER
 PARCEL A**

AREA TAX MAP 14 ZONED RC-DEO PARCEL 249
 4th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

TITLE
LANDSCAPE PLAN

Patton Harris Rust & Associates, pc
 Engineers, Surveyors, Planners, Landscape Architects.
 8818 Centre Park Drive
 Columbia, MD 21045
 T 410.997.8900
 F 410.997.9282

DESIGNED BY: ALC
DRAWN BY: ALC
PROJECT NO. 12492/1-0/ENGR PLANS/L2011LD
DATE: DECEMBER 22, 2004
SCALE: 1"=40'
DRAWING NO. 11 OF 13



REVISION #1 - BLOG (07/29/16)
 MODIFIED EX. PUMPING STATIONS, ADDED NEW PUMPING STATIONS AND INSTALLED NEW 1.5" FORCE MAIN

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, IWONA ROSTEK-ZARSKA, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2016.



SCHEDULE A - PERIMETER LANDSCAPE EDGE	
	ADJACENT TO PERIMETER PROPERTIES
PERIMETER	1
LANDSCAPE TYPE	A
LINEAR FEET OF ROADWAY FRONTAGE/ PERIMETER	±770'
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	*YES ±770'
CREDIT FOR WALL, FENCE, BERM OR DRIVE AISLE (YES/NO/LINEAR FEET)	NO
LINEAR FEET REMAINING	0
NUMBER OF PLANTS REQUIRED	*13
SHADE TREES	-
EVERGREEN TREES	-
SHRUBS	-
NUMBER OF PLANTS PROVIDED	-
SHADE TREES	-
EVERGREEN TREES	-
SHALL FLOWERING TREES	-
SHRUBS	-

SCHEDULE 'A' NOTES:

REGULATIONS DO NOT REQUIRE LANDSCAPE EDGES, BUFFERING, OR SCREENING BETWEEN INTERNAL LOTS OR PARCELS WITHIN THE SAME DEVELOPMENT. (PAGE 17 OF THE HO. CO. LANDSCAPE MANUAL)

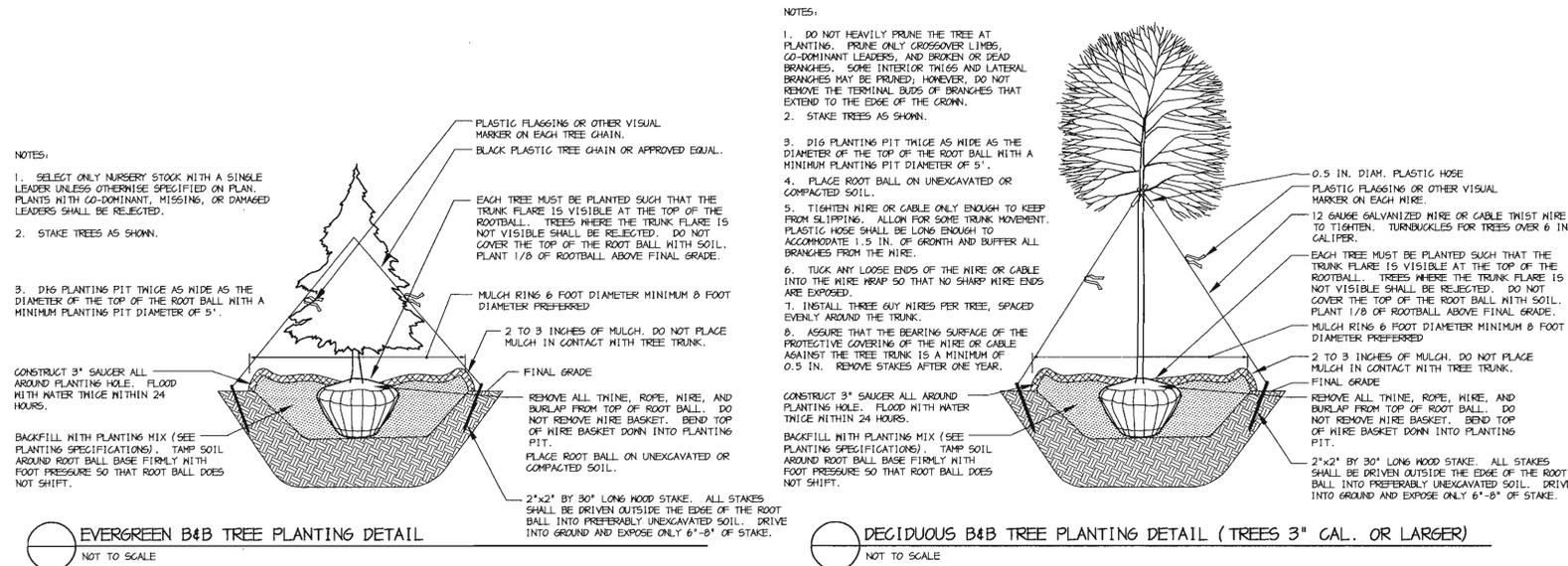
* CREDIT TAKEN FOR 13 SHADE TREES PROVIDED UNDER SDP-02-64.

SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING	
PARKING LOTS	1
NUMBER OF PARKING SPACES	141
NUMBER OF SHADE TREES REQUIRED (1/20 SPACES)	7
NUMBER OF TREES PROVIDED	7
SHADE TREES	0
OTHER TREES (2:1 SUBSTITUTION)	0
NUMBER OF ISLANDS PROVIDED (200 S.F. PER ISLAND)	10

PERIMETER AND PARKING LOT PLANT LIST					
SYMBOL	QTY.	SCIENTIFIC/COMMON NAME	SIZE	ROOT	REMARKS
OR	9	Quercus rubra Red Oak	2.5'-3' cal.	B&B	Plant as shown

PLANTING SPECIFICATIONS

- Plants, related material, and operations shall meet the detailed description, as given on the plans and as described herein. Where discrepancies exist between Standards & Guidelines referenced within these specifications and the Howard County Landscape Manual, the latter takes precedence.
- All plant material, unless otherwise specified, that is not nursery grown, uniformly branched, does not have a vigorous root system, and does not conform to the most recent edition of the American Association of Nurserymen (AAN) Standards will be rejected. Plant material that is not healthy, vigorous, free from defects, decay, disfiguring roots, sunscald injuries, abrasions of the bark, plant disease, insect pest eggs, borers and all forms of insect infestations or objectionable disfigurements will be rejected. Plant material that is weak or which has been cut back from larger grades to meet specified requirements will be rejected. Trees with forked leaders will be rejected. All B & B plants shall be freshly dug; no healed-in plants or plants from cold storage will be accepted.
- Unless otherwise specified, all general conditions, planting operations, details and planting specifications shall conform to the most recent edition of the "Landscape Specification Guidelines by the Landscape Contractors Association of MD, DC, & VA", (hereinafter "Landscape Guidelines") approved by the Landscape Contractors Association of Metropolitan Washington and the Potomac Chapter of the American Society of Landscape Architects.
- Contractor shall guarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section on the Landscape Guidelines. Contractor's attention is directed to the maintenance requirements found within the one year specifications including watering and replacement of specified plant material.
- Contractor shall be responsible for notifying all relevant and appropriate utility companies, utility contractors, and "Miss Utility" a minimum of 48 hours prior to the beginning of any work. Contractor may make minor adjustments in spacing and location of plant material to avoid conflicts with utilities. Major changes will require the approval of the landscape architect. Damage to existing structure and utilities shall be repaired at the expense of the Contractor.
- Protection of existing vegetation to remain shall be accomplished via the temporary installation of 4 foot high snow fence at the drip line, see detail.
- Contractor is responsible for installing all material in the proper planting season for each plant type. All planting is to be completed within growing season of construction. Do not plant Pinus strobus or Xcupressacyparis leylandii between November 15 and March 15. Landscape plants are not to be installed before site is graded to final grade.
- Contractor to regrade, fine grade, sod, hydroseed and straw mulch all areas disturbed by their work.
- Bid shall be based on actual site conditions. No extra payment shall be made for work arising from actual site conditions differing from those indicated on drawings and specifications.
- Plant quantities are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on plan and those shown on the plant list, the quantities on the plant take precedence. Where discrepancies on the plan exist between the symbols and the callout leader, the number of symbols take precedence.
- All shrubs and groundcover areas shall be planted in continuous planting beds, prepared as specified, unless otherwise indicated on plans. (See Specification 13). Beds to be mulched with minimum 2" and maximum 3" of composted, double-shredded hardwood mulch throughout.
- Positive drainage shall be maintained on planting beds (minimum 2 percent slope).
- Bed preparation shall be as follows: Till into a minimum depth of 6" 1 yard of Compro or Leafgro per 200 SF of planting bed, and 1 yard of topsoil per 100 SF of bed. Add 3 lbs of standard 5-10-5 fertilizer per cubic yard of planting mix and till. Ericaceous plants (Azaleas, Rhododendrons, etc.); top dress after planting with iron sulfate or comparable product according to package directions. Taxus baccata 'Repandens' (English weeping yews); Top dress after planting with 1/4 to 1/2 cup lime each.
- Planting mix: For trees not in a prepared bed, mix 50% Compro or Leafgro with 50% soil from tree hole to use as backfill, see tree planting detail.
- Weed & insect control: Incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. For tree planting, apply a pre-emergent on top of soil and root ball before mulching. Caution: For areas to be planted with a ground cover, be sure to carefully check the chemical used to assure its adaptability to the specific groundcover to be treated. Maintain the mulch weed-free for the extent of the warranty period. Under no circumstances is a pesticide containing chlorpyrifos to be used as a means of pest control.
- Water: All plant material planted shall be watered thoroughly the day of planting. All plant material not yet planted shall be properly protected from drying out until planted. At a minimum, water unplanted plant material daily and as necessary to avoid desiccation.
- Pruning: Do not heavily prune trees and shrubs at planting. Prune only broken, dead, or diseased branches.
- All areas within contract limits disturbed during or prior to construction not designated to receive plants and mulch shall be fine graded, grass seed planted, and covered with straw mulch.



GENERAL NOTES:

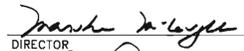
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- THIS PLAN IS FOR LANDSCAPING PURPOSES ONLY.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- ALL MATERIAL SELECTED SHALL BE EQUAL TO OR BETTER THAN THE REQUIREMENTS OF THE "USA STANDARD FOR NURSERY STOCK", LATEST EDITION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL MATERIAL SHALL BE PLANTED IN ACCORDANCE WITH THE MINIMUM STANDARDS CITED IN THE LATEST EDITION OF "LANDSCAPE SPECIFICATION GUIDELINES" PUBLISHED BY THE LANDSCAPE CONTRACTORS ASSOCIATION.
- AT THE TIME OF INSTALLATION, ALL SHRUBS AND OTHER PLANTINGS SHALL BE OF THE PROPER HEIGHT AND/OR SPREAD REQUIREMENTS IN ACCORDANCE WITH THIS PLAN AND THE HOWARD COUNTY LANDSCAPE MANUAL.
- NO SUBSTITUTIONS OR RELOCATION OF PLANTS MAY BE MADE WITHOUT PRIOR APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING OF HOWARD COUNTY. ANY DEVIATION FROM THIS LANDSCAPE PLAN MAY RESULT IN A REQUIREMENT FOR SUBMITTAL OF AN OFFICIAL "REDLINE REVISION" TO THE SITE DEVELOPMENT PLAN(S).

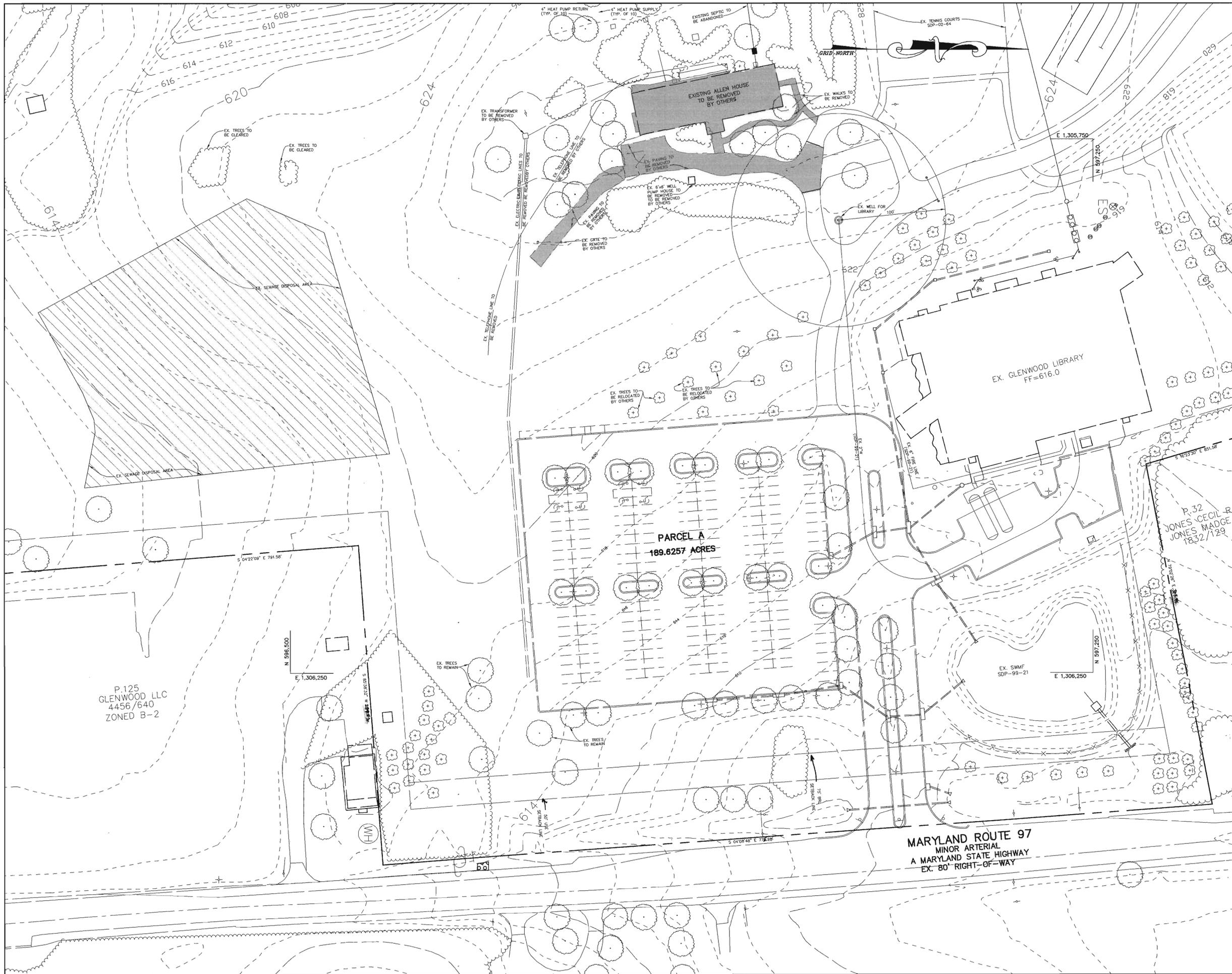
LANDSCAPE CERTIFICATE:

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.



 SIGNATURE DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.	
	1/24/05
DIRECTOR	DATE
	1/4/05
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
	1/21/05
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
DATE	REVISION
OWNER / DEVELOPER	
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS 3450 COURT HOUSE DRIVE ELLCOTT CITY, MARYLAND 21043	
PROJECT	
GLENWOOD COMMUNITY CENTER PARCEL A	
AREA TAX MAP 14 ZONED RC-DEO PARCEL 249 4th ELECTION DISTRICT HOWARD COUNTY, MARYLAND	
TITLE	
LANDSCAPE SCHEDULES AND DETAILS	
Patton Harris Rust & Associates, pc Engineers, Surveyors, Planners, Landscape Architects. 8818 Centre Park Drive Columbia, MD 21045 T 410.997.8900 F 410.997.9282	
12.22.04	DATE
DESIGNED BY: ALC	
DRAWN BY: ALC	
PROJECT NO.: 12492/1-0/ENGR PLANS/L202LND	
DATE: DECEMBER 22, 2004	
SCALE: NOT TO SCALE	
DRAWING NO.: 12 OF 13	
SCOTT R. WOLFORD #797	



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Mark A. Lytle 1/21/05
 DIRECTOR DATE

Mike Dawson 1/4/05
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MAZ DATE

Cindy Samstra 1/21/05
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE	NO.	REVISION

OWNER / DEVELOPER
 HOWARD COUNTY
 DEPARTMENT OF PUBLIC WORKS
 3450 COURT HOUSE DRIVE
 ELLICOTT CITY, MARYLAND 21043

PROJECT
**GLENWOOD COMMUNITY CENTER
 PARCEL A**

AREA TAX MAP 14 ZONED RC-DEO PARCEL 249
 4th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

TITLE
DEMOLITION PLAN

Patton Harris Rust & Associates, pc
 Engineers, Surveyors, Planners, Landscape Architects.
 8318 Centre Park Drive
 Columbia, MD 21045
 T: 410.997.8900
 F: 410.997.9282

12.22.04
 DATE

DESIGNED BY: C.J.R.
 DRAWN BY: MAD
 PROJECT NO: 12492/1-0/ENGR
 PLANS/C300DEM
 DATE: DECEMBER 22, 2004
 SCALE: 1"=40'
 DRAWING NO. 13 OF 13



CHRISTOPHER J. REID #19949

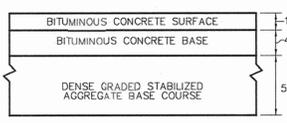
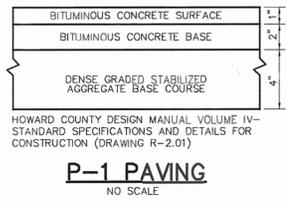
P.125
 GLENWOOD LLC
 4456/640
 ZONED B-2

MARYLAND ROUTE 97
 MINOR ARTERIAL
 A MARYLAND STATE HIGHWAY
 EX. 80' RIGHT-OF-WAY

PARCEL A
 189.8257 ACRES

EX. GLENWOOD LIBRARY
 FF=616.0

P.32
 JONES, CEIL R.
 JONES MADGE
 1832/129



HOWARD COUNTY DESIGN MANUAL VOLUME IV - STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (DRAWING R-2.01)

HOWARD COUNTY DESIGN MANUAL VOLUME IV - STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (DRAWING R-2.01)

1/2" RANDOM PATTERN FLAGSTONE PAVERS

1/2" MORTAR SETTING BED & MORTAR JOINT

5" CONCRETE SLAB

6" COMPACTED AGGREGATE BASE

COMPACTED SUBGRADE

FLAGSTONE PAVER DETAIL
NO SCALE

PAVEMENT WIDTH INDICATED ON TYPICAL STREET SECTIONS TO BE MEASURED TO THIS POINT

DEPRESSED CURB AT DRIVEWAY ENTRANCES

M.S.H.A. MIX No. 2 CONCRETE

HOWARD COUNTY DESIGN MANUAL VOLUME IV - STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (DRAWING R-3.01)

* GUTTER PAN AT THE MEDIAN EDGE OF INTERMEDIATE ARTERIALS OF THE HIGH SIDE OF SUPERELEVATED SECTIONS SHALL BE SLOPED AT THE SAME RATE AS THE PAVEMENT.

STANDARD 7" COMBINATION CURB AND GUTTER
NO SCALE

DEPRESSED CURB AT DRIVEWAY ENTRANCES

M.S.H.A. MIX No. 2 CONCRETE

HOWARD COUNTY DESIGN MANUAL VOLUME IV - STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (DRAWING R-3.01)

* GUTTER PAN AT THE MEDIAN EDGE OF INTERMEDIATE ARTERIALS OF THE HIGH SIDE OF SUPERELEVATED SECTIONS SHALL BE SLOPED AT THE SAME RATE AS THE PAVEMENT.

REVERSE 7" COMBINATION CURB AND GUTTER
NO SCALE

M.S.H.A. MIX No. 2 CONCRETE

UNLESS OTHERWISE NOTED

6" x 6" WELDED WIRE MESH

COMPACTED SUBGRADE

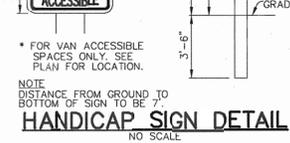
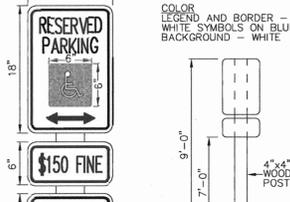
4" COMPACTED CRUSHED STONE BASE, SEE BID SPECS.

NOTES:

PROVIDE LATITUDINAL EXPANSION JOINTS AT 15' O.C. (MAX.)

PROVIDE CONTRACTION (DUMMY) JOINT AT 5' O.C. INTERVALS BETWEEN EXPANSION JOINTS. SIDEWALK TO BE CURBED IN 5' MAX. SQUARES.

SIDEWALK w/ REINFORCING
NO SCALE



FOR VAN ACCESSIBLE SPACES ONLY. SEE PLAN FOR LOCATION.

NOTE: DISTANCE FROM GROUND TO BOTTOM OF SIGN TO BE 7".

FOR VAN ACCESSIBLE SPACES ONLY. SEE PLAN FOR LOCATION.

NOTE: DISTANCE FROM GROUND TO BOTTOM OF SIGN TO BE 7".



18.5' PARKING SPACE

CONCRETE WHEEL STOP

1:1 SLOPE

P-1 PAVING

REBAR ANCHOR MIN. 18" INTO GROUND

INTERLOCKING BLOCK PAVED

SOIL

GRASS

95% COMPACTED SUBGRADE

POROUS PAVEMENT FOR MAINTENANCE ACCESS
NO SCALE

12" THICK "WOOD CARPET"

"DURALINER" GEOTEXTILE FABRIC

3" MIN. DEPTH GRAVEL

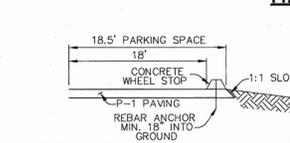
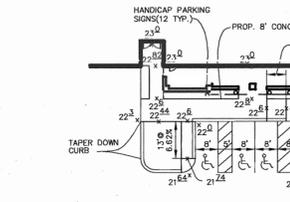
"DURALINER" GEOTEXTILE FABRIC

SUBSOIL 2% GRADE TO DRAIN PIPE

4" PERF. PVC WRAPPED WITH FILTER FABRIC

ZEAGER "WOODCARPET" GRAVEL SYSTEM FOR CHILD CARE ACTIVITY AREA
NO SCALE

SCALE: 1"=50'



18.5' PARKING SPACE

CONCRETE WHEEL STOP

1:1 SLOPE

P-1 PAVING

REBAR ANCHOR MIN. 18" INTO GROUND

INTERLOCKING BLOCK PAVED

SOIL

GRASS

95% COMPACTED SUBGRADE

POROUS PAVEMENT FOR MAINTENANCE ACCESS
NO SCALE

12" THICK "WOOD CARPET"

"DURALINER" GEOTEXTILE FABRIC

3" MIN. DEPTH GRAVEL

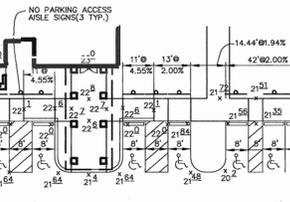
"DURALINER" GEOTEXTILE FABRIC

SUBSOIL 2% GRADE TO DRAIN PIPE

4" PERF. PVC WRAPPED WITH FILTER FABRIC

ZEAGER "WOODCARPET" GRAVEL SYSTEM FOR CHILD CARE ACTIVITY AREA
NO SCALE

SCALE: 1"=50'



18.5' PARKING SPACE

CONCRETE WHEEL STOP

1:1 SLOPE

P-1 PAVING

REBAR ANCHOR MIN. 18" INTO GROUND

INTERLOCKING BLOCK PAVED

SOIL

GRASS

95% COMPACTED SUBGRADE

POROUS PAVEMENT FOR MAINTENANCE ACCESS
NO SCALE

12" THICK "WOOD CARPET"

"DURALINER" GEOTEXTILE FABRIC

3" MIN. DEPTH GRAVEL

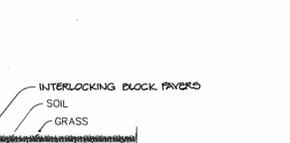
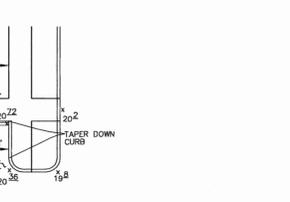
"DURALINER" GEOTEXTILE FABRIC

SUBSOIL 2% GRADE TO DRAIN PIPE

4" PERF. PVC WRAPPED WITH FILTER FABRIC

ZEAGER "WOODCARPET" GRAVEL SYSTEM FOR CHILD CARE ACTIVITY AREA
NO SCALE

SCALE: 1"=50'



18.5' PARKING SPACE

CONCRETE WHEEL STOP

1:1 SLOPE

P-1 PAVING

REBAR ANCHOR MIN. 18" INTO GROUND

INTERLOCKING BLOCK PAVED

SOIL

GRASS

95% COMPACTED SUBGRADE

POROUS PAVEMENT FOR MAINTENANCE ACCESS
NO SCALE

12" THICK "WOOD CARPET"

"DURALINER" GEOTEXTILE FABRIC

3" MIN. DEPTH GRAVEL

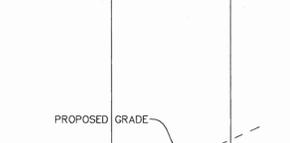
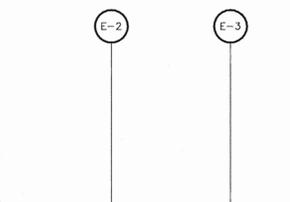
"DURALINER" GEOTEXTILE FABRIC

SUBSOIL 2% GRADE TO DRAIN PIPE

4" PERF. PVC WRAPPED WITH FILTER FABRIC

ZEAGER "WOODCARPET" GRAVEL SYSTEM FOR CHILD CARE ACTIVITY AREA
NO SCALE

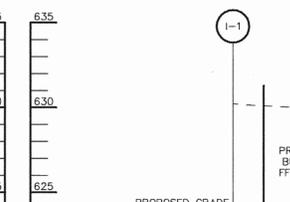
SCALE: 1"=50'



EXISTING GROUND

PROPOSED GRADE

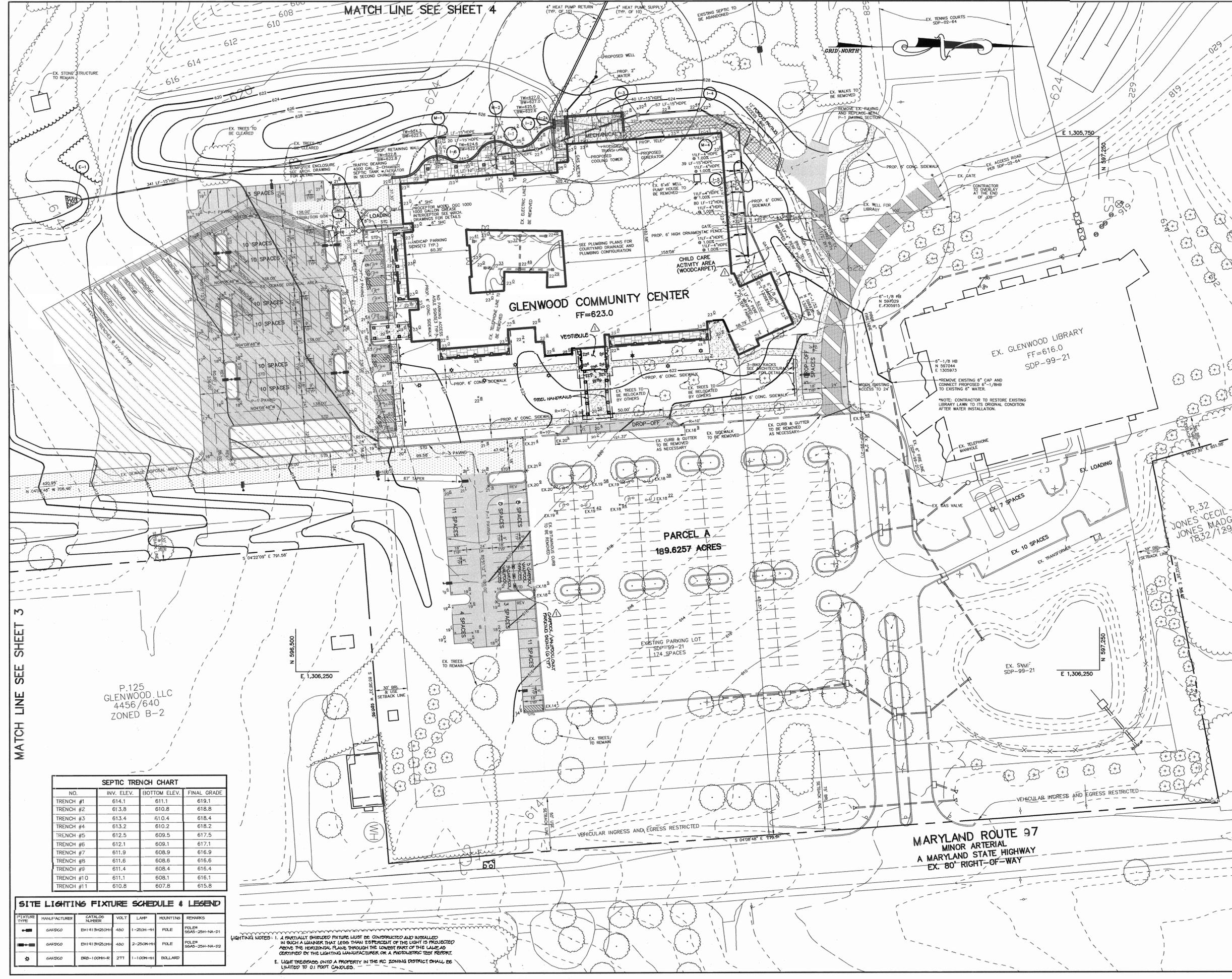
15" HDPE @ 1.00%



EXISTING GROUND

PROPOSED GRADE

15" HDPE @ 1.00%



- NOTES:**
1. ALL RADI ARE 5' UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS ARE TO FACE OF CURB OR BUILDING UNLESS OTHERWISE NOTED.
 3. ALL ON-SITE ROADS ARE PRIVATE.
 4. ALL LIGHTING IS TO BE DIRECTED/REFLECTED AWAY FROM ADJACENT PUBLIC ROADS AND RESIDENTIALLY ZONED PROPERTIES, AND BE IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
 5. * STD/REV - STANDARD TO REVERSE CURB TRANSITION.
- LEGEND**
- 6. P-1 PAVING
 - 7. P-3 PAVING
 - 8. POROUS PAVING
 - 9. CONCRETE
 - 10. PAVING OVERLAY
 - 11. FLAGSTONE WALK

- LEGEND**
- EXISTING 2' CONTOUR = 400
 - EXISTING 10' CONTOUR = 400
 - PROPOSED 2' CONTOUR = 400
 - PROPOSED 10' CONTOUR = 400
 - PROPERTY LINE AND RIGHT OF WAY
 - EXISTING STORM DRAIN = 15'D
 - PROPOSED STORM DRAIN = 15'D
 - EXISTING TREELINE
 - PROPOSED TREELINE
 - EXISTING TREE
 - PROP. SPOT ELEVATION = 13'2
 - SETBACK LINES
 - EXISTING WATER
 - EXISTING CURB
 - PROPOSED CURB

WATER NOTE
CONTRACTOR TO ENSURE WATER LINE WORK DOES NOT OCCUR DURING LIBRARY HOURS OF OPERATION AND THAT WATER SERVICE IS MAINTAINED TO FACILITY AT ALL TIMES DURING HOURS OF OPERATION.

APPROVED : FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS.

Robert Wells 1/19/05
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Mark A. Leight 1/21/05
DIRECTOR

W. DeLeon 1/14/05
CHIEF, DEVELOPMENT ENGINEERING DIVISION

Gandy Hamuda 1/21/05
CHIEF, DIVISION OF LAND DEVELOPMENT

OWNER / DEVELOPER
HOWARD COUNTY
DEPARTMENT OF PUBLIC WORKS
3450 COURT HOUSE DRIVE
ELLCOTT CITY, MARYLAND 21043

PROJECT
GLENWOOD COMMUNITY CENTER
PARCEL A

AREA TAX MAP 14 ZONED RC-DEO PARCEL 249
4th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE
SITE DEVELOPMENT PLAN

Patton Harris Rust & Associates, pc
Engineers, Surveyors, Planners, Landscape Architects.
8818 Centre Park Drive
Columbia, MD 21045
T 410.997.8900
F 410.997.9282

DATE
12-22-04

DESIGNED BY : C.J.R.
DRAWN BY: MAD
PROJECT NO : 12492/1-0/ENGR PLANS/C40051T
DATE : DECEMBER 22, 2004
SCALE : 1"=40'
DRAWING NO. 2 OF 13

CHRISTOPHER J. REID #19949

SEPTIC TRENCH CHART

NO.	INV. ELEV.	BOTTOM ELEV.	FINAL GRADE
TRENCH #1	614.1	611.1	619.1
TRENCH #2	613.8	610.8	618.8
TRENCH #3	613.4	610.4	618.4
TRENCH #4	613.2	610.2	618.2
TRENCH #5	612.5	609.5	617.5
TRENCH #6	612.1	609.1	617.1
TRENCH #7	611.9	608.9	616.9
TRENCH #8	611.6	608.6	616.6
TRENCH #9	611.4	608.4	616.4
TRENCH #10	611.1	608.1	616.1
TRENCH #11	610.8	607.8	615.8

SITE LIGHTING FIXTURE SCHEDULE & LEGEND

FIXTURE TYPE	MANUFACTURER	CATALOG NUMBER	VOLT	LAMP	MOUNTING	REMARKS
■	GARDCO	EH181825-04	480	1-250W-HI	POLE	POLE #6045-25H-HA-D1
■	GARDCO	EH181825-04	480	2-250W-HI	POLE	POLE #6045-25H-HA-D2
⊛	GARDCO	BRB-100M-R	277	1-100W-HI	BOLLARD	

LIGHTING NOTES:

1. A PARTIALLY SHIELDED FIXTURE MUST BE CONSTRUCTED AND INSTALLED IN SUCH A MANNER THAT LESS THAN 20 PERCENT OF THE LIGHT IS PROJECTED ABOVE THE HORIZONTAL PLANE THROUGH THE LOWEST PART OF THE LAMP AS CERTIFIED BY THE LIGHTING MANUFACTURER OR A PHOTO-METRIC TEST REPORT.
2. LIGHT TRESPASS ONTO A PROPERTY IN THE RC ZONING DISTRICT SHALL BE LIMITED TO 0.1 FOOT CANDLES.

SHEET INDEX	
NO	DESCRIPTION
1	TITLE SHEET
2	SITE DEVELOPMENT PLAN
3	SITE DEVELOPMENT PLAN
4	SITE DEVELOPMENT PLAN
5	GRADING, SEDIMENT CONTROL AND DRAINAGE AREA MAP
6	GRADING, SEDIMENT CONTROL AND DRAINAGE AREA MAP
7	GRADING, SEDIMENT CONTROL AND DRAINAGE AREA MAP
8	SEDIMENT CONTROL NOTES AND DETAILS
9	PROFILES AND DETAILS
10	LANDSCAPE PLAN
11	LANDSCAPE PLAN
12	LANDSCAPE SCHEDULES AND DETAILS
13	DEMOLITION PLAN

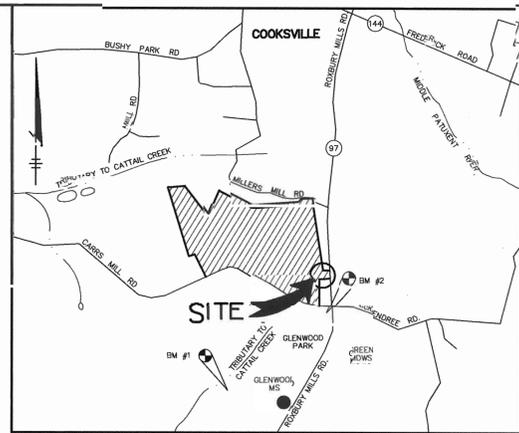
SITE DEVELOPMENT PLAN

GLENWOOD COMMUNITY CENTER

CAPITAL PROJECT C-0291

4th ELECTION DISTRICT

HOWARD COUNTY, MARYLAND



VICINITY MAP

SCALE: 1"=2000'
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AREA TABULATION CHART

AREA OF PARCEL	189.65 ACRES
LIMIT OF DISTURBED AREA	8.23 ACRES
PRESENT ZONING	RC-DEO
PROPOSED USE	COMMUNITY CENTER (ONE STORY)
BUILDING COVERAGE	△ 54,404 SF (0.66% OF SITE)
REQUIRED PARKING*	332 SPACES
PROPOSED PARKING	332 SPACES (INCL. 26 HC SPACES) = 141 PROPOSED UNDER THIS SDP & 191 EXISTING UNDER SDP-99-21

* A PARKING NEEDS ANALYSIS DATED APRIL 20, 2004, WAS SUBMITTED AND APPROVED, ALLOWING THE SHARING OF PARKING BETWEEN THE LIBRARY AND COMMUNITY CENTER. THE REQUIRED PARKING IS BASED ON OTHER SIMILAR COUNTY FACILITIES. NOTE: 694 PARKING SPACES ARE PROPOSED FOR THE WESTERN REGIONAL PARK PER APPROVED SDP-02-64

SITE TABULATION FOR SDP-99-21 GLENWOOD LIBRARY

AREA OF PROPERTY:	183.37 ACRES
AREA OF SUBMISSION:	17.7 ACRES
PRESENT ZONING:	RC-DEO
EXISTING USE:	MUKAL CONSERVATION
PROPOSED USE:	PARK AND PUBLIC LIBRARY
BUILDING AREA:	29,808 S.F.
BUILDING COVERAGE (% OF SITE):	0.37%
PARKING REQUIRED: 6 SP/1000 SF	180
PARKING PROVIDED:	191
(INCLUDES 14 HANDICAP SPACES)	6 REQUIRED
LIMIT OF SUBMISSION/DISTURBANCE	17.7 ACRES
TOTAL OCCUPANCY	343 PEOPLE

APPROVED : FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS.

Robert W. Weller 1/19/05
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Mark A. Wright 1/24/05
 DIRECTOR

William J. ... 1/4/05
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

Chris ... 1/24/05
 CHIEF, DIVISION OF LAND DEVELOPMENT

4.0.05 △ MODIFIED BUILDING COVERAGE

DATE NO. REVISION

OWNER / DEVELOPER
 HOWARD COUNTY
 DEPARTMENT OF PUBLIC WORKS
 3450 COURT HOUSE DRIVE
 ELLICOTT CITY, MARYLAND 21043

PROJECT
GLENWOOD COMMUNITY CENTER
PARCEL A

AREA TAX MAP 14 ZONED RC-DEO PARCEL 249
 4th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

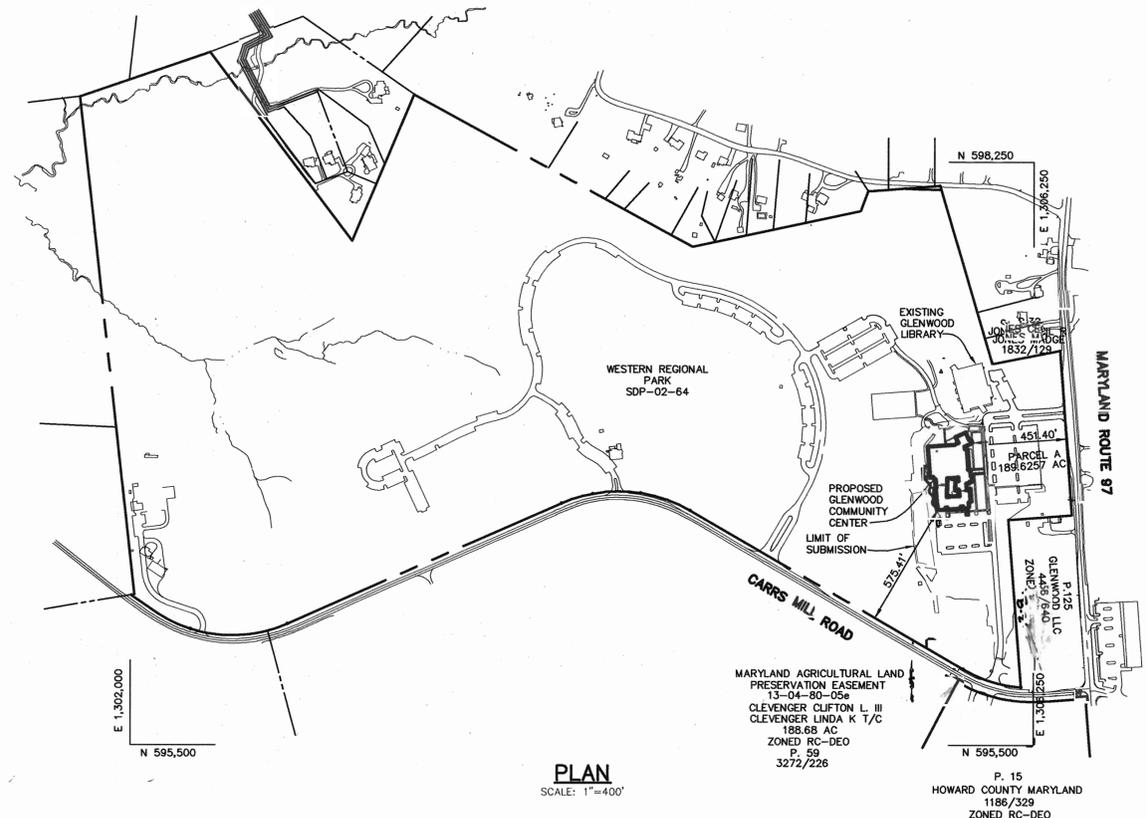
TITLE
TITLE SHEET

Patton Harris Rust & Associates, p.c.
 Engineers, Surveyors, Planners, Landscape Architects.
 8818 Centre Park Drive
 Columbia, MD 21045
 T 410.997.8900
 F 410.997.9282



DESIGNED BY : C.J.R.
 DRAWN BY: MAD
 PROJECT NO : 12492/1-0/ENGR PLANS/CO00COV
 DATE : DECEMBER 22, 2004
 SCALE : AS SHOWN
 DRAWING NO. 1 OF 13

SDP-04-134



PLAN
 SCALE: 1"=400'

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY MSHA STANDARDS AND SPECIFICATIONS AND APPLICABLE PORTIONS OF THE PROJECT SPECIFICATIONS PREPARED BY THE LUKMIRE PARTNERSHIP, PROJECT ARCHITECT.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY REMEX MUEGG & ASSOCIATES, INC., DATED FEBRUARY, 1998, AND BY PHR&A, JANUARY, 2004, AND PROPOSED GRADING INDICATED ON SDP-02-64.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM HOWARD COUNTY MONUMENT NOS. 0033 AND 0039 WERE USED FOR THIS PROJECT.
- SITE WILL BE SERVED BY WELL AND SEPTIC.
- STORMWATER MANAGEMENT QUALITY AND QUANTITY ARE PROVIDED BY TWO EXTENDED DETENTION FACILITIES THAT WILL BE OWNED AND MAINTAINED BY HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS. ONE WAS CONSTRUCTED UNDER SDP-99-21, THE OTHER UNDER SDP-02-64.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- THERE IS NO 100 YEAR FLOODPLAIN IMPACTING THE DEVELOPMENT AREA OF THIS PROJECT.
- THE WETLANDS DELINEATION STUDY FOR THIS PROJECT WAS PREPARED BY RICHARD C. PAIS, INC. DATED FEBRUARY, 1998. THERE ARE NO WETLANDS IN THE COMMUNITY CENTER AREA OF DEVELOPMENT.
- NO TRAFFIC STUDY IS REQUIRED FOR THIS PROJECT.
- NO GEOTECHNICAL STUDY FOR STORMWATER MANAGEMENT IS REQUIRED FOR THIS PROJECT.
- THE BOUNDARY SURVEY FOR THIS PROJECT WAS PREPARED BY HOWARD COUNTY, DATED APRIL 5, 1998.
- SUBJECT PROPERTY ZONED RC-DEO PER 2-2-04 COMPREHENSIVE ZONING PLAN.
- ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
- SEE DEPARTMENT OF PLANNING AND ZONING FILE NO'S: F-79-71, SDP-99-21, WP-99-38, SDP-02-64, F-01-174, WP-02-92
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD.
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE.
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- STORM DRAIN TRENCHES WITHIN ROADWAY SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.E., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, LATEST AMENDMENTS.
- PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T88.
- SITE LIGHTING SHALL BE IN ACCORDANCE WITH THE OUTDOOR LIGHTING REQUIREMENTS OF SECTION 134 OF THE ZONING REGULATIONS AND SHALL DIRECT LIGHT DOWNWARDS AND INWARDS ON-SITE AWAY FROM ADJOINING RESIDENTIAL USE PROPERTIES AND PUBLIC ROADS.
- LANDSCAPING HAS BEEN PROVIDED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- THE FOREST CONSERVATION REQUIREMENTS FOR THIS PROJECT AREA WERE PREVIOUSLY ADDRESSED UNDER SDP-02-64 AND F-01-174 WITH A BREAK-EVEN OBLIGATION OF 41.77 ACRES MET WITH THE RECORDING OF 42.54 ACRES OF ON-SITE RETENTION EASEMENT.
- THIS SDP IS SUBJECT TO THE FIRST AMENDMENT TO THE FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS DATED OCTOBER 2, 2003 AND THE COMPREHENSIVE ZONING PLAN AND REGULATIONS ADOPTED ON FEBRUARY 2, 2004.

PRIVATE WATER AND SEWER GENERAL NOTES

- THIS AREA DESIGNATES A PRIVATE SEWAGE EASEMENT OF AT LEAST 10,000 SQUARE FEET (AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENTAL FOR INDIVIDUAL SEWAGE DISPOSAL (COMAR 26.0403). IMPROVEMENT OF ANY NATURE IN THIS AREA AREA RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE. THIS EASEMENT SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS INTO THE PRIVATE SEWAGE EASEMENT. RECORDATION OF A MODIFIED SEWAGE EASEMENT SHALL NOT BE NECESSARY.
- PERC HOLES SHOWN HEREON HAVE BEEN FIELD LOCATED BY HOWARD COUNTY SURVEY DIVISION.
- SUBJECT PROPERTY ZONED RC-DEO.
- THERE ARE NO SLOPES 25% OR GREATER WITHIN 25' OF PROPOSED SEPTIC AREA.
- ALL WELLS AND SEPTIC SYSTEMS WITHIN 100' OF PROPERTY LINES HAVE BEEN SHOWN.
- GROUNDWATER APPROPRIATION PERMIT (GWAP) #HO-2004-G010. EFFECTIVE DATE: JANUARY 1, 2005. EXPIRATION DATE: JANUARY 1, 2017.
- INSTALL WATER METER ON INLET SIDE OF TANK. METER TO BE MONITORED MONTHLY.
- ORENCO "NIBBLER" AERATOR TO BE INSTALLED IN SECOND CHAMBER.

SEPTIC DESIGN CALCULATIONS

BASED ON SIMILAR FACILITY ACTUAL WATER USAGE WE FIND THE FOLLOWING:
 688 GPD AVERAGE FLOW FOR 30,000 SF ACTIVITY CENTER IN HARFORD COUNTY.
 PEAK FLOW = 688 X 2 = 1376 GPD
 THEREFORE FOR 53,961 SF FACILITY : 1376 X 53961/30000 = 2475 GPD
 TRENCH LENGTH CALCULATION: 2475 GPD / 0.8 = 3093.75 / 3' TRENCH BOTTOM WIDTH = 1031' REQUIRED
 SEPTIC TANK VOLUME = 1125 + .75(2475) = 4012.5 USE 4000 GALLON TANK
 SEPTIC TANK: 2 CHAMBER WITH AERATING DEVICE IN SECOND CHAMBER
 TRENCHES TO BE 3' WIDE, 12" ON CENTER

BENCHMARKS

BM #1 HOWARD CO. SURVEY CONTROL STATION: 0033
 N 593953.2439 E 1304825.8350
 NGS STAMPED CONCRETE MONUMENT ELEV. 594.56
 BM #2 HOWARD CO. SURVEY CONTROL STATION: 0039
 N 595722.8335 E 1306481.6720
 STAMPED CONCRETE MONUMENT ELEV. 620.07

ADDRESS CHART

PARCEL NUMBER	STREET ADDRESS
A	2400 ROUTE 97

SUBDIVISION NAME	SECT./AREA	PARCEL
WESTERN REGIONAL PARK	-	249, A
PLAT NO. 15581-15585	BLOCK # ZONING TAX MAP NO. ELECT. DIST. CENSUS TRACT	
	3, 4, 8, 10 RC-DEO 14 4 6040.02	
WATER CODE	SEWER CODE	

BUILDING ELEVATION

NO SCALE

