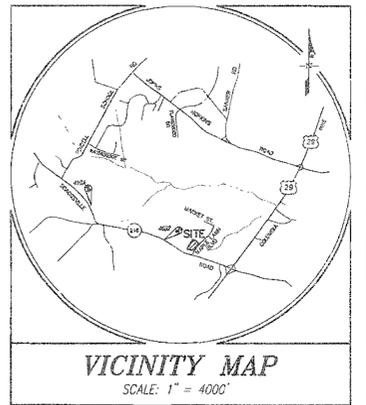


# SITE DEVELOPMENT PLAN MAPLE LAWN FARMS WEST PAD SITE PARCELS C-7 & C-8



### General Notes

- All construction shall be in accordance with the latest standards and specifications of Howard County plus MSHA standards and specifications if applicable.
- The contractor shall notify the Department of Public Works, Bureau of Engineering, Construction Inspection Division at (410) 515-1800 at least five (5) working days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-251-TITI at least 48 hours prior to any excavation work being done.
- Project Background:  
Location: TAX MAP #46, GRIDS 3 & 4  
Zoning: MXD-3  
Election District: 5th  
Bullicable Lot Area: 3.17 AC.  
Rec. Ref.: PLAT # 16624, F-04-115
- The contractor shall notify the Howard County Department of Public Works, Bureau of Utilities at (410) 313-4900 at least five (5) working days prior to starting any excavation work.
- Proposed Use: Bank and Retail/Restaurant Building
- All plan dimensions are to face of building or face of curb unless otherwise noted. Dimensions are measured perpendicular or radially between items unless otherwise noted.
- Existing topography is shown per field run survey information by Gutschick, Little & Weber, P.A. & by design grades from design plans for construction.
- Coordinates and bearings are based upon the '83 MD State Coordinate system (NAD '83) as projected by Howard County Geodetic Control Stations No. 41EA, 41EB, 41EA and No. 46B2.
- Property is zoned MXD-3 per the 2-2-04 Comprehensive Zoning Plan per Council Bill No. 15-2002. Per ZB-995M was approved 2/18/01 granting approval to FDP.
- Site Department of Planning & Zoning file numbers: S-01-11, ZB-995M, WP-01-11(4), WP-02-54(1), WP-03-22(1), F-02-12, F-03-07, SDF-03-06, F-04-55, SDF-04-44, SDF-04-44 and F-04-115.
- Water and sewer service is public.
- All existing water and sewer is per Contract 24-4062-D.
- All existing public storm drain is per F-03-07.
- Stormwater Management is being provided by F-03-07, along with a drainwell and stormceptor on this site plan.
- Recording reference: Plat No. 16624.
- Existing utilities are based on approved design plans for construction and field location by Gutschick, Little & Weber, P.A.
- There are no known cemeteries, grave sites or historic structures located on the subject property.
- There are no scenic roads within or adjacent to the subject property.
- There is no floodplain on this site.
- There are no wetlands on this site.
- This property was brought into the Metropolitan District on August 20, 2001.
- Building setbacks and building restrictions are in accordance with the approved Development Criteria per PB Case No. 353 and S-01-11.
- As a consequence of the sketch plan, S-01-11 approval prior to November 15, 2001, this project is grandfathered to the Fourth Edition of the Subdivision and Land Development Regulations.
- Open space lots contain active recreational facilities as allowed by the approved comprehensive development criteria.
- Phasing for this project is in accordance with the Decision and Order for ZB-995M and the Decision and Order for PB Case No. 353 (S-01-11).
- The Traffic Study was approved as part of Sketch Plan S-01-11.
- Water and Sewer House Connection limits shown on these plans are from the road R/W or from the edge of the easement to within 5' of the building. Refer to the architectural for the remainder of the construction. Both buildings will have inside meter settings.
- Forest Conservation for this site has been provided under F-03-07.
- All easements (Public and Private) shown on these plans are per Recorded Plat #16624, unless otherwise noted.
- Because this plan submission is non-residential use, a noise study is not required.
- The buildings will have automatic fire protection sprinkler systems.
- The driveway/stormceptor facility shown on Parcel C-7 satisfies the recharge requirements for Parcels C-7 and C-8.
- All exterior light fixtures shall be oriented to direct light towards and downwards on-site away from all adjoining residential use areas and public roads in accordance with Section 134 of the Howard County Zoning Regulations. The light intensity at the property line will not exceed 0.1 foot candles.
- The shared access and parking requirement for Parcels "C-7" and "C-8" is covered by Section 10.11. Access and parking easement in "Amended and Restated Declaration of Covenants, Conditions and Restrictions for Maple Lawn Farms Commercial Association, Inc." and recorded among the Land Records of Howard County, Maryland in Liber 7414 at Folio 230.
- On May 27, 2004, the Howard County Planning Board approved this SDP with the requested setback reduction from 15' between buildings and curb or edge of a road or drive as required by the Development Criteria as shown on the approved plan.
- The sediment control devices constructed under F-03-07 will be utilized during the construction of the improvements shown on these plans. The devices may be modified as described in the sequence of construction on sheet 8.
- A waiver request from the required setback of a building from a public sewer easement was made on May 3, 2004 and was granted on May 11, 2004.

### WP-01-11

Vehicle ingress and egress to Maryland Route 216 and along proposed Maple Lawn Boulevard Extension through the subdivision is restricted, except at the various points of access to be approved by the Department of Planning and Zoning under the conditions of WP-01-11(1), which was granted on May 2, 2001, allowing the following:  
A. Additional points along Maple Lawn Boulevard other than those permitted by section 16.11R(1), subject to further analysis and approvals at later plan stages, and  
B. Residential lots front on neighborhood paths instead of being limited to frontage on public rights of way as in section 16.12C(2), subject to adequate private alley access.

### WP-02-54

No grading, removal of vegetative cover or trees, or placement of new structures is permitted within limits of wetlands, streams or their required buffers, and 100 year flood plain areas except as permitted under WP-02-54. WP-02-54 was granted on April 2, 2002, allowing the following:

- Development within a 100 year floodplain, and
  - Grading and removal of vegetative cover within a 25' wetland buffer and a 50' stream buffer.
- The approval is subject to the following conditions:
- The waiver petition approval pertains to the limits of disturbance to the wetlands, stream channel, and floodplain areas identified within the proposed employment district located in the southeast portion of Parcel C-2.
  - MDE waterway construction approval is required prior to road plan approval.
  - All grading, clearing and filling disturbances within the 100 year floodplain, wetlands, stream channel and their required buffers are subject to obtaining all necessary Water Quality Certificates and Permits from the Maryland Department of the Environment and Natural Resources and the U.S. Army Corps of Engineers, prior to commencement of any grading disturbances. Reference the approved permits, certificates or tracking numbers on all future plan and permit submissions.
  - The Phase I stream channel mitigation and restoration plan shall be implemented for this project as proposed and shown on the Petitioner's Waiver Petition Plan Exhibit "E".

### WP-03-22

Waiver petition WP-03-22 was granted on October 9, 2002 to allow for the temporary deferral of the requirements for forest conservation to be fulfilled when the areas within the limit of disturbance shown on these plans are developed in accordance with the phasing outlined in S-01-11.

### RESERVOIR PARKING (BANK)

A waiver from the Design Manual Volume III was granted on February 27, 2004 to allow the number of vehicles in the reservoir parking to be reduced from 20 to 17 as shown on this site plan.

### Employment

#### Parcel Size

No minimum or maximum parcel sizes apply in the Employment land use areas.

#### Height

Maximum building height shall be limited to 120' unless approved to be greater on a Site Development Plan by the Howard County Planning Board. Additionally, the following shall apply:

- Commercial buildings at the corner of Johns Hopkins Road and Somner Road (Maple Lawn Boulevard) Parcel A-3 not exceed three stories.
- Commercial buildings east of Somner Road (Maple Lawn Boulevard), Parcel A-2 at the Focal Point shall not exceed four stories.
- Commercial buildings in the Workplace District within 300 feet of MD Route 216 shall not exceed one story.
- Commercial buildings in the Workplace District located between 300 feet and 500 feet from MD Route 216 shall not exceed four stories.
- Commercial buildings in the Workplace District beyond 500 feet of MD Route 216 shall not exceed eight stories.

#### Permitted Uses

The following uses are permitted in Employment land use areas:

Employment uses permitted only within M-1 Zoning District shall not be permitted. All uses permitted as a matter of right in the POR, B-1 and M-1 Districts, as per Petitioner's FDP Exhibit 10, without regard to any limitations or restrictions on retail or personal service uses otherwise permitted in such districts; fast food, convenience stores, country clubs and golf courses, movie theaters, legitimate theaters and other theaters, public utility uses (excluding stand-alone communication towers), group care facilities, housing for the elderly and/or handicapped persons, nursing homes and sheltered housing. Parcel A-2 may contain Live-Work units as defined in the Other Residential (OR) section. Accessory Structures and Accessory Uses are also permitted.

The following additional uses not referred to or included in the above uses, which are allowed by Special Exception in the POR, B-1 and M-1 districts, will be permitted as a matter of right in the Employment Land Use Areas, and are specifically approved by the Planning Board on this Comprehensive Sketch Plan, provided, however, that quarries, temporary wrecked vehicle storage and yard waste shall not be allowed:

- Public school buildings-temporary conversion to other uses
- Theaters, legitimate and dinner
- Theaters, movie
- Public utility uses, limited to the following: utility substations, above ground pipelines, pumping stations, telephone stations, and telephone exchanges, but no stand-alone commercial communications towers.

The following use restrictions also apply:

- No more than 15% of the total Employment land use area may be devoted to warehouse and light manufacturing uses.
- Cemeteries, mausoleums & crematoriums are not permitted
- A maximum of one gasoline service station is permitted. The gasoline service station may include a car wash, car repair facilities, and/or convenience store food.

\* No single Retail Center shall exceed 100,000 square feet. Retail Centers may include retail stores, personal service establishments, and similar uses, as well as fast food restaurants and a gasoline service station; however for all Retail Centers the total square foot area which may be used for retail stores and personal service businesses shall not exceed 152,370 (300 square feet per gross acre). No individual retail establishment within the MXD-3 District shall have a gross floor area greater than 65,000 square feet. Retail and personal services and other allowed uses, such as restaurants and a gasoline service station may also be located within other designated Employment Areas outside of a Retail Center.

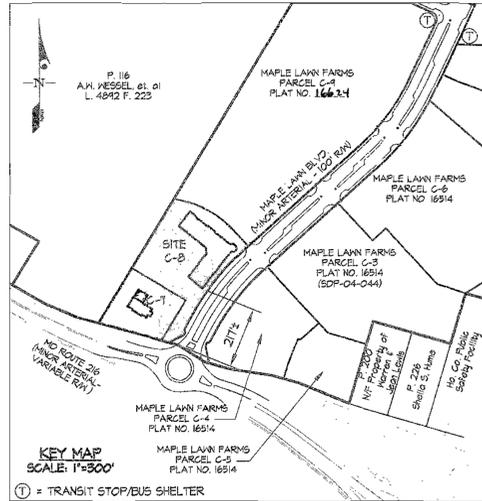
Section 12B.F shall apply to Employment land use areas.

#### Coverage

No coverage requirement is imposed in Employment land use areas.

#### Floor Area Ratio (FAR)

Overall limit is 0.35 calculated on the total acreage for all Employment land use areas.



### Site Analysis Data Chart

|   | Parcel C-7                  | Parcel C-8                   | Total                        |
|---|-----------------------------|------------------------------|------------------------------|
| 1. Gross Area of Site:                                | 43,917 Sq. Ft. (1.0082 ac.) | 94,016 Sq. Ft. (2.1885 ac.)  | 137,933 Sq. Ft. (3.1665 ac.) |
| 2. Limit of Disturbed Area: (Area of Plan Submission) | 51,149 Sq. Ft. (1.1720 ac.) | 110,413 Sq. Ft. (2.5347 ac.) | 161,562 Sq. Ft. (3.7467 ac.) |
| 3. Zoning:  | MXD-3                       | MXD-3                        |                              |
| 4. Proposed Use:                                      | Bank                        | Retail / Restaurant          |                              |
| 5. Building Coverage: (% of Gross Acreage)            | 3,400 Sq. Ft. (7.7%)        | 20,688 Sq. Ft. (22.0%)       | 24,088 Sq. Ft. (17.5%)       |
| 6. Floor Area Ratio (FAR):                            | 0.07                        | 0.22                         | 0.17                         |

### Parking Calculation

| Parking Required | Bank  | Retail Area  | Restaurant  | Total Required |
|------------------|---|--|---|----------------|
| Bank             | = 17 spaces (3,400 s.f. @ 5 spaces per 1000 s.f.) |  |   |                |
| Retail Area      |   | = 55 spaces (10,941 s.f. @ 5 spaces per 1000 s.f.) |   |                |
| Restaurant       |   |  | = 88 spaces * (9,147 s.f. of floor area for restaurant use) |                |
| Total Required   |   |  |   | = 160 spaces   |

\* 88 spaces based upon 7 for employees (35 employees @ 1 space per 5 employees) and 81 for seating (243 seats @ 1 space per 3 seats)

Parking Provided = 164 spaces

The 164 spaces are distributed as follows:  
6 on-street parallel spaces  
158 head-in spaces within parking field (subject to a cross-easement for the benefit of both parcels)

### Employment (cont.)

#### Setbacks (Also see "Project Boundary Setbacks")

The minimum setback for employment/commercial structures shall be as follows:

- 50' from the boundary line along Johns Hopkins Road or Route 216.
- 10' from the right-of-way of Somner Road (Maple Lawn Boulevard).

No setback is required from the right-of-way of any internal public or private roads other than for Maple Lawn Blvd as noted above. Except that no structure shall be closer than 15' to any curb or edge of a road, drive, or parking area.

10' from any other property line

#### Parking Setbacks

15' to public right-of-way of Somner Road (Maple Lawn Boulevard) except for parallel parking adjacent to roadway.

10' to any other property or boundary line (except for parallel parking adjacent to roadway, or where a parcel line lies within a use-in-common parking area serving multiple parcels.)

20' to project boundary line along Johns Hopkins or Route 216

#### Exceptions to Setback Requirements

Structures may be located anywhere within setback areas in accordance with a Site Development Plan approved by the Howard County Planning Board.

Except for the following, Section 12B.A.1 applies:

Bay windows, eaves, French balconies, porches, cornices, awnings, signs, and similar architectural elements may encroach fully into any setback.

Arcades may encroach into any setback to within 1' of the property line. Where such arcades are proposed, the front facade may align vertically with the front of the arcade, thereby reducing the required front setback accordingly. An arcade is an arched building or portion of a building, or gallery often covered with a roof structure or building supported by a series of arches and/or columns on piers.

#### Parking

a. A minimum of five parking spaces shall be provided for each 1,000 square feet of net leasable area devoted to commercial retail sales uses.

b. A minimum of 5.3 parking spaces shall be provided for each 1,000 square feet of net leasable area that is devoted to office or research and development uses.

c. No parking requirement is imposed upon any restaurant, coffee shop or similar facility constructed within buildings which primarily serves tenants and employees of such buildings.

d. One parking space shall be provided for each bedroom contained within any hotel, inn or similar facility and one parking space shall be provided for each five employees of such facility.

e. One parking space shall be provided for each three seats within any restaurant, coffee shop or similar facility constructed within a hotel, inn or similar facility or as a freestanding structure and one parking space shall be provided for each five employees of any such facility.

f. One parking space shall be provided for each two beds in any hospital or clinic; one parking space shall be provided for each employee on a major shift; and eight parking spaces shall be provided for each doctor treating outpatients on a major shift.

g. Industrial Uses:

Warehouse: 0.5 spaces per 1,000 square feet

Flex Space (Industrial/Office): 2.5 spaces per 1,000 square feet

Other Industrial: 2.0 spaces per 1,000 square feet

h. Recreational Uses:

Health Club: 10.0 spaces per 1,000 square feet

Swimming Pool Community: 1.0 space per seven persons permitted in the pool at one time by the Dept. of Health

Tennis Court: 2.0 spaces per court

Required minimum parking for all such commercial and employment uses shall be met off-street. Additional parking may be accommodated on-street, in parallel parking within public road rights-of-way, parallel spaces located on paved areas adjacent to publicly maintained roadways or oriented diagonally or at right angles to such roadways, in and/or out of the public R/W.

Reductions in parking requirements are permitted pursuant to the 1999 Howard County Zoning Regulations Section 133.E.

### VICINITY MAP

SCALE: 1" = 4000'

### BENCHMARKS

|                                    |                |
|------------------------------------|----------------|
| 41GA                               | ELEV. = 462.16 |
| STANDARD DISC ON CONCRETE MONUMENT |                |
| 46B2                               | ELEV. = 474.67 |
| STANDARD DISC ON CONCRETE MONUMENT |                |

### LEGEND

|     |  |
|-----|--|
| 300 | EX. CONTOUR                                    |
| 300 | PROP. CONTOUR                                  |
| ○   | EX. TREES (PER F-03-07)                        |
| ○   | EX. STORM DRAIN                                |
| ○   | PROP. STORM DRAIN                              |
| —   | LIMIT OF DISTURBANCE                           |
| —   | EX. SANITARY SEWER                             |
| —   | EX. WATERLINE                                  |
| —   | CONCRETE CURB & GUTTER                         |
| —   | PROP. SANITARY SEWER                           |
| —   | PROPOSED WATERLINE                             |
| —   | EX. CURB & GUTTER                              |
| —   | TEMPORARY CURB & GUTTER                        |
| —   | PROPOSED REVERSE CURB & GUTTER                 |
| —   | CONCRETE SIDEWALK, DUMPSTER PAD OR UTILITY PAD |
| —   | EX. EASEMENTS                                  |
| ○   | TOP OF PAVING SPOT SHOT                        |
| ○   | NUMBER OF PARKING SPACES                       |
| ○   | PROP. LIGHT FIXTURE & POLE                     |
| ○   | EX. LIGHT FIXTURE & POLE                       |
| ○   | HANDICAPPED PARKING                            |
| ○   | BUILDING ENTRANCE                              |

### Sheet Index

- Cover Sheet
- Site Development Plan
- Site Details
- Site/Handicap Accessibility Details
- S/M Profiles/Details/Parcel C-7 Utility Profiles
- Structure Profiles/Parcel C-8 Utility Profiles
- Sediment Control Plan/Drainage Area Map
- Sediment Control Notes And Details
- Landscape/Perimeter Planning Plan
- Landscape Details And Notes

| FILE #                             | PARCEL AREA                | FLOOR AREA   | F.A.R. |
|------------------------------------|----------------------------|--------------|--------|
| SDF 04-44                          | 4.40 AC. (91,605 S.F.)     | 43,945 S.F.  | 0.49   |
| SDF 04-46 (This Site Plan)         | 9.17 AC. (131,933 S.F.)    | 24,088 S.F.  | 0.17   |
| REMAINING RECORDED EMPLOYMENT LAND | 23.26 AC. (1,013,557 S.F.) | 0            | 0.0    |
| TOTAL                              | 30.83 AC. (1,342,895 S.F.) | 118,033 S.F. | 0.09   |

### ADDRESS CHART

| PARCEL NO. | STREET ADDRESS            |
|------------|---------------------------|
| C-7        | 8194 MAPLE LAWN BOULEVARD |
| C-8        | 8180 MAPLE LAWN BOULEVARD |

| WATER CODE: | SEWER CODE: | SUBDIVISION NAME: | SECTION/AREA:            | PARCELS:             |
|-------------|-------------|-------------------|--------------------------|----------------------|
| E21         | 1695000     | MAPLE LAWN FARMS  | BUSINESS DISTRICT/AREA 1 | PARCELS C-7, C-8     |
|             |             | PLAT No. 16624    | BLOCK 3 & 4              | CENSUS TRACT 8C81.02 |

### GLWGUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3800 NATIONAL ERIC - SUITE 250 - BURTONTOWN OFFICE PARK  
BURTONTOWN, MARYLAND 20866  
TEL: 301-421-4024 BALT: 410-820-1620 DC/VA: 301-288-2324 FAX: 301-421-4186

DRAWINGS: 96079\03057\sdp\03057SDP1.dwg DES. DEV. DRN. AWL CHK. DEV.

DATE REVISION BY APPR.

### PREPARED FOR:

Maple Lawn Retail, LLC  
Suite 410 Woodhome Center  
1829 Reisterstown Road  
Baltimore, MD 21208  
ATTN: Charlie O'Donovan  
410-484-8400

### COVER SHEET

BANK AND RETAIL/RESTAURANT BUILDINGS  
MAPLE LAWN FARMS  
PARCELS C-7 AND C-8  
PLAT NO. 16624

ELECTION DISTRICT No. 5

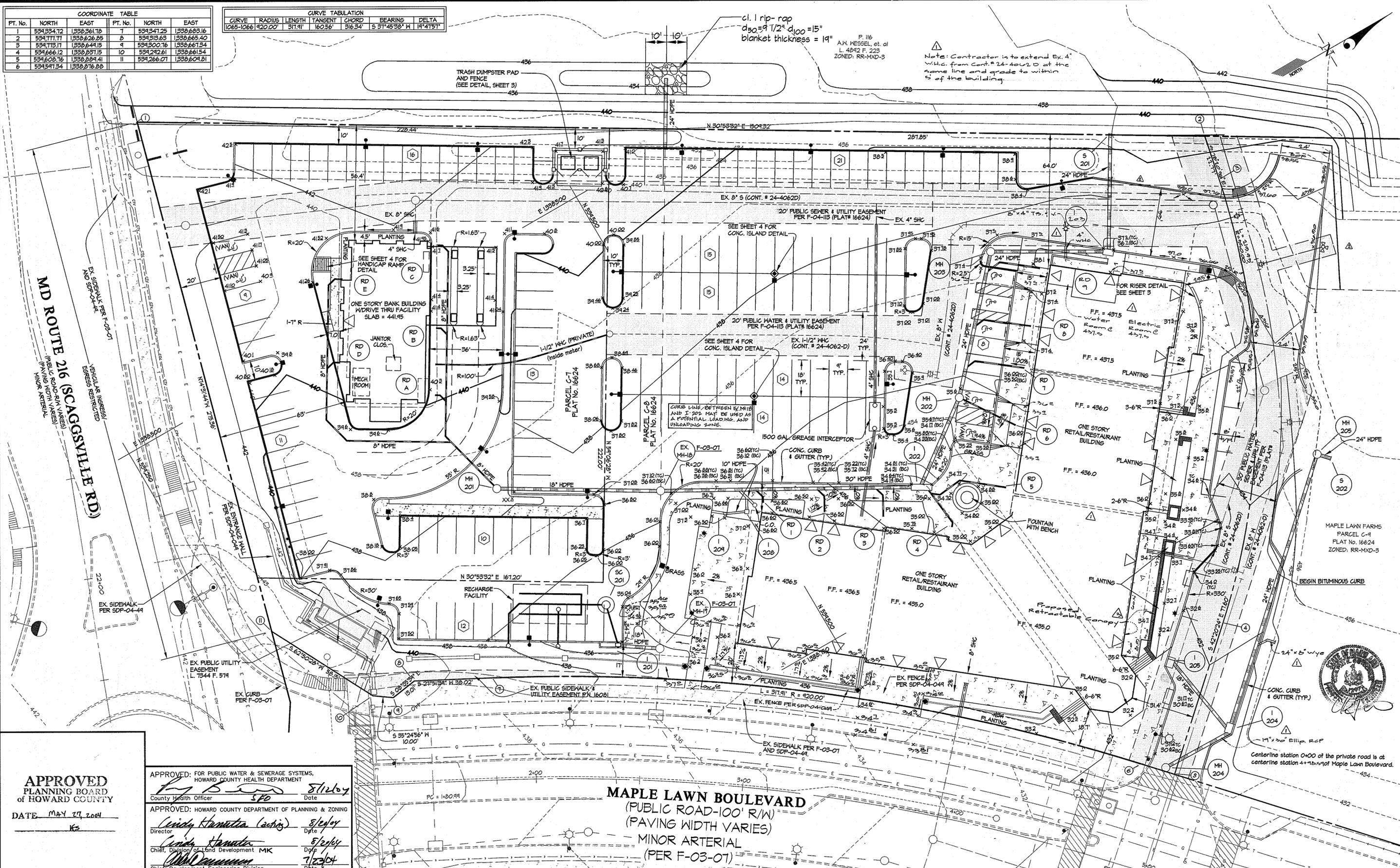
HOWARD COUNTY, MARYLAND

| SCALE     | ZONING         | G. L. W. FILE No. |
|-----------|----------------|-------------------|
| AS SHOWN  | MXD-3          | 03057             |
| DATE      | TAX MAP - GRID | SHEET             |
| JUNE 2004 | 36 - 3         | 1 OF 10           |

SDP 04-46

| COORDINATE TABLE |           |            |         |           |            |
|------------------|-----------|------------|---------|-----------|------------|
| PT. No.          | NORTH     | EAST       | PT. No. | NORTH     | EAST       |
| 1                | 534534.72 | 1330261.78 | 7       | 534541.25 | 1330683.16 |
| 2                | 534771.77 | 1330626.23 | 8       | 534513.63 | 1330645.40 |
| 3                | 534771.77 | 1330644.15 | 9       | 534200.16 | 1330661.34 |
| 4                | 534666.12 | 1330237.15 | 10      | 534242.61 | 1330661.34 |
| 5                | 534609.19 | 1330284.41 | 11      | 534266.07 | 1330604.81 |
| 6                | 534541.34 | 1330276.88 |         |           |            |

| CURVE TABULATION |         |         |         |         |               |           |
|------------------|---------|---------|---------|---------|---------------|-----------|
| CURVE            | RADIUS  | LENGTH  | TANGENT | CHORD   | BEARING       | DELTA     |
| 1065-1066        | 420.00' | 311.41' | 160.56' | 316.34' | S 31°45'38" W | 14°41'51" |



L:\CADD\DRAWINGS\96079\03057\SDP\03057SDP2.dwg 06/29/2004 03:17:02 PM EDT

**APPROVED**  
PLANNING BOARD  
of HOWARD COUNTY  
DATE MAY 27, 2004  
KS

APPROVED: FOR PUBLIC WATER & SEWERAGE SYSTEMS,  
HOWARD COUNTY HEALTH DEPARTMENT  
County Health Officer [Signature] Date 5/12/04  
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director Cindy Hamstra (acting) Date 5/24/04  
Chief, Division of Land Development MK Date 5/24/04  
Chief, Development Engineering Division [Signature] Date 7/23/04

**MAPLE LAWN BOULEVARD**  
(PUBLIC ROAD-100' R/W)  
(PAVING WIDTH VARIES)  
MINOR ARTERIAL  
(PER F-03-01)

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

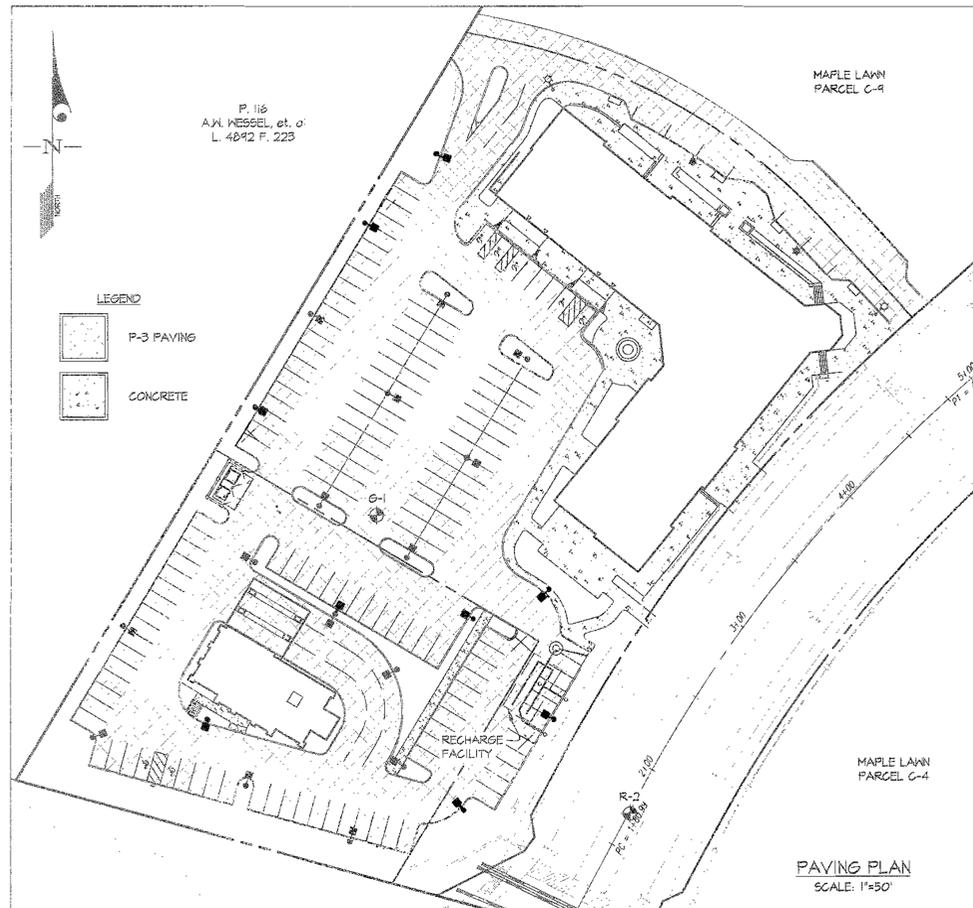
| DATE     | REVISION  | BY | APP'R. |
|----------|---|----|--------|
| 10/26/04 | Revise building grades to remove corridor & relocate mechanical rooms. d.e.v. |    |        |
| 01/10/05 | Add 15"x4" wide and reflect 19"x30" Ellip. RSP from 1-204 to 14704.           |    |        |
| 01/04/05 | revise per driveway realignment   |    |        |
| 01/04/05 | Added retractable canopy  |    |        |

PREPARED FOR:  
Maple Lawn Retail, LLC  
Suite 410 Woodhome Center  
1829 Reisterstown Road  
Baltimore, MD 21208  
ATTN: Charlie O'Donovan  
410-484-8400

**SITE DEVELOPMENT PLAN**  
**BANK AND RETAIL/RESTAURANT BUILDINGS**  
**MAPLE LAWN FARMS**  
PARCELS C-7 AND C-8  
PLAT NO. 16624  
ELECTION DISTRICT No. 5  
HOWARD COUNTY, MARYLAND

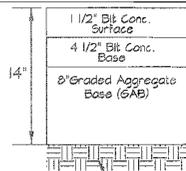
| SCALE     | ZONING         | G. L. W. FILE No. |
|-----------|----------------|-------------------|
| 1"=20'    | MXD-3          | 03057             |
| DATE      | TAX MAP - GRID | SHEET             |
| JUNE 2004 | 36 - 3         | 2 OF 10           |



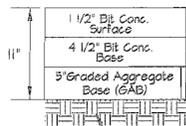


**LANDSCAPE LIGHTING FIXTURE SCHEDULE**

| TYPE | MANUFACTURER     | CATALOG NUMBER | WATTAGE                  | LAMP                 | MOUNTING | NOTES   | SYMBOL |
|------|------------------|----------------|--------------------------|----------------------|----------|---|--------|
| A    | HADCO            | HADCO R51      | 150 W                    | METAL HALIDE         | 12' POLE | FIXTURE TYPE: TBD<br>SHIELD TYPE: SEMI-CUTOFF |        |
| B    | HADCO            | HADCO TF6      | 250 W<br>(20,500 LUMENS) | METAL HALIDE         | 23' POLE | FIXTURE TYPE: TBD<br>SHIELD TYPE: SEMI-CUTOFF |        |
| C    | HADCO            | HADCO TF6      | 250 W<br>(28,000 LUMENS) | HIGH PRESSURE SODIUM | 23' POLE | FIXTURE TYPE: TBD<br>SHIELD TYPE: SEMI-CUTOFF |        |
| D    | SAME AS TYPE 'B' |                |                          |                      |          |   |        |



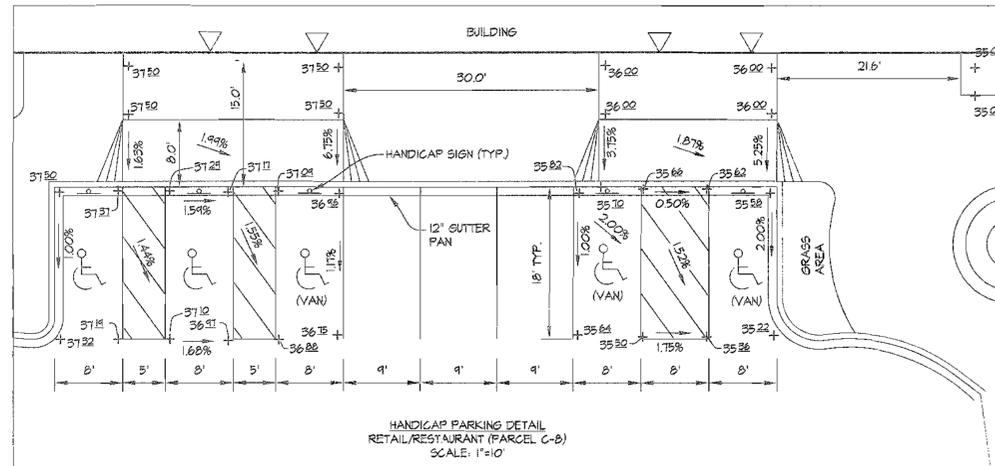
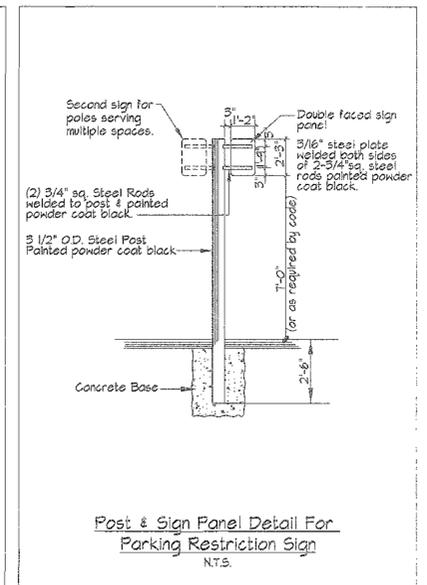
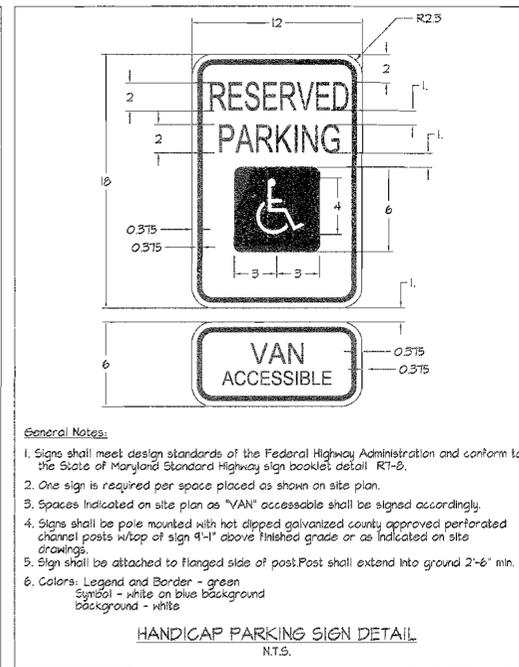
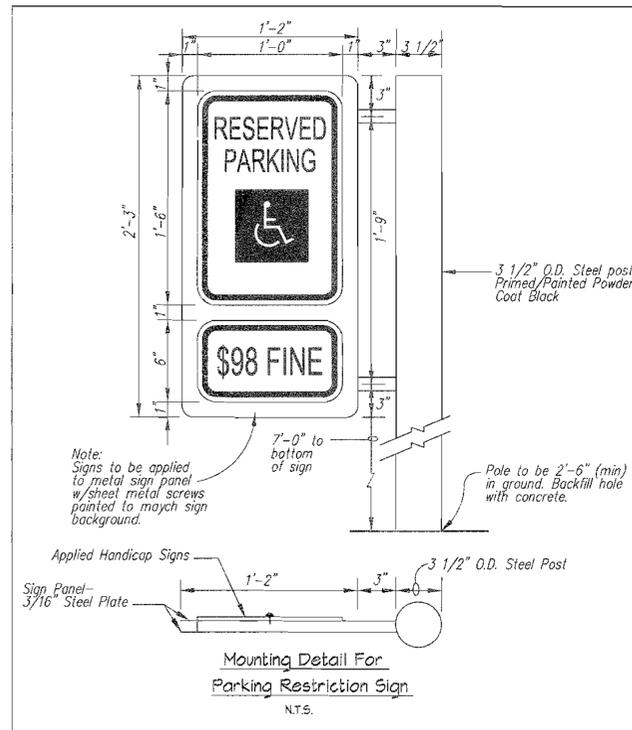
Approved subgrade with a CBR value = 3.



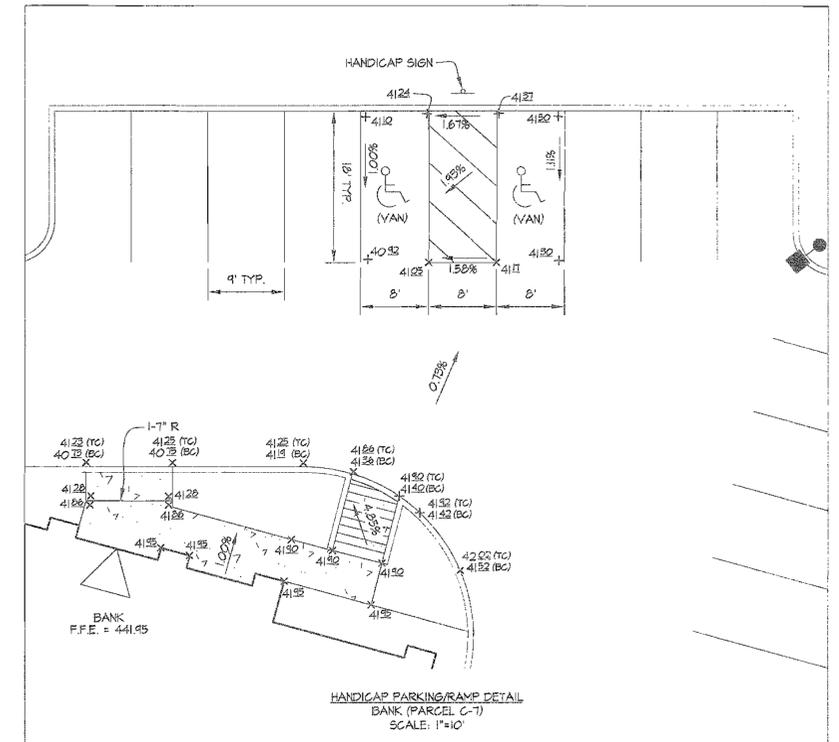
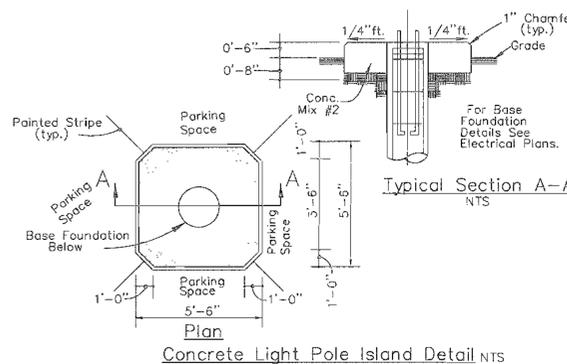
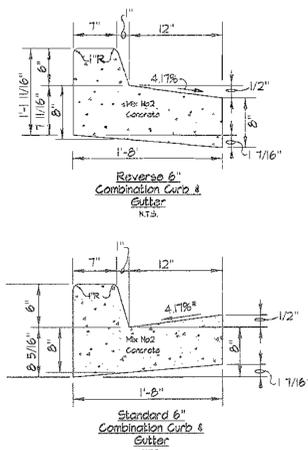
Approved subgrade with a CBR value = 6.

**P-3 Granular Base**  
N.T.S.

Note:  
Depending on the CBR values obtained in the field, the paving sections may be revised, if approved by a professional soils engineer. These substitutions must also be approved by the Howard County Department of Public Works.



**HANDICAP PARKING DETAIL**  
RETAIL/RESTAURANT (PARCEL C-8)  
SCALE: 1"=10'



**HANDICAP PARKING/RAMP DETAIL**  
BANK (PARCEL C-7)  
SCALE: 1"=10'

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEMS:  
HOWARD COUNTY HEALTH DEPARTMENT  
County Health Officer \_\_\_\_\_ Date \_\_\_\_\_  
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: *Clayton Hamilton* (2014) 8/20/14  
Chief, Division of Land Development: *Clayton Hamilton* 8/20/14  
Chief, Development Engineering Division: *Clayton Hamilton* 7/22/14

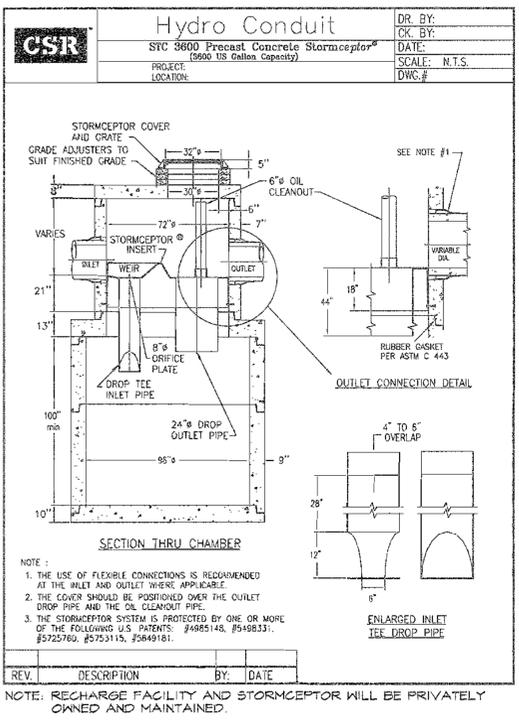
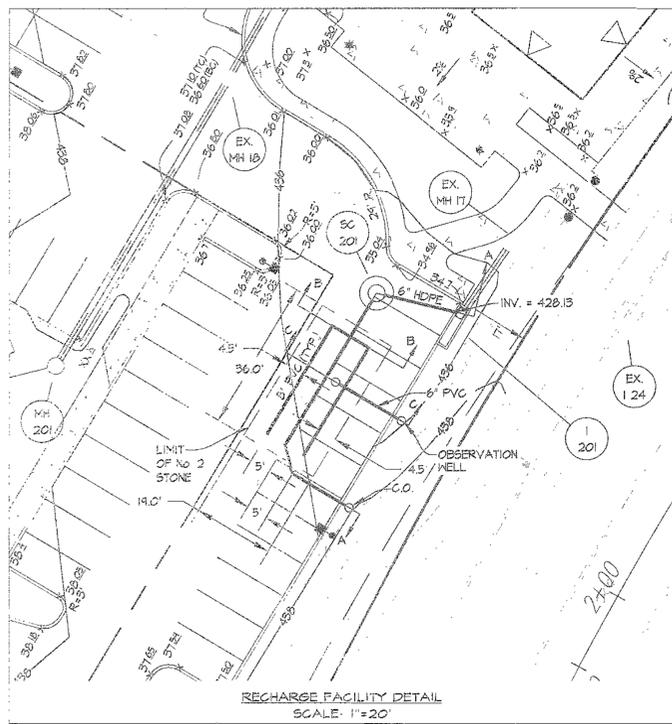
**GLWGUTSCHICK LITTLE & WEBER, P.A.**

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3809 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALT: 410-580-1820 DC/VA: 301-959-2524 FAX: 301-421-4156

PREPARED FOR:  
Maple Lawn Retail, LLC  
Suite 410 Woodholme Center  
1829 Reisterstown Road  
Baltimore, MD 21208  
ATTN: Charlie O'Donovan  
410-484-8400

**SITE/HANDICAP ACCESSIBILITY DETAILS**  
**BANK AND RETAIL/RESTAURANT BUILDINGS**  
**MAPLE LAWN FARMS**  
PARCELS C-7 AND C-8  
PLAT NO. 16624

| SCALE     | ZONING         | C. L. W. FILE NO. |
|-----------|----------------|-------------------|
| AS SHOWN  | MXD-3          | 03057             |
| DATE      | TAX MAP - GRID | SHEET             |
| JUNE 2004 | 36 - 3         | 4 OF 10           |



**Hydro Conduit**

DR. BY: \_\_\_\_\_  
 CK. BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 SCALE: N.T.S.  
 DWG. # \_\_\_\_\_

**CSR**  
 575 9600 Precast Concrete Stormceptor®  
 (9600 US Gallon Capacity)

**PRECISE PRECAST CONCRETE STORMCEPTOR® ORDER REQUEST FORM**

CONTRACTOR INFORMATION  
 Name: GRAY & SONS, INC.  
 Address: P.O. BOX 2  
 City: WYOMING  
 State: WY  
 Zip Code: 82001  
 Contact: \_\_\_\_\_  
 Phone: \_\_\_\_\_

OWNER INFORMATION  
 Name: GREENSBANK & BOSE, INC.  
 Address: 400-244-1000  
 City: GREENSBANK  
 State: MD  
 Zip Code: 21724  
 Contact: \_\_\_\_\_  
 Phone: \_\_\_\_\_

OPERATION AND MAINTENANCE SCHEDULE FOR PUBLICLY OWNED AND MAINTAINED RETENTION POND

**Baseline Maintenance (by H.O.A.)**

- Facility shall be inspected annually and after major storms. Inspections shall be performed during wet weather to determine if the pond is functioning properly.
- Top and side slopes of the embankment shall be mowed a minimum of two (2) times per year once in June and once in September. Other side slopes and maintenance access shall be mowed as needed.
- Debris and litter shall be removed during regular mowing operations as needed.
- Visible signs of erosion in the pond as well as the rip-rap or gabion outlet area shall be repaired as soon as it is noticed.

**Non-Baseline Maintenance (by County)**

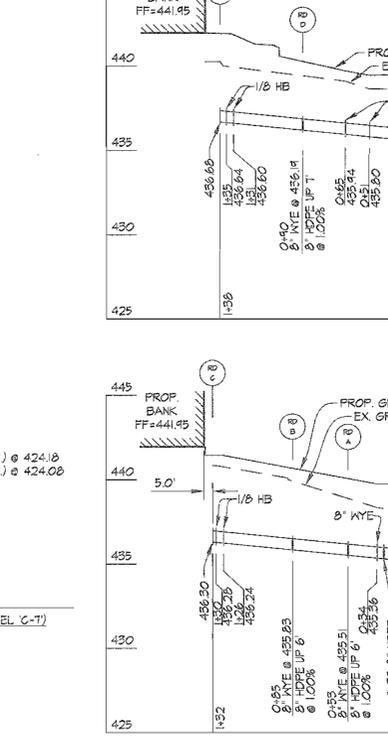
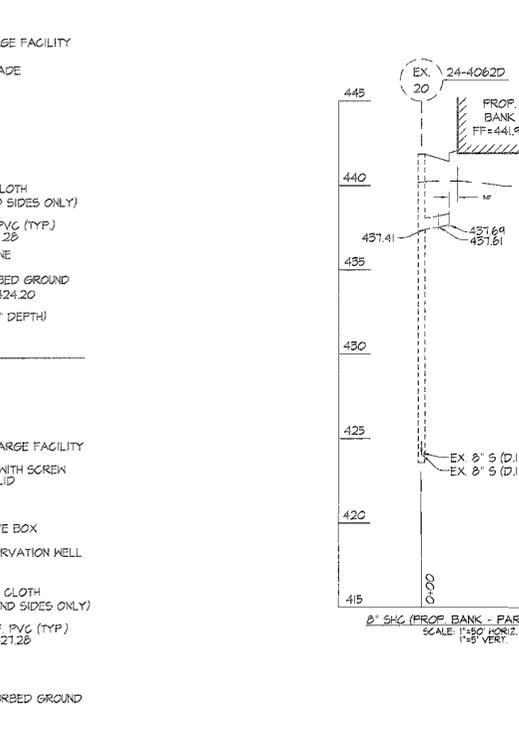
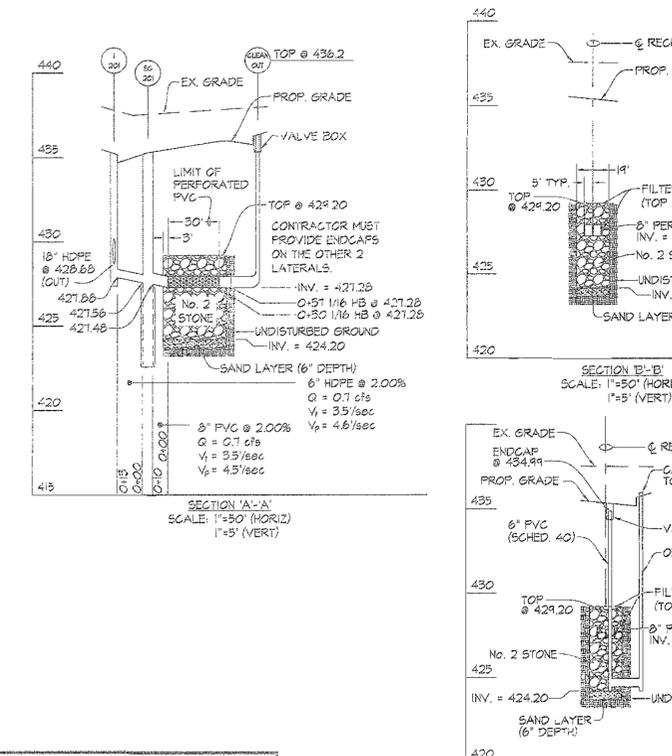
- Structural components of the pond such as the dam, riser, and the pipes shall be repaired upon the detection of any damage. This component shall be inspected during routine maintenance operations.
- Sediment shall be removed from the pond and forebay no later than when the capacity of the pond is half-full of sediment or when deemed necessary for aesthetic reasons, upon approval from the Department of Public Works.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMWATER INFILTRATION TRENCHES (TYPE I-H FACILITY)

- The monitoring wells and structures shall be inspected on a quarterly basis and after every large storm event.
- Water levels and sediment build up in the monitoring wells shall be recorded over a period of several days to insure trench drainage.
- A log book shall be maintained to determine the rate at which the facility drains.
- When the facility becomes clogged so that it does not drain down within the 12 hour time period, corrective action shall be taken.
- The maintenance log book shall be available to Howard County for inspection to insure compliance with operation and maintenance criteria.
- Once the performance characteristics of the infiltration facility have been verified, the monitoring schedule can be reduced to an annual basis unless the performance data indicates that a more frequent schedule is required.

PLEASE FILL OUT COMPLETELY AND FAX TO **CSR** Hydro Conduit  
 ATTN: ED MALLEY FAX: (703)922-3659, PHONE: (703)971-1900  
 FOR TECHNICAL ASSISTANCE PLEASE CALL MIKE BARG, PHONE: (703)971-1900

| REV. | DESCRIPTION | BY | DATE |
|------|-------------|----|------|
|      |             |    |      |



**OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMWATER INFILTRATION TRENCHES (TYPE I-H FACILITY)**

- The Stormceptor water quality structure shall be periodically inspected and cleaned to maintain operation and function. The owner shall inspect the Stormceptor Inspection/Monitoring Form. Inspections shall be done by using clear plastic bags (\"swidge judge\") to extract a water column sample. When the sediment depths exceed the level specified in table B of the Stormceptor Technical Manual, the unit must be cleaned.
- The Stormceptor water quality structure shall be checked and cleaned immediately after petroleum spills. The owner shall contact the appropriate regulatory agencies.
- The maintenance of the Stormceptor unit shall be done using a vacuum truck which will remove water, sediment, debris, floating hydrocarbons, and other materials in each unit. Proper cleaning and disposal of the removed materials and liquid must be followed by the owner.
- The inlet and outlet pipes shall be checked for any obstructions at least once every six months. If obstructions are found, the owner shall have them removed. Structural parts of the Stormceptor unit shall be repaired as needed.
- The owner shall retain and make the Stormceptor Inspection/Monitoring Forms available to the Howard County Officials upon their request.

**Embankment Care** - The core shall be parallel to the centerline of the embankment as shown on the plans. The top width of the core shall be a minimum of four feet. The height shall extend up to at least the 10-year water elevation or as shown on the plans. The side slopes shall be 1 to 1 or flatter. The core shall be compacted with construction equipment, rollers, or hand tampers to assure maximum density and minimum permeability. In addition, the core shall be placed concurrently with the outer shell of the embankment.

**Structure Backfill**  
 Backfill adjacent to pipes or structures shall be of the type and quality conforming to that specified for the adjoining fill material. The fill shall be placed in horizontal layers not to exceed four inches in thickness and compacted by hand tampers or other manually directed compaction equipment. The material needs to fill completely all spaces under and adjacent to the pipe. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of a structure under no circumstances shall equipment be driven over any part of a concrete structure or pipe, unless there is a compacted fill of 24\"/>

**CONSTRUCTION SPECIFICATIONS**

These specifications are appropriate to all ponds facility number 14  
 2. All references to ASTM and AASHTO specifications apply to the most recent version.

**Site Preparation**

Areas designated for borrow areas, embankment, and structural works shall be cleared, grubbed and stripped of topsoil. All trees, vegetation, rocks and other objectionable material shall be removed. Channel banks and sharp breaks shall be sloped to no steeper than 1:1. All trees shall be cleared and grubbed within 20 feet of the toe of the embankment.

Areas to be covered by the reservoir will be cleared of all trees, brush, logs, fences, rubbish and other objectionable material unless otherwise designated on the plans. Trees, brush, and stumps shall be cut approximately level with the ground surface.

All cleared and grubbed material shall be disposed of outside and below the limits of the dam and reservoir as directed by the owner or his representative. When specified, a sufficient quantity of topsoil will be stockpiled in a suitable location for use on the embankment and other designated areas.

**Excavation**

Material - The fill material shall be taken from approved designated borrow areas. It shall be free of roots, stumps, wood, rubbish, stones greater than 6\"/>

**DEVELOPER'S/BUILDER'S CERTIFICATE**

"I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD."

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT

County Health Officer: \_\_\_\_\_ Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Cynthia Hamilton (acting)* Date: 5/10/04

Chief, Division of Land Development: *MK* Date: 7/23/04

Chief, Development Engineering Division: \_\_\_\_\_ Date: \_\_\_\_\_

Signature of Developer/Builder: \_\_\_\_\_ Date: 7-12-04

**ENGINEER'S CERTIFICATE**

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

Signature of Engineer: *Jim Murray* Date: 7/21/04

Signature of Developer/Builder: *Harding Schminke* Date: 7/21/04

**OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMWATER INFILTRATION TRENCHES (TYPE I-H FACILITY)**

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**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3500 MARSHAL DRIVE - SUITE 250 - BURTONTVILLE OFFICE PARK  
 BURTONTVILLE, MARYLAND 20886  
 TEL: 301-421-0224 FAX: 410-860-1820 EC/VA 301-660-2524 FAX 301-421-4105

DRAMINGS\96079\G5057\sc0\03057SDP5.dwg DES. DEV. ORN. ARL. CHK. DEV. DATE: \_\_\_\_\_ REVISION: \_\_\_\_\_ BY: \_\_\_\_\_ APPR: \_\_\_\_\_

PREPARED FOR:  
 Maple Lawn Retail, LLC  
 Suite 410 Woodholme Center  
 1829 Reisterstown Road  
 Baltimore, MD 21208  
 ATTN: Charlie O'Donovan  
 410-484-8400

**S.W.M. PROFILES/DETAILS/PARCEL C-7 UTILITY PROFILES**

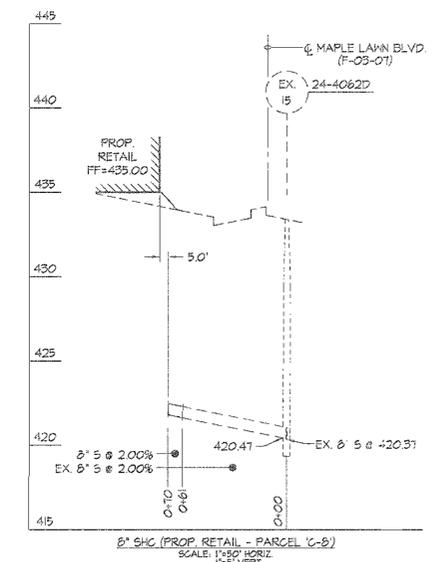
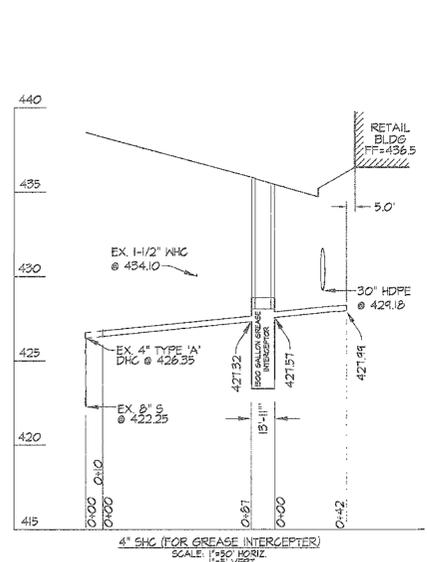
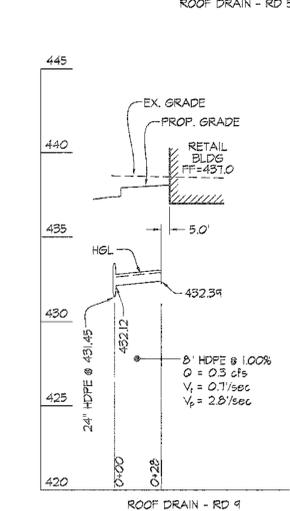
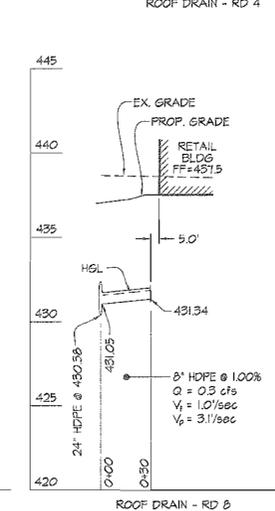
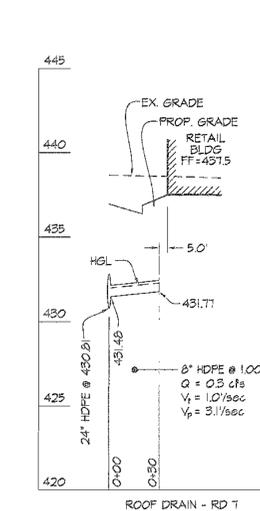
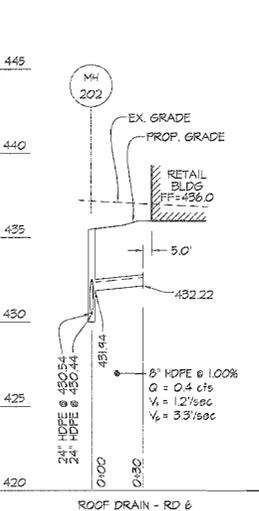
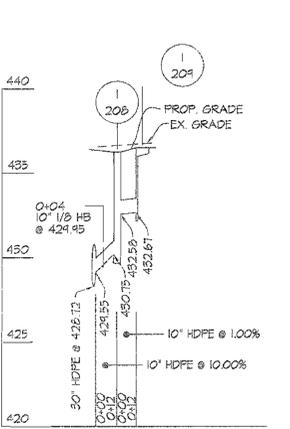
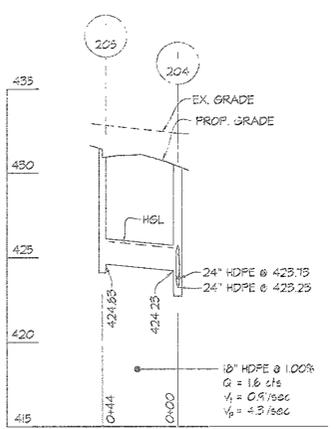
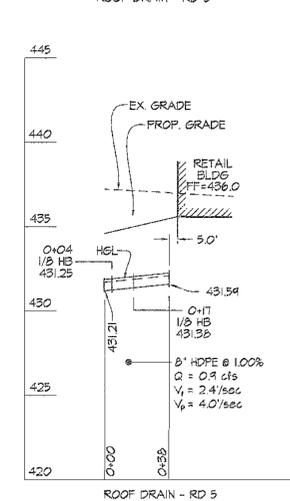
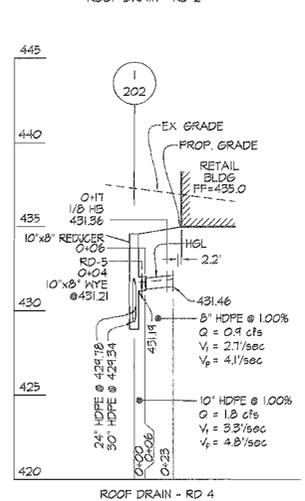
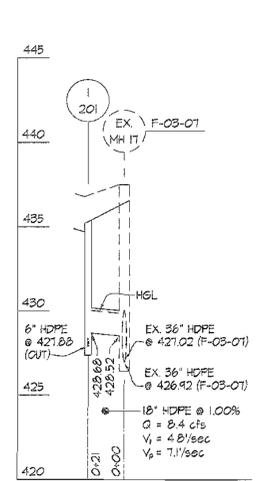
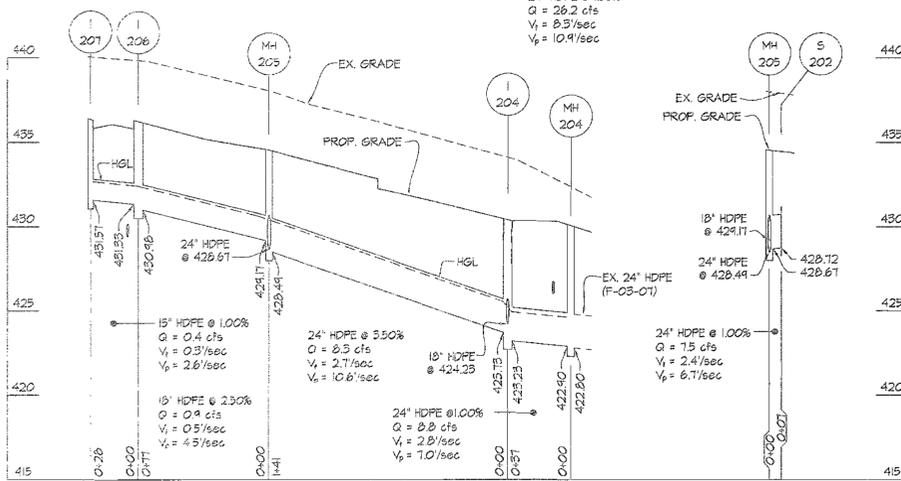
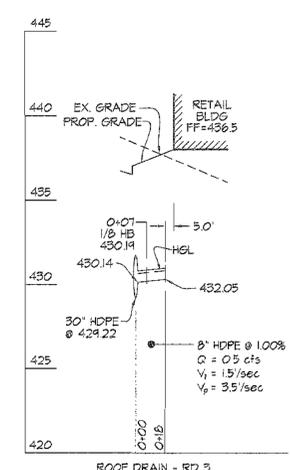
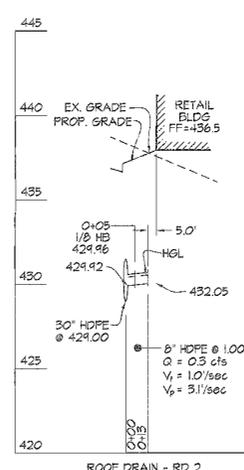
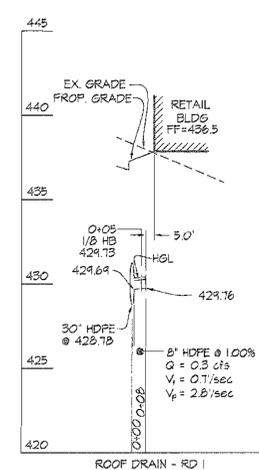
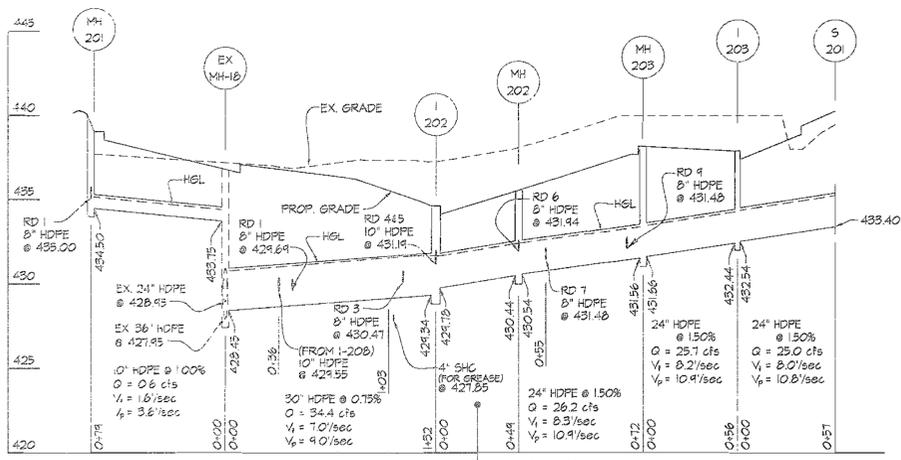
**BANK AND RETAIL/RESTAURANT BUILDINGS  
 MAPLE LAWN FARMS  
 PARCELS C-7 AND C-8  
 PLAT NO. 16624**

ELECTION DISTRICT No. 5

SCALE: AS SHOWN ZONING: MXD-3 G. L. W. FILE No.: 03057

DATE: JUNE 2004 TAX MAP - GRD: 36 - 3 SHEET: 5 OF 10

HOWARD COUNTY, MARYLAND



| STRUCTURE SCHEDULE |                  |                |               |        |                  |        |                 |                      |                      |
|--------------------|------------------|----------------|---------------|--------|------------------|--------|-----------------|----------------------|----------------------|
| NO.                | TYPE             | WIDTH (INSIDE) | TOP ELEVATION |        | INVERT ELEVATION |        | STANDARD DETAIL | LOCATIONS            | REMARKS              |
|                    |                  |                | UPPER         | LOWER  | UPPER            | LOWER  |                 |                      |                      |
| I-201              | COG-10           | 4'-0"          | 435.40        | 435.20 | 428.68           | 427.88 | MD 374-41       | N 534,406 E 1338,697 |                      |
| I-202              | A-10 INLET       | 3'-6"          | 434.64        | 434.64 | 431.19           | 429.34 | HC 5D-4.41      | N 534,574 E 1338,705 |                      |
| I-203              | A-5 INLET        | 3'-0"          | 437.40        | 437.40 | 432.54           | 432.44 | HC 5D-4.40      | N 534,710 E 1338,651 |                      |
| I-204              | DOUBLE '5' INLET | ---            | 431.41        | 431.26 | 424.23           | 423.23 | HC 5D-4.23      | N 534,642 E 1338,882 |                      |
| I-205              | DOUBLE '5' INLET | ---            | 432.08        | 431.93 | ---              | 424.63 | HC 5D-4.23      | N 534,633 E 1338,840 |                      |
| I-206              | A-10 INLET       | 2'-6"          | 437.04        | 436.72 | 431.33           | 430.98 | HC 5D-4.41      | N 534,767 E 1338,712 |                      |
| I-207              | A-10 INLET       | 2'-6"          | 437.04        | 436.72 | ---              | 431.57 | HC 5D-4.41      | N 534,745 E 1338,703 |                      |
| I-208              | CATCH BASIN      | ---            | 436.25        | 436.25 | 432.58           | 430.75 | ---             | N 534,494 E 1338,675 |                      |
| I-209              | TRENCH DRAIN     | ---            | 436.50        | 436.50 | ---              | 432.67 | ---             | N 534,482 E 1338,664 |                      |
| MH-201             | STD MANHOLE      | 4'-0"          | ---           | ---    | 438.50           | 435.00 | 434.50          | HC G-5.12            | N 534,345 E 1338,604 |
| MH-202             | STD MANHOLE      | 4'-0"          | ---           | ---    | 435.58           | 430.54 | 431.94          | HC G-5.13            | N 534,611 E 1338,678 |
| MH-203             | STD MANHOLE      | 5'-0"          | ---           | ---    | 437.10           | 431.66 | 431.56          | HC G-5.13            | N 534,656 E 1338,621 |
| MH-204             | STD MANHOLE      | 4'-0"          | ---           | ---    | 430.13           | 422.90 | 422.80          | HC G-5.13            | N 534,607 E 1338,804 |
| MH-205             | STD MANHOLE      | 5'-0"          | ---           | ---    | 437.00           | 429.17 | 428.49          | HC G-5.13            | N 534,747 E 1338,784 |

NOTES:  
 1. ALL STRUCTURES TO BE PRECAST.  
 2. COORDINATES FOR LOCATIONS ARE TO CENTERLINE OF THE STRUCTURE AT FACE OF CURB FOR INLETS AND TO THE CENTERLINE OF STRUCTURE FOR MANHOLES.  
 \*NOTE: FOR RECHARGE FACILITY DETAILS, SEE SHEET 5.

◆ In-line drain by Nyplast or an approved equal.  
 ◇ Catch Basin by Nyplast or an approved equal.

| PIPE SCHEDULE |          |         |
|---------------|----------|---------|
| SIZE          | QUANTITY | REMARKS |
| 6" HDPE       | 16 LF.   |         |
| 8" HDPE       | 310 LF.  |         |
| 10" HDPE      | 4 LF.    |         |
| 15" HDPE      | 28 LF.   |         |
| 18" HDPE      | 154 LF.  |         |
| 24" HDPE      | 452 LF.  |         |
| 30" HDPE      | 132 LF.  |         |
| 6" PVC        | 16 LF.   |         |
| 8" PVC        | 124 LF.  |         |

\*NOTE: FOR RECHARGE FACILITY DETAILS, SEE SHEET 4.

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT

County Health Officer \_\_\_\_\_ Date \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director *Cindy Hamilton* (w/str) 5/20/04  
 Chief, Division of Land Development *Mik* 5/20/04  
 Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

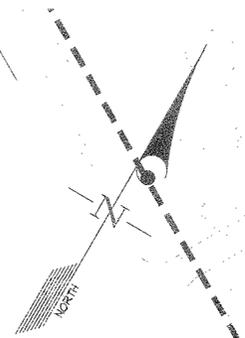
GLWGUTSCHICK LITTLE & WEBER, P.A.  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3903 NATIONAL DRIVE - SUITE 250 - BURTONTOWN OFFICE PARK  
 BURTONTOWN, MARYLAND 20866  
 TEL: 301-421-4024 FAX: 410-280-1520 E-MAIL: 301-999-2524 FAX: 301-421-4196

PREPARED FOR:  
 Maple Lawn Retail, LLC  
 Suite 410 Woodholme Center  
 1829 Reisterstown Road  
 Baltimore, MD 21208  
 ATTN: Charlie O'Donovan  
 410-484-8400

STRUCTURE PROFILES/C-8 UTILITY PROFILES  
 BANK AND RETAIL/RESTAURANT BUILDINGS  
 MAPLE LAWN FARMS  
 PARCELS C-7 AND C-8  
 PLAT NO. 16624

SCALE AS SHOWN  
 ZONING MXD-3  
 DATE JUNE 2004  
 TAX MAP - GRID 36 - 3  
 SHEET 6 OF 10

ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND



**DEVELOPER'S CERTIFICATE**  
 I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the H&C.

*[Signature]* 7-12-04  
 Signature of Developer/Builder Date

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

*[Signature]* 7/12/04  
 Natural Resources Conservation Service Date

**ENGINEER'S CERTIFICATE**  
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

*[Signature]* 7-12-04  
 Signature of Engineer Date

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

*[Signature]* 7/12/04  
 Howard S.C.D. Date

| DRAINAGE AREA INFORMATION |           |         |        |
|---------------------------|-----------|---------|--------|
| INLET                     | AREA (AC) | C VALUE | % IMP. |
| I-201                     | 1.02      | 0.75    | 61%    |
| I-202                     | 1.10      | 0.90    | 85%    |
| I-203                     | 0.17      | 0.75    | 62%    |
| I-204                     | 0.20      | 0.95    | 100%   |
| I-205                     | 0.12      | 0.90    | 93%    |
| I-206                     | 0.06      | 0.95    | 96%    |
| I-207                     | 0.06      | 0.75    | 54%    |
| RD-1                      | 0.02      | 1.00    | 100%   |
| RD-2                      | 0.04      | 1.00    | 100%   |
| RD-3                      | 0.05      | 1.00    | 100%   |
| RD-4                      | 0.11      | 1.00    | 100%   |
| RD-5                      | 0.10      | 1.00    | 100%   |
| RD-6                      | 0.04      | 1.00    | 100%   |
| RD-7                      | 0.04      | 1.00    | 100%   |
| RD-8                      | 0.04      | 1.00    | 100%   |
| RD-9                      | 0.03      | 1.00    | 100%   |
| S-201                     | 4.89      | 0.85    | 46%    |
| S-202                     | 3.90      | 0.85    | 46%    |
| S-203                     | 1.04      | 0.85    | 46%    |

| LEGEND |                             |
|--------|-----------------------------|
|        | STONE CONSTRUCTION ENTRANCE |
|        | SILT FENCE                  |
|        | EROSION CONTROL MATTING     |
|        | LIMIT OF DISTURBANCE        |
|        | EXISTING CONTOUR            |
|        | PROPOSED CONTOUR            |
|        | PUBLIC & PRIVATE EASEMENTS  |
|        | EXISTING EARTH DIKE         |
|        | CURB INLET PROTECTION       |

WHERE THE L.O.D. IS NOT SHOWN, THE SEDIMENT CONTROL DEVICES WILL INDICATE THE LIMITS OF DISTURBANCE.

DUE TO MASS GRADING, 'C' SOILS WERE USED FOR STORM DRAIN DESIGN.

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT

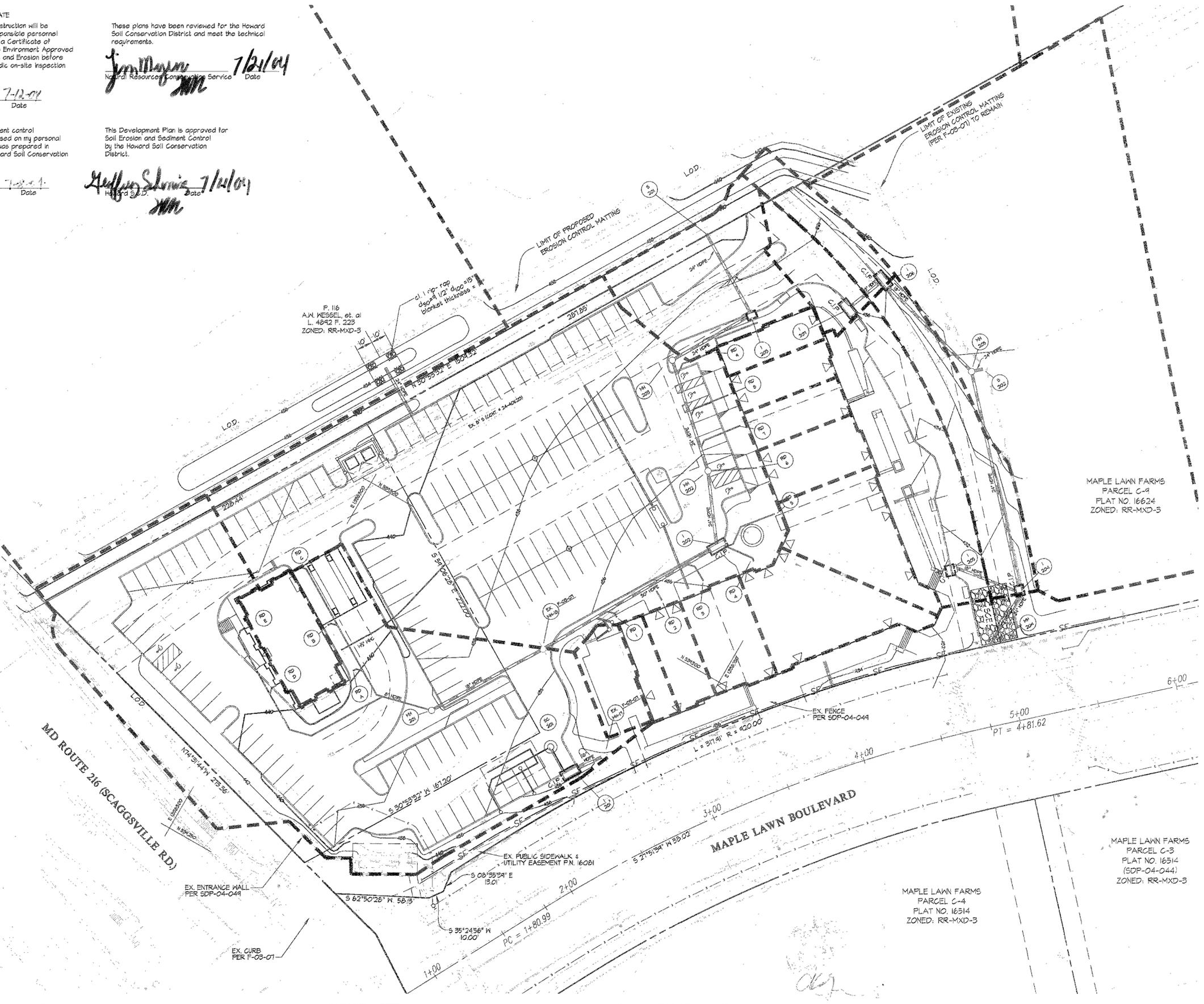
County Health Officer Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*[Signature]* 8/2/04  
 Director Date

*[Signature]* 8/2/04  
 Chief, Division of Land Development Date

*[Signature]* 7/27/04  
 Chief, Development Engineering Division Date



MAPLE LAWN FARMS  
 PARCEL C-9  
 PLAT NO. 16624  
 ZONED: RR-MXD-3

MAPLE LAWN FARMS  
 PARCEL C-3  
 PLAT NO. 16514  
 (SDP-04-044)  
 ZONED: RR-MXD-3

MAPLE LAWN FARMS  
 PARCEL C-4  
 PLAT NO. 16514  
 ZONED: RR-MXD-3

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BAL: 410-889-1820 DC/VA: 301-589-2524 FAX: 301-421-4185

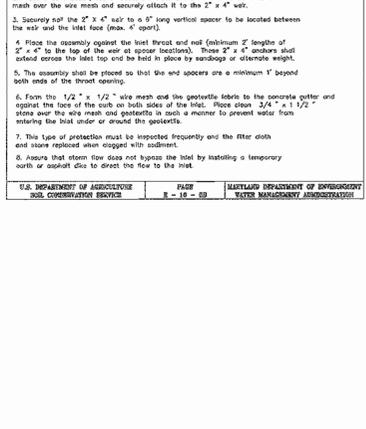
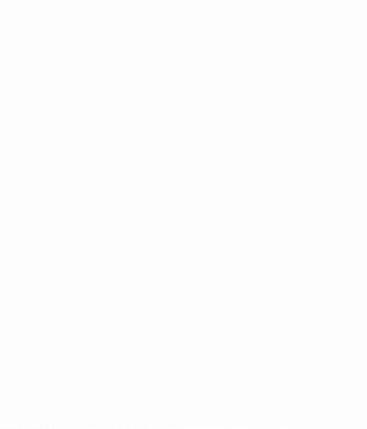
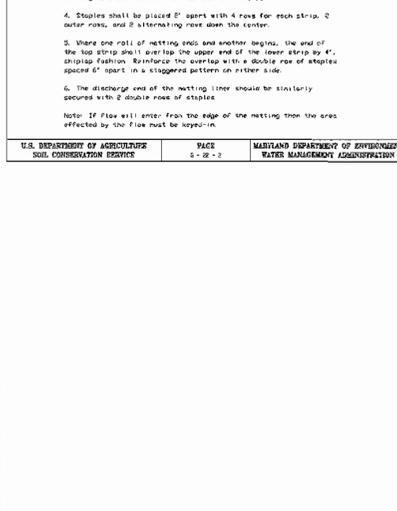
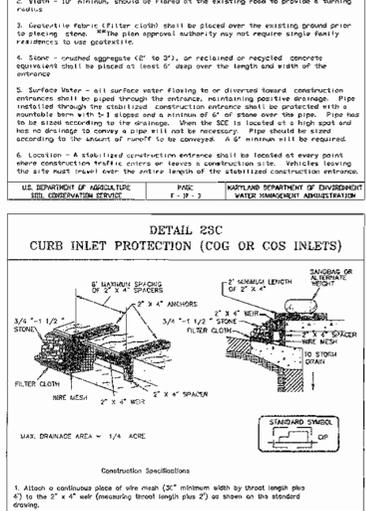
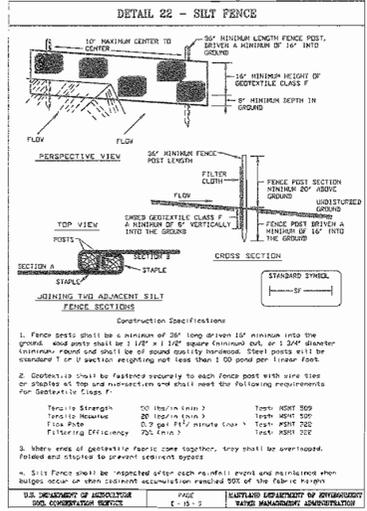
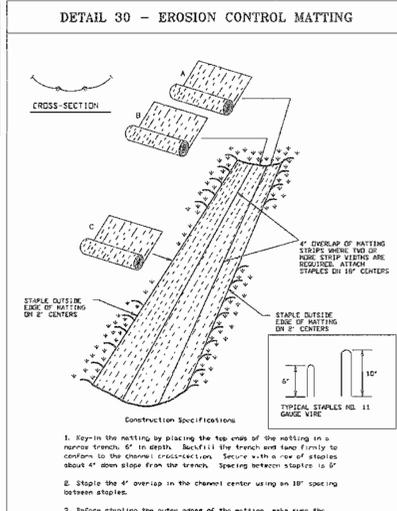
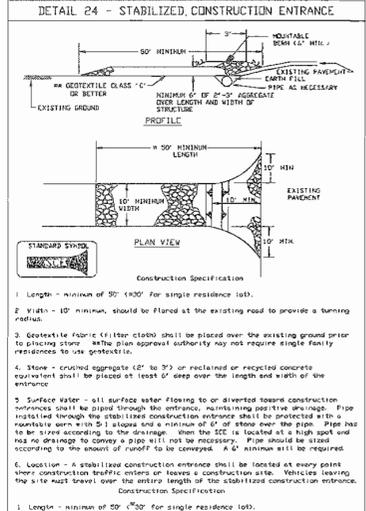
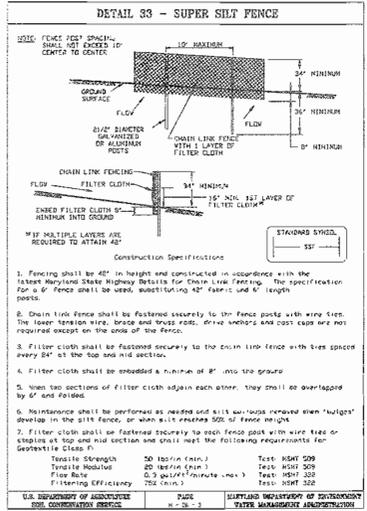
| DATE | REVISION | BY | APP'R. |
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|      |          |    |        |

PREPARED FOR:  
 Maple Lawn Retail, LLC  
 Suite 410 Woodholme Center  
 1829 Reisterstown Road  
 Baltimore, MD 21208  
 ATTN: Charlie O'Donovan  
 410-484-8400

**SEDIMENT CONTROL PLAN/DRAINAGE AREA MAP**  
**BANK AND RETAIL/RESTAURANT BUILDINGS**  
**MAPLE LAWN FARMS**  
 PARCELS C-7 AND C-8  
 PLAT NO. 16624

ELECTION DISTRICT No. 5

| SCALE     | ZONING         | C. L. W. FILE No. |
|-----------|----------------|-------------------|
| 1"=30'    | MXD-3          | 03057             |
| DATE      | TAX MAP - GRID | SHEET             |
| JUNE 2004 | 36 - 3         | 7 OF 10           |



APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT  
 County Health Officer \_\_\_\_\_ Date \_\_\_\_\_  
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director \_\_\_\_\_ Date \_\_\_\_\_  
 Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_  
 Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

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 Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

SEQUENCE OF CONSTRUCTION  
 1. Obtain grading permit. (1 day)  
 2. Arrange for an on-site pre-construction meeting with the sediment control inspector. (1 day)  
 3. Install the stone construction entrance. (1 day)  
 4. Install the super silt fence as shown on these plans. (3 days)  
 5. Inspect and repair existing engineered swale constructed under F-03-07. (1 day)  
 6. Regrade the clean water diversion along the Hessel Property constructed under F-03-07 to the alignment shown on these plans. The clean water diversion will remain in place and utilized throughout the construction of the improvements shown on these plans. (1 week)  
 7. Construct the storm drains. Any damage that occurs to the sediment control as a result of constructing the storm drains must be repaired by the end of each working day. (1 week)  
 8. The 8\"/>

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SEDIMENT CONTROL NOTES  
 1. A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (410) 313-1855.  
 2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1984 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.  
 3. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes and perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.  
 4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.  
 5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings, sod, temporary seedling and mulching (Sec. 6). Temporary stabilization with mulch alone, can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.  
 6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.

7. Site Analysis:  
 Total Area of Site: 3.17 Acres  
 Area Disturbed: 3.2 Acres  
 Area to be rooted or paved: 2.5 Acres  
 Area to be vegetatively stabilized: 1.5 Acres  
 Total Cut: 2000 Cu. Yds.  
 Total Fill: 2000 Cu. Yds.  
 Off-site waste/borrow area location: Maple Lawn Business District (F-03-07)  
 8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.  
 9. Additional sediment control must be provided, if deemed necessary by the Howard County DPM Sediment Control Inspector.  
 10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.  
 11. Trenches for the construction of utilities is limited to 3 pipe lengths or that which shall be backfilled and stabilized within one working day, whichever is shorter.

NOTE: TOTAL CUT AND FILL QUANTITIES ARE FOR PLAN PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EARTHWORK AT TIME OF CONTRACT

DEVELOPER'S CERTIFICATE  
 "I/We certify that all development and/or construction will be done according to this plan and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD."  
 Signature of Developer/Builder \_\_\_\_\_ Date 7-12-04

DEVELOPER'S CERTIFICATE  
 "I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."  
 Signature of Engineer \_\_\_\_\_ Date 7-12-04

PERMANENT SEEDING NOTES  
 Apply to graded or cleared area not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.  
 Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).  
 Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:  
 1) Preferred - Apply 2 tons per acre dolomitic limestone (42 lbs/1000 square feet) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaformal fertilizer (9 lbs/1000 sq ft).  
 2) Acceptable - Apply 2 tons per acre dolomitic limestone (42 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.  
 Seeding: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (0.5 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) 1/2 ton. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.  
 Mulching: Apply 1-1/2 to 2 tons per acre (10 to 40 lbs/1000 sq ft) of unwrapped small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2lb gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 3:1 or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.  
 Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES  
 Apply to graded or cleared areas likely to be redistributed where a short-term vegetative cover is needed.  
 Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).  
 Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).  
 Seeding: For periods March 1 thru April 30 and from August 15 thru October 15, seed with 2-1/2 bushel per acre of annual ryegrass (3 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (0.7 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.  
 Mulching: Apply 1-1/2 to 2 tons per acre (10 to 40 lbs/1000 sq ft) of unwrapped, weed-free, small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2lb gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 3:1 or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.  
 Refer to the 1984 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

STANDARD AND SPECIFICATIONS FOR TOPSOIL DEFINITION  
 Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.  
 PURPOSE  
 To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.  
 CONDITIONS WHERE PRACTICE APPLIES  
 1. This practice is limited to areas having 2:1 or flatter slopes where:  
 a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.  
 b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supply of moisture and plant nutrients.  
 c. The original soil to be vegetated contains material toxic to plant growth.  
 d. The soil is so acidic that treatment with limestone is not feasible.  
 2. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.  
 CONSTRUCTION AND MATERIAL SPECIFICATIONS  
 1. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the respective soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.  
 2. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1/2" in diameter.  
 3. Topsoil must be free of plant parts such as bermuda grass, quackgrass, Johnsongrass, nutcase, poison ivy, thistle, or others as specified.  
 4. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.  
 5. For sites having disturbed areas under 5 acres:  
 a. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.  
 6. For sites having disturbed areas over 5 acres:  
 a. On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:  
 i. pH for topsoil shall be between 6.0 and 7.5. If

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SEDIMENT CONTROL NOTES (continued)  
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PLANT MATERIALS AND PLANTING METHODS

A. Plant Materials

The landscape contractor shall furnish and install and/or dig, ball, burlap and transport all of the plant materials called for on drawings and/or listed in the Plant Schedule.

1. Plant Names

Plant names used in the Plant Schedule shall conform with "Standardized Plant Names," latest edition.

2. Plant Standards

All plant material shall be equal to or better than the requirements of the "USA Standard for Nursery Stock," latest edition, as published by the American Association of Nurserymen (hereafter referred to as AAN Standards). All plants shall be typical of their species and variety, shall have a normal habit of growth and shall be first quality, sound, vigorous, well-branched and with healthy, well-furnished root systems. They shall be free of disease, insect pests and mechanical injuries.

All plants shall be nursery grown and shall have been grown under the same climate conditions as the location of this project for at least two years before planting. Neither headed-in plants nor plants from cold storage will be accepted.

3. Plant Measurements

All plants shall conform to the measurements specified in the Plant Schedule as approved by the Architectural Review Committee.

a. Caliper measurements shall be taken six inches (6") above grade for trees under four-inch (4") caliper and twelve (12") above grade for trees four inches (4") in caliper and over.

b. Minimum branching height for all shade trees shall be six feet (6'), maximum eight feet (8').

c. Caliper, height, spread and size of ball shall be generally as follows:

| CALIPER   | HEIGHT  | SPREAD  | SIZE OF BALL |
|-----------|---------|---------|--------------|
| 3" - 3.5" | 14'-16' | 6'-8'   | 32" diameter |
| 3.5" - 4" | 14'-16' | 8'-10'  | 36" diameter |
| 4" - 4.5" | 16'-18' | 8'-10'  | 40" diameter |
| 4.5" - 5" | 16'-18' | 10'-12' | 44" diameter |
| 5" - 5.5" | 18'-20' | 10'-12' | 48" diameter |
| 5.5" - 6" | 18'-20' | 12'-14' | 52" diameter |

All plant material shall generally average the median for the size ranges indicated above as indicated in the "AAN Standards".

4. Plant Identification

Legible labels shall be attached to all shade trees, minor trees, specimen shrubs and bundles or boxes of other plant material giving the botanical and common names, sizes and quantity of each. Each shipment of plants shall bear certificates of inspection as required by Federal, State and County authorities.

5. Plant Inspection

The Architectural Review Committee may, upon request by the builder or developer, at least ten (10) days prior to the installation of any proposed plant material, inspect all proposed plant material at the source of origin.

B. Planting Methods

All proposed plant materials that meet the specifications in Section A are to be planted in accordance with the following methods during the proper planting seasons as described in the following:

1. Planting Seasons

The planting of deciduous trees, shrubs and vines shall be from March 1st to June 15th and from September 15th to December 15th. Planting of deciduous material may be continued during the winter months providing there is no frost in the ground and frost-free topsoil planting mixtures are used.

The planting of evergreen material shall be from March 15th to June 15th and from August 15th to December 1st. No planting shall be done when ground is frozen or excessively moist. No frozen or wet topsoil shall be used at any time.

2. Excavation of Plant Pits

The landscaping contractor shall excavate all plant pits, vine pits, hedge trenches and shrub beds in accordance with the following schedule:

a. Locations of all proposed plant material shall be staked and approved in the field by the landscape architect before any of the proposed plant material is installed by the landscape contractor.

b. All pits shall be generally circular in outline, vertical sides, depth shall not be less than 6" deeper than the root ball, diameter shall not be less than two times the diameter of the root ball as set forth in the following schedule.

c. If areas are designated as shrub beds or hedge trenches, they shall be excavated to at least 18" depth minimum. Areas designated for ground covers and vines shall be excavated to at least 12" in depth minimum.

d. Diameter and depth of tree pits shall generally be as follows:

| PLANT SIZE     | ROOT BALL | PIT DIAMETER | PIT DEPTH |
|----------------|-----------|--------------|-----------|
| 3" - 3.5" cal. | 32"       | 64"          | 28"       |
| 3.5" - 4" cal. | 36"       | 72"          | 32"       |
| 4" - 4.5" cal. | 40"       | 80"          | 36"       |
| 4.5" - 5" cal. | 44"       | 88"          | 40"       |
| 5" - 5.5" cal. | 48"       | 96"          | 44"       |
| 5.5" - 6" cal. | 52"       | 104"         | 48"       |

A 20% compaction figure of the soil to be removed is assumed and will be allowed in calculation of extra topsoil. The tabulated pit sizes are for purposes of uniform calculation and shall not override the specified depths below the bottoms of the root balls.

3. Staking, Guying and Wrapping

All plant material shall be staked or gaged, and wrapped in accordance with the following specifications:

a. Stakes: Shall be sound wood 2" x 2" rough sawn oak or similar durable woods, or lengths, minimum 7'-0" for major trees and 5'-0" minimum for minor trees.

b. Wire and Cable: Wire shall be #10 galvanized or bethonized annealed steel wire. For trees over 3" caliper, provide 5/16" turn buckles, eye and eye with 4' take-up. For trees over 5" caliper, provide 3/16" 7 strand cable cadmium plated steel, with galvanized "eye" thimbles of wire and hose on trees up to 3" in caliper.

c. Hose: Shall be new, 2 ply reinforced rubber hose, minimum 1/2" I.D. "Plastic Lock Ties" or "Paul's Trees Braces" may be used in place of wire and hose on trees up to 3" in caliper.

d. All trees under 3" in caliper are to be planted and staked in accordance with the attached "Typical Tree Staking Detail".

4. Plant Pruning, Edging and Mulching

a. Each tree, shrub or vine shall be pruned in an appropriate manner to its particular requirements in accordance with accepted standard practices. Broken or bruised branches shall be removed with clean cuts flush with the adjacent trunk or branches. All cuts over 1" in diameter shall be painted with an approved antiseptic tree wound dressing.

b. All trenches and shrub beds shall be edged and cultivated to the lines shown on the drawing. The areas around isolated plants shall be edged and cultivated to the full diameter of the pit. Sod which has been removed and stacked shall be used to trim the edges of all excavated areas to the neat lines of the plant pit saucers, the edges of shrub areas, hedge trenches and vine pockets.

c. After cultivation, all plant materials shall be mulched with a 2" layer of fine, shredded pine bark, peat moss, or another approved material over the entire area of the bed or saucer.

5. Plant Inspection and Acceptance

The Architectural Review Committee shall be responsible for inspecting all planting projects on a periodic basis to assure that all work is proceeding in accordance with the approved plans and specifications.

6. Plant Guarantee

All plant material shall be guaranteed for the duration of one full growing season, after final inspection and acceptance of the work in the planting project. Plants shall be alive and in satisfactory growing condition at the end of the guarantee period.

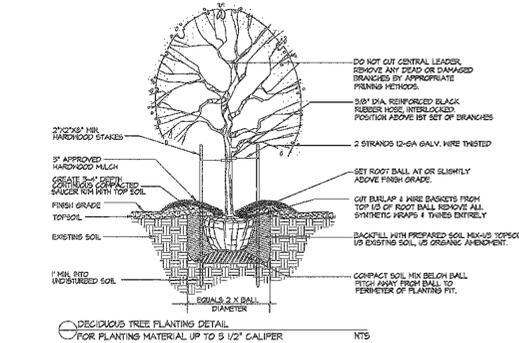
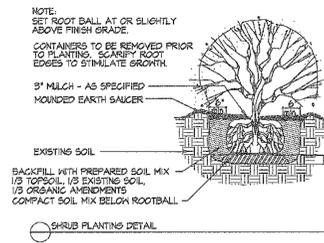
a. For this purpose, the "growing season" shall be that period between the end of the "Spring" planting season, and the commencement of the "Fall" planting season.

b. Guarantee for planting performed after the specified end of the "Spring" planting season, shall be extended through the end of the next following "Spring" planting season.

Sodding

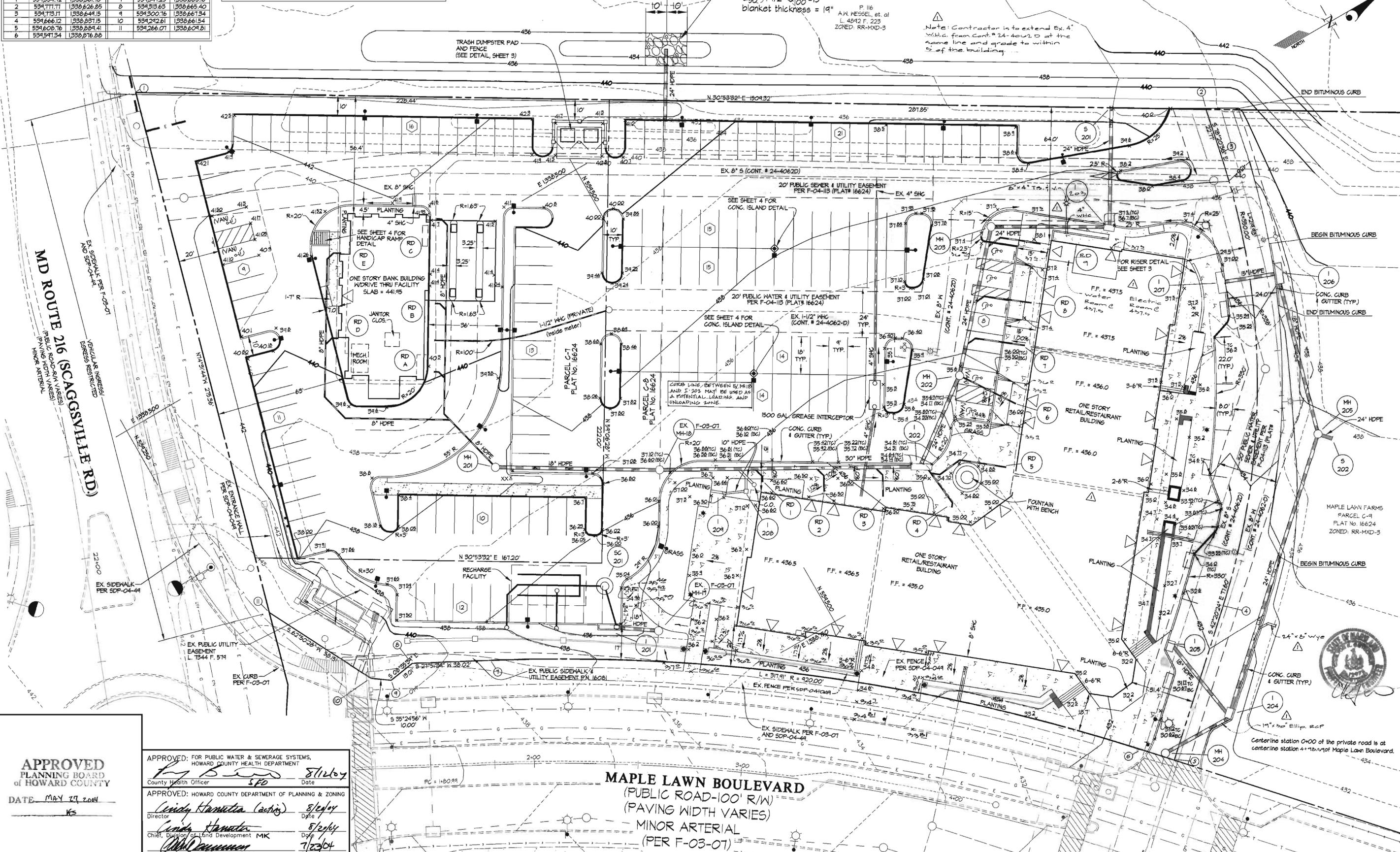
All sodding shall be in accordance to the "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas" latest edition, approved by the Landscape Contractors Association of Metropolitan Washington and the American Society of Landscape Architects.

All sod shall be strongly rooted sod, not less than two years old and free of weeds and undesirable native grasses. Provide only sod capable of growth development when planted and in strips not more than 18" wide x 4" long. Provide sod composed principally of improved strain Kentucky bluegrass, such as, Columbia, Vicia, or Escort.



| COORDINATE TABLE |           |            |         |           |            |
|------------------|-----------|------------|---------|-----------|------------|
| PT. No.          | NORTH     | EAST       | PT. No. | NORTH     | EAST       |
| 1                | 534334.72 | 1336261.78 | 7       | 534341.25 | 1336683.16 |
| 2                | 534334.72 | 1336261.78 | 8       | 534313.63 | 1336665.40 |
| 3                | 534334.72 | 1336261.78 | 9       | 534300.76 | 1336667.34 |
| 4                | 534266.12 | 1336261.78 | 10      | 534242.61 | 1336661.54 |
| 5                | 534266.12 | 1336261.78 | 11      | 534266.07 | 1336604.91 |
| 6                | 534266.12 | 1336261.78 |         |           |            |

| CURVE TABULATION |        |        |         |        |               |            |
|------------------|--------|--------|---------|--------|---------------|------------|
| CURVE            | RADIUS | LENGTH | TANGENT | CHORD  | BEARING       | DELTA      |
| 1065-1066        | 420.00 | 311.41 | 160.56  | 316.34 | S 31°45'38" W | 114°41'51" |



**APPROVED**  
PLANNING BOARD  
OF HOWARD COUNTY

DATE: MAY 17, 2004

APPROVED: FOR PUBLIC WATER & SEWERAGE SYSTEMS,  
HOWARD COUNTY HEALTH DEPARTMENT

County Health Officer: *[Signature]* Date: 8/12/04

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 8/2/04

Chief, Division of Land Development: *[Signature]* Date: 8/2/04

Chief, Development Engineering Division: *[Signature]* Date: 7/23/04

**MAPLE LAWN BOULEVARD**  
(PUBLIC ROAD-100' R/W)  
(PAVING WIDTH VARIES)  
MINOR ARTERIAL  
(PER F-03-01)

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 200 - BURTNSVILLE OFFICE PARK  
BURTNSVILLE, MARYLAND 20886  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-988-2524 FAX: 301-421-4186

| DATE     | REVISION  | BY | APP'R. |
|----------|---|----|--------|
| 10/24/04 | Revise building grades to remove corridor & relocate mechanical rooms, etc. |    |        |
|          | Add 15' x 4' wye and reflect 19' x 30' Ellip. RCP from 1:204 to M:204.      |    |        |

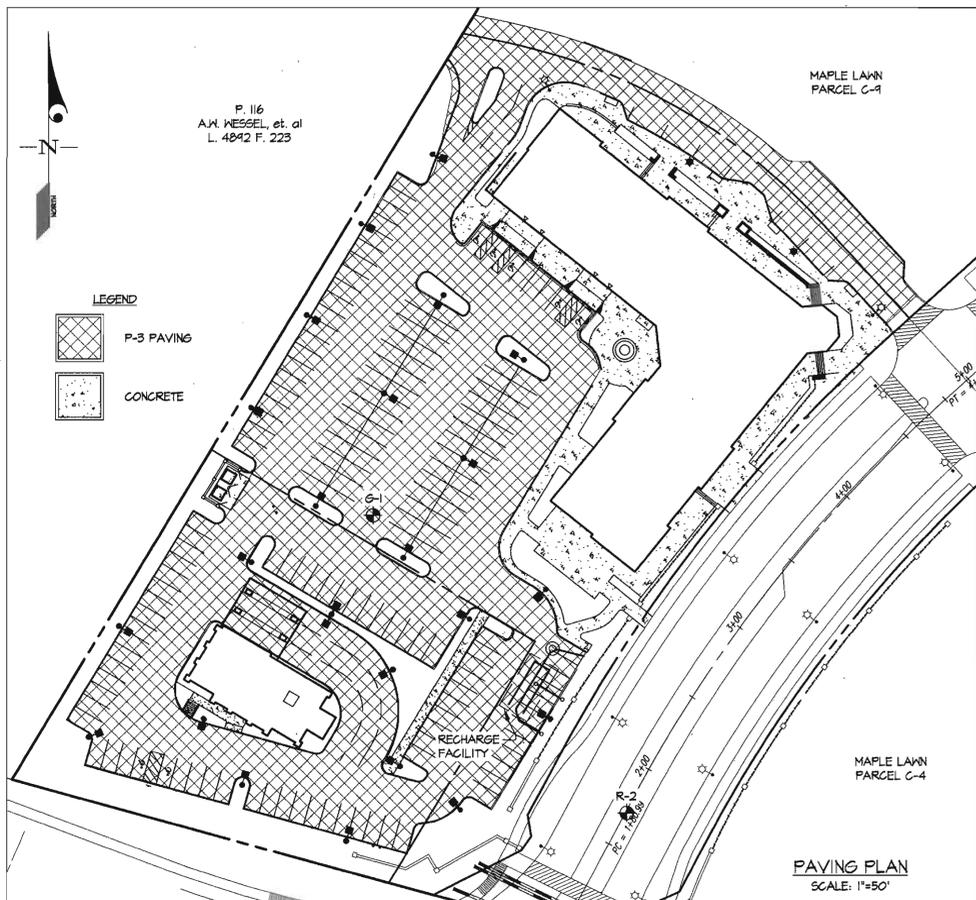
PREPARED FOR:  
Maple Lawn Retail, LLC  
Suite 410 Woodholme Center  
1829 Reisterstown Road  
Baltimore, MD 21208  
ATTN: Charlie O'Donovan  
410-484-8400

**SITE DEVELOPMENT PLAN**  
**BANK AND RETAIL/RESTAURANT BUILDINGS**  
**MAPLE LAWN FARMS**  
**PARCELS C-7 AND C-8**  
PLAT NO. 16624

ELECTION DISTRICT No. 5

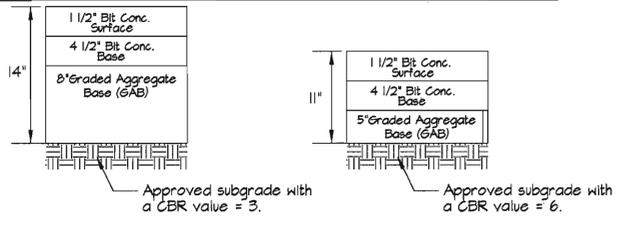
| SCALE     | ZONING         | G. L. W. FILE No. |
|-----------|----------------|-------------------|
| 1"=20'    | MXD-3          | 03057             |
| DATE      | TAX MAP - GRID | SHEET             |
| JUNE 2004 | 36 - 3         | 2 OF 10           |

L:\CADD\DRAWINGS\96079\03057\sdp\03057SDP2.dwg 06/29/2004 03:17:02 PM EDT



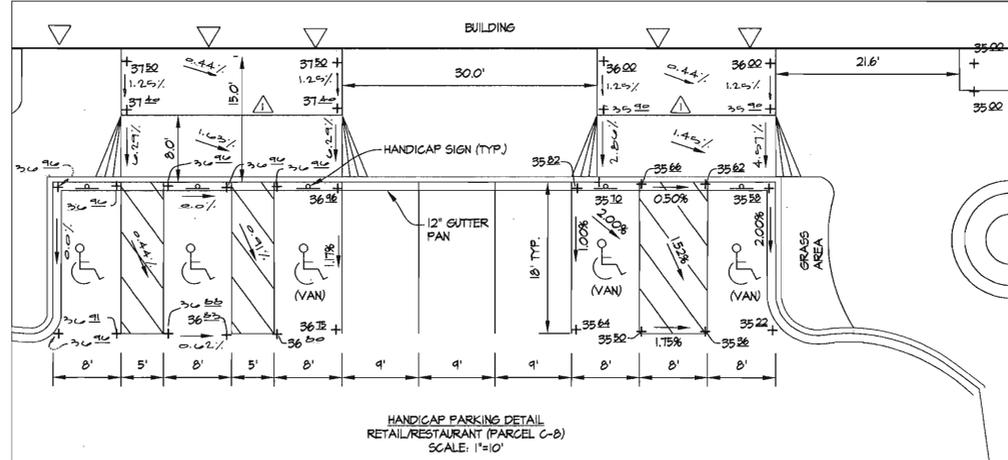
LANDSCAPE LIGHTING FIXTURE SCHEDULE

| TYPE | MANUFACTURER     | CATALOG NUMBER | WATTAGE                  | LAMP                    | MOUNTING | NOTES   | SYMBOL |
|------|------------------|----------------|--------------------------|-------------------------|----------|---|--------|
| A    | HADCO            | HADCO R51      | 150 W                    | METAL HALIDE            | 12' POLE | FIXTURE TYPE: TBD<br>SHIELD TYPE: SEMI-CUTOFF |        |
| B    | HADCO            | HADCO TF6      | 250 W<br>(20,500 LUMENS) | METAL HALIDE            | 23' POLE | FIXTURE TYPE: TBD<br>SHIELD TYPE: SEMI-CUTOFF |        |
| C    | HADCO            | HADCO TF6      | 250 W<br>(20,000 LUMENS) | HIGH PRESSURE<br>SODIUM | 23' POLE | FIXTURE TYPE: TBD<br>SHIELD TYPE: SEMI-CUTOFF |        |
| D    | SAME AS TYPE 'B' |                |                          |                         |          |   |        |

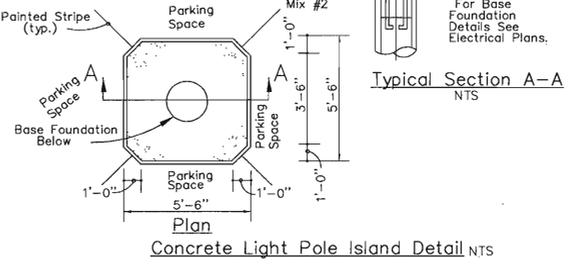
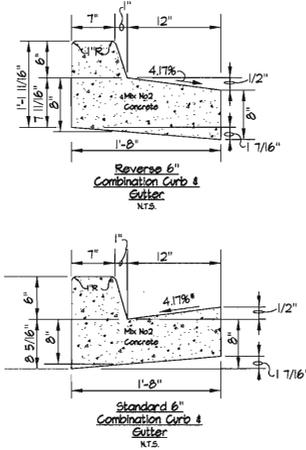


P-3 Granular Base  
N.T.S.

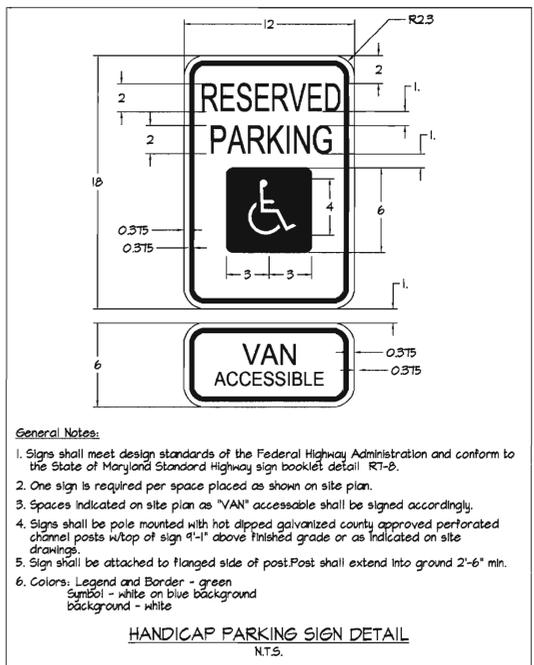
Note:  
Depending on the CBR values obtained in the field, the paving sections may be revised, if approved by a professional soils engineer. These substitutions must also be approved by the Howard County Department of Public Works.



HANDICAP PARKING DETAIL  
RETAIL/RESTAURANT (PARCEL C-2)  
SCALE: 1"=10'

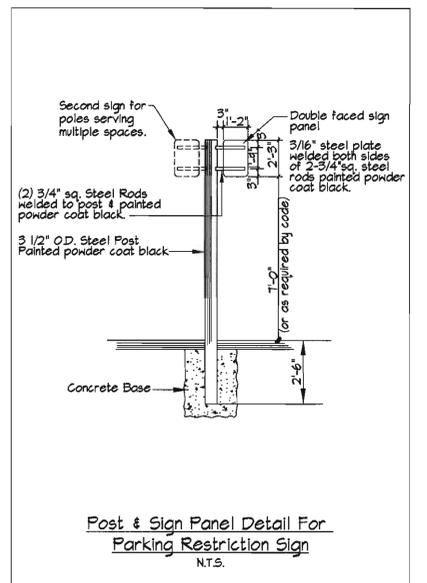


Concrete Light Pole Island Detail  
N.T.S.

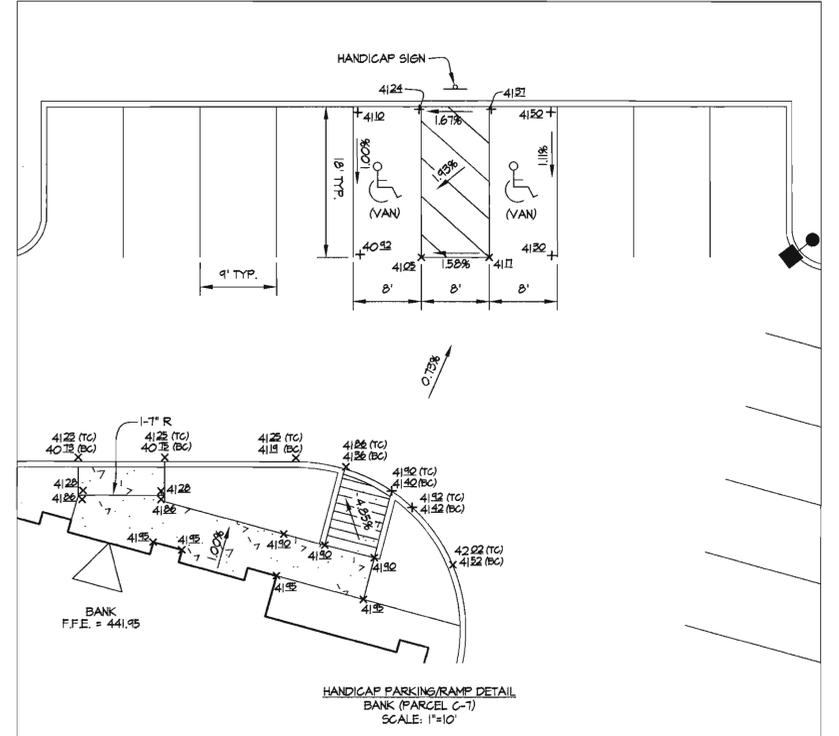


- General Notes:
- Signs shall meet design standards of the Federal Highway Administration and conform to the State of Maryland Standard Highway sign booklet detail RT-8.
  - One sign is required per space placed as shown on site plan.
  - Spaces indicated on site plan as "VAN" accessible shall be signed accordingly.
  - Signs shall be pole mounted with hot dipped galvanized county approved perforated channel posts w/top of sign 4'-1" above finished grade or as indicated on site drawings.
  - Sign shall be attached to flanged side of post. Post shall extend into ground 2'-6" min.
  - Colors: Legend and Border - green  
Symbol - white on blue background  
background - white

HANDICAP PARKING SIGN DETAIL  
N.T.S.



Post & Sign Panel Detail For  
Parking Restriction Sign  
N.T.S.



HANDICAP PARKING/RAMP DETAIL  
BANK (PARCEL C-7)  
SCALE: 1"=10'

APPROVED  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE: MAY 27, 2004  
KS

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEMS,  
HOWARD COUNTY HEALTH DEPARTMENT  
County Health Officer \_\_\_\_\_ Date \_\_\_\_\_  
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Cindy Hamilton (sdry) 8/24/04  
Director  
Cindy Hamilton 8/10/04  
Chief, Division of Land Development MK  
William [Signature] 7/23/04  
Chief, Development Engineering Division

GLWGUTSCHICK LITTLE & WEBER, P.A.  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

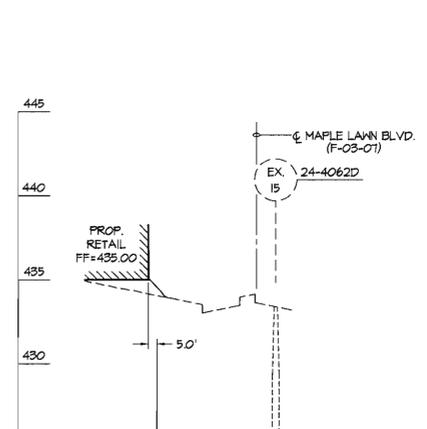
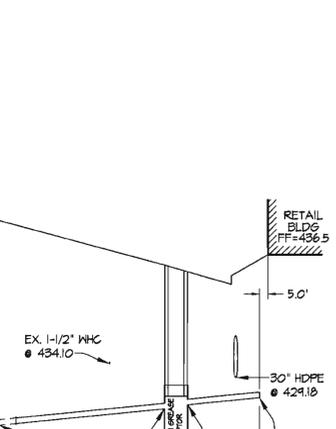
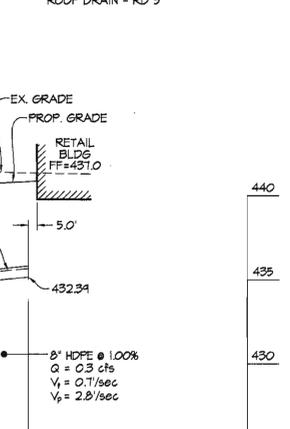
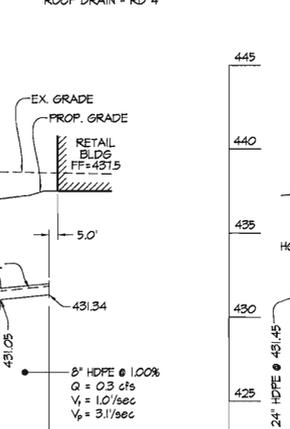
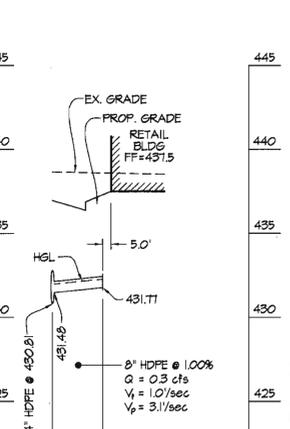
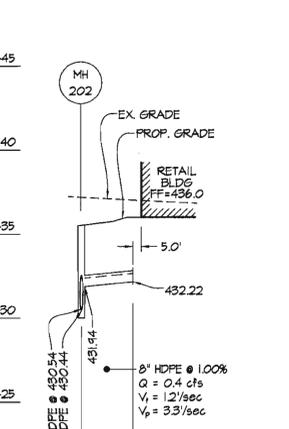
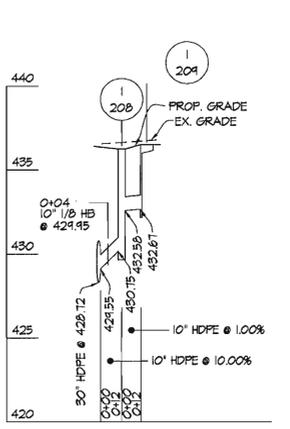
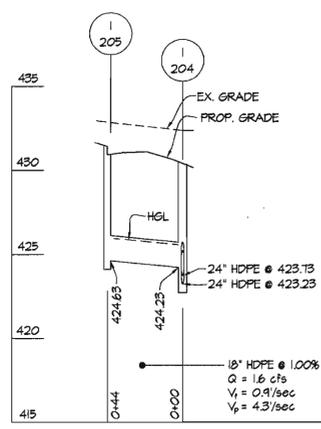
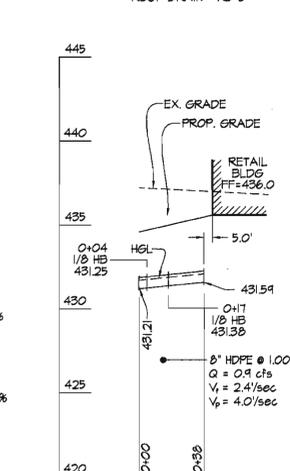
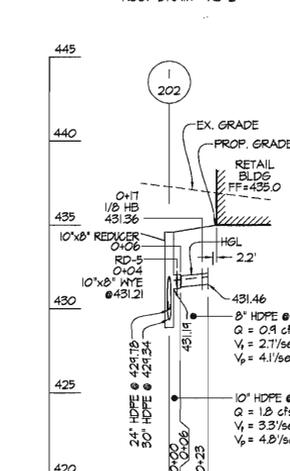
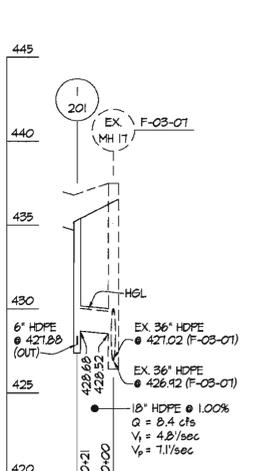
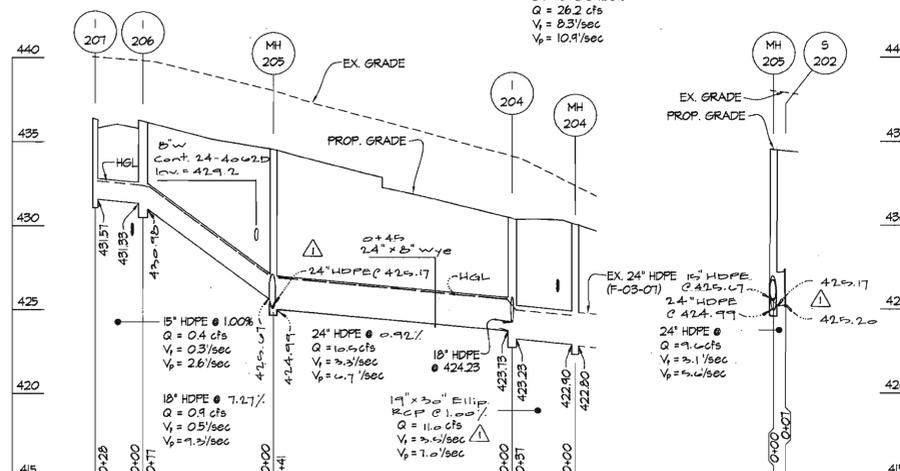
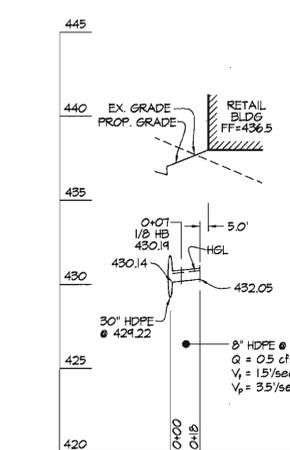
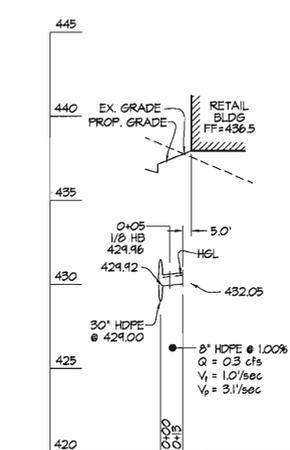
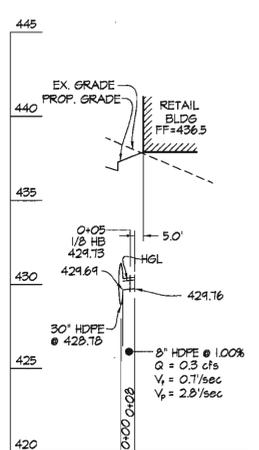
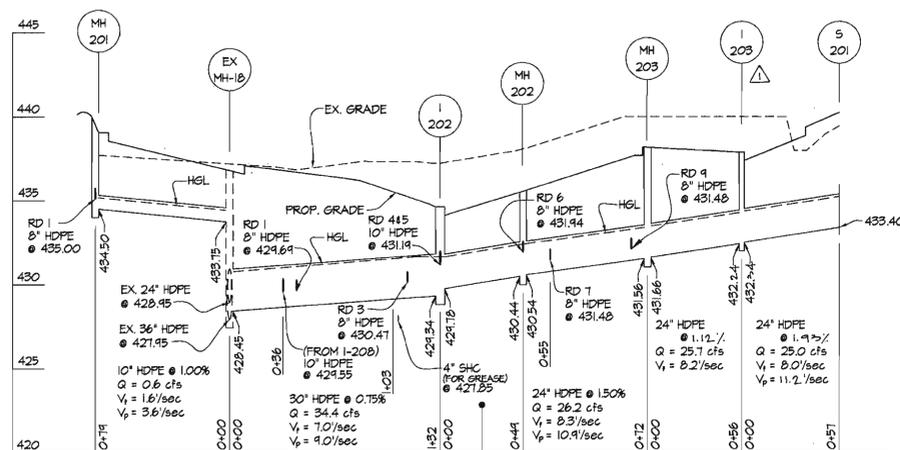
| DATE     | REVISION  | BY     | APP'R. |
|----------|---|--------|--------|
| 10/20/04 | Revise spot elevations in parking detail due to mechanical room relocation. | d.e.v. |        |

PREPARED FOR:  
Maple Lawn Retail, LLC  
Suite 410 Woodholme Center  
1829 Reisterstown Road  
Baltimore, MD 21208  
ATTN: Charlie O'Donovan  
410-484-8400

SITE/HANDICAP ACCESSIBILITY DETAILS  
BANK AND RETAIL/RESTAURANT BUILDINGS  
MAPLE LAWN FARMS  
PARCELS C-7 AND C-8  
PLAT NO. 16624  
ELECTION DISTRICT No. 5  
HOWARD COUNTY, MARYLAND

| SCALE     | ZONING         | G. L. W. FILE NO. |
|-----------|----------------|-------------------|
| AS SHOWN  | MXD-3          | 03057             |
| DATE      | TAX MAP - GRID | SHEET             |
| JUNE 2004 | 36 - 3         | 4 OF 10           |





| NO.    | TYPE             | WIDTH (INSIDE) | TOP ELEVATION |        | INVERT ELEVATION |        | STANDARD DETAIL | LOCATIONS            | REMARKS |
|--------|------------------|----------------|---------------|--------|------------------|--------|-----------------|----------------------|---------|
|        |                  |                | UPPER         | LOWER  | UPPER            | LOWER  |                 |                      |         |
| I-201  | COG-10           | 4'-0"          | 435.40        | 435.20 | 428.68           | 421.88 | MD 374.62       | N 539,406 E 1338,697 |         |
| I-202  | A-10 INLET       | 3'-6"          | 434.64        | 434.64 | 431.19           | 429.34 | HC 5D-4.41      | N 539,574 E 1338,705 |         |
| I-203  | A-5 INLET        | 3'-0"          | 437.20        | 437.20 | 432.24           | 429.24 | HC 5D-4.40      | N 539,710 E 1338,651 |         |
| I-204  | DOUBLE 'S' INLET | ---            | 431.41        | 431.26 | 424.23           | 423.23 | HC 5D-4.23      | N 539,642 E 1338,882 |         |
| I-205  | DOUBLE 'S' INLET | ---            | 432.08        | 431.93 | ---              | 424.63 | HC 5D-4.23      | N 539,633 E 1338,840 |         |
| I-206  | A-10 INLET       | 2'-6"          | 437.09        | 436.72 | 431.33           | 430.98 | HC 5D-4.41      | N 539,767 E 1338,712 |         |
| I-207  | A-10 INLET       | 2'-6"          | 437.09        | 436.72 | ---              | 431.57 | HC 5D-4.41      | N 539,745 E 1338,703 |         |
| I-208  | CATCH BASIN      | ---            | 436.25        | 436.25 | 432.58           | 430.75 | ---             | N 539,494 E 1338,675 |         |
| I-204  | TRENCH DRAIN     | ---            | 436.50        | 436.50 | ---              | 432.67 | ---             | N 539,482 E 1338,669 |         |
| MH-201 | STD MANHOLE      | 4'-0"          | ---           | 438.50 | 435.00           | 434.50 | HC G-5.12       | N 539,395 E 1338,604 |         |
| MH-202 | STD MANHOLE      | 4'-0"          | ---           | 435.58 | 430.54           | 431.94 | HC G-5.13       | N 539,611 E 1338,678 |         |
| MH-203 | STD MANHOLE      | 5'-0"          | ---           | 437.70 | 431.66           | 431.56 | HC G-5.13       | N 539,656 E 1338,621 |         |
| MH-204 | STD MANHOLE      | 4'-0"          | ---           | 430.13 | 422.90           | 422.80 | HC G-5.13       | N 539,607 E 1338,884 |         |
| MH-205 | STD MANHOLE      | 5'-0"          | ---           | 437.00 | 429.07           | 424.07 | HC G-5.13       | N 539,747 E 1338,789 |         |

NOTES:  
 1. ALL STRUCTURES TO BE PRECAST.  
 2. COORDINATES FOR LOCATIONS ARE TO CENTERLINE OF THE STRUCTURE AT FACE OF CURB FOR INLETS AND TO THE CENTERLINE OF STRUCTURE FOR MANHOLES.  
 \*NOTE: FOR RECHARGE FACILITY DETAILS, SEE SHEET 5.

◇ In-line drain by Nyoplast or an approved equal.  
 ◇ Catch Basin by Nyoplast or an approved equal.

| SIZE     | QUANTITY | REMARKS |
|----------|----------|---------|
| 6" HDPE  | 16 L.F.  |         |
| 8" HDPE  | 310 L.F. |         |
| 10" HDPE | 4 L.F.   |         |
| 15" HDPE | 28 L.F.  |         |
| 18" HDPE | 154 L.F. |         |
| 24" HDPE | 452 L.F. |         |
| 30" HDPE | 132 L.F. |         |
| 6" PVC   | 16 L.F.  |         |
| 8" PVC   | 124 L.F. |         |

\*NOTE: FOR RECHARGE FACILITY DETAILS, SEE SHEET 4.

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**APPROVED**  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 DATE: MAY 27, 2004

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT  
 County Health Officer \_\_\_\_\_ Date \_\_\_\_\_  
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Cindy Hamilton* 5/29/04  
 Chief, Division of Land Development: *Cindy Hamilton* 5/29/04  
 Chief, Development Engineering Division: *Paul Vanasse* 7/23/04

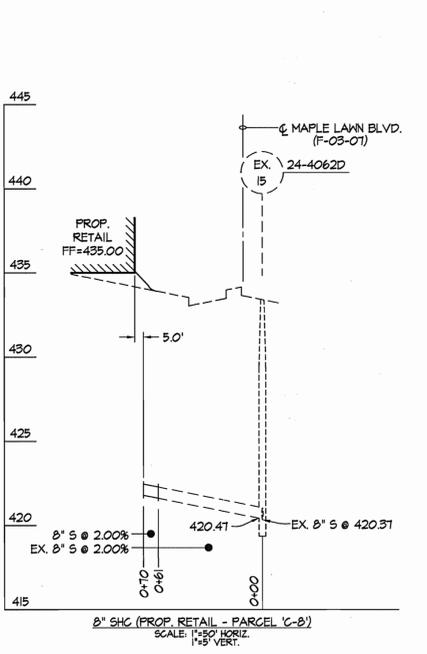
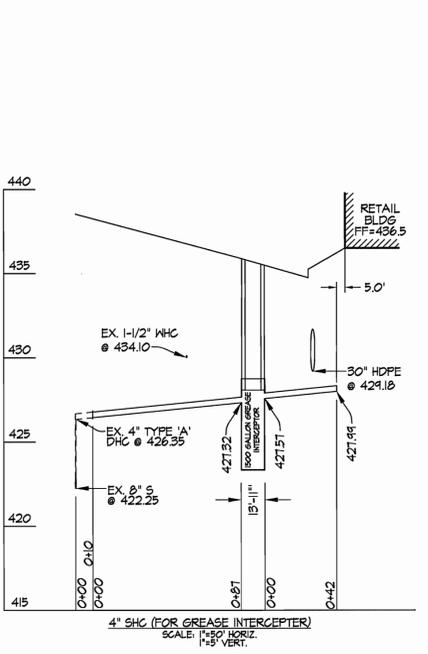
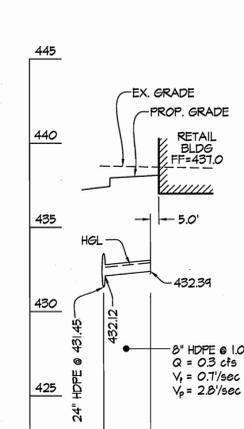
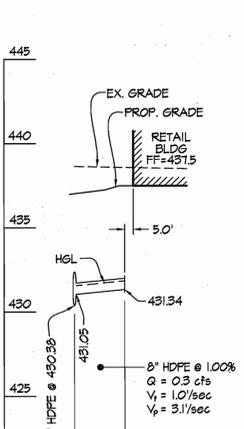
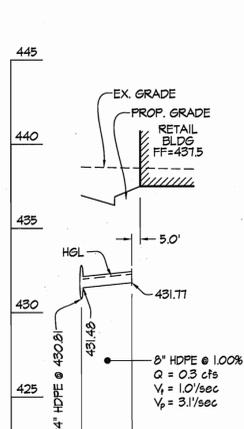
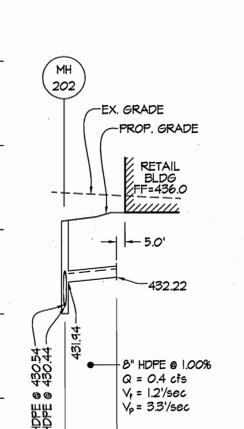
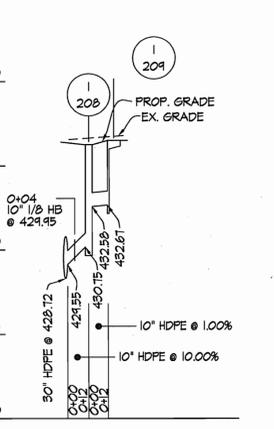
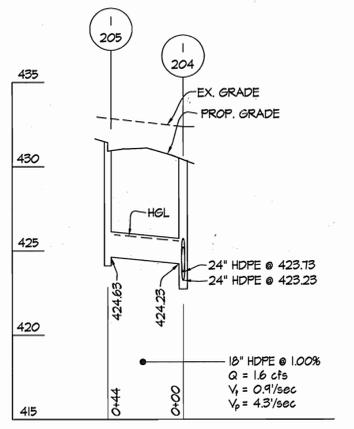
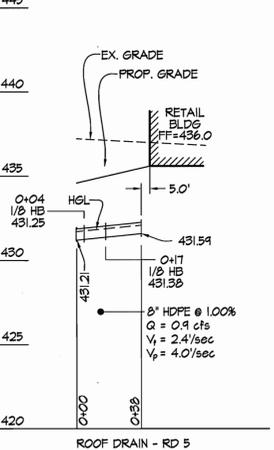
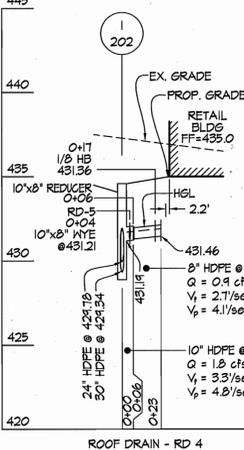
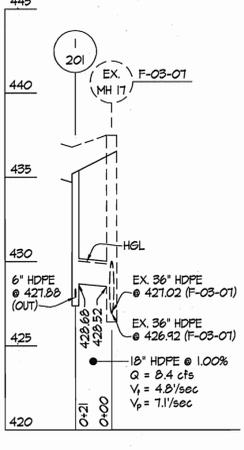
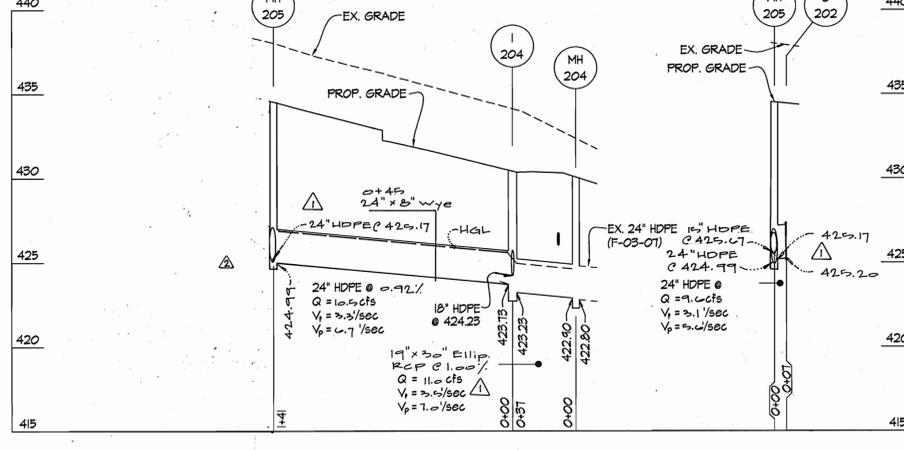
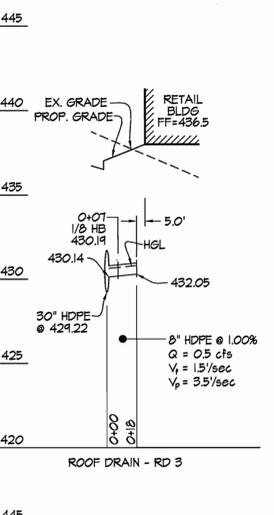
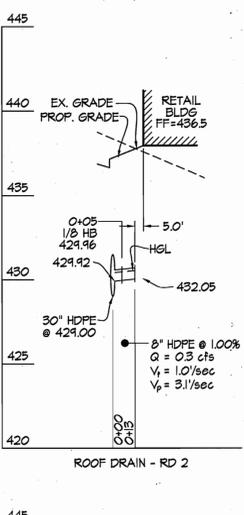
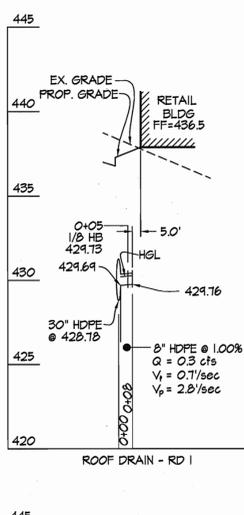
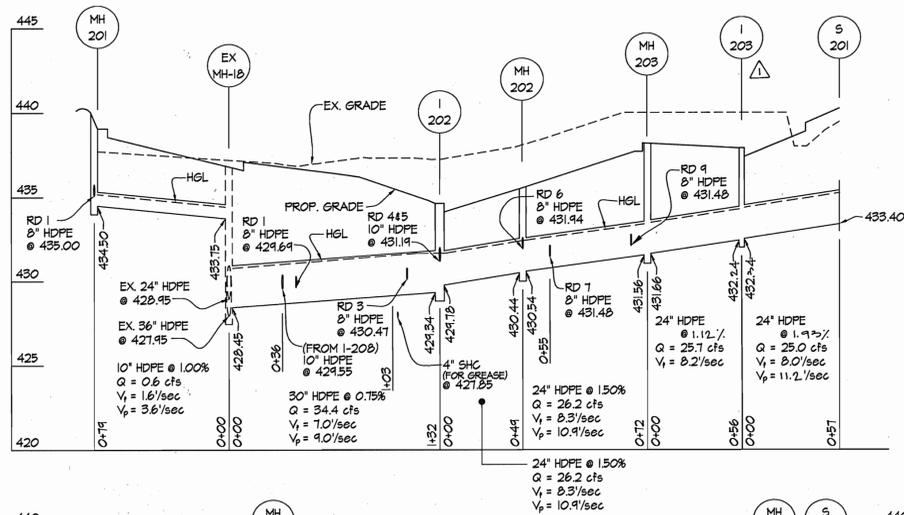
| DATE     | REVISION  | BY     | APPR. |
|----------|---|--------|-------|
| 10/20/04 | Revise profiles to accommodate future development, new grades & I-203, and to resolve conflict. | d.e.v. |       |

PREPARED FOR:  
 Maple Lawn Retail, LLC  
 Suite 410 Woodholme Center  
 1829 Reisterstown Road  
 Baltimore, MD 21208  
 ATTN: Charlie O'Donovan  
 410-484-8400



**STRUCTURE PROFILES/C-8 UTILITY PROFILES**  
**BANK AND RETAIL/RESTAURANT BUILDINGS**  
**MAPLE LAWN FARMS**  
 PARCELS C-7 AND C-8  
 PLAT NO. 16624  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

| SCALE     | ZONING         | G. L. W. FILE NO. |
|-----------|----------------|-------------------|
| AS SHOWN  | MXD-3          | 03057             |
| DATE      | TAX MAP - GRID | SHEET             |
| JUNE 2004 | 36 - 3         | 6 OF 10           |



| NO.    | TYPE             | WIDTH (INSIDE) | TOP ELEVATION |        | INVERT ELEVATION |        | STANDARD DETAIL | LOCATIONS            | REMARKS              |
|--------|------------------|----------------|---------------|--------|------------------|--------|-----------------|----------------------|----------------------|
|        |                  |                | UPPER         | LOWER  | UPPER            | LOWER  |                 |                      |                      |
| I-201  | COG-10           | 4'-0"          | 435.40        | 435.20 | 428.68           | 421.88 | MD 314.62       | N 534,406 E 1330,697 |                      |
| I-202  | A-10 INLET       | 3'-6"          | 434.64        | 434.64 | 431.19           | 429.34 | HC SD-4.41      | N 534,574 E 1330,705 |                      |
| I-203  | A-5 INLET        | 3'-0"          | 437.20        | 437.20 | 432.34           | 429.24 | HC SD-4.40      | N 534,710 E 1330,651 |                      |
| I-204  | DOUBLE 'S' INLET | ---            | 431.41        | 431.26 | 424.23           | 423.23 | HC SD-4.23      | N 534,642 E 1330,882 |                      |
| I-205  | DOUBLE 'S' INLET | ---            | 432.08        | 431.93 | ---              | 424.63 | HC SD-4.23      | N 534,633 E 1330,840 |                      |
| I-206  | A-10 INLET       | 2'-6"          | 431.04        | 430.72 | 431.33           | 430.98 | HC SD-4.41      | N 534,767 E 1330,712 |                      |
| I-207  | A-10 INLET       | 2'-6"          | 431.04        | 430.72 | ---              | 431.57 | HC SD-4.41      | N 534,745 E 1330,703 |                      |
| I-208  | CATCH BASIN      | ---            | 436.25        | 436.25 | 432.58           | 430.75 | ---             | N 534,494 E 1330,675 |                      |
| I-209  | TRENCH DRAIN     | ---            | 436.50        | 436.50 | ---              | 432.67 | ---             | N 534,482 E 1330,664 |                      |
| MH-201 | STD MANHOLE      | 4'-0"          | ---           | ---    | 438.50           | 435.00 | 434.50          | HC G-5.12            | N 534,395 E 1330,604 |
| MH-202 | STD MANHOLE      | 4'-0"          | ---           | ---    | 435.58           | 430.54 | 431.94          | HC G-5.13            | N 534,611 E 1330,678 |
| MH-203 | STD MANHOLE      | 5'-0"          | ---           | ---    | 431.10           | 431.66 | 431.56          | HC G-5.13            | N 534,656 E 1330,621 |
| MH-204 | STD MANHOLE      | 4'-0"          | ---           | ---    | 430.13           | 422.90 | 422.80          | HC G-5.13            | N 534,607 E 1330,884 |
| MH-205 | STD MANHOLE      | 5'-0"          | ---           | ---    | 431.00           | 425.07 | 424.79          | HC G-5.13            | N 534,747 E 1330,789 |

NOTES:  
 1. ALL STRUCTURES TO BE PRECAST.  
 2. COORDINATES FOR LOCATIONS ARE TO CENTERLINE OF THE STRUCTURE AT FACE OF CURB FOR INLETS AND TO THE CENTERLINE OF STRUCTURE FOR MANHOLES.  
 \*NOTE: FOR RECHARGE FACILITY DETAILS, SEE SHEET 5.

△ In-line drain by Nyoplast or an approved equal.  
 ⊠ Catch Basin by Nyoplast or an approved equal.

| SIZE     | QUANTITY | REMARKS |
|----------|----------|---------|
| 6" HDPE  | 16 LF.   |         |
| 8" HDPE  | 310 LF.  |         |
| 10" HDPE | 4 LF.    |         |
| 15" HDPE | 28 LF.   |         |
| 18" HDPE | 154 LF.  |         |
| 24" HDPE | 452 LF.  |         |
| 30" HDPE | 132 LF.  |         |
| 6" PVC   | 16 LF.   |         |
| 8" PVC   | 124 LF.  |         |

\*NOTE: FOR RECHARGE FACILITY DETAILS, SEE SHEET 4.

L:\CADD\DRAWINGS\96079\03057\sdp\03057SDP6.dwg 06/29/2004 03:31:02 PM EDT

APPROVED  
 PLANNING BOARD  
 of HOWARD COUNTY

DATE: MAY 07 2004

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEMS,  
 HOWARD COUNTY HEALTH DEPARTMENT

County Health Officer \_\_\_\_\_ Date \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Cindy Hamden (acting) 5/24/04  
 Director

Cindy Hamden 5/29/04  
 Chief, Division of Land Development MK

7/23/04  
 Chief, Development Engineering Division

GLWGUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3809 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

| DATE     | REVISION  | BY | APPR.  |
|----------|---|----|--------|
| 10/20/04 | Revise profiles to accommodate future development, new grades @ I-205, and to resolve conflict. |    | d.e.v. |
| 11/10/05 | rev storm drain - remove inlets 200 & 207   |    |        |

PREPARED FOR:  
 Maple Lawn Retail, LLC  
 Suite 410 Woodholme Center  
 1829 Reisterstown Road  
 Baltimore, MD 21208  
 ATTN: Charlie O'Donovan  
 410-484-8400



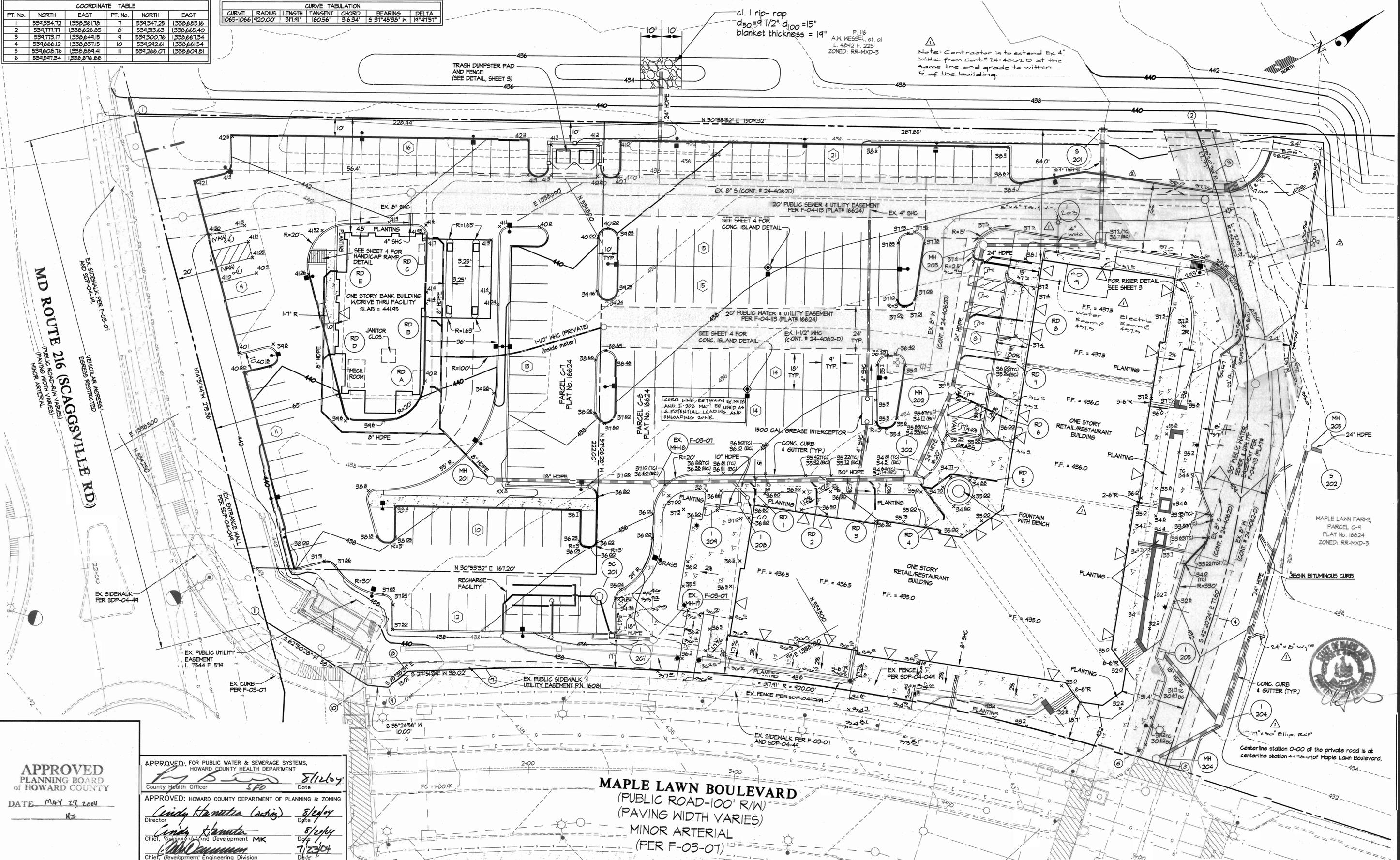
STRUCTURE PROFILES/C-8 UTILITY PROFILES  
 BANK AND RETAIL/RESTAURANT BUILDINGS  
 MAPLE LAWN FARMS  
 PARCELS C-7 AND C-8  
 PLAT NO. 16624  
 ELECTION DISTRICT No. 5

| SCALE     | ZONING         | G. L. W. FILE NO. |
|-----------|----------------|-------------------|
| AS SHOWN  | MXD-3          | 03057             |
| DATE      | TAX MAP - GRID | SHEET             |
| JUNE 2004 | 36 - 3         | 6 OF 10           |

HOWARD COUNTY, MARYLAND

| COORDINATE TABLE |           |            |         |           |            |
|------------------|-----------|------------|---------|-----------|------------|
| PT. No.          | NORTH     | EAST       | PT. No. | NORTH     | EAST       |
| 1                | 534334.12 | 1330361.70 | 7       | 534341.25 | 1330603.16 |
| 2                | 534334.12 | 1330361.70 | 8       | 534313.63 | 1330665.40 |
| 3                | 534334.12 | 1330361.70 | 9       | 534300.16 | 1330661.34 |
| 4                | 534334.12 | 1330361.70 | 10      | 534242.61 | 1330661.54 |
| 5                | 534334.12 | 1330361.70 | 11      | 534266.07 | 1330604.81 |
| 6                | 534334.12 | 1330361.70 |         |           |            |

| CURVE TABULATION |         |         |         |         |               |           |
|------------------|---------|---------|---------|---------|---------------|-----------|
| CURVE            | RADIUS  | LENGTH  | TANGENT | CHORD   | BEARING       | DELTA     |
| 1065-1066        | 920.00' | 317.91' | 160.56' | 316.34' | S 31°45'38" W | 19°41'57" |



**APPROVED**  
PLANNING BOARD  
of HOWARD COUNTY

DATE: MAY 27, 2004

APPROVED: FOR PUBLIC WATER & SEWERAGE SYSTEMS,  
HOWARD COUNTY HEALTH DEPARTMENT

County Health Officer: *[Signature]* Date: 5/12/04

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 5/24/04

Chief, Planning & Land Development MK: *[Signature]* Date: 5/24/04

Chief, Development Engineering Division: *[Signature]* Date: 7/23/04

**MAPLE LAWN BOULEVARD**  
(PUBLIC ROAD-100' R/W)  
(PAYING WIDTH VARIES)  
MINOR ARTERIAL  
(PER F-03-01)

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 FAX: 301-421-4186

| DATE     | REVISION   | BY     | APP'R. |
|----------|--|--------|--------|
| 10/26/04 | Revise building grades to remove corridor & relocate mechanical rooms. | d.e.v. |        |
| 11/10/05 | Add 15"x4" w/c and reflect 19"x30" Ellip. RCP from 1-204 to 14-204.    |        |        |
| 11/10/05 | Revise per driveway realignment  |        |        |

PREPARED FOR:  
Maple Lawn Retail, LLC  
Suite 410 Woodhome Center  
1829 Reisterstown Road  
Baltimore, MD 21208  
ATTN: Charlie O'Donovan  
410-484-8400

**SITE DEVELOPMENT PLAN**  
**BANK AND RETAIL/RESTAURANT BUILDINGS**  
**MAPLE LAWN FARMS**  
PARCELS C-7 AND C-8  
PLAT NO. 16624

| SCALE     | ZONING         | G. L. W. FILE No. |
|-----------|----------------|-------------------|
| 1"=20'    | MXD-3          | 03057             |
| DATE      | TAX MAP - GRID | SHEET             |
| JUNE 2004 | 36 - 3         | 2 OF 10           |