

**GENERAL NOTES**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:  
 MISS UTILITY: 1-800-257-7777  
 VERIZON TELEPHONE COMPANY: 410-224-1666  
 HOWARD COUNTY BUREAU OF UTILITIES: 410-313-2366  
 AT&T CABLE LOCATION DIVISION: 410-393-3553  
 B.G.&E. CO. CONTRACTOR SERVICES: 410-850-4620  
 B.G.&E. CO. UNDERGROUND DAMAGE CONTROL: 410-787-4620  
 STATE HIGHWAY ADMINISTRATION: 410-545-5584
- SITE ANALYSIS:  
 AREA OF PARCEL/AREA OF SUBMISSION:  
 PARCEL B-1 = 0.97 AC.±  
 PARCEL B-2 = 0.09 AC.±  
 TOTAL/GROSS = 1.06 AC.±  
 PRESENT ZONING: N.T.  
 USE OF STRUCTURES: BANK  
 TOTAL BUILDING AREAS: 4,700 S.F.  
 BUILDING COVERAGE ON SITE:  
 PARCEL B-1: 0.108 AC.± OR 11% OF GROSS AREA  
 PAVED PARKING LOT/AREA ON SITE:  
 PARCEL B-1: 0.308 AC.±  
 PARCEL B-2: 0.009 AC.±  
 TOTAL: 0.317 AC.± OR 30% OF GROSS AREA
- PROJECT BACKGROUND: "ROUTE 175 COMMERCIAL" SECTION 1 - AREA 2  
 LOCATION: COLUMBIA, MARYLAND  
 TAX MAP: 36  
 PARCELS: 521  
 ZONING: N.T.  
 SECTION: 1  
 AREA: 2  
 SITE AREA: 0.9714 AC.± (PARCEL B-1)  
 DPZ REFERENCES: F-03-036 FDP PHASE 235, SDP 03-42
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST 24 HOURS PRIOR TO START OF WORK.
- ANY DAMAGE TO PUBLIC RIGHT-OF-WAYS, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS, FIELD SURVEYS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- ALL REINFORCED CONCRETE FOR STORM DRAIN STRUCTURES SHALL HAVE A MINIMUM OF 28 DAYS STRENGTH OF 3,500 P.S.I.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
- SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOILS TEST.
- ALL STORM DRAIN PIPE BEDDING SHALL BE CLASS 'C' AS SHOWN IN FIG. 11-4 VOLUME 1 OF HOWARD COUNTY DESIGN MANUAL.
- STORMWATER MANAGEMENT IS PROVIDED FOR UNDER PRIVATE FACILITIES LOCATED ON PARCEL B-2, OPEN SPACE LOT 4, PARCEL C-1 & PARCEL C-3. FDP # F-CO-149 (PLAT # 14637)
- BOUNDARY SURVEY, COORDINATES AND ELEVATIONS ARE BASED ON HOWARD COUNTY MONUMENTS 361A AND 37DR (GUTSHICK LITTLE & WEBER, P.A.), DATED JUNE 1999.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- EACH PROPERTY OWNER FOR PARCELS B-1 & B-2 ARE RESPONSIBLE FOR MAINTENANCE OF ALL BUILDINGS AND/OR STRUCTURES UP TO THEIR RESPECTFUL PROPERTY LINE.
- FOR PAVING SECTION DETAIL (SEE SHEET C-03).
- ALL CURB AND GUTTER TO BE HOWARD COUNTY STANDARD CONCRETE (SEE SHEET C-03), LIMITS AS SHOWN ON PLAN.
- CONTRACTOR SHALL CONSTRUCT ALL HANDICAP PARKING AND HANDICAP ACCESS ROUTES IN ACCORDANCE WITH APPLICABLE CODES.
- WHERE DRAINAGE FLOWS AWAY FROM CURB, CONTRACTOR TO REVERSE THE GUTTER PAN (SEE SHEET C-03).
- EXISTING TOPOGRAPHY IS BASED ON FIELD RUN TOPOGRAPHIC SURVEY PERFORMED BY GUTSHICK LITTLE & WEBER, P.A. DATED JUNE 1999.
- THIS PROJECT IS SERVED BY PUBLIC WATER (CONTRACT #24-4082-D) AND PUBLIC SEWER (CONTRACT #24-4082-D)
- THE CONTRACTOR SHALL MEET HOWARD COUNTY STANDARDS FOR THE PROPOSED P-2 PAVING (SEE SHEET C-03).
- THE CONTRACTOR IS TO TIE ROOF DRAIN LEADERS FOR THE PROPOSED BUILDING INTO STORM DRAIN SYSTEM.
- DECLARATION OF MAINTENANCE OBLIGATION FOR PRIVATE USE-IN-COMMON ACCESS & PARKING EASEMENT SERVING EXISTING PARCEL B-1 AND PARCEL B-2 HAS BEEN RECORDED UNDER LIBER 7893 FOLIO 228.
- PERIMETER AND INTERNAL LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. LANDSCAPE SURETY SHALL BE POSTED WITH THE GRADING PERMIT APPLICATION IN THE AMOUNT OF \$ 4,020.00. STREET TREES ALONG OLD DOBBIN AND DOBBIN ROADS ARE PREVIOUSLY PROVIDED UNDER F 96-41.
- THIS PROJECT IS EXEMPT FROM FOREST CONSERVATION OBLIGATIONS IN ACCORDANCE WITH SECTION 16.1202(b)(1)(iv) OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION MANUAL, SINCE IT IS A PLANNED UNIT DEVELOPMENT HAVING PRELIMINARY PLAN APPROVAL PRIOR TO 12/31/92.
- THIS PLAN CONFORMS TO THE "AMENDED" FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- EXISTING TOPOGRAPHY IS SHOWN PER FIELD RUN SURVEY INFORMATION BY SCHMIDT, PELTZ & MCDONALD, INC. 4/02 & FROM DESIGN PLANS FOR CONSTRUCTION.
- OUTDOOR LIGHTING SHALL BE IN CONFORMANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS. SEE SHEET 3 OF 8 FOR DETAILS.

**SITE ANALYSIS CHART DATA**

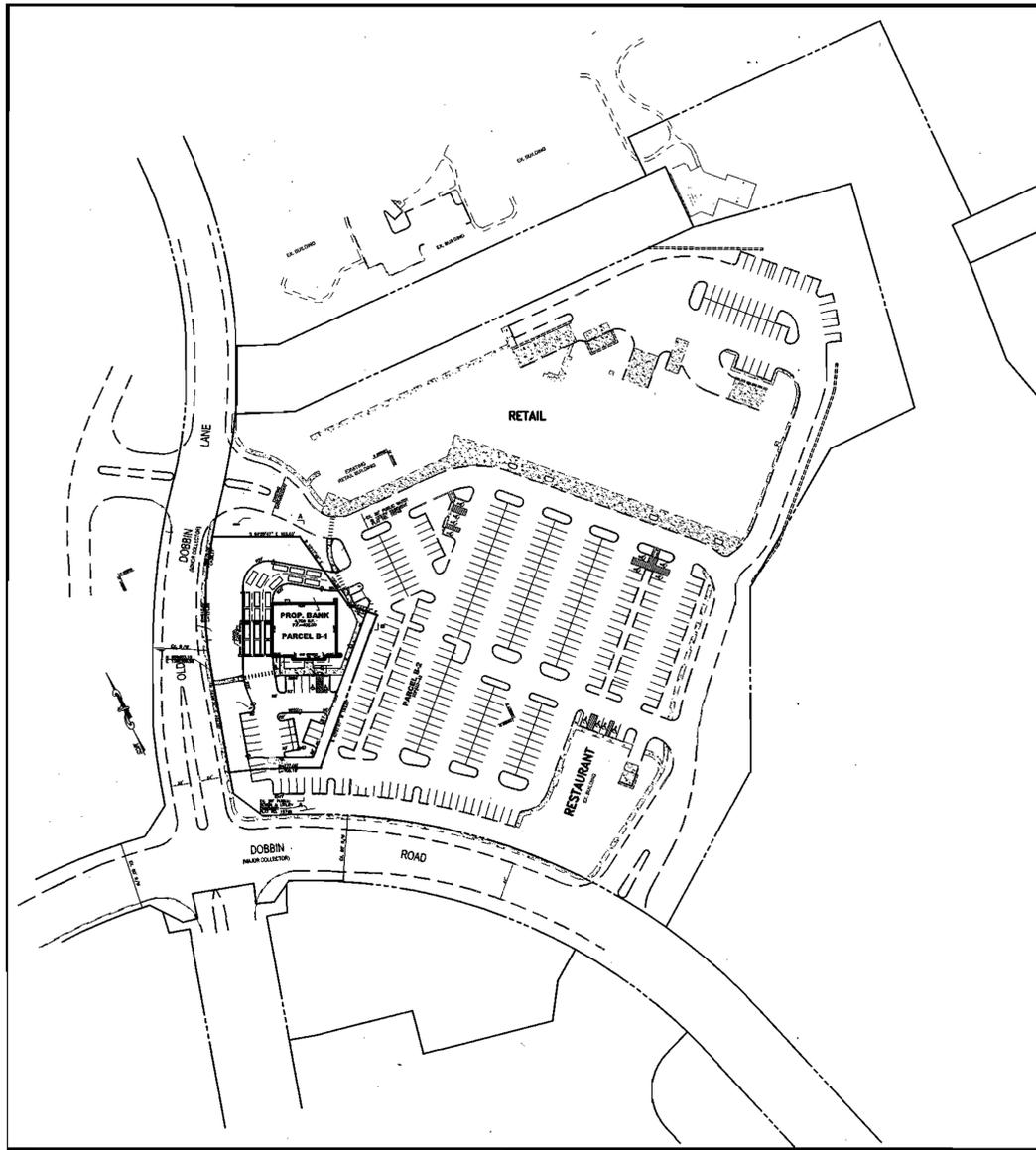
- GROSS AREA:  
 PARCEL B-1 = 42,314 S.F., 0.9714 AC.  
 PART OF PARCEL B-2 = 3,981 S.F., 0.0914 AC.  
 TOTAL = 46,295 S.F., 1.0628 AC.
- LIMIT OF DISTURBED AREA:  
 PARCEL B-1 = 32,163.68 S.F., 0.7384 AC.  
 PARCEL B-2 = 3,981.50 S.F., 0.0914 AC.  
 TOTAL = 36,145.18 S.F., 0.8298 AC.
- ZONING: NT - EMPLOYMENT CENTER - COMMERCIAL
- PROPOSED USE: BANK, PARKING AREAS AND LANDSCAPING
- GROSS FLOOR AREA: 4,700 S.F.
- NO. OF STANDARD PARKING SPACES REQUIRED:  
 (5 SPACES PER 1000 S.F.)  
 4700 S.F./1000 = 24 SPACES
- NO. OF HANDICAP SPACES REQUIRED:  
 2 (1 VAN SPACE)
- NO. OF STANDARD PARKING SPACES PROVIDED: 194  
 (INCLUDES 2 HANDICAPPED SPACES)
- NO. OF HANDICAP SPACES PROVIDED:  
 2 SPACES (2 VAN SPACES)
- TOTAL PARKING SPACES PROVIDED: 24  
 4 SPACES SHARED WITH PARCEL B-2. A REDLINE REVISION TO SDP 03-42 (PARCEL B-2) HAS BEEN MADE TO REVISE THE PARKING ON PARCEL B-2. A PARKING ANALYSIS OF PARCEL B-2 HAS BEEN SUBMITTED WITH THIS SITE PLAN WHICH INDICATES SHARED PARKING CAN BE ACCOMMODATED FOR PARCEL B-1.



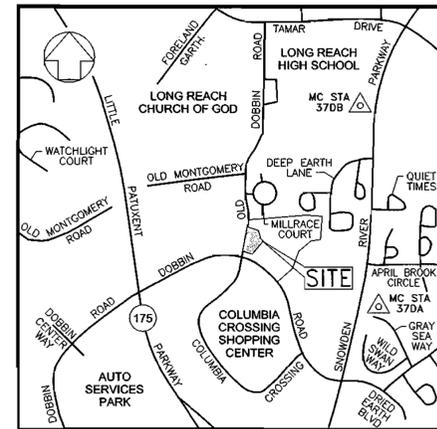
**OWNER**  
 ABRAMS DEVELOPMENT GROUP INC.  
 SNOWDEN COMMONS  
 5650 WATERLOO ROAD, SUITE 230  
 COLUMBIA, MARYLAND 21045  
 ATTN: MICKEY ABRAMS  
 (410) 461-4340

**DEVELOPER**  
 BANK OF AMERICA  
 225 N. CALVERT STR., 17TH FL.  
 BALTIMORE, MD. 21202  
 INTERNAL MAILSTOP M04-301-17-31  
 ATTN: LLOYD C. NURKIEWICZ  
 (410) 605-4079

# ROUTE 175 COMMERCIAL BANK OF AMERICA 6201 OLD DOBBIN LANE HOWARD COUNTY, MARYLAND



**LOCATION MAP**  
 SCALE: 1" = 100'



**VICINITY MAP**  
 SCALE: 1" = 1000'

**BENCHMARKS**

37DA  
 ELEV. 115.759 N 170282.2001  
 SNOWDEN RIVER PARKWAY 0.2 MILES SOUTH OF TAMAR DRIVE. E 416618.9945

37DB  
 ELEV. 120.54 N 170782.0388  
 ISLE AT SNOWDEN RIVER PARKWAY AND APRIL BROOK CIRCLE. E 416631.3988

COORDINATES BASED ON NAD '83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 37DA AND NO. 37DB.

**SHEET INDEX**

- SHEET 1 COVER SHEET
- SHEET 2 SITE PLAN
- SHEET 3 SITE DETAILS & PROFILES
- SHEET 4 DRAINAGE AREA MAP & PROFILES
- SHEET 5 EROSION & SEDIMENT CONTROL PLAN
- SHEET 6 EROSION & SEDIMENT CONTROL NOTES
- SHEET 7 LANDSCAPE PLAN
- SHEET 8 LANDSCAPE DETAILS

**APPROVED  
 PLANNING BOARD  
 OF HOWARD COUNTY**

DATE December 11, 2003

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

*Jim Myers* 1/22/04  
 USA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
*John R. Robertson* 1/22/04  
 HOWARD SOIL CONSERVATION DISTRICT DATE

DEPARTMENT OF PLANNING AND ZONING  
*Deanna A. Ayler* 2/6/04  
 DIRECTOR DATE

*Cindy R. Anderson* 2/5/04  
 CHIEF, LAND DEVELOPMENT DATE

*Mike Dammann* 2/3/04  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
B-1	6201 OLD DOBBIN LANE

SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER
ROUTE 175 COMMERCIAL	1 / 2	B-1

PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELECT. DIST.
15749	18	NT (EC-COMM)	36	6

WATER CODE E06 SEWER CODE 3460000 CENSUS TR. 6067.03

**DEVELOPER'S CERTIFICATE**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDING TO THIS PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*Lloyd C. Nurkiewicz* 12-15-03  
 LLOYD C. NURKIEWICZ DATE

**ENGINEERS CERTIFICATE**

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*Pete Gesellchen* 12-11-03  
 SIGNATURE OF ENGINEER DATE  
 PETE GESELLCHEN

**MORRIS & RITCHIE ASSOCIATES, INC.**  
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

1220-C EAST JOPPA ROAD SUITE 505  
 TOWSON, MARYLAND 21286  
 (410) 821-1690  
 FAX (410) 821-1748

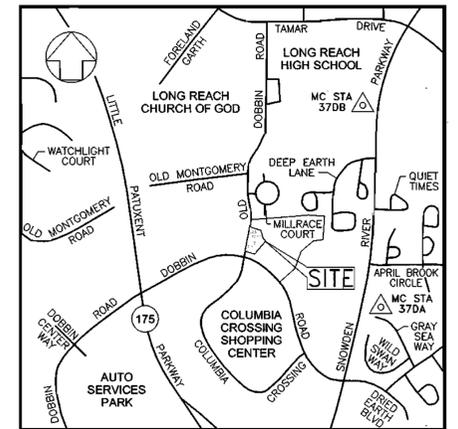
DESIGN BY: DRS DRAWN BY: JPM REVIEW BY: RAM SCALE: 1" = 40'

**COVER SHEET**  
**BANK OF AMERICA**

ROUTE 175 COMMERCIAL  
 SECTION 1 - AREA 2  
 PARCEL "B-1"

HOWARD COUNTY, MARYLAND

DATE: 12/01/03 SHEET: 1 OF 8 JOB NO.: 12937



**VICINITY MAP**

SCALE: 1" = 1000'

**BENCHMARKS**

37DA N 170282.2001  
ELEV. 115.759 E 416618.9945  
SNOWDEN RIVER PARKWAY 0.2 MILES SOUTH OF TAMAR DRIVE  
37DB N 170782.0388  
ELEV. 120.54 E 416631.3988  
ISLE AT SNOWDEN RIVER PARKWAY AND APRIL BROOK CIRCLE.  
COORDINATES BASED ON NAD '83 MARYLAND COORDINATE SYSTEM  
AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS  
NO. 37DA AND NO. 37DB.

**APPROVED  
PLANNING BOARD  
OF HOWARD COUNTY**

DATE December 11, 2003

46

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

*Jim Myers* 1/22/04  
USA-NATURAL RESOURCE CONSERVATION SERVICE DATE

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*John R. Robertson* 1/22/04  
HOWARD SOIL CONSERVATION DISTRICT DATE

DEPARTMENT OF PLANNING AND ZONING  
*Mark A. Leger* 2/4/04  
DIRECTOR DATE

*Cindy Hamer* 2/3/04  
CHIEF, LAND DEVELOPMENT DATE

*John P. ...* 2/3/04  
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

ADDRESS CHART  
PARCEL NO. STREET ADDRESS  
B-1 6201 OLD DOBBIN LANE

**SITE PLAN  
BANK OF AMERICA**

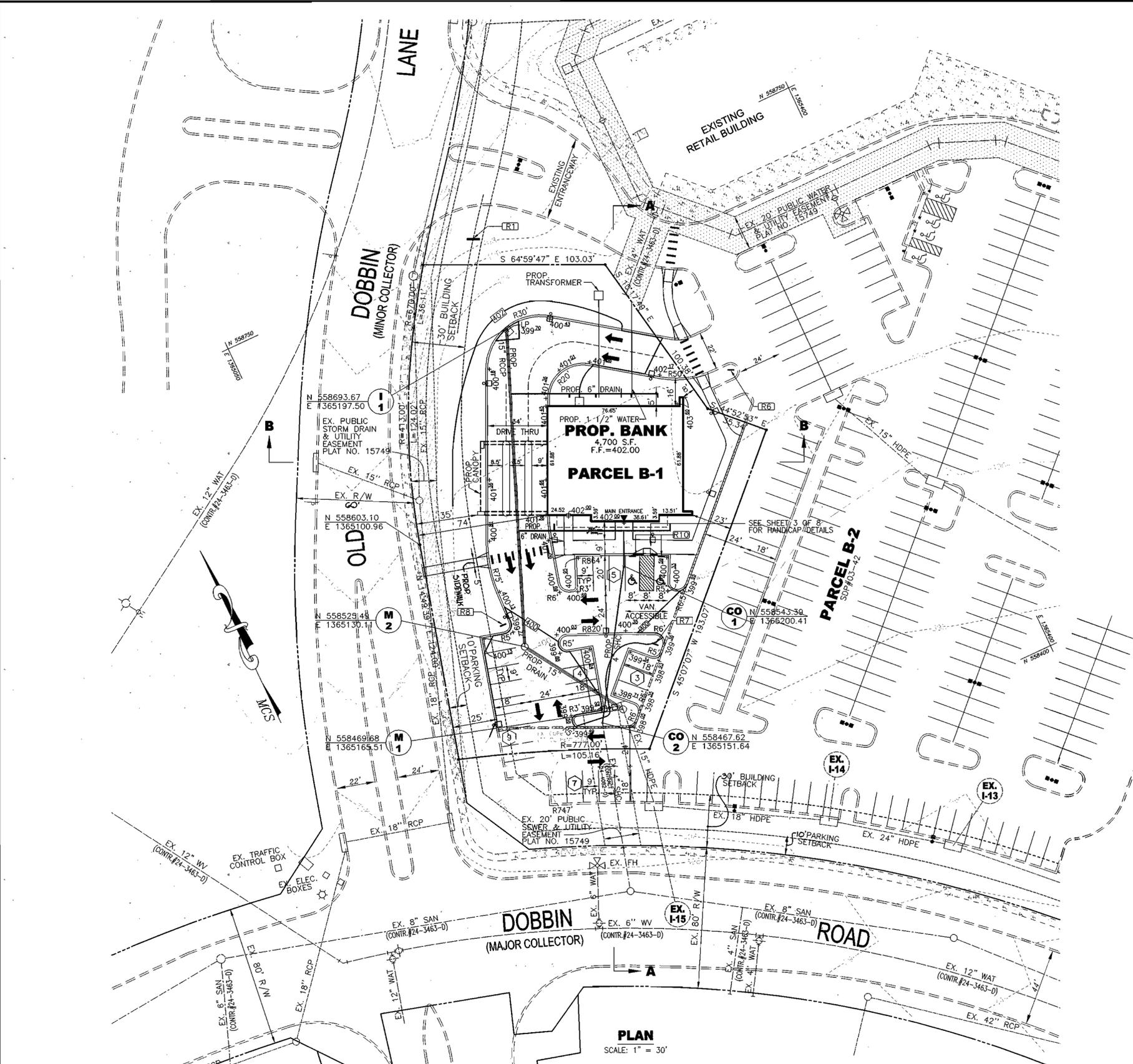
ROUTE 175 COMMERCIAL  
SECTION 1 - AREA 2  
PARCEL "B-1"

HOWARD COUNTY, MARYLAND

DATE: 12/01/03 SHEET: 2 OF 8 JOB NO.: 12937

- LEGEND**
- EX. PROPERTY LINE
  - EX. R/W
  - EX. 2" CONTOUR
  - EX. 10' CONTOUR
  - PROP. 2" CONTOUR
  - PROP. 10' CONTOUR
  - EX. CURB & GUTTER
  - PROP. 7" COMBINATION CURB & GUTTER
  - EX. SANITARY
  - PROP. SANITARY
  - EX. STORM DRAIN
  - PROP. STORM DRAIN
  - EX. WATER
  - PROP. WATER
  - LIMIT OF DISTURBANCE
  - PROP. CONCRETE SIDEWALK
  - PROP. PAVING
  - PROP. LIGHT FIXTURE
  - EX. WATER EASEMENT
  - EX. SANITARY EASEMENT
  - EX. STORM DRAIN EASEMENT
- SEE SHEET C-03 FOR SITE DETAILS AND HEIGHT SECTIONS

- SIGN LEGEND**
- RT1 CUSTOM B1 MONUMENT SIGN (24 S.F.)
  - R6 P1 DIRECTIONAL SIGN
  - R7 P1 DIRECTIONAL SIGN
  - R8 P1 DIRECTIONAL SIGN
  - RT0 S1 REGULATORY 'HANDICAP PARKING' SIGN



**PLAN**  
SCALE: 1" = 30'

**DEVELOPER'S CERTIFICATE**

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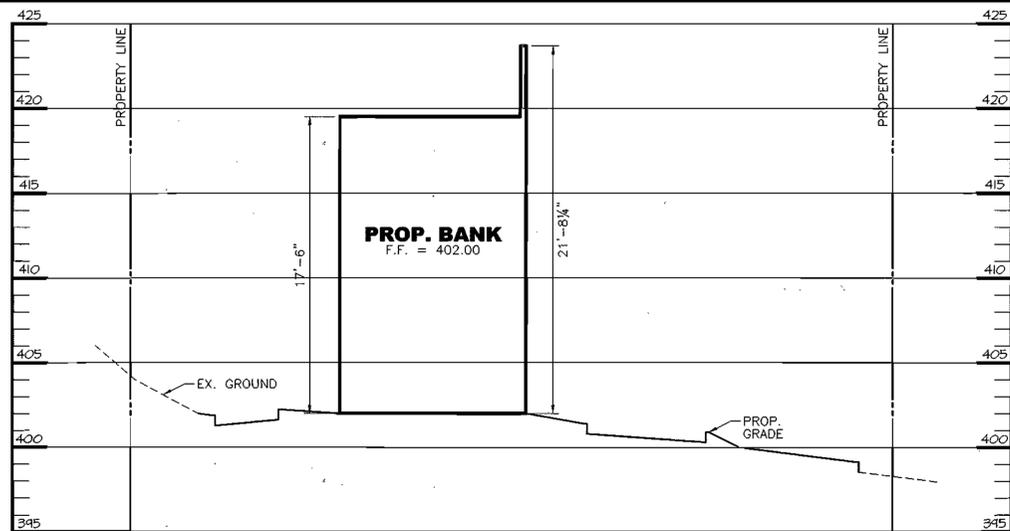
*Pete Gesellenchen* 12-11-03  
SIGNATURE OF ENGINEER DATE  
PETE GESELLENCHEN

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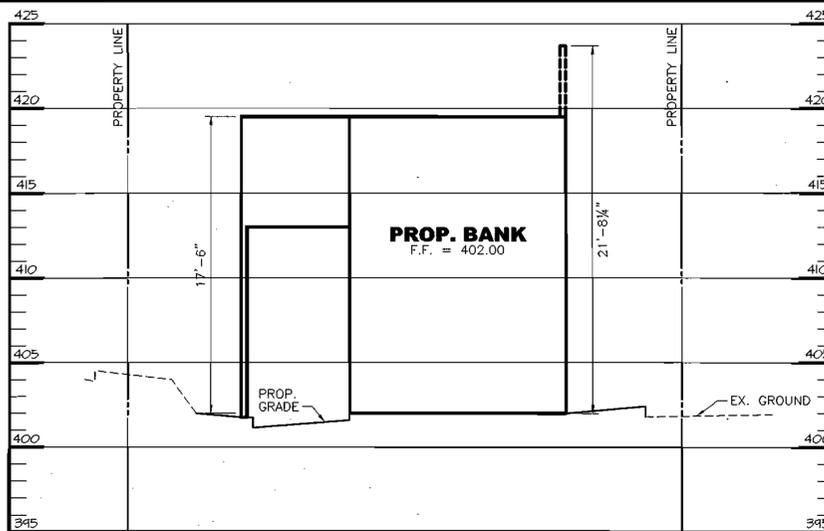
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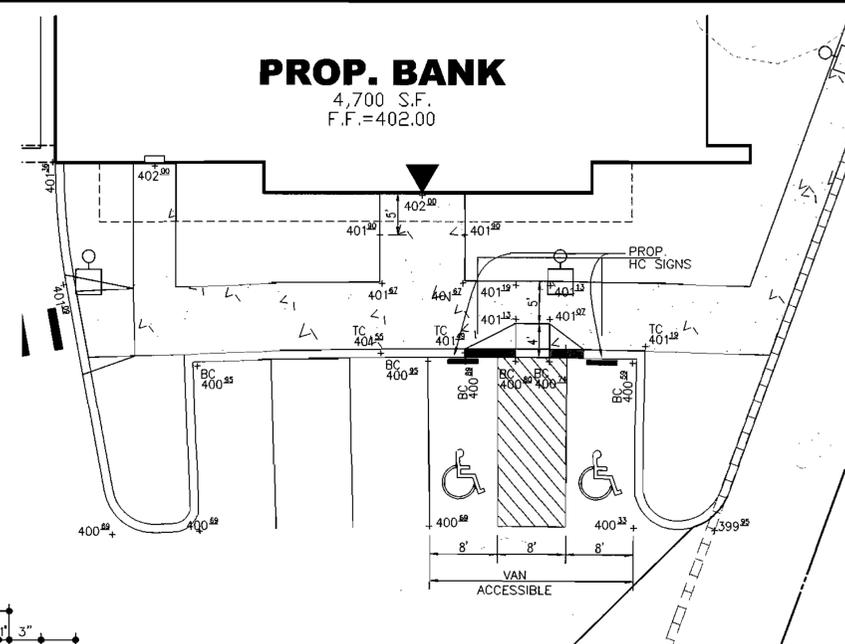
**SECTION A-A**

SCALE: H=1"=30'  
V=1"=5'



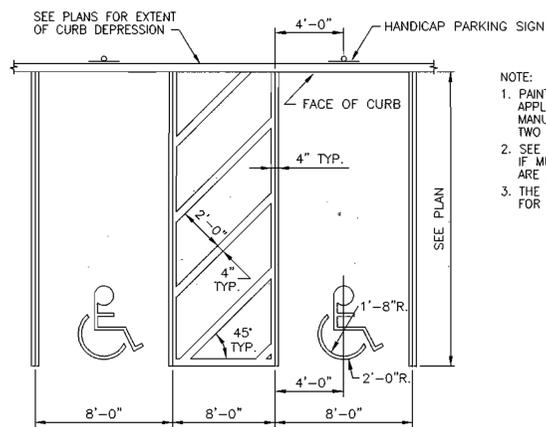
**SECTION B-B**

SCALE: H=1"=30'  
V=1"=5'



**HANDICAPPED PARKING DETAIL**

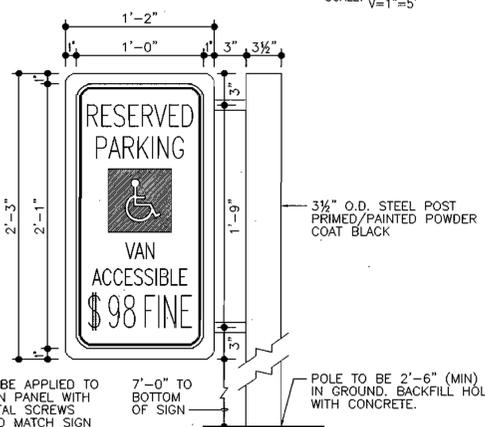
SCALE: 1" = 10'



**HANDICAPPED STRIPING DETAIL**

NOT TO SCALE

NOTE:  
1. PAINT TO BE WHITE TRAFFIC PAINT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. TWO (2) COATS REQUIRED.  
2. SEE PLAN TO DETERMINE IF MULTIPLE HANDICAP SPACES ARE REQUIRED.  
3. THE STRIPED 5' SPACE WILL INCREASE TO 8' FOR VAN ACCESSIBLE HANDICAP SPACES.



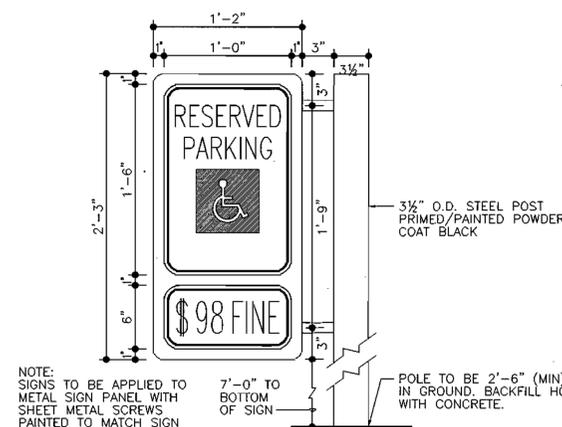
NOTE: SIGNS TO BE APPLIED TO METAL SIGN PANEL WITH SHEET METAL SCREWS PAINTED TO MATCH SIGN BACKGROUND.

APPLIED HANDICAP SIGN

SIGN PANEL - 3/16" STEEL PLATE

**MOUNTING DETAIL FOR PARKING RESTRICTION SIGN**

NOT TO SCALE



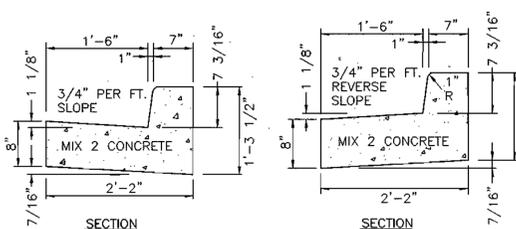
NOTE: SIGNS TO BE APPLIED TO METAL SIGN PANEL WITH SHEET METAL SCREWS PAINTED TO MATCH SIGN BACKGROUND.

APPLIED HANDICAP SIGN

SIGN PANEL - 3/16" STEEL PLATE

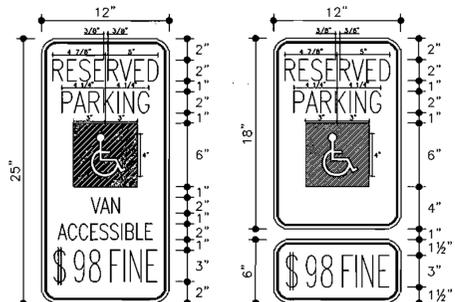
**MOUNTING DETAIL FOR PARKING RESTRICTION SIGN**

NOT TO SCALE



**7" COMBINATION CURB & GUTTER**

NOT TO SCALE



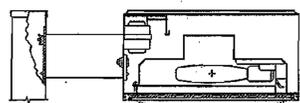
**HANDICAPPED PARKING SIGNS DETAIL**

GENERAL NOTES

- SIGNS SHALL MEET DESIGN STANDARDS OF THE FEDERAL HIGHWAY ADMINISTRATION AND CONFORM TO THE STATE OF MARYLAND STANDARD SIGN BOOKLET DETAIL R7-8.
- ONE SIGN IS REQUIRED PER SPACE PLACED AS SHOWN ON SITE PLAN.
- SPACES INDICATED ON SITE PLAN AS "VAN" ACCESSIBLE SHALL BE SIGNED ACCORDINGLY.
- COLORS: LEGEND AND BORDER - GREEN  
SYMBOL - WHITE ON BLUE BACKGROUND  
BACKGROUND - WHITE

**HANDICAPPED PARKING SIGNS DETAIL**

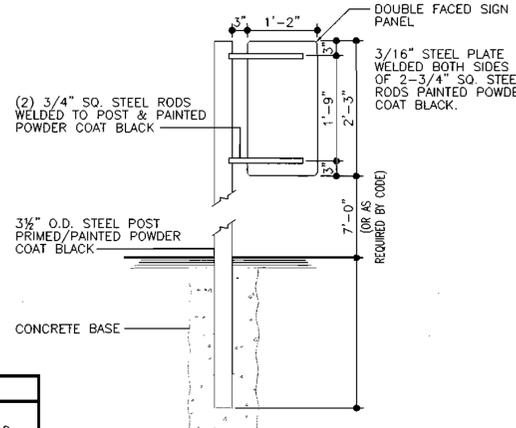
NOT TO SCALE



NOTE: FORM 10 SQUARE, EH/H/HT ARM MOUNT BY GARCO LIGHTING

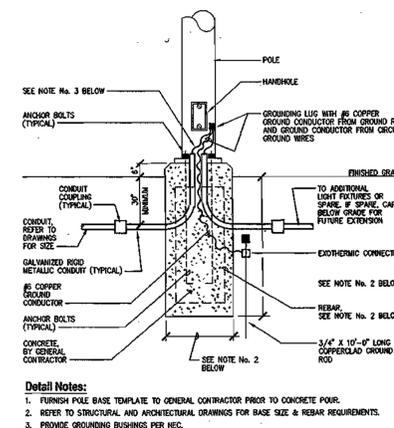
**TYPICAL LIGHTING DETAIL**

NOT TO SCALE



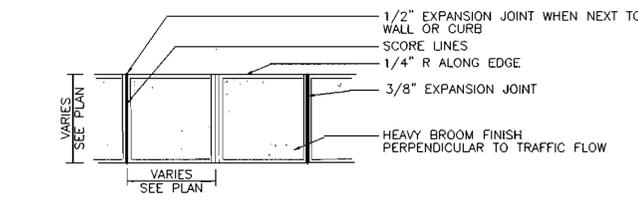
**POST & SIGN PANEL DETAIL FOR PARKING RESTRICTION SIGN**

NOT TO SCALE



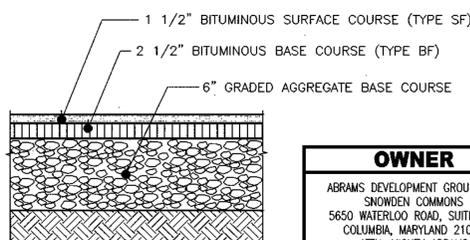
**TYPICAL POLE BASE DETAIL**

NOT TO SCALE



**CONCRETE SIDEWALK**

NOT TO SCALE



**PAVING SECTION**

NOT TO SCALE



DESIGN NOTES:  
ALTERNATE MOUNTABLE CEMENT CONCRETE CURB SECTIONS MAY BE USED WHERE SIDEWALKS ARE NOT CURRENTLY REQ'D OR REASONABLY ANTICIPATED.

**OWNER**  
ABRAMS DEVELOPMENT GROUP INC.  
SNOWDEN COMMONS  
5650 WATERLOO ROAD, SUITE 230  
COLUMBIA, MARYLAND 21045  
ATTN: MICKY ABRAMS  
(410) 461-4340

**DEVELOPER**  
BANK OF AMERICA  
225 N. CALVERT STR., 17TH FLR.  
BALTIMORE, MD. 21202  
INTERNAL MAILSTOP MD4-301-17-31  
ATTN: LLOYD C. NURKIEWICZ  
(410) 605-4079

**DEVELOPER'S CERTIFICATE**

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*Lloyd C. Nurkiewicz* 12-15-03  
LLOYD C. NURKIEWICZ DATE

**ENGINEERS CERTIFICATE**

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*Pete Geselchen* 12-11-03  
PETE GESELCHEN DATE

**MORRIS & RITCHIE ASSOCIATES, INC.**

ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS  
1220-C EAST JOPPA ROAD SUITE 505  
TOWSON, MARYLAND 21286  
(410) 821-1690  
FAX (410) 821-1748

DESIGN BY: DRS DRAWN BY: JPM REVIEW BY: RAM SCALE: AS SHOWN

**APPROVED**  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE December 11, 2003

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE

DEPARTMENT OF PLANNING AND ZONING

*David A. Gage* 2/4/04  
DIRECTOR DATE

*Andy Handman* 2/5/04  
CHIEF, LAND DEVELOPMENT DATE

*Mark* 2/3/04  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

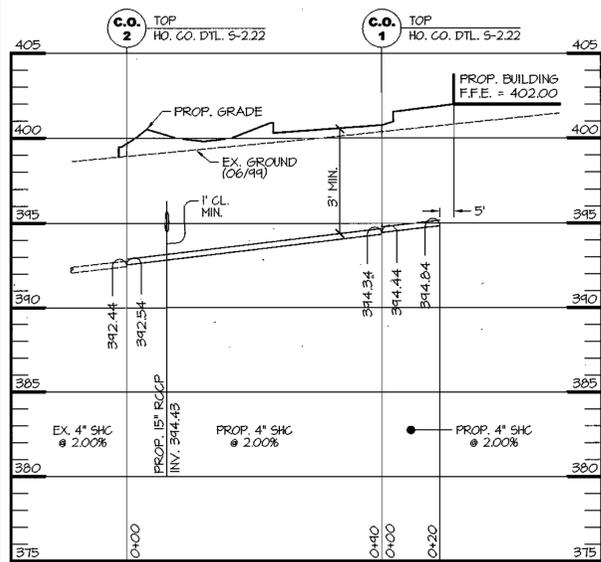
ADDRESS CHART

PARCEL NO. STREET ADDRESS  
B-1 6201 OLD DOBBIN LANE

**SITE DETAILS**

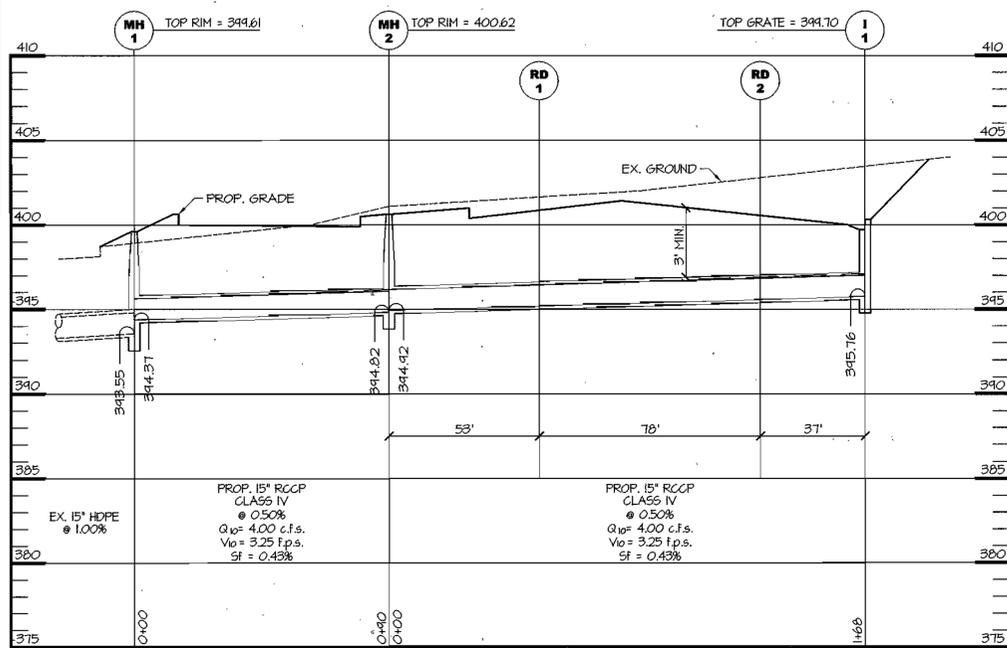
**BANK OF AMERICA**  
ROUTE 175 COMMERCIAL  
SECTION 1 - AREA 2  
PARCEL "B-1"

HOWARD COUNTY, MARYLAND  
DATE: 12/01/03 SHEET: 3 OF 8 JOB NO.: 12937



**SANITARY SEWER PROFILE**

SCALE: H=1"=30'  
V=1"=5'



**STORM DRAIN PROFILE**

SCALE: H=1"=30'  
V=1"=5'

STORM DRAIN INLET SCHEDULE						
No.	TYPE	Qc.f.s.	INV. IN	INV. OUT	TOP EL.**	REMARKS
I-1	SINGLE SLOPE	4.00*	--	395.76	399.70	HOWARD CO. DETAIL SD-4.32

\* Q BASED ON 10 YR. STORM  
\*\* TOP ELEVATION = GRATE ELEVATION

STORM DRAIN MANHOLE SCHEDULE						
No.	TYPE	SIZE	INV. IN	INV. OUT	TOP EL.	REMARKS
M-1	A	48"	394.37	393.55	399.61	HOWARD CO. DETAIL G-5.12
M-2	A	48"	394.92	394.82	400.62	HOWARD CO. DETAIL G-5.12

**LEGEND**

- EX. PROPERTY LINE
- EX. R/W
- EX. 2' CONTOUR
- EX. 10' CONTOUR
- EX. 20' CONTOUR
- EX. 10' CONTOUR
- EX. CURB & GUTTER
- EX. STORM DRAIN
- PROP. STORM DRAIN
- EX. 1" SD
- PROP. 1" SD



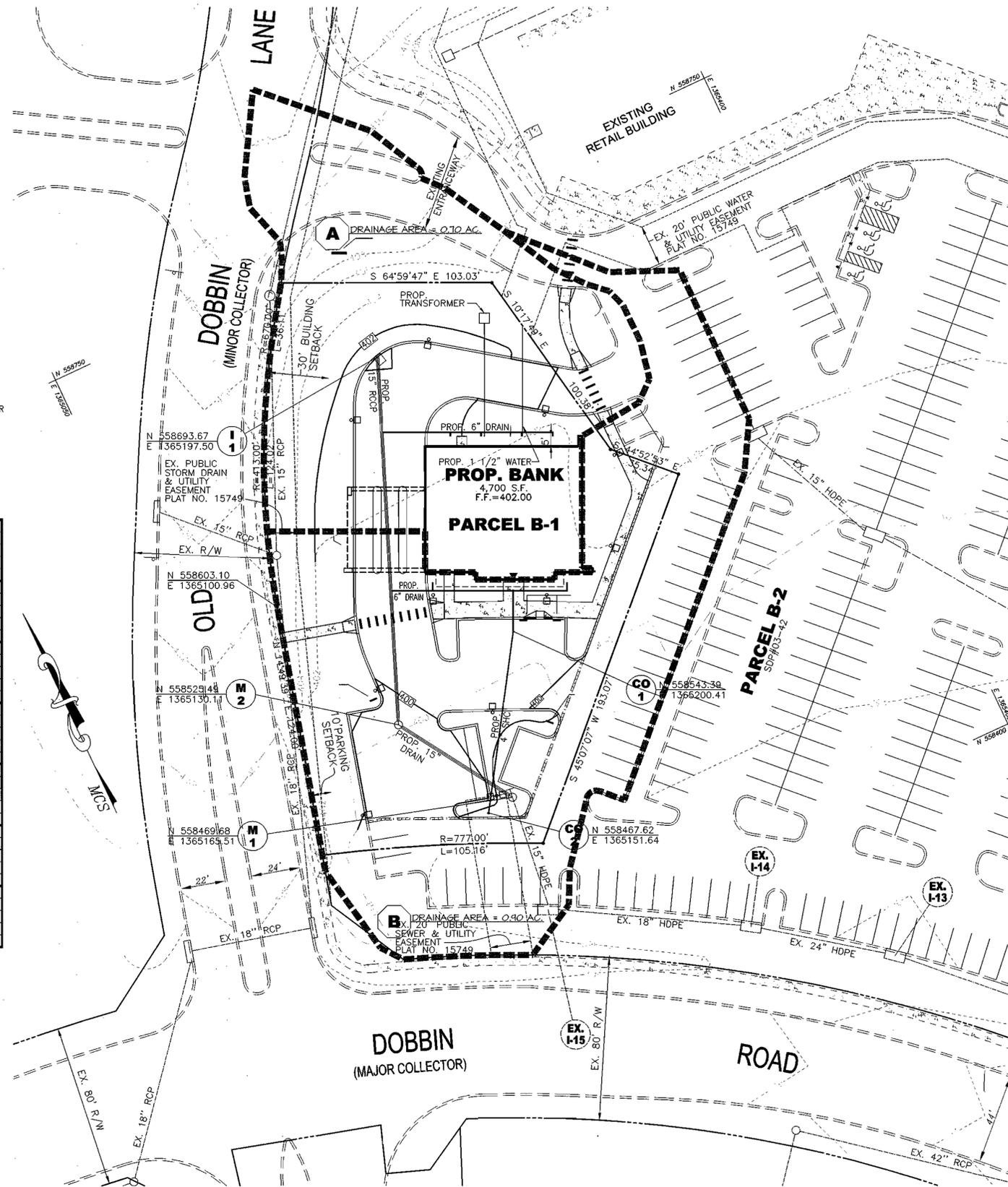
DRAINAGE AREAS				
AREA	ACREAGE	'C'	IMPERV.	
A	0.70	0.59	0.38	AC
B	0.90	0.70	0.66	AC

**SOIL CHART**

SOIL	NAME/DESCRIPTION	GROUP
ChB2	CHILLUM-FAIRFAX LOAMS, MODERATELY ERODED	B
SIB2	SASSAFRAS LOAM, MODERATELY ERODED	B
SIC2	SASSAFRAS LOAM, MODERATELY ERODED	B

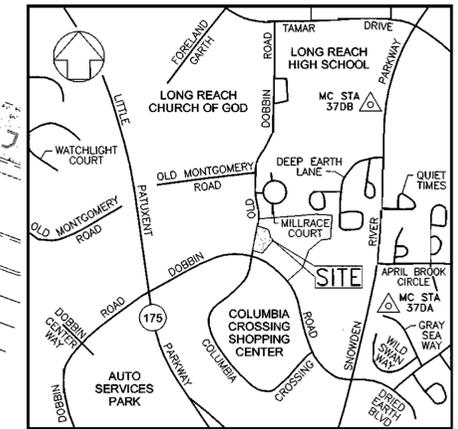
**OWNER**  
ABRAMS DEVELOPMENT GROUP INC.  
SNOWDEN COMMONS  
5650 WATERLOO ROAD, SUITE 230  
COLUMBIA, MARYLAND 21045  
ATTN: MICKEY ABRAMS  
(410) 461-4340

**DEVELOPER**  
BANK OF AMERICA  
225 N. CALVERT STR., 17TH FLR.  
BALTIMORE, MD. 21202  
INTERNAL MAILSTOP M04-301-17-31  
ATTN: LLOYD C. NURKIEWICZ  
(410) 605-4079



**DRAINAGE AREA MAP**

SCALE: 1" = 30'



**VICINITY MAP**

SCALE: 1" = 1000'

**BENCHMARKS**

37DA ELEV. 115.759 N 170282.2001  
SNOWDEN RIVER PARKWAY 0.2 MILES SOUTH OF TAMAR DRIVE. E 416618.9945  
37DB ELEV. 120.54 N 170782.0388  
ISLE AT SNOWDEN RIVER PARKWAY AND APRIL BROOK CIRCLE. E 416631.3988  
COORDINATES BASED ON NAD '83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 37DA AND NO. 37DB.

**APPROVED**  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE December 11, 2003

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE

DEPARTMENT OF PLANNING AND ZONING

*Richard J. Eggleston* 2/6/04  
DIRECTOR DATE

*Wanda Hanada* 2/5/04  
CHIEF, LAND DEVELOPMENT DATE

*William D. ...* 2/3/04  
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
B-1	6201 OLD DOBBIN LANE

**DEVELOPER'S CERTIFICATE**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THIS PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*Lloyd C. Nurkiewicz* 12.15.03  
LLOYD C. NURKIEWICZ DATE

**ENGINEERS CERTIFICATE**

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*Pete Geselchen* 12-11-03  
PETE GESELCHEN DATE

**MORRIS & RITCHIE ASSOCIATES, INC.**

ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS  
1220-C EAST JOPPA ROAD SUITE 505  
TOWSON, MARYLAND 21286  
(410) 821-1690  
FAX (410) 821-1748

DESIGN BY: DRS DRAWN BY: JPM REVIEW BY: RAM SCALE: AS SHOWN

**SECTIONS, PROFILES, & DA MAP**

**BANK OF AMERICA**

ROUTE 175 COMMERCIAL  
SECTION 1 - AREA 2  
PARCEL "B-1"

HOWARD COUNTY, MARYLAND

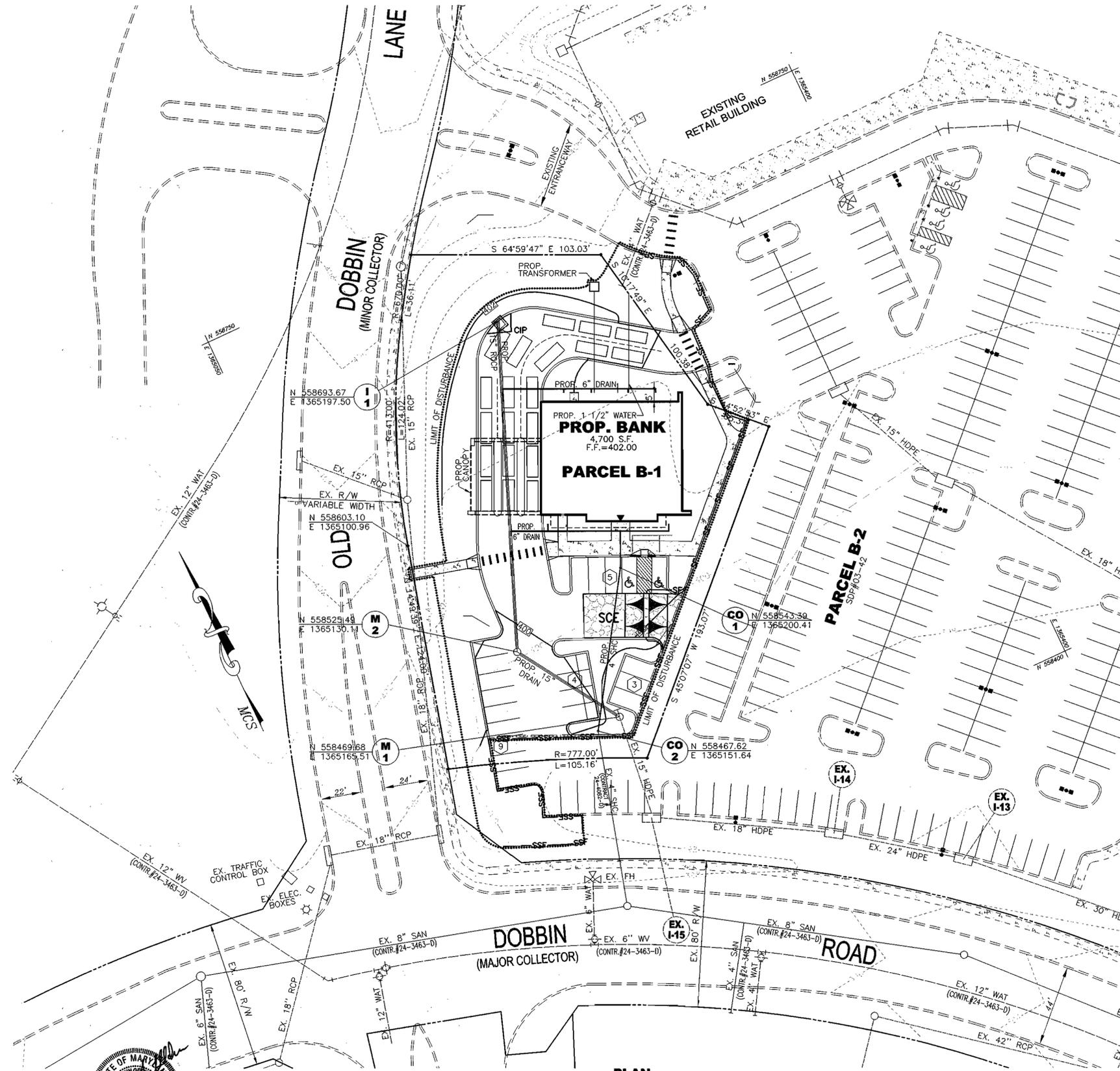
DATE: 12/01/03 SHEET: 4 OF 8 JOB NO.: 12937

**SEQUENCE OF OPERATIONS**

- CONTRACTOR MUST OBTAIN ALL PERMITS PRIOR TO ANY CONSTRUCTION.
- CONTRACTOR MUST SUBMIT WRITTEN NOTIFICATION 72 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES TO THE HOWARD SOIL CONSERVATION DISTRICT. STATING:
  - WHEN CONTRACTOR INTENDS TO BEGIN CONSTRUCTION.
  - SOURCE OF ANY BORROW MATERIAL.
  - DISPOSAL SITE AREA.
  - CONTRACTORS TENTATIVE COMPLETION DATE.
- INSTALL STABILIZED CONSTRUCTION ENTRANCES WITH MOUNTABLE BERM.
- INSTALL SILT FENCE.
- PRIOR TO BEGINNING ANY WORK CONTRACTOR SHALL NOTIFY THE SEDIMENT CONTROL INSPECTOR THAT THE ABOVE SAID INSTALLATION HAS BEEN COMPLETED AND WITH THE INSPECTORS APPROVAL BEGIN WORK.
- BEGIN FOUNDATION INSTALLATION AND PAVING SUBBASE.
- CONCURRENTLY, EXCAVATE AND GRADE REMAINDER OF SITE WITHIN LIMITS OF DISTURBANCE.
- UPON COMPLETION OF BUILDING AND PAVING, PERMANENTLY STABILIZE ALL REMAINING DISTURBED AREAS WITHIN THE LIMIT OF DISTURBANCE WITH SEED AND MULCH.
- AFTER COMPLETION OF PERMANENT STABILIZATION AND WITH THE SEDIMENT CONTROL INSPECTORS APPROVAL, REMOVE ALL SEDIMENT CONTROL DEVICES AND STABILIZE ALL AREAS DISTURBED BY THEIR REMOVAL.

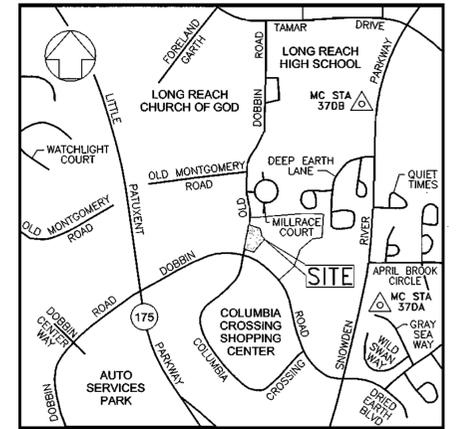
**LEGEND**

- EX. PROPERTY LINE
- EX. R/W
- EX. 2' CONTOUR
- EX. 10' CONTOUR
- PROP. 2' CONTOUR
- PROP. 10' CONTOUR
- EX. CURB & GUTTER
- PROP. CURB & GUTTER
- EX. SANITARY
- PROP. SANITARY
- EX. STORM DRAIN
- PROP. STORM DRAIN
- EX. WATER
- PROP. WATER
- LIMIT OF DISTURBANCE
- SILT FENCE
- CURB INLET PROTECTION
- STABILIZED CONSTRUCTION ENTRANCE



**PLAN**  
SCALE: 1" = 30'

**L.O.D. = 36,145.18 S.F., 0.83 AC.**



**VICINITY MAP**  
SCALE: 1" = 1000'

**BENCHMARKS**

37DA ELEV. 115.759  
 SNOWDEN RIVER PARKWAY 0.2 MILES SOUTH OF TAMAR DRIVE  
 37DB ELEV. 120.54  
 ISLE AT SNOWDEN RIVER PARKWAY AND APRIL BROOK CIRCLE.  
 COORDINATES BASED ON NAD '83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 37DA AND NO. 37DB.

N 170282.2001  
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**APPROVED**  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 DATE December 11, 2003

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

*Jim Myers* 1/22/04  
 USD - NATURAL RESOURCES COMMISSION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*John R. Polieton* 1/22/04  
 HOWARD SOIL CONSERVATION DISTRICT DATE

DEPARTMENT OF PLANNING AND ZONING  
*Joseph A. Wright* 2/6/04  
 DIRECTOR DATE

*Cindy Hamden* 2/5/04  
 CHIEF, LAND DEVELOPMENT DATE

*Michael P. ...* 2/3/04  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
B-1	6201 OLD DOBBIN LANE

**EROSION & SEDIMENT CONTROL**

**BANK OF AMERICA**

ROUTE 175 COMMERCIAL  
 SECTION 1 - AREA 2  
 PARCEL "B-1"

HOWARD COUNTY, MARYLAND

DATE: 12/01/03 SHEET: 5 OF 8 JOB NO.: 12937

**OWNER**  
 ABRAMS DEVELOPMENT GROUP INC.  
 SNOWDEN COMMONS  
 5650 WATERLOO ROAD, SUITE 230  
 COLUMBIA, MARYLAND 21045  
 ATTN: MICKEY ABRAMS  
 (410) 461-4340

**DEVELOPER**  
 BANK OF AMERICA  
 225 N. CALVERT ST., 17TH FL.  
 BALTIMORE, MD. 21202  
 INTERNAL MAILSTOP MD4-301-17-31  
 ATTN: LLOYD C. NURKIEWICZ  
 (410) 605-4079



**DEVELOPER'S CERTIFICATE**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THIS PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*Lloyd C. Nurkiewicz* 12-15-03  
 LLOYD C. NURKIEWICZ DATE

**ENGINEERS CERTIFICATE**

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

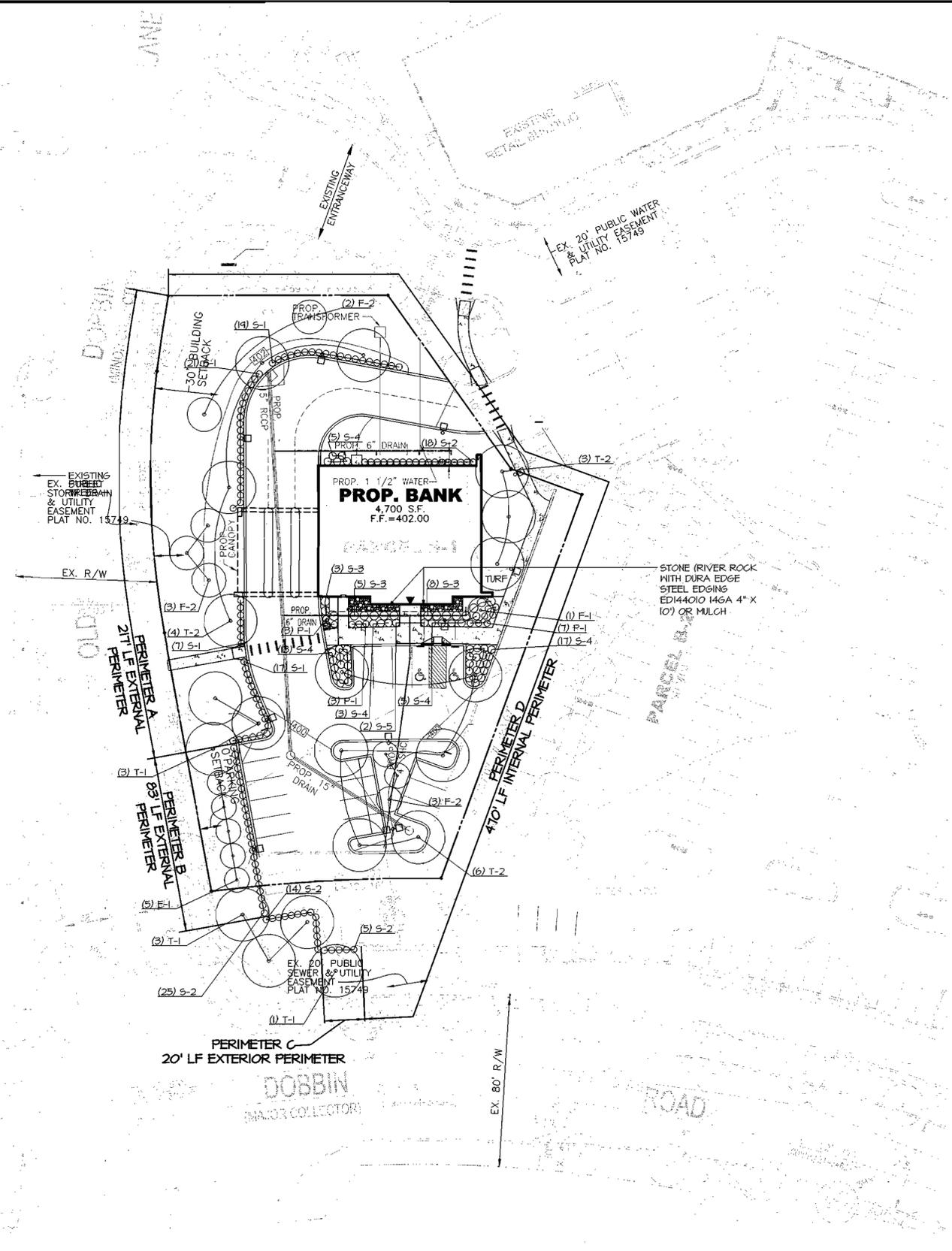
*Pete Geselchen* 12-11-03  
 SIGNATURE OF ENGINEER DATE  
 PETE GESELCHEN

**MORRIS & RITCHE ASSOCIATES, INC.**  
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

1220-C EAST JOPPA ROAD SUITE 505  
 TOWSON, MARYLAND 21286  
 (410) 821-1690  
 FAX (410) 821-1748

DESIGN BY: DRS DRAWN BY: JPM REVIEW BY: RAM SCALE: 1" = 40'





**NOTE**  
 AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.

**PLAN**  
 SCALE: 1" = 30'

OWNER	DEVELOPER
ABRAMS DEVELOPMENT GROUP INC. SNOWDEN COMMONS 5650 WATERLOO ROAD, SUITE 230 COLUMBIA, MARYLAND 21045 ATTN: MICKEY ABRAMS (410) 461-4340	BANK OF AMERICA 225 N. CALVERT STR., 17TH FLR. BALTIMORE, MD, 21202 INTERNAL MAILSTOP MD4-301-17-31 ATTN: LLOYD C. NURKIEWICZ (410) 605-4079

**DEVELOPER'S/BUILDER'S CERTIFICATE**

"I/WE CERTIFY THAT THE LANDSCAPE SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

*L. Nurkiewicz* 12.15.03  
 LLOYD C. NURKIEWICZ DATE

**DEVELOPER'S CERTIFICATE**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*L. Nurkiewicz* 12.15.03  
 SIGNATURE OF DEVELOPER DATE

**ENGINEERS CERTIFICATE**

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*Pete Gesellenchen* 12-11-03  
 SIGNATURE OF ENGINEER DATE  
 PETE GESELLENCHEN

**MORRIS & RITCHIE ASSOCIATES, INC.**  
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

1220-C EAST JOPPA ROAD SUITE 505  
 TOWSON, MARYLAND 21286  
 (410) 821-1690  
 FAX (410) 821-1748

DESIGN BY: JVH DRAWN BY: TAC REVIEW BY: JVH SCALE: 1" = 30'

**LANDSCAPE PLAN**  
**BANK OF AMERICA**

ROUTE 175 COMMERCIAL  
 SECTION 1 - AREA 2  
 PARCEL "B-1"

HOWARD COUNTY, MARYLAND

DATE: 12/01/03 SHEET: 7 OF 8 JOB NO.: 12937

**PLANT LIST**

SHADE TREES					
KEY	QUANTITY	BOTANICAL NAME/ COMMON NAME	SIZE	ROOT	REMARKS
T-1	7	PLATANUS X ACERIFOLIA 'BLOOD GOOD'	2 1/2" CAL. TO 3" CAL.	B & B	7' MIN. BRANCHING HT.
T-2	13	LONDON PLANE TREE ZELKOVA SERRATA 'VILLAGE GREEN' VILLAGE GREEN ZELKOVA	2 1/2" CAL. TO 3" CAL.	B & B	7' MIN. BRANCHING HT.
EVERGREEN TREES					
E-1	5	PICEA ABLES NORWAY SPRUCE	6" - 8" IN HEIGHT	B & B	
FLOWERING TREES					
F-1	1	CHIONANTHUS VIRGINICUS WHITE FRINGE TREE	8" - 10" IN HEIGHT	B & B	MULTI-STEM SPECIMEN
F-2	8	PRUNUS CERASIFERA 'NEWPORT' PURPLE LEAF PLUM	2 1/2" - 3" IN HEIGHT	B & B	7' MIN. BRANCHING HT.
PERENNIALS					
P-1	13	HEMEROCALLIS STELLA D ORO 'STELLA D ORO' DAYLILY	1 GAL.	CONT.	
SHRUBS					
S-1	64	EUONYMUS ALATUS 'COMPACTA' COMPACT BURNING BUSH	24" - 30" IN HEIGHT	B & B	
S-2	62	IEX GLABRA INKBERRY	30" - 36" IN HEIGHT	B & B	
S-3	16	PRUNUS LAUROCERASUS 'OTTO LUYKEN' DWARF OTTO LUYKEN LAUREL	18" - 24" IN HEIGHT	B & B	
S-4	43	SPIREA JAPONICA 'LITTLE PRINCESS' LITTLE PRINCESS SPIREA	12" - 18" IN HEIGHT	CONT.	
S-5	2	PINUS MUGO PUMILIO DWARF MUGO PINE	18" - 24" IN HEIGHT	CONT.	

\*12 EXISTING STREET TREES (ALONG DOBBIN ROAD (1) & OLD DOBBIN ROAD (11))

**SCHEDULE A - PERIMETER LANDSCAPE EDGE**

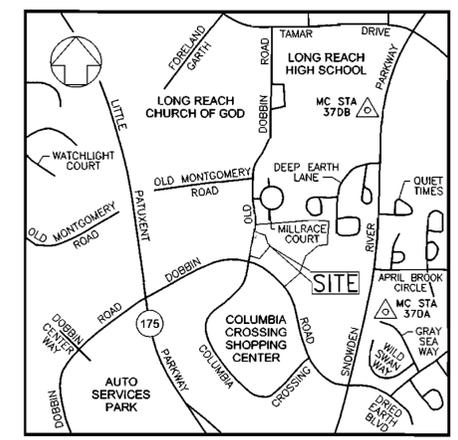
PERIMETER LANDSCAPE EDGE	PERIMETER #A	PERIMETER #B	PERIMETER #C	PERIMETER #D
CATEGORY	BUFFER BLDG. SIDE FROM ROADWAY	BUFFER PARKING FROM ROADWAY	BUFFER PARKING FROM ROADWAY	INTERNAL PERIMETER
LANDSCAPE BUFFER TYPE	B	E	E	N/A
LINEAR FEET OF ROADWAY/ PERIMETER FRONTAGE	217'	85'	20'	470'
CREDIT FOR EX. VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	N/A
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	N/A
NUMBER OF PLANTS REQUIRED				
SHADE TREES	4	2	1	N/A
EVERGREEN TREES	5*	0	0	
SHRUBS	0	21	5	
NUMBER OF PLANTS PROVIDED				
SHADE TREES	4	2	1	0
EVERGREEN TREES	0	0	0	0
OTHER TREE (2:1 SUBST.)	4	0	0	0
SHRUBS (10:1 SUBST.)	45	25	5	0
(DESCRIBE PLANT SUBSTITUTION CREDITS BELOW AS NEEDED)				

BOND REQUIREMENT - SURETY FOR SCHEDULE A:  
 SCHEDULE 'A' NUMBER OF SHADE TREES FOR BONDING: 7 x \$300 = \$2,100  
 SCHEDULE 'A' NUMBER OF EVERGREEN TREES FOR BONDING: 5 x \$150 = \$750  
 SCHEDULE 'A' NUMBER OF SHRUBS FOR BONDING: 29 x \$30 = \$870  
 SCHEDULE 'B' NUMBER OF REQUIRED SHADE TREES FOR BONDING: 1 x \$300 = \$300  
**BONDING WILL BE POSTED WITH THE GRADING PERMIT. \$4,020**

\*5 EVERGREEN TREES RELOCATED TO PERIMETER B.

**SCHEDULE B - PARKING LOT  
INTERNAL LANDSCAPING**

NUMBER OF PARKING SPACES	23 PARKING SPACES
NUMBER OF TREES REQUIRED:	1/20 1.2
NUMBER OF TREES PROVIDED	
SHADE TREES	7
OTHER TREES (2:1 SUBSTITUTION)	0
NUMBER OF LANDSCAPE ISLAND REQUIRED	23 P.S./20=1.15 OR 1 ISLAND
NUMBER OF LANDSCAPE ISLANDS PROVIDED	1



**VICINITY MAP**  
 SCALE: 1" = 1000'

**BENCHMARKS**

37DA ELEV. 115.759 N 170282.2001  
 SNOWDEN RIVER PARKWAY 0.2 MILES SOUTH OF TAMAR DRIVE. E 416618.9945  
 37DB ELEV. 120.54 N 170782.0388  
 ISLE AT SNOWDEN RIVER PARKWAY AND APRIL BROOK CIRCLE. E 416631.3988  
 COORDINATES BASED ON NAD '83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 37DA AND NO. 37DB.

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL.

FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING WILL BE POSTED THE GRADING PERMIT IN THE AMOUNT OF \$4,020.00

OWNER/DEVELOPER: BANK OF AMERICA  
 SUBDIVISION NAME: ROUTE 175 COMMERCIAL  
 LIBER AND FOLIO: 6501/604  
 FINAL PLAT NO.: 15749  
 TAX ACCOUNT NO.: 214590  
 TAX MAP: 36  
 PARCEL: 521

**APPROVED**  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 DATE: December 11, 2003

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE

DEPARTMENT OF PLANNING AND ZONING

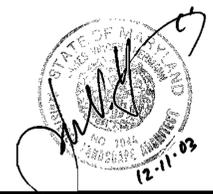
*Janice Kilgus* 2/6/04  
 DIRECTOR DATE

*Cinda Hamilton* 2/5/04  
 CHIEF, LAND DEVELOPMENT DATE

*Mike Dammann* 2/5/04  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

ADDRESS CHART

PARCEL NO. STREET ADDRESS  
 B-1 6201 OLD DOBBIN LANE



**LANDSCAPE PLAN**  
**BANK OF AMERICA**

ROUTE 175 COMMERCIAL  
 SECTION 1 - AREA 2  
 PARCEL "B-1"

HOWARD COUNTY, MARYLAND

DATE: 12/01/03 SHEET: 7 OF 8 JOB NO.: 12937

**SPECIFICATIONS FOR PLANTING**

**Plant Identification** -- All plants shall be properly marked for identification and checking.

**List of Plant Material** -- The quantities given in the plant list are approximate only. The contractor will verify plant quantities prior to bidding and any discrepancies shall be brought to the attention of the landscape architect. The Contractor shall furnish, and plant, all plants required to complete the work as shown on the drawings. Substitutions shall not be made.

**Plant Quality** -- All plants shall be sound, free of plant disease, infestation, or insect eggs and shall have a healthy, normal root system. Plants shall be freshly dug and not heeled-in stock, nor stock from cold storage. All plants shall be nursery grown. Plants shall not be pruned prior to delivery. The shape of the plant shall, in general, conform to its natural growth proportions unless otherwise specified. All plants, including container grown, shall conform to the branching, caliper and height specifications of the American Association of Nurserymen's Publication entitled American Standard for Nursery Stock, ANSI Z60.1-1990 or latest edition, and shall have a well-shaped, heavy-branched structure for the species. Evergreen trees are to have an internode no greater than 24" and shall be uniformly well-shaped. Plants of a given-size shall not measure less than the minimum size as set forth in the American Standard for Nursery Stock, ANSI Z60.1-1990 or latest edition.

**Plant Spacing** -- Plant spacing is to scale on plan.

**Soil Mix** -- Soil mix will be 2/3 existing topsoil, 1/3 leafmold thoroughly mixed and homogenized.

**Rootball Size** -- The ball size shall conform to the American Association of Nurserymen's Publication entitled American Standard for Nursery Stock, ANSI Z60.1-1990 or latest edition, and shall be wrapped in untreated burlap.

**Excavation** -- Holes for all plants shall be 18" larger in diameter than size of ball or container and shall have vertical sides. Organic material (leafmold) will be incorporated into plant beds by tilling again to a depth of 8". Proportions of soil to organic material will be two parts existing soil to one part organic material.

**Planting** -- Backfilling shall be done with soil mix previously described, reasonably free of stones, subsoil, clay, lumps, stumps, roots, weeds, Bermuda grass, litter, toxic substances, or any other material which may be harmful to plant growth or hinder grading, planting, or maintenance operations. Plants shall be set plumb and straight and trees shall be guyed or staked at the time of planting. Backfill shall be well worked about the roots and seated by watering. Plants will be planted higher than surrounding grade. Trees will be 3" higher. Remove rope from round tree trunks and lay back burlap and wire baskets from top 1/3 of all B&B material. Nylon, plastic, or vinyl rope and/or burlap will be completely removed from all plant material prior to planting.

**Maintenance** -- The Contractor shall be responsible during the contract and up to the time of acceptance for keeping the planting and work incidental thereto in good condition by replanting, plant replacement, watering, weeding, cultivating, pruning, spraying, restaking and cleaning up, and by performing all other necessary operations of care for the promotion of good plant growth so that work is in satisfactory condition at the time of acceptance at no additional cost to the owner.

**Fertilizer** -- All fertilizer shall be granular, packet or pellet type with 35 to 90 percent of the total nitrogen in a slowly available form. For trees, fertilizer shall be a complete fertilizer with a minimum analysis of 10 percent nitrogen, 6 percent phosphorous and 4 percent potassium. Fertilizer shall be added depending on the size of the plant and the manufacturer's recommendation using the following application rate:

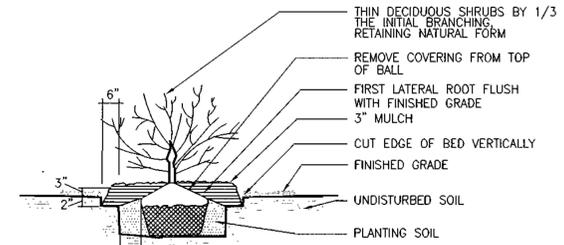
- 1. Trees: Use 1/2 lb. Of 10-6-4 fertilizer per inch of trunk diameter.

**Guarantee and Replacement** -- All plant material shall be unconditionally guaranteed for one year. The guarantee will begin on the date of that acceptance of the work. After a plant has been determined to be dead, dying or damaged from handling or installation, it will be replaced during the next growing season. For example, if a plant is found dead during the summer months, it will be replaced during the fall planting season. The guarantee will end for all plant material one year after acceptance. During the guarantee period, the Contractor will not be responsible for mechanical injury or vandalism caused by other parties.

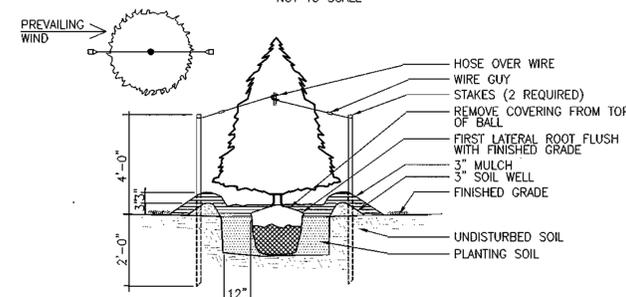
**Material Inspection** -- Owner shall, at their discretion, inspect plant material before and during delivery and installation. Plant material will be properly delivered in covered trucks, and promptly uncovered when delivered to prevent damage. Material will be unloaded and properly handled in such a way as not to damage plants. Plants will be inspected and may be rejected upon delivery and/or installation by the owner for mechanical damage, and damage that will subsequently cause misshapen or deformed material. Owner will have authority to observe site preparation and planting installations, and have the right to reject any work if the specifications and construction documents are not followed. All plant material shall be of the quality specified and installed as described above, and unless these minimum standards are satisfied, the plants will be rejected.

**GENERAL NOTES:**

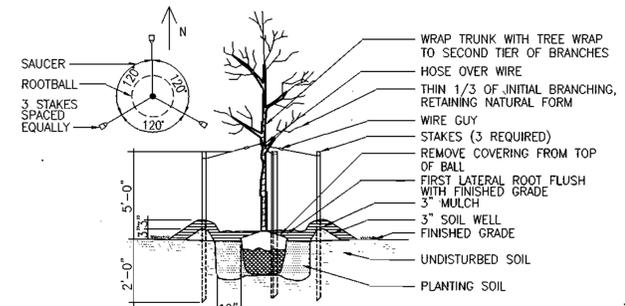
- ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF NURSERY STOCK OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- TREES AND SHRUBS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED, DENSELY FOLIATED BRANCHES, AND VIGOROUS, FIBROUS ROOT SYSTEMS.
- TREES AND SHRUBS SHALL BE FRESHLY DUG AND NURSERY GROWN. THEY SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT OR PROPERLY ACCLIMATED TO CONDITIONS OF THE LOCALITY OF THE PROJECT.
- TREES AND SHRUBS SHALL BE FREE FROM DEFECTS AND INJURIES AND CERTIFIED BY APPROPRIATE FEDERAL AND STATE AUTHORITIES TO BE FREE OF DISEASES AND INSECT INFESTATIONS.
- THE LANDSCAPE CONTRACTOR SHALL WARRANT ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) FULL YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION AGAINST DEFECTS, UNSATISFACTORY GROWTH, DISEASE OR DEATH. UNSATISFACTORY, UNHEALTHY, DYING OR DEAD PLANT MATERIAL (IN THE OPINION OF THE LANDSCAPE ARCHITECT) SHALL BE REPLACED WITH THE SAME SIZE AND SPECIES.
- IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO ADEQUATELY AND PROPERLY MAINTAIN THE LANDSCAPED AREAS WHICH SHALL INCLUDE WATERING, CLEANING OF NEEDLES AND DEBRIS, PRUNING AND TRIMMING, REPLACEMENT OF DEAD OR DISEASED PLANTINGS, AND FERTILIZING TO MAINTAIN HEALTHY GROWTH.
- THE LANDSCAPE CONTRACTOR SHALL STAKEOUT PLANT LOCATIONS IN THE FIELD. THE LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE SHALL OBSERVE THESE LOCATIONS PRIOR TO COMMENCING PLANT PIT EXCAVATION. THE LANDSCAPE CONTRACTOR SHALL MAKE ANY ADJUSTMENTS AS REQUESTED BY THE LANDSCAPE ARCHITECT.
- ALL PLANT SAUCERS AND PLANT BEDS SHALL BE MULCHED WITH DOUBLE SHREPPED HARDWOOD MULCH, A MINIMUM OF 3" IN DEPTH.
- NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE PERMITTED WITHOUT WRITTEN AUTHORIZATION OF THE LANDSCAPE ARCHITECT, THEIR REPRESENTATIVE, OR THE DEPARTMENT OF HOWARD COUNTY PLANNING & ZONING. THIS SHALL APPLY TO SUBSTITUTIONS OF SPECIES, SIZE AND QUANTITY.
- THE LANDSCAPE CONTRACTOR SHALL INSTALL SHREPPED HARDWOOD BARK MULCH TO A DEPTH OF 3" UNDER AND SURROUNDING ALL NEW LANDSCAPED MASS PLANTING AREAS TO PROVIDE A UNIFORM AND CONTINUOUS SURFACE AND APPEARANCE BETWEEN AND AROUND ALL PLANT MATERIAL, BUILDING LINES AND PAVED AREAS. IN GENERAL, THIS PERTAINS TO ALL PLANT MATERIAL THAT IS PLANTED CLOSER THAN SIX (6) FEET CENTER TO CENTER. IT IS THE INTENT OF THIS CONTRACT TO INSTALL LANDSCAPE MAT UNDER THE ENTIRE AREA OF SHREPPED BARK MULCH.
- TREES SHALL BE LOCATED A MINIMUM OF 5' FROM SEWER/WATER CONNECTIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC AND PRIVATE UTILITIES, WATER AND SEWER LINES.
- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
- CONTRACTOR SHALL SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SHALES AND UTILITIES. FINISHED PLANTING BEDS SHALL BE GRADED SO AS NOT TO IMPEDE DRAINAGE AWAY FROM BUILDINGS.
- TREE STAKING AND GUYING SHALL BE DONE PER DETAILS. CONTRACTOR SHALL ENSURE THAT TREES REMAIN PLUMB AND UPRIGHT FOR THE DURATION OF THE GUARANTEE PERIOD.
- ALL TREE PITS, SHRUB BEDS, AND PREPARED PLANTING BEDS ARE TO BE COMPLETELY EXCAVATED IN ACCORDANCE WITH THE PLANTING DETAILS.
- CROWN OF ROOT BALL SHALL BE HIGHER (AFTER SETTING) THAN ADJACENT SOIL.
- SHADE TREES: HEIGHT SHALL BE MEASURED FROM THE CROWN OF THE ROOT BALL TO THE TOP OF NATURE GROWTH. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF 'V' CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION.
- CONTRACTOR MUST CONTACT THE OWNER AT LEAST TEN WORKING DAYS IN ADVANCE TO SCHEDULE ACCEPTANCE INSPECTION(S). CONTRACTOR MUST REPLACE ALL DEAD OR UNACCEPTABLE PLANTS DURING THE FOLLOWING RECOMMENDED PLANTING SEASON.
- TREES SHALL BE PLANTED DURING ACCEPTABLE PLANTING SEASONS: BETWEEN MARCH 15 AND MAY 15 AND BETWEEN AUGUST 15 AND NOVEMBER 15 OR AS APPROVED BY OWNERS REPRESENTATIVE.
- ALL TREE STAKING AND GUYING SHALL BE REMOVED BY THE CONTRACTOR AFTER THE TREES ARE ESTABLISHED.
- SEEDED AREAS THAT WASH OUT MUST BE FILLED AND GRADED AS NECESSARY AND THE RESEDED. SOME TYPE OF ANCHORING METHOD SHOULD THEN BE USED TO HOLD SEED AND MULCH IN PLACE. THIS IS ESPECIALLY IMPORTANT AROUND WATER COURSES, IN SWALES AND AREAS OF CONCENTRATED FLOWS, AND ON SLOPES.



**SHRUB DETAIL**  
NOT TO SCALE



**EVERGREEN TREE DETAIL**  
NOT TO SCALE



**DECIDUOUS TREE DETAIL**  
NOT TO SCALE

**APPROVED**  
PLANNING BOARD  
of HOWARD COUNTY  
DATE December 11, 2003

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

USDA-NATURAL RESOURCES CONSERVATION SERVICE \_\_\_\_\_ DATE \_\_\_\_\_

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT \_\_\_\_\_ DATE \_\_\_\_\_

DEPARTMENT OF PLANNING AND ZONING

*Mark D. Leight* 2/6/04  
DIRECTOR DATE

*Cindy Hamilton* 2/9/04  
CHIEF, LAND DEVELOPMENT DATE

*Mike* 2/3/04  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
B-1	6201 OLD DOBBIN LANE

OWNER	DEVELOPER
ABRAMS DEVELOPMENT GROUP INC. SNOWDEN COMMONS 5650 WATERLOO ROAD, SUITE 230 COLUMBIA, MARYLAND 21045 ATTN: MICKEY ABRAMS (410) 461-4340	BANK OF AMERICA 225 N. CALVERT STR., 17TH FLR. BALTIMORE, MD. 21202 INTERNAL MAILSTOP MDA-301-17-31 ATTN: LLOYD C. NURKIEWICZ (410) 605-4079

**DEVELOPER'S/BUILDER'S CERTIFICATE**

"I/WE CERTIFY THAT THE LANDSCAPE SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING."

*Lloyd C. Nurkiewicz* 12-15-03  
LLOYD C. NURKIEWICZ DATE

**DEVELOPER'S CERTIFICATE**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*Lloyd C. Nurkiewicz* 12-15-03  
LLOYD C. NURKIEWICZ DATE

**ENGINEERS CERTIFICATE**

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*Pete Gesellchen* 12-11-03  
SIGNATURE OF ENGINEER DATE  
PETE GESELLCHEN

**MORRIS & RITCHE ASSOCIATES, INC.**  
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

1220-C EAST JOPPA ROAD SUITE 505  
TOWSON, MARYLAND 21286  
(410) 821-1690  
FAX (410) 821-1748

DESIGN BY: JVH DRAWN BY: TAC REVIEW BY: JVH SCALE: AS SHOWN

**LANDSCAPE NOTES AND DETAILS**

**BANK OF AMERICA**

ROUTE 175 COMMERCIAL  
SECTION 1 - AREA 2  
PARCEL "B-1"

HOWARD COUNTY, MARYLAND

DATE: 12/01/03 SHEET: 8 OF 8 JOB NO.: 12937