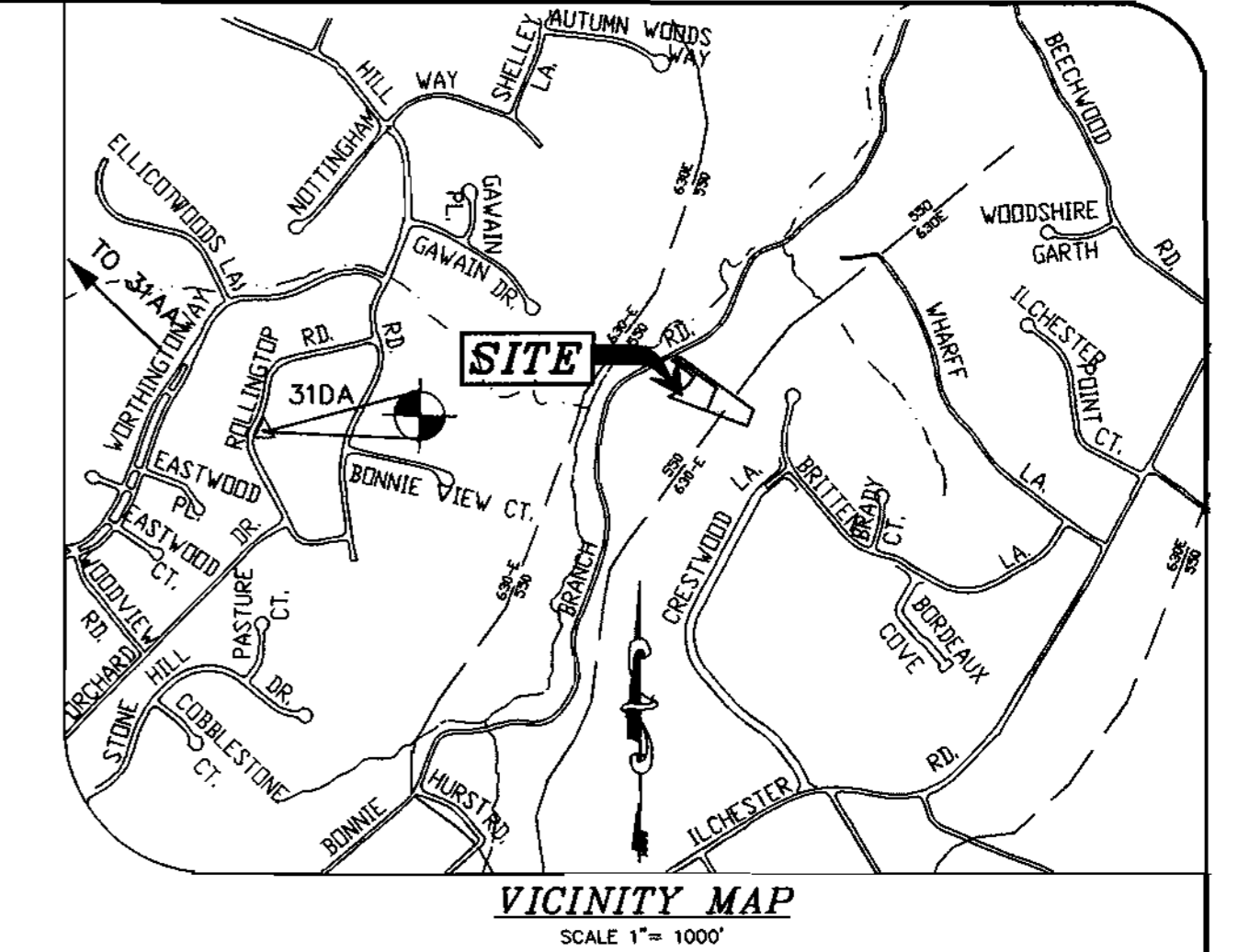
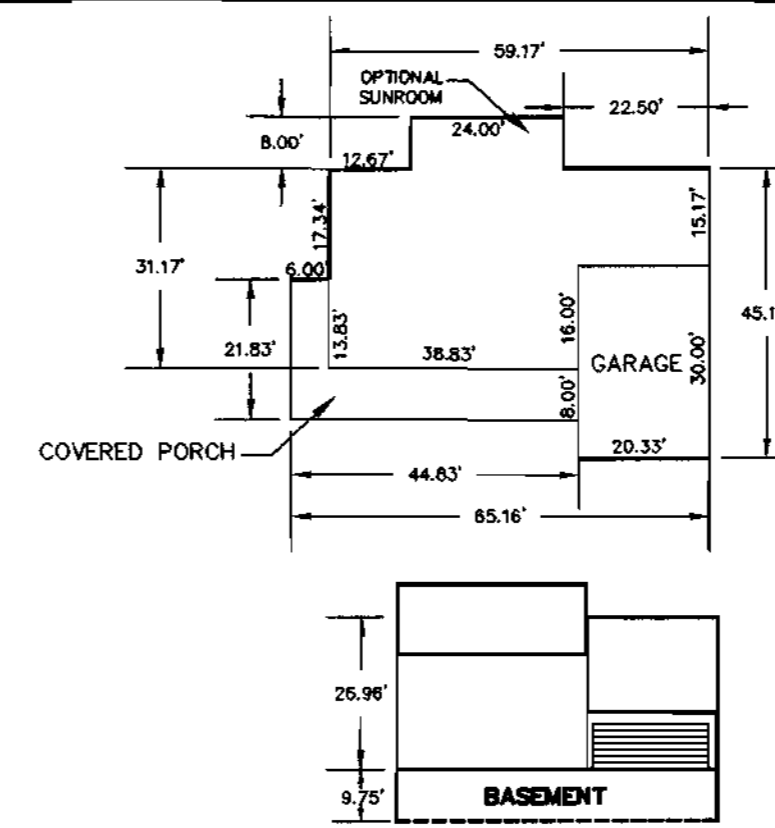
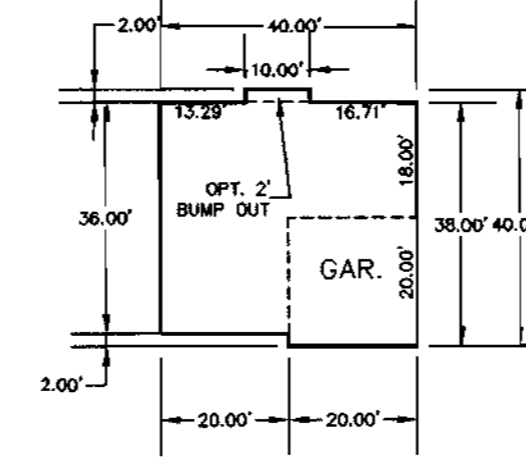
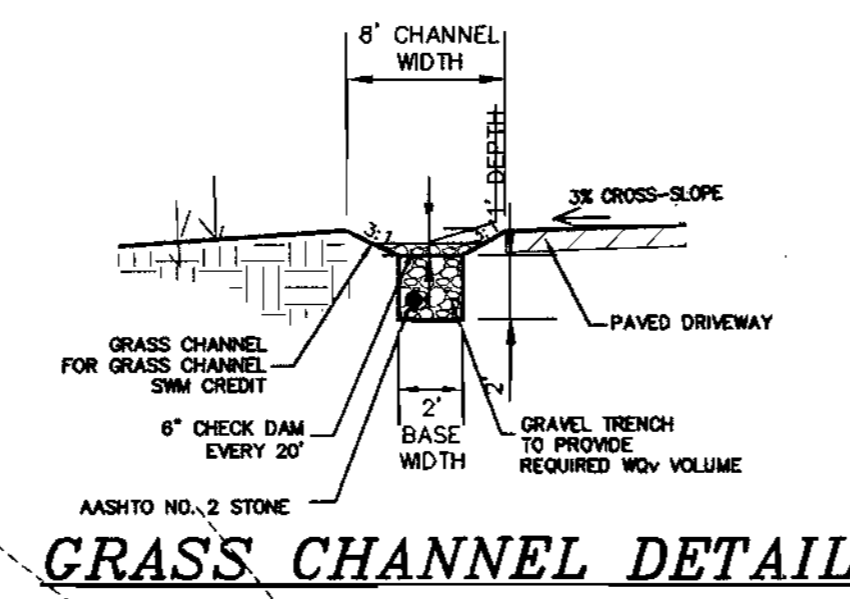
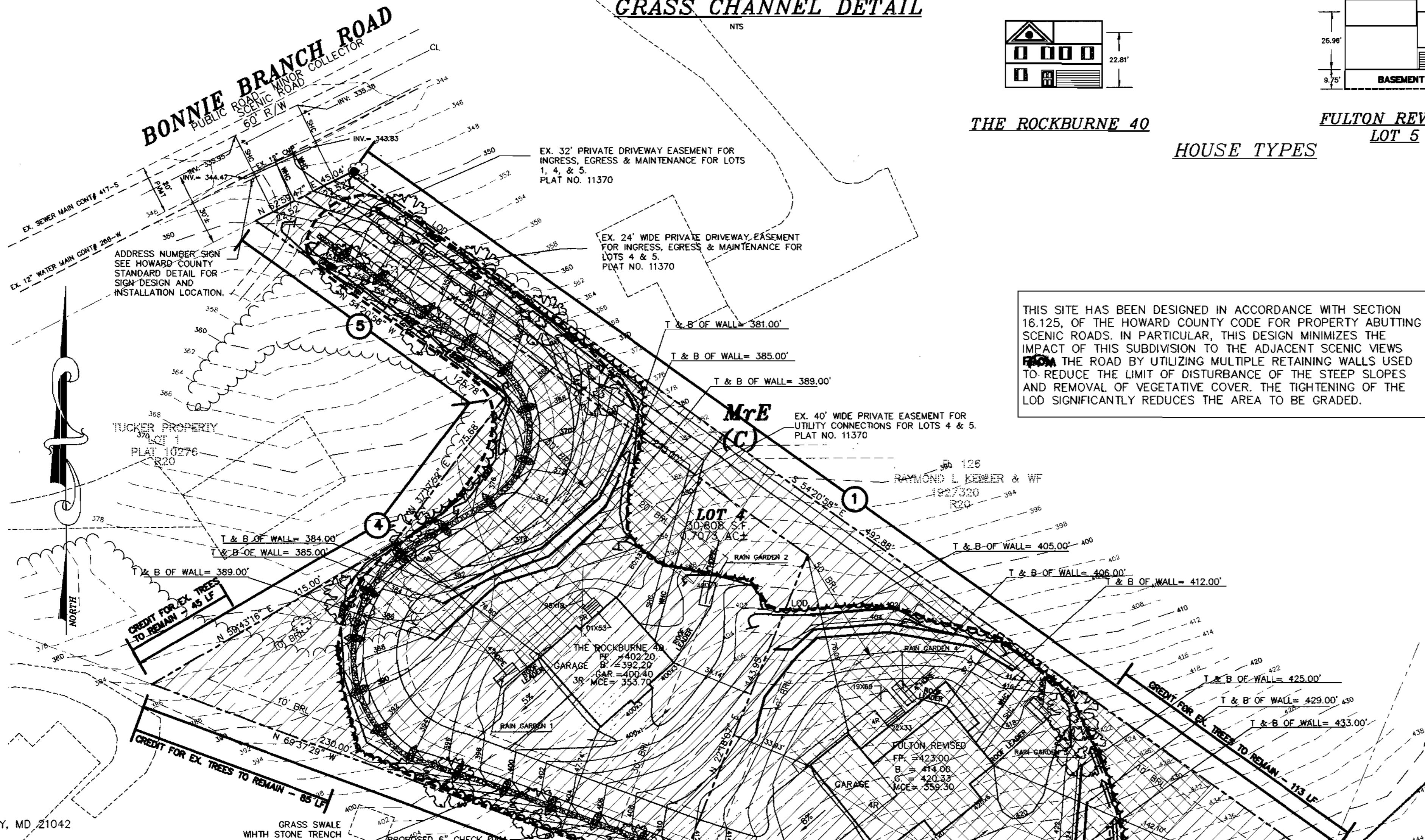


SOILS DESCRIPTION

SYMBOL	DESCRIPTION
AgC2	AURA GRAVELLY LOAM, 5% TO 10% SLOPES, MODERATELY ERODED -- TYPE B
MfE	MONTALTO AND RELAY SOILS, 15% TO 45% SLOPES--TYPE C



BONNIE BRANCH ROAD



THIS SITE HAS BEEN DESIGNED IN ACCORDANCE WITH SECTION 16.125 OF THE HOWARD COUNTY CODE FOR PROPERTY ABUTTING SCENIC ROADS. IN PARTICULAR, THIS DESIGN MINIMIZES THE IMPACT OF THIS SUBDIVISION TO THE ADJACENT SCENIC VIEWS FROM THE ROAD BY UTILIZING MULTIPLE RETAINING WALLS USED TO REDUCE THE LIMIT OF DISTURBANCE OF THE STEEP SLOPES AND REMOVAL OF VEGETATIVE COVER. THE TIGHTENING OF THE LOD SIGNIFICANTLY REDUCES THE AREA TO BE GRADED.

THE ROCKBURNE 40

HOUSE TYPES

FULTON REVISED LOT 5

GENERAL NOTES

- THE SUBJECT PROPERTY IS ZONED R-20 PER THE 10/18/93 COMPREHENSIVE ZONING PLAN.
- PROJECT BACKGROUND:**
TAX MAP: 31 - PARCEL: 336 LOTS 4 & 5
ELECTION DISTRICT: FIRST
ZONING: R-20
DEED REFERENCE:
TOTAL TRACT AREA: 67,987 SQ. FT. OR 1.55 AC.±
NUMBER OF PROPOSED BUILDABLE LOTS: 2
PROPOSED USE: SINGLE FAMILY DETACHED
PLZ REF: T-92-34-WP-81-197, P-95-12
- TOPOGRAPHY SHOWN HEREON IS BASED ON A FIELD RUN SURVEY BY MILDENBERG, BOENDER & ASSOC., INC. IN JUNE 2003.
- COORDINATES REFERENCED ARE BASED ON THE NAD 83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL.
STATION 31AA N 573,988.571 E 1,369,934.229 EL=500.157
STATION 31DA N 571,982.670 E 1,372,145.075 EL=482.35
- THIS SUBDIVISION IS IN THE METROPOLITAN DISTRICT. PUBLIC WATER AND SEWER WILL BE UTILIZED. LOTS 4 & 5 WILL BE SERVED UNDER CONTRACT # 417-S & 286-W.
- NO BURIAL GROUNDS OR CEMETERIES EXIST ON-SITE.
- STEEP SLOPES 25% OR GREATER WITH A CONTIGUOUS AREA OVER 20,000 SQ.FT. EXISTS ON SITE.
- THIS SITE IS ADJACENT TO BONNIE BRANCH ROAD, WHICH IS A SCENIC ROAD.
- NO WETLANDS OR STREAMS EXIST ON-SITE AS PER FIELD INVESTIGATION BY MBA IN JULY, 2003.
- STORMWATER MANAGEMENT HAS BEEN PROVIDED AS FOLLOWS:
-HOW: RAIN GARDENS AND GRASS CHANNELS WITH GRAVEL TRENCH.
-REV: RAIN GARDENS AND GRASS CHANNELS WITH GRAVEL TRENCH.
-OP:Q: EXEMPT, WAIVED UNDER PLAT NO. 11370.
- THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS OF FOREST CONSERVATION IN ACCORDANCE WITH SECTION 16.1201.(c)(1)(ii) OF HOWARD COUNTY CODE- DEVELOPMENT WHICH HAS PRELIMINARY SUBDIVISION PLAN APPROVAL PRIOR TO DECEMBER 31, 1992.
- LANDSCAPING FOR LOTS 4 & 5 IS PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (15 SHADE TREES) SHALL BE POSTED AS PART OF THE GRADING PERMIT FOR LOT 4 (7 SHADE TREES) IN THE AMOUNT OF \$2,100.00 AND FOR LOT 5 (8 SHADE TREES) IN THE AMOUNT OF \$2,400.00.
- SOILS DATA BASED ON HOWARD COUNTY SOIL SURVEY DATED JULY 1968, SHEET 20.
- CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES ON SITE PRIOR TO COMMENCING CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/CONSTRUCTION INSPECTIONS DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) DAYS PRIOR TO ANY EXCAVATION WORK:
MISS UTILITY 1-800-257-7777 (410) 725-9876
VERIZON TELEPHONE COMPANY (410) 313-9900
HOWARD COUNTY BUREAU OF UTILITIES (410) 393-3533
AT&T CABLE LOCATION DIVISION (410) 685-0123
BALTIMORE GAS & ELECTRIC (410) 531-5533
STATE HIGHWAY ADMINISTRATION (410) 313-1880
HOWARD COUNTY DEPT. OF PUBLIC WORKS/CONSTRUCTION INSPECTIONS DIVISION (410) 313-1880
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- DRIVEWAY ENTRANCE SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARD R-6.06.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
A) WIDTH - 12 FEET
B) SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING.
C) GEOMETRY - MAXIMUM 10% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM OF 45-FOOT TURNING RADIUS.
D) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING).
E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
F) STRUCTURE CLEARANCES - MINIMUM 12 FEET
G) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE.
- THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES, AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- FOR FLAG OR PRESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL, AND ROAD MAINTENANCE IS TO BE PROVIDED AT THE JUNCTION OF THE ROAD RIGHT-OF-WAY AND NOT INTO THE FLAG OR PRESTEM LOT DRIVEWAY.
- DECLARATION OF MAINTENANCE OBLIGATION FOR USE-IN-COMMON DRIVEWAY RECORDED IN LIBER 3329, FOLIO 428.
- THIS PLAN IS SUBJECT TO WAIVER PETITION WP-91-197, WAIVING SECTION 16.116(c)(4) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO ALLOW GRADING AND REMOVAL OF VEGETATION COVER ON THE PROPERTY WITH EXISTING SLOPES OF 25% OR GREATER. THE PLANNING DIRECTOR GRANTED APPROVAL ON JULY 18, 1991, SUBJECT TO THE FOLLOWING CONDITIONS:
1. SUBMISSION OF A FINAL PLAT FOR REVIEW BY THE SUBDIVISION REVIEW COMMITTEE.
2. COMPLIANCE WITH THE DEPARTMENT OF PUBLIC WORKS COMMENTS DATED JULY 3, 1991, AND THE HOWARD SOIL CONSERVATION DISTRICT COMMENTS DATED JULY 1, 1991.
3. THE APPLICANT SHALL UPGRADE THE EXISTING DRIVEWAY TO CONFORM WITH THE MINIMUM USE-IN-COMMON DRIVEWAY STANDARDS OF THE DEPARTMENT OF PUBLIC WORKS AND THE DEPARTMENT OF FIRE AND RESCUE SERVICES.
4. THE APPLICANT SHALL PROVIDE ON THE FINAL PLAT OF THIS PROPOSED SUBDIVISION A 40 FOOT WIDE USE-IN-COMMON DRIVEWAY FOR INGRESS AND EGRESS TO SERVE LOTS 1 TO 3. THE DRIVEWAY SHALL BE LOCATED WITHIN THE PRESENTS OF LOTS 2 AND 3.
5. THE APPLICANT SHALL EXECUTE AND RECORD IN THE HOWARD COUNTY LAND RECORDS OFFICE A DECLARATION OF MAINTENANCE OBLIGATION AGREEMENT FOR THE USE-IN-COMMON ACCESS AREA WHICH SHALL SPECIFY THE PRIVATE MAINTENANCE OBLIGATION FOR THE PROPOSED SUBDIVISION FOR THE PRIVATE DRIVEWAY.
6. THE APPLICANT SHALL PROVIDE A HOUSE NUMBER IDENTIFICATION SIGN WHERE THE USE-IN-COMMON DRIVEWAY ENTRANCE MEETS THE PUBLIC STREET IN ACCORDANCE WITH THE HOUSE NUMBERING SYSTEM AND SIGN DESIGN STANDARDS.
7. TO PERMIT REVIEW OF HOUSE DESIGN AND SITING TO ENSURE SITE CLEARING AND GRADING IS MINIMIZED, AN APPROVED SITE DEVELOPMENT PLAN WILL BE REQUIRED PRIOR TO APPLICATION FOR BUILDING PERMITS ON LOTS 1-3.
8. THIS PLAN IS SUBJECT TO THE 5TH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS EFFECTIVE OCTOBER 2, 2003.

OWNER
HARMONY BUILDERS
4228 COLUMBIA RD., ELLOCOTT CITY, MD 21042
(410) 461-0833

DEVELOPERS CERTIFICATE
I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.
Christopher L. Brown 11/2/04
SIGNATURE OF DEVELOPER
PRINTED NAME OF DEVELOPER

ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.
R. Jacob Hikmat 11/2/04
SIGNATURE OF ENGINEER
PRINTED NAME OF ENGINEER

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.
Jim Myers 11/8/04
USA - NATURAL RESOURCE CONSERVATION SERVICE
DATE
John K. Robertson 11/8/04
HOWARD SOIL CONSERVATION DISTRICT
APPROVED: DEPARTMENT OF PLANNING AND ZONING
William J. ... 11/4/04
DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION MHT
Catherine ... 11/15/04
DATE
CHIEF, DIVISION OF LAND DEVELOPMENT
... .. 11/15/04
DATE
DIRECTOR



INDEX OF DRAWINGS

NO.	DESCRIPTION
1	SITE DEVELOPMENT, LANDSCAPE & SEDIMENT CONTROL PLAN
2	SEDIMENT CONTROL NOTES AND DETAILS

LANDSCAPE REQUIREMENT PLANTING SCHEDULE

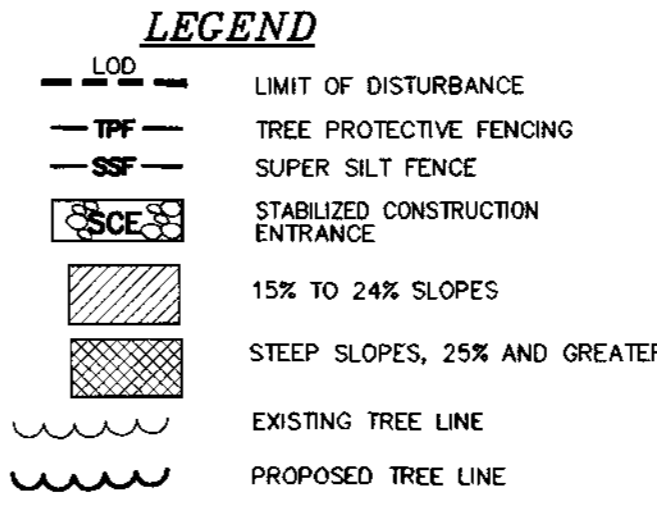
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
15		ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	2 1/2" - 3" CAL.
15		SHADE TREES		

ADDRESS CHART

LOT/PARCEL NO.	STREET ADDRESS
LOT 4	4845 BONNIE BRANCH ROAD
LOT 5	4841 BONNIE BRANCH ROAD

SCHEDULE A: PERIMETER LANDSCAPED EDGE

CATEGORY	ADJACENT TO PERIMETER PROPERTIES					TOTAL
	A (PERIMETER 1)	A (PERIMETER 2)	A (PERIMETER 3)	A (PERIMETER 4)	A (PERIMETER 5)	
LANDSCAPE TYPE	492.88 LF	97.86 LF	475.19 LF	190.68 LF	125.78 LF	
LINEAR FEET OF PERIMETER	492.88 LF	97.86 LF	475.19 LF	190.68 LF	125.78 LF	
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	YES, 113 LF OF EX. TREES TO REMAIN	YES, 97.86 LF OF EX. TREES TO REMAIN	YES, 173 LF OF EX. TREES TO REMAIN	YES, 45 LF OF EX. TREES TO REMAIN	N/A	
NUMBER OF PLANTS REQUIRED	8 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	0 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	5 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	2 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	2 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	15 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS
NUMBER OF PLANTS PROVIDED	8 SHADE TREES 0 EVERGREEN TREES 0 OTHER TREES (2:1 SUBSTITUTION)	0 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES	5 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES	2 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES	2 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES	15 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES



PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL #
TUCKER PROPERTY	N/A	LOTS 4 & 5
PLAT # OR L/F	BLOCK #	ZONE
11378	9	R-20
TAX MAP	ELEC. DIST.	CENSUS TRACT
31	FIRST	6011.01
WATER CODE	SEWER CODE	
G-01	1253400	
PROPOSED IMPROVEMENTS: CONSTRUCTION HOUSE, ASSOCIATED GRADING, AND SEDIMENT CONTROL		

Project date: NOV 2003
03-024 illustration engineering
MHT scale 1" = 30'
approval

description revisions

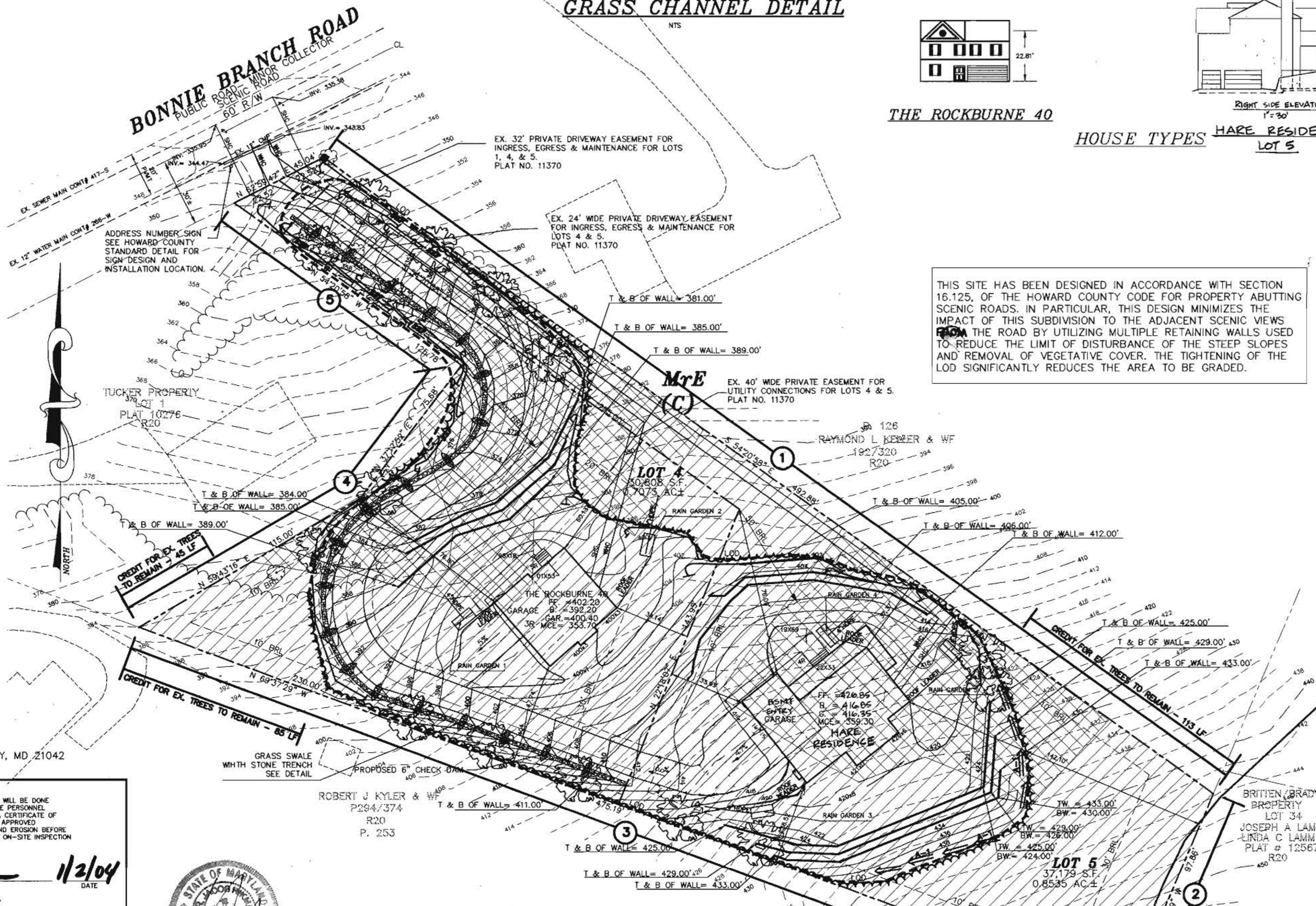
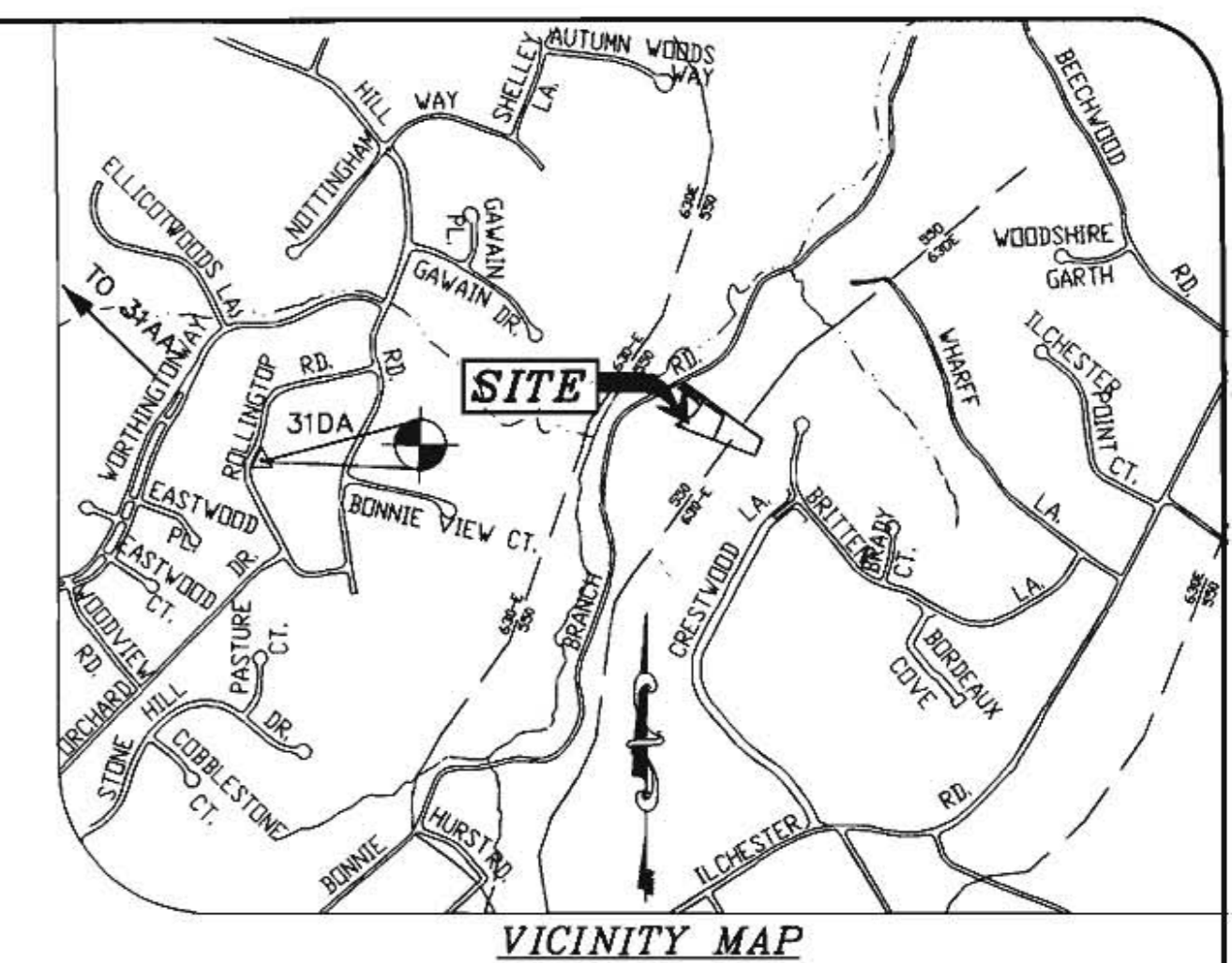
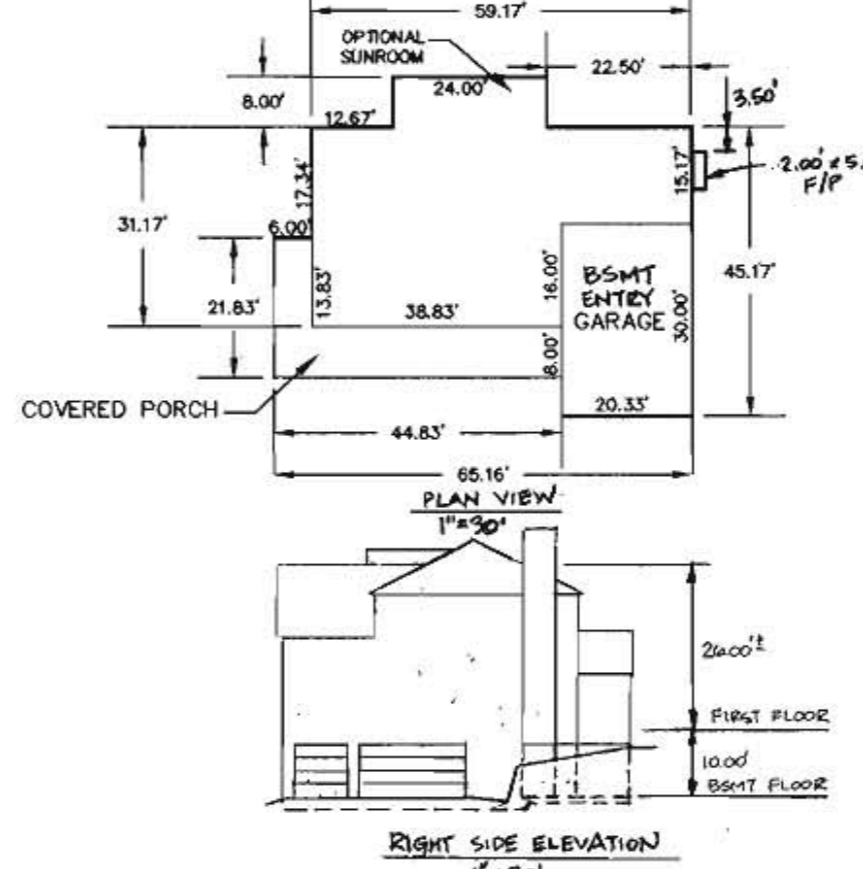
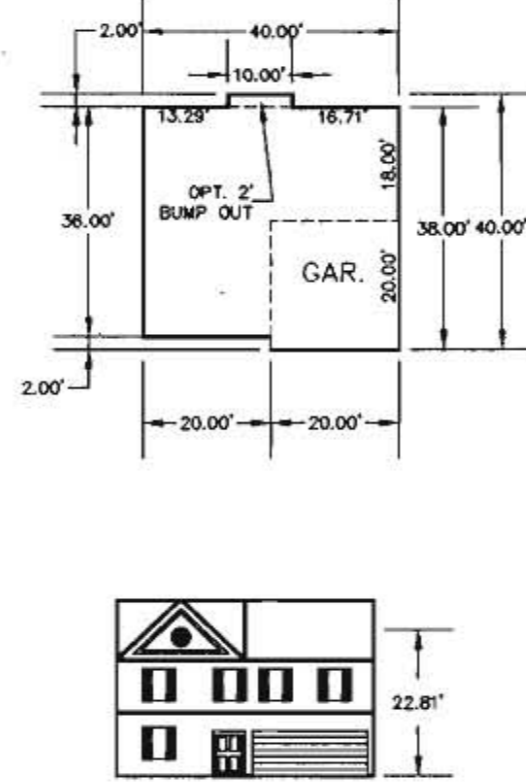
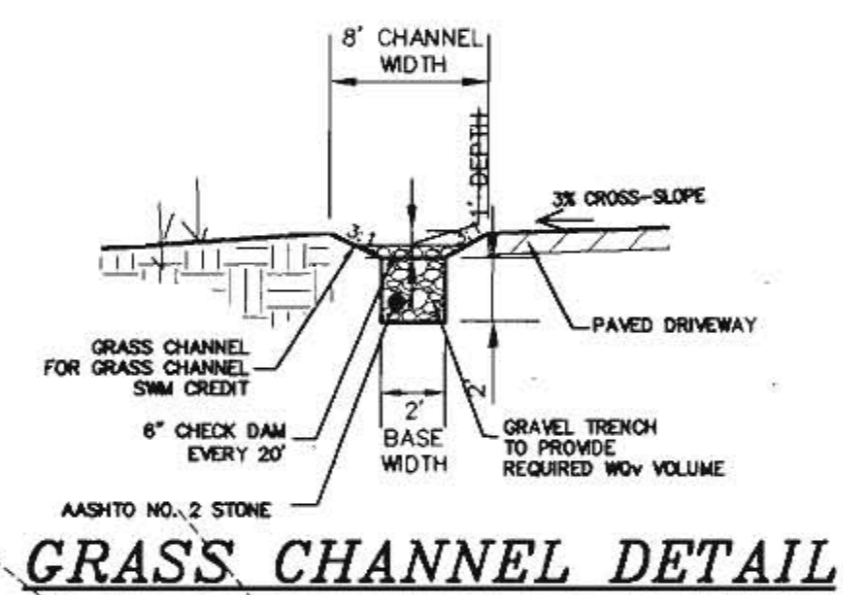
HOWARD COUNTY
TUCKER PROPERTY
LOTS 4 & 5
TAX MAP 31, PARCEL 336
SITE DEVELOPMENT PLAN

FIRST ELECTION DISTRICT

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland, 21042
(410) 987-0286 Fax (410) 987-0288 Pbx

SOILS DESCRIPTION

SYMBOL	DESCRIPTION
AgC2	AURA GRAVELLY LOAM, 5% TO 10% SLOPES, MODERATELY ERODED -- TYPE B
M/E	MONTALTO AND RELAY SOILS, 15% TO 45% SLOPES--TYPE C



THIS SITE HAS BEEN DESIGNED IN ACCORDANCE WITH SECTION 16.125, OF THE HOWARD COUNTY CODE FOR PROPERTY ADJUTING SCENIC ROADS. IN PARTICULAR, THIS DESIGN MINIMIZES THE IMPACT OF THIS SUBDIVISION TO THE ADJACENT SCENIC VIEWS FROM THE ROAD BY UTILIZING MULTIPLE RETAINING WALLS USED TO REDUCE THE LIMIT OF DISTURBANCE OF THE STEEP SLOPES AND REMOVAL OF VEGETATIVE COVER. THE TIGHTENING OF THE LOD SIGNIFICANTLY REDUCES THE AREA TO BE GRADED.

GENERAL NOTES

- THE SUBJECT PROPERTY IS ZONED R-20 PER THE 10/18/93 COMPREHENSIVE ZONING PLAN.
- PROJECT BACKGROUND:**
TAX MAP: 31 PARCEL: 336 LOTS: 4 & 5
ELECTION DISTRICT: FIRST
ZONING: R-20
DEED REFERENCE:
TOTAL TRACT AREA: 67,987 SQ. FT. OR 1.56 AC.±
NUMBER OF PROPOSED BUILDABLE LOTS: 2
PROPOSED USE: SINGLE FAMILY DETACHED
DPZ FILES: F-92-34, WP-91-197, F-95-12
- TOPOGRAPHY SHOWN HEREON IS BASED ON A FIELD RUN SURVEY BY MILDENBERG, BOENDER & ASSOC., INC. IN JUNE 2003.
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STATION 31AA N 573,998.571 E 1,369,934.229 EL=500.157 (IRON ROD)
STATION 31DA N 571,982.670 E 1,372,145.075 EL=482.35 (IRON ROD)
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- NO BURIAL GROUNDS OR CEMETERIES EXIST ON-SITE.
- STEEP SLOPES 25% OR GREATER WITH A CONTIGUOUS AREA OVER 20,000 SQ. FT. EXISTS ON SITE.
- THIS SITE IS ADJACENT TO BONNIE BRANCH ROAD, WHICH IS A SCENIC ROAD.
- NO WETLANDS OR STREAMS EXIST ON-SITE AS PER FIELD INVESTIGATION BY MBA IN JULY, 2003.
- STORMWATER MANAGEMENT HAS BEEN PROVIDED AS FOLLOWS:
-M/W: RAIN GARDENS AND GRASS CHANNELS WITH GRAVEL TRENCH.
-R/W: RAIN GARDENS AND GRASS CHANNELS WITH GRAVEL TRENCH.
-C/P: EXEMPT, WAIVED UNDER PLAT NO. 11370.
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- SOILS DATA BASED ON HOWARD COUNTY SOIL SURVEY DATED JULY 1968, SHEET 20.
- CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES ON SITE PRIOR TO COMMENCING CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/CONSTRUCTION INSPECTIONS DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
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HOWARD COUNTY BUREAU OF UTILITIES (410) 313-4900
AT&T CABLE LOCATION DIVISION (410) 393-3533
BALTIMORE GAS & ELECTRIC (410) 685-0123
STATE HIGHWAY ADMINISTRATION (410) 531-5533
HOWARD COUNTY DEPT. OF PUBLIC WORKS/ CONSTRUCTION INSPECTION DIVISION (410) 313-1880
- IN ACCORDANCE WITH SECTION 129 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WOODS, CHIMNEY, OR EXTERIOR STAIRWAYS MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- DRIVEWAY ENTRANCE SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARD R-6-06.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
A) WIDTH - 12 FEET (14 FEET SERVING MORE THAN ONE RESIDENT).
B) SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING.
C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM OF 45-FOOT TURNING RADIUS.
D) STRUCTURES (CULVERT/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (M25 LOADING).
E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
F) STRUCTURE CLEARANCES - MINIMUM 12 FEET
G) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE.
- THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES, AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- FOR FLAG OR PIPSTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE IS TO BE PROVIDED AT THE JUNCTION OF THE ROAD RIGHT-OF-WAY AND NOT INTO THE FLAG OR PIPSTEM LOT DRIVEWAY.
- DECLARATION OF MAINTENANCE OBLIGATION FOR USE-IN-COMMON DRIVEWAY RECORDED IN LIBER 3329, FOLIO 429.
- THIS PLAN IS SUBJECT TO WATER PETITION WP-91-197, WAIVING SECTION 16.116(c)(4) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO ALLOW GRADING AND REMOVAL OF VEGETATION COVER ON THE PROPERTY WITH EXISTING SLOPES OF 25% OR GREATER. THE PLANNING DIRECTOR GRANTED APPROVAL ON JULY 18, 1991, SUBJECT TO THE FOLLOWING CONDITIONS:
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2. COMPLIANCE WITH THE DEPARTMENT OF PUBLIC WORKS COMMENTS DATED JULY 3, 1991, AND THE HOWARD SOIL CONSERVATION DISTRICT COMMENTS DATED JULY 1, 1991.
3. THE APPLICANT SHALL UPGRADE THE EXISTING DRIVEWAY TO CONFORM WITH THE MINIMUM USE-IN-COMMON DRIVEWAY STANDARDS OF THE DEPARTMENT OF PUBLIC WORKS AND THE DEPARTMENT OF FIRE AND RESCUE SERVICES.
4. THE APPLICANT SHALL PROVIDE ON THE FINAL PLAT OF THIS PROPOSED SUBDIVISION A 40 FOOT WIDE USE-IN-COMMON EASEMENT FOR INGRESS AND EGRESS TO SERVE LOTS 1 TO 3. THE EASEMENT SHALL BE LOCATED WITHIN THE THE PIPSTEMS OF LOTS 2 AND 3.
5. THE APPLICANT SHALL DEPOSITE AND RECORD IN THE HOWARD COUNTY LAND RECORDS OFFICE A DECLARATION OF MAINTENANCE OBLIGATION AGREEMENT FOR THE USE-IN-COMMON ACCESS AREA WHICH SHALL SPECIFY THE PRIVATE MAINTENANCE RESPONSIBILITIES OF THE LOT OWNERS OF THE PROPOSED SUBDIVISION FOR THE PRIVATE DRIVEWAY.
6. THE APPLICANT SHALL PROVIDE A HOUSE NUMBER IDENTIFICATION SIGN WHERE THE USE-IN-COMMON DRIVEWAY ENTRANCE MEETS THE PUBLIC STREET IN ACCORDANCE WITH THE HOUSE NUMBERING SYSTEM AND SIGN DESIGN STANDARDS.
7. TO PERMIT REVIEW OF HOUSE DESIGN AND SITING TO ENSURE SITE CLEARING AND GRADING IS MINIMIZED, AN APPROVED SITE DEVELOPMENT PLAN WILL BE REQUIRED PRIOR TO APPLICATION FOR BUILDING PERMITS ON LOTS 1-3.
8. THIS PLAN IS SUBJECT TO THE 5TH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS EFFECTIVE OCTOBER 2, 2003.

OWNER
HARMONY BUILDERS
4228 COLUMBIA RD., ELLOCOTT CITY, MD 21042
(410) 461-0833

DEVELOPER'S CERTIFICATE
I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.
Christopher L. Brown 11/21/04
SIGNATURE OF DEVELOPER DATE
PRINTED NAME OF DEVELOPER



ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.
R. Jacob Hikmat 11/21/04
SIGNATURE OF ENGINEER DATE
PRINTED NAME OF ENGINEER

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.
Jim Myers 11/8/04
USFA - NATURAL RESOURCE CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
Jim R. Robertson 11/8/04
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Christina 11/14/04
CHIEF, DEVELOPMENT ENGINEERING DIVISION M13 DATE
Christina 11/15/04
CHIEF, DIVISION OF LAND DEVELOPMENT DATE
James D. Laughlin 11/15/04
DIRECTOR DATE

INDEX OF DRAWINGS

NO.	DESCRIPTION
1	SITE DEVELOPMENT, LANDSCAPE & SEDIMENT CONTROL PLAN
2	SEDIMENT CONTROL NOTES AND DETAILS

LANDSCAPE REQUIREMENT PLANTING SCHEDULE

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
15	(Symbol)	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	2 1/2" - 3" CAL.
15	(Symbol)	SHADE TREES		

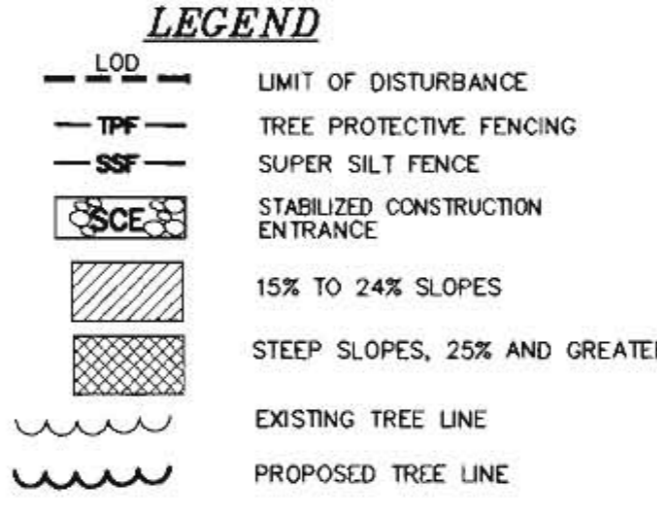
ADDRESS CHART

LOT/PARCEL NO.	STREET ADDRESS
LOT 4	4845 BONNIE BRANCH ROAD
LOT 5	4841 BONNIE BRANCH ROAD

SCHEDULE A: PERIMETER LANDSCAPED EDGE

CATEGORY	ADJACENT TO PERIMETER PROPERTIES					TOTAL
	A (PERIMETER 1)	A (PERIMETER 2)	A (PERIMETER 3)	A (PERIMETER 4)	A (PERIMETER 5)	
LANDSCAPE TYPE	492.88 LF	97.86 LF	475.19 LF	190.68 LF	125.78 LF	
LINEAR FEET OF PERIMETER						
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	YES, 113 LF OF EX. TREES TO REMAIN	YES, 97.86 LF OF EX. TREES TO REMAIN	YES, 173 LF OF EX. TREES TO REMAIN	YES, 45 LF OF EX. TREES TO REMAIN	N/A	
NUMBER OF PLANTS REQUIRED	6 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	0 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	5 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	2 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	2 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	15 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS
NUMBER OF PLANTS PROVIDED	6 SHADE TREES 0 EVERGREEN TREES 0 OTHER TREES (2-1 SUBSTITUTION)	0 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES	5 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES	2 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES	2 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES	15 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES

DEVELOPER'S/OWNER'S CERTIFICATE
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF NOTICE, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
Christopher L. Brown 11/21/04
NAME DATE



PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL #
TUCKER PROPERTY	N/A	LOTS 4 & 5
PLAT # OR L/F	BLOCK #	ZONE
11376	9	R-20
TAX MAP	ELEC. DIST.	CENSUS TRACT
31	31	6011.01
WATER CODE	SEWER CODE	
G-01	1253400	

PROPOSED IMPROVEMENTS:
CONSTRUCT HOUSE, ASSOCIATED GRADING, AND SEDIMENT CONTROL.

NOV 2003
03-024
M/M
1" = 30'

NOV 2003
03-024
M/M
1" = 30'

TUCKER PROPERTY
LOTS 4 & 5
TAX MAP 31, PARCEL 336
SITE DEVELOPMENT PLAN
FIRST ELECTION DISTRICT
HOWARD COUNTY

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
5072 Dorsy Hall Drive, Suite 202, Ellicott City, Maryland 21042
(410) 997-0296 Fax: (301) 521-5521 Res: (410) 997-0298 Fax

2/16/06
 THE PURPOSE OF THIS REVIEW IS TO CHANGE THE ORIGINAL INFORMATION TO REFLECT THE REVISIONS IN THIS SUBMISSION.
 NO. 1

TUCKER PROPERTY
 LOTS 4 & 5
 TAX MAP 31, PARCEL 336
 HOWARD COUNTY
 FIRST ELECTION DISTRICT
 SEDIMENT CONTROL NOTES AND DETAILS

MILDENBERG, BOENDER & ASSOC., INC.
 Engineers Planners Surveyors
 5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042
 (410) 997-0286 Fax: (410) 997-5521 Wash.

HOWARD SOIL CONSERVATION DISTRICT

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LEIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

- PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ.FT.) AND 100 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS. PER ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS./1000 SQ.FT.).
- ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ.FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23 LBS./1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL.

SEEDING - FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS. PER ACRE 1.4 LBS./1000 SQ.FT. OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS. PER ACRE 3.0 LBS./1000 SQ.FT. OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY: OPTION (1) - 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) - USE SOO. OPTION (3) - SEED WITH 60 LBS./ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

MULCHING - APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ.FT.) OF UNROTTED SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL PER ACRE (5 GAL/1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ.FT.) FOR ANCHORING.

MAINTENANCE - INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, FOR NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ.FT.)

SEEDING - FOR PERIODS MARCH 1 THRU APRIL 30, AND FROM AUGUST 15 THRU OCTOBER 15, SEED WITH 2-1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS./1000 SQ.FT.) FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS. PER ACRE OF WHEAT (3.2 LBS./1000 SQ.FT.). FOR THE PERIODS OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOO.

MULCHING - APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ.FT.) OF UNROTTED WEED FREE SMALL GRASS STRAW IMMEDIATELY AFTER APPLICATION IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL PER ACRE (5 GAL/1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GAL PER ACRE (8 GAL/1000 SQ.FT.) FOR ANCHORING.

REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL RATES AND METHODS NOT COVERED.

STANDARD SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION. (313-1855).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERMETER SEDIMENT CONTROL STRUCTURES, B) 14 CALENDAR DAYS FOR ALL SLOPES GREATER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC.51), SOO (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC.52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITSOR FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:

TOTAL AREA OF SITE:	1.56	ACRES
AREA DISTURBED:	1.08	ACRES
AREA TO BE ROOFED OR PAVED:	0.25	ACRES
AREA TO BE VEGETATIVELY STABILIZED:	0.48	ACRES
TOTAL CUT:	330	CU. YDS.
TOTAL FILL:	330	CU. YDS.
TOTAL WASTE/BORROW AREA LOCATION:	N/A	
- THESE QUANTITIES ARE FOR PERMIT PURPOSES ONLY. CONTRACTOR IS REQUIRED TO PROVIDE HIS OWN QUANTITY MEASUREMENTS.
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN BE BACK FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

STANDARD AND SPECIFICATIONS FOR TOPSOIL

DEFINITION
 PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE
 TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW pH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE APPLIES
 I. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:

- THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
- THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
- THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
- THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

II. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

- TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA - SOCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.
- TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
 - TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE OF A CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CONDEMS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN DIAMETER.
 - TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONSON GRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
 - WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.
- FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:
 - PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.
 - FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:
 - ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:
 - pH FOR TOPSOILS SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A pH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PERFORMED TO RAISE THE pH TO 6.5 OR HIGHER.
 - ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT.
 - TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION SHALL NOT BE USED.
 - NO SOO OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.
 - NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.
 - PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.
- TOPSOIL APPLICATION
 - WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.
 - GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBEIT 4" - 6" HIGHER IN ELEVATION.
 - TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" TO 8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
 - TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.
- ALTERNATIVE FOR PERMANENT SEEDING - INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW:
 - COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
 - COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS WHO ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06.
 - COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 1.5 PERCENT PHOSPHORUS, AND 0.2 PERCENT POTASSIUM AND HAVE A pH OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE.
 - COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQUARE FEET.
 - COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT THE RATE OF 4 LB/1,000 SQUARE FEET, AND 1/3 THE NORMAL LIME APPLICATION RATE.

REFERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SODDING. MD-V, PUB. #1. COOPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTES. REVISED 1973.

TEMPORARY DUST CONTROL MEASURES

- MULCHES - SEE STANDARDS FOR VEGETATIVE STABILIZATION WITH MULCHES ONLY. MULCH SHOULD BE CRIMPED OR TACKED TO PREVENT BLOWING.
- VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER.
- TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS APICED ABOUT 12" APART, SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
- IRRIGATION - THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED. AT NO TIME SHOULD THE SITE BE IRRIGATED TO THE POINT THAT RUNOFF BEGINS TO FLOW.
- BARRIERS - SOLID BOARD FENCES, SILT FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVAL OF ABOUT 10 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING SOIL BLOWING.
- CALCIUM CHLORIDE - APPLY AT RATES THAT WILL KEEP SURFACE MOIST. MAY NEED RETREATMENT.

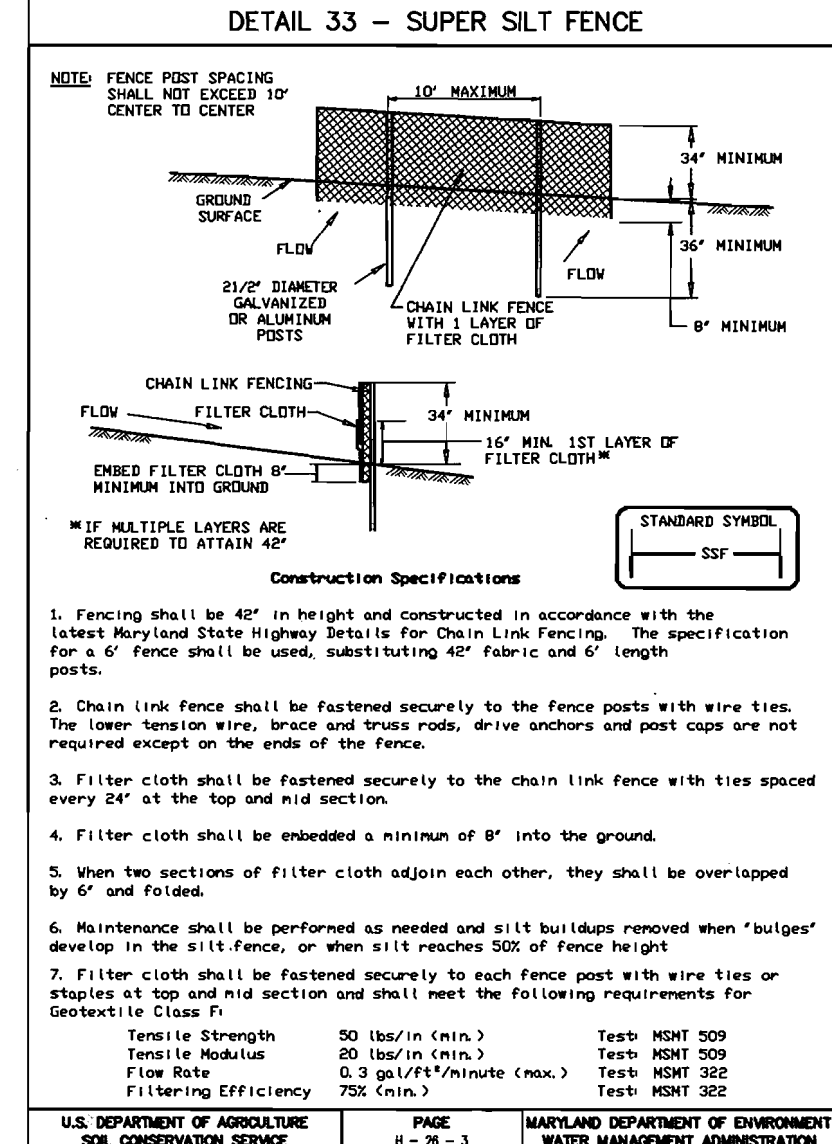
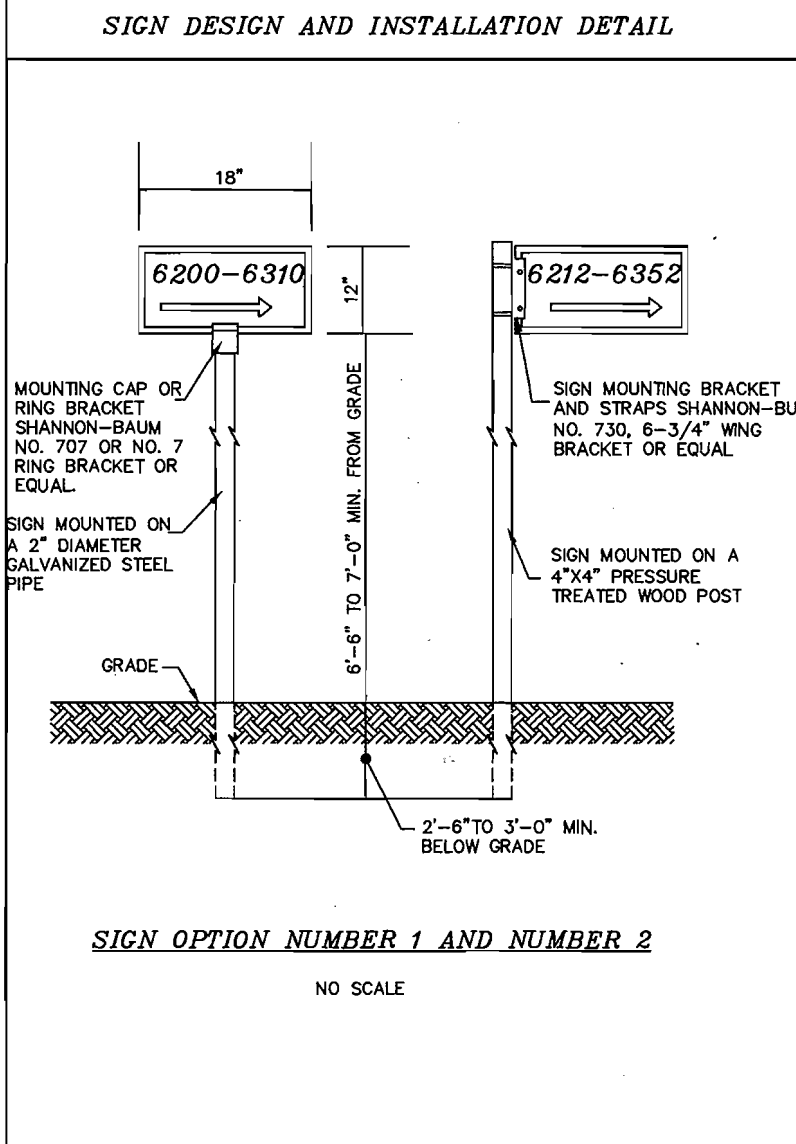
SEQUENCE OF CONSTRUCTION

- OBTAIN GRADING PERMIT. (ONE DAY)
- INSTALL TREE PROTECTIVE FENCING. (ONE DAY)
- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AT LOCATION SHOWN. (ONE DAY)
- CONSTRUCT SILT FENCE (TWO DAYS)
- COMPLETE CONSTRUCTION AS SHOWN. (20 DAYS)
- COMPLETE FINE GRADING OF SITE TO GRADES INDICATED. (TWO DAYS)
- SEED AND MULCH ALL REMAINING DISTURBED AREAS. (TWO DAYS)
- UPON STABILIZATION OF THE SITE AND WITH THE APPROVAL OF THE INSPECTION AGENCY, REMOVE SEDIMENT CONTROL DEVICES AND STABILIZE REMAINING DISTURBED AREAS. (ONE DAY)

PLANT LIST

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
1	☉	PLATANUS X ACERIFOLIA	LONDON PLANE TREE	2-1/2" - 3" CAL.
1	☉	ILEX GLABRA	INK BERRY	2' - 3' HT.
6	☉	LOBELIA CARDINALIS	CARDINAL FLOWER	1 GAL. CONTAINER
4	☉	DRYOPTERIS SP.	WOOD FERN	1 GAL. CONTAINER
3	☉	ASTER NOVAE-ANGIAE	NEW ENGLAND ASTER	1 GAL. CONTAINER

TOTAL: 13 PERENNIALS, 1 SHRUB, 1 TREE (PER EACH RAIN GARDEN)



SUPER SILT FENCE

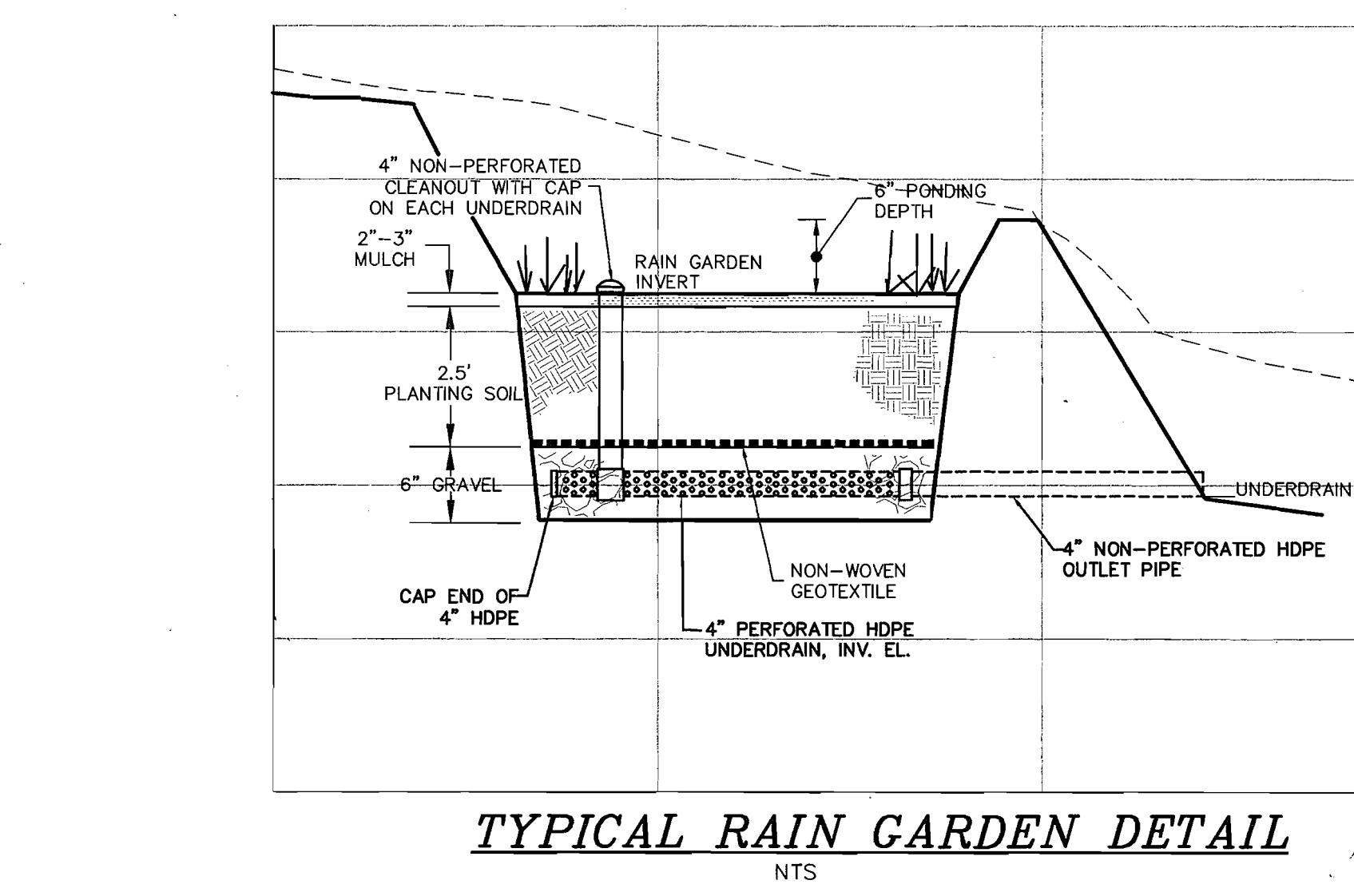
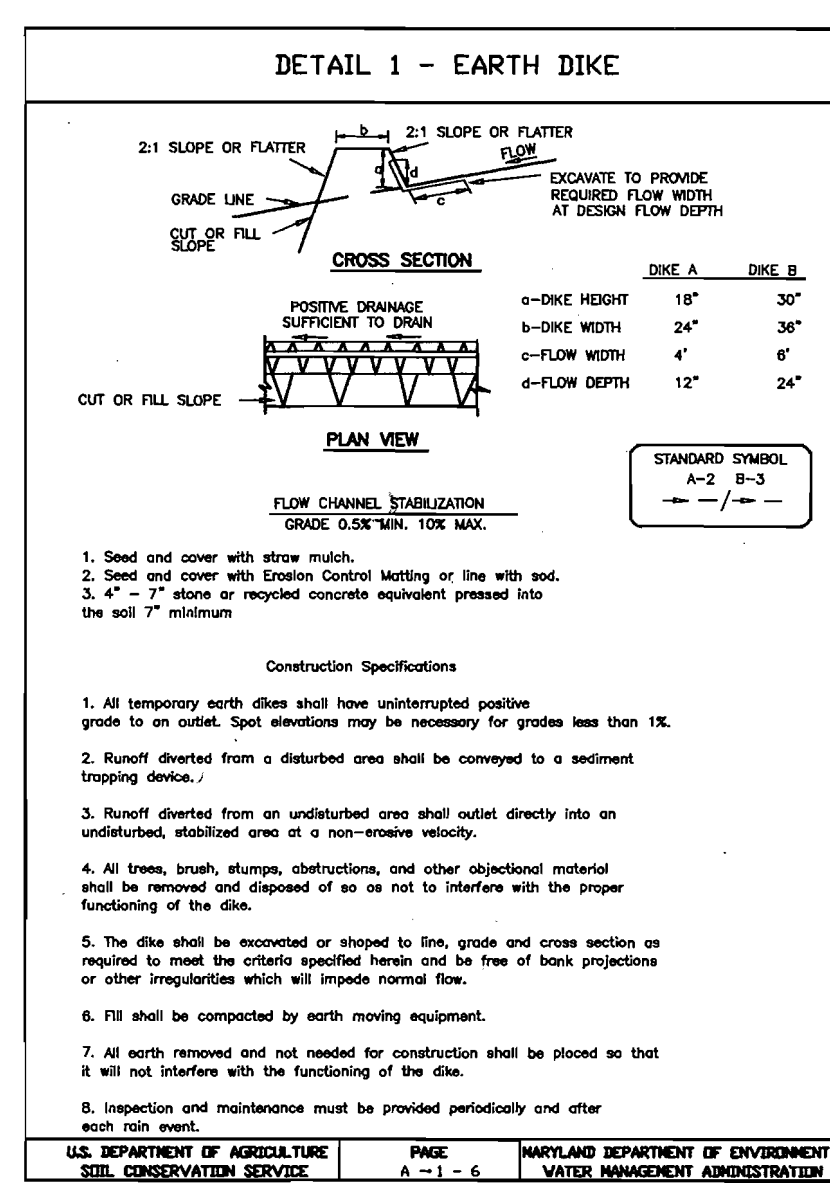
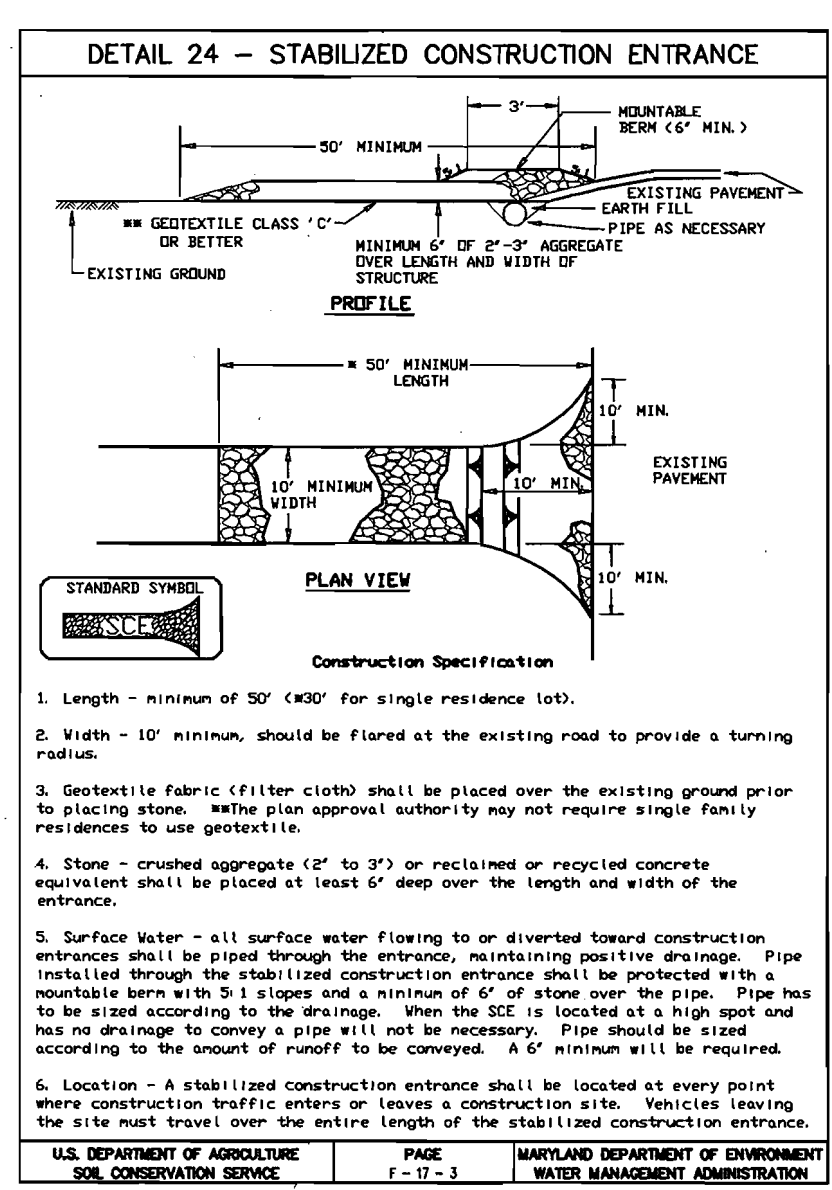
Design Criteria

Slope	Slope Steepness	Slope Length (Maximum)	Silt Fence Length (Maximum)
0 - 10%	0 - 10:1	Unlimited	Unlimited
10 - 20%	10:1 - 5:1	200 Feet	1,500 Feet
20 - 33%	5:1 - 3:1	100 Feet	1,000 Feet
33 - 50%	3:1 - 2:1	100 Feet	500 Feet
50% +	2:1 +	50 Feet	250 Feet

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE # 28-33 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

THE FOLLOWING STANDARD SIGN DESIGN SPECIFICATIONS SHALL APPLY:

- THE SIGN SIZE SHALL BE 12"x18".
- THE SIGN MATERIAL SHALL BE 0.080 GAUGE THICKNESS ANODIZED ALUMINUM.
- THE SIGN SHALL HAVE A GREEN BACKGROUND WITH 3" HIGH WHITE REFLECTIVE NUMBERS AND ARROW WITH A WHITE REFLECTIVE BORDER.
- WHERE A PRIVATE ROAD NAME IS IN USE OR PART OF A PRIVATE HOMEOWNER'S ARTICLES OF INCORPORATION AGREEMENT, THE SIGN SIZE WILL BE ENLARGED TO ACCOMMODATE THE NECESSARY LETTERING BUT REMAIN PROPORTIONAL TO THE ABOVE DESIGN LIMITS.
- THE SIGN WILL BE INSTALLED WITHIN THE COMMON DRIVEWAY EASEMENT AREA AS NOTED ON THE FINAL PLAN.
- ADDRESS NUMBER IDENTIFICATION SIGNS ARE TO BE PROVIDED UNDER THE TENETS OF THE HOMEOWNER'S ASSOCIATION INCORPORATION OR A PROPERTY MANAGEMENT COMPANY FOR INSTALLATION AND MAINTENANCE IN ACCORDANCE WITH THE DEPARTMENT OF PLANNING AND ZONING ADDRESS NUMBERING SYSTEM AND PER SECTION 3.50(a) OF THE HOWARD COUNTY CODE-PUBLIC SIGNS, MAINTENANCE/REPAIR AND REPLACEMENT OF THE ADDRESS NUMBER DIRECTIONAL SIGNS WILL BE THE RESPONSIBILITY OF THE HOMEOWNER'S ASSOCIATION OR A PROPERTY MANAGEMENT COMPANY.
- COMPLIANCE REGARDING THE INSTALLATION OF THE NEW ADDRESS NUMBER DIRECTIONAL SIGNS WILL BE ENFORCED BY THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS AT THE TIME OF FINAL APPROVAL FOR ISSUANCE OF THE USE AND OCCUPANCY PERMITS.



RAINGARDEN INFORMATION

RAINGARDEN	LOCATION	DIMENSIONS	BOTTOM OF RAINGARDEN ELEVATION	PONDING DEPTH	DEPTH OF GRAVEL	UNDERDRAIN INVERT	WEIR ELEVATION
1	NORTH CORNER	5'X10'	395.00	0.5'	2.5'	393.00	395.50
2	SOUTH CORNER	5'X10'	399.00	0.5'	2.5'	397.00	399.50
3	NORTH CORNER	5'X10'	415.50	0.5'	2.5'	413.50	416.00
4	SOUTH CORNER	5'X10'	420.50	0.5'	2.5'	418.50	421.00
5	SOUTH CORNER	5'X10'	416.50	0.5'	2.5'	414.50	417.00

OWNER
 HARMONY BUILDERS
 4228 COLUMBIA RD., ELLICOTT CITY, MD 21042
 (410) 461-0833

DEVELOPERS CERTIFICATE
 I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature of Developer: *Chris M. Rowan* 1/2/04
 Signature of Engineer: *R. Jacob Hikmat* 1/2/04

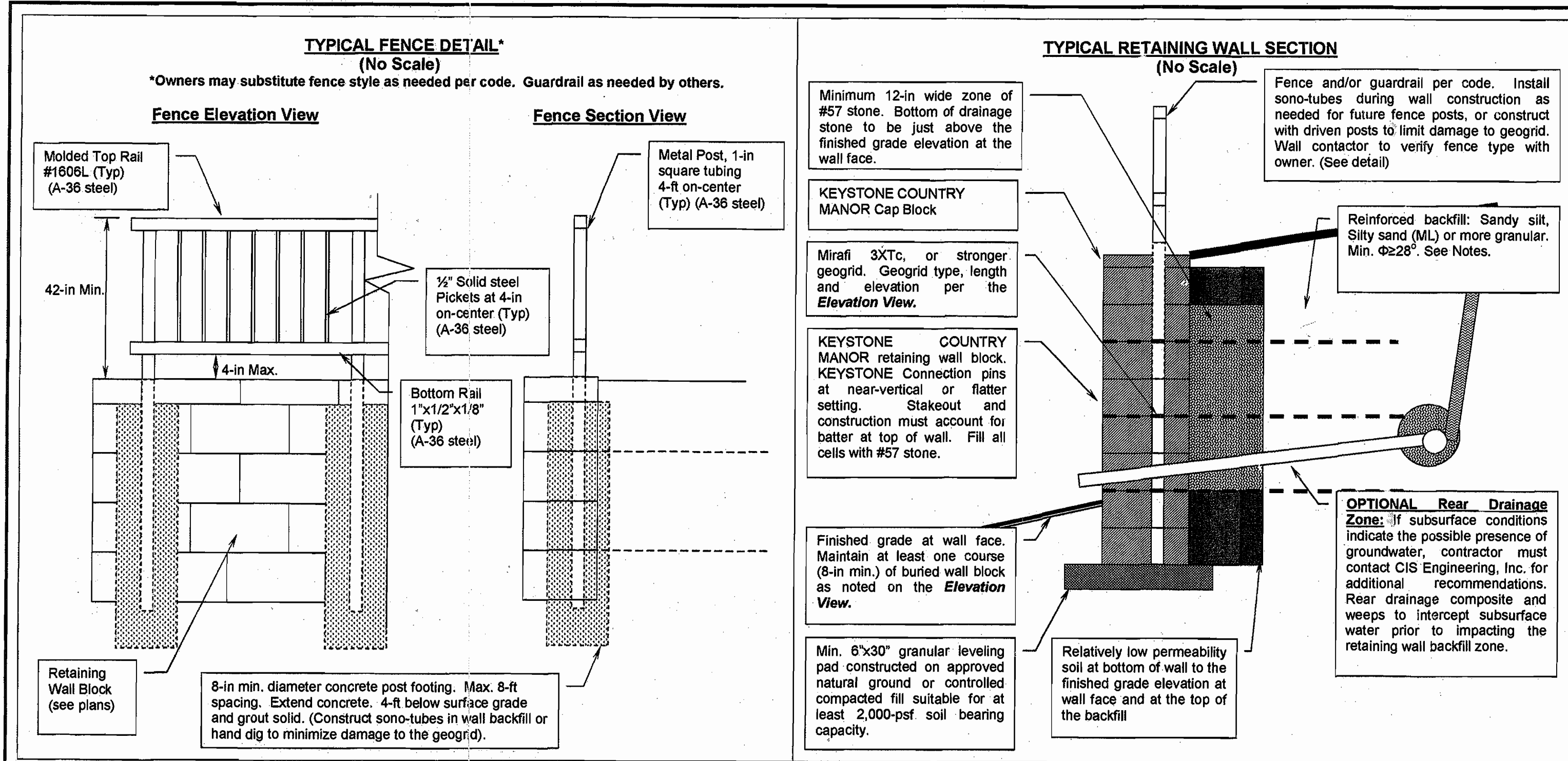
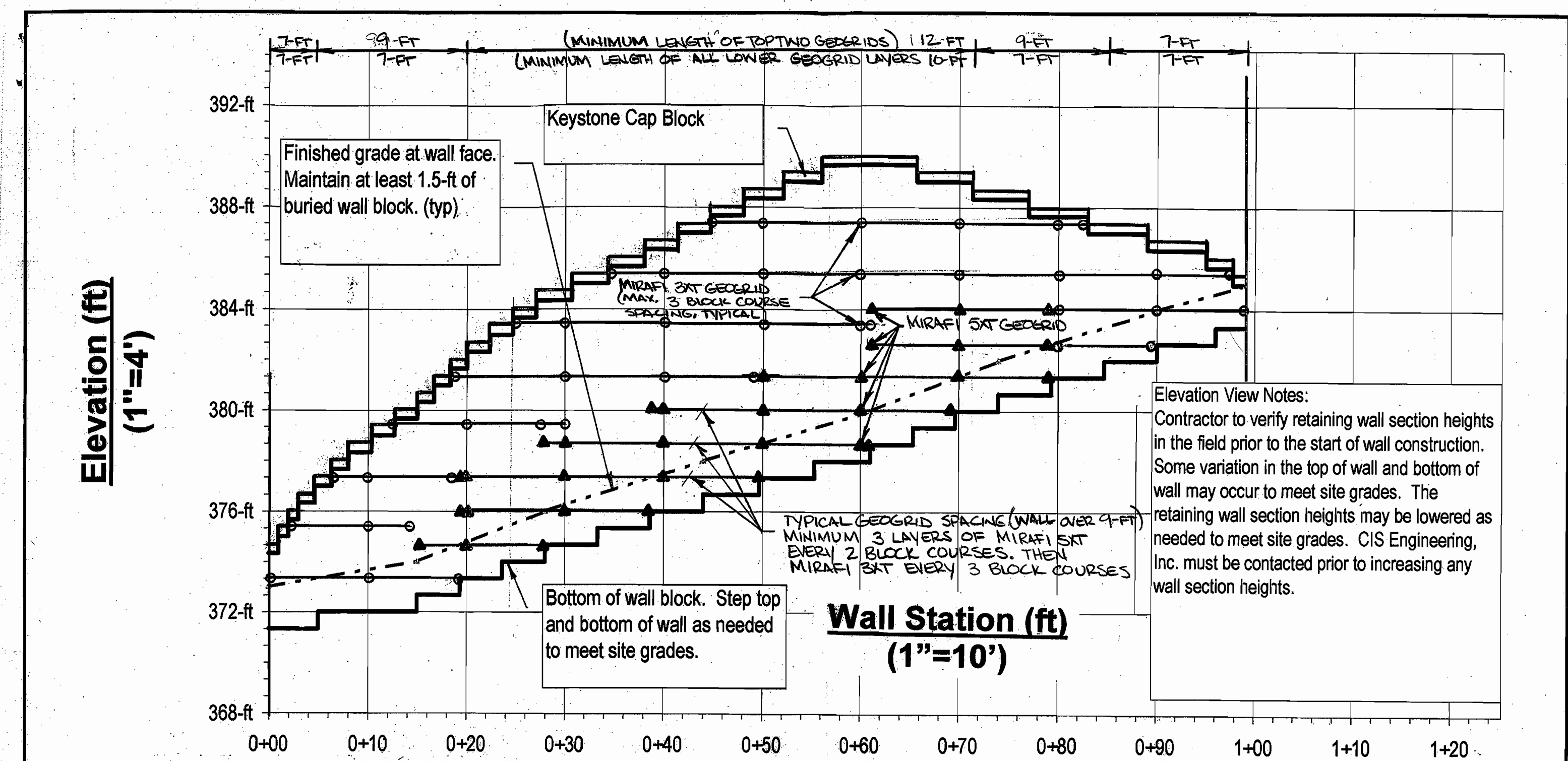
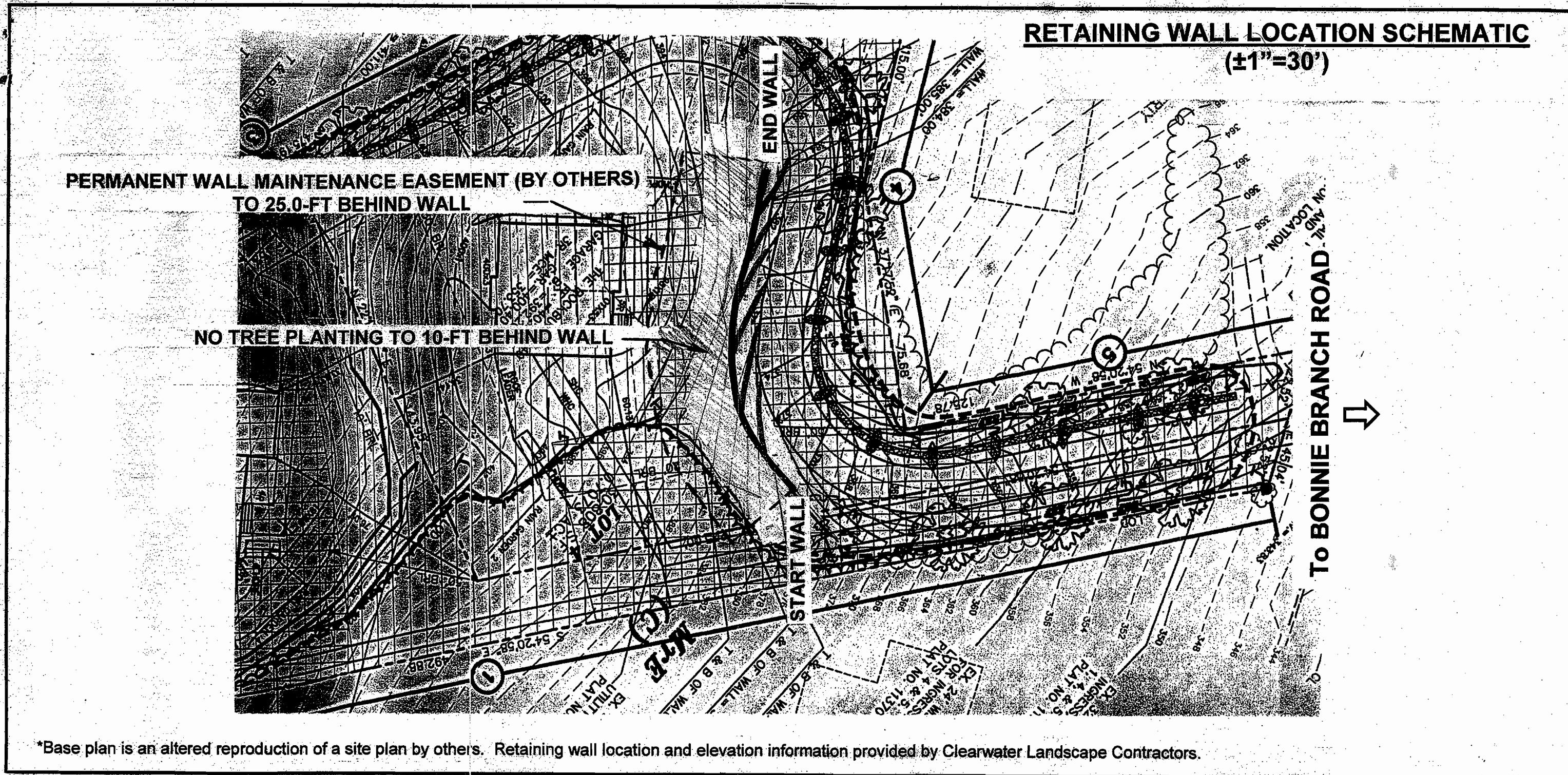
ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature of Engineer: *R. Jacob Hikmat* 1/2/04
 Signature of Chief of Engineering Division: *Chris Hanada* 1/2/04
 Signature of Chief of Land Development: *Chris Hanada* 1/2/04
 Signature of Director: *Chris Hanada* 1/2/04

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

Signature: *John M. Myers* 1/8/04
 Signature: *John R. Robertson* 1/8/04

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Signature: *Chris Hanada* 1/4/04
 Signature: *Chris Hanada* 1/16/04
 Signature: *Chris Hanada* 1/16/04



Part A1: General

A1.00 This plan and attached notes and specifications applies only to the construction of the referenced Keystone landscape retaining wall to be installed adjacent to the roadway at Lot 4 of the Tucker Property project site in Montgomery County, Maryland.

A1.01 Description: Work includes furnishing and installing concrete modular block retaining wall units, preparing foundation soil, furnishing and installing leveling pad, unit fill and backfill, to the lines and grades shown on the construction drawings and as specified herein. Refer to the Site Plans for actual wall locations and grades.

Part A2: Products

A2.01

- Modular wall units shall be KEYSTONE STANDARD (18-IN) Retaining Wall Units per ASTM C-80 and ASTM C-140.
- Connecting pins shall be 1/2" fiberglass reinforcement rods supplied by the unit manufacturer, and shall have a minimum flexural strength of 128,000 psi and short beam shear of 8,400 psi.
- Material shall conform to ASTM 2339 and shall be supplied by the KEYSTONE unit supplier.
- Material shall consist of compacted crushed stone or unreinforced concrete as shown on the construction drawing.
- Fill for units shall be #57 stone or gravel.

A2.02 Backfill

- Retaining wall backfill material may be site-excavated soils when approved by CIS Engineering, Inc. or otherwise specified in the design drawings. Suitable wall backfill materials will meet the following criteria:
 - USCS ML, SM or more granular
 - Liquid Limit ≤ 40
 - Plasticity Index ≤ 12
 - Standard Proctor Maximum Dry Density ≥ 108 pcf
 - Internal Friction Angle (φ) ≥ 30°
 Unsuitable soils for backfill (clays, plastic clays, organic soils, rock fragments larger than 4.0" diameter or materials not meeting the previously noted criteria) shall not be used in the backfill or in the reinforced soil mass unless approved by CIS Engineering, Inc. The wall also may be backfilled with open-graded stone wrapped in Mirafli 140N geotextile filter.
- Backfill materials must be less than 2.0% over the optimum moisture for Compaction in accordance with ASTM D-698, the Standard Proctor test.
- Open-graded #57 or #2 stone may be used for backfill instead of soil. The stone backfill should be wrapped on the top and sides with Mirafli 140N geotextile filter. The stone should be compacted with the grading equipment.
- The STONE refers to open-graded aggregate. Equivalent sized GRAVEL may be substituted for STONE throughout the plans.

A2.03 Geogrid

Structural Geogrid - a structural geogrid formed by a regular network of integrally connected tensile elements with apertures of sufficient size to allow interlock with surrounding soil, rock, or earth and function primarily as reinforcement. The Structural Geogrid shall consist of Mirafli 3XT and 3XT or stronger, as noted on the plans unless otherwise approved by CIS Engineering, Inc.

Part A3: Execution

A3.01 Excavation

Unless otherwise specified herein, the retaining wall shall be installed in general accordance with the manufacturer's construction manual.

Retaining Wall Design Information

Retained Soil Unit Weight (γ):	120 pcf	Average Internal Angle of Soil Friction (φ):	30°
Wall Backfill Unit Weight (γ):	120 pcf	Avg. Int. Angle of #57 Stone Friction (φ):	38°
Uniform Vertical Dead Load:	0 psf	Soil Cohesion (c):	0 psf
Uniform Traffic Live Load:	50 psf	Foundation Soil Bearing Capacity:	3,000 psf

External Stability		Local Stability	
F.S. Sliding (min.)	1.5	F.S. Shear (min.)	1.5
F.S. Overturning (min.)	1.5	F.S. Bending (min.)	1.5
F.S. Bearing (min.)	2.0		
Global Stability		Internal Stability	
F.S. Circular Failure (min.)	1.25	F.S. Uncertainty (min.)	1.5
		F.S. Pullout (min.)	1.5

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 2/2/06 DATE

CHIEF, DEVELOPMENT ENGINEERING DIVISION

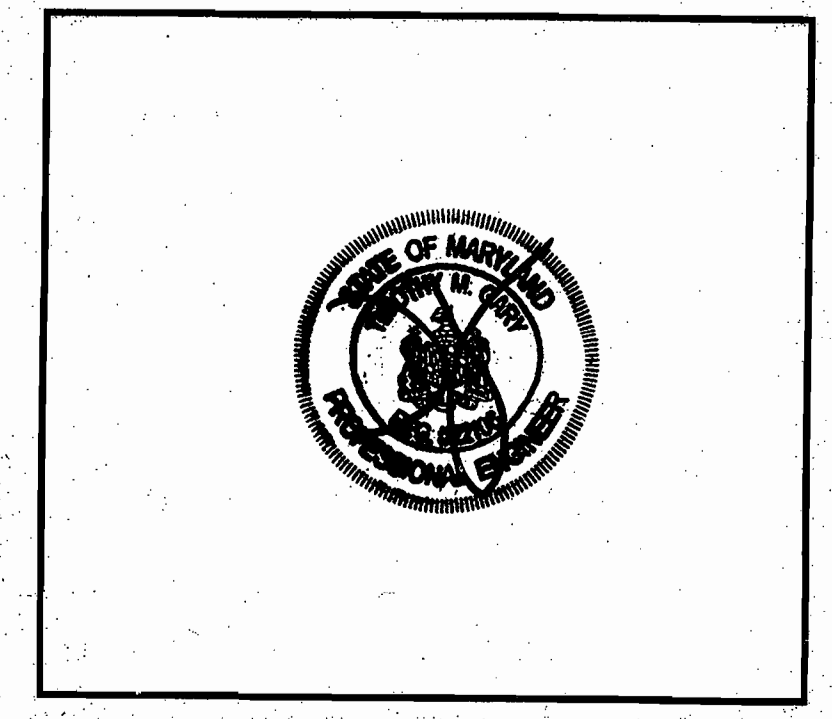
[Signature] 2/2/06 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 2/2/06 DATE

DIRECTOR

- #### ADDITIONAL HOWARD COUNTY NOTES
- Retaining walls shall only be constructed under the observation of a Registered Professional Engineer and a (NICET, WACEL or equivalent) certified soils technician.
 - The required bearing pressure beneath the footing of the wall shall be verified in the field by a certified soils technician. Testing documentation must be provided to the Howard County Inspector prior to the start of construction. The required test procedure shall be the Dynamic Cone Penetrometer (DCP) Test ASTM STP-399.
 - The suitability of fill material shall be confirmed by the on-site soils technician. Each eight inch lift must be compacted to a minimum of 95% of the Standard Proctor maximum dry density and the testing report shall be made available to the Howard County Inspector upon completion of construction.
 - For "CRITICAL" walls, one soil boring is required every 100-ft along the length of the wall, copies of the boring reports shall be provided to the Howard County Inspector prior to the start of construction.



CIS ENGINEERING, INC.

31 Sycolin RD, S.E. Leesburg, VA 20175
Phone: (703) 669-9052 Fax: (703) 669-9710

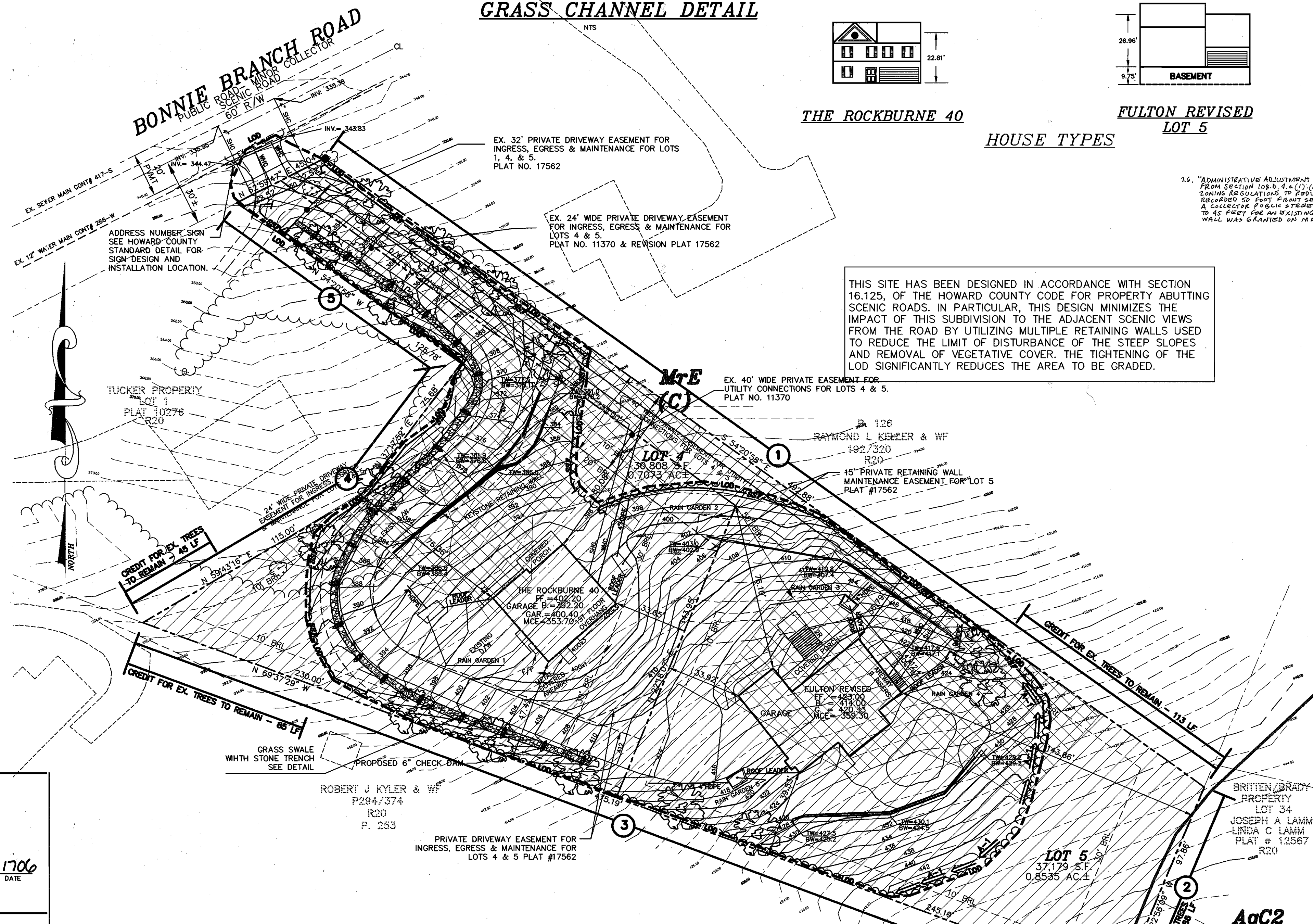
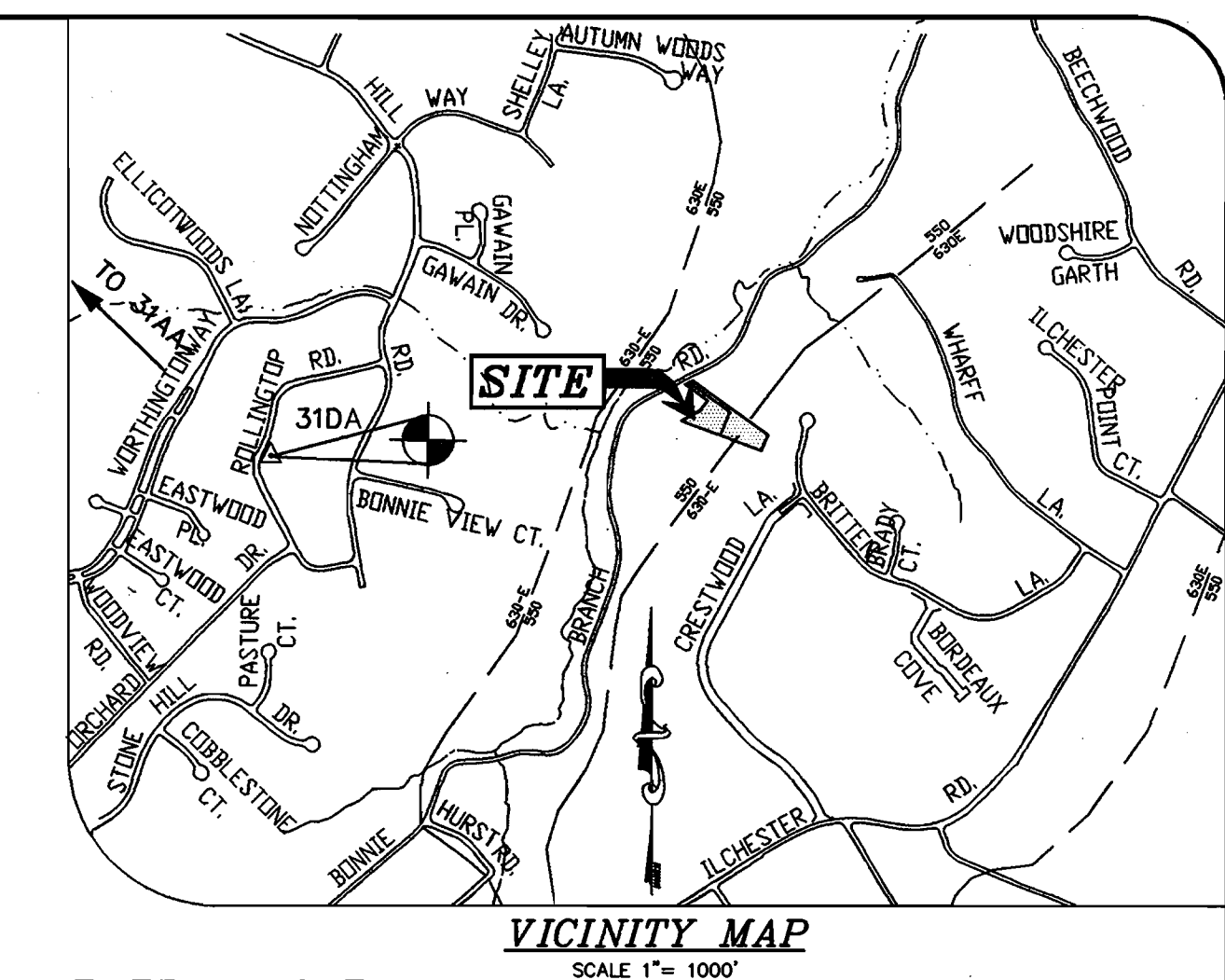
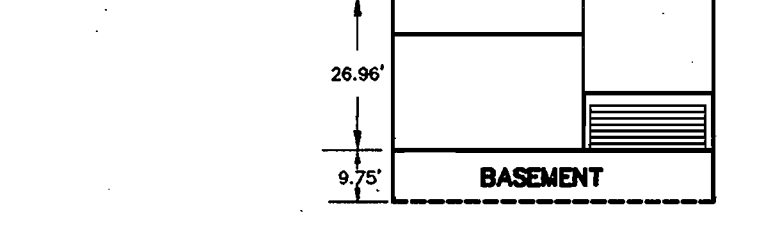
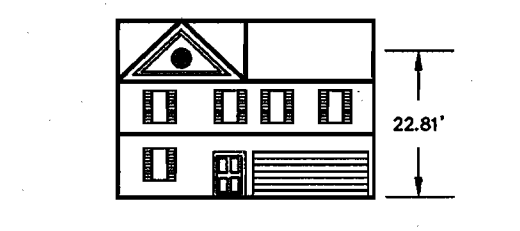
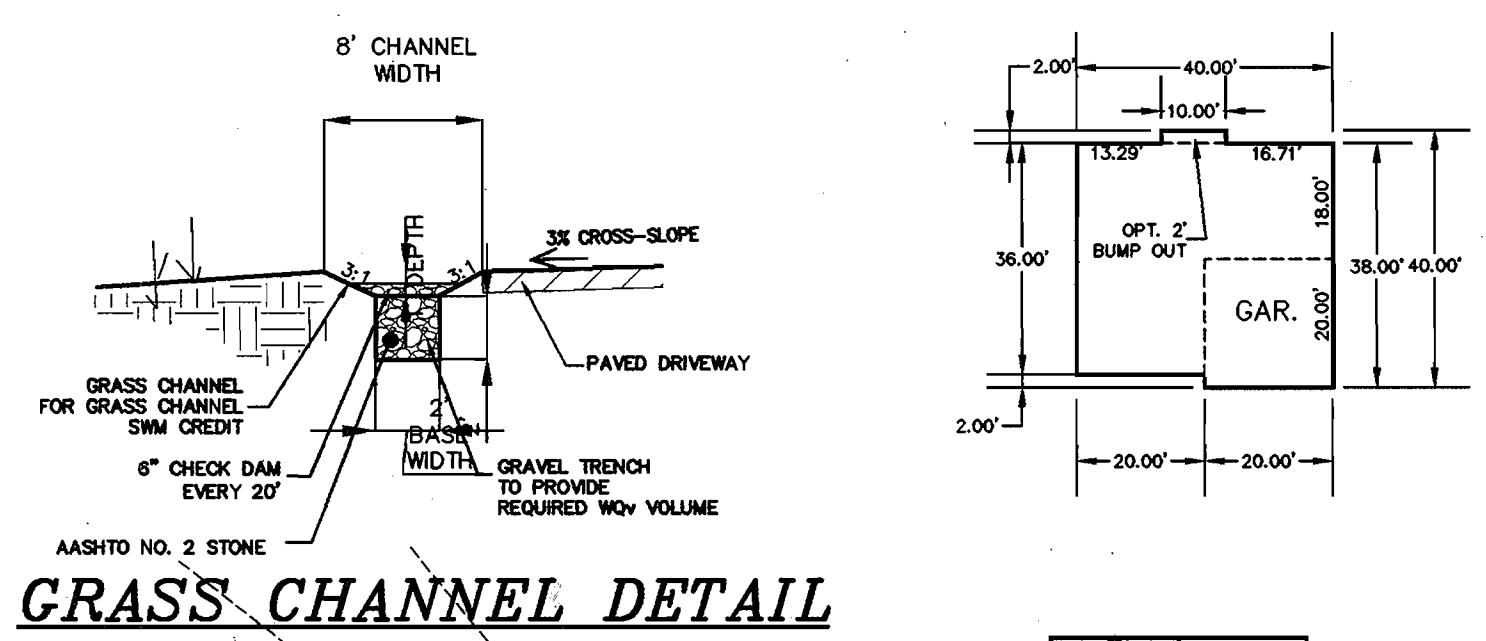
**TUCKER PROPERTY - LOT 4
4845 BONNIE BRANCH ROAD
ELLICOTT CITY, MARYLAND 21043**

LANDSCAPE RETAINING WALL

Date: June 3, 2004 By: Tim Gary, P.E. Scale: As Shown Page: 1 of 1

INDEX OF DRAWINGS	
NO.	DESCRIPTION
1	SITE DEVELOPMENT, LANDSCAPE & SEDIMENT CONTROL PLAN
2	EROSION AND SEDIMENT CONTROL NOTES AND DETAILS
3	LANDSCAPE RETAINING WALL - LOT 4
4	LANDSCAPE RETAINING WALL - LOT 5

SOILS DESCRIPTION	
SYMBOL	DESCRIPTION
AgC2	AURA GRAVELLY LOAM, 5% TO 10% SLOPES, MODERATELY ERODED - TYPE B
MfC	MONTALTO AND RELAY SOILS, 15% TO 45% SLOPES - TYPE C



project	date	description	revision
03-024	DEC 2005	engineering	approval
03-024	11/02/05	illustration	scale
		MNT	1" = 30'

THIS SHEET SUBSTITUTION REDLINE IS DUE TO THE AMOUNT OF INFORMATION THAT CHANGED. THE PROPOSED GRADING WAS CHANGED, RETAINING WALL DESIGN WAS CHANGED, LOCATION OF THE DRIVEWAY AND GRASS CHANNEL MOVED SLIGHTLY, LIMIT OF DISTURBANCE WAS CHANGED, SUPER SILT FENCE LOCATION WAS MOVED, A PRIVATE DRIVEWAY EASEMENT AND A PRIVATE RETAINING WALL EASEMENT WERE ADDED WITH PLAT # 17562.

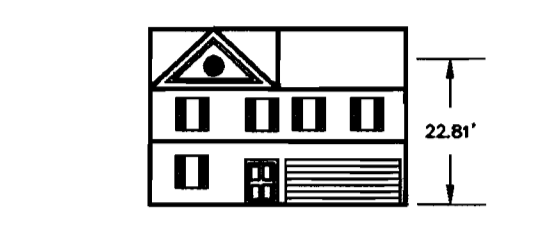
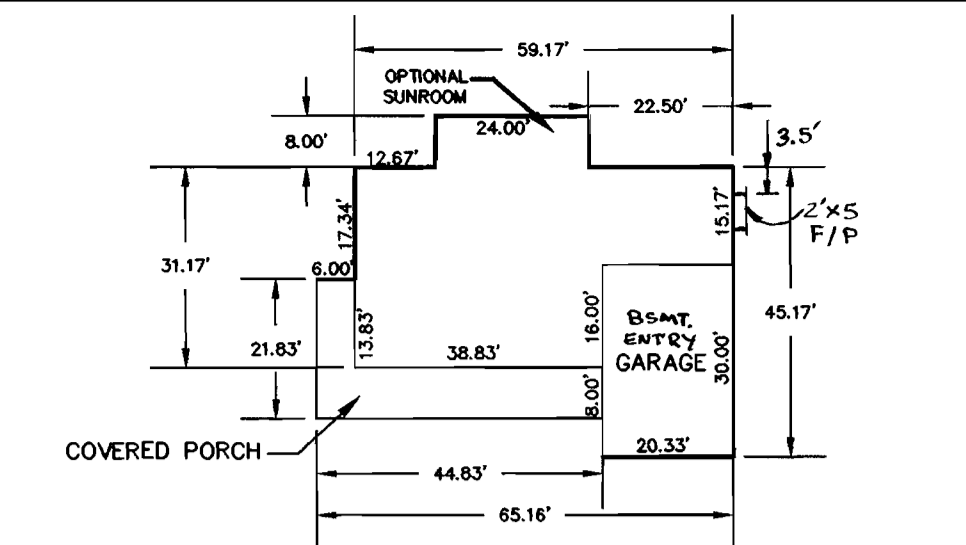
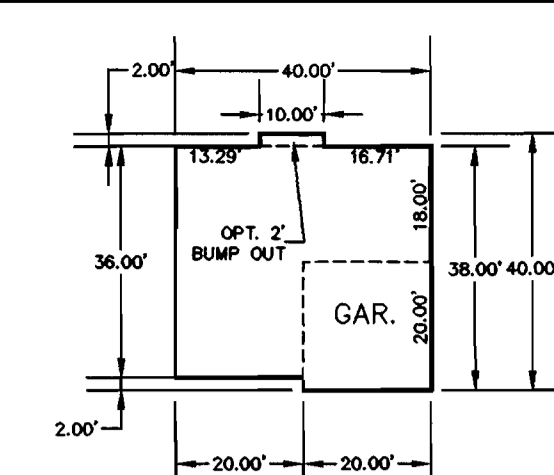
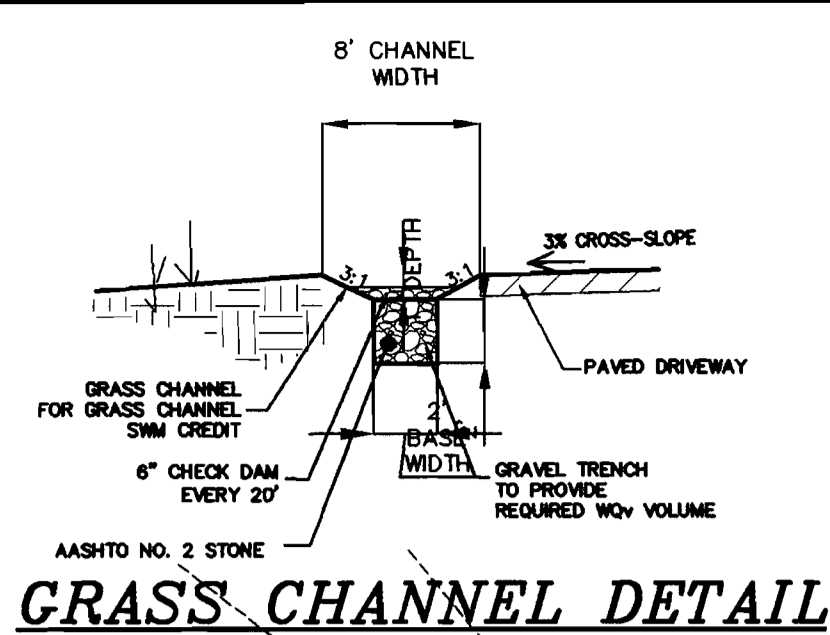
HOWARD COUNTY
FIRST ELECTION DISTRICT

TUCKER PROPERTY
LOTS 4 & 5
TAX MAP 31, PARCEL 336
REVISED SITE DEVELOPMENT PLAN

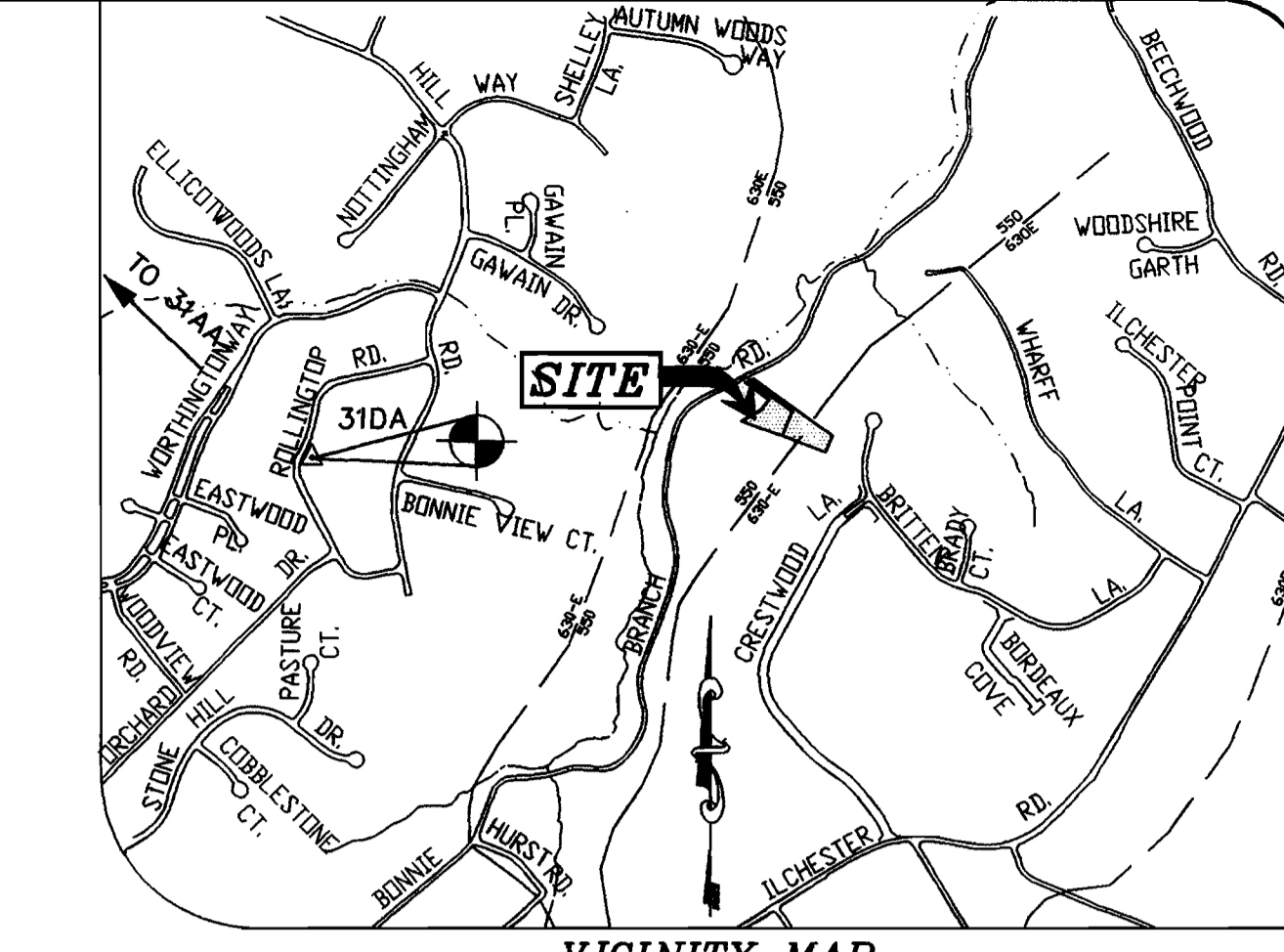
MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland, 21042
(410) 997-0296 Fax: (410) 997-0298 Fax.

NO.	DESCRIPTION
1	SITE DEVELOPMENT, LANDSCAPE & SEDIMENT CONTROL PLAN
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SOILS DESCRIPTION	
SYMBOL	DESCRIPTION
AgC2	AURA GRAVELLY LOAM, 5% TO 10% SLOPES, MODERATELY ERODED -- TYPE B
MfE	MONTALTO AND RELAY SOILS, 15% TO 45% SLOPES--TYPE C



HOUSE TYPES



GENERAL NOTES

- THE SUBJECT PROPERTY IS ZONED R-20 PER THE 10/18/93 COMPREHENSIVE ZONING PLAN.
- PROJECT BACKGROUND: TAX MAP: 31, PARCEL: 336 LOTS: 4 & 5. ELECTION DISTRICT: FIRST. ZONING: R-20. DEED REFERENCE: TOTAL TRACT AREA: 67,887 SQ. FT. OR 1.56 AC.±. NUMBER OF PROPOSED BUILDABLE LOTS: 2. PROPOSED USE: SINGLE FAMILY DETACHED. DEED REFERENCE: 29-22-24-18-31-197, F-95-12, AA-05-049.
- TOPOGRAPHY SHOWN HEREON IS BASED ON A FIELD RUN SURVEY BY MILDENBERG, BOENDER & ASSOC., INC. IN JUNE 2003.
- COORDINATES REFERENCED ARE BASED ON THE NAD 83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEOMETRIC CONTROL. STATION 31AA N 573,998.571 E 1,369,934.229 EL=500.157 (IRON ROD). STATION 31DA N 571,982.670 E 1,372,145.075 EL=482.35 (IRON ROD).
- THIS SUBDIVISION IS IN THE METROPOLITAN DISTRICT, PUBLIC WATER AND SEWER WILL BE UTILIZED. LOTS 4 & 5 WILL BE SERVED UNDER CONTRACT # 417-S & 266-W.
- NO BURIAL GROUNDS OR CEMETERIES EXIST ON-SITE.
- STEEP SLOPES 25% OR GREATER WITH A CONTIGUOUS AREA OVER 20,000 SQ.FT. EXISTS ON SITE.
- THIS SITE IS ADJACENT TO BONNIE BRANCH ROAD, WHICH IS A SCENIC ROAD.
- NO WETLANDS OR STREAMS EXIST ON-SITE AS PER FIELD INVESTIGATION BY MBA IN JULY, 2003.
- STORMWATER MANAGEMENT HAS BEEN PROVIDED AS FOLLOWS: -REV. RAIN GARDENS AND GRASS CHANNELS WITH GRAVEL TRENCH. -REV. RAIN GARDENS AND GRASS CHANNELS WITH GRAVEL TRENCH. -CIVIL: EXEMPT, MAINTAINED UNDER PLAT NO. 11370.
- THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS OF FOREST CONSERVATION IN ACCORDANCE WITH SECTION 16.1201(b)(1)(ii) OF HOWARD COUNTY CODE--DEVELOPMENT WHICH HAS PRELIMINARY SUBDIVISION PLAN APPROVAL PRIOR TO DECEMBER 31, 1992.
- LANDSCAPING FOR LOTS 4 & 5 IS PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (15 SHADE TREES) SHALL BE POSTED AS PART OF THE GRADING PERMIT FOR LOT 4 (7 SHADE TREES) IN THE AMOUNT OF \$2,100.00 AND FOR LOT 5 (8 SHADE TREES) IN THE AMOUNT OF \$2,400.00.
- SOILS DATA BASED ON HOWARD COUNTY SOIL SURVEY DATED JULY 1968, SHEET 20.
- CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES ON SITE PRIOR TO COMMENCING CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/CONSTRUCTION INSPECTIONS DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) DAYS PRIOR TO ANY EXCAVATION WORK: MISS UTILITY 1-800-257-7777. VERIZON TELEPHONE COMPANY (410) 343-9977. HOWARD COUNTY BUREAU OF UTILITIES (410) 343-4900. AT&T CABLE LOCATION DIVISION (410) 393-3533. BALTIMORE GAS & ELECTRIC (410) 685-0123. STATE HIGHWAY ADMINISTRATION (410) 531-5533. HOWARD COUNTY DEPT. OF PUBLIC WORKS/CONSTRUCTION INSPECTIONS DIVISION (410) 313-1880.
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 18 FEET IN WIDTH MAY PROJECT NOT MORE THAN 18 INCHES FROM ANY SETBACKS, PORCHES OR ENCLOSURE MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- DRIVEWAY ENTRANCE SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARD R-6-06. E) DRAINAGE ELEMENTS -- CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE. F) STRUCTURE CLEARANCES -- MINIMUM 12 FEET.
- MAINTENANCE OBLIGATION SUFFICIENT TO ENSURE ALL WEATHER USE.
- THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES, AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- FOR FLAG OR PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE IS TO BE PROVIDED AT THE JUNCTION OF THE ROAD RIGHT-OF-WAY AND NOT INTO THE FLAG OR PIPESTEM LOT DRIVEWAY.
- DECLARATION OF MAINTENANCE OBLIGATION FOR USE-IN-COMMON DRIVEWAY RECORDED IN LIBER 3329, FOLIO 429.
- THIS PLAN IS SUBJECT TO MANNER SECTION 16-01-107, WARNING SECTION 16-115(A) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO ALLOW GRADING AND REMOVAL OF VEGETATION COVER ON THE PROPERTY WITH EXISTING SLOPES 25% OR GREATER. THE PLANNING DIRECTOR GRANTED APPROVAL ON JULY 18, 1991, SUBJECT TO THE FOLLOWING CONDITIONS: 1. SUBMISSION OF A FINAL PLAT FOR REVIEW BY THE SUBDIVISION REVIEW COMMITTEE. 2. COMPLIANCE WITH THE DEPARTMENT OF PUBLIC WORKS COMMENTS DATED JULY 3, 1991, AND THE HOWARD SOIL CONSERVATION DISTRICT COMMENTS DATED JULY 1, 1991. 3. THE APPLICANT SHALL UPGRADE THE EXISTING DRIVEWAY TO CONFORM WITH THE MINIMUM USE-IN-COMMON DRIVEWAY STANDARDS OF THE DEPARTMENT OF PUBLIC WORKS AND THE DEPARTMENT OF FIRE AND RESCUE SERVICES. 4. THE APPLICANT SHALL PROVIDE ON THE FINAL PLAT OF THIS PROPOSED SUBDIVISION A 40 FOOT WIDE USE-IN-COMMON DRIVEWAY FOR LOTS 4 AND 5. THE DRIVEWAY SHALL BE LOCATED WITHIN THE PERMITS OF LOTS 2 AND 3. 5. THE APPLICANT SHALL EXECUTE AND RECORD IN THE HOWARD COUNTY LAND RECORDS OFFICE A "DECLARATION OF MAINTENANCE OBLIGATION AGREEMENT FOR THE USE-IN-COMMON ACCESS AREA" WHICH SHALL SPECIFY THE PRIVATE MAINTENANCE RESPONSIBILITY OF THE LOT OWNERS OF THE PROPOSED SUBDIVISION FOR THE PRIVATE DRIVEWAY. 6. THE APPLICANT SHALL PROVIDE A HOUSE NUMBER IDENTIFICATION SIGN WHERE THE USE-IN-COMMON DRIVEWAY ENTRANCE MEETS THE PUBLIC STREET IN ACCORDANCE WITH THE HOUSE NUMBERING SYSTEM AND SIGN DESIGN STANDARDS. 7. TO PERMIT REVIEW OF HOUSE DESIGN AND SITING TO ENSURE SITE CLEARING AND GRADING IS MINIMIZED, AN APPROVED SITE DEVELOPMENT PLAN WILL BE REQUIRED PRIOR TO APPLICATION FOR BUILDING PERMITS ON LOTS 1-3. 8. THIS PLAN IS SUBJECT TO THE 5TH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS EFFECTIVE OCTOBER 2, 2003. 9. THE RETAINING WALL MAINTENANCE EASEMENT AND DRIVEWAY MAINTENANCE AGREEMENT ARE RECORDED IN L. 3329 F. 429 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.

OWNER
HARMONY BUILDERS
4228 COLUMBIA RD., ELLOCCOTT CITY, MD 21042
(410) 461-0833

DEVELOPER'S CERTIFICATE
I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature: Christopher L. Brown
DATE: 01/17/06

ENGINEER'S CERTIFICATE
I CERTIFY THAT THE EROSION AND SEDIMENT CONTROL REPRESENTS A PROFESSIONAL ENGINEER'S DESIGN BASED ON MY PERSONAL KNOWLEDGE OF THE PROJECT AND THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature: R. Jacob
DATE: 1/17/06

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

Signature: John R. Robertson
DATE: 2/2/06

Signature: John R. Robertson
DATE: 2/2/06

DEVELOPER'S/OWNER'S CERTIFICATE
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF NOTICE, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Signature: [Signature]
DATE: 2/7/06

Signature: [Signature]
DATE: 2/5/06

Signature: [Signature]
DATE: 2/5/06

LANDSCAPE REQUIREMENT PLANTING SCHEDULE

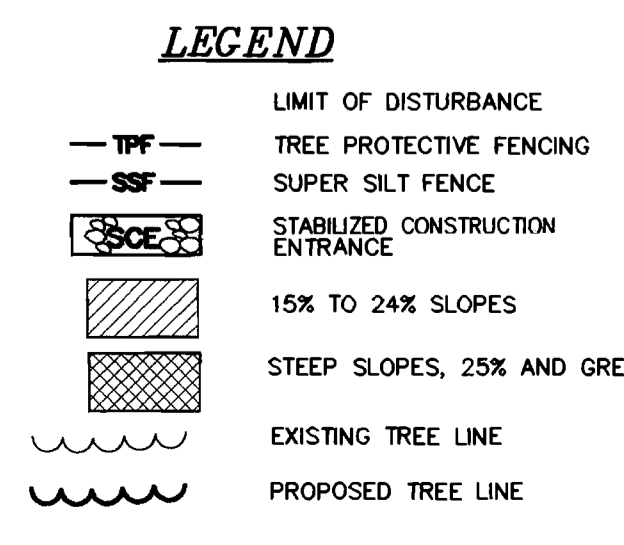
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
15	[Symbol]	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	2 1/2" - 3" CAL.
15	[Symbol]	SHADE TREES		

ADDRESS CHART

LOT/PARCEL NO.	STREET ADDRESS
LOT 4	4845 BONNIE BRANCH ROAD
LOT 5	4841 BONNIE BRANCH ROAD

SCHEDULE A: PERIMETER LANDSCAPED EDGE

CATEGORY	ADJACENT TO PERIMETER PROPERTIES					TOTAL
	A (PERIMETER 1)	A (PERIMETER 2)	A (PERIMETER 3)	A (PERIMETER 4)	A (PERIMETER 5)	
LINEAR FEET OF PERIMETER	492.88 LF	97.86 LF	475.19 LF	190.68 LF	125.78 LF	
CREDIT FOR EXISTING VEGETATION	YES, 113 LF OF EX. TREES TO REMAIN	YES, 97.86 LF OF EX. TREES TO REMAIN	YES, 173 LF OF EX. TREES TO REMAIN	YES, 45 LF OF EX. TREES TO REMAIN	N/A	
NUMBER OF PLANTS REQUIRED	6 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	0 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	5 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	2 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	2 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	15 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS
NUMBER OF PLANTS PROVIDED	6 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS (10:1 SUBSTITUTION)	0 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS	5 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS	2 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS	2 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS	15 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS



REVISION NOTE Date: 01/17/06

THE PURPOSE FOR ASKING FOR A SHEET SUBSTITUTION FOR SHEET 1 OF 2 IS DUE TO THE AMOUNT OF INFORMATION THAT HAS CHANGED FROM THE ORIGINAL SET. THE PROPOSED GRADING WAS CHANGED, RETAINING WALL DESIGN WAS CHANGED, LOCATION OF THE DRIVEWAY AND GRASS CHANNEL WAS MOVED, SUPER SILT FENCE LOCATION WAS ADJUSTED, PROPOSED TREE LINE WAS ADJUSTED, THE EARTH DIKE LOCATION WAS MOVED, A PRIVATE DRIVEWAY EASEMENT AND A PRIVATE RETAINING WALL EASEMENT WERE ADDED WITH PLAT # 17562.

THE REDLINE CHANGE FOR SHEET 2 OF 2 ARE CHANGES IN SHEET 3 FOR THE RAINGARDEN INFORMATION CHART DUE TO PROPOSED GRADING CHANGES AND THE TOTAL NUMBER OF SHEETS CHANGES.

THE PURPOSE FOR REQUESTING A SHEET ADDITION FOR SHEET 3 IS TO SUBMIT THE ENGINEERING DESIGN AND DETAILS FOR THE LANDSCAPE RETAINING WALL LOCATED ON LOT 4.

THE PURPOSE FOR REQUESTING A SHEET ADDITION FOR SHEET 4 IS TO SUBMIT THE ENGINEERING DESIGN AND DETAILS FOR THE LANDSCAPE RETAINING WALLS LOCATED ON LOTS 4 & 5.

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL
TUCKER PROPERTY	N/A	LOTS 4 & 5
PLAT # OR L/F BLOCK #	ZONE	TAX MAP
11376 1164 # 9	R-20	31
WATER CODE	SEWER CODE	ELEC. DIST.
G-01	1253400	CENSUS TRACT
		6011.01

PROPOSED IMPROVEMENTS:
CONSTRUCT HOUSE, ASSOCIATED GRADING, AND SEDIMENT CONTROL.

Project	date	description	scale	approval
09-024	11/02/05	illustration	MNT	
03-205	11/02/05	engineering	MNT	

Project	date	description	revisions
09-024	11/02/05	illustration	MNT
03-205	11/02/05	engineering	MNT

REVISION HOUSE FOOTPRINT ON LOTS TO BE A BSMT ENTRY GARAGE REE AS-BUILT CONDITIONS.

TUCKER PROPERTY
LOTS 4 & 5
TAX MAP 31, PARCEL 336
FIRST ELECTION DISTRICT

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042
(410) 897-0296 Fax (410) 897-0298 Fax