

PLANTING SPECIFICATIONS

Plants, related material, and operations shall meet the detailed description as given on the plans and as described herein. All plant material, unless otherwise specified, shall be nursery grown, uniformly branched, have a vigorous root system, and shall conform to the species, size, root and shape shown on the plant list and the American Association of Nurserymen (A.A.N.) Standards. Plant material shall be healthy, vigorous, free from defects, decay, disfiguring roots, sun scald injuries, abrasions of the bark, plant disease, insect pest eggs, borers and all forms of insect infestations or objectionable disfigurements. Plant material that is weak or which has been cut back from larger grades to meet specified requirements will be rejected. Trees with forked leaders will not be accepted. All shrubs shall be healthy, free from cold storage and shall be accepted. Unless otherwise specified, all general conditions, planting operations, details and planting specifications shall conform to "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Area", hereinafter "Landscape Guidelines" approved by the Landscape Contractors Association of Metropolitan Washington and the Potomac Chapter of the American Society of Landscape Architects, latest edition, including all addenda.

Contractor shall be required to guarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section of the Landscape Guidelines. Contractor's attention is directed to the maintenance requirements found within the one year specifications including watering and replacement of specified plant material.

Contractor shall be responsible for notifying utility companies, utility contractors and "Miss Utility" a minimum of 48 hours prior to beginning any work. Contractor may make minor adjustments in spacing and location of plant material to avoid conflicts with utilities. Damage to existing structure and utilities shall be repaired at the expense of the Contractor.

Protection of existing vegetation to remain shall be accomplished by the temporary installation of 4 foot high snow fence or blaze orange safety fence at the drip line.

Contractor is responsible for installing all material in the proper planting season for each plant type. All planting is to be completed within the growing season of completion of site construction.

Bid shall be based on actual site conditions. No extra payment shall be made for work arising from site conditions differing from those indicated on drawings and specifications.

Plant quantities are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on plan and those shown on the plant list, the quantities on the plan take precedence.

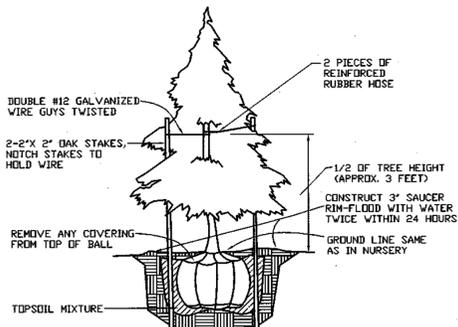
All shrubs shall be planted in continuous trenches or prepared planting beds and mulched with composted hardwood mulch as details and specified except where noted on plans.

Positive drainage shall be maintained in planting beds 2 percent slope.

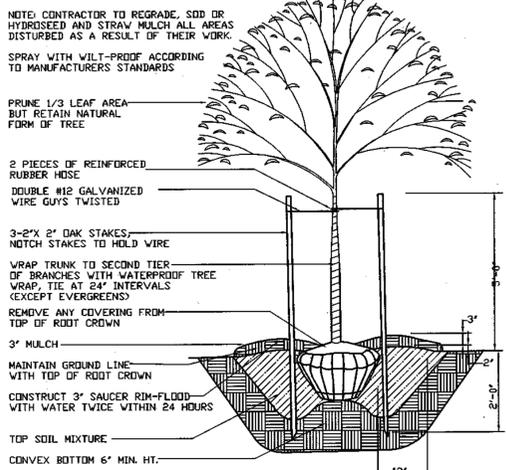
Planting mix shall be as follows: Deciduous Plants - Two parts topsoil, one part well-rotted cow or horse manure. Add 3 lbs. of standard fertilizer per cubic yard of planting mix. Evergreen Plants - two parts topsoil, one part humus or other approved organic material. Add 3 lbs. of evergreen fertilizer per cubic yard of planting mix. Topsoil shall conform to the Landscape Guidelines.

Weed Control: Incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. Caution: Be sure to carefully check the chemical used to assure its adaptability to the specific ground cover to be treated.

All areas within contract limits disturbed during or prior to construction not designated to receive plants and mulch shall be fine graded and seeded. This plan is intended for landscape use only. See other plan sheets for more information on grading, sediment control, layout, etc.



EVERGREEN PLANTING DETAIL
NOT TO SCALE



TREE PLANTING DETAIL
NOT TO SCALE

SURETY AMOUNT FOR THIS PLAN IS IN THE AMOUNT OF \$13,050.00

- LANDSCAPING SURETY FOR LOTS 62,63,67,109,110 & 112 IS \$12,000.00 PER LOT. THE LANDSCAPING SURETY FOR LOTS 65,66 & III IS \$15,000.00 PER LOT. THE LANDSCAPING SURETY FOR LOT 64 IS \$13,050.00 PER LOT. STREET TREES ARE NOT INCLUDED IN MODIFIED SCHEDULE C LANDSCAPE CALCULATIONS.
- TYPE 'B' BUFFER OR PERIMETER LANDSCAPE BUFFER WILL BE CREDITED TOWARDS THE LANDSCAPE REQUIREMENTS.
- LANDSCAPE CAN NOT BE PLANTED IN ANY PUBLIC EASEMENTS.
- FINAL PLANTING TYPE AND LOCATION IS SUBJECT TO APPROVAL BY THE ARCHITECTURAL COMMITTEE.
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTING HEREWIT LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH HOWARD COUNTY LANDSCAPE MANUAL.
- THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, PLANT MATERIALS, BERRIS FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED OR REPLACED.
- SIZES OF PLANT MATERIALS MUST CONFORM TO THE REQUIREMENTS OF THE LANDSCAPE MANUAL, CHAPTER IV AND APPENDIX C.

KEY PROPERTY DEVELOPMENT CRITERIA, APPROVED 7/1/99

SECTION VII RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING

THE QUANTITY AND GENERAL LOCATION OF TREES REQUIRED FOR INTERNAL LANDSCAPING ARE DETERMINED BY CRITERIA APPLIED BY THE ARCHITECTURAL COMMITTEE. THE COMMITTEE WILL CLASSIFY, DURING ARCHITECTURAL REVIEW, ALL LOTS AND PARCELS AS D) NON-WOODED, E) SEMI-WOODED, OR F) WOODED. SUCH CLASSIFICATION SHALL TAKE INTO ACCOUNT THE EXISTING TREE COVER AND THE POTENTIAL FOR SAVING TREES IN CONNECTION WITH GRADING AND SITING. THIS CRITERIA ALSO CONSIDERS THE SIZE OF THE LOT, AMOUNT OF EXISTING VEGETATION AND THE TYPE AND SITING OF RESIDENTIAL UNITS, IF, DURING OR AFTER CONSTRUCTION, THE COMMITTEE DETERMINES THAT A BUILDER HAS VIOLATED ANY PROVISION OF TREE PRESERVATION, THE BUILDER WILL BE REQUIRED TO ADD NEW PLANT MATERIAL. SHADE TREE REQUIREMENTS ARE SPECIFIED BY THE FOLLOWING TABLE. DENSITIES REFER TO THE DENSITY OF THE INDIVIDUAL PARCEL.

SHADE TREE REQUIREMENTS

TYPE OF UNIT AND LOT SIZE	MINIMUM NUMBER OF SHADE TREES REQUIRED		
	NON WOODED	SEMI WOODED	WOODED
MEDIUM RESIDENTIAL LOT (7,000-13,000 SQUARE FEET) 2-4 DU./ACRE	5.0/Lot	3.0/Lot	2.0/Lot
SMALL RESIDENTIAL LOT (4,000 - 7,000 SQUARE FEET FOR CLUSTER HOUSING)	4.0/Lot	2.25/Lot	1.25/Lot

SUBSTITUTION OF TWO FLOWERING TREES OR TWO EVERGREEN TREES FOR EACH SHADE TREE MAY BE PERMITTED UP TO 50% OF THE REQUIRED NUMBER OF SHADE TREES SHOWN IN THE TABLE SUBJECT TO THE APPROVAL OF THE ARCHITECTURAL COMMITTEE. CREDIT MAY ALSO BE GIVEN FOR ANY AREAS REQUIRED TO BE PROVIDED ALONG ROADWAYS, SUBJECT TO THE APPROVAL OF THE ARCHITECTURAL COMMITTEE.

LOT NO.	LOT CLASSIFICATION	INTERNAL LANDSCAPING REQUIRED (# OF SHADE TREES)	TYPE B REQUIRED		SHADE TREE CREDIT *	REMAINING SHADE TREE OBLIGATION	TOTAL TREES REQUIRED	
			SHADE	EVERGREEN			SHADE	EVERGREEN
LOTS 65,66 & III	NON-WOODED	5 TREES PER LOT	N/A	N/A	0	0	15	0
LOTS 62,63, 67,109, 110 & 112	NON-WOODED	4 TREES PER LOT	N/A	N/A	0	0	24	0
LOT 64 CORNER	NON-WOODED	4 TREES	2	3	3	1	3	3
TOTAL TREES							42	3

* THIS NUMBER REFLECTS THE MATHEMATICAL CONVERSION OF EVERGREEN TREES TO SHADE TREES (2:1) FOR THE PURPOSE OF MEETING THE INTERNAL PER LOT SHADE TREE OBLIGATION.

LOT NO.	PERIMETER	CATEGORY (PROPERTIES/ROADWAYS)	LANDSCAPE TYPE	LINEAR FEET OF ROADWAY FRONTAGE PERIMETER		NUMBER OF PLANTS REQUIRED		
				SHADE TREES	EVERGREEN TREES	SHADE TREES	EVERGREEN TREES	TOTAL TREES
64	P-1	ADJACENT TO ROADWAY	B	110'	2	3	3	5

BUILDER/DEVELOPER'S CERTIFICATE

I/WE CERTIFY THAT THE REQUIRED LANDSCAPING WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Steve Appler 8/8/03
STEVE APPLER DATE

ENGINEER'S CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Terrell A. Fisher 8/5/03
Signature of Engineer TERRELL A. FISHER DATE

BUILDER/DEVELOPER'S CERTIFICATE

I/WE certify that all development and construction will be done according to this plan for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Steve Appler 8/8/03
Signature of Developer STEVE APPLER DATE

Reviewed for HOWARD SCD and meets Technical Requirements.

Tom Myrus 8/18/03
H.S.D.A. - Natural Resources Conservation Service DATE

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
John R. Robertson 8/18/03
Howard SCD DATE

OWNER

THE HOWARD RESEARCH & DEVELOPMENT CORP.
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044
410-992-6000

BUILDER/DEVELOPER

GOODIER BUILDERS
10705 CHARTER DRIVE
SUITE 320
COLUMBIA, MARYLAND 21044
410-997-7400

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Conrad Hamrick 8/28/03
Chief, Division of Planning and Zoning DATE

Mark A. Gagliardi 8/28/03
Director - Department of Planning and Zoning DATE

PROJECT: EMERSON SECTION: SECTION 2 PHASE 4 LOTS NO.: 62-67 & 109-112

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
16077 & 16078	0	PEC-MXD-3	47	SIXTH	6068.02

WATER CODE: E-15 SEWER CODE: 7640000

TITLE SHEET

SINGLE FAMILY DETACHED EMERSON SECTION 2 PHASE 4 LOTS 62-67 & 109-112

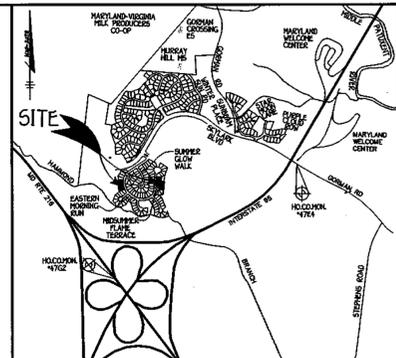
TAX MAP No: 47 PARCEL No: 3, 462 & 837 GRID 0 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND SCALE: 1"= 30' DATE: JUNE, 2003

SHEET 1 OF 4

BENCH MARKS

T.P. 4764 ELEV. 339.00
N. 535546148
E. 139543224
LOC. NEAR I-95 BRIDGE ALONG GORHAM ROAD

T.P. 4762 ELEV. 363.53
N. 532930964
E. 1391224095
LOC. NEAR MD. RTE 215 WEST NEAR EXIT RAMP TO I-95



VICINITY MAP
SCALE: 1" = 2000'

GENERAL NOTES

- SUBJECT PROPERTY ZONED PEC-MXD-3 AS GRANTED BY THE ZONING BOARD ON 9/3/96 AS CASE NO. ZB9794
- TOTAL AREA OF SITE: 1.530 ACRES
- TOTAL NUMBER OF LOTS SUBMITTED: 10 SFD
- THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTION DIVISION AT (410)313-1800 AT LEAST 150 FIVE WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THIS PROJECT IS SUBJECT TO HOWARD COUNTY FILES: ZB-9794, WP 99-96, S 99-12, PB-339, P-02-15, F-03-13, WAS CONT. #24-4043-D.
- THIS PLAN IS BASED ON A FIELD RUN MONUMENTED BOUNDARY SURVEY PERFORMED ON OR ABOUT JUNE, 1999 BY DAFT MCCLUNE WALKER, INC.
- HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON NAD 83, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS. HOWARD COUNTY MONUMENT 4764 N 535546148 E 139543224 HOWARD COUNTY MONUMENT 4762 N 532930964 E 1391224095
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- THIS PLAN IS FOR HOUSE SITING AND GRADING ONLY. IMPROVEMENTS SHOWN WITHIN THE RIGHTS-OF-WAY OF THIS SDP ARE NOT USED FOR CONSTRUCTION. FOR CONSTRUCTION SEE APPROVED ROAD CONSTRUCTION PLANS F-03-13 AND/OR APPROVED WATER AND SEWER PLANS CONTRACT NO. 24-4043-D.
- CONTRACTOR WILL CHECK SEWER HOUSE CONNECTION ELEVATION AT EASEMENT LINE PRIOR TO CONSTRUCTION.
- STORMWATER MANAGEMENT WILL BE PROVIDED AS APPROVED ON THE ROAD CONSTRUCTION DRAWINGS FILED UNDER F-03-13.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISION OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL AND DEVELOPMENT CRITERIA APPROVED BY THE PLANNING BOARD 7-1-99 PER CASE NO. PB-339 REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$13,050.00 FOR 45 INTERIOR LANDSCAPING TREES.
- PERIMETER LANDSCAPING AND STREET TREES SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL AND DEVELOPMENT CRITERIA APPROVED BY THE PLANNING BOARD 7-1-99 PER CASE NO. PB-339 AS SHOWN ON THE APPROVED ROAD CONSTRUCTION DRAWINGS FILED UNDER F-03-13.
- FOREST CONSERVATION REQUIREMENTS HAVE BEEN ADDRESSED WITH F-03-13.
- FOR DRIVEWAY ENTRANCE DETAILS REFER TO HO. CODES MANUAL VOL. IV IN DETAILS R.6.03 & R.6.05.
- OPEN SPACE REQUIREMENTS FOR THESE LOTS HAVE BEEN PROVIDED UNDER F-03-13.
- MINIMUM BUILDING RESTRICTION SETBACKS FROM PROPERTY LINES AND PUBLIC ROAD RIGHTS-OF-WAY ARE TO BE IN ACCORDANCE WITH THE DEVELOPMENT CRITERIA APPROVED WITH THE COMPREHENSIVE SCETCH PLAN 5-99-12 AND THE DECISION AND ORDER FOR PB-339 APPROVED ON JULY 1, 1999.
- THE MINIMUM SETBACKS FOR STRUCTURES SHALL BE AS FOLLOWS:
FRONT SETBACK: 15' FROM THE RIGHT-OF-WAY TO THE HOUSE OR GARAGE.
SIDE SETBACK: 5' TO THE PROPERTY LINE WITH A MINIMUM OF 15' BETWEEN STRUCTURES.
REAR SETBACK: 10' FROM THE PROPERTY LINE TO AN OPEN DECK, 20' FROM THE PROPERTY LINE TO THE HOUSE.
ANY DEVIATION FROM THESE SETBACK REQUIREMENTS WILL REQUIRE SITE DEVELOPMENT PLAN APPROVED BY THE HOWARD COUNTY PLANNING BOARD.
- LOT COVERAGE BY BUILDINGS WITHIN SINGLE FAMILY DETACHED LAND USE AREAS SHALL NOT EXCEED 40%. NO LIMITATION IS IMPOSED UPON THE AREA USED FOR SIDEWALKS, PAVED PARKING AREAS, PATIOS, DECKS, LANDSCAPING AND SIMILAR MINOR STRUCTURE.
- AS A CONSEQUENCE OF THIS SUBMISSION, ON JUNE 25, 2003, THIS SDP IS SUBJECT TO THE 5TH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE ZONING REGULATIONS AS AMENDED BY COUNCIL BILL 50-2001.
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 18 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACKS. THE 15' MINIMUM DISTANCE BETWEEN STRUCTURES DOES NOT APPLY TO THOSE REFERENCED FEATURES NOR BETWEEN OPEN DECKS AND A DWELLING STRUCTURE OR ANOTHER DECK. AS AN ADVISORY, THE 15' DISTANCE DOES APPLY TO THE SECOND STORY OVERHANG.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
A) WIDTH - 12' (4" OF SERVING MORE THAN ONE RESIDENCE)
B) SURFACE - 6" OF COMPACTED CRUSHER RUN BASE W/ATP AND CHP COATING (1-1/2" MIN) TURNING RADIUS.
C) GEOMETRY MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND 45 FOOT TURNING RADIUS.
D) STRUCTURES - (BRIDGES/CULVERTS) CAPABLE OF SUPPORTING 25 GROSS TONS (255-LOADING)
E) DRAINAGE ELEMENTS CAPABLE OF SAFETY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
F) STRUCTURE CLEARANCES - MINIMUM 12 FEET
G) MAINTENANCE SUFFICIENT TO INSURE ALL WEATHER USE.

COMMON DRIVEWAY DETAIL

NOT TO SCALE

INDEX CHART

SHEET	TITLE SHEET, HOUSE TYPES, TEMPLATES
SHEET 1	TITLE SHEET, HOUSE TYPES, TEMPLATES
SHEET 2	SITE DEVELOPMENT PLAN, LOTS 62-67 & 109-112
SHEET 3	SEDIMENT/EROSION CONTROL PLAN LOTS 62-67 & 109-112
SHEET 4	SEDIMENT/EROSION CONTROL NOTES & DETAILS

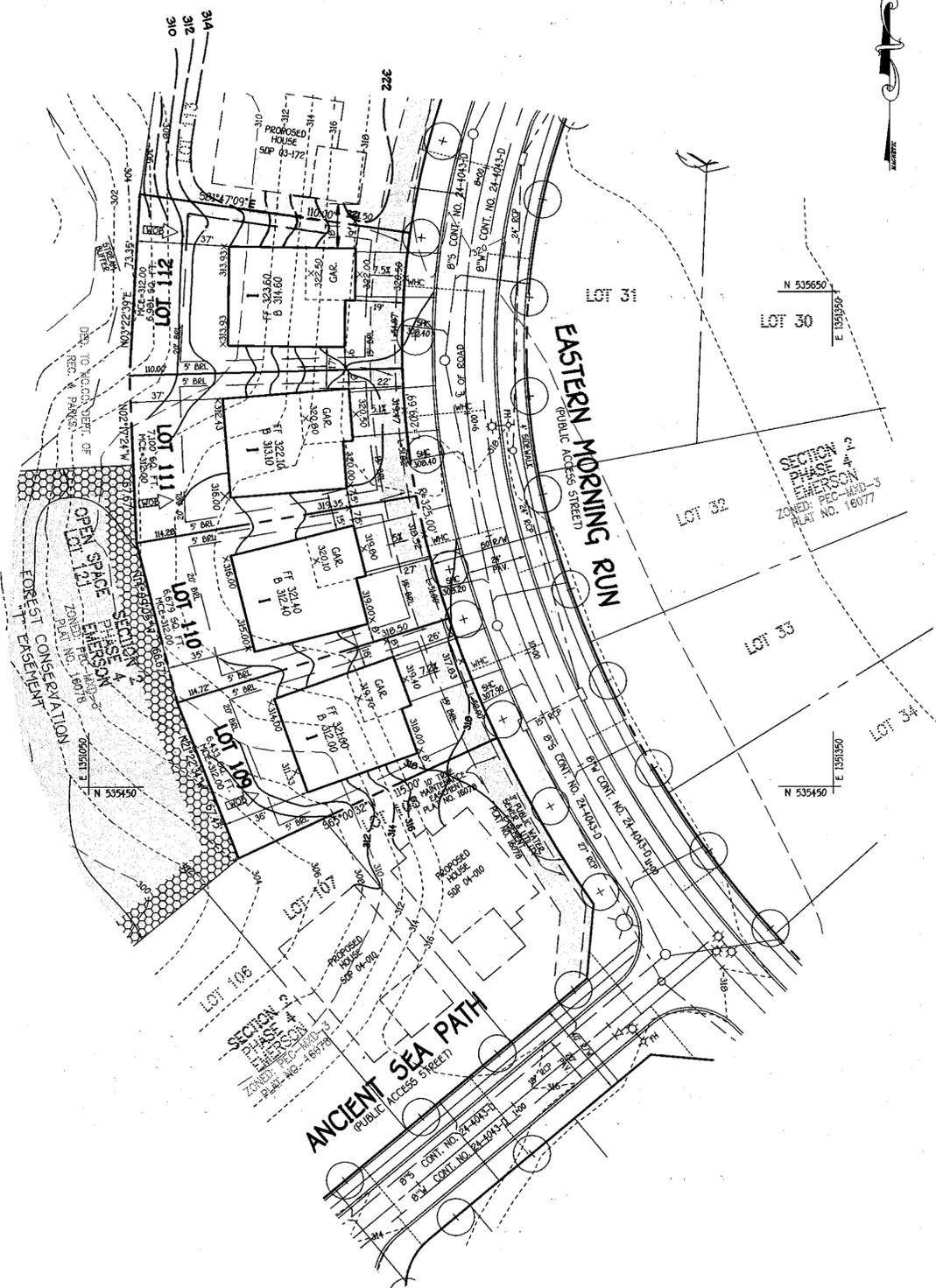
LEGEND

SYMBOL	DESCRIPTION
- - - - -	EXISTING CONTOUR 2' INTERVAL
•	SPOT ELEVATION
▭	PROPOSED WALKOUT
▭	FOREST CONSERVATION EASEMENT
-S-F -S-F-	SUPER SILT FENCE
ECH	EROSION CONTROL MATTING
LOD	LIMIT OF DISTURBANCE
○	EXISTING STREET TREE TAKEN FROM F-03-13

ADDRESS CHART

LOT NUMBER	STREET ADDRESS
62	8616 EASTERN MORNING RUN
63	8614 EASTERN MORNING RUN
64	10201 MIDSUMMER FLAME TERRACE
65	10205 MIDSUMMER FLAME TERRACE
66	10209 MIDSUMMER FLAME TERRACE
67	10212 MIDSUMMER FLAME TERRACE
109	8554 EASTERN MORNING RUN
110	8550 EASTERN MORNING RUN
111	8546 EASTERN MORNING RUN
112	8542 EASTERN MORNING RUN





FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 EDITORIAL SQUARE OFFICE PARK - 10275 BALTIMORE NATIONAL FREE
 ELLICOTT CITY, MARYLAND 21042
 410-992-2000

NO.	REVISION	DATE



ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer: *Terrell A. Fisher* Date: 8/5/03
 Terrell A. Fisher

DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Signature of Developer: *Steve Adler* Date: 8/6/03
 Steve Adler

Reviewed for HOWARD SCD and meets Technical Requirements.

Tom Myers 8/18/03
 Date
 USDA-Natural Resources Conservation Service

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

John K. Robinson 8/18/03
 Date
 Howard SCD

OWNER
 THE HOWARD RESEARCH & DEVELOPMENT CORP.
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044
 410-992-6000

BUILDER/DEVELOPER
 GOODIER BUILDERS
 10705 CHATER DRIVE
 SUITE 320
 COLUMBIA, MARYLAND 21044
 410-997-7400

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chris Hamilton 8/25/03
 Date
 Chief, Division of Land Development

Mike Crumpton 8/24/03
 Date
 Chief, Development Engineering Division

Mark M. Wright 8/24/03
 Date
 Director - Department of Planning and Zoning

PROJECT	SECTION	LOTS NO.
EMERSON	SECTION 2 PHASE 4	62-67 & 109-112

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
16077 & 16078	B	PEC-MXD-3	47	SIXTH	6068.02

WATER CODE	SEWER CODE
E-15	7420000

SITE DEVELOPMENT PLAN

SINGLE FAMILY DETACHED
EMERSON
 SECTION 2 PHASE 4
 LOTS 62-67 & 109-112

TAX MAP No: 47 PARCEL NO.: 3, 462 & 837 GRID NO.: B
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' DATE: JUNE, 2003

SHEET 2 OF 4

SDP 03-161

J:\50001 Emerson Property\long\sdp\Phase4\6 SDP Doc\sdp161 SDP Lots 62-67 & 109-112.dwg, 8/22/03 12:42:02 PM

20.0 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION DEFINITION

Using vegetation as cover for barren soil to protect it from forces that cause erosion.

PURPOSE

Vegetative stabilization specifications are used to promote the establishment of vegetation on exposed soil. When soil is stabilized with vegetation, the soil is less likely to erode and more likely to allow infiltration of rainfall, thereby reducing sediment loads and run-off to downstream areas, and improving wildlife habitat and visual resources.

CONDITIONS WHERE PRACTICE APPLIES

This practice shall be used on denuded areas as specified on the plans and may be used on highly erodible or critically eroding areas. This specification is divided into Temporary Seeding, to quickly establish vegetative cover for short duration (up to one year), and Permanent Seeding for long term vegetative cover. Examples of applicable areas for Temporary Seeding are Temporary Soil Stockpiles, cleared areas being left idle between construction phases, earth dikes, etc. and for Permanent Seeding are lawns, dms, cut and fill slopes and other areas at final grade, former stockpile and staging areas, etc.

EFFECTS ON WATER QUALITY AND QUANTITY

Planting vegetation in disturbed areas will have an effect on the water budget, especially on volumes and rates of runoff, infiltration, evaporation, transpiration, percolation, and groundwater recharge. Vegetation over time, will increase organic matter content and improve the water holding capacity of the soil and subsequent plant growth. Vegetation will help reduce the movement of sediment, nutrients, and other chemicals carried by runoff to receiving waters. Plants will also help protect groundwater supplies by assimilating those substances present within the root zone. Sediment control devices must remain in place during grading, seeded preparation, seeding, mulching and vegetative establishment to prevent large quantities of sediment and associated chemicals and nutrients from washing into surface waters.

SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS

- A. Site Preparation
 - i. Install erosion and sediment control structures (either temporary or permanent) such as diversions, grade stabilization structures, berms, waterways, or sediment control basins.
 - ii. Perform all grading operations at right angles to the slope. Final grading and shaping is not usually necessary for temporary seeding.
 - iii. Schedule required soil tests to determine soil amendment composition and application rates for sites having disturbed areas over 5 acres.
- B. Soil Amendments (Fertilizer and Lime Specifications)
 - i. Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas over 5 acres. Soil analysis may be performed by the University of Maryland or a recognized commercial laboratory. Soil samples taken for engineering purposes may be used for chemical analyses.
 - ii. Fertilizers shall be uniform in composition, free flowing and suitable for accurate application by approved equipment. Manure may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers shall all be delivered to the site fully labeled according to the applicable state fertilizer laws and shall bear the name, trade name or trademark and warranty of the producer.
 - iii. Lime materials shall be ground limestone (hydrated or burnt lime may be substituted which contains at least 50% total oxidized calcium oxide). Limestone shall be ground to such fineness that at least 50% will pass through a #100 mesh sieve and 99-100% will pass through a #20 mesh sieve.
 - iv. Incorporate lime and fertilizer into the top 3-5" of soil by disking or other suitable means.

- C. Seeded Preparation
 - i. Temporary Seeding
 - a. Seeded preparation shall consist of loosening soil to a depth of 3" to 5" by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or rippers mounted on construction equipment. After the soil is loosened it should not be rolled or dragged smooth, but left in the roughened condition. Sloped areas (greater than 3:1) should be tracked leaving the surface in an irregular condition with ridges running parallel to the contour of the slope.
 - b. Apply fertilizer and lime as prescribed on the plans.
 - c. Apply soil amendments into the top 3-5" of soil by disking or other suitable means.
 - ii. Permanent Seeding
 - a. Minimum soil conditions required for permanent vegetative establishment:
 - 1. Soil pH shall be between 6.0 and 7.0.
 - 2. Soluble salts shall be less than 500 parts per million (ppm).
 - 3. The soil shall contain less than 40% clay, but enough fine grained material (30% silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception is if loess or silt loess is to be planted, then a sandy soil (<30% silt plus clay) would be acceptable.
 - 4. Soil shall contain 1.5% minimum organic matter by weight.
 - 5. Soil must contain sufficient pore space to permit adequate root penetration.
 - 6. If these conditions cannot be met by soils on site, adding topsoil is required in accordance with Section 21 Standard and Specification for Topsoil.
 - b. Areas previously graded in conformance with the drawings shall be maintained in a true and even grade, then scarified or otherwise loosened to a depth of 3-5" to permit bonding of material to the surface area and to create horizontal erosion check slots to prevent topsoil from sliding down a slope.
 - c. Apply soil amendments as per soil test or as included on the plans.
 - d. Mix soil amendments into the top 3-5" of topsoil by disking or other suitable means. Lawn areas should be raked to smooth the surface, remove large objects like stones and branches, and ready the area for seed application. Where site conditions will not permit normal seeded preparation, loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface. Steep slopes (steeper than 3:1) should be tracked by a dozer leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. The top 1-3" of soil should be loose and friable. Seeded loosening may not be necessary on newly disturbed areas.

- D. Seed Specifications
 - i. All seed must meet the requirements of the Maryland State Seed Law. All seed shall be subject to re-testing by a recognized seed laboratory. All seed shall be tested within the 6 months immediately preceding the date of sowing such material on this job.
 - ii. Note: Seed tags shall be made available to the inspector to verify type and rate of seed used.
 - iii. Inoculant (the inoculant for treating legume seed in the seed mixtures shall be a pure culture of nitrogen-fixing bacteria prepared specifically for the species. Inoculants shall not be used later than the date indicated on the container. Add fresh inoculant as directed on package. Use four times the recommended rate when hydroseeding. Note: It is very important to keep inoculant as cool as possible until used. Temperatures above 75°-80° F. can weaken bacteria and make the inoculant less effective.

- E. Methods of Seeding
 - i. Hydroseeding. Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer), broadcast or drop seeded, or a cultipacker seeder.
 - a. If fertilizer is being applied at the time of seeding, the application rates amounts will not exceed the following: nitrogen maximum of 100 lbs. per acre total of soluble nitrogen; P205 (phosphorus) 200 lbs/acre; K2O (potassium) 200 lbs/acre.
 - b. Line - use only ground agricultural limestone. Up to 3 tons per acre may be applied by hydroseeding. Normally, not more than 2 tons are applied by hydroseeding at any one time. Do not use burnt or hydrated lime when hydroseeding.
 - ii. Dry Seeding. This includes use of conventional drop or broadcast spreaders.
 - a. Seed spread dry shall be incorporated into the subsoil at the rates prescribed on the Temporary or Permanent Seeding Summaries or Tables 255 or 26. The seeded area shall then be rolled with a weighted roller to provide good seed to soil contact.
 - b. Where practical, seed should be applied in two directions perpendicular to each other. Apply half the seeding rate in each direction.
 - iii. Drill or Cultipacker Seeding. Mechanized seeders that apply and cover seed with soil.
 - a. Cultipacker seeders are required to bury the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seeded must be firm after planting.
 - b. Where practical, seed should be applied in two directions perpendicular to each other. Apply half the seeding rate in each direction.

- F. Mulch Specifications (in order of preference)
 - i. Straw shall consist of bleached wheat, rye or oat straw, reasonable bright in color, and shall not be musty, moldy, caked, decayed or excessively dusty and shall be free of noxious weed seeds as specified in the Maryland Seed Law.
 - ii. Wood Cellulose Fiber Mulch (WCFM)
 - a. WCFM shall consist of specially prepared wood cellulose processed into a uniform fibrous physical state.
 - b. WCFM shall be dried green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniformly spread slurry.
 - c. WCFM, including dye, shall contain no germination or growth inhibiting factors.
 - d. WCFM materials shall be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The mulch material shall form a blotter-like ground cover, on application, having moisture absorption and percolation properties and shall cover and hold grass seed in contact with the soil without inhibiting the growth of the grass seedlings.
 - e. WCFM must contain no elements or compounds at concentration levels that will be phytotoxic.
 - f. WCFM must conform to the following physical requirements: fiber length to approximately 10 mm., diameter approximately 1 mm., pH range of 4.0 to 8.5, ash content of 10% maximum and water holding capacity of 90% minimum.

Note: Only sterile straw mulch should be used on areas where one species of grass is desired.

SEDIMENT CONTROL NOTES

- 1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING PRIOR TO THE START OF ANY CONSTRUCTION (319-1695).
- 2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE PERFORMED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THEREOF.
- 3. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: a) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DICES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1; b) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- 4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- 5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC. 50), TEMPORARY SEEDING (SEC. 50), AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- 6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- 7. SITE ANALYSES

TOTAL AREA OF SITE	1,530 ACRES
AREA TO BE ROOFED OR PAVED	1,351 ACRES
AREA TO BE VEGETATIVELY STABILIZED	0,570 ACRES
TOTAL CUT	0,781 ACRES
TOTAL FILL	12,282 CU.YDS.
OFFSITE WASTE/BORROW AREA LOCATION	1/4 MI. CU.YDS.
- 8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- 9. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- 10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- 11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

PERMANENT SEEDING NOTES

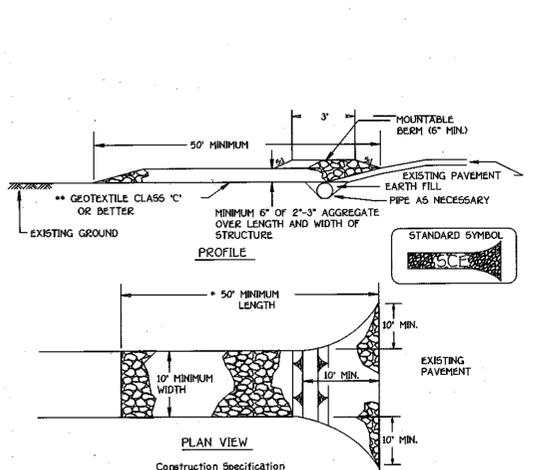
- Apply to graded or cleared areas likely to be redistributed further disturbance where a permanent long-lived vegetative cover is needed.
- Seeded Preparation - Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.
- Soil Amendments - In lieu of soil test recommendations, use one of the following schedules:
 - 1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs. per 1000 sq.ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs. per acre 30-0-0 ureiform fertilizer (8 lbs. per 1000 sq.ft.).
 - 2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs. per 1000 sq.ft.) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs. per 1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil.
- Seeding - For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2-1/2 bushels per acre of annual rye (3.2 lbs. per 1000 sq.ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (0.07 lbs. per 1000 sq.ft.). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.
- Mulching - Apply 1-1/2 to 2 tons per acre (70 to 90 lbs. per 1000 sq.ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal. per acre (5 gal. per 1000 sq.ft.) of emulsified asphalt on flat areas. On slopes, 8 ft. or higher, use 347 gal. per acre (8 gal. per 1000 sq.ft.) for anchoring.

TEMPORARY SEEDING NOTES

- Apply to graded or cleared areas likely to be redistributed further disturbance where a short-term vegetative cover is needed.
- Seeded Preparation - Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.
- Soil Amendments - Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq.ft.).
- Seeding - For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2-1/2 bushels per acre of annual rye (3.2 lbs. per 1000 sq.ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (0.07 lbs. per 1000 sq.ft.). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.
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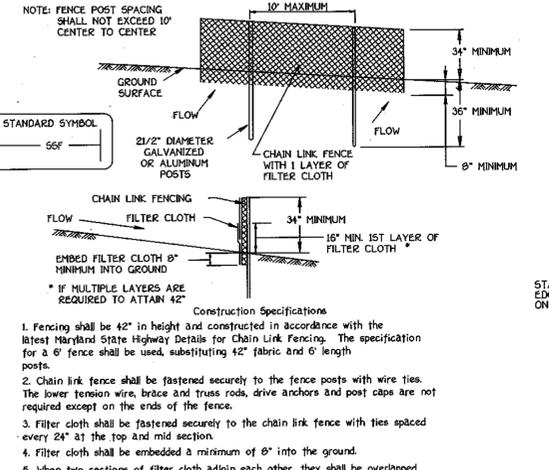
SEQUENCE OF CONSTRUCTION

1. OBTAIN GRADING PERMIT	7 DAYS
2. INSTALL SEDIMENT AND EROSION CONTROL DEVICES AS SHOWN ON PLAN	7 DAYS
3. CLEAR AND GRUB TO LIMITS OF DISTURBANCE	4 DAYS
4. INSTALL TEMPORARY SEEDING	2 DAYS
5. CONSTRUCT BUILDINGS	60 DAYS
6. FINE GRADE SITE AND INSTALL PERMANENT SEEDING AND LANDSCAPE	14 DAYS
7. REMOVE SEDIMENT CONTROL DEVICES AS UPLAND AREAS ARE STABILIZED AND PERMISSION IS GRANTED BY E/S CONTROL INSPECTOR.	7 DAYS



- Construction Specifications**
- Length - minimum of 50' (*30' for single residence lot).
 - Width - 10' minimum, should be flared at the existing road to provide a turning radius.
 - Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. **The plan approval authority may not require single family residences to use geotextile.
 - Stone - crushed aggregate (2" to 3" or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
 - Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
- Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site, including leaving the site must travel over the entire length of the stabilized construction entrance.

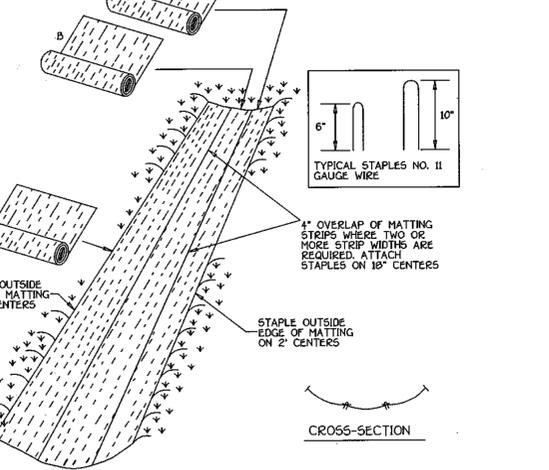
STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



- Construction Specifications**
- Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6" fence shall be used, substituting 42" fabric and 6' length posts.
 - Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence.
 - Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
 - Filter cloth shall be embedded a minimum of 6" into the ground.
 - When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
 - Maintenance shall be performed as needed and silt buildups removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.
 - Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:

Design Criteria			
Slope Steepness	Slope Length (maximum)	Silt Fence Length (minimum)	
0 - 10%	0 - 101'	Unlimited	Unlimited
10 - 20%	101 - 51'	200 feet	1,500 feet
20 - 33%	51 - 31'	100 feet	1,000 feet
33 - 50%	31 - 21'	50 feet	500 feet
50% +	21'	50 feet	250 feet

SUPER SILT FENCE
NOT TO SCALE



- Construction Specifications**
- Key-in the matting by placing the top ends of the matting in a narrow trench, 6" in depth. Backfill the trench and tamp firmly to conform to the channel cross-section. Secure with a row of staples about 4" down slope from the trench. Spacing between staples is 6".
 - Staple the 4" overlap in the channel center using an 18" spacing between staples.
 - Before stapling the outer edges of the matting, make sure the matting is smooth and in firm contact with the soil.
 - Staples shall be placed 2' apart with 4 rows for each strip, 2 outer rows, and 2 alternating rows down the center.
 - Where one roll of matting ends and another begins, the end of the top strip shall overlap the upper end of the lower strip by 4", slapping fashion. Reinforce the overlap with a double row of staples spaced 6" apart in a staggered pattern on either side.
 - The discharge end of the matting liner should be similarly secured with 2 double rows of staples.
- Note: If flow will occur from the edge of the matting then the area affected by the flow must be keyed-in.

EROSION CONTROL MATTING
NOT TO SCALE



ENGINEER'S CERTIFICATE
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer: *Terrell Fisher* Date: 8/5/03
TERRELL FISHER
DEVELOPER'S CERTIFICATE
I/We certify that all development and construction will be done according to this plan and that the contractor and all other personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Signature of Developer: *Steve Appler* Date: 8/6/03
STEVE APPLER

Reviewed for HOWARD SCD and meets Technical Requirements.

Signature: *John M. Miller* Date: 8/18/03
J.M. Miller - Natural Resources Conservation Service

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Signature: *John K. Lawrence* Date: 8/18/03
John K. Lawrence - Howard SCD

OWNER
THE HOWARD RESEARCH & DEVELOPMENT CORP.
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044
410-992-6000

BUILDER/DEVELOPER
GOODIER BUILDERS
10705 CHARTER DRIVE
SUITE 320
COLUMBIA, MARYLAND 21044
410-997-7400

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Signature: *Janet Hamilton* Date: 8/27/03
Janet Hamilton - Chief, Division of Development

Signature: *David D. Wynn* Date: 8/27/03
David D. Wynn - Director - Department of Planning and Zoning

PROJECT: EMERSON

SECTION 1	SECTION 2	SECTION 3	SECTION 4	SECTION 5	SECTION 6	SECTION 7	SECTION 8	SECTION 9	SECTION 10	SECTION 11	SECTION 12	SECTION 13	SECTION 14	SECTION 15	SECTION 16	SECTION 17	SECTION 18	SECTION 19	SECTION 20

LOT NO. 62-67 & 109-112

PLAT: 16077 & 16078 BLOCK NO. B ZONE: PEC-MXD-3 TAX/ZONE: 47 ELEC. DIST.: SIXTH CENSUS TR.: 6068.02

WATER CODE: E-15 SEWER CODE: 7640000

SEDIMENT/EROSION CONTROL NOTES & DETAILS

SINGLE FAMILY DETACHED
EMERSON
SECTION 2 PHASE 4
LOTS 62-67 & 109-112

TAX MAP NO.: 47 PARCEL NO.: 3, 462 & 837 GRID NO.: B
SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: JUNE, 2003

SHEET 4 OF 4

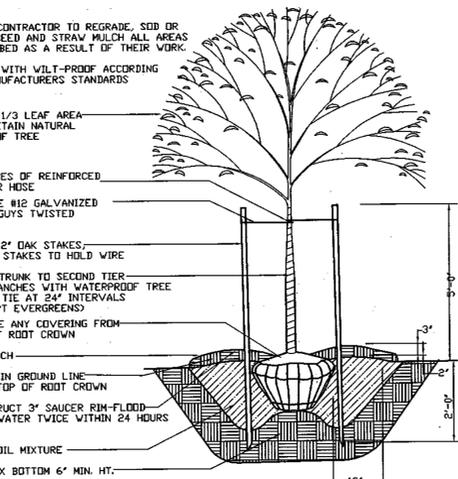
SDP 03-161

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PLANTING SPECIFICATIONS

Plants, related material and operations shall meet the detailed description as given on the plans and as described herein. All plant material, unless otherwise specified, shall be nursery grown, uniformly branched, have a vigorous root system, and shall conform to the species, size, root and shape shown on the plan. The American Association of Nurserymen (AAN) Standards, Plant material shall be healthy, vigorous, free from defects, decay, disfiguring roots, sun scald injuries, abrasions of the bark, plant disease, insect pest eggs, borers and all forms of insect infestations or objectionable disfigurements. Plant material that is weak or which has been cut back from larger grades to meet specified requirements will be rejected. Trees with forked leaders will not be accepted. All plants shall be freshly dug, no heated-in plants from cold storage will be accepted. Unless otherwise specified, all general conditions, planting operations, details and planting specification shall conform to "Landscape Specification Guidelines for Baltimore-Suburban Metropolitan Area", hereinafter "Landscape Guidelines", approved by the Landscape Contractors Association of Metropolitan Washington and the Potomac Chapter of the American Society of Landscape Architects, latest edition, including all addenda. Contractor shall be required to guarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section of the Landscape Guidelines. Contractor's attention is directed to the maintenance requirements found within the one year specifications including watering and replacement of specified plant material. Contractor shall be responsible for notifying utility companies, utility contractors and "Miss Utility" a minimum of 48 hours prior to beginning any work. Contractor may make minor adjustments in spacing and location of plant material to avoid conflicts with utilities. Damage to existing structure and utilities shall be repaired at the expense of the Contractor. Protection of existing vegetation to remain shall be accomplished by the temporary installation of 4 foot high snow fence or blaze orange safety fence at the drip line. Contractor is responsible for installing all material in the proper planting season for each plant type. All planting is to be completed within the growing season of completion of site construction. Bid shall be based on actual site conditions. No extra payment shall be made for work arising from site conditions differing from those indicated on drawings and specifications. Plant quantities are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on plan and those shown on the plant list, the quantities on the plan take precedence. All shrubs shall be planted in continuous trenches or prepared planting beds and mulched with composted hardwood mulch as details and specified except where noted on plans. Positive drainage shall be maintained in planting beds 2 percent slope. Planting mix shall be as follows: Deciduous Plants - Two parts topsoil, one part well-rotted cow or horse manure. Add 3 lbs. of standard fertilizer per cubic yard of planting mix. Evergreen Plants - two parts topsoil, one part humus or other approved organic material. Add 3 lbs. of evergreen fertilizer per cubic yard of planting mix. Topsoil shall conform to the Landscape Guidelines. Weed Control: Incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. Caution: Be sure to carefully check the chemical used to assure its adaptability to the specific ground cover to be treated. All areas within contract limits disturbed during or prior to construction not designated to receive plants and mulch shall be fine graded and seeded. This plan is intended for landscape use only; see other plan sheets for more information on grading, sediment control, layout, etc.

EVERGREEN PLANTING DETAIL
NOT TO SCALE



TREE PLANTING DETAIL
NOT TO SCALE

MODIFIED SCHEDULE C LANDSCAPE CHART

LOT NO.	LOT CLASSIFICATION	INTERNAL LANDSCAPING REQUIRED (# OF SHADE TREES)	TYPE B REQUIRED		SHADE TREE CREDIT *	REMAINING SHADE TREE OBLIGATION	TOTAL TREES REQUIRED		
			SHADE	EVERGREEN			SHADE	EVERGREEN	
LOTS 65,66	NON-WOODED	5 TREES PER LOT	N/A	N/A	0	0	15	0	
LOTS 62,63, 67,69, 110 & 112	NON-WOODED	4 TREES PER LOT	N/A	N/A	0	0	24	0	
LOT 64 CORNER	NON-WOODED	4 TREES	2	3	3	1	3	3	
TOTAL TREES							42	3	

* THIS NUMBER REFLECTS THE MATHEMATICAL CONVERSION OF EVERGREEN TREES TO SHADE TREES (2:1) FOR THE PURPOSE OF MEETING THE INTERNAL PER LOT SHADE TREE OBLIGATION.

SCHEDULE A PERIMETER LANDSCAPE EDGE

LOT NO.	PERIMETER	CATEGORY (PROPERTIES/ROADWAYS)	LANDSCAPE TYPE	LINEAR FEET OF ROADWAY FRONTAGE PERIMETER	NUMBER OF PLANTS REQUIRED		
					SHADE TREES	EVERGREEN TREES	TOTAL TREES
64	P-1	ADJACENT TO ROADWAY	B	110'	2	3	5

BUILDER/DEVELOPERS/ CERTIFICATE

I/WE CERTIFY THAT THE REQUIRED LANDSCAPING WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Steve Appler 8/18/03
STEVE APPLER DATE

ENGINEER'S CERTIFICATE

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Terrell A. Fisher 8/15/03
Signature of Engineer TERRELL A. FISHER DATE

BUILDER/DEVELOPER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Steve Appler 8/18/03
Signature of Developer STEVE APPLER DATE

Reviewed for HOWARD SCD and meets Technical Requirements.

John K. Robertson 8/18/03
Signature of Engineer JOHN K. ROBERTSON DATE

OWNER
THE HOWARD RESEARCH & DEVELOPMENT CORP.
10275 LITTLE PATUXENT PARKWAY
SUITE 320
COLUMBIA, MARYLAND 21044
410-992-6100

BUILDER/DEVELOPER
GOODIER BUILDERS
10705 CHARTER DRIVE
COLUMBIA, MARYLAND 21044
410-997-7400

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chris Hamilton 8/25/03
Signature of Director CHRIS HAMILTON DATE
Director - Department of Planning and Zoning

PROJECT
EMERSON

SECTION
SECTION 2 PHASE 4

LOTS NO.
62-67 & 109-112

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
16077 & 16078	B	PEC-MXD-3	47	SIXTH	6060.02
WATER CODE			SEWER CODE		
E-15			7640000		

TITLE SHEET

SINGLE FAMILY DETACHED
EMERSON
SECTION 2 PHASE 4
LOTS 62-67 & 109-112

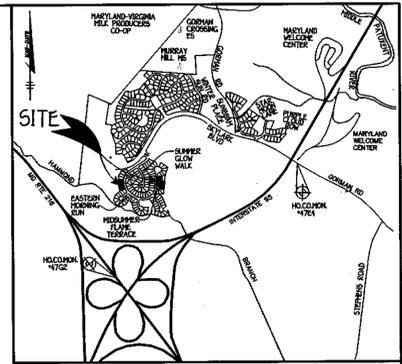
TAX MAP NO: 47 PARCEL NO: 3, 462 & 837 GRID B
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 30' DATE: JUNE, 2003

SHEET 1 OF 4

BENCH MARKS

T.P. 4761 ELEV 339.00
N. 535,946.180
E. 1395,431.224
LOC. NEAR I-95 BRIDGE
ALONG GORMAN ROAD

T.P. 4762 ELEV. 363.53
N. 532,930.964
E. 1391,224.095
LOC. NEAR MD. RTE 216 WEST
NEAR EXIT RAMP TO I-95

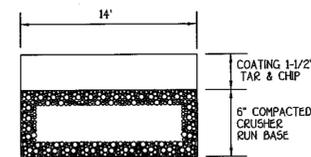


VICINITY MAP
SCALE: 1" = 2000'

GENERAL NOTES

- SUBJECT PROPERTY ZONED PEC-MXD-3 AS GRANTED BY THE ZONING BOARD ON 9/3/98 AS CASE NO. 29579M
- TOTAL AREA OF SITE: 1.530 ACRES
- TOTAL NUMBER OF LOTS SUBMITTED: 10 SFD
- THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTION DIVISION AT (410)313-1800 AT LEAST (5) FIVE WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THIS PROJECT IS SUBJECT TO HOWARD COUNTY FILES: ZB-979M, WP 99-96, S 99-12, PB-339, F-02-15, F-03-13, WAS CONT. #24-1043-D
- THIS PLAN IS BASED ON A FIELD RUN MONUMENTED BOUNDARY SURVEY PERFORMED ON OR ABOUT JUNE, 1999 BY DAFT MCCLURE WALKER, INC.
- HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON NAD 83, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS. HOWARD COUNTY MONUMENT 4764 N 536941.610 E 1355431.224 HOWARD COUNTY MONUMENT 4762 N 532930.964 E 1351224.095
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- THIS PLAN IS FOR HOUSE SITING AND GRADING ONLY. IMPROVEMENTS SHOWN WITHIN THE RIGHTS-OF-WAY OF THIS S.D.P. ARE NOT USED FOR CONSTRUCTION. FOR CONSTRUCTION SEE APPROVED ROAD CONSTRUCTION PLANS F-03-13. AND/OR APPROVED WATER AND SEWER PLANS CONTRACT NO. 24-1043-D.
- CONTRACTOR WILL CHECK SEWER HOUSE CONNECTION ELEVATION AT EASEMENT LINE PRIOR TO CONSTRUCTION.
- STORMWATER MANAGEMENT WILL BE PROVIDED AS APPROVED ON THE ROAD CONSTRUCTION DRAWINGS FILED UNDER F-03-13.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISION OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL AND DEVELOPMENT CRITERIA APPROVED BY THE PLANNING BOARD 7-1-99 PER CASE NO. PB-339 REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$43,050.00 FOR 45 INTERIOR LANDSCAPING TREES.
- PERMITS FOR LANDSCAPING AND STREET TREES SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL AND DEVELOPMENT CRITERIA APPROVED BY THE PLANNING BOARD 7-1-99 PER CASE NO. PB-339 AS SHOWN ON THE APPROVED ROAD CONSTRUCTION DRAWINGS FILED UNDER F-03-13.
- FOREST CONSERVATION REQUIREMENTS HAVE BEEN ADDRESSED WITH F-03-13.
- FOR DRIVEWAY ENTRANCE DETAILS REFER TO HO. CODES MANUAL VOL. IV, DETAILS R.6.03 & R.6.05.
- OPEN SPACE REQUIREMENTS FOR THESE LOTS HAVE BEEN PROVIDED UNDER F-03-13.
- MINIMUM BUILDING RESTRICTION SETBACKS FROM PROPERTY LINES AND PUBLIC ROAD RIGHTS-OF-WAY ARE TO BE IN ACCORDANCE WITH THE DEVELOPMENT CRITERIA APPROVED WITH THE COMPREHENSIVE SKETCH PLAN S-99-12 AND THE DECISION AND ORDER FOR PB-339 APPROVED ON JULY 1, 1999.
- THE MINIMUM SETBACKS FOR STRUCTURES SHALL BE AS FOLLOWS:
 FROM SETBACK: 15' FROM THE RIGHT-OF-WAY TO THE HOUSE OR GARAGE.
 SIDE SETBACK: 5' TO THE PROPERTY LINE WITH A MINIMUM OF 15' BETWEEN STRUCTURES.
 REAR SETBACK: 10' FROM THE PROPERTY LINE TO AN OPEN DECK.
 20' FROM THE PROPERTY LINE TO THE HOUSE.
- ANY DEVIATION FROM THESE SETBACK REQUIREMENTS WILL REQUIRE SITE DEVELOPMENT PLAN APPROVED BY THE HOWARD COUNTY PLANNING BOARD.
- LOT COVERAGE BY BUILDINGS WITHIN SINGLE FAMILY DETACHED LAND USE AREAS SHALL NOT EXCEED 40%. NO LIMITATION IS IMPOSED UPON THE AREA USED FOR SIDEWALKS, PAVED PARKING AREAS, PATIOS, DECKS, LANDSCAPING AND SIMILAR MINOR STRUCTURES.
- AS A CONSEQUENCE OF THIS SUBMISSION ON JUNE 25, 2003, THIS S.D.P. IS SUBJECT TO THE 5TH REGULATIONS AS AMENDED BY COUNCIL BILL 50-2003.
- IN ACCORDANCE WITH SECTION 12B OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 15 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACKS. THE 15' MINIMUM DISTANCE BETWEEN STRUCTURES DOES NOT APPLY TO THOSE REFERENCED FEATURES NOR BETWEEN OPEN DECKS AND A DWELLING STRUCTURE OR ANOTHER DECK. AS AN ADVISORY, THE 15' DISTANCE DOES APPLY TO THE SECOND STORY OVERHANG.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 A) WIDTH - 12' 0" IF SERVING MORE THAN ONE RESIDENCE
 B) SURFACE - 6" OF COMPACTED CRUSHER RUN BASE W/TAR AND CHIP COATING (1/2" MIN) TURNOFF RADIUS
 C) GEOMETRY MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND 45 FOOT TURNING RADIUS
 D) STRUCTURES - (BRIDGES/CULVERTS) CAPABLE OF SUPPORTING 25 GROSS TONS (25-TON LOADING)
 E) DRAINAGE ELEMENTS CAPABLE OF SAFETY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
 F) STRUCTURE CLEARANCES - MINIMUM 12 FEET
 G) MAINTENANCE SUFFICIENT TO INSURE ALL WEATHER USE.

COMMON DRIVEWAY DETAIL
NOT TO SCALE



INDEX CHART

SHEET	DESCRIPTION
SHEET 1	TITLE SHEET, HOUSE TYPES, TEMPLATES
SHEET 2	SITE DEVELOPMENT PLAN, LOTS 62-67 & 109-112
SHEET 3	SEDIMENT/EROSION CONTROL PLAN LOTS 62-67 & 109-112
SHEET 4	SEDIMENT/EROSION CONTROL NOTES & DETAILS

ADDRESS CHART

LOT NUMBER	STREET ADDRESS
62	8618 EASTERN MORNING RUN
63	8614 EASTERN MORNING RUN
64	10201 MIDSUMMER FLAME TERRACE
65	10205 MIDSUMMER FLAME TERRACE
66	10209 MIDSUMMER FLAME TERRACE
67	10212 MIDSUMMER FLAME TERRACE
109	8554 EASTERN MORNING RUN
110	8550 EASTERN MORNING RUN
111	8546 EASTERN MORNING RUN
112	8542 EASTERN MORNING RUN

LEGEND

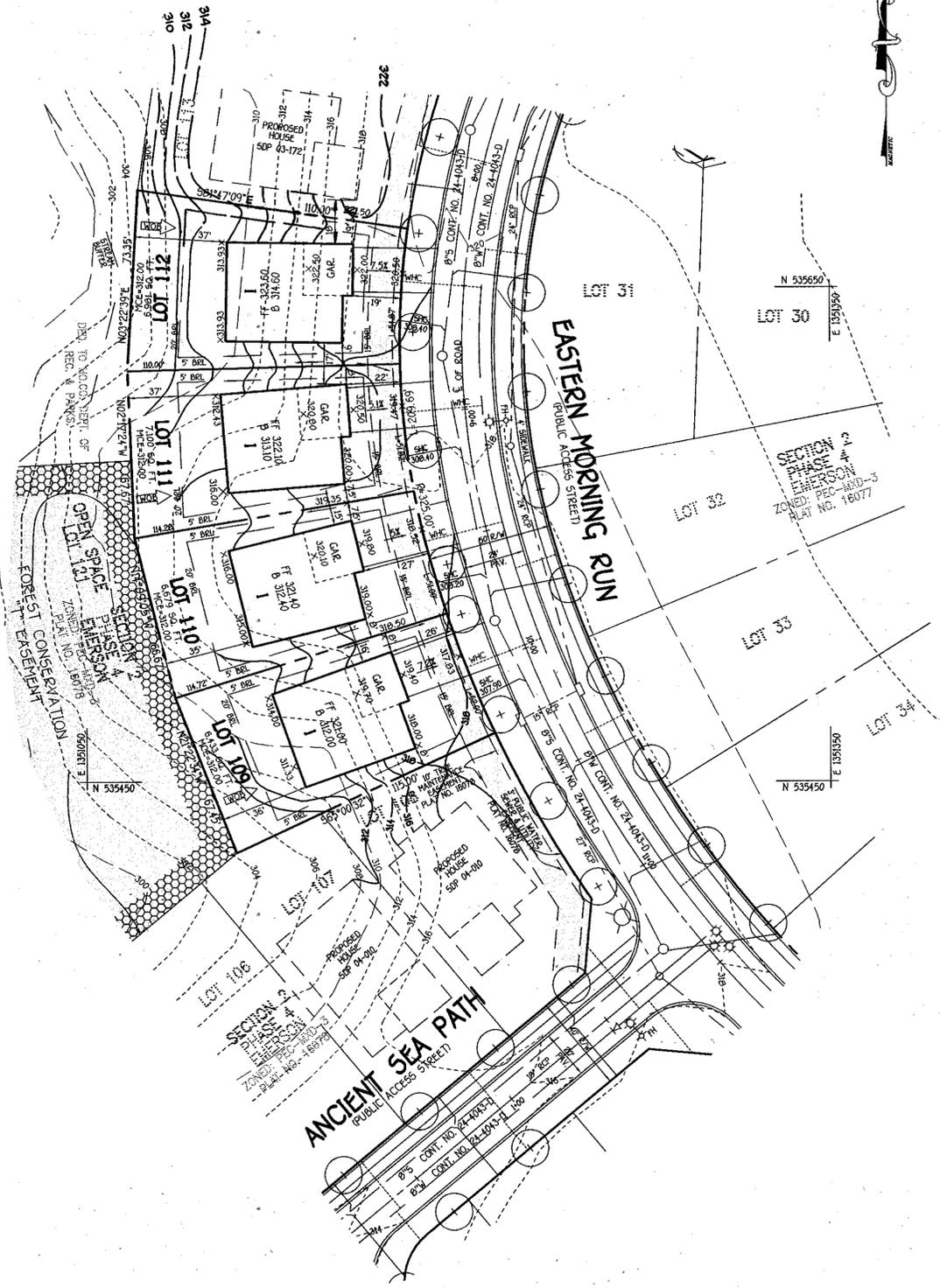
SYMBOL	DESCRIPTION
-362.2	EXISTING CONTOUR 2' INTERVAL
SPOT	SPOT ELEVATION
PROPOSED	PROPOSED WALKOUT
FOREST	FOREST CONSERVATION EASEMENT
SSP	SUPER SILT FENCE
ERM	EROSION CONTROL MATTING
LOD	LIMIT OF DISTURBANCE
EXISTING	EXISTING STREET TREE TAKEN FROM F-03-13

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 16275 BALTIMORE NATIONAL FEE
ELLIOTT CITY, MARYLAND 20622
410-961-2999



1. Revise A/K model per new arch. plans 12-10-03
REVISION DATE

SDP 03-161



J:\60001 Emerson Property\dwg\Sec2Phase4\1850_Gooder\1850_Sdp_Lots 62-67 & 109-112.dwg, 8/5/2003 12:24:02 PM

<p>FISHER, COLLINS & CARTER, INC. CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS CENTENNIAL SQUARE OFFICE PARK - 1072 BALTIMORE NATIONAL PK. CUMMERTOWN CITY, MARYLAND 21042 (410) 461-2095</p>		
NO.	REVISION	DATE
1	Rev nec 4 qrd. Lots 65 & 66	12-10-02



ENGINEER'S CERTIFICATE
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer: *Terrell A. Fisher* Date: *8/5/03*
TERRELL A. FISHER

DEVELOPER'S CERTIFICATE
I/we certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Signature of Developer: *Steve Appler* Date: *8/6/03*
STEVE APPLER

Reviewed for HOWARD SCD and meet's Technical Requirements.

Signature: *Tom Mygala* Date: *8/18/03*
Tom Mygala
U.S.D.A.-Natural Resources Conservation Service

Signature: *John K. Robinson* Date: *8/18/03*
John K. Robinson
Howard SCD

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

OWNER
THE HOWARD RESEARCH & DEVELOPMENT CORP.
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044
410-992-6000

BUILDER/DEVELOPER
GOODER BUILDERS
10705 CHATER DRIVE
SUITE 320
COLUMBIA, MARYLAND 21044
410-997-7400

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Signature: *Chris Hamilton* Date: *8/6/03*
Chris Hamilton
Chief, Division of Land Development

Signature: *Chris Dammann* Date: *8/6/03*
Chris Dammann
Chief, Development Engineering Division

Signature: *Paul J. Caspell* Date: *8/26/03*
Paul J. Caspell
Director - Department of Planning and Zoning

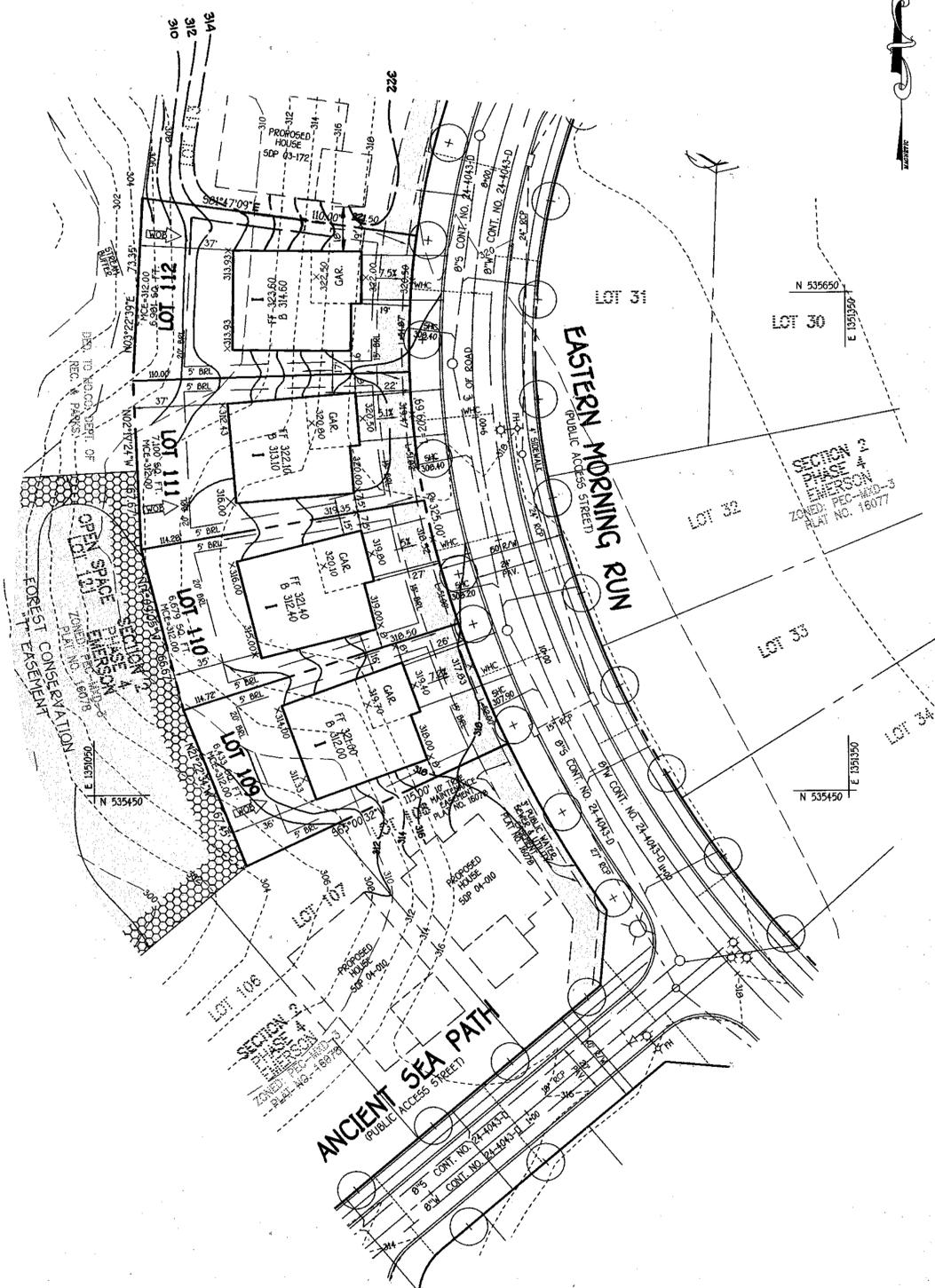
PROJECT	SECTION	LOTS NO.
EMERSON	SECTION 2 PHASE 4	62-67 & 109-112
PLAT	BLOCK NO.	ZONE
16077 & 16078	0	PEC-MXD-3
TAX/ZONE	ELEC. DIST.	CENSUS TR.
47	SIXTH	6060.02
WATER CODE	SEWER CODE	
E-15	7420000	

SITE DEVELOPMENT PLAN

SINGLE FAMILY DETACHED
EMERSON
SECTION 2 PHASE 4
LOTS 62-67 & 109-112

TAX MAP No: 47 PARCEL NO.: 3, 462 & 837 GRID NO.: 0
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 30' DATE: JUNE, 2003
SHEET 2 OF 4

SDP 03-161



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL OFFICE: 1000 W. BALTIMORE AVENUE, BALTIMORE, MD 21201
 COLUMBIA OFFICE: 1000 W. BALTIMORE AVENUE, BALTIMORE, MD 21201



ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer: *Terrell A. Fisher* Date: 8/5/03
TERRELL A. FISHER
DEVELOPER'S CERTIFICATE

I/We certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Signature of Developer: *Steve Apper* Date: 8/8/03
STEVE APPER

Reviewed for HOWARD SCD and meets Technical Requirements.
 Signature: *John Meyer* Date: 8/18/03
 Conservation Service
 Signature: *John K. Kolubash* Date: 8/18/03
 Howard SCD

OWNER
 THE HOWARD RESEARCH & DEVELOPMENT CORP.
 10275 LITTLE PATUXENT PARKWAY
 SUITE 320
 COLUMBIA, MARYLAND 21044
 410-992-6000

BUILDER/DEVELOPER
 GOODIER BUILDERS
 10705 CHATER DRIVE
 SUITE 300
 COLUMBIA, MARYLAND 21044
 410-997-7400

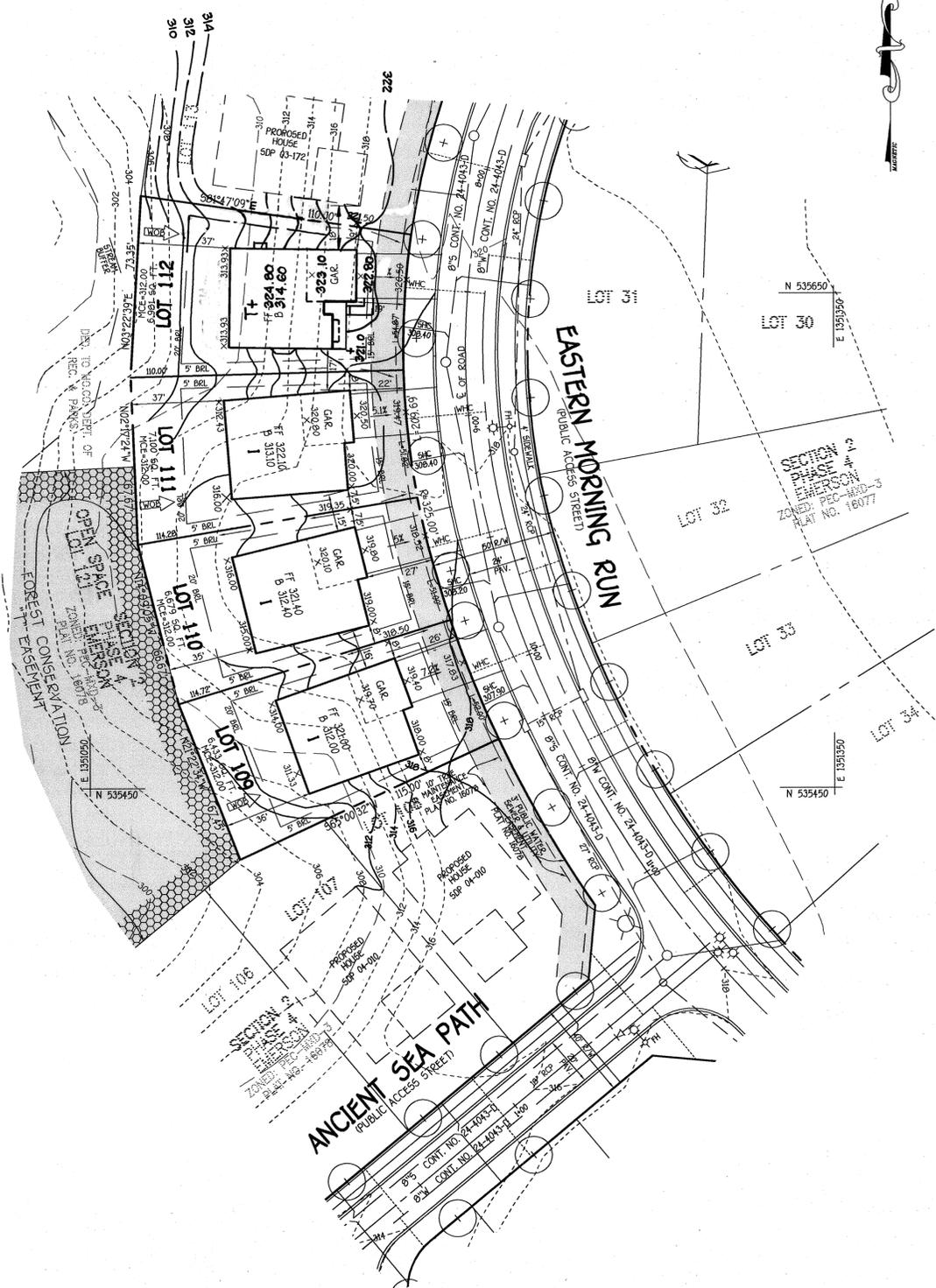
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Signature: *Andy Hamilton* Date: 8/18/03
 Chief, Division of Land Development
 Signature: *Chris Dammann* Date: 8/21/03
 Chief, Development Engineering Division
 Signature: *David J. Caspell* Date: 8/21/03
 Director - Department of Planning and Zoning

PROJECT	EMERSON	SECTION 2 PHASE 4	LOTS NO.	62-67 & 109-112					
PLAT	16077 & 16078	ZONE	PEC-MXD-3	TAX/ZONE	47	ELEC. DIST.	SIXTH	CENSUS TR.	6068.02
WATER CODE	E-15	SEWER CODE	7420000						

SITE DEVELOPMENT PLAN
 SINGLE FAMILY DETACHED
EMERSON
 SECTION 2 PHASE 4
 LOTS 62-67 & 109-112
 TAX MAP NO: 47 PARCEL NO: 3, 462 & 837 GRID NO: 8
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' DATE: JUNE, 2003
 SHEET 2 OF 4

SDP 03-161

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NO.	REVISION	DATE
3	Rev. grad. lot 112 to show As-Built Cond.	5-10-04
2	Rev. Use. 4 qrd. Lot 62	1-22-04
1	Rev. use. 4 qrd. Lots 62-66	12-10-03



ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer: *Terrell A. Fisher* Date: 8/5/03

DEVELOPER'S CERTIFICATE
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Signature of Developer: *Steve Appler* Date: 8/6/03

Reviewed for HOWARD SCD and meets Technical Requirements.

Jim Myers 8/18/03 Date
 USA-Natural Resource Conservation Service

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

John R. Colwell 8/18/03 Date
 Howard SCD

OWNER
 THE HOWARD RESEARCH & DEVELOPMENT CORP.
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044
 410-992-6000

BUILDER/DEVELOPER
 GOODNER BUILDERS
 10705 CHATER DRIVE
 SUITE 320
 COLUMBIA, MARYLAND 21044
 410-997-7400

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chris Hamilton 8/28/03 Date
 Chief, Division of Planning and Development

Chad Williamson 8/24/03 Date
 Chief, Development Engineering Division

Mark M. Angell 8/24/03 Date
 Director - Department of Planning and Zoning

PROJECT	SECTION	LOTS NO.
EMERSON	SECTION 2 PHASE 4	62-67 & 109-112
PLAT	BLOCK NO.	ZONE
16077 & 16078	8	PEC-MXD-3
WATER CODE	TAX/ZONE	ELEC. DIST.
E-15	47	SIXTH
	SEWER CODE	CENSUS TR.
	7420000	6068.02

SITE DEVELOPMENT PLAN

SINGLE FAMILY DETACHED

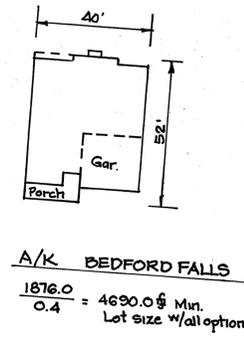
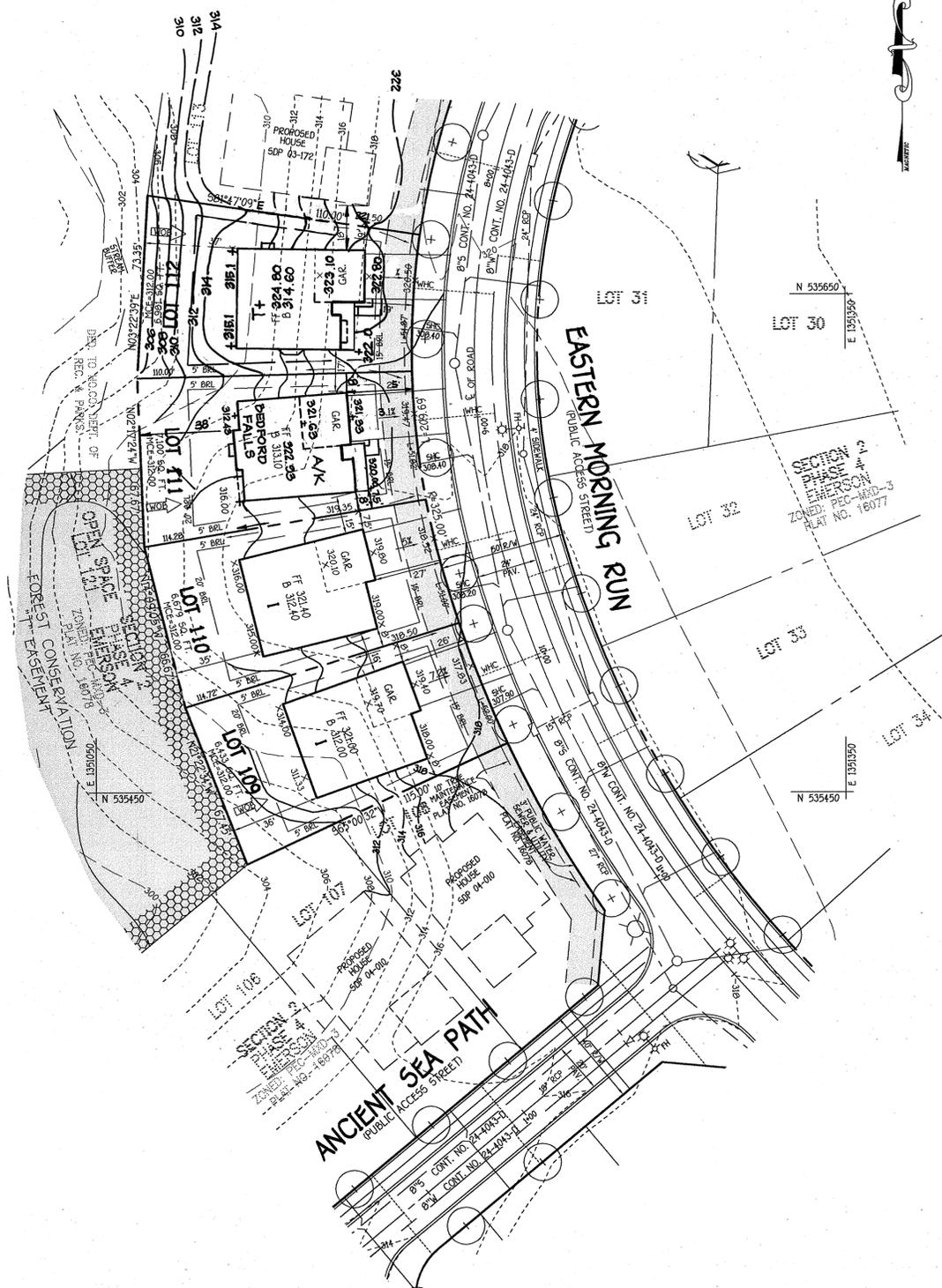
EMERSON

SECTION 2 PHASE 4

LOTS 62-67 & 109-112

TAX MAP No: 47 PARCEL NO.: 3, 462 & 837 GRID NO.: 8
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' DATE: JUNE, 2003
 SHEET 2 OF 4

SDP 03-161



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLETTT CITY, MARYLAND 21042
 (410) 461-2295

NO.	REVISION	DATE
5	Rev. 9rd. lot 112 to show Ex. Conditions	7-20-04
4	Rev. hse 4 and Lot 111	
3	Rev. 9rd. lot 112 to show As-Built Cond.	5-10-04
2	Rev. hse. 4 and Lot 62	1-23-04
1	Rev. hse. 4 and Lots 65 & 66	12-10-03



ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer: *Terrell A. Fisher* Date: 8/5/03

DEVELOPER'S CERTIFICATE
 I/we certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Signature of Developer: *Steve Appler* Date: 8/10/03

Reviewed for HOWARD SCD and meets Technical Requirements.

Signature: *Tom Mygus* Date: 8/18/03
 Title: *Tom Mygus*
 Conservation Service

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Signature: *John K. Salubert* Date: 8/18/03
 Title: *John K. Salubert*
 Howard SCD

OWNER
 THE HOWARD RESEARCH & DEVELOPMENT CORP.
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044
 410-992-6000

BUILDER/DEVELOPER
 GOODER BUILDERS
 10705 CHATER DRIVE
 SUITE 320
 COLUMBIA, MARYLAND 21044
 410-997-7400

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Signature: *Chris Hamilton* Date: 5/20/04
 Title: *Chris Hamilton*
 Chief, Division of Planning and Development

Signature: *Chris Daumann* Date: 6/24/03
 Title: *Chris Daumann*
 Chief, Development Engineering Division

Signature: *Paul J. Cagle* Date: 4/24/04
 Title: *Paul J. Cagle*
 Director - Department of Planning and Zoning

PROJECT	SECTION	LOTS NO.
EMERSON	SECTION 2 PHASE 4	62-67 & 109-112

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
16077 & 16078	0	PEC-MXD-3	47	SIXTH	6060.02

WATER CODE	SEWER CODE
E-15	7420000

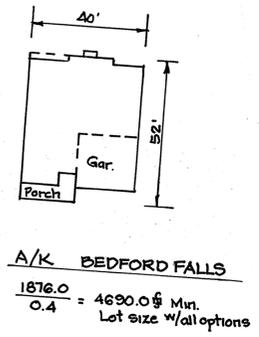
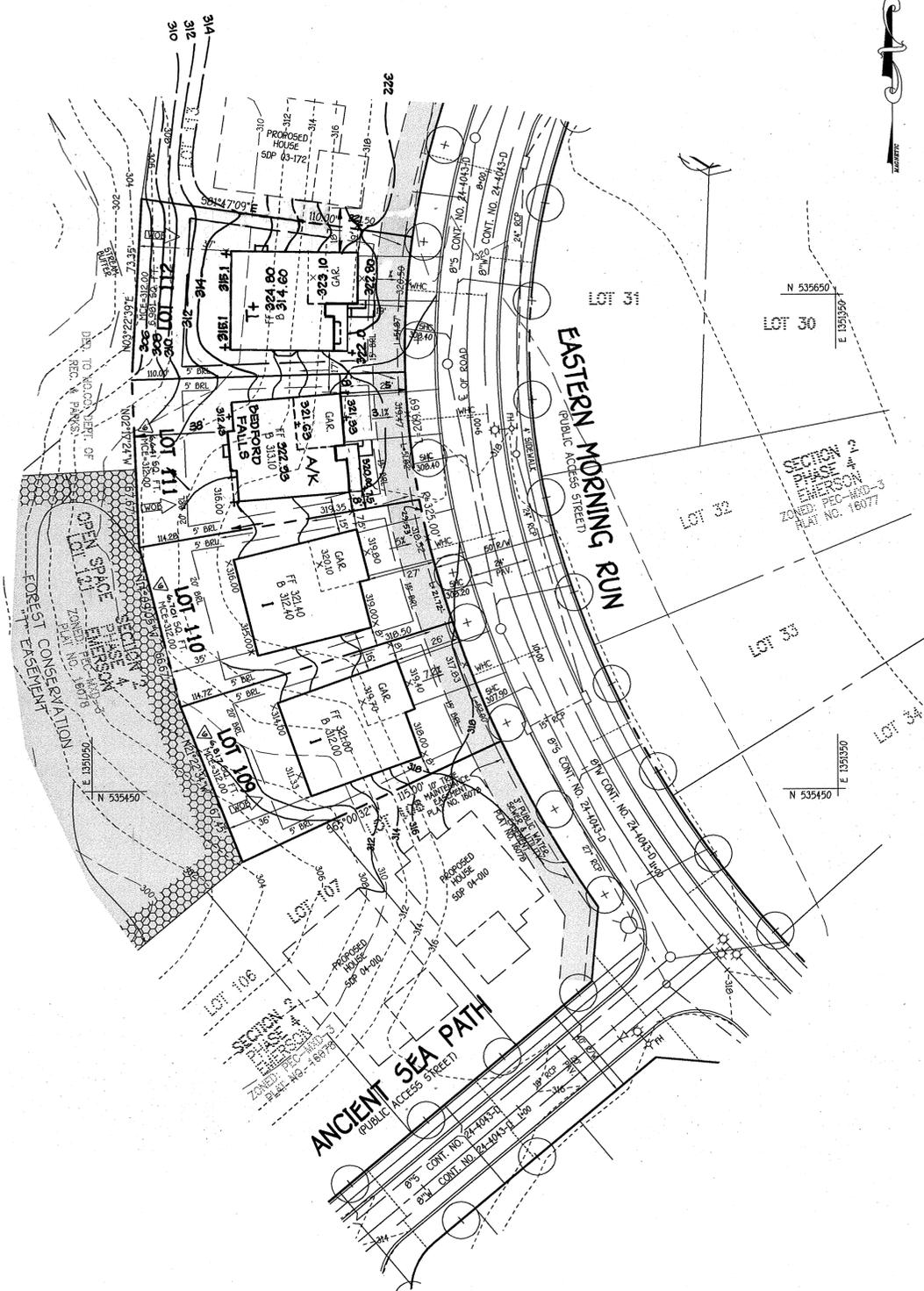
SITE DEVELOPMENT PLAN

SINGLE FAMILY DETACHED
EMERSON
 SECTION 2 PHASE 4
 LOTS 62-67 & 109-112

TAX MAP No: 47 PARCEL NO.: 3, 462 & 837 GRID NO.: 0
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' DATE: JUNE, 2003
 SHEET 2 OF 4

SDP 03-161

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FISHER, COLLINS & CARTER, INC. CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL FREE ELKOTT CITY, MARYLAND 21042 410.461-2999		
NO.	REVISION	DATE
6	FOR LOTS 62, 109, 110, 111 & 112	
5	REVISED LOT BEARINGS, DISTANCES & AREAS	2-24-04
4	Rev. grd. lot 112 to show Ex. Conditions	7-20-04
3	Rev. grd. lot 112 to show As-Built Cond.	5-10-04
2	Rev. Use 4 qrd. Lot 62	1-23-04
1	Rev. Use 4 qrd. Lots 65 & 66	12-10-03



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Signature of Engineer: *Terrell A. Fisher* Date: 8/5/03

DEVELOPER'S CERTIFICATE
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Signature of Developer: *Steve Appeler* Date: 8/6/03

Reviewed for HOWARD SCD and meets Technical Requirements. 8/18/03

Jim Myers Date: 8/18/03
 U.S.D.A.-Natural Resources Conservation Service

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

John R. Kolwisch Date: 8/18/03
 Howard SCD

OWNER
 THE HOWARD RESEARCH & DEVELOPMENT CORP.
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044
 410-992-6000

BUILDER/DEVELOPER
 GOODIER BUILDERS
 10705 CHATER DRIVE
 SUITE 320
 COLUMBIA, MARYLAND 21044
 410-997-7400

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chris Chandler Date: 8/25/03
 Chief, Division of Land Development

Chris Dammann Date: 8/24/03
 Chief, Development Engineering Division

Janis D'Angelo Date: 8/24/03
 Director - Department of Planning and Zoning

PROJECT: EMERSON SECTION 2 PHASE 4 LOTS NO. 62-67 & 109-112

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
16077 & 16078	B	PEC-MXD-3	47	SIXTH	6066.02
WATER CODE	SEWER CODE				
E-15	7420000				

SITE DEVELOPMENT PLAN

SINGLE FAMILY DETACHED DWELLINGS

EMERSON

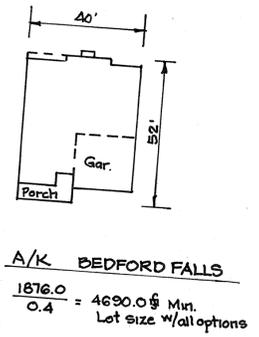
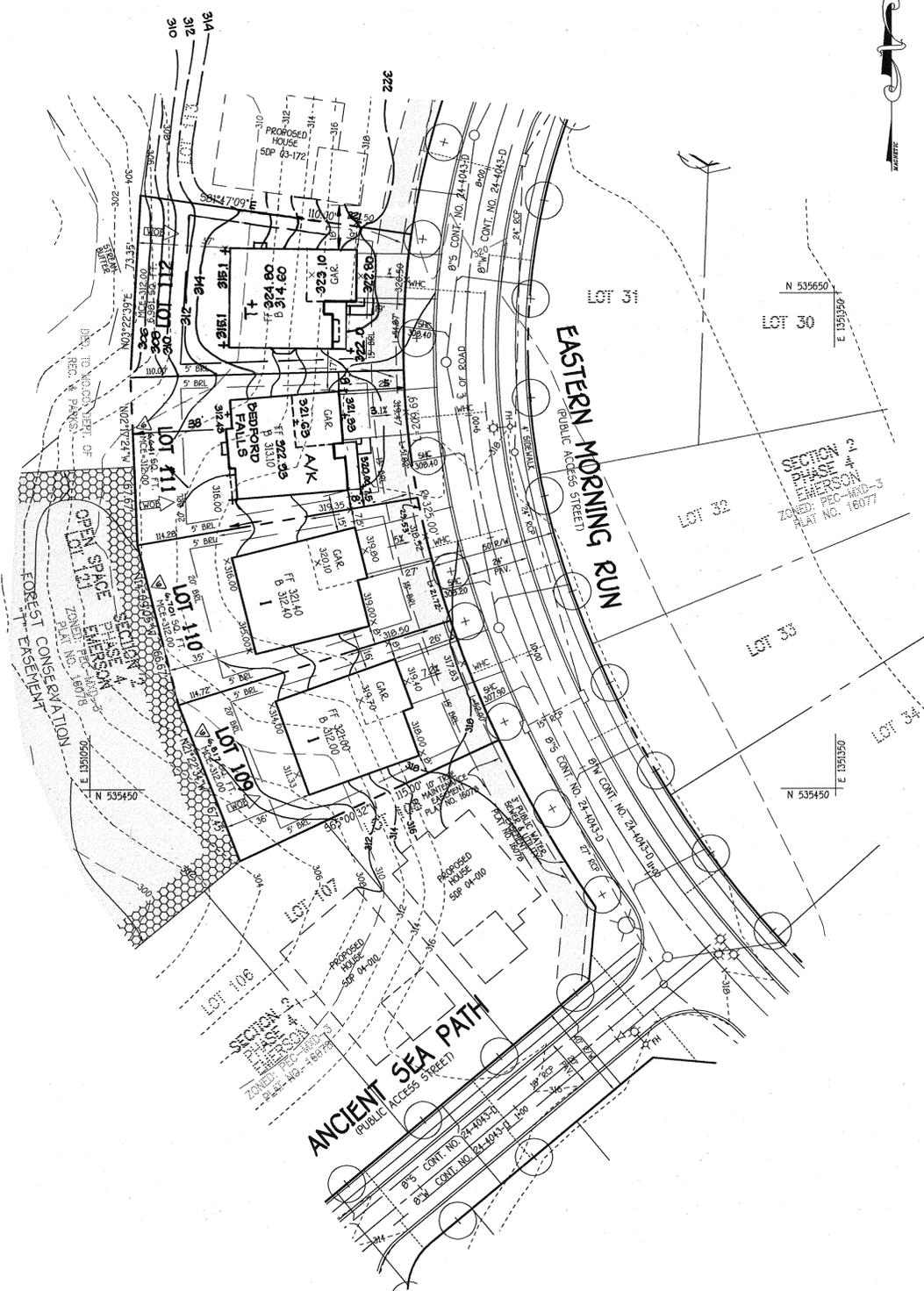
SECTION 2 PHASE 4

LOTS 62-67 & 109-112

TAX MAP No: 47 PARCEL No: 1053 GRID No: B
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' DATE: JUNE, 2003

SHEET 2 OF 4

SDP 03-161



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10275 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21044
 (410) 481-2095

NO.	REVISION	DATE
7	Rev. grd. lots 65 & 66 to show Ex. Cond.	8-20-04
6	FOR LOTS 62, 109, 110, 111 & 112	
5	REVISED LOT BEARINGS, DISTANCES & AREAS	2-24-04
4	Rev. grd. lot 112 to show Ex. Conditions	7-20-04
3	Rev. hse. & grd. Lot 111	
2	Rev. grd. lot 112 to show As-Built Cond.	5-10-04
1	Rev. hse. & grd. Lot 62	1-29-04
1	Rev. hse. & grd. Lots 65 & 66	12-10-03



ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer: *Terrell A. Fisher* Date: 8/5/03
 Signature of Developer: *Steve Apper* Date: 8/6/03

DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Reviewed for HOWARD SCD and meets Technical Requirements.

Signature: *John Mays* Date: 8/18/03
 Signature: *John K. Rowland* Date: 8/18/03

OWNER
 THE HOWARD RESEARCH & DEVELOPMENT CORP.
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044
 410-992-6000

BUILDER/DEVELOPER
 GOODIER BUILDERS
 10705 CHATER DRIVE
 SUITE 320
 COLUMBIA, MARYLAND 21044
 410-997-7400

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Signature: *Conrad Hamilton* Date: 8/25/03
 Signature: *Chris Crumpton* Date: 8/24/03
 Signature: *Mark M. Goggin* Date: 8/24/03

PROJECT	SECTION	LOTS NO.
EMERSON	SECTION 2 PHASE 4	62-67 & 109-112

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
16077 & 16078	8	PEC-MXD-3	47	SIXTH	6068.02

WATER CODE	SEWER CODE
E-15	7420000

SITE DEVELOPMENT PLAN

SINGLE FAMILY DETACHED DWELLINGS

EMERSON

SECTION 2 PHASE 4
 LOTS 62-67 & 109-112

TAX MAP No: 47 PARCEL NO.: 1053 GRID NO.: 8
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' DATE: JUNE, 2003
 SHEET 2 OF 4

SDP 03-161

PLANTING SPECIFICATIONS

Plants, related material, and operations shall meet the detailed description as given on the plans and as described herein. All plant material, unless otherwise specified, shall be nursery grown, uniformly branched, have a vigorous root system, and shall conform to the species, size, root and shape shown on the plant list and the American Association of Nurserymen (AAN) Standards. Plant material shall be healthy, vigorous, free from defects, decay, disfiguring roots, sun scald injuries, abrasions of the bark, plant diseases, insect pest eggs, borers and all forms of insect infestations or objectionable disfigurements. Plant material that is weak or which has been cut back from larger grades to meet specified requirements will be rejected. Trees with forked leaders will not be accepted. All plants shall be freshly dug; no heeled-in plants from cold storage will be accepted. Unless otherwise specified, all general conditions, planting operations, details and planting specification shall conform to "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Area", (hereinafter "Landscape Guidelines") approved by the Landscape Contractors Association of Metropolitan Washington and the Potomac Chapter of the American Society of Landscape Architects, latest edition, including all agenda.

Contractor shall be required to guarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section of the Landscape Guidelines. Contractor's attention is directed to the maintenance requirements found within the one year specifications including watering and replacement of specified plant material.

Contractor shall be responsible for notifying utility companies, utility contractors and "Miss Utility" a minimum of 48 hours prior to beginning any work. Contractor may make minor adjustments in spacing and location of plant material to avoid conflicts with utilities. Damage to existing structure and utilities shall be repaired at the expense of the Contractor.

Protection of existing vegetation to remain shall be accomplished by the temporary installation of 4 foot high snow fence or blue orange safety fence at the drip line.

Contractor is responsible for installing all material in the proper planting season for each plant type. All planting is to be completed within the growing season of completion of site construction.

Bid shall be based on actual site conditions. No extra payment shall be made for work arising from site conditions differing from those indicated on drawings and specifications.

Plant quantities are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on plan and those shown on the plant list, the quantities on the plant list take precedence.

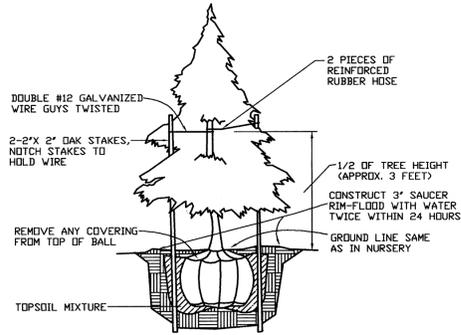
All shrubs shall be planted in continuous trenches or prepared planting beds and mulched with composted hardwood mulch as details and specified except where noted on plans.

Positive drainage shall be maintained in planting beds 2 percent slope.

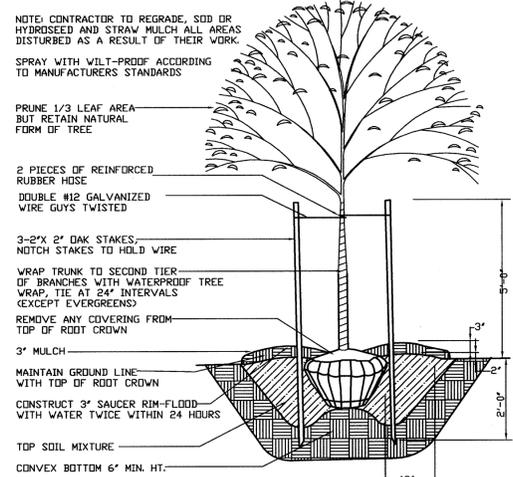
Planting mix shall be as follows: Deciduous Plants - Two parts topsoil, one part well-rotted cow or horse manure. Add 3 lbs. of standard fertilizer per cubic yard of planting mix. Evergreen Plants - Two parts topsoil, one part humus or other approved organic material. Add 3 lbs. of evergreen (acidic) fertilizer per cubic yard of planting mix. Topsoil shall conform to the Landscape Guidelines.

Weed Control: Incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. Caution: Be sure to carefully check the chemical used to assure its adaptability to the specific ground cover to be treated.

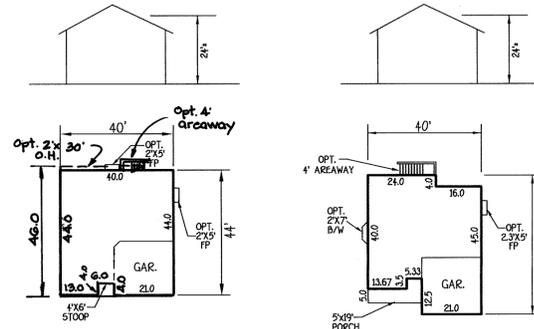
All areas within contract limits disturbed during or prior to construction not designated to receive plants and mulch shall be fine graded and seeded. This plan is intended for landscape use only; see other plan sheets for more information on grading, sediment control, layout, etc.



EVERGREEN PLANTING DETAIL
NOT TO SCALE

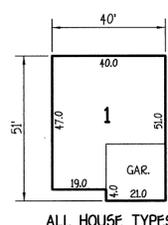


TREE PLANTING DETAIL
NOT TO SCALE

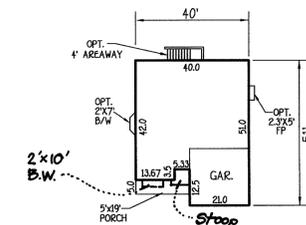


A/K
1760.00 SQ. FT. = 4400.00 SQ. FT. Min. Lot Size W/All Options

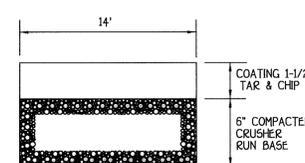
T
1820.00 SQ. FT. = 4550.00 SQ. FT. Min. Lot Size W/All Options



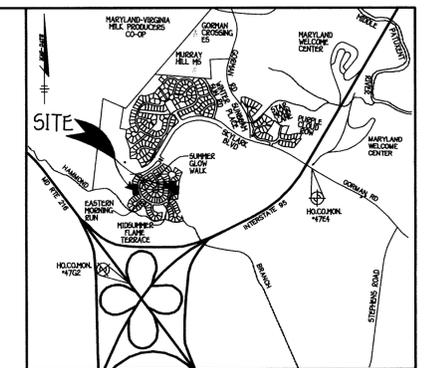
ALL HOUSE TYPES



T+
1940.00 SQ. FT. = 4850.00 SQ. FT. Min. Lot Size W/All Options



COMMON DRIVEWAY DETAIL
NOT TO SCALE



VICINITY MAP
SCALE: 1" = 200'

BENCH MARKS
T.P. 4764 ELEV. 339.00
N. 535.846.140
E. 1.355.431.224
LOC. NEAR I-95 BRIDGE ALONG GORMAN ROAD
T.P. 4762 ELEV. 363.53
N. 532.930.964
E. 1.352.224.095
LOC. NEAR MD. RTE. 216 WEST NEAR EXIT RAMP TO I-95

GENERAL NOTES

- SUBJECT PROPERTY ZONED PEC-MXD-3 AS GRANTED BY THE ZONING BOARD ON 9/30/98 AS CASE NO. 7929794.
- TOTAL AREA OF SITE: 1.530 ACRES
- TOTAL NUMBER OF LOTS SUBMITTED: 10 SFD
- THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTION DIVISION AT (410)313-1880 AT LEAST (5) FIVE WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THIS PROJECT IS SUBJECT TO HOWARD COUNTY FILES: ZB-9794, WP 99-96, S 99-12, PB-339, P-02-15, F-03-13, WAS CONT. #24-1043-D.
- THIS PLAN IS BASED ON A FIELD RUN MONUMENTED BOUNDARY SURVEY PERFORMED ON OR ABOUT JUNE, 1999 BY DAFT MCCUNE WALKER, INC.
- HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON NAD 83, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS.
- HOWARD COUNTY MONUMENT 4764 N 535.846.140 E 1.354.322.4 HOWARD COUNTY MONUMENT 4762 N 532.930.964 E 1.352.224.095
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- THIS PLAN IS FOR HOUSE SITING AND GRADING ONLY. IMPROVEMENTS SHOWN WITHIN THE RIGHTS-OF-WAY OF THIS S.D.P. ARE NOT USED FOR CONSTRUCTION. FOR CONSTRUCTION SEE APPROVED ROAD CONSTRUCTION PLANS F-03-13. AND/OR APPROVED WATER AND SEWER PLANS CONTRACT NO. 24-1043-D.
- CONTRACTOR WILL CHECK SEWER HOUSE CONNECTION ELEVATION AT EASEMENT LINE PRIOR TO CONSTRUCTION.
- STORMWATER MANAGEMENT WILL BE PROVIDED AS APPROVED ON THE ROAD CONSTRUCTION DRAWINGS FILED UNDER F-03-13.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL AND DEVELOPMENT CRITERIA APPROVED BY THE PLANNING BOARD 7-1-99 PER CASE NO. PB-339 REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$13,050.00 FOR 45 INTERIOR LANDSCAPING TREES.
- PERIMETER LANDSCAPING AND STREET TREES SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL AND DEVELOPMENT CRITERIA APPROVED BY THE PLANNING BOARD 7-1-99 PER CASE NO. PB-339 AS SHOWN ON THE APPROVED ROAD CONSTRUCTION DRAWINGS FILED UNDER F-03-13.
- FOREST CONSERVATION REQUIREMENTS HAVE BEEN ADDRESSED WITH F-03-13.
- FOR DRIVEWAY ENTRANCE DETAILS REFER TO HO. CODES MANUAL, VOL. IV, DETAILS R.6.03 & R.6.05.
- OPEN SPACE REQUIREMENTS FOR THESE LOTS HAVE BEEN PROVIDED UNDER F-03-13.
- MINIMUM BUILDING RESTRICTION SETBACKS FROM PROPERTY LINES AND PUBLIC ROAD RIGHTS-OF-WAY ARE TO BE IN ACCORDANCE WITH THE DEVELOPMENT CRITERIA APPROVED WITH THE COMPREHENSIVE SKETCH PLAN 5-99-12 AND THE DECISION AND ORDER FOR PB-339 APPROVED ON JULY 1, 1999.
- THE MINIMUM SETBACKS FOR STRUCTURES SHALL BE AS FOLLOWS:
FRONT SETBACK 15' FROM THE RIGHT-OF-WAY TO THE HOUSE OR GARAGE.
SIDE SETBACK 5' TO THE PROPERTY LINE WITH A MINIMUM OF 15' BETWEEN STRUCTURES.
REAR SETBACK 10' FROM THE PROPERTY LINE TO AN OPEN DECK.
20' FROM THE PROPERTY LINE TO THE HOUSE.
ANY DEVIATION FROM THESE SETBACK REQUIREMENTS WILL REQUIRE SITE DEVELOPMENT PLAN APPROVED BY THE HOWARD COUNTY PLANNING BOARD.
- LOT COVERAGE BY BUILDINGS WITHIN SINGLE FAMILY DETACHED LAND USE AREAS SHALL NOT EXCEED 40%. NO LIMITATION IS IMPOSED UPON THE AREA USED FOR SIDEWALKS, PAVED PARKING AREAS, PATIOS, DECKS, LANDSCAPING AND SIMILAR MINOR STRUCTURE.
- AS A CONSEQUENCE OF THIS SUBMISSION, ON JUNE 25, 2003, THIS S.D.P. IS SUBJECT TO THE 5TH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE ZONING REGULATIONS AS AMENDED BY COUNCIL BILL 90-2001.
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16' FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACKS. THE 15' MINIMUM DISTANCE BETWEEN STRUCTURES DOES NOT APPLY TO THOSE REFERENCED FEATURES NOR BETWEEN OPEN DECKS AND A DWELLING STRUCTURE OR ANOTHER DECK. AS AN ADVISORY, THE 15' DISTANCE DOES APPLY TO THE SECOND STORY OVERHANG.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING (MINIMUM) REQUIREMENTS:
A) WIDTH - 12' (14' IF SERVING MORE THAN ONE RESIDENCE)
B) SURFACE - 6" OF COMPACTED CRUSHER RUN BASE, W/TAR AND CHIP COATING (1-1/2" MIN) TURNING RADIUS.
C) GEOMETRY MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND 45 FOOT TURNING RADIUS.
D) STRUCTURES - (BRIDGES/CULVERTS) CAPABLE OF SUPPORTING 25 GROSS TONS (225-LOADING)
E) DRAINAGE ELEMENTS CAPABLE OF SAFETY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
F) STRUCTURE CLEARANCES - MINIMUM 12 FEET
G) MAINTENANCE SUFFICIENT TO INSURE ALL WEATHER USE.

- SURETY AMOUNT FOR THIS PLAN IS IN THE AMOUNT OF \$13,050.00
- LANDSCAPING SURETY FOR LOTS 62,63,67,109,110 & 112 IS \$12,000.00 PER LOT. THE LANDSCAPING SURETY FOR LOTS 65,66 & 111 IS \$15,000.00 PER LOT. THE LANDSCAPING SURETY FOR LOT 64 IS \$13,500.00 PER LOT. STREET TREES ARE NOT INCLUDED IN MODIFIED SCHEDULE C LANDSCAPE CALCULATIONS.
 - TYPE "B" BUFFER OR PERIMETER LANDSCAPE BUFFER WILL BE CREDITED TOWARDS THE LANDSCAPE REQUIREMENTS.
 - LANDSCAPE CAN NOT BE PLANTED IN ANY PUBLIC EASEMENTS.
 - FINAL PLANTING TYPE AND LOCATION IS SUBJECT TO APPROVAL BY THE ARCHITECTURAL COMMITTEE.
 - AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTING HEREWITH LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH HOWARD COUNTY LANDSCAPE MANUAL.
 - THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, PLANT MATERIALS, BERRY FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED OR REPLACED.
 - SIZES OF PLANT MATERIALS MUST CONFORM TO THE REQUIREMENTS OF THE LANDSCAPE MANUAL, CHAPTER IV AND APPENDIX C.

KEY PROPERTY DEVELOPMENT CRITERIA, APPROVED 7/1/99

SECTION VII RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING

THE QUANTITY AND GENERAL LOCATION OF TREES REQUIRED FOR INTERNAL LANDSCAPING ARE DETERMINED BY CRITERIA APPLIED BY THE ARCHITECTURAL COMMITTEE. THE COMMITTEE WILL CLASSIFY, DURING ARCHITECTURAL REVIEW, ALL LOTS AND PARCELS AS D) NON-WOODED; 2) SEMI-WOODED; 3) WOODED. SUCH CLASSIFICATION SHALL TAKE INTO ACCOUNT THE EXISTING TREE COVER AND THE POTENTIAL FOR SAVING TREES IN CONNECTION WITH GRADING AND SITING. THIS CRITERIA ALSO CONSIDER THE SIZE OF THE LOT, AMOUNT OF EXISTING VEGETATION AND THE TYPE AND SITING OF RESIDENTIAL UNITS, IF, DURING OR AFTER CONSTRUCTION, THE COMMITTEE DETERMINES THAT A BUILDER HAS VIOLATED ANY PROVISION OF TREE PRESERVATION, THE BUILDER WILL BE REQUIRED TO ADD NEW PLANT MATERIAL. SHADE TREE REQUIREMENTS ARE SPECIFIED BY THE FOLLOWING TABLE. DENSITIES REFER TO THE DENSITY OF THE INDIVIDUAL PARCEL.

SHADE TREE REQUIREMENTS

TYPE OF UNIT AND LOT SIZE	MINIMUM NUMBER OF SHADE TREES REQUIRED		
	NON WOODED	SEMI WOODED	WOODED
MEDIUM RESIDENTIAL LOT (7,000-13,000 SQUARE FEET) 2-4 DU./ACRE	5.0/LOT	3.0/LOT	2.0/LOT
SMALL RESIDENTIAL LOT (4,000 - 7,000 SQUARE FEET FOR CLUSTER HOUSING)	4.0/LOT	2.25/LOT	1.25/LOT

SUBSTITUTION OF TWO FLOWERING TREES OR TWO EVERGREEN TREES FOR EACH SHADE TREE MAY BE PERMITTED UP TO 50% OF THE REQUIRED NUMBER OF SHADE TREES SHOWN IN THE TABLE SUBJECT TO THE APPROVAL OF THE ARCHITECTURAL COMMITTEE. CREDIT MAY ALSO BE GIVEN FOR ANY AREAS REQUIRED TO BE PROVIDED ALONG ROADWAYS, SUBJECT TO THE APPROVAL OF THE ARCHITECTURAL COMMITTEE.

LOT NO.	LOT CLASSIFICATION	INTERNAL LANDSCAPING REQUIRED (# OF SHADE TREES)	TYPE B REQUIRED		SHADE TREE CREDIT *	REMAINING SHADE TREE OBLIGATION	TOTAL TREES REQUIRED	
			SHADE	EVERGREEN			SHADE	EVERGREEN
LOTS 65,66 & 111	NON-WOODED	5 TREES PER LOT	N/A	N/A	0	0	15	0
LOTS 62,63, 67,109, 110 & 112	NON-WOODED	4 TREES PER LOT	N/A	N/A	0	0	24	0
LOT 64 CORNER	NON-WOODED	4 TREES	2	3	3	1	3	3
TOTAL TREES							42	3

* THIS NUMBER REFLECTS THE MATHEMATICAL CONVERSION OF EVERGREEN TREES TO SHADE TREES (2:1) FOR THE PURPOSE OF MEETING THE INTERNAL PER LOT SHADE TREE OBLIGATION.

LOT NO.	PERIMETER	CATEGORY (PROPERTIES/ROADWAYS)	LANDSCAPE TYPE	LINEAR FEET OF ROADWAY FRONTAGE PERIMETER	NUMBER OF PLANTS REQUIRED		TOTAL TREES
					SHADE TREES	EVERGREEN TREES	
64	P-1	ADJACENT TO ROADWAY	B	110'	2	3	5

BUILDER/DEVELOPER'S CERTIFICATE

I/WE CERTIFY THAT THE REQUIRED LANDSCAPING WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Steve Appler 8/8/03
STEVE APPLER DATE

ENGINEER'S CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Terrell A. Fisher 8/5/03
Signature of Engineer TERRELL A. FISHER DATE

BUILDER/DEVELOPER'S CERTIFICATE

I/WE certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Steve Appler 8/8/03
Signature of Developer STEVE APPLER DATE

Reviewed for HOWARD SCD and meets Technical Requirements.

John K. Kobulek 8/18/03
Date

Conservation Service
This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
John K. Kobulek 8/18/03
Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chris Harms 8/29/03
Date
Steve Appler 8/23/03
Date

PROJECT	SECTION	LOTS NO.
EMERSON	SECTION 2 PHASE 4	62-67 & 109-112

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
16077 & 16078	B	PEC-MXD-3	47	SIXTH	6068.02

WATER CODE	SEWER CODE
E-15	7640000

TITLE SHEET

SINGLE FAMILY DETACHED
EMERSON
SECTION 2 PHASE 4
LOTS 62-67 & 109-112

TAX MAP No: 47 PARCEL NO.: 3, 462 & 837 GRID B
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 30' DATE: JUNE, 2003
SHEET 1 OF 4

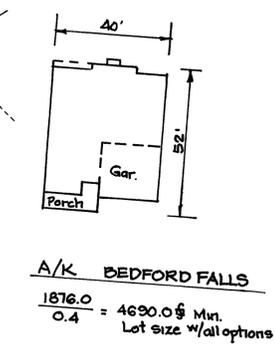
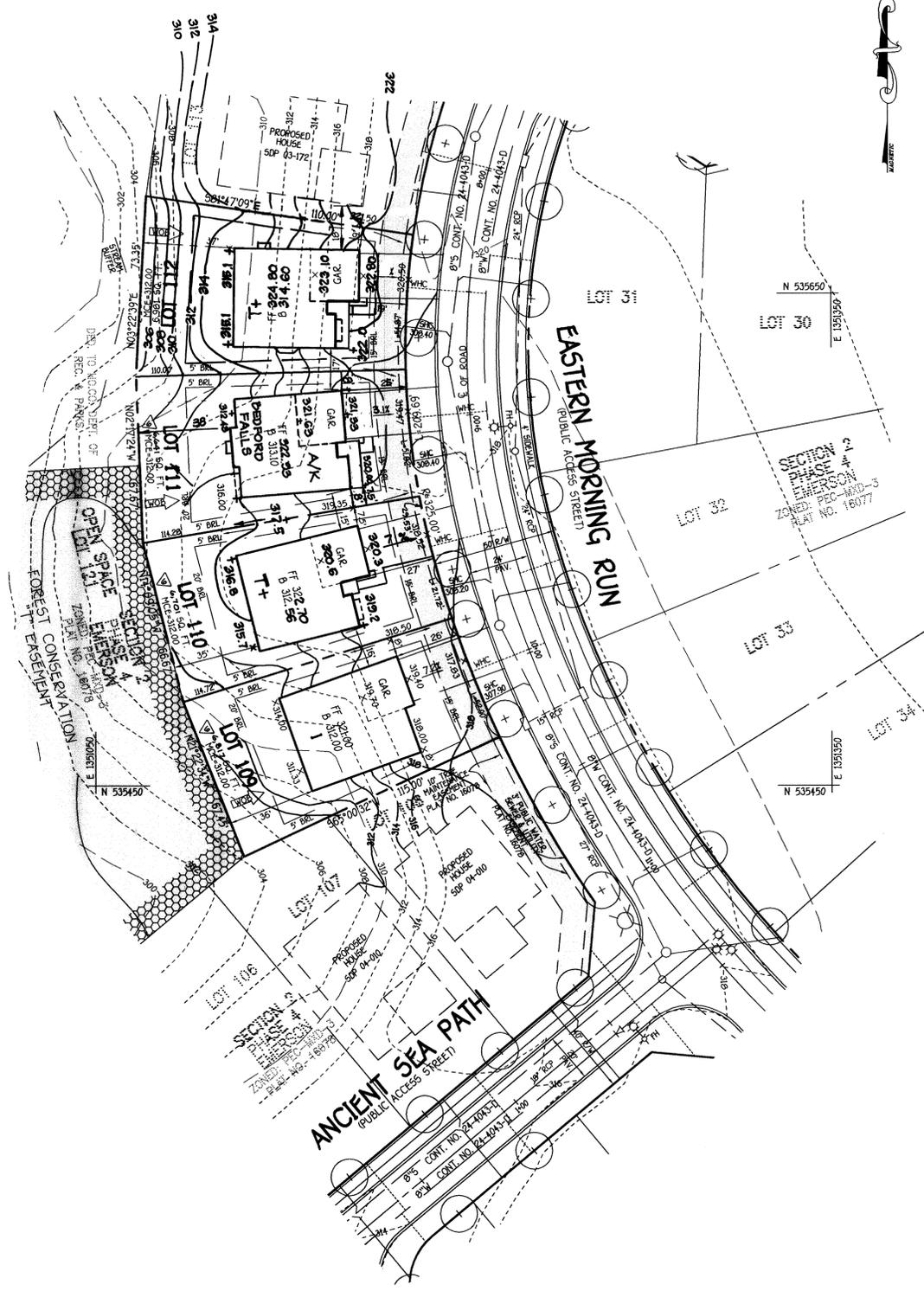
SYMBOL	DESCRIPTION
- - - - -	EXISTING CONTOUR 2' INTERVAL
•	SPOT ELEVATION
▭	PROPOSED WALKOUT
▨	FOREST CONSERVATION EASEMENT
- - - - -	SUPER SILT FENCE
•••••	EROSION CONTROL MATTING
○	LIMIT OF DISTURBANCE
○	EXISTING STREET TREE TAKEN FROM F-03-13

LOT NUMBER	STREET ADDRESS
62	8618 EASTERN MORNING RUN
63	8618 EASTERN MORNING RUN
64	10201 MIDSUMMER FLAME TERRACE
65	10205 MIDSUMMER FLAME TERRACE
66	10209 MIDSUMMER FLAME TERRACE
67	10212 MIDSUMMER FLAME TERRACE
109	8554 EASTERN MORNING RUN
110	8550 EASTERN MORNING RUN
111	8546 EASTERN MORNING RUN
112	8542 EASTERN MORNING RUN



NO.	REVISION	DATE
2	Add Opt Stoop B.W. to T+ hse. model	10-10-03
1	Revise A/K model per new arch. plans	12-10-03

SDP 03-161



J:\50001 Emerson Property\dwg\SitePhase4\1850_Sdp_Lots_62-67 & 109-112.dwg, 8/5/2003 12:24:02 PM

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CONTINENTAL SQUARE OFFICE PARK - 10772 BALTHORE NATIONAL PIKE
 ELKOTT CITY, MARYLAND 21042
 (410) 481-2995

NO.	REVISION	DATE
8	Rev. hse & grd. lot 110 to show Ex. Conditions	10-10-04
7	Rev. grd. lots 65 & 66 to show Ex. Cond.	8-20-04
6	FOR LOTS 62, 109, 110, 111 & 112	
	REVISED LOT BEARINGS, DISTANCES & AREAS	2-24-04
5	Rev. grd. lot 112 to show As-Built Cond.	7-20-04
4	Rev. hse & grd. Lot 111	
3	Rev. grd. lot 112 to show As-Built Cond.	5-10-04
2	Rev. hse & grd. Lot 62	1-29-04
1	Rev. hse & grd. Lots 65 & 66	12-10-03



ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer: *Terrell A. Fisher* 8/5/03 Date
 Signature of Developer: *Steve Fowler* 8/6/03 Date

DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Reviewed for HOWARD SCD and meets Technical Requirements. 8/18/03 Date
Jim Meyers Date
 Conservation Service
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT. 8/18/03 Date
John C. Kalarickal Date
 Howard SCD

OWNER
 THE HOWARD RESEARCH & DEVELOPMENT CORP.
 10275 LITTLE PATUXENT PARKWAY
 SUITE 320
 COLUMBIA, MARYLAND 21044
 410-992-6000

BUILDER/DEVELOPER
 GOODIER BUILDERS
 10705 CHATER DRIVE
 SUITE 320
 COLUMBIA, MARYLAND 21044
 410-997-7400

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Cindy Hamilton 8/25/03 Date
 Chief, Division of Land Development
Chris Daumann 8/22/03 Date
 Chief, Development Engineering Division MKK
Mark M. Wright 8/24/03 Date
 Director - Department of Planning and Zoning

PROJECT: EMERSON SECTION 2 PHASE 4
 SECTION: SECTION 2 PHASE 4
 LOTS NO.: 62-67 & 109-112

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
16077 & 16078	8	PEC-MXD-3	47	SIXTH	6068.02

WATER CODE: E-15
 SEWER CODE: 7420000

SITE DEVELOPMENT PLAN

SINGLE FAMILY DETACHED DWELLINGS

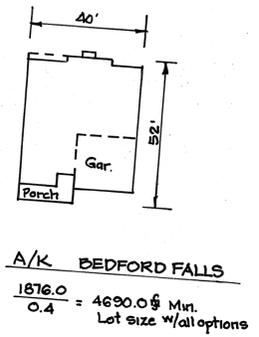
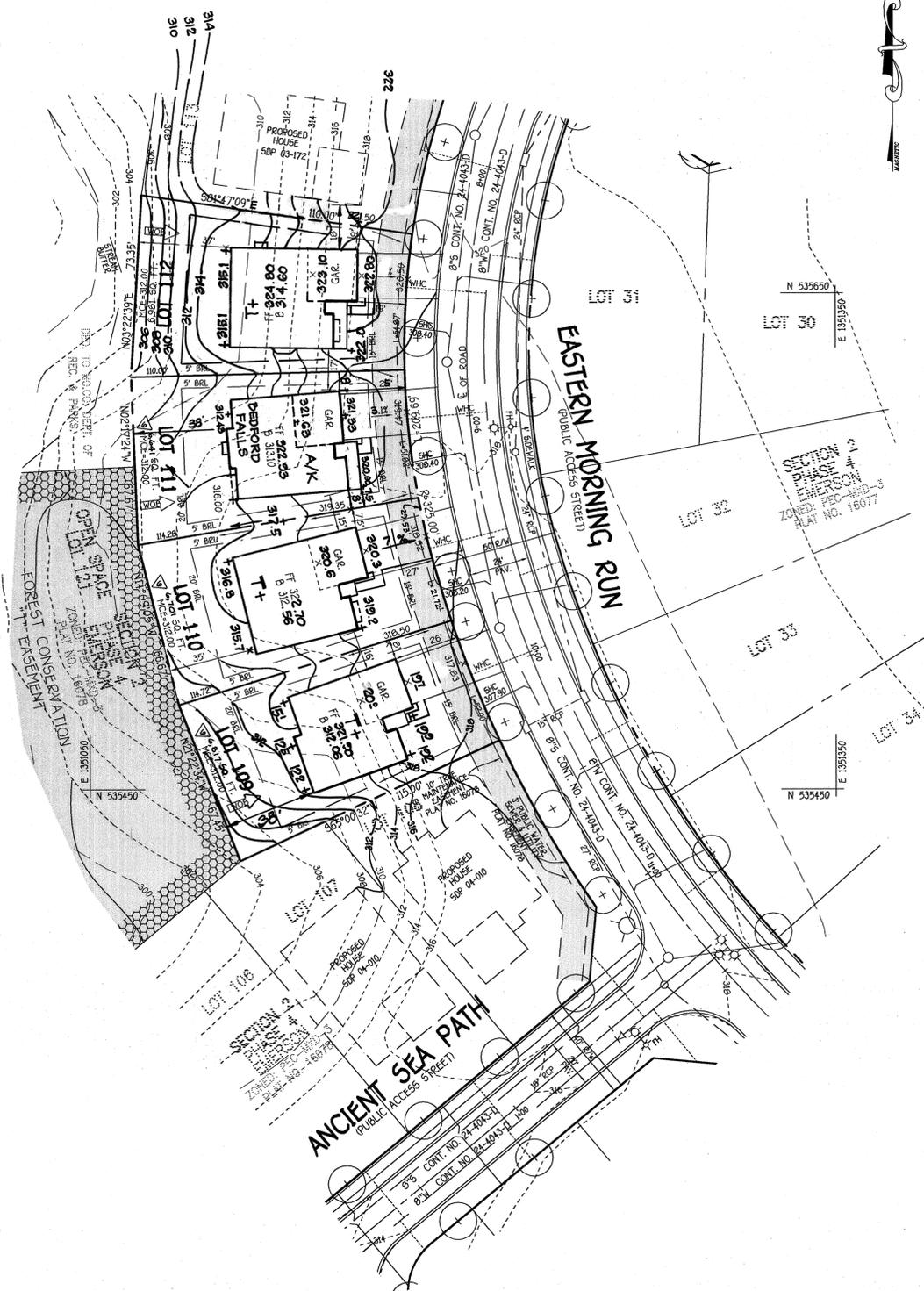
EMERSON

SECTION 2 PHASE 4

LOTS 62-67 & 109-112

TAX MAP No: 47 PARCEL No.: 1053 GRID No.: 8
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' DATE: JUNE, 2003
 SHEET 2 OF 4

SDP 03-161



A/K BEDFORD FALLS
 $\frac{1876.0}{0.4} = 4690.0$ Min.
 Lot size w/all options



J:\5001 Emerson Property\dwg\SitePhase4\61650_Coverlet61650_Shp_Lots 62-67 & 109-112.dwg, 8/5/2003 12:24:02 PM

FISHER, COLLINS & CARTER, INC. CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS CENTRAL SQUARE OFFICE PARK - 19275 BALTIMORE NATIONAL PIKE ELLICOTT CITY, MARYLAND 21042 (410) 481-2555		
NO.	REVISION	DATE
1	Rev. hse. 4 qrd. Lot 109 to show Ex. Cond.	10-22-04
2	Rev. hse. 4 qrd. Lot 110 to show Ex. Conditions	10-10-04
3	Rev. grd. lots 62-66 to show Ex. Cond.	8-20-04
4	FOR LOTS 62, 109, 110, 111 + 123	
5	REVISED LOT DIMENSIONS, DISTANCES & AREAS	2-24-04
6	Rev. hse. 4 qrd. Lot 111	7-20-04
7	Rev. grd. Lot 112 to show As-Built Cond.	5-10-04
8	Rev. hse. 4 qrd. Lot 62	1-22-04
9	Rev. hse. 4 qrd. Lots 62-66	12-10-03



ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer: *Terrell A. Fisher* Date: 8/5/03
 Terrell A. Fisher
 PROFESSIONAL ENGINEER

DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Signature of Developer: *Steve Appeler* Date: 8/6/03
 Steve Appeler

Reviewed for HOWARD SCD and meets Technical Requirements. 8/18/03 Date

Jim Myrva 8/18/03 Date
 USIA-Natural Resources Conservation Service

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT. 8/18/03 Date

John K. Palumbo 8/18/03 Date
 Howard SCD

OWNER
 THE HOWARD RESEARCH & DEVELOPMENT CORP.
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044
 410-992-6000

BUILDER/DEVELOPER
 GOODIER BUILDERS
 10705 CHATER DRIVE
 SUITE 320
 COLUMBIA, MARYLAND 21044
 410-997-7400

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chris Hamilton 8/25/03 Date
 Chief, Division of Land Development

Chad Williamson 8/24/03 Date
 Chief, Development Engineering Division MK

Mark M. Wagle 8/24/03 Date
 Director - Department of Planning and Zoning

PROJECT	SECTION	LOTS NO.
EMERSON	SECTION 2 PHASE 4	62-67 & 109-112
PLAT	BLOCK NO.	ZONE
16077 & 16078	B	PEC-MXD-3
WATER CODE	SEWER CODE	ELEC. DIST.
E-15	7420000	SIXTH
		CENSUS TR.
		6068.02

SITE DEVELOPMENT PLAN

SINGLE FAMILY DETACHED DWELLINGS

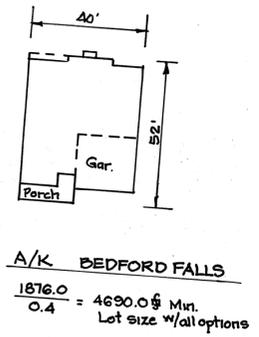
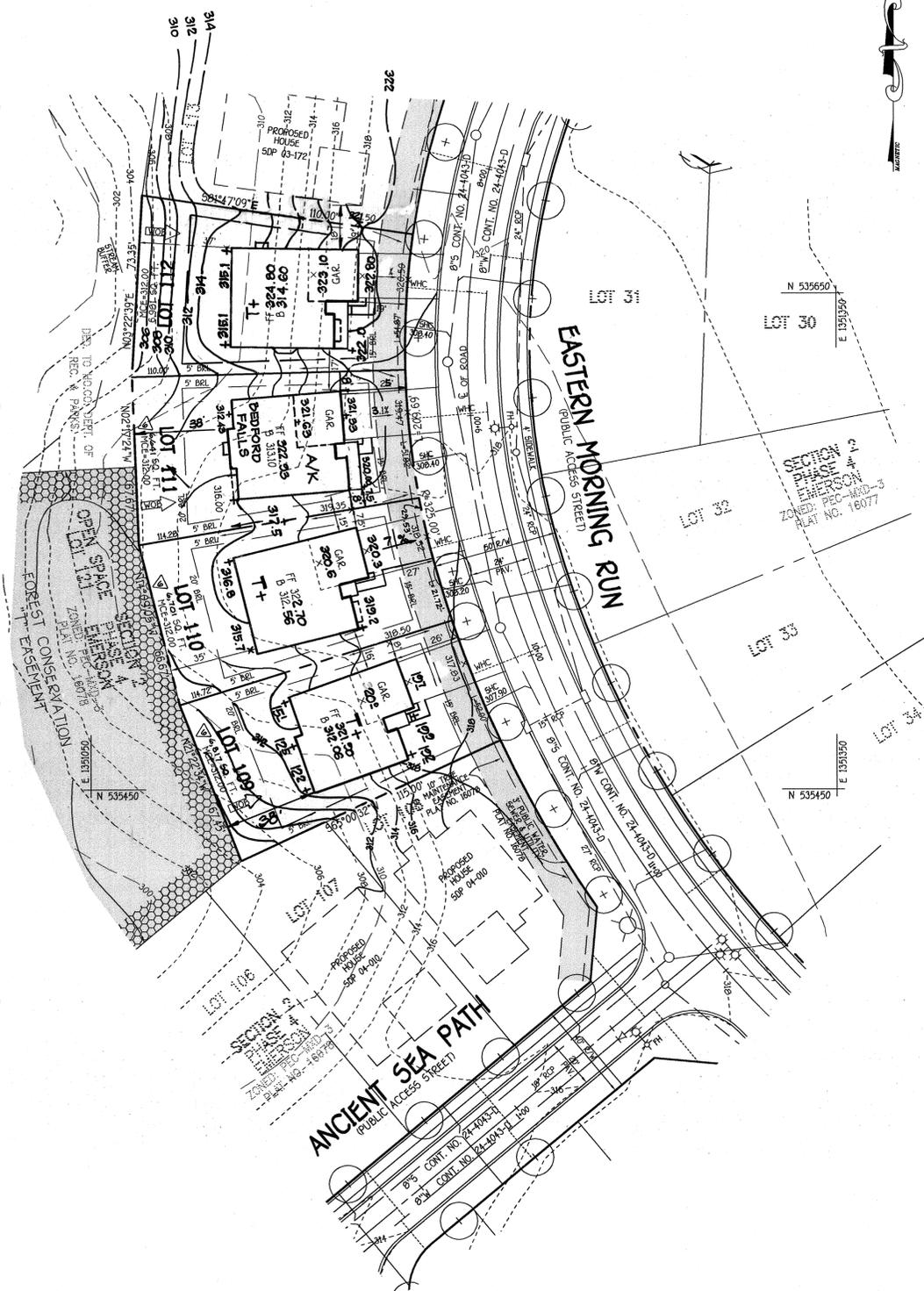
EMERSON

SECTION 2 PHASE 4

LOTS 62-67 & 109-112

TAX MAP No: 47 PARCEL NO.: 1053 GRID NO.: 8
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' DATE: JUNE, 2003
 SHEET 2 OF 4

SDP 03-161



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NO.	REVISION	DATE
10	Rev. hse. & grd. lots 67, 68 and 64 to show Existing Conditions	10-20-04
9	Rev. hse. & grd. lot 109 to show Ex. Cond.	10-22-04
8	Rev. hse. & grd. lot 110 to show Ex. Conditions	10-10-04
7	Rev. grd. lots 65 & 66 to show Ex. Cond.	8-20-04
6	FOR LOTS 62, 109, 110, 111 & 112	
5	REVISED LOT BEARINGS, DISTANCES & AREAS	2-24-04
4	Rev. grd. lot 112 to show Ex. Conditions	7-20-04
3	Rev. hse. & grd. Lot 111	
2	Rev. grd. lot 112 to show As-Built Cond.	5-10-04
1	Rev. hse. & grd. Lot 62	1-23-04
1	Rev. hse. & grd. Lots 65 & 66	12-10-03



ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer: *Terrell A. Fisher* Date: 8/5/03
 Terrell A. Fisher
 PROFESSIONAL ENGINEER

DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Signature of Developer: *Steve Appeler* Date: 8/8/03
 Steve Appeler

Reviewed for HOWARD SCD and meets Technical Requirements. 8/18/03
Jim Myers Date: 8/18/03
 Jim Myers
 U.S.D.A.-Natural Resource Conservation Service

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
John K. Pollock Date: 8/18/03
 John K. Pollock
 Howard SCD

OWNER
 THE HOWARD RESEARCH & DEVELOPMENT CORP.
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044
 410-992-6000

BUILDER/DEVELOPER
 GOODIER BUILDERS
 10705 CHATER DRIVE
 SUITE 320
 COLUMBIA, MARYLAND 21044
 410-997-7400

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chris Hamilton Date: 8/25/03
 Chris Hamilton
 Chief, Division of Land Development

Chad Cummings Date: 8/24/03
 Chad Cummings
 Chief, Development Engineering Division

Mark M. Gwilt Date: 8/24/03
 Mark M. Gwilt
 Director - Department of Planning and Zoning

PROJECT	SECTION	LOTS NO.
EMERSON	SECTION 2 PHASE 4	62-67 & 109-112
PLAT	BLOCK NO.	ZONE
16077 & 16078	8	PEC-MXD-3
WATER CODE	AW	SIXTH
E-15	7420000	6068.02

SITE DEVELOPMENT PLAN

SINGLE FAMILY DETACHED DWELLINGS

EMERSON

SECTION 2 PHASE 4
 LOTS 62-67 & 109-112

TAX MAP No: 47 PARCEL No: 1053 GRID No: 8
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' DATE: JUNE, 2003

SHEET 2 OF 4

SDP 03-161