

# CENTRE 9500 -- PARCEL 'C' SITE DEVELOPMENT PLAN

## FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

### GENERAL NOTES

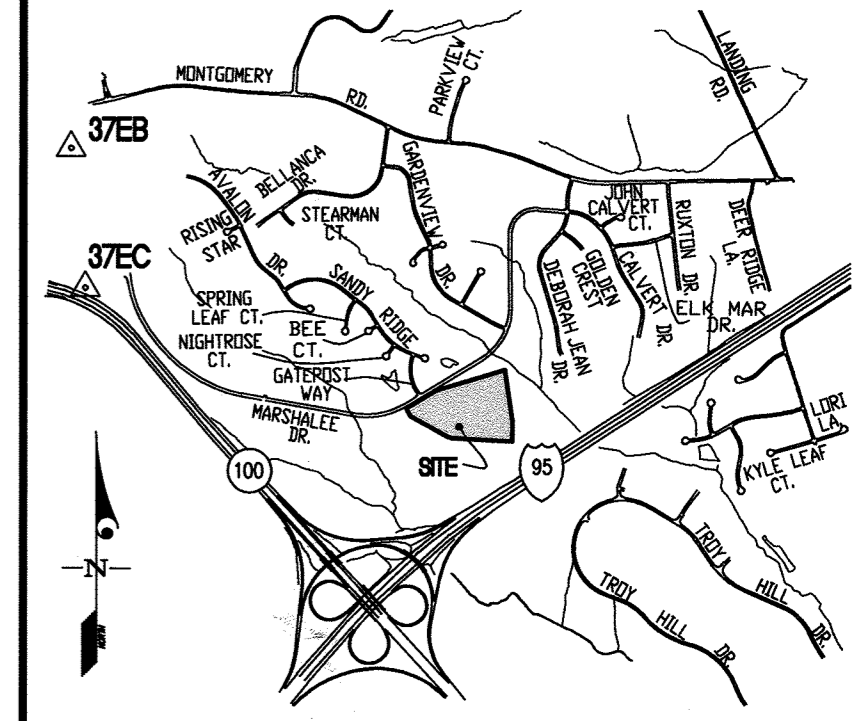
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.
- PROJECT BACKGROUND:  
LOCATION: ON THE SOUTHEAST SIDE THE INTX. OF MARSHALEE DRIVE & GATEPOST WAY  
TAX MAP: 37  
ZONING: PARCEL-C IS ZONED POR PER ZB-1021M (SEPT. 06, 2002).  
ELECTION DISTRICT: 1  
GROSS AREA OF PARCEL 'C': 12.38 ± ACRES PER PLAT #14213 (F-00-07)
- FOR OTHER SUBMISSIONS RELATED TO THIS SITE, SEE HOWARD COUNTY FILE NOS.:  
P-93-11, F-94-96, CAPITAL PROJECT J-4136, WP-04-018, F-04-094 (PLAT 16515) AND F-04-099 (PLAT 16538).
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIALY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
- EXISTING TOPOGRAPHY AND FEATURES COMPILED FROM C.P. J-4136 AND F-94-96.
- COORDINATES ARE BASED ON NAD '83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NUMBERS 37 EB AND 37 EC.
- STORMWATER MANAGEMENT IS PROVIDED BY AN EXISTING EXTENDED DETENTION FACILITY (PER C.P. J-4136) STRADDLING THE SOUTH SIDE OF PARCEL 'C' AND THE ADJACENT PARCEL 'W'.
- PUBLIC WATER AND SEWER SHALL BE UTILIZED (AS PROVIDED BY WAS CONTRACT NOS. 14-3369-D, 14-3373-D AND THE ON-SITE 44-1167-D). HOWEVER, ALL SEWER AND STORMDRAIN (LINES AND STRUCTURES) PROPOSED WITHIN PARCEL-A ARE PRIVATELY (NOT PUBLICLY) MAINTAINED. WITHIN PARCEL-C, ONLY THE WATER LINE AND FIRE HYDRANTS WITHIN THE EASEMENT FOR CONTRACT #44-4167-D IS PUBLICLY MAINTAINED. WATER METERS ARE INSIDE THE BUILDINGS.
- THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS. THE CONTRACTOR MUST DIG TEST PITS (BY HAND) AT ALL UTILITY CROSSINGS AND CONNECTION POINTS TO VERIFY EXACT LOCATION. IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS.
- ALL ON-SITE DRIVEWAYS AND PARKING ARE PRIVATELY OWNED AND MAINTAINED.
- ANY DAMAGE TO THE ADJACENT COUNTY OWNED RIGHT-OF-WAY AND PROPERTY SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- ALL PROPOSED RAMPS SHALL BE IN ACCORDANCE WITH CURRENT A.D.A. STANDARDS. MAXIMUM SIDEWALK CROSS (2%) TWO PERCENT. PROVIDE A (5'X5') FIVE FOOT BY FIVE FOOT LEVEL (2% MAX.) LANDING AREA SLOPE SHALL BE AT THE TOP AND BOTTOM OF ALL RAMPS AND BUILDING INGRESS/EGRESS POINTS.
- TRENCH BEDDING FOR STORM DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH HOWARD COUNTY STANDARD G2.01. CLASS "C" BEDDING, UNLESS OTHERWISE NOTED.
- GUTTER PAN OF CURBS SHALL BE PITCHED TO CONFORM TO THE ADJACENT DRAINAGE PATTERNS OF THE ADJOINING PAVING FOR VEHICULAR USE. SPOT ELEVATIONS ALONG THE CURB ARE TO THE FLOW LINE (BOTTOM OF CURB), UNLESS NOTED OTHERWISE. ALL CURB FILLETS ARE 5' RADIUS UNLESS NOTED OTHERWISE.
- THERE ARE NO KNOWN GRAVE SITES OR CEMETERIES ON THIS SITE.
- OTHER TOPICS RELATED TO THE DEVELOPMENT OF THIS SITE:  
- TRANSPORTATION ANALYSIS BY LEE CUNNINGHAM & ASSOCIATES, INC. DATED APRIL, 2003 AND SUBMITTED WITH THIS SDP.  
- GEOTECHNICAL ENGINEERING STUDY BY HILLIS-CARNES (JANUARY 10, 2003, HCEA #02638A).  
- AS A CONSEQUENCE OF ITS SUBMISSION FOR COUNTY REVIEW AFTER NOVEMBER 15, 2001, THIS SDP IS SUBJECT TO COMPLIANCE WITH THE FIFTH EDITION OF THE SUBDIVISION REGULATIONS. IN ADDITION, IT IS SUBJECT TO COMPLIANCE WITH COUNTY COUNCIL BILL 50-2001 WHICH AMENDS PORTIONS OF THE ZONING REGULATIONS.  
- SEE HOA/CONDO DOCUMENTS PLUS DOCUMENTS & COVENANTS THAT CONTAIN THE AGE RESTRICTION INFORMATION. (L-22214 E.3.00-107)
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING TO DEVELOP THIS PARCEL (AS SHOWN ON SHEETS #18 & 19 TO SATISFY SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL) HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$73,200 (SEE SHEET #19 FOR THE BREAK DOWN OF THIS AMOUNT).
- THERE ARE NO FLOOD PLAINS OR WETLANDS WITHIN PARCEL 'C'.
- ALL OUTSIDE LIGHTING SHALL COMPLY WITH ZONING REGULATION SECTION 134 WHICH REQUIRES LIGHTS TO BE INSTALLED TO DIRECT/REFLECT LIGHT DOWNWARDS AND INWARDS ON SITE AWAY FROM ALL ADJOINING PUBLIC STREETS AND RESIDENTIAL AREAS.
- THE FOREST CONSERVATION OBLIGATION FOR THIS PLAN OF 1.57 ACRES OF REFORESTATION HAS BEEN MET BY A FEE-IN-LIEU PAYMENT OF \$34,194.60 TO THE HOWARD COUNTY FOREST CONSERVATION FUND. (L.R.#040100-01)
- DUE TO ALLOCATION AVAILABILITY THIS PROJECT IS PHASED AS FOLLOWS:  
PHASE-1: APARTMENT BUILDINGS 1-2 AND THEIR CORRESPONDING FREE STANDING GARAGE BUILDINGS PLUS THE COMMUNITY BUILDING, RECREATIONAL AMENITIES AND ALL OTHER SITE IMPROVEMENTS EXCEPT FOR BUILDINGS IN PHASES 2 AND 3.  
PHASE-2: APARTMENT BUILDINGS 3-6 AND THEIR CORRESPONDING FREE STANDING GARAGES.  
PHASE-3: APARTMENT BUILDINGS 7-8 AND THEIR CORRESPONDING FREE STANDING GARAGES.

PHASE	No. TENTATIVE ALLOCATIONS	ALLOCATIONS YEAR	SITE DEVELOPMENT PLAN SUBMISSION
PHASE 1	54	2006	SDP-03-138, PLAN ORIGINALS SUBMISSION BY 3/24/04
PHASE 2	108	2007	BETWEEN 7/1/04 AND 4/1/05
PHASE 3	54	2008	BETWEEN 7/1/05 AND 1/1/06

### HOWARD COUNTY CONTROL

37EB N 1,375,430.82  
E 562,552.473  
ELV. = 385.385

37EC N 1,375,580.43  
E 561,099.801  
ELV. = 346.233



VICINITY MAP  
SCALE: 1"=2000'

### SITE DATA

- GENERAL SITE DATA  
A. PRESENT ZONING: POR  
B. PROPOSED USE OF SITE: AGE-RESTRICTED ADULT HOUSING (WITH A COMMUNITY CENTER)
- AREA TABULATION FOR PARCEL-C  
GROSS ACRE: 12.38± AC.  
STEEP SLOPE 25% OR GREATER\*: 1.75± AC.  
NET ACRE: 10.63± AC.  
\* CREATED STEEP SLOPES PER PHASE-1 MASS GRADING (NOT NATURAL STEEP SLOPE)
- AREA OF THIS SDP SUBMISSION: 12.38± AC.
- LIMIT OF GRADING DISTURBANCE: 10.9± AC.
- PARCEL 'C' DEVELOPMENT DATA  
A. PROPOSED NUMBER OF APT. BUILDINGS: 8  
B. PROPOSED NUMBER OF CONDOMINIUM APT. UNITS: 216 TOTAL (27 PER BUILDING) (Phase 1: 54 units)  
C. PARKING REQUIRED:  
216 APT. UNITS @ 1 SPACE PER UNIT = 216 SPACES REQUIRED FOR CONDO APTS.  
4684 SF COMMUNITY CENTER @ 10 SPACES/1000 SF PLUS  
1 SPACE/EMPLOYEE @ 2 EMPLOYEE = 49 SPACES  
30' x 50' SWIMMING POOL AT 1 SPACE PER 10 PERSON = 13 (1 PERSON/12 S.F. OF POOL AREA IS PERMITTED BY THE HEALTH DEPARTMENT FOR A POOL THAT IS LESS THAN 5' DEEP. THE NUMBER OF PEOPLE PERMITTED IN A 30'x50' POOL WOULD BE 125)  
278 TOTAL SPACES REQUIRED  
D. PARKING PROVIDED:  
COMMON SURFACE SPACES = 66 SPACES  
GARAGE SPACES (FREE STANDING) = 40 SPACES  
GARAGE SPACES (INTEGRAL TO APT. BLDG) = 176 SPACES (EA. APT HAS 22 SPACES)  
DRIVEWAY SPACES = 230 SPACES (BLDG. 8 = 34 SP. (BLDG. 1-7 = 28 SP. EA.)  
512 TOTAL SPACES PROVIDED  
\* THE GARAGE AND DRIVEWAY SPACES (446 TOTAL) ARE FOR THE APARTMENT UNITS. AN AVERAGE OF 2 SPACES PER UNIT (446/216) IS PROVIDED. NOTE THAT AT LEAST ONE GARAGE SPACE PER UNIT IS PROVIDED (216 GARAGE SPACES FOR 216 UNITS). A UNIT THAT OWNS A GARAGE WITH A DRIVEWAY WOULD HAVE AN EXCLUSIVE PARKING AREA FOR 2 OR MORE CARS (DEPENDENT ON THE LENGTH OF THE DRIVEWAYS).
- OPEN SPACE/RECREATION OPEN SPACE:  
1. THE REQUIRED OPEN SPACE PER SUBDIVISION SECTION 16.121(g)(4)(i) IS 400 S.F./APT. UNIT. FOR THE 216 UNITS PROPOSED, THE AREA RECREATIONAL OPEN SPACE THAT WOULD BE REQUIRED IS 86,400 SQUARE FEET.  
2. THE RECREATIONAL OPEN SPACE PROVIDED FOR THIS PROJECT IS 48,972 SQUARE FEET (226 S.F. PER UNIT) AS APPROVED BY WP-04-18.  
3. WP-04-18 WAS APPROVED ON SEPTEMBER 26, 2003 TO WAIVE SECTION 16.121(g)(4)(i) TO REDUCE THE AREA OF RECREATION OPEN SPACE REQUIRED FOR AN APARTMENT UNIT FROM 400 SQUARE FEET TO 226 SQUARE FEET. AS SHOWN ON THIS SDP, AN AMENITY PACKAGE (INCLUDING A TENNIS COURT, BOCCIE COURTS, A POOL AND A COMMUNITY BUILDING) WITHIN AN AREA OF 48,972 SQUARE FEET PROVIDES RECREATION FOR THIS COMMUNITY.

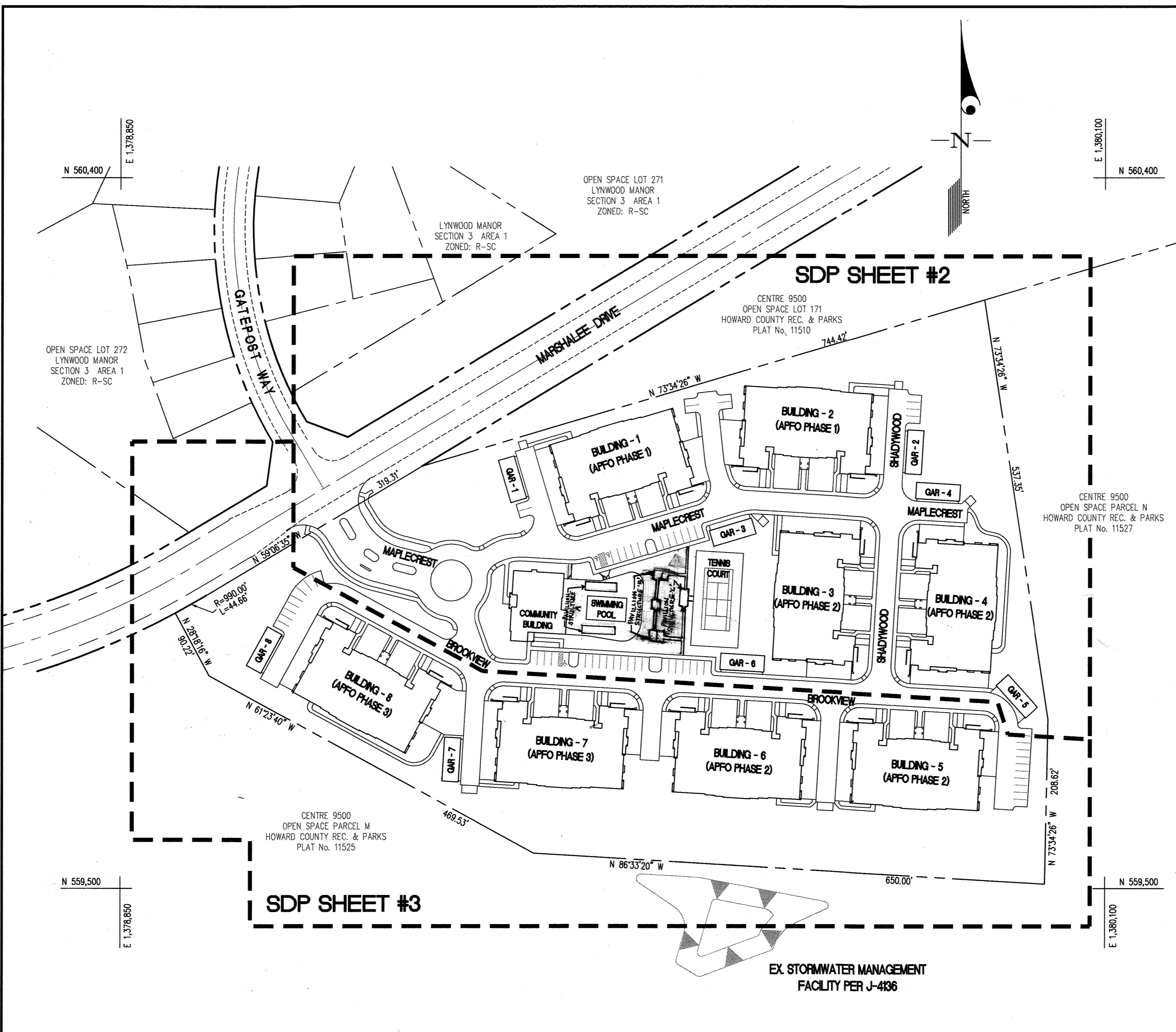
### SHEET INDEX

- COVER SHEET
- SITE DEVELOPMENT PLAN
- SITE DEVELOPMENT PLAN
- PAVING AND CURB DELINEATION PLAN
- SITE DETAILS
- SITE DETAILS
- SITE DETAILS
- WATER AND SEWER PROFILES
- STORM DRAIN PROFILES
- STORM DRAIN PROFILES
- STORM DRAIN PROFILES
- DRAINAGE AREA MAP
- SEDIMENT CONTROL PLAN (PHASE 2)
- SEDIMENT CONTROL PLAN (PHASE 3)
- SEDIMENT CONTROL NOTES & DETAILS
- SEDIMENT CONTROL NOTES & DETAILS
- SEDIMENT CONTROL NOTES & DETAILS
- LANDSCAPE PLAN
- LANDSCAPE NOTES & DETAILS
- ROOF DRAIN PLAN
- RETAINING WALL ELEVATIONS AND DETAILS
- MASS GRADING PLAN
- DRAINAGE DETAILS
- MASS GRADING NOTES AND DETAILS
- FOREST CONSERVATION PLAN

### STREET ADDRESS

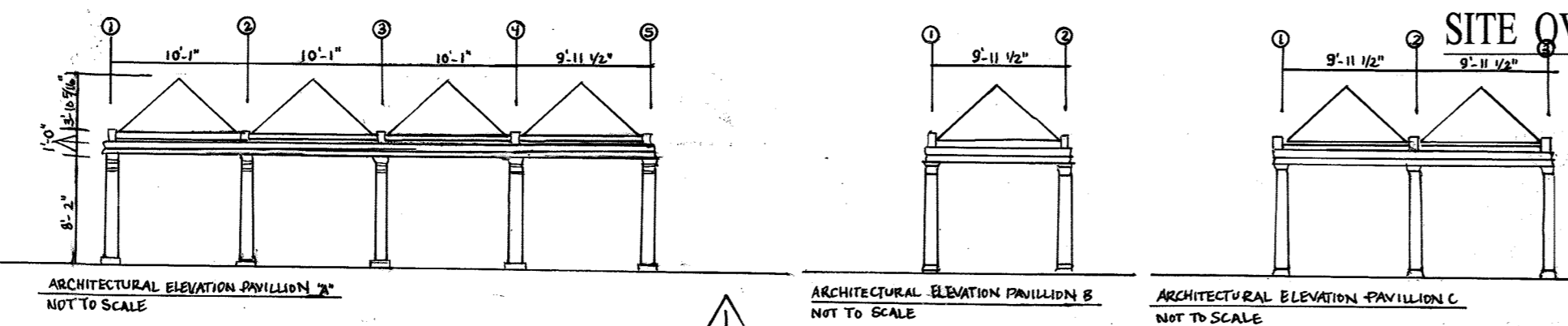
COMMUNITY BUILDING	7300 MAPLECREST
BUILDING 1	7305
BUILDING 2	7315
BUILDING 3	6150 SHADYWOOD
BUILDING 4	6155 SHADYWOOD
BUILDING 5	7335 BROOKVIEW
BUILDING 6	7325
BUILDING 7	7315
BUILDING 8	7305
GARAGE 1	7303 MAPLECREST
GARAGE 2	6153 SHADYWOOD
GARAGE 3	7312 MAPLECREST
GARAGE 4	7317 MAPLECREST
GARAGE 5	7337 BROOKVIEW
GARAGE 6	7322
GARAGE 7	7313
GARAGE 8	7303

WATER CODE:	SEWER CODE:	SECTION/A/AREA	PARCEL	CENSUS TRACT
H02	145400	N/A	C	6029
SUBDIVISION PLAT NAME: CENTRE 9500 PARCEL 'C'		PLAT	ZONE	TAX MAP
14213/14215	POR	37	11	1



### SITE OVERVIEW & APFO PHASING PLAN

SCALE: 1" = 100'



APPROVED: FOR PUBLIC WATER & SEWERAGE SYSTEM  
HOWARD COUNTY HEALTH DEPARTMENT  
*Penny Rosenstein* 4/2/04  
County Health Officer Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*Wanda M. Layth* 4/1/04  
Director Date

*Condy Hamilton* 4/1/04  
Chief, Division of Land Development Date

*Chris Harrison* 4/2/04  
Chief, Development Engineering Division Date

### GLW GUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONVILLE OFFICE PARK  
BURTONVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALT. 410-980-1820 DC/VA. 301-989-2524 FAX 301-421-4186

CADD/DRAININGS/02018/SDP/4/SDP-CS.dwg DES. DRN. WP. CHK.

DATE	REVISION	BY	APPR.
08/17/2004	REMOVED THE BOCCIE COURT AND ADDED FIVE (5) PAVILLION STRUCTURES, SIDEWALKS, AND PAVILLION ELEVATIONS A,B,&C.	SEG	
12-12-05	Update APFO Phasing: adding/completing Phase III		
12-20-05	Update APFO Phasing		

PREPARED FOR:  
DEVELOPER/CONTRACT PURCHASER  
BEAZER HOMES, INC.  
8965 GUILFORD ROAD, SUITE 200  
COLUMBIA, MARYLAND 21046  
410-720-5071  
attn.: JEREMY HUGHES

OWNER/SELLER  
100 INVESTMENT LIMITED PARTNERSHIP  
9030 RED BRANCH ROAD, SUITE #200  
COLUMBIA, MARYLAND 21045  
410-997-7222  
attn.: HOWARD RESNEK



### COVER SHEET

SCALE AS SHOWN  
ZONING POR  
DATE 10/MAR/04  
TAX MAP - GRID 37  
SHEET 1 OF 25

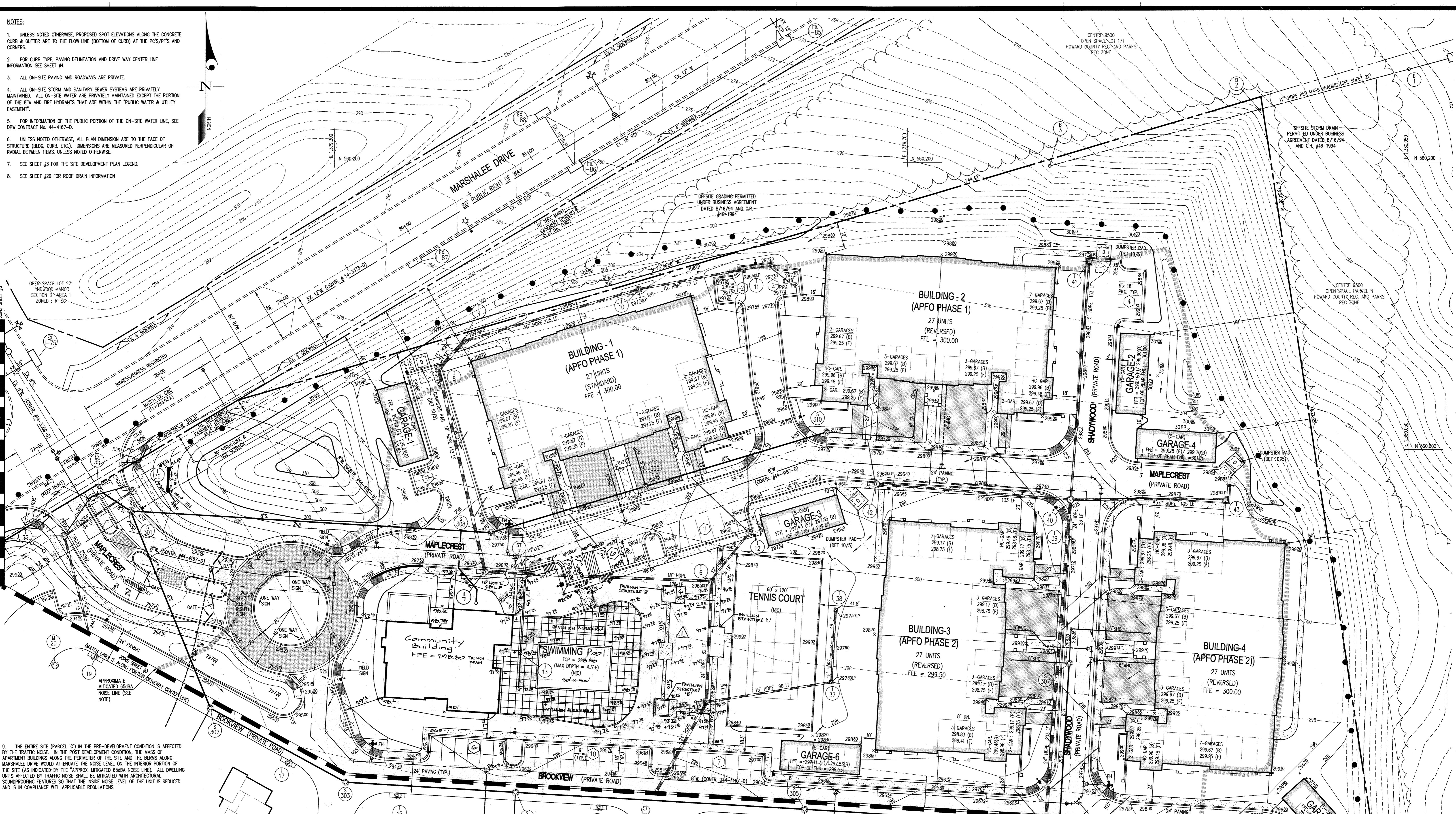
ELECTION DISTRICT No. 1

HOWARD COUNTY, MARYLAND



**NOTES:**

- UNLESS NOTED OTHERWISE, PROPOSED SPOT ELEVATIONS ALONG THE CONCRETE CURB & GUTTER ARE TO THE FLOW LINE (BOTTOM OF CURB) AT THE PCS/P/T'S AND CORNERS.
- FOR CURB TYPE, PAVING DELINEATION AND DRIVE WAY CENTER LINE INFORMATION SEE SHEET #4.
- ALL ON-SITE PAVING AND ROADWAYS ARE PRIVATE.
- ALL ON-SITE STORM AND SANITARY SEWER SYSTEMS ARE PRIVATELY MAINTAINED. ALL ON-SITE WATER ARE PRIVATELY MAINTAINED EXCEPT THE PORTION OF THE 8" W AND FIRE HYDRANTS THAT ARE WITHIN THE "PUBLIC WATER & UTILITY EASEMENT".
- FOR INFORMATION OF THE PUBLIC PORTION OF THE ON-SITE WATER LINE, SEE DPW CONTRACT No. 44-4167-D.
- UNLESS NOTED OTHERWISE, ALL PLAN DIMENSION ARE TO THE FACE OF STRUCTURE (BLDG, CURB, ETC.). DIMENSIONS ARE MEASURED PERPENDICULAR OF RADIAL BETWEEN ITEMS, UNLESS NOTED OTHERWISE.
- SEE SHEET #3 FOR THE SITE DEVELOPMENT PLAN LEGEND.
- SEE SHEET #20 FOR ROOF DRAIN INFORMATION.



9. THE ENTIRE SITE (PARCEL 'C') IN THE PRE-DEVELOPMENT CONDITION IS AFFECTED BY THE TRAFFIC NOISE IN THE POST DEVELOPMENT CONDITION, THE MASS OF APARTMENT BUILDINGS ALONG THE PERIMETER OF THE SITE AND THE BARRIERS ALONG MARSHALEE DRIVE WOULD ATTENUATE THE NOISE LEVEL ON THE INTERIOR PORTION OF THE SITE (AS INDICATED BY THE APPROX. MITIGATED 65DBA NOISE LINES). ALL DWELLING UNITS AFFECTED BY TRAFFIC NOISE SHALL BE MITIGATED WITH ARCHITECTURAL SOUNDPROOFING FEATURES SO THAT THE INSIDE NOISE LEVEL OF THE UNIT IS REDUCED AND IS IN COMPLIANCE WITH APPLICABLE REGULATIONS.

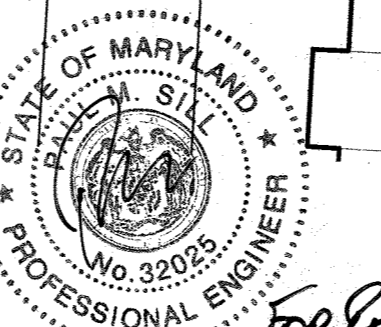
APPROVED: FOR PUBLIC WATER & SEWERAGE SYSTEM  
 HOWARD COUNTY HEALTH DEPARTMENT  
*Penina Rosenstein* / *HR* 4/2/04  
 County Health Officer MR Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*David DiCenzo* 6/1/04  
 Director Date  
*Linda Hamster* 6/1/04  
 Chief, Division of Land Development Date  
*Michael...* 3/20/04  
 Chief, Development Engineering Division Date

**THIS SDP IS NOT YET APPROVED FOR BUILDING CONSTRUCTION OF APARTMENT BUILDINGS 3-8 AND GARAGE BUILDINGS 3-8**



THE L.O.D. OF 4,886.27 SQ. FT. IS EXEMPT FROM PROVIDING STORMWATER MANAGEMENT. ANY ADDITIONAL CHANGES WHILE THE CUMULATIVE INCREASE IS OVER 500,000 GALLONS SHALL REQUIRE THAT STORMWATER MANAGEMENT BE ADDRESSED.



for Penina ONLY

**GLW Gutschick Little & Weber, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3009 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
08/17/2020	REMOVED THE BOULE COURT AND ADDED FIVE (5) PAVILION STRUCTURES AND SIDEWALKS		SEG
07-17-20	add entrance monument features and rev grading around entrance monument		
04-10-20	Revise Community Bldg		
11-20-19	Revise Community Bldg & update APFO Phasing		

PREPARED FOR:  
 DEVELOPER/CONTRACT PURCHASER  
 BEAZER HOMES INC.  
 8965 GUILDFORD ROAD, SUITE 200  
 COLUMBIA, MARYLAND 21046  
 410-720-5071  
 attn: JEREMY HUGHES

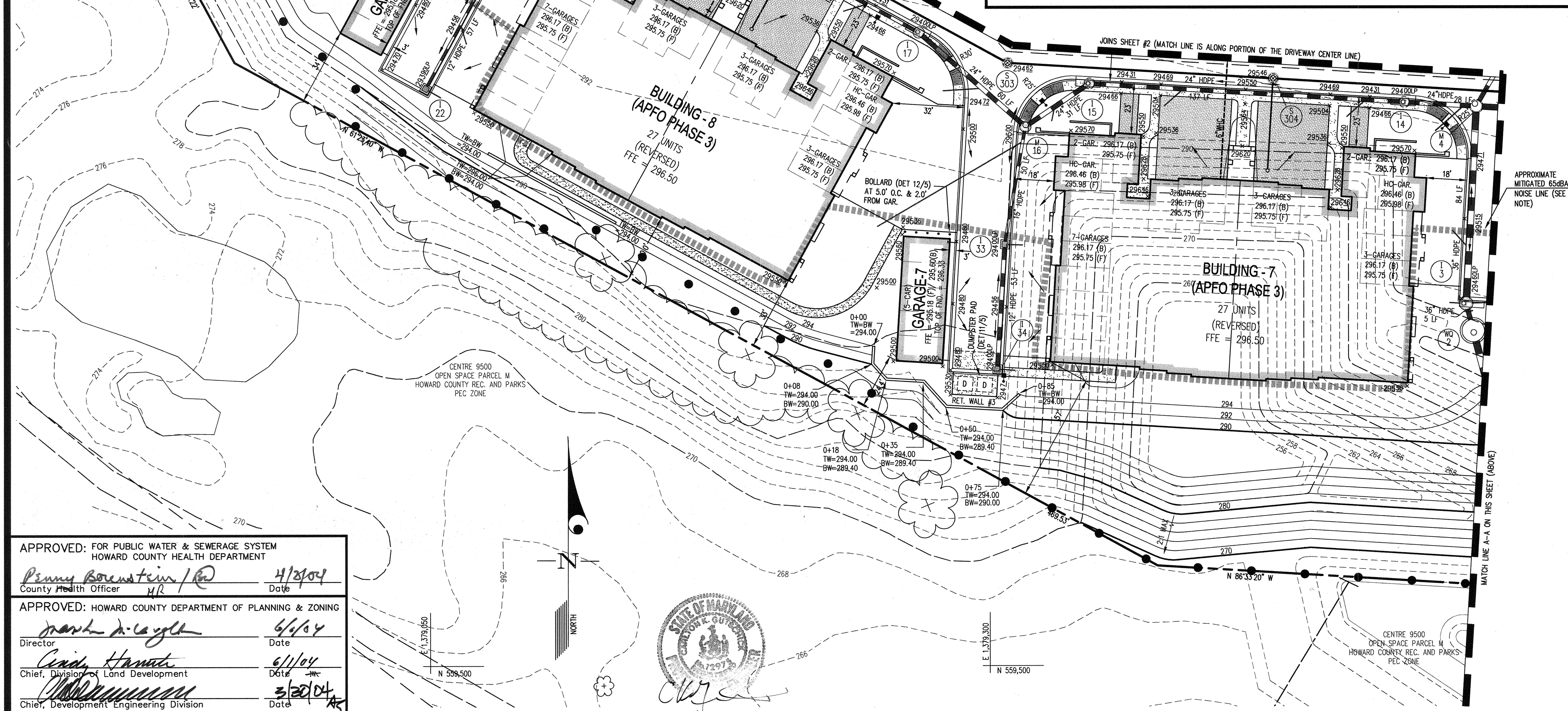
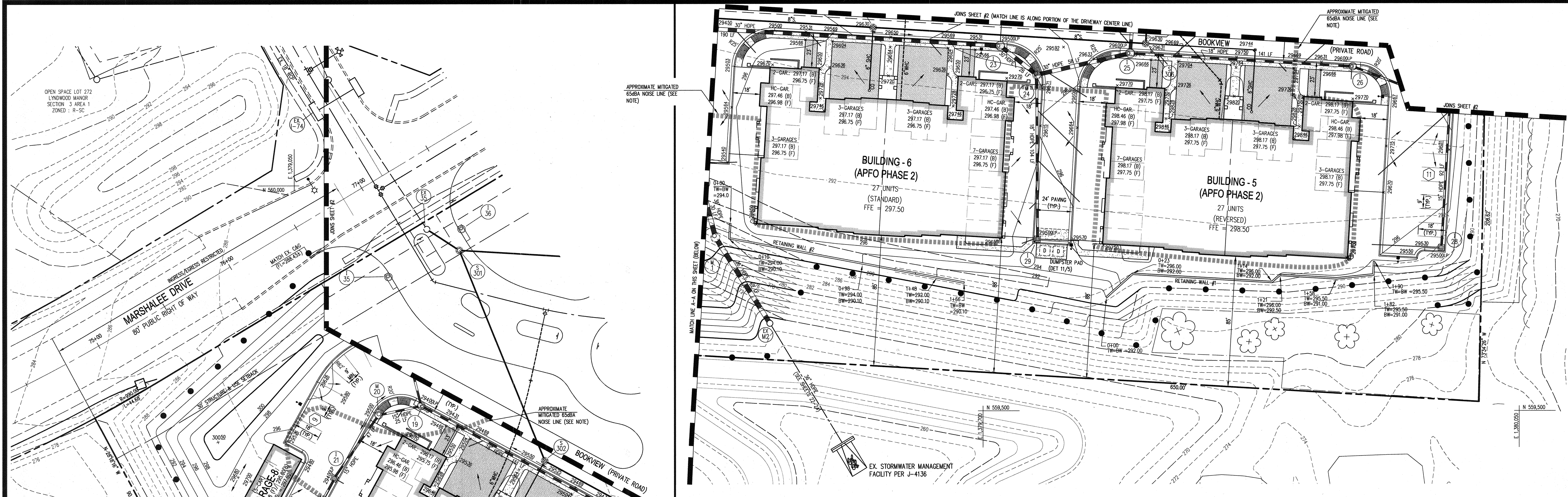
OWNER/SELLER  
 100 INVESTMENT LIMITED PARTNERSHIP  
 9030 RED BRANCH ROAD, SUITE #200  
 COLUMBIA, MARYLAND 21045  
 410-997-7222  
 attn: HOWARD RESNEK

**SITE DEVELOPMENT PLAN**  
**CENTRE 9500 PARCEL-C, Ph. 1**  
**AGE-RESTRICTED ADULT HOUSING**  
 PLAT No. 14213/16515

ELECTION DISTRICT No. 1  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	POR	02-018
DATE	TAX MAP - GRID	SHEET
10/MAR/04	37	2 OF 25





- NOTES:**
- UNLESS NOTED OTHERWISE, PROPOSED SPOT ELEVATIONS ALONG THE CONCRETE CURB & GUTTER ARE TO THE FLOW LINE (BOTTOM OF CURB) AT THE PC'S/PTS AND CORNERS.
  - FOR CURB TYPE, PAVING DELINEATION AND DRIVE WAY CENTER LINE INFORMATION SEE SHEET #4.
  - ALL ON-SITE PAVING AND ROADWAYS ARE PRIVATE.
  - ALL ON-SITE STORM AND SANITARY SEWER SYSTEMS ARE PRIVATELY MAINTAINED. ALL ON-SITE WATER ARE PRIVATELY MAINTAINED EXCEPT THE PORTION OF THE 8" W AND FIRE HYDRANTS THAT ARE WITHIN THE "PUBLIC WATER & UTILITY EASEMENT".
  - FOR INFORMATION OF THE PUBLIC PORTION OF THE ON-SITE WATER LINE, SEE DPW CONTRACT NO. 44-4167-D.
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  - THE ENTIRE SITE (PARCEL "C") IN THE PRE-DEVELOPMENT CONDITION IS AFFECTED BY THE TRAFFIC NOISE. THE MASS OF APARTMENT BUILDINGS ALONG THE PERIMETER OF THE SITE AND THE BERMS ALONG MARSHALEE DRIVE WOULD ATTENUATE THE NOISE LEVEL ON THE INTERIOR PORTION OF THE SITE (AS INDICATED BY THE "APPROX. MITIGATED 65DBA NOISE LINE"). ALL DWELLING UNITS AFFECTED BY TRAFFIC NOISE SHALL BE MITIGATED WITH ARCHITECTURAL SOUNDPROOFING FEATURES SO THAT THE INSIDE NOISE LEVEL OF THE UNIT IS REDUCED AND IS IN COMPLIANCE WITH APPLICABLE REGULATIONS.
  - SEE SHEET 21 FOR RETAINING WALL DETAILS.
  - SEE SHEET 20 FOR ROOF DRAIN INFORMATION.

**SITE DEVELOPMENT PLAN LEGEND**

- 600 --- EXISTING CONTOUR (FROM MASS GRADINGS)
- 500 --- PROPOSED CONTOUR
- + 388000 --- EXISTING SPOT ELEV.
- + 388000 --- PROPOSED SPOT ELEV. (HP=HIGH PT.)
- --- LIMIT OF GRADING DISTURBANCE
- --- EXISTING UTILITY/LIGHT POLE
- --- PROPOSED LIGHT POLE
- --- TRANSFORMER PAD
- --- WATER HOUSE CONNECTION (W.H.C. DASHED LINE)
- --- WATER LINE (PUBLIC)
- --- FIRE HYDRANT
- --- PROPOSED SEWER MAIN (SOLID LINE)
- --- SEWER HOUSE CONNECTION (SH.C. SOLID LINE)
- --- EXISTING STORM DRAIN
- --- PROPOSED STORM DRAIN STRUCTURE (& INLET LABEL)
- --- STORM DRAIN PIPE
- --- EXISTING CURB & GUTTER
- --- NOSE DOWN (TAPER) CURB
- --- PROPOSED CONCRETE CURB (FACE)
- --- GUTTER PAN
- --- BACK OF CURB
- --- RAMP AND LANDING AREA
- --- CONCRETE SIDEWALK
- 5 --- NUMBER OF PARKING SPACES
- --- FENCE LINE
- --- PROPOSED BUILDING
- --- FFE = FINISHED FLOOR ELEVATION
- --- GAR = GARAGE (B=BACK, F=FRONT @ LP AND DRIVEWAY)
- TW --- RETAINING WALL
- BW --- TOP OF WALL
- BW --- BOTTOM OF WALL FINISHED GRADE
- DD --- DUMPSTER AREA (DET. 10/5 @11/5)
- --- APPROXIMATE MITIGATED 65DBA NOISE LINE

**THIS SITE IS NOT YET APPROVED FOR BUILDING CONSTRUCTION OF APARTMENT BUILDINGS 7-8 AND GARAGE BUILDINGS 7-8**

APPROVED: FOR PUBLIC WATER & SEWERAGE SYSTEM  
 HOWARD COUNTY HEALTH DEPARTMENT  
 County Health Officer *Benny Borenstein* 4/23/04  
 Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director *Mark A. Leyle* 4/16/04  
 Date  
 Chief, Division of Land Development *Chris Hamel* 6/1/04  
 Date  
 Chief, Development Engineering Division *[Signature]* 3/20/04  
 Date

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
11.29.03	Update APFO info; adding/completing Phase III		
11.29.04	Update APFO info		

PREPARED FOR:

DEVELOPER/CONTRACT PURCHASER  
 BEAZER HOMES, INC.  
 9930 RED BRANCH ROAD, SUITE 290  
 COLUMBIA, MARYLAND 21046  
 410-720-5071  
 attn: JEREMY HUGHES

OWNER/SELLER  
 100 INVESTMENT LIMITED PARTNERSHIP  
 9930 RED BRANCH ROAD, SUITE #200  
 COLUMBIA, MARYLAND 21045  
 410-997-7222  
 attn: HOWARD RESNEK

**SITE DEVELOPMENT PLAN**  
**CENTRE 9500 PARCEL-C, Ph. 1**  
 AGE-RESTRICTED ADULT HOUSING  
 PLAT NO. 14213/10915

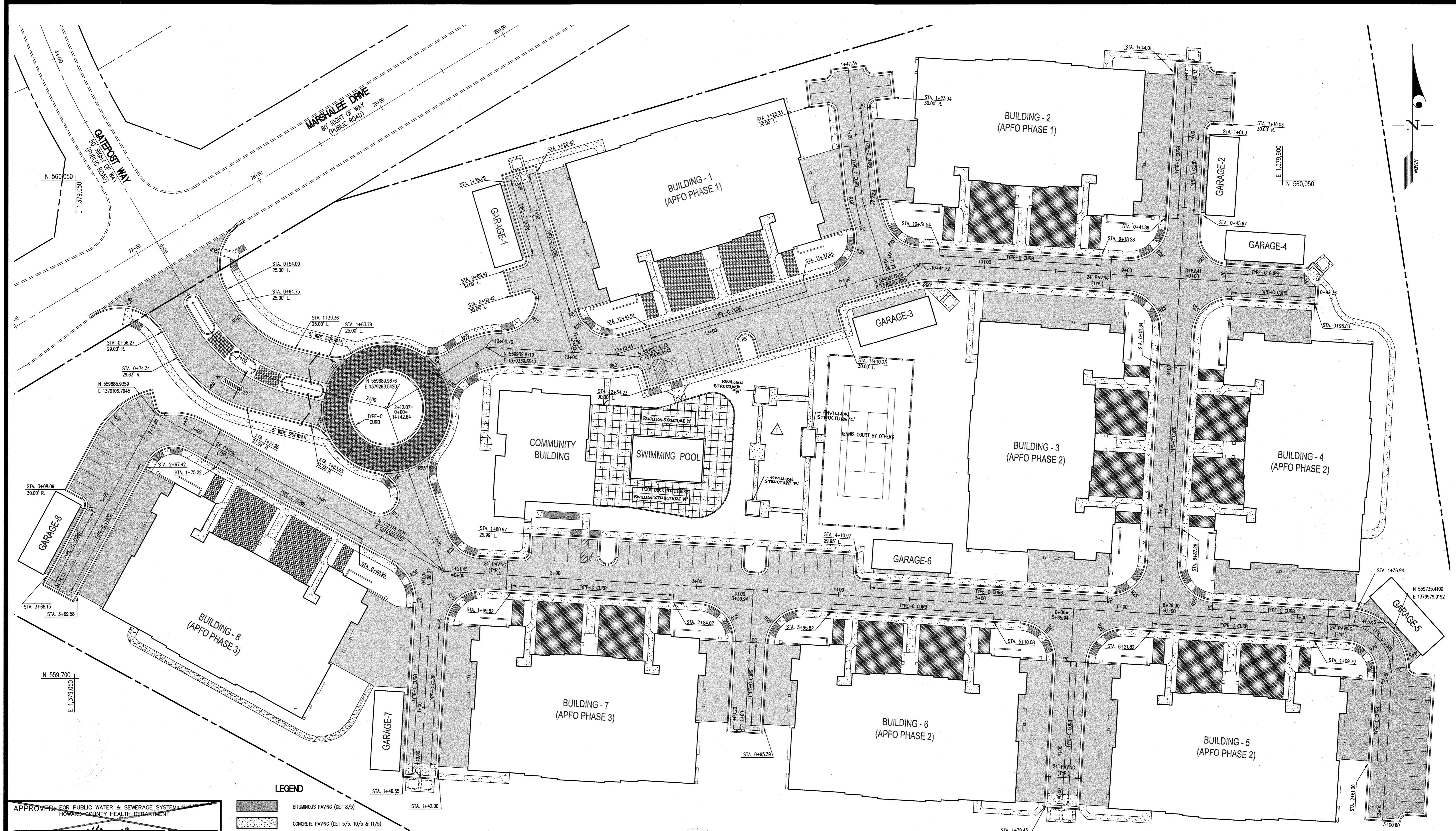
ELECTION DISTRICT No. 1

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	POR	02-018
DATE	TAX MAP - GRID	SHEET
10/MAR/04	37	3 OF 25

SDP-03-138



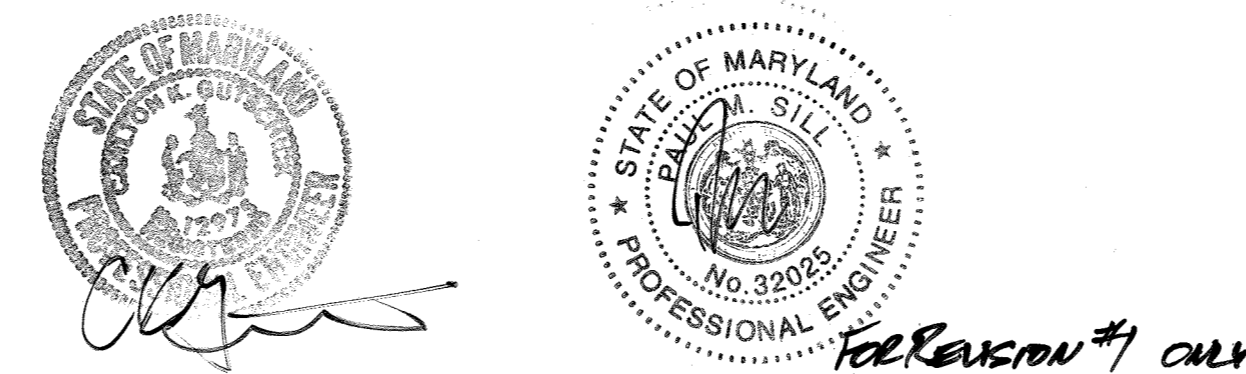


**LEGEND**

- BITUMINOUS PAVING (DET 8/5)
- CONCRETE PAVING (DET 5/5, 10/5 & 11/5)
- BRICK PAVERS (SEE SHEET 6)

- NOTES:**
1. ALL CURB AND GUTTER ARE TYPE-A (DET 6/5) UNLESS NOTED OTHERWISE ON THIS PLAN.
  2. PROVIDE 3 LF. OF TRANSITION BETWEEN TYPE-A & TYPE-C CURBS.
  3. ALL SIDEWALKS NOT ADJACENT TO CURB & GUTTER ARE 4' WIDE UNLESS OTHERWISE NOTED.
  4. SEE DETAIL ON SHEET 6 FOR THE PORTION OF CURB THAT IS DERESSED IN FRONT OF EACH APARTMENT BUILDING.

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEM  
 HOWARD COUNTY HEALTH DEPARTMENT  
 County Health Officer: *N/A MR* Date: \_\_\_\_\_  
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *David de la Roche* Date: 6/1/04  
 Chief, Division of Land Development: *Chris Harvath* Date: 6/1/04  
 Chief, Development Engineering Division: *[Signature]* Date: 3/20/04



**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186  
 CADD/DRAWINGS/02018/SDP/4/SDP-PAV.dwg

DATE	REVISION	BY	APPR.
08/11/2004	REMOVED BELLE COURT AND ADDED FIVE (5) PAVILLION STRUCTURES AND SIDEWALKS	SFG	

PREPARED FOR:  
 OWNER/SELLER: 100 INVESTMENT LIMITED PARTNERSHIP  
 9030 RED BRANCH ROAD, SUITE #200  
 COLUMBIA, MARYLAND 21045  
 410-997-7222  
 otn.: HOWARD RESNEK  
 DEVELOPER/CONTRACT PURCHASER: BEAZER HOMES, INC.  
 8985 QUILFORD ROAD, SUITE 290  
 COLUMBIA, MARYLAND 21046  
 410-720-5071  
 otn.: JEREMY HUGHES

**PAVING & CURB DELINEATION PLAN**  
**CENTRE 9500 PARCEL-C, Ph. 1**  
 AGE-RESTRICTED ADULT HOUSING  
 PLAT No. 14213 / 10/5/15  
 ELECTION DISTRICT No. 1  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	POR	02-018
DATE	TAX MAP - GRID	SHEET
10/MAR/04	37	4 OF 25

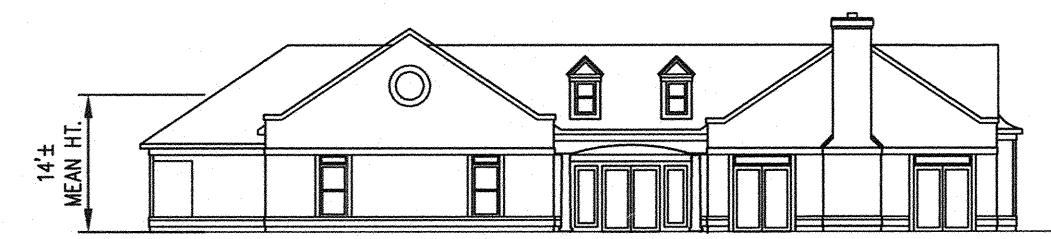




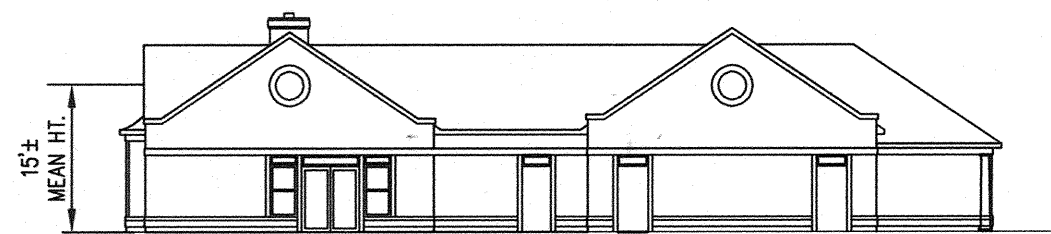




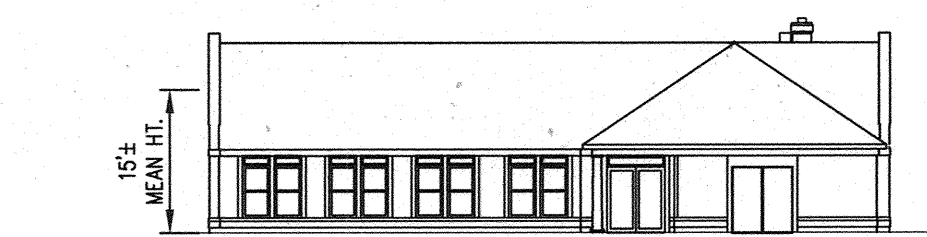




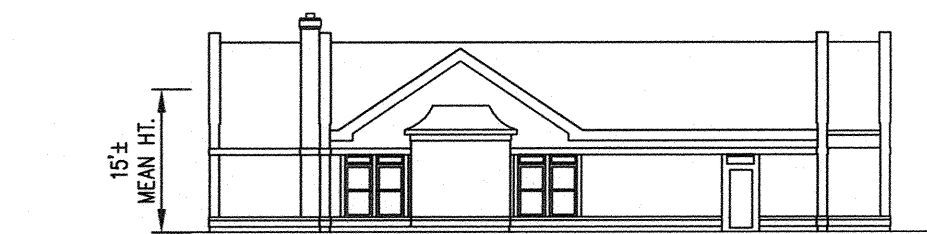
COMMUNITY CENTER  
FRONT ELEVATION  
SCALE: 1" = 20'



COMMUNITY CENTER  
REAR ELEVATION  
SCALE: 1" = 20'



COMMUNITY CENTER  
LEFT ELEVATION  
SCALE: 1" = 20'



COMMUNITY CENTER  
RIGHT ELEVATION  
SCALE: 1" = 20'



REAR ELEVATION  
SCALE: 1" = 20'



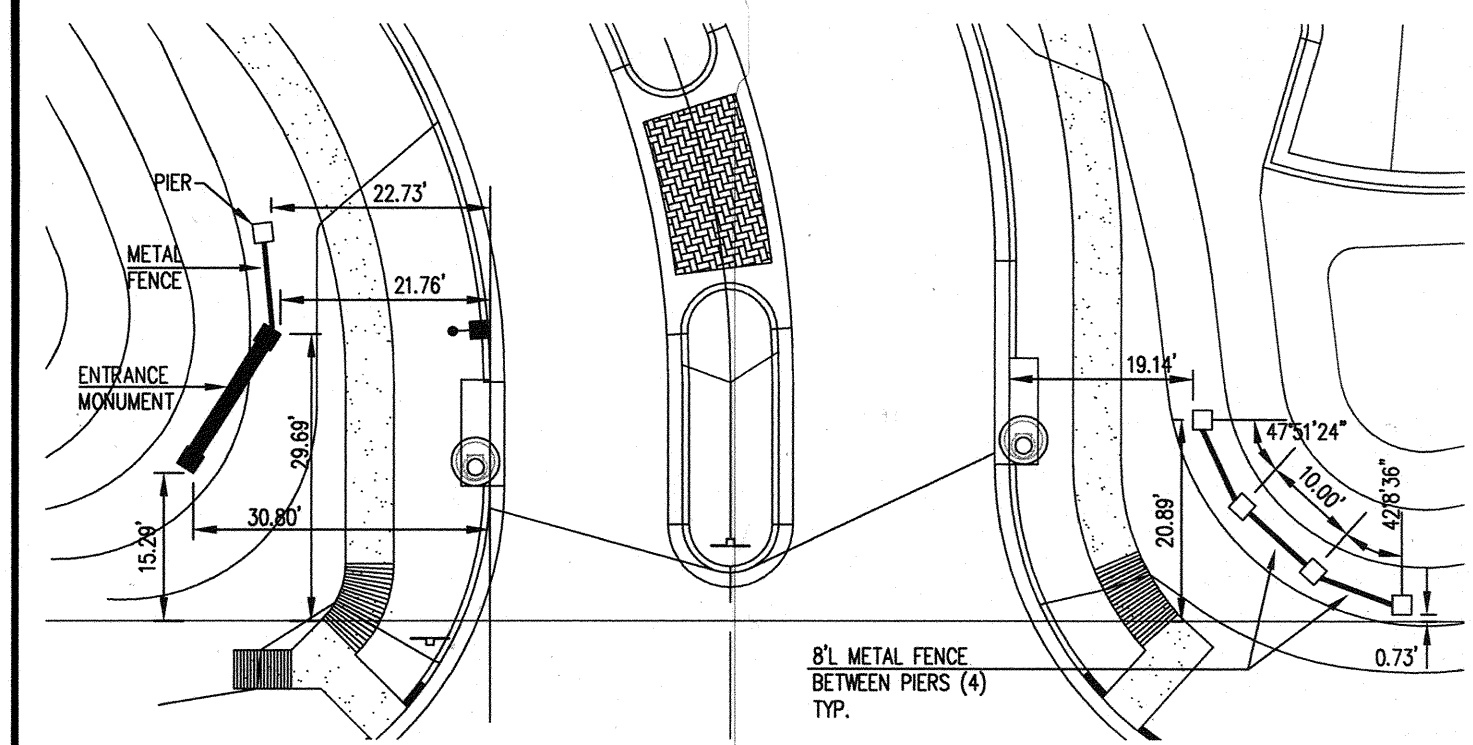
FRONT ELEVATION  
SCALE: 1" = 20'



LEFT ELEVATION  
SCALE: 1" = 20'

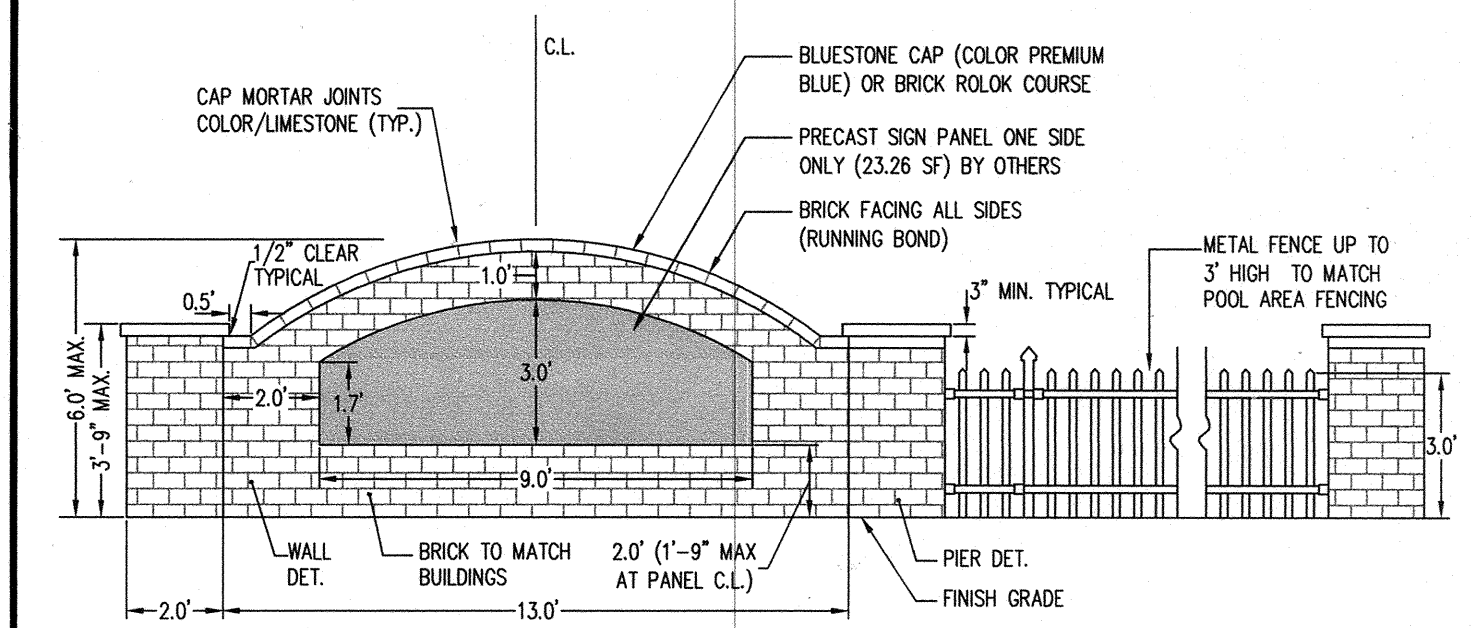


RIGHT ELEVATION  
SCALE: 1" = 20'



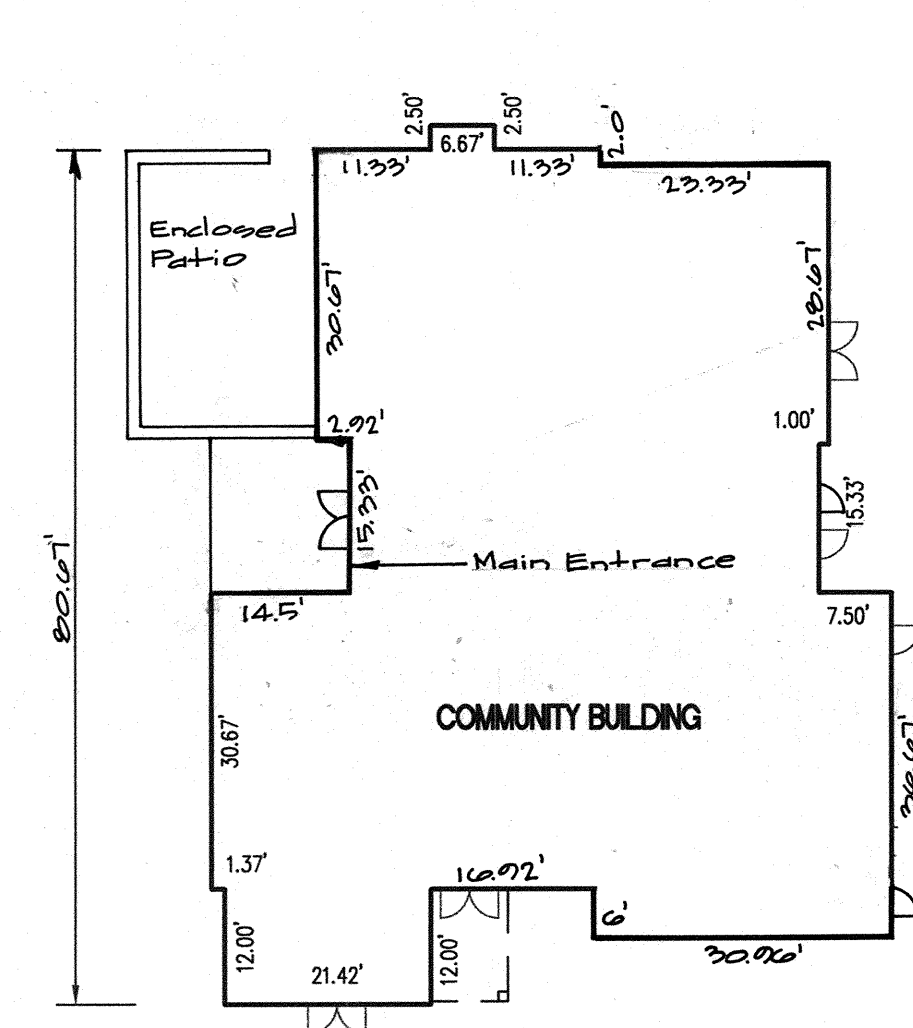
ENTRANCE FEATURE ELEVATION

SCALE: 1" = 20'

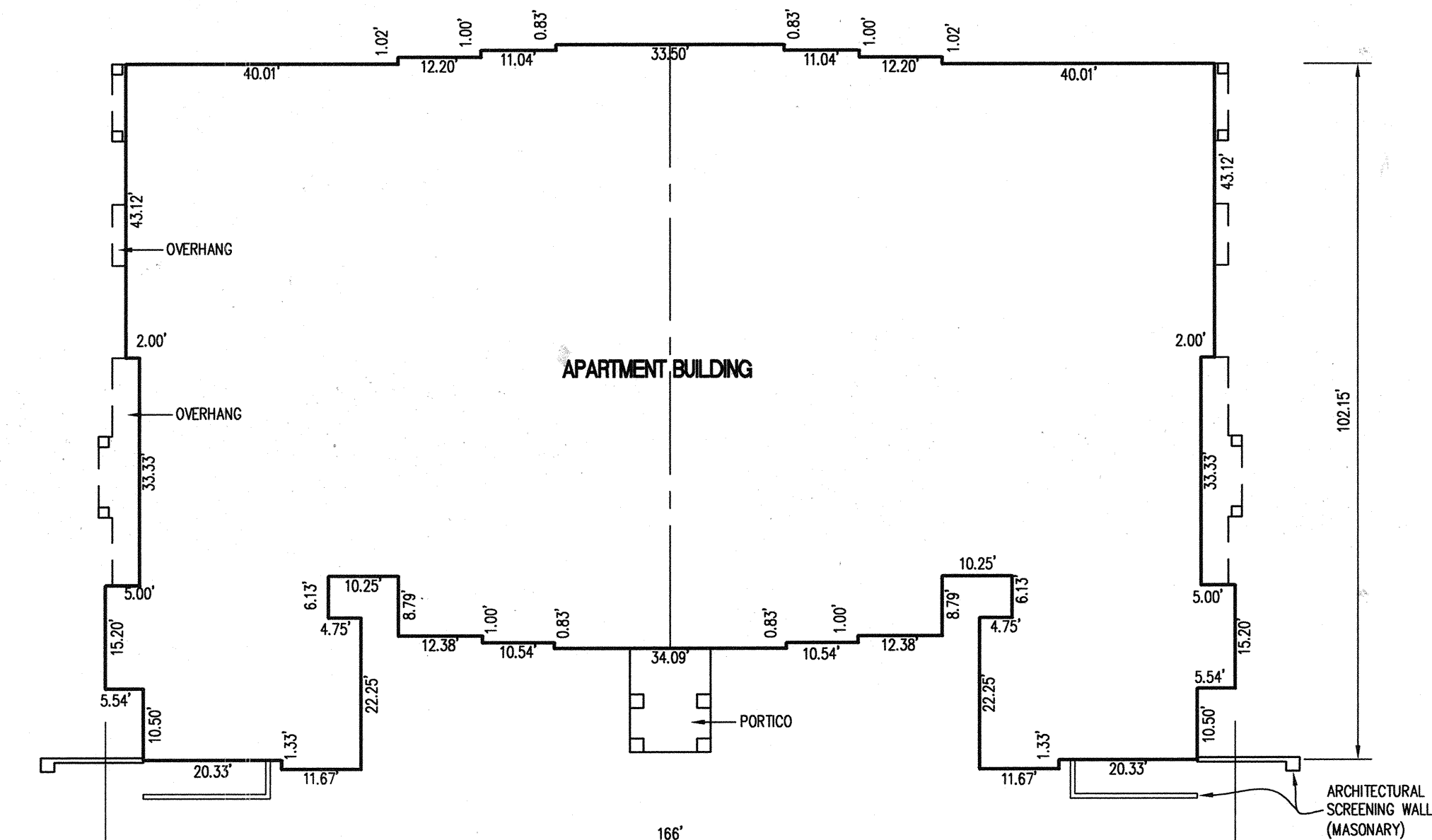


ENTRANCE FEATURE ELEVATION

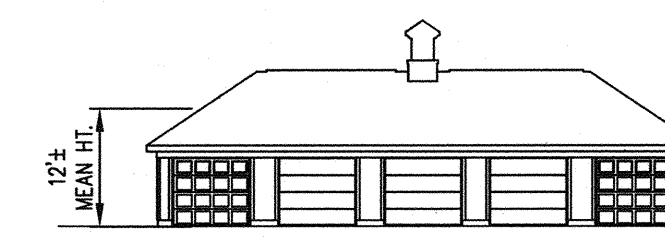
1/4" = 1'-0"



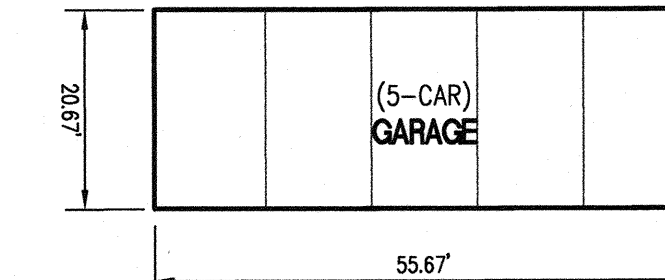
COMMUNITY BUILDING  
PLAN VIEW  
SCALE: 1" = 20'



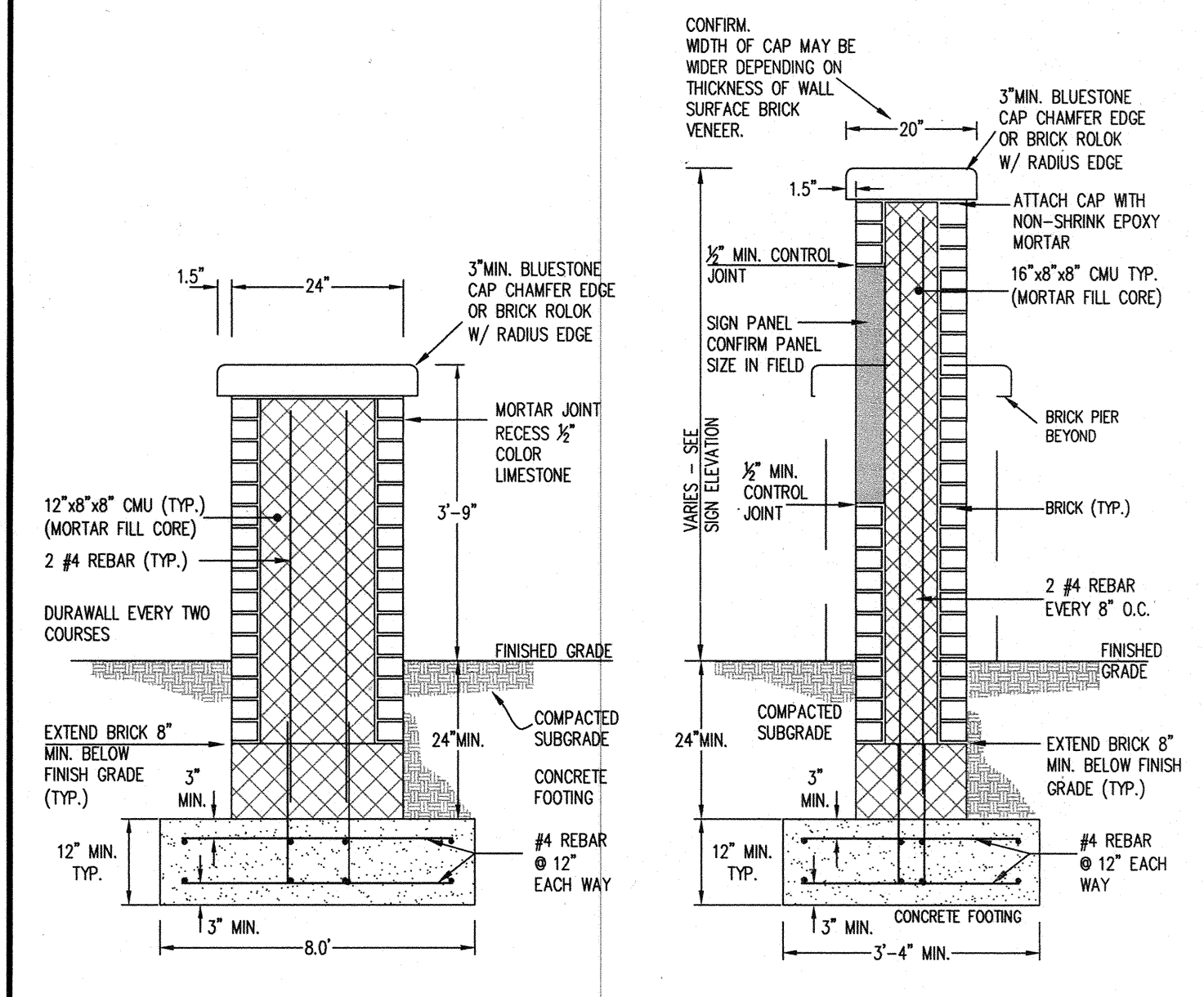
APARTMENT BUILDING  
PLAN VIEW  
SCALE: 1" = 20'



GARAGE ELEVATION  
SCALE: 1" = 20'



GARAGE BUILDING  
PLAN VIEW  
SCALE: 1" = 20'



ENTRANCE FEATURE PIER DETAIL

ENTRANCE FEATURE WALL DETAIL

ENTRANCE FEATURE NOTES

- ENTRANCE FEATURE BRICK VENEER SHALL MATCH BUILDING BRICK COLOR.
- ENTRANCE METAL FENCE STYLE SHALL MATCH COMMUNITY POOL AREA FENCE STYLE.

ENTRANCE FEATURE: WALL and PIER DETAILS

1/4" = 1'-0"

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEM  
HOWARD COUNTY HEALTH DEPARTMENT  
County Health Officer *MH MR* Date  
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director *David A. Gagliardi* Date *6/1/04*  
Chief, Division of Land Development *Cindy Hamat* Date *6/1/04*  
Chief, Development Engineering Division *John P. ...* Date *3/30/04*



GLW GUTSCHICK LITTLE & WEBER, P.A.  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

CADD/DRAWINGS/02018/SOP/SOP-DET.dwg DES. DRN. MEP CHK.

DATE	REVISION	BY	APPR.
01.11.05	Add entrance feat. elev details & entrance feature wall & pier details		
02.02.05	Rev. Community Bldg. Plan View Detail		

PREPARED FOR:  
DEVELOPER/CONTRACT PURCHASER  
BEAZER HOMES, INC.  
8965 GULFORD ROAD, SUITE 290  
COLUMBIA, MARYLAND 21046  
410-720-5071  
attn: JEREMY HUGHES  
OWNER/SELLER  
100 INVESTMENT LIMITED PARTNERSHIP  
9030 RED BRANCH ROAD, SUITE #200  
COLUMBIA, MARYLAND 21045  
410-997-7222  
attn: HOWARD RESNEK

ELECTION DISTRICT No. 1

SITE DETAILS  
CENTRE 9500 PARCEL-C, Ph. 1  
AGE-RESTRICTED ADULT HOUSING  
PLAT No. 14213/10514  
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	POR	02-018
DATE	TAX MAP - GRID	SHEET
10/MAR/04	37	7 OF 25







**Hydro Conduit**  
 DR. BY: N. BALDWIN  
 CK. BY: [Signature]  
 DATE: SEPT. 19, 2000  
 SCALE: N.T.S.  
 DWG.#

**SECTION THRU CHAMBER**  
 STORMCEPTOR FRAME AND COVER  
 GRADE ADJUSTERS TO SUIT FINISHED GRADE  
 TOP OF GRADE  
 6" OIL PORT  
 24" OUTLET RISER PIPE  
 10" ORIFICE PLATE  
 10" INLET TEE DROP PIPE

**PLAN VIEW OF INSERT**  
 24" OUTLET RISER  
 6" OIL PORT  
 10" INLET TEE DROP PIPE

**ENLARGED INLET TEE DROP PIPE**  
 4" TO 6" OVERLAP

**NOTE:**  
 1. THE USE OF FLEXIBLE CONNECTIONS IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.  
 2. THE COVER SHOULD BE POSITIONED OVER THE 24" OUTLET RISER PIPE AND THE 6" OIL PORT.  
 3. THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: #4985148, #5498331, #5725760, #5753115, #5849181.

REV.	DESCRIPTION	BY	DATE

**PROCEDURE TO SEAL LIFT HOLES**

- LIFT HOLES IN THE TANK SECTION ARE TO BE PLUGGED WITH A TAPERED FLEXIBLE PLUG AND KNOCKED INTO THE HOLE WITH A HAMMER. (PLUG MAY BE PLACED IN THE INSIDE OR OUTSIDE OF THE TANK)
- ONCE THE PLUG IS SET IN PLACE, THE INSIDE AND OUTSIDE OF THE LIFT HOLES MUST BE COVERED WITH CEMENT GROUT.
- CEMENT GROUT SEAL SHOULD EXTEND FOR 2 TO 3 INCHES BEYOND THE LIFT HOLE OPENING.
- LIFT HOLES WHICH ARE NOT PART OF THE TANK SECTION NEED ONLY BE SEALED WITH THE FLEXIBLE PLUG KNOCKED INTO PLACE.

**CONSTRUCTION NOTES**

- SILT AND DEBRIS SHALL NOT BE ALLOWED TO ENTER THE STORMCEPTOR UNTIL THE CONTRIBUTING DRAINAGE AREAS HAVE BEEN PERMANENTLY STABILIZED. SILT MAY BE ALLOWED TO ENTER STORMCEPTOR IF IT IS BEING USED AS A FINAL SEDIMENT CONTROL FILTERING DEVICE.
- ALL OPENINGS TO STRUCTURES SHALL BE PROTECTED WITH THE APPROPRIATE SEDIMENT CONTROL MEASURES DURING CONSTRUCTION.
- THE STORMCEPTOR MUST BE PUMPED OUT AND CLEANED AT THE END OF THE CONSTRUCTION OF THE PROJECT.

**SEQUENCE OF CONSTRUCTION AND INSPECTOR'S CHECK-OFF LIST FOR STORMWATER MANAGEMENT STORMCEPTOR**

STAGE	DEVELOPER'S ENGINEER'S APPROVAL	DEP INSPECTOR APPROVAL
	INITIALS/DATE	INITIALS/DATE
1. PRE-CONSTRUCTION MEETING*		
2. INSTALLATION OF STORMCEPTOR & ASSOCIATED STORM DRAINAGE: a. OBTAIN APPROVAL OF SUBGRADE		
b. INSTALLATION OF PRECAST BASE & LOWER TANK*		
c. INSTALLATION OF PRECAST MIDDLE SECTION WITH STORMCEPTOR INSERT*		
d. INSTALLATION OF PRECAST TOP SLAB*		
e. INSTALLATION OF ADJUSTMENT RINGS AND FRAME AND COVER*		
3. BACKFILLING OPERATION AND COMPACTION		
4. SITE IS PERMANENTLY STABILIZED. SEDIMENT CONTROL MEASURES REMOVED AND ALL DEBRIS REMOVED FROM STORMCEPTOR*		
5. FINAL INSPECTION*		

**Precast Concrete Stormceptor Order Request Form**  
 \* TO BE FILLED ON THE PLAN BY DESIGNER

**CONTRACTOR INFORMATION**  
 Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_  
 State: \_\_\_\_\_  
 Zip Code: \_\_\_\_\_  
 Contact: \_\_\_\_\_  
 Phone: \_\_\_\_\_  
 Fax: \_\_\_\_\_

**OWNER INFORMATION**  
 Name: BEAZER HOMES, INC.  
 Phone: 410-770-5021  
 Fax: JEREMY HUGHES

**APPROXIMATE DRAINAGE AREA FOR THIS UNIT**

Stormceptor Model	Insert Size	Module Number
900	18"	10-2
1200	24"	10-3
1500	30"	10-4
2400	48"	10-5

PLEASE FILL OUT COMPLETELY AND FAX TO: CSR Hydro Conduit  
 ATTN: ED O'MALLEY FAX: (703)922-3659, PHONE: (703)971-1900  
 FOR TECHNICAL ASSISTANCE PLEASE CALL MIKE BARG,  
 PHONE (703)971-1900

**Hydro Conduit**  
 6800 Lakeside Road, Springfield, VA 22151 (703) 971-1900  
**STORMCEPTOR DISK TYPE**  
**FIBERGLASS INSERT DETAIL**  
 DR. BY: EPOM  
 CK. BY: RCH  
 DATE: 1-16-97  
 SCALE: 3/8" = 1'-0"  
 DWG.# CA-0225-01

**GENERAL NOTES:**

- CSR HYDRO CONDUIT RECOMMENDS THE USE OF FLEXIBLE PIPE CONNECTORS AT THE INLET PIPE AND OUTLET PIPE WHERE APPLICABLE.
- STORMCEPTOR FRAME AND COVER TO BE POSITIONED OVER OUTLET DROP PIPE.
- INSERT TO BE INSTALLED WITH SIX 1/2" DROP-IN ANCHORS AND BOLTS.
- INSERT TO BE SEALED AROUND CIRCUMFERENCE WITH CHEMEX 948.

UNIT	A (in)	B9 (in)	C (in)
SIC 900	16	6	16
SIC 1200	16	6	16
SIC 1500	16	6	16
SIC 2400	44	8	44
SIC 3600	44	8	44
SIC 4800	44	10	44
SIC 6000	44	10	44
SIC 7200	44	12	44

REV.	DESCRIPTION	BY	DATE

**ENGINEER'S CERTIFICATE**  
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*John R. Polunson*  
 DATE: 3/19/04

**DEVELOPER'S/BUILDER'S CERTIFICATE**  
 I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD.

*Beazer Homes Corp*  
 DATE: 2/19/04

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John R. Polunson*  
 DATE: 3/25/04

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

*Jim Meyer*  
 DATE: 3/25/04

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEM:  
 HOWARD COUNTY HEALTH DEPARTMENT

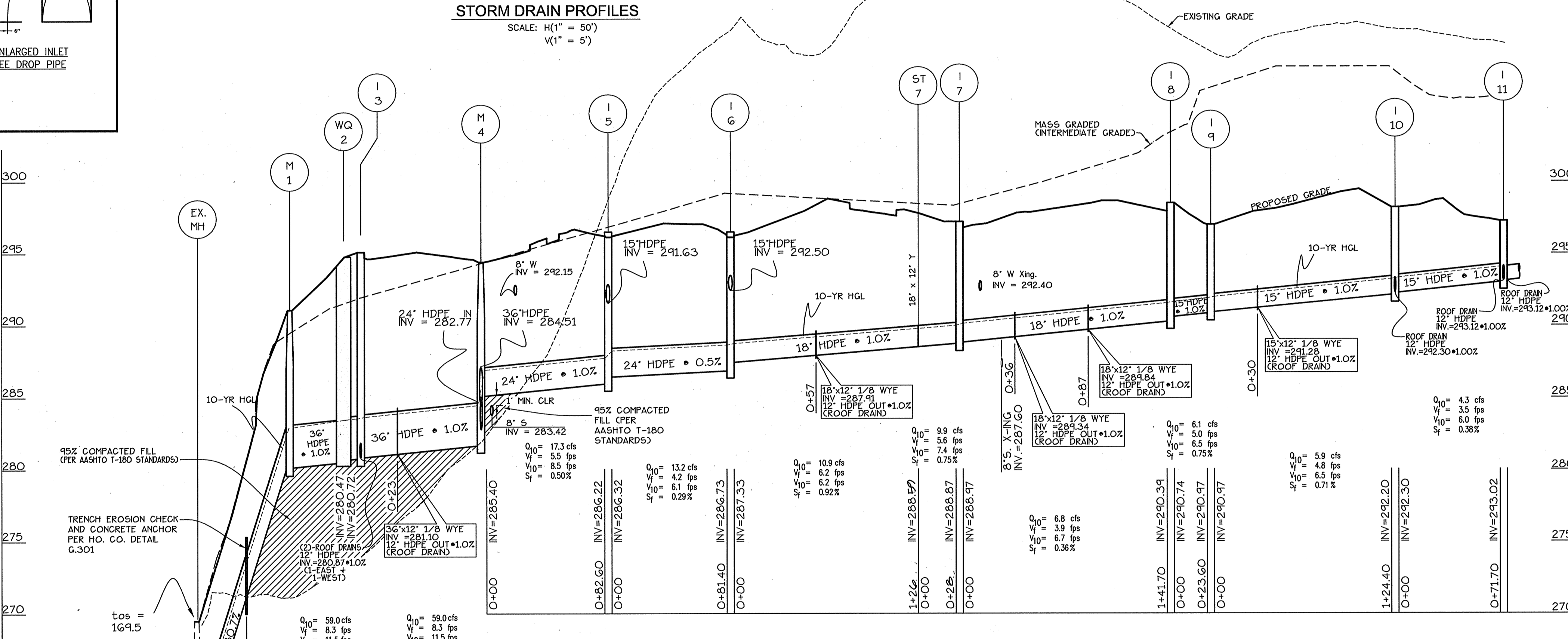
County Health Officer: *N/A MR* Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Martha A. Coyle*  
 Director Date: 6/1/04

*Chris Harnett*  
 Chief, Division of Land Development Date: 6/1/04

*[Signature]*  
 Chief, Development Engineering Division Date: 3/20/04



**STRUCTURE SCHEDULE**

NO.	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STANDARD DETAIL	LOCATIONS & REMARKS
			UPPER	LOWER	UPPER	LOWER		
M1	5 FL PRECAST MH	5'-0"	---	291.00	280.25	280.00	HO. CO. G-5.13	see plan
WQ2	STORM CEPTOR 6000	10'-0"	---	294.60	280.72	280.47	SIC 6000	
I3	PRECAST COS 10 INLET	5'-0"	294.6	294.6	280.87	280.77	MD SHA 374.63	
M4	5 FL PRECAST MH	5'-0"	---	294.40	---	281.67	HO. CO. G-5.13	
I5	PRECAST SINGLE S INLET	2'-7"	296.50	296.50	291.63	286.22	HO. CO. SD. 4.22	
I6	PRECAST SINGLE S INLET	2'-7"	296.50	296.50	292.50	286.73	HO. CO. SD. 4.22	
ST7	18" x 12" Y	---	---	---	---	286.61	ADS N12 OR EQ.	
I7	PRECAST COS 10 INLET	4'-0"	297.20	297.20	288.97	288.87	MD SHA 374.63	
I8	PRECAST SINGLE S INLET	2'-7"	297.97	297.97	290.74	290.39	HO. CO. SD. 4.22	
I9	PRECAST SINGLE S INLET	2'-7"	297.00	297.00	290.97	290.97	HO. CO. SD. 4.22	
I10	PRECAST SINGLE S INLET	2'-7"	297.70	297.70	292.30	292.20	HO. CO. SD. 4.22	
I11	PRECAST SINGLE S INLET	2'-7"	296.50	296.50	293.12	293.02	HO. CO. SD. 4.22	

**Pipe Summary Table**

Size (in)	Type (-)	Quantity (LF)	Remarks (-)
12.0	HDPE	1470	ADS N12 or equiv.
15.0	HDPE	1113	ADS N12 or equiv.
18.0	HDPE	540	ADS N12 or equiv.
24.0	HDPE	794	ADS N12 or equiv.
30.0	HDPE	272	ADS N12 or equiv.
36.0	HDPE	171	ADS N12 or equiv.

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3009 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REV.	BY	APP'R.
12-30-04	REV. 01-7		

**PREPARED FOR:**

**DEVELOPER/CONTRACT PURCHASER**  
 BEAZER HOMES, INC.  
 8885 GULFROAD ROAD, SUITE 290  
 COLUMBIA, MARYLAND 21046  
 410-720-5071  
 attn: JEREMY HUGHES

**OWNER/SELLER**  
 100 INVESTMENT LIMITED PARTNERSHIP  
 9030 RED BRANCH ROAD, SUITE 2000  
 COLUMBIA, MARYLAND 21045  
 410-997-7222  
 attn: HOWARD RESNEK

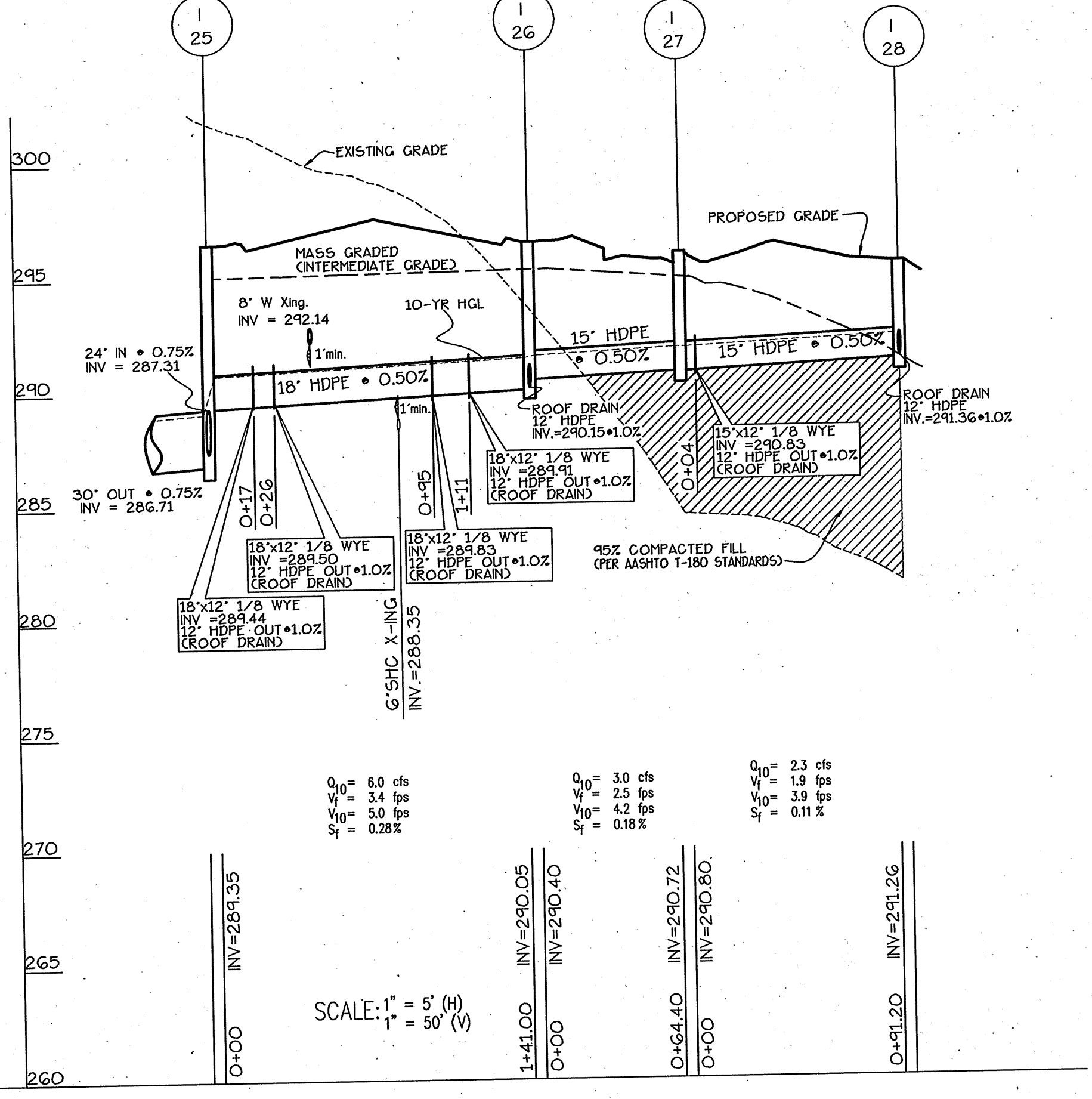
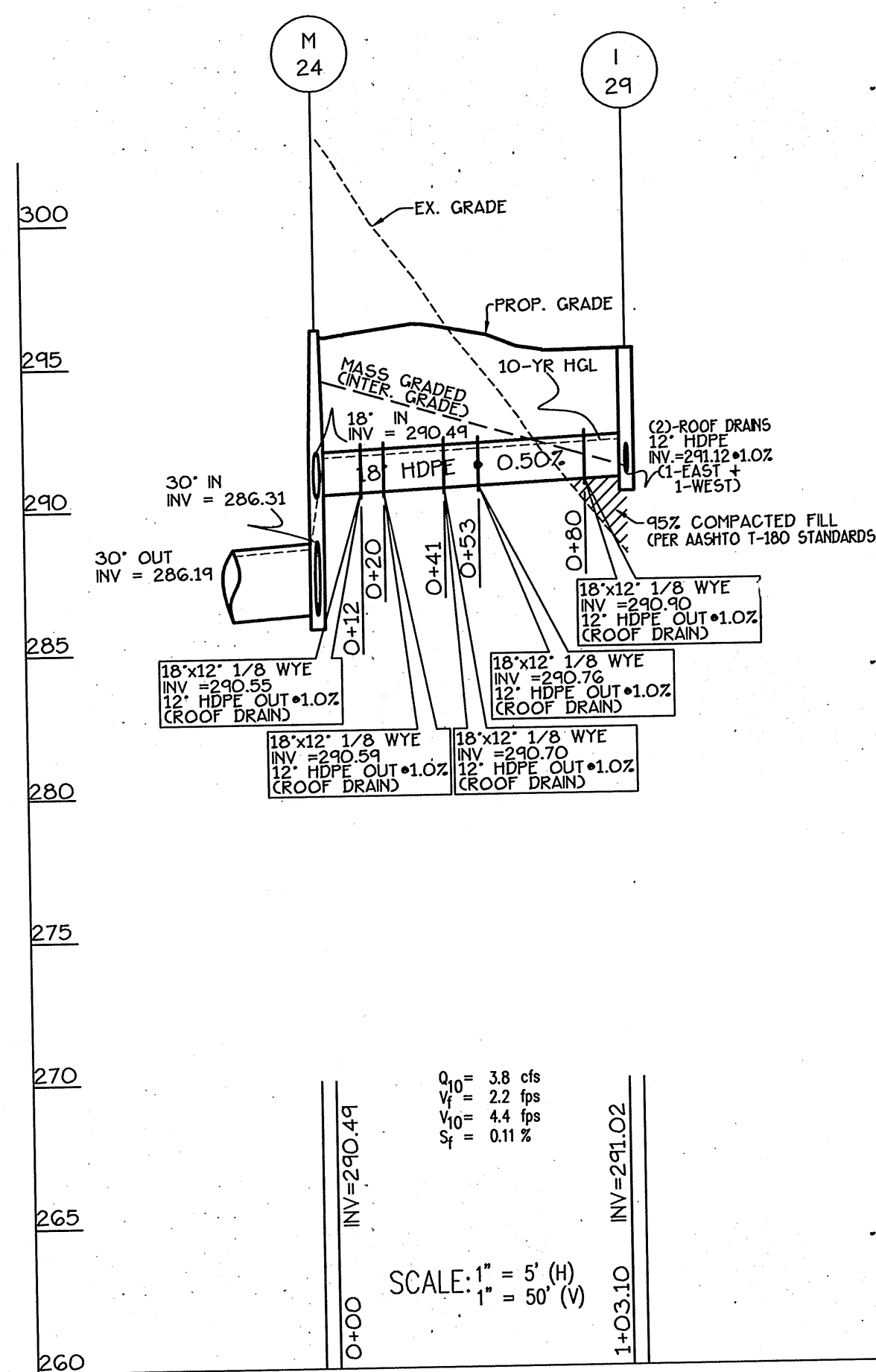
**STORM DRAIN PROFILES**  
**CENTRE 9500 PARCEL-C, Ph. 1**  
**AGE-RESTRICTED ADULT HOUSING**  
**PLAT NO. 14213 1/6515**

ELECTION DISTRICT No. 1

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	POR	02-018
DATE	TAX MAP - GRID	SHEET
10/MAR/04	37	9 OF 25

HOWARD COUNTY, MARYLAND





STRUCTURE SCHEDULE								
NO.	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STANDARD DETAIL	LOCATIONS & REMARKS
			UPPER	LOWER	UPPER	LOWER		
M4	5 ft. Precast Manhole	5'-0"	---	284.4	285.40	281.67	HO. CO. G-513	see plan
I23	Precast COS 10 INLET	4'-0"	---	295.0	295.0	288.50	285.92	MD-SHA 374.63
M24	5 ft. Precast Manhole	5'-0"	---	286.35	290.49	286.19	HO. CO. G-513	
I25	Precast COS 10 INLET	4'-0"	---	296.0	296.0	288.35	286.74	MD-SHA 374.63
I39	Precast COS 10 INLET	3'-0"	---	297.15	297.15	288.91	288.83	MD-SHA 374.63
M40	4 ft. Precast Manhole	4'-0"	---	297.20	291.48	289.07	HO. CO. G-512	
I41	Single 'S' INLET	2'-7"	---	297.72	297.72	291.22	291.12	HO. CO. SD-4.22
I43	Single 'S' INLET	2'-7"	---	298.10	298.10	termind	290.36	HO. CO. SD-4.22
I42	Precast COS 10 INLET	3'-0"	---	296.20	296.20	292.57	292.47	MD-SHA 374.63
I29	Single 'S' INLET	2'-7"	---	295.0	295.0	291.12	291.02	HO. CO. SD-4.22
I26	Precast COS 10 INLET	3'-0"	---	296.0	296.0	290.05	290.05	MD-SHA 374.63
I27	Single 'S' INLET	2'-7"	---	295.5	295.5	290.80	290.72	HO. CO. SD-4.22
I28	Single 'S' INLET	2'-7"	---	295.0	295.0	291.36	291.26	HO. CO. SD-4.22

NOTE: ALL STRUCTURES TO BE PRECAST.  
 NOTE: ALL ROOF LEADER STUBS TO BE CAPPED WITH PREMANUFACTURED ENDCAP.  
 BUILDER PLUMBER/CONTRACTOR TO CONNECT ROOF DRAIN DOWNSPOUTS TO STUBS

**ENGINEER'S CERTIFICATE**  
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*John R. Robertson*  
 DATE: 3/19/04

**DEVELOPER'S/BUILDER'S CERTIFICATE**  
 I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD.

*James J. [Signature]*  
 DATE: 3/19/04

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John R. Robertson*  
 DATE: 3/25/04

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

*Jim Mygale*  
 DATE: 3/25/04

APPROVED: FOR PUBLIC WATER & SEWERAGE SYSTEM  
 HOWARD COUNTY HEALTH DEPARTMENT

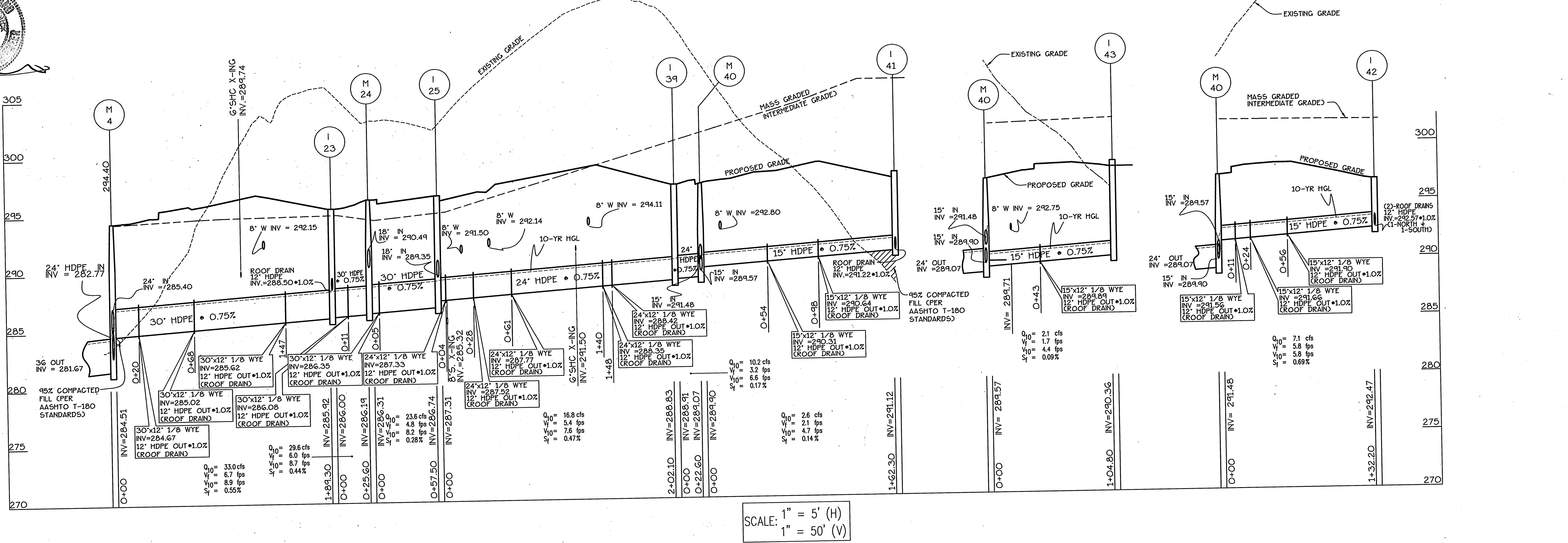
County Health Officer: *N/A MR*

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Don L. [Signature]*  
 DATE: 6/1/04  
 Director

*Chris [Signature]*  
 DATE: 6/1/04  
 Chief, Division of Land Development

*[Signature]*  
 DATE: 3/20/04  
 Chief, Development Engineering Division



SCALE: 1" = 5' (H)  
 1" = 50' (V)

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3009 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
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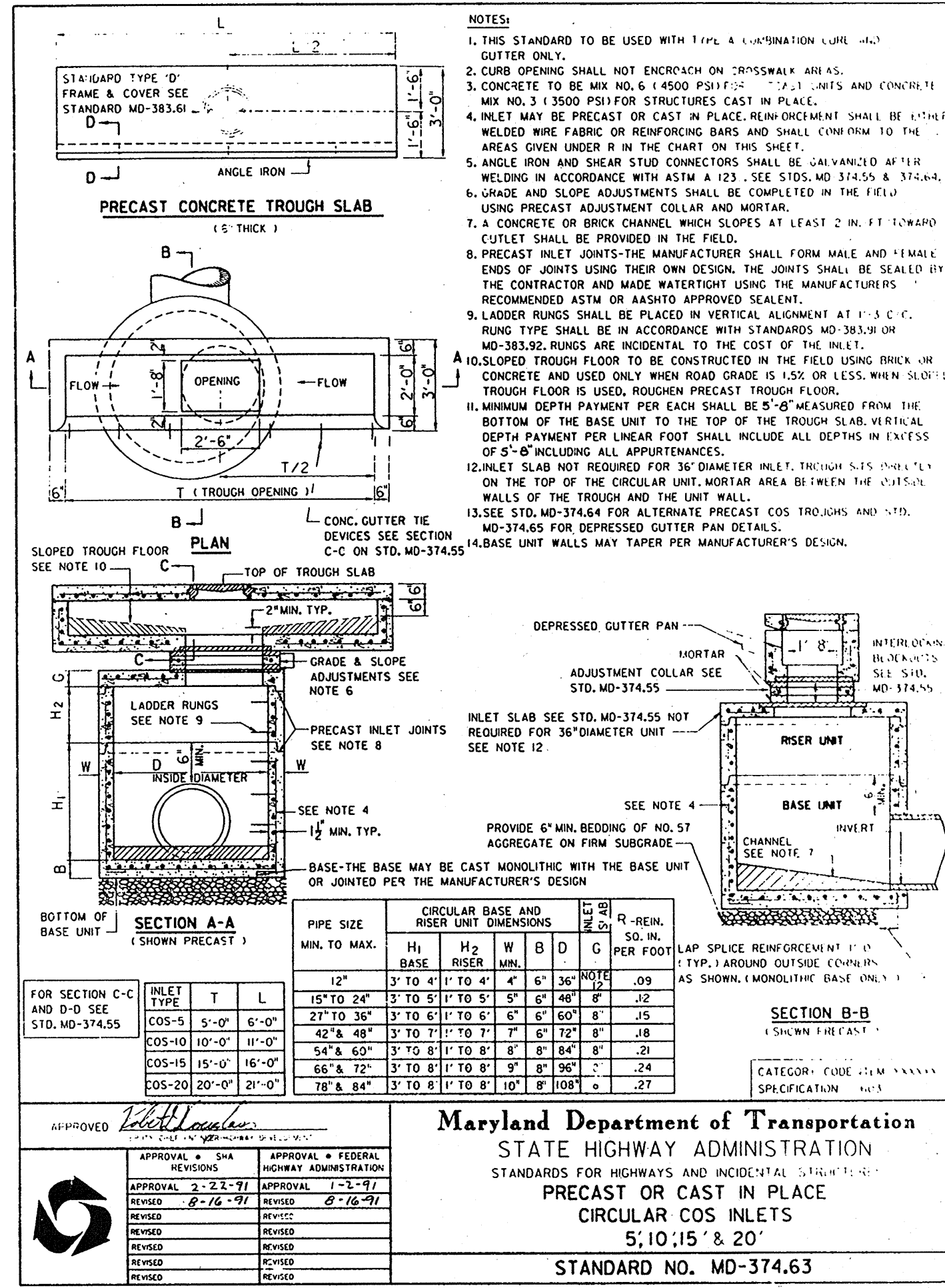
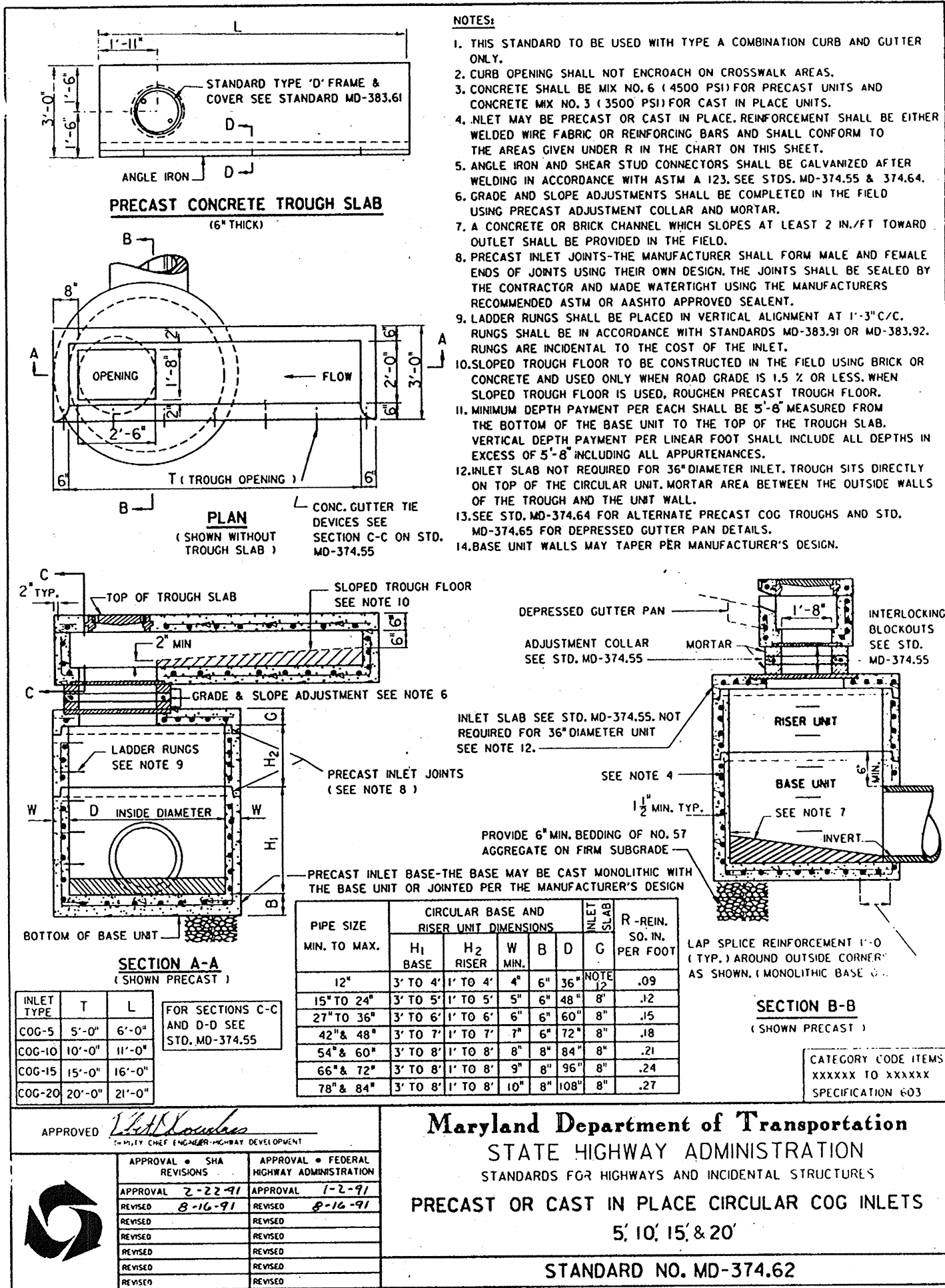
NO.	DATE	REVISION	BY	APP'R.

PREPARED FOR:  
 OWNER/SELLER  
 BEAZER HOMES, INC.  
 100 INVESTMENT LIMITED PARTNERSHIP  
 9030 RED BRANCH ROAD, SUITE #200  
 COLUMBIA, MARYLAND 21045  
 410-997-7223  
 attn: JEREMY HUGHES

**STORM DRAIN PROFILES**  
**CENTRE 9500 PARCEL-C, Ph. 1**  
 AGE-RESTRICTED ADULT HOUSING  
 PLAT No. 14213 / 16513  
 HOWARD COUNTY, MARYLAND

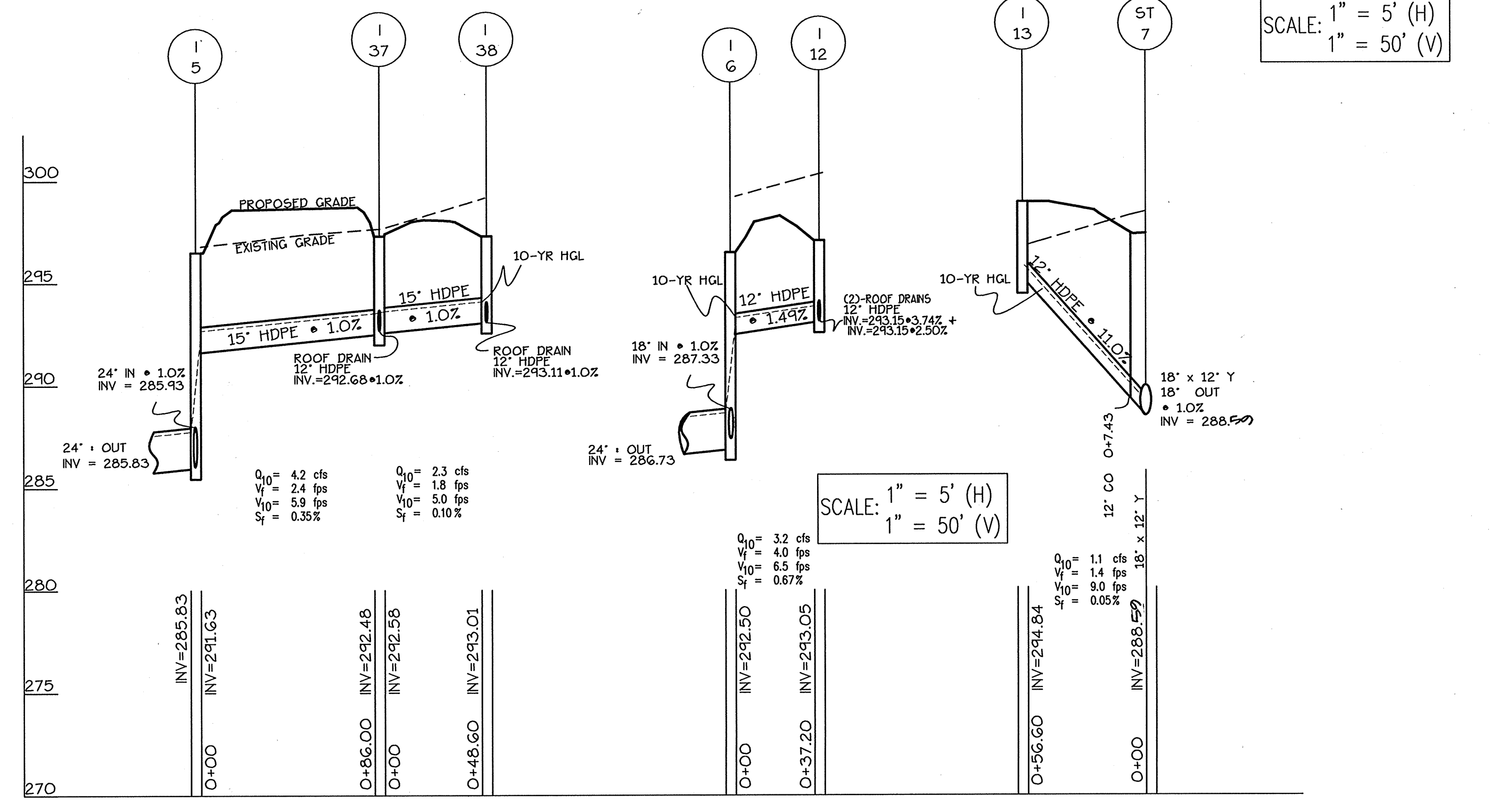
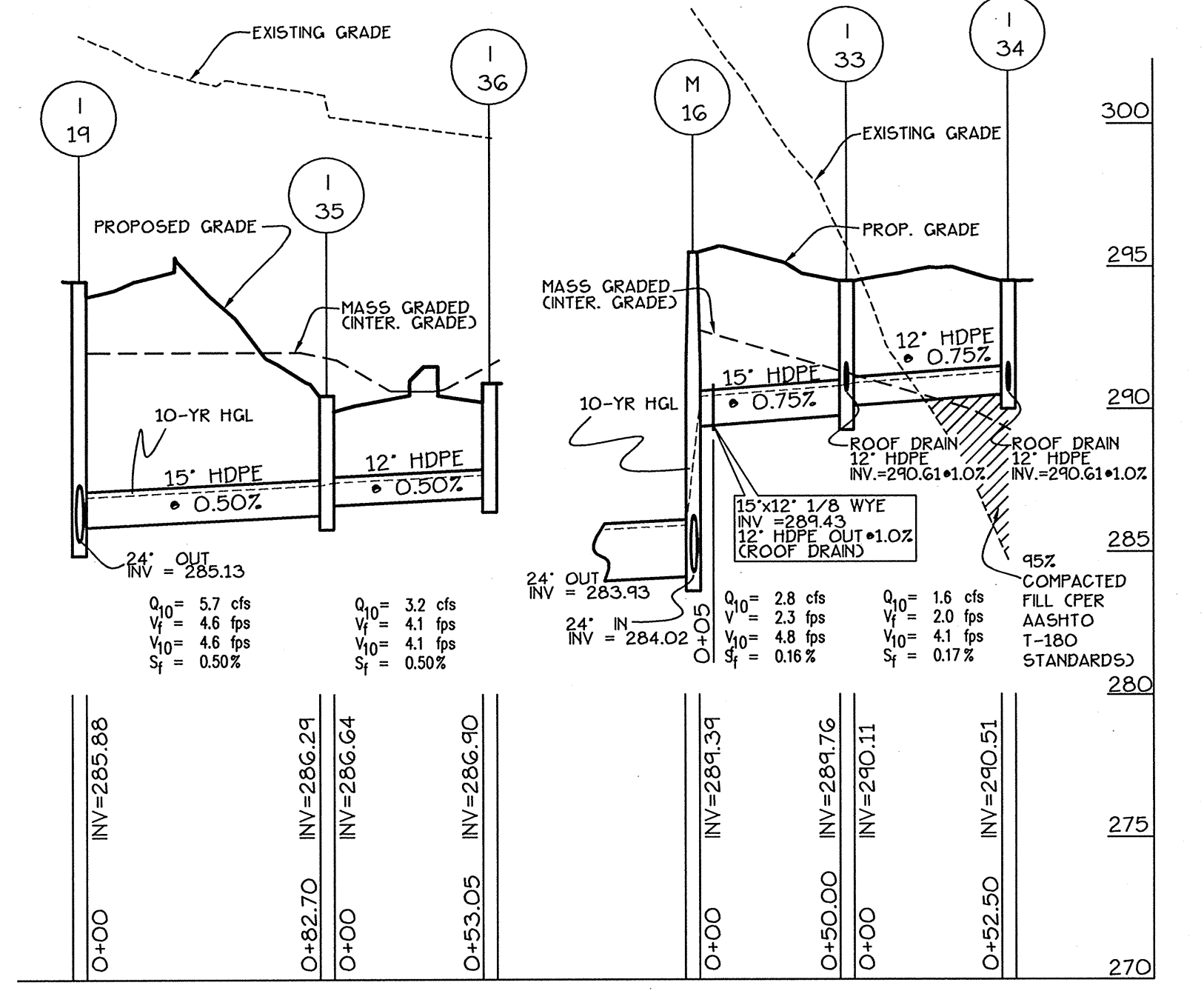
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	POR	02-018
DATE	TAX MAP - GRID	SHEET
10/MAR/04	37	10 OF 25





### STRUCTURE SCHEDULE

NO.	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STANDARD DETAIL	LOCATIONS & REMARKS
			UPPER	LOWER	UPPER	LOWER		
M4	5 FT. PRECAST MH	5'-0"	294.00	285.01	281.67	281.67	HO. CO. G-513	see plan
I14	PRECAST COS INLET	4'-0"	294.00	294.00	283.01	282.91	MDSA 374.63	
I15	PRECAST COS INLET	4'-0"	294.00	294.00	283.76	283.68	MDSA 374.63	
M16	4 FT. PRECAST MH	4'-0"	295.00	284.02	283.93	283.83	HO. CO. G-512	
I17	PRECAST COS INLET	4'-0"	294.00	294.00	284.42	284.32	MDSA 374.63	
I19	PRECAST COS INLET	4'-0"	294.00	294.00	289.02	288.92	MDSA 374.63	
M20	4 FT. PRECAST MH	4'-0"	295.00	289.30	289.20	289.10	HO. CO. G-512	
I21	PRECAST SINGLE S	2'-7"	294.00	294.00	289.65	289.55	HO. CO. SD. 4.22	
I22	PRECAST SINGLE S	2'-7"	293.9	293.9	terminal	290.36	HO. CO. SD. 4.22	
I5	PRECAST SINGLE S	2'-7"	296.50	296.50	291.63	291.53	HO. CO. SD. 4.22	
I37	PRECAST SINGLE S	2'-7"	297.30	297.30	292.58	292.48	HO. CO. SD. 4.22	
I38	PRECAST SINGLE S	2'-7"	297.30	297.30	terminal	293.01	HO. CO. SD. 4.22	
I6	PRECAST SINGLE S	2'-7"	296.50	296.50	292.50	292.40	HO. CO. SD. 4.22	
I12	PRECAST COS INLET	3'-0"	297.07	296.74	terminal	293.05	MDSA 374.62	
I13	24" DRAIN BASIN	2'-0"	terminal	288.57	288.57	288.57	24" Nylplast (or equivalent)	
I17	18" x 12" Y	---	---	terminal	288.99	288.99	HO. CO. G-512	
I36	PRECAST COS INLET	3'-0"	290.90	290.57	terminal	286.90	MDSA 374.62	
I35	PRECAST COS INLET	4'-0"	290.80	290.47	terminal	286.29	MDSA 374.62	
I33	PRECAST SINGLE S	2'-7"	294.00	294.00	290.61	289.76	HO. CO. SD. 4.22	
I34	PRECAST SINGLE S	2'-7"	294.00	294.00	290.61	290.51	HO. CO. SD. 4.22	



### ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*[Signature]* /3/19/04  
DATE

### DEVELOPERS/BUILDERS CERTIFICATE

"WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

*[Signature]* /3/19/04  
DATE

BEAZER HOMES CORP.  
FOR USE BY DEVELOPER/BUILDERS

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*[Signature]* /3/25/04  
DATE

HOWARD S.C.D.

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

*[Signature]* /3/25/04  
DATE

NATURAL RESOURCES CONSERVATION SERVICE

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEM  
HOWARD COUNTY HEALTH DEPARTMENT

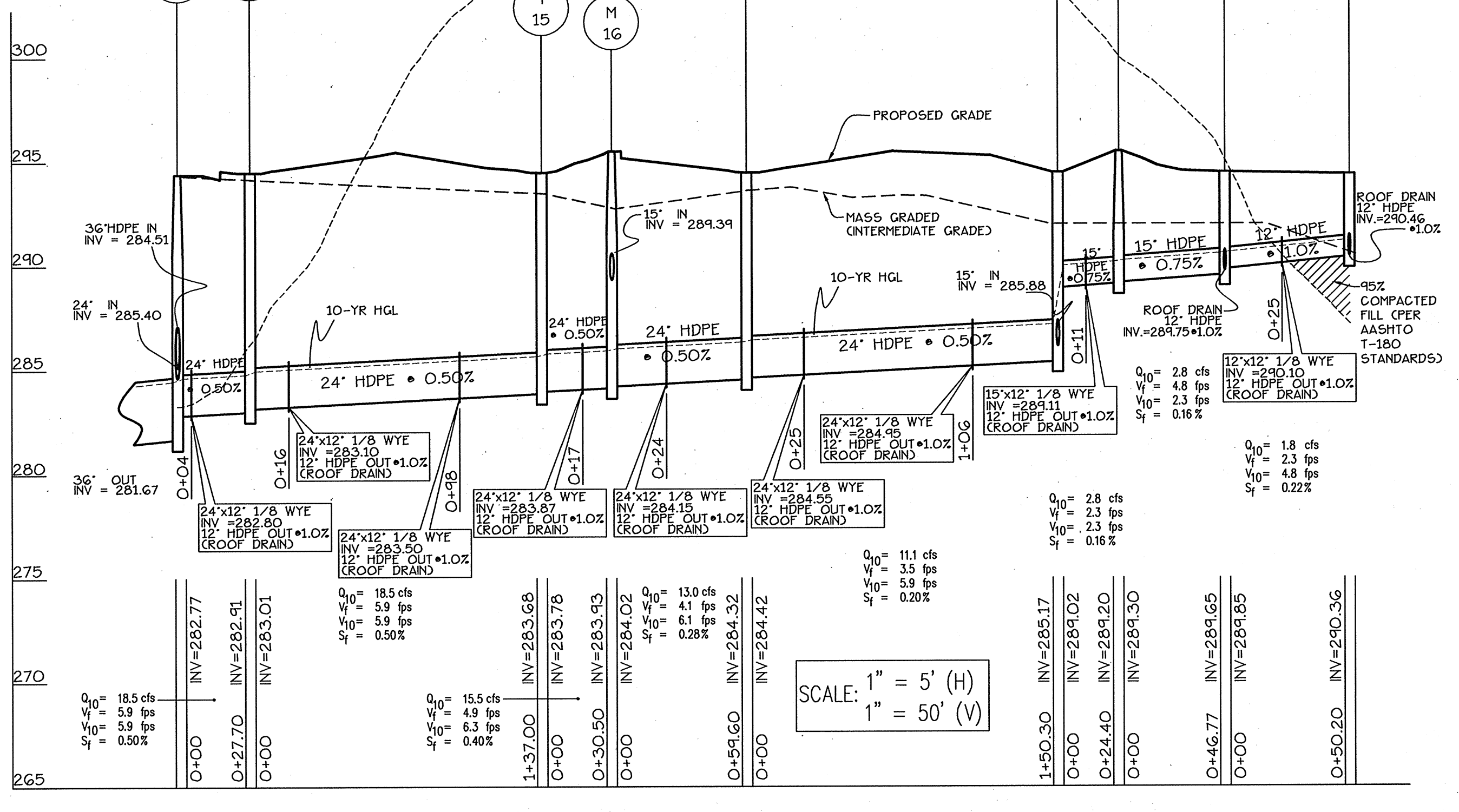
County Health Officer: *[Signature]* /N/A MR/ Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* /6/1/04/ Date

Chief, Division of Land Development: *[Signature]* /6/1/04/ Date

Chief, Development Engineering Division: *[Signature]* /3/25/04/ Date



GLW GUTSCHICK LITTLE & WEBER, P.A.  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 FAX: 410-880-1820  
DATE: 11/20/04 Rev. 01-1 to 1-12

NO.	DATE	REVISION	BY	APPR.
1	11/20/04	Rev. 01-1 to 1-12		

PREPARED FOR:  
DEVELOPER/CONTRACT PURCHASER: BEAZER HOMES, INC. 8955 GULFORD ROAD, SUITE 290 COLUMBIA, MARYLAND 21046  
OWNER/LESSEE: 100 INVESTMENT LIMITED PARTNERSHIP 9030 RED BRANCH ROAD, SUITE #200 COLUMBIA, MARYLAND 21045  
DATE: 4/10/04  
DRAWN BY: JEREMY HUGHES  
CHECKED BY:

ELECTION DISTRICT No. 1

### STORM DRAIN PROFILES

## CENTRE 9500 PARCEL-C, Ph. 1

AGE-RESTRICTED ADULT HOUSING  
PLAT No. 14213/1/04-119

SCALE: AS SHOWN	ZONING: POR	G. L. W. FILE NO.: 02-018
DATE: 10/MAR/04	TAX MAP - GRID: 37	SHEET: 11 OF 25

HOWARD COUNTY, MARYLAND



**D.A. Tabulation & C' Factor Computations**

From No.	Impervious				Grass		Composite		
	Area (sq-ft)	Area (Ac)	C (-)	X (-)	Area (sq-ft)	C (-)	ΣAC (-)	C (-)	
I-11	10000	0.23	7500	0.96	7200	2500	0.32	800.0	0.80
I-10	3400	0.08	400	0.96	384	3000	0.32	960.0	0.40
I-9	4100	0.09	350	0.96	336	3750	0.32	1200.0	0.37
I-8	4600	0.11	3800	0.96	3648	800	0.32	256.0	0.85
I-7	20300	0.47	16800	0.96	16128	3500	0.32	1120.0	0.85
I-13	6000	0.14	6000	0.96	5760	0	0.32	0.0	0.96
I-12	9600	0.22	9600	0.96	9216	0	0.32	0.0	0.96
I-6	6900	0.16	3000	0.96	2880	3900	0.32	1248.0	0.60
I-38	4700	0.11	1800	0.96	1728	2900	0.32	928.0	0.57
I-37	4900	0.11	2100	0.96	2016	2800	0.32	896.0	0.59
I-5	3700	0.08	2200	0.96	2112	1500	0.32	480.0	0.70
I-41	8800	0.20	5382	0.96	5167	3418	0.32	1093.8	0.71
I-43	4900	0.11	3300	0.96	3168	1600	0.32	512.0	0.75
I-42	15600	0.36	15600	0.96	14976	0	0.32	0.0	0.96
I-39	22000	0.51	22000	0.96	21120	0	0.32	0.0	0.96
I-28	5200	0.12	4722	0.96	4533	478	0.32	153.0	0.90
I-27	4000	0.09	4000	0.96	3840	0	0.32	0.0	0.96
I-26	9000	0.21	9000	0.96	8640	0	0.32	0.0	0.96
I-25	15700	0.36	15700	0.96	15072	0	0.32	0.0	0.96
I-29	5650	0.13	5650	0.96	5424	0	0.32	0.0	0.96
I-23	12700	0.29	12700	0.96	12192	0	0.32	0.0	0.96
I-22	2350	0.05	2350	0.96	2256	0	0.32	0.0	0.96
I-21	7320	0.17	4820	0.96	4627	2500	0.32	800.0	0.74
I-36	23000	0.53	15760	0.96	15130	7240	0.32	2316.8	0.76
I-35	18000	0.41	13000	0.96	12480	5000	0.32	1600.0	0.78
I-19	10000	0.23	6500	0.96	6240	3500	0.32	1120.0	0.74
I-17	12500	0.29	11800	0.96	11328	700	0.32	224.0	0.92
I-34	3328	0.08	0.0	0.96	0	3328	0.32	1065.0	0.32
I-33	6500	0.15	6500	0.96	6240	0	0.32	0.0	0.96
I-15	11000	0.25	9200	0.96	8832	1800	0.32	576.0	0.86
I-14	2500	0.06	2000	0.96	1920	500	0.32	160.0	0.83
I-3	2600	0.06	2600	0.96	2496	0	0.32	0.0	0.96
ALL RD	117710	2.70	117710	0.96	113002	0	0.32	0.0	0.96

Total Area Entering System = 9.15 acres  
 Total Impervious Area = 7.89 acres  
 Total Impervious Percent = 86 %

NOTE: THE EXISTING SOILS HAVE BEEN MASS GRADED. ALL SOILS HAVE CONSERVATIVELY BEEN APPROXIMATED AS SCS HYDROLOGIC GROUP 'C' SOILS.



**ENGINEER'S CERTIFICATE**

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*CK Jones* 3/19/04  
 DATE

**DEVELOPER'S/BUILDERS CERTIFICATE**

I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD.

*Beazer Homes Corp.*  
*Joseph [Signature]* 3/19/04  
 SIGNATURE OF DEVELOPER/BUILDER DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John L. Robinson* 3/25/04  
 HOWARD S.C.D. DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

APPROVED: FOR PUBLIC WATER & SEWERAGE SYSTEM  
*John M. [Signature]* 3/25/04  
 NATURAL RESOURCES CONSERVATION SERVICE DATE  
 County Health Officer

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*Paul A. [Signature]* 6/1/04  
 Director DATE

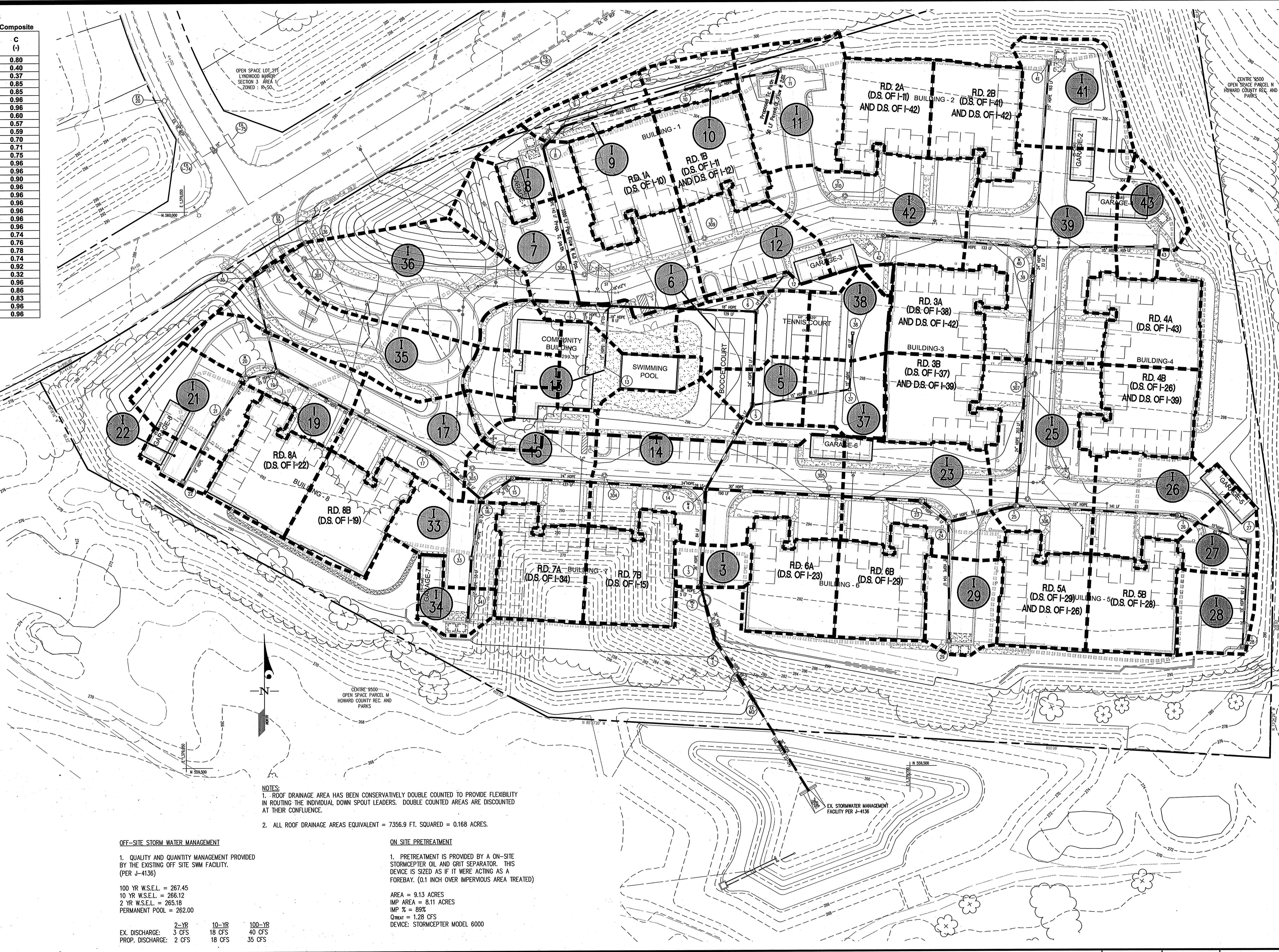
*Andy Hamilton* 6/1/04  
 Chief, Division of Land Development DATE  
*Mark [Signature]* 3/30/04  
 Chief, Development Engineering Division DATE

**GLW GUTSCHICK LITTLE & WEBER, P.A.**

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866

TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

CADD/DRAWINGS/022018/SDP's/SDP9-12.dwg DES. DRN. BM. CHK.



NOTES:  
 1. ROOF DRAINAGE AREA HAS BEEN CONSERVATIVELY DOUBLE COUNTED TO PROVIDE FLEXIBILITY IN ROUTING THE INDIVIDUAL DOWN SPOUT LEADERS. DOUBLE COUNTED AREAS ARE DISCOUNTED AT THEIR CONFLUENCE.  
 2. ALL ROOF DRAINAGE AREAS EQUIVALENT = 7356.9 FT. SQUARED = 0.168 ACRES.

**OFF-SITE STORM WATER MANAGEMENT**

1. QUALITY AND QUANTITY MANAGEMENT PROVIDED BY THE EXISTING OFF SITE SWM FACILITY. (PER J-4136)

100 YR W.S.E.L. = 267.45  
 10 YR W.S.E.L. = 266.12  
 2 YR W.S.E.L. = 265.18  
 PERMANENT POOL = 262.00

EX. DISCHARGE: 2-YR 10-YR 100-YR  
 3 CFS 18 CFS 40 CFS  
 PROP. DISCHARGE: 2 CFS 18 CFS 35 CFS

**ON-SITE PRETREATMENT**

1. PRETREATMENT IS PROVIDED BY A ON-SITE STORMCCEPTER OIL AND GRIT SEPARATOR. THIS DEVICE IS SIZED AS IF IT WERE ACTING AS A FOREBAY. (0.1 INCH OVER IMPERVIOUS AREA TREATED)

AREA = 9.13 ACRES  
 IMP AREA = 8.11 ACRES  
 IMP % = 89%  
 Q<sub>HEAT</sub> = 1.28 CFS  
 DEVICE: STORMCCEPTER MODEL 6000

**PREPARED FOR:**

DEVELOPER/CONTRACT PURCHASER  
 BEAZER HOMES, INC.  
 8965 GUILFORD ROAD, SUITE 290  
 COLUMBIA, MARYLAND 21046  
 410-720-5071  
 attn: JEREMY HUGHES

OWNER/SELLER  
 100 INVESTMENT LIMITED PARTNERSHIP  
 9030 RED BRANCH ROAD, SUITE #200  
 COLUMBIA, MARYLAND 21045  
 410-997-7222  
 attn: HOWARD RESHEK

**STORM DRAIN DRAINAGE AREA MAP**

**CENTRE 9500 PARCEL-C, Ph. 1**

AGE-RESTRICTED ADULT HOUSING  
 PLAT No. 14213 / 10515

ELECTION DISTRICT No. 1

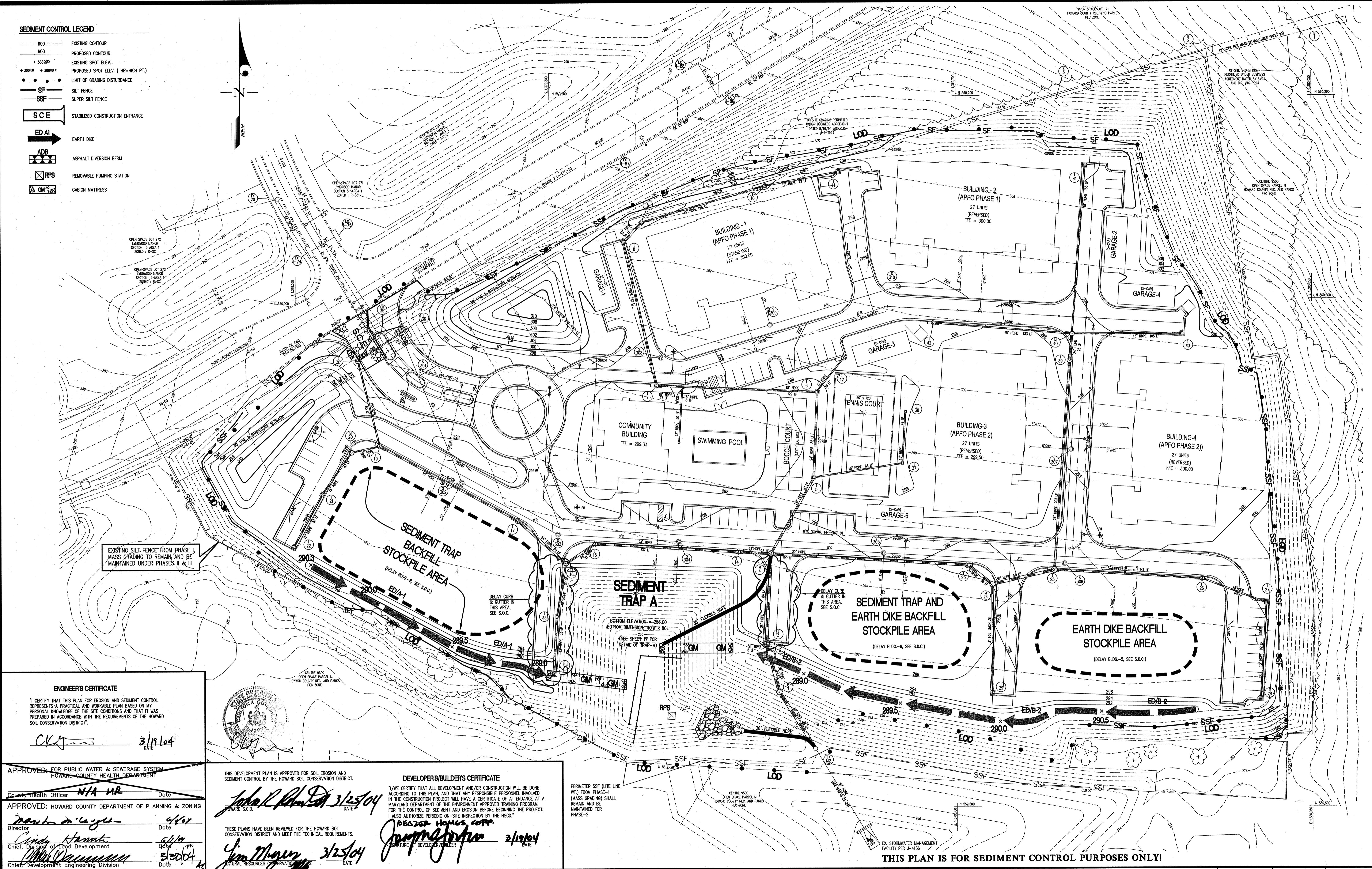
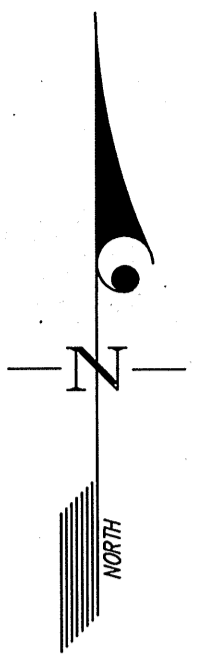
HOWARD COUNTY, MARYLAND

SCALE 1" = 40'	ZONING POR	G. L. W. FILE No. 02-018
DATE 10/MAR/04	TAX MAP - GRID 37	SHEET 12 OF 25



**SEDIMENT CONTROL LEGEND**

- 600 --- EXISTING CONTOUR
- 600 --- PROPOSED CONTOUR
- + 388000X EXISTING SPOT ELEV.
- + 388000X PROPOSED SPOT ELEV. (HP=HIGH PT.)
- • • LIMIT OF GRADING DISTURBANCE
- SF SILT FENCE
- SSF SUPER SILT FENCE
- SCE STABILIZED CONSTRUCTION ENTRANCE
- ED A1 EARTH DIKE
- ADB ASPHALT DIVERSION BERM
- RPS REMOVABLE PUMPING STATION
- GM GABION MATRESS



EXISTING SILT FENCE FROM PHASE I, MASS GRADING TO REMAIN AND BE MAINTAINED UNDER PHASES II & III

SEDIMENT TRAP BACKFILL STOCKPILE AREA  
(DELAY BLDG-3, SEE S.O.C.)

SEDIMENT TRAP A  
BOTTOM ELEVATION = 286.00  
BOTTOM DIMENSION: 40'W X 80'L  
(SEE SHEET 17 FOR DETAIL OF TRAP-A)

SEDIMENT TRAP AND EARTH DIKE BACKFILL STOCKPILE AREA  
(DELAY BLDG-5, SEE S.O.C.)

EARTH DIKE BACKFILL STOCKPILE AREA  
(DELAY BLDG-5, SEE S.O.C.)

**ENGINEER'S CERTIFICATE**  
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*CKJ* 3/19/04  
DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

**DEVELOPER'S/BUILDER'S CERTIFICATE**  
I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD.

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

*Johal K. Poon* 3/25/04  
DATE

*PEPPER HOMES, CORP.*  
*James J. Poon* 3/19/04  
DATE

PERMETER SIF (SILT LINE WT.) FROM PHASE-1 (MASS GRADING) SHALL REMAIN AND BE MAINTAINED FOR PHASE-2

**THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY!**

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR:  
**SEDIMENT CONTROL PLAN (PHASE 2)**  
**CENTRE 9500 PARCEL-C, PH. 1**  
AGE-RESTRICTED ADULT HOUSING  
PLAT No. 14213 / 10615  
HOWARD COUNTY, MARYLAND

DEVELOPER/CONTRACT PURCHASER  
PEPPER HOMES, INC.  
8665 GULFORD ROAD, SUITE 290  
COLUMBIA, MARYLAND 21046  
410-720-5071  
attn: JEREMY HUGHES

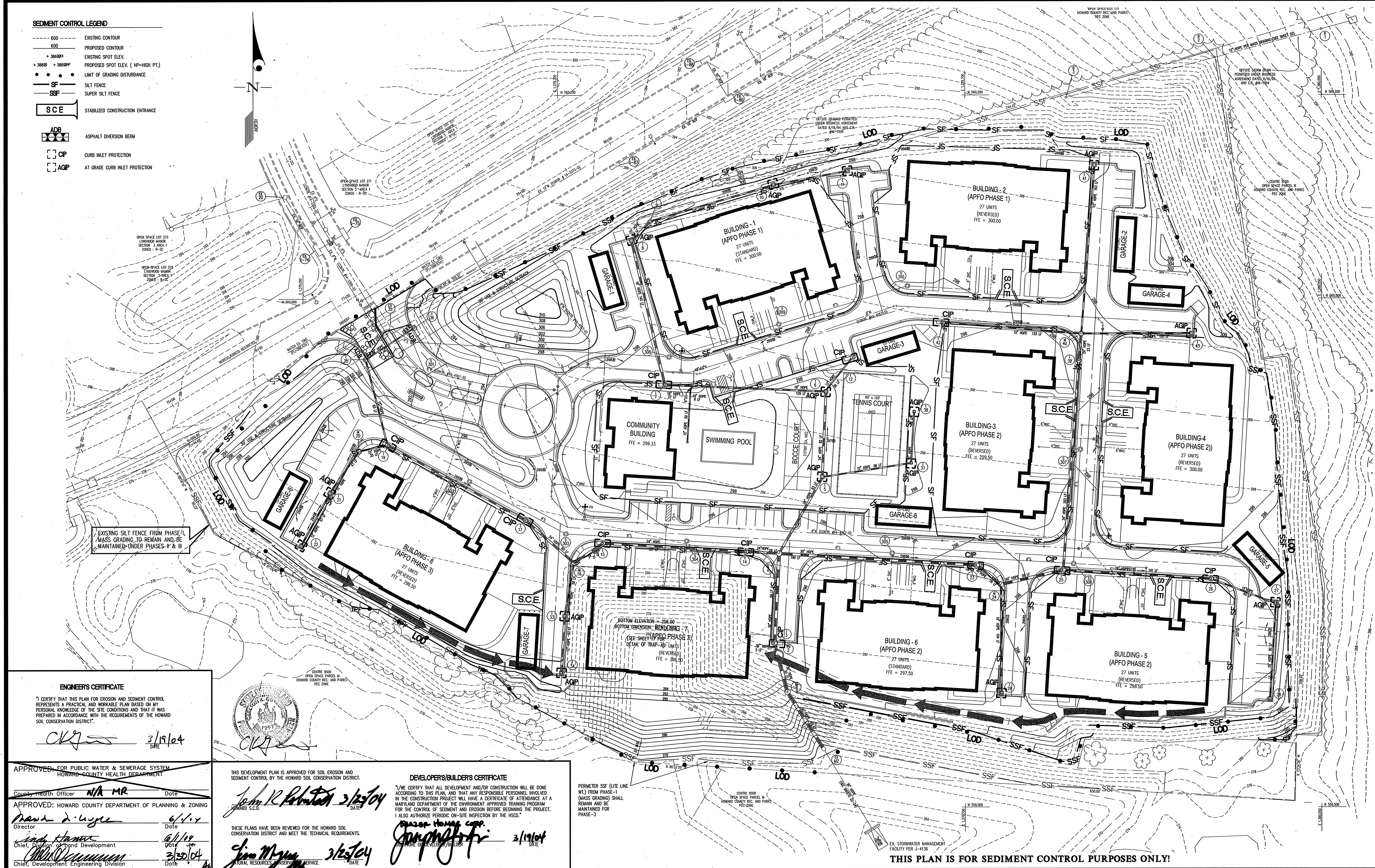
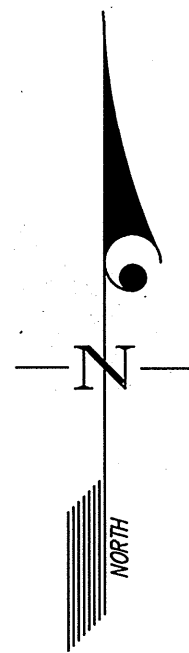
OWNER/SELLER  
100 INVESTMENT LIMITED PARTNERSHIP  
9030 RED BRANCH ROAD, SUITE #200  
COLUMBIA, MARYLAND 21045  
410-997-7222  
attn: HOWARD RESNEK

SCALE	ZONING	G. L. W. FILE No.
1" = 40'	POR	02-018
DATE	TAX MAP - GRID	SHEET
10/MAR/04	37	13 OF 25



**SEDIMENT CONTROL LEGEND**

- 600 --- EXISTING CONTOUR
- 600 --- PROPOSED CONTOUR
- + 388000X EXISTING SPOT ELEV.
- + 388000P PROPOSED SPOT ELEV. (HP=HIGH PT.)
- LIMIT OF GRADING DISTURBANCE
- SF — SILT FENCE
- SSF — SUPER SILT FENCE
- [ SCE ] STABILIZED CONSTRUCTION ENTRANCE
- [ ADB ] ASPHALT DIVERSION BERM
- [ CP ] CURB INLET PROTECTION
- [ AGIP ] AT GRADE CURB INLET PROTECTION



EXISTING SILT FENCE FROM PHASE I MASS GRADING TO REMAIN AND BE MAINTAINED UNDER PHASES II & III

**ENGINEER'S CERTIFICATE**

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*CKJ* 3/19/04  
DATE



APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEM  
HOWARD COUNTY HEALTH DEPARTMENT

County Health Officer *N/A MR* Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*David D. Wynn* 6/1/04  
Director Date

*John Haney* 6/1/04  
Chief, Division of Land Development Date

*William J. ...* 3/20/04  
Chief, Development Engineering Division Date

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John R. Robertson* 3/25/04  
HOWARD S.C.D. DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

*Jim Myer* 3/25/04  
NATURAL RESOURCES RESERVE SERVICE DATE

**DEVELOPER'S/BUILDER'S CERTIFICATE**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

*Maeson Homes Corp.*  
*Joseph ...* 3/19/04  
AS AGENT OF DEVELOPER/BUILDER DATE

PERMETER SIF (SILT LINE WT.) FROM PHASE-1 (MASS GRADING) SHALL REMAIN AND BE MAINTAINED FOR PHASE-3

THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY!

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

PREPARED FOR :

DEVELOPER/CONTRACT PURCHASER  
*BEAZER HOMES, INC.*  
8065 GULFORD ROAD, SUITE 200  
COLUMBIA, MARYLAND 21046  
410-720-5071  
attn: JEREMY HUGHES

OWNER/SELLER  
*100 INVESTMENT LIMITED PARTNERSHIP*  
9030 RED BRANCH ROAD, SUITE #200  
COLUMBIA, MARYLAND 21045  
410-997-7222  
attn: HOWARD RESNEK

**SEDIMENT CONTROL PLAN (PHASE 3)**

**CENTRE 9500 PARCEL-C, Ph. 1**

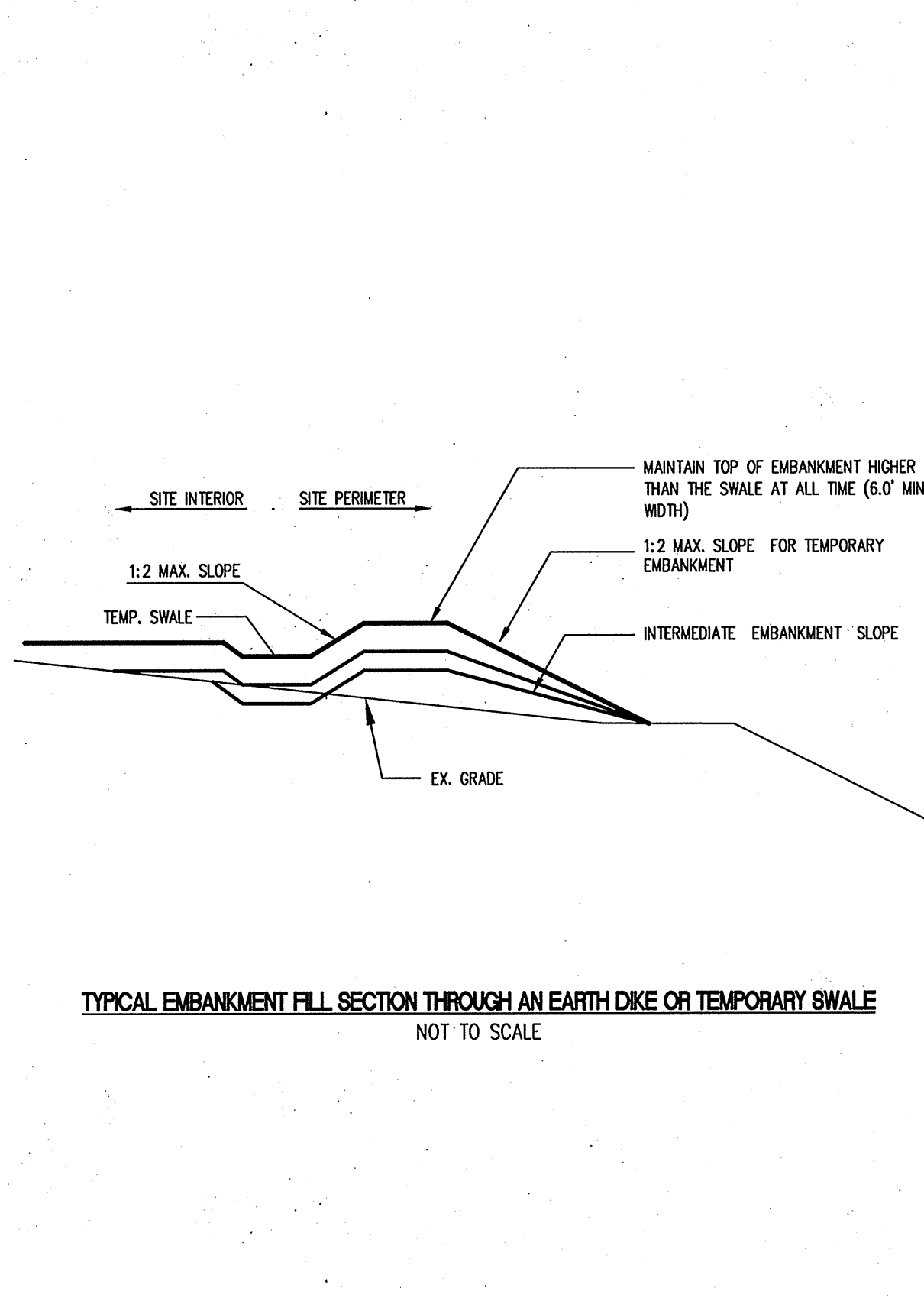
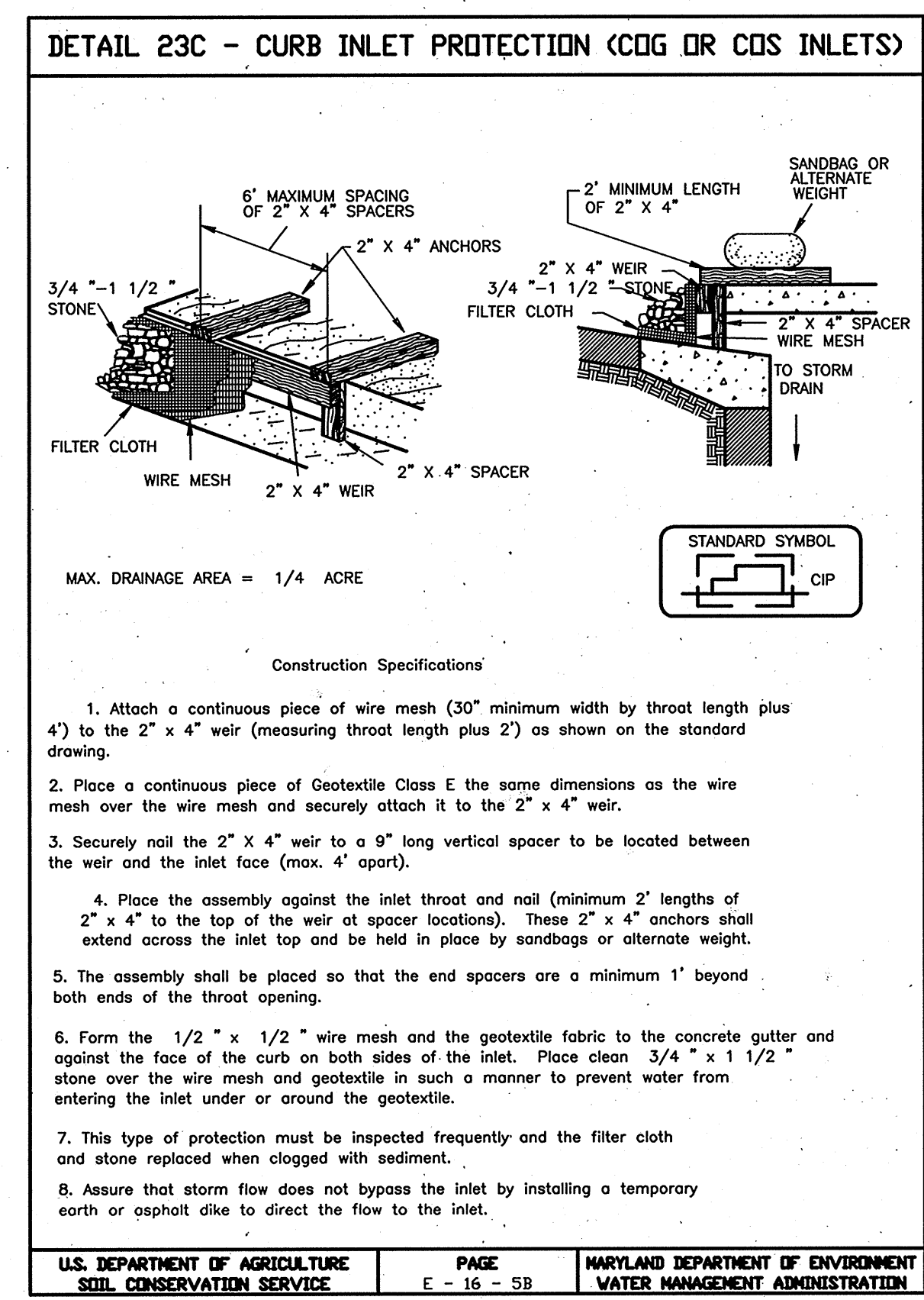
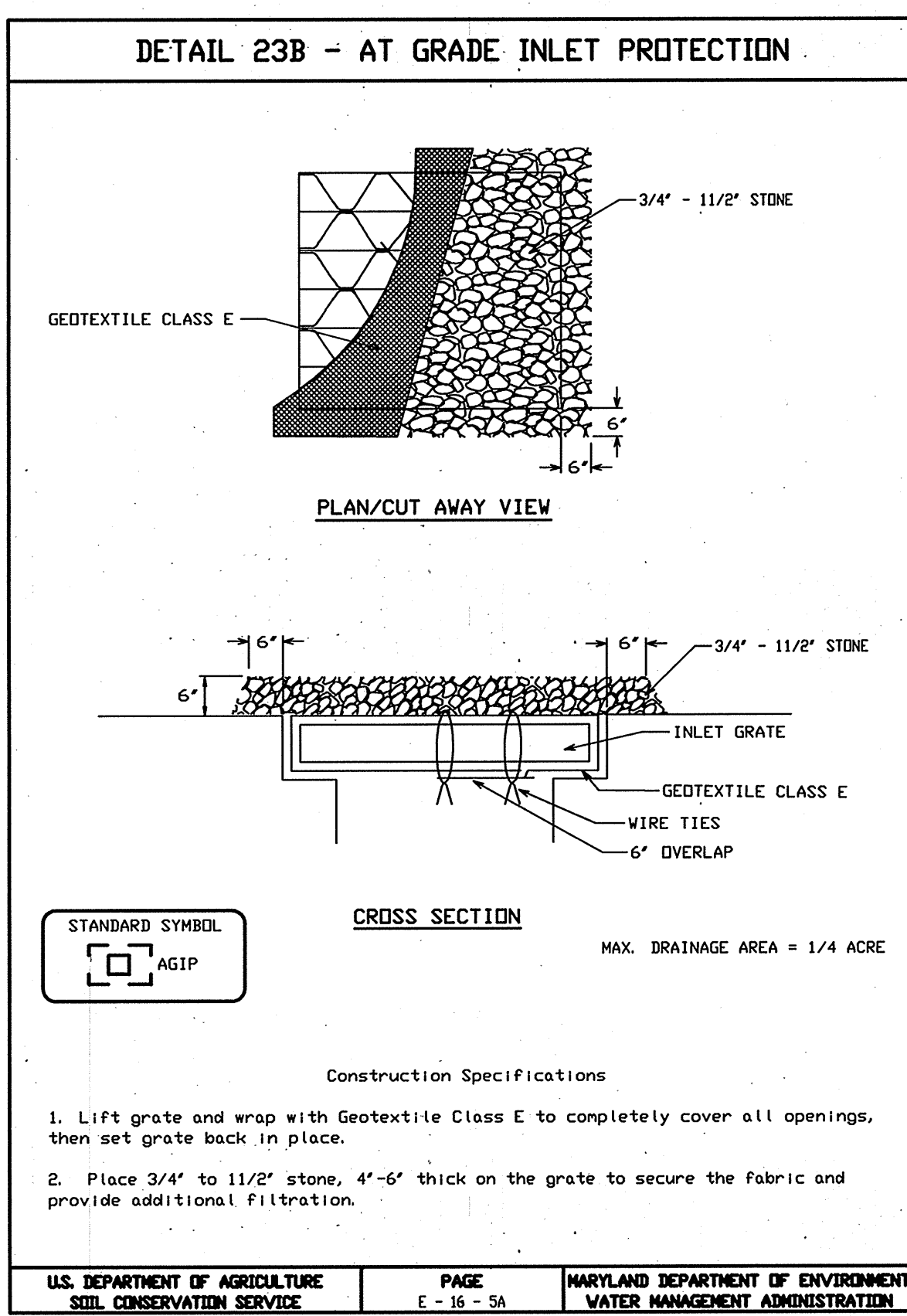
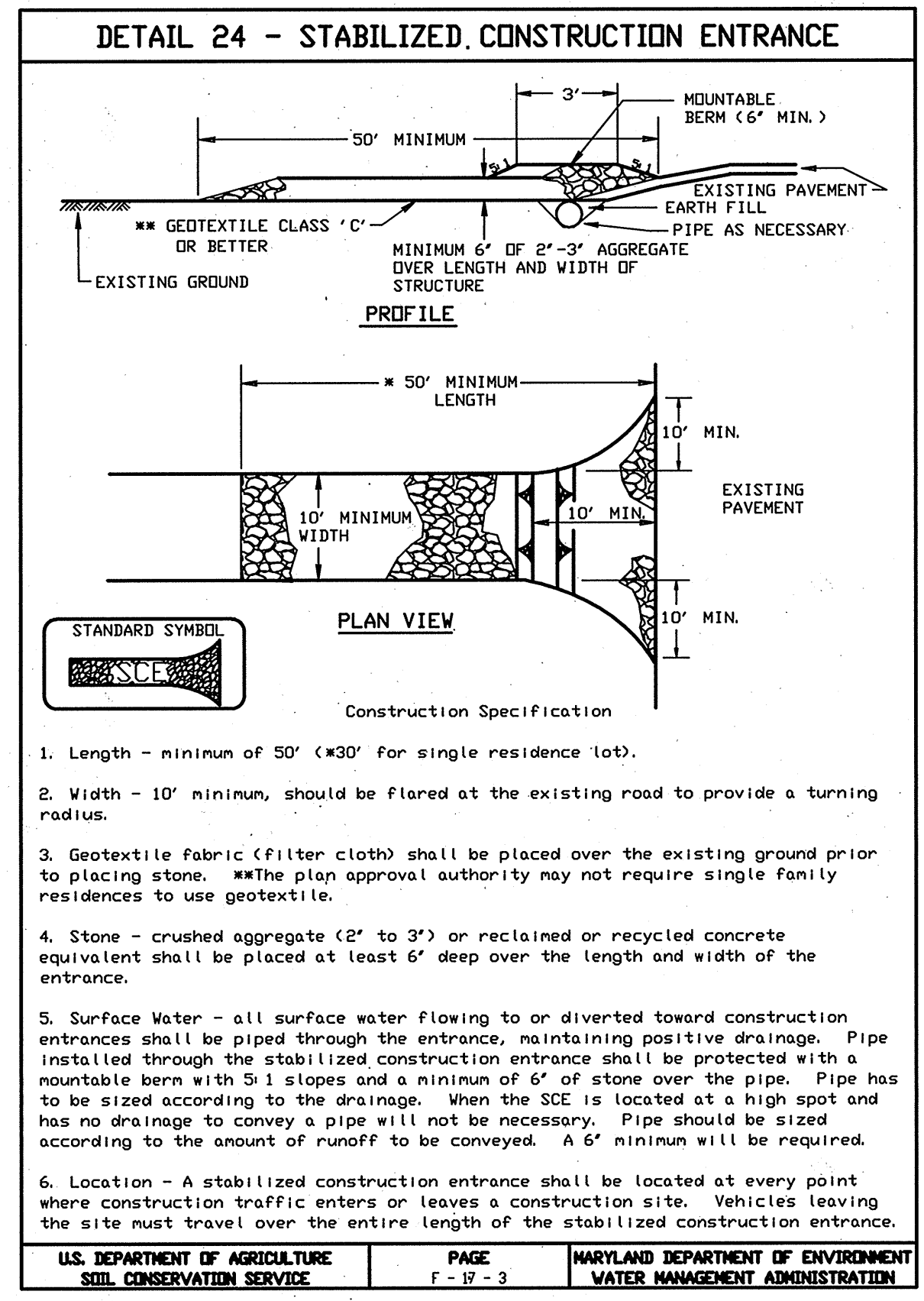
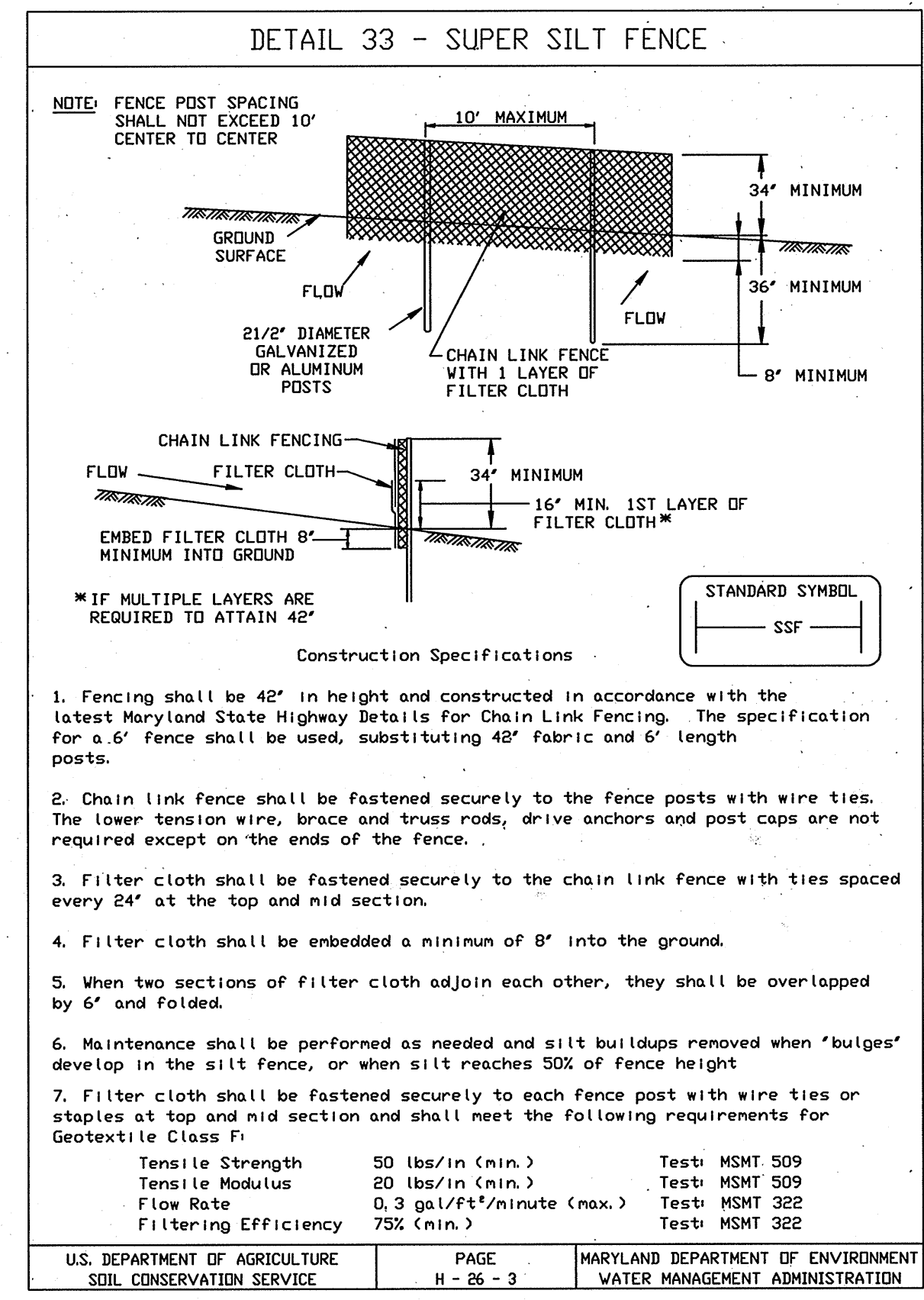
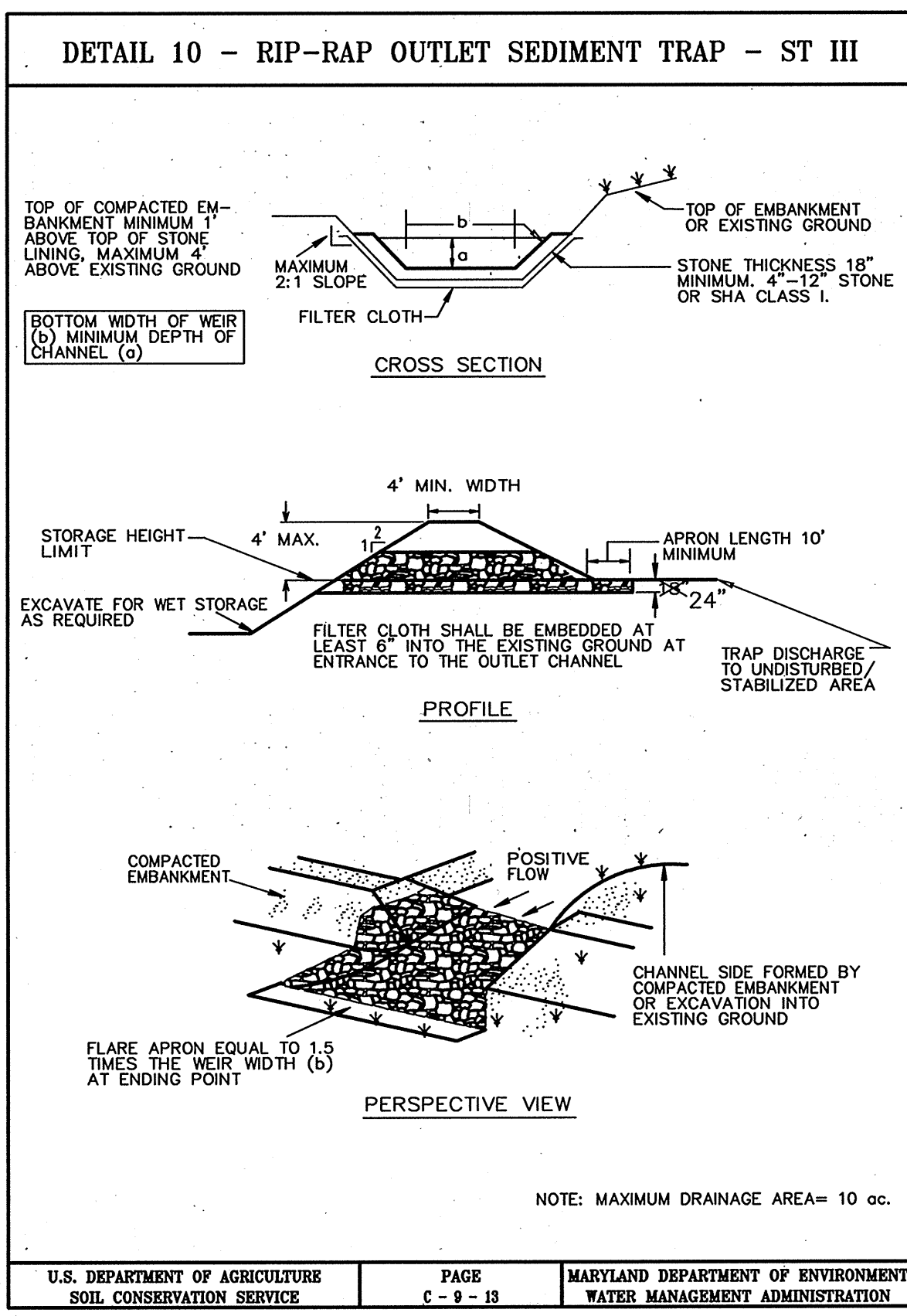
AGE-RESTRICTED ADULT HOUSING  
PLAT No. 14213 / 10 515

ELECTION DISTRICT No. 1

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 40'	POR	02-018
DATE	TAX MAP - GRID	SHEET
10/MAR/04	37	14 OF 25





### STANDARD AND SPECIFICATIONS FOR TOPSOIL

**DEFINITION**  
PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

**PURPOSE**  
TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

**CONDITIONS WHERE PRACTICE APPLIES**

I. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPE WHERE:

- THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
- THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLY OF MOISTURE AND PLANT NUTRIENTS.
- THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
- THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

II. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

**CONSTRUCTION AND MATERIAL SPECIFICATIONS**

I. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE RESPECTIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.

II. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:

- TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CHINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN DIAMETER.
- TOPSOIL MUST BE FREE OF PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEGGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
- WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE IF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.

III. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:

- PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 2.0 VEGETATIVE STABILIZATION - SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS (OR SEE SEEDING NOTES).

IV. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:

- ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:
  - PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER.
  - ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT.
  - TOPSOIL HAVING SOLUBLE SALT GREATER THAN 500 PARTS PER MILL SHALL NOT BE USED.
  - NO SOD OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHOTO-TOXIC MATERIALS.

NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.

- PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 2.0 VEGETATIVE STABILIZATION - SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS (OR SEE SEEDING NOTES).

V. TOPSOIL APPLICATION

- WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSION, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.
- GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBERT 4"-8" HIGHER IN ELEVATION.
- TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4"-8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SOODING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER.
- TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDING PREPARATION.

VI. ALTERNATIVE FOR PERMANENT SEEDING - INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERICAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW:

- COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
  - COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS THAT ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06.
  - COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 1.5 PERCENT PHOSPHORUS, AND 0.2 PERCENT POTASSIUM AND HAVE A PH OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE.
  - COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQUARE FEET.
- COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT A RATE OF 4LB/1,000 SQUARE FEET, AND 1/3 THE NORMAL LIME APPLICATION RATE.

REFERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SOODING, MD-VA PUB. #1, COOPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTES, REVISED 1973.

### SEDIMENT CONTROL NOTES

- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION. (410) 313-1855
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES AND PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS, SOD, TEMPORARY SEEDINGS AND MULCHING (SEC. 3). TEMPORARY STABILIZATION WITH MULCH ALONE, CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

TOTAL AREA OF SITE	12,384 ACRES
AREA DISTURBED	10.9 ± ACRES
AREA TO BE ROOFED OR PAVED	8.1 ± ACRES
AREA TO BE VEGETATIVELY STABILIZED	2.8 ± ACRES
TOTAL CUT	28,000 CU. YDS.
TOTAL FILL	28,000 CU. YDS.
OFF-SITE WASTE/BORROW AREA LOCATION	NONE

- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DPW SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO 3 PIPE LENGTHS OR THAT WHICH SHALL BE BACKFILLED AND STABILIZED WITHIN 1 WORKING DAY, WHICHEVER IS SHORTER.

### PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREA NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDING PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENED).

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES

- PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ FT) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ FT) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS PER ACRE 30-0-0 UREA-FORM FERTILIZER (9 LBS/1000 SQ FT).
- ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ FT) AND 1000 LBS PER ACRE OF 10-10-10 FERTILIZER (23 LBS/1000 SQ FT) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL.

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS PER ACRE (1.4 LBS/1000 SQ FT) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS PER ACRE (0.5 LBS/1000 SQ FT) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY: OPTION (1) 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOD. OPTION (3) SEED WITH 60 LBS/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ FT) OF UNROTTED, WEED-FREE, SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ FT) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ FT) FOR ANCHORING.

MAINTENANCE: INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

### TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDING PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENED).

SOIL AMENDMENTS: APPLY 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ FT).

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU OCTOBER 15, SEED WITH 2-1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS/1000 SQ FT.). FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS PER ACRE OF WEEPING LOVEGRASS (0.7 LBS/1000 SQ FT). FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ FT) OF UNROTTED, WEED-FREE, SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL PER ACRE (5 GAL/1000 SQ FT) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES, 8 FT OR HIGHER, USE 348 GAL PER ACRE (8 GAL/1000 SQ FT) FOR ANCHORING.

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEM  
HOWARD COUNTY HEALTH DEPARTMENT

County Health Officer: *WJA* Date: *6/1/04*

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Frank A. Taylor* Date: *6/1/04*

Chief, Division of Land Development: *Chris Stenot* Date: *6/1/04*

Chief, Development Engineering Division: *John J. ...* Date: *3/20/04*

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

*Jim Meyer* 3/12/04 DATE

*John K. ...* 3/12/04 DATE

ENGINEER'S CERTIFICATE

I, CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*CK* 3/19/04 DATE

DEVELOPER/BUILDERS CERTIFICATE

I, MYSELF CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD.

*James Hough Corp.* 3/19/04 DATE

GLW GUTSCHICK LITTLE & WEBER, P.A.  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-889-2524 FAX: 301-421-4186

NO.	DATE	REVISION	BY	APP'R.

DEVELOPER/CONTRACT PURCHASER  
BEAZER HOMES, INC.  
8055 GULFORD ROAD, SUITE 200  
COLUMBIA, MARYLAND 21046  
410-720-5071  
attn: JEREMY HUGHES

OWNER/SELLER  
100 INVESTMENT LIMITED PARTNERSHIP  
9330 RED BRANCH ROAD, SUITE #200  
COLUMBIA, MARYLAND 21045  
410-997-7222  
attn: HOWARD RESNEK

### SEDIMENT CONTROL NOTES & DETAILS

## CENTRE 9500 PARCEL-C, Ph. I

AGE-RESTRICTED ADULT HOUSING  
PLAT No. 1423 / 10519

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	POR	02-018
DATE	TAX MAP - GRID	SHEET
10/MAR/04	37	15 OF 25

HOWARD COUNTY, MARYLAND

ELECTION DISTRICT No. 1

SDP-03-138



### DETAIL 1 - EARTH DIKE

**CROSS SECTION**

2:1 SLOPE OR FLATTER  
EXCAVATE TO PROVIDE REQUIRED FLOW WIDTH AT DESIGN FLOW DEPTH

**PLAN VIEW**

POSITIVE DRAINAGE SUFFICIENT TO DRAIN  
CUT OR FILL SLOPE

	DIKE A	DIKE B
a-DIKE HEIGHT	18"	30"
b-DIKE WIDTH	24"	36"
c-FLOW WIDTH	4'	6'
d-FLOW DEPTH	12"	24"

STANDARD SYMBOL  
A-2 B-3  
---/---/---

**FLOW CHANNEL STABILIZATION**  
GRADE 0.5% MIN. 10% MAX.

- Seed and cover with straw mulch.
- Seed and cover with Erosion Control Matting or line with sod.
- 4" - 7" stone or recycled concrete equivalent pressed into the soil 7" minimum.

**Construction Specifications**

- All temporary earth dikes shall have uninterrupted positive grade to an outlet. Spot elevations may be necessary for grades less than 1%.
- Runoff diverted from a disturbed area shall be conveyed to a sediment trapping device.
- Runoff diverted from an undisturbed area shall outlet directly into an undisturbed, stabilized area at a non-erosive velocity.
- All trees, brush, stumps, obstructions, and other objectionable material shall be removed and disposed of so as not to interfere with the proper functioning of the dike.
- The dike shall be excavated or shaped to line, grade and cross section as required to meet the criteria specified herein and be free of bank projections or other irregularities which will impede normal flow.
- Fill shall be compacted by earth moving equipment.
- All earth removed and not needed for construction shall be placed so that it will not interfere with the functioning of the dike.
- Inspection and maintenance must be provided periodically and after each rain event.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE A-1-6 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

### DETAIL 30 - EROSION CONTROL MATTING

**CROSS-SECTION**

4" OVERLAP OF MATTING STRIPS WHERE TWO OR MORE STRIP WIDTHS ARE REQUIRED. ATTACH STAPLES ON 18" CENTERS

STAPLE OUTSIDE EDGE OF MATTING ON 2" CENTERS

TYPICAL STAPLES NO. 11 GAUGE WIRE

**Construction Specifications**

- Key-in the matting by placing the top ends of the matting in a narrow trench, 6" in depth. Backfill the trench and tamp firmly to conform to the channel cross-section. Secure with a row of staples about 4" down slope from the trench. Spacing between staples is 6".
- Staple the 4" overlap in the channel center using an 18" spacing between staples.
- Before stapling the outer edges of the matting, make sure the matting is smooth and in firm contact with the soil.
- Staples shall be placed 2" apart with 4 rows for each strip, 2 outer rows, and 2 alternating rows down the center.
- Where one roll of matting ends and another begins, the end of the top strip shall overlap the upper end of the lower strip by 4", shiplap fashion. Reinforce the overlap with a double row of staples spaced 6" apart in a staggered pattern on either side.
- The discharge end of the matting liner should be similarly secured with 2 double rows of staples.

Note: If flow will enter from the edge of the matting then the area effected by the flow must be keyed-in.

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### EROSION CONTROL MATTING

**Construction Specifications**

- Key-in the matting by placing the top ends of the matting in a narrow trench, 6" in depth. Backfill the trench and tamp firmly to conform to the channel cross-section. Secure with a row of staples about 4" down slope from the trench. Spacing between staples is 6".
- Staple the 4" overlap in the channel center using an 18" spacing between staples.
- Before stapling the outer edges of the matting, make sure the matting is smooth and in firm contact with the soil.
- Staples shall be placed 2" apart with 4 rows for each strip, 2 outer rows, and 2 alternating rows down the center.
- Where one roll of matting ends and another begins, the end of the top strip shall overlap the upper end of the lower strip by 4", shiplap fashion. Reinforce the overlap with a double row of staples spaced 6" apart in a staggered pattern on either side.
- The discharge end of the matting liner should be similarly secured with 2 double rows of staples.

Note: If flow will enter from the edge of the matting then the area effected by the flow must be keyed-in.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE G-22-2A MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

### DETAIL 31 - TREE PROTECTION

**TEMPORARY MEASURES**

NOTE: ALL PROTECTIVE MEASURES SHALL EXTEND BEYOND THE TREE DRIFTLINE

**TEMPORARY AND PERMANENT MEASURES**

NOTE: ALL PROTECTIVE FENCING SHALL EXTEND BEYOND THE TREE DRIFTLINE

**CUT AREAS**

**FILL AREAS**

**IMPROPER PROCEDURE**

**PROPER PROCEDURE**

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE G-23-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

### Dust Control

**Definition**  
Controlling dust blowing and movement on construction sites and roads.

**Purpose**  
To prevent blowing and movement of dust from exposed soil surfaces, reduce on and off-site damage, health hazards, and improve traffic safety.

**Conditions Where Practice Applies**  
This practice is applicable to areas subject to dust blowing and movement where on and off-site damage is likely without treatment.

**Specifications**

**Temporary Methods**

- Mulches - See standards for vegetative stabilization with mulches only, mulch should be crimped or tacked to prevent blowing.
- Vegetative Cover - See standards for temporary vegetative cover.
- Tillage - To roughen surface and bring clods to the surface. This is an emergency measure which should be used before soil blowing starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12' apart, spring-toothed harrows, and similar plows are examples of equipment which may produce the desired effect.
- Irrigation - This is generally done as an emergency treatment. Site is sprinkled with water until the surface is moist. Repeat as needed. At no time should the site be irrigated to the point that runoff begins to flow.
- Barriers - Solid board fences, silt fences, snow fences, straw bales, and similar material can be used to control air currents and soil blowing. Barriers placed at right angle to prevailing currents at intervals of about ten times their height are effective in controlling soil blowing.
- Calcium Chloride - Apply at rates that will keep surface moist. May need treatment.

**Permanent Methods**

- Permanent Vegetation - See standards for permanent vegetative cover, and permanent stabilization with sod. Existing trees or large shrubs may afford valuable protection if left in place.
- Topsailing - Covering with less erosive soil material. See standards for top soil.
- Stone - Cover surface with crushed stone or gravel.

**References**

- Agriculture Handbook 346. Wind Erosion Forces in the United States and Their Use in Predicting Soil Loss.
- Agriculture Information Bulletin 354. How to Control Wind Erosion, USDA, ARS.

### DETAIL 20A - REMOVABLE PUMPING STATION

**ELEVATION (CUT AWAY)**

HOOK AND CHAIN FOR REMOVAL

Perforated (removable) 12" - 36" pipe wrapped w/ 1/2" hardware cloth and Geotextile Class C

CLEAN GRAVEL (AASHTO M-43 #57 3/8" - 1/2" AGGREGATE FILL)

PERFORATED 48" PIPE WRAPPED WITH 1/2" HARDWARE CLOTH

**Construction Specifications**

- The outer pipe should be 48" dia. or shall, in any case, be at least 4" greater in diameter than the center pipe. The outer pipe shall be wrapped with 1/2" hardware cloth to prevent backfill material from entering the perforations.
- After installing the outer pipe, backfill around outer pipe with 2" aggregate or clean gravel.
- The inside stand pipe (center pipe) should be constructed by perforating a corrugated or PVC pipe between 12" and 36" in diameter. The perforations shall be 1/2" x 6" slots or 1" diameter holes 6" on center. The center pipe shall be wrapped with 1/2" hardware cloth first, then wrapped again with Geotextile Class C.
- The center pipe should extend 12" to 18" above the anticipated water surface elevation or riser crest elevation when dewatering a basin.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE D-12-5 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

### DETAIL 6 - GABION INFLOW PROTECTION

**PERSPECTIVE VIEW**

**PROFILE ALONG CENTERLINE**

**Construction Specifications**

- Gabion inflow protection shall be constructed of 9' x 3' x 9" gabion baskets forming a trapezoidal cross section 1' deep, with 2:1 side slopes, and a 3' bottom width.
- Geotextile Class C shall be installed under all gabion baskets.
- The stone used to fill the gabion baskets shall be 4" - 7".
- Gabions shall be installed in accordance with manufacturers recommendations.
- Gabion Inflow Protection shall be used where concentrated flow is present on slopes steeper than 4:1.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE B-7-2 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

### DETAIL 18 - SEDIMENT BASIN BAFFLES

**PLAN VIEWS**

**BAFFLE DETAIL**

**Construction Specifications**

- Gabion inflow protection shall be constructed of 9' x 3' x 9" gabion baskets forming a trapezoidal cross section 1' deep, with 2:1 side slopes, and a 3' bottom width.
- Geotextile Class C shall be installed under all gabion baskets.
- The stone used to fill the gabion baskets shall be 4" - 7".
- Gabions shall be installed in accordance with manufacturers recommendations.
- Gabion Inflow Protection shall be used where concentrated flow is present on slopes steeper than 4:1.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE C-10-22 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

### SEDIMENT TRAP BAFFLE PLAN

**Construction Specifications**

- Gabion inflow protection shall be constructed of 9' x 3' x 9" gabion baskets forming a trapezoidal cross section 1' deep, with 2:1 side slopes, and a 3' bottom width.
- Geotextile Class C shall be installed under all gabion baskets.
- The stone used to fill the gabion baskets shall be 4" - 7".
- Gabions shall be installed in accordance with manufacturers recommendations.
- Gabion Inflow Protection shall be used where concentrated flow is present on slopes steeper than 4:1.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE C-10-22 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

$$D = 83 \text{ ft}$$

$$A = 7050 \text{ sq-ft.}$$

$$We = A/D = 85 \text{ ft.}$$

$$Le = 2We = 170 \text{ ft.}$$

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEM  
HOWARD COUNTY HEALTH DEPARTMENT

County Health Officer *N/A MR* Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Frank D. Lugo* 6/1/04 Date  
Director

*Cindy Hamstra* 6/1/04 Date  
Chief, Division of Land Development

*Mark Williams* 3/20/04 Date  
Chief, Development Engineering Division

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

*Jim Moore* 3/12/04 DATE  
NATURAL RESOURCES COMMISSIONER

**ENGINEER'S CERTIFICATE**

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*OK* 3/19/04 DATE  
HOWARD S.C.D. DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John K. Blanton* 3/25/04 DATE  
HOWARD S.C.D. DATE

**DEVELOPER'S/BUILDER'S CERTIFICATE**

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD.

*Bezza Homes Corp.* 3/17/04 DATE  
SIGNATURE OF DEVELOPER/BUILDER

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALR: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

CADD/DRAWINGS/02/18/SP/A/SHE-DET.dwg DES. DRN. HP. CHK. DATE REVISION BY APP'R.

NO.	DATE	REVISION	BY	APP'R.

**PREPARED FOR:**

**DEVELOPER/CONTRACT PURCHASER**  
BEAZER HOMES, INC.  
6935 GILFORD ROAD, SUITE 200  
COLUMBIA, MARYLAND 21046  
410-720-5071  
attn: JEREMY HUGHES

**OWNER/SELLER**  
100 INVESTMENT LIMITED PARTNERSHIP  
6935 RED BRANCH ROAD, SUITE 400  
COLUMBIA, MARYLAND 21045  
410-987-7222  
attn: HOWARD RESNEK

**SEDIMENT CONTROL NOTES & DETAILS**

**CENTRE 9500 PARCEL-C, Ph. 1**  
AGE-RESTRICTED ADULT HOUSING  
PLAT No. 14213 / 10/15

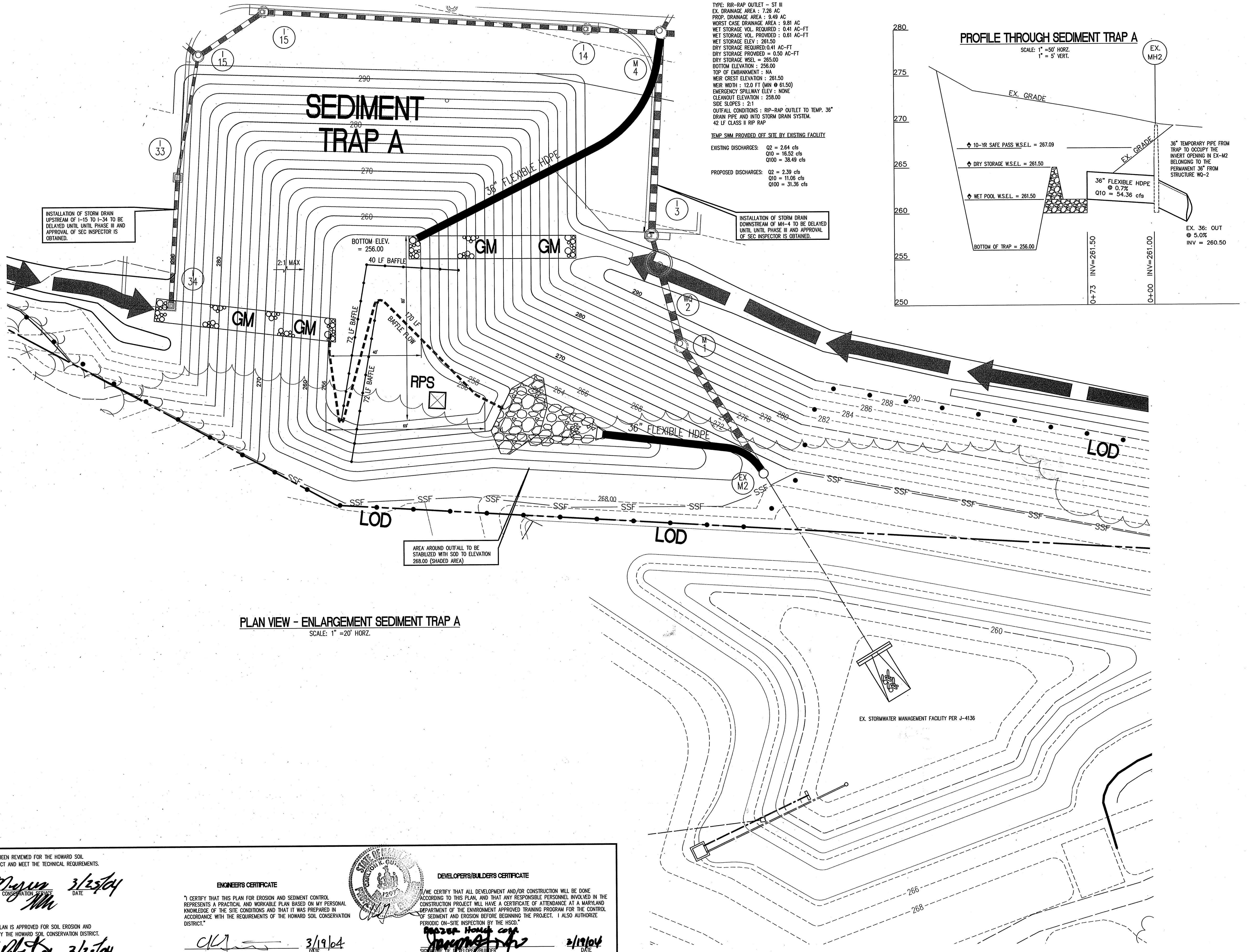
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	POR	02-018
DATE	TAX MAP - GRID	SHEET
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HOWARD COUNTY, MARYLAND



**PHASE-2 SEQUENCE OF CONSTRUCTION**  
(SEE SHEETS 22-24 FOR PHASE-1 MASS GRADING CONSTRUCTION SEQUENCE)

- CHECK AND VERIFY THE MASS GRADED CONDITION.
- STAKE OUT THE L.O.D. FOR PHASE-2 AND ENLARGE THE STABILIZED CONSTRUCTION ENTRANCE (SCE) TO THE SIZE SHOWN FOR PHASE-2. (1-2 DAYS)
- RELOCATE (OR INSTALL NEW) SUPER SILT FENCE (SSF) AND TREE PROTECTION FENCE (TPF) AT THE NEW LOCATION FOR PHASE-2. FOR SILT FENCE ALONG THE PHASE-2 LOD, INSTALL NEW ONES. (2-3 DAYS)
- CHECK THE CONDITION OF TRAP-A LEFT FROM THE PHASE-1 MASS GRADING OPERATION AND REPAIR/CLEANOUT THE TRAP AS NECESSARY SO IT MEETS THE DESIGN PARAMETERS SHOWN ON THIS SHEET (1-DAY).
- CHECK THE CONDITION OF THE EARTH DIKES LEFT FROM THE PHASE-1 MASS GRADING OPERATION AND MAKE REPAIRS TO THE E.D.'S AS NECESSARY (1-DAY).
- OBTAIN PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR (SCI) TO BEGIN THE GRADING OPERATION FOR PHASE-2.
- OBTAIN PERMISSION FROM THE SCI TO REMOVE THE UPPER PORTION OF THE E.D.'S USED IN PHASE-1 BUT NO LONGER NECESSARY IN PHASE-2. RAISE THE EARTH DIKE (FROM S.O.C. #6) PER THE DETAIL ON SHEET 15 ("TYPICAL EMBANKMENT FILL SECTION THROUGH AN EARTH DIKE...") AS THE GRADE IN SOUTHERN PORTION OF THE SITE IS BROUGHT HIGHER. STABILIZE THE TWO BERMS ALONG MARSHALLEE DRIVE WITH PERMANENT SEEDING AND MATTING ONCE THEY ARE BROUGHT TO FINAL GRADE. (APPROX. 2 WKS.)
- COORDINATE UTILITY INSTALLATION WITH THE GRADING OPERATION. FOR THE STORM DRAIN SYSTEM, BEGIN AT INLET #4 WITH A TEMPORARY 36" PIPE INTO TRAP-A THEN WORK UP FROM THERE. DELAY THE INSTALLATION OF THE STORM DRAIN BETWEEN EX-M2 AND M-4. (APPROX. 3 WKS.)
- INSTALL CONCRETE CURB/GUTTER AND THE BASE PAVING BUT DELAY THE PORTION BETWEEN BUILDINGS 6/7 AND 7/8 (ON BOTH SIDES OF THE DRIVE) TO FACILITATE THE FUTURE BACKFILLING OF THE SEDIMENT TRAP. INSTALL THE TEMPORARY ASPHALT DIVERSION BERM (A.D.B.) AT INLETS #35 AND #36. (APPROX. 3 WKS.)
- ONCE ALL THE CURB/GUTTER AND BASE PAVING (EXCEPT THOSE DELAYED IN S.O.C. #9) ARE INSTALLED, OBTAIN PERMISSION FROM THE SCI TO BACKFILL THE EARTH DIKES AND IMMEDIATELY STABILIZE BUILDING PADS 5 & 6 WITH SEEDING. (1-2 DAYS)
- OBTAIN PERMISSION FROM THE SCI TO BACKFILL TRAP-A. SEQUENCE THE BACKFILLING OPERATION DURING A FIVE (5) CONSECUTIVE DAYS OF CLEAR WEATHER BY NWS.
  - FLUSH THE STORM DRAIN SYSTEM OF ANY ACCUMULATED SEDIMENTS AND DRAIN THE TRAP.
  - MAKE SURE THE S.S.F. BEHIND FUTURE BUILDINGS 6-7 ARE IN GOOD WORKING ORDER. FIX AND REPAIR AS NECESSARY.
  - INSTALL INLET PROTECTION AT ALL INLETS.
  - INSTALL SILT FENCE ALONG THE CURB & GUTTER IN THE VICINITY OF BUILDINGS 6-8.
  - REMOVE THE TEMP. 36" HDPE FROM M-4 (INTO TRAP-A) AND THE TEMP. 36" HDPE IN EX-M2 THEN COMPLETE THE STORM DRAIN BETWEEN EX-M2 AND M-4.
  - BACKFILL TRAP-A AND COMPLETE THE MISSING CURB AND PAVING BETWEEN BUILDINGS 6/7 & 7/8.
- INITIATE BUILDING CONSTRUCTION (WHICH CAN BE CONCURRENT WITH S.O.C. #9; HOWEVER, BUILDINGS 5-8 SHALL BE DELAYED WHILE THE TRAP AND THE EARTH DIKES ARE STILL IN USE). START WITH THE COMMUNITY BUILDING (INCLUDING THE POOL, TENNIS COURT, ETC.) AND APT. BUILDING #1 (AND ITS FREE STANDING GARAGE #1) THEN PROCEED TO THE NEXT BUILDING IN NUMERICAL ORDER. INSTALL A S.C.E. AND SILT FENCE ALONG THE CURB/GUTTER FOR EACH APT. BUILDING THAT ARE UNDERGOING CONSTRUCTION. COORDINATE THE CONSTRUCTION OF EACH RETAINING WALL WITH ITS CORRESPONDING APT. BUILDING. THE RETAINING WALL CAN ALSO BE DONE IN S.O.C. #10 DURING THE E.D.'S BACKFILLING OPERATION. (APPROX. 10-24 MONTHS/APT.)
- AS EACH BUILDING IS COMPLETED, STABILIZE THE AREA SURROUNDING THE BUILDING THAT IS NOT OTHERWISE PAVED (SIDEWALKS & DRIVEWAYS) WITH LANDSCAPE PLANTING AND PERMANENT SEEDING (PLUS MATTING ON ALL HILL SIDES) OR SOD (1-2 DAYS).
- OBTAIN PERMISSION FROM THE SCI TO REMOVE ANY REMAINING SEDIMENT CONTROL ITEMS THAT ARE NO LONGER NEEDED (1-2 DAYS).
- INSTALL TOP PAVING COURSE (1-2 DAYS).



**SEDIMENT TRAP DATA (ST-III)**  
 TYPE: RIP-RAP OUTLET - ST III  
 EX. DRAINAGE AREA: 7.26 AC  
 PROP. DRAINAGE AREA: 9.49 AC  
 WORST CASE DRAINAGE AREA: 9.81 AC  
 NET STORAGE VOL. REQUIRED: 0.41 AC-FT  
 NET STORAGE VOL. PROVIDED: 0.61 AC-FT  
 WET STORAGE ELEV.: 261.50  
 DRY STORAGE REQUIRED: 0.41 AC-FT  
 DRY STORAGE PROVIDED: 0.50 AC-FT  
 DRY STORAGE WSEL = 265.00  
 BOTTOM ELEVATION: 256.00  
 TOP OF EMBANKMENT: NA  
 WIER CREST ELEVATION: 261.50  
 WIER WIDTH: 12.0 FT (MIN @ 61.50)  
 EMERGENCY SPILLWAY ELEV.: NONE  
 CLEANOUT ELEVATION: 258.00  
 SIDE SLOPES: 2:1  
 OUTFALL CONDITIONS: RIP-RAP OUTLET TO TEMP. 36" DRAIN PIPE AND INTO STORM DRAIN SYSTEM.  
 42 LF CLASS II RIP RAP  
 TEMP. SWM PROVIDED OFF SITE BY EXISTING FACILITY

**EXISTING DISCHARGES:**  
 Q2 = 2.64 cfs  
 Q10 = 16.52 cfs  
 Q100 = 38.49 cfs

**PROPOSED DISCHARGES:**  
 Q2 = 2.39 cfs  
 Q10 = 11.06 cfs  
 Q100 = 31.36 cfs

**PLAN VIEW - ENLARGEMENT SEDIMENT TRAP A**  
SCALE: 1" = 20' HORZ.

**PROFILE THROUGH SEDIMENT TRAP A**  
SCALE: 1" = 50' HORZ.  
1" = 5' VERT.

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEM  
HOWARD COUNTY HEALTH DEPARTMENT

County Health Officer: *N/A MR* Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *David DeCoy* Date: 6/1/04

Chief, Division of Land Development: *Chris Harwood* Date: 6/1/04

Chief, Development Engineering Division: *Chris DeCoy* Date: 3/20/04

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

*Jim Meyer* 3/12/04  
NATURAL RESOURCES CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John K. Roberts* 3/12/04  
HOWARD S.C.D.

**ENGINEER'S CERTIFICATE**

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*CKJ* 3/19/04  
DATE

**DEVELOPER'S/BUILDER'S CERTIFICATE**

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSDC.

*James Hughes* 3/19/04  
SIGNATURE OF DEVELOPER/BUILDER DATE

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

PREPARED FOR:

DEVELOPER/CONTRACT PURCHASER  
BEAZER HOMES, INC.  
8865 GUILFORD ROAD, SUITE 290  
COLUMBIA, MARYLAND 21046  
410-720-5071  
attn: JEREMY HUGHES

OWNER/SELLER  
100 INVESTMENT LIMITED PARTNERSHIP  
9030 RED BRANCH ROAD, SUITE #200  
COLUMBIA, MARYLAND 21045  
410-997-7222  
attn: HOWARD RESNEK

**SEDIMENT CONTROL NOTES & DETAILS**

**CENTRE 9500 PARCEL-C, Ph. 1**





AGE-RESTRICTED ADULT HOUSING  
FLAT No. 14213 / 14915

ELECTION DISTRICT No. 1

HOWARD COUNTY, MARYLAND

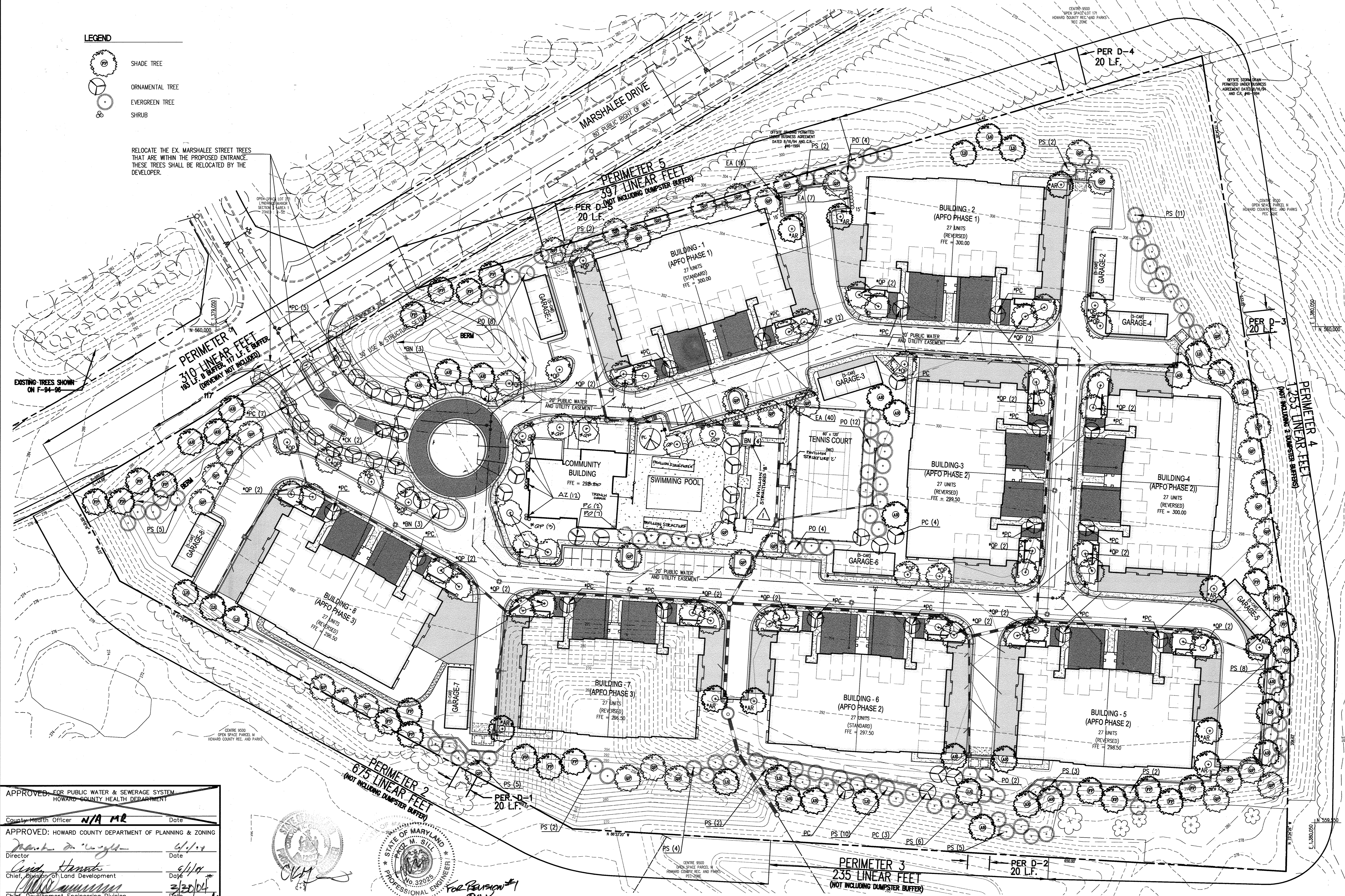
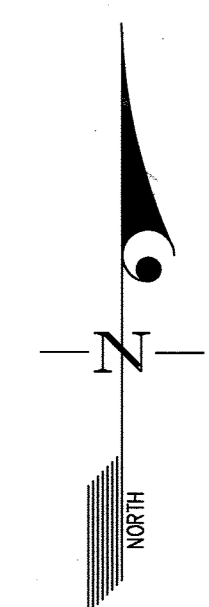
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	POR	02-018
DATE	TAX MAP - GRID	SHEET
10/MAR/04	37	17 OF 25



- LEGEND**
-  SHADE TREE
  -  ORNAMENTAL TREE
  -  EVERGREEN TREE
  -  SHRUB

RELOCATE THE EX. MARSHALEE STREET TREES THAT ARE WITHIN THE PROPOSED ENTRANCE. THESE TREES SHALL BE RELOCATED BY THE DEVELOPER.

EXISTING TREES SHOWN ON F-94-96



APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEM  
HOWARD COUNTY HEALTH DEPARTMENT

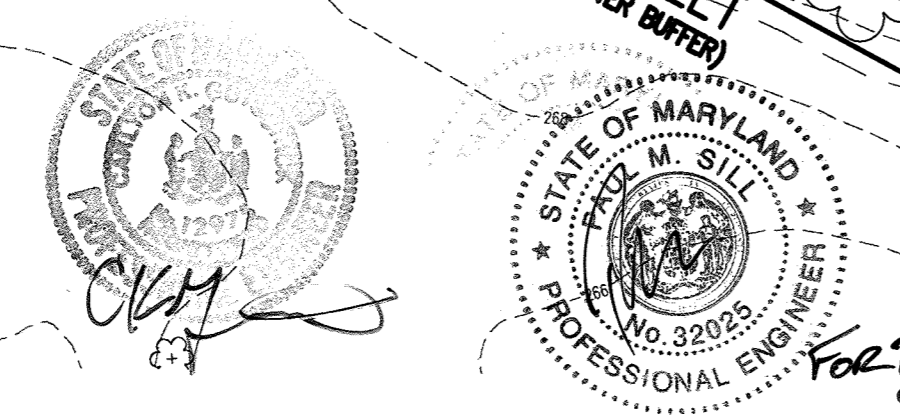
County Health Officer *N/A MR* Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director *Mark D. ...* Date *4/1/04*

Chief, Division of Land Development *David ...* Date *4/1/04*

Chief, Development Engineering Division *...* Date *3/20/04*



- NOTES:**
- SEE SHEET #19 FOR LANDSCAPE NOTES, SCHEDULES & DETAILS.
  - PLANTS LABELED W/AN ASTERISK (\*) ARE "PRIVATE STREET TREES".

THIS PLAN IS FOR LANDSCAPE PURPOSES ONLY.

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK  
BURTNSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
08/17/2000	REMOVED BOLLÉ COURT AND ADDED FIVE (5) PAVILION STRUCTURES AND SIDEWALKS	SEG	
02-16-05	Rev Community Bldg and rev plants accordingly		
11-20-04	Update Community Bldg & Pool Area		

PREPARED FOR:

DEVELOPER/CONTRACT PURCHASER  
BEAZER HOMES, INC.  
8965 GUILFORD ROAD, SUITE 290  
COLUMBIA, MARYLAND 21046  
410-720-5071  
attn: JEREMY HUGHES

OWNER/SELLER  
100 INVESTMENT LIMITED PARTNERSHIP  
9030 RED BRANCH ROAD, SUITE 2200  
COLUMBIA, MARYLAND 21045  
410-997-7222  
attn: HOWARD RESNEK

**LANDSCAPE PLAN**  
**CENTRE 9500 PARCEL-C, Ph. 1**  
AGE-RESTRICTED ADULT HOUSING  
PLAT NO. 14213 / 10515

ELECTION DISTRICT No. 1

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 40'	POR	02-018
DATE	TAX MAP - GRID	SHEET
10/MAR/04	37	18 OF 25



**LANDSCAPE NOTES**

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE & THE HOWARD COUNTY LANDSCAPE MANUAL.
- CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET No.1 SHALL APPLY.
- FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
- PLANT QUANTITIES SHOWN ON THE PLAN LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
- ALL PLANT MATERIAL SHALL BE FULL, HEAVY, WELL FORMED, SYMMETRICAL, AND CONFORM TO THE A.M. SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THIS PLAN.
- NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL FROM HOWARD COUNTY DPZ AND THE OWNER OR HIS REPRESENTATIVE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SOODED OR SEEDED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS (FOR TOPSOIL, SPEC. SEE SHEET 16).
- THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
- ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER THE PLANTING DETAILS.
- DO NOT PLANT WITHIN THE PUBLIC WATER AND UTILITY EASEMENT.
- SCHEDULES A,B,C AND D ARE PROVIDED FOR LANDSCAPE SURETY CALCULATION PURPOSES. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING POSTED WITH THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$73,200.00 WHICH IS FOR THE FOLLOWING ITEMS:  
100 STREET TREES FOR PRIVATE ROAD = \$30,000.00  
138 SHADE TREES AT \$300/TREE = \$40,800.00  
16 EVERGREEN TREES AT \$150/TREE = \$ 2,400.00
- FOR LANDSCAPE INSPECTION TO OBTAIN THE RELEASE OF THE SURETY, CONTACT HOWARD COUNTY DEPT. OF PLANNING & ZONING AT 410-313-2350.

SCHEDULE-A: PERIMETER LANDSCAPE EDGE											
PERIMETER No.	1	2	3	4	5	D-1	D-2	D-3	D-4	D-5	
USE SITUATION	PKNJG ADJ. RDWAY	APTS ADJ. RDWAY	APTS. ADJ. OPEN SPACE	APTS ADJ. SWM	OPEN SPACE ADJ. APTS.	APTS ADJ. OPEN SPACE	DUMPSTER ADJ. ROADWAY	DUMPSTER ADJ. SWM	DUMPSTER ADJ. OPEN SPACE	DUMPSTER ADJ. OPEN SPACE	DUMPSTER ADJ. OPEN SPACE
LANDSCAPE TYPE	B	E	A	B	A	A	C	C	C	C	C
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	193'	117'	675'	235'	1,253'	397'	20'	20'	20'	20'	20'
CREDIT FOR EXISTING VEGETATION	NO	NO	NO	See Sched. D for Per. 3	NO	NO	NO	NO	NO	NO	NO
CREDIT FOR WALL, FENCE OR BERM	NO	117'L.F. OF BERM	NO		NO	NO	NO	NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED											
SHADE TREES	4	3	12		21	7	1	1	1	1	1
EVERGREEN TREES	5	0	0		0	0	1	1	1	1	1
SHRUBS	0	0	0		0	0	0	0	0	0	0
NUMBER OF PLANTS PROVIDED											
SHADE TREES	4	3	12		21	7	1	1	1	1	1
EVERGREEN TREES	5	0	0		0	0	2	2	2	2	2
OTHER TREES (@ 2:1 substitution)	0	0	0		0	0	0	0	0	0	0
SHRUBS (10:1 substitution)											

SCHEDULE-B: PARKING LOT INTERNAL LANDSCAPING	
NUMBER OF PARKING SPACES	66 COMMON SURFACE SPACES
NUMBER OF SHADE TREES REQUIRED (1 PER 10 RES. SPACES, 1 PER 20 COMMERCIAL SPACES 1)	7 (3 @ 3 CENTRAL ISLANDS & 4 @ THE ENDS IF THE PARKING BAYS)
NUMBER OF TREES PROVIDED	
SHADE TREES	7
OTHER TREES (2:1 SUBSTITUTION)	0

SCHEDULE-C: RESIDENTIAL INTERNAL LANDSCAPING	
NUMBER OF DWELLING UNITS	216
NUMBER OF TREES REQUIRED (1 PER SEA DU, 1 PER 3 APTS DU)	72
NUMBER OF TREES PROVIDED	
SHADE TREES	35
OTHER TREES (2:1 SUBSTITUTION)	82 EVERGREEN * 14 ORNAMENTAL *

\* THE 82 EVERGREENS & 14 ORNAMENTALS ARE SUBSTITUTED FOR 37 SHADE TREES.

SCHEDULE-D: STORMWATER MANAGEMENT AREA LANDSCAPING	
LINEAR FEET OF PERIMETER	235' (DUMPSTER BUFFER NOT INCLUDED)
NUMBER OF SHADE TREES REQUIRED FOR 'B' BUFFER	5
NUMBER OF EVERGREEN TREES REQUIRED	6
CREDIT FOR EXISTING VEGETATIONS	NO
CREDIT FOR OTHER LANDSCAPING	NO
NUMBER OF SHADE TREES PROVIDED	5
NUMBER OF EVERGREEN TREES PROVIDED	6
NUMBER OF OTHER TREES PROVIDED (AS SUB.)	0

BUFFER TYPE	SHADE TREES/LF	EVG. TREES/LF	SHRUBS/LF
A	1:60	0	0
B	1:50	1:40	0
C	1:40	1:20	0
D	1:60	1:10	0
E	1:40	0	1:4

**LANDSCAPE SURETY REQUIREMENT:**

SURETY REQUIRED FOR SCHEDULE 'A' SHADE TREES AT \$300/TREE x 52 = \$15,600.00  
 SURETY REQUIRED FOR SCHEDULE 'A' EVGRN TREES AT \$150/TREE x 10 = \$ 1,500.00  
 SURETY REQUIRED FOR SCHEDULE 'B' SHADE TREES AT \$300/TREE x 7 = \$ 2,100.00  
 SURETY REQUIRED FOR SCHEDULE 'C' SHADE TREES AT \$300/TREE x 72 = \$21,600.00  
 SURETY REQUIRED FOR SCHEDULE 'D' SHADE TREES AT \$300/TREE x 5 = \$ 1,500.00  
 SURETY REQUIRED FOR SCHEDULE 'D' EVGRN TREES AT \$150/TREE x 6 = \$ 900.00  
 LANDSCAPE SURETY REQUIRED FOR SCHEDULES A, B, C and D: \$43,200.00

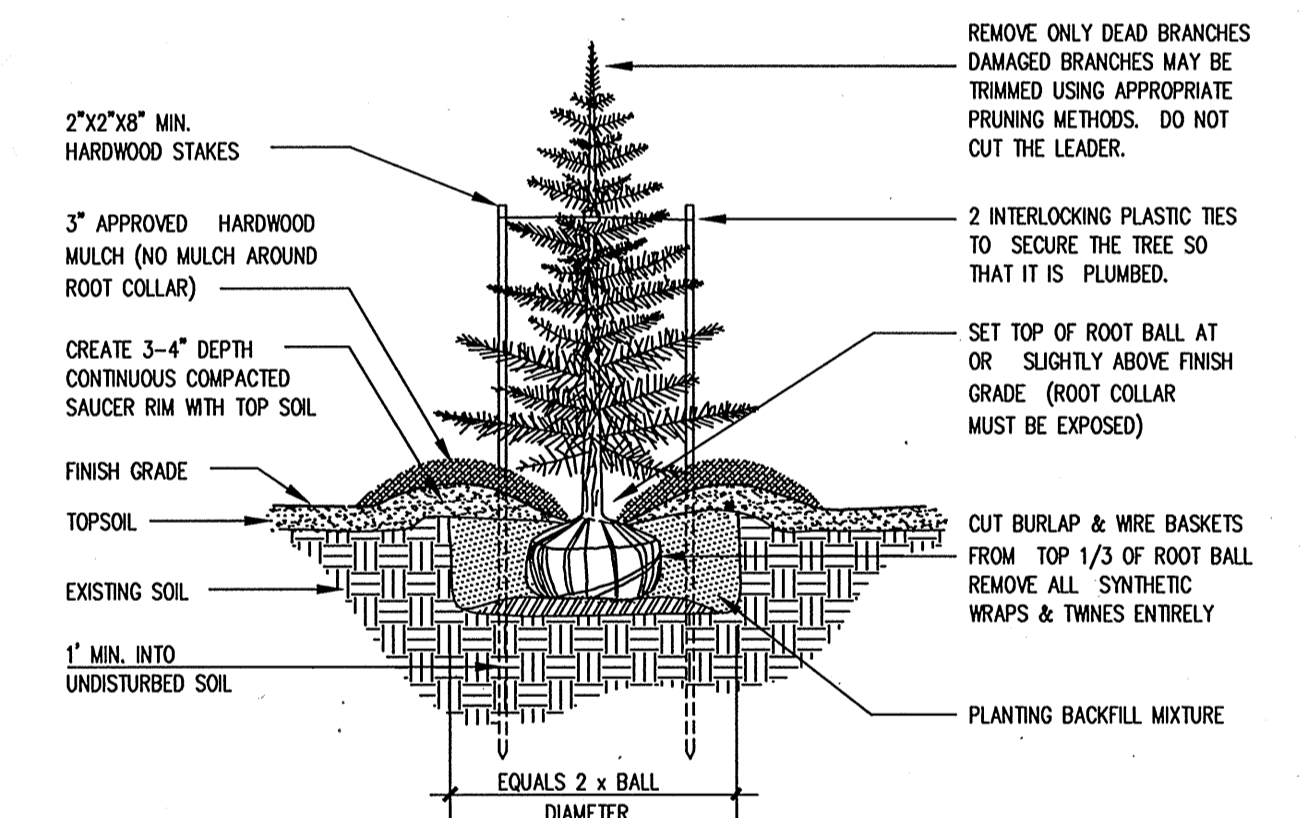
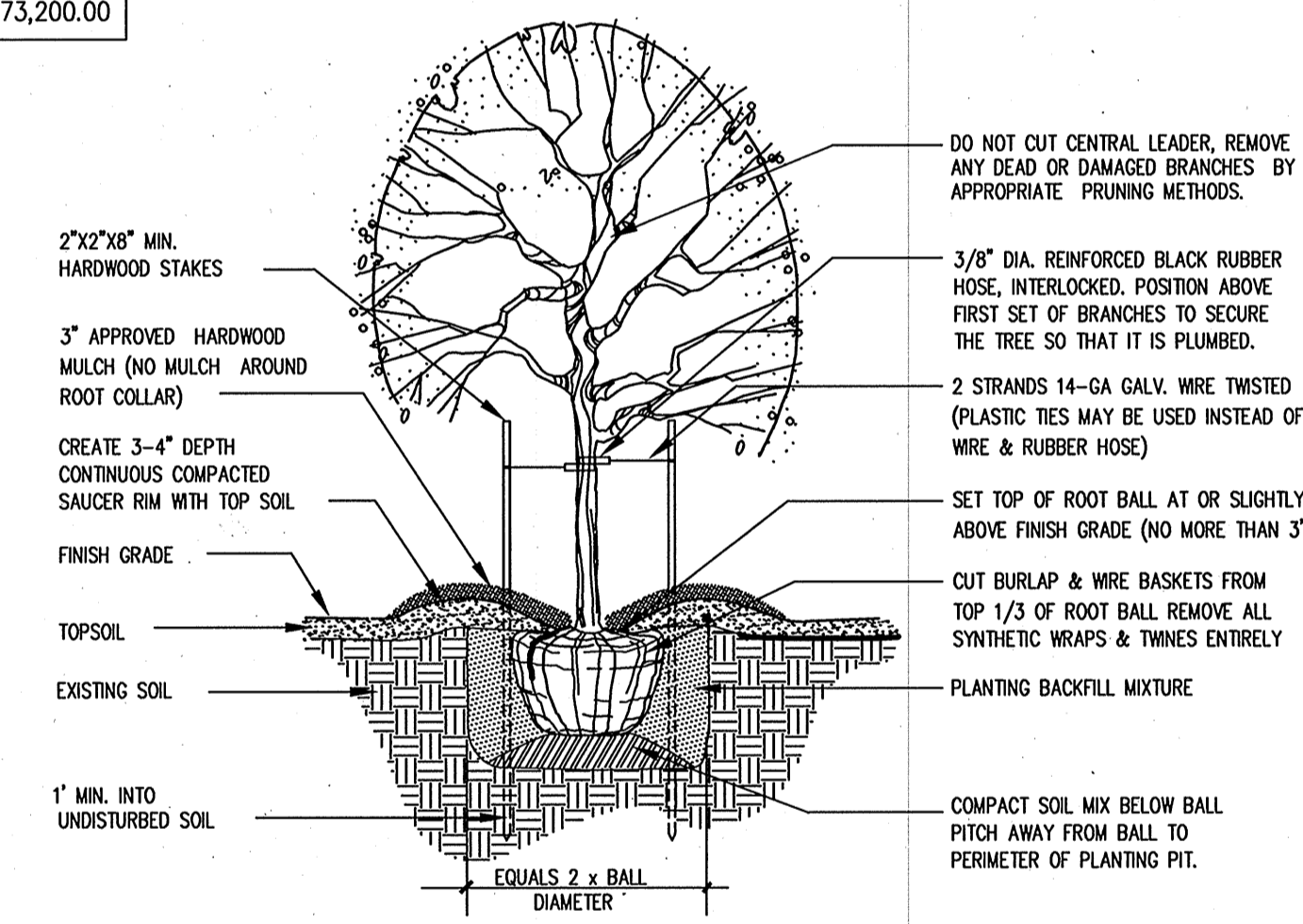
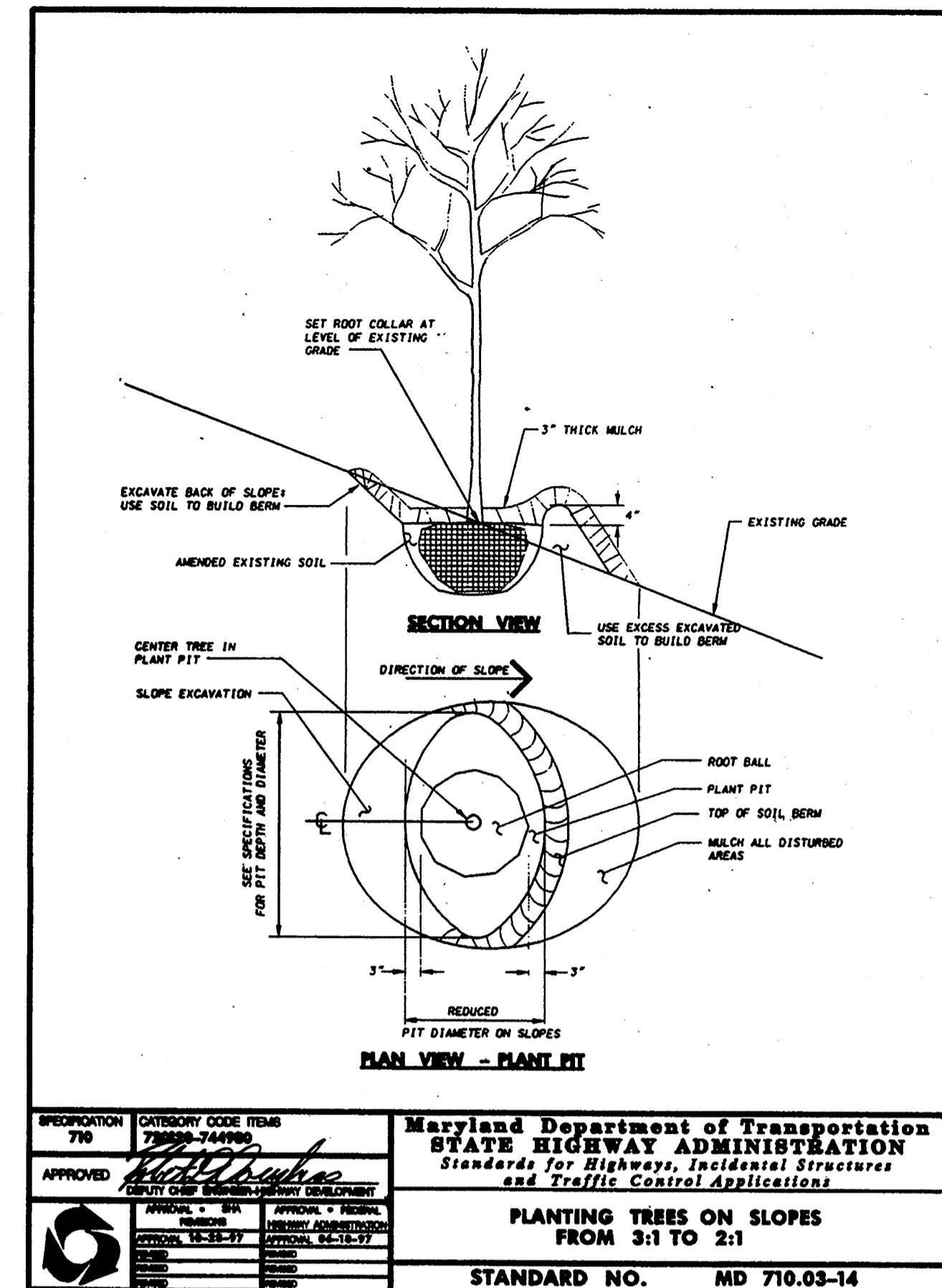
SURETY REQUIRED FOR "PRIVATE" STREET TREES AT \$300/TREE x 100 = \$30,000.00

**TOTAL LANDSCAPE SURETY REQUIRED: \$73,200.00**

SYMBOL	QTY.	NAMES (BOTANICAL / SCIENTIFIC)	SIZE	ROOT/COMMENTS
<b>SHADE TREES</b>				
AR	30	ACER RUBRUM 'AUTUMN FLAME' / AUTUMN FLAME MAPLE	2 2 1/2" CAL.	B&B
FP	23	FRAXINUS PENNSYLVANICUM 'SUMMIT' / GREEN ASH	2 1/2-3" CAL.	B&B
LS	13	LIQUIDAMBAR STYRACIFLUA / SWEET GUM	2 1/2-3" CAL.	B&B
QP	94	QUERCUS PALLISTRIS / PIN OAK	2 1/2-3" CAL.	B&B
<b>EVERGREEN TREES</b>				
PS	69	PINUS STROBUS / WHITE PINE	8'-10' HT.	B&B, INTACT LEADER
PO	33	PICEA OMORICA / NORWAY SPRUCE	8'-10' HT.	B&B, INTACT LEADER
<b>ORNAMENTAL TREES</b>				
BN	13	BETULA NIGRA 'HERITAGE' / HERITAGE RIVER BIRCH	2 - 2 1/2" CAL. 8-10' HT.	B&B
CK	2	CORNUS KOUSA / KOUSA DOGWOOD	2 - 2 1/2" CAL. 8'-10' HT.	B&B
PC	38	PRUNUS CERASIFERA 'THUNDERCLOUD' / PURPLELEAF FLOWERING PLUM	2 - 2 1/2" CAL. 8'-10' HT.	B&B
<b>SHRUBS</b>				
AZ	12	RHOODODENDRON 'GLEN DALE' / GLEN DALE AZALEA	24-30" HT.	B&B
EA	54	EUONYMUS ALATA 'COMPACTA' / BURNING BUSH	30-36" HT.	B&B

THE ABOVE QUANTITY INCLUDES "PRIVATE ROADWAY" STREET TREES (10-AR; 51-OP; 2-CK; 9-BN AND 28-PC). ALL ORNAMENTAL TREES PLANTED AS "STREET TREES" SHALL BE A MINIMUM OF 2.5" CAL.

SURETY FOR THE "PRIVATE" STREET TREES @ \$300/TREE x 100 = \$30,000.00

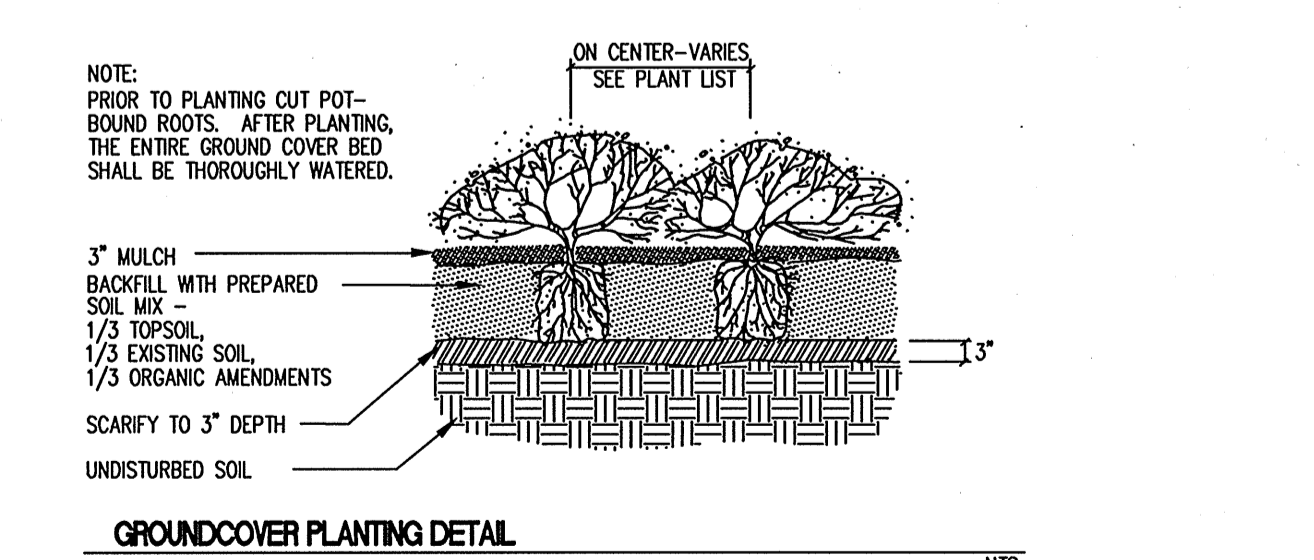
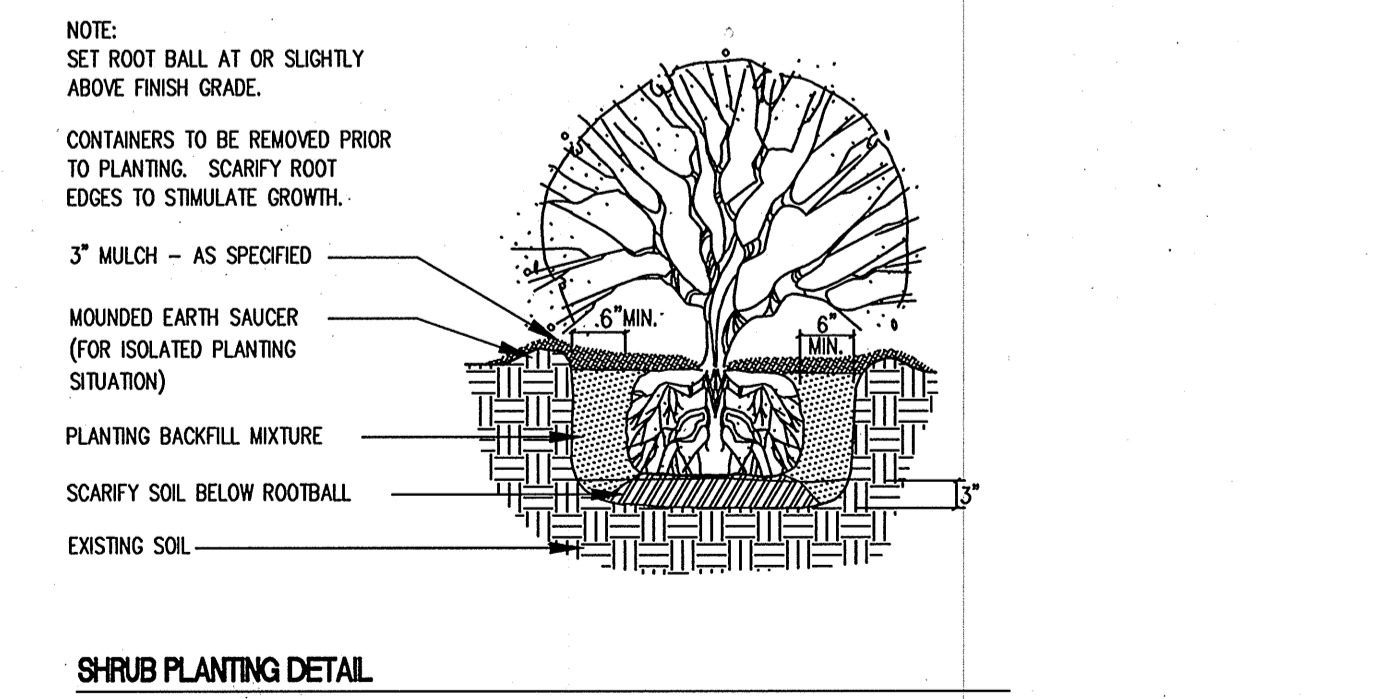


NOTE: ALL SUPPORTING DEVICES (STAKES, WIRES, ETC.) SHALL BE REMOVED AFTER 2 GROWING SEASONS.

**DECIDUOUS TREE PLANTING DETAIL**  
FOR PLANTING MATERIAL UP TO 3 1/2" CALIPER NTS

NOTE: ALL SUPPORTING DEVICES (STAKES, TIES, ETC.) SHALL BE REMOVED AFTER 2 GROWING SEASONS.

**EVERGREEN TREE PLANTING DETAIL**  
NTS



**DEVELOPER'S/BUILDER'S CERTIFICATE**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

*Debra Jones Corp.*  
 NAME: *Debra Jones Corp.* DATE: 3/19/04

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEM  
 HOWARD COUNTY HEALTH DEPARTMENT  
 County Health Officer: *N/A MR* Date:

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Frank D. Leight* Date: 6/1/04  
 Chief, Division of Land Development: *Andy Hamat* Date: 6/1/04  
 Chief, Development Engineering Division: *Mike Williams* Date: 3/20/04

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

NO.	DATE	REVISION	BY	APP'R.

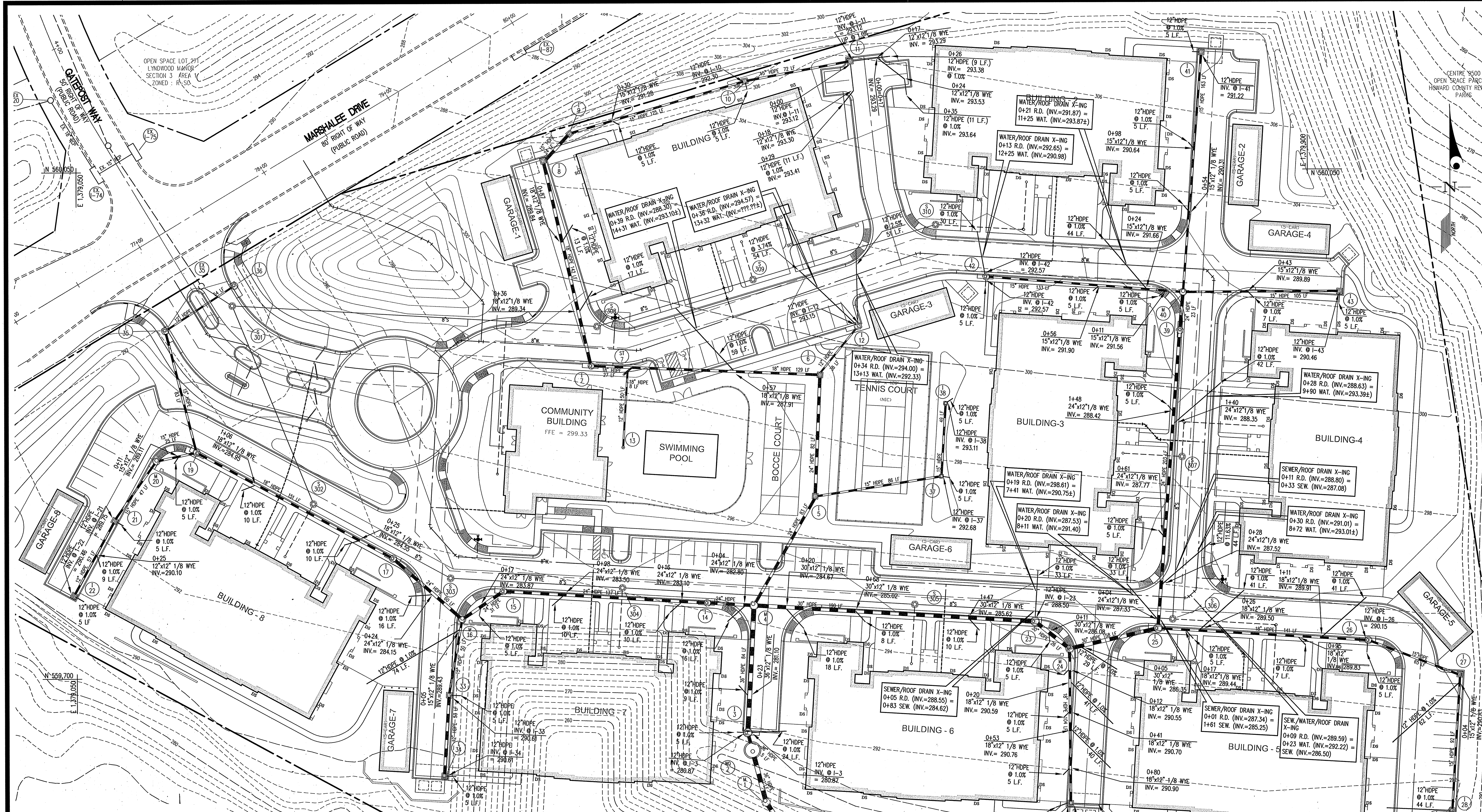
PREPARED FOR:  
 DEVELOPER/CONTRACT PURCHASER: *BEAZER HOMES, INC.*  
 8065 GULFORD ROAD, SUITE 200  
 COLUMBIA, MARYLAND 21046  
 410-720-5071  
 attn: JEREMY HUGHES

OWNER/SELLER:  
 100 INVESTMENT LIMITED PARTNERSHIP  
 6030 RED BRANCH ROAD, SUITE #200  
 COLUMBIA, MARYLAND 21045  
 410-997-7222  
 attn: HOWARD RESNEK

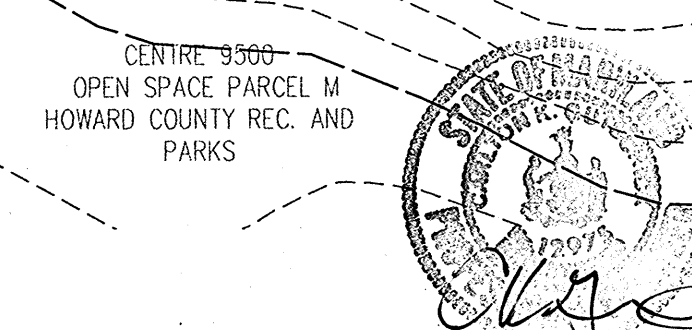
**LANDSCAPE NOTES & DETAILS**  
**CENTRE 9500 PARCEL-C, Ph. 1**  
 AGE-RESTRICTED ADULT HOUSING  
 PLAT No. 1423 / 16515  
 ELECTION DISTRICT No. 1  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	POR	02-018
DATE	TAX MAP - GRID	SHEET
10/MAR/04	37	19 OF 25





APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEM  
 HOWARD COUNTY HEALTH DEPARTMENT  
 County Health Officer *N/A MR* Date  
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director *Mark A. Cayer* Date 6/1/04  
 Chief, Division of Land Development *Chris Hamer* Date 6/1/04  
 Chief, Development Engineering Division *John Williams* Date 5/28/04



**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

NO.	DATE	REVISION	BY	APP'R.

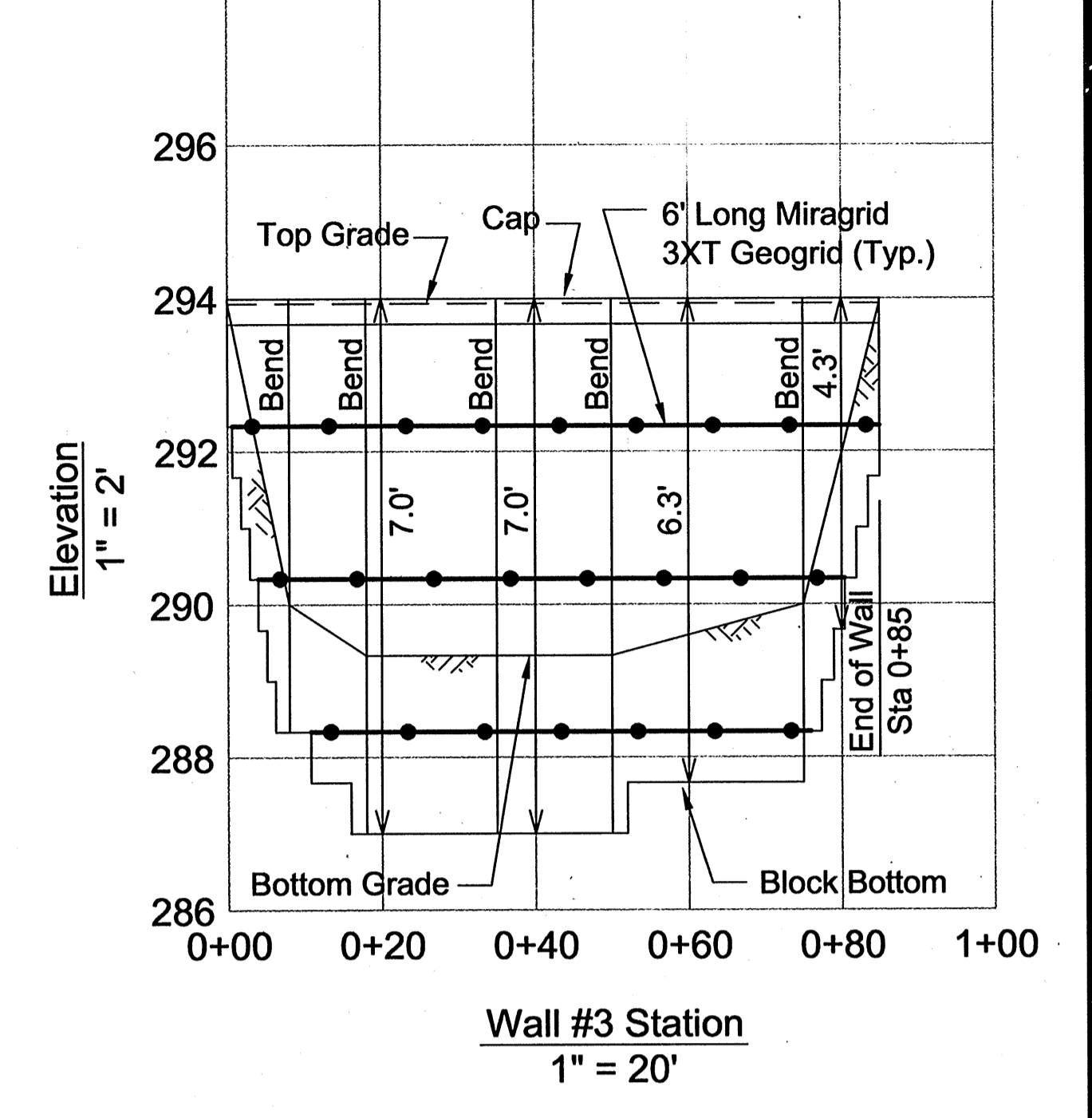
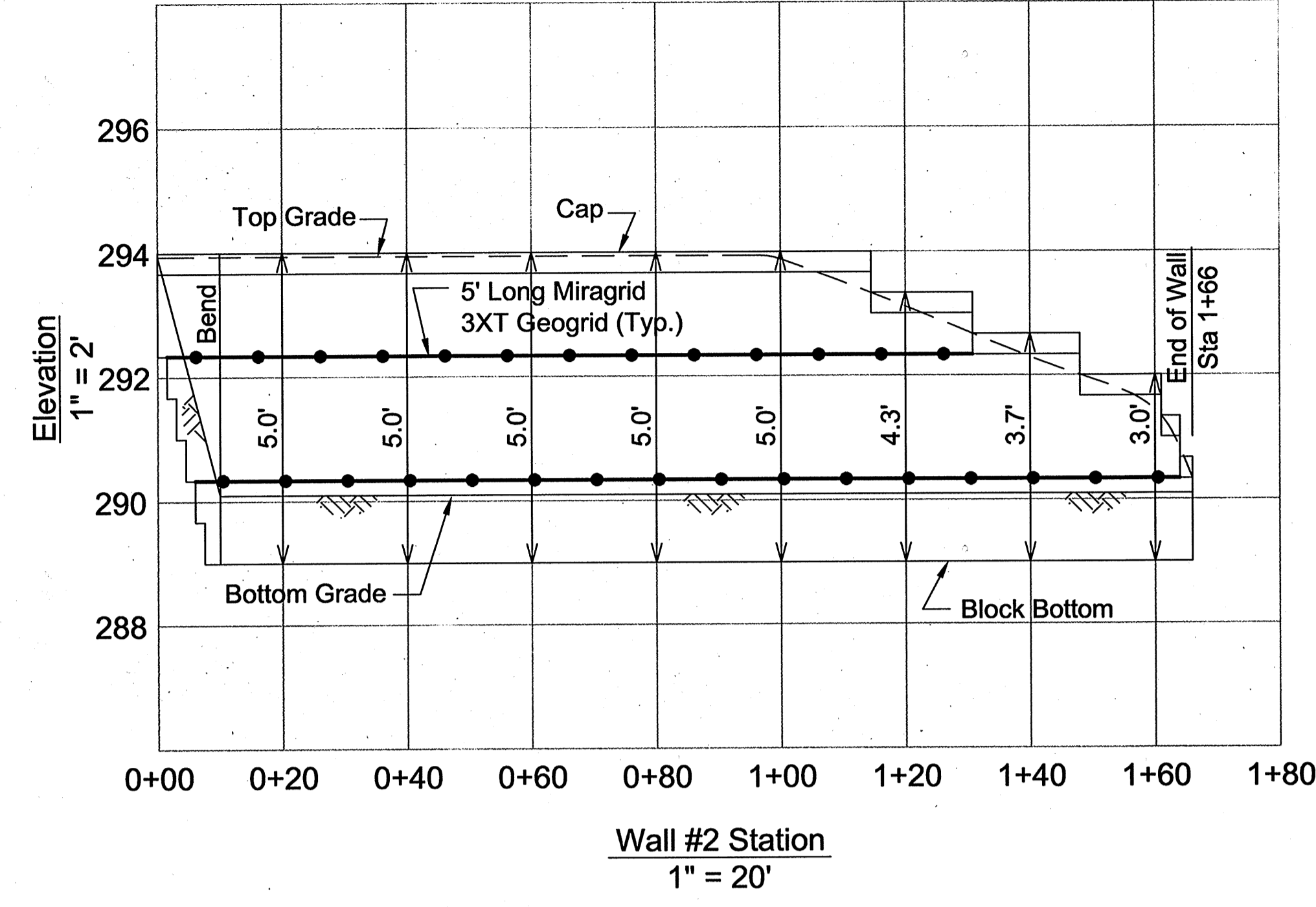
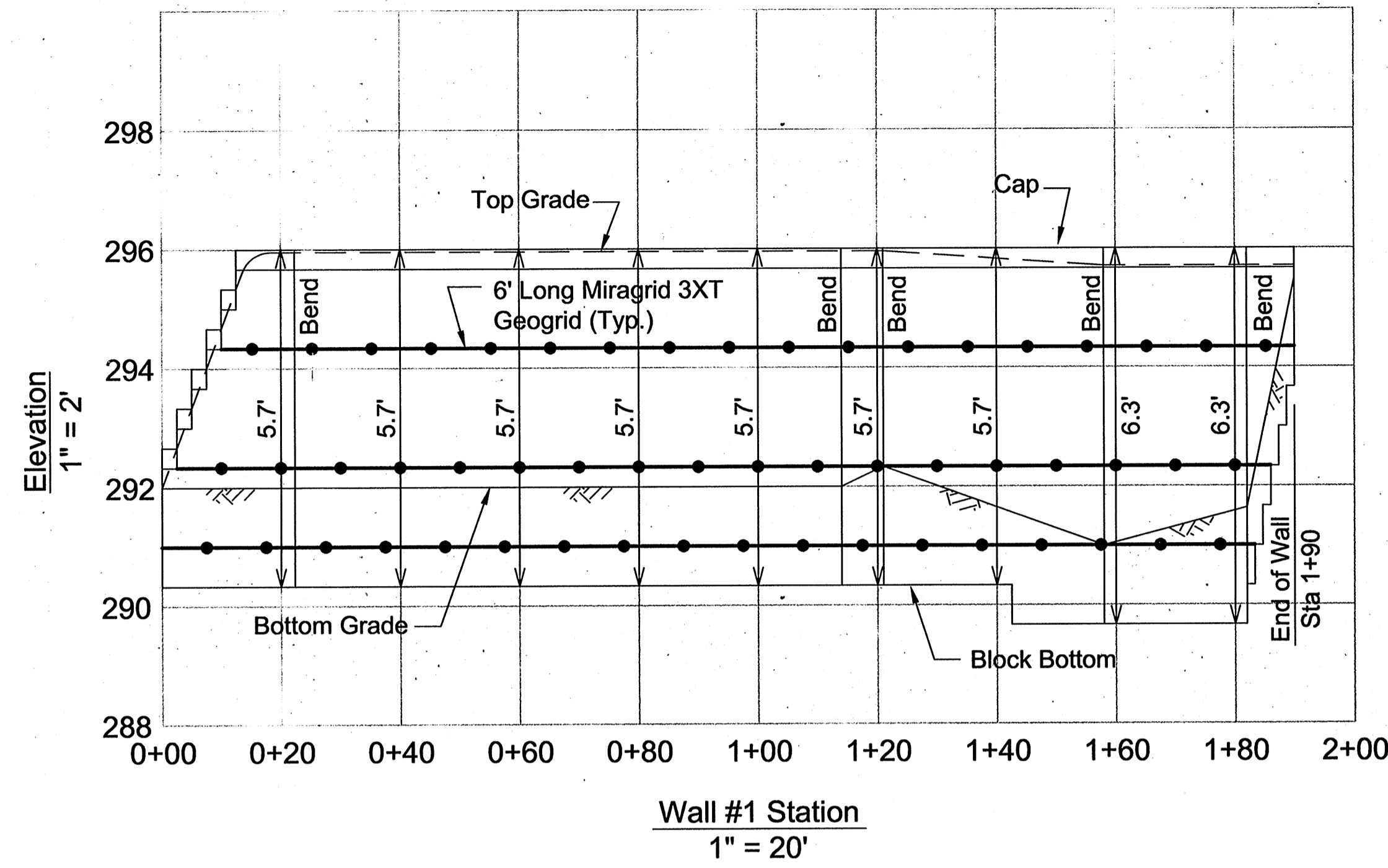
PREPARED FOR:  
 DEVELOPER/CONTRACT PURCHASER  
 BEAZER HOMES, INC.  
 8865 CALFORD ROAD, SUITE 290  
 COLUMBIA, MARYLAND 21046  
 410-720-5071  
 attn: JEREMY HUGHES

OWNER/SELLER  
 100 INVESTMENT LIMITED PARTNERSHIP  
 9030 RED BRANCH ROAD, SUITE #200  
 COLUMBIA, MARYLAND 21045  
 410-997-7222  
 attn: HOWARD RESHEK

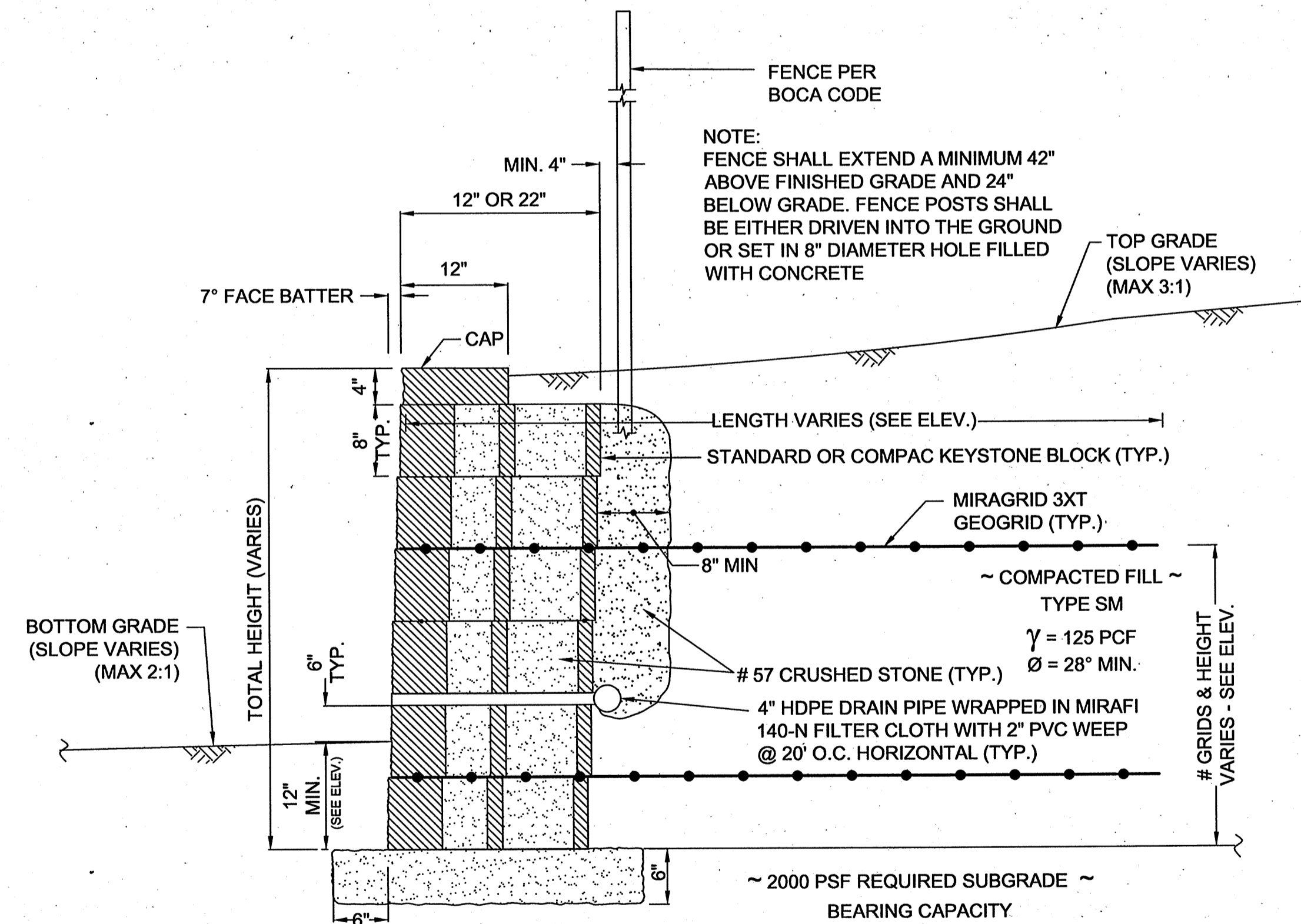
**ROOF DRAIN PLAN**  
**CENTRE 9500 PARCEL-C, Ph. 1**  
 AGE-RESTRICTED ADULT HOUSING  
 PLAT No. 14213 / 10/15  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	POR	02-018
DATE	TAX MAP - GRID	SHEET
10/MAR/04	37	20 OF 25





- NOTES:
- 1.) No trees shall be planted within 10 feet of the top of the retaining wall.
  - 2.) Retaining walls shall only be constructed under the observation of a registered professional engineer and a (NICET, WACEL, or equiv.) certified soils technician.
  - 3.) The required bearing pressure beneath the wall system shall be verified in the field by a certified soils technician. Testing documentation must be provided to the Howard County Inspector prior to start of construction. The required bearing test shall be the Dynamic Cone Penetrometer test ASTM STP-399.
  - 4.) The suitability of fill material shall be confirmed by the on-site soils technician. Each 8" lift must be compacted to a minimum 95% standard proctor density and the testing report shall be made available to the Howard County Inspector upon completion of construction.
  - 5.) One soil boring is required every one hundred feet along the length of the wall. Copies of the boring reports shall be provided to the Howard County Inspector prior to the start of the construction.



**SPECIFICATIONS**

**KEYSTONE MODULAR CONCRETE BLOCK RETAINING WALL**

- PART 1: GENERAL**
- 1.01 Description**
- Work shall consist of furnishing and construction of a KEYSTONE Retaining Wall System in accordance with these specifications and in reasonably close conformity with the lines, grades, design, and dimensions shown on the plans.
  - Work includes preparing foundation soil, furnishing and installing leveling pad, unit drainage fill and backfill to the lines and grades shown on the construction drawings.
  - Work includes furnishing and installing geogrid soil reinforcement of the type, size, location, and lengths designated on the construction drawings.
- 1.02 Delivery, Storage and Handling**
- Contractor shall check all materials upon delivery to assure that the proper type, grade, color, and certification has been received.
  - Contractor shall protect all materials from damage due to job site conditions and in accordance with manufacturer's recommendations. Damaged materials shall not be incorporated into the work.
- PART 2: PRODUCTS**
- 2.01 Modular Concrete Retaining Wall Units**
- Modular concrete units shall conform to the following architectural requirements:
    - face color - concrete gray - standard manufacturers' color may be specified by the Owner.
    - face finish - sculptured rock face in angular tri-planer configuration. Other face finishes will not be allowed without written approval of Owner.
    - bond configuration - running with bonds normally located at midpoint vertically adjacent units, in both straight and curved alignments.
    - exposed surfaces of units shall be free of chips, cracks or other imperfections when viewed from a distance of 10 feet under diffused lighting.
  - Modular concrete materials shall conform to the requirements of ASTM C1372 - Standard Specifications for Segmental Retaining Wall Units.
  - Modular concrete units shall conform to the following structural and geometric requirements measured in accordance with appropriate references:
    - compressive strength = 3000 psi minimum; absorption = 8% maximum (6% in northern states) for standard weight aggregates;
    - dimensional tolerances = ± 1/8" from nominal unit dimensions not including rough spill face, ± 1/16" unit height - top and bottom planes;
    - unit size - 8" (H) x 18" (W) x 22" (D) minimum;
    - unit weight - 100 lbs/unit minimum for standard weight aggregates;
- 2.02 Shear Connectors**
- Shear connectors shall be 1/2 inch diameter thermoset isophthalic polyester resin-protuded fiberglass reinforcement rods or equivalent to provide connection between vertically and horizontally adjacent units. Strength of shear connectors between vertical adjacent units shall be applicable over a design temperature of 10 degrees F to + 100 degrees F.
  - Shear connectors shall be capable of holding the geogrid in the proper design position during grid pre-tensioning and backfilling.
- 2.03 Base Leveling Pad Material**
- Material shall consist of a compacted #57 crushed stone base as shown on the construction drawings.
- 2.04 Unit Drainage Fill**
- Unit drainage fill shall consist of #57 crushed stone
  - One cubic foot, minimum, of drainage fill shall be used for each square foot of wall face. Drainage fill shall be placed within cores of, between, and behind units to meet this requirement.
- 2.05 Reinforced Backfill**
- Reinforced backfill shall type SM, be free of debris and meet the following gradation tested in accordance with ASTM D-422 and meet other properties shown on the plan:
 

Sieve Size	Percent Passing
2 inch	100-75
3/4 inch	100-75
No. 40	0-30
No. 200	0-35
- Plasticity Index (PI) <15 and Liquid Limit <40 per ASTM D-4318.
- Material can be site excavated soils where the above requirements can be met. Unsuitable soils for backfill (high plastic clays or organic soils) shall not be used in the reinforced soil mass.
- 2.06 Geogrid Soil Reinforcement**

- 3.05 Reinforced Backfill Placement**
- Reinforced backfill shall be placed, spread, and compacted in such a manner that minimizes the development of slack in the geogrid and installation damage.
  - Reinforced backfill shall be placed and compacted in lifts not to exceed 6 inches where hand compaction is used, or 8 - 10 inches where heavy compaction equipment is used. Lift thickness shall be decreased to achieve the required density as required.
  - Reinforced backfill shall be compacted to 95% of the maximum density as determined by ASTM D898. The moisture content of the backfill material prior to and during compaction shall be uniformly distributed throughout each layer and shall be + 3% to - 3% of optimum.
  - Only lightweight hand-operated equipment shall be allowed within 3 feet from the tail of the modular concrete unit.
  - Tracked construction equipment shall not be operated directly upon the geogrid reinforcement. A minimum fill thickness of 6 inches is required prior to operation of tracked vehicles over the geogrid. Tracked vehicle turning should be kept to a minimum to prevent tracks from displacing the fill and damaging the geogrid.
  - Rubber tired equipment may pass over geogrid reinforcement at slow speeds, less than 10 MPH. Sudden braking and sharp turning shall be avoided.
  - At the end of each day's operation, the Contractor shall slope the last lift of reinforced backfill away from the wall units to direct runoff away from wall face. The Contractor shall not allow surface runoff from adjacent areas to enter the wall construction site.
- 3.06 Cap Installation**
- Cap units shall be glued to underlying units with an all-weather adhesive recommended by the manufacturer.
- 3.07 Field Quality Control**
- The Owner shall engage inspection and testing services, including independent laboratories, to provide quality assurance and testing services during construction.
  - As a minimum, quality assurance testing should include foundation soil inspection, soil and backfill testing, verification of design parameters, and observation of construction for general compliance with design drawings and specifications.

APPROVED FOR PUBLIC WATER & PRIVATE SEWERAGE SYSTEMS,  
HOWARD COUNTY HEALTH DEPARTMENT

County Health Officer: *NIA MR* Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Frank A. Lytle* Date: *6/1/04*

Chief, Division of Land Development: *David Hamilton* Date: *6/1/04*

Chief, Development Engineering Division: *[Signature]* Date: *3/30/04*



**TYPICAL WALL SECTION**  
N.T.S.

PREPARED FOR:

DEVELOPER/CONTRACT PURCHASER  
BEAZER HOMES, INC.  
8955 OULFORD ROAD, SUITE 200  
COLUMBIA, MARYLAND 21046  
410-720-5021  
c/o: JEREMY HUGHES

OWNER/SELLER  
100 INVESTMENT LIMITED PARTNERSHIP  
9030 RED BRANCH ROAD, SUITE #200  
COLUMBIA, MARYLAND 21045  
410-991-7222  
c/o: HOWARD RESNEK

**RETAINING WALL ELEVATIONS AND DETAILS**

CENTRE 9500 PARCEL-C, Ph. I  
AGE-RESTRICTED ADULT HOUSING  
PLAT No. 14213/10915

SCALE	ZONING	HCEA FILE No.
AS NOTED	POR	03188-A
DATE	TAX MAP - GRID	SHEET
3/16/04	37	21 OF 25

ELECTION DISTRICT No. 1

HOWARD COUNTY, MARYLAND

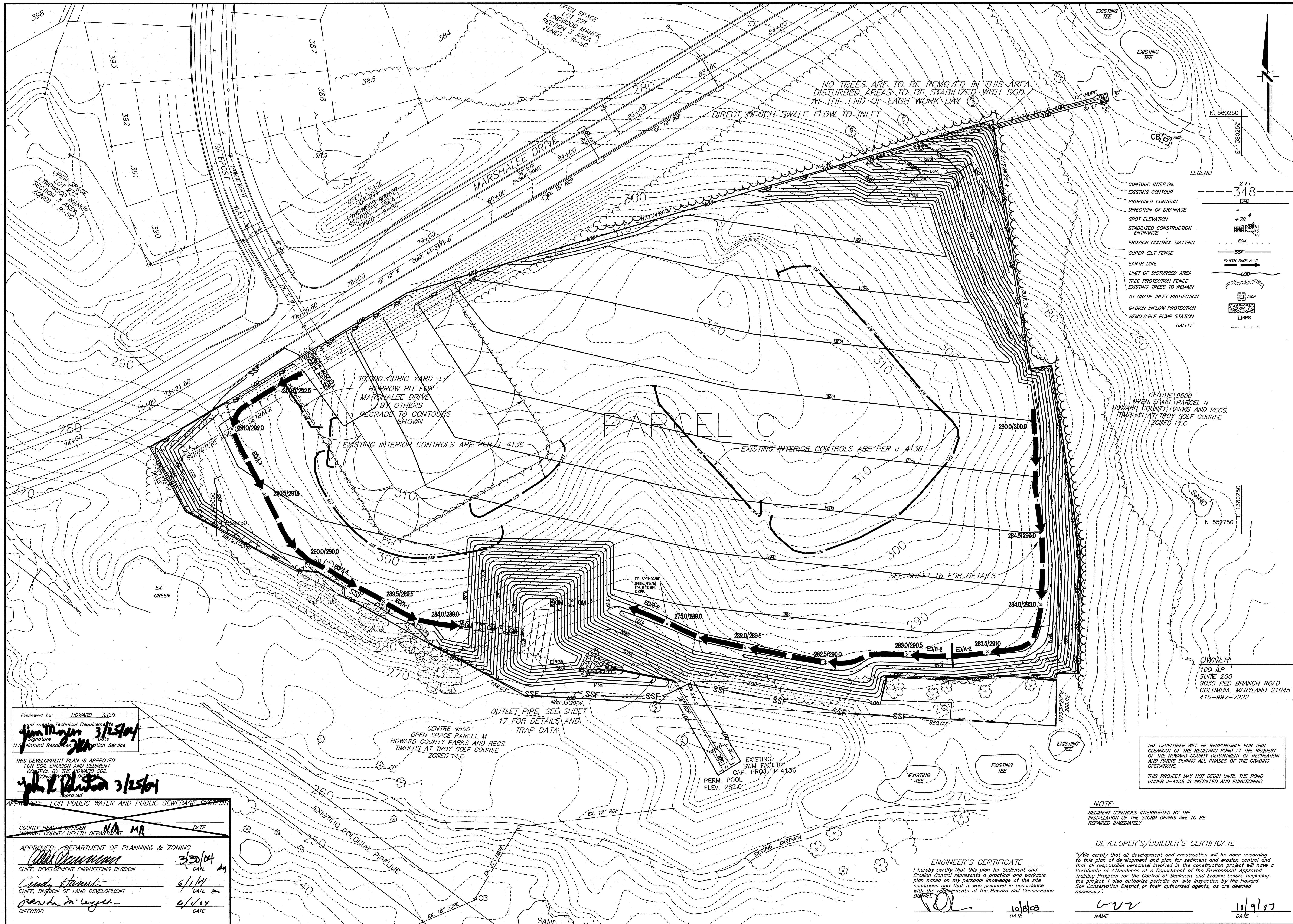
**HILLIS-CARNES**  
ENGINEERING ASSOCIATES, INC.

12011 Guilford Road Suite 106  
Baltimore, MD 21286  
(410) 880-4788 D.C. (301) 470-4239

Annapolis Junction, Maryland 20701  
(410) 880-4098

DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.





**LEGEND**

CONTOUR INTERVAL	2 FT.
EXISTING CONTOUR	---
PROPOSED CONTOUR	---
DIRECTION OF DRAINAGE	→
SPOT ELEVATION	+78
STABILIZED CONSTRUCTION ENTRANCE	SSS
EROSION CONTROL MATTING	ECM
SUPER SILT FENCE	SSF
EARTH DIKE	ED
LIMIT OF DISTURBED AREA	LOD
TREE PROTECTION FENCE	TPF
EXISTING TREES TO REMAIN	ET
AT GRADE INLET PROTECTION	AGIP
GABION INFLOW PROTECTION	GIP
REMOVABLE PUMP STATION	RPS
BAFFLE	B

DATE	10/18/03
SCALE	1" = 50'
JOB NO.	C20822
DRAWN BY	T.D.
DWG. NAME	C20822ESC1
APPROVED	[Signature]

**Lane Engineering, Inc.**  
 Civil Engineers - Land Planning - Land Surveyors

408 N. Washington St. Easton, MD 21601 (410) 822-8003 FAX (410) 822-2024  
 15 Washington St. Cambridge, MD 21613 (410) 221-0818 FAX (410) 476-9942  
 1148 West Water St. Centreville, MD 21617 (410) 758-2095 FAX (410) 758-4422

Reviewed for HOWARD S.C.D. and meets Technical Requirements  
 Signature: *Jim Meyer* 3/25/04  
 Title: *State*  
 U.S. Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT  
 Signature: *John P. Platon* 3/25/04  
 Title: *Director*

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
 COUNTY HEALTH OFFICER: *NA MR* DATE: \_\_\_\_\_  
 DEPARTMENT OF PLANNING & ZONING  
 Signature: *[Signature]* 3/30/04 DATE: \_\_\_\_\_  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 Signature: *Cindy Hamits* 6/1/04 DATE: \_\_\_\_\_  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 Signature: *[Signature]* 6/1/04 DATE: \_\_\_\_\_  
 DIRECTOR

THE DEVELOPER WILL BE RESPONSIBLE FOR THIS CLEANOUT OF THE RESERVING POND AT THE REQUEST OF THE HOWARD COUNTY DEPARTMENT OF RECREATION AND PARKS DURING ALL PHASES OF THE GRADING OPERATIONS.  
 THIS PROJECT MAY NOT BEGIN UNTIL THE POND UNDER J-4136 IS INSTALLED AND FUNCTIONING

**NOTE:**  
 SEDIMENT CONTROLS INTERRUPTED BY THE INSTALLATION OF THE STORM DRAINS ARE TO BE REPAIRED IMMEDIATELY

**DEVELOPER'S/BUILDER'S CERTIFICATE**  
 I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.

Signature: *[Signature]* DATE: 10/9/03

**ENGINEER'S CERTIFICATE**  
 I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature: *[Signature]* DATE: 10/18/03

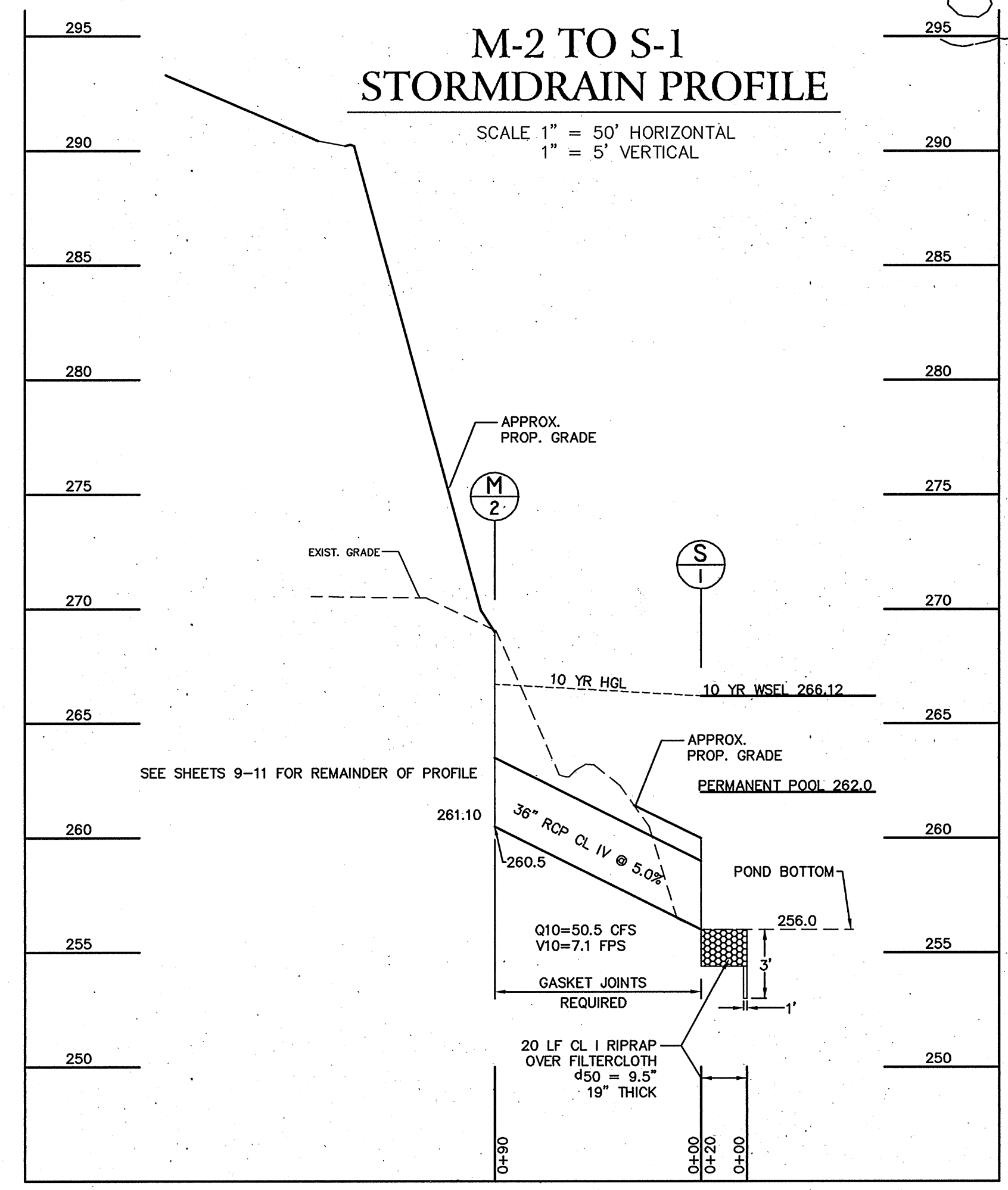
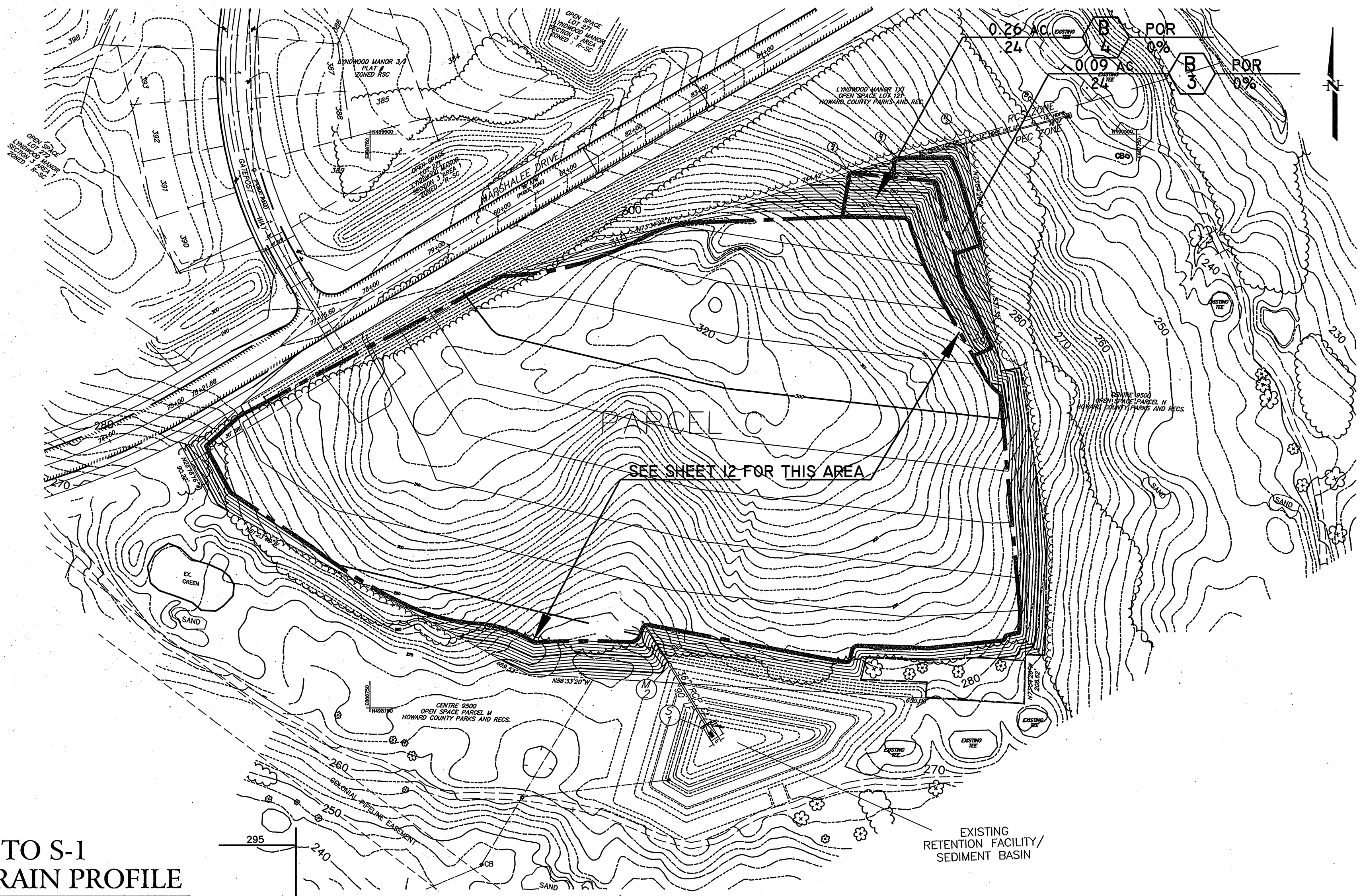
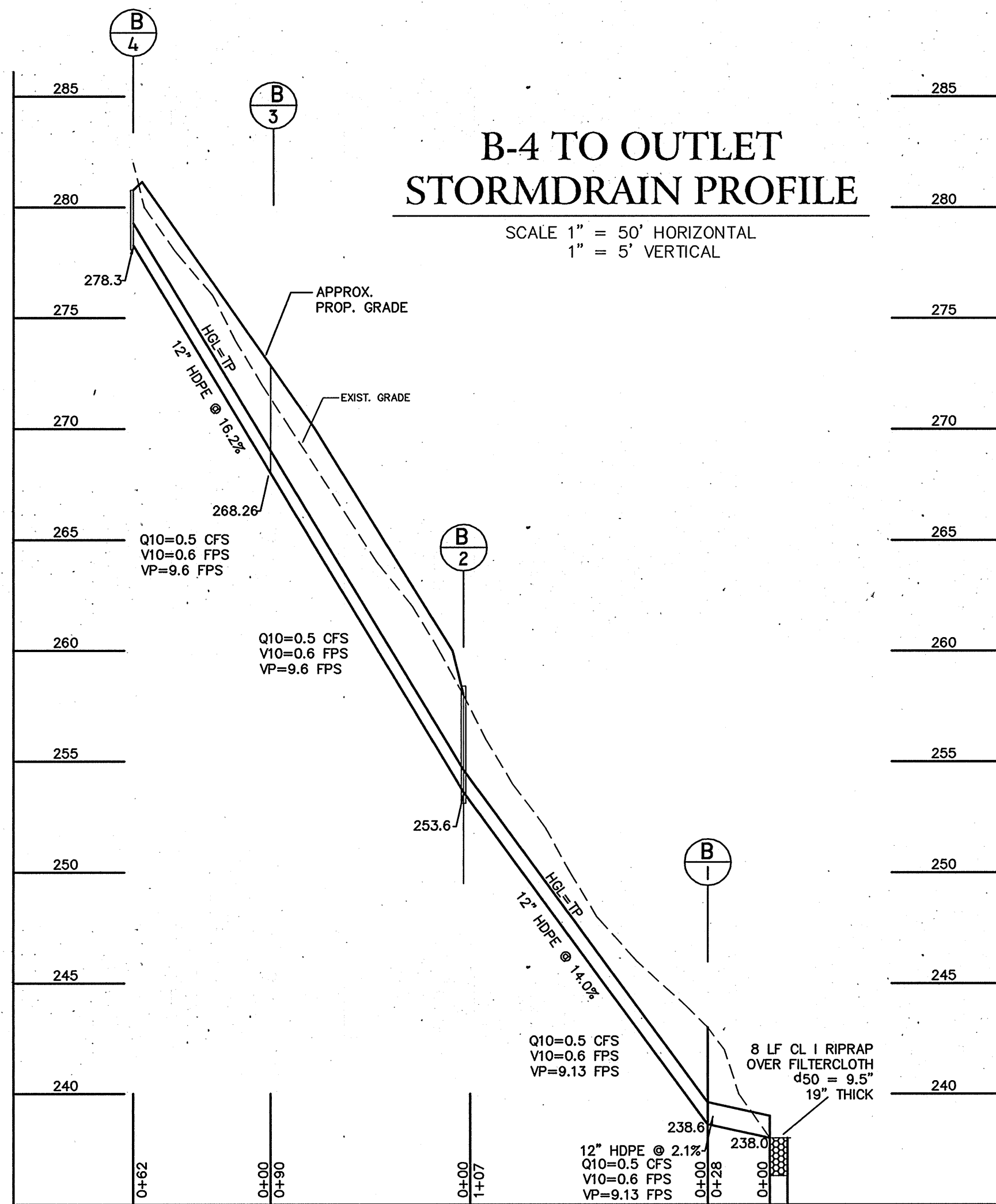
**SEDIMENT CONTROL PLAN**  
**CENTRE 9500 PARCEL C, P.1**  
**MASS GRADING PLAN**  
 IN THE FIRST ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

DATE: 10-18-03  
 SCALE: 1" = 50'  
 JOB NO.: C20822  
 DRAWN BY: T.D.  
 DWG. NAME: C20822ESC1  
 APPROVED: [Signature]

TAX MAP 37  
 GRID 11  
 PLAT 14213/6515

SHEET No. 22 OF 25  
 FILE No. B177  
 SDP-03-138

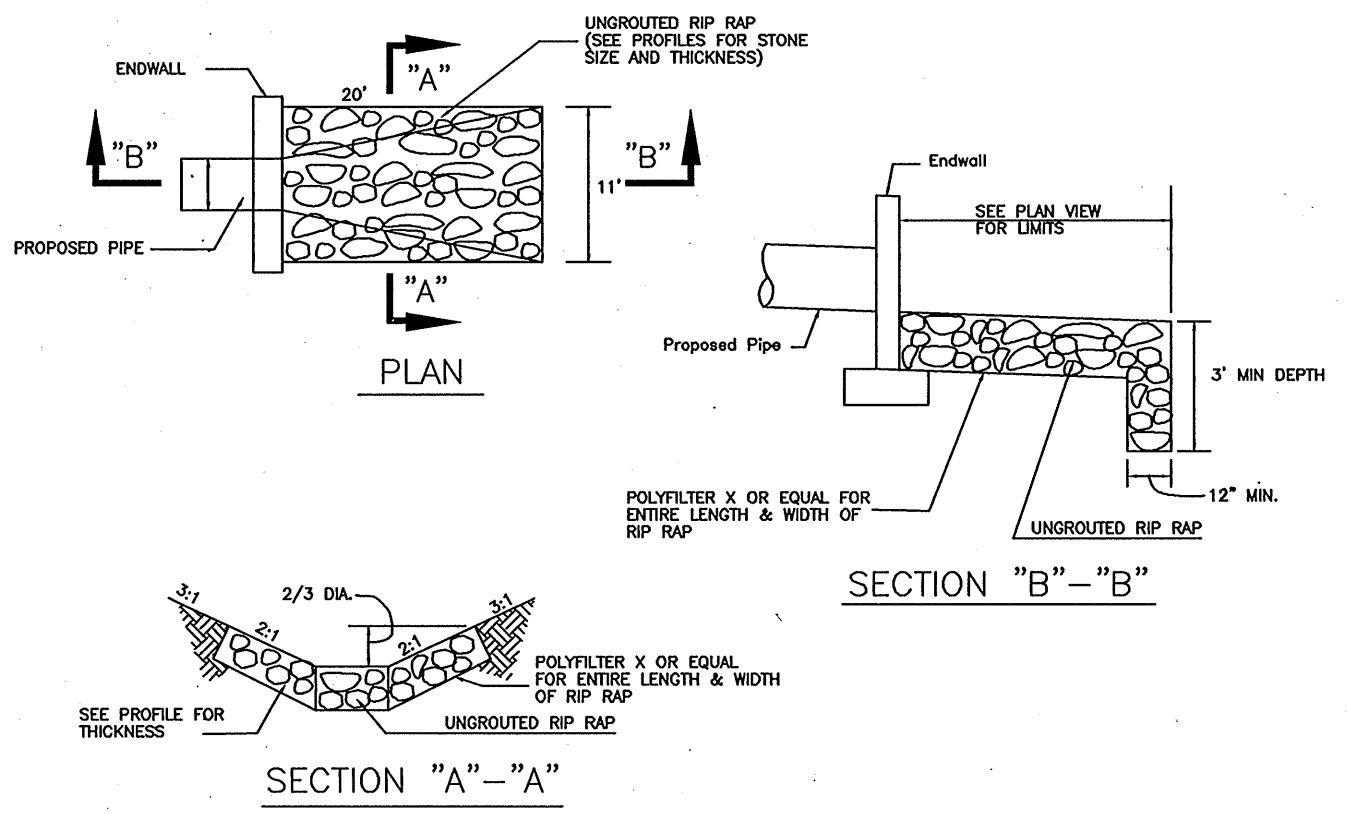




DRAINAGE AREA MAP  
1"=100'

NO.	TYPE	INVERT IN	INVERT OUT	TOP ELEVATION	REMARKS	LOCATION
S-1	TYPE C ENDWALL	256.00	256.00	260.00	STD SD 5.21	N 559478.50 E 1379608.40
M-2	PRECAST MANHOLE	261.10	260.50	269.00	STD G 5.13	N 559557.26 E 1379560.86
SEE SHEETS 9-11 FOR ADDITIONAL STORM DRAIN DETAILS						
B-1	24" DRAIN BASIN	238.60	238.60	243.00	NYLOPLAST H-25 SOLID TOP	N 560267.31 E 1380049.28
B-2	24" DRAIN BASIN	253.60	253.60	258.00	NYLOPLAST H-25 SOLID TOP	N 560239.47 E 1379944.60
B-3	12" DRAIN BASIN	268.25	271.00	268.00	NYLOPLAST H-25 GRATE TOP	N 560214.85 E 1379859.15
B-4	12" DRAIN BASIN	278.30	278.30	281.00	NYLOPLAST H-25 GRATE TOP	N 560197.58 E 1379799.31

TYPE	LENGTH
36" RCP CL IV	90 LF
12" HDPE	287 LF



OWNER  
100 LP  
SUITE 200  
9030 RED BRANCH ROAD  
COLUMBIA, MARYLAND 21045  
410-997-7222

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
COUNTY HEALTH OFFICER  
HOWARD COUNTY HEALTH DEPARTMENT  
DATE: N/A MR

APPROVED: DEPARTMENT OF PLANNING & ZONING  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 3/30/04

CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 6/1/11

DIRECTOR  
DATE: 6/1/14

**Lane Engineering, Inc.**  
Civil Engineers - Land Planning - Land Surveyors

Professional Engineer Seal: STATE OF MARYLAND, PROFESSIONAL ENGINEER, CIVIL ENGINEERING, No. 1018105, DATE 10/18/05

DATE: 10-8-02  
SCALE: AS SHOWN  
JOB NO.: 020822  
DRAWN BY: T.D.  
DWG. NAME: 020822.DWG  
APPROVED: [Signature]

**STORM DRAIN DETAILS**  
**CENTRE 9500 PARCEL C, Ph.1**  
**MASS GRADING PLAN**  
IN THE FIRST ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
TAX MAP 37  
GRID 11  
PLAT 14213/14215

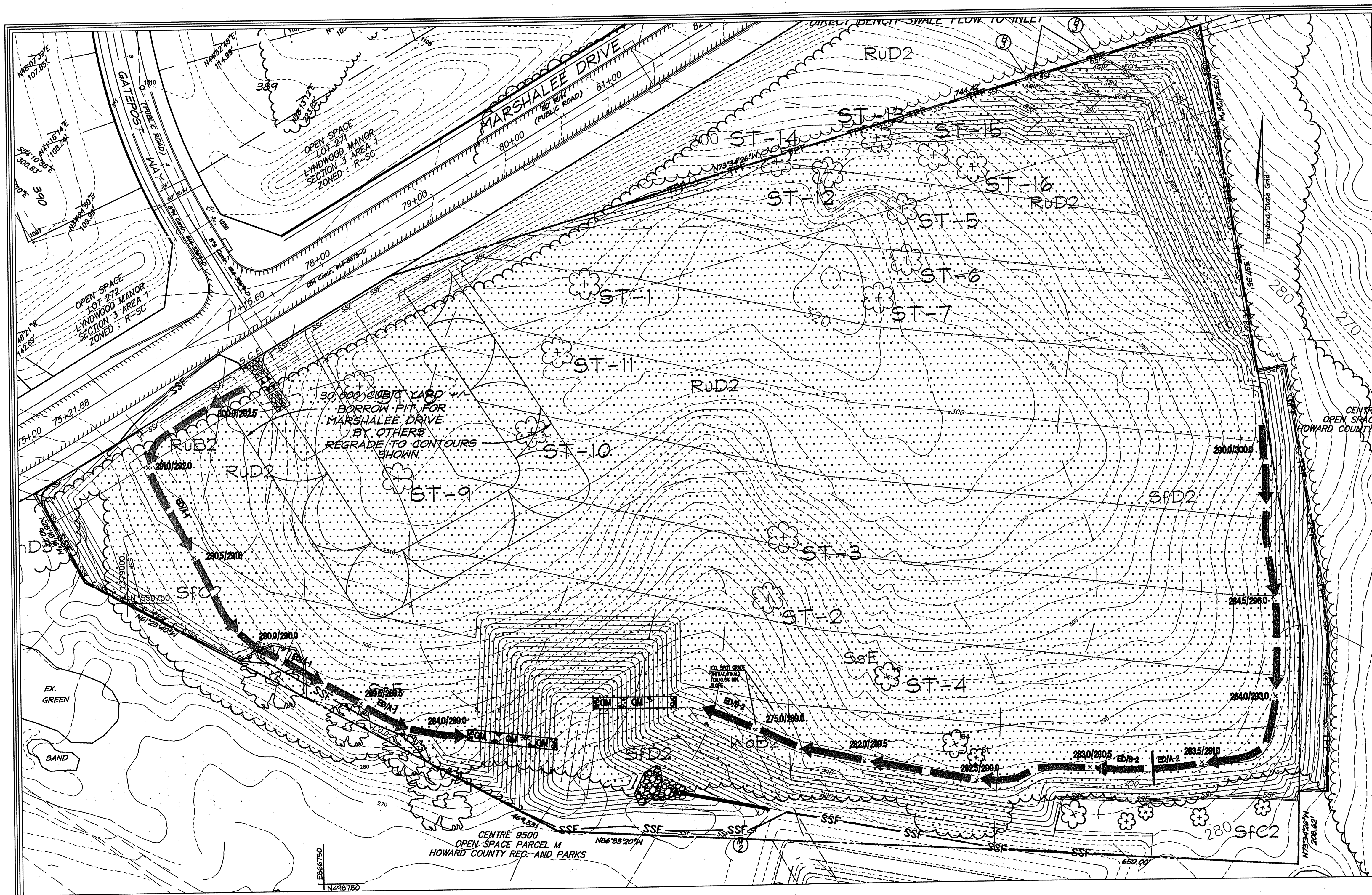
SHEET No. **23 OF 25**  
FILE No. B177

SDP-03-138



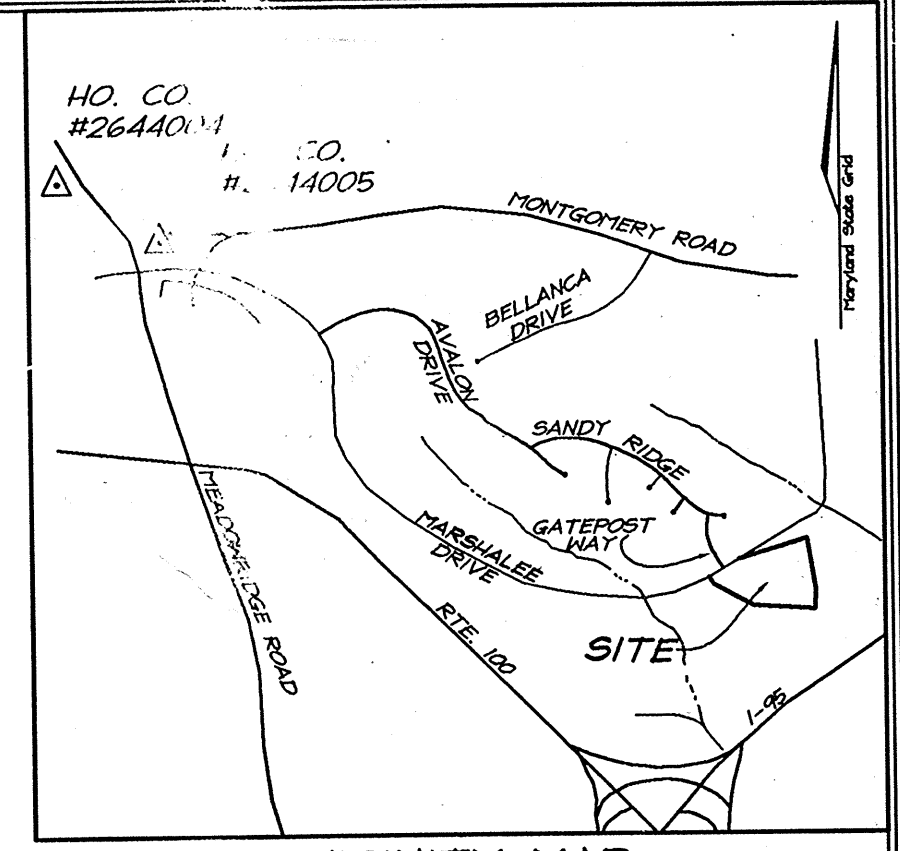






**LEGEND**

- Existing Contour
- Proposed Contour
- Spot Elevation
- Direction of Flow
- Property Boundary Line
- Easement Line
- Soils Division Line
- Tree Protection Fence
- Forest Clearing



**FOREST CONSERVATION WORKSHEET**

Net Tract Area	Acres
A. Total Tract Area	12.594
B. Area Within 100 Year Floodplain	—
C. Other Deductions	9.984
D. Net Tract Area	2.61
Zoning Use Category: HDR	
<b>Land Use Category</b>	
E. Afforestation Minimum (15 % x D)	0.39
F. Conservation Threshold (20 % x D)	0.52
<b>Existing Forest Cover</b>	
G. Existing Forest on Net Tract Area	2.61***
H. Forest Area Above Conservation Threshold	2.04
<b>Breakeven Point</b>	
I. Forest Retention Above Threshold with no Mitigation	0.94
J. Clearing Permitted without Mitigation	1.67
<b>Proposed Forest Clearing</b>	
K. Forest Areas to be Cleared	2.61
L. Forest Areas to be Retained	0
<b>Planting Requirements</b>	
M. Reforestation for Clearing Above Threshold	0.52
N. Reforestation for Clearing Below the Threshold	1.04
P. Credit for Retention Above Conservation Threshold	0
Q. Total Reforestation Required	1.57
R. Total Afforestation Required	0
S. Total Reforestation and Afforestation Requirement	1.57

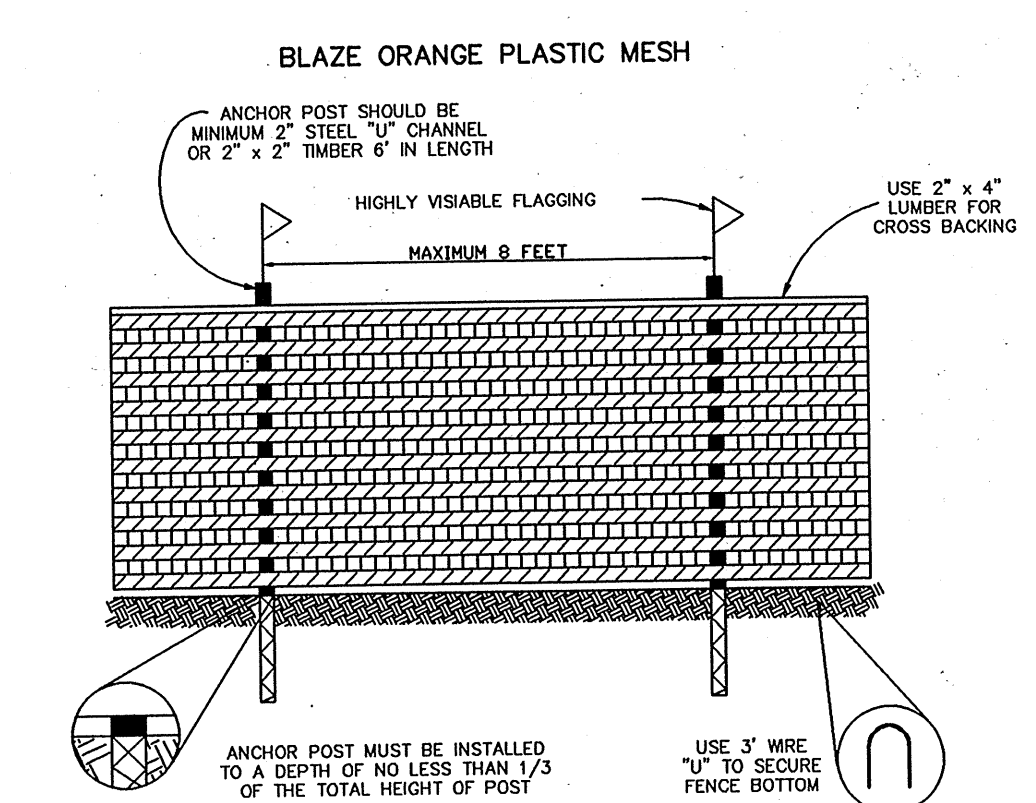
\*The total tract area includes the combined recorded acreage of Parcel C (12.38 acres) and the acreage of the LOD on adjacent Open Space Parcel N.  
 \*\*Deductions include the total acreage of the LOD shown on parcel C on approved P-93-11 and 40,000 Sq. Ft. of forest beyond the LOD.  
 \*\*\*The total forest contained on Parcel C and the adjacent acreage of Parcel N before the deduction is 11.42 acres. Parcel C contains 11.21 acres and Parcel N contains 0.21 acres of forest. The acreage of the forest on Parcel C after the applicable deductions totals 2.40 acres and the acreage of the forest on Parcel N totals 0.21 acres.

**SPECIMEN TREES**

NO.	DBH	COMMON NAME	SCIENTIFIC NAME	CONDITION
ST-1	32.5"	Chestnut oak	Quercus prinus	Fair
ST-2	39"	Chestnut oak	Quercus prinus	Fair
ST-3	36"	Chestnut oak	Quercus prinus	Fair
ST-4	59.5"	Chestnut oak	Quercus prinus	Fair
ST-5	45"	Chestnut oak	Quercus prinus	Fair
ST-6	36"	Chestnut oak	Quercus prinus	Good
ST-7	42.5"	Chestnut oak	Quercus prinus	Good
ST-8	41"	Chestnut oak	Quercus prinus	Good
ST-9	32"	Chestnut oak	Quercus prinus	Fair
ST-10	40"	Chestnut oak	Quercus prinus	Poor
ST-11	31"	Chestnut oak	Quercus prinus	Fair
ST-12	36"	Chestnut oak	Quercus prinus	Poor
ST-13	35"	Chestnut oak	Quercus prinus	Poor
ST-14	30"	Chestnut oak	Quercus prinus	Poor
ST-15	31.5"	Chestnut oak	Quercus prinus	Fair
ST-16	47"	Chestnut oak	Quercus prinus	Poor

**SOILS LEGEND**

SYMBOL	NAME / DESCRIPTION	SOIL GROUP
CND3	Chillum-Fairfax loams, 5 to 15 percent slopes, severely eroded	C
RUB2	Rumford loamy sand, 1 to 5 percent slopes, moderately eroded	B
RUD2	Rumford loamy sand, 10 to 15 percent slopes, moderately eroded	B
SFC2	Sassafras gravelly sandy loam, 5 to 10 percent slopes, moderately eroded	B
SFD2	Sassafras gravelly sandy loam, 10 to 15 percent slopes, moderately eroded	B
SaE	Sassafras silty, 15 to 40 percent slopes	B
WuE2	Woodstown sandy loam, 1 to 5 percent slopes, moderately eroded	C



- NOTES:**
- FOREST PROTECTION DEVICE ONLY.
  - RETENTION AREA WILL BE SET AS PART OF THE REVIEW PROCESS.
  - BOUNDARIES OF RETENTION AREA SHOULD BE STAKED AND FLAGGED PRIOR TO INSTALLING DEVICE.
  - ROOT DAMAGE SHOULD BE AVOIDED.
  - PROTECTIVE SIGNAGE MAY ALSO BE USED.
  - DEVICE SHOULD BE MAINTAINED THROUGHOUT CONSTRUCTION.

**TREE PROTECTION DETAIL**  
NOT TO SCALE

**Forest Conservation Narrative**  
 This Forest Conservation Plan was prepared in accordance with the Howard County Forest Conservation Manual. The total tract area of the site is 12.59 acres, with no flood plains, streams, wetlands or associated buffers. The total tract area includes 12.38 acres, which is the recorded acreage of Parcel C, and the 0.21 acres within the LOD on adjacent Open Space Parcel N. The total tract area of the LOD shown on approved Parcel C plan P-93-11 and an additional 40,000 square feet of forest beyond the LOD shown on approved P-93-11. The total tract area contains 11.49 acres of forest. The net tract area contains 2.61 acres of forest. Forest clearing on site is 2.61 acres. The total forest conservation obligation for this site is 1.57 acres of reforestation planting.

This forest conservation planting will be fulfilled with a fee-in-lieu payment, as per the agreement reached by the county and developer. The fee is in the amount of \$41,194.00 (\$40,340.00 + \$854.00) for 1.97 ac. of reforestation was paid to the Ho. Co. Forest Conservation Fund.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
 [Signature] 3/30/14  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 [Signature] 6/1/14  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 [Signature] 6/1/14  
 DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS IN ACCORDANCE WITH THE MASTER PLAN OF HOWARD COUNTY  
 [Signature] N/A MR  
 COUNTY HEALTH OFFICER

**OWNER**  
 100 Investment Limited Partnership  
 4030 Red Branch Rd., Suite 200  
 Columbia, Md 21045  
 410.465.8298

**DEVELOPER**  
 100 Investment Limited Partnership  
 4030 Red Branch Rd., Suite 200  
 Columbia, Md 21045  
 410.465.8298

**FOREST CONSERVATION PLAN**  
**CENTRE 9500**  
**PARCEL C, Ph.1**

TAX MAP 37 GRID II  
 1st ELECTION DISTRICT

PARCEL 687  
 HOWARD COUNTY, MARYLAND

DESIGN BY: DSH  
 DRAWN BY: DSH  
 CHECKED BY: SLH  
 SCALE: 1"=50'  
 DATE: March 02, 2014  
 H.O. No.: 2193  
 SHEET: No. 25 OF 25

**EXPLORATION RESEARCH, INC.**  
 ENVIRONMENTAL CONSULTANTS  
 6810 FOREST STREET  
 BELLEVILLE CITY, MARYLAND 21045  
 TEL: (410) 760-1150 FAX: (410) 760-7800

Plan prepared using base information provided by Lane Engineering, Inc.