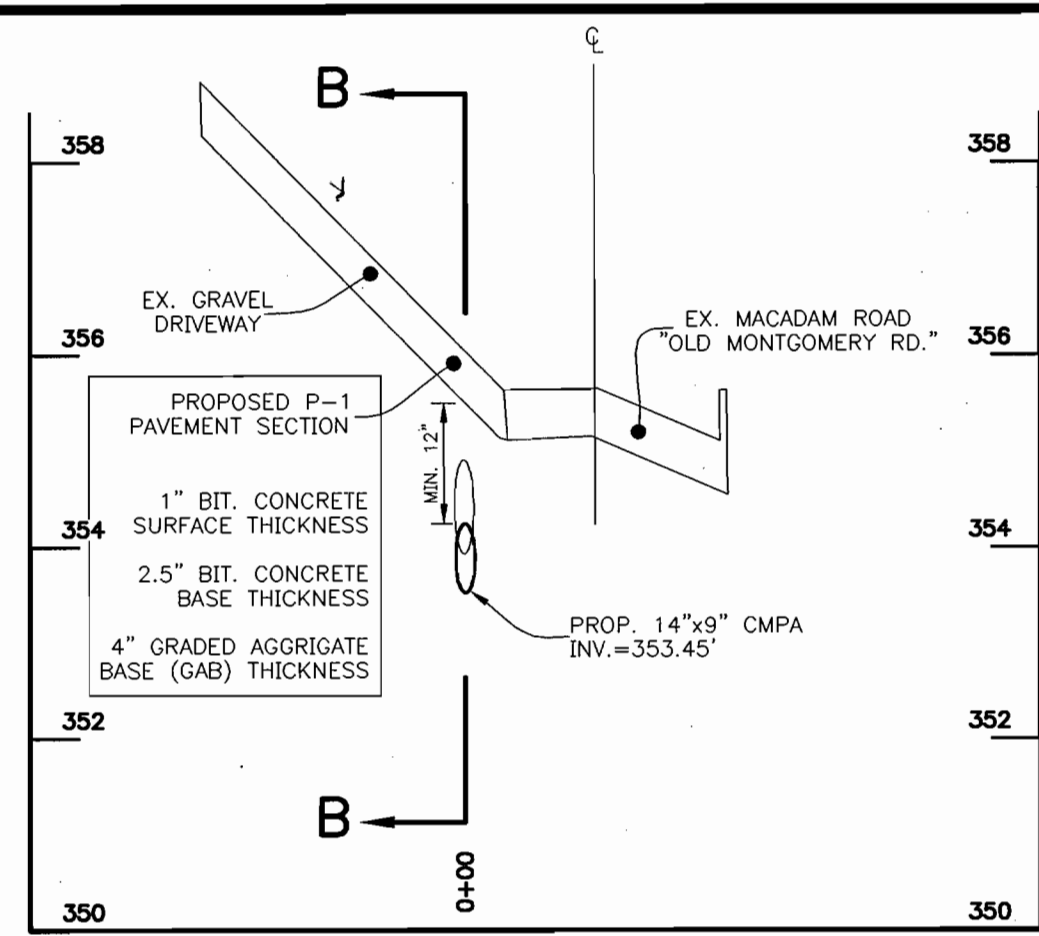


STORM DRAIN PROFILE B-B

SCALE: 1"=20' HOR., 1"=2' VERT.



STORM DRAIN PROFILE A-A

SCALE: 1"=20' HOR., 1"=2' VERT.

ADDRESS CHART	
LOT 1	8990 OLD MONTGOMERY ROAD
LOT 2	8990 OLD MONTGOMERY ROAD

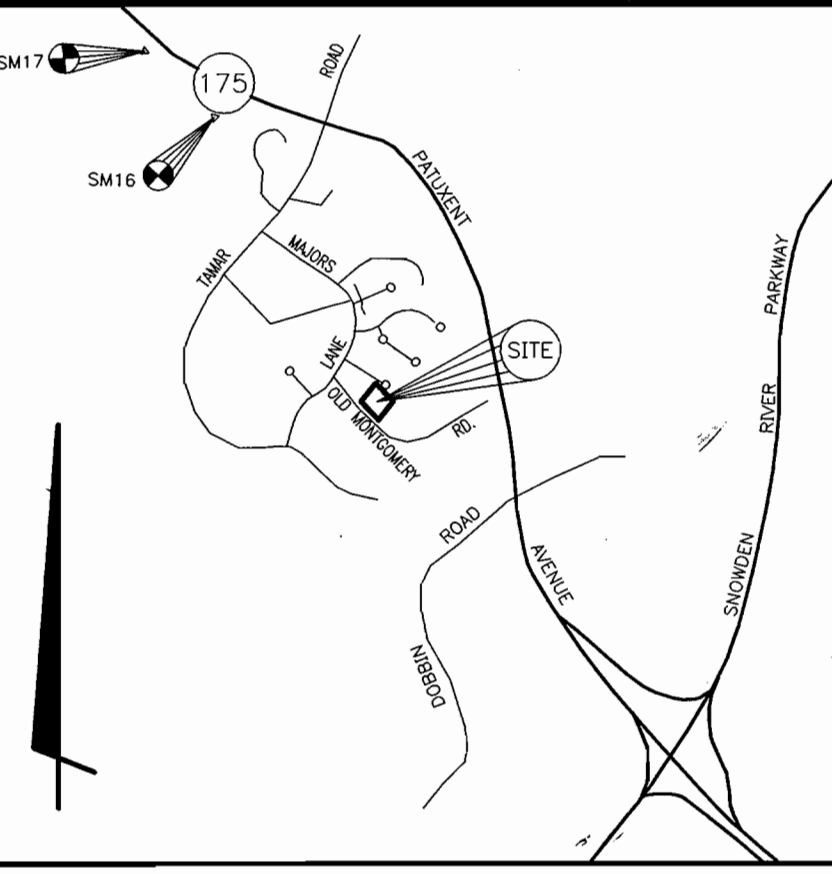
PERMIT INFORMATION CHART	
CARL A. FISCHER PROPERTY LOTS 1 AND 2	CENSUS TRACT 6066.03
PLAT #15745	GRID #11 ZONED R-12 TAX MAP 36 ELECTION DISTRICT 6TH
WATER CODE: E04	SEWER CODE: S334200

BENCH MARK TABLE		
B.M. #	ELEV.	DESCRIPTION
1	356.49	IRON ROD AND CAP
2	365.19	IRON ROD AND CAP

SEQUENCE OF CONSTRUCTION	DURATION
1. OBTAIN GRADING PERMIT.	1 DAY
2. INSTALL SEDIMENT CONTROL DEVICES (I.E. SILT FENCE)	1 DAY
3. ROUGH GRADE AND DIG FOUNDATION AFTER PERMITS FROM INSPECTOR	1 WEEK
4. CONSTRUCT DWELLING FOUNDATION	3 WEEKS
5. CONSTRUCT DWELLING	4 MONTHS
6. CONSTRUCT DRIVEWAY ENTRANCE AND REPLACE PIPE	1 DAY
7. STABILIZE ALL DISTURBED AREAS ALONG DRIVEWAY WIDENING WITH GRAVEL WITH 1 DAY	1 DAY
8. FINALIZE GRADING. STABILIZE ALL DISTURBED AREAS AND WITH APPROVAL OF REGULATORY AGENCIES, REMOVE ALL SEDIMENT CONTROL DEVICES.	1 DAY

LEGEND

- 99--- EXISTING CONTOURS
- 99--- PROPOSED CONTOURS
- 100-4 EXISTING SPOT ELEVATION
- 100X4 PROPOSED SPOT ELEVATION
- METAL FENCE
- LIMIT OF DISTURBANCE (L.O.D.)
- SILT FENCE
- WOOD FENCE
- BENCH MARK
- STABILIZED CONSTRUCTION ENTRANCE
- S.C.E.
- SF-1
- SHEET NUMBER
- OVERLAND FLOW
- NOW OR FORMERLY
- EX. PAVEMENT
- EX. GRAVEL
- PROP. PAVEMENT
- PROP. GRAVEL

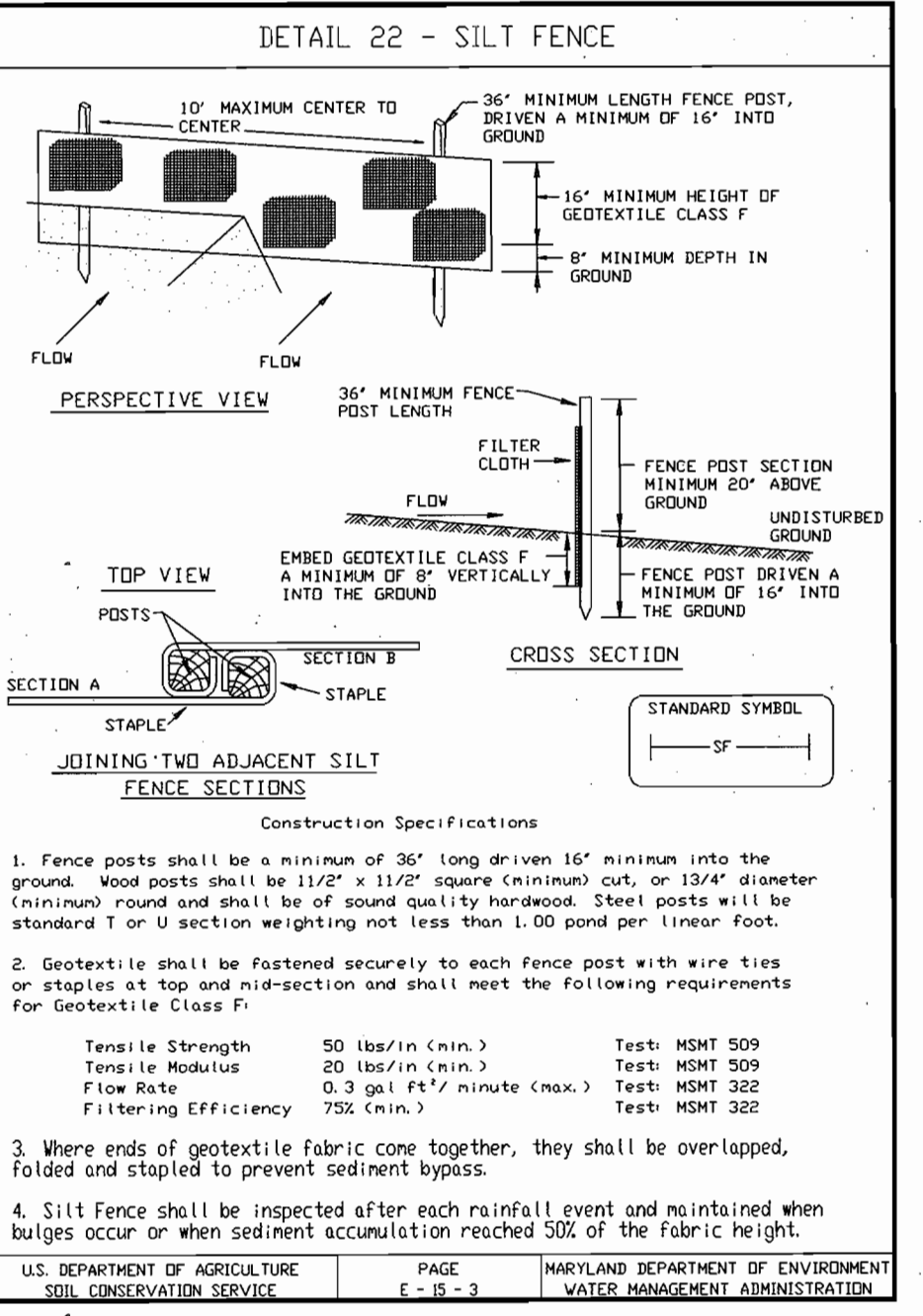


VICINITY MAP

SCALE: 1"=2000'

EXISTING TREE CHART

NO.	SIZE AND TYPE
(A)	24" BLACK CHERRY
(B)	12" SPRUCE
(C)	30" WHITE PINE (ST1)
(D)	7" FLOWERING DOGWOOD
(E)	33" CHESTNUT (ST2)
(F)	12" VIRGINIA PINE
(G)	8" SPRUCE
(H)	6" BIRCH
(I)	24" BLACK CHERRY
(J)	32" WHITE PINE (ST3)
(K)	30" ELM (ST4)
(L)	14" SPRUCE
(M)	15", 12" APPLE (TWIN TRUNK)
(N)	21" APPLE
(O)	12" SPRUCE
(P)	10", 10" FLOWERING DOGWOOD (TWIN TRUNK)
(Q)	8" SPRUCE
(R)	23" WHITE PINE
(S)	23" WHITE PINE
(T)	6" SPRUCE (5 OF THEM)
(U)	4" BLACK CHERRY
(V)	14", 16", 17" ELM (TRIPLE TRUNK)
(W)	10", 12", 13" APPLE (TRIPLE TRUNK)
(X)	10", 10" BLACK CHERRY (TWIN TRUNK)
(Y)	32" WEEPING CHERRY (ST5)
(Z)	7", 8" FLOWERING DOGWOOD
(AA)	4", 6", 7", 8" FLOWERING DOGWOOD (QUAD TRUNK)
(BB)	6", 7", 7", 7" FLOWERING DOGWOOD
(CC)	9", 10", 13", 18" CRAB APPLE
(DD)	9" DOGWOOD
(EE)	28" PIN OAK
(FF)	10" UNKNOWN
(GG)	5", 6", 7", 8", 14", 15" CHESTNUT
(HH)	21" SPRUCE
(II)	4" APPLE
(JJ)	10" CHESTNUT
(KK)	15" PIN OAK
(LL)	8" FLOWERING DOGWOOD
(MM)	12" BLACK CHERRY
(NN)	8" BLACK CHERRY



CURVE DATA TABLE

NUMBER	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD DIRECTION	CHORD LENGTH
C1	391.80'	101.87'	14°53'48"	51.22'	N 48°49'29" W	101.58'
C2	224.93'	44.43'	11°19'05"	22.29'	S 57°09'29" E	44.36'
C3	114.00'	125.33'	62°59'28"	69.85'	N 82°45'52" E	119.11'
C4	90.00'	114.28'	72°45'10"	66.30'	S 87°49'34" W	106.76'
C5	224.94'	21.67'	05°31'12"	10.84'	N 54°33'11" W	121.66'

24' WIDE PRIVATE USE IN COMMON ACCESS EASEMENT

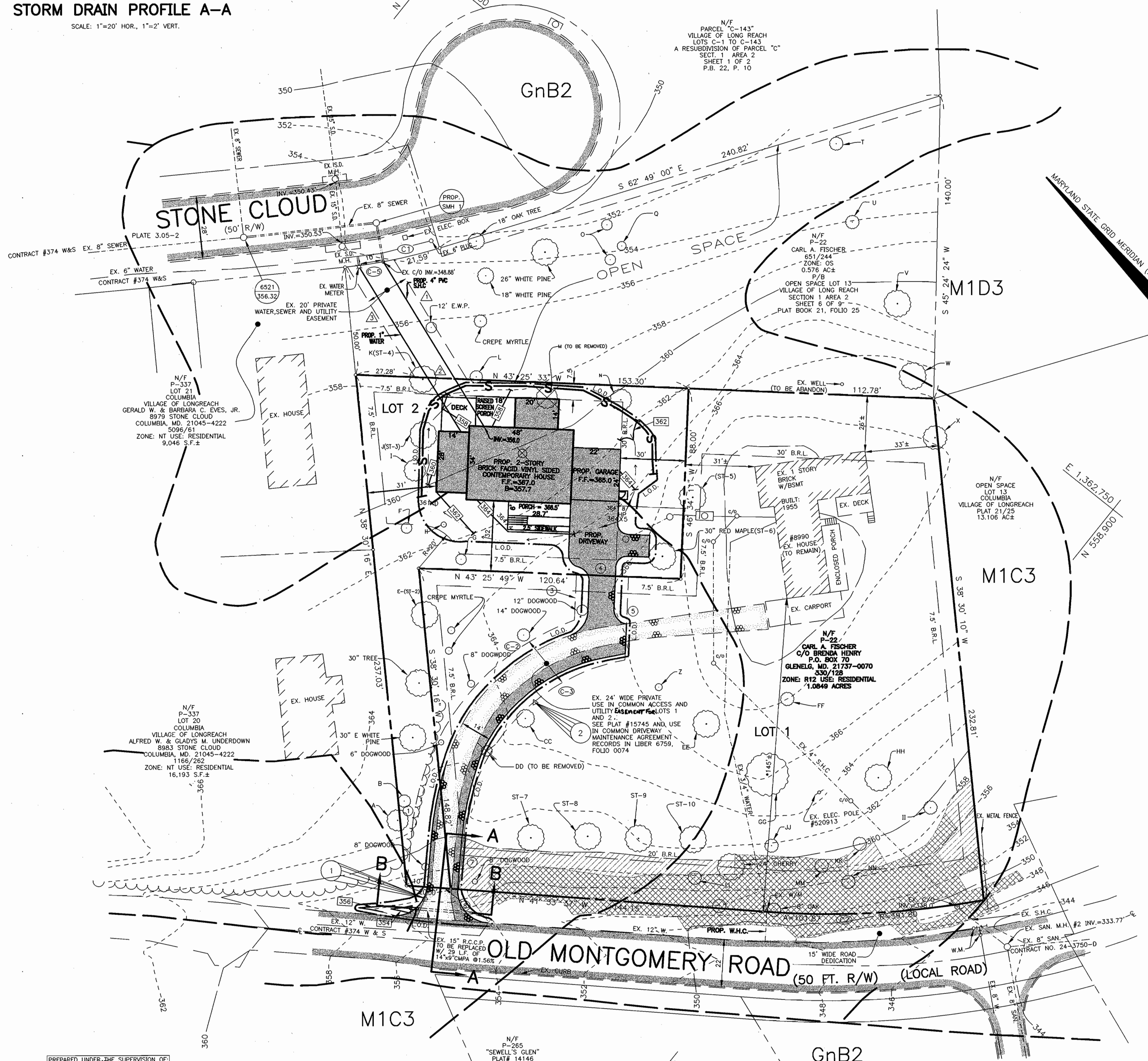
NO.	BEARING	DISTANCE
1	N 49° 46' 13" E	28.97
2	SEE CURVE DATA	64.75
3	N 46° 39' 29" E	21.50
4	S 43° 20' 31" E	24.00
5	N 46° 39' 29" W	38.56
6	SEE CURVE DATA	28.70
7	S 49° 54' 59" W	28.70
8	N 41° 33' 37" W	24.03

AREA=4.034 S.F.±

20' WIDE PRIVATE WATER, SEWER, UTILITY EASEMENT TO BENEFIT LOT 2

NO.	BEARING	DISTANCE
1	S 12° 51' 08" W	64.75
2	N 43° 25' 33" W	24.05
3	N 12° 51' 08" E	59.72

AREA=1,241 S.F.±



- GENERAL NOTES**
- THE SUBJECT PROPERTY IS ZONED R-12 PER THE 10-18-93 COMPREHENSIVE ZONING PLAN.
 - IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHERMIS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
 - DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLING TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES FOR THE FOLLOWING MINIMUM REQUIREMENTS:
 - A) WIDTH - 12' (14' SERVING MORE THAN ONE RESIDENCE)
 - B) SURFACE - 6" OF COMPACTED CRUSHER RUN BASE W/TAR AND CHIP COATING (1-1/2" MIN.)
 - C) GEOMETRY - MAX 15% GRADE, MAX 10% GRADE CHANGING AND MIN 45' TURNING RADIUS;
 - D) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (M25 LOADING)
 - E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
 - F) MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
 - LANDSCAPING FOR LOTS 1 AND 2 IS PROVIDED IN ACCORDANCE WITH A CERTIFIED LANDSCAPING PLAN. SEE COUNTY FILE #02-155. THE LANDSCAPING OBLIGATION FOR LOT 2 WILL BE ADDRESSED THROUGH RETENTION OF EXISTING PERIMETER TREES.
 - THIS PROJECT COMPLES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY A FEE-IN-LIEU PAYMENT OF \$2,222.00 PAID TO THE HOWARD COUNTY FOREST CONSERVATION FUND PRIOR TO PLAT APPROVAL. SEE COUNTY FILE #02-155.
 - COORDINATES BASED ON MD '83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. SM 16 AND SM 17. SM 16 N 562,339.792 E 1,360,762.452 SM 17 N 562,091.342 E 1,360,139.408
 - FOR DETAILS NOT SHOWN ON THE DRAWINGS, AND FOR MATERIALS AND CONSTRUCTION METHODS USE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (LATEST EDITION). THE CONTRACTOR SHALL HAVE A COPY OF VOLUME IV ON THE JOB.
 - THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES OR AGENCIES AT LEAST FIVE WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE PLANS.
 - C & P TELEPHONE 597-8585
 - A.T.&T. 865-3903
 - STATE HIGHWAY ADMINISTRATION 531-5533
 - B.G.& E. CO. CONTRACTOR SERVICES 850-4620
 - B.G.& E. CO. UNDERGROUND DAMAGE CONTROL 781-9048
 - MESS UTILITY 1-800-257-7777
 - COLUMBIA PIPELINE CO. 798-1390
 - HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS 313-4900
 - BUREAU OF UTILITIES
 - TREES AND SHRUBS ARE TO BE PROTECTED FROM DAMAGE TO THE MAXIMUM EXTENT. TREES AND SHRUBS LOCATED WITHIN THE CONSTRUCTION STRIP ARE NOT TO BE REMOVED OR DAMAGED BY THE CONTRACTOR.
 - THE CONTRACTOR SHALL NOTIFY THE BUREAU OF HIGHWAYS, HOWARD COUNTY, AT (410)-313-2450 AT LEAST FIVE WORKING DAYS BEFORE ANY OPENING OF ANY COUNTY ROAD OR BORROWING/LOADING OPERATION IN COUNTY ROADS FOR LAYING WATER/SEWER MAIN OR HOUSE CONNECTIONS. THE APPROVAL OF THESE DRAWINGS WILL CONSTITUTE COMPLIANCE WITH DPW REQUIREMENTS PER SECTION 18.114(G) OF THE HOWARD COUNTY CODE.
 - THE DRIVEWAY INTERSECTION MUST BE IN CONFORMANCE WITH HOWARD COUNTY STANDARD DETAIL 6.06.
 - THE PROPOSED SUBDIVISION IS EXEMPT FROM STORMWATER MANAGEMENT BECAUSE THE LIMIT OF DISTURBANCE IS LESS THAN 5000 S.F. AS PER F-02-155
 - ACCESS TO WATER AND SEWER HAS BEEN PROVIDED UNDER CONTRACT NO. C-374 W&S.
 - THE EXISTING TOPOGRAPHY IS TAKEN FROM A FIELD RUN SURVEY WITH TWO FOOT CONTOUR INTERVALS PERFORMED BY C.D. MEEKINS ASSOC. INC., DATED NOVEMBER, 2002.
 - ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPERS EXPENSE.

SITE ANALYSIS DATA FOR LOT 2

- TOTAL PROJECT AREA = 0.3652 AC.±, 15,910 S.F.
- LIMIT OF DISTURBANCE = 10,957 S.F. OR 0.2515 AC.±
- PRESENT ZONING DESIGNATION=R-12
- PROPOSED USE = SINGLE FAMILY DETACHED DWELLING
- TOTAL NUMBER OF UNITS ALLOWED FOR PROJECT = 2
- TOTAL NUMBER OF UNITS PROPOSED = 1
- BUILDING COVERAGE OF SITE 0.095 AC. OR 26% OF GROSS AREA
- SEE COUNTY FILE #02-155

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

Jim Myers /us 5/2/03 DATE

USA NATURAL RESOURCES CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Shelly Jolly 5/2/03 DATE

HOWARD SCD

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

C. Douglas MEEKINS 5/07/03 DATE

C. DOUGLAS MEEKINS

DEVELOPER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

Carla A. Fischer /us 5/7/03 DATE

ANNA FISCHER BURKE

Alan Vincent Burke 5/7/03 DATE

ALAN VINCENT BURKE JR.

CARL A. FISCHER PROPERTY
 LOTS 1 AND 2
 RECORDED AS PLAT NO. 15745 ON JANUARY 7, 2003

SITE DEVELOPMENT PLAN AND SEDIMENT CONTROL PLAN

FOR SINGLE FAMILY DETACHED SDP FOR
 TAX MAP: 36 GRID: 11 PARCEL NO: 22
 COUNTY FILE#-02-155
 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

OWNER LOT 1
 CARL A. FISCHER
 8990 OLD MONTGOMERY ROAD
 COLUMBIA, MD. 21046
 PHONE: 410-730-6427

OWNER LOT 2/DEVELOPER
 ANNIE AND VINCENT BURKE
 C/O VINCENT BURKE
 3315 SUDLERSVILLE SOUTH
 LAUREL, MD. 20724-2447
 PHONE: 410-320-0065

SCALE: 1"=30'

SHEET 1 OF 2 DATE: MAY 8, 2003

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Shelly Jolly 5/2/03 DATE

Shelly Jolly 5/2/03 DATE

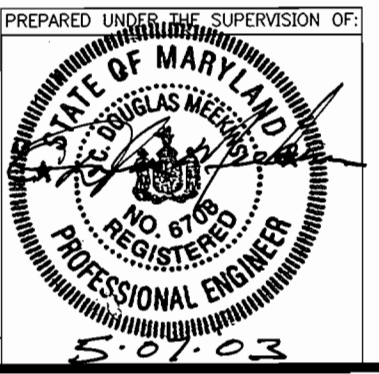
Shelly Jolly 5/2/03 DATE

C. D. MEEKINS & ASSOCIATES, INC.
 CONSULTING ENGINEERS AND SURVEYORS

159 MAIN ST., SECOND FLOOR ANNAPOLIS, MD. MAILING ADDRESS: P.O. BOX 2151 ANNAPOLIS, MD. 21404-2151

ANNAPOLIS: (410) 267-0744 BALTIMORE: (410) 269-7807 FACSIMILE: (410) 267-0338

PREPARED UNDER THE SUPERVISION OF
STATE OF MARYLAND
 REGISTERED PROFESSIONAL ENGINEER
Shelly Jolly 5/07/03 DATE



21.0 STANDARD AND SPECIFICATIONS

FOR

TOPSOIL

Definition

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose

To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies

- I. This practice is limited to areas having 2:1 or flatter slopes where:
 - a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 - c. The original soil to be vegetated contains material toxic to plant growth.
 - d. The soil is so acidic that treatment with limestone is not feasible.
- II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

- I. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.
- II. Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - i. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2" in diameter.
 - ii. Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, johnsongrass, nutedge, poison ivy, thistle, or others as specified.
 - iii. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
- III. For sites having disturbed areas under 5 acres:
 1. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.
- III. For sites having disturbed areas over 5 acres:
 1. On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
 - a. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
 - b. Organic content of topsoil shall be not less than 1.5 percent by weight.
 - c. Topsoil having soluble salt content greater than 500 parts per million shall not be used.
 - d. No seed or sod shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.
 - Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist approved by the appropriate approval authority, may be used in lieu of natural topsoil.
 2. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.
- V. Topsoil Application
 - i. When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
 - ii. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.
 - iii. Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
 - iv. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

HOWARD SOIL CONSERVATION DISTRICT

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:

1. Preferred -- Apply 2 tons/acre dolomitic limestone (92 lbs/1000 sq. ft.) and 600 lbs/acre 10-10-10 fertilizer (14 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil. At time of seeding, apply 400 lbs/acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq. ft.)
2. Acceptable -- Apply 2 tons/acre dolomitic limestone (92 lbs/1000 sq. ft.) and 1000 lbs/acre 10-10-10 fertilizer (23 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil.

Seeding -- For the periods March 1 - April 30, and August 1 - October 15, seed with 60 lbs/acre (1.4 lbs/1000 sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 - July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs/acre (0.5 lbs/1000 sq. ft.) of weeping lovegrass. During the period of October 15 - February 28, protect site by: Option 1 - Two tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option 2 - Use sod. Option 3 - Seed with 60 lbs/acre Kentucky 30 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching -- Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal. per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slope 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq. ft.) for anchoring.

Maintenance -- Inspect all seeding areas and make needed repairs, replacements and reseeding.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be re-disturbed where a short-term vegetative cover is needed.

Seedbed preparation: -- Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

Soil Amendments: -- Apply 600 lbs/acre 10-10-10 fertilizer (14 lbs/1000 sq. ft.)

Seeding: -- For periods March 1 - April 30 and from August 15 - October 15, seed with 2-1/2 bushel per acre of annual ryegrass (2.2 lbs/1000 sq. ft.). For the period May 1 - August 14, seed with 3 lbs/acre of weeping lovegrass (0.7 lbs/1000 sq. ft.). For the period November 16 - February 28, protect site by applying 2 tons/acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching -- Apply 1-1/2 to 2 tons/acre (70 to 90 lbs/1000 sq. ft.) of unrotted weed-free, small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal. per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slope 8 ft. or higher, use 348 gal. per acre (8 gal/1000 sq. ft.) for anchoring.

Refer to the 1991 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for additional rates and methods not covered.

HOWARD SOIL CONSERVATION DISTRICT

STANDARD SEDIMENT CONTROL NOTES

1. A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction (313-1855).

2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1991 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.

3. Following initial soil disturbance or re-disturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes steeper than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.

4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol 1, Chapter 7 of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.

5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1991 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding, sod, temporary seeding, and mulching (Sec. G). Temporary stabilization with mulch alone shall only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.

6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.

7. Site Analysis:

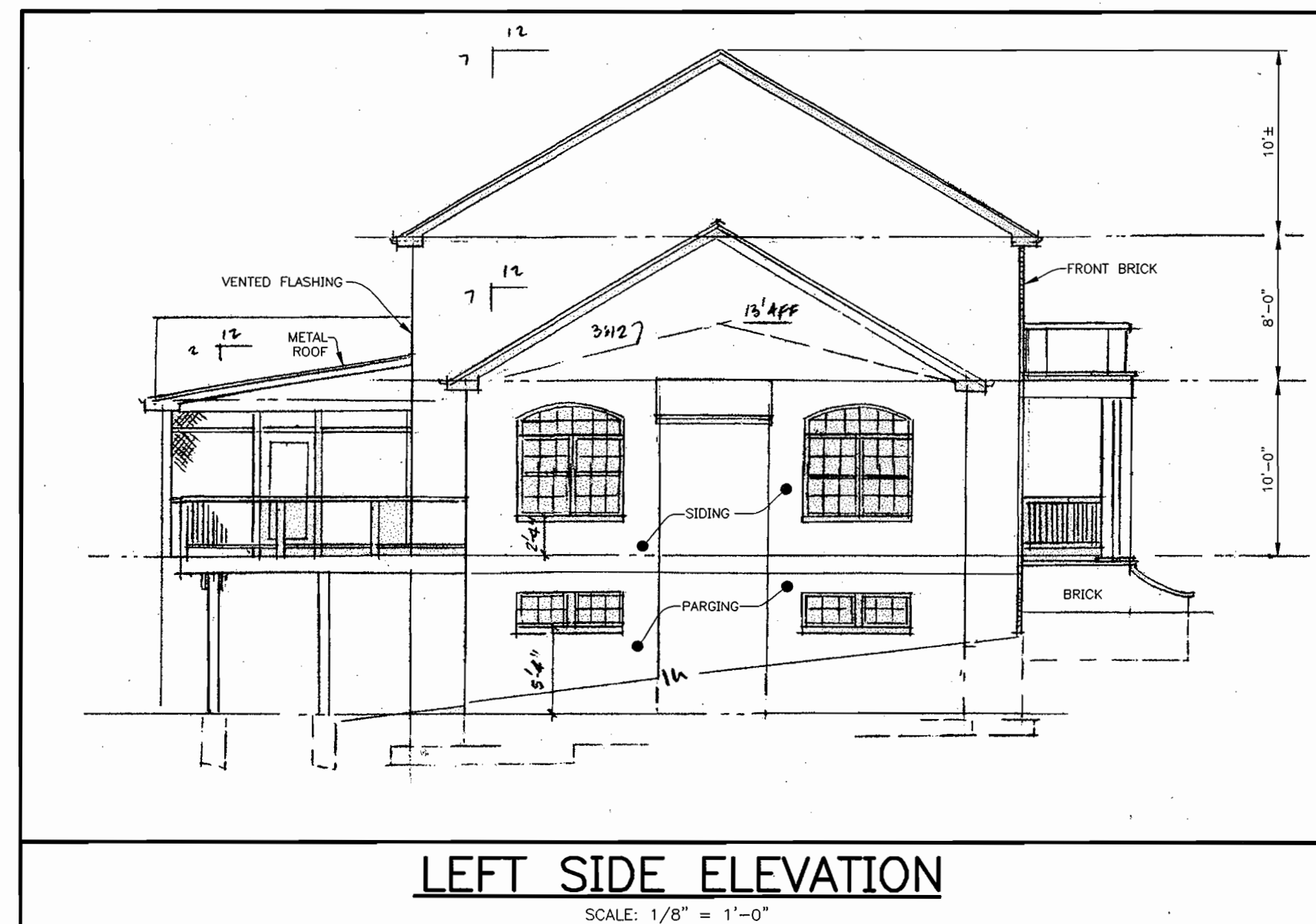
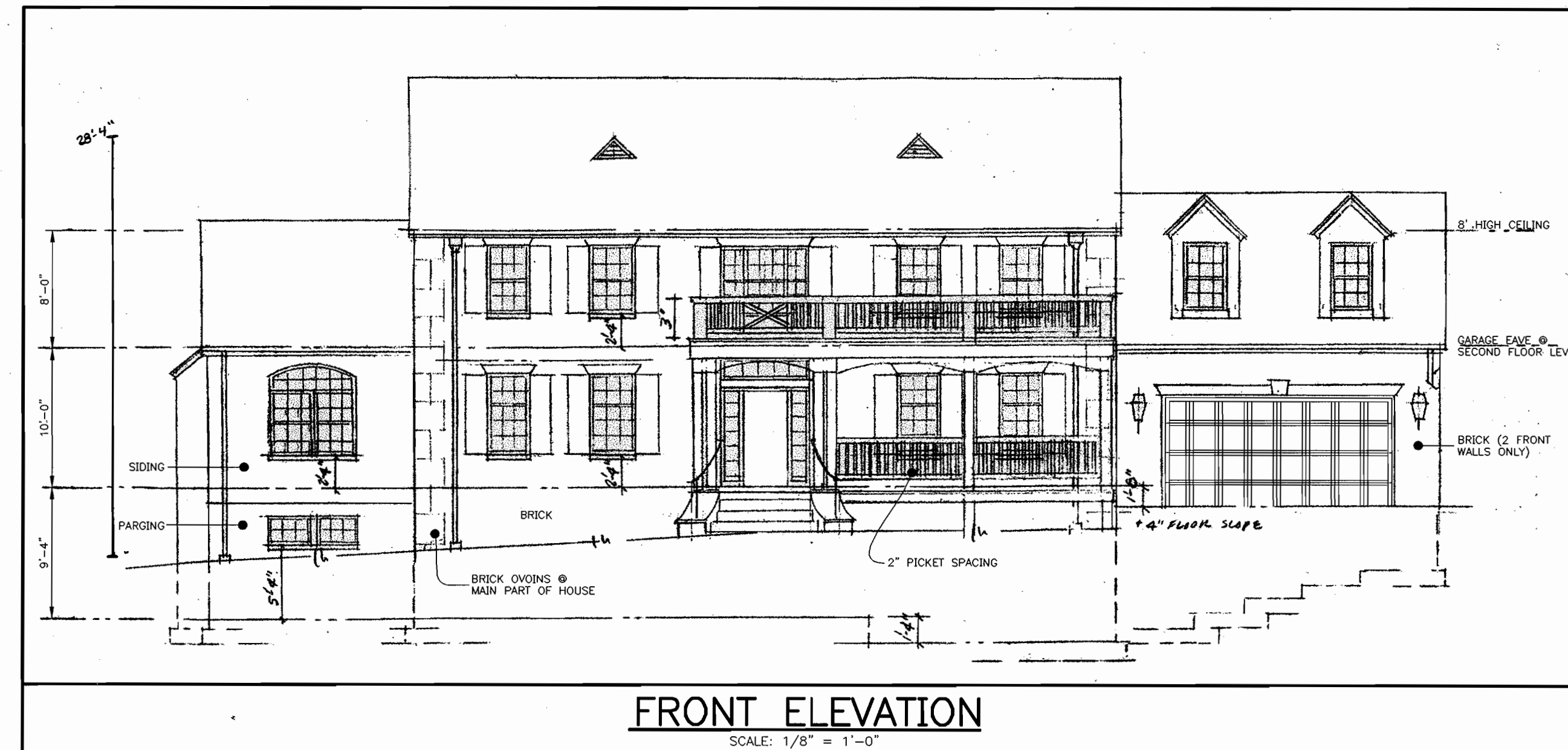
Total Area of Site	=	0.3652 Acres
Area Disturbed	=	0.2816 Acres
Area to be roofed or paved	=	0.11 Acres
Area to be vegetatively stabilized	=	0.14 Acres
Total Cut	=	150 Cu. Yds.
Total Fill	=	150 Cu. Yds.
Offsite waste/borrow area location:	=	0

8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.

9. Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.

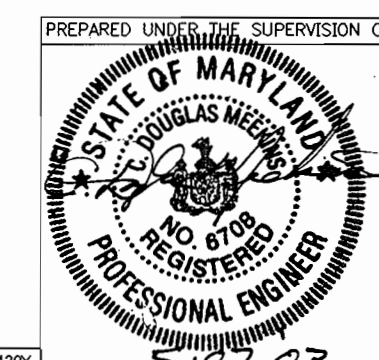
10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be required upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.

11. Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF DEVELOPMENT ENGINEERING DIVISION
 DATE: 6/20/03
 CHIEF DIVISION OF LAND DEVELOPMENT
 DATE: 6/20/03
 DIRECTOR

C. D. MEEKINS & ASSOCIATES, INC.
 CONSULTING ENGINEERS AND SURVEYORS
 159 MAIN ST., SECOND FLOOR ANNAPOLIS, MD.
 MAILING ADDRESS: P.O. BOX 2151 ANNAPOLIS, MD. 21404-2151
 ANNAPOLIS: (410) 267-0744 BALTIMORE: (410) 269-7807 FACSIMILE: (410) 267-0338



OWNER LOT 1
 CARL A. FISCHER
 8990 OLD MONTGOMERY ROAD
 COLUMBIA, MD. 21046
 PHONE: 410-730-6427

OWNER/DEVELOPER
 ANNIE AND VINCENT BURKE
 C/O VINCENT BURKE
 3315 SUDLERSVILLE SOUTH
 LAUREL, MD. 20724-2447
 PHONE: 410-320-0065

CARL A. FISCHER PROPERTY
 LOTS 1 AND 2
 RECORDED AS PLAT No. 15745 ON JANUARY 7, 2003
SITE DEVELOPMENT PLAN AND SEDIMENT CONTROL PLAN
 FOR SINGLE FAMILY DETACHED SDP FOR
 TAX MAP: 36 GRID: 11 PARCEL NO: 22
 COUNTY FILE#F-02-155
 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1"=30'
 SHEET 1 of 1 DATE: MAY 8, 2003