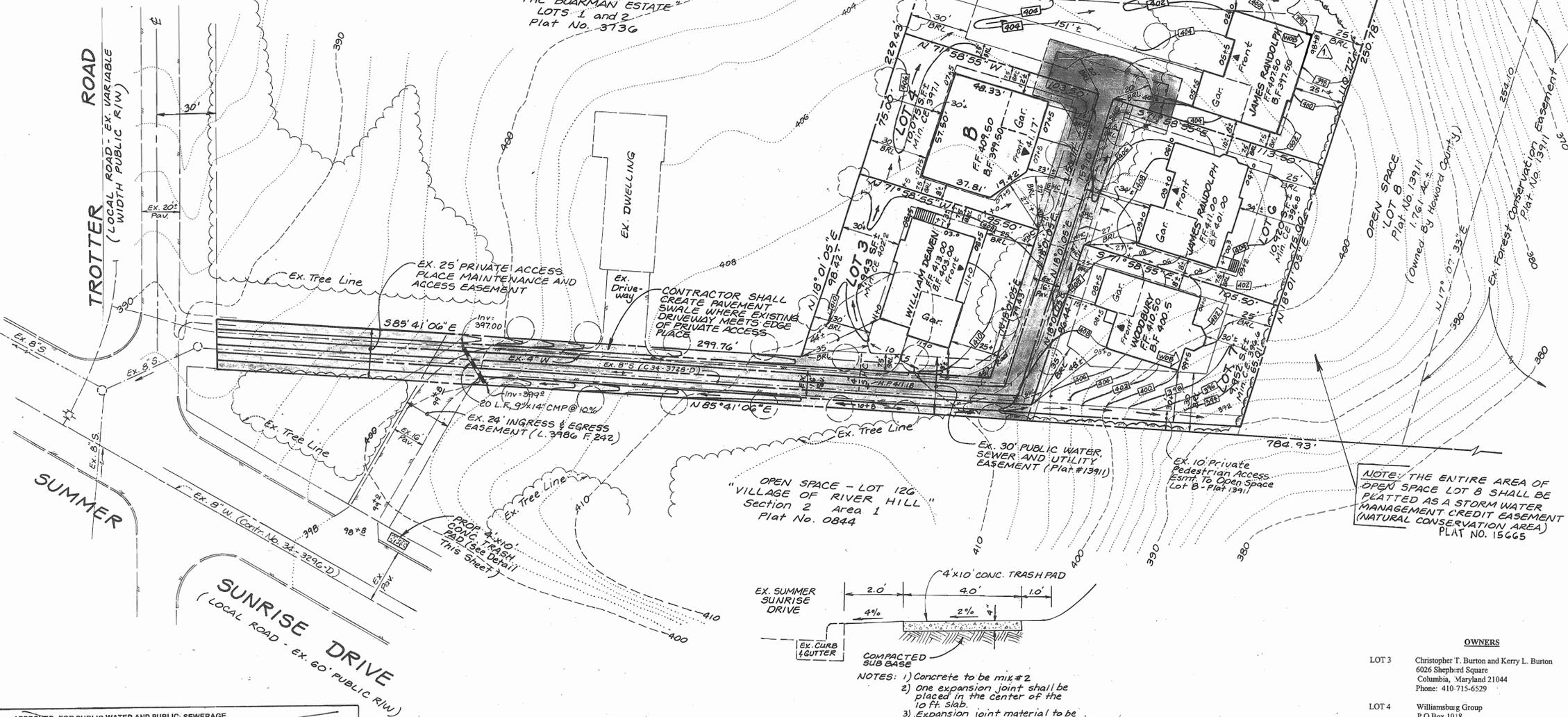
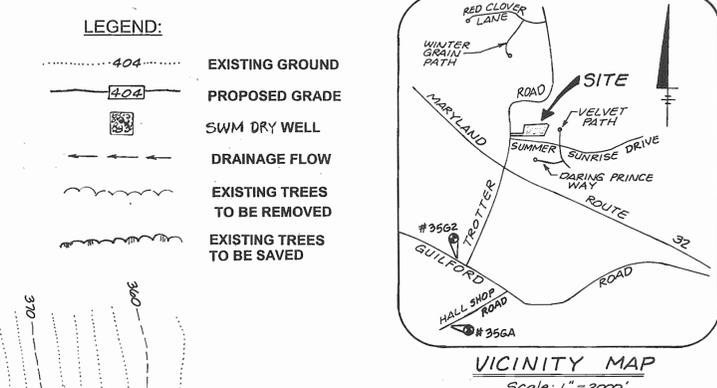


SECTION NUMBER	ROAD AND STREET CLASSIFICATION	PAVEMENT MATERIALS	
		FULL DEPTH BIT. CONC. ALTERNATE	GRAVEL BASE ALTERNATES
P-1	PARKING BAYS APARTMENTS AND COMMERCIAL-INDUSTRIAL ZONES WITH NO HEAVY TRUCKS	1" BIT. CONC. SURFACE 4" BIT. CONC. BASE	1" BIT. CONC. SURFACE 2" BIT. CONC. BASE 4" GRADED AGGREGATE (BASE 10A)

LOT NO.	GROSS AREA	PIPESTEM AREA	REMAINING AREA	MINIMUM LOT SIZE
3	9,943 SF	1,248 SF	8,695 SF	8,695 SF
4	10,075 SF	2,312 SF	7,763 SF	7,763 SF
5	21,722 SF	2,960 SF	18,762 SF	18,762 SF
6	10,920 SF	2,407 SF	8,513 SF	8,513 SF
7	9,952 SF	1,748 SF	8,204 SF	8,204 SF



- NOTES:**
- SITE ANALYSIS DATA CHART:
 - TOTAL PROJECT AREA: 1.44 AC +/- OR 62,812 SQ. FT. +/-
 - LIMIT OF DISTURBANCE: 56,192 SQ. FT.
 - PRESENT ZONING CLASSIFICATION: RED PER THE 10-18-83 COMPREHENSIVE ZONING PLAN
 - PROPOSED USE FOR SITE: SINGLE FAMILY DETACHED DWELLINGS
 - BUILDING COVERAGE: 0.26 AC +/- OR 11,205 SQ. FT. +/- (17.9%)
 - TOTAL NUMBER OF UNITS ALLOWED: 5
 - TOTAL NUMBER OF UNITS PROPOSED: 5
 - PLAT REFERENCE: NO. 13911 & 15665
 - COORDINATES BASED ON H&M 83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 356A AND NO. 3552 (STA. 356A: N 108830.8259 METERS, E 408185.8193 METERS; STA. 3552: N 108133.84 METERS, E 40279.3556 METERS)
 - THE TOPOGRAPHY SHOWN IS TAKEN FROM AN AERIAL TOPOGRAPHY (1988) AND BY FISHER, COLLINS & CARTER, INC. (1997)
 - SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS
 - IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
 - DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - WIDTH - 12' (SERVING MORE THAN ONE RESIDENCE)
 - SURFACE - 6" OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1 - 1/2" MIN.)
 - GEOMETRY - MAX. 15% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS
 - STRUCTURES (CULVERTS / BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING)
 - DRAINAGE ELEMENTS - CAPABLE OF PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE
 - MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER CONDITIONS
 - THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 18.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY ESTABLISHMENT OF A 0.85 ACRES ON-SITE RETENTION AREA (SEE P88-109). THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE SECTION 18.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. THE LANDSCAPING WAS PROVIDED FOR UNDER P88-109.
 - QUALITY STORMWATER MANAGEMENT (WQM) FOR ALL LOTS WILL BE MET VIA A NATURAL CONSERVATION CREDIT EASEMENT. RECHARGE (REV) WILL BE MET USING GRASS SWALES.
 - THIS PLAN IS SUBJECT TO ANY ORDINANCES WHICH THE PLANNING DIRECTOR APPROVED ON MARCH 7, 1996. A REQUEST TO WAIVE SECTION 18.1200(a)(9) ALLOWING MORE THAN TWO PIPESTEM LOTS TO HAVE ADJOINING DRIVEWAY ENTRANCES TO A PUBLIC RIGHT-OF-WAY AND SECTION 18.1210(a) WAIVING THE REQUIRED FRONTAGE OF AN OPEN SPACE LOT ON A PUBLIC ROAD PROVIDED THE FOLLOWING PROVISIONS ARE MET:
 - THE PRIVATE SEPTIC SYSTEM AND WELL (IF APPLICABLE) FOR THE EXISTING STRUCTURES MUST BE ABANDONED IN ACCORDANCE WITH THE ENVIRONMENTAL HEALTH DEPARTMENT'S REQUIREMENTS AND THE DWELLING CONNECTED TO PUBLIC WATER AND SEWER SYSTEMS AS A CONDITION OF FINAL SUBDIVISION APPROVAL.
 - THE EASEMENT FOR INGRESS AND EGRESS ACROSS LOT 128 MUST ACCOMPANY THE FINAL PLAT SUBMISSION.
 - SUFFICIENT ACCESS TO OPEN SPACE AND STORM WATER MANAGEMENT FACILITIES MUST BE PROVIDED BY EASEMENT.
 - A WAIVER FOR PAYMENT OF FEE-IN-LIEU OF STORM WATER MANAGEMENT IN THE AMOUNT OF \$11,000 WAS APPROVED ON 7/29/98.
 - PREVIOUS DPT FILE NUMBERS: P88-109 AND WP86-83 & F-03-51
 - THIS SITE DEVELOPMENT PLAN IS SUBJECT TO COMPLIANCE WITH THE FIFTH EDITION OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
 - REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE IS TO BE PROVIDED AT THE JUNCTION OF THE PRIVATE ACCESS PLACE AND THE ROAD RIGHT-OF-WAY.
 - THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 18.1200 OF THE HOWARD COUNTY FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, EXCEPT AS SHOWN ON THE APPROVED ROAD CONSTRUCTION DRAWING OR SITE DEVELOPMENT PLAN.
 - THE CONTRACTOR OR DEVELOPER SHALL CONTACT THE CONSTRUCTION INSPECTION DIVISION TWENTY-FOUR (24) HOURS IN ADVANCE OF COMMENCEMENT OF WORK AT 410-313-1880.

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

County Health Officer
Howard County Health Department

Date

ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR SUBDIVISION CONTROL REPRESENTS A PRACTICAL AND WORKABLE DESIGN, BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT I AM A LICENSED PROFESSIONAL ENGINEER IN ACCORDANCE WITH REQUIREMENTS OF THE HOWARD COUNTY SUBDIVISION DISTRICT."

BRUCE D. BURTON
SIGNATURE OF ENGINEER BRUCE D. BURTON
DATE 11/29/02

DEVELOPER'S CERTIFICATE

"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE RECORDING OF THESE PLANS AND THE HOWARD COUNTY SUBDIVISION DISTRICT OR THEIR AUTHORITY TO REVOKE AS DEEMED NECESSARY."

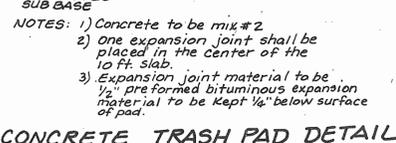
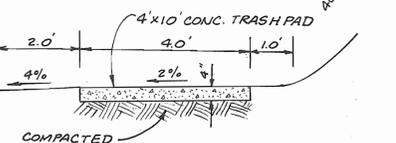
ROBERT CORBETT
SIGNATURE OF DEVELOPER - ROBERT CORBETT
DATE 10/31/02

APPROVED: DEPARTMENT OF PLANNING & ZONING

Chief, Development Engineering Division 11/2/02
Date

Chief, Division of Land Development 11/14/02
Date

Director 11/15/02
Date



No.	By	Date	Description
1	LDE	1/2003	Added 2' bump out to north rear of house, Lot 5

OWNERS

LOT 3 Christopher T. Burton and Kerry L. Burton
6026 Shepherd Square
Columbia, Maryland 21044
Phone: 410-715-6529

LOT 4 Williamsburg Group
P.O. Box 1018
Columbia, Maryland 21044
Phone: 410-997-8800

LOT 5 Laurie L. Bean
6509 Waving Tree Court
Columbia, Maryland 21044
410-531-9158

LOT 6 Timothy E. Morris and Marina D. Morris
6429 Quiet Night Ride
Columbia, Maryland 21044
410-531-6136

LOT 7 Williamsburg Group
P.O. Box 1018
Columbia, Maryland 21044
Phone: 410-997-8800

DEVELOPER

Williamsburg Group
P.O. Box 1018
Columbia, Maryland 21044
Phone: 410-997-8800

LOT NUMBER	STREET ADDRESS
3	6320 Summer Sunrise Drive
4	6322 Summer Sunrise Drive
5	6324 Summer Sunrise Drive
6	6326 Summer Sunrise Drive
7	6328 Summer Sunrise Drive

Subdivision Name	Section/Area	Lots
THE BOARMAN ESTATE		3-7

Plat # or L/P	Block #	Zone	Tax/Zone Map	Elect. Distr.	Conserv. Tract
139115665	14	RED	35	5th	605501

Water Code: I 12 Sewer Code: 6692500

LDE, INC.
9250 Rumsey Road, Suite 106, Columbia, MD. 21045
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

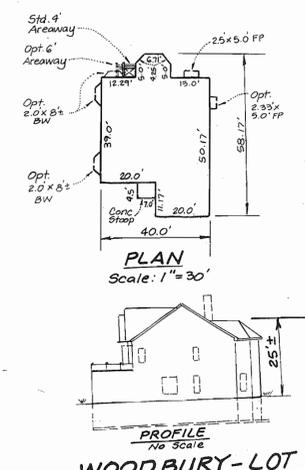
DESIGNED: BDB
DRAWN: KBW
CHECKED: BDB
DATE: 8/02

SITE DEVELOPMENT PLAN
THE BOARMAN ESTATE
LOTS 3-7

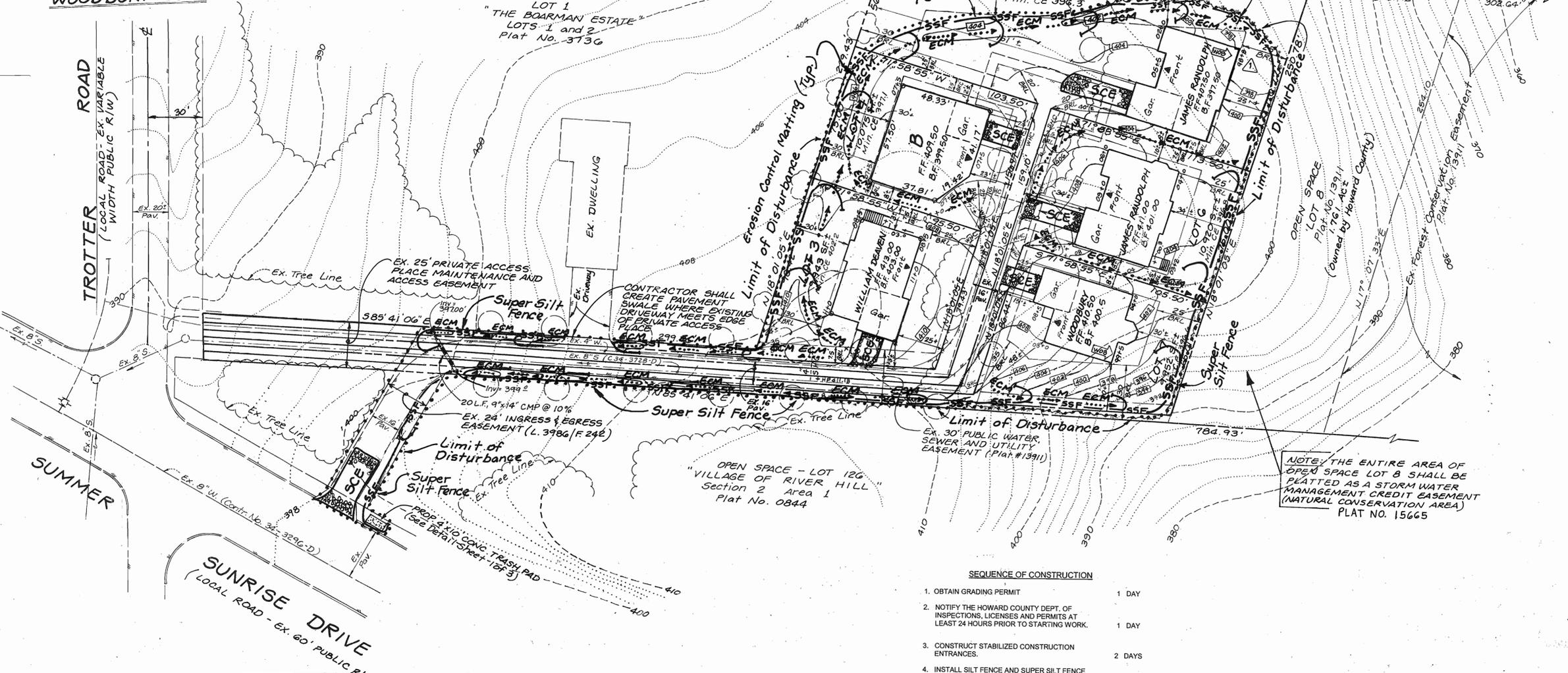
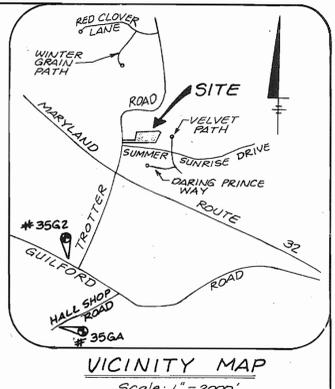
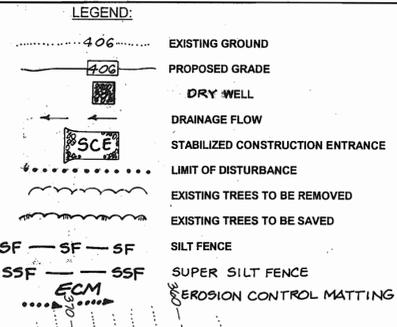
TAX MAP 35 BLOCK 14 P/O PARCEL 356
5th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
Previous Submittals: F 98-109, WP 96-83, F-03-51

SCALE: 1" = 30'
DRAWING: 1 OF 3
JOB NO.: SDP03-19
FILE NO.: SDP03-19

BUILDER
WILLIAMSBURG BUILDERS
P.O. Box 1018
Columbia, Maryland 21044
(410) 997-8800



WOODBURY - LOT 7



NOTE: THE ENTIRE AREA OF OPEN SPACE LOT 8 SHALL BE PLATTED AS A STORM WATER MANAGEMENT CREDIT EASEMENT (NATURAL CONSERVATION AREA) PLAT NO. 15665

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 County Health Officer
 Howard County Health Department
 Date

ENGINEER'S CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE DESIGN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THE INFORMATION PROVIDED IN ACCORDANCE WITH REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 Signature: Bruce D. Burdette
 Date: 11/29/02

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.
 Signature: Jim Meyer
 Date: 11/7/02

APPROVED: DEPARTMENT OF PLANNING & ZONING
 Signature: [Official Seal]
 Date: 11/12/02

SEQUENCE OF CONSTRUCTION

1. OBTAIN GRADING PERMIT	1 DAY
2. NOTIFY THE HOWARD COUNTY DEPT. OF INSPECTIONS, LICENSES AND PERMITS AT LEAST 24 HOURS PRIOR TO STARTING WORK.	1 DAY
3. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES.	2 DAYS
4. INSTALL SILT FENCE AND SUPER SILT FENCE AT LIMIT OF DISTURBANCE SHOWN HEREON.	5 DAYS
5. CLEAR AND GRUB SITE TO SUBGRADE.	5 DAYS
6. BEGIN EXCAVATION FOR HOUSE FOUNDATIONS AND BEGIN HOUSE CONSTRUCTION. INSTALL WATER AND SEWER CONNECTIONS.	120 DAYS
7. THE CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE ON THE SEDIMENT AND EROSION CONTROL STRUCTURES SHOWN HEREON AFTER EACH RAINFALL AND ON A DAILY BASIS.	DAILY
8. REMOVE SEDIMENT FROM ROADWAYS AND DRESS STABILIZED CONSTRUCTION ENTRANCE AS REQUIRED.	MAINTENANCE
9. FINE GRADE AND STABILIZE WITH PERMANENT SEEDING MIXTURE AND STRAW MULCH. INSTALL INDIVIDUAL DRIVEWAY AND HOUSE WALK.	5 DAYS
10. WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR REMOVE ALL SEDIMENT AND EROSION CONTROL MEASURES AND STABILIZE ANY REMAINING DISTURBED AREAS WITH PERMANENT SEEDING MIXTURE AND STRAW MULCH.	5 DAYS
TOTAL TIME:	144 DAYS

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 Signature: [Official Seal]
 Date: 10/29/02

REVISIONS

No.	By	Date	Description
1	NLDE	1/03	Added 2' bump out to north rear of house, Lot 5

LDE, INC.
 9250 Rumsey Road, Suite 106, Columbia, MD. 21045
 (410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

SEDIMENT & EROSION CONTROL PLAN
THE BOARMAN ESTATE
LOTS 3-7
 TAX MAP 35 BLOCK 14 P/O PARCEL 356
 5th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 Previous Submittals: F 98-109, WP 96-83, F-03-51

DESIGNED: BDB
 DRAWN: KBW
 CHECKED: BDB
 DATE: 8/02

SCALE: 1" = 30'
 DRAWING: 2 OF 3
 JOB NO.: 02-010
 FILE NO.: SDP03-19

BUILDER
WILLIAMSBURG BUILDERS
 P.O. Box 1018
 Columbia, Maryland 21044
 (410) 397-8800

**HOWARD SOIL CONSERVATION DISTRICT
STANDARD SEDIMENT CONTROL NOTES**

- A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction, (313-1853).
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the most current "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", and revisions thereto.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (Section G) for permanent seeding, temporary seeding, and mulching. Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:
Total Area of Site: 1.44 Acres
Area Disturbed: 1.23 Acres
Area to be roofed or paved: 0.56 Acres
Area to be vegetatively stabilized: 0.73 Acres
Total Cut: 10.50 Cu. Yds.
Total Fill: 10.50 Cu. Yds.
Offsite waste/borrow area location: 450 Cu. Yds. To Be Trucked offsite to approved location thru July 31, 2002.
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is received.
- Trenches for the construction of utilities is limited to three pipe lengths or that which can be back filled and stabilized within one working day, whichever is shorter.

**HOWARD SOIL CONSERVATION DISTRICT
PERMANENT SEEDING NOTES**

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, disking, or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules:

- PREFERRED** — Apply 2 tons per acre dolomitic limestone (92 lbs/1000sq. ft.) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000sq. ft.).
- ACCEPTABLE** — Apply 2 tons per acre dolomitic limestone (92 lbs/1000sq. ft.) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil.

SEEDING — For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000sq. ft.) of Kentucky 31 Tall Fescue (31) for the period May 1 thru August 14, seed with 60 lbs per acre (1.4 lbs/1000sq. ft.) of Kentucky 31 Tall Fescue and 2 lbs. per acre (.05 lbs/1000sq. ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) — 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) — Use sod. Option (3) — Seed with 60 lbs. per acre Kentucky 31 Tall Fescue and mulch 2 tons / acre well anchored straw.

MULCHING — Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000sq. ft.) of unwetted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000sq. ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000sq. ft.) for anchoring.

MAINTENANCE — Inspect all seeding areas and make needed repairs, replacements and reseeding.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

SEEDBED PREPARATION: — Loosen upper three inches of soil by raking, disking, or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: — Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000sq. ft.).

SEEDING — For periods March 1 thru April 30, and from August 15 thru October 15 seed with 2-1/2 bushels per acre of annual rye (3.2 lbs/1000sq. ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre (.07 lbs/1000sq. ft.) of weeping lovegrass. For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

MULCHING — Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000sq. ft.) of unwetted weed free small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000sq. ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000sq. ft.) for anchoring.

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for additional rates and methods not covered.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

County Health Officer
Howard County Health Department

ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR SOIL CONSERVATION CONTROL REPRESENTS A PRACTICAL AND WORKABLE DESIGN BASED UPON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT I HAVE REVIEWED IN ACCORDANCE WITH REQUIREMENTS OF THE HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING."

Signature of Engineer: Bruce...
Date: 10/29/02

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS ARE DEEMED NECESSARY."

Signature of Developer: Robert Corbett
Date: 10/21/02

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

Signature: Jim Meyer
Date: 11/7/02

Signature: John K...
Date: 11/7/02

Signature: John K...
Date: 11/7/02

Signature: John K...
Date: 11/7/02

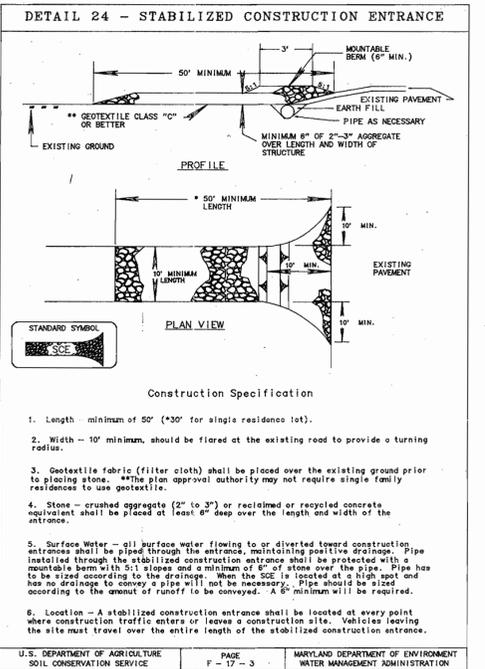
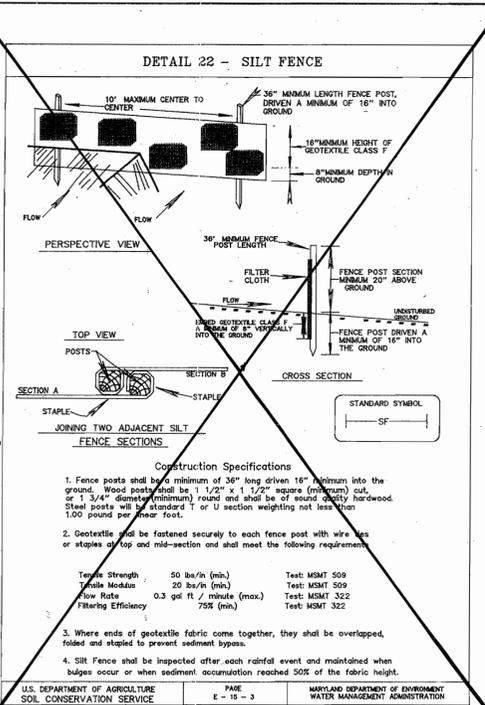
APPROVED: DEPARTMENT OF PLANNING & ZONING

Signature: [Signature]
Date: 11/12/02

Signature: [Signature]
Date: 11/14/02

Signature: [Signature]
Date: 11/15/02

Signature: [Signature]
Date: 11/15/02



21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

Definition
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose
To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies
This practice is limited to areas having 2:1 or flatter slopes where:
a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
c. The original soil to be vegetated contains material toxic to plant growth.
d. The soil is so acidic that treatment with limestone is not feasible.

Construction and Material Specifications
Topsoil salvaged from the existing site may be used provided that it meets the standards set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.

Topsoil Specifications - Soil to be used as topsoil must meet the following:

- Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, sticks, roots, trash, or other materials larger than 1/2" in diameter.
- Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, Johnsongrass, nutgrass, poison ivy, thistle, or others as specified.
- Where the subsoil is either highly acidic or composed of heavy clay, the topsoil shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

For sites having disturbed areas under 5 acres:

- Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

For sites having disturbed areas over 5 acres:

- On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
a. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
b. Organic content of topsoil shall be not less than 1.5 percent by weight.
c. Topsoil having soluble salt content greater than 500 parts per million shall not be used.
d. No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phyto-toxic materials.

Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.

ii. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

Topsoil Application

- When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
- Grades on the areas to be topsoiled, which have been previously established, shall be maintained, about 4" - 8" higher in elevation.
- Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
- Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:

- Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:
a. Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the property) by the Maryland Department of the Environment under COMAR 26.04.06.
b. Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
c. Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.
- Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb./1,000 square feet, and 1/3 the normal lime application rate.

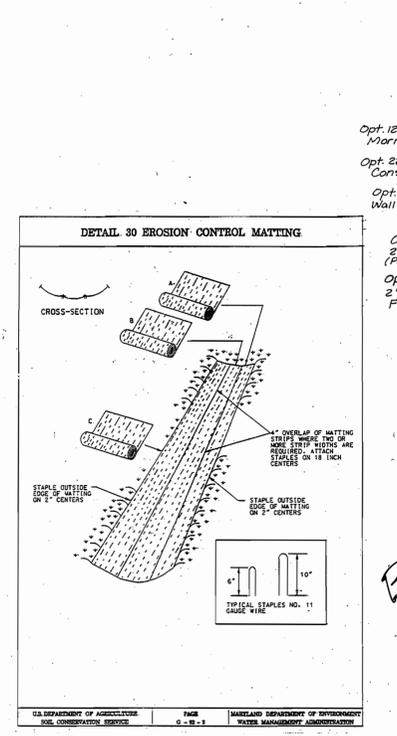
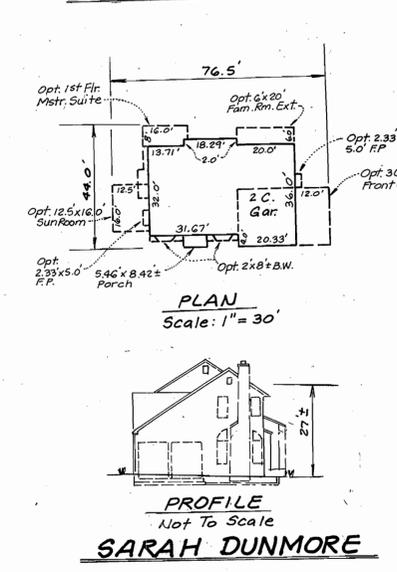
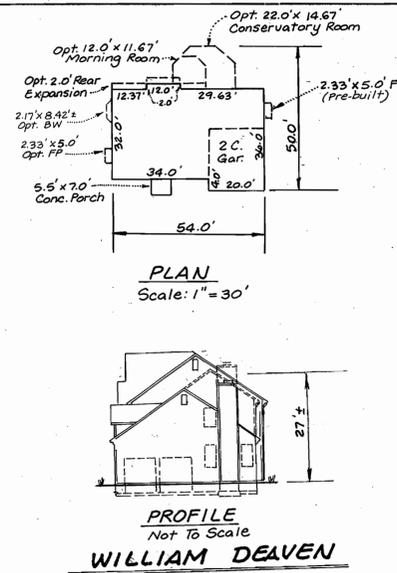
References: Guideline Specifications, Soil Preparation and Sodding. MD-VA, Pub. #1. Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institutes. Revised 1973.

EROSION CONTROL MATTING

Construction Specifications:

- Key-in the matting by placing the top ends of the matting in a narrow trench, 1/2" deep, in the trench and the trench and matting to conform to the original cross-section. Secure with a row of staples about 4" down slopes from the trench. Spacing between staples 15" on 6".
- Staples shall be spaced 2' apart with 4 rows for each strip; 2' over rows, and 2' alternating from down the center.
- Where use roll of matting and one corner begins, the end of the strip shall overlap the lower end of the lower strip by 4". Staple position. Matting is overlaid with a double row of staples spaced 4" apart in a staggered pattern on either side.
- The discharge end of the matting liner should be securely secured with 2 double rows of staples.

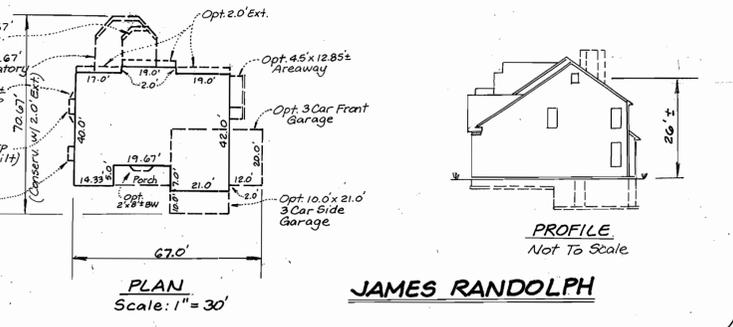
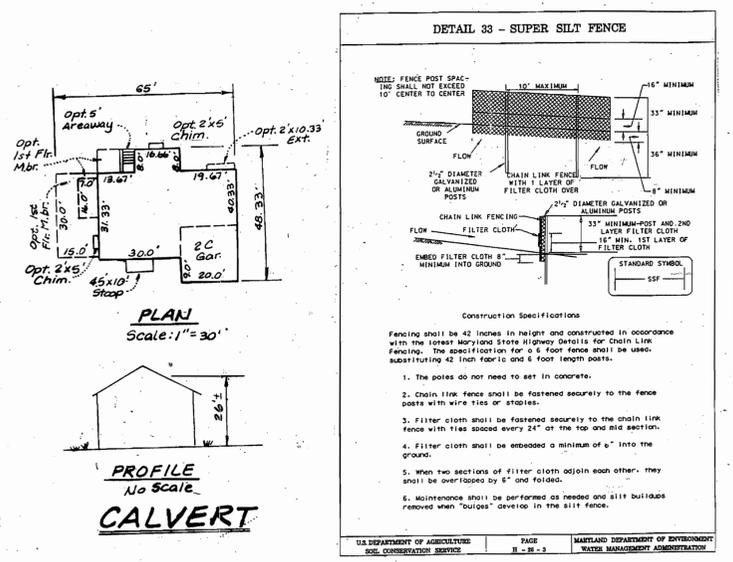
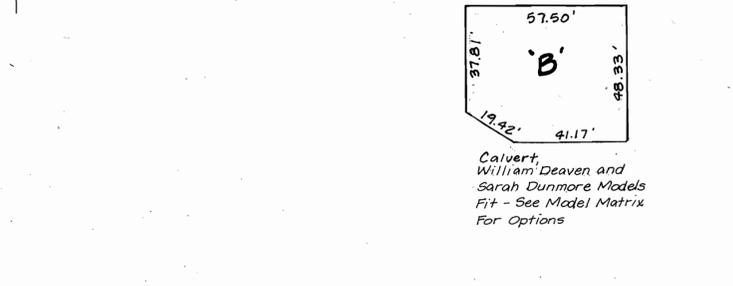
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE F-17-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



MODEL MATRIX

LOT NO.	WILLIAM DEAVEN	SARAH DUNMORE	CALVERT	JAMES RANDOLPH
4	(4)7	(5)2	(8)1(x)3(x)	*

- ① All Options Fit
② No 3 Car Front Load Garage
③ No 3 Car Side Load Garage
④ No Conservatory @ Rear
⑤ No Side Sun Room (12.5' x 16.0')
⑥ No Side Sun Room (15.0' x 22.0')
⑦ No Morning Room @ Rear
⑧ No Master Suite @ 1st Floor
⑨ No Sun Room @ Rear
⑩ No In law Suite @ 1st Floor
⑪ No 6 Ft. Family Room Ext.
* Model Does Not Fit w/in Generic Box



LDE, INC.
9250 Rumsey Road, Suite 106, Columbia, MD. 21045
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

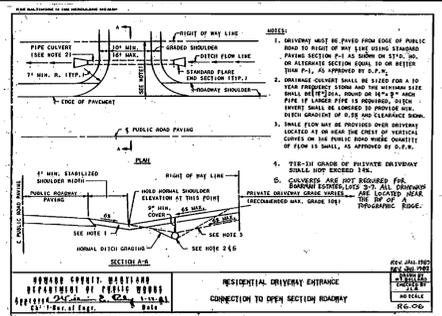
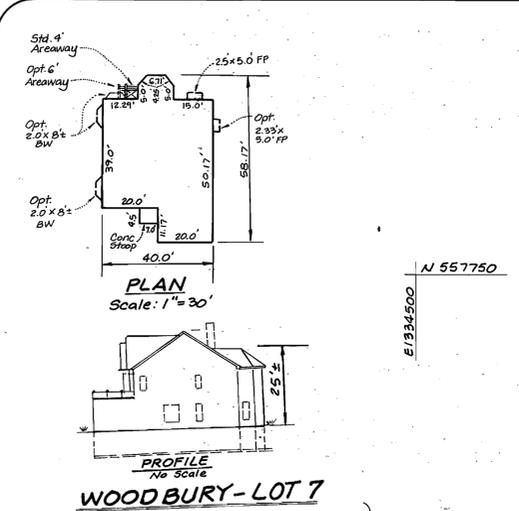
DESIGNED: BOB
DRAWN: KBW
CHECKED: BOB
DATE: 8/02

NOTES AND DETAILS
THE BOARMAN ESTATE
LOTS 3 - 7
TAX MAP 3- BLOCK 14 P/O PARCEL 356
5th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
Previous Submittals: F98-109, WP 96-83, F-03-51

SCALE: As Shown
DRAWING: 3 OF 3
JOB NO.: 02-01
FILE NO.: SDP03-19

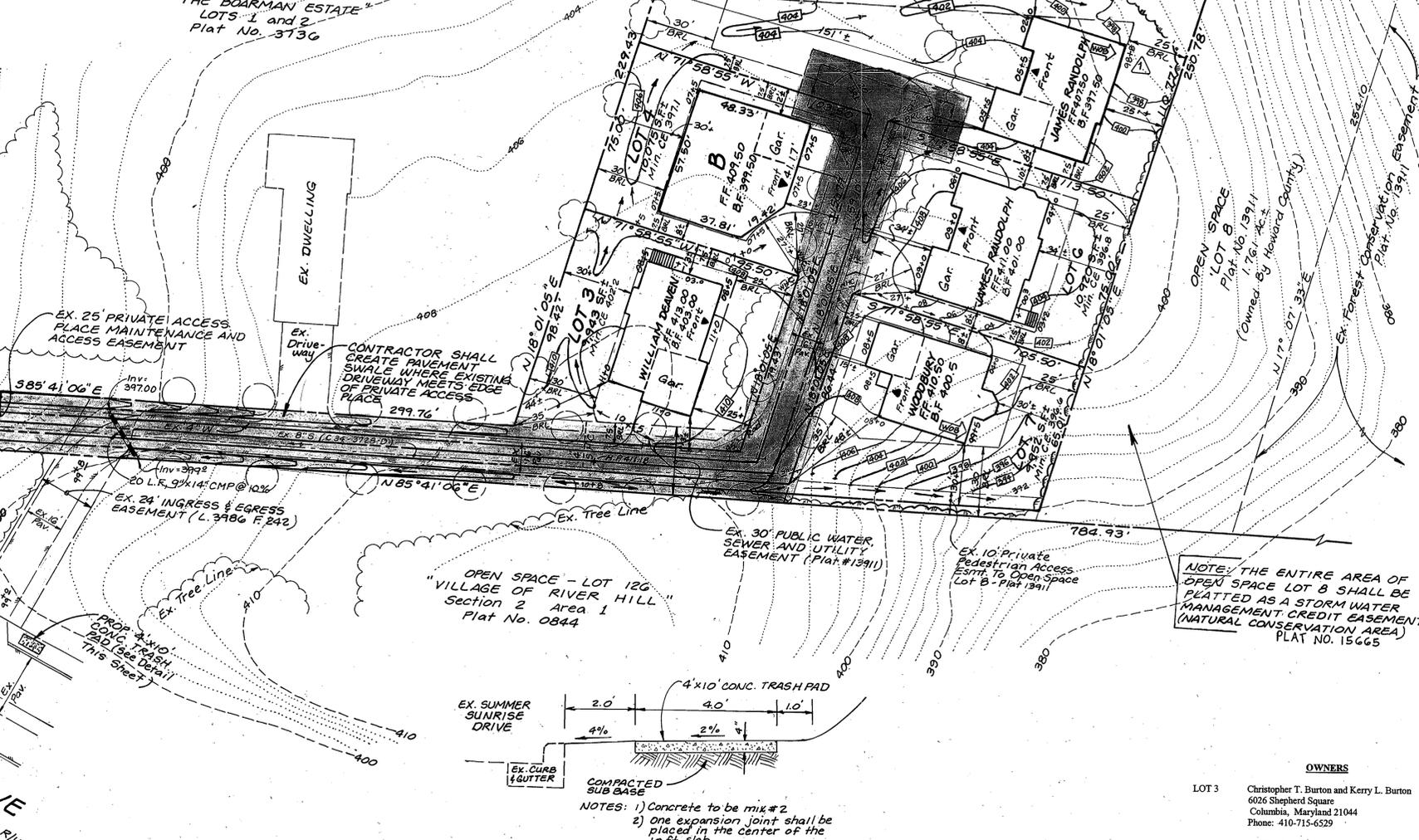
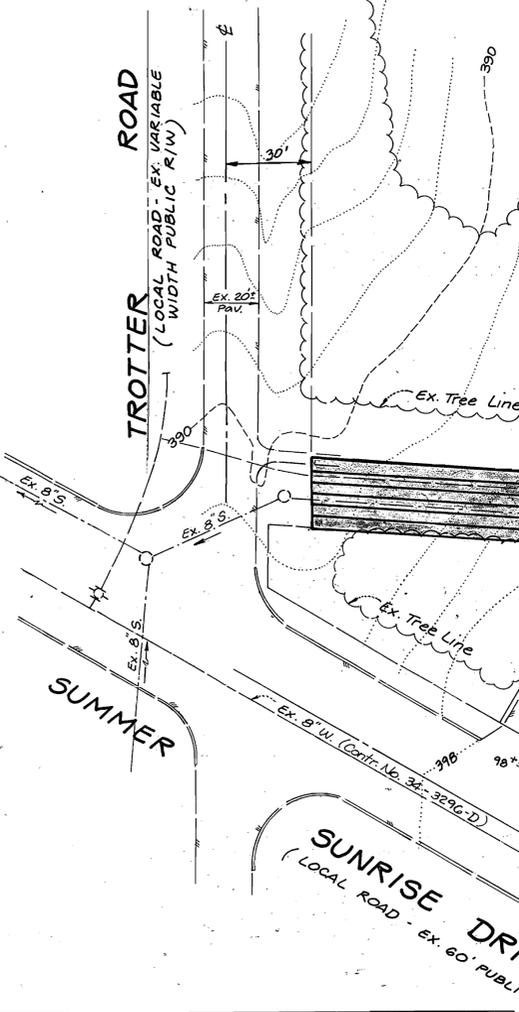
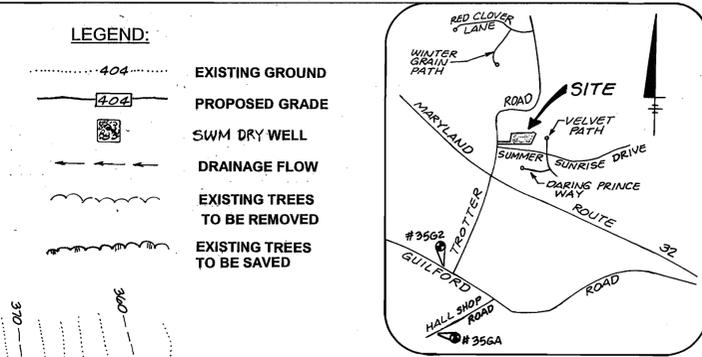
DRAWER/BUILDER: WILLIAMS BURG BUILDERS
P.O. Box 1018
Columbia, Maryland 21044
(410) 997-8800

SDP 03-19



SECTION NUMBER	ROAD AND STREET CLASSIFICATION	PAVEMENT MATERIALS	
		FULL DEPTH BIT. CONC. ALTERNATE	GRANULAR BASE ALTERNATES
P-1	PARKING BAYS, APARTMENTS AND COMMERCIAL-INDUSTRIAL ZONES WITH NO HEAVY TRUCKS	1" BIT. CONC. SURFACE 4" BIT. CONC. BASE	1" BIT. CONC. SURFACE 2" BIT. CONC. BASE
	TRAVELWAYS FOR APARTMENTS AND COMMERCIAL-INDUSTRIAL ZONES WITH NO HEAVY TRUCKS	1" BIT. CONC. SURFACE 4" BIT. CONC. BASE	4" GRADED AGGREGATE BASE (GAB)

LOT NO.	GROSS AREA	PIPESTEM AREA	REMAINING AREA	MINIMUM LOT SIZE
3	9,943 SF	1,248 SF	8,695 SF	8,695 SF
4	10,075 SF	2,312 SF	7,763 SF	7,763 SF
5	21,722 SF	2,960 SF	18,762 SF	18,762 SF
6	10,920 SF	2,407 SF	8,513 SF	8,513 SF
7	9,952 SF	1,748 SF	8,204 SF	8,204 SF



- NOTES:**
- SITE ANALYSIS DATA CHART:
 - TOTAL PROJECT AREA: 1.44 AC +/- OR 62,812 SQ. FT. +/-
 - LIMIT OF DISTURBANCE: 56,192 SQ. FT. +/-
 - PRESENT ZONING CLASSIFICATION: RED PER THE 10-18-93 COMPREHENSIVE ZONING PLAN
 - PROPOSED USE FOR SITE: SINGLE FAMILY DETACHED DWELLINGS
 - BUILDING COVERAGE: 0.26 AC OR 11,205 SQ. FT. (17.9%)
 - TOTAL NUMBER OF UNITS ALLOWED: 5
 - PLAT REFERENCE: NO. 13911 S 15649
 - TOTAL NUMBER OF UNITS PROPOSED: 5
 - COORDINATES BASED ON NAD 83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 356A AND NO. 3562 (STA. 356A: N 189153.849 METERS, E 408279.3856 METERS - STA. 3562: N 189153.849 METERS, E 408279.3856 METERS)
 - THE TOPOGRAPHY SHOWN IS TAKEN FROM AN AERIAL TOPOGRAPHY (1989) AND BY FISHER, COLLINS & CARTER, INC. (1997)
 - SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS
 - IN ACCORDANCE WITH SECTION 120 OF THE SOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
 - DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLING TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - WIDTH - 12' (14' SERVING MORE THAN ONE RESIDENCE)
 - SURFACE - 5" OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1 - 1/2" MIN.)
 - GEOMETRY - MAX. 15% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS
 - STRUCTURES (CULVERTS / BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (45' LOADING)
 - DRAINAGE ELEMENTS - CAPABLE OF PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE
 - MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER CONDITIONS
 - THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY ESTABLISHMENT OF A 0.85 ACRES ON-SITE RETENTION AREA (SEE F88-109)
 - THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. THE LANDSCAPING WAS PROVIDED FOR UNDER F88-109.
 - QUALITY STORMWATER MANAGEMENT (QWM) FOR ALL LOTS WILL BE MET VIA A NATURAL CONSERVATION CREDIT EASEMENT (NCCRE) WHICH WILL BE MET USING GRASS SWALES.
 - THIS PLAN IS SUBJECT TO WP 98-83 WHICH THE PLANNING DIRECTOR APPROVED ON MARCH 7, 1998. A REQUEST TO WAIVE SECTION 16.1200(X)(X) ALLOWING MORE THAN TWO PIPESTEM LOTS TO HAVE ADJOINING DRIVEWAY ENTRANCES TO A PUBLIC RIGHT-OF-WAY AND SECTION 16.121(D) WAIVING THE REQUIRED FRONTAGE OF AN OPEN SPACE LOT ON A PUBLIC ROAD PROVIDED THE FOLLOWING PROVISIONS ARE MET:
 - THE PRIVATE SEPTIC SYSTEM AND WELL (IF APPLICABLE) FOR THE EXISTING STRUCTURE(S) MUST BE ABANDONED IN ACCORDANCE WITH THE ENVIRONMENTAL HEALTH DEPARTMENT'S REQUIREMENTS AND THE DWELLING CONNECTED TO PUBLIC WATER AND SEWER SYSTEMS AS A CONDITION OF FINAL SUBDIVISION APPROVAL.
 - THE EASEMENT FOR INGRESS AND EGRESS ACROSS LOT 126 MUST ACCOMPANY THE FINAL PLAT SUBMISSION.
 - SUFFICIENT ACCESS TO OPEN SPACE AND STORM WATER MANAGEMENT FACILITIES MUST BE PROVIDED BY EASEMENT.
 - A WAIVER FOR PAYMENT OF FEES FOR STORM WATER MANAGEMENT IN THE AMOUNT OF \$11,000 WAS APPROVED ON 7/29/98
 - PREVIOUS DCF FILE NUMBERS: F88-109 AND WP98-83 (F-09-51)
 - THIS SITE DEVELOPMENT PLAN IS SUBJECT TO COMPLIANCE WITH THE FIFTH EDITION OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS
 - REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE IS TO BE PROVIDED AT THE JUNCTION OF THE PRIVATE ACCESS PLACE AND THE ROAD RIGHT-OF-WAY
 - THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT EXCEPT AS SHOWN ON THE APPROVED ROAD CONSTRUCTION DRAWING OR SITE DEVELOPMENT PLAN.
 - THE CONTRACTOR OR DEVELOPER SHALL CONTACT THE CONSTRUCTION INSPECTION DIVISION TWENTY (20) HOURS IN ADVANCE OF COMMENCEMENT OF WORK AT 410-313-1880.

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 County Health Officer
 Howard County Health Department
 Date

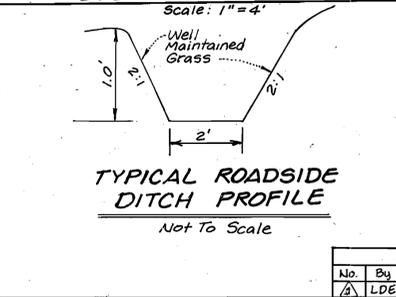
ENGINEER'S CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN FOR THE SUBDIVISION CONTROL REPRESENTS A PRACTICAL AND WORKABLE ARRANGEMENT OF PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH REQUIREMENTS OF THE SUBDIVISION CONTROL DISTRICT.
 Signature of Engineer: Bruce D. Burton
 Date: 10/29/02

DEVELOPER'S CERTIFICATE
 I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE THE ENGINEER TO SIGN AND SUBMIT THIS PLAN TO THE SUBDIVISION CONTROL DISTRICT ON BEHALF OF THE DEVELOPER IF NECESSARY.
 Signature of Developer: Robert Corbett
 Date: 10/31/02

APPROVED: DEPARTMENT OF PLANNING & ZONING
 Chief, Development Engineering Division
 Date: 11/2/02

Chief, Division of Land Development
 Date: 11/14/02

Director
 Date: 11/15/02



LOT NO.	OWNER
LOT 3	Christopher T. Burton and Kerry L. Burton 6026 Shepherd Square Columbia, Maryland 21044 Phone: 410-715-6529
LOT 4	Williamsburg Group P.O. Box 1018 Columbia, Maryland 21044 Phone: 410-997-8800
LOT 5	Laurie L. Bean 6509 Waving Tree Court Columbia, Maryland 21044 410-531-9168
LOT 6	Timothy E. Morris and Marina D. Morris 6429 Quiet Night Ride Columbia, Maryland 21044 410-531-6186
LOT 7	Williamsburg Group P.O. Box 1018 Columbia, Maryland 21044 Phone: 410-997-8800

ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
3	6320 Summer Sunrise Drive
4	6322 Summer Sunrise Drive
5	6324 Summer Sunrise Drive
6	6326 Summer Sunrise Drive
7	6328 Summer Sunrise Drive

PERMIT INFORMATION CHART					
Subdivision Name	THE BOARMAN ESTATE	Section/Area		Lots	3-7
Plat # or L/F	13911/15646	Block #	14	Zone	RED
		Tax/Zone Map	35	Elect Dist	5th
		Consent Tract			G05501
Water Code	I 12	Sewer Code	6692500		

LDE, INC.
 9250 Rumsey Road, Suite 106, Columbia, MD. 21045
 (410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

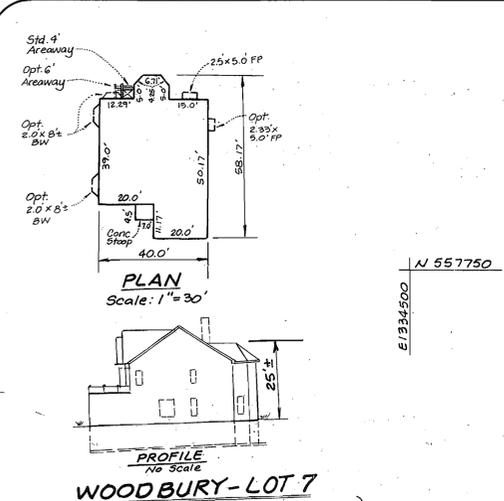
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 CHECKED: BDB
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SCALE: 1" = 30'
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 JOB NO.: 02-016
 FILE NO.: SDP03-19

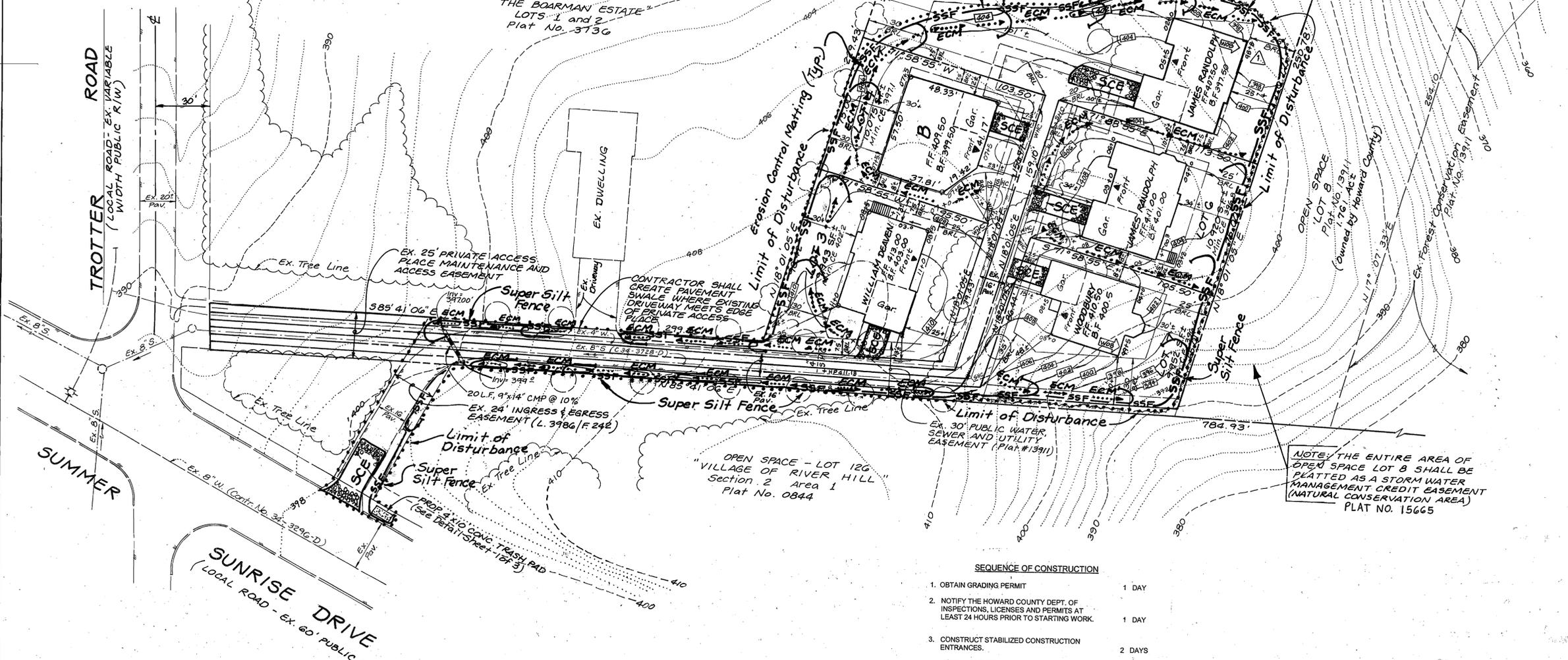
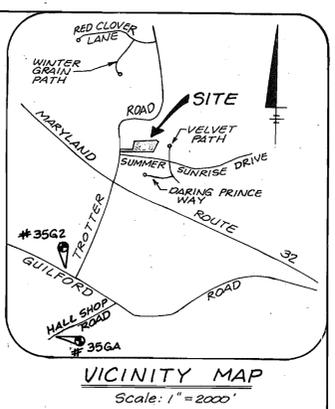
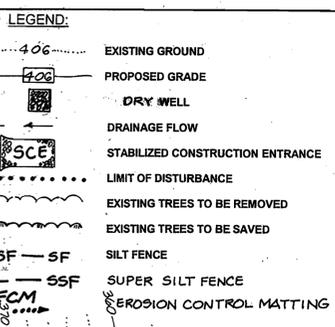
SITE DEVELOPMENT PLAN
THE BOARMAN ESTATE
 LOTS 3 - 7
 TAX MAP 35 BLOCK 14 P/O PARCEL 356
 5th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 Previous Submittals: F 98-109, WP 96-83, F-03-51

DEVELOPER
 Williamsburg Group
 P.O. Box 1018
 Columbia, Maryland 21044
 Phone: 410-997-8800

BUILDER
 WILLIAMSBURG BUILDERS
 P.O. Box 1018
 Columbia, Maryland 21044
 (410) 997-8800



WOODBURY - LOT 7



NOTE: THE ENTIRE AREA OF OPEN SPACE LOT 8 SHALL BE PLATTED AS A STORM WATER MANAGEMENT CREDIT EASEMENT (NATURAL CONSERVATION AREA) PLAT NO. 15665

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
County Health Officer
Howard County Health Department

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE DESIGN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND AS PREPARED IN ACCORDANCE WITH REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
Bruce D. Burton
11/29/02
DATE

DEVELOPER'S CERTIFICATE
I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC VISIT INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.
10/21/02
DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.
Jim Meyer
11/7/02
DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
11/7/02
DATE

APPROVED: DEPARTMENT OF PLANNING & ZONING
Chief, Development Engineering Division
11/12/02
DATE

Chief, Division of Land Development
11/14/02
DATE

Director
11/15/02
DATE

SEQUENCE OF CONSTRUCTION

1. OBTAIN GRADING PERMIT	1 DAY
2. NOTIFY THE HOWARD COUNTY DEPT. OF INSPECTIONS, LICENSES AND PERMITS AT LEAST 24 HOURS PRIOR TO STARTING WORK.	1 DAY
3. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES.	2 DAYS
4. INSTALL SILT FENCE AND SUPER SILT FENCE AT LIMIT OF DISTURBANCE SHOWN HEREON.	5 DAYS
5. CLEAR AND GRUB SITE TO SUBGRADE.	5 DAYS
6. BEGIN EXCAVATION FOR HOUSE FOUNDATIONS AND BEGIN HOUSE CONSTRUCTION. INSTALL WATER AND SEWER CONNECTIONS.	120 DAYS
7. THE CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE ON THE SEDIMENT AND EROSION CONTROL STRUCTURES SHOWN HEREON AFTER EACH RAINFALL AND ON A DAILY BASIS.	DAILY
8. REMOVE SEDIMENT FROM ROADWAYS AND DRESS STABILIZED CONSTRUCTION ENTRANCE AS REQUIRED.	MAINTENANCE
9. FINE GRADE AND STABILIZE WITH PERMANENT SEEDING MIXTURE AND STRAW MULCH. INSTALL INDIVIDUAL DRIVEWAY AND HOUSEWALK.	5 DAYS
10. WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR REMOVE ALL SEDIMENT AND EROSION CONTROL MEASURES AND STABILIZE ANY REMAINING DISTURBED AREAS WITH PERMANENT SEEDING MIXTURE AND STRAW MULCH.	5 DAYS
TOTAL TIME:	144 DAYS



REVISIONS

No.	By	Date	Description
1	LDE	1/03	Added 2' bump out to north rear of house, Lot 5

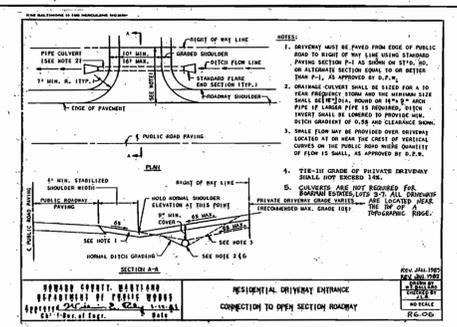
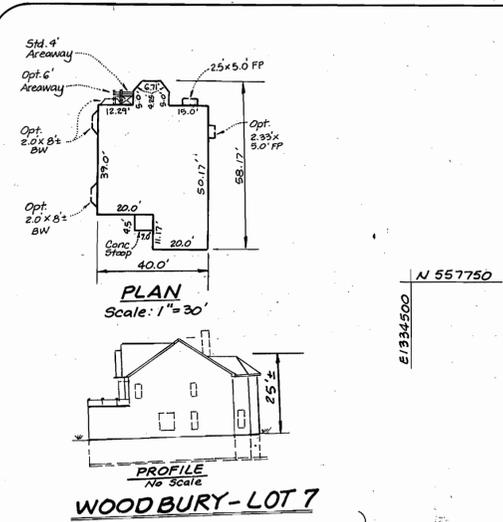
LDE, INC.
9250 Rumsey Road, Suite 106, Columbia, MD. 21045
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED: BDB
DRAWN: KBW
CHECKED: BDB
DATE: 8/02

SEDIMENT & EROSION CONTROL PLAN
THE BOARMAN ESTATE
LOTS 3-7
TAX MAP 35 BLOCK 14 P/O PARCEL 356
5th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
Previous Submittals: F 98-109, WP 96-83, F-03-5

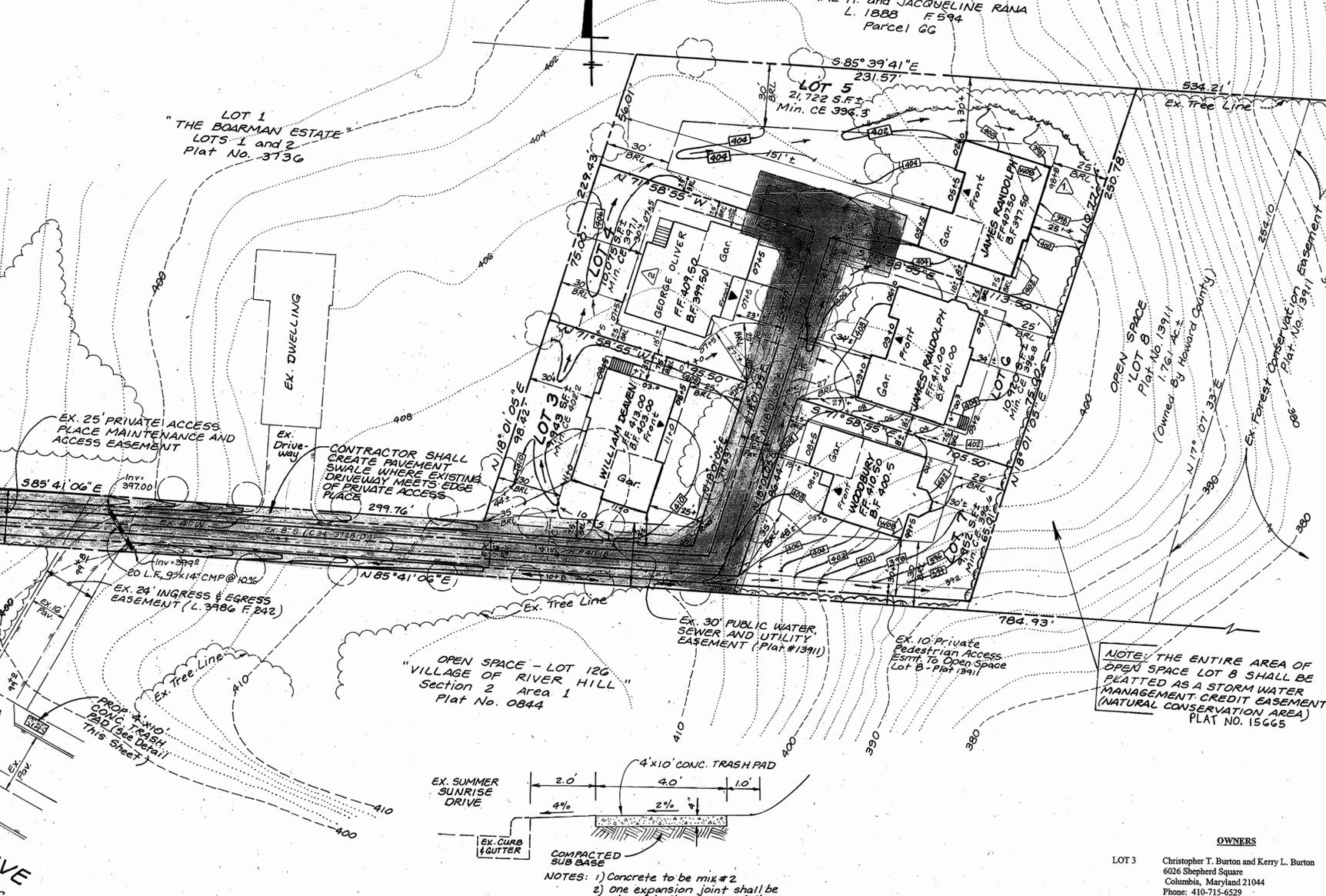
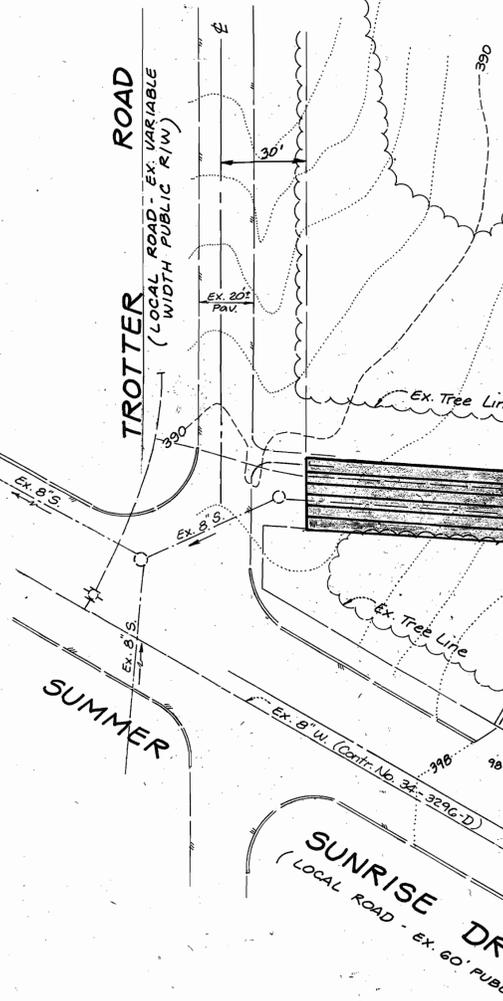
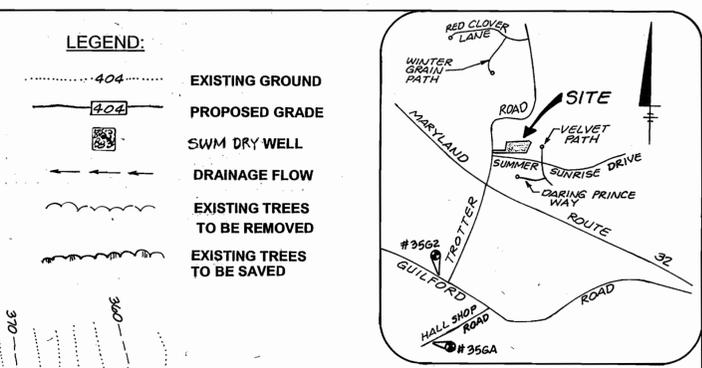
SCALE: 1" = 30'
DRAWING: 2 OF 3
JOB NO.: 02-016
FILE NO.: SDP03-19

BUILDER
WILLIAMSBURG BUILDERS
P.O. Box 1018
Columbia, Maryland 21044
(410) 337-8800



SECTION NUMBER	ROAD AND STREET CLASSIFICATION	PAVEMENT MATERIALS	
		FULL DEPTH BIT. CONC. ALTERNATE	GRAVEL BASE ALTERNATES
P-1	PARKING BAYS APARTMENTS AND COMMERCIAL-INDUSTRIAL ZONES WITH HEAVY TRUCKS TRAVELING FOR APARTMENTS AND COMMERCIAL INDUSTRIAL ZONES WITH HEAVY TRUCKS	1" BIT. CONC. SURFACE 4" BIT. CONC. BASE	1" BIT. CONC. SURFACE 2" BIT. CONC. BASE
PAVING SECTIONS P-1 THROUGH P-4		APPROVED BY: [Signature]	

LOT NO.	GROSS AREA	PIPESTEM AREA	REMAINING AREA	MINIMUM LOT SIZE
3	9,943 SF	1,248 SF	8,695 SF	8,695 SF
4	10,075 SF	2,312 SF	7,763 SF	7,763 SF
5	21,722 SF	2,960 SF	18,762 SF	18,762 SF
6	10,920 SF	2,407 SF	8,513 SF	8,513 SF
7	9,952 SF	1,748 SF	8,204 SF	8,204 SF



- LEGEND:**
- 404
 - 402
 - EXISTING GROUND
 - PROPOSED GRADE
 - SWM DRY WELL
 - DRAINAGE FLOW
 - EXISTING TREES TO BE REMOVED
 - EXISTING TREES TO BE SAVED
- VICINITY MAP**
Scale: 1" = 200'
- NOTES:**
- SITE ANALYSIS DATA CHART:
 - TOTAL PROJECT AREA: 1.44 AC. +/- OR 62,612 SQ. FT. +/-
 - LIMIT OF DISTURBANCE: 58,192 SQ. FT. +/-
 - PRESENT ZONING CLASSIFICATION: RED PER THE 10-18-93 COMPREHENSIVE ZONING PLAN
 - PROPOSED USE FOR SITE: SINGLE FAMILY DETACHED DWELLINGS
 - BUILDING COVERAGE: 0.28 AC. OR 11,205 SQ. FT. +/- (17.5%)
 - TOTAL NUMBER OF UNITS ALLOWED: 5
 - TOTAL NUMBER OF UNITS PROPOSED: 5
 - PLAT REFERENCE: NO. 15665
 - COORDINATES BASED ON NAD 83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 356A AND NO. 356Z (STA. 356A: N 16830.8259 METERS, E 40818.6193 METERS - STA. 356Z: N 169153.849 METERS, E 40279.3856 METERS)
 - THE TOPOGRAPHY SHOWN IS TAKEN FROM AN AERIAL TOPOGRAPHY (1989) AND BY FISHER, COLLINS & CARTER, INC. (1997)
 - SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS
 - IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, ANY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
 - DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLING TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - WIDTH - 12' (14' SERVING MORE THAN ONE RESIDENCE)
 - SURFACE - 6" OF COMPACTED CRUSHED RUN BASE WITH TAR AND CHIP COATING (1 - 1/2" MIN.)
 - GEOMETRY - MAX. 15% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS
 - STRUCTURES (CULVERTS / BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (105 KILOGRAMS)
 - DRAINAGE ELEMENTS - CAPABLE OF PASSING 10 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE
 - MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER CONDITIONS
 - THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY ESTABLISHMENT OF A 0.85 ACRES ONSITE RETENTION AREA (SEE P88-109)
 - THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE SECTION 16.1204 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. THE LANDSCAPING WAS PROVIDED FOR UNDER P88-109
 - QUALITY STORMWATER MANAGEMENT (QWM) FOR ALL LOTS WILL BE MET VIA A NATURAL CONSERVATION CREDIT (NCC) RESEARCH (REV) WILL BE MET USING GRASS SWALES
 - THIS PLAN IS SUBJECT TO WP 96-83 WHICH THE PLANNING DIRECTOR APPROVED ON MARCH 11, 1996. A RESOLUTION TO WAIVE SECTION 16.1200(X)(b) ALLOWING MORE THAN TWO PIPESTEM LOTS TO HAVE ADJOINING DRIVEWAY ENTRANCES TO A PUBLIC RIGHT-OF-WAY AND SECTION 16.121(00) WAIVING THE REQUIRED FRONTAGE OF AN OPEN SPACE LOT ON A PUBLIC ROAD PROVIDED THE FOLLOWING PROVISIONS ARE MET:
 - THE PRIVATE SEPTIC SYSTEM AND WELL (IF APPLICABLE) FOR THE EXISTING STRUCTURES) MUST BE ABANDONED IN ACCORDANCE WITH THE ENVIRONMENTAL HEALTH DEPARTMENT'S REQUIREMENTS AND THE DWELLING CONNECTED TO PUBLIC WATER AND SEWER SYSTEMS AS A CONDITION OF FINAL SUBDIVISION APPROVAL
 - THE EASEMENT FOR INGRESS AND EGRESS ACROSS LOT 128 MUST ACCOMPANY THE FINAL PLAT SUBMISSION
 - SUFFICIENT ACCESS TO OPEN SPACE AND STORM WATER MANAGEMENT FACILITIES MUST BE PROVIDED BY EASEMENT
 - A WAIVER FOR PAYMENT OF FEE UNDER SECTION 16.1200 WAS APPROVED ON 7/2/98
 - PREVIOUS DPZ FILE NUMBERS: P88-109 AND WP96-83, F-03-51
 - THIS SITE DEVELOPMENT PLAN IS SUBJECT TO COMPLIANCE WITH THE FIFTH EDITION OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS
 - REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE IS TO BE PROVIDED AT THE JUNCTION OF THE PRIVATE ACCESS PLACE AND THE ROAD RIGHT-OF-WAY
 - THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, EXCEPT AS SHOWN ON THE APPROVED ROAD CONSTRUCTION DRAWING OR SITE DEVELOPMENT PLAN
 - THE CONTRACTOR OR DEVELOPER SHALL CONTACT THE CONSTRUCTION INSPECTION DIVISION TWENTY-FOUR (24) HOURS IN ADVANCE OF COMMENCEMENT OF WORK AT 410-515-1888

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

County Health Officer
Howard County Health Department

Date

ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR SUBDIVISION CONTROL REPRESENTS A PRACTICAL AND WORKABLE DESIGN, AND IS BASED ON PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND ALL TERMS SPECIFIED IN ACCORDANCE WITH REQUIREMENTS OF THE HOWARD COUNTY SUBDIVISION DISTRICT."

Bruce D. Burton
SIGNATURE OF ENGINEER BRUCE D. BURTON
DATE 10/29/02

DEVELOPER'S CERTIFICATE

"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE THE HOWARD COUNTY FOREST CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS TO BE DEEMED NECESSARY."

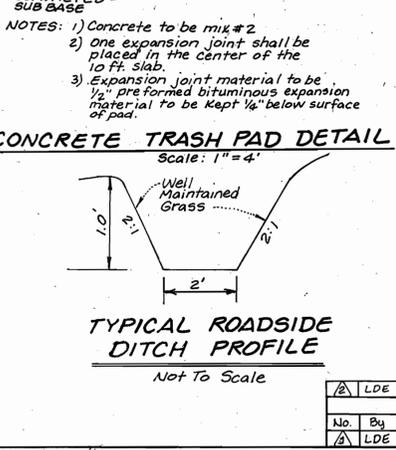
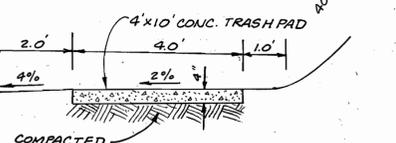
Robert Garbett
SIGNATURE OF DEVELOPER - ROBERT GARBETT
DATE 10/31/02

APPROVED: DEPARTMENT OF PLANNING & ZONING

[Signature] 4/12/02
Chief, Development Engineering Division

[Signature] 11/14/02
Chief, Division of Land Development

[Signature] 11/15/02
Director



OWNERS

LOT 3 Christopher T. Burton and Kerry L. Burton
6026 Shepherd Square
Columbia, Maryland 21044
Phone: 410-715-6529

LOT 4 Williamsburg Group
P.O. Box 1018
Columbia, Maryland 21044
Phone: 410-997-8800

LOT 5 Laurie L. Bean
6509 Waring Tree Court
Columbia, Maryland 21044
410-531-9168

LOT 6 Timothy E. Morris and Marina D. Morris
6429 Quiet Night Ride
Columbia, Maryland 21044
410-531-6186

LOT 7 Williamsburg Group
P.O. Box 1018
Columbia, Maryland 21044
Phone: 410-997-8800

DEVELOPER

Williamsburg Group
P.O. Box 1018
Columbia, Maryland 21044
Phone: 410-997-8800

REVISIONS

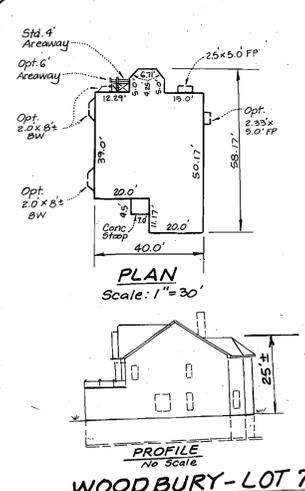
No.	By	Date	Description
1	LDE	2/2003	Lot 4, Revise House Type to George Oliver
2	LDE	1/2003	Added 2' bump out to north rear of house, Lot 5

LOT NUMBER	STREET ADDRESS
3	6320 Summer Sunrise Drive
4	6322 Summer Sunrise Drive
5	6324 Summer Sunrise Drive
6	6326 Summer Sunrise Drive
7	6328 Summer Sunrise Drive

Subdivision Name	THE BOARMAN ESTATE	Section/Area		Lots	3-7
Plat # or L/P	1391/15665	Block #	14	Zone	RED
Water Code	I 12	Tax/Zone Map	35	Elect. Dist.	5th
				Census Tract	60501
				Sewer Code	6692500

LDE, INC.
9250 Rumsey Road, Suite 106, Columbia, MD 21045
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

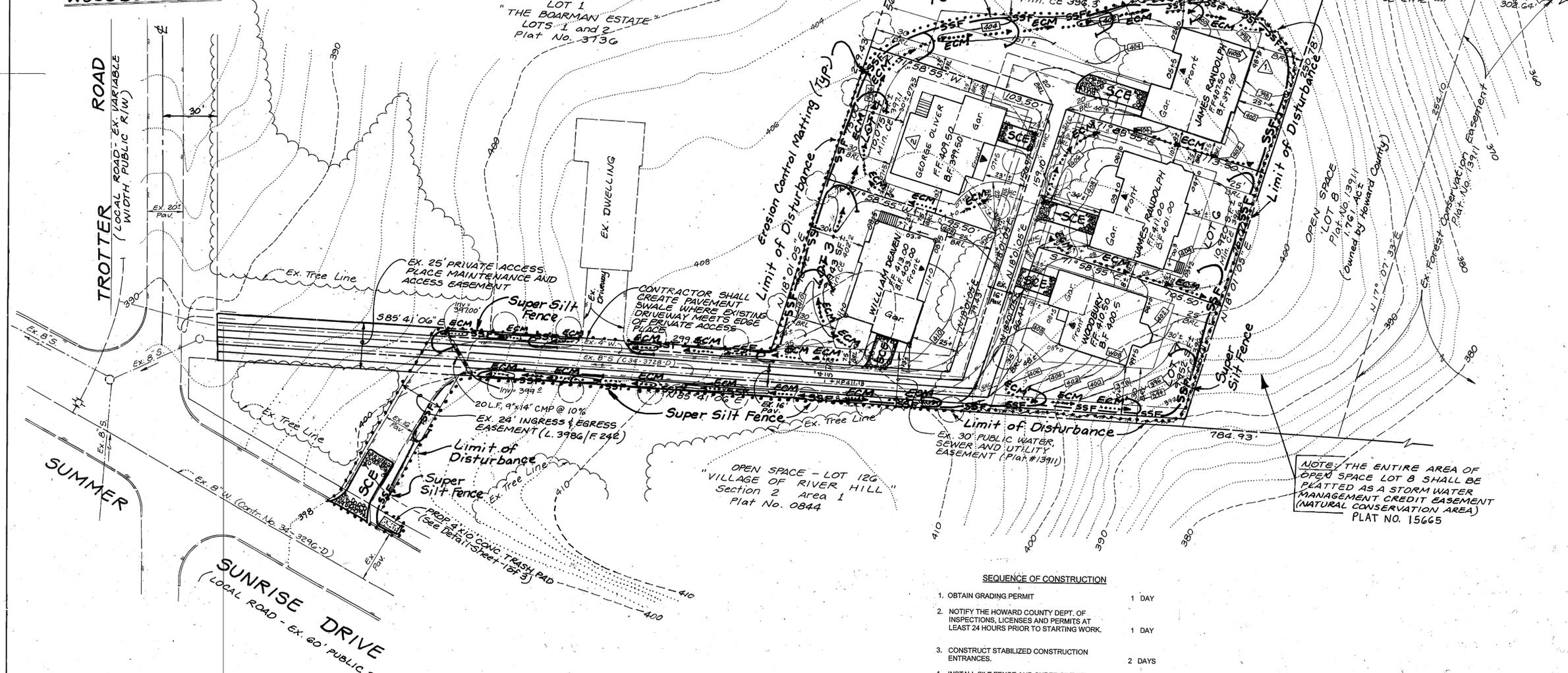
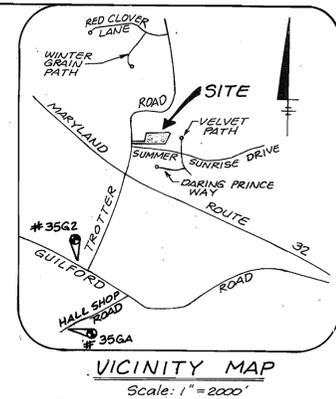
DESIGNED	SITE DEVELOPMENT PLAN	SCALE
BDB	THE BOARMAN ESTATE LOTS 3-7	1" = 30'
DRAWN	TAX MAP 35 BLOCK 14 P/O PARCEL 356	DRAWING
KBW	5th ELECTION DISTRICT	1 OF 3
CHECKED	HOWARD COUNTY, MARYLAND	JOB NO.
BDB	Previous Submittals: F 98-109, WP 96-83, F-03-51	02-016
DATE	WILLIAMSBURG BUILDERS	FILE NO.
8/02	P.O. Box 1018 Columbia, Maryland 21044 (410) 997-8800	SDP03-19



WOODBURY-LOT 7

LEGEND:

- 406..... EXISTING GROUND
- 406..... PROPOSED GRADE
- DRY WELL
- DRAINAGE FLOW
- SCE..... STABILIZED CONSTRUCTION ENTRANCE
- LIMIT OF DISTURBANCE
- EXISTING TREES TO BE REMOVED
- EXISTING TREES TO BE SAVED
- SF..... SILT FENCE
- SSF..... SUPER SILT FENCE
- ECM..... EROSION CONTROL MATTING



NOTE: THE ENTIRE AREA OF OPEN SPACE LOT 8 SHALL BE PLATTED AS A STORM WATER MANAGEMENT CREDIT EASEMENT (NATURAL CONSERVATION AREA) PLAT NO. 15665

SEQUENCE OF CONSTRUCTION

1. OBTAIN GRADING PERMIT	1 DAY
2. NOTIFY THE HOWARD COUNTY DEPT. OF INSPECTIONS, LICENSES AND PERMITS AT LEAST 24 HOURS PRIOR TO STARTING WORK.	1 DAY
3. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES.	2 DAYS
4. INSTALL SILT FENCE AND SUPER SILT FENCE AT LIMIT OF DISTURBANCE SHOWN HEREON.	5 DAYS
5. CLEAR AND GRUB SITE TO SUBGRADE.	5 DAYS
6. BEGIN EXCAVATION FOR HOUSE FOUNDATIONS AND BEGIN HOUSE CONSTRUCTION. INSTALL WATER AND SEWER CONNECTIONS	120 DAYS
7. THE CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE ON THE SEDIMENT AND EROSION CONTROL STRUCTURES SHOWN HEREON AFTER EACH RAINFALL AND ON A DAILY BASIS.	DAILY
8. REMOVE SEDIMENT FROM ROADWAYS AND DRESS STABILIZED CONSTRUCTION ENTRANCE AS REQUIRED.	MAINTENANCE
9. FINE GRADE AND STABILIZE WITH PERMANENT SEEDING MIXTURE AND STRAW MULCH. INSTALL INDIVIDUAL DRIVEWAY AND HOUSE WALK.	5 DAYS
10. WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR REMOVE ALL SEDIMENT AND EROSION CONTROL MEASURES AND STABILIZE ANY REMAINING DISTURBED AREAS WITH PERMANENT SEEDING MIXTURE AND STRAW MULCH.	5 DAYS
TOTAL TIME:	144 DAYS

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 County Health Officer
 Howard County Health Department

ENGINEER'S CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN AND THAT I HAVE PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THE CONSTRUCTION DISTRICT.
 Bruce D. Burton
 11/29/02
 PROFESSIONAL ENGINEER

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.
 Jim Meyer
 11/7/02
 SUPERVISOR

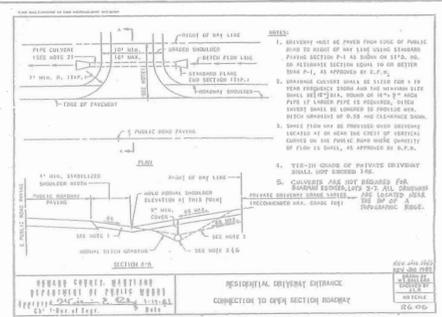
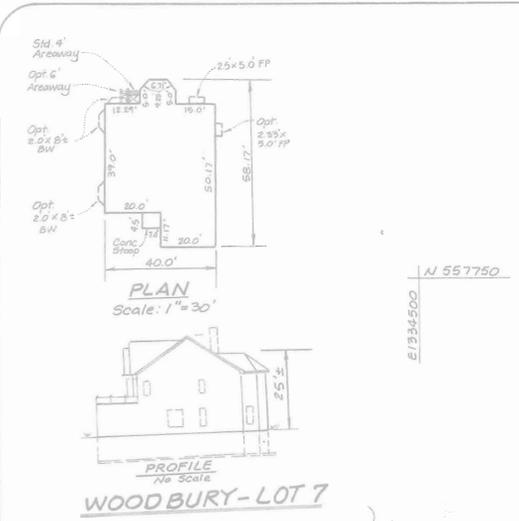
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 John Holmstedt
 11/7/02
 DIRECTOR

APPROVED: DEPARTMENT OF PLANNING & ZONING
 Chief, Development Engineering Division
 11/12/02
 Chief, Division of Land Development
 11/14/02
 Director
 11/15/02



LDE, INC.
 9250 Rumsey Road, Suite 106, Columbia, MD 21045
 (410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

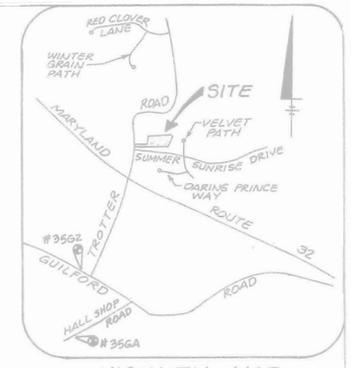
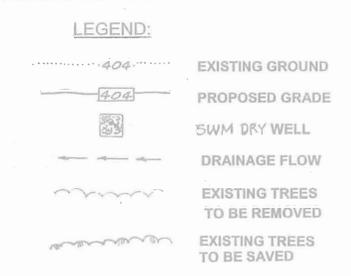
DESIGNED BDB	SEDIMENT & EROSION CONTROL PLAN	SCALE 1" = 30'
DRAWN KBW	THE BOARMAN ESTATE LOTS 3-7	DRAWING 2 OF 3
CHECKED BDB	TAX MAP 35 BLOCK 14 P/O PARCEL 356 5th ELECTION DISTRICT HOWARD COUNTY, MARYLAND Previous Submittals: F 98-109, WP 96-83, F-03-51	JOB NO. 02-016
DATE 8/02	BUILDER WILLIAMS BURG BUILDERS P.O. Box 1018 Columbia, Maryland 21044 (410) 397-8800	FILE NO. SDP03-19



SECTION NUMBER	ROAD AND STREET CLASSIFICATION	PAVEMENT MATERIALS	
		FULL DEPTH BIT. CONC. ALTERNATE	GRAVEL BASE ALTERNATE
P-1	PARKING BAYS, APARTMENTS AND COMMERCIAL, INDUSTRIAL ZONES WITH HEAVY TRUCKS TRANSITING FOR APARTMENTS AND COMMERCIAL, INDUSTRIAL ZONES WITH HEAVY TRUCKS	1" BIT. CONC. SURFACE 4" BIT. CONC. BASE	1" BIT. CONC. SURFACE 3" BIT. CONC. BASE

HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS
Approved: [Signature] Date: [Date]

LOT NO.	GROSS AREA	PIPESTEM AREA	REMAINING AREA	MINIMUM LOT SIZE
3	9,943 SF	1,248 SF	8,695 SF	8,695 SF
4	10,075 SF	2,312 SF	7,763 SF	7,763 SF
5	21,722 SF	2,960 SF	18,762 SF	18,762 SF
6	10,920 SF	2,407 SF	8,513 SF	8,513 SF
7	9,952 SF	1,748 SF	8,204 SF	8,204 SF



- NOTES:**
- SITE ANALYSIS DATA CHART:
 - TOTAL PROJECT AREA: 1.44 AC +/- OR 62,612 SQ. FT. +/-
 - LIMIT OF DISTURBANCE: 58,192 SQ. FT. +/-
 - PRESENT ZONING CLASSIFICATION: RED PER THE 10-18-83 COMPREHENSIVE ZONING ORDINANCE
 - PROPOSED USE FOR SITE: SINGLE FAMILY DETACHED DWELLINGS
 - BUILDING COVERAGE: 0.28 AC +/- OR 11,268 SQ. FT. +/- (17.9%)
 - TOTAL NUMBER OF UNITS ALLOWED: 5
 - TOTAL NUMBER OF UNITS PROPOSED: 5
 - PLAN REFERENCE: NO. 13011
 - COORDINATES BASED ON NAD 83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 3504 AND NO. 3502. (1 A, 3504 - 11 69030.829 METERS, E 608185.81 METERS - STA. 3502, 11 190153.849 METERS, E 40079.358 METERS) AND BY FISHER, COLLINS & CARTER, INC. (1987)
 - THE TOPOGRAPHY SHOWN IS TAKEN FROM AN AERIAL TOPOGRAPHY (1986) AND BY FISHER, COLLINS & CARTER, INC. (1987)
 - SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS
 - IN ACCORDANCE WITH SECTION 16.12 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 18 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACK, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK
 - DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLING TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - WIDTH - 12' (14' SERVING MORE THAN ONE RESIDENCE)
 - SURFACE - 1" OF COMPACTED 3/4" CRUSHED RUN BASE WITH TAR AND CHIP COATING (1 - 1/2" MIN)
 - GEOMETRY - MAX. 15% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45 TURNING RADIUS
 - STRUCTURES (CULVERTS / BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (255 LOADING)
 - DRAINAGE ELEMENTS - CAPABLE OF PASSING 10 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
 - MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER CONDITIONS
 - THIS PROJECT COMPLES WITH THE REQUIREMENTS OF SECTION 16.12 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY ESTABLISHMENT OF A 0.85 ACRES ONSITE RETENTION AREA (SEE P.8-109)
 - THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE SECTION 16.12 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. THE LANDSCAPING WAS PROVIDED FOR UNDER P.8-109
 - QUALITY STORMWATER MANAGEMENT (QSM) FOR ALL LOTS WILL BE MET VIA A NATURAL CONSERVATION CREDIT EASEMENT. RECHARGE (REV) WILL BE MET USING GRASS SWALES
 - THIS PLAN IS SUBJECT TO WP 98-83 WHICH THE PLANNING DIRECTOR APPROVED ON MARCH 7, 1998. A REQUEST TO WAIVE SECTION 16.12(b)(ix) ALLOWING MORE THAN TWO PIPESTEM LOTS TO HAVE ADJOINING DRIVEWAY ENTRANCES TO A PUBLIC RIGHT-OF-WAY AND SECTION 16.12(b)(x) WAIVING THE REQUIRED FRONTAGE OF AN OPEN SPACE LOT ON A PUBLIC ROAD PROVIDED THE FOLLOWING PROVISIONS ARE MET:
 - THE PRIVATE SEPTIC SYSTEM AND WELL (IF APPLICABLE) FOR THE EXISTING STRUCTURE(S) MUST BE ABANDONED IN ACCORDANCE WITH THE ENVIRONMENTAL HEALTH DEPARTMENT'S REQUIREMENTS AND THE DWELLING CONNECTED TO PUBLIC WATER AND SEWER SYSTEMS AS A CONDITION OF FINAL SUBDIVISION APPROVAL
 - THE EASEMENT FOR INGRESS AND EGRESS ACROSS LOT 126 MUST ACCOMPANY THE FINAL PLAT SUBMISSION
 - SUFFICIENT ACCESS TO OPEN SPACE AND STORM WATER MANAGEMENT FACILITIES MUST BE PROVIDED BY EASEMENT
 - A WAIVER FOR PAYMENT OF FEE-IN-LIEU OF STORM WATER MANAGEMENT IN THE AMOUNT OF \$11,000 WAS APPROVED ON 7/2/98
 - PREVIOUS DPZ FILE NUMBERS: F98-109 AND WP98-83 (F-03-05)
 - THIS SITE DEVELOPMENT PLAN IS SUBJECT TO COMPLIANCE WITH THE FIFTH EDITION OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS
 - PREPARE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE IS TO BE PROVIDED AT THE JUNCTION OF THE PRIVATE ACCESS PLACE AND THE ROAD RIGHT-OF-WAY
 - THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.12 OF THE HOWARD COUNTY FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, EXCEPT AS SHOWN ON THE APPROVED ROAD CONSTRUCTION DRAWING OR SITE DEVELOPMENT PLAN. ANY CONSTRUCTION SHALL CONTACT THE CONSTRUCTION INSPECTION DIVISION TWENTY-FOUR (24) HOURS IN ADVANCE OF COMMENCEMENT OF WORK AT 410-315-1390.



APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

County Health Officer
Howard County Health Department

ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR THE SUBDIVISION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN, AND MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT I AM A REGISTERED ENGINEER IN ACCORDANCE WITH REQUIREMENTS OF THE HOWARD COUNTY ZONING DISTRICT."

[Signature] Date: 4/12/02

DEVELOPER'S CERTIFICATE

"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE THE PREPARE OF THIS PLAN IN ACCORDANCE WITH THE HOWARD COUNTY CONSERVATION DISTRICT OR THEIR AUTHORIZED REPRESENTATIVE AS DEEMED NECESSARY."

[Signature] Date: 10/31/02

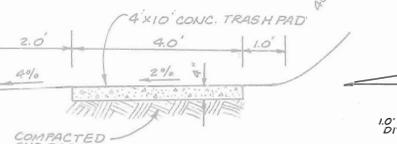
No.	By	Date	Description
1	LDE	1/2/04	Lot 7 extended bump out by 3' to rear of house
2	LDE	11/20/03	Revise contours & correct grades on Lots 3 & 4

APPROVED: DEPARTMENT OF PLANNING & ZONING

[Signature] Chief, Development Engineering Division Date: 4/12/02

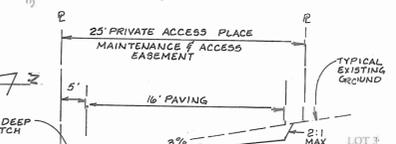
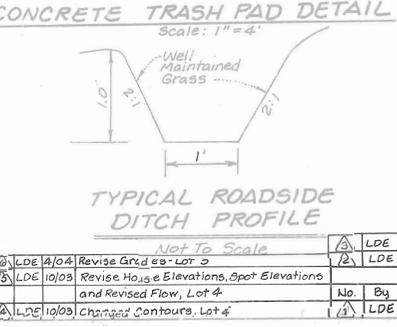
[Signature] Chief, Division of Land Development Date: 11/14/02

[Signature] Director Date: 11/15/02



NOTES:

- Concrete to be mix #2
- one expansion joint shall be placed in the center of the 10' x 10' slab
- Expansion joint material to be 1/2" pre formed bituminous expansion material to be kept 1/2" below surface of pad.



OWNERS

Christopher T. Burton and Kerry L. Burton
6026 Shepherd Square
Columbia, Maryland 21044
Phone: 410-715-6529

LOT 4
Williamsburg Group
P.O. Box 1018
Columbia, Maryland 21044
Phone: 410-997-8800

LOT 5
Laurie L. Bean
6509 Waving Tree Court
Columbia, Maryland 21044
410-531-9168

LOT 6
Timothy E. Morris and Marian D. Morris
6429 Quiet Night Ride
Columbia, Maryland 21044
410-531-6186

LOT 7
Williamsburg Group
P.O. Box 1018
Columbia, Maryland 21044
Phone: 410-997-8800

DEVELOPER
Williamsburg Group
P.O. Box 1018
Columbia, Maryland 21044
Phone: 410-997-8800

REVISIONS

No.	By	Date	Description
1	LDE	6/20/03	moved ditch on south side road added driveway culvert.
2	LDE	2/20/03	Lot 4. Revise House Type to George Oliver
3	LDE	10/03	Revise House Elevations, Spot Elevations and Revised Flow, Lot 4
4	LDE	10/03	Change Contours, Lot 4
5	LDE	1/20/03	Added 2' bump out to north rear of house, Lot 5

ADDRESS CHART

LOT NUMBER	STREET ADDRESS
3	6320 Summer Sunrise Drive
4	6322 Summer Sunrise Drive
5	6324 Summer Sunrise Drive
6	6326 Summer Sunrise Drive
7	6328 Summer Sunrise Drive

PERMIT INFORMATION CHART

Subdivision Name	Section/Area	Lots
THE BOARMAN ESTATE		3-7

Plat # or L/P	Block #	Zone	Tax/Zone Map	Elect Dist	Comm Trm
13911	14	RED	35	5th	605501

Water Code	Sewer Code
I12	6692500

LDE, INC.
9250 Rumsey Road, Suite 106, Columbia, MD 21045
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED
808

DRAWN
KAW

CHECKED
808

DATE
8/02

BUILDER
WILLIAMSBURG BUILDERS
P.O. Box 1018
Columbia, Maryland 21044
(410) 997-8800

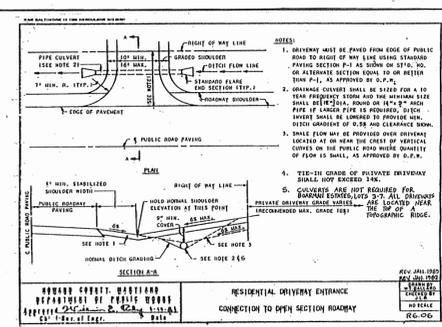
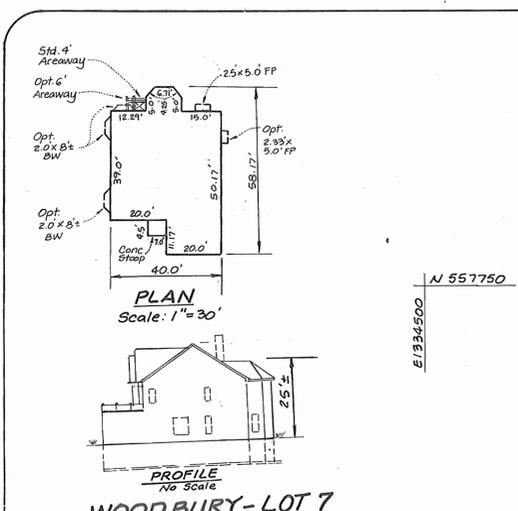
DESIGNED	SCALE
808	1" = 30'

THE BOARMAN ESTATE LOTS 3-7

TAX MAP 35 BLOCK 14 P/O PARCEL 356
5th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
Previous Submittals: F98-109, WP 96-83, F-03-51

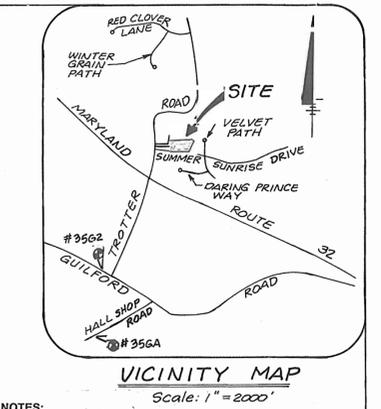
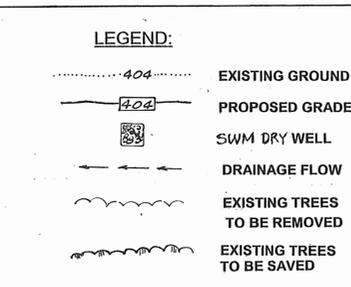
JOB NO.
02-016

FILE NO.
SDP03-19



SECTION NUMBER	ROAD AND STREET CLASSIFICATION	PAVEMENT MATERIALS	
		FULL DEPTH BIT. CONC. ALTERNATE	GRAVEL BASE ALTERNATE
P-1	PARKING BAYS APARTMENTS AND COMMERCIAL INDUSTRIAL ZONES WITH HEAVY TRUCKS FOR APARTMENTS AND COMMERCIAL INDUSTRIAL ZONES WITH HEAVY TRUCKS	1" BIT. CONC. SURFACE 4" BIT. CONC. BASE	1" BIT. CONC. SURFACE 2" BIT. CONC. BASE 4" GRADED AGGREGATE (BASE 10:1)

LOT NO.	GROSS AREA	PIPESTEM AREA	REMAINING AREA	MINIMUM LOT SIZE
3	9,943 SF	1,248 SF	8,695 SF	8,695 SF
4	10,075 SF	2,312 SF	7,763 SF	7,763 SF
5	21,722 SF	2,960 SF	18,762 SF	18,762 SF
6	10,920 SF	2,407 SF	8,513 SF	8,513 SF
7	9,952 SF	1,748 SF	8,204 SF	8,204 SF



- NOTES:**
- SITE ANALYSIS DATA CHART:
 - TOTAL PROJECT AREA: 1.44 AC. +/- OR 26,512 SQ. FT. +/-
 - LIMIT OF DISTURBANCE: 58,192 SQ. FT. +/-
 - PRESENT ZONING CLASSIFICATION: RED PER THE 10-18-93 COMPREHENSIVE ZONING PLAN
 - PROPOSED USE FOR THIS SINGLE FAMILY DETACHED DWELLINGS
 - BUILDING COVERAGE: 0.28 AC. +/- OR 11,205 SQ. FT. +/- (17.9%)
 - TOTAL NUMBER OF UNITS ALLOWED: 5
 - TOTAL NUMBER OF UNITS PROPOSED: 5
 - PLAT REFERENCE: NO. 13911 & 15665
 - COORDINATES BASED ON ROAD 53 MARYLAND AND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 355A AND NO. 355Z (STA. 355A: N 18833.849 METERS, E 406185.6193 METERS - STA. 355Z: N 18933.949 METERS, E 406273.356 METERS)
 - THE TOPOGRAPHY SHOWN IS TAKEN FROM AN AERIAL TOPOGRAPHY (1995) AND BY FISHER, COLLINS & CARTER, INC. (1997)
 - SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS
 - IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
 - DRIVEWAYS SHALL BE PROVIDED PRIOR TO OCCUPANCY OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLING TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - WIDTH - 12' (4' SERVING MORE THAN ONE RESIDENCE).
 - SURFACE - 6" OF COMPACTED CRUSHER RUN BASE W/ TAR AND CHIP COATING (1" MIN.).
 - GEOMETRY - MAX. 15% GRADE; MAX. 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS.
 - STRUCTURES (CULVERTS, BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (125 LOADING)
 - DRAINAGE ELEMENTS - CAPABLE OF PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
 - MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER CONDITIONS.
 - THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY ESTABLISHMENT OF A 0.85 ACRES ON SITE RETENTION AREA (SEE F98-109). THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. THE LANDSCAPING WAS PROVIDED UNDER PER-109.
 - QUALITY STORMWATER MANAGEMENT (WQM) FOR ALL LOTS WILL BE MET VIA A NATURAL CONSERVATION CREDIT EASEMENT. RECHARGE (RCV) WILL BE MET USING GRASS SWALES.
 - THE PRIVATE SEPTIC SYSTEM AND WELL (IF APPLICABLE) FOR THE EXISTING STRUCTURE(S) MUST BE ABANDONED IN ACCORDANCE WITH THE ENVIRONMENTAL HEALTH DEPARTMENT'S REQUIREMENTS AND THE DWELLING CONNECTED TO PUBLIC WATER AND SEWER SYSTEMS AS A CONDITION OF FINAL SUBDIVISION APPROVAL.
 - THE EASEMENT FOR INGRESS AND EGRESS ACROSS LOT 128 MUST ACCOMPANY THE FINAL PLAT SUBMISSION.
 - SUFFICIENT ACCESS TO OPEN SPACE AND STORM WATER MANAGEMENT FACILITIES MUST BE PROVIDED BY EASEMENT.
 - A WAIVER FOR PAYMENT OF FEE-IN-LIEU OF STORM WATER MANAGEMENT IN THE AMOUNT OF \$1,000 WAS APPROVED 5/17/09.
 - PREVIOUS DPZ FILE NUMBERS: F98-109 AND WP96-534 F-03-51
 - THIS SITE DEVELOPMENT PLAN IS SUBJECT TO COMPLIANCE WITH THE FIFTH EDITION OF THE HOWARD COUNTY SUBDIVISION AND DEVELOPMENT REGULATIONS.
 - REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE IS TO BE PROVIDED AT THE JUNCTION OF THE PRIVATE ACCESS PLACE AND ROAD RIGHT-OF-WAY.
 - THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, EXCEPT AS SHOWN ON THE APPROVED ROAD CONSTRUCTION DRAWING OR SITE DEVELOPMENT PLAN.
 - THE CONTRACTOR OF DEVELOPMENT SHALL CONTACT THE CONSTRUCTION INSPECTION DIVISION TWENTY-FOUR (24) HOURS IN ADVANCE OF COMMENCEMENT OF WORK AT 410-313-1830.



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 County Health Officer
 Howard County Health Department

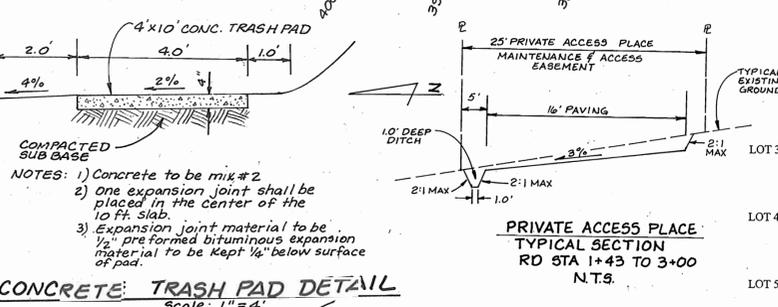
ENGINEER'S CERTIFICATE
 "I HEREBY CERTIFY THAT THIS PLAN FOR THE SUBDIVISION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN AND THAT I HAVE PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT I HAVE BEEN IN ACCORDANCE WITH REQUIREMENTS OF THE HOWARD COUNTY SUBDIVISION DISTRICT."
 SIGNATURE OF ENGINEER: BRUCE D. BURTON
 DATE: 10/29/02

DEVELOPER'S CERTIFICATE
 "I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND DIVISION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERSONNEL TO BE HONORED BY THE HOWARD COUNTY SUBDIVISION DISTRICT OR THEIR AUTHORIZED AGENTS WHEN NECESSARY."
 SIGNATURE OF DEVELOPER: ROBERT CORBETT
 DATE: 10/31/02

APPROVED: DEPARTMENT OF PLANNING & ZONING

Chief, Development Engineering Division: 11/12/02
 Chief, Division of Land Development: 11/14/02
 Director: 11/15/02

No.	By	Date	Description
1	LDE	7/14/05	Widen Shared Driveway, Install Speed Hump and Widen Parking Pad on Lot 5
2	LDE	11/20/04	Lot 7, extended bump out by 3' to rear of house
3	LDE	11/20/03	Revise Contours & Correct Grades on Lots 3 & 7



PRIVATE ACCESS PLACE TYPICAL SECTION RD STA 1+43 TO 3+00 N.T.S.

No.	By	Date	Description
1	LDE	6/20/03	Removed ditch on south side road, added driveway culvert.
2	LDE	2/20/03	Lot 4, Revise House Type to George Oliver
3	LDE	10/03/02	Revise Grades - Lot 3 and Revised Flow, Lot 4
4	LDE	10/03/02	Changed Contours, Lot 4

OWNERS

LOT 3: Christopher T. Burton and Kerry L. Burton
 6026 Shepherd Square
 Columbia, Maryland 21044
 Phone: 410-715-6529

LOT 4: Williamsburg Group
 P.O. Box 1018
 Columbia, Maryland 21044
 Phone: 410-997-8800

LOT 5: Laurie L. Bean
 6509 Waving Tree Court
 Columbia, Maryland 21044
 410-531-9168

LOT 6: Timothy E. Morris and Marina D. Morris
 6429 Quiet Night Ride
 Columbia, Maryland 21044
 410-531-6186

LOT 7: Williamsburg Group
 P.O. Box 1015
 Columbia, Maryland 21044
 Phone: 410-997-8800

LOT NUMBER	STREET ADDRESS
3	6320 Summer Sunrise Drive
4	6322 Summer Sunrise Drive
5	6324 Summer Sunrise Drive
6	6326 Summer Sunrise Drive
7	6328 Summer Sunrise Drive

Subdivision Name	Section/Area	Lots
THE BOARMAN ESTATE		3-7

Plat # or L/P	Block #	Zone	Tax/Zone Map	Elect. Distr.	Conserv. Tract
13911	14	RED	35	5th	605501

Water Code: I 12
 Sewer Code: 6692500

LDE, INC.
 9250 Rumsey Road, Suite 106, Columbia, MD. 21045
 (410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

SITE DEVELOPMENT PLAN
THE BOARMAN ESTATE
 LOTS 3-7
 TAX MAP 35 BLOCK 14 P10 PARCEL 356
 5th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 Previous Submittals: F98-109, WF96-83/F-03-51

DESIGNED: BDB
 DRAWN: K'AW
 CHECKED: BDB
 DATE: 8/02

SCALE: 1"=30'
 DRAWING: 1 OF 3
 JOB NO.: 02-016
 FILE NO.: SDP03-19

BUILDER
WILLIAMSBURG BUILDERS
 P.O. Box 1018
 Columbia, Maryland 21044
 (410)-997-8800