General Notes

- 1. All construction shall be in accordance with the latest standards and specifications of Howard County plus MSHA standards and specifications if applicable.
- 2. The contractor shall notify the Department of Public Works. Bureau of Engineering, Construction Inspection Division at (410) 313-1880 at least 48 Hours prior to the start of work.
- 3. The contractor shall notify 'Miss Utility' at 1-800-257-7777 at least 48 hours prior to any excavation work.
- 4. The contractor shall notify the Howard County Department of Public Works. Bureau of Utilities at (410) 313-4900 at least five (5) working days prior to starting any excavation work.
- 5. Proposed Use: Bldg A Restaurant
- 6. All plan dimensions are to face of curb unless otherwise noted.
- 7. Existing topography is shown per field run survey information by Gutshcick, Little Weber. P.A. + by design grades from design plans for construction.
- 8. Coordinates and bearings are based upon the MD State plane system (NAD
- q. Water and sewer service is public.
- 10. Stormwater management for this site is proposed by F-01-142. A water quality manhole is proposed on this plan.
- 11. All existing water and sewer is per Contract 24-4035-D.
- 12. All existing public storm drain is per F-96-41.
- 13. See trench bedding class 'C' for storm drains.
- 14. Recording reference:
- 15. Existing utilities are based on approved design plans for construction and field location by Gutschick, Little + Weber, P.A.
- 16. There is no floodplain on Site.
- 17. There are no wetlands on Site.
- 18. Building setbacks and building restrictions are per FDP 235.
- 19. This site is exempt from the forest conservation requirements of Section 16.1200 of the Howard County Code by Section 16.1202(b)(1)(IV).
- 20. NOTE: In case of discrepancies between the plat and the plans, the plat shall
- 21. No clearing, grading or construction is permitted within any wetland, wetlands. buffer, 50' stream buffer or floodplan.
- 22. All outdoor lighting shall comply with the requirements of zoning section 134. The site lighting indicated on these plans is a single or twin bronze, full cutoff. 400 watt fixture mounted on a 25-foot tall, round, tapered, dark bronze pole.
- 23. This project is part of a Construction, Operation + Reciprical Easement Agreement that allows shared parking + driveway access for all parcels (C-1,C-4,C-6 thru C-8). recorded as Liber 5708 Folio 628.
- 24. The Landscape Plan was prepared according to the Alternative Compliance Section of the Landscape Manual.

APPROVED APPROVED: FOR PUBLIC WATER + SEWERAGE SYSTEMS. PLANNING BOARD of HOWARD COUNTY HOWARD COUNTY HEALTH DEPARTMENT Report Mo F. T. C. County Health Officer フールーウェ DATE 07/10/02 APPROVED: HOWARD_COUNTY DEPARTMENT OF PLANNING + ZONING 8/19/02 Maumin

SITE DEVELOPMENT PLAN

ROUTE 175 COMMERCIAL SECTION 1 AREA 2 PARCEL C-8 + OPEN SPACE LOT 5

SECTION 4 AREA 3

PARCEL C-1 PLAT No. 11060

VLLAGE OF LONGREACH SECTION 4 AREA 3

OPEN SPACE LOT 4 391,296 # OR 8.9829 Ac---

(Open Space Credited)_

OPEN SPACE LOT 3
PLAT No. 12130

446.551 # OR 10.2514 Ac.
ZONING: NEW TOWN
(Employment Center
Commercial)

DOBBIN

P. 8.

9/0 2/28/2 1.88.1

Bench Mark No. 1

Traverse Station 976

Elev.=374.37

AMES AMES

CONTRACT/PURCHASER

RARE HOSPITALITY INTERNATIONAL, INC.

8215 ROSWELL ROAD

ATLANTA, GEORGIA 30350

N 558000

SECTION 4 AREA 3

SECTION 4 AREA 3

LOTS A-1 THRU A-99

PLAT No. 11039

PARCEL 'D'

273.562 # OR 6.2801 Ac

PARCEL C-71=

ZONING: NEW TOWN

(Employment Center Commercial)

VILLAGE OF LONGREACH

PLAT No. 12130

SECTION 4 AREA 3 OPEN SPACE LOT 2

LOTS 8-1 THRU 8-57

PARCEL C-4

PARCEL C-1

B.M. #1-

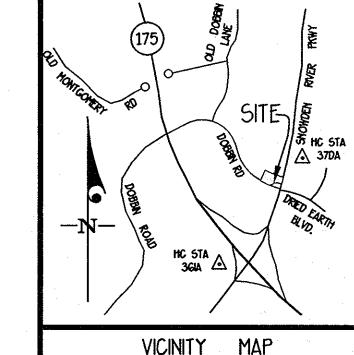
PARCEL C-

(SITE)

BGE (Contractor Services) BGE (Under Ground Damage Control) Bureau of Utilities Colonial Pipeline Co. Miss Utility State Highway Administration

410-850-4620 410-787-9068 410-313-4900 410-795-1390 1-800-257-7777 410-531-5533 1-800-743-0033/410-224-9210

1-800-252-1133



SCALE: 1'=2000'

GAS. TELEPHONE + ELECTRIC NOTES

1. COORDINATION WITH UTILITY OWNERS ARE TO BE COORDINATED BY THE CONTRACTOR, OWNER + MECHCANICAL ENGINEER 2. LOCATION OF UTILITIES TO BE COORDINATED WITH THE UTILITY OWNER. 3. UTLITIES SHALL BE CONSTRUCTED PER UTLITY OWNER'S DETAILS. 4. Natural Gas Service: Site contractor to provide and install all piping, trenching. backfilling, meter, regulator, and two (2) guard posts at meter location. Refer to spec section 02600 LH 011899. Gas company to define and approve meter location. See Sheet 2 for general location and Sheet 10 for additional information. 5. Electrical service: Electric company to design and install transformer pad and provide and install transformer, primary conduit, primary wire, meter, meter socket. Ct cabinet. CT-meter conduit, and final connection of the primary and secondary to the transformer. Site contractor to provide and install all trenching, backfilling, secondary cable, and secondary conduit from the provided electrical service to parcel "c" and coordinate with the power company to verify the transformer location, pad. size, and all standards for work. See architectural sheet for secondary wiring design. See Sheet 2 for general location and Sheet 10 for additional information. 6. Telephone and Cable service: Longhorn contractor shall supply and install all trenching.

backfilling. 3' conduit for phone service, 1' conduit for cable service with pull string (cable company to provide cable/wire), and cable/wire for phone service. from the developer provided service. Coordinate with developer for provided service location and verify exact routing and termination requirements with utility companies before starting work. Site contractor to coordinate with other utilities and utilize shared trenching if

Site Analysis Data Chart

1. Parcel C-8 Area = 84.117 SF or 1.93 Ac.

2. Limit of Disturbed Area = 93.654 SF or 2.15 Ac.

3. Zoning = NT - Employment Center - Commercial (FDP 235)

4. Proposed Use: Restaurant.

5. Floor Area = 5.123 SF Gross

6. No. of standard parking spaces required by FDP 235 (5 spaces per 1.000 SF net area): 5.123 SF/1.000 SF x 5 = 26 spaces.

7. No. of handicap spaces required: 2 spaces.

8. No. of standard parking spaces provided: 117 spaces.

q. No. of handicap spaces provided: 5 spaces.

10. Total parking spaces provided: 122 spaces.

11. Building Area (Includes Roof Overhang)=6.005 SF

12 Building Coverage: 6.005 SF/84.117 SF=0.07 or 7%

13. Project background: See Dept. of Planning + Zoning File Numbers: F-00-149, S 99-05, FDP 235, PB 337, WP 99-117*, WP 00-24**, WP 99-41***. SDP-01-09, +SDP-01-132, F 02-141, F 02-153, F 01-16.

* On July 1. 1999. WP-99-117; waiver of Section 16.144(f) was granted to not be required to submit a Preliminary Plan, subject to various conditiond in the approval letter.

** On October 1, 1999, WP-00-24; waiver of Section 16.144, was granted to reactivate Sketch Plan S-99-05 and grant a 45 day extension to submit the Sketch Plan for signature.

*** On March 23, 1999, WP-99-41; waiver of Section 16.144(f)(1), was appproved to permit a private commercial driveway direct access to an arterial road, subject to various conditions in the approval letter.

PROPOSED REVERSE CURB + GUTTER

CONCRETE SIDEWALK, DUMPSTER PAD OR UTILITY PAD

EX. EASEMENTS

EX. WATERLINE

CONCRETE CURB + GUTTER

PROP. SANITARY SEWER

FUTURE CURB + GUTTER

PROPOSED WATERLINE

EX. CURB + GUTTER

EX. ASPHALT PAVING

ATTN.: JERRY JOHNSON 15547 TELE: (770) 901-6651 GLWGUTSCHICK LITTLE & WEBER, P.A. COVER SHEET SCALE ZONING THE HOWARD RESEARCH + DEVELOPMENT CORP. As Shown ROUTE 175 COMMERCIAL THE ROUSE BUILDING CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK 10275 LITTLE PATUXENT PARKWAY BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186 DATE TAX MAP - GRID COLUMBIA, MD. 21044 SECTION 1 ATTN.: BOB JENKINS PARCEL 'C-8' + OPEN SPACE LOT 5 1 of 12 JUNE. 2002 37-13 DRN.WSJ CHK. DRAWINGS\02025\DESIGN02025SP1.DWG TELE: (410) 996-6089 DATE PLAT No. 15547 HOWARD COUNTY, MARYLAND REVISION ELECTION DISTRICT No. 6

TOP OF PAVING SPOT SHOT 6 NUMBER OF PARKING SPACES ADDRESS CHART PARCEL NUMBER STREET ADDRESS PROP. LIGHT FIXTURE + POLE **☆** □ → C-8 8650 SNOWDEN RIVER PARKWAY EX. LIGHT FIXTURE + POLE -5352TW (TOP OF WALL) RETAINING WALL WATER CODE: SEWER CODE: -5350BW (BOTTOM OF WALL) SUBDIVISION NAME: SECTION/AREA **PARCELS** ROUTE 175 COMMERCIAL 1 / 2 PROPOSED TEMP. ELEC. DIST. CENSUS TRACT TAX MAP BLOCK PLAT ZONE 6067.03 G. L. W. FILE No 02025 SHEET

Sheet Index 1. Cover Sheet

2. Site Development Plan 3. Site Details 4. Landscape Plan

5. Enhanced Landscape Plan + Handicap Access Detail

6. Landscape Notes + Details 7. Sediment Control Plan

8. Sediment Control Details 9. Utility Profiles, Schedules + Roof Drain Detail

10. Utility Details

11. Storm Drain Drainage Area Map 12. Retaining Wall Construction Details

LEGEND

EX. CONTOUR PROP CONTOUR EX. TREES . 0

EX. STORM DRAIN PROP. STORM DRAIN LIMIT OF SUBMISSION EX. SANITARY SEWER

<u>- 8.5</u> - 0 - 8.5 Ex. 8°. W

PROP. 8°5

OPEN SPACE LOT 5 19.046 # OR 0.4373 Ac. ZONNG: NEW TOWN (Open Space Credited)

Bench Mark No. 2 Traverse Station 975

N 559000

ELEV.=362.00

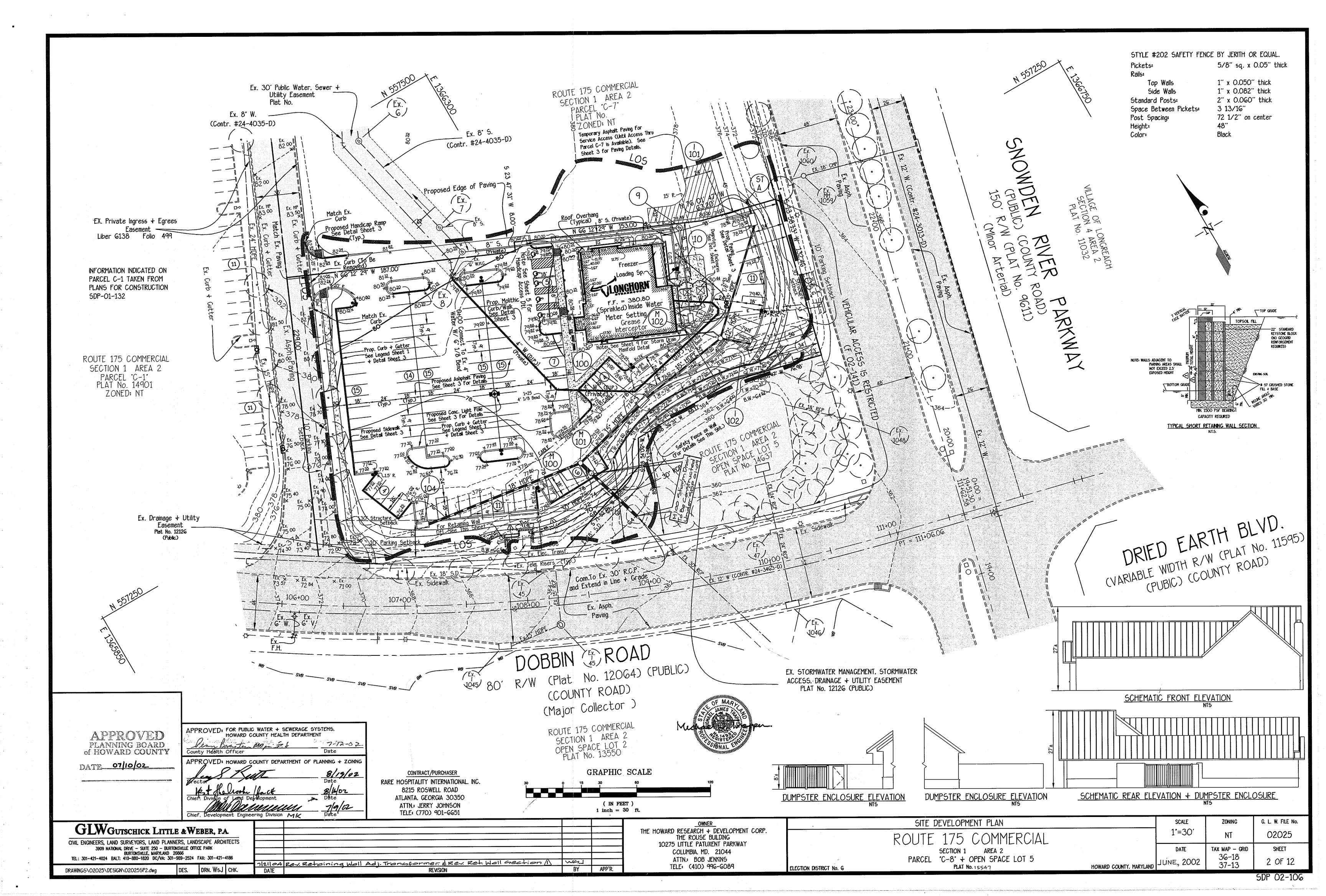
(IN FEET) 1 inch = ft.

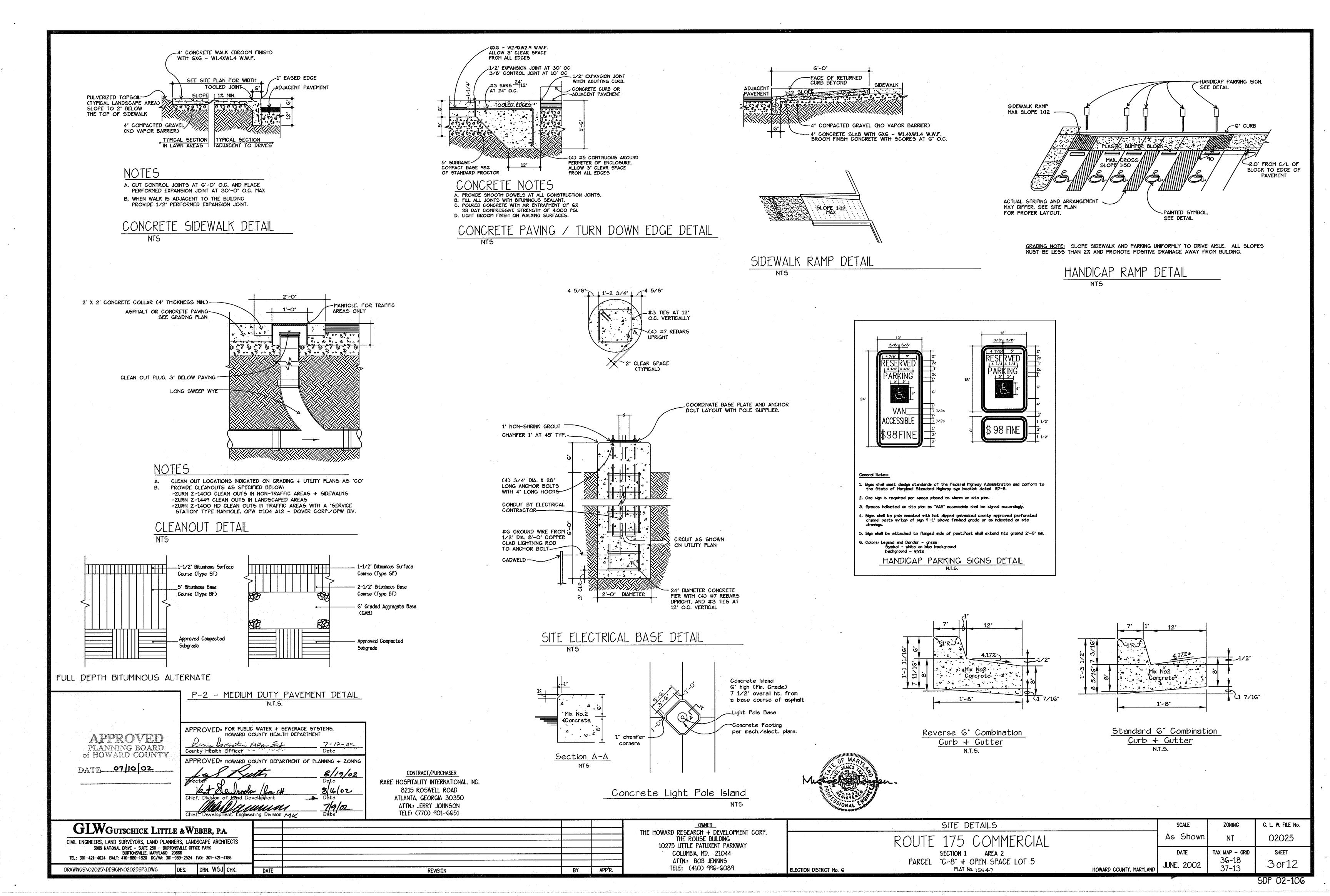
GRAPHIC SCALE

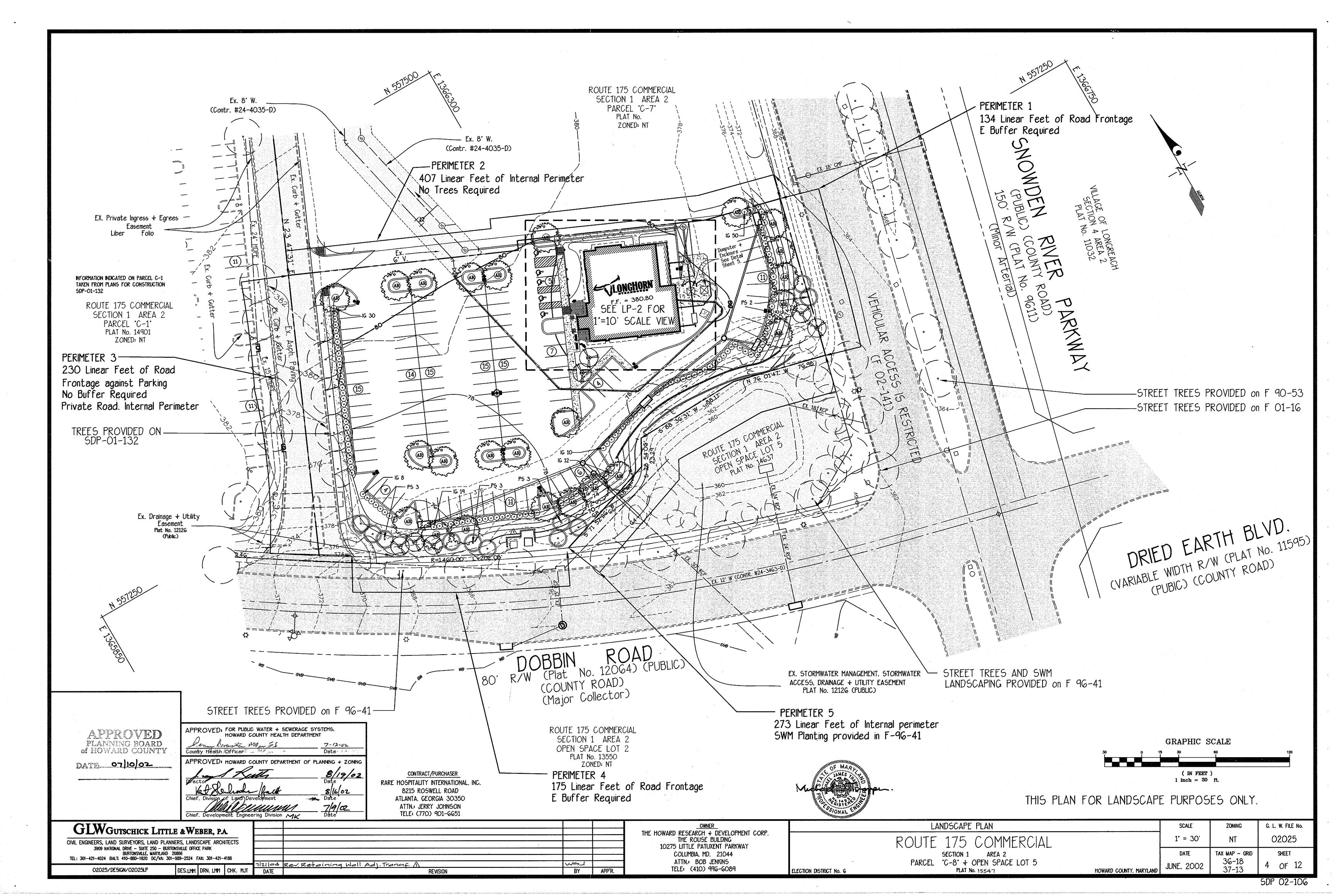
KEY MAP

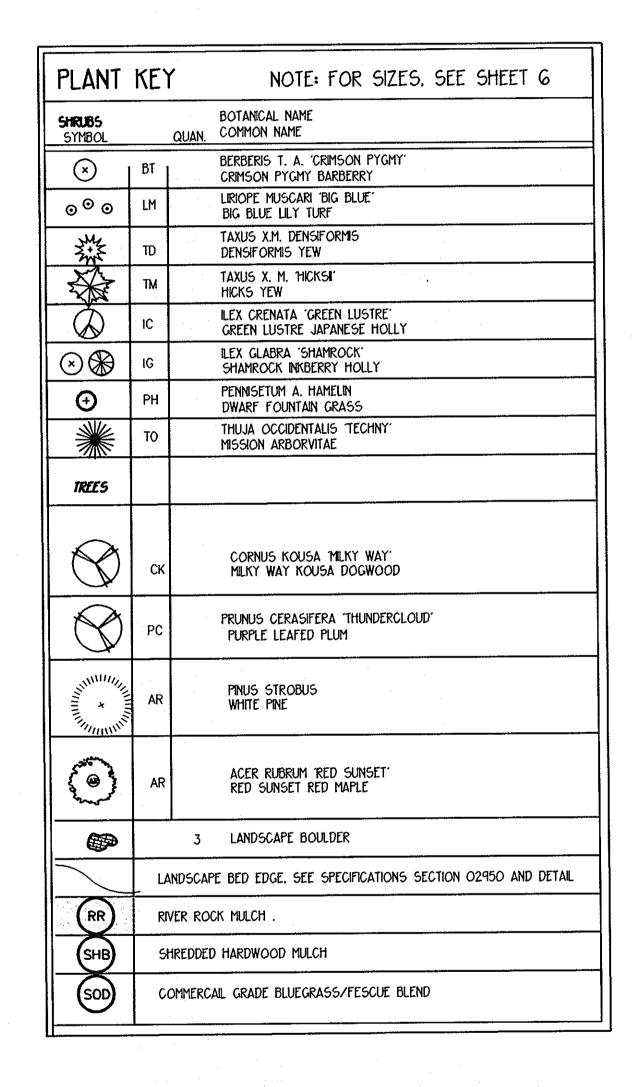
SCALE : 1' = 300'

5DP 02-106









Enclosure Gates Dumpster _Enclosure F.F. = 380.80 PROPOSED TREES SHOWN ON SHEET 4 OVERALL LANDSCAPE PLAN -7 GRAPHIC SCALE (IN FEET) 1 inch = 10 ft.

ELECTION DISTRICT No. 6

APPROVED
PLANNING BOARD
of HOWARD COUNTY

GLWGUTSCHICK LITTLE &WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DES.LIMM DRN. LIMM CHK. MJT

DATE 07/10/02

DRAWINGS\02025/DESIGN/02025SP5.dwg

APPROVED: FOR PUBLIC WATER + SEWERAGE SYSTEMS.
HOWARD COUNTY HEALTH DEPARTMENT

County Mealth Officer

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING + ZONING

Sirector

Chief. Division of Lend Development

Chief. Development Engineering Division MK

Date

Date

CONTRACT/PURCHASER

RARE HOSPITALITY INTERNATIONAL, INC.

8215 ROSWELL ROAD

ATLANTA, GEORGIA 30350

ATTN.: JERRY JOHNSON

TELE: (770) 901-6651

REVISION

OWNER
THE HOWARD RESEARCH + DEVELOPMENT CORP.
THE ROUSE BUILDING
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MD. 21044
ATTN.: BOB JENKINS
TELE: (410) 996-6089

ENHANCED LANDSCAPE PLAN + HANDICAP ACCESSIBILITY PLAN

ROUTE 175 COMMERCIAL

SECTION 1 AREA 2

PARCEL "C-8" + OPEN SPACE LOT 5

PLAT No. 15547

SCALE ZONING G. L. W. FILE No.

1° = 10' NT 02025

DATE TAX MAP - GRID SHEET
36-18
36-18
37-13

5 OF 12

SDP 02-106

PLANT MATERIALS AND PLANTING METHODS

A. Plant Materials

The landscape contractor shall furnish and install and/or dig. ball. burlap and transplant all of the plant materials called for on drawings and/or listed in the Plant Schedule.

1. Plant Names

Plant names used in the Plant Schedule shall conform with "Standardized Plant Names." latest edition.

2. Plant Standards

All plant material shall be equal to or better than the requirements of the "USA Standard for Nursery Stock' latest edition. as published by the American Association of Nurserymen Chereafter referred to as AAN Standards). All plants shall be typical of their species and variety, shall have a normal habit of growth and shall be first quality, sound, vigorous, well-branched and with healthy. well-furnished root systems. They shall be free of disease. insect pests and mechanical injuries.

All plants shall be nursery grown and shall have been grown under the same climate conditions as the location of this project for at least two years before planting. Neither heeled-in plants nor plants from cold storage will be accepted.

3. Plant Measurements

All plants shall conform to the measurements specified in the Plant Schedule as approved by the ARC.

- a. Caliper measurements shall be taken six inches (6°) above grade for trees under four-inch (4°) caliper and twelve (12') above grade for trees four inches (4') in caliper and over.
- b. Minimum branching height for all shade trees shall be six feet (6'). maximum eight feet (8°).
- c. Caliper. height, spread and size of ball shall be generally as follows:

CALIPER	HEIGHT	SPREAD	SIZE OF BALL
3" - 3.5"	14'-16'	6'-8'	32° di a meter
3.5'- 4"	14'-16'	8'-10'	36' diameter
4" - 4.5"	16'-18'	8'-10'	40° diameter
4.5'- 5"	16'-17'	10'-12'	44° di a meter
5' - 5.5'	16'-20'	10'-12'	48° diameter
5.5"- 6"	18'-20'	12'-14'	52° diameter

All plant material shall generally average the median for the size ranges indicated above as indicated in the 'AAN Standards.

4. Plant Identification

Legible labels shall be attached to all shade trees, minor trees, specimen shrubs and bundles or boxes of other plant material giving the botanical and common names, size and quantity of each. Each shipment of plants shall bear certificates of inspection as required by Federal. State and County authorities.

5. Plant Inspection

APPROVED

PLANNING BOARD

of HOWARD COUNTY

DATE 07/10/02

The ARC may, upon request by the builder or developer. at least ten (10) days prior to the installation of any proposed plant material. inspect all proposed plant material at the source of origin.

B. Planting Methods

All proposed plant materials that meet the specifications in Section A are to be planted in accordance with the following methods during the proper planting seasons as described in the following:

1. Planting Seasons

The planting of deciduous trees, shrubs and vines shall be from March 1st to June 15th and from September 15th to December 15th. Planting of deciduous material may be continued during the winter months providing there is no frost in the ground and frost-free topsoil planting mixtures are used.

The planting of evergreen material shall be from March 15th to June 15th and from August 15th to December 1st. No planting shall be done when ground is frozen or excessively moist. No frozen or wet topsoil shall be used at any time.

3. Excavation of Plant Pits

The landscaping contractor shall excavate all plant pits. vine pits. hedge trenches and shrub beds in accordance with the following schedule:

- a. Locations of all proposed plant material shall be staked and approved in the field by the landscape architect before any of the proposed plant material is installed by the landscape contractor.
- b. All pits shall be generally circular in outline, vertical sides, depth shall not be less than 6' deeper than the root ball, diameter shall not be less than two times the diameter of the root ball as set forth in the following schedule.
- c. If areas are designated as shrub beds or hedge trenches, they shall be excavated to at least 18' depth minimum. Areas designated for ground covers and vines shall be excavated to at least 12° in depth minimum.
- Diameter and depth of tree pits shall generally be as follows:

	•	PIT	PIT
PLANT SIZE	ROOT BALL	DIAMETER	DEPT
3° - 3.5°cal.	32°	64*	28*
3.5° - 4° cal.	36"	72 *	32°
4" - 4.5"cal.	40"	80*	36.
4.5"- 5" cal.	44*	88*	40*
5" - 5.5"cal.	48*	96"	44*
5.5°- 6° cal.	52*	104*	48*
•			

Z compaction figure of the soil to be removed is

A 20 assumed and will be allowed in calculation of extra topsoil. The tabulated pit sizes are for purposes of uniform calculation and shall not override the specified depths below the bottoms of the root balls.

4. Staking. Guying and Wrapping

All plant material shall be staked or guyed, and wrapped in accordance with the following specifications:

- a. Stakes: Shall be sound wood 2" x 2" rough sawn oak of similar durable woods. or lengths. minimum 7'-0" for major trees and 5'-0' minimum for minor trees.
- Wire and Cable: Wire shall be #10 ga. galvanized or bethanized annealed steel wire. For trees over 3' caliper, provide 5/16' turn buckles, eye and eye with 4° takeup. For trees over 5' caliper. provide 3/16. 7 strand cable cadmium plated steel, with galvanized 'eye' thimbles of wire and hose on trees up to 3° in
- c. Hose: Shall be new. 2 ply reinforced rubber hose, minimum 1/2° I.D. "Plastic Lock Ties" or "Paul's Trees Braces' may be used in place of wire and hose on trees up to 3"
- All trees under 3° in caliper are to be planted and staked in accordance with the attached Typical Tree Staking Detail".

5. Plant Pruning, Edging and Mulching

a. Each tree. shrub or vine shall be pruned in an appropriate manner to Its particular requirements. in accordance with accepted standard practice. Broken or bruised branches shall be removed with clean cuts flush with the adjacent trunk or branches. All cuts over 1° in

APPROVED: FOR PUBLIC WATER + SEWERAGE SYSTEMS. HOWARD COUNTY HEALTH DEPARTMENT County Health Officer 7-12-02 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING + ZONING 8/19/02

CONTRACT/PURCHASER RARE HOSPITALITY INTERNATIONAL. INC. 8215 ROSWELL ROAD ATLANTA, GEORGIA 30350 ATTN.: JERRY JOHNSON

diameter shall be painted with an approved antiseptic tree wound dressina.

- All trenches and shrub beds shall be edged and cultivated to the lines shown on the drawing. The areas around isolated plants shall be edged and cultivated to the full diameter of the pit. Sod which has been removed and stacked shall be used to trim the edges of all excavated areas to the neat lines of the plant pit saucers, the edges of shrub areas, hedge trenches and vine pockets.
 - c. After cultivation, all plant materials shall be mulched with a 2' layer of fine. shredded pine bark. peat moss. or another approved material over the entire area of the bed or saucer.

6. Plant Inspection and Acceptance

The ARC shall be responsible for inspecting all planting projects on a periodic basis to assure that all work is proceeding in accordance with the approved plans and specifications.

7. Plant Guarantee

All plant material shall be guaranteed for the duration of one full growing season, after final inspection and acceptance of the work in the planting project. Plants shall be alive and in satisfactory growing condition at the end of the guarantee period.

- a. For this purpose, the 'growing season' shall be that period between the end of the "Spring" planting season, and the commencement of the 'Fall' planting season.
- Guarantee for planting performed after the specified end of the 'Spring' planting season, shall be extended through the end of the next following "Spring" planting season.

Sodding

All sodding shall be in accordance to the Landscape Specification Guidelines for Baltimore-Washington metropolitan Areas' latest edition, approved by the Landscape Contractors Association of Metropolitan Washington and the American Society of Landscape

All sod shall be strongly rooted sod, not less than two years old and free of weeds and undesirable native grasses. Provide only sod capable of growth development when planted and in strips not more than 18° wide x 4° long. Provide sod composed principally of improved strain Kentucky bluegrass, such as. Columbia. Victa. or Escort.

LANDSCAPING NOTES

- 1. This plan has been prepared in accordance with the New Town Alternative Compliance provisions of Section 16.124 of the Howard County Code and the Howard County Landscape Manual.
- 2. Contractor shall notify all utilities at least (5) five days before starting work. All General Notes, especially those regarding utilities, on Sheet 1 shall apply.
- 3. Field verify underground utility locations and existing conditions before starting planting work. Contact engineer / landscape architect if any relocation's are required.

4. Plant quantities shown on Plant List are provided for the convenience

- of the contractor only. If discrepancies exist between quantities shown on the plan and those shown on the plant list, the quantities on the plan shall take precedence.
- 5. All plant material shall be full, heavy, well formed, and symmetrical, and conform to the A.A.N. Specifications, and be installed in accordance with project specifications.
- 6. No substitution shall be made without written consent of the owner or his representative.
- 7. All areas disturbed by construction activities but not otherwise planted, paved, or mulched shall be seeded or sodded in accordance with the project specifications.
- 8. The contractor shall notify the owner in writing if he/she encounters soil drainage conditions which may be detrimental to the growth of the
- 9. All exposed earth within limits of planting beds shall be mulched with
- 10. Financial surety for the required landscaping per schedule A and B shall be posted with the grading permit in the amount of \$6,240.00.
- 11. Tabulation for landscape shown:
 Required planting by HRD for 1.93 acre of office combined at 20 trees/acre = 39 trees

Planting provided: Ornamental Trees Evergreen Trees Shrubs provided:

= 4 E. S. T. 1 2: 1 11 = 6 E. S. T. 1 2: 1 284 = 28 E. S. T. 1 10: 1 Total E. S. T. = *E. S. T., or Equivalent Shade Tree = 62

12. The owner, tenant, and /or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.



SCHEDULE A					
PERIMETER LANDSCAPE EDGE Cotegory	PERIM. #1	PERIM. #2	PERIM. #3	PERIM. #4	PERIM. #5
	buffer P'king from Roadway	Internal Perim	Internal Perim	buffer P'king from Roadway	Internal Perim.
Landscape Buffer Type	E	N/A	N/A	ε	N/A
Linear Feet of Roadway/ Perimeter Frontage	134'	407'	330'	175'	273'
Credit for Ex. Vegetation (Yes, No, Linear Feet) (describe below if needed)	NO	N/A	N/A	NO	PLANTING PROVIDED F-96-41
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (describe below if needed)	No	No	No	No	175'
Number of Plants Required Shade Trees Evergreen Trees Shrubs	3 0 34	N/A	N/A	4 0 44	N/A
Number of Plants Provided Shade Trees Evergreen Trees Other Trees (2: 1 subst.) Shrubs (10: 1 subst.) (describe plant substitution credits below if needed)	5 2 2 34	0 0 0	0 0 0 34	2 8 3 27	3 0 0 24

Bond Requirement - Surety for Schedule A: Schedule 'A' Number of Shade Trees for bonding: $7 \times $300 = $2,100.00$ Schedule 'A' Number of Evergreen Trees for bonding: $0 \times $150 = 0.00 $78 \times $30 = $2.340.00$ Schedule 'A' Number of Shrubs for bonding:

Schedule 'B' Number of required Shade Trees for bonding: 6 x\$300 = **\$**1, 800. 00 TOTAL Estimate for Surety: **\$**6, 240, 00

Perimeter 4 meets shade tree requirement by substituting 2 evergreen trees per 1 shade tree and by providing 4 evergreen trees to substitute for 20 shrubs

Number of	f Parking Spaces	= 122	Spaces (f	Provided)		
Number of	f Trees Required	= 6	Trees	• 1 per 20) spaces	
	f Trees Provided er Trees (2:1 su			Trees	9	
NOTE: Nu	mber of parking	islands re	equired: 1	island per	20 spaces.	

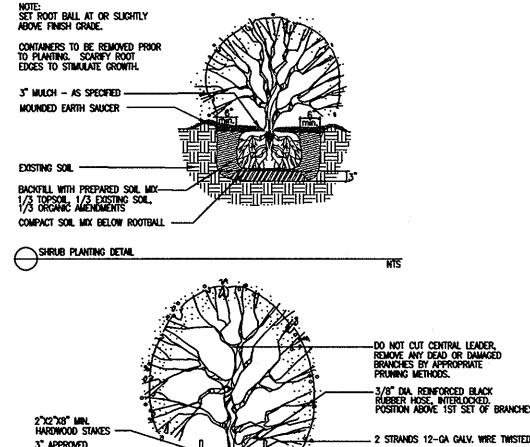
DEVELOPER'S / BUILDER'S CERTIFICATE

I/We certify that the landscaping shown on this plan will be done according to the plan. Section 16.124 of the Howard County Code and the Howard County Landscape manual. I/We further cerify that upon completion,a Certification of Landscape Installation. accompanies by an executed one-year guarantee of plant materials. Will be submitted to

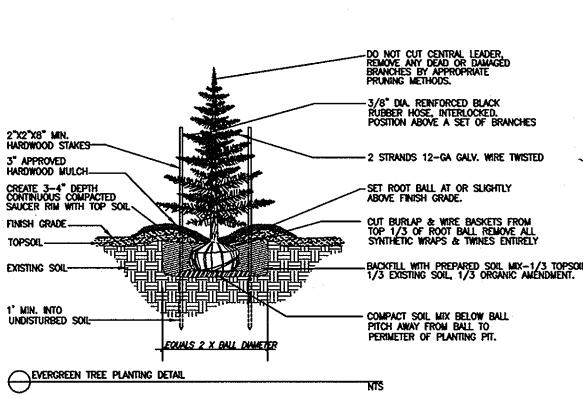
Financial surety for the required landscaping will be posted with the grading permit in

the Department of Planning and Zoning, 14/11 Name (Developer's /Builder's)

the amount of \$6.240.00.

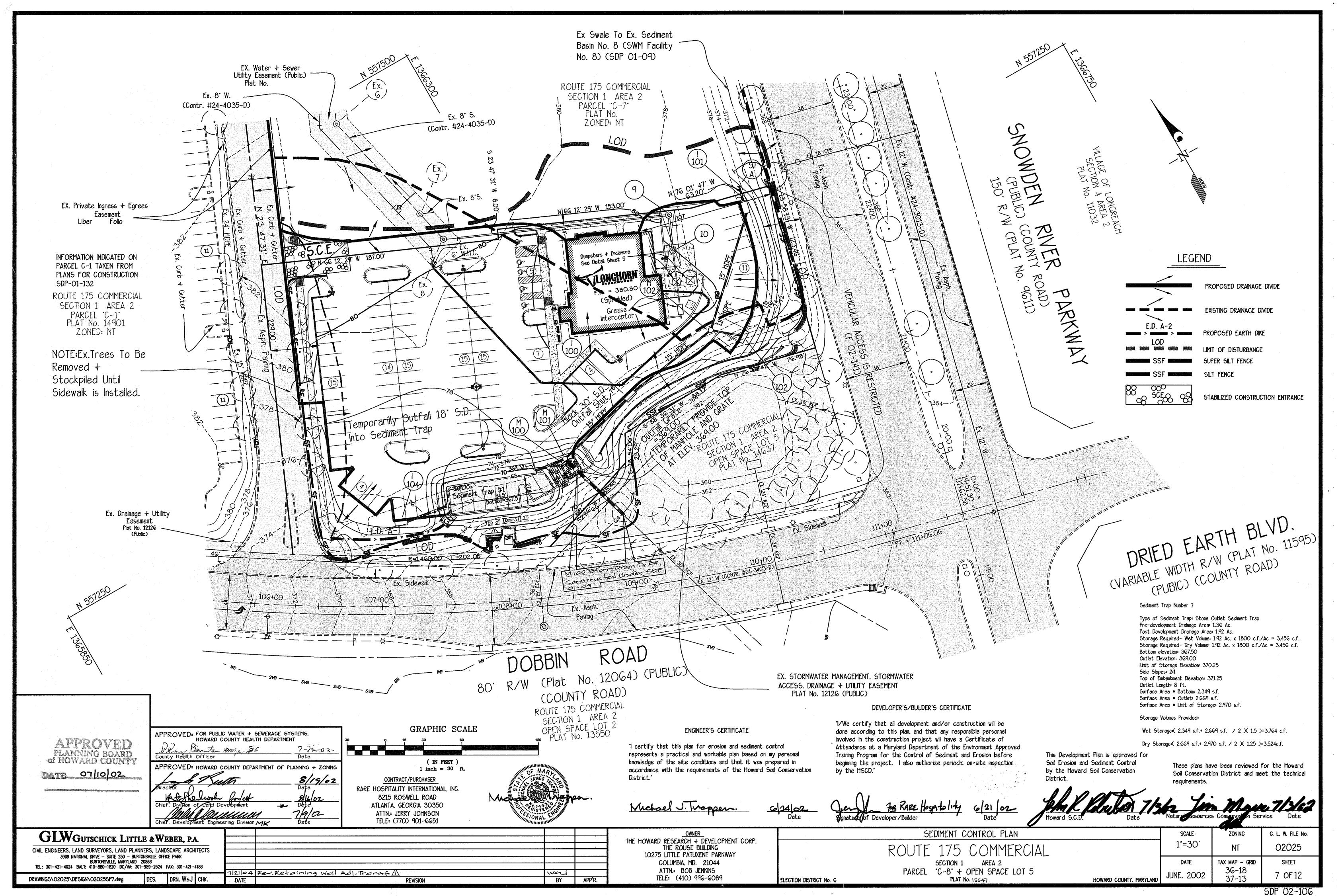


2 STRANOS 12-GA GALV. WIRE TWISTED set root ball at or slightly Arone einish grade. CUT BURLAP & WIRE BASKETS FROM TOP 1/3 OF ROOT BALL REMOVE ALL SYNTHETIC WRAPS & TWINES ENTIRELY FINISH GRADE -TOPSOIL -BACKFILL WITH PREPARED SOIL MIX-1/3 TOPSOIL. 1/3 EXISTING SOIL 1/3 ORGANIC AMENDMENT. COMPACT SOIL MEX BELOW BALL PITCH AWAY FROM BALL TO PERIMETER OF PLANTING PIT. DECIDUOUS TREE PLANTING DETAIL
FOR PLANTING MATERIAL UP TO 3 1/2" CAUPER



PLANTI	NG	SCH	EDULE				
SYMBOL SHRUBS		QUAN	BOTANICAL NAME COMMON NAME	SIZE		COMMENTS	
(X)	BT	28	BERBERIS T. A. 'CRIMSON PYGMY' CRIMSON PYGMY BARBERRY	18° 5PR	#3 CONT	DENSE, FULL TO GROUND	
o [©] o	LM	ေ	LIRIOPE MUSCARI "BIG BLUE" BIG BLUE LILY TURF	NA .	1 GAL.	18" O.C. STAGGER, FULL CLUMP	
蕊	TD	32	TAXUS X.M. DENSIFORMIS DENSIFORMIS YEW	241HT	#5 CONT	DENSE, FULL TO GROUND	
*	TM	3	TAXUS X. M. "HICKSII" HICKS YEW	30° HT	#5 CONT	DENSE. FULL	
\Diamond	ĸ	8	ILEX CRENATA "GREEN LUSTRE" GREEN LUSTRE JAPANESE HOLLY	30° HT	#5 CONT	DENSE, FULL	
⊗\$	G	144	LEX GLABRA 'SHAMROCK' SHAMROCK INGBERRY HOLLY	24° HT	#5 CONT	DENSE, FULL TO GROUND	
•	PH	6	Pennsetum A. Hamelin Dwarf Fountain Grass	18° HT	#2 CONT	FULL CLUMP	
**	TO	9	THULIA OCCIDENTALIS TECHNY' MISSION ARBORVITAE	5' HT	B + B	STRAIGHT, SYMMETRICAL	
TREE5							
	cĸ	2	CORNUS KOUSA "MILKY WAY" MILKY WAY KOUSA DOGWOOD	2" CAL.	<i>B</i> ≠ <i>B</i>	FULL CROWN, 5' CLEAR CANOPY HEIGH	
8	PC	5	Prunus cerasifera "Thundercloud" Purple leafed Plum	2 1/2° CAL	B & B	FULL CROWN 5' CLEAR CANOPY HEIGH	
Million A	P5	11	PINUS STROBUS WHITE PINE	7-10" HEIGH	1 B & B	DENSE, FULL	
	AR	24	acer rubrum red sunset' red sunset red maple	2 1/2" CAL	, B&B	FULL CROWN G' CLEAR CANOPY HEIGH	
P		3	LANDSCAPE BOULDER	23332° MN	Ì		
	LANDSCAPE BED EDGE, SEE SPECIFICATIONS SECTION 02950 AND DETAIL						
RR	. 187	RIVER ROCK MULCH .					
SHB	Sł	SHREDDED HARDWOOD MULCH					
(SOD)	CONNERCAL GRADE BLUEGRASS/FESCUE BLEND						

TELE: (770) 901-6651 GLWGutschick Little & Weber, PA. LANDSCAPE NOTES AND DETAILS G. L. W. FILE No. SCALE OWNER THE HOWARD RESEARCH + DEVELOPMENT CORP. ROUTE 175 COMMERCIAL THE ROUSE BUILDING CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS 10275 LITTLE PATUXENT PARKWAY 3909 NATIONAL DRIVE — SUITE 250 — BURTONSVILLE OFFICE PARK BURTONSVILLE, MARYLAND 20866 DATE TAX MAP - GRID COLUMBIA, MD. 21044 SECTION 1 AREA 2 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186 PARCEL 'C-8' + OPEN SPACE LOT 5 ATTN.: BOB JENKINS JUNE. 2002 DRAWINGS\02025/DESIGN\02025SPBESDWO DRN.LMM CHK.MJT TELE: (410) 996-6089 37-13 HOWARD COUNTY, MARYLAND APP'R. ELECTION DISTRICT No. 6 PLAT No. 15547 REVISION



SEDIMENT CONTROL NOTES

- 1. A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (410) 313-1855.
- 2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- 3. Following initial soil disturbance or redisturbance. permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes and perimeter slopes and all slopes greater than 3:1. b) 14 days as to all other disturbed or graded areas on the project site.
- 4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1. Chapter 12. of the HOWARD COUNTY DESIGN MANUAL. Storm Drainage.
- 5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings, sod, temporary seeding and mulching (Sec. G). Temporary stabilization, with mulch alone, can only be done
- 6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.

when recommended seeding dates do not allow for proper

germination and establishment of grasses.

7. Site Analysis:

Total Area of Site 1.93 Acres 2.15 Acres Area Disturbed 1.21 Acres Area to be roofed or paved 0.94 Acres Area to be vegetatively stabilized: 3,400 Cu. Yds. Total Cut 3.400 Cu. Yds. Total Fill Off-site waste/borrow area location: N/A

- 8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- 9. Additional sediment control must be provided if deemed necessary by the Howard County DPW Sediment Control
- 10. On all sites with disturbed areas in excess of 2 acres. approval of the inspection agency shall be requested upon completion of installation of perlineter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- 11. Trenches for the construction of utilities is limited to 3 pipe lengths or that which shall be backfilled and stabilized within one working day, whichever is shorter.

NOTE: TOTAL CUT AND FILL QUANTITIES ARE FOR PLAN PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EARTHWORK AT TIME OF CONTRACT

PERMANENT SEEDING NOTES

Apply to graded or cleared area not subject to immediate further disturbance where a permanent long-lived vegetative cover is

Seedbed Preparation: Loosen upper three inches of soil by raking. discing or other acceptable means before seeding (unless previously loosened).

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules

- 1) Preferred Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square feet) and 600 bs per acre 10-10-10 fertilizer (14 bs/1000) sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 unreaform fertilizer (9 lbs/1000 sq ft).
- 2) Acceptable Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.

Seeding: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 bs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28. protect site by: Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 Ibs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

Maintenance: Inspect all seeded areas and make needed repairs. replacements and reseedings.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking. discing or other acceptable means before seeding (unless previously loosened).

Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 bs/1000 sq ft).

Seeding: For periods March 1 thru April 30 and from August 15 thru October 15, seed with 2-1/2 bushel per acre of annual rye (3.2 lbs./1000 sa.ft.). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted, weed-free, small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

STANDARD AND SPECIFICATIONS FOR TOPSOIL DEFINITION

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

PURPOSE

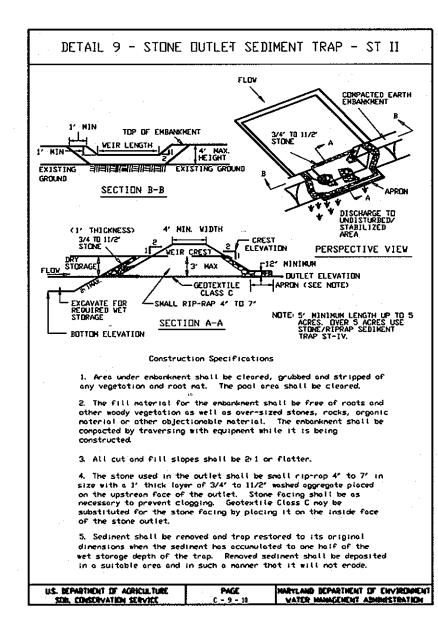
To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels. low pH. materials toxic to plants, and/or unacceptable soil gradation.

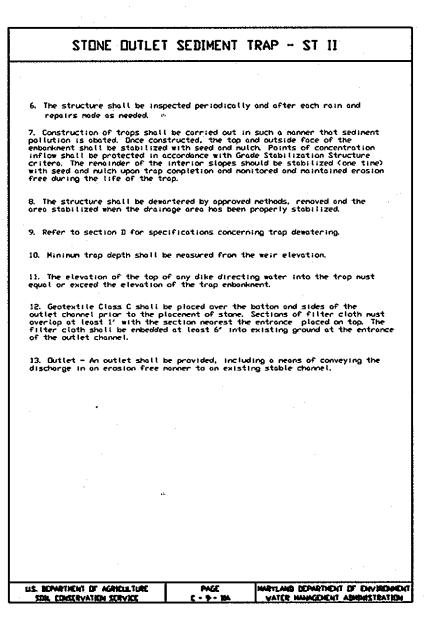
CONDITIONS WHERE PRACTICE APPLIES

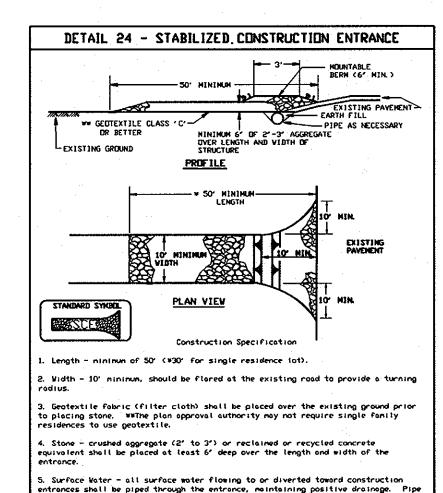
- I. This practice is limited to areas having 2:1 or flatter slopes
 - a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplied of moisture and plant nutrients.
 - c. The original soil to be vegetated contains material toxic to plant growth.
- d. The soil is so acidic that treatment with limestone is not feasible.
- II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

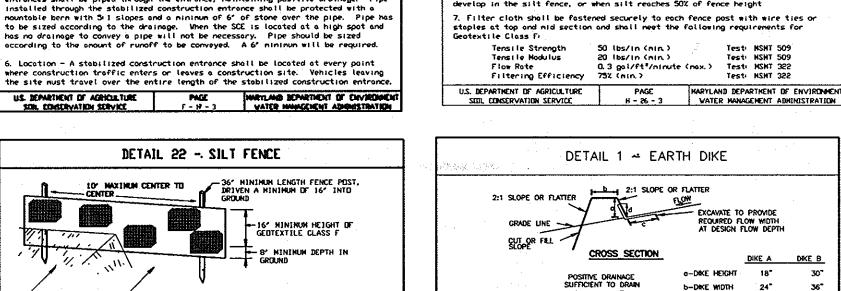
CONSTRUCTION AND MATERIAL SPECIFICATIONS

- I. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the respective soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.
 - i. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by a agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments. gravel, sticks, roots, trash, or other materials larger than 1 1/2° in diameter.
 - ii. Topsoil must be free of plant parts such as bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy. thistle. or others as specified.
 - iii. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate if 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
- II. For sites having disturbed areas under 5 acres:
 - i. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section 1 -Vegetative Stabilization Methods and Materials.
- III. For sites having disturbed areas over 5 acres: i. On soil meeting Topsoil specifications, obtain test
 - results dictating fertilizer and lime amendments required to bring the soil into compliance with the following: a. pH for topsoil shall be between 6.0 and 7.5. If









DETAIL 33 - SUPER SILT FENCE

Fencing shall be 42° in height and constructed in accordance with the

4. Filter cloth shall be embedded a minimum of 8' into the ground.

2. Chain link fence shall be fastened securely to the fence posts with wire ties.

3. Filter cloth shall be fostened securely to the chain link fence with ties spaced

5. When two sections of filter cloth adjoin each other, they shall be overlapped

5. Haintenance shall be performed as needed and silt buildups removed when "bulges"

CHAIN LINK FENCING-

FILTER CLOTH-

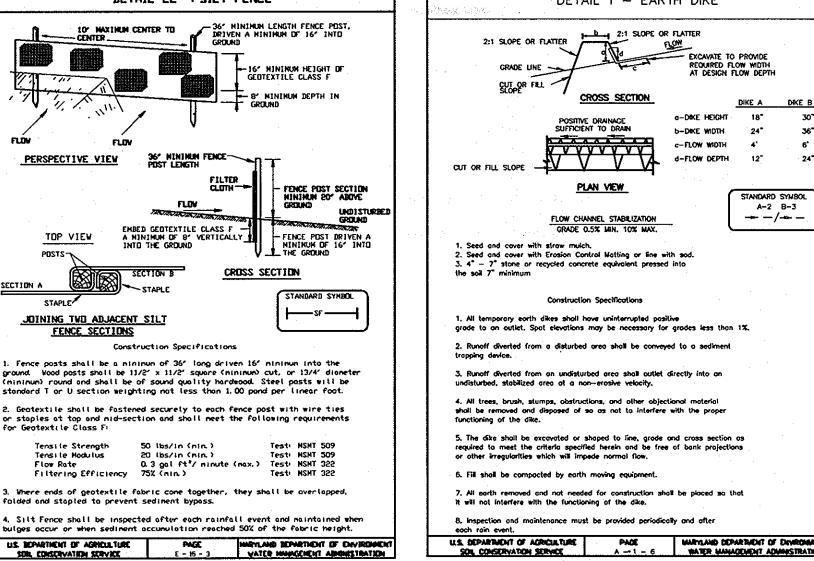
ENBED FILTER CLOTH 8'.... MINIMUM INTO GROUND

10' MAXIMUM

34" MININUN

' MINIMU

STANDARD SYMBOL



Soil Conservation District and meet the technical requirements.



These plans have been reviewed for the Howard

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation

ENGINEER'S CERTIFICATE

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation

District.

DEVELOPER'S/BUILDER'S CERTIFICATE

District.

1/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection



PLAT No. 15547

APPROVED PLANNING BOARD of HOWARD COUNTY DATE 07/10/02

GLWGUTSCHICK LITTLE &WEBER, P.A.

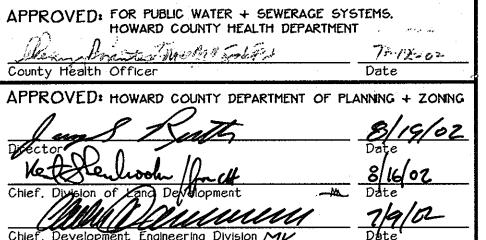
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

\DRAWINGS\02025\DESIGN\02025SP8.DWG

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS

DES.

DRN. WSJ CHK.



DATE

CONTRACT/PURCHASER RARE HOSPITALITY INTERNATIONAL, INC. 8215 ROSWELL ROAD ATLANTA, GEORGIA 30350 ATTN.: JERRY JOHNSON TELE: (770) 901-6651

REVISION

OWNER THE HOWARD RESEARCH + DEVELOPMENT CORP. THE ROUSE BUILDING 10275 LITTLE PATUXENT PARKWAY COLUMBIA, MD. 21044 ATTN.: BOB JENKINS

APP'R.

ELECTION DISTRICT No. 6

1. Obtain permits and arrange for pre-construction meeting with the Sediment

2. Install stabilized construction entrance and perimeter silt fence and super silt fence. Construct sediment trap and associated earth dikes. Extend and construct storm drain from the end of the existing 33-inch RCP to and

including the temporary trap outfall structure M-100 (1 week);

5. Install utilities. Install storm drain and temporarily outfall the proposed

Temporarily block the outfall from manhole M-101 to M-100 shut (1month);

6. Install curb and gutter, sidewalks and base pave all areas except in the vicinity of the sediment trap. Stabilize areas with grass seed and mulch (1

7. When permission has been granted by the sediment Control Inspector and all

areas draining to the sediment controls have been stabilized, backfill the

sediment trap and complete the curb and gutter installation and base paving.

8. Remove all remaining sediment controls and install landscaping. Stabilize all

18-inch pipe into the sediment trap from 1-104 to M-100 and M-100 to 1-104.

3. Grade site and construct retaining walls (3 weeks)

remaining areas with grass seed and mulch (1 week);

9. install surface course paving and parking lot striping (1 week).

Sequence of Construction

Control Inspector (1 day);

4. Construct building (4 months);

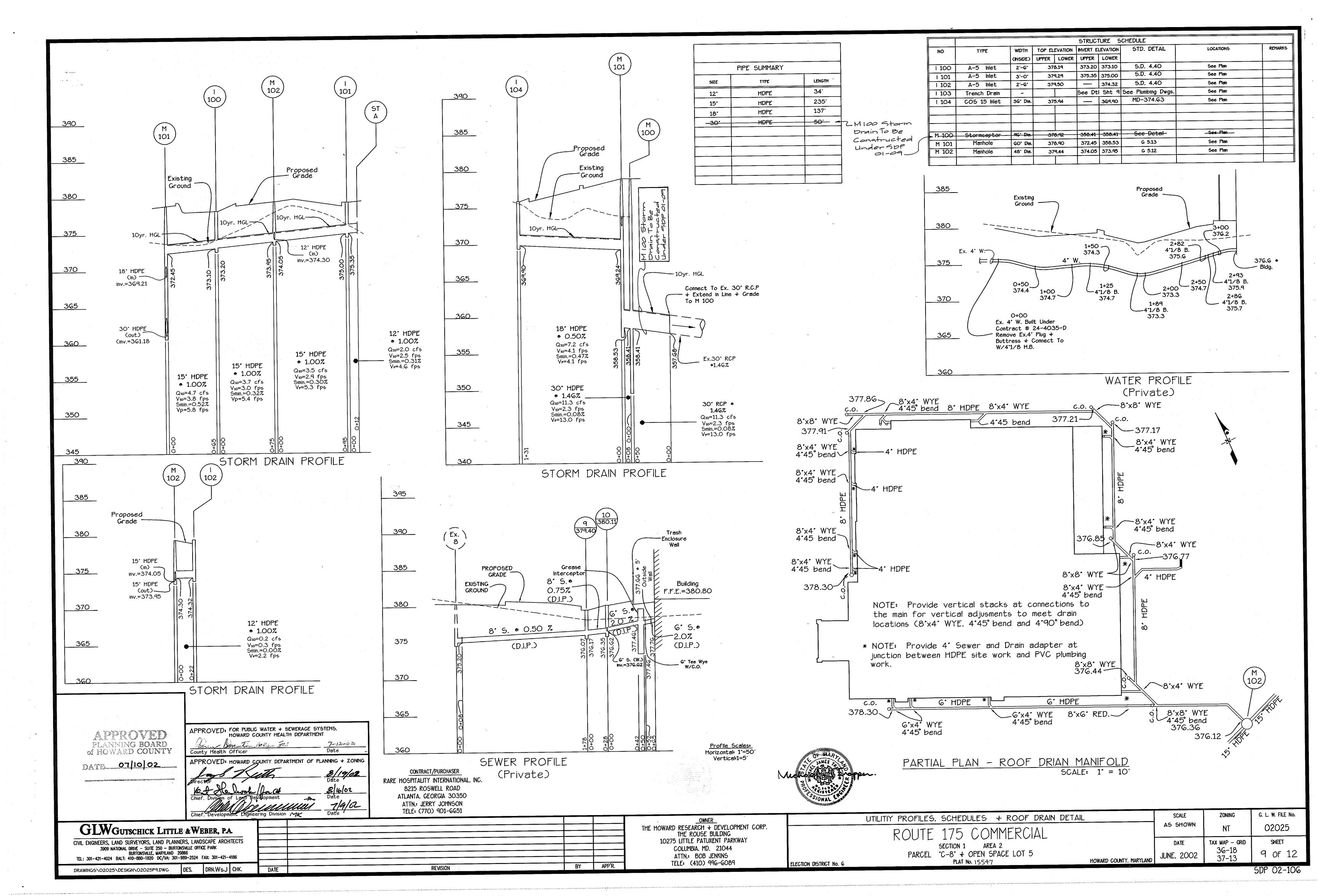
(2 weeks):

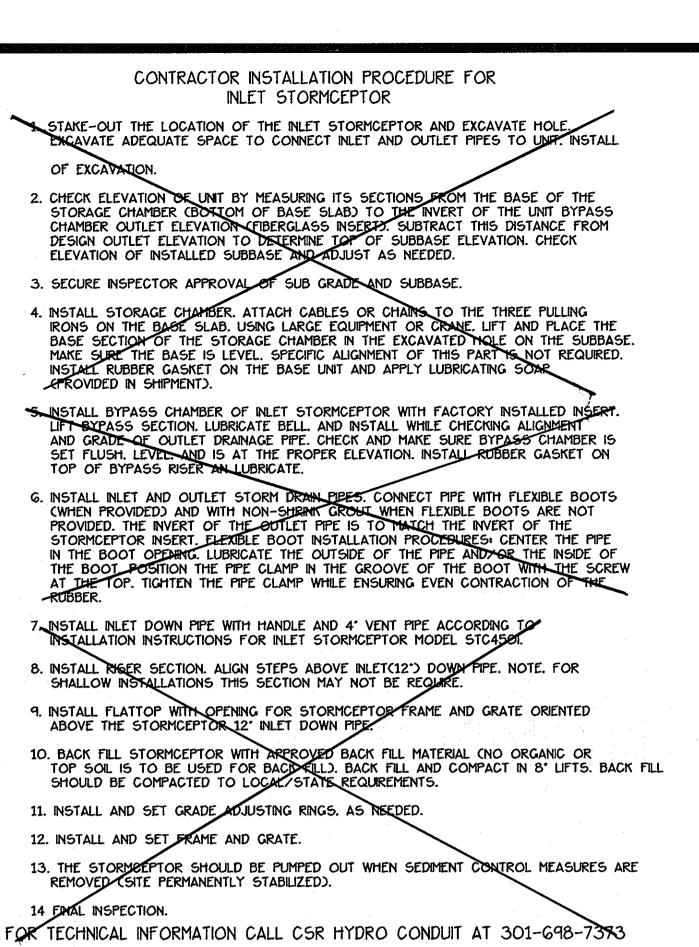
TELE: (410) 996-6089

SEDIMENT CONTROL DETAILS ROUTE 175 COMMERCIAL SECTION 1 AREA 2 PARCEL 'C-8' + OPEN SPACE LOT 5

G. L. W. FILE No. SCALE ZONING NTS 02025 DATE TAX MAP - GRID SHEET JUNE. 2002 8 OF 12 37-13 HOWARD COUNTY, MARYLAND

SDP 02-106





PROCEDURE TO SEAL LIFT HOLES

1. LIFT HOLES IN THE TANK SECTION ARE TO BE PLUGGED WITH A TAPPERED FLEXIBLE PLUG AND KNOCKED INTO THE HOLE WITH A HAMMER. (PLUG MAY BE PLACED IN THE INSIDE OR OUTSIDE OF THE TANK

2. ONCE THE PLUG IS SET IN PLACE, THE INSIDE AND OUTSIDE OF THE LIFT HOLES MUST BE COVERED WITH CEMENT GROUT.

3. CEMENT GROUT SEAL SHOULD EXPEND FOR 2 TO 3 NOHES BEYOND THE LIFT HOLE

4. LIFT HOLES WHICH ARE NOT PART OF THE TANK SECTION NEED ONLY BE SEALED WITH THE FLEXBLE PLUG KNOCKED INTO PLACE.

STORMCEPTOR DROP PIPE INSTALLATION PROCEDURE

DROP PIPES ARE TO BE INSTALLED ONCE THE RISER SECTION CONTAINING THE INSERT HAS BEEN INSTALLED ON THE STORAGE CHAMBER.

2. ENTER THE STORAGE CHAMBER AND INSTALL THE INLET DROP PIPE FROM UNDERNEATH THE INSERT. THE INLET DROP PIPE IS EASLY IDENTIFIABLE BY THE T-SECTION FUTING. THE TEE IS ORIENTED SUCH THAT IT IS PERPENDICULAR TO THE DIRECTION OF FLOW IN THE UPSTREAM STORM SEWER. FOR THE SMALLER MODELS (LESS THAN 2000) THE INLET DROP PIPE IS CEMENTED INTO THE COUPLING THAT IS PROVIDED USING THE SUPPLIED PVC CEMENT. FOR THE LARGER MODELS (GREATER THAN 2000) THE INLET DROP PIPE IS CONNECTED INTO A GASKETTED COUPLING USING THE SUPPLIED PIPE LUBRICANT.

ONCE THE NLET DROP PIPE HAS BEEN INSTALLED. THE CONNECTION SHOULD ALSO BE CALLIKED USING THE SUPPLIED (CHEMREN 948 OF BULLDOG PREMIUM PL) SEALANT TO ENSURE AN OIL/WATER TIGHT CONNECTION.

3. THE LARGE 24" (G10 mm) RISER PIPE IS INSERTED INTO THE PROVIDED OUTLET SLEEVE FROM ABOVE WHILE STANDING ON THE INSERT. A FLANCE IS PROVIDED ON THE OUTLET RISER PIPE TO PREVENT IT FROM FALLING INTO THE STORAGE CHAMBER. THE UNDERSIDE OF THE FLANGE MUST BE CAULKED WITH THE PROVIDED CHENREX 948 SEALANT TO ENSURE AN OIL/WATER IGHT CONNECTION.

4. A 6' (150 mm) COUPLING IS PROVIDED ON THE INSERT FOR THE SUPPLIED 6' (150 mm) PVC VENT PPE. THE VENT PPE SHOULD BE ATTACHED TO THE COUPLING USING THE SUPPLIED PVC CEMENT. ONCE THE CEMENT HAS SET, THE CONNECTION SHOULD ALSO BE CACLKED USING THE SUPPLIED CHEMREX 948 SEALANT TO ENSURE AN OIL/WATER DEAT CONNECTION.

APPROVED

PLANNING BOARD

of HOWARD COUNTY

DATE 07/10/02

APPROVED: FOR PUBLIC WATER + SEWERAGE SYSTEMS.

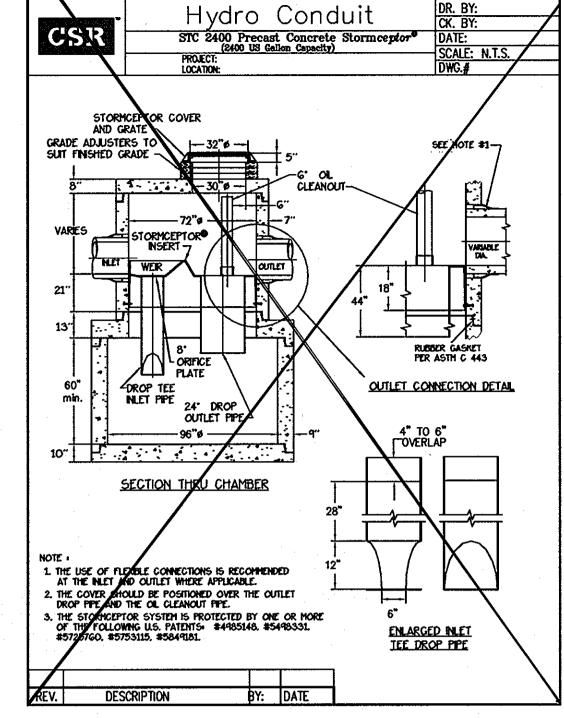
County Health Officer

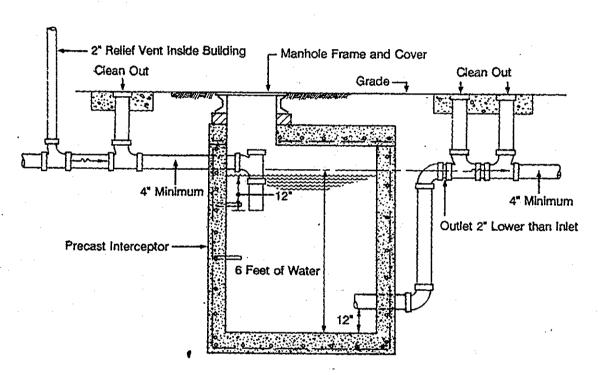
HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING + ZONING

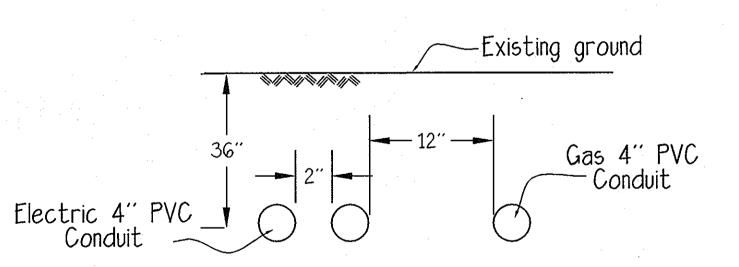
7-12-03

Date





GREASE + OIL INTERCEPTOR WATERPROOF PRECAST CONCRETE TANK OR EQUAL MINIMUM RETENTION 750 CUBIC FEET



DIRECT BURIED CONDUIT

All conduits 4" PVC. For additional information see sheet 10 + the BGE "Commercial Construction Handbook." All Information shall be verified by BGE prior to construction.

CONTRACT/PURCHASER RARE HOSPITALITY INTERNATIONAL, INC. 8215 ROSWELL ROAD ATLANTA. GEORGIA 30350



A. Electric Services - Customer/Contractor is responsible for:

· A conduit bank for secondary cable (<600V) from termination point to transformer pad, concrete-encased if required by BGE

· A conduit bank for primary cables under paving or "improved" areas as required by BGE or any city/county regulations, concrete-encased if required by BGE or any city/county regulations

· Pull boxes or manholes for secondary duct bank if necessary due to the number of bends needed for the selected route

· Purchase and installation of transformer pad(s) for three-phase transformers only

Installation of warning tape over conduit bank if required by NEC

· In urban areas, transformer vaults and manholes if required · Providing certification letter and photographic record of trench installation to verify conformance with these specifications

B. Gas Services - Customer/Contractor is responsible for: · On-site structural facilities (duct sleeves and meter pads) as required by BGE for natural gas infrastructure

in joint trench applications only • Installation of conduit for natural gas service under paving or under "improved" areas as required by BGE or any city/county regulations applicable only for plastic gas services (not mains) sizes: '%" CTS, 1" CTS,

11/4" CTS, 11/4" IPS and 2" IPS • Installation of marking tape

· Providing certification letter and photographic record of trench installation to verify conformance with these

Specifications for Customer Installation of Electrical Conduits (Specifications for Installations In Baltimore City may be different.)

The customer is responsible for designing, building, owning, and maintaining a conduit system for all secondary cables, primary cables, and natural gas under paving or "improved" areas as required by BGE.

A. Specifications for Customer Installation of Electric Duct Systems: 1. Conduits will be four inches minimum inside dimension I.P.S.

2. Conduits meeting the following specifications are acceptable for use on BGE's system: UL Schedule 40, EB-35, DB-60, DB-120 or ANSI/ASTM F-512, depending upon application.

3. Bends shall be no less than 36" in radius and limited to one 90-degree change in direction inside the building. A total of 180-degree maximum bend is allowed in the conduit line (i.e., conduit turn-up at transformer pad is one 90-degree bend). One additional, wide-radius bend (minimum radius of five feet) will be allowed. If this still will not be sufficient for the conduit design/construction, contact your BGE

4. BGE shall specify the number, size, and configuration of service ducts.

5. Concrete Encasement:

• Duct banks must be concrete-encased if any conduits are stacked vertically (one on top of the other).

• All 2x2 duct banks and greater must be concrete-encased.

· All bends at transformers and building walls must be concrete-encased regardless of whether the duct bank is concrete-encased.

· Virgin soil/select backfill is allowed for all other conduit installations.

· Spacers are required every four feet.

• Only standard 2,000 psi ready-mix concrete with air entrainment and pea gravel will be approved for

6. The customer shall pull a mandrel (half-inch smaller in diarneter than the conduit and six inches long) through each duct prior to BGE cable installation, followed by a quarter-inch pull-in cord (500 lb. minimum tensile strength), which shall remain in each duct.

7. Customers will connect all EB & DB electric conduits with sealed/glue couplings. 8. Customers will terminate their conduit with bell ends and plugs.

9. Slope of ducts shall prevent flooding of building or transformer.

10. Required minimum depth of conduits from final grade to top of conduit/conduit bank:

 30" for secondary • 36" for primary

11. Warning tape shall be installed over duct banks.

22. Lengths of secondary duct banks shall be minimized to limit pulling distances and electrical losses. Any secondary duct lengths over 100 feet shall be approved by BGE prior to construction.

13. The minimum longitudinal separation between foreign structures and conduit should be as follows:

• Telephone/Cable Television Conduit - 3" concrete or 12" earth · Gas, Water, Sanitary and Oil Mains - 12" earth

14. Splice boxes, pull boxes or manholes may be required by BGE depending on the specific installation. 15. Tranformer pads shall conform to the following detail drawings. Poured in-place pads shall provide two conduits for primary cables in all cases.

B. Specifications for Customer Installation of Gas Conduit Sleeving

1. The following gas conduit specification is acceptable for use on BGE system: UL Schedule 40 DB 60.

2. Conduit for gas services (not mains) is required whenever installed in common with electric ducts.

3. Gas conduit shall not exceed one 45-degree bend, and must terminate a minimum of five feet from all buildings/structures. No 90-degree bends are permitted.

4. Only one gas service per conduit is permitted.

5. Gas conduits will not be concrete-encased.

6. Installation of gas piping into electrical conduit bank is prohibited.

7. PVC conduit (solid wall, not split) may be used as a sleeve installed in advance of paving to facilitate future installation of small size (2" and smaller) gas services where casing is not required. The ends of the sleeve should not be sealed after insertion of the carrier pipe to avoid containment of gas in case of a gas leak. However, the end of the sleeve on a service line nearest the building should be sealed after installation of the carrier pipe and the opposite end of the sleeye left open.

8. Lengths of continuous runs for gas ducts shall not exceed 450 feet.

9. Mechanical joints on gas services are not allowed inside of conduit. Open trench space provision must be made to allow BGE room to make these connections.

10. Marker tape is required, and must be 12" minimum above all gas conduits.

11. Required minimum depth of conduits from final grade to top of conduit is 24".

12. Required vertical separation for gas conduit crossing foreign structures is 12".

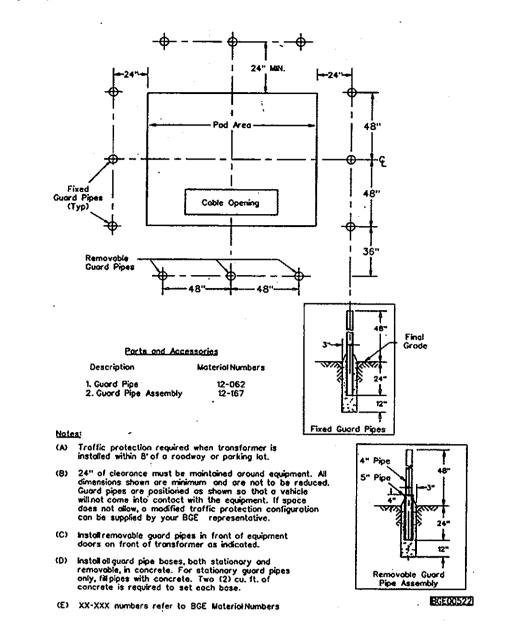
13. Horizontal separation between gas conduit and electric conduit, in common trench, should be 12" minimum.

• If the above specifications are not followed, the customer may be billed for additional time and material necessary for BGE to complete this job.

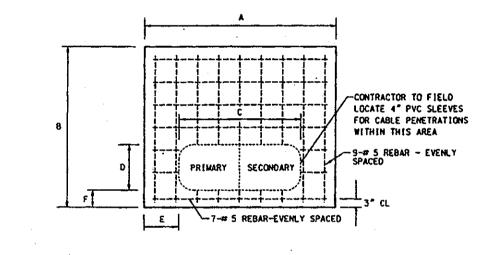
BGE will install tracer wire, with the gas piping, into the customer-supplied ducts

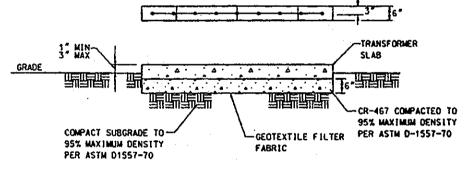
Traffic Protection for Pad-mounted Transformers

Transformers shall be protected on all sides exposed to vehicular traffic, or within eight feet or less from roadways



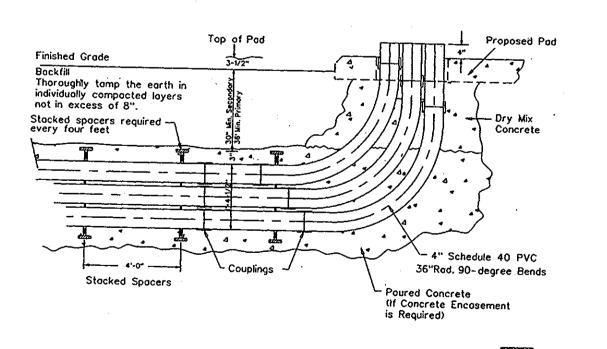
Poured-In-Place Three-Phase Transformer Foundation Pad





NOTE: Conduit and arounding must be coordinated with pad installation

511	ENS 10N	75- 500 KVA TRANSFORMER	750-2500KVA TRANSFORMER
	A	78"	100*
	8	66"	84"
	С	50"	50~-65*
	0	18"	18"
	Ε	14"	25*
	F	6"	8*



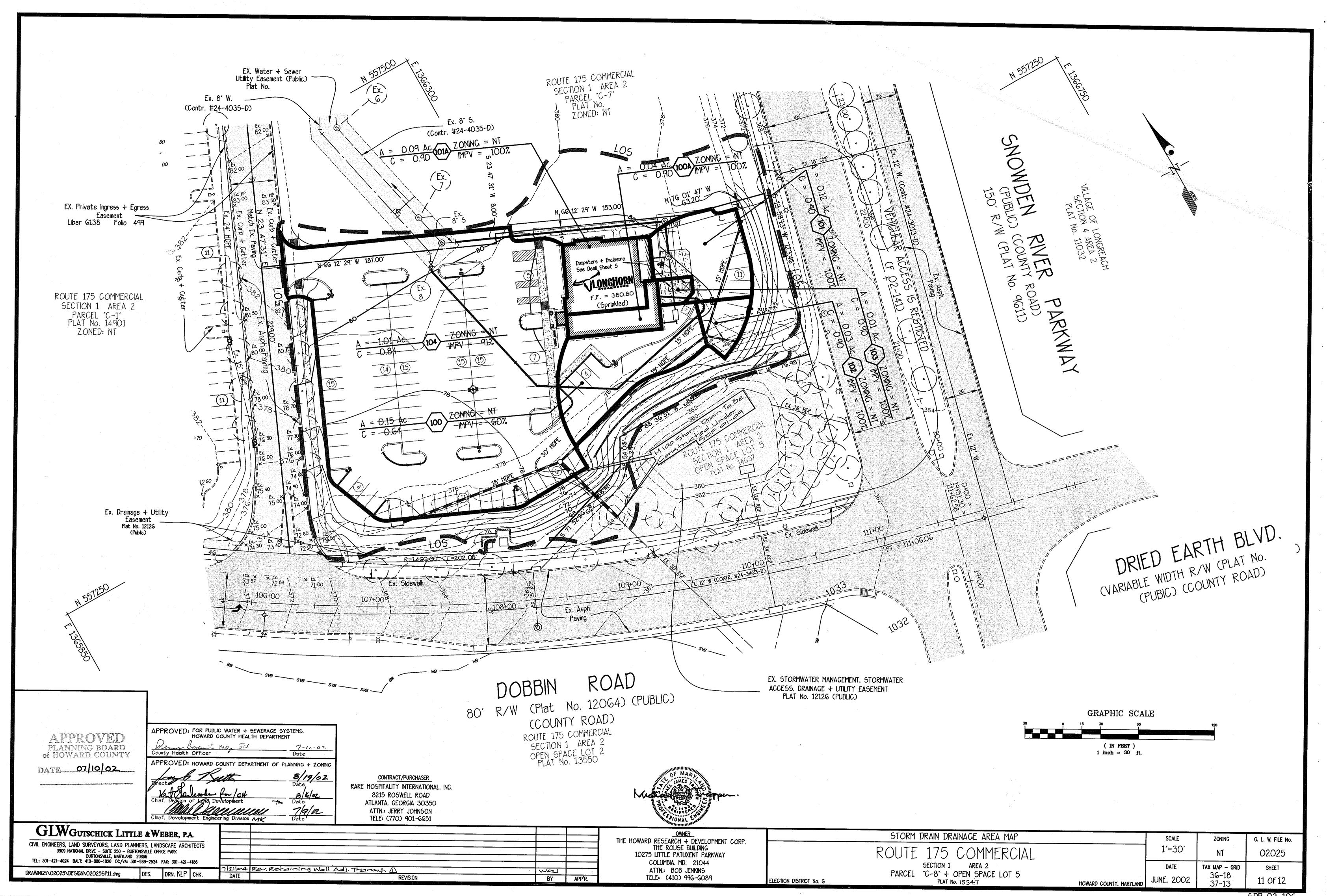
Turning Conduits Into Transformer Pads

Chief, Development Engine	Date ATIN.: JERRY JOHNSON TELE: (770) 901-6651		Management Committee		
GLWGutschick Little &Weber, P.A.			OWNER CORP	UTILITY DETAILS	SCALE ZONING (
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS			THE HOWARD RESEARCH + DEVELOPMENT CORP. THE ROUSE BUILDING	ROLITE 175 COMMERCIAL	NTS NT
3909 NATIONAL DRIVE — SUITE 250 — BURTONSVILLE OFFICE PARK BURTONSVILLE, MARYLAND 20866			— 10275 LITTLE PATUXENT PARKWAY — COLUMBIA, MD. 21044	SECTION 1 AREA 2	DATE TAX MAP — GRID
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186			ATTN.: BOB JENKINS	PARCEL "C-8" + OPEN SPACE LOT 5	JUNE. 2002 36-18
\DRAWINGS\O2O25\DESIGNO2O25Dt.DWG DES. DRN. WsJ CHK.	DATE REVISION	BY APP'R.	TELE: (410) 996-6089	ELECTION DISTRICT No. 6 PLAT No. 15547 He	OWARD COUNTY, MARYLAND JUINE, 2002 37-13

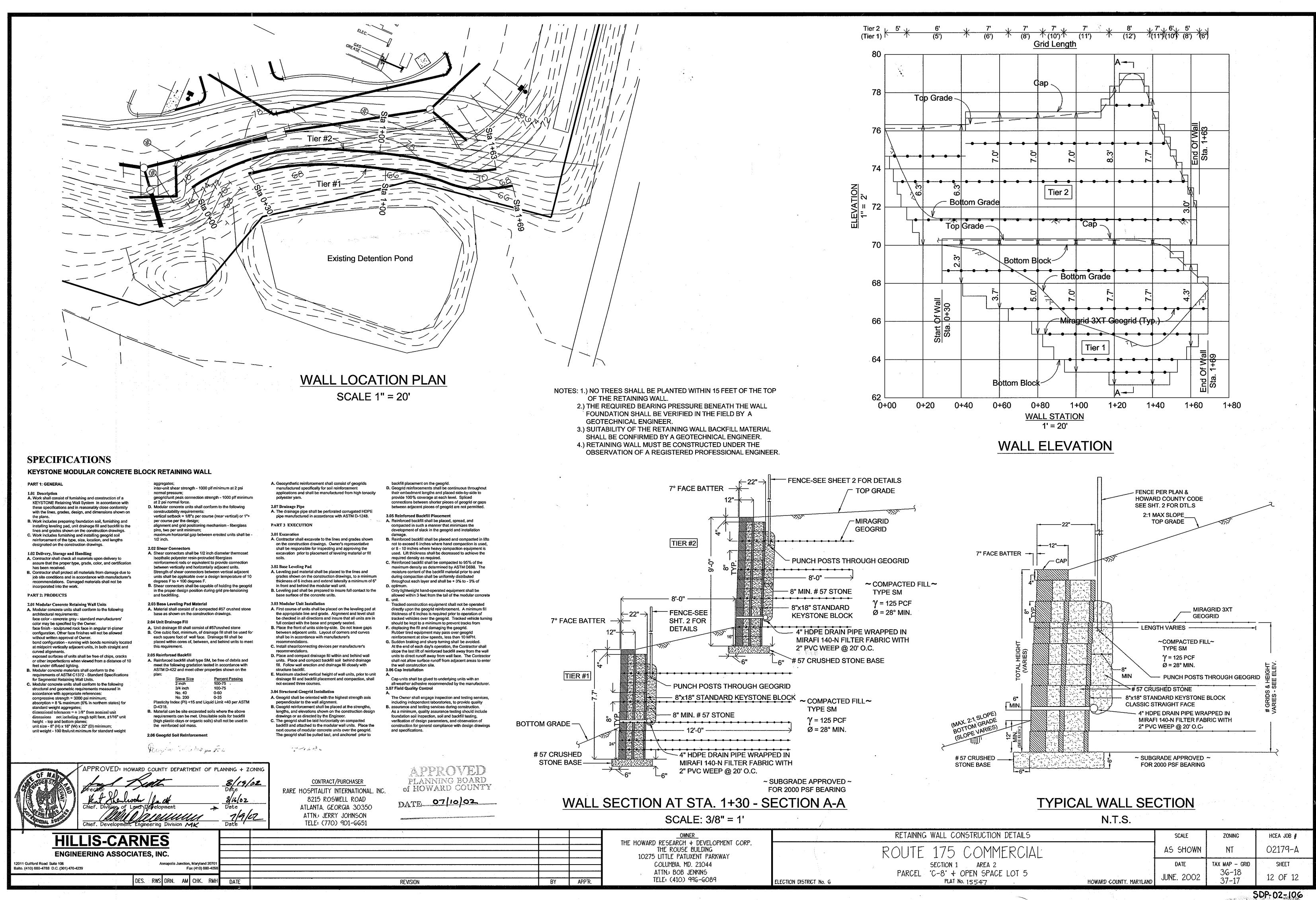
G. L. W. FILE No.

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