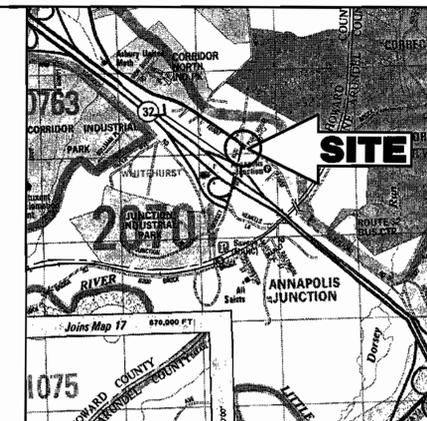




7-ELEVEN, INC.

GUILFORD ROAD @ DORSEY RUN ROAD HOWARD COUNTY, MARYLAND



LOCATION MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20694276
SCALE: 1"=2000'
HOWARD COUNTY ADC MAP #20 GRID-68

BENCHMARK INFORMATION

HOWARD COUNTY BENCHMARK 2962 SET 6' FROM P.C. EDGE
MACADAM IN MEDIAN OF ROUTE 40 AND RODGERS AVE.
INTERSECTION, AT AN ELEVATION OF 354.76'

< = GEODETIC CONTROL

EXISTING	LEGEND	PROPOSED
---	ON-SITE PROPERTY LINE / R.O.W. LINE	---
---	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE	---
---	EASEMENT LINE	---
---	BUILDING/PARKING SETBACK LINE	---
---	R.O.W. CENTERLINE	---
---	SANITARY SEWER MAIN	S
---	SANITARY SEWER LATERAL	S
---	STORM SEWER	S
---	WATER LINE	W
---	GAS LINE	G
---	UG ELECTRIC LINE	E
---	UG TELEPHONE LINE	T
---	OH WIRE	OH
---	UG CABLE LINE	C
---	EDGE OF PAVEMENT	---
---	CONCRETE CURB	---
---	CONCRETE CURB (TBR)	---
---	REVERSE CURB	---
---	CONCRETE CURB & GUTTER	---
---	BUILDING LINE	---
---	INDEX CONTOUR LINE	---
---	INTERMEDIATE CONTOUR LINE	---
---	SPOT ELEVATION	---
---	RIP RAP	---
---	FLARED END SECTION	---
---	HEADWALL OR ENDWALL	---
---	TEST PIT	---
---	STORM DRAIN MANHOLE	---
---	YARD INLET	---
---	GRATE INLET	---
---	CURB INLET	---
---	STORM STRUCTURE NO. LABEL	---
---	DECORATIVE AREA LIGHT	---
---	AREA / YARD LIGHT	---
---	CLEANOUT	---
---	HYDRANT	---
---	WATER METER	---
---	WATER VALVE	---
---	GAS VALVE	---
---	UTILITY POLE	---
---	TRAFFIC SIGNAL	---
---	SIGN	---
---	TYPICAL NOTE TEXT	---

SHEET INDEX

SHEET NUMBER	DRAWING TITLE
1	COVER SHEET
2	EXISTING CONDITIONS AND DEMOLITION PLAN
3	SITE LAYOUT PLAN
4	SITE GRADING PLAN
5	SITE UTILITY PLAN
6	SEDIMENT AND EROSION CONTROL PLAN
7	SEDIMENT AND EROSION CONTROL NOTES AND DETAILS
8	SITE LANDSCAPE PLAN
9	SITE LANDSCAPE NOTES AND DETAILS
10	SITE LIGHTING PLAN
11	UTILITY PROFILES
12	STORM WATER MANAGEMENT DRAINAGE AREA MAPS
13	STORM WATER MANAGEMENT NOTES AND DETAILS
14	STORM WATER MANAGEMENT NOTES AND DETAILS
15	STORM WATER MANAGEMENT NOTES AND DETAILS
16	CONSTRUCTION NOTES AND DETAILS
17	ELEVATIONS & DETAILS
18	ULTIMATE RIGHT OF WAY SITE PLAN
19	FOREST STAND DELINEATION PLAN

GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, "STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION LATEST EDITION" AND MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE LOCATION AND ELEVATIONS OF THE EXISTING UTILITIES SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION, AND DEPTH OF EXISTING UTILITIES IN THE WORK AREA AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR NOTIFYING BOHLER ENGINEERING, P.C. AT (410) 821-7900 IN THE EVENT OF ANY DISCREPANCIES ON THE PLAN OR IN THE RELATIONSHIP OF EXISTING GRADES WITH PROPOSED GRADES PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL NOTE THAT IN THE CASE OF A DISCREPANCY BETWEEN A SCALED DIMENSION AND A FIGURED DIMENSION SHOWN ON THE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
- IT SHALL BE DISTINCTLY UNDERSTOOD THAT THE FAILURE TO MENTION SPECIFIC WORK THAT WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT, SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) WORKING DAYS PRIOR TO BEGINNING WORK:
 - HOWARD COUNTY CONSTRUCTION INSPECTION DIVISION (410) 313-1880
 - MISS UTILITY (800) 257-7777
 - C&P TELEPHONE CO. (410) 725-9976
 - HOWARD COUNTY BUREAU OF UTILITIES (410) 313-2366
 - AT&T CABLE LOCATION DIVISION (410) 393-3553
 - BGA&E (410) 685-0123
 NOTIFY HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION AT LEAST 48 HOURS PRIOR TO THE START OF WORK (410) 313-1855.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS, UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THE PURPOSE OF THIS SITE DEVELOPMENT PLAN IS TO CONSTRUCT A CONVENIENCE STORE WITH GASOLINE SERVICE STATION.
- SECTION 404 OF THE MD DEPARTMENT OF NATURAL RESOURCES DOES NOT APPLY TO NOR ARE ANY WETLANDS PERMITS REQUIRED FOR THIS PROJECT.
- ALL WASTE MATERIAL WHICH HAS BEEN GENERATED AS A RESULT OF THE CONVENIENCE STORE SHALL BE EITHER STORED ON SITE AND LATER SHIPPED FOR RECYCLING OR PROPERLY DISPOSED OF AT A COUNTY APPROVED LANDFILL.
- PUBLIC WATER AND SEWER WILL BE UTILIZED, A WATER METER SHALL BE LOCATED WITHIN THE PROPERTY LINE AND WILL MEET ALL HOWARD COUNTY STANDARDS.
- EXISTING WATER IS SHOWN PER CONTRACT NO. 653-W. EXISTING SEWER IS SHOWN PER CONTRACT 24-3417.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLAN COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. -48D6 AND 48G6 WERE USED FOR THIS PROJECT.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM A FIELD RUN SURVEY WITH ONE FOOT CONTOUR INTERVALS PREPARED BY CONTROL POINT ASSOCIATES DATED 07/27/01.
- SEE PREVIOUS PLATS F 92-01 AND F 87-99 FOR ADDITIONAL INFORMATION FOR THIS PARCEL.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL LIGHTING MUST BE DIRECTED AWAY FROM ADJACENT PUBLIC RIGHT OF WAY AND ANY ADJACENT RESIDENTIAL PROPERTIES AND COMPLY WITH THE REQUIREMENTS OF ZONING SECTION 134.
- CONTRACTOR SHALL CONTACT THE CONSTRUCTION INSPECTION DIVISION 24 HOURS IN ADVANCE OF COMMENCEMENT OF WORK AT (410) 313-1880
- ALL REFUSE SHALL BE STORED IN THE PROPOSED BOARD ON BOARD TRASH ENCLOSURE IN ACCORDANCE WITH THE HOWARD COUNTY RULES AND REGULATIONS FOR REFUSE COLLECTION.
- THERE ARE NO STREAMS, WETLANDS, OR FLOODPLAINS ON SITE.
- THERE ARE NO KNOWN CEMETERIES ON SITE.
- STORMWATER MANAGEMENT HAS BEEN PROVIDED IN ACCORDANCE WITH THE HOWARD COUNTY STORM WATER REGULATIONS AND 2001 MDE. STORMWATER MANAGEMENT SHALL BE ADDRESSED BY AN ONSITE SAND FILTER AND MAINTAINED AT THE OWNERS EXPENSE. ALL HOWARD COUNTY AND MDE 2000 STORMWATER REQUIREMENTS SHALL BE MET.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY TRAFFIC GROUP INC. DATED JULY 2001 AND WAS APPROVED ON JULY 2002.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- THE SUBJECT PROPERTY IS ZONED M-2 (MANUFACTURING, HEAVY)
- SURETY IN THE AMOUNT OF \$13,350 FOR 25 SHADE TREES, 15 EVERGREEN TREES AND 120 SHRUBS IS TO BE POSTED WITH THE DEVELOPER AGREEMENT.
- THE FOREST CONSERVATION OBLIGATION OF 0.65 AC. OF REFORESTATION FOR THIS SITE DEVELOPMENT PLAN HAS BEEN MET BY A PAYMENT OF \$14,157.00 TO THE HOWARD COUNTY FOREST CONSERVATION FUND.
- BA-01-53C

THE HOWARD COUNTY BOARD OF APPEALS ORDERED ON FEB. 7, 2002 TO GRANT A CONDITIONAL USE FOR A GASOLINE SERVICE STATION WITH CONVENIENCE STORE IN A M-2 ZONE. SUBJECT TO THE FOLLOWING CONDITIONS AS STATED IN THE DECISION & ORDER:

- THE CONDITIONAL USE SHALL APPLY ONLY TO THE PROPOSED GASOLINE SERVICE STATION WITH A 2,940 SQUARE FEET CONVENIENCE STORE AS DESCRIBED IN THE PETITION AND AS DEPICTED ON THE CONDITIONAL USE PLAN FOR "7-ELEVEN INC." SUBMITTED ON SEPTEMBER 5, 2001, AND NOT TO ANY OTHER ACTIVITIES, USES, OR STRUCTURES ON SITE.
- THE STORAGE OF ALL AUTOMOTIVE SUPPLIES SHALL BE WITHIN THE MAIN STRUCTURE.
- THE SITE SHALL BE MAINTAINED AT ALL TIMES IN A CLEAN AND ORDERLY CONDITION, INCLUDING THE CARE OR REPLACEMENT OF PLANT MATERIALS REQUIRED IN THE LANDSCAPE PLAN. THE RESPONSIBILITY FOR COMPLIANCE WITH THIS PROVISION SHALL BE WITH ALL PARTIES HAVING A LEASE OR OWNERSHIP INTEREST IN THE GASOLINE SERVICE STATION.
- THE PETITIONER SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND COUNTY LAWS AND REGULATIONS.

SITE ANALYSIS DATA CHART

TOTAL PROJECT AREA: 92,719 S.F. OR 2.1285 AC.
LIMIT OF DISTURBED AREA: 60,576 S.F. OR 1.39 AC.
PRESENT ZONING: M-2 (MANUFACTURING, HEAVY)
PROPOSED USE: CONVENIENCE STORE WITH GASOLINE SERVICE STATION
FLOOR SPACE: 2,940 S.F. (COMMERCIAL/RETAIL)
MAXIMUM NUMBER OF EMPLOYEES: 3
PARKING SPACES REQUIRED: 9 PARKING SPACES
(A) GASOLINE STATION W/O CARWASH OR SERVICE BAYS: 3 SPACES
(B) CONVENIENCE STORE P/O GASOLINE STATION: 2 SPACES PER 1,000 S.F.; 6 SPACES
PARKING SPACES PROVIDED: 14 PARKING SPACES INCLUDING 1 HANDICAP SPACE AND 1 SERVICE SPACE
AREA OF RECREATION OPEN SPACE: REQUIRED: N/A
PROVIDED: N/A

SDP-02-101

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO.	PARCEL A-1 (P.34)
FIRST NATIONAL BANK			
PLAT# OR L/F	BLOCK#	ZONING	TAX MAP NO.
10127	14	M-2	48
			ELECT. DISTR
			6
			CENSUS TRACT
			6069.01
WATER CODE	SEWER CODE		
8-03	4200000		
ADDRESS CHART			
LOT/PARCEL #	STREET ADDRESS		
PARCEL A-1	10930 GUILFORD ROAD		
PROPOSED CONVENIENCE STORE WITH GASOLINE SERVICE STATION 10930 GUILFORD ROAD AT DORSEY RUN HOWARD COUNTY, MARYLAND			
COVER SHEET			
DESIGN BY: B.A.M.	SCALE: 1"=30'	PROJECT NO.: MD015508	
DRAWN BY: R.L.B.	DATE: 09/05/02	DRAWING NUMBER	
CHECKED BY: A.J.V.	APPROVED: A.J.V.	1	
REVISION NO.: 4	DRAWING NAME: M15508CV4	OF 19	
REVISION NO.: 1	DATE: 6/24/02	REVISION DESCRIPTION	
2	9/5/02	REVISED PER COUNTY COMMENTS	
3	11/18/02	REVISED PER COUNTY COMMENTS	
4	1/27/03	REVISED PER DLD & BEO COMMENTS	

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Adrian Williams 6/16/03
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
Cindy Hamada 6/20/03
 CHIEF-DIVISION PLANNING & DEVELOPMENT
Mark D. Ayers 6/24/03
 DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
Penny Borenstein, M.D. 6/19/03
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

BOHLER ENGINEERING, P.C.
 PROFESSIONAL ENGINEERING SERVICES
 810 GLENLEAGUES COURT, SUITE 300, TOWSON, MD 21286
 (410) 821-7900 FAX: (410) 821-7787 | www.bohlereng.com

6-6-03
 DATE:

 ADAM J. VOLANTI
 PROFESSIONAL ENGINEER NO. 21342

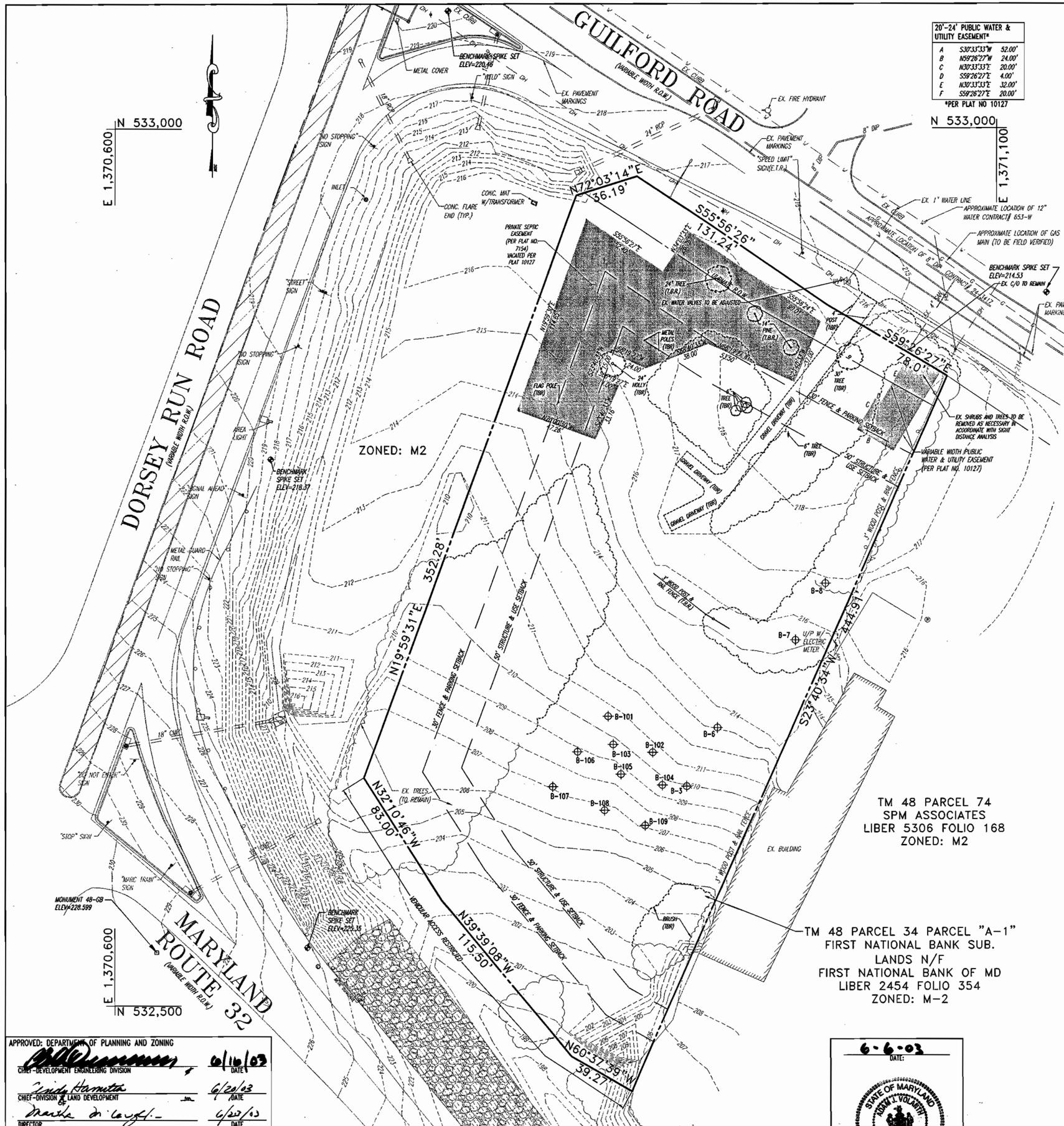
MISS UTILITY

 BEFORE YOU DIG CALL
 1-800-257-7777
 PROJECT YOURSELF, GIVE THREE WORKING DAYS NOTICE
 THIS DRAWING DOES NOT INCLUDE NECESSARY EQUIPMENT FOR CONSTRUCTION WITH ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREUNDER.

OWNER:
FIRST NATIONAL BANK OF MARYLAND
 C/O ALLFIRST BANK
 MAIL CODE 109-820
 110 SOUTH PACA STREET
 BALTIMORE, MD 21201
 ATTN: DAVID RICHARDSON
 TEL: 410-347-6801

DEVELOPER:

7-ELEVEN, INC.
 2711 EASTON ROAD
 WILLOW GROVE, PA 19099
 ATTN.: ERIC. E. ROEMER



20'-24' PUBLIC WATER & UTILITY EASEMENT*

A	S80°33'33"W	52.00'
B	N89°26'27"W	24.00'
C	N30°33'33"E	20.00'
D	S59°26'27"E	4.00'
E	N30°33'33"E	32.00'
F	S59°26'27"E	20.00'

*PER PLAT NO 10127

DEMOLITION NOTES:

- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
- COMPLETE DEMOLITION WORK ABOVE EACH FLOOR OR TIER BEFORE DISTURBING ANY OF THE SUPPORTING MEMBERS OF THE LOWER LEVELS.
- DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
- REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER THEM TO THE GROUND BY MEANS OF HOISTS, DERRICKS OR OTHER SUITABLE METHODS.
- BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY THE CLIENT.
- LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE MATERIALS SO AS TO NOT IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
- PREVENT INTERIOR AND EXTERIOR SHORING, BRACING AND SUPPORTS TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED (AND ADJACENT FACILITIES, IF APPLICABLE).
- DEMOLISH AND REMOVE ALL FOUNDATION WALLS, FOOTINGS AND OTHER MATERIALS WITHIN THE AREA OF THE DESIGNATED FUTURE BUILDING. ALL OTHER FOUNDATION SYSTEMS, IF ANY, SHALL BE DEMOLISHED TO A DEPTH OF NOT LESS THAN ONE FOOT BELOW PROPOSED PAVEMENT GRADE. BREAK BASEMENT FLOOR SLABS. SEAL ALL OPEN UTILITY LINES WITH CONCRETE.
- CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS AND OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF THE CLIENT AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATION.
- USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR, CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
- ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
- COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO INSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
- REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
- DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY, BEFORE THE COMMENCEMENT OF DEMOLITION, SERVICES THAT REQUIRE INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO INSURE THE CONTINUATION OF SERVICE.
- PRIOR TO THE ONSET OF DEMOLITION, THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES ON SITE AND COORDINATE REMOVAL OF SAID UTILITIES WITH THE RESPECTIVE UTILITY COMPANY.
- PRIOR TO THE ONSET OF DEMOLITION THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AS REQUIRED BY HOWARD COUNTY, THE STATE OF MARYLAND AND ANY APPLICABLE FEDERAL AGENCIES.
- T.B.R.=TO BE REMOVED.
- ALL EXISTING SHRUBBERY WITHIN THE LIMITS OF DISTURBANCE IS TO BE REMOVED UNLESS OTHERWISE NOTED.
- ALL EXISTING GRAVEL ON THE SUBJECT SITE IS TO BE REMOVED.
- ANY OTHER FEATURES NOT SHOWN ON THIS SURVEY, BUT NOT SITE SPECIFIC TO THE SUBJECT SITE ARE TO BE REMOVED, INCLUDING BUT NOT LIMITED TO LIGHT POLES, FENCES, AND SIGNS.
- THE CONTRACTOR IS RESPONSIBLE FOR SAFETY ON THE SITE AT ALL TIMES DURING THE DEMOLITION PROCESS.
- LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS ARE SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE AND ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUTS DO NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANY.
- ELEVATIONS ARE BASED UPON NGVD 1929 DATUM, REFERENCE HOWARD COUNTY CONTROL STATIONS 4806 & 4808.
- PROPERTY IS LOCATED IN FLOOD HAZARD ZONE C (AREAS OF MINIMAL FLOODING), PER MAP ENTITLED "NATIONAL FLOODING INSURANCE PROGRAM" FIRM-FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND, PANEL 44 OF 45, COMMUNITY-PANEL NUMBER 240044 0044 B, MAP REVISED 12-4-86.
- MARYLAND STATE PLANE GRID NORTH REFERENCES HOWARD COUNTY SURVEY CONTROL STATIONS 4806 & 4808, NAD83.
- EXISTING ON-SITE SEPTIC SYSTEMS SHALL BE REMOVED WITH HOWARD COUNTY HEALTH DEPARTMENT REQUIREMENTS PRIOR TO REMOVAL OF ANY STRUCTURES.
- EXISTING ITEMS TO BE REMOVED ARE DEPICTED W/DASHED LINETYPES.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS RELATIVE TO DEMOLITION.

NOTE:
ABANDONMENT OF ON SITE WELLS OR SEPTIC SYSTEMS MUST BE APPROVED BY THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO COMMENCEMENT OF ANY ON SITE DEMOLITION.

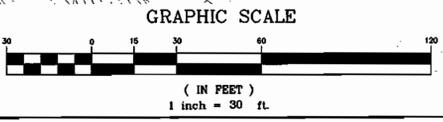
TM 48 PARCEL 74
SPM ASSOCIATES
LIBER 5306 FOLIO 168
ZONED: M2

TM 48 PARCEL 34 PARCEL "A-1"
FIRST NATIONAL BANK SUB.
LANDS N/F
FIRST NATIONAL BANK OF MD
LIBER 2454 FOLIO 354
ZONED: M-2

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 6/16/03
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
[Signature] 6/23/03
 CHIEF-DIVISION OF LAND DEVELOPMENT
[Signature] 6/23/03
 DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
[Signature] 6/19/03
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

BOHLER ENGINEERING, P.C.
 PROFESSIONAL ENGINEERING SERVICES
 610 GLENAGLES COURT, SUITE 300, TOWSON, MD 21286
 (410) 621-7900 FAX (410) 621-7967 | www.bohlereng.com



6-6-03
 DATE:

 ADAM J. VOLANTH
 PROFESSIONAL ENGINEER NO. 21342

MISS UTILITY

 BEFORE YOU DIG CALL 1-800-367-7777
 PROTECT YOURSELF, GIVE THREE WARNING DAYS NOTICE
 THIS DRAWING DOES NOT REQUIRE NECESSARY COMMENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN ACCORDANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREAFTER APPLICABLE.
 THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL DIGGING UTILITIES MARKED 72 HOURS PRIOR TO ANY CONSTRUCTION.

OWNER:
FIRST NATIONAL BANK OF MARYLAND
 C/O ALLFIRST BANK
 MAIL CODE 109-820
 110 SOUTH PACA STREET
 BALTIMORE, MD 21201
 ATTN: DAVID RICHARDSON
 TEL: 410-347-6801

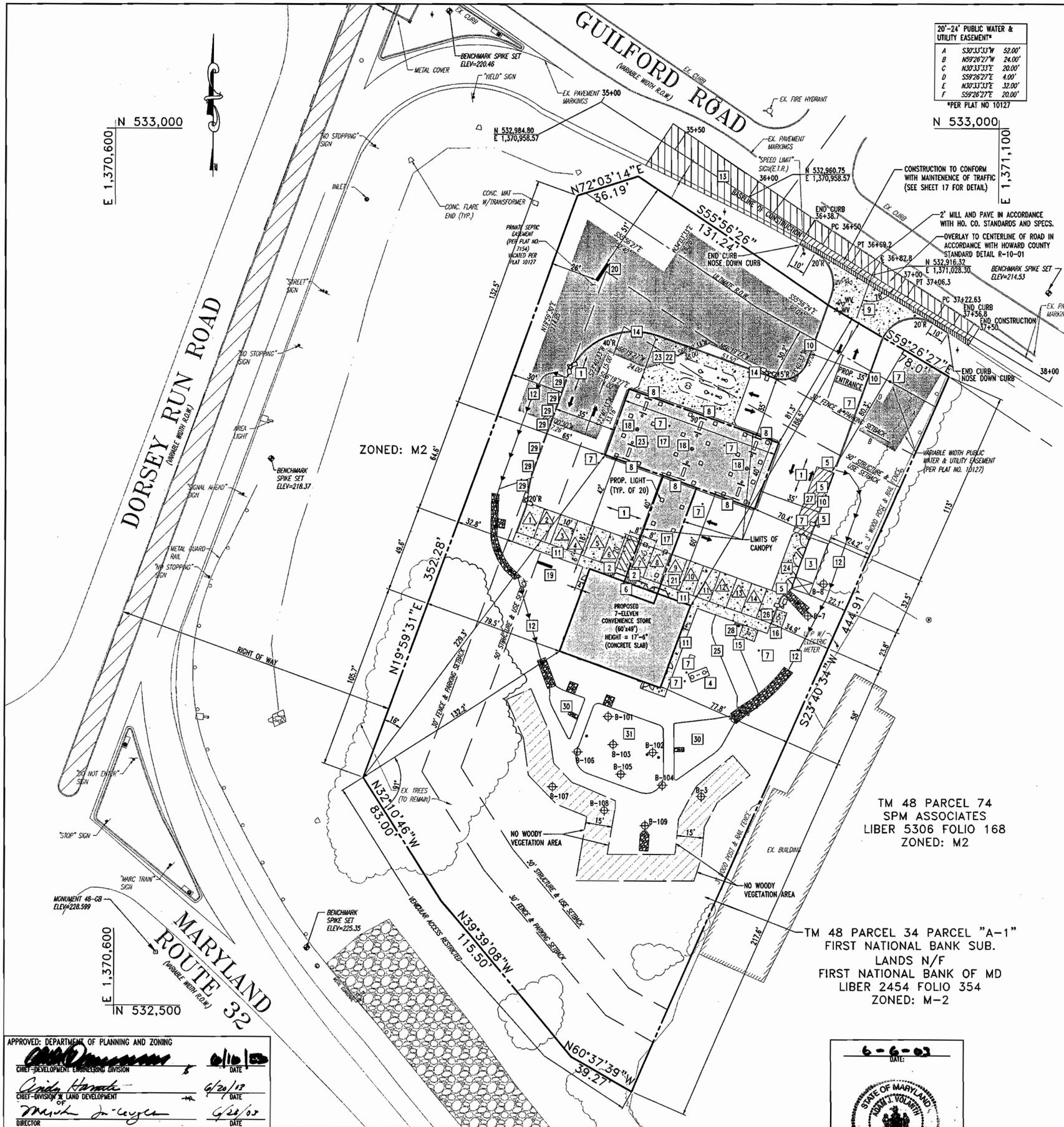
DEVELOPER:

7-ELEVEN, INC.
 2711 EASTON ROAD
 WILLOW GROVE, PA 19090
 ATTN: ERIC. E. ROEMER

SDP-02-101

PERMIT INFORMATION CHART					
SUBDIVISION NAME	FIRST NATIONAL BANK	SECTION/AREA	---	LOT/PARCEL NO.	PARCEL A-1 (P.34)
PLAT # OR L/F	19117	BLOCK#	14	ZONING	M-2
TAX MAP NO.	48	ELECT. DISTR	6	CENSUS TRACT	6969.01
WATER CODE	B-03	SEWER CODE	4200000		
ADDRESS CHART					
LOT/PARCEL #	STREET ADDRESS				
PARCEL A-1	10930 GULFORD ROAD				
PROPOSED CONVENIENCE STORE WITH GASOLINE SERVICE STATION 10930 GULFORD ROAD AT DORSEY RUN HOWARD COUNTY, MARYLAND					
EXISTING CONDITIONS AND DEMOLITION PLAN					
DESIGN BY:	B.A.M.	SCALE:	1"=30'	PROJECT NO.	MD015508
DRAWN BY:	R.L.B.	DATE:	09/5/02	DRAWING NUMBER	2
CHECKED BY:	A.J.V.	APPROVED:	A.J.V.		
REVISION NO.:4		DRAWING NAME:	M15508S3		OF 19
REVISION NO.:	DATE	REVISION DESCRIPTION			
1	8/24/02	REVISED PER COUNTY COMMENTS			
2	9/5/02	REVISED PER COUNTY COMMENTS			
3	11/16/02	REVISED PER COUNTY COMMENTS			
4	1/7/03	REVISED PER OLD & RED COMMENTS			

SDP-02-101



20'-24' PUBLIC WATER & UTILITY EASEMENT*

A	S30°33'33"W	52.00'
B	N59°26'27"E	24.00'
C	N30°33'33"E	20.00'
D	S59°26'27"E	4.00'
E	N30°33'33"E	32.00'
F	S59°26'27"E	20.00'

*PER PLAT NO 10127

- LEGEND**
- DETAIL INDICATOR
 - SHEET NUMBER WHERE DETAIL CAN BE FOUND
 - PARKING SPACES
 - CENTER LINE OF DRAINAGE SWALE
 - PROPOSED TREE LINE
 - BORING LOCATION

SITE PLAN DESIGN NOTES & KEY PLAN

- 1 ASPHALT PAVING
- 2 HANDICAP RAMP
- 3 10'x30' TRASH ENCLOSURE
- 4 GREASE TRAP
- 5 TYPICAL CURB BREAK
- 6 HANDICAP CURB
- 7 TYPICAL CLEAN OUT
- 8 "U" BOLLARD - SEE GASOLINE PLANS
- 9 GASOLINE SERVICE STATION ENTRANCE NO. CO. DETAIL NO. R-6.11
- 10 6" COMBINATION CURB AND GUTTER NO. CO. DETAIL NO. R-3.01
- 11 CONCRETE SIDEWALK
- 12 CHANNEL/SWALE
- 13 PAVING SECTION
- 14 REVERSE CURB
- 15 TELEPHONE - S/B (1) PHONE
- 16 AIR VACUUM
- 17 PROPOSED CANOPY AND TEE (SEE GASOLINE PLANS FOR DETAIL)
- 18 TRASH CAN
- 19 25' PYLON SIGN
- 20 MONUMENT SIGN
- 21 6" CONC. PAD WITH 6x6 W/WF
- 22 PROP. UNDERGROUND FUEL STORAGE TANKS (10,000 GAL. & 15,000 GAL. AND 8" CONC. PAD FURNISHED AND INSTALLED BY GAS CONTRACTOR)
- 23 6" CONC. PAD FURNISHED AND INSTALLED BY GAS CONTRACTOR
- 24 20'x30'x6" CONC. PAD
- 25 12' WIDE SWM ACCESS AREA (GRASS)
- 26 18'x9' SERVICE SPACE
- 27 LOADING ZONE
- 28 NO PARKING SIGN
- 29 CONCRETE WHEEL STOP
- 30 PROPOSED FOREBAY
- 31 PROPOSED SURFACE SAND FILTER SWMF

CURB STAKE OUT CHART

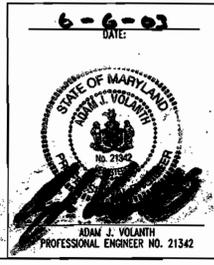
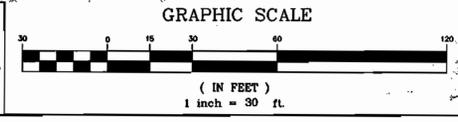
37+50.0	12.00' LEFT	BEGIN CONSTRUCTION
37+36.80	12.00' LEFT	BEGIN CURB & GUTTER
37+22.63	34.50' LEFT	TO PC
36+50.0	30.50' LEFT	TO PC
36+38.7	16.00' LEFT	END CURB & GUTTER
		END CONSTRUCTION

GENERAL NOTES:

1. UNLESS OTHERWISE NOTED, ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST HOWARD COUNTY PLUMBING CODE AND DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS AND DETAILS. IN CASE OF CONFLICT OR DISCREPANCY, THE PLUMBING CODE SHALL APPLY.
2. EXISTING SITE FEATURES AND UTILITIES SHOWN HAVE BEEN BASED UPON SURVEYS AND OTHER SOURCES BELIEVED TO BE RELIABLE. THE CORRECTNESS OR COMPLETENESS OF THE INFORMATION SHOWN IS NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL INFORMATION BEFORE COMMENCING WORK.
3. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 A MINIMUM OF FIVE WORKING DAYS PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL MAINTAIN, REPAIR, AND/OR REPLACE ANY EXISTING SEDIMENT CONTROL DEVICES ENCOUNTERED AND DISTURBED DURING THE COURSE OF CONSTRUCTION. AT THE END OF EACH DAY, ALL MEASURES AND DEVICES SHALL BE REPAIRED OR REPLACED BEFORE LEAVING THE WORK SITE.
5. CONSTRUCTION SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION ON THE APPROVED EROSION AND SEDIMENT CONTROL DRAWING.
6. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY SITE PERMITS AND INSPECTIONS.
7. THE CONTRACTOR SHALL MAINTAIN TRAFFIC AT ALL TIMES.
8. NUMERICALLY WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
9. UNLESS OTHERWISE NOTED, DIMENSIONS FROM CURB ARE MEASURED AT FACE OF CURB.
10. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS.
11. ALL GRADING AND EXCAVATION SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S REPORT AND INSPECTED BY A GEOTECHNICAL ENGINEER.
12. FINISHED GRADES SHALL FALL AWAY FROM EXISTING AND PROPOSED BUILDINGS AT A MINIMUM OF 1/4 INCH PER FOOT FOR VEGETATED AREAS AND A MINIMUM OF 1/8 INCH PER FOOT FOR PAVED AREAS UNLESS OTHERWISE INDICATED.
13. CONSTRUCTION OF SUBGRADE, UNDERDRAINS, AND PAVING SHALL BE INSPECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER.
14. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND DEPTH OF ALL EXISTING UTILITIES, AS NECESSARY. REPORT ANY DISCREPANCIES FROM THE PLANS TO BOHLER ENGINEERING, P.C. ALL UTILITIES SHALL BE RETAINED UNLESS LABELED OTHERWISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COST AND WORK REQUIRED TO ADJUST EXISTING AND PROPOSED UTILITIES AND APPURTENANCES TO FINISH GRADES WITHIN THE LIMITS OF WORK. DAMAGE TO EXISTING CONDITIONS AND UTILITIES SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
15. THE CONTRACTOR SHALL HAVE ALL PRIVATE UTILITIES LOCATED PRIOR TO ANY CONSTRUCTION.
16. EXISTING UTILITIES WHICH ARE NOT TO BE REMOVED OR ABANDONED SHALL REMAIN OPERATIONAL AT ALL TIMES. APPROPRIATE EXISTING UTILITIES SHALL REMAIN IN SERVICE UNTIL REPLACEMENT/RELOCATED UTILITIES ARE OPERATIONAL.
17. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL UTILITIES TO AVOID CONSTRUCTION PROBLEMS/CONFLICTS WITH EROSION AND SEDIMENT CONTROL MEASURES. SEE APPROVED SEDIMENT CONTROL PLAN.
18. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL WATER, SEWER, AND DRAIN HOUSE CONNECTIONS WITH THE MECHANICAL DRAWINGS.
19. THE CONTRACTOR SHALL MAINTAIN 2.0 FEET MINIMUM COVER OVER ALL UTILITIES DURING CONSTRUCTION.
20. UNLESS OTHERWISE NOTED, ALL UTILITY CONNECTIONS SHALL BE CAPPED OR PLUGGED FIVE FEET FROM BUILDING.
21. ELECTRIC, TELEPHONE, GAS, AND CABLE TO BE DESIGNED BY OTHERS. WHERE THOSE FACILITIES ARE SHOWN, THEY ARE FOR COORDINATION PURPOSES ONLY.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY WORK NOT SPECIFICALLY MENTIONED ON THE PLANS WHICH NORMALLY WOULD BE REQUIRED TO COMPLETE THE PROJECT.
23. DIMENSIONS TO OBJECTS ARE PERPENDICULAR TO PROPERTY LINE UNLESS OTHERWISE STATED.
24. FOR MAINTENANCE OF TRAFFIC SEE SITE DETAIL SHEET 17.
25. BASELINE OF CONSTRUCTION COINCIDES WITH CAPITAL PROJECT NO. J-4175.

TM 48 PARCEL 74
SPM ASSOCIATES
LIBER 5306 FOLIO 168
ZONED: M2

TM 48 PARCEL 34 PARCEL "A-1"
FIRST NATIONAL BANK SUB.
LANDS N/F
FIRST NATIONAL BANK OF MD
LIBER 2454 FOLIO 354
ZONED: M-2



OWNER:
FIRST NATIONAL BANK OF MARYLAND
C/O ALLFIRST BANK
MAIL CODE 109-820
110 SOUTH PACA STREET
BALTIMORE, MD 21201
ATTN: DAVID RICHARDSON
TEL: 410-347-6801

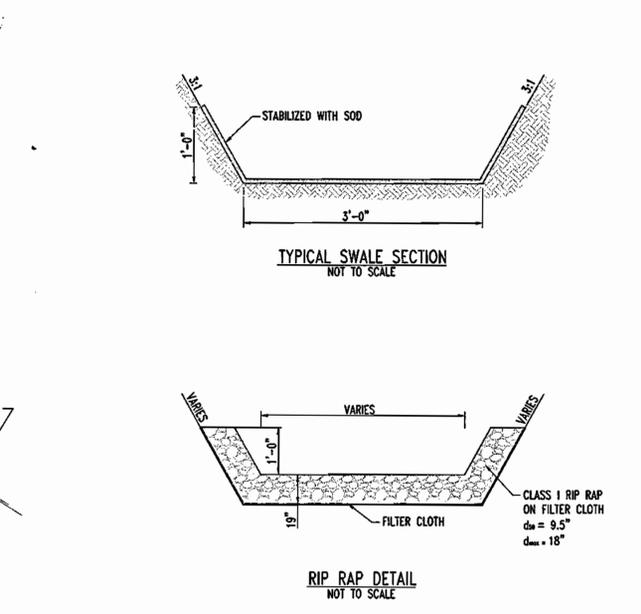
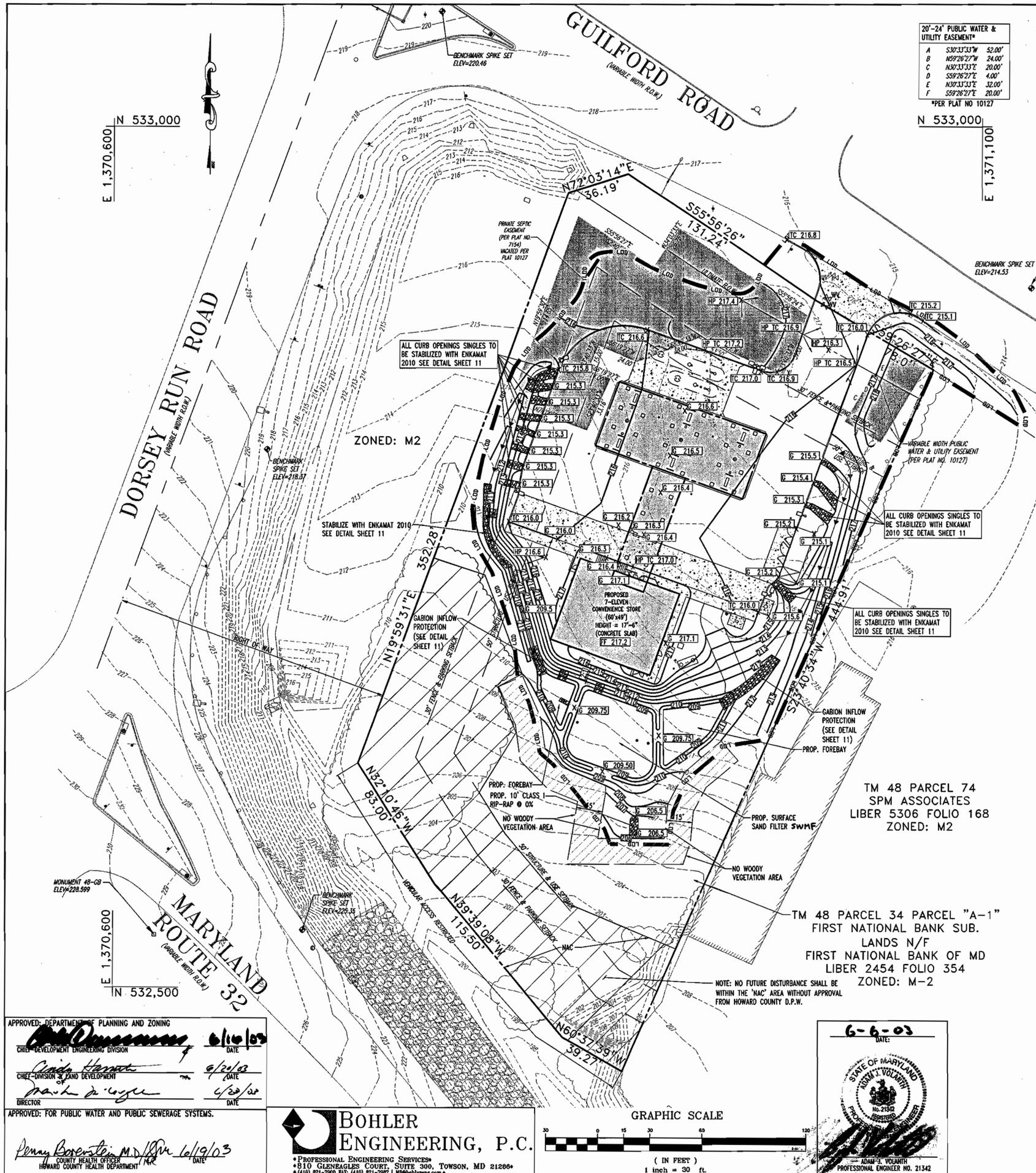


DEVELOPER:
7-ELEVEN, INC.
2711 EASTON ROAD
WILLOW GROVE, PA 19090
ATTN.: ERIC. E. ROEMER

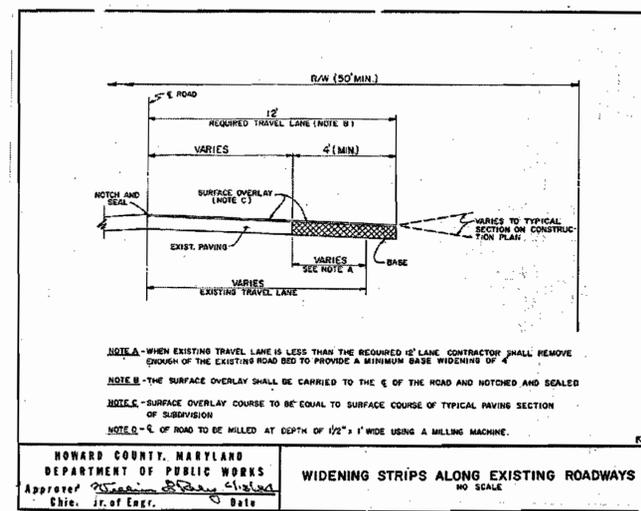
SDP-02-101					
PERMIT INFORMATION CHART					
SUBDIVISION NAME	FIRST NATIONAL BANK	SECTION/AREA	---	LOT/PARCEL NO.	PARCEL A-1 (P.34)
PLAT# OR L/F	10127	BLOCK#	14	ZONING	M-2
WATER CODE	B-03	TAX MAP NO.	48	ELECT. DIST.	6
		SEWER CODE	4200000	CENSUS TRACT	6089.01
ADDRESS CHART					
LOT/PARCEL #	STREET ADDRESS				
PARCEL A-1	10930 GUILFORD ROAD				
PROPOSED CONVENIENCE STORE WITH GASOLINE SERVICE STATION 10930 GUILFORD ROAD AT DORSEY RUN HOWARD COUNTY, MARYLAND					
SITE LAYOUT PLAN					
DESIGN BY:	B.A.M.	SCALE:	1"=30'	PROJECT NO.:	40015508
DRAWN BY:	R.L.B.	DATE:	09/5/02	DRAWING NUMBER	3
CHECKED BY:	A.J.V.	APPROVED:	A.J.V.	DRAWING NAME:	M15508S3
REVISION NO.:	4	OF 19			
REVISION NO.:	1	DATE:	6/24/02	REVISION DESCRIPTION	
	2	DATE:	9/5/02	REVISED PER COUNTY COMMENTS	
	3	DATE:	11/18/02	REVISED PER COUNTY COMMENTS	
	4	DATE:	1/7/03	REVISED PER OLD & NEW COMMENTS	

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 CHIEF-DIVISION OF LAND DEVELOPMENT
 DIRECTOR
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
 COUNTY HEALTH OFFICER
 HOWARD COUNTY DEPARTMENT

BOHLER ENGINEERING, P.C.
 PROFESSIONAL ENGINEERING SERVICES
 810 GLENAGLES COURT, SUITE 300, TOWSON, MD 21286
 (410) 841-7900 FAX: (410) 841-7907 WWW.bohlereng.com



- GRADING NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHY AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MIN. SLOPE AGAINST ALL GUTTERS TO PREVENT PONDING. ANY DISCREPANCIES SHALL BE PROVIDED TO THE ENGINEER IN WRITING IMMEDIATELY.
 - SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
 - SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND STANDARDS OF THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER A.S.T.M. TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED, LICENSED, SOILS ENGINEER, CERTIFYING THAT THE SUBBASE WITHIN THE AREAS TO BE PAVED HAS BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
 - LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICES CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST POINTS. CROSSINGS WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - ALL SPOT SHOTS ON PROPOSED CURBS ARE TAKEN FROM TOP OF CURB AND ARE TO BE 6" TO BOTTOM OF CURB UNLESS OTHERWISE NOTED.
 - SITE AREA: 2.1285 AC.
 - DISTURBED AREA: 1.39 AC.
 - OWNER: FIRST NATIONAL BANK OF MARYLAND
C/O ALLFIRST BANK
MAIL CODE 109-820
110 SOUTH PACA STREET
BALTIMORE, MD 21201
 - THESE PLANS ARE BASED ON THE MARYLAND COORDINATE SYSTEM (MCS) AND THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
 - A PRIVATE, SAND FILTER TO BE CONSTRUCTED, OWNED, AND MAINTAINED BY THE PROPERTY OWNER.



LEGEND

- PROPOSED GRADE
- - - EXISTING GRADE
- X 6 123.45 PROPOSED SPOT
- 390.49 EXISTING SPOT
- LOD --- LIMIT OF DISTURBANCE

TM 48 PARCEL 74
SPM ASSOCIATES
LIBER 5306 FOLIO 168
ZONED: M2

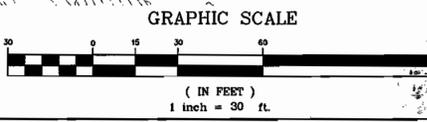
TM 48 PARCEL 34 PARCEL "A-1"
FIRST NATIONAL BANK SUB.
LANDS N/F
FIRST NATIONAL BANK OF MD
LIBER 2454 FOLIO 354
ZONED: M-2

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF - DEVELOPMENT ENGINEERING DIVISION
DATE: 6/14/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

APPROVED: COUNTY HEALTH OFFICER
DATE: 6/19/03

BOHLER ENGINEERING, P.C.
PROFESSIONAL ENGINEERING SERVICES
810 GLENLEAGUE COURT, SUITE 300, TOWSON, MD 21286
(410) 821-7800 FAX: (410) 821-7887 | MD@bohlereng.com



6-6-03
STATE OF MARYLAND
NOTARY VOLUNTARY
ADAM S. VOSATH
PROFESSIONAL ENGINEER NO. 21542

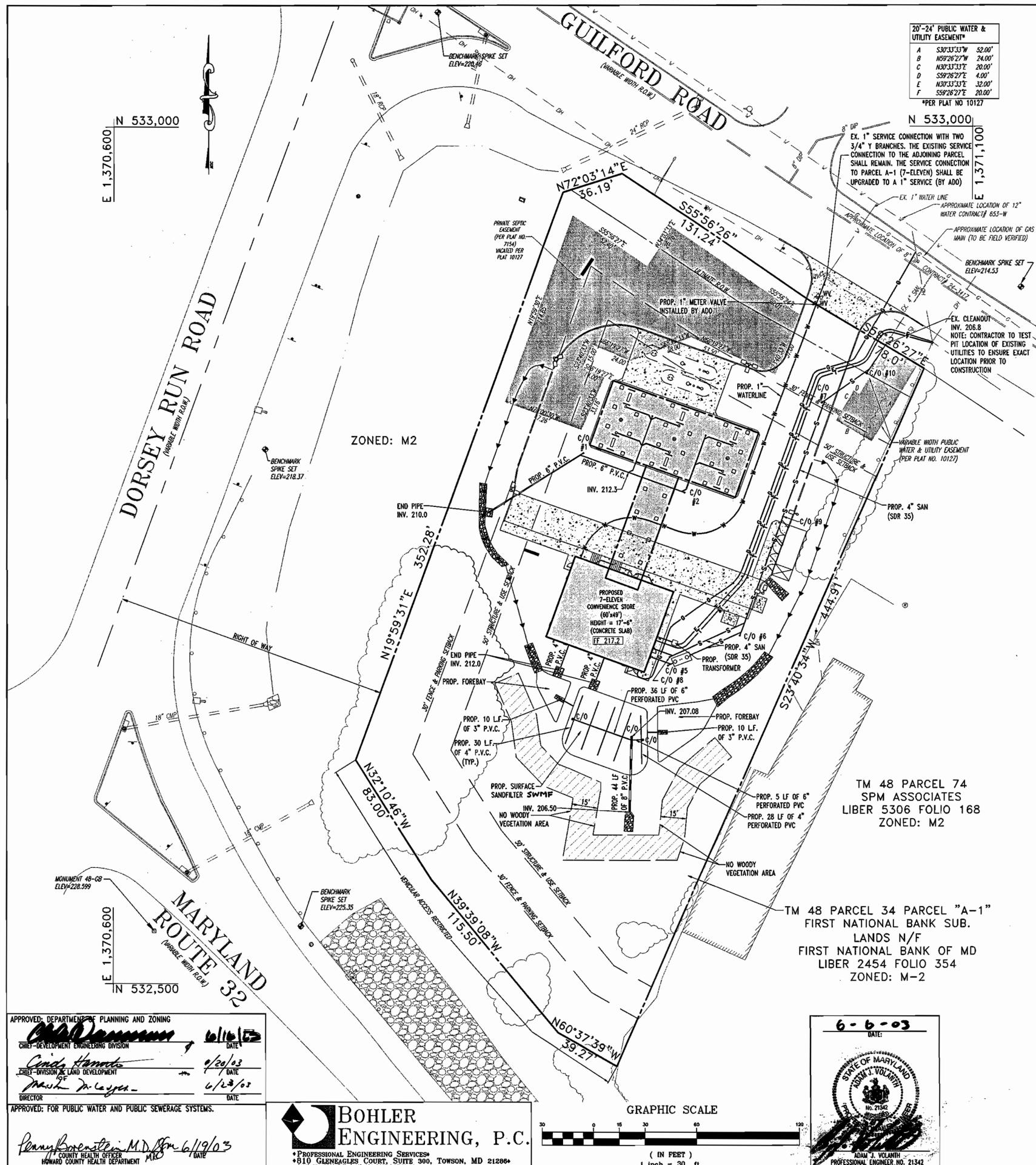
MISS UTILITY
BEFORE YOU DIG CALL
1-800-287-7777
PROTECT YOURSELF AND OTHERS
WORKING DAYS NOTICE

OWNER:
FIRST NATIONAL BANK OF MARYLAND
C/O ALLFIRST BANK
MAIL CODE 109-820
110 SOUTH PACA STREET
BALTIMORE, MD 21201
ATTN: DAVID RICHARDSON
TEL: 410-347-6801

DEVELOPER:
7-ELEVEN, INC.
2711 EASTON ROAD
WILLOW GROVE, PA 19090
ATTN: ERIC E. ROEMER

SDP-02-101

PERMIT INFORMATION CHART				
SUBDIVISION NAME	FIRST NATIONAL BANK	SECTION/AREA	---	LOT/PARCEL NO.
PLAT# OR L/F	10127	BLOCK#	14	PARCEL A-1 (P.34)
ZONING	M-2	TAX MAP NO.	48	ELECT. DISTR
SEWER CODE	B-03	SEWER CODE	4200000	CENSUS TRACT
6069.01				
ADDRESS CHART				
LOT/PARCEL #	STREET ADDRESS			
PARCEL A-1	10930 GUILFORD ROAD			
PROPOSED CONVENIENCE STORE WITH GASOLINE SERVICE STATION 10930 GUILFORD ROAD AT DORSEY RUN HOWARD COUNTY, MARYLAND				
SITE GRADING PLAN				
DESIGN BY:	B.A.M.	SCALE:	1"=30'	PROJECT NO.:
MD015508				
DRAWN BY:	R.L.B.	DATE:	09/5/02	DRAWING NUMBER
4				
CHECKED BY:	A.J.V.	APPROVED:	A.J.V.	OF 19
REVISION NO.:	4	DRAWING NAME:	M15508SS3	
REVISION NO. DATE REVISION DESCRIPTION				
1	6/24/02	REVISED PER COUNTY COMMENTS		
2	9/5/02	REVISED PER COUNTY COMMENTS		
3	11/18/02	REVISED PER COUNTY COMMENTS		
4	1/7/03	REVISED PER OLD & NEW COMMENTS		



20'-24' PUBLIC WATER & UTILITY EASEMENT*

A	S30°33'33"W	52.00'
B	N59°26'27"E	24.00'
C	N30°33'33"E	20.00'
D	S59°26'27"E	4.00'
E	N30°33'33"E	32.00'
F	S59°26'27"E	20.00'

*PER PLAT NO 10127

- UTILITY NOTES:**
- ALL UTILITY POLE RELOCATIONS MUST BE COORDINATED WITH THE RESPECTIVE ELECTRIC COMPANY.
 - LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICES CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST POINTS. CROSSINGS WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - MAINTENANCE OF ALL STORMWATER MANAGEMENT FACILITIES NOT LOCATED WITHIN PUBLIC RIGHT-OF-WAY, INCLUDING THE DETENTION BASIN, SHALL BE THE RESPONSIBILITY OF THE LOT OWNER. DETENTION BASINS, SWALES, AND OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED IN DESIGN CONDITION AND FREE OF FILL AND OBSTRUCTIONS.
 - A MINIMUM VERTICAL SEPARATION OF 12" SHALL BE MAINTAINED BETWEEN SANITARY SEWER LINES AND STORM LINES OR WATER LINES. IF THIS MINIMUM CLEARANCE CANNOT BE MAINTAINED, A CONCRETE ENCASUREMENT SHALL BE PROVIDED.
 - EXISTING UTILITIES HAVE BEEN SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND ALLOW FOR THEIR LOCATION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE DONE DUE TO HIS NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT HIS EXPENSE.
 - ALL EXCAVATIONS THAT ARE DEEPER THAN 5 FEET SHOULD BE PROPERLY SLOPED OR OTHERWISE STRUCTURALLY RETAINED TO PROVIDE STABLE AND SAFE WORKING CONDITIONS. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS CALL FOR MINIMUM SLOPES OF 1H:1V. OSHA REQUIREMENTS MUST BE FOLLOWED AND ADEQUATE PROTECTION PROVIDED FOR WORKERS.
 - ANY SEDIMENT CONTROL MEASURES REMOVED FOR THE PURPOSE OF UTILITY CONSTRUCTION SHALL BE REPLACED AT THE END OF THE DAY BY THE UTILITY CONTRACTOR.
 - ALL STORM DRAIN, WATER, SEWER AND PRODUCT PIPING UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE HOWARD COUNTY STANDARDS AND SPECIFICATIONS FOR UTILITY CONSTRUCTION, AND MOTIVA SPECIFICATIONS.
 - SANITARY CLEANOUT TOPS TO BE ADJUSTED TO MATCH CROSS-PITCH AND SLOPE OF PROPOSED GRADES. CLEANOUT TOPS TO BE IDENTIFIED AS SANITARY CLEANOUTS, THREADED, AND CONTAIN COUNTERSUNK PLUGS.
 - WATER SERVICES SHALL HAVE A MINIMUM 3.5 FOOT COVER OVER CROWN OF PIPE.
 - WATER SERVICE SHALL BE TYPE "K" COPPER TUBING. SANITARY SEWER PIPE SHALL BE SDR 35 PVC. CERTAIN SECTIONS OF THE SERVICES REQUIRE SPECIAL PIPE TYPES WHICH ARE NOTED ON THE PLAN.
 - WATER AND SEWER SERVICES SHALL BE COORDINATED WITH THE BUILDING CONTRACTOR FOR HORIZONTAL AND VERTICAL ALIGNMENT AND CONNECTIONS.
 - PROPOSED 2" WATER METER SHALL BE LOCATED INSIDE THE BUILDING.

PIPE SCHEDULE

SIZE	TYPE	TOTAL LENGTH
4"	SCHEDULE 40 P.V.C.	177 FT.
6"	SCHEDULE 40 P.V.C.	339 FT.
4"	SDR 35	287 FT.
3"	SCHEDULE 40 P.V.C.	20 FT.
8"	SCHEDULE 40 P.V.C.	44 FT.

CLEANOUT SCHEDULE

C/O NO.	TYPE	INV.	TOP ELEV.
1	STORM	212.0	215.6
2	STORM	212.7	216.3
3	STORM	213.0	216.3
4	STORM	212.6	215.8
5	SANITARY	213.6	216.2
6	SANITARY	211.8	215.6
7	SANITARY	208.2	215.6
8	SANITARY	213.6	216.5
9	SANITARY	210.1	215.3

SDP-02-101

PERMIT INFORMATION CHART

SUBDIVISION NAME	FIRST NATIONAL BANK	SECTION/AREA	---	LOT/PARCEL NO.	PARCEL A-1 (P.34)
PLAT# OR L/F	10127	BLOCK#	14	ZONING	M-2
TAX MAP NO.	48	ELECT. DISTR.	6	CENSUS TRACT	6069.01
WATER CODE	B-03	SEWER CODE	4200000		

ADDRESS CHART

LOT/PARCEL #	STREET ADDRESS
PARCEL A-1	10930 GUILFORD ROAD

PROPOSED CONVENIENCE STORE WITH GASOLINE SERVICE STATION
10930 GUILFORD ROAD AT DORSEY RUN
HOWARD COUNTY, MARYLAND

SITE UTILITY PLAN

DESIGN BY:	B.A.M.	SCALE:	1"=30'	PROJECT NO.:	MD015508
DRAWN BY:	R.L.B.	DATE:	09/5/02	DRAWING NUMBER	5
CHECKED BY:	A.J.V.	APPROVED:	A.J.V.	REVISION NO.:	4
REVISION NO.:	4	DRAWING NAME:	M15508SS3	OF	19

DEVELOPER: 7-ELEVEN, INC.
2711 EASTON ROAD
WILLOW GROVE, PA 19090
ATTN: ERIC. E. ROEMER

TM 48 PARCEL 74
SPM ASSOCIATES
LIBER 5306 FOLIO 168
ZONED: M2

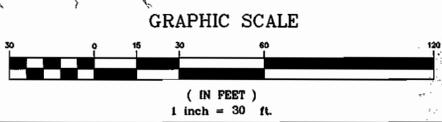
TM 48 PARCEL 34 PARCEL "A-1"
FIRST NATIONAL BANK SUB.
LANDS N/F
FIRST NATIONAL BANK OF MD
LIBER 2454 FOLIO 354
ZONED: M-2

CONTRACTOR TO TEST PIT LOCATIONS FOR VERIFICATION
OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 6/16/03
CHIEF-DEVELOPMENT ENGINEERING DIVISION
[Signature] 6/20/03
CHIEF-DIVISION OF LAND DEVELOPMENT
[Signature] 6/12/03
DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
[Signature] 6/19/03
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

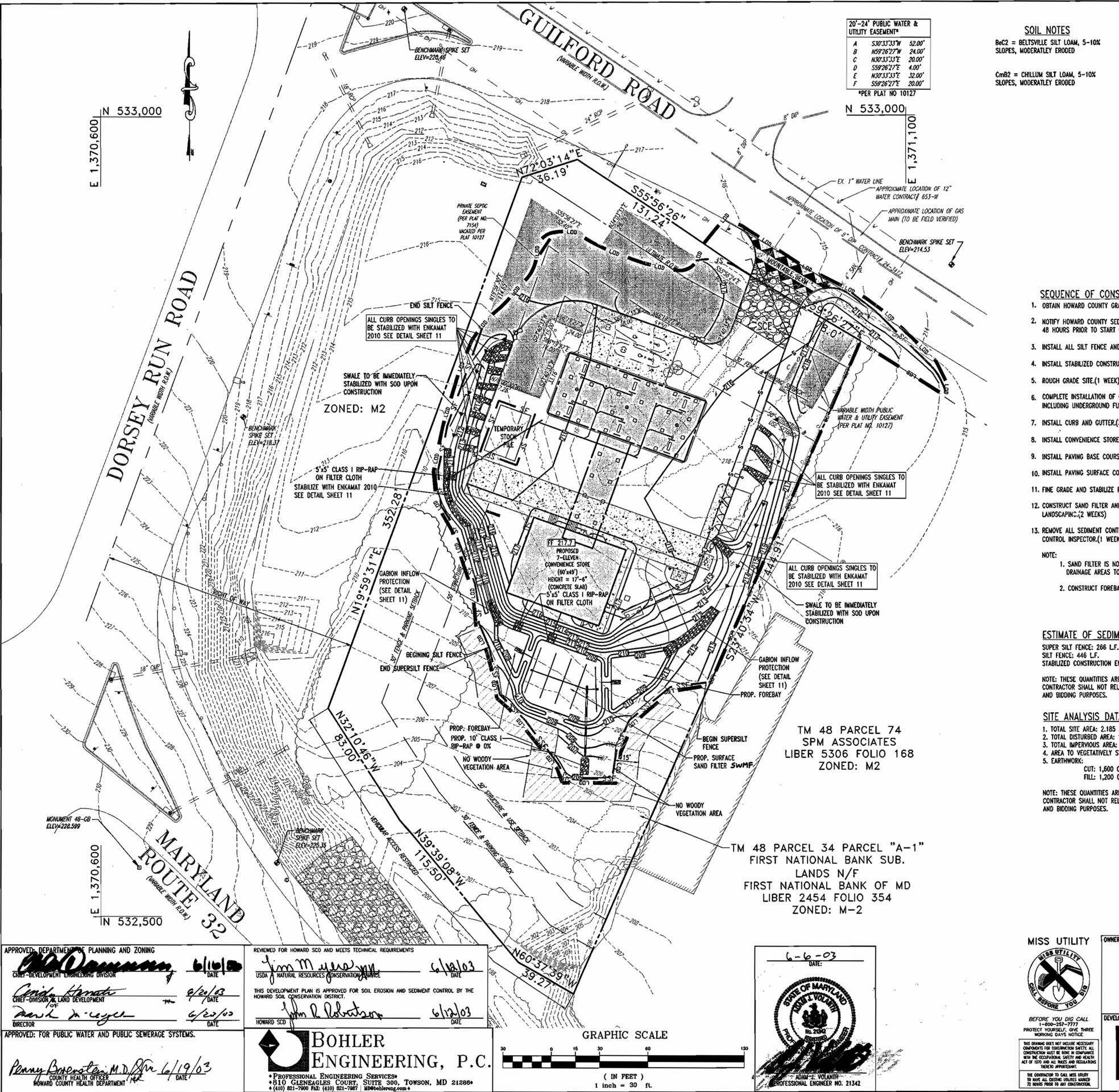
BOHLER ENGINEERING, P.C.
PROFESSIONAL ENGINEERING SERVICES
810 GLENEAGLES COURT, SUITE 300, TOWSON, MD 21286
(410) 821-7900 FAX: (410) 821-7987 MD0015508



6-6-03
DATE:
STATE OF MARYLAND
ADAM J. VOLANTH
PROFESSIONAL ENGINEER, NO. 21342

MISS UTILITY
BEFORE YOU DIG CALL
1-800-287-7777
PROTECT YOURSELF. DIAL THREE WORKING DAYS NOTICE.
THIS DRAWING DOES NOT INCLUDE NECESSARY CONSIDERATIONS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF APPLICABLE.
THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 72 HOURS PRIOR TO ANY CONSTRUCTION.

OWNER:
FIRST NATIONAL BANK OF MARYLAND
C/O ALLFIRST BANK
MAIL CODE 109-820
110 SOUTH PACA STREET
BALTIMORE, MD 21201
ATTN: DAVID RICHARDSON
TEL: 410-347-6801

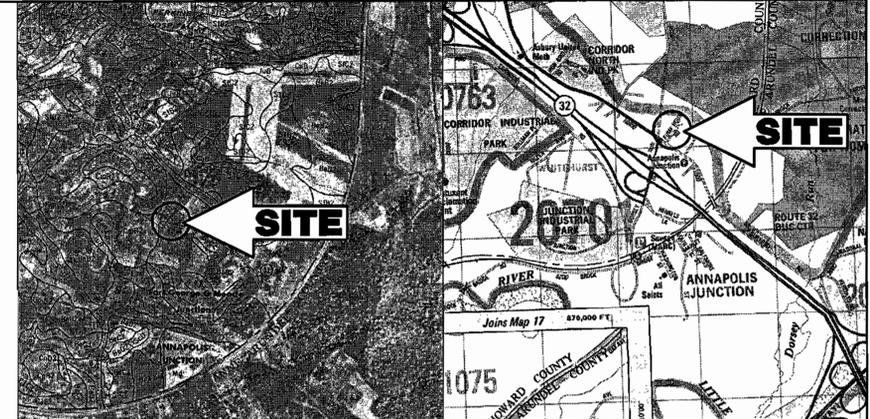


20'-24" PUBLIC WATER & UTILITY EASEMENT*

A	S30°33'33"W	52.00'
B	N59°26'27"E	24.00'
C	N30°33'33"E	20.00'
D	S59°26'27"E	4.00'
E	N30°33'33"E	32.00'
F	S59°26'27"E	20.00'

*PER PLAT NO 10127

SOIL NOTES
 Bc2 = BELTSVILLE SILT LOAM, 5-10% SLOPES, MODERATELY ERODED
 ChB2 = CHILLUM SILT LOAM, 5-10% SLOPES, MODERATELY ERODED



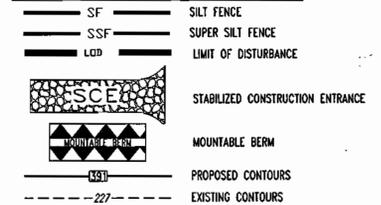
SOILS MAP
SCALE: 1"=1320'

LOCATION MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20694276
SCALE: 1"=2000'

SEQUENCE OF CONSTRUCTION

- OBTAIN HOWARD COUNTY GRADING PERMIT. (BY 7-ELEVEN)
 - NOTIFY HOWARD COUNTY SEDIMENT CONTROL INSPECTOR PRIOR TO ANY LAND DISTURBANCE AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION.
 - INSTALL ALL SILT FENCE AND SUPER SILT FENCE AS INDICATED ON PLANS.(1 WEEK)
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE WITH MOUNTABLE BERM.(1 DAY)
 - ROUGH GRADE SITE.(1 WEEK)
 - COMPLETE INSTALLATION OF CANOPY AND ROOF STORM DRAIN SYSTEM AND ON SITE UTILITIES, INCLUDING UNDERGROUND FUEL STORAGE TANKS.(2 WEEKS)
 - INSTALL CURB AND GUTTER.(3 WEEKS)
 - INSTALL CONVENIENCE STORE, PUMP ISLANDS, AND CANOPY.(8 WEEKS)
 - INSTALL PAVING BASE COURSE.(2 WEEKS)
 - INSTALL PAVING SURFACE COURSE.
 - FINE GRADE AND STABILIZE REMAINING SITE.(2 WEEKS)(SEE NOTE)
 - CONSTRUCT SAND FILTER AND SWALES PER APPROVED STORMWATER PLANS. INSTALL LANDSCAPING.(2 WEEKS)
 - REMOVE ALL SEDIMENT CONTROL MEASURES AFTER RECEIVING APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR.(1 WEEK)
- NOTE:
 1. SAND FILTER IS NOT TO BE USED AS A SEDIMENT TRAP/BASIN. AFTER ALL DRAINAGE AREAS TO SAND FILTER ARE STABILIZED, SAND FILTER CONSTRUCTION MAY OCCUR.
 2. CONSTRUCT FOREBAYS PRIOR TO CONSTRUCTION OF SAND FILTER.

EROSION AND SEDIMENT CONTROL LEGEND



ESTIMATE OF SEDIMENT CONTROL QUANTITIES

SUPER SILT FENCE: 266 L.F.
 SILT FENCE: 446 L.F.
 STABILIZED CONSTRUCTION ENTRANCE: 1 EA.
 NOTE: THESE QUANTITIES ARE FOR SEDIMENT CONTROL USE ONLY. CONTRACTOR SHALL NOT RELY ON THESE QUANTITIES FOR ESTIMATING AND BIDDING PURPOSES.

SITE ANALYSIS DATA

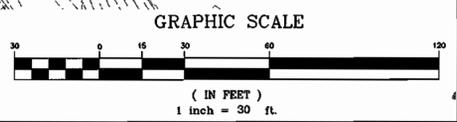
- TOTAL SITE AREA: 2.185 AC. OR 92,719 S.F.
 - TOTAL DISTURBED AREA: 1.39 AC. OR 60,756 S.F.
 - TOTAL IMPERVIOUS AREA: 0.60 AC. OR 26,230 S.F.
 - AREA TO VEGETATIVELY STABILIZED: 0.81 AC. OR 35,491 S.F.
 - EARTHWORK:
 CUT: 1,600 C.Y.
 FILL: 1,200 C.Y.
- NOTE: THESE QUANTITIES ARE FOR SEDIMENT CONTROL USE ONLY. CONTRACTOR SHALL NOT RELY ON THESE QUANTITIES FOR ESTIMATING AND BIDDING PURPOSES.

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN AS DETERMINED BY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 SIGNATURE OF ENGINEER: ADAM J. VOLANTH
 DATE: 6-6-03

DEVELOPER'S CERTIFICATE
 I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
 SIGNATURE OF DEVELOPER: [Signature]
 DATE: 6-03-03

TM 48 PARCEL 74
 SPM ASSOCIATES
 LIBER 5306 FOLIO 168
 ZONED: M2

TM 48 PARCEL 34 PARCEL "A-1"
 FIRST NATIONAL BANK SUB.
 LANDS N/F
 FIRST NATIONAL BANK OF MD
 LIBER 2454 FOLIO 354
 ZONED: M-2



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 CRIST HONAN
 CHIEF-DIVISION OF LAND DEVELOPMENT
 PERRY BRONSTEIN, M.D.
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
 JIM M...
 JOHN H. ROBERTSON
 BOHLER ENGINEERING, P.C.
 PROFESSIONAL ENGINEERING SERVICES
 810 CLEMENS COURT, SUITE 300, TOWSON, MD 21286

6-6-03
 ADAM J. VOLANTH
 PROFESSIONAL ENGINEER NO. 21342

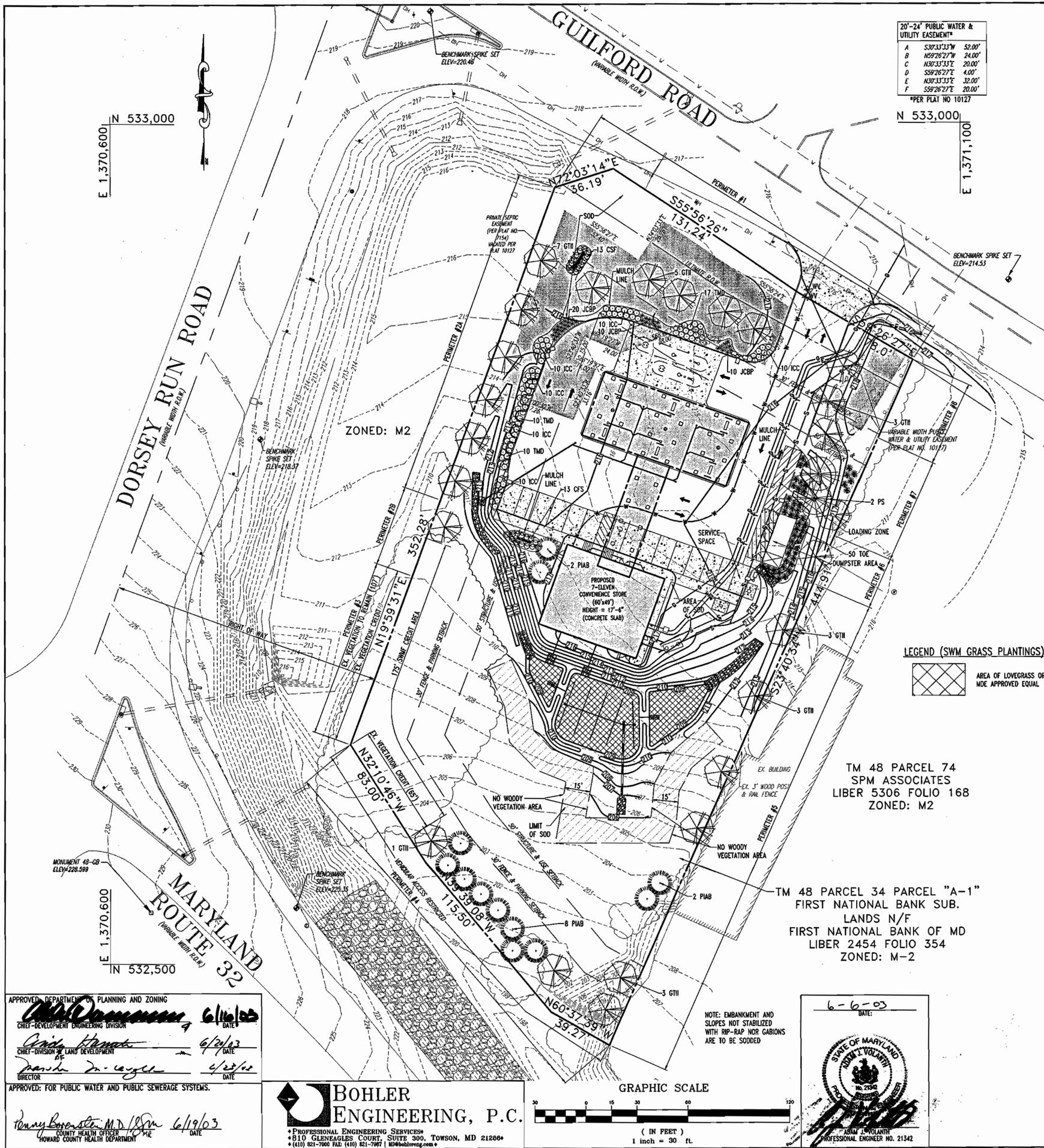
MISS UTILITY
 BEFORE YOU DIG CALL 1-800-252-7777
 PROTECT YOURSELF, GIVE THREE WORKING DAYS NOTICE.
 THIS DRAWING DOES NOT INCLUDE NECESSARY CONDITIONS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREBY APPLICABLE.
 THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 72 HOURS PRIOR TO ANY CONSTRUCTION.

OWNER:
FIRST NATIONAL BANK OF MARYLAND
 C/O ALLFIRST BANK
 MAIL CODE 109-820
 110 SOUTH PACA STREET
 BALTIMORE, MD 21201
 ATTN: DAVID RICHARDSON
 TEL: 410-347-6801

DEVELOPER:
7-ELEVEN, INC.
 2711 EASTON ROAD
 WILLOW GROVE, PA 19090
 ATTN.: ERIC E. ROEMER

SDP-02-101

PERMIT INFORMATION CHART			
SUBDIVISION NAME FIRST NATIONAL BANK	SECTION/AREA ---	LOT/PARCEL NO. PARCEL A-1 (P.34)	
PLAT# OR L/F 10127	BLOCK# 14	ZONING M-2	TAX MAP NO. 48
ELECT. DISTR 6		CENSUS TRACT 6069.01	
WATER CODE B-03	SEWER CODE 4200000		
ADDRESS CHART			
LOT/PARCEL # PARCEL A-1	STREET ADDRESS 10930 GUILFORD ROAD		
PROPOSED CONVENIENCE STORE WITH GASOLINE SERVICE STATION 10930 GUILFORD ROAD AT DORSEY RUN HOWARD COUNTY, MARYLAND			
SEDIMENT AND EROSION CONTROL PLAN			
DESIGN BY: B.A.M.	SCALE: 1"=30'	PROJECT NO.: MD015508	
DRAWN BY: R.L.B.	DATE: 09/5/02	DRAWING NUMBER	
CHECKED BY: A.J.V.	APPROVED: A.J.V.	6	
REVISION NO.: 4	DRAWING NAME: M15508SS3		
REVISION NO.: 1	DATE: 5/24/02	REVISION DESCRIPTION	
2	9/5/02	REVISED PER COUNTY COMMENTS	
3	11/16/02	REVISED PER COUNTY COMMENTS	
4	1/7/03	REVISED PER DED & BED COMMENTS	



20'-24" PUBLIC WATER & UTILITY EASEMENT*

A	S37°33'33"W	52.00'
B	N59°26'27"E	24.00'
C	N30°33'33"E	20.00'
D	S59°26'27"E	4.00'
E	N30°33'33"E	32.00'
F	S59°26'27"E	20.00'

*PER PLAT NO 10127

LANDSCAPE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	HEIGHT
SHADE TREE						
GTH	25	GLEDISTIA TRICANTHOS INERMIS 'IMPERIAL'	IMPERIAL HONEYLOCUST	2.5-3" CAL.	B+B	24"-30" (MIN.)
EVERGREEN TREE						
PIAB	12	PICEA ABIES	NORWAY SPRUCE	6-7'	B+B	
PS	2	PINUS STROBUS	EASTERN WHITE PINE	6-8'	B+B	
EVERGREEN SHRUB						
ICC	63	ILEX CRENATA 'COMPACTA'	COMPACT JAPANESE HOLLY	24-30"	#3 CAN	
JCBP	40	JUNIPERUS CONFERA 'BLUE PACIFIC'	BLUE PACIFIC SHORE JUNIPER	24-30" SPRD.	#3 CAN	
TMD	37	TAXUS X MEDIA 'DENSIFORMIS'	DENSIFORMIS YEW	24-30"	B+B	
TOE	50	THUJA OCCIDENTALIS 'EMERALD'	EMERALD GREEN ARBORVITAE	6-8'	B+B	
DECIDUOUS SHRUB						
CSF	26	CORNUS SERICEA 'FLAVIRAMEA'	YELLOW TWIG DOGWOOD	2-3'	B+B	

SCHEDULE D
STORMWATER MANAGEMENT
AREA LANDSCAPING

LINEAR FEET OF PERIMETER	565
CREDIT FOR EXISTING VEGETATION	YES (172') 30%
BUFFER LENGTH	393'
BUFFER TYPE	#3 CAN (EVERGREEN)
# OF TREES REQUIRED (SHADE)	8
# OF TREES PROVIDED (EVERGREEN)	10
CREDIT FOR OTHER LANDSCAPING	NO
# OF TREES PROVIDED (SHADE)	8
# OF TREES PROVIDED (EVERGREEN)	10

SCHEDULE B
INTERIOR PARKING LOT LANDSCAPING

NUMBER OF PARKING SPACES	14
ISLANDS REQUIRED: (1/20 SPACES)	1
ISLANDS PROVIDED:	1
SHADE TREES REQUIRED:	1
SHADE TREES PROVIDED:	1*

*2:1 EVERGREEN TREE SUBSTITUTION

SCHEDULE A
PERIMETER LANDSCAPE EDGE

PERIMETER #	1	2A	2B	6	7	8
CATEGORY	PAVED AREA ADJ. TO PUBLIC ROAD	PAVED AREA ADJ. TO PUBLIC ROAD	BUILDING ADJ. TO R/W	DUMPSTER AREA ADJ. TO NON RESIDENTIAL	LOADING AREA ADJ. TO NON RESIDENTIAL	NON RESIDENTIAL ADJ. TO NON RESIDENTIAL
LANDSCAPE TYPE	E	E	E	C	C	A
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	232'	196'	49'	30'	60'	51'
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	NO
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED						
SHADE TREES	1:40' OR 6	1:40' OR 5	1:40' OR 1	1:40' OR 1	1:40' OR 2	1:60' OR 1
EVERGREEN TREES	0	0	0	1:20' OR 2	0	0
SHRUBS	1:4' OR 58	1:4' OR 49	1:4' OR 13	0	0	0
NUMBER OF PLANTS PROVIDED						
SHADE TREES	6	6	1	1	2	1
EVERGREEN TREES	0	0	0	0	2	0
OTHER TREES (2:1 SUBSTITUTION)	0	0	0	0	0	0
SHRUBS (10:1 SUBSTITUTION)	60	56	14	30	20	0
(DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)	NO SUBSTITUTIONS	NO SUBSTITUTIONS	NO SUBSTITUTIONS	SUBSTITUTE 30 SHRUBS FOR 2 REQUIRED EVERGREEN TREES	SUBSTITUTE 20 SHRUBS FOR 3 REQUIRED EVERGREEN TREES	NO SUBSTITUTIONS

NOTE: PER PAGE 30 OF THE HOWARD COUNTY LANDSCAPE MANUAL, INTERNAL STORMWATER FACILITY SCREENING WILL NOT BE REQUIRED ON THIS "M-2" ZONED SITE.

NOTE: ALL DISTURBED GRASSED AREAS TO BE STABILIZED WITH SOD EXCEPT SWM FACILITIES.

SURETY IN THE AMOUNT OF \$13,350 FOR 25 SHADE TREES, 15 EVERGREEN TREES AND 120 SHRUBS IS TO BE POSTED WITH THE DEVELOPER'S AGREEMENT.

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HO.CO. CODE AND THE HO.CO. LANDSCAPE MANUAL.

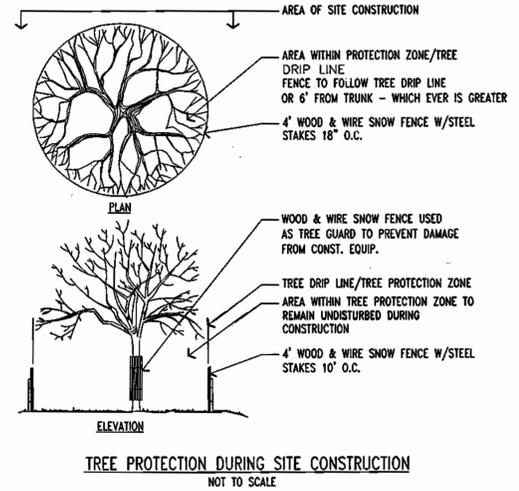
LEGEND (SWM GRASS PLANTINGS)



TM 48 PARCEL 74
SPM ASSOCIATES
LIBER 5306 FOLIO 168
ZONED: M2

TM 48 PARCEL 34 PARCEL "A-1"
FIRST NATIONAL BANK SUB.
LANDS N/F
FIRST NATIONAL BANK OF MD
LIBER 2454 FOLIO 354
ZONED: M-2

NOTE: EMBANKMENT AND SLOPES NOT STABILIZED WITH RIP-RAP NOR GABIONS ARE TO BE SODDED



OWNER:
FIRST NATIONAL BANK OF MARYLAND
C/O ALLFIRST BANK
MAIL CODE 109-820
110 SOUTH PACA STREET
BALTIMORE, MD 21201
ATTN: DAVID RICHARDSON
TEL: 410-347-6801



7-ELEVEN, INC.
2711 EASTON ROAD
WILLOW GROVE, PA 19090
ATTN: ERIC. E. ROEMER

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DATE: 6-6-03

PREPARED BY: [Signature]

PERMIT INFORMATION CHART

SUBDIVISION NAME FIRST NATIONAL BANK	SECTION/AREA ---	LOT/PARCEL NO. PARCEL A-1 (P-34)
PLAT # OR L/F 10127	BLOCK# 14	ZONING M-2
TAX MAP NO. 48	ELECT. DIST. 6	CENSUS TRACT 6069.01
WATER CODE B-63	SEWER CODE 4200000	
ADDRESS CHART		
LOT/PARCEL # PARCEL A-1	STREET ADDRESS 10930 GUILFORD ROAD	

PROPOSED CONVENIENCE STORE WITH GASOLINE SERVICE STATION
10930 GUILFORD ROAD AT DORSEY RUN
HOWARD COUNTY, MARYLAND

SITE LANDSCAPE PLAN

DESIGN BY: B.A.M.	SCALE: 1"=30'	PROJECT NO. A0015508
DRAWN BY: R.L.B.	DATE: 09/5/02	DRAWING NUMBER
CHECKED BY: A.J.V.	APPROVED: A.J.V.	8
REVISION NO.: 4	DRAWING NAME: M15508S3	OF 19
REVISION NO.: 1	DATE: 6/24/02	REVISION DESCRIPTION
2	9/5/02	REVISED PER COUNTY COMMENTS
3	11/18/02	REVISED PER COUNTY COMMENTS
4	1/7/03	REVISED PER OLD & NEW COMMENTS

APPROVED: DEPARTMENT OF PLANNING AND ZONING

6/16/03

6/24/02

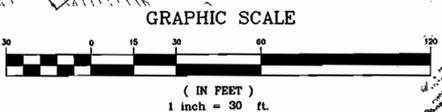
6/23/02

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

6/19/03

BOHLER ENGINEERING, P.C.

PROFESSIONAL ENGINEERING SERVICES
8110 GLENDALES COURT, SUITE 300, TOWSON, MD 21286
(410) 821-7000 FAX: (410) 821-7087 MD9040100000



6-6-03

STATE OF MARYLAND
DAVID M. MULLIN
PROFESSIONAL ENGINEER NO. 21342

PLANTING NOTES:

- PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED; INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
- CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE YEAR FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
- INsofar AS IT IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED.
- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI 260 (REV. 1996) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ALL PLANTS SHALL BE PLANTED IN AMENDED TOP SOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
- PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE SPRAYED WITH "WILT-PRUF" OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS.
- NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
- SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT, A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
- ALL INJURED ROOTS SHALL BE PRUNED TO MAKE CLEAN ENDS BEFORE PLANTING UTILIZING CLEAN, SHARP TOOLS. IT IS ADVISABLE TO PRUNE APPROXIMATELY 1/3 OF THE GROWTH OF LARGE TREES (2" CALIPER AND OVER) BY THE REMOVAL OF SUPERFLUOUS BRANCHES, THOSE WHICH CROSS, THOSE WHICH RUN PARALLEL, ETC. MAIN LEADER OF TREES WILL NOT BE CUT BACK. LONG SIDE BRANCHES, HOWEVER, MUST BE SHORTENED.
- EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
- ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES AS A RESULT OF CONSTRUCTION OPERATIONS. ALL EXISTING TREES SHALL BE FERTILIZED WITH A REGULAR GARDEN FERTILIZER (5-10-5) UPON COMPLETION OF WORK. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR TO ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH SHARP TOOLS AND FILLED AROUND WITH TOPSOIL. COMPLETELY SATURATE THESE AREAS WITH WATER. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR IS TO PROTECT ALL EXISTING TREES TO REMAIN BY ERECTING TREE PROTECTION FENCE AT THE DRIP LINE. THIS WILL ENSURE NO COMPACTION OF THE ROOT MASS.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 3" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH.
- NEW PLANTING AREAS AND SOD SHALL BE ADEQUATELY IRRIGATED OR WATERED TO ESTABLISH THE PROPOSED PLANTS AND LAWN.
- PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE AS SHOWN ON THE APPROVED LANDSCAPE PLAN MUST BE INSTALLED, INSPECTED AND APPROVED BY THE CITY LANDSCAPE ARCHITECT, THE CITY ENGINEER AND LANDSCAPE ARCHITECT SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER AS REQUIRED BY OR ASSOCIATED WITH A SUBDIVISION OR SITE PLAN APPROVAL BY THE PLANNING BOARD OR ZONING BOARD OF ADJUSTMENT SHALL BE INSTALLED DURING THE FOLLOWING PLANTING SEASONS:

TYPE	DATES
PLANTS	3/15 TO 12/15
LAWN	3/15 TO 6/15 9/15 TO 12/1

- FURTHERMORE, THE FOLLOWING TREE VARIETIES SHALL NOT BE PLANTED DURING THE FALL PLANTING SEASON DUE TO THE HAZARDS ASSOCIATED WITH PLANTING THESE TREES IN THIS SEASON.
- | | |
|---------------------------|-------------------------|
| ACER RUBRUM | POPULUS VARIETIES |
| BETULA VARIETIES | PRUNUS VARIETIES |
| CARPINUS VARIETIES | PYRUS VARIETIES |
| CRATEGUS VARIETIES | QUERCUS VARIETIES |
| KOELREUTERA | SALIX WEEPING VARIETIES |
| LIQUID AMBER SYRACUSIFLUA | TILIA TOMENTOSA |
| LIRODENDRON TULIPIFERA | ZELKOVA VARIETIES |
| PLATANUS ACERIFOLIA | |

ANY PLANTINGS INSTALLED IN CONFLICT WITH THIS REQUIREMENT MUST RECEIVE THE WRITTEN APPROVAL OF THE CITY ENGINEER OR LANDSCAPE ARCHITECT, PRIOR TO PLANTING. FAILURE TO COMPLY WITH THESE REQUIREMENTS WILL REQUIRE THE REMOVAL OF THE PLANTING IN QUESTION. THIS REQUIREMENT DOES NOT APPLY TO SEEDING OR SOODING OR PLANTINGS SPECIFICALLY FOR SOIL STABILIZATION PURPOSES. THE PLANTING ASSOCIATED WITH ANY LOT GIVEN A CERTIFICATE OF OCCUPANCY OUTSIDE THESE PERIODS SHALL BE PROVIDED DURING THE PREVIOUS OR NEXT APPROPRIATE SEASON.

- ALL DISTURBED AREAS TO BE TREATED WITH 4" TOP SOIL & SEEDING IN ACCORDANCE WITH PERMANENT STABILIZATION METHODS INDICATED WITHIN THE SEEDING SPECIFICATIONS.

PLANTING SPECIFICATIONS:

- SCOPE OF WORK
 - THIS WORK SHALL CONSIST OF PERFORMING, CLEARING AND SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT.
- MATERIALS
 - GENERAL - ALL MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE NUDOT MANUAL OF ROADWAY AND BRIDGE CONSTRUCTION (1998) OR APPROVED EQUAL.
 - PLANTS - ALL PLANTS SHALL BE HEALTHY OR NORMAL GROWTH, WELL ROOTED, FREE FROM DISEASE AND INSECTS.
 - TOPSOIL - LOAMY SILT, HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, pH RANGE BETWEEN 4.5 - 7, BE FREE OF DEBRIS, ROCKS LARGER THAN TWO INCHES (2"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.
 - MULCH - DOUBLE SHREDDED HARDWOOD BARK MULCH.
- FERTILIZER AND SOIL CONDITIONER
 - ORGANIC FERTILIZER - SHALL BE PROCESSED SEWER SLUDGE WITH MINIMAL CONTENT OF 1% NITROGEN AND 2% PHOSPHORIC ACID, EQUAL TO "NITROHUMUS".
 - ORGANIC FERTILIZER AND SOIL CONDITIONER - SHALL BE "GRO-POWER" OR ORGANIC BASE MATERIALS COMPRISED OF DECOMPOSED ANIMAL AND VEGETABLE MATTER AND COMPOSTED TO SUPPORT BACTERIAL CULTURES, CONTAINING NO POULTRY, ANIMAL OR HUMAN WASTE. GUARANTEED ANALYSIS (5-3-1) NITROGEN 5%, PHOSPHATE 3%, POTASH 1%, 50% HUMUS AND 15% HUMIC ACIDS.
- GENERAL WORK PROCEDURES
 - LANDSCAPE WORK SHALL COMMENCE AS SOON AS THOSE PORTIONS OF THE SITE ARE AVAILABLE. CONTRACTOR TO UTILIZE WORKMANLIKE STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH DAYS WORK. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STOCKPILED OR DISPOSED OF. ALL PAVED SURFACES SHALL BE SWEEP CLEAN AT THE END OF EACH DAYS WORK.
- WEEDING
 - BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE CONTRACTOR AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
- TOPSOILING
 - CONTRACTOR TO PROVIDE FOUR INCHES (4") MINIMUM THICK TOPSOIL LAYER IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO PRODUCE A FOUR INCH (4") COMPACTED THICKNESS. TOPSOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE TOPSOIL UTILIZED IN ALL PLANTING AREAS. ADJUST pH AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE GROWING MEDIUM.
- SOIL CONDITIONING
 - CULTIVATE ALL AREAS TO BE PLANTED TO A DEPTH OF 6". ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE. SPREAD EVENLY IN ALL PLANTING AREAS AND TILL (2 DIRECTIONS) INTO TOP 4" WITH THE FOLLOWING PER 1,000 SQ. FT.:
150 POUNDS "GRO-POWER"
100 POUNDS AGRICULTURAL GYPSUM
20 POUNDS NITROFORM (COURSE) 38-0-0 BLUE CHIP

SOIL MODIFICATIONS:
THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6 TO 12 IN. OF MOST PLANTING SOILS TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. USE COMPOSTED BARK, RECYCLED YARD WASTE, PEAT MOSS, OR MUNICIPAL PROCESSED SEWAGE SLUDGE. ALL PRODUCTS SHOULD BE COMPACTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. RECYCLED MATERIAL BY THE SUPPLIER. AVOID MATERIAL WITH A pH HIGHER THAN 7.5.

MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING ON RAISED MOUNDS OR BEDS AND INCLUDING SUBSURFACE DRAINAGE LINES.

MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS. TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY WITH HERBICIDE AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.

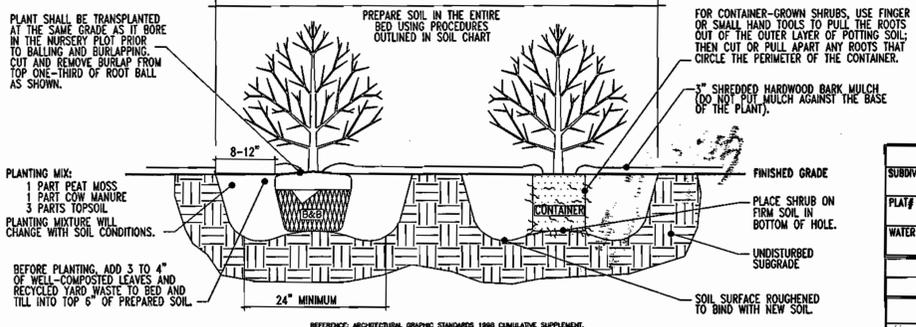
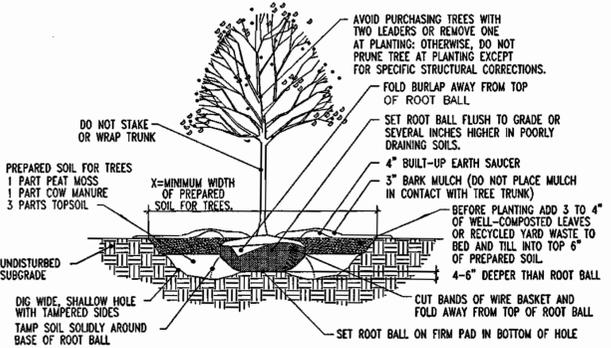
MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.

- MAINTENANCE (ALTERNATE BID)
COST PER MONTH AFTER INITIAL 90-DAY MAINTENANCE PERIOD.

SEEDING SPECIFICATIONS

- PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.
- PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- SEEDING RATES:
PERENNIAL RYEGRASS 1/2 LB/1000 SQ FT
KENTUCKY BLUEGRASS 1 LB/1000 SQ FT
RED FESCUE 1/2 LB/1000 SQ FT
SPREADING FESCUE 1/2 LB/1000 SQ FT
FERTILIZER (20:10:10) 2 LB/1000 SQ FT
MULCH 90 LB/1000 SQ FT
- GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDING AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.

- NOTES:**
- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
 - REMOVE ALL ROPE FROM TRUNK & TOP OF ROOT BALL. FOLD BURLAP BACK 1/3 FROM ROOT BALL.
 - PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.
 - THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
 - THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATTING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERABLE TO TILL THE FIRST LIFT (2 TO 3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.

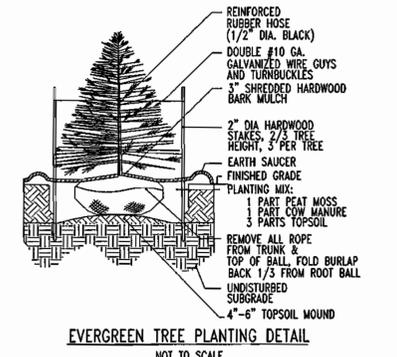
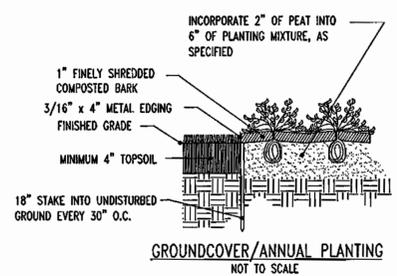


GENERAL RANGE OF SOIL MODIFICATIONS & VOLUMES FOR VARIOUS SOIL CONDITIONS

POST-CONSTRUCTION SOIL CONDITION	MIN./ WIDTH PREPARED SOIL FOR TREES (X)	TYPE OF PREPARATION
GOOD SOIL (NOT PREVIOUSLY GRADED OR COMPACTED, TOPSOIL LAYER INTACT)	6 FT. OR TWICE THE WIDTH OF THE ROOT BALL, WHICHEVER IS GREATER	LOOSEN THE EXISTING SOILS TO THE WIDTHS AND DEPTHS SHOWN IN DETAILS ABOVE.
COMPACTED SOIL (NOT PREVIOUSLY GRADED, TOPSOIL LAYER DISTURBED BUT NOT ELIMINATED)	15 FT.	LOOSEN THE EXISTING SOILS TO THE WIDTHS AND DEPTHS SHOWN IN DETAILS ABOVE; ADD COMPOSTED ORGANIC CONTENT UP TO 5% DRY WEIGHT.
GRADED SUBSOILS AND CLEAN FILLS WITH CLAY CONTENT BETWEEN 5 & 35%	20 FT.	MINIMUM TREATMENT: LOOSEN EXISTING SOIL TO WIDTHS AND DEPTHS SHOWN, ADD COMPOSTED ORGANIC MATTER TO BRING ORGANIC CONTENT UP TO 5% DRY WEIGHT. OPTIMUM TREATMENT: REMOVE TOP 8-10 IN. OR THE EXISTING SOILS TO THE WIDTHS AND DEPTHS SHOWN, ADD 8-10 IN. OF LOAM TOPSOIL.
POOR QUALITY FILLS, HEAVY CLAY SOILS, SOILS CONTAMINATED WITH RUBBLE OR TOXIC MATERIAL	20 FT.	REMOVE EXISTING SOILS TO THE WIDTHS AND DEPTHS CONTAMINATED WITH RUBBLE OR TOXIC MATERIAL

REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT.

- NOTES:**
- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
 - PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.



APPROVED: DEPARTMENT OF PLANNING AND ZONING

6/16/03 DATE

6/26/03 DATE

6/20/03 DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

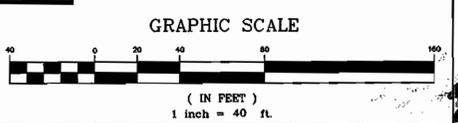
6/19/03 DATE

SOD TO BE USED FOR PERMANENT STABILIZATION WHENEVER POSSIBLE

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

Bohler ENGINEERING, P.C.

Professional Engineering Services
810 GLENAGLES COURT, SUITE 300, TOWSON, MD 21286
(410) 821-7900 FAX (410) 821-7987 info@bohlereng.com



6-6-03 DATE

STATE OF MARYLAND
JAMES J. BOHLER
No. 21242
REGISTERED PROFESSIONAL ENGINEER

FIRST NATIONAL BANK OF MARYLAND

C/O ALLFIRST BANK
MAIL CODE 109-820
110 SOUTH PACA STREET
BALTIMORE, MD 21201
ATTN: DAVID RICHARDSON
TEL: 410-347-6801

7-ELEVEN, INC.

2711 EASTON ROAD
WILLOW GROVE, PA 19090
ATTN.: ERIC. E. ROEMER

SDP-02-101

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO.	PARCEL A-1 (P-34)
FIRST NATIONAL BANK			
PLAT# OR L/P#	BLOCK#	ZONING	TAX MAP NO.
10127	14	M-2	48
WATER CODE	SEWER CODE	ELECT. DISTR	CENSUS TRACT
B-03	4200000	6	6069.01
ADDRESS CHART			
LOT/PARCEL #	STREET ADDRESS		
PARCEL A-1	10930 GULFORD ROAD		
PROPOSED CONVENIENCE STORE WITH GASOLINE SERVICE STATION 10930 GULFORD ROAD AT DORSEY RUN HOWARD COUNTY, MARYLAND			
SITE LANDSCAPE NOTES AND DETAILS			
DESIGN BY: B.A.M.	SCALE: AS SHOWN	PROJECT NO. MD015508	
DRAWN BY: R.L.B.	DATE: 05/5/02	DRAWING NUMBER	
CHECKED BY: A.J.V.	APPROVED: A.J.V.		9
REVISION NO. 4	DRAWING NAME: W15508S03		OF 19
REVISION NO.:	DATE	REVISION DESCRIPTION	
1	6/24/02	REVISED PER COUNTY COMMENTS	
2	9/5/02	REVISED PER COUNTY COMMENTS	
3	11/18/02	REVISED PER COUNTY COMMENTS	
4	1/7/03	REVISED PER BID & BID COMMENTS	

GUILFORD ROAD
(VARIABLE WIDTH ROAD)

20'-24" PUBLIC WATER & UTILITY EASEMENT*

A	S30°33'33"W	52.00'
B	N59°26'27"W	24.00'
C	N30°33'33"E	20.00'
D	S59°26'27"E	4.00'
E	N30°33'33"E	32.00'
F	S59°26'27"E	20.00'

*PER PLAT NO 10127

STATISTICAL AREA SUMMARY

Label	Avg	Max	Min	Avg/Min	Max/Min
CANOPY	68.20	80.2	56.0	1.22	1.43
INSIDE CURB	16.72	66.7	3.6	4.64	18.53

MAINTAINED FOOTCANDLE LEVELS AT GRADE, USING A .72 TOTAL LIGHT LOSS FACTOR.

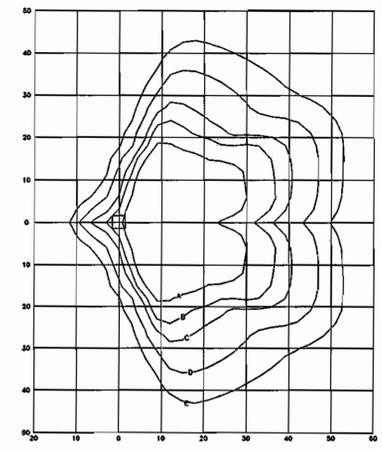
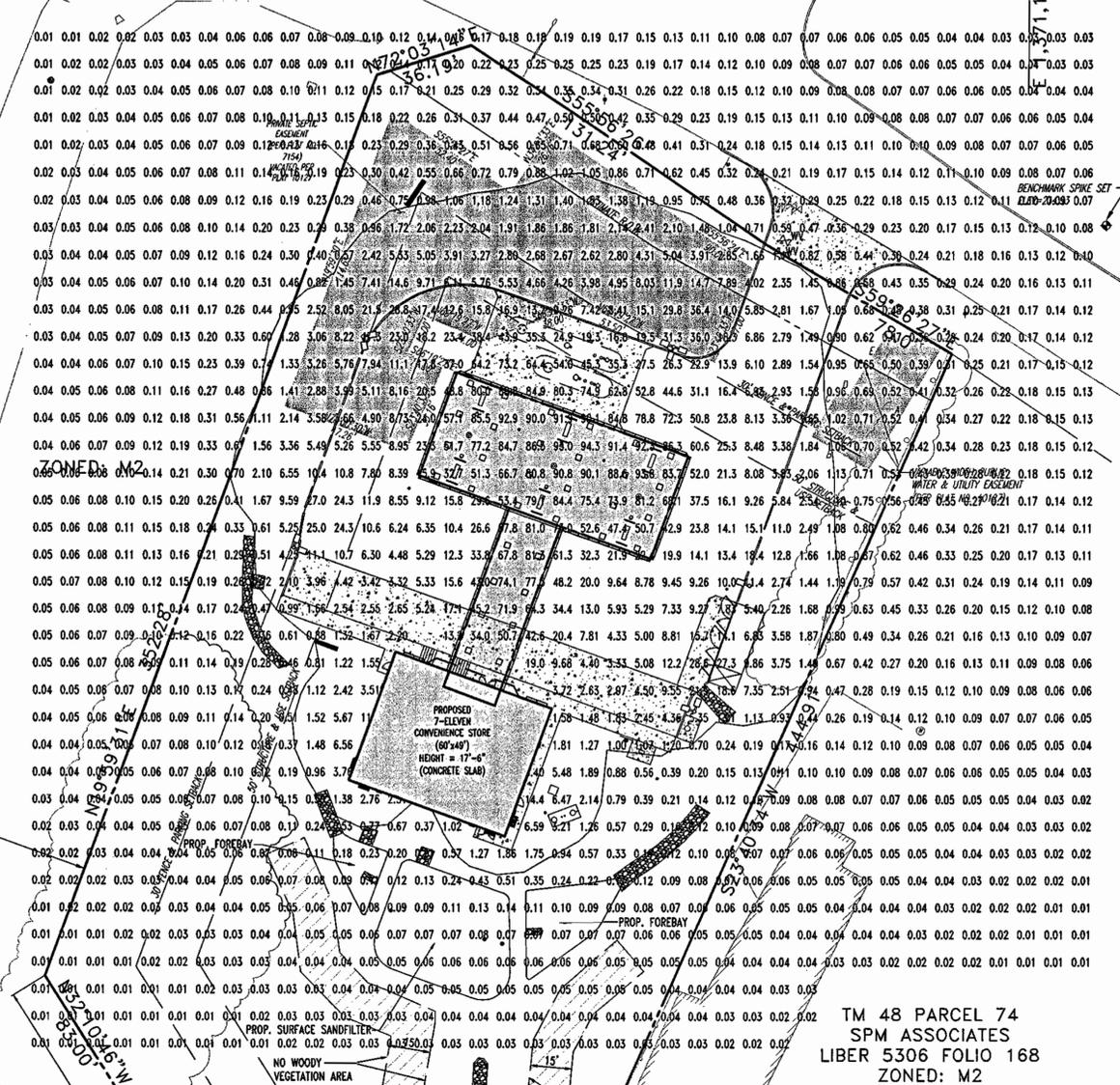
LUMINAIRE SCHEDULE

SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	DESCRIPTION	TOTAL WATTS
□	24	A	SINGLE	32000	0.720	SC-S-370-PSMV-PG	370
□	1	B	SINGLE	32000	0.720	SE-GBM-320-SGL-STEEL	370
□	3	C	2 @ 90 DEGREES	32000	0.720	SE-GBM-320-DBL90-STEEL	740
□	1	D	3 @ 90 DEGREES	32000	0.720	SE-GBM-320-T90-STEEL	1110
□	47	E	SINGLE	6100	0.800	BWF-1H0-0	118
□	4	F	SINGLE	20000	0.720	EGM2-WB-250-MH-PG	295

N 533,000
E 1,370,600

N 533,000
E 1,371,100

DORSEY RUN ROAD
(VARIABLE WIDTH ROAD)

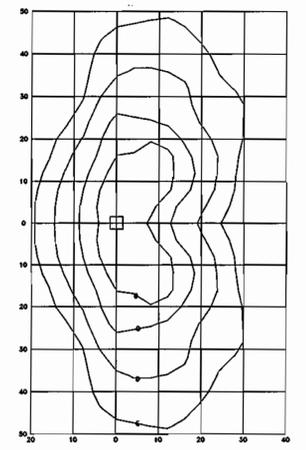


MTG. INITIAL HORIZ. FOOTCANDLES HTS.

	A	B	C	D	E
15'	5.0	3.0	2.0	1.0	0.5

- MANUFACTURED BY: LSI
- LENS-CLEAR DROP LENSE
- LAMP-320W METAL HALIDE
- NO. OF LUMINAIRES: 5
- FIXTURE SERIES: GREENBRIAR (HSS)
- CATALOG NO.: SE-GBM-320-(SINGLE/DBL/TRIP)-STEEL
- TOTAL LUMENS: 32000

AREA LIGHT 320W ISOLUX CHART
NOT TO SCALE



MTG. INITIAL HORIZ. FOOTCANDLES HTS.

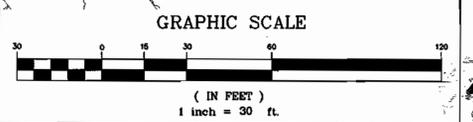
	A	B	C	D	E
20'	5.0	3.0	2.0	1.0	0.5

- MANUFACTURED BY: LSI
- LENS-CLEAR FLAT TEMPERED GLASS IN STANDARD DOOR FRAME
- LAMP-400W METAL HALIDE
- NO. OF LUMINAIRES: 5
- FIXTURE SERIES: McPhitlen
- CATALOG NO.: SC-S-370-PSMV-PG
- TOTAL LUMENS: 32000

CANOPY LIGHT 370W ISOLUX CHART
NOT TO SCALE

TM 48 PARCEL 74
SPM ASSOCIATES
LIBER 5306 FOLIO 168
ZONED: M2

TM 48 PARCEL 34 PARCEL "A-1"
FIRST NATIONAL BANK SUB.
LANDS N/F
FIRST NATIONAL BANK OF MD
LIBER 2454 FOLIO 354
ZONED: M-2



APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF-DEVELOPMENT ENGINEERING DIVISION
6/16/03
6/20/03
6/20/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
COUNTY HEALTH OFFICER
6/19/03

BOHLER ENGINEERING, P.C.
PROFESSIONAL ENGINEERING SERVICES
810 GLENDALES COURT, SUITE 300, TOWSON, MD 21286
(410) 821-7900 FAX: (410) 821-7987 | MDBohlereng.com

6-6-03
STATE OF MARYLAND
ADAM J. VOLANTH
PROFESSIONAL ENGINEER NO. 21342

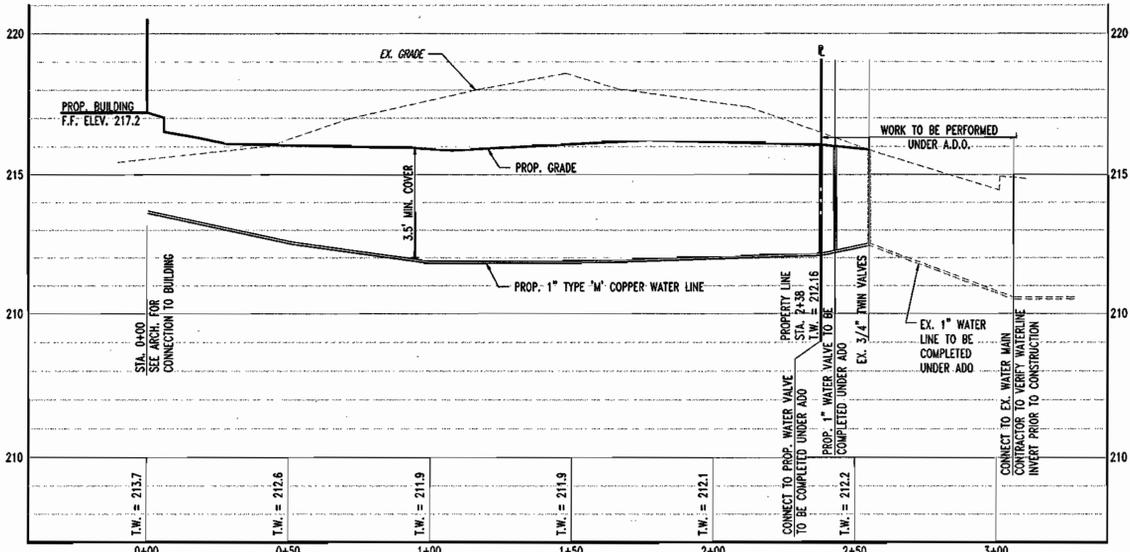
MISS UTILITY
BEFORE YOU DIG CALL 1-800-251-7777
PROTECT YOURSELF. DIG THREE WORKING DAYS NOTICE.

OWNER:
FIRST NATIONAL BANK OF MARYLAND
C/O ALLFIRST BANK
MAIL CODE 109-820
110 SOUTH PACA STREET
BALTIMORE, MD 21201
ATTN: DAVID RICHARDSON
TEL: 410-347-6801

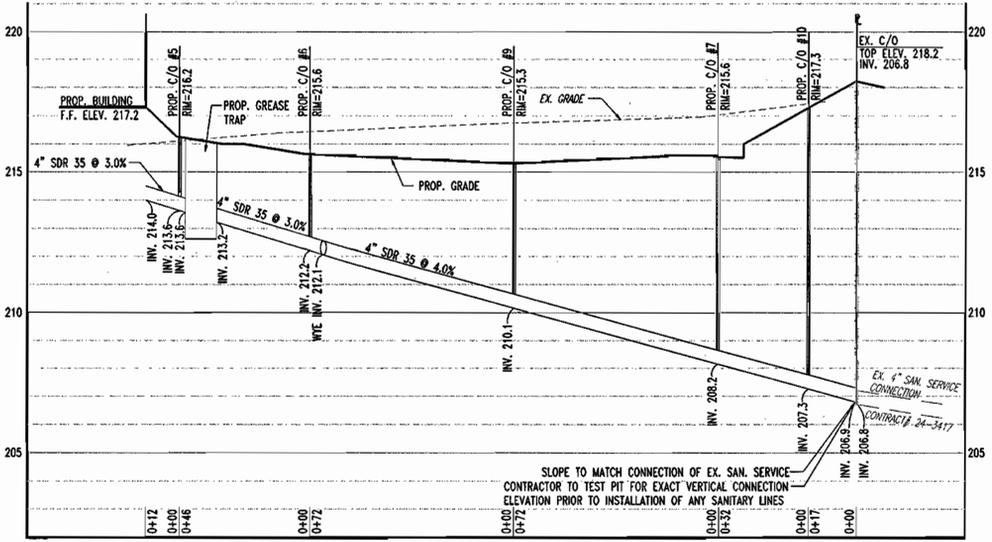
DEVELOPER:
7-ELEVEN
7-ELEVEN, INC.
2711 EASTON ROAD
WILLOW GROVE, PA 19099
ATTN: ERIC. E. ROEMER

SDP-02-101

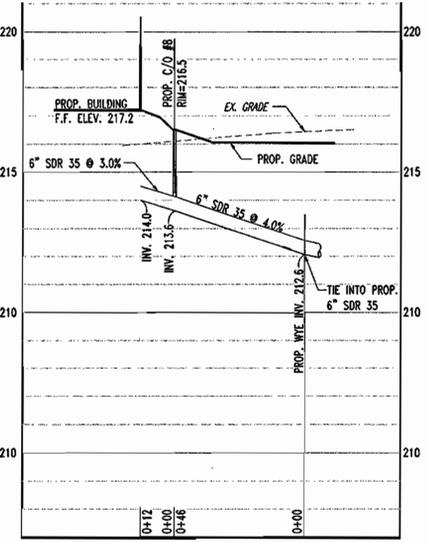
PERMIT INFORMATION CHART					
SUBDIVISION NAME	FIRST NATIONAL BANK	SECTION/AREA	---	LOT/PARCEL NO.	PARCEL A-1 (P.34)
PLAT # OR L/F	10127	BLOCK#	14	ZONING	M-2
TAX MAP NO.	48	ELECT. DIST.	6	CENSUS TRACT	6089.01
WATER CODE	B-03	SEWER CODE	4200000		
ADDRESS CHART					
LOT/PARCEL #	STREET ADDRESS				
PARCEL A-1	10930 GUILFORD ROAD				
PROPOSED CONVENIENCE STORE WITH GASOLINE SERVICE STATION 10930 GUILFORD ROAD AT DORSEY RUN HOWARD COUNTY, MARYLAND					
SITE LIGHTING PLAN					
DESIGN BY:	B.A.M.	SCALE:	1"=30'	PROJECT NO.:	MD015508
DRAWN BY:	R.L.B.	DATE:	09/15/02	DRAWING NUMBER	
CHECKED BY:	A.J.V.	APPROVED BY:	A.J.V.		10
REVISION NO.:	4	DRAWING NAME:	MS5508SS3		OF 19
REVISION NO.:	DATE:	REVISION DESCRIPTION			
1	6/24/02	REVISED PER COUNTY COMMENTS			
2	9/5/02	REVISED PER COUNTY COMMENTS			
3	11/18/02	REVISED PER COUNTY COMMENTS			
4	1/7/03	REVISED PER OLD & NEW COMMENTS			



WATER PROFILE
 HORZ. SCALE - 1" = 30'
 VERT. SCALE - 1" = 3'



SANITARY PROFILE
 HORZ. SCALE - 1" = 30'
 VERT. SCALE - 1" = 3'



SANITARY PROFILE
 HORZ. SCALE - 1" = 30'
 VERT. SCALE - 1" = 3'

Channel Applications

- Prepare soil before installing blankets, including application of lime, fertilizer, and seed.
- Begin at the top of the channel by anchoring the blanket in a 6" (15cm) deep x 5" (13cm) wide trench. Backfill and compact the trench after stapling.
- Roll center blanket in direction of water flow on bottom of channel.
- Place blankets and end over (single style) with a 6" (15cm) overlap. Use a double row of staggered staples 4" (10cm) apart to secure blankets.
- Full length edge of blankets at top of side slopes must be anchored in 6" (15cm) deep x 6" (15cm) wide trench. Backfill and compact the trench after stapling.
- Blankets on side slopes must be overlapped 4" (10cm) over the center blanket and stapled (2" (5cm) for C360 matting).
- In high flow channel applications, a staple check slot is recommended at 30 to 40 foot intervals. Use a row of staples 4" (10cm) apart over entire width of the channel. Place a second row 4" (10cm) below the first row in a staggered pattern.
- The terminal end of the blankets must be anchored in a 6" (15cm) deep x 6" (15cm) wide trench. Backfill and compact the trench after stapling.

Critical Points
 A. Overlap and seams
 B. Projected water line
 C. Channel bottom/ side slope vertices

NOTE: Horizontal staple spacing should be allowed if necessary to allow staples to secure the critical points along the channel surface.

INSTALLATION GUIDE

SLOPE APPLICATION

CHANNEL APPLICATION

SHORELINE APPLICATION

General Staple Pattern Guide and Recommendations

For optimum results, these recommended staple patterns must be followed.

Use colored staples for quick, accurate seam and staple alignment.

Key:
 (X) Colored Staple
 (X) Staple Placement

NOTE: Horizontal staple spacing should be allowed if necessary to allow staples to secure the critical points along the channel surface.

SC-150 MATTING

ON GRADE
 LIMIT OF PAYMENT FOR CURB AND GUTTER
 LIMITS OF PAYMENT PER EACH
 LIMIT OF PAYMENT FOR CURB AND GUTTER

AT LOW POINT
 LIMIT OF PAYMENT FOR CURB AND GUTTER
 LIMITS OF PAYMENT PER EACH
 LIMIT OF PAYMENT FOR CURB AND GUTTER

SECTION A-A
 STANDARD OR MOUNTABLE CURB & GUTTER SEE DETAILS R-20A, R-20B, R-21A, OR R-21B

SECTION B-B
 SHOULDER DEPTH 3'-0" MIN. SOD 2'-0" DEPTH 6'-0" MIN. SOD 4'-0" MIN. SOD

DETAIL 6 - GABION INFLOW PROTECTION

Construction Specifications

- Gabion inflow protection shall be constructed of 9" x 9" x 9" gabion baskets forming a trapezoidal cross section 1' deep, with 2:1 side slopes, and a 3' bottom width.
- Geotextile Class C shall be installed under all gabion baskets.
- The stone used to fill the gabion baskets shall be 4" - 7".
- Gabions shall be installed in accordance with manufacturers recommendations.
- Gabion Inflow Protection shall be used where concentrated flow is present on slopes steeper than 4:1.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE
 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 DATE: 6/16/03

APPROVED: COUNTY HEALTH OFFICER
 DATE: 6/23/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
 DATE: 6/23/03

BOHLER ENGINEERING, P.C.
 PROFESSIONAL ENGINEERING SERVICES
 810 GLENEAGLES COURT, SUITE 300, TOWSON, MD 21286
 (410) 821-7900 FAX: (410) 821-7987

6-6-03
 DATE

STATE OF MARYLAND
 ADAM J. VOLANTH
 PROFESSIONAL ENGINEER NO. 21342

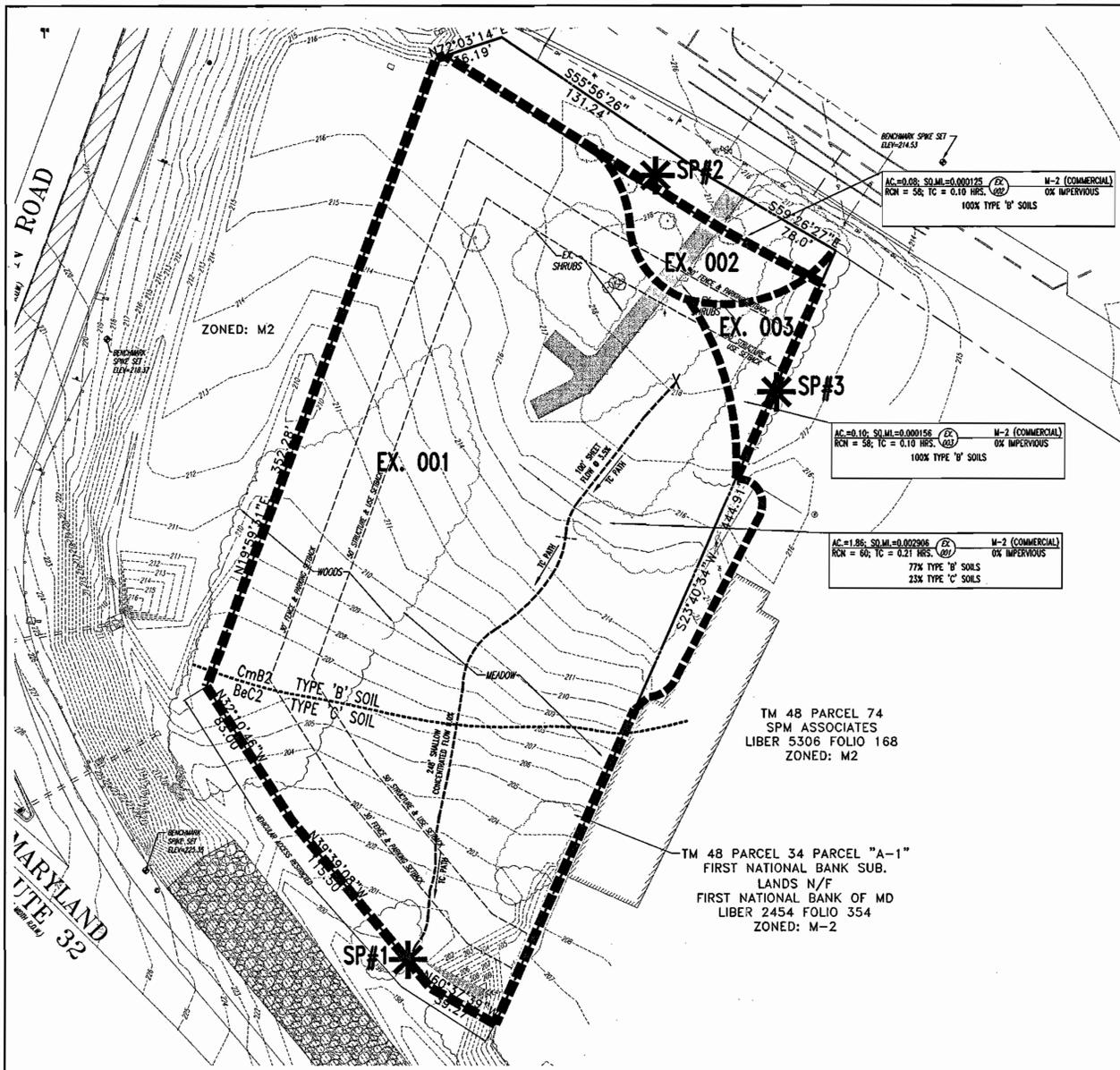
MISS UTILITY
 BEFORE YOU DIG CALL 1-800-251-7777
 PROTECT YOURSELF, SAVE THREE WORKING DAYS NOTICE

OWNER:
FIRST NATIONAL BANK OF MARYLAND
 C/O ALLFIRST BANK
 MAIL CODE 109-820
 110 SOUTH PACA STREET
 BALTIMORE, MD 21201
 ATTN: DAVID RICHARDSON
 TEL: 410-347-6801

DEVELOPER:
7-ELEVEN, INC.
 2711 EASTON ROAD
 WILLOW GROVE, PA 19099
 ATTN.: ERIC. E. ROEMER

SDP-02-101

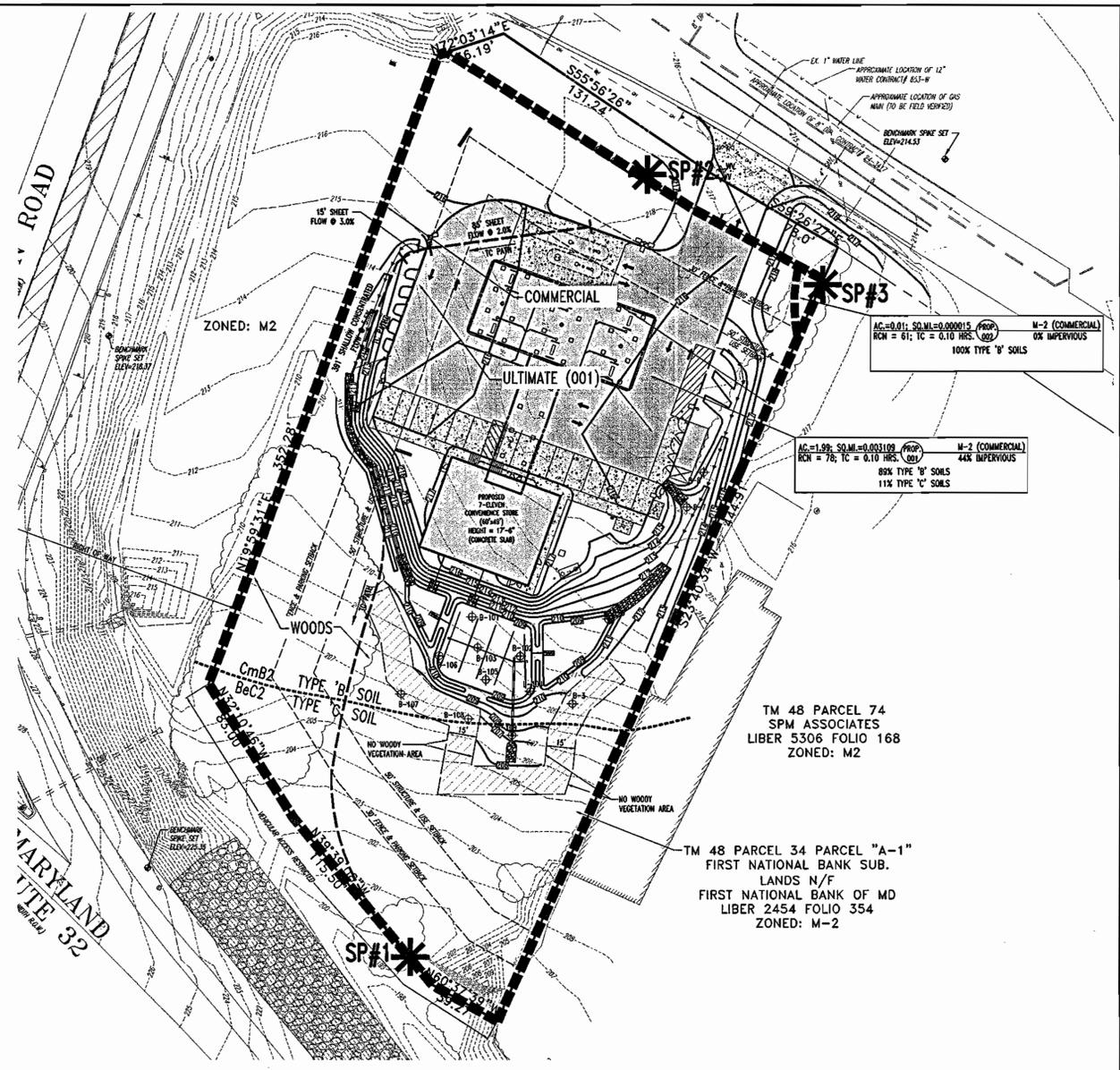
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SUBDIVISION NAME FIRST NATIONAL BANK	SECTION/AREA ---	LOT/PARCEL NO. PARCEL A-1 (P.34)	TAX MAP NO. 10127	ELECT. DISTRICT M-2	CENSUS TRACT 6089.01
PLAT# OR L/F ---	BLOCK# 14	ZONING M-2	SEWER CODE 4200000		
WATER CODE 0-03	ADDRESS CHART				
LOT/PARCEL # PARCEL A-1			STREET ADDRESS 10930 GULFORD ROAD		
PROPOSED CONVENIENCE STORE WITH GASOLINE SERVICE STATION 10930 GULFORD ROAD AT DORSEY RUN HOWARD COUNTY, MARYLAND					
DESIGN BY: B.A.M.	SCALE: AS SHOWN	PROJECT NO.: M0015508	UTILITY PROFILES		
DRAWN BY: R.L.B.	DATE: 09/5/02	DRAWING NUMBER 11			
CHECKED BY: A.J.V.	APPROVED: A.J.V.	REVISION NO.: 4	DRAWING NAME: W15508SD3	OF 19	
REVISION NO.:	DATE	REVISION DESCRIPTION			
1	6/24/02	REVISED PER COUNTY COMMENTS			
2	9/5/02	REVISED PER COUNTY COMMENTS			
3	11/18/02	REVISED PER COUNTY COMMENTS			
4	1/7/03	REVISED PER D.D. & B.D. COMMENTS			



1 YEAR DISCHARGE SUMMARY

SP#	PRE-DRAINAGE	POST-DRAINAGE
1	0.22 cfs	0.69cfs
2	0.01 cfs	NO DRAINAGE AREA IN PROPOSED CONDITIONS
3	0.01 cfs	0 cfs*

*LESS THAN 0.01 cfs

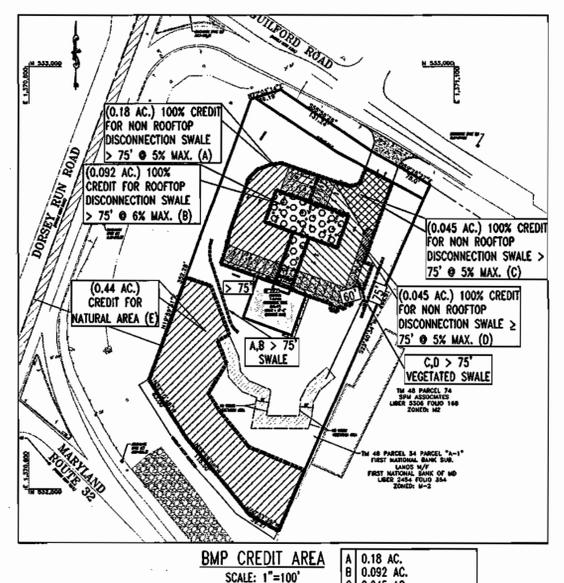


LEGEND

- IMPERVIOUS AREA
- TC PATH
- DRAINAGE DIVIDE

SOILS TYPES

CmB2 - CHILLUM SILT LOAM 1 TO 5 PERCENT SLOPES MODERATELY ERODED
 BcC2 - BELTSVILLE SILT LOAM, 5 TO 10 PERCENT SLOPES MODERATELY ERODED



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] DATE 6/16/03
 CHIEF-DEVELOPMENT/PERMITTING DIVISION

APPROVED: [Signature] DATE 6/20/03
 CHIEF-DIVISION OF LAND DEVELOPMENT

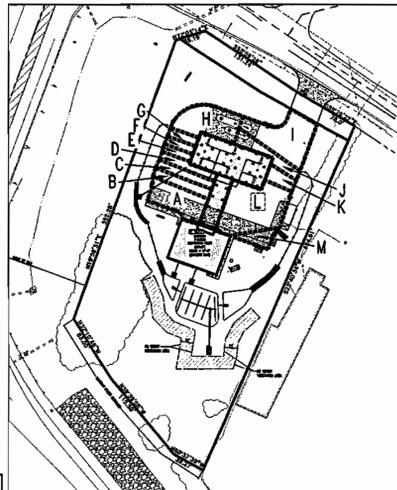
APPROVED: [Signature] DATE 6/20/03
 DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
 [Signature] DATE 6/19/03
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

BOHLER ENGINEERING, P.C.
 PROFESSIONAL ENGINEERING SERVICES
 810 GLENEAGLES COURT, SUITE 300, TOWSON, MD 21286
 (410) 821-7900 FAX: (410) 821-7987 | MDBohlereng.com

6-6-03 DATE

STATE OF MARYLAND
 BOARD OF PROFESSIONAL ENGINEERS
 [Signature] PROFESSIONAL ENGINEER NO. 21342



STORMDRAIN DRAINAGE AREA
 SCALE: 1"=100'

DA	DRAINAGE AREA (S.F.)
A	2,313 S.F.
B	840 S.F.
C	980 S.F.
D	970 S.F.
E	424 S.F.
F	351 S.F.
G	276 S.F.
H	2,616 S.F.
I	2,034 S.F.
J	1,000 S.F.
K	720 S.F.
L	3,515 S.F.
M	884 S.F.

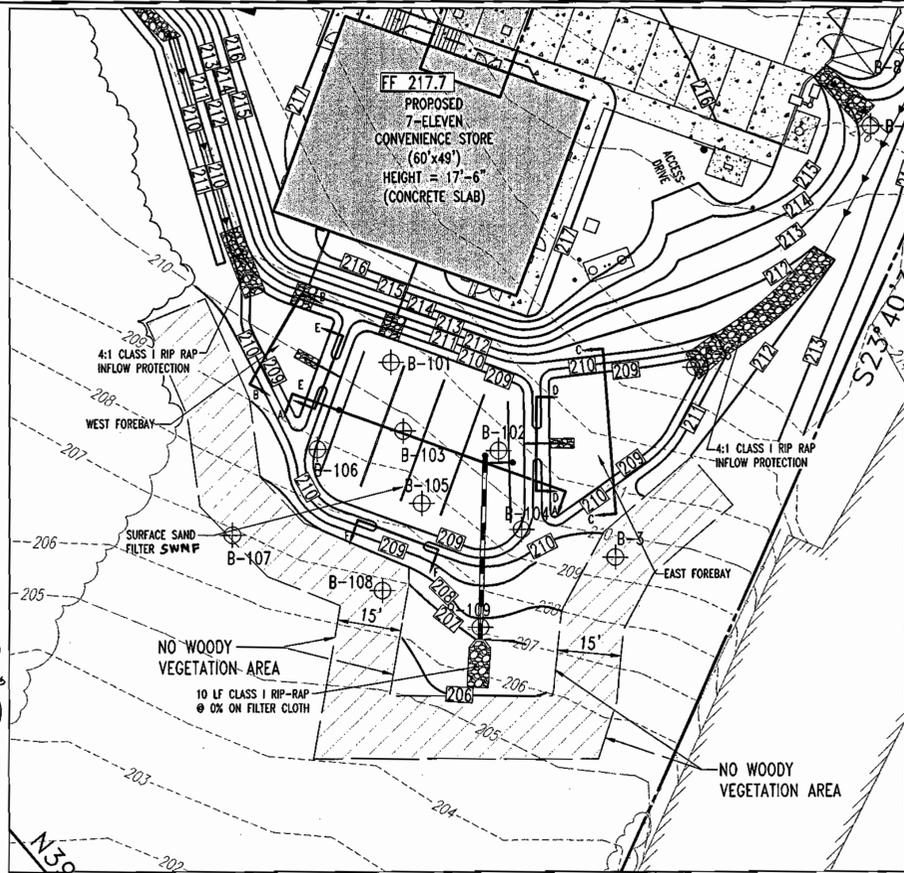
CURB CUT ANALYSIS (WORST CASE)
 RATIONAL METHOD
 Q = CIA = 0.37 CFS
 WEIR EQUATION
 Q = CLH (5/2)
 H = 1.4"
 SPREAD_{max} = 9.5'
 (HOWARD COUNTY SUMP MAX. DESIGN 10')

OWNER:
FIRST NATIONAL BANK OF MARYLAND
 C/O ALLFIRST BANK
 MAIL CODE 109-820
 110 SOUTH PACA STREET
 BALTIMORE, MD 21201
 ATTN: DAVID RICHARDSON
 TEL: 410-347-6801

DEVELOPER:
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 2711 EASTON ROAD
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SDP-02-101

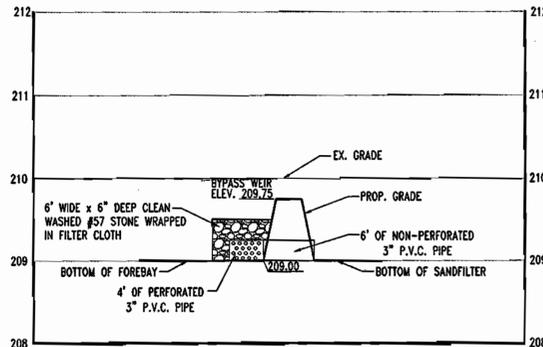
PERMIT INFORMATION CHART		
SUBDIVISION NAME FIRST NATIONAL BANK	SECTION/AREA ---	LOT/PARCEL NO. PARCEL A-1 (P.34)
PLAT# OR L/F# 10127	BLOCK# 14	ZONING M-2
TAX MAP NO. 48	ELECT. DIST. 6	CENSUS TRACT 6069.01
WATER CODE 0-03	SEWER CODE 4200000	
ADDRESS CHART		
LOT/PARCEL # PARCEL A-1	STREET ADDRESS 10930 GULFORD ROAD	
PROPOSED CONVENIENCE STORE WITH GASOLINE SERVICE STATION 10930 GULFORD ROAD AT DORSEY RUN HOWARD COUNTY, MARYLAND		
STORM WATER MANAGEMENT DRAINAGE AREA MAPS		
DESIGN BY: B.A.M.	SCALE: 1"=30'	PROJECT NO.: MD015508
DRAWN BY: R.L.B.	DATE: 09/5/02	DRAWING NUMBER 12
CHECKED BY: A.J.V.	APPROVED: A.J.V.	OF 19
REVISION NO.: 4	DRAWING NAME: W5508SS3	
REVISION NO.	DATE	REVISION DESCRIPTION
1	6/24/02	REVISED PER COUNTY COMMENTS
2	9/5/02	REVISED PER COUNTY COMMENTS
3	11/18/02	REVISED PER COUNTY COMMENTS
4	1/7/03	REVISED PER DDD & BDD COMMENTS



STORMWATER MANAGEMENT PLAN VIEW

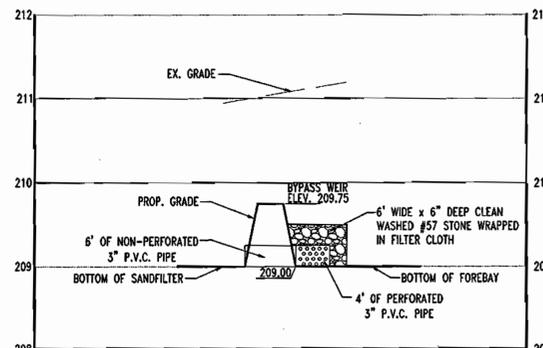
SCALE: 1"=20'

NOTE: SEE PLAN SHEET 5 OF 19 FOR ALL PIPE LENGTHS, SIZES, TYPES, ETC.



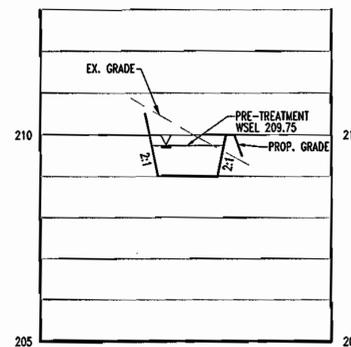
WEST FOREBAY TO SANDFILTER PROFILE

HORIZ. SCALE - 1" = 10'
VERT. SCALE - 1" = 1'



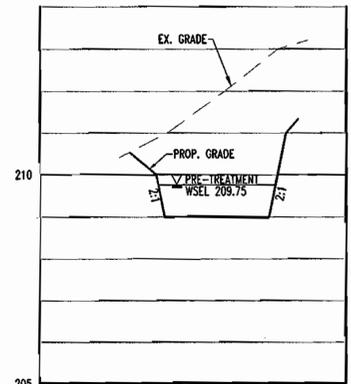
EAST FOREBAY TO SANDFILTER PROFILE

HORIZ. SCALE - 1" = 10'
VERT. SCALE - 1" = 1'



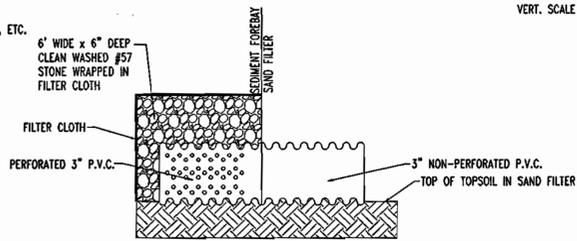
FOREBAY SECTION B-B

HORIZ. SCALE - 1" = 20'
VERT. SCALE - 1" = 2'



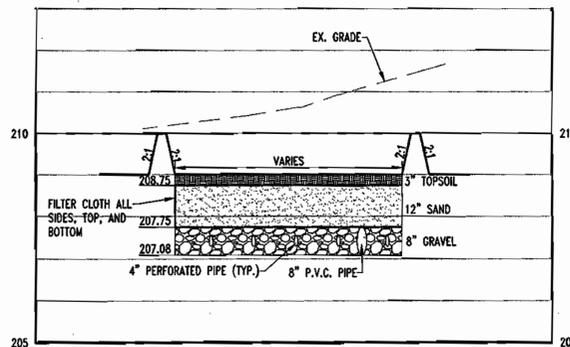
FOREBAY SECTION C-C

HORIZ. SCALE - 1" = 20'
VERT. SCALE - 1" = 2'



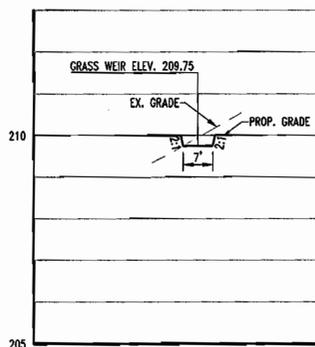
DEWATERING DEVICE DETAIL FOR FOREBAYS

N.T.S.



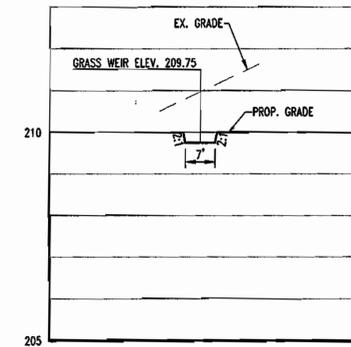
SAND FILTER SECTION A-A

HORIZ. SCALE - 1" = 20'
VERT. SCALE - 1" = 2'



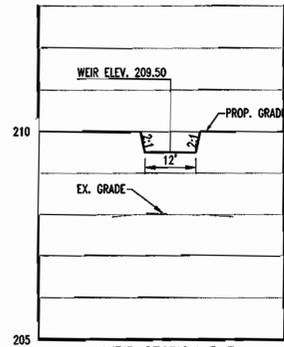
WEIR SECTION E-E

HORIZ. SCALE - 1" = 20'
VERT. SCALE - 1" = 2'



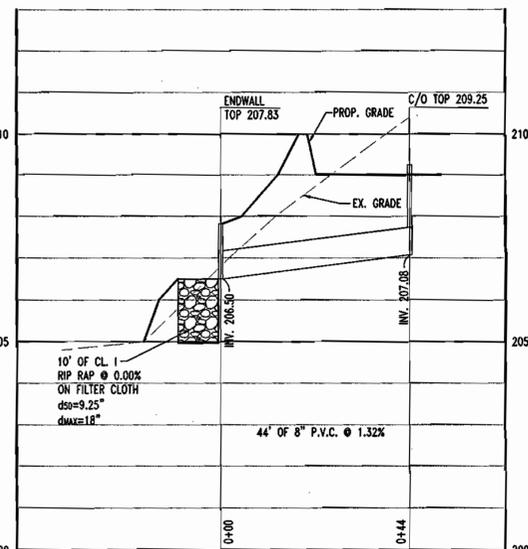
WEIR SECTION D-D

HORIZ. SCALE - 1" = 20'
VERT. SCALE - 1" = 2'



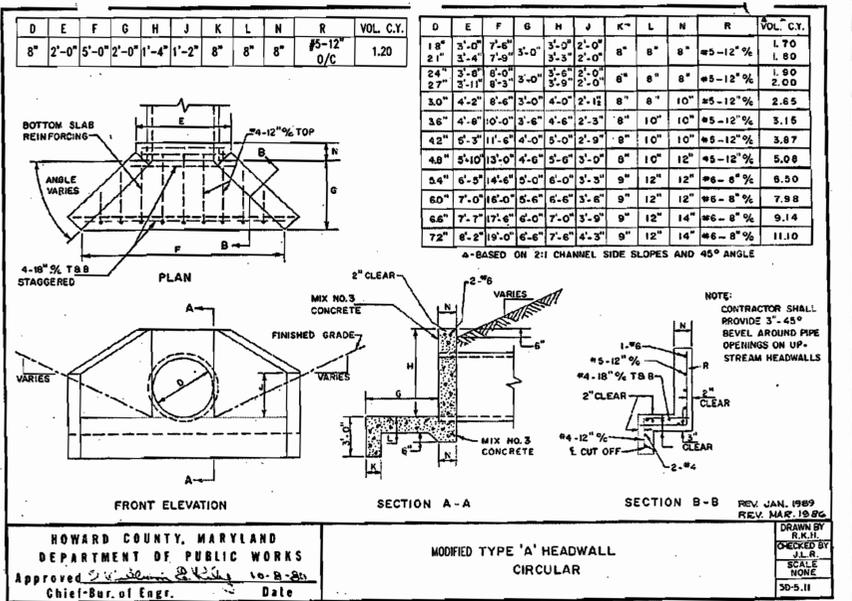
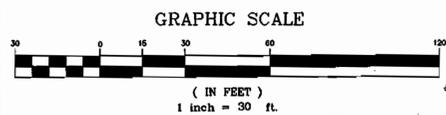
WEIR SECTION F-F

HORIZ. SCALE - 1" = 20'
VERT. SCALE - 1" = 2'



OUTFALL PIPE PROFILE

HORIZ. SCALE - 1" = 20'
VERT. SCALE - 1" = 2'



- OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED SURFACE STORMWATER FILTRATION SYSTEMS (F-1, F-4, AND F-5)**
- THE STORMWATER WETLAND FACILITY SHALL BE INSPECTED ANNUALLY AND AFTER MAJOR STORMS. INSPECTIONS SHALL BE PERFORMED DURING WET WEATHER TO DETERMINE IF THE FACILITY IS FUNCTIONING PROPERLY.
 - THE TOP AND SIDE SLOPES OF THE EMBANKMENT SHALL BE MOWED A MINIMUM OF ONCE PER YEAR, WHEN VEGETATION REACHES 18" IN HEIGHT OR AS NEEDED.
 - FILTERS THAT HAVE A GRASS COVER SHALL BE MOWED A MINIMUM OF THREE (3) TIMES PER GROWING SEASON TO MAINTAIN A MAXIMUM GRASS HEIGHT OF LESS THAN 12 INCHES.
 - DEBRIS AND LITTER SHALL BE REMOVED DURING REGULAR MOWING OPERATIONS AND AS NEEDED.
 - VISIBLE SIGNS OF EROSION IN THE FACILITY SHALL BE REPAIRED AS SOON AS IT IS NOTICED.
 - REMOVE SILT WHEN IT EXCEEDS FOUR (4) INCHES DEEP IN THE FOREBAY.
 - WHEN WATER POUNDS ON THE SURFACE OF THE FILTER BED FOR MORE THAN 72 HOURS, THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REPLACED WITH FRESH MATERIAL. PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIAL AND LIQUID MUST BE FOLLOWED BY THE OWNER.
 - A LOGBOOK SHALL BE MAINTAINED TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
 - A MAINTENANCE LOGBOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.
 - ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION SYSTEM HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF DEVELOPMENT ENGINEERING DIVISION
 DATE: 6/19/03
 CHIEF DIVISION OF LAND DEVELOPMENT
 DATE: 6/20/03
 DIRECTOR
 DATE: 6/20/03

NOTE:
 DEBRIS TO BE KEPT OUT OF FACILITY DURING CONSTRUCTION.

BOHLER ENGINEERING, P.C.
 PROFESSIONAL ENGINEERING SERVICES
 810 GLENAGLES COURT, SUITE 300, TOWSON, MD 21286
 (410) 821-7900 FAX: (410) 821-7987 MDBohlereng.com

6-6-03
 DATE:
 STATE OF MARYLAND
 JOHN T. VOLANTH
 PROFESSIONAL ENGINEER NO. 21342

MISS UTILITY
 BEFORE YOU DIG CALL
 1-800-287-7777
 PROTECT YOURSELF, ONE THREE WORKING DAYS NOTICE
 THIS DRAWING DOES NOT INCLUDE NECESSARY CONSIDERATIONS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS ISSUED THEREAFTER.
 THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 2-3 WORKING DAYS TO ANY CONSTRUCTION.

OWNER:
FIRST NATIONAL BANK OF MARYLAND
 C/O ALLFIRST BANK
 MAIL CODE 109-820
 110 SOUTH PACA STREET
 BALTIMORE, MD 21201
 ATTN: DAVID RICHARDSON
 TEL: 410-347-6801

SDP-02-101

PERMIT INFORMATION CHART			
SUBDIVISION NAME	FIRST NATIONAL BANK	SECTION/AREA	---
LOT/PARCEL NO.	10127	TAX MAP NO.	48
PLAT OR L/F	14	ELECT. DIST.	6
WATER CODE	B-03	SEWER CODE	4200000
ADDRESS CHART		STREET ADDRESS	
LOT/PARCEL #	PARCEL A-1	10930 GULFORD ROAD	

PROPOSED CONVENIENCE STORE WITH GASOLINE SERVICE STATION
 10930 GULFORD ROAD AT DORSETT RUN
 HOWARD COUNTY, MARYLAND

STORMWATER MANAGEMENT NOTES AND DETAILS

DESIGN BY:	SCALE:	PROJECT NO.:
B.A.M.	1"=30'	44015508
DRAWN BY:	DATE:	DRAWING NUMBER
R.L.B.	09/05/02	13
CHECKED BY:	APPROVED:	OF 19
A.J.V.	A.J.V.	
REVISION NO.:	DATE	REVISION DESCRIPTION
1	6/24/02	REVISED PER COUNTY COMMENTS
2	9/5/02	REVISED PER COUNTY COMMENTS
3	11/15/02	REVISED PER COUNTY COMMENTS
4	1/7/03	REVISED PER OLD & DEED COMMENTS

CARLIN - SIMPSON & ASSOCIATES										TEST BORING LOG		BORING NUMBER		
South Amboy, N.J.												B-3		
Project: 7-Eleven, Guilford Road										Howard County, MD		SHEET NO.: 1 of 1		
Client: 7-Eleven Inc.										JOB NUMBER: 01-106				
Drilling Contractor: Borings, Soil and Testing, Inc.										ELEVATION: +214.3				
GROUNDWATER										CASING/SAMPLE CORE/TUBE		DATUM:		
DATE	TIME	DEPTH	CASING	TYPE	HSA	SS	START DATE:	FINISH DATE:	10 Aug 01	10 Aug 01				
16 Nov 01					4"	1.38"								
No Water Encountered										WGHT		DRILLER:		
										FALL		JM, Jr.		
												INSPECTOR: EIS		
Depth (ft.)	Casing Blows per Foot	Sample Number	Blows on Spoon per 6"	IDENTIFICATION				REMARKS						
1	S-1	13	506*	Fm (Br of S, s, l (-) of G)				Rec = 14" dry						
2				Fm (Brown SILT, some coarse to fine SAND, little coarse to fine Gravel)										
3				Br of S, s, l of G				Rec = 40"						
4				Br of S, s, l of G				Rec = 18" moist						
5	S-2	11	10	Brown coarse to fine SAND, little Silt, little coarse to fine Gravel				Rec = 18" moist						
6				Br of S, s, l of G				Rec = 8'6"						
7				Br of S, s, l of G				Rec = 17" moist						
8				Br of S, s, l of G				Rec = 15" moist						
9	S-3	11	10	Light brown coarse to fine SAND, little Silt				Rec = 17" moist						
10				Lr of S, s, l				Rec = 15" moist						
11				Lr of S, s, l				Rec = 17" moist						
12	S-4	11	10	Light brown coarse to fine SAND, little Silt				Rec = 15" moist						
13				Lr of S, s, l				Rec = 15" moist						
14				Lr of S, s, l				Rec = 15" moist						
15				Lr of S, s, l				Rec = 15" moist						
16				Lr of S, s, l				Rec = 15" moist						
17				Lr of S, s, l				Rec = 15" moist						
18				Lr of S, s, l				Rec = 15" moist						
19				Lr of S, s, l				Rec = 15" moist						
20				Lr of S, s, l				Rec = 15" moist						
21				Lr of S, s, l				Rec = 15" moist						
22				Lr of S, s, l				Rec = 15" moist						

CARLIN - SIMPSON & ASSOCIATES										TEST BORING LOG		BORING NUMBER		
South Amboy, N.J.												B-6		
Project: 7-Eleven, Dorsey Run Road										Annapolis Junction, MD		SHEET NO.: 1 of 1		
Client: 7-Eleven Food Stores										JOB NUMBER: 01-106				
Drilling Contractor: Borings, Soil and Testing, Inc.										ELEVATION: +214.3				
GROUNDWATER										CASING/SAMPLE CORE/TUBE		DATUM:		
DATE	TIME	DEPTH	CASING	TYPE	HSA	SS	START DATE:	FINISH DATE:	16 Nov 01	16 Nov 01				
16 Nov 01					4 1/4"	1.38"								
No Water Encountered										WGHT		DRILLER:		
										FALL		JM, Jr.		
												INSPECTOR: MRR		
Depth (ft.)	Casing Blows per Foot	Sample Number	Blows on Spoon per 6"	IDENTIFICATION				REMARKS						
1	S-1	14	8	Lr of S, s, l				Rec = 20" slightly moist						
2				Light brown coarse to fine SAND, some Silt				Rec = 20"						
3	S-2	34	35	Lr of S, s, l of G				Rec = 18" moist						
4				Lr of S, s, l of G				Rec = 18" moist						
5				Lr of S, s, l of G				Rec = 18" moist						
6	S-3	14	17	Brown coarse to fine SAND, little (-) Silt, little coarse to fine Gravel				Rec = 22" moist						
7				Br of S, s, l				Rec = 20" moist						
8	S-4	38	32	Gr br do				Rec = 20" moist						
9				Gr br do				Rec = 20" moist						
10				Gr br do				Rec = 20" moist						
11	S-5	6	6	Br of S, s, l (-) S with gr S seams				Rec = 24" moist						
12				Brown gray coarse to fine SAND, little (-) Silt with light gray Silt seams				Rec = 24" moist						
13				Lr of S, s, l				Rec = 24" moist						
14				Lr of S, s, l				Rec = 24" moist						
15				Lr of S, s, l				Rec = 24" moist						
16				Lr of S, s, l				Rec = 24" moist						
17				Lr of S, s, l				Rec = 24" moist						
18				Lr of S, s, l				Rec = 24" moist						
19				Lr of S, s, l				Rec = 24" moist						
20				Lr of S, s, l				Rec = 24" moist						
21				Lr of S, s, l				Rec = 24" moist						
22				Lr of S, s, l				Rec = 24" moist						

CARLIN - SIMPSON & ASSOCIATES										TEST BORING LOG		BORING NUMBER		
South Amboy, N.J.												B-7		
Project: 7-Eleven, Dorsey Run Road										Annapolis Junction, MD		SHEET NO.: 1 of 1		
Client: 7-Eleven Food Stores										JOB NUMBER: 01-106				
Drilling Contractor: Borings, Soil and Testing, Inc.										ELEVATION: +216.1				
GROUNDWATER										CASING/SAMPLE CORE/TUBE		DATUM:		
DATE	TIME	DEPTH	CASING	TYPE	HSA	SS	START DATE:	FINISH DATE:	16 Nov 01	16 Nov 01				
16 Nov 01					4 1/4"	1.38"								
No Water Encountered										WGHT		DRILLER:		
										FALL		JM, Jr.		
												INSPECTOR: MRR		
Depth (ft.)	Casing Blows per Foot	Sample Number	Blows on Spoon per 6"	IDENTIFICATION				REMARKS						
1	S-1	9	9	Light brown COUSOIL				Rec = 16" slightly moist						
2				Lr of S, s, l				Rec = 16" slightly moist						
3	S-2	19	43	Or br do, (-) of G				Rec = 18" moist						
4				Or br do, (-) of G				Rec = 18" moist						
5				Or br do, (-) of G				Rec = 18" moist						
6	S-3	23	33	Or br of S, s, l of G				Rec = 16" moist						
7				Or br of S, s, l of G				Rec = 16" moist						
8	S-4	19	19	do, (-) of G				Rec = 16" moist						
9				do, (-) of G				Rec = 16" moist						
10				do, (-) of G				Rec = 16" moist						
11	S-5	22	22	Orange brown coarse to fine SAND, little Silt, little coarse to fine Gravel				Rec = 16" moist						
12				do, (-) of G				Rec = 16" moist						
13				do, (-) of G				Rec = 16" moist						
14				do, (-) of G				Rec = 16" moist						
15				do, (-) of G				Rec = 16" moist						
16				do, (-) of G				Rec = 16" moist						
17				do, (-) of G				Rec = 16" moist						
18				do, (-) of G				Rec = 16" moist						
19				do, (-) of G				Rec = 16" moist						
20				do, (-) of G				Rec = 16" moist						
21				do, (-) of G				Rec = 16" moist						
22				do, (-) of G				Rec = 16" moist						

CARLIN - SIMPSON & ASSOCIATES										TEST BORING LOG		BORING NUMBER		
South Amboy, N.J.												B-8		
Project: 7-Eleven, Dorsey Run Road										Annapolis Junction, MD		SHEET NO.: 1 of 1		
Client: 7-Eleven Food Stores										JOB NUMBER: 01-106				
Drilling Contractor: Borings, Soil and Testing, Inc.										ELEVATION: +217.2				
GROUNDWATER										CASING/SAMPLE CORE/TUBE		DATUM:		
DATE	TIME	DEPTH	CASING	TYPE	HSA	SS	START DATE:	FINISH DATE:	16 Nov 01	16 Nov 01				
16 Nov 01					4 1/4"	1.38"								
No Water Encountered										WGHT		DRILLER:		
										FALL		JM, Jr.		
												INSPECTOR: MRR		
Depth (ft.)	Casing Blows per Foot	Sample Number	Blows on Spoon per 6"	IDENTIFICATION				REMARKS						
1	S-1	3	4	Light brown COUSOIL				Rec = 16" moist						
2				Lr of S, s, l				Rec = 16" moist						
3	S-2	19	26	Light brown coarse to fine SAND, some Silt				Rec = 16" moist						
4				Br of S, s, l of G				Rec = 16" moist						
5				Br of S, s, l of G				Rec = 16" moist						
6	S-3	17	17	do, (-) of G				Rec = 14" moist						
7				do, (-) of G				Rec = 14" moist						
8	S-4	20	24	Brown coarse to fine SAND, little (-) Silt, some coarse to fine Gravel				Rec = 14" moist						
9				do				Rec = 14" moist						
10				do				Rec = 14" moist						
11	S-5	21	23	do				Rec = 14" moist						
12				do				Rec = 14" moist						
13				do				Rec = 14" moist						
14				do				Rec = 14" moist						
15				do				Rec = 14" moist						
16				do				Rec = 14" moist						
17				do				Rec = 14" moist						
18				do				Rec = 14" moist						
19				do				Rec = 14" moist						
20				do				Rec = 14" moist						
21				do				Rec = 14" moist						
22				do				Rec = 14" moist						

Appendix B.3. Construction Specifications for Sand Filters, Bioretention and Open Channels

B.3.A Sand Filter Specifications

1. Material Specifications for Sand Filters

The allowable materials for sand filter construction are detailed in Table B.3.1.

2. Sand Filter Testing Specifications

Underground sand filters, facilities within sensitive groundwater aquifers, and filters designed to serve urban hot spots are to be tested for water tightness prior to placement of filter media. Entrances and exits should be plugged and the system completely filled with water to demonstrate water tightness. Water tightness means no leakage for a period of 8 hours.

All overflow weirs, multiple orifices and flow distribution slots are to be field-tested to verify adequate distribution of flows.

3. Sand Filter Construction Specifications

Provide sufficient maintenance access (i.e., 12-foot-wide road with legally recorded easement). Vegetated access slopes are to be a maximum of 10%; gravel slopes to 15%; paved slopes to 25%. Absolutely no runoff is to enter the filter until all contributing drainage areas have been stabilized.

Surface of filter bed is to be level.

All underground sand filters should be clearly delineated with signs so that they may be located when maintenance is due.

"Pocket" sand filters (and residential bioretention facilities treating areas larger than an acre) shall be sized with a stone "window" that covers approximately 10% of the filter area. This "window" shall be filled pea gravel (3/4 inch stone).

FILTERING MAINTENANCE CRITERIA

THE SEDIMENT CHAMBER OUTLET DEVICES SHALL BE CLEANED/REPAIRED WHEN DRAWDOWN TIMES WITHIN THE CHAMBER EXCEED 36 HOURS. TRASH AND DEBRIS SHALL BE REMOVED AS NECESSARY.

SEDIMENT SHOULD BE CLEANED OUT OF THE SEDIMENTATION CHAMBER WHEN IT ACCUMULATES TO A DEPTH OF MORE THAN SIX INCHES. VEGETATION WITHIN THE SEDIMENTATION CHAMBER SHOULD BE LIMITED TO A HEIGHT OF 18 INCHES.

WHEN THE FILTERING CAPACITY OF THE FILTER DIMINISHES SUBSTANTIALLY (E.G., WHEN WATER PONDS ON THE SURFACE OF THE BED FOR MORE THAN 72 HOURS), THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REMOVED AND REPLACED WITH FRESH MATERIAL. THE REMOVED SEDIMENTS SHOULD BE DISPOSED IN AN ACCEPTABLE MANNER (E.G., LANDFILL). SILT SEDIMENT SHOULD BE REMOVED FROM THE FILTER BED WHEN THE ACCUMULATION EXCEEDS ONE INCH.

ORGANIC FILTERS OR SURFACE SAND FILTERS THAT HAVE A GRASS COVER SHOULD BE MOWED FROM A MINIMUM OF 3 TIMES PER GROWING SEASON TO MAINTAIN MAXIMUM GRASS HEIGHTS LESS THAN 12 INCHES.

DEAD OR DISEASED PLANT MATERIAL SHALL BE REPLACED. AREAS DEVOID OF MULCH SHOULD BE RE-MULCHED ON AN ANNUAL BASIS.

DIRECT MAINTENANCE ACCESS SHALL BE PROVIDED TO THE PRETREATMENT AREA AND THE FILTER BED.

Table B.3.1 Material Specifications for Sand Filters

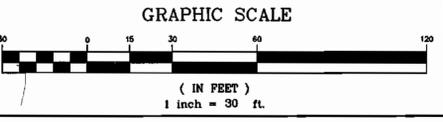
Material	Specification/Test Method	Size	Notes
sand	class AASHTO-M-6 or ASTM-C-33 concrete sand	0.075" to 0.04"	Sand substitutions such as Diabase and Graystone #10 are not acceptable. No calcium carbonate or dolomite sand substitutions are acceptable. No "rock dust" can be used for sand.
peat	ash content: < 15% pH range: 5.3 to 4.9 loose bulk density 0.12 to 0.15 g/cc	n/a	The material must be root-free; hemic peat, shredded, uncompact, uniform, and clean.
leaf compost		n/a	
underlain gravel	AASHTO-M-43	0.375" to 0.75"	
geotextile fabric (if required)	ASTM-D-4633 (tensile strength - 125 lb.) ASTM-D-4632 (Tensile Strength - 300 lb.)	0.08" thick equivalent opening size of #80 sieve	Must maintain 125 gpm per sq. ft. flow rate. Note: a 4" pea gravel layer may be substituted for geotextiles meant to "separate" sand filter layers.
impermeable liner (if required)	ASTM-D-4833 (thickness) ASTM-D-412 (needle strength 1,100 lb., elongation 200%) ASTM-D-624 (Tear resistance - 150 lb./in.) ASTM-D-471 (water absorption: +8 to -2% mass)	30 mil thickness	Liner to be ultraviolet resistant. A geotextile fabric should be used to protect the liner from puncture.
underdrain piping	F 758, Type PS 28 or AASHTO-M-278	4" - 6" rigid schedule 40 PVC or SDR35	3/8" perf. @ 6" on center, 4 holes per row; minimum of 3" of gravel over pipes; not necessary underneath pipes
concrete (cast-in-place)	MSHA Standards and Specs. Section 902, Mix No. 3, f' = 3500 psi, normal weight, air-entrained; re-inforcing to meet ASTM-615-90	n/a	on-site testing of poured-in-place concrete required: 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using previously approved State or local standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland
concrete (pre-cast)	per pre-cast manufacturer	n/a	SEE ABOVE NOTE
reinforcing steel	ASTM A-36	n/a	structural steel to be hot-dipped galvanized ASTM-A-123

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief-Development Engineering Division
 Chief-Divisional Land Development
 Director

6/19/03
 6/2/03
 6/2/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
 County Health Officer
 Howard County Health Department

BOHLER ENGINEERING, P.C.
 PROFESSIONAL ENGINEERING SERVICES
 810 GLENAGLES COURT, SUITE 300, TOWSON, MD 21286
 (410) 521-7900 FAX: (410) 521-7987



6-6-03
 DATE:

STATE OF MARYLAND
 ADAM J. VOLANTIS
 PROFESSIONAL ENGINEER NO. 21342

MISS UTILITY
 BEFORE YOU DIG CALL 1-800-257-7777
 PROTECT YOURSELF, GIVE THREE WORKING DAYS NOTICE

OWNER:
FIRST NATIONAL BANK OF MARYLAND
 C/O ALLFIRST BANK
 MAIL CODE 109-820
 110 SOUTH PACA STREET
 BALTIMORE, MD 21201
 ATTN: DAVID RICHARDSON
 TEL: 410-347-6801

DEVELOPER:
7-ELEVEN, INC.
 2711 EASTON ROAD
 WILLOW GROVE, PA 19099
 ATTN: ERIC E. ROEMER

SDP-02-101

PERMIT INFORMATION CHART

SUBDIVISION NAME	FIRST NATIONAL BANK	SECTION/AREA	---	LOT/PARCEL NO.	PARCEL A-1 (P.34)
PLAT# OR L/F	10127	BLOCK#	14	ZONING	M-2
TAX MAP NO.	48	ELECT. DIST.	6	CENSUS TRACT	6099.01
WATER CODE	B-03	SEWER CODE	4200000		

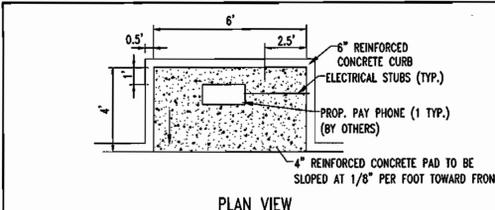
ADDRESS CHART

LOT/PARCEL #	STREET ADDRESS
PARCEL A-1	10930 GULFORD ROAD

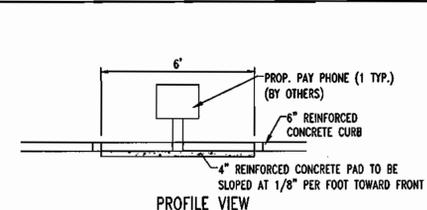
PROPOSED CONVENIENCE STORE WITH GASOLINE SERVICE STATION
 10930 GULFORD ROAD AT DORSEY RUN
 HOWARD COUNTY, MARYLAND

STORMWATER MANAGEMENT NOTES AND DETAILS

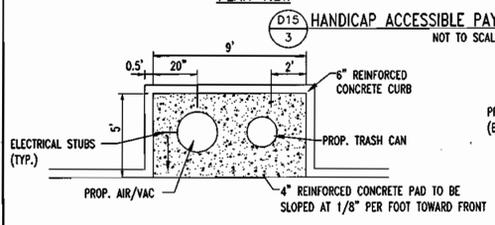
DESIGN BY: B.A.M.	SCALE: 1"=30'	PROJECT NO.	MD015508
DRAWN BY: R.L.B.	DATE: 09/5		



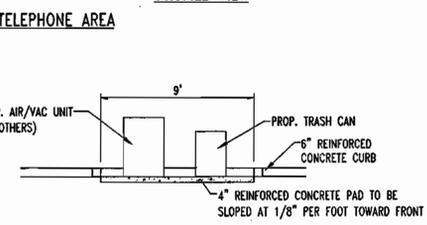
PLAN VIEW



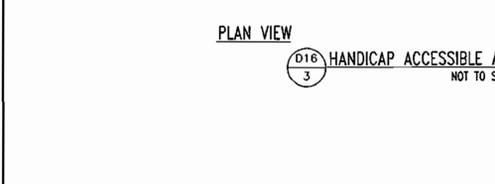
PROFILE VIEW



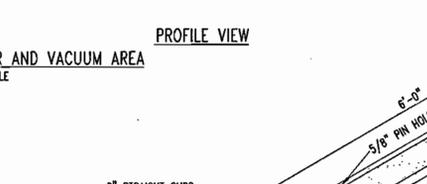
PLAN VIEW



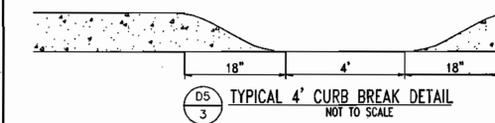
PROFILE VIEW



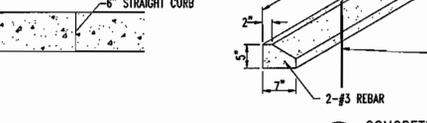
PLAN VIEW



PROFILE VIEW



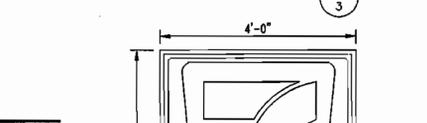
TYPICAL 4" CURB BREAK DETAIL



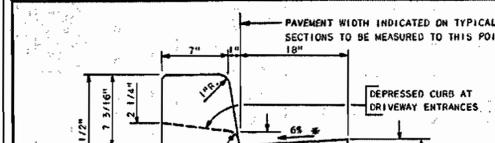
CONCRETE WHEEL STOP DETAIL



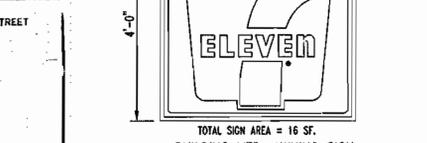
REVERSE CURB DETAIL



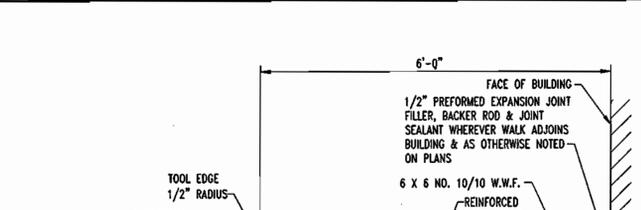
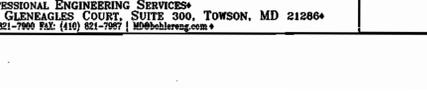
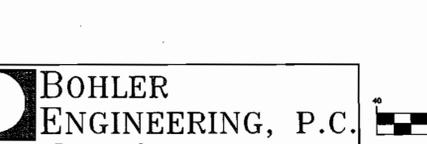
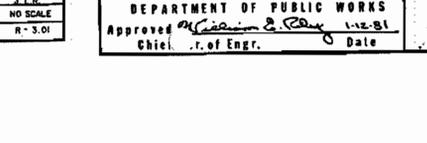
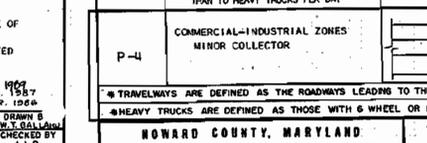
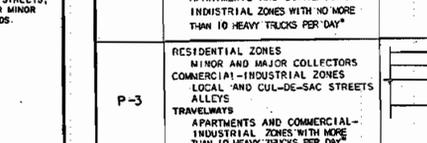
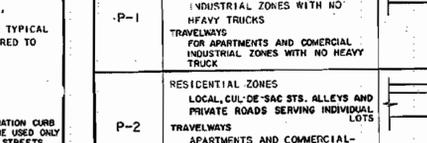
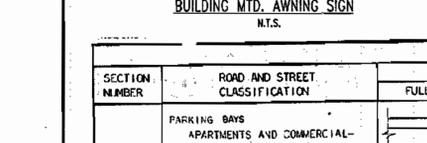
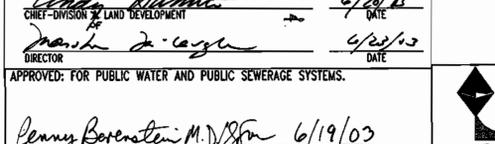
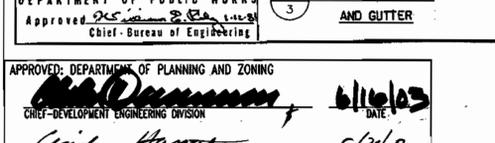
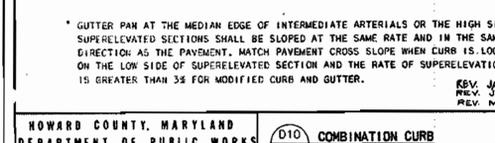
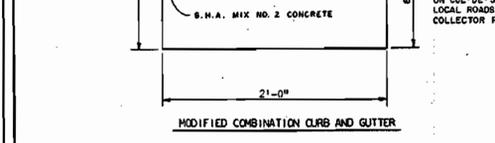
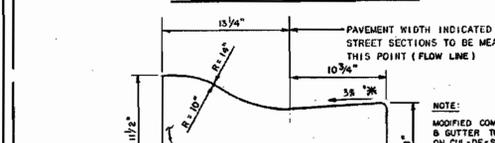
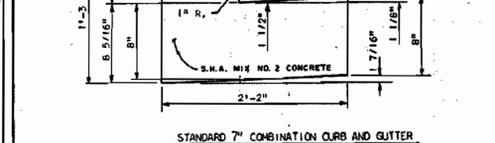
BUILDING MTD. AWNING SIGN



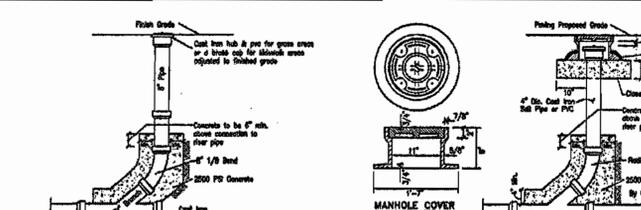
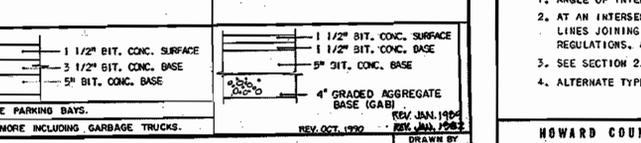
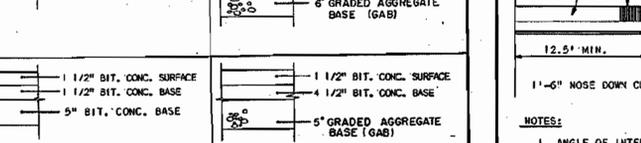
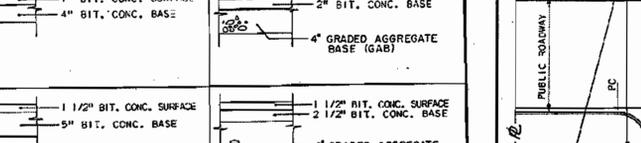
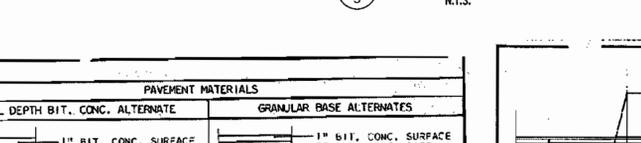
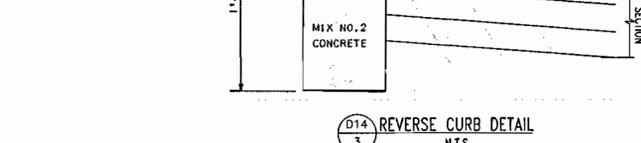
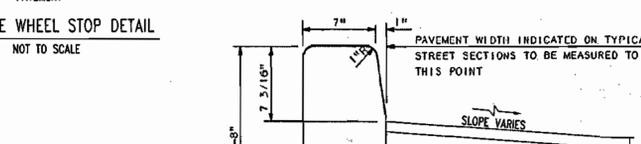
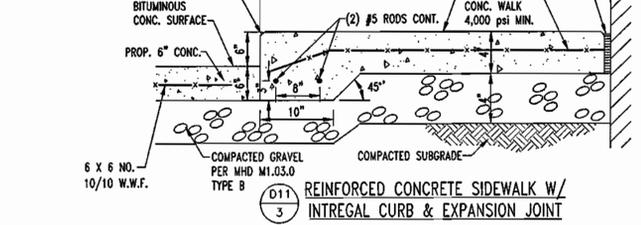
STANDARD 7" COMBINATION CURB AND GUTTER



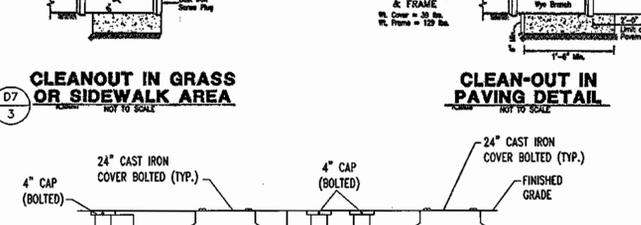
MODIFIED COMBINATION CURB AND GUTTER



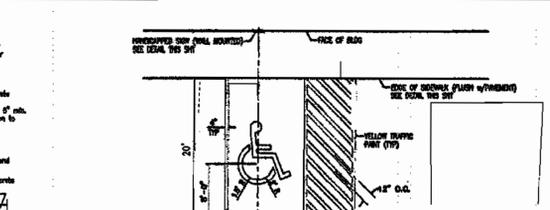
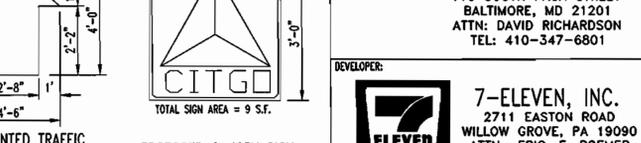
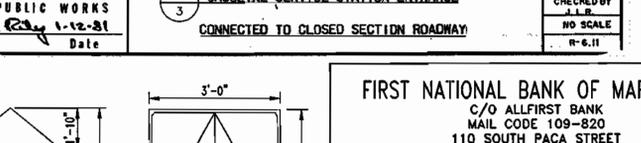
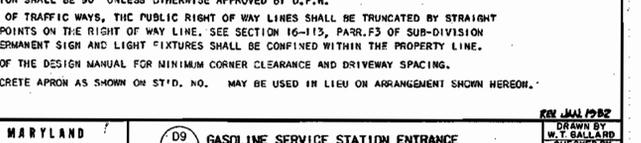
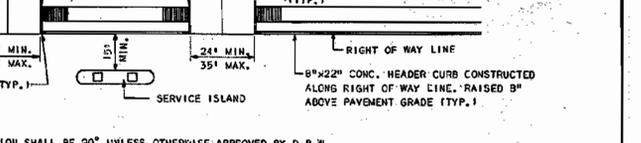
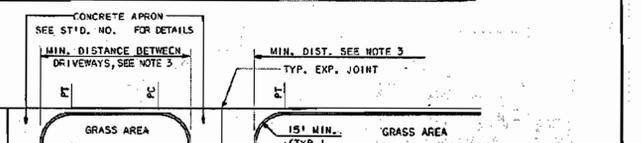
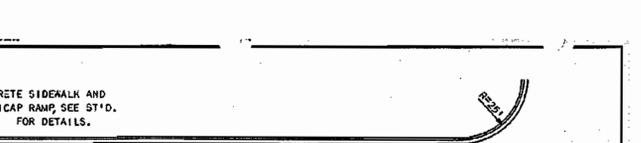
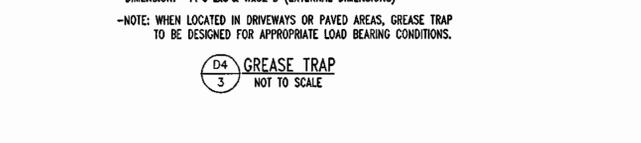
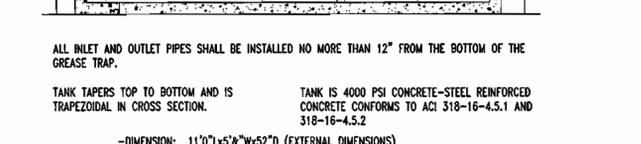
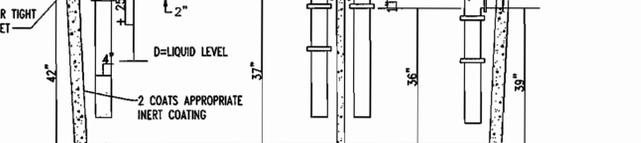
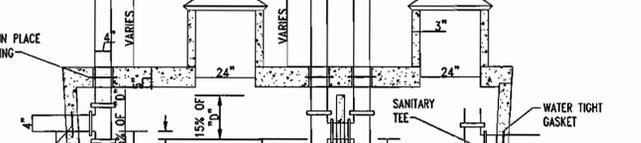
REINFORCED CONCRETE SIDEWALK W/ INTEGRAL CURB & EXPANSION JOINT



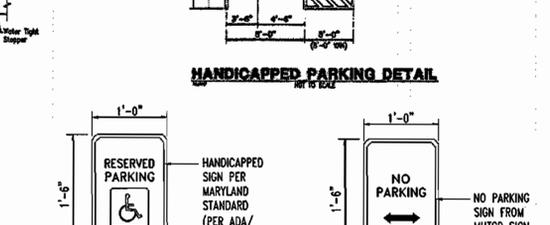
CLEANOUT IN GRASS OR SIDEWALK AREA



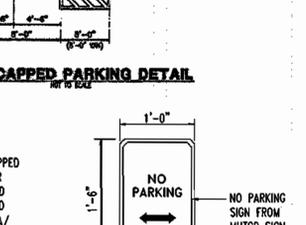
CLEANOUT IN PAVING DETAIL



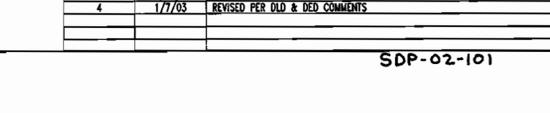
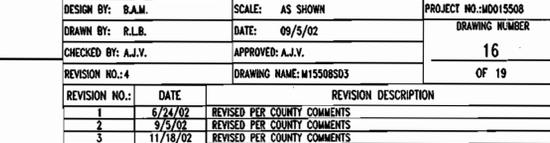
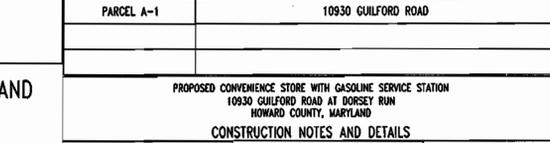
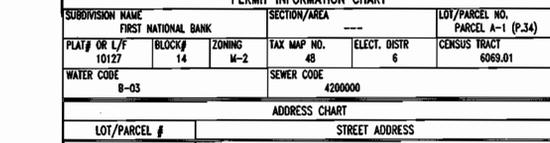
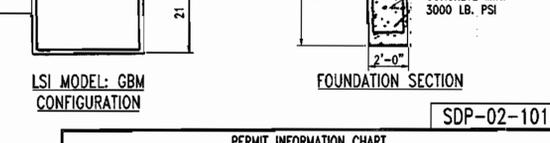
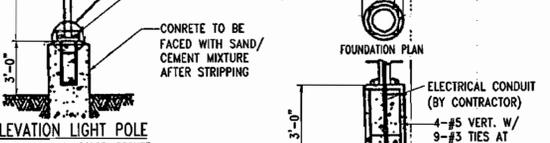
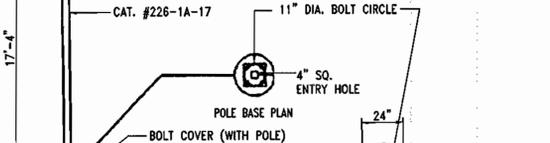
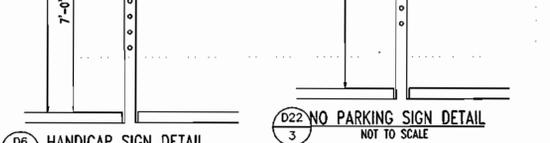
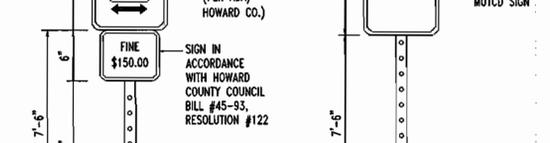
HANDICAPPED PARKING DETAIL



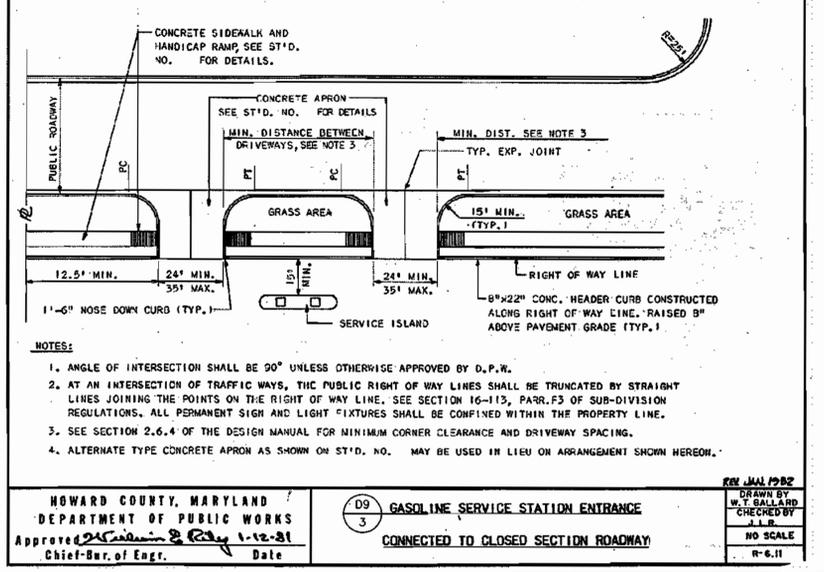
HANDICAP SIGN DETAIL



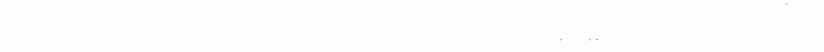
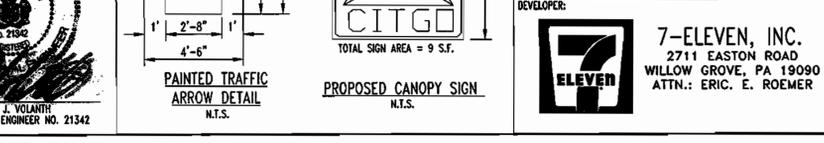
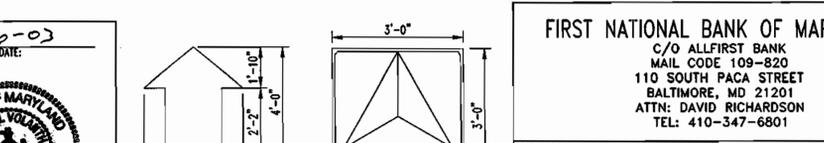
NO PARKING SIGN DETAIL



SECTION NUMBER	ROAD AND STREET CLASSIFICATION	PAVEMENT MATERIALS	
		FULL DEPTH BIT. CONC. ALTERNATE	GRANULAR BASE ALTERNATES
P-1	PARKING BAYS APARTMENTS AND COMMERCIAL-INDUSTRIAL ZONES WITH NO HEAVY TRUCKS	1" BIT. CONC. SURFACE 4" BIT. CONC. BASE	1" BIT. CONC. SURFACE 2" BIT. CONC. BASE 4" GRADED AGGREGATE BASE (GAB)
P-2	RESIDENTIAL ZONES LOCAL, CUL-DE-SAC STS. ALLEYS AND PRIVATE ROADS SERVING INDIVIDUAL LOTS	1 1/2" BIT. CONC. SURFACE 5" BIT. CONC. BASE	1 1/2" BIT. CONC. SURFACE 2 1/2" BIT. CONC. BASE 6" GRADED AGGREGATE BASE (GAB)
P-3	RESIDENTIAL ZONES MINOR AND MAJOR COLLECTORS COMMERCIAL-INDUSTRIAL ZONES WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY	1 1/2" BIT. CONC. SURFACE 1 1/2" BIT. CONC. BASE 5" BIT. CONC. BASE	1 1/2" BIT. CONC. SURFACE 4 1/2" BIT. CONC. BASE 6" GRADED AGGREGATE BASE (GAB)
P-4	COMMERCIAL-INDUSTRIAL ZONES MINOR COLLECTOR	1 1/2" BIT. CONC. SURFACE 3 1/2" BIT. CONC. BASE 5" BIT. CONC. BASE	1 1/2" BIT. CONC. SURFACE 5" BIT. CONC. BASE 4" GRADED AGGREGATE BASE (GAB)



GASOLINE SERVICE STATION ENTRANCE



PERMIT INFORMATION CHART			
SUBDIVISION NAME	FIRST NATIONAL BANK	SECTION/AREA	---
LOT/PARCEL NO.	10127	LOT/PARCEL NO.	PARCEL A-1 (P.34)
PLAT OR L/F	14	ZONING	M-2
WATER CODE	8-03	TAX MAP NO.	48
		ELECT. DISTR.	6
		CENSUS TRACT	6069.01
		SEWER CODE	4200000
ADDRESS CHART			
LOT/PARCEL #	STREET ADDRESS		
PARCEL A-1	10930 GULFORD ROAD		

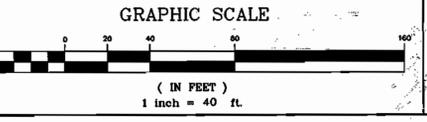
CONSTRUCTION NOTES AND DETAILS			
DESIGN BY:	B.A.M.	SCALE:	AS SHOWN
DRAWN BY:	R.L.R.	DATE:	09/05/02
CHECKED BY:	A.J.V.	APPROVED:	A.J.V.
REVISION NO.:	4	DRAWING NAME:	M15508SD3
REVISION NO.:	DATE	REVISION DESCRIPTION	
1	6/24/02	REVISED PER COUNTY COMMENTS	
2	9/5/02	REVISED PER COUNTY COMMENTS	
3	11/18/02	REVISED PER COUNTY COMMENTS	
4	1/7/03	REVISED PER OLD & RED COMMENTS	

DEVELOPER:	
7-ELEVEN, INC.	2711 EASTON ROAD WILLOW GROVE, PA 19090 ATTN: ERIC E. ROEMER

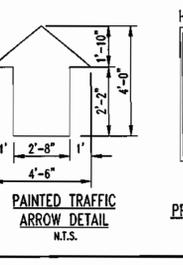
APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief-Development Engineering Division
 Chief-Division of Land Development
 Director

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
 County Health Officer
 Howard County Health Department

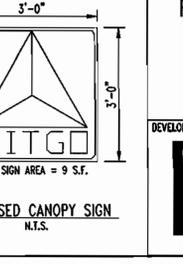
BOHLER ENGINEERING, P.C.
 PROFESSIONAL ENGINEERING SERVICES
 810 GLENAGLES COURT, SUITE 300, TOWSON, MD 21286
 (410) 821-7999 FAX: (410) 821-7997 1 MPO@bohlereng.com



6-6-03
 STATE OF MARYLAND
 PROFESSIONAL ENGINEER NO. 21342

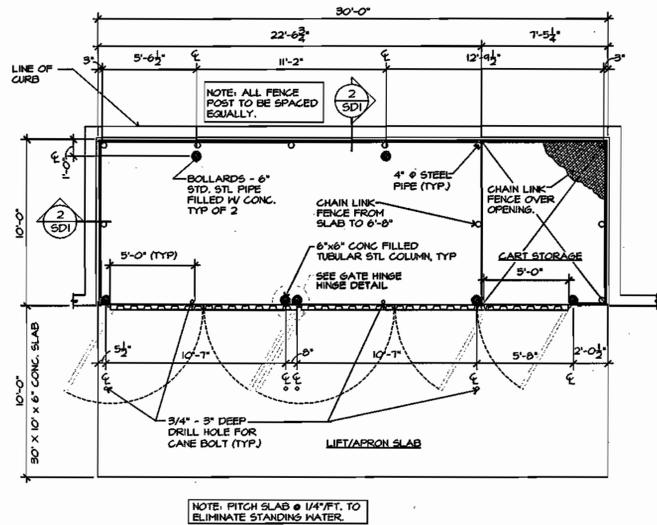


PAINTED TRAFFIC ARROW DETAIL

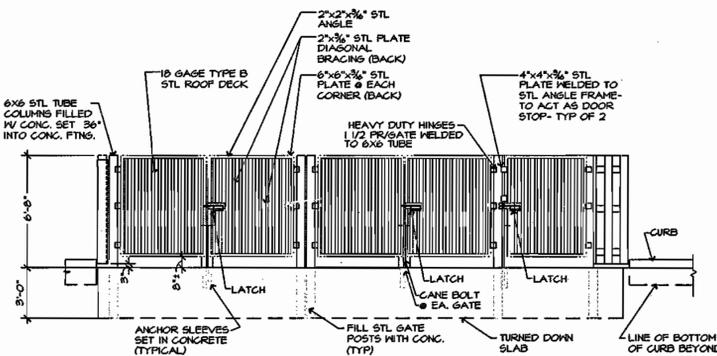


PROPOSED CANOPY SIGN

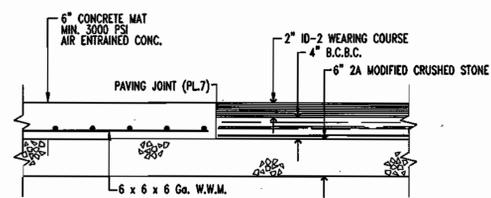
FIRST NATIONAL BANK OF MARYLAND
 C/O ALLFIRST BANK
 MAIL CODE 109-820
 110 SOUTH PACA STREET
 BALTIMORE, MD 21201
 ATTN: DAVID RICHARDSON
 TEL: 410-347-6801



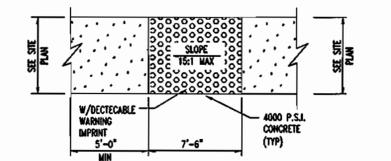
D5 BOARD-ON-BOARD DUMPSTER ENCLOSURE
SCALE: 1/4" = 1'-0"



D3 GATE ELEVATION DUMPSTER ENCLOSURE
SCALE: 1/2" = 1'-0"



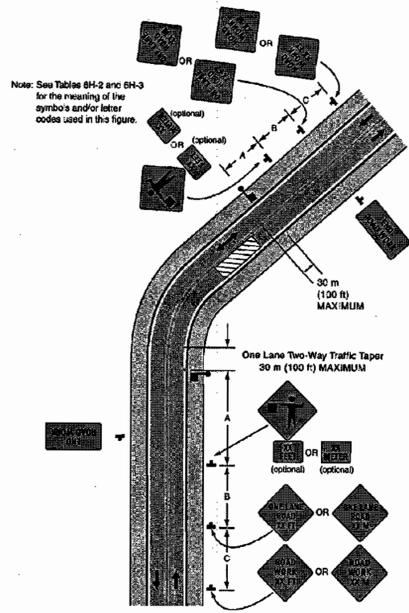
D1 CONC. & ASPHALT PAVING DETAIL
SCALE: 1/2" = 1'-0"



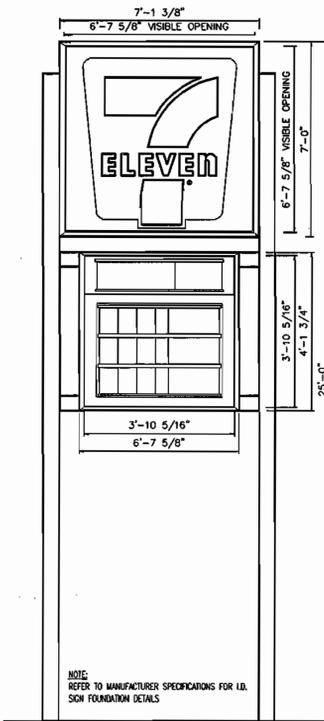
D2 HANDICAP RAMP DETAIL
SCALE: 1/2" = 1'-0"

December 2000 Page 6H-25

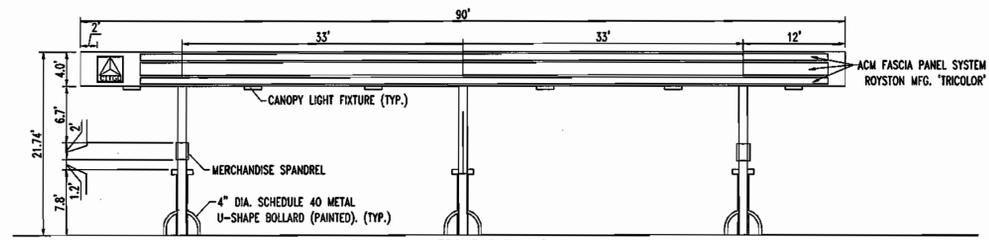
Figure 6H-10. Lane Closure on Two-Lane Road Using Flaggers (TA-10)



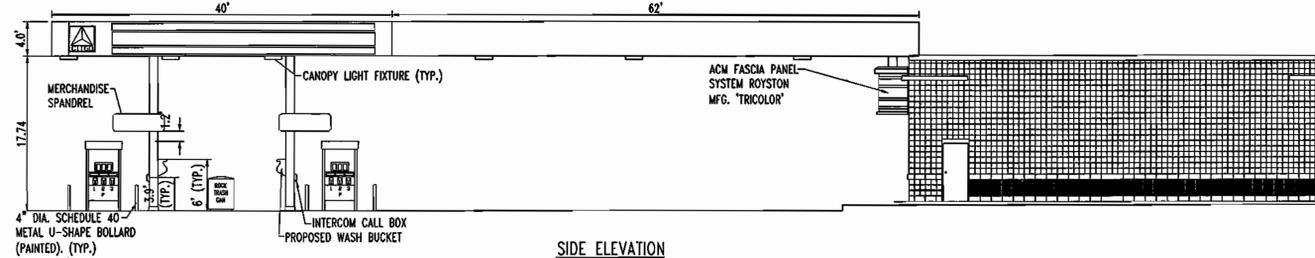
Typical Application 10 PAGE 6H-25



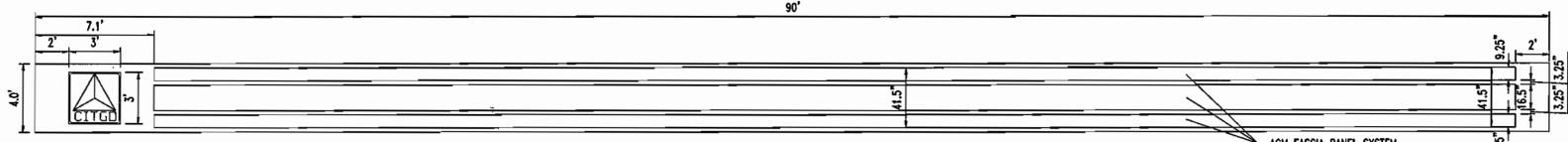
D20 25' PYLON SIGN
SCALE: 1" = 10'



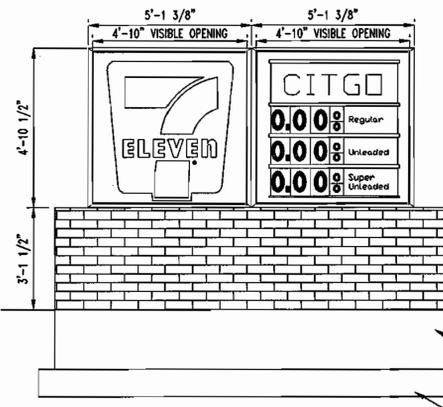
FRONT ELEVATION
SCALE: 1" = 10'



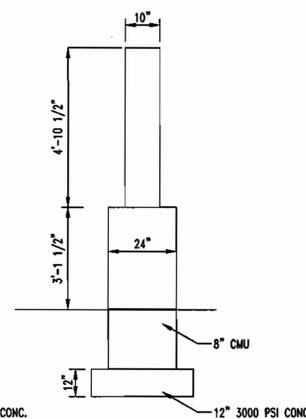
SIDE ELEVATION
SCALE: 1" = 10'



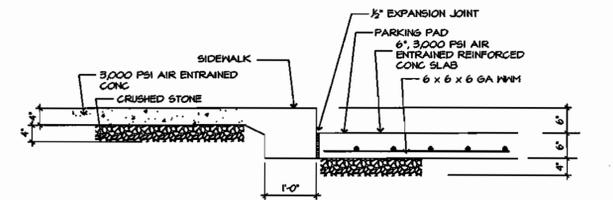
TOTAL SIGN AREA = 311.25 S.F.
PROPOSED CANOPY SIGN (SIGN A)
SCALE: 1" = 5'



TOTAL SIGN AREA = 138.33 S.F.
PROPOSED CANOPY SIGN (SIGN B)
SCALE: 1" = 5'



D20 MONUMENT SIGN
SCALE: 1" = 10'



D3 CURB SIDEWALK & PARKING PAD DETAIL
SCALE: 3/4" = 1'-0"

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief-Development Engineering Division
 Chief-Division of Land Development
 Director

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
 County Health Officer
 Howard County Health Department

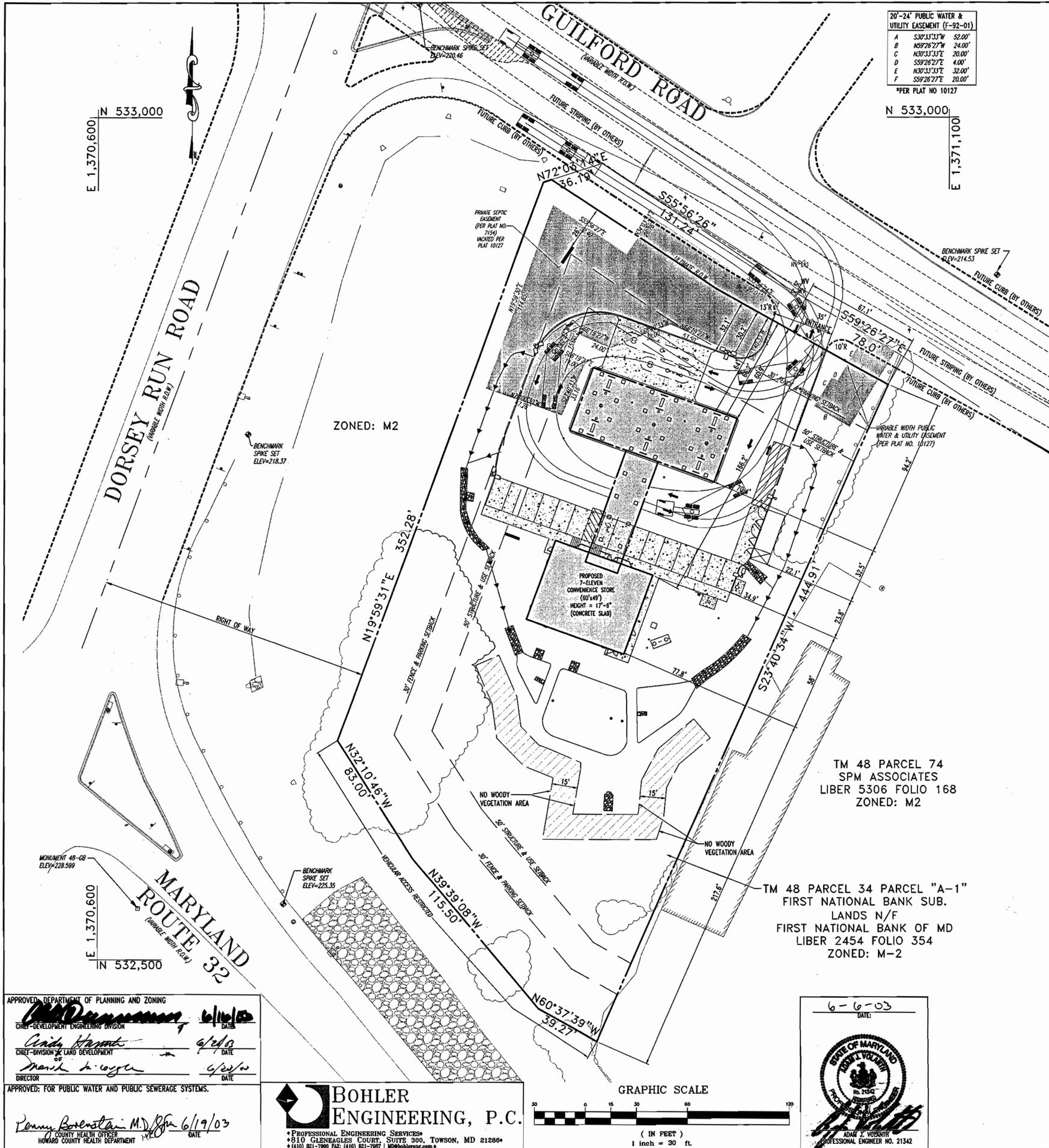
BOHLER ENGINEERING, P.C.
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 810 GLENAGLES COURT, SUITE 300, TOWSON, MD 21286
 (410) 821-7900 FAX (410) 821-7957 | 100bohlereng.com

6-6-03
 STATE OF MARYLAND
 ADAM J. VOLANTH
 PROFESSIONAL ENGINEER NO. 21342

OWNER:
FIRST NATIONAL BANK OF MARYLAND
 C/O ALLFIRST BANK
 MAIL CODE 109-820
 110 SOUTH PACA STREET
 BALTIMORE, MD 21201
 ATTN: DAVID RICHARDSON
 TEL: 410-347-6801

DEVELOPER:
7-ELEVEN, INC.
 2711 EASTON ROAD
 WILLOW GROVE, PA 19090
 ATTN: ERIC E. ROEMER

PERMIT INFORMATION CHART					
SUBDIVISION NAME	FIRST NATIONAL BANK	SECTION/AREA		LOT/PARCEL NO.	PARCEL A-1 (P.34)
PLAT# OR L/F	10127	BLOCK#	14	TAX MAP NO.	48
WATER CODE	8-03	ZONING	M-2	ELECT. DISTR.	6
		SEWER CODE		CENSUS TRACT	6069.01
ADDRESS CHART					
LOT/PARCEL #	STREET ADDRESS				
PARCEL A-1	10930 GUILFORD ROAD				
PROPOSED CONVENIENCE STORE WITH GASOLINE SERVICE STATION 10930 GUILFORD ROAD AT DORSEY RUN HOWARD COUNTY, MARYLAND					
DESIGN BY:	B.A.M.	SCALE:	AS SHOWN	PROJECT NO.:	MD015508
DRAWN BY:	R.L.B.	DATE:	09/5/02	DRAWING NUMBER	17
CHECKED BY:	A.J.V.	APPROVED:	A.J.V.	DRAWING NAME:	W15508SD3
REVISION NO.:	4	DATE:	1/7/03	REVISION DESCRIPTION	REVISED PER ELD & OED COMMENTS
1	6/24/02	REVISED PER COUNTY COMMENTS			
2	9/5/02	REVISED PER COUNTY COMMENTS			
3	11/18/02	REVISED PER COUNTY COMMENTS			
4	1/7/03	REVISED PER ELD & OED COMMENTS			



20'-24' PUBLIC WATER & UTILITY EASEMENT (F-92-01)

A	S30°33'33"W	52.00'
B	N59°26'27"E	24.00'
C	N30°33'33"E	20.00'
D	S59°26'27"E	4.00'
E	N30°33'33"E	32.00'
F	S59°26'27"E	20.00'

*PER PLAT NO 10127

N 533,000
E 1,370,600

N 533,000
E 1,371,100

ZONED: M2

TM 48 PARCEL 74
SPM ASSOCIATES
LIBER 5306 FOLIO 168
ZONED: M2

TM 48 PARCEL 34 PARCEL "A-1"
FIRST NATIONAL BANK SUB.
LANDS N/F
FIRST NATIONAL BANK OF MD
LIBER 2454 FOLIO 354
ZONED: M-2

SDP-02-101

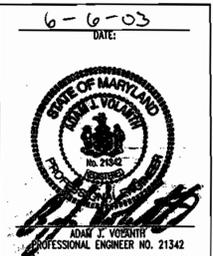
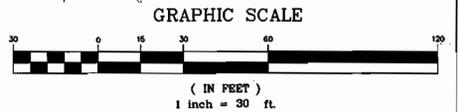
PERMIT INFORMATION CHART				
SUBDIVISION NAME FIRST NATIONAL BANK	SECTION/AREA ---	LOT/PARCEL NO. PARCEL A-1 (P.34)		
PLAT# OR L/F 10127	BLOCK# 14	ZONING M-2	TAX MAP NO. 48	ELECT. DISTR. 6
CENSUS TRACT 6069.01		SEWER CODE 4200000		
ADDRESS CHART				
LOT/PARCEL #		STREET ADDRESS		
PARCEL A-1		10930 GUILFORD ROAD		

PERMIT INFORMATION CHART				
DESIGN BY: B.A.M. SCALE: 1"=30'				
DRAWN BY: R.L.B. DATE: 09/5/02 PROJECT NO.: MD015508				
CHECKED BY: A.J.V. APPROVED: A.J.V. DRAWING NUMBER: 18				
REVISION NO.: 4 DRAWING NAME: MISS08SS3 OF 19				
REVISION NO.	DATE	REVISION DESCRIPTION		
1	6/24/02	REVISED PER COUNTY COMMENTS		
2	9/5/02	REVISED PER COUNTY COMMENTS		
3	11/18/02	REVISED PER COUNTY COMMENTS		
4	1/7/03	REVISED PER DLD & DEP. COMMENTS		

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 6/16/03
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
[Signature] 6/2/03
 CHIEF-DIVISION OF LAND DEVELOPMENT
[Signature] 6/23/03
 DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
[Signature] 6/19/03
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

BOHLER ENGINEERING, P.C.
 PROFESSIONAL ENGINEERING SERVICES
 810 GLENLEAGUES COURT, SUITE 300, TOWSON, MD 21286
 (410) 821-7900 FAX: (410) 821-7907 MDBohler.com

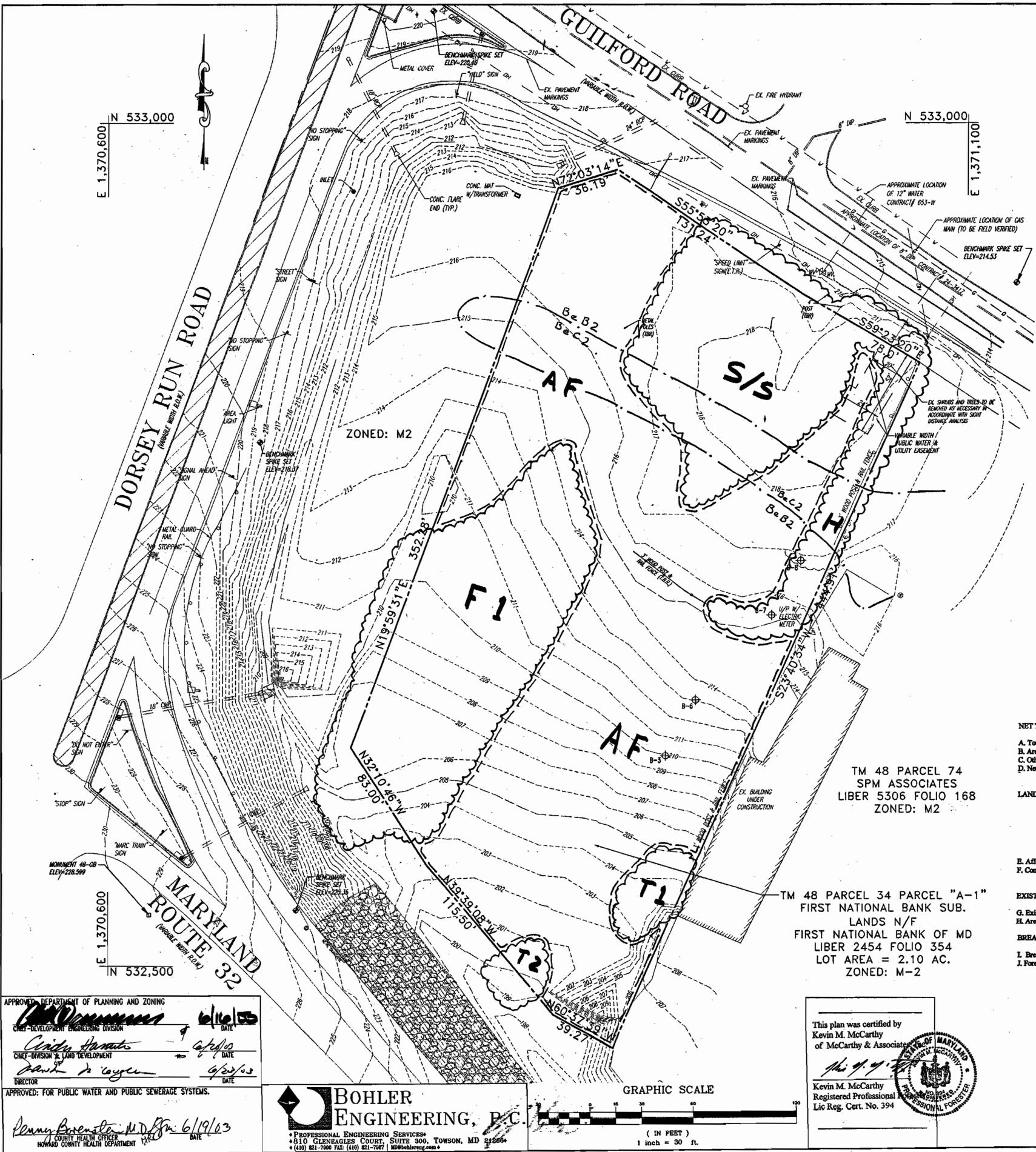


OWNER:
FIRST NATIONAL BANK OF MARYLAND
 C/O ALLFIRST BANK
 MAIL CODE 109-820
 110 SOUTH PACA STREET
 BALTIMORE, MD 21201
 ATTN: DAVID RICHARDSON
 TEL: 410-347-6801

DEVELOPER:

7-ELEVEN, INC.
 2711 EASTON ROAD
 WILLOW GROVE, PA 19090
 ATTN: ERIC. E. ROEMER

SDP-02-101



Plan Notes

- Property is Known as: Lot Map 48, Grid 14, Parcel 34, pursuant to the official Tax Map of Howard County.
- Total lot area = 92,719 square feet or 2.185 acres.
- There are no 100 year floodplains.
- There are no significant trees (state champions, 75% of state champion diameter or ≥30" diameter trees).

Plan Legend

- Tree Line, Scrub/Shrub or Hedgerow.
- Clearings.
- Soils Boundary.

- Forest (F) - areas that meet the definition.
- Abandoned Field (AF) - fields or clearings that are left uncult.
- Hedgerow (H) - fence lines and natural strips between fields and yards.
- Tree Groups (T) - areas that do not meet the definition of a forest, though trees are present.
- Scrub/Shrub (S/S) - fallow areas where shrubs and small tree dominate the cover.

Key	A. Type of Community	B. Area (SqFt)	C. Soil Information				D. Existing Vegetation (Dominant Species and Approx. %)	E. Stand Characteristics			Forest Area in Suitable Environments (Acres)
			1. Soil Type	2. Typical Forest Cover for Soil Type	3. Woodland Suitability	4. Habitat Values		1. Size	2. Age	3. General Condition	
F1	River Birch/Sycamore	16,000	BaB2	loblolly pine oaks	Group 12	Good	Liquidambar styraciflua 20% Acer rubrum 15% Morus alba 15%	1-4" 1-3" 2-6"	to 10yr to 20yr	Fair	None Observed
S/S1		14,000	BaB2	loblolly pine oaks	Group 12	Good	Elaeagnus umbellata 15% Lonicera tartaria 15% Prunus serotina 10% Rosa multiflora 10%	Shrub		Poor	None Observed
T1		600	BaB2	loblolly pine oaks	Group 12	Good	Pinus virginiana 98%	1-4"	to 10yr	Fair	None Observed
T2		1,700	BaB2	loblolly pine oaks	Group 12	Good	Pinus virginiana 80% Sassafras albidum 5% Acer rubrum 3%	2-4" 1-2" 2-4"	to 10yr to 8yr to 10yr	Fair	None Observed
H1		2,800	BaB2	loblolly pine oaks	Group 12	Good	Lonicera tartaria 10% Rhus copallinum 10% Prunus serotina 5% Morus alba 5% Sassafras albidum 5% Acer rubrum 5%	Shrub Shrub Shrub Shrub	to 6yr to 6yr	Fair to Poor	None Observed
OF1			BaB2	loblolly pine oaks	Group 12	Good	Fuchsia sp. Solidago sp. Asclepias syriaca Rosa multiflora	Herb Herb Herb Shrub		Fair	None Observed

SDP-02-101

FOREST CONSERVATION WORKSHEET
Version 2.0

NET TRACT AREA:

A. Total tract area	2.10
B. Area within 100 year floodplain	0.00
C. Other deductions	0.00
D. Net tract area	2.10

LAND USE CATEGORY: (from table 3.2.1, page 40, Manual)

Input the number "1" under the appropriate land use zoning, and limit to only one entry.

ARA	MDR	IDA	HDR	MPD	CIA
0	0	0	0	0	1

E. Afforestation Threshold: 15% x D = 0.32
 F. Conservation Threshold: 15% x D = 0.32

EXISTING FOREST COVER:

G. Existing forest cover (excluding floodplain)	0.38
H. Area of forest above conservation threshold	0.07

BREAK EVEN POINT:

I. Break Even	0.33
J. Forest clearing permitted without mitigation	0.05

PROPOSED FOREST CLEARING:

K. Total area of forest to be cleared	0.38
L. Total area of forest remaining	0.00

PLANTING REQUIREMENTS:

M. Reforestation for clearing above conservation threshold	0.02
N. Reforestation for clearing below conservation threshold	0.63
P. Credit for retention above conservation threshold	0.00
Q. Total reforestation required	0.65
R. Total afforestation required	0.00
S. Total reforestation and afforestation required	0.65

THE FOREST CONSERVATION OBLIGATION OF 0.65 AC. OF REFORESTATION FOR THIS SITE DEVELOPMENT PLAN HAS BEEN MET BY A PAYMENT OF 14,157.00 TO THE HOWARD COUNTY FOREST CONSERVATION FUND.

TM 48 PARCEL 74
SPM ASSOCIATES
LIBER 5306 FOLIO 168
ZONED: M2

TM 48 PARCEL 34 PARCEL "A-1"
FIRST NATIONAL BANK SUB.
LANDS N/F
FIRST NATIONAL BANK OF MD
LIBER 2454 FOLIO 354
LOT AREA = 2.10 AC.
ZONED: M-2

This plan was certified by
Kevin M. McCarthy
of McCarthy & Associates

Kevin M. McCarthy
Registered Professional
Lic Reg. Cert. No. 394



OWNER:
FIRST NATIONAL BANK OF MARYLAND
C/O ALLFIRST BANK
MAIL CODE 109-820
110 SOUTH PACA STREET
BALTIMORE, MD 21201
ATTN: DAVID RICHARDSON
TEL: 410-347-6801

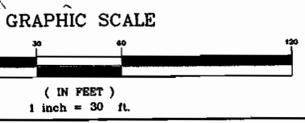
DEVELOPER:
7-ELEVEN, INC.
2711 EASTON ROAD
WILLOW GROVE, PA 19090
ATTN: ERIC E. ROEMER

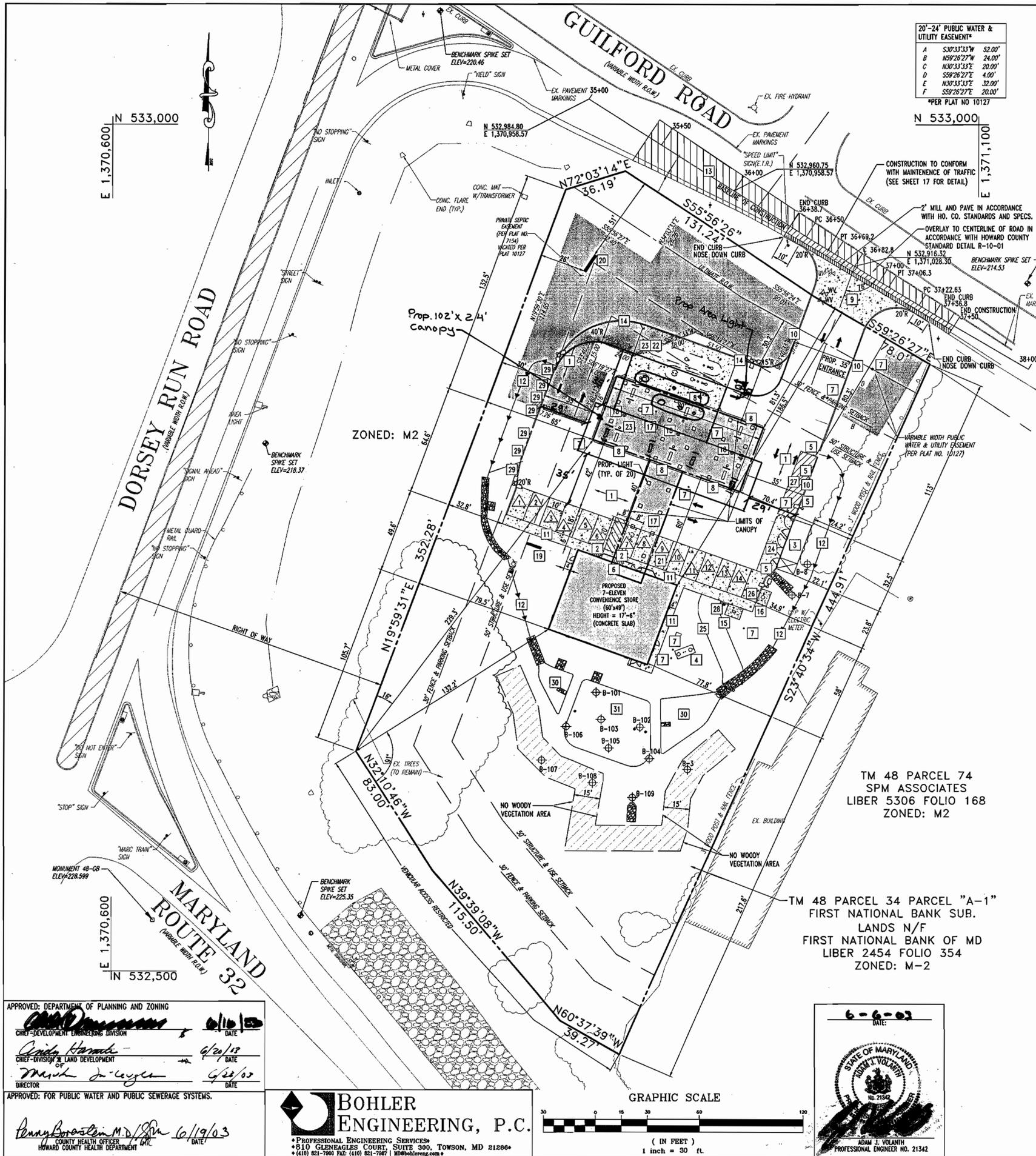
SDP-02-101

PERMIT INFORMATION CHART					
SUBDIVISION NAME	FIRST NATIONAL BANK	SECTION/AREA		LOT/PARCEL NO.	34
PLAT # OR L/F	10127	BLOCK#	14	ZONING	M-2
TAX MAP NO.	48	ELECT. DISTR.	6	CENSUS TRACT	6069-01
WATER CODE	B-03	SEWER CODE	4200000		
ADDRESS CHART					
LOT/PARCEL #		STREET ADDRESS			
PARCEL 34		GUILFORD ROAD			
PROPOSED CONVENIENCE STORE WITH GASOLINE SERVICE STATION					
GUILFORD ROAD AT DORSEY RUN HOWARD COUNTY, MARYLAND					
FOREST STAND DELINEATION PLAN					
DESIGN BY:	M.P.S.	SCALE:	1"=50'	PROJECT NO.	MD016608
DRAWN BY:	T.A.C.	DATE:			19
CHECKED BY:		APPROVED:			OF 19
REVISION NO.:		DRAWING NAME:	M15508SSD		
REVISION NO.:	DATE:	REVISION DESCRIPTION:			

APPROVED: DEPARTMENT OF PLANNING AND ZONING
6/16/03
Cindy Amato
CHIEF-DIVISION 5, LAND DEVELOPMENT
6/23/03
Penny Brewster, M.D.
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

BOHLER ENGINEERING, P.C.
PROFESSIONAL ENGINEERING SERVICES
810 GLENAGLES COURT, SUITE 300, TOWSON, MD 21286
(410) 821-7800 FAX (410) 821-7877





20'-24" PUBLIC WATER & UTILITY EASEMENT*

A	S30°33'33"W	52.00'
B	N09°26'27"W	24.00'
C	N30°33'33"E	20.00'
D	S59°26'27"E	4.00'
E	N09°26'27"E	32.00'
F	S59°26'27"E	20.00'

*PER PLAT NO 10127

- LEGEND**
- DETAIL INDICATOR
 - SHEET NUMBER WHERE DETAIL CAN BE FOUND
 - △ PARKING SPACES
 - CENTER LINE OF DRAINAGE SWALE
 - ~ PROPOSED TREE LINE
 - ⊕ BORING LOCATION

SITE PLAN DESIGN NOTES & KEY PLAN

- 1 ASPHALT PAVING
- 2 HANDICAP RAMP
- 3 10'x30' TRASH ENCLOSURE
- 4 GREASE TRAP
- 5 TYPICAL CURB BREAK
- 6 HANDICAP SIGN
- 7 TYPICAL CLEAN OUT
- 8 "U" BOLLARD - SEE GASOLINE PLANS
- 9 GASOLINE SERVICE STATION ENTRANCE HO. CO. DETAIL NO. R-6.11
- 10 6" COMBINATION CURB AND GUTTER HO. CO. DETAIL NO. R-3.01
- 11 CONCRETE SIDEWALK
- 12 CHANNEL/SWALE
- 13 PAVING SECTION
- 14 REVERSE CURB
- 15 TELEPHONE - S/B (1) PHONE
- 16 AIR VACUUM
- 17 PROPOSED CANOPY AND TEE (SEE GASOLINE PLANS FOR DETAIL)
- 18 TRASH CAN
- 19 25' PYLON SIGN
- 20 MONUMENT SIGN
- 21 6" CONC. PAD WITH 6x6WVF
- 22 PROP. UNDERGROUND FUEL STORAGE TANKS (10,000 GAL. & 15,000 GAL. AND 8" CONC. PAD FURNISHED AND INSTALLED BY GAS CONTRACTOR).
- 23 6" CONC. PAD FURNISHED AND INSTALLED BY GAS CONTRACTOR
- 24 20'x30'x6" CONC. PAD
- 25 12' WIDE SWM ACCESS AREA (GRASS)
- 26 18'x9' SERVICE SPACE
- 27 LOADING ZONE
- 28 NO PARKING SIGN
- 29 CONCRETE WHEEL STOP
- 30 PROPOSED FOREBAY
- 31 PROPOSED SURFACE SAND FILTER SWMF

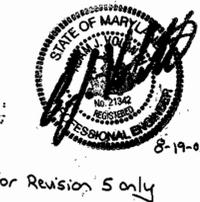
- GENERAL NOTES:**
- UNLESS OTHERWISE NOTED, ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST HOWARD COUNTY PLUMBING CODE AND DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS AND DETAILS. IN CASE OF CONFLICT OR DISCREPANCY, THE PLUMBING CODE SHALL APPLY.
 - EXISTING SITE FEATURES AND UTILITIES SHOWN HAVE BEEN BASED UPON SURVEYS AND OTHER SOURCES BELIEVED TO BE RELIABLE. THE CORRECTNESS OR COMPLETENESS OF THE INFORMATION SHOWN IS NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL INFORMATION BEFORE COMMENCING WORK.
 - THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 A MINIMUM OF FIVE WORKING DAYS PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL MAINTAIN, REPAIR, AND/OR REPLACE ANY EXISTING SEDIMENT CONTROL DEVICES ENCOUNTERED AND DISTURBED DURING THE COURSE OF CONSTRUCTION. AT THE END OF EACH DAY, ALL MEASURES AND DEVICES SHALL BE REPAIRED OR REPLACED BEFORE LEAVING THE WORK SITE.
 - CONSTRUCTION SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION ON THE APPROVED EROSION AND SEDIMENT CONTROL DRAWING.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY SITE PERMITS AND INSPECTIONS.
 - THE CONTRACTOR SHALL MAINTAIN TRAFFIC AT ALL TIMES.
 - NUMERICALLY WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
 - UNLESS OTHERWISE NOTED, DIMENSIONS FROM CURB ARE MEASURED AT FACE OF CURB.
 - REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS.
 - ALL GRADING AND EXCAVATION SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S REPORT AND INSPECTED BY A GEOTECHNICAL ENGINEER.
 - FINISHED GRADES SHALL FALL AWAY FROM EXISTING AND PROPOSED BUILDINGS AT A MINIMUM OF 1/4 INCH PER FOOT FOR VEGETATED AREAS AND A MINIMUM OF 1/8 INCH PER FOOT FOR PAVED AREAS UNLESS OTHERWISE INDICATED.
 - CONSTRUCTION OF SUBGRADE, UNDERDRAINS, AND PAVING SHALL BE INSPECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER.
 - THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND DEPTH OF ALL EXISTING UTILITIES, AS NECESSARY. REPORT ANY DISCREPANCIES FROM THE PLANS TO BOHLER ENGINEERING, P.C. ALL UTILITIES SHALL BE RETAINED UNLESS LABELED OTHERWISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COST AND WORK REQUIRED TO ADJUST EXISTING AND PROPOSED UTILITIES AND APPURTENANCES TO FINISH GRADES WITHIN THE LIMITS OF WORK. DAMAGE TO EXISTING CONDITIONS AND UTILITIES SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
 - THE CONTRACTOR SHALL HAVE ALL PRIVATE UTILITIES LOCATED PRIOR TO ANY CONSTRUCTION.
 - EXISTING UTILITIES WHICH ARE NOT TO BE REMOVED OR ABANDONED SHALL REMAIN OPERATIONAL AT ALL TIMES. APPROPRIATE EXISTING UTILITIES SHALL REMAIN IN SERVICE UNTIL REPLACEMENT/RELOCATED UTILITIES ARE OPERATIONAL.
 - THE CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL UTILITIES TO AVOID CONSTRUCTION PROBLEMS/CONFLICTS WITH EROSION AND SEDIMENT CONTROL MEASURES. SEE APPROVED SEDIMENT CONTROL PLAN.
 - THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL WATER, SEWER, AND DRAIN HOUSE CONNECTIONS WITH THE MECHANICAL DRAWINGS.
 - THE CONTRACTOR SHALL MAINTAIN 2.0 FEET MINIMUM COVER OVER ALL UTILITIES DURING CONSTRUCTION.
 - UNLESS OTHERWISE NOTED, ALL UTILITY CONNECTIONS SHALL BE CAPPED OR PLUGGED FIVE FEET FROM BUILDING.
 - ELECTRIC, TELEPHONE, GAS, AND CABLE TO BE DESIGNED BY OTHERS. WHERE THOSE FACILITIES ARE SHOWN, THEY ARE FOR COORDINATION PURPOSES ONLY.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY WORK NOT SPECIFICALLY MENTIONED ON THE PLANS WHICH NORMALLY WOULD BE REQUIRED TO COMPLETE THE PROJECT.
 - DIMENSIONS TO OBJECTS ARE PERPENDICULAR TO PROPERTY LINE UNLESS OTHERWISE STATED.
 - FOR MAINTENANCE OF TRAFFIC SEE SITE DETAIL SHEET 17.
 - BASELINE OF CONSTRUCTION COINCIDES WITH CAPITAL PROJECT NO. J-4175.

TM 48 PARCEL 74
SPM ASSOCIATES
LIBER 5306 FOLIO 168
ZONED: M2

TM 48 PARCEL 34 PARCEL "A-1"
FIRST NATIONAL BANK SUB.
LANDS N/F
FIRST NATIONAL BANK OF MD
LIBER 2454 FOLIO 354
ZONED: M-2

CURB STAKE OUT CHART

37+50.0	12.00' LEFT	BEGIN CONSTRUCTION
37+36.80	12.00' LEFT	BEGIN CURB & GUTTER
37+22.63	34.50' LEFT	TO PC
36+50.0	30.50' LEFT	TO PC
36+38.7	16.00' LEFT	END CURB & GUTTER
		END CONSTRUCTION



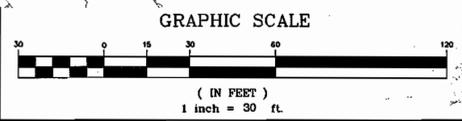
SDP-02-101

PERMIT INFORMATION CHART			
SUBDIVISION NAME	FIRST NATIONAL BANK	SECTION/AREA	---
LOT/PARCEL NO.	10127	PARCEL A-1 (P.34)	
PLAT/ OR L/F	14	ZONING	M-2
TAX MAP NO.	48	ELECT. DIST.	6
CENSUS TRACT		6068.01	
WATER CODE	B-03	SEWER CODE	4200000
ADDRESS CHART			
LOT/PARCEL #	STREET ADDRESS		
PARCEL A-1	10930 GUILFORD ROAD		

PROPOSED CONVENIENCE STORE WITH GASOLINE SERVICE STATION			
10930 GUILFORD ROAD AT DORSEY RUN			
HOWARD COUNTY, MARYLAND			
SITE LAYOUT PLAN			
DESIGN BY: B.A.M.	SCALE: 1"=30'	PROJECT NO. MD015508	
DRAWN BY: R.L.B.	DATE: 09/18/02	DRAWING NUMBER	3
CHECKED BY: A.J.V.	APPROVED: A.J.V.	REVISION NO. 4	OF 19
REVISION NO. 4	DRAWING NAME: M15508SS3		
REVISION NO.	DATE	REVISION DESCRIPTION	
1	6/24/02	REVISED PER COUNTY COMMENTS	
2	9/5/02	REVISED PER COUNTY COMMENTS	
3	11/18/02	REVISED PER COUNTY COMMENTS	
4	1/17/03	REVISED PER OLD & NEW COMMENTS	
5	8/19/03	Reduction from 6 pumps to 4 pumps	

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 DATE: 6/20/02
 CHIEF-DIVISION OF LAND DEVELOPMENT
 DATE: 6/28/02
 DIRECTOR
 DATE: 6/19/03

BOHLER ENGINEERING, P.C.
 PROFESSIONAL ENGINEERING SERVICES
 810 GLENDALES COURT, SUITE 300, TOWSON, MD 21286
 (410) 821-7900 FAX: (410) 821-7987 MDBohlereng.com



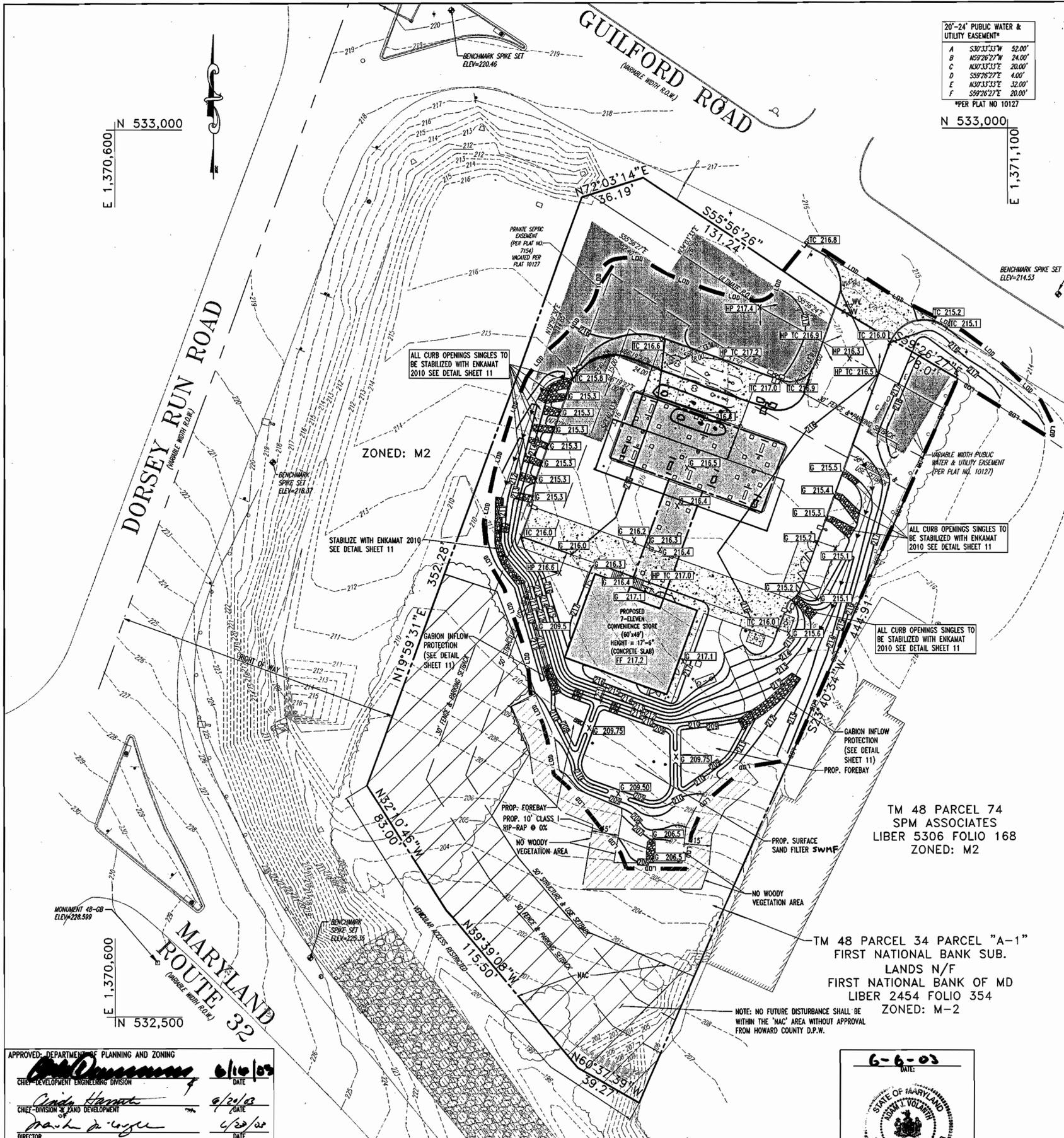
6-6-03
 DATE
 STATE OF MARYLAND
 ADAM J. VOLANTH
 PROFESSIONAL ENGINEER NO. 21342



MISS UTILITY
 OWNER:
FIRST NATIONAL BANK OF MARYLAND
 C/O ALLFIRST BANK
 MAIL CODE 109-820
 110 SOUTH PACA STREET
 BALTIMORE, MD 21201
 ATTN: DAVID RICHARDSON
 TEL: 410-347-6801



7-ELEVEN, INC.
 2711 EASTON ROAD
 WILLOW GROVE, PA 19090
 ATTN: ERIC E. ROEMER



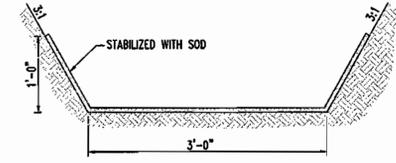
20'-24' PUBLIC WATER & UTILITY EASEMENT*

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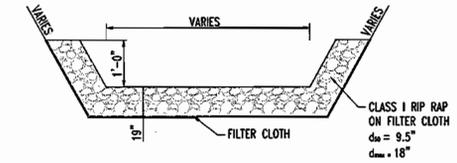
*PER PLAT NO 10127

N 533,000
E 1,370,600

N 533,000
E 1,371,100



TYPICAL SWALE SECTION
NOT TO SCALE

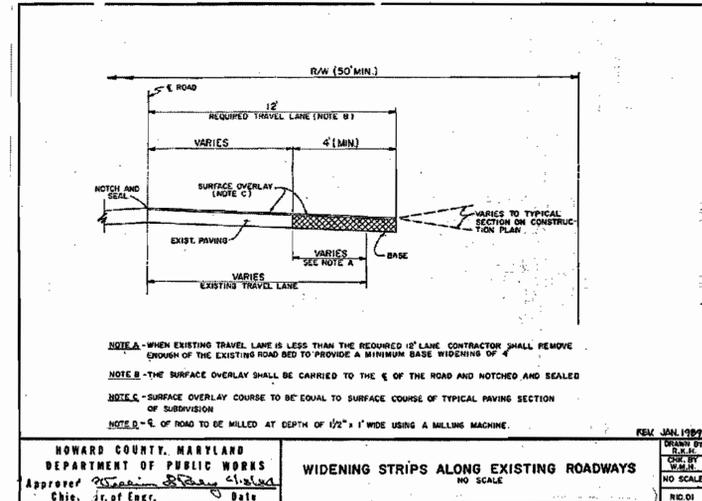


RIP RAP DETAIL
NOT TO SCALE

- GRADING NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHY AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MIN. SLOPE AGAINST ALL GUTTERS TO PREVENT PONDING. ANY DISCREPANCIES SHALL BE PROVIDED TO THE ENGINEER IN WRITING IMMEDIATELY.
 - SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
 - SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND STANDARDS OF THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER A.S.T.M. TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED, LICENSED, SOILS ENGINEER, CERTIFYING THAT THE SUBBASE WITHIN THE AREAS TO BE PAVED HAS BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
 - LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICES CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST POINTS. CROSSINGS WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - ALL SPOT SHOTS ON PROPOSED CURBS ARE TAKEN FROM TOP OF CURB AND ARE TO BE 6" TO BOTTOM OF CURB UNLESS OTHERWISE NOTED.
 - SITE AREA: 2.1285 AC.
 - DISTURBED AREA: 1.39 AC.
 - OWNER: FIRST NATIONAL BANK OF MARYLAND
C/O ALLFIRST BANK
MAIL CODE 109-820
110 SOUTH PACA STREET
BALTIMORE, MD 21201
 - THESE PLANS ARE BASED ON THE MARYLAND COORDINATE SYSTEM (MCS) AND THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
 - A PRIVATE, SAND FILTER TO BE CONSTRUCTED, OWNED, AND MAINTAINED BY THE PROPERTY OWNER.

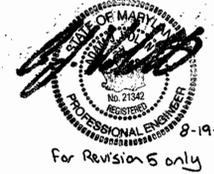
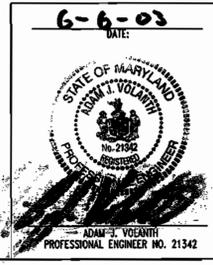
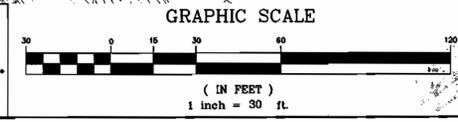
LEGEND

---	PROPOSED GRADE
- - - -	EXISTING GRADE
X	PROPOSED SPOT
○	EXISTING SPOT
---	LOD
---	LIMIT OF DISTURBANCE



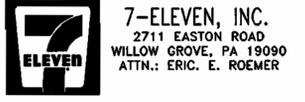
TM 48 PARCEL 74
SPM ASSOCIATES
LIBER 5306 FOLIO 168
ZONED: M2

TM 48 PARCEL 34 PARCEL "A-1"
FIRST NATIONAL BANK SUB.
LANDS N/F
FIRST NATIONAL BANK OF MD
LIBER 2454 FOLIO 354
ZONED: M-2



MISS UTILITY
BEFORE YOU DIG CALL
1-800-589-7777
PROTECT YOURSELF, GIVE THREE
WORKING DAYS NOTICE

OWNER:
FIRST NATIONAL BANK OF MARYLAND
C/O ALLFIRST BANK
MAIL CODE 109-820
110 SOUTH PACA STREET
BALTIMORE, MD 21201
ATTN: DAVID RICHARDSON
TEL: 410-347-6801



SDP-02-101

PERMIT INFORMATION CHART					
SUBDIVISION NAME	FIRST NATIONAL BANK	SECTION/AREA	---	LOT/PARCEL NO.	PARCEL A-1 (P.34)
PLAT# OR L/PL#	10127#	BLOCK#	14	ZONING	M-2
TAX MAP NO.	48	ELECT. DISTR.	6	CENSUS TRACT	6069.01
WATER CODE	B-03	SEWER CODE	4200000		
ADDRESS CHART					
LOT/PARCEL #	STREET ADDRESS				
PARCEL A-1	10930 GUILFORD ROAD				
PROPOSED CONVENIENCE STORE WITH GASOLINE SERVICE STATION 10930 GUILFORD ROAD AT DORSEY RUN HOWARD COUNTY, MARYLAND					
SITE GRADING PLAN					
DESIGN BY:	B.A.M.	SCALE:	1"=30'	PROJECT NO.:	MD015508
DRAWN BY:	R.L.B.	DATE:	09/5/02	DRAWING NUMBER	4
CHECKED BY:	A.J.V.	APPROVED:	A.J.V.		
REVISION NO.:	4	DRAWING NAME:	M15508SS3		OF 19
REVISION NO.	DATE	REVISION DESCRIPTION			
1	6/21/02	REVISED PER COUNTY COMMENTS			
2	9/15/02	REVISED PER COUNTY COMMENTS			
3	11/16/02	REVISED PER COUNTY COMMENTS			
4	1/7/03	REVISED PER OLD & BED COMMENTS			
5	8/19/03	Revised to Add a 4 mfd Convey			

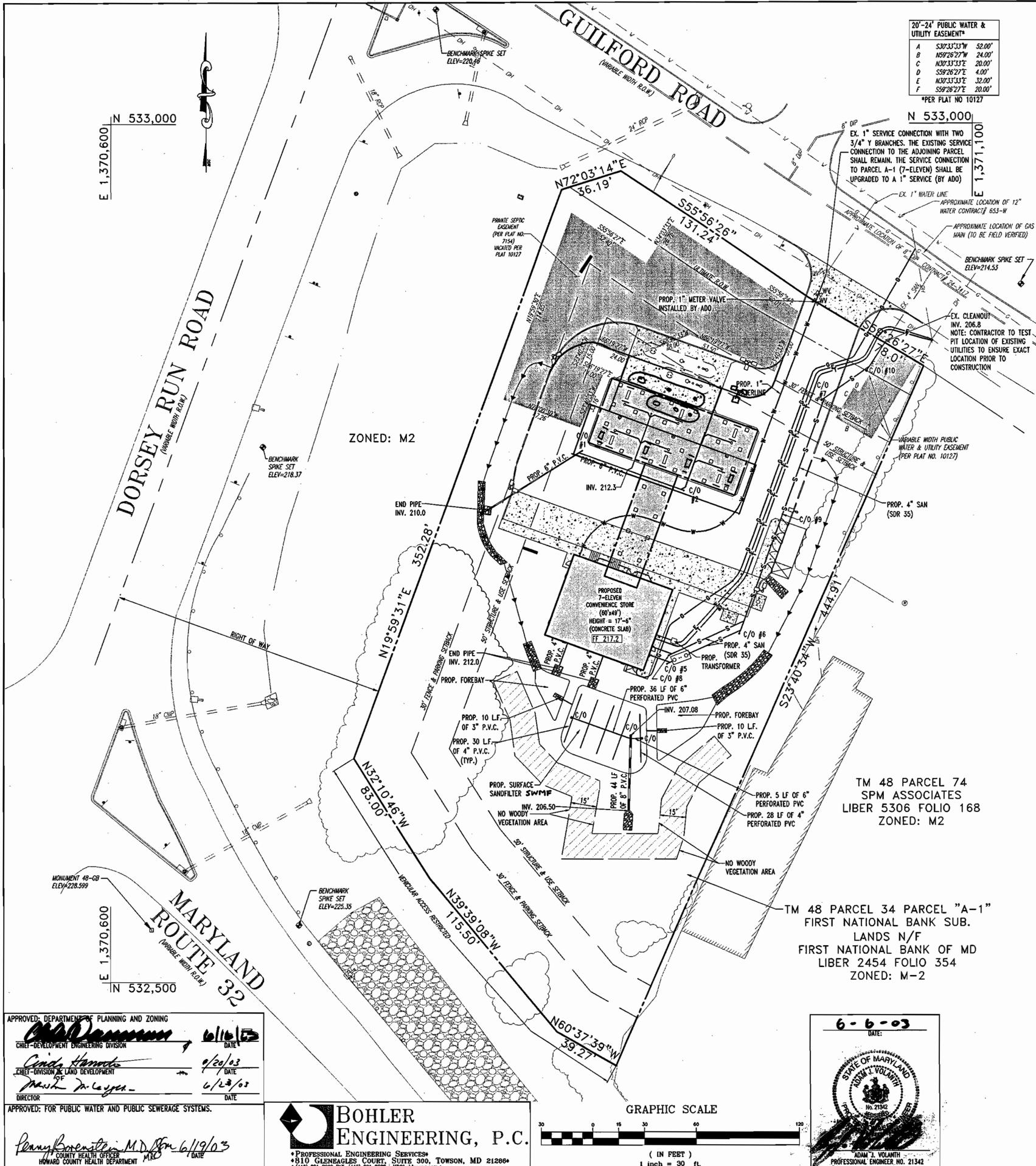
APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] DATE: 6/14/03
CHIEF-DEVELOPMENT ENGINEERING DIVISION

[Signature] DATE: 6/21/02
CHIEF-DIVISION OF LAND DEVELOPMENT

[Signature] DATE: 4/29/02
DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
[Signature] DATE: 6/19/03
COUNTY HEALTH OFFICE
HOWARD COUNTY HEALTH DEPARTMENT

BOHLER ENGINEERING, P.C.
PROFESSIONAL ENGINEERING SERVICES
810 GLENAGLES COURT, SUITE 300, TOWSON, MD 21286
(410) 821-7900 FAX: (410) 821-7987 MDBohlereng.com



20'-24' PUBLIC WATER & UTILITY EASEMENT*

A	S32°33'33\"	52.00'
B	N59°26'27\"	24.00'
C	N03°33'33\"	20.00'
D	S59°26'27\"	4.00'
E	N03°33'33\"	32.00'
F	S59°26'27\"	20.00'

*PER PLAT NO 10127

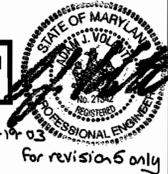
- UTILITY NOTES:**
- ALL UTILITY POLE RELOCATIONS MUST BE COORDINATED WITH THE RESPECTIVE ELECTRIC COMPANY.
 - LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICES CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST POINTS. CROSSINGS WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - MAINTENANCE OF ALL STORMWATER MANAGEMENT FACILITIES NOT LOCATED WITHIN PUBLIC RIGHT-OF-WAY, INCLUDING THE DETENTION BASIN, SHALL BE THE RESPONSIBILITY OF THE LOT OWNER. DETENTION BASINS, SWALES, AND OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED IN DESIGN CONDITION AND FREE OF FILL AND OBSTRUCTIONS.
 - A MINIMUM VERTICAL SEPARATION OF 12" SHALL BE MAINTAINED BETWEEN SANITARY SEWER LINES AND STORM LINES OR WATER LINES. IF THIS MINIMUM CLEARANCE CANNOT BE MAINTAINED, A CONCRETE ENCASUREMENT SHALL BE PROVIDED.
 - EXISTING UTILITIES HAVE BEEN SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND ALLOW FOR THEIR LOCATION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE DONE DUE TO HIS NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT HIS EXPENSE.
 - ALL EXCAVATIONS THAT ARE DEEPER THAN 5 FEET SHOULD BE PROPERLY SLOPED OR OTHERWISE STRUCTURALLY RETAINED TO PROVIDED STABLE AND SAFE WORKING CONDITIONS. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS CALL FOR MINIMUM SLOPES OF 1H:1V. OSHA REQUIREMENTS MUST BE FOLLOWED AND ADEQUATE PROTECTION PROVIDED FOR WORKERS.
 - ANY SEDIMENT CONTROL MEASURES REMOVED FOR THE PURPOSE OF UTILITY CONSTRUCTION SHALL BE REPLACED AT THE END OF THE DAY BY THE UTILITY CONTRACTOR.
 - ALL STORM DRAIN, WATER, SEWER AND PRODUCT PIPING UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE HOWARD COUNTY STANDARDS AND SPECIFICATIONS FOR UTILITY CONSTRUCTION, AND MOTIVA SPECIFICATIONS.
 - SANITARY CLEANOUT TOPS TO BE ADJUSTED TO MATCH CROSS-PITCH AND SLOPE OF PROPOSED GRADES. CLEANOUT TOPS TO BE IDENTIFIED AS SANITARY CLEANOUTS, THREADED, AND CONTAIN COUNTERSUNK PLUGS.
 - WATER SERVICES SHALL HAVE A MINIMUM 3.5 FOOT COVER OVER CROWN OF PIPE.
 - WATER SERVICE SHALL BE TYPE "K" COPPER TUBING. SANITARY SEWER PIPE SHALL BE SDR 35 PVC. CERTAIN SECTIONS OF THE SERVICES REQUIRE SPECIAL PIPE TYPES WHICH ARE NOTED ON THE PLAN.
 - WATER AND SEWER SERVICES SHALL BE COORDINATED WITH THE BUILDING CONTRACTOR FOR HORIZONTAL AND VERTICAL ALIGNMENT AND CONNECTIONS.
 - PROPOSED 2" WATER METER SHALL BE LOCATED INSIDE THE BUILDING.

PIPE SCHEDULE

SIZE	TYPE	TOTAL LENGTH
4"	SCHEDULE 40 P.V.C.	177 FT.
6"	SCHEDULE 40 P.V.C.	339 FT.
4"	SDR 35	287 FT.
3"	SCHEDULE 40 P.V.C.	20 FT.
8"	SCHEDULE 40 P.V.C.	44 FT.

CLEANOUT SCHEDULE

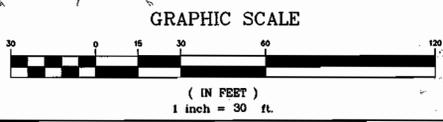
C/O NO.	TYPE	INV.	TOP ELEV.
1	STORM	212.0	215.6
2	STORM	212.7	216.3
3	STORM	213.0	216.3
4	STORM	212.6	215.8
5	SANITARY	213.6	216.2
6	SANITARY	211.8	215.6
7	SANITARY	208.2	215.6
8	SANITARY	213.6	216.5
9	SANITARY	210.1	215.3



CONTRACTOR TO TEST PIT LOCATIONS FOR VERIFICATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION

TM 48 PARCEL 74
SPM ASSOCIATES
LIBER 5306 FOLIO 168
ZONED: M2

TM 48 PARCEL 34 PARCEL "A-1"
FIRST NATIONAL BANK SUB.
LANDS N/F
FIRST NATIONAL BANK OF MD
LIBER 2454 FOLIO 354
ZONED: M-2



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief-Development Engineering Division
 Chief-Division of Land Development
 Director

DATE: 6/19/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
 Pennyl Borenstein, M.D.
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

DATE: 6/19/03

BOHLER ENGINEERING, P.C.
 PROFESSIONAL ENGINEERING SERVICES
 810 GLENAGLES COURT, SUITE 300, TOWSON, MD 21286
 (410) 821-7900 FAX: (410) 821-7987 MDBohlereng.com

6-6-03
 STATE OF MARYLAND
 ADAM J. VOLANTI
 PROFESSIONAL ENGINEER, NO. 21542

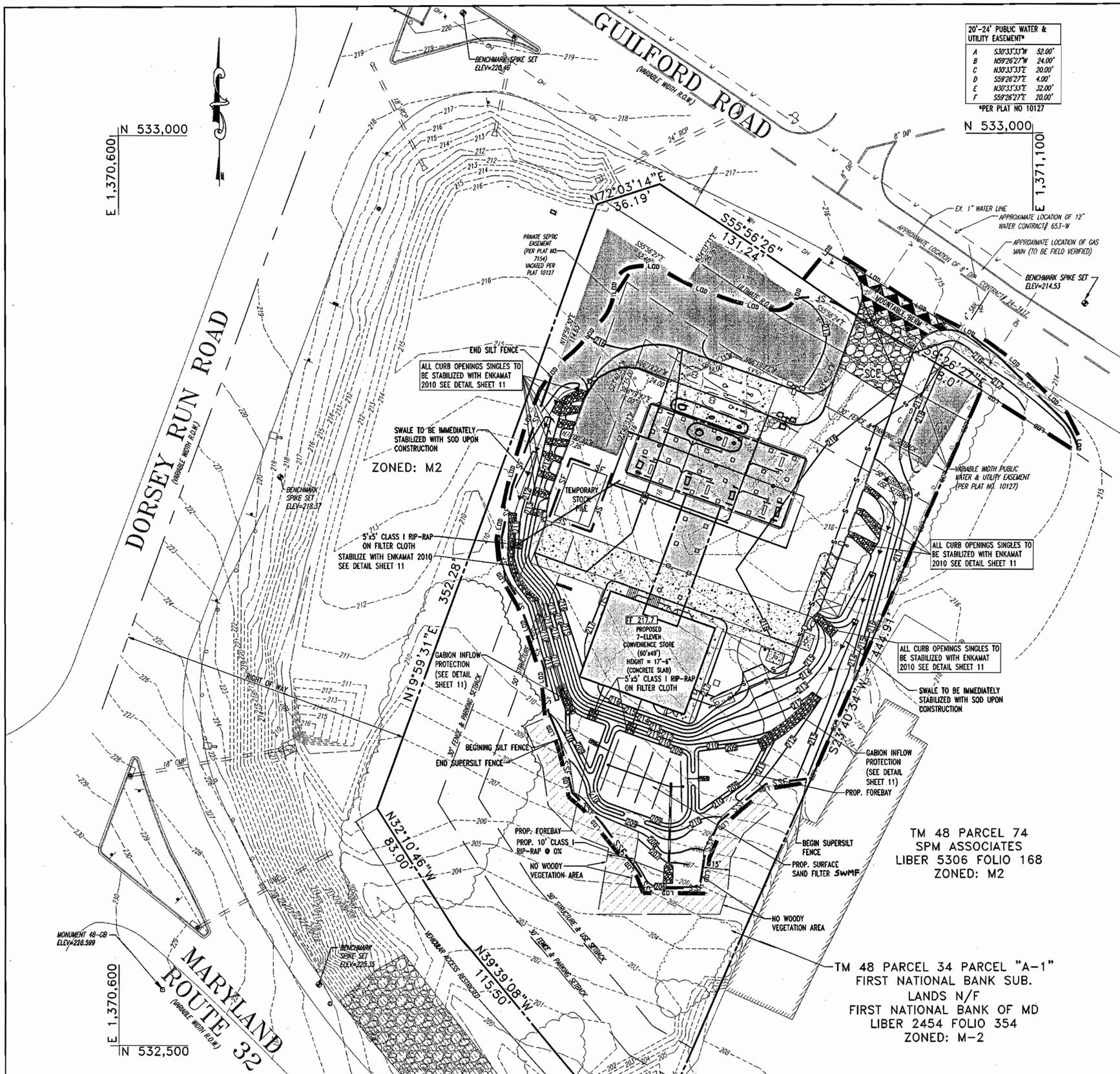
MISS UTILITY
 BEFORE YOU DIG CALL
 1-800-282-7777
 PROTECT YOURSELF, ONE THREE WORKING DAYS NOTICE

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 C/O ALLFIRST BANK
 MAIL CODE 109-820
 110 SOUTH PACA STREET
 BALTIMORE, MD 21201
 ATTN: DAVID RICHARDSON
 TEL: 410-347-6801

DEVELOPER:
7-ELEVEN, INC.
 2711 EASTON ROAD
 WILLOW GROVE, PA 19090
 ATTN: ERIC E. ROEMER

SDP-02-101

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO.	PARCEL A-1 (P.34)
FIRST NATIONAL BANK			
PLAT# OR L/F/F	BLOCK#	ZONING	TAX MAP NO.
10127	14	M-2	48
OWNER CODE	SEWER CODE	ELECT. DISTR	CENSUS TRACT
B-03	4200000	6	6069.01
ADDRESS CHART			
LOT/PARCEL #	STREET ADDRESS		
PARCEL A-1	10930 GUILFORD ROAD		
PROPOSED CONVENIENCE STORE WITH GASOLINE SERVICE STATION 10930 GUILFORD ROAD AT DORSEY RUN HOWARD COUNTY, MARYLAND			
SITE UTILITY PLAN			
DESIGN BY: B.A.M.	SCALE: 1"=30'	PROJECT NO. 40015508	
DRAWN BY: R.L.B.	DATE: 09/5/02	DRAWING NUMBER	
CHECKED BY: A.J.V.	APPROVED: A.J.V.		5
REVISION NO. 4	DRAWING NAME: W15508S3	OF 19	
REVISION NO.	DATE	REVISION DESCRIPTION	
1	6/24/02	REVISED PER COUNTY COMMENTS	
2	9/5/02	REVISED PER COUNTY COMMENTS	
3	11/15/02	REVISED PER COUNTY COMMENTS	
4	1/7/03	REVISED PER BLD. & DEED COMMENTS	
5	8/19/03	Reduction from 6 pumps to 4 pumps	

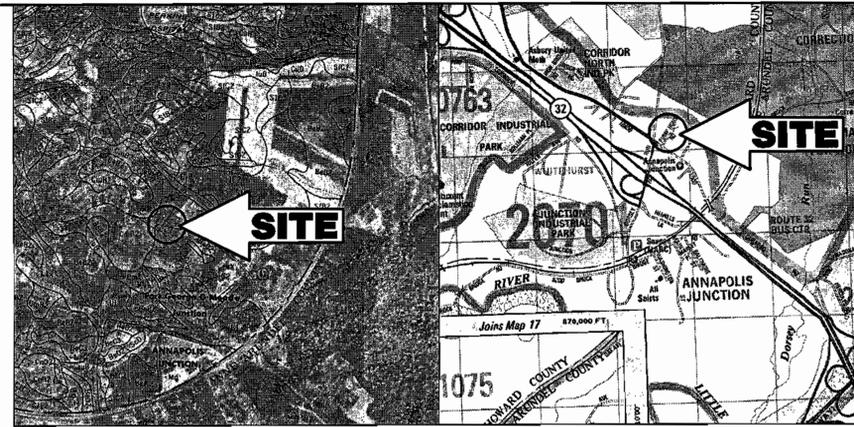


20'-24' PUBLIC WATER & UTILITY EASEMENT*

A	S30°33'33"W	52.00'
B	N59°26'27"W	24.00'
C	N30°33'33"E	20.00'
D	S59°26'27"E	4.00'
E	N30°33'33"E	32.00'
F	S59°26'27"E	20.00'

*PER PLAT NO 10127

SOIL NOTES
 Bc2 = BELTSVILLE SILT LOAM, 5-10% SLOPES, MODERATELY ERODED
 CmB2 = CHILLUM SILT LOAM, 5-10% SLOPES, MODERATELY ERODED



SOILS MAP
SCALE: 1"=1320'

LOCATION MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20634276
SCALE: 1"=2000'

SEQUENCE OF CONSTRUCTION

- OBTAIN HOWARD COUNTY GRADING PERMIT. (BY 7-ELEVEN)
- NOTIFY HOWARD COUNTY SEDIMENT CONTROL INSPECTOR PRIOR TO ANY LAND DISTURBANCE AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION.
- INSTALL ALL SILT FENCE AND SUPER SILT FENCE AS INDICATED ON PLANS.(1 WEEK)
- INSTALL STABILIZED CONSTRUCTION ENTRANCE WITH MOUNTABLE BERM.(1 DAY)
- ROUGH GRADE SITE.(1 WEEK)
- COMPLETE INSTALLATION OF CANOPY AND ROOF STORM DRAIN SYSTEM AND ON SITE UTILITIES, INCLUDING UNDERGROUND FUEL STORAGE TANKS.(2 WEEKS)
- INSTALL CURB AND GUTTER.(3 WEEKS)
- INSTALL CONVENIENCE STORE, PUMP ISLANDS, AND CANOPY.(8 WEEKS)
- INSTALL PAVING BASE COURSE.(2 WEEKS)
- INSTALL PAVING SURFACE COURSE.
- FINE GRADE AND STABILIZE REMAINING SITE.(2 WEEKS)(SEE NOTE)
- CONSTRUCT SAND FILTER AND SWALES PER APPROVED STORMWATER PLANS. INSTALL LANDSCAPING.(2 WEEKS)
- REMOVE ALL SEDIMENT CONTROL MEASURES AFTER RECEIVING APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR.(1 WEEK)

- NOTE:
- SAND FILTER IS NOT TO BE USED AS A SEDIMENT TRAP/BASIN. AFTER ALL DRAINAGE AREAS TO SAND FILTER ARE STABILIZED, SAND FILTER CONSTRUCTION MAY OCCUR.
 - CONSTRUCT FOREBAYS PRIOR TO CONSTRUCTION OF SAND FILTER.

ESTIMATE OF SEDIMENT CONTROL QUANTITIES

SUPER SILT FENCE: 266 L.F.
 SILT FENCE: 446 L.F.
 STABILIZED CONSTRUCTION ENTRANCE: 1 EA.

NOTE: THESE QUANTITIES ARE FOR SEDIMENT CONTROL USE ONLY. CONTRACTOR SHALL NOT RELY ON THESE QUANTITIES FOR ESTIMATING AND BIDDING PURPOSES.

SITE ANALYSIS DATA

- TOTAL SITE AREA: 2.185 AC. OR 92,719 S.F.
- TOTAL DISTURBED AREA: 1.39 AC. OR 60,756 S.F.
- TOTAL IMPERVIOUS AREA: 0.80 AC. OR 26,230 S.F.
- AREA TO VEGETATIVELY STABILIZED: 0.81 AC. OR 35,491 S.F.
- EARTHWORK:
 CUT: 1,600 C.Y.
 FILL: 1,200 C.Y.

NOTE: THESE QUANTITIES ARE FOR SEDIMENT CONTROL USE ONLY. CONTRACTOR SHALL NOT RELY ON THESE QUANTITIES FOR ESTIMATING AND BIDDING PURPOSES.

EROSION AND SEDIMENT CONTROL LEGEND

- SILT FENCE
- SUPER SILT FENCE
- LIMIT OF DISTURBANCE
- STABILIZED CONSTRUCTION ENTRANCE
- MOUNTABLE BERM
- PROPOSED CONTOURS
- EXISTING CONTOURS

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 SIGNATURE OF ENGINEER: ADAM E. VOLANTH
 DATE: 6-6-03

PROFESSIONAL ENGINEER'S CERTIFICATE
 I HEREBY CERTIFY THAT THE PREPARED AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
 SIGNATURE OF DEVELOPER: [Signature]
 DATE: 6-03-03

TM 48 PARCEL 74
 SPM ASSOCIATES
 LIBER 5306 FOLIO 168
 ZONED: M2

TM 48 PARCEL 34 PARCEL "A-1"
 FIRST NATIONAL BANK SUB.
 LANDS N/F
 FIRST NATIONAL BANK OF MD
 LIBER 2454 FOLIO 354
 ZONED: M-2

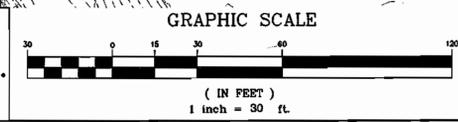


For revision 5 only

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] 6/10/03
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 [Signature] 6/2/03
 CHIEF-DIVISION & LAND DEVELOPMENT
 [Signature] 6/20/03
 DIRECTOR
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
 [Signature] 6/19/03
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
 [Signature] 6/19/03
 USDA NATURAL RESOURCES CONSERVATION SERVICE
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature] 6/19/03
 HOWARD SCD

BOHLER ENGINEERING, P.C.
 PROFESSIONAL ENGINEERING SERVICES
 4310 GLENDALE CROSS COUNTRY SUITE 300, TOWSON, MD 21286
 (410) 821-7900 FAX: (410) 821-7987



6-6-03
 DATE:
 [Signature]
 STATE OF MARYLAND
 PROFESSIONAL ENGINEER NO. 21342

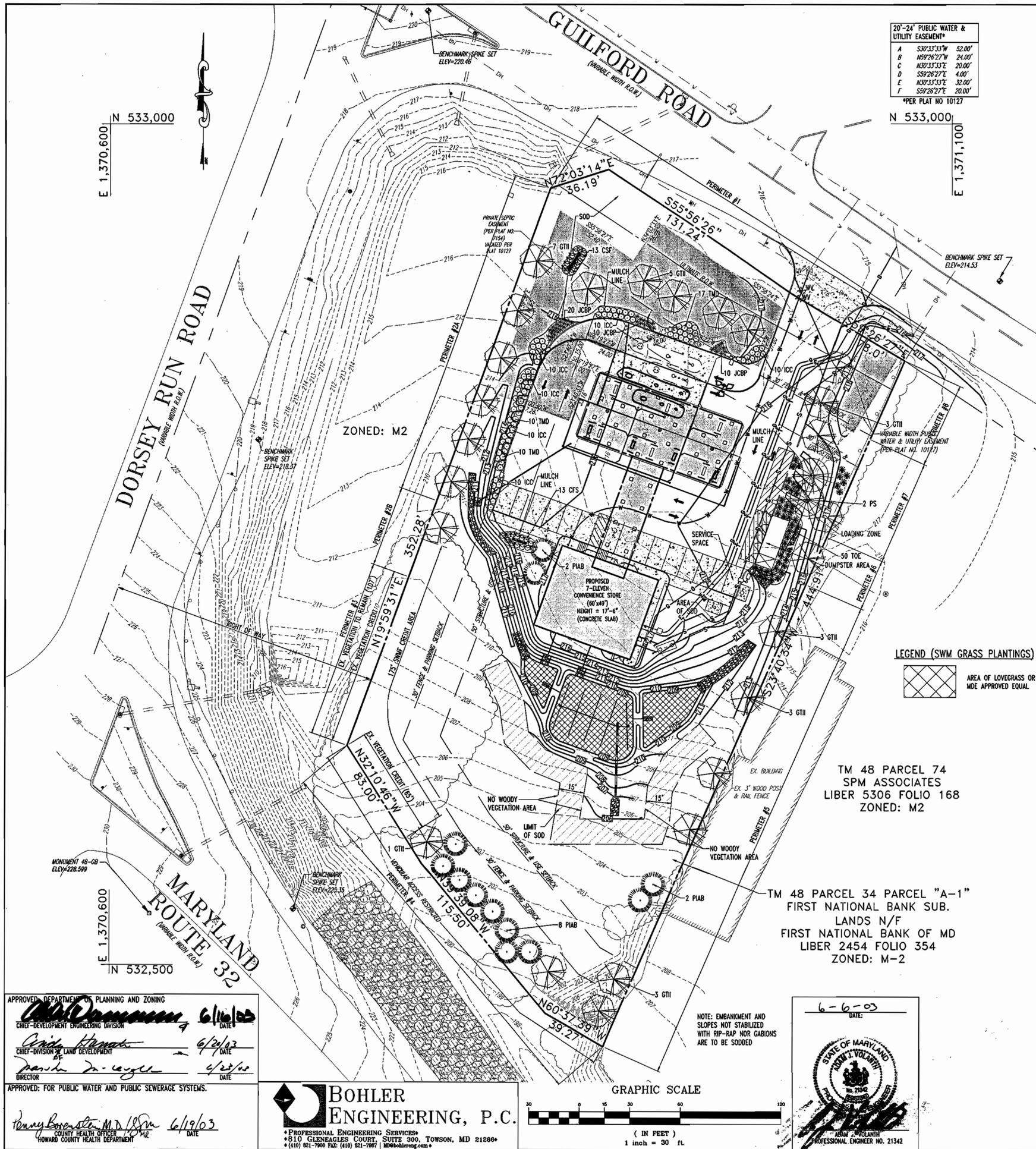
MISS UTILITY
 [Logo]
 BEFORE YOU DIG CALL
 1-800-287-7777
 PROTECT YOURSELF, SAVE THREE WORKING DAYS NOTICE.
 THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN CONFORMANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS INCORPORATED THEREIN.
 THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION.

OWNER:
FIRST NATIONAL BANK OF MARYLAND
 C/O ALLFIRST BANK
 MAIL CODE 109-820
 110 SOUTH PACA STREET
 BALTIMORE, MD 21201
 ATTN: DAVID RICHARDSON
 TEL: 410-347-6801

DEVELOPER:
7-ELEVEN, INC.
 2711 EASTON ROAD
 WILLOW GROVE, PA 19090
 ATTN: ERIC E. ROEMER

SDP-02-101

PERMIT INFORMATION CHART			
SUBDIVISION NAME FIRST NATIONAL BANK	SECTION/AREA ---	LOT/PARCEL NO. PARCEL A-1 (P.34)	
PLAT# OR L/F 10127	BLOCK# 14	ZONING M-2	TAX MAP NO. 48
ELECT. DISTR 6		CENSUS TRACT 6069.01	
WATER CODE B-03	SEWER CODE 4200000		
ADDRESS CHART			
LOT/PARCEL # PARCEL A-1	STREET ADDRESS 10930 GUILFORD ROAD		
PROPOSED CONVENIENCE STORE WITH GASOLINE SERVICE STATION 10930 GUILFORD ROAD AT DORSEY RUN HOWARD COUNTY, MARYLAND			
SEDIMENT AND EROSION CONTROL PLAN			
DESIGN BY: E.A.M.	SCALE: 1"=30'	PROJECT NO.: SDP015508	
DRAWN BY: R.L.B.	DATE: 09/5/02	DRAWING NUMBER	
CHECKED BY: A.J.V.	APPROVED: A.J.V.	6	
REVISION NO.: 4	DRAWING NAME: W15508SS3	OF 19	
REVISION NO.: 1	DATE: 6/24/02	REVISION DESCRIPTION	
2	9/5/02	REVISED PER COUNTY COMMENTS	
3	11/18/02	REVISED PER COUNTY COMMENTS	
4	1/7/03	REVISED PER OLD & NEW COMMENTS	
5	8/19/03	Revisions from 6 pumps to 4 pumps	



20'-24" PUBLIC WATER & UTILITY EASEMENT*

A	S30°33'33"W	52.00'
B	N59°26'27"E	24.00'
C	N30°33'33"E	20.00'
D	S39°26'27"E	4.00'
E	N30°33'33"E	32.00'
F	S59°26'27"E	20.00'

*PER PLAT NO 10127

LANDSCAPE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	HEIGHT
SHADE TREE						
GTI	25	GLEDISTIA TRICANTHOS INERMIS 'IMPERIAL'	IMPERIAL HONEYLOCUST	2.5-3" CAL	B+B	24"-30" (MIN)
EVERGREEN TREE						
PIAB	12	PICEA ABIES	NORWAY SPRUCE	6-7'	B+B	
PS	2	PINUS STROBUS	EASTERN WHITE PINE	6-8'	B+B	
EVERGREEN SHRUB						
ICC	65	ILEX CRENATA 'COMPACTA'	COMPACT JAPANESE HOLLY	24-30"	#3 CAN	
JCBP	40	JUNIPERUS CONFERTA 'BLUE PACIFIC'	BLUE PACIFIC SHORE JUNIPER	24-30" SPRD.	#3 CAN	
TMD	37	TAXUS X MEDIA 'DENSIFORMIS'	DENSIFORMIS YEW	24-30"	B+B	
TOE	50	THUJA OCCIDENTALIS 'EMERALD'	EMERALD GREEN ARBORVITAE	6-8'	B+B	
DECIDUOUS SHRUB						
CSF	26	CORNUS SERICEA 'FLAVIRAMEA'	YELLOW TWIG DOGWOOD	2-3'	B+B	

SCHEDULE D
STORMWATER MANAGEMENT
AREA LANDSCAPING

LINEAR FEET OF PERIMETER	565
CREDIT FOR EXISTING VEGETATION	YES
(172') 30X	
BUFFER LENGTH	393'
BUFFER TYPE	B
# OF TREES REQUIRED (SHADE)	8
(EVERGREEN)	10
CREDIT FOR OTHER LANDSCAPING	NO
# OF TREES PROVIDED (SHADE)	8
(EVERGREEN)	10

SCHEDULE B
INTERIOR PARKING LOT LANDSCAPING

NUMBER OF PARKING SPACES:	14
ISLANDS REQUIRED: (1/20 SPACES)	1
ISLANDS PROVIDED:	1
SHADE TREES REQUIRED:	1
SHADE TREES PROVIDED:	1*

*2:1 EVERGREEN TREE SUBSTITUTION

SCHEDULE A
PERIMETER LANDSCAPE EDGE

PERIMETER #	1	2A	2B	6	7	8
CATEGORY	PAVED AREA ADJ. TO PUBLIC ROAD	PAVED AREA ADJ. TO PUBLIC ROAD	BUILDING ADJ. TO R/W	DUMPSTER AREA ADJ. TO NON RESIDENTIAL	LOADING AREA ADJ. TO NON RESIDENTIAL	NON RESIDENTIAL ADJ. TO NON RESIDENTIAL
LANDSCAPE TYPE	E	E	E	C	C	A
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	232'	196'	49'	30'	60'	51'
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	NO
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED						
SHADE TREES	1:40' OR 6	1:40' OR 5	1:40' OR 1	1:40' OR 1	1:40' OR 2	1:60' OR 1
EVERGREEN TREES	0	0	0	1:20' OR 2	1:20' OR 3	0
SHRUBS	1:4' OR 58	1:4' OR 49	1:4' OR 13	0	0	0
NUMBER OF PLANTS PROVIDED						
SHADE TREES	6	6	1	1	2	1
EVERGREEN TREES	0	0	0	0	2	0
OTHER TREES (2:1 SUBSTITUTION)	0	0	0	0	0	0
SHRUBS (10:1 SUBSTITUTION)	60	56	14	30	20	0
(DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)	NO SUBSTITUTIONS	NO SUBSTITUTIONS	NO SUBSTITUTIONS	SUBSTITUTE 30 SHRUBS FOR 2 REQUIRED EVERGREEN TREES	SUBSTITUTE 20 SHRUBS FOR 3 REQUIRED EVERGREEN TREES	NO SUBSTITUTIONS

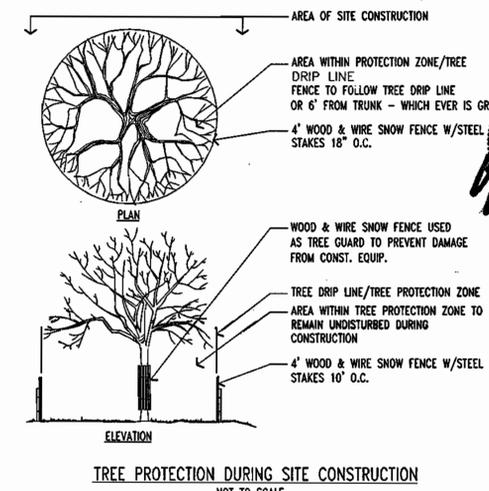
NOTE: PER PAGE 30 OF THE HOWARD COUNTY LANDSCAPE MANUAL, INTERNAL STORMWATER FACILITY SCREENING WILL NOT BE REQUIRED ON THIS "M-2" ZONED SITE.

NOTE: ALL DISTURBED GRASSED AREAS TO BE STABILIZED WITH SOD EXCEPT SWM FACILITIES.

SURETY IN THE AMOUNT OF \$13,350 FOR 25 SHADE TREES, 15 EVERGREEN TREES AND 120 SHRUBS IS TO BE POSTED WITH THE DEVELOPER'S AGREEMENT.

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HO.CO. CODE AND THE HO.CO. LANDSCAPE MANUAL.

LEGEND (SWM GRASS PLANTINGS)



MISS UTILITY
BEFORE YOU DIG CALL 1-800-257-7777
PROTECT YOURSELF, GIVE THREE WORKING DAYS NOTICE

STATE OF MARYLAND
JOHN T. VOLZ
PROFESSIONAL ENGINEER NO. 21342

OWNER:
FIRST NATIONAL BANK OF MARYLAND
C/O ALLFIRST BANK
MAIL CODE 109-820
110 SOUTH PACA STREET
BALTIMORE, MD 21201
ATTN: DAVID RICHARDSON
TEL: 410-347-6801

DEVELOPER:
7-ELEVEN, INC.
2711 EASTON ROAD
WILLOW GROVE, PA 19090
ATTN.: ERIC. E. ROEMER

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF ENVIRONMENTAL ZONING.

DATE: 6-6-03

PREPARED BY: [Signature]

SDP-02-101

PERMIT INFORMATION CHART					
SUBDIVISION NAME	FIRST NATIONAL BANK	SECTION/AREA	---	LOT/PARCEL NO.	PARCEL A-1 (P.34)
PLAT# OR L/F	10127	BLOCK#	14	ZONING	M-2
TAX MAP NO.	48	ELECT. DIST#	6	CENSUS TRACT	6069.01
WATER CODE	B-03	SEWER CODE	4200000		
ADDRESS CHART					
LOT/PARCEL #	STREET ADDRESS				
PARCEL A-1	10930 GUILFORD ROAD				
PROPOSED CONVENIENCE STORE WITH GASOLINE SERVICE STATION 10930 GUILFORD ROAD AT DORSEY RUN HOWARD COUNTY, MARYLAND					
SITE LANDSCAPE PLAN					
DESIGN BY:	B.A.M.	SCALE:	1"=30'	PROJECT NO.:	MD015508
DRAWN BY:	R.L.B.	DATE:	09/5/02	DRAWING NUMBER	8
CHECKED BY:	A.J.V.	APPROVED BY:	A.J.V.		
REVISION NO.:	4	DRAWING NAME:	M15508SS3		OF 19
REVISION NO.:	DATE	REVISION DESCRIPTION			
1	6/24/02	REVISED PER COUNTY COMMENTS			
2	9/5/02	REVISED PER COUNTY COMMENTS			
3	11/19/02	REVISED PER COUNTY COMMENTS			
4	1/7/03	REVISED PER DED. & BEG COMMENTS			
5	8/19/03	Reduction from 6 Pumps to 4 Pumps			

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 6/16/03
CHIEF-DEVELOPMENT ENGINEERING DIVISION

[Signature] 6/24/02
CHIEF-DIVISION OF LAND DEVELOPMENT

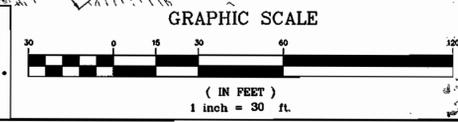
[Signature] 4/23/02
DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

[Signature] 6/19/03
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

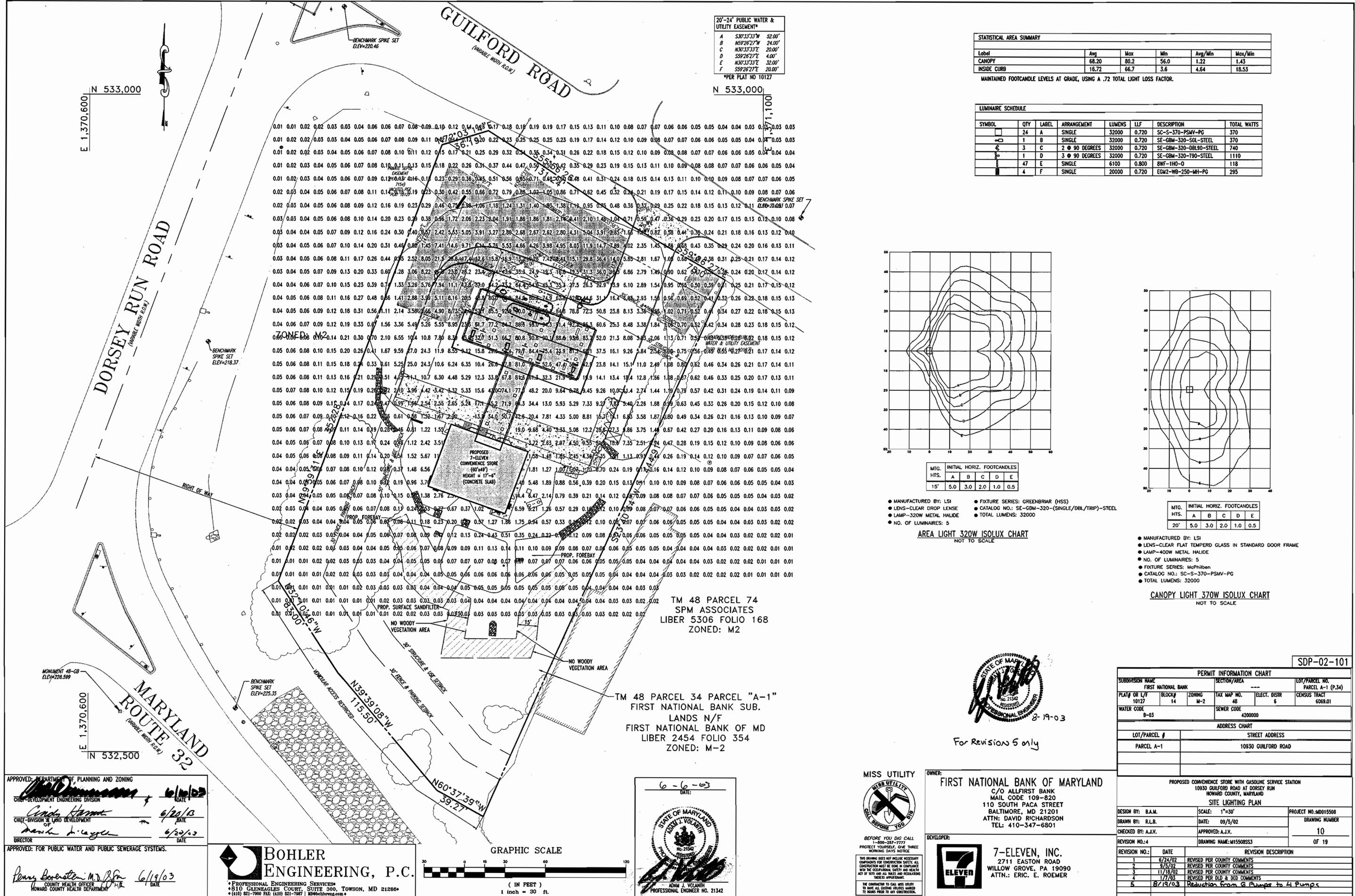
BOHLER ENGINEERING, P.C.

*PROFESSIONAL ENGINEERING SERVICES
810 GLENEAGLES COURT, SUITE 300, TOWSON, MD 21286
(410) 821-7900 FAX: (410) 821-7887 | MDBohlereng.com



6-6-03
DATE:

STATE OF MARYLAND
JOHN T. VOLZ
PROFESSIONAL ENGINEER NO. 21342



20'-24" PUBLIC WATER & UTILITY EASEMENT*

A	S80°33'33"W	52.00'
B	N59°26'27"W	24.00'
C	N30°33'31"E	20.00'
D	S59°26'27"E	4.00'
E	N30°33'31"E	32.00'
F	S59°26'27"E	20.00'

*PER PLAT NO 10127

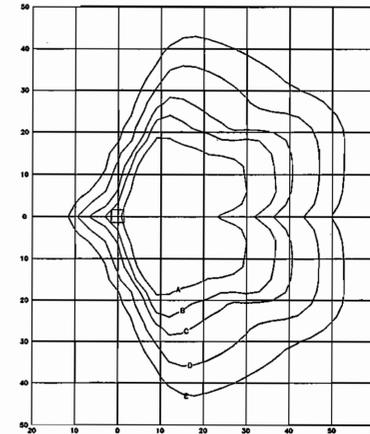
STATISTICAL AREA SUMMARY

Label	Avg	Max	Min	Avg/Min	Max/Min
CANOPY	68.20	80.2	56.0	1.22	1.43
INSIDE CURB	16.72	66.7	3.6	4.64	18.53

MAINTAINED FOOTCANDLE LEVELS AT GRADE, USING A .72 TOTAL LIGHT LOSS FACTOR.

LUMINAIRE SCHEDULE

SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	DESCRIPTION	TOTAL WATTS
□	24	A	SINGLE	32000	0.720	SC-S-370-PSMV-PG	370
□	1	B	SINGLE	32000	0.720	SE-GBM-320-SGL-STEEL	370
□	3	C	2 @ 90 DEGREES	32000	0.720	SE-GBM-320-DBL90-STEEL	740
□	1	D	3 @ 90 DEGREES	32000	0.720	SE-GBM-320-T90-STEEL	1110
□	47	E	SINGLE	6100	0.800	8WF-1H0-O	118
□	4	F	SINGLE	20000	0.720	EGM2-WB-250-MH-PG	295

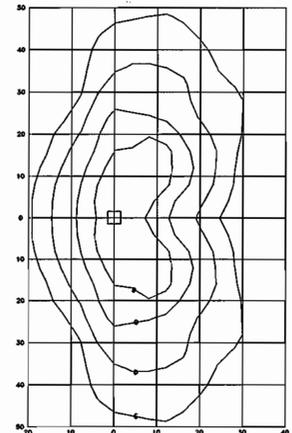


MTG. INITIAL HORIZ. FOOTCANDLES

HTS.	A	B	C	D	E
15'	5.0	3.0	2.0	1.0	0.5

- MANUFACTURED BY: LSI
- LENS-CLEAR DROP LENSE
- LAMP-320W METAL HALIDE
- NO. OF LUMINAIRES: 5
- FIXTURE SERIES: GREENBRIAR (HSS)
- CATALOG NO.: SE-GBM-320-(SINGLE/DBL/TRIP)-STEEL
- TOTAL LUMENS: 32000

AREA LIGHT 320W ISOLUX CHART
NOT TO SCALE



MTG. INITIAL HORIZ. FOOTCANDLES

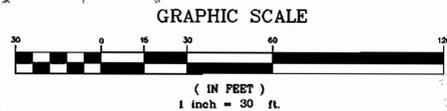
HTS.	A	B	C	D	E
20'	5.0	3.0	2.0	1.0	0.5

- MANUFACTURED BY: LSI
- LENS-CLEAR FLAT TEMPERED GLASS IN STANDARD DOOR FRAME
- LAMP-400W METAL HALIDE
- NO. OF LUMINAIRES: 5
- FIXTURE SERIES: McPhibben
- CATALOG NO.: SC-S-370-PSMV-PG
- TOTAL LUMENS: 32000

CANOPY LIGHT 370W ISOLUX CHART
NOT TO SCALE

TM 48 PARCEL 74
SPM ASSOCIATES
LIBER 5306 FOLIO 168
ZONED: M2

TM 48 PARCEL 34 PARCEL "A-1"
FIRST NATIONAL BANK SUB.
LANDS N/F
FIRST NATIONAL BANK OF MD
LIBER 2454 FOLIO 354
ZONED: M-2



6-6-03
DATE:
STATE OF MARYLAND
J. VOLANIH
PROFESSIONAL ENGINEER NO. 21342

MISS UTILITY
BEFORE YOU DIG CALL
1-800-285-7177
PROTECT YOURSELF. GIVE THREE
WEEKS' NOTICE.

OWNER:
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C/O ALLFIRST BANK
MAIL CODE 109-820
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ATTN: DAVID RICHARDSON
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SDP-02-101

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REVISION NO.:	DATE	REVISION DESCRIPTION			
1	6/24/02	REVISED PER COUNTY COMMENTS			
2	9/5/02	REVISED PER COUNTY COMMENTS			
3	11/18/02	REVISED PER COUNTY COMMENTS			
4	1/7/03	REVISED PER DLD & DED COMMENTS			
5	8/19/03	Reduction from 6 Pumps to 4 Pumps			

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF-DEVELOPMENT ENGINEERING DIVISION
6/16/03
APPROVED: COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT
6/19/03

BOHLER ENGINEERING, P.C.
PROFESSIONAL ENGINEERING SERVICES
8110 GLENHAGLES COURT, SUITE 300, TOWSON, MD 21286
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