

Refer to Howard County Standard Plate R-3.01 **Detail Concrete Curb and Gutter** Not To Scale



R7-8 AND. THE BACKGROUND SHALL BE REFLECTIVE WHITE. TEXT SHALL BE IN 3" CHARACTERS

SIGN SHALL BE MOUNTED DIRECTLY BELOW THE STANDARD R7-8 RESERVEI PARKING FOR HANDICAPPED SIGN. IT'S BOTTOM EDGE SHALL BE NO LESS THAN 7 FEET ABOVE GROUND. IF THE SIGN IS PLACED AGAINST A BUILDING STRUCTURE, OR OTHER LOCATION WHERE VEHICLE OF PEDESTRIAN TRAFFIC IS NOT OBSTRUCTED THE BOTTOM EDGE OF THE SIGN SHALL BE AT LEAST 6 FEET BUT NOT MORE THAN 10 FEET ABOVE GROUND

Handicapped Parking Sign Detail

NOT TO SCALE

The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building, shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related

interior waste lines. The above statement shall apply to all initial and future occupants or tenants.

REVISION #7 NOTE: THE LOD OF 950 S.F. IS EXEMPT FROM STORMWATER MANAGEMENT SHALL BE 100 C.Y. AND EXEMPT FROM SCD APPROVAL.

36. WP-21-022 was approved on December (The work associated with this request

STORMWATER MANAGEMENT AS IT IS UNDER 5,000 S.F. ANY FUTURE CHANGES WHERE THE CUMULATIVE LOD EXCEEDS 5,000 S.F., THEN ADDRESSED. THE CUT/FILL IS LESS THAN

16th, 2020 to address forest conservation. has been deferred to the future.)

REVISION PURPOSE STATEMENT

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT (REV#1) PLAN IS TO REMOVE THE PROPOSED SAND FILTER/TRAP, REVISE THE BUILDING FOOTPRINT, REDUCE THE LIMIT OF DISTURBANCE TO THE EXISTING ENTRANCE ROAD AND MOVE AND RE-SIZE THE WATER STORAGE TANK.

PARCEL 'G' SITE DATA

(STD. RESTAURANT) - 14 SP/1000 S.F. 95

(OUTDOOR SEATING REST.) -7 SP./1000 S.F. .. 3

(GENERAL RETAIL/MEDICAL) - 5 SP./1000 S.F. . . . 18

(CONVENIENCE STORE) 5 SP./1000 S.F......18

SOILS LEGEND

(From the Howard County Soil Survey, Map 2)

GENERAL NOTES

All work shall be performed in accordance with the Howard County Design Manual, Volume IV, i.e., Standard Specifications and Details for Construct-

The contractor shall notify the Department of Pubic Works, Construction Inspection Division at (410-313-1880) at least 24 hours prior to the

The contractor shall test pit existing utilities at least five (5) days before starting work shown on these drawings to verify their location

The contractor shall notify the engineer immediately if location of

stabilized in accordance with the plans approved by the Howard Soll

6. Any damage to public rights-of-way and lor adjacent properties shall be

7. All areas not being paved or receiving any building coverage shall be

9. The contractor shall maintain at least a 2' level bench behind all curb and

10. The contractor shall remove all existing paving, curb and gutter, etc. that

All utilities installed under paving shall receive full trench compaction. 12 All water main tees, bends, caps, etc. shall be buttressed in accordance

15. For details of ramps and signs for the handicapped and aged and as

16. Traffic control devices, markings and signing shall be in accordance with the latest edition of the Manual on Uniform Traffic Control Devices

Water is PRIVATE (well) and sewer is PRIVATE (septic field)
 Storm Water quantity/quality management IS PRIVATE and provided in the existing infiltration basin, reference F 87-64 and GP 87-66.

(MUTCD). All street and regulatory signs shall be in place prior to the

19. Fire protection provided by an existing 40,000 gal. tank and fire hydrant as shown on SDP 88-173 and a proposed 30,000 gal. fire supression tank

December 31, 1992 and no existing forest is affected by this submittal.

20. This plan has been prepared in accordance with the provisions of Section

21. Financial security in the amount of \$24,930 has been posted as part

23. The subject property is zoned B2 per the comprehensive zoning plan.24. Topography furnished by Maddox, Inc. July 2001. 25. All exterior lighting shall comply with Zoning Regulations, Section 134.

26. There are no known cemeteries or burial grounds on this site, however upon discovery of any evidence of burial or graves, the Developer will be subject to Section 16.1305 of the Howard County Subdivision and

The appropriations number for the proposed well is HO87G005-03

2. See the Board of Appeals Case (B.A. Case) #96-02E for a special

The Maryland State Groundwater Discharge Permit #02-DP-3405

for the Lisbon Business Center is effective August 1, 2003 and

exception to operate a gasoline service station and convenience store

33. The Lisbon Center Drive public R/W has been abandoned by County Council Resolution

35. A simplified Environmental Concept Plan was approved on 11/3/2020 for the work associated with Rev. #7. (This work defended until future).

16.124 of the Howard County code and the Landscape Manual.

14. All plan dimensions are to face of curb unless otherwise noted.

repaired immediately at the contractor's espense.

may interfere with proposed construction.

with the Howard County design requirements

13. All water lines shall have a minimum 4' cover.

3. The contractor shall notify Miss Utility at (800-257-7777) at least 48

(RESTAURANT) - 48 SEATS ; 12 EMPLOYEES

1 SP. /4 SEATS ; 1 SP. /2 EMPL 18

1 SP./3 SEATS; 1 SP./2 EMPL 12

3-8% slopes

3-8% slopes

3-8% slopes

14.21 Ac.

B-2 & RC-DEO

F-02-132

4467/590 Plat 7170

04-322649, 04-345576

7.25 Ac./14.21 Ac. = 51%

1.30 Ac./14.21 Ac. = 9%

Vacant Lot/Ex. Shopping Center

Gross Site Area..

Deed Reference.

Exist. Use.

7.800 5.F.

6.750 S.F.

900 S.F.

380 S.F.

3,600 SF.

3,600 S.F.

Proposed Use.

Tax Account Number.

Councilmanic District

Open Space Provided

PARCEL'G'PARKING TABULATION

ChB2 Chester silt loam

G1B2 Glenelg loam

G1C3 Glenelg loam

M1C3 Manor loam

start of work.

Comus silt loam

MtD2 Mount Airy channery loam

ion and/or as shown on these plans

lours prior to any excavation.

utilites is other than shown.

Conservation District. 8. All slopes shall be 2:1 or flatter.

gutter receiving fill areas.

shown hereon, see Sheet 1.

of the Developer's Agreement

Land Development Regulations.

28. There are no wetlands present on this site.

30. Trash collection for the dumpsters are PRIVATE

15-2003 dated 2/03/03, Reference F-02-132

additional traffic study.

in a B-2 Zoning District.

29. There is no floodplain on this site.

Area of Submission/Limit of Disturbance...

THE PURPOSE OF REVISION #3 TO THIS SITE DEVELOPMENT PLAN IS TO REVISE THE PARKING LAYOUT AND TO ADJUST THE GRADING, STORM DRAINS, LANDSCAPING AND SEDIMENT CONTROL AS NECESSARY AND TO REVISE WATER STORAGE TANK TO ABOVE-GROUND

PARCEL 'H' SITE DATA Gross Site Area.. Area of Submission/Limit of Disturbance. 5.38 Ac. Deed Reference. 4467/590 Plat 7170 04-41902, 04-345584, 04-345568 Councilmanic District B-2 & RC-DEO Super Market/ Future Retail Open Space Provided. 7.65 Ac./11.81 Ac. = 65% 1.03 Ac./11.81 Ac. = 9% GP 87-66. F 87-64. SDP 87-194, SDP 88-173 5DP 94-22, SDP 97-161, SDP 01-08 F-02-132 PARCEL 'H' PARKING TABULATION PARKING REQUIRED

EX. BUILDING 'H' (GENERAL RETAIL)-5 SP./1000 S.F....169 = 33,782 S.F. FUT BUILDING 'H' EXPANSION = 7,067 S.F. (GENERAL RETAIL) -5 SP/1000 S.F.....36 FUT. BUILDING 'I = 3,200 S.F. (GENERAL RETAIL) 5 SP/1000 SF.16 EX. BUILDING 'J' = 8,125 S.F. 4,889 S.F. (GENERAL RETAIL) . 5 SP./1000 S.F....25 (CARRY OUT REST.) - 6 SP./1000 S.F. 20

TOTAL PARKING REQUIRED FOR ALL BUILDINGS - PARCEL H

ARCEL'H

LISBON CENTER DRIVE

PARCEL 'G'

Woodbine National Bank clo Westminster Bank & Trust

EXISTING WIRELESS

PLAN

EXISTING RELOCATED

CINGULAR SHELTER

(12'=20')

REFERENCE

AREA

SDP 05-41 FOR

DETAILS OF THIS

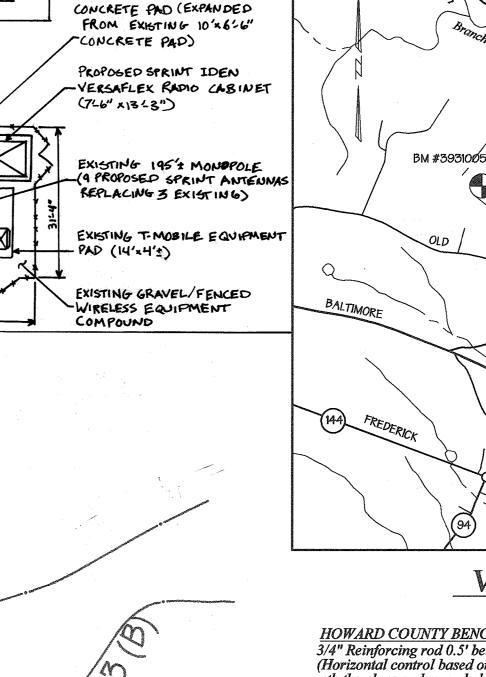
CONSTRUCTION OF WALL SHALL BE DESIGNED TO ALLOW FUR FUTURE EXPANSION MASCINEY WALL SHALL BUT BE LOAD BEAD

SUPER MARKET

CABINETS

SPRINT COMA RADIO -

EQUIPMENT COMPOUND



EXISTING WIRELESS

PROPOSED SPRINT

MICROWAVE TOWER

APPROX. CENTER POI

TO EX. STORMWATER
MANAGEMENT / INFILTRATION
POND SEE F87-64, GP 87-66

PROPOSED DENITRIFICATION

FILTER SHED

Lisbon Plaza LLC

Parcel 82

(SEE NOTE SHEET 3)

12'×12'×15.5'

F.F. 625.0

BLOWERS W/ROOF

PROPOSED

PROPOSED SPRINT 8'-9" x 22'-6"

VICINITY MAP

SCALE: 1" = 2000' HOWARD COUNTY BENCHMARK 3/4" Reinforcing rod 0.5' below surface, 285' north of Route 99 along side Woodbine Road (Horizontal control based on NAD 27; vertical control based on NAD 29 - this is consistent

FREDERICK

PIKE

wth the plans and record plat for the subdivision.) Title Sheet EQUIPMENT COMPOUND W/ Site Plan EQUIPMENT EXPANSION 4 Site Plan Sediment Control Plan (SEE DETAIL THIS PAGE) Sediment Control Notes & Details Sediment Control Notes & Details Stormwater Management Details Profiles Landscaping Plan Landscaping Details Lighting Plan

> REV #4 DEPICTS SPRINT'S PROPOSAL TO INSTALL A NEW 7-6" x 13'-3" IDEN VERSAFLEX RADIO CABINET ON A PROPOSED 8'-9" x 22'-6" CONCRETE PAD (EXTENDED FROM AN EXISTING 10'46-6" CONCRETE PAD) ALONG WITH EXISTING RELOCATED SPRINT COMA RADIO CABINETS NINE NEW ANTENNAS ARE PROPOSED TO REPLACE THREE EXISTING ANTENNAS ON AN EXISTING 195'± MONOPOLE. ALL PROPOSED MODIFICATIONS WILL BE CONTAINED TO THE EXISTING WIRELESS EQUIPMENT LOMPOUND.

STREET ADDRESS BUILDING 712 Lisbon Center Drive BLDG. A 710 Lisbon Center Drive BLDG. B BLDG. C 708 Lisbon Center Drive 706 Lisbon Center Drive BLDG. D BLDG. E 704 Lisbon Center Drive BLDG. F 702 Lisbon Center Drive 714 Lisbon Center Drive BLDG. G BLDG. H 705 Lisbon Center Drive 709 Lisbon Center Drive BLDG. I MICROWAVE TOWER 715 Lisbon Center Drive FIRE PUMP HOUSE 713 Lisbon Center Drive Approved: For private water and private sewerage systems Howard County Health Department

APPROVED: Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION DIVISION OF LAND DEVELOPMENT

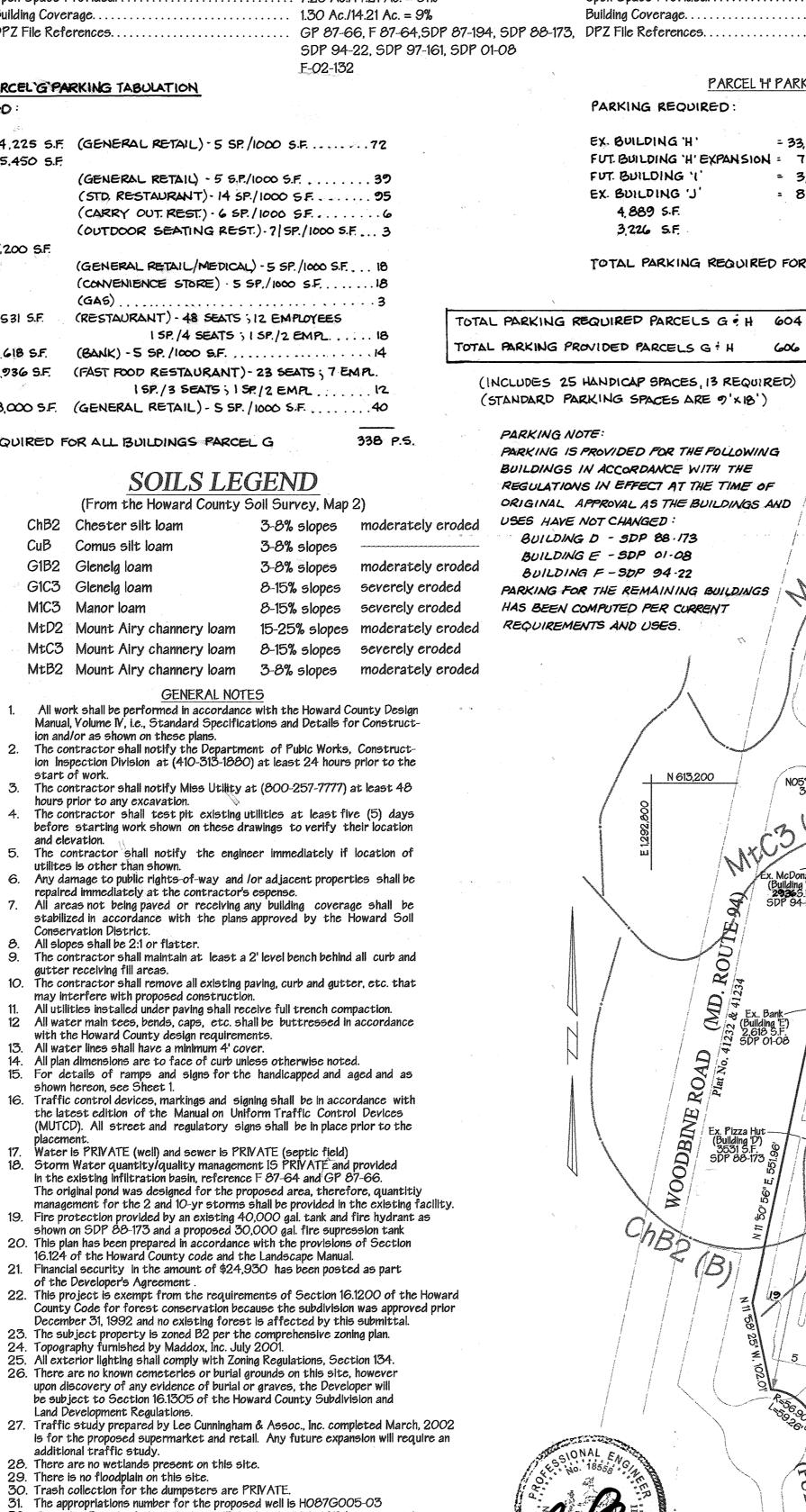
ADDRESS CHAR PARCEL NO. STREET ADDRESS Parcel G and H Lisbon Center Drive (See Chart Above)

SUBDIVISION NAME SECTION NAME PARCEL # Parcel G and H Route 94 Business Center BLOCK # ZONE ZONE MAP ELECT. DIST. CENSUS TRACT 4 6040.01 15857 WATER CODE N/A SEWER CODE N/A

Title Sheet

REVISED SITE DEVELOPMENT PLAN ROUTE 94 BUSINESS CENTER
LISBON CENTER - PARCELS G AND H
Election District #4
Deed Ref: 4467/590
Tax Map 2, Grid 24, Parcel 82
Scale: As Shown

Howard County, Maryland
July 23, 2004
Sheet 1 of 11



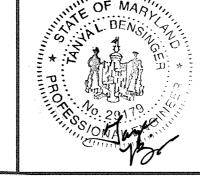
Lisbon Plaza, LLC c/o MIE Properties, Inc. 5720 Executive Drive

REVISION #G BY: NJB ENGINEERING, INC. REVISION #7 BY: NJB ENGINEERING, INC.

Baltimore, Maryland 21228 (410) 788-0100

Matis Warfield consulting engineers

contact: Nick Brader 10540 york road suite m hunt valley, maryland 21030 phone 410-683-7004 facsimile 410-683-1798 www.matiswarfield.com





Contact: Ramon Benitez

RESTAURANT AREA IN BUILDING 'B'

LOCATION MAP

REFERENCE

SDP 97-161

THIS AREA

FOR DETAILS OF

Special Exception Board of Appeals #96-02E

SCALE: 1" = 100'

11/10/21 ADD DENITRIFICATION SHED ADJACENT TO SEPTIC FIELD, ADD EXPANSION OF

4/16/18 REV.#6 PROP. RESTAURANT ADDITION UPDATED PARKING SHOW

REVISION

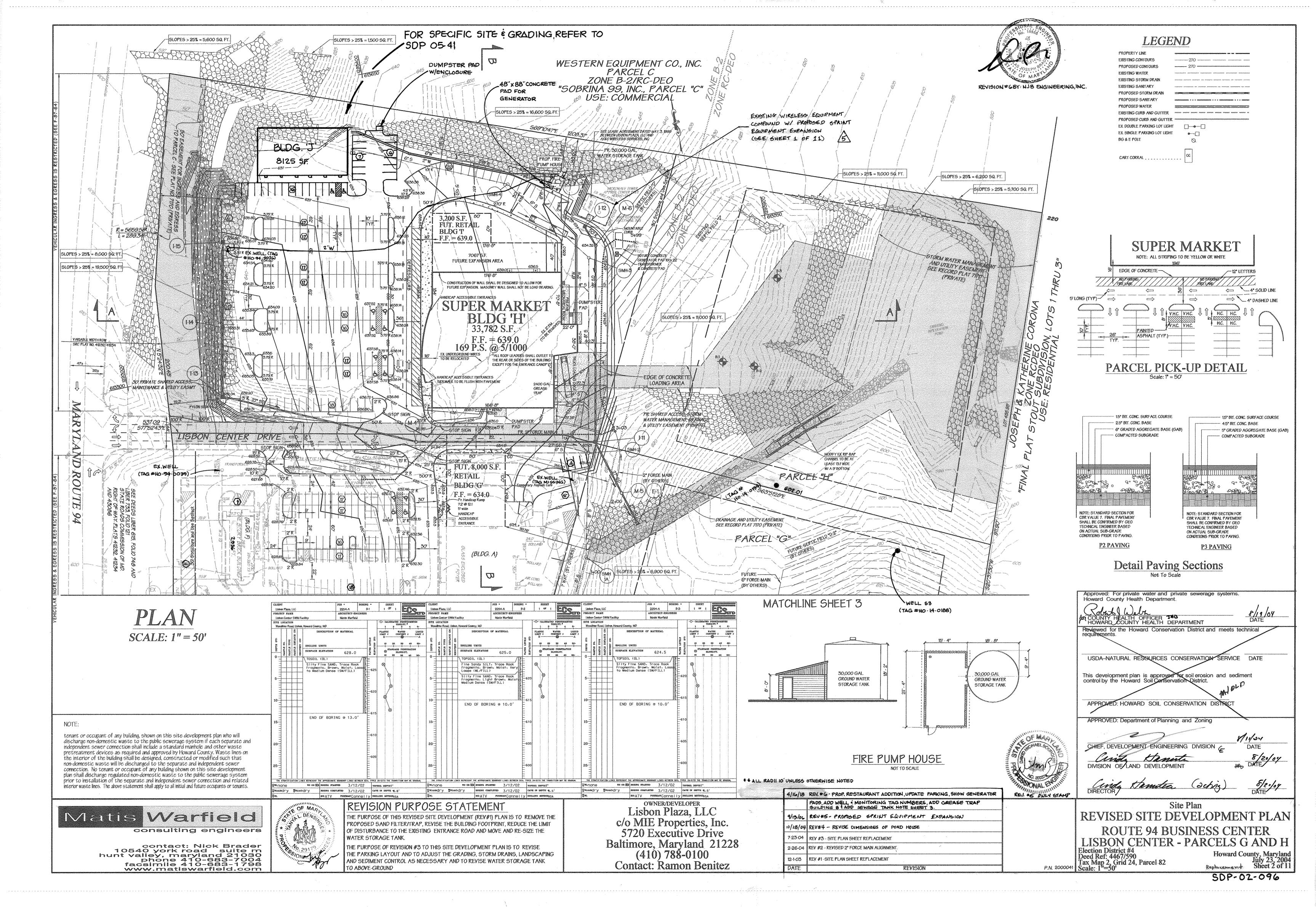
7-23-04 REVISIONS #3 -TITLE SHEET REPLACEMENT 12-1-03 REVISION #1 -TITLE SHEET REPLACEMENT

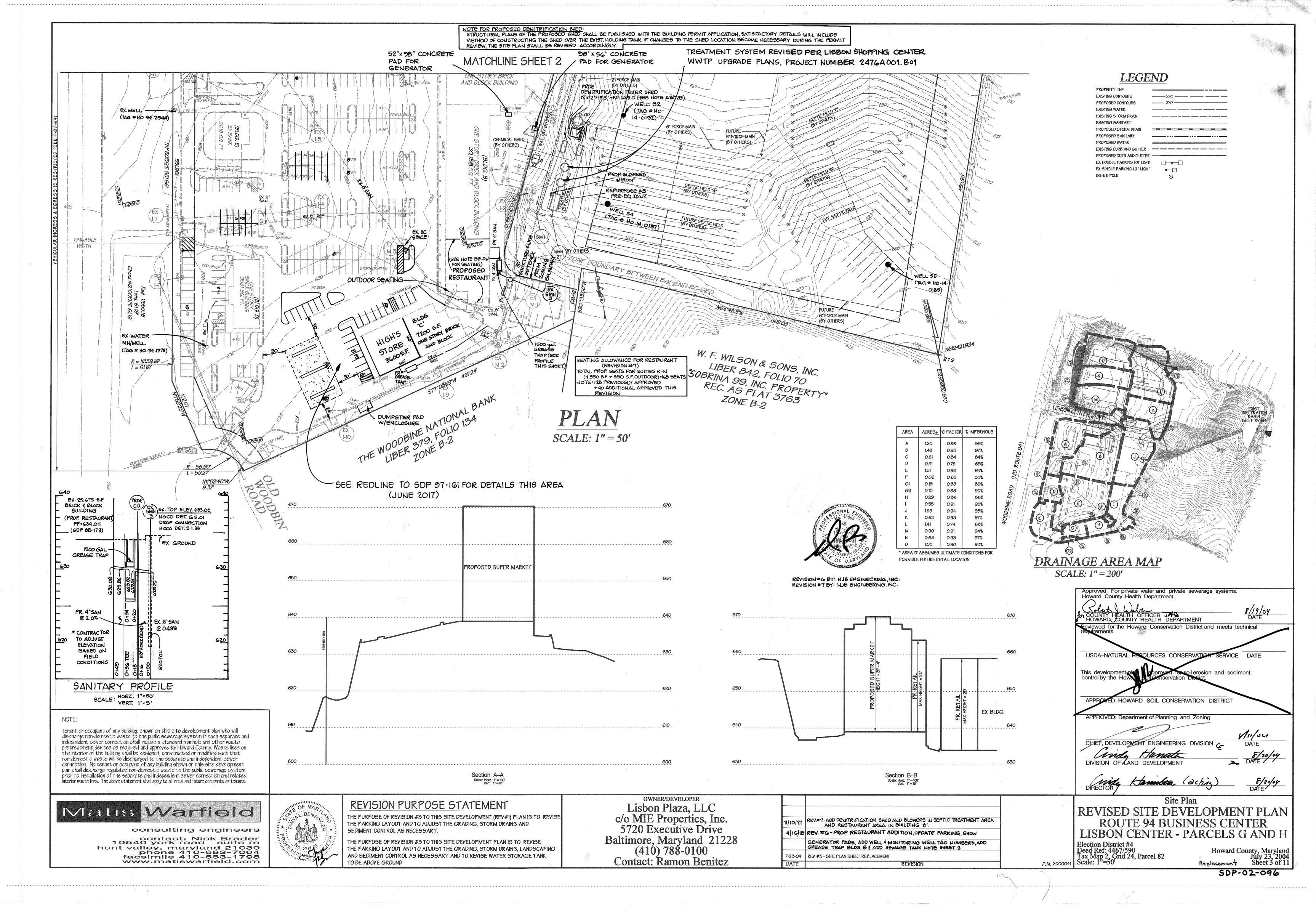
GENERATOR PADS, ADD WELL & MONITORING WELL TAG NUMBERS, ADD

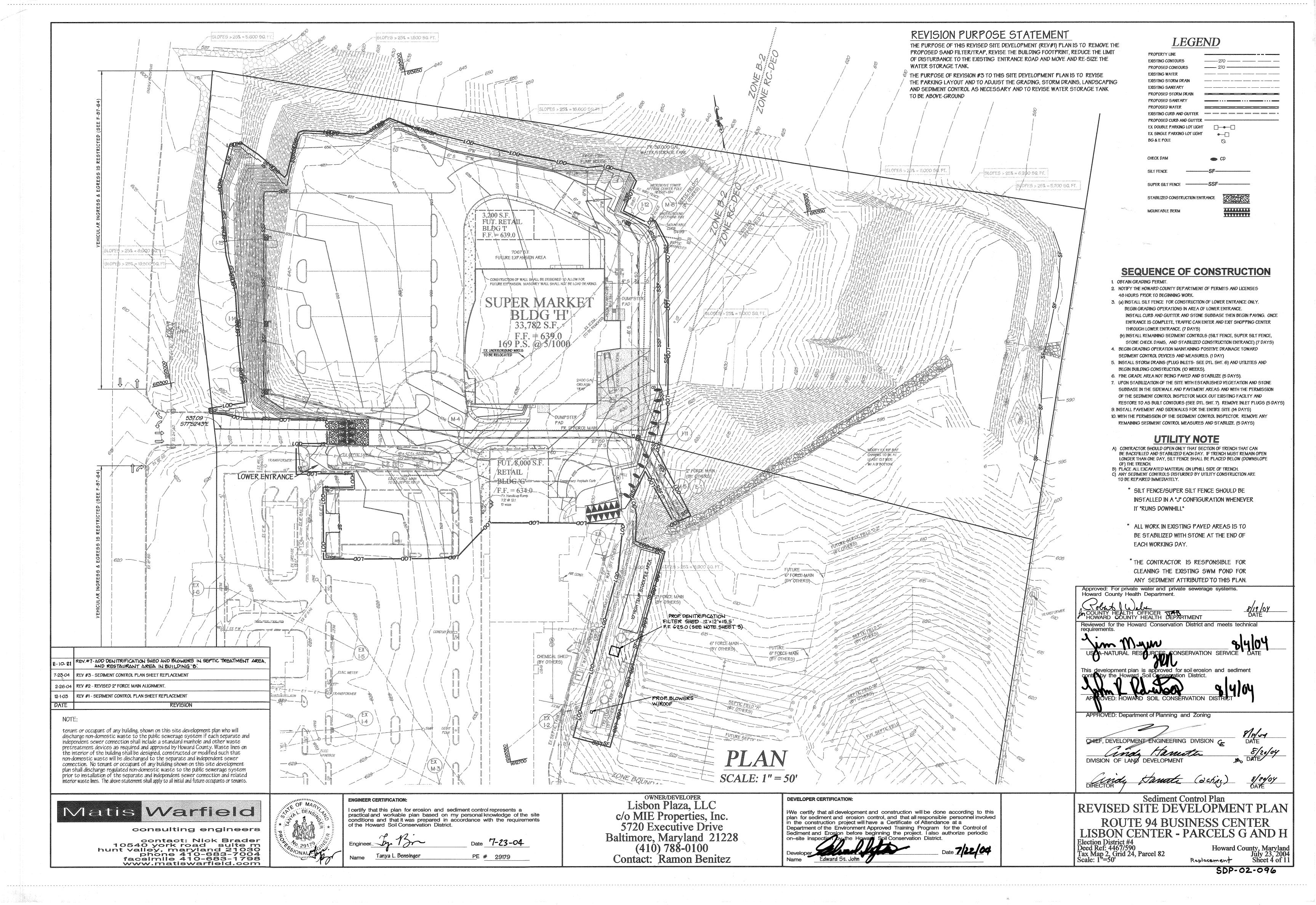
GREASE TRAP BLDG B & ADD SEWAGE TANK NOTE SHEET 3 9/18/06 PROPOSED SPRINT EQUIPMENT EXPANSION - REV. #4

REV. #4 ONLY STAMP

SDP-02-096







GENERAL NOTES

1. Refer to "1994 Maryland Standards and Specifications for Soll Erosion and Sediment Control" for

standard details and detailed specifications of each practice specified herein. 2. With the approval of the sediment control inspector, minor field adjustments can and will be made to ensure the control of any sediment. Changes in sediment control practices require prior approval of

the sediment control inspector and the Baltimore County Soil Conservation District. 3. At the end of each working day, all sediment control practices will be inspected and left in operational

4. Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within: (a) seven calendar days as to the surface of all perimeter controls, dikes, swales, ditches perimeter slopes, and all slopes greater than three horizontal to one vertical (3:1), and (b) fourteen days as to all other disturbed or graded areas on the project site which will remain idle over fourteen days. 5. Any change to the grading proposed on this plan requires re-submission to Baltimore County Soli Conservation District for approval.

6. Dust control will be provided for all disturbed areas. Refer to "1994 Maryland Standards and Specifications for Soil Erosion and Sediment Control", page H-30-i, for acceptable methods and specifications

7. Any variations from the sequence of operations stated on this plan requires the approval of the sediment control inspector and the Baltimore County Soli Conservation District prior to the initiation of the change.

8. Excess cut or borrow material shall go to, or come from, respectively, a site with an open grading

9. The following item may be used as applicable: Refer to "Maryland's Guidelines to Waterway Construction" by the Water Resources Administration (WRA), dated January, 1986, for standard details and detailed specifications of each practice specified herein for waterway construction.

Section I - Vegetative Stabilization Methods and Materials

A. Site Preparation

i. Install crosion and sediment control structures (either temporary or permanent) such as diversions, grade stabilization structures, berms, waterways, or sediment control basins. II. Perform all grading operations at right angles to the slope. Final grading and shaping is not usually necessary for temporary seeding. III. Schedule required soil tests to determine soil amendment composition and application rates for

sites having disturbed area over 5 acres.

B. Soil Amendments (Fertilizer and Lime Specifications)

1. Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas over 5 areas. Soil analysis may be performed by the University of Maryland or a recognized commercial laboratory. Soli samples may be taken for engineering purposes may also be used for chemical analysis.

ii. Fertilizers shall be uniform in composition, free flowing and suitable for accurate application by approved equipment. Manure may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers shall all be delivered to the site fully labeled according to the applicable state fertilizer laws and shall bear the name, trade name or trademark and warrantee of the

III. Lime materials shall be ground ilmestone (hydrated or burnt lime may be substituted) which contains at least 50% total oxides (calcium oxide plus magnesium oxide). Limestone shall be ground to such fineness that at least 50% will pass through a #100 mesh sieve and 96 - 100% will pass through a #20 mesh sieve.

ly. Incorporate ilme and fertilizer into the top 3 - 5" of soil by disking or other suitable means.

C. Seedbed Preparation

1. Temporary Seeding

a. Seedbed preparation shall consist of loosening soil to a depth of sultable agricultural or construction equipment, such as disc harrows or chisel plows or rippers mounted on construction equipment.

After the soil is loosened it should not be rolled or dragged smooth but left in the roughened condition. Sloped areas (greater than 3:1) should not be tracked leaving the surface in an irregular condition with ridges running parallel to the contour of the slope.

b. Apply fertilizer and lime as prescribed on the plans.

c. Incorporate lime and fertilizer into the top 3 - 5° of soil by disking or other sultable means.

il. Permanent Seeding

a. Minimum soil conditions required for permanent vegetative establishment:

l. Soll pH shall be between 6.0 and 7.0. Soluble salts shall be less than 500 parts per million (ppm)

3. The soil shall contain less than 40% clay but enough fine grained material (> 30% slit plus clay) to provide the capacity to hold a moderate amount of moisture. An exception is if lovegrass or serecia espedeza is to be planted, then a sandy soll (<30% silt plus clay) would be acceptable.

4. Soil shall contain 1.5% minimum organic matter by weight.

5. Soil must contain sufficient pore space to permit adequate root penetration. 6. If these conditions cannot be met by soils on site, adding topsoil is required in accordance with Section 21 Standard and Specification for Topsoil

b. Areas previously graded in conformance with the drawings shall be maintained in a true and even grade, then scarified or otherwise loosened to a depth of 3 - 5' to permit bonding of the topsoil to the surface area and to create horizontal crosion check slots to prevent topsoil from sliding down a slope

c. Apply soil amendments as per soil test or as included on the plans

d. Mix soil amendments into the top 3 - 5" of topsoil by disking or other suitable means. Lawn areas hould be raked to smooth the surface, remove large objects like stones and branches, and ready th area for seed application. Where site conditions will not permit normal seedbed preparation, loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface. Steep slopes (steeper than 3:1) should be tracked by a dozer leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. The top 1 - 3° of soil should be loose and friable. Seedbed loosening may not be necessary on newly disturbed areas.

1. All seed must meet the requirements of the Maryland State Seed Law. All seed shall be subject to re-testing by a recognized seed laboratory. All seed used shall have been tested within the 6 months immediately preceding the date of sowing such material in this job.

NOTE: SEED TAGS SHALL BE MADE AVAILABLE TO THE INSPECTOR TO VERIFY TYPE AND RATE OF SEED USED.

ii. Inoculant - The inoculant for treating legume seed in the seed mixture shall be a pure culture of nitrogen-fixing bacteria prepared specifically for the species. Inoculants shall not be used later than the date indicated on the container. Add fresh inoculant as directed on package. Use four times the recommended rate when hydroseeding. NOTE: It is very important to keep inoculant as cool as possible until used. Temperatures above 75 - 80 degrees F. can weaken bacteria and make inoculant less effective

I. Hydroseeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer), broadcast or drop seeder, or a cultipacker seeder.

a. If fertilizer is being applied at the time of seeding, the application rates amounts will not exceed the following: nitrogen; maximum of 100 bs. per acre total soluble nitrogen; P205 (phosphorus): 200 bs./ac.; K20 (potassium): 200 bs./ac.

b. Lime - use only ground agricultural limestone, (Up to 3 tons per acre may be applied by hydroseeding). Normally, not more than 2 tons are applied by hydroseeding at any one time. Do not use burnt or hydrated ilme when hydroseeding c. Seed and fortilizer shall be mixed on site and seeding shall be done immediately and without

II. Dry Seeding: This includes use of conventional drop or broadcast spreaders. a. Seed spread dry shall be incorporated into the subsoil at the rates prescribed on the Temporary or or Permanent Seeding Summaries or Tables 25 or 26. The seeded area shall then be rolled with

a weighted roller to provide good seed to soil contact. b. Where practical, seed should be applied in two directions perpendicular to each other. Apply half

the seeding rate in each direction.

III. Drill or Cultipacker Seeding: Mechanized seeders that apply and cover seed with soil.

a. Cultipacking seeders are required to bury the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seedbed must be firm after planting. b. Where practical, seed should be applied in two directions perpendicular to each other. Apply half

the seeding rate in each direction. F. Mulch Specifications (In order of preference)

i. Straw shall consist of thoroughly threshed wheat, rye or oat straw, reasonably bright in color, and shall not be musty, moldy, caked, decayed, or excessively dusty and shall be free of noxious weed seeds as specified in the Maryland Seed Law.

It. Wood Cellulose Fiber Mulch (WCFM)

a. WCFM shall consist of specially prepared wood cellulose processed into a uniform fibrous physical state. b. WCFM shall be dyed green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniformly spread slurry.

c. WCFM, including dye, shall contain no germination or growth inhibiting factors.

d. WCFM materials shall be manufactured and processed in such a manner that the wood collulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The mulch material shall form a blotter-like ground cover, on application, having moisture absorption and percolation properties and shall cover and hold grass seed in contact with the soil without inhibiting the growth of the grass seedlings.

e. WCFM material shall contain no elements or compounds at concentration levels that will be phyto-toxic

f. WCFM must conform to the following physical requirements: fiber length to approximately 10 mm., diameter approximately i mm., pH range of 4.0 to 8.5, ash content of 1.6% maximum and water

NOTE: ONLY STERILE STRAW MULCH SHOULD BE USED IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED. G. Mulching Seeded Areas - Mulch shall be applied to all seeded areas immediately after seeding

I. If grading is completed outside of the seeding season, muich alone shall be applied as prescribed in this section and maintained until the seeding season returns and seeding can be performed in accordance with these specifications. ii. When straw mulch is used, it shall be spread over all seeded areas at the rate of 2 tons/acre.

Mulch shall be applied to a uniform loose depth of between " and 2". Mulch applied shall achieve a uniform distribution and depth so that the soil surface is not exposed. If a mulch anchoring tool is to be used, the rate should be increased to 2.5 tons/acre

III. Wood cellulose fiber used as a mulch shall be applied at a net dry weight of 1,500 bs. per acre. The wood cellulose fiber shall be mixed with water, and the mixture shall contain a maximum of 50 bs. of wood cellulose fiber per 100 gallons of water.

H. Securing Straw Mulch (Mulch Anchoring): Mulch anchoring shall be performed immediately llowing muich application to minimize loss by wind or water. This may be done by one of the following methods(listed by preference), depending upon size of area and crosion hazard:

i. A mulch anchoring tool is a tractor drawn implement designed to punch and anchor mulch into the soil surface a minimum of two (2) inches. This practice is most effective on large areas, but is limited to flatter slopes where equipment can operate safely. If used on sloping land, this practice should be

ii. Wood cellulose fiber may be used for anchoring straw. The fiber binder shall be applied at a net dry weight of 750 pounds/acre. The wood cellulose fiber shall be mixed with water and the mixture shall

ill. Application of liquid binders should be heavier at the edges where wind catches muich, such as in valleys and on the crests of banks. The remainder of area should appear uniform after binder application. Synthetic binders - such as Acrylic DLR (Argo-Tack), DCA-70, Petroset, Terra Tax II, Terra Tack AR or other approved equal may be used at rates recommended by the manufacturer to anchor mulch.

ly. Lightweight plastic netting may be stapled over mulch according to manufacturer's recomendations. Netting is usually available in rolls 4 to 15 feet wide and 300 to 3,000 feet Iona.

contain a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.

Section II - Temporary Seeding

Yegetation - annual grass or grain used to provide cover on disturbed areas for up to 12 months. For longer duration of vegetative cover, Permanent Seeding is required.

Section III - Permanent Seeding Seeding grass and legumes to establish ground cover for a minimum period of one year on disturbed

Section IV - Sod: To provide quick cover on disturbed areas (2:1 grade or flatter).

A. General specifications

I. Class of turfgrass sod shall be Maryland or Virginia State Certified or Approval. Sod labels shall be made available to the job foreman and inspector

ii. Sod shall be machine cut at a uniform soil thickness of 3/4", plus or minus 1/4". at the time of cutting. Measurement for thickness shall exclude top growth and thatch. Individual pieces of sod shall be cut to the suppliers width and length. Maximum allowable deviation from standard widths and lengths shall be 5 percent. Broken pads and torn or uneven ends will not be acceptable.

iii. Standard size sections of sod shall be strong enough to support their own weight and retain their size and shape when suspended vertically with a firm grasp on the upper 10 percent of the section.

lv. Sod shall not be harvested or transplanted when moisture content (excessively dry or wet) may

v. Sod shall be harvested, delivered, and installed within a period of 36 hours. Sod not transplanted within this period shall be approved by an agronomist or soll scientist prior to its Installation.

I. During periods of excessively high temperature or in areas having dry subsoil, the subsoil shall be

ii. The first row of sod shall be laid in a straight line with subsequent rows placed parallel to and tightly wedged against each other. Lateral joints shall be staggered to promote more uniform arowth and strength. Ensure that god is not stretched or overlapped and that all joints are butted tight In order to prevent voids which would cause drying of the roots.

III. Wherever possible, sod shall be laid with the long edges parallel to the contour and with staggering joints. Sod shall be rolled and tamped, pegged or otherwise secured to prevent slippage on slopes and to ensure solid contact between sod roots and the underlying soil surface

ly. Sod shall be watered immediately following rolling or tamping until the underside of the new sod pad and soil surface below the sod are thoroughly wet. The operations of laying, tamping and irrigating for any piece of sod shall be completed within eight hours.

i. In the absence of adequate rainfall, watering shall be performed daily or as often as necessary during the first week and in sufficient quantities to maintain moist soil to a depth of 4°. Watering should be done during the heat of the day to prevent wilting

II. After the first week, sod watering is required as necessary to maintain adequate moisture content.

ill. The first mowing of sod should not be attempted until the sod is firmly rooted. No more than 1/3 of the grass leaf shall be removed by the initial cutting or subsequent cuttings. Grass height shall be maintained between 2° and 3° unless otherwise specified.

Section IV - Turfgrass Establishment

Areas where turfarass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance. Areas to receive seed shall be tilled by disking or other approved methods to a depth of 2 to 4 inches, leveled and raked to prepare a proper seedbed Stones and debris over 1 1/2 inches in diameter shall be removed. The resulting seedbed shall be in such condition that future mowing of grasses will pose no difficulty.

NOTE: Choose certified material. Certified material is the best guarantee of cultivar purity. The certification program of the Maryland Department of Agriculture, Turf and Seed Section, provides a reliable means of consumer protection and assures a pure genetic line.

A. Turfgrass Mixtures

I. Kentucky Bluegrass - Fall sun mixture - For use in areas that receive intensive management. Irrigation required in the areas of central Maryland and eastern shore. Recommended Certified Kentucky Bluegrass Cultivars Seeding Rate: 1.5 to 2.0 pounds/1000 square feet. A minimum of three bluegrass cultivars should be chosen ranging from a minimum of 10% to a maximum of 35% of the mixture by weight.

li. Kentucky Bluegrass/Perennial Rye - Full sun mixture - For use in full sun areas where rapid establish ment is necessary and when turf will receive medium to intensive management. Certified Perennial Ryegrass Cultivars/ Certified Kentucky Bluegrass Seeding rate: 2 pounds mixture/1000 square feet. A minimum of 3 Kentucky Bluegrass Cultivars must be chosen, with each cultivar ranging from

III. Tall Fescue/Kentucky Bluegrass - Full sun mixture - For use in drought prone areas and/or for areas receiving low to medium management in full sun to medium shade. Recommended mixture includes; certified Tall Fescue Cultivars 95 - 100%, certified Kentucky Bluegrass Cultivars 0 - 5%. Seeding rate 5 to 8 lb./1000 square feet. One or more cultivars may be blended

iv. Kentucky Bluegrass/Fine Fescue - Shade Mixture - For use in areas with shade in Bluegrass lawns. For establishment in high quality, intensively managed turf area. Mixture includes; certified Kentucky Bluegrass Cultivars 30 - 40% and certified Fine Fescue and 60 - 70%. Seeding rate: 11/2 - 3 lbs/1000 square feet. A minimum of 3 Kentucky biograps cultivars must be chosen, with each cultivar ranging from seeding rate 5 to 8b./1000 square feet. One or more cultivars may be blended.

v. Kentucky Bluegrass/Fine Fescue - Shade Mixture - For use in areas with shade in Bluegrass lawns. For establishment in high quality, intensively managed turf area. Mixture includes; certified Kentucky Bluegrass Cultivars 30 - 40% and certified Fine Fescue and 60 - 70%. Seeding rate: 11/2 - 3 bs./1000 square feet. A minimum of 3 Kentucky bluegrass cultivars must be chosen, with each cultivar ranging from a minimum of 10% to a maximum of 35% of the mixture by weight.

NOTE: Turfgrass varieties should be selected from those listed in the most current University of Maryland Publication, Agronomy Mimeo #77, "Turfgrass Cultivar Recommendations for Maryland".

B. Ideal times of seeding

OF MAR

Western MD: March 15-June 1, August 1-October 1 (Hardiness Zones - 5b. 6a) Central MD: March 1-May 15, August 15-October 15 (Hardiness Zones - 6b)

Southern MD. Eastern Shore: March 1-May 15, August 15-October 15 (Hardiness Zones - 7a, 7b)

If soil moisture is deficient, supply new seedings with adequate water for plant growth (1/2" - 1" every 3 to 4 days depending on soil texture) until they are firmly established. This is especially true when seedings are made late in the planting season, in abnormally dry or hot seasons, or on adverse sites.

D. Repairs and Maintenance

Inspect all seeded areas for failures and make necessary repairs, replacements, and reseedings within

I. Once the vegetation is established, the site shall have 95% groundcover to be considered adequately

li. If the stand provides less than 40% ground coverage, reestablish following original lime, fertilizer,

of the rates originally applied may be necessar; ly. Maintenance fertilizer rates for permanent seedings are shown in Table 24. For lawns and other medium to high maintenance turfgrass areas, refer to the University of Maryland publication "Lawn Care in Maryland Bulletin No. 171.

iii. If the stand provides between 40% and 94% ground coverage, overseeding and fertilizing using half

Table 28 Stone For Gabion Baskets

BASKET	THICKNESS	SIZE OF INDIVIDUAL STONES				
INCHES	ММ	INCHES	ММ			
6	150	3-5	<i>7</i> 5 - 125			
9	225	4-7	100 - 175			
12	300	4-7	100 - 175			
18	460	4-7	100 - 175			
36	910	4 - 12	100 - 300			

Table 25 - Permanent Seeding for Low Maintenance Areas

HARDINESS ZONE

RECOMMENDED PLANTING DATES

M	SEED MIX	R.A	RATE		SITE HARDINESS				111111403					
1 X	(USE CERTIFIED MATERIAL IF AVAILABLE)	LBS./AC.	LBS./1000 SQ. FT.	CONDITIONS	ZONES	3/1 - 5/15	3/15 - 6/1	5/16 - 8/14	6/2 - 7/31	<i>8/</i> 1 - 10/1	8/15 - 10/15	8/15 - 11/15	E S	
	TALL FESCUE (75%)	150	3.4	MOIST	5₺		Х			X			П	
	CANADA BLUEGRASS (10%)			TO DRY	6a		Х			Х]	
1	KENTUCKY BLUEGRASS (10%) REDTOP (5%)				6b	X					Х]∧	
	KEDIOI (ON)				7 a	χ						Х]	
					7b	Х						Х		
	KENTUCK BLUEGRASS (50%)	150	3.4	MOIST TO	5b		Х			Х				
2	CREEPING RED FESCUE OR A HARD FESCUE (40%)			MODERATELY DRY TO DRY	6a		Х			Х] B	
	REDTOP (10%)			DKI 10 DKI	6b	χ		l			Х		Ш	
	TALL FESCUE (85%)	125	2.9	MOIST	5B		Х			Х			П	
	PERENNIAL RYEGRASS (10%)	15 10	.34 .23	TO DRY	6 A		Х			Х]	
3	KENTUCKY BLUEGRASS (5%)	l io	,25		6B	Х					х] c	
					7 A	Х					1	Х	1	
					7B	Х						Х	1 I	
	RED FESCUE OR	60	.92	MOIST	5b	-	х	l		Х			П	
4	CHEWINGS FESCUE (80%)	60	.92	TO DRY	6a		х	····-		X			101	
	PERENNIAL RYEGRASS (20%)	15	.34		6b	Х	<u> </u>				x		1	
	TALL FESCUE (85%) OR	110	2.5	MOIST	5b		Х	 		Х		\vdash	Н	
	PERENNIAL RYEGRASS (50%)	20	.46	TO DRY	6a		X	_		X		 	1 1	
ó	PLUS CROWNVETCH OR	20	.46		6b	X				 "	l x	 	1 _€	
	FLATPEA	20	.46		7 a	Х	\vdash	 	\vdash		 	X	┨┖╏	
					7 b	X			\vdash	 	\vdash	x	1 1	
_	WEEPING LOYEGRASS (17%)	4	.09	DRY TO	6a	X	\vdash	х	\vdash		 	 ^	┼┤	
3	SERECIA LESPEDEZA (83%)	20	.46	VERY DRY	7 a	X	_	X	\vdash		 	 	┧╒╽	
•					7 a 7 b	x	_	 x	\vdash		-	 	 	
_	TALL FERCIE (ASS)	440	0.5	DDV 70		_ <u>^</u>	х	 ^	х	x	-	├──	╂┈┤	
	TALL FESCUE (83%) WEEPING LOVEGRASS (2%)	110 3	2.5 .07	DRY TO YERY DRY	5b			-	_	_	-	├──	1 1	
,	PLUS	20	.46	12.00	6a	<u> </u>	Х	ļ ,,	Х	Х	x	├─	┨、╏	
'	SERECIA LESPEDEZA (15%)				66	X	_	X			 ^	 	G	
					7 a	X		Х			├	X	1 1	
					7b	Х		Χ.		l	-	Х	₩	
	REED CANARYGRASS (75%) REDTOP (6%) PLUS	40 3	.92 .07	WET TO MODERATELY	56		Х	<u> </u>		Х	_	├	1	
	BIRDSFOOT TREEFOIL (19%)	10	.23	DRY	O a		Х			X	.	<u> </u>	↓	
3					6b	Х			<u> </u>	ļ	Х	<u> </u>	H	
					7a	Х			<u> </u>	_		X	1	
_					7 b	Х				<u> </u>	↓	Х	Ш	
	TALL FESCUE (86%)	125	2.9	WET TO	56		Х			Х	<u> </u>	<u> </u>	1	
9	POA TRIVIALIS (7%) BIRDSFOOT TREEFOIL (7%)	10 10	23 23	MODERATELY DRY	V a		Х			Х	<u> </u>	ļ	1	
	DIRUSTOOT TREET OIL (7.6)	,-			6b	Х					Х			
	TALL FESCUE (80%)	120	3.4	WET TO DRY	5b		Х			Х		$oxed{oxed}$]	
	HARD FESCUE (20%)	30	.69		6a		Х			Х]	
0					6b	Х					Х] J	
					7 a	Х						Х	J	
					7 b	Х						Х	\perp \mid	
	HARD FESCUE (100%)	75	1.7	MOIST TO	5b		Х			Х			\Box	
t				DRY	6a		Х			Х			1, [
11					6b	Х					Х		K	
											_	+	4	

A. USED BY SHA ON SLOPED AREAS. ADD A LEGUME FOR SLOPES > THAN 3:1.

B. USED IN MEDIAN AREAS BY SHA. SHADE TOLERANT. C. POPULAR MIX - PRODUCES PERMANENT GROUNDCOVER QUICKLY. BLUEGRASS THICKENS STAND

D. BEST USE ON SHADY SLOPES NOT ON POORLY DRAINED CLAYS. E. USE ON LOW MAINTENANCE, STEEP SLOPES, USE TALL FESCUE IN DRAUGHTY CONDITIONS, CROWN VETCH BEST FOR 56, 6a, 6b

F. SUITABLE FOR SEEDING IN MID-SUMMER. G. WEEPING LOYEGRASS MAY BE SEEDED WITH TALL FESCUE IN MID-SUMMER. SERECIA LESPEDEZA IS BEST SUITED FOR ZONES 74 AND 7b. H. USE ON POORLY DRAINED SOILS - DITCHES OR WATERWAYS, BIRDSFOOT TREEFOILS BEST FOR ZONES 56, 6a, ABOVE 2,000 FEET, I. USE IN AREAS OF MOIST SHADE, POA TRIVIALIS THRIVES IN WET SHADY AREAS.

J. TALL FESCUE MAY BE SEEDED ALONE. THE HARD FESCUE PROVIDES BETTER SHADE TOLERANCE AND PRODUCES A BETTER STAND K. LOW FERTILITY GRASS, REQUIRES INFREQUENT MOWING, GOOD COMPANION FOR WILDFLOWERS.

PERMANENT SEEDING RATES

LIME RATE FERTILIZER RATE (10-20-20)K20 P205 90LB/AC 175 LB/AC 175 LB/AC 2 TONS/AC (2.0 LB/1000 S.F.) (4.0 LB/1000 S.F.) (4.0 LB/1000 S.F.) (100 LB/1000 S.F.)

FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES THE RATES SHOWN ABOVE FOR PERMANENT SEEDING SHALL BE DELETED AND THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY SHALL BE USED. SOIL TESTING SHALL BE PERFORMED AT THE TIME OF FINE GRADING AND THE RESULTS SHALL BE FURNISHED TO THE SEDIMENT CONTROL INSPECTOR.

Table 26 - Temporary Seeding Rates, Depths, and Dates HARDINESS ZONE

			_									
	MINIMUM SEEDING		PLANTING	HARDINESS ZONES AND SEEDING DATES								
CRECIEC	RATES	9	DEPTH	17	a and 7	b	66			6a and 5b		
SPECIES	PER ACRE	LBS./1000 SQ. FT.	INCHES	2/1- 4/30	5/1 - 8/14	8/15 - 11/30	3/1 - 4/30	5/1 - 8/14	8/15 - 11/15	3/15 - 5/31	6/1- 7/31	8/1 - 10/3
CHOOSE ONE: BARLEY	2.5 B.U. (122 lbs.)	2.80	1-2	х	-	BY 10/15	х	_	BY 10/15	х	-	BY 10/1
oats Rye	3 B.U. (96 lbs.) 2.5 B.U. (140 lbs.)	2.21 3.22	1-2 1-2	X		x	X	, ,	X	X X	1 1	- X
BARLEY OR RYE PLUS FOXTAIL MILLET	150 lbs.	3.45	1	X	X	10/15 X	X	X X	10/15 X	X	X	10/1 X
WEEPING LOVEGRASS	4 lbs.	.09	1/4 - 1/2	'	х	1	1	Х	-	_	х	-
ANNUAL RYEGRASS	50 lbs.	1.115	1/4 - 1/2	х		11/1	x	1	11/1	х	-	<i>8/</i> 15
MILLET	50 lbs.	1.15	1/2		χ	-	-	Х	-	-	Х	-

TEMPORARY SEEDING RATES FERTILIZER RATE LIME RATE

(10-10-10) 600 LB/AC (15 LB/1000 S.F.)

2 TONS/AC (100LB/1000 S.F.)

90

90

145

190

24.0 MATERIALS SPECIFICATIONS <u> Table 27 Geotextile Fabrics</u>

GRAB TENSILE APPARENT **BURST STRENGTH OPENING SIZE** CLASS STRENGTH PSI, MIN. MM. MAX. LB. MIN. Α 0.30 ** 250 500 200 320 0.60 320 C 0.30 200 0.60 145 D 90

0.40-0.80* F (SILT FENCE) * US Std. Sleve CW-02215 ** 0.50 MM. MAX. FOR SUPER SILT FENCE

0.30

The properties shall be determined in accordance with the following procedures:

- Apparent opening size MSMT 323

E

ASTM D 1682: 4 x 8" specimen, 1x2" clamps, 12" /min. strain rate in both

principal directions of geotextile fabric.

ASTM D 3786 -Burst strength

The fabric shall be inert to commonly encountered chemicals and hydrocarbons, and will be rot and mildew resistant. It shall be manufactured from fibers consisting of long chain synthetic polymers, and composed of a minimum of 85% by weight of polyolephins, polyesters, or polymides. The geotextile fabric shall resist

In addition, Classes A through E shall have a 0.01 cm./sec. minimum permeability when tested in accordance with MSMT 507, and an apparent minimum elongation of 20 percent (20%) when tested in accordance with the grab tensile strength requirements listed above.

<u>Silt Fence</u>
Class F geotextile fabrics for silt fence have a 50 b./in. minimum tensile strength and a 20 b./in. minimum tensile modules when tested in accordance with MSMT 509. The material shall also have a 0.3 gal/ft.2/min. flow rate and seventy-five percent (75%) minimum filtering efficiency when tested in accordance

Geotextile fabrics used in the construction of silt fence shall resist deterioration from ultraviolet exposure. The fabric shall contain sufficient amounts of ultraviolet ray inhibitors and stabilizers to provide a minimum of 12 months of expected usable construction life at a temperature range of O to 12O degrees F.

Topsoil - Construction and Material Specifications

IL Topsoll Specifications - Soil to be used as topsoil must meet the following:

I. Topsoll salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoll to be salvaged for a given soil type can be found in the representative soil profile sections in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.

1. Topsoil shall be loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other solls may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse.

 Topsoll must be free of plant parts such as bermuda grass, quackgrass, Johnsongrass, nutsedge, poison Ivy, thistle, or other as specified. III. Where the subsoil is either highly acidle or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

ents, gravel, sticks, roots, trash, or other materials larger than 1 1/2 ° in diameter

III. For sites having disturbed areas under 5 acres:

Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

isipation of phyto-toxic materials

IV. For sites having disturbed areas over 5 acres:

On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:

a. pH for topsoil shall be between 6.0 and 7.0. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be persorbed to raise the pH to 6.5 or higher. b. Organic content of topsoil shall be be not less than 1.5 percent by weight.

c. Topsoil having soluble salt content greater than 500 parts per million shall not be used. d. No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit

Note: Topsoli substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.

II. Place topsoil (If required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

Y. Topsoil Application When topsolling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilizations Structures, Earth Dikes, Slope Silt Fence, and Sediment Traps and Basins.

Grades on the areas to be topsolled, which have been previously established, shall be maintained, aboit 4° - 8" higher in elevation.

iii. Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the

iv. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

VI. Alternative for Permanent Seeding - instead of applying the full amounts of lime and commercial fertilizer, composted sludge and ammendments may be applied as specified below: . Composted Sludge Material for use as a soll conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:

a. Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of aquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.

b. Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use. c. Composted sludge shall be applied at a rate of 1 ton/1,000 square feet

li. Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000

SEDIMENT CONTROL NOTES & DETAILS SHEET REPLACEMENT 12-1-03

Sediment Control Notes

1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES

AND PERMITS. SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1855). 2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT

CONTROL." AND REVISIONS THERETO. 3. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED

A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1,

B) 14 DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE. WITH VOL. I. CHAPTER 7, OF THE "HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE".

5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED IN ACCORDANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOILD EROSION AND SEDIMENT CONTROL" FOR PERMANENT SEEDING, SOD, TEMPORARY SEEDING AND MULCHING (SEC. G). TEMPORARY STABILIZATION WITH MULCH ALONE SHALL ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.

6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

7. SITE ANALYSIS: TOTAL AREA OF SITE: 26.02 ACRES

AREA DISTURBED: 6.81 ACRES

AREA TO BE ROOFED OR PAVED:5.40 ACRES

AREA TO BE VEGETATIVELY STABILIZED: 1.41 ACRES TOTAL CUT: 18,000 C.Y. TOTAL FILL: 15,000 C.Y.

OFFSITE WASTE/BORROW AREA LOCATION: EXCESS CUT SHALL BE TAKEN TO A SITE WITH AN APPROVED SEDIMENT CONTROL PLAN.

AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.

9. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL 10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BEREQUESTED

UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS. BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE. 11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED

> Reviewed for the Howard Conservation District and meets technical requirements DA-NATURAL RESOURCES TO ERVATION SERVICE This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District. ROVED: HOWARD SOIL CONSERVATION DISTRICT APPROVED: Department of Planning and Zoning -, DEVELOPMENT ENGINEERING DIVISION 12/38/03

Approved: For private water and private sewerage systems

Howard County Health Department.

Sediment Control Notes & Details REVISED SITE DEVELOPMENT PLAN **ROUTE 94 BUSINESS CENTER**

LISBON CENTER - PARCELS G AND H Election District #4 Deed Ref: 4467/590 Howard County, Maryland December 1, 2003

Sheet 5 of 11

12-24-63

Matis Warfield

consulting engineers contact: Nick Brader 10540 york road suite m hunt valley, maryland 21030 phone 410-683-7004 facsimile 410-683-1798 www.matiswarfield.com



REVISION PURPOSE STATEMENT

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO REMOVE THE PROPOSED SAND FILTER/TRAP, REVISE THE BUILDING FOOTPRINT, REDUCE THE LIMIT OF DISTURBANCE TO THE EXISTING ENTRANCE ROAD AND MOVE AND RE-SIZE THE WATER STORAGE TANK, THESE CHANGES AFFECT THE SEDIMENT CONTROL NOTES SITE ANALYSIS SHOWN ON THIS SHEET.

Lisbon Plaza, LLC c/o MIE Properties, Inc. 5720 Executive Drive Baltimore, Maryland 21228 (410) 788-0100

OWNER/DEVELOPER

Contact: Ramon Benitez

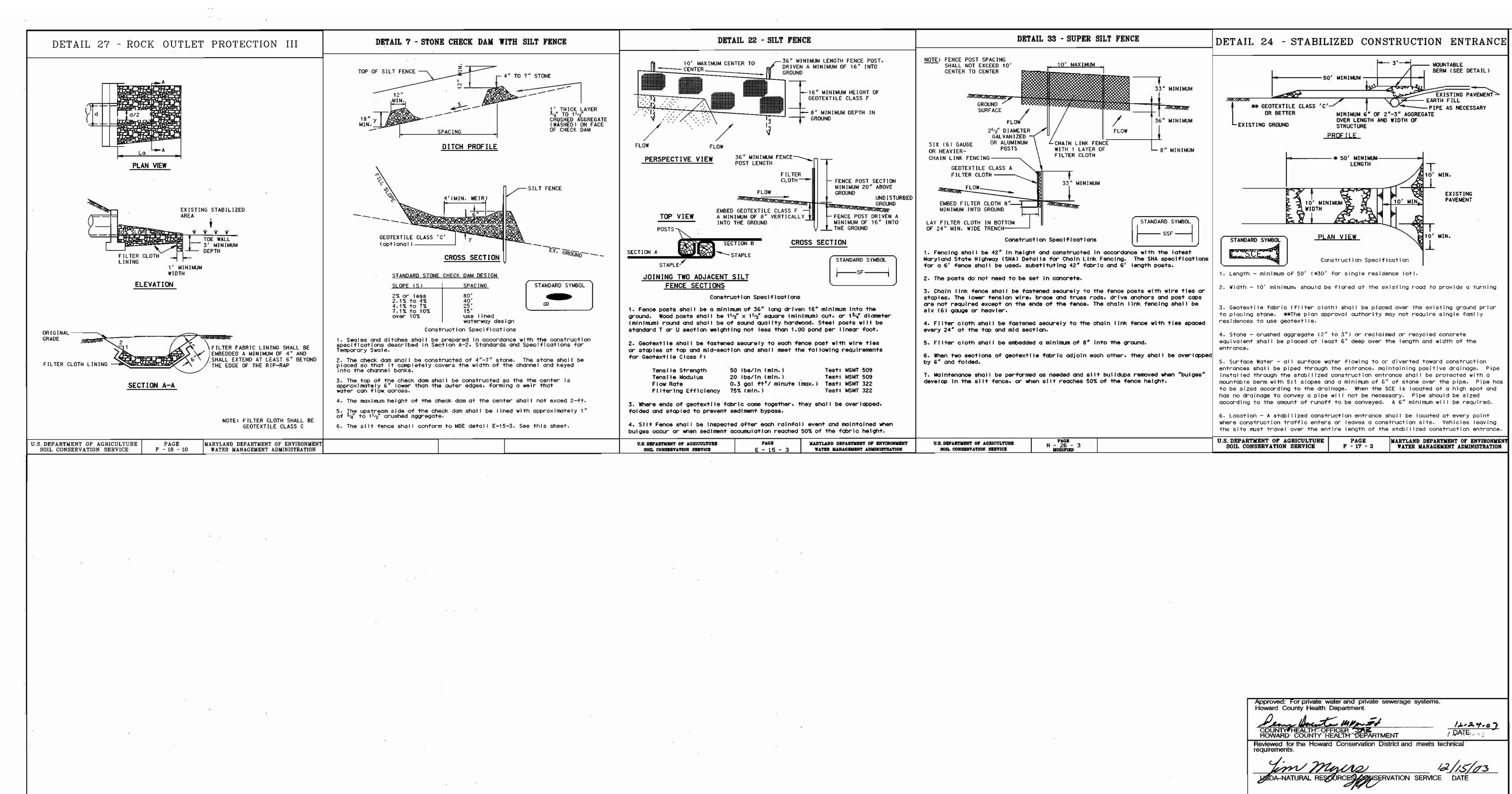
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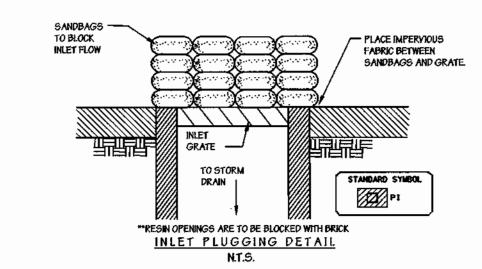
DATE

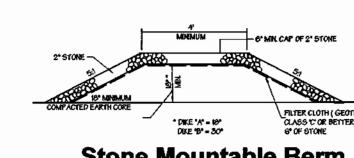
P.N. 200004

Tax Map 2, Grid 24, Parcel 82 Scale: N/A

SDP-02-096







Stone Mountable Berm

Sediment Control Notes & Details

Matis Warfield

consulting engineers

contact: Nick Brader 10540 york road suite m hunt valley, maryland 21030 phone 410-683-7004 facsimile 410-683-1798 www.matiswarfield.com



REVISION PURPOSE STATEMENT

OF DISTURBANCE TO THE EXISTING ENTRANCE ROAD AND MOVE AND RE-SIZE THE WATER STORAGE TANK. THESE CHANGES AFFECT THE SEDIMENT CONTROL DETAILS SHOWN ON THIS SHEET.

Lisbon Plaza, LLC c/o MIE Properties, Inc. 5720 Executive Drive Baltimore, Maryland 21228 (410) 788-0100 Contact: Ramon Benitez

12-1-03 SEDIMENT CONTROL NOTES & DETAILS SHEET REPLACEMENT

REVISED SITE DEVELOPMENT PLAN ROUTE 94 BUSINESS CENTER ISBON CENTER - PARCELS G AND H

Deed Ref: 4467/590 Tax Map 2, Grid 24, Parcel 82

DEVELOPED D.A. TO FACILITY = 2740 FROM SWIM CALCULATIONS DATED MARCH 20, 1987 BY THE RIEMER GROUP, INC.

STORMWATER MANAGEMENT DRAINAGE AREA MAP

SCALE: 1' = 200'

Matis Warfield

consulting engineers

contact: Nick Brader
10540 york road suite m
hunt valley, maryland 21030
phone 410-683-7004
facsimile 410-683-1798
www.matiswarfield.com



REVISION PURPOSE STATEMENT

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO REMOVE THE PROPOSED SAND FILTER/TRAP, REVISE THE BUILDING FOOTPRINT, REDUCE THE LIM OF DISTURBANCE TO THE EXISTING ENTRANCE ROAD AND MOVE AND RE-SIZE THE WATER STORAGE TANK. THESE CHANGES AFFECT THE PROFILES SHOWN ON THIS SHEET.

Lisbon Plaza, LLC
c/o MIE Properties, Inc.
5720 Executive Drive
Baltimore, Maryland 21228
(410) 788-0100
Contact: Ramon Benitez

c. 228 ez

12-1-03 STORMWATER MANAGEMENT DETAILS SHEET REPLACEMENT DATE REVISION

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMWATER PONDS

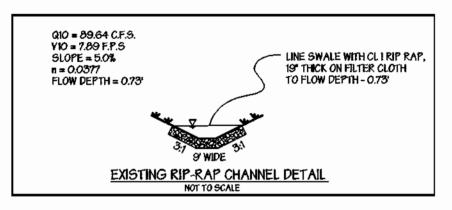
ROUTINE MAINTENANCE

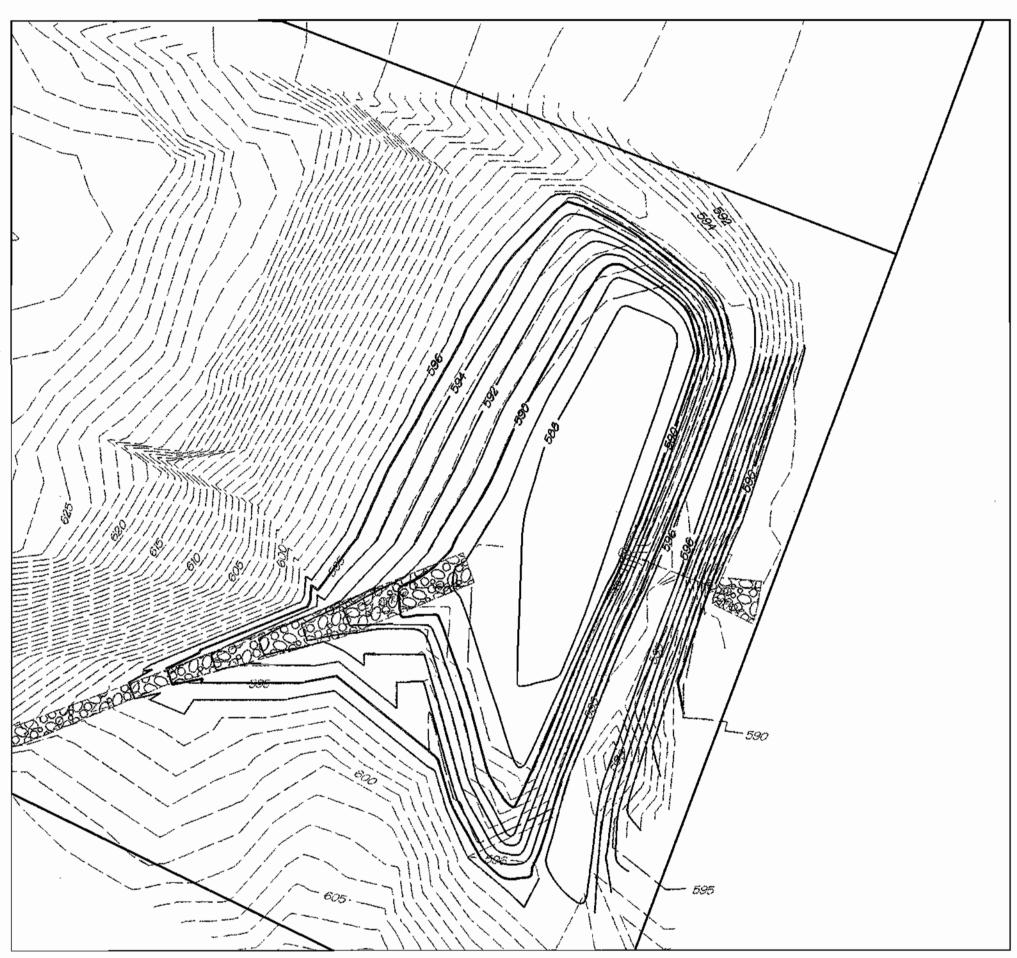
- Facility shall be inspected annually and after major storms. Inspections shall be performed during wet weather to determine if the pond is functioning properly.
- Top and side slopes of the embankment shall be moved a minimum of two (2) times per year, once in June and once in September. Other side slopes and maintenance access shall be moved as needed.
- 3. Debris and litter shall be removed during regular mowing operations and as needed.
- Visible signs of erosion in the pond as well as the rip-rap or gablon outlet area shall be repaired as soon as it is noticed.

NON-ROUTINE MAINTENANCE

 Structural components of the pond such as the dam, the riser, and the pipes shall be repaired upon the detection of any damage. The components shall be inspected during routine maintenance operations.

Sediment shall be removed from the pond, and forebay, no later than when the capacity of the pond, or forebay, is half full of sediment, or, when deemed necessary for aesthetic reasons, upon approval from the Department of Public Works.





DETAIL FOR RESTORING EXISTING FACILITY TO AS-BUILT GRADES

\L.	1 - 50
	Approved: For private water and private sewerage systems. Howard County Health Department.
	Pen Boute Mr. 31
	COUNTY HEALTH OFFICER TAS DATE HOWARD COUNTY HEALTH DEPARTMENT
	Reviewed for the Howard Conservation District and meets technical requirements.
	USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE
	USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE
	This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.
	Jahn R Rebutson 12/15/03
	APPROVED: HOWARD SOIL CONSERVATION DISTRICT
	APPROVED: Department of Planning and Zoning
	Managemen 2/8/0
	CHIEF SEAS ORACHT ENGINEEDING DIVISION A DATE

AFFROVED. Department of Flaming and Zoning		
CHIEF, DEVELOPMENT ENGINEERING DIVISION		DATE
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Met Siellust for CH DIVISION OF LAND DEVELOPMENT		JAZ DATE
DIVISION OF LAND DEVELOPMENT	-	DATE

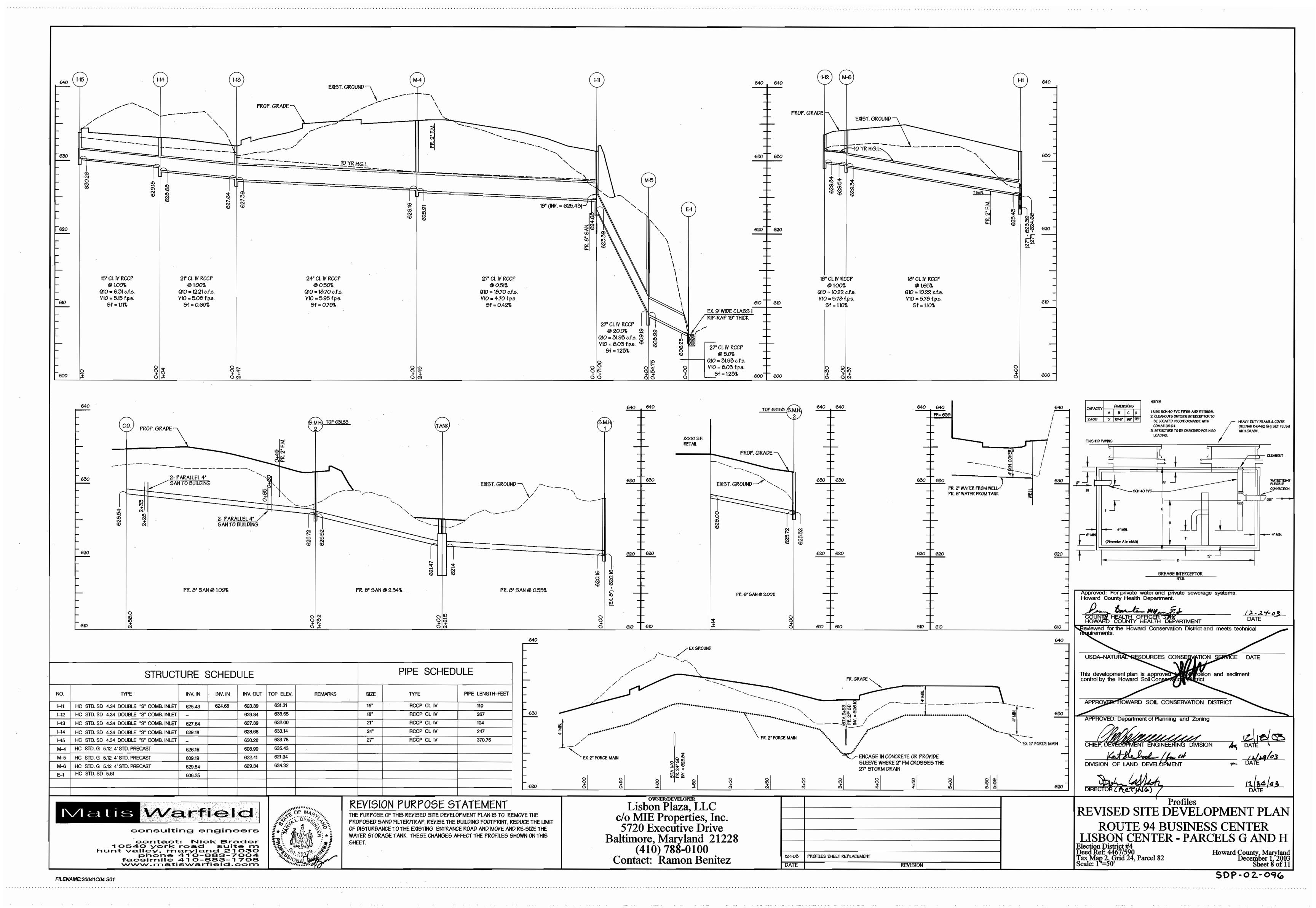
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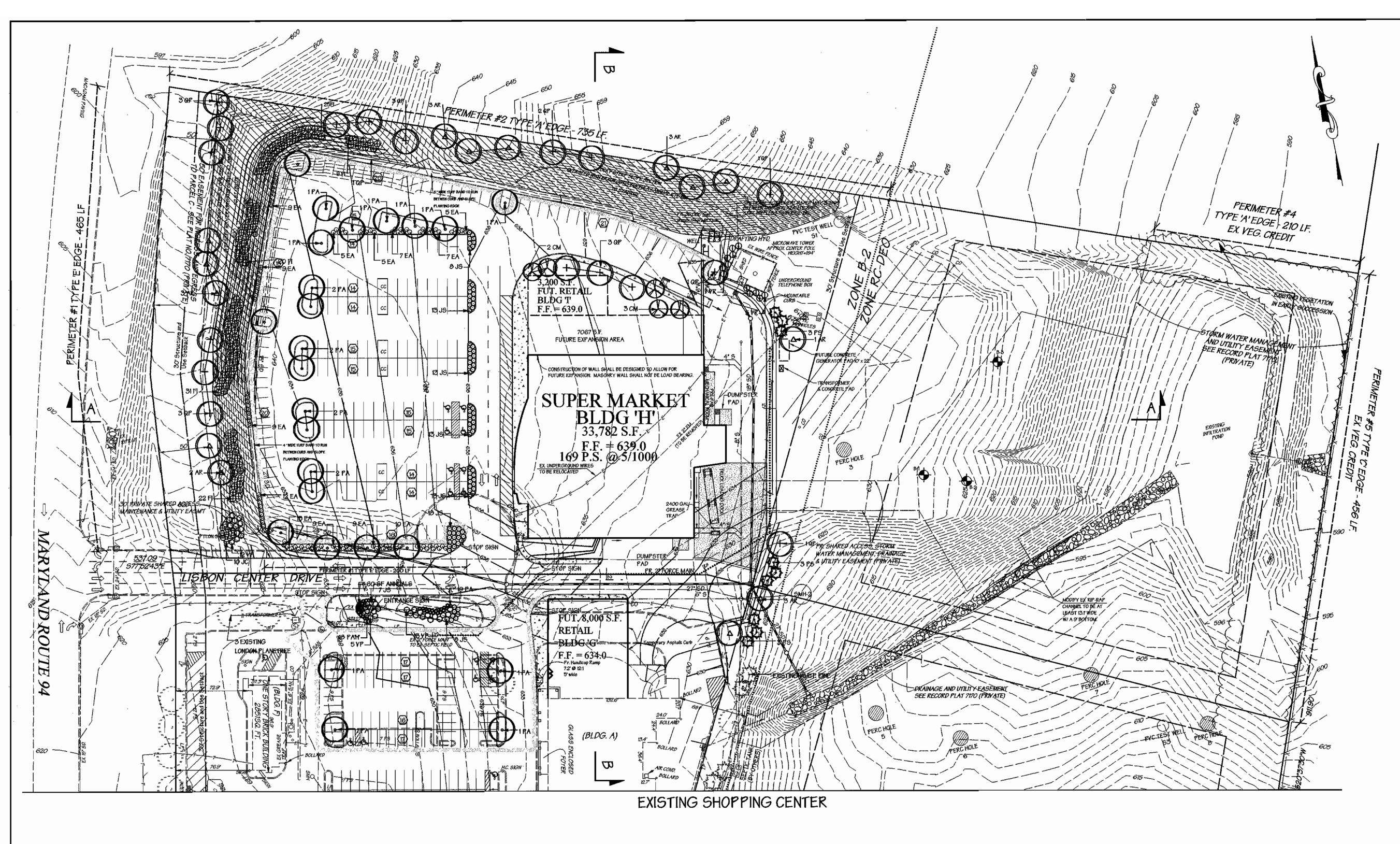
Stormwater Management Details
REVISED SITE DEVELOPMENT PLAN
ROUTE 94 BUSINESS CENTER
LISBON CENTER- PARCELS G AND H

Election District #4
Deed Ref: 4467/590
Tax Man 2. Grid 24. Parcel 82

December 1, 20 Sheet 7 of

DP-02-096





SCHEDULE A PERIMETER LANDSCAPE EDGE

	MINICI EN DIIIDOO				
Category		ent to ways	Adjace Perimeter		
Perimeter Number	1	6	2&4	5	
Landscape Type	'E'	Æ.	, V ,	ሪ	
Linear Feet of Roadway Frontage/Perimeter	465 LF.	200 LF.	945 LF.	456 LF.	
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	NO	NO	YES 210 LF. 'SEE BELOW'	YES 456 LF. 'SEE BELOW'	
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	NO	NO	NO	NO	
Number of Plants Required Shade Trees Evergreen Trees Shrubs	12	5 50	12		
Number of Plants Provided Shade Trees Evergreen Trees Other Trees (2:1 substitution)	11	4	12		
Shrubs (10:1 substitution) (Describe plant substitution credits below if needed)	131 10+ Extra Shrubs = 1 Tree	61 10+ Extra Shrubs = 1 Tree	See Below	Sec Below	

Comments: Perimeter edge #4 and #5 are a minimum of 400' from the rear of the proposed building. There is an existing storm water management 'Wet Pond' between the proposed development and property line, which is surrounded by vegetation in early succession. We feel that adequate screening is provided by the existing vegetation.

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

Number of Parking Spaces	305
Number of Trees Required	15
Number of Trees Provided Shade Trees Other Trees (2:1 substitution)	23 10 Shrubs For 1 Shade Tree
Internal Islands Required	15
Internal Islands Provided (Min. 200 Sf.)	15

LEGEND

PROPERTY LINE	
EXISTING CONTOURS	270
PROPOSED CONTOURS	270
EXISTING WATER	
EXISTING STORM DRAIN	
EXISTING SANITARY	
PROPOSED STORM DRAIN	
PROPOSED SANITARY	
PROPOSED WATER	
EXISTING CURB AND GUTTER	
PROPOSED CURB AND GUTTER	
EX. DOUBLE PARKING LOT LIGHT	
EX. SINGLE PARKING LOT LIGHT	•—□
BG & E POLE	Ø
P-2 PAYING	
P-3 PAYING	

APPROVED: Department of Planning and Zoning

REVISION PURPOSE STATEMENT

WATER STORAGE TANK.

Matis Warfield

consulting engineers contact: Nick Brader
10540 york road suite m
hunt valley, maryland 21030
phone 410-683-7004
facsimile 410-683-1798
www.matiswarfield.com

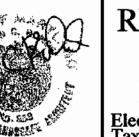
PROPOSED SAND FILTER/TRAP, REVISE THE BUILDING FOOTPRINT, REDUCE THE LIMIT OF DISTURBANCE TO THE EXISTING ENTRANCE ROAD AND MOVE AND RE-SIZE THE

> HUMAN & ROHDE, INC. LANDSCAPE ARCHITECTS

512 YIRGINIA AVENUE TOWSON, MARYLAND 21286 410 825 3885

OWNER/DEVELOPER Lisbon Plaza, LLC c/o MIE Properties, Inc. 5720 Executive Drive Baltimore, Maryland 21228 (410) 788-0100

		A CONTRACTOR
		SAN
12-1-03	LANDSCAPE PLAN SHEET REPLACEMENT	
DATE	REVISION	



LANDSCAPE PLAN REVISED SITE DEVELOPMENT PLAN **ROUTE 94 BUSINESS CENTER** LISBON CENTER - PARCELS G & H

SDP-02-096

SPECIFICATIONS FOR PLANTING

1 ALL PLANT MATERIAL, CONSTRUCTION METHODS AND MATERIAL PLACEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF "AMERICAN STANDARD FOR NURSERY STOCK," AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., THE "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS."

2. ALL TREES SHALL BE DELIVERED TO THE SITE BALLED AND BURLAPPED, ALL SHRUBS SHALL BE BALLED AND BURLAPPED OR EN CONTAINERS. ALL GRASSES & PERENNIALS SHALL BE IN CONTAINERS. B. MAINTENANCE:

1 AFTER THE PLANTING HAS BEEN APPROVED BY THE LANDSCAPE ARCHITECT AND THE OWNER, THE MAINTENANCE O WATERING AND WEEDING OF SUCH PLANTS AND PLANTED AREAS SHALL BE PROVIDED BY THE OWNER. SINCE THE PLANTS ARE TO BE GUARANTEED BY THE CONTRACTOR, THE CONTRACTOR SHALL PERIODICALLY CHECK THE MAINTENANCE CONDUCTED BY THE OWNER. IF THE CONTRACTOR IS NOT SATISFIED WITH THE MAINTENANCE OF THE PLANTS, A WRITTEN REPORT, IN TRIPLICATE, STATING APPROPRIATE CHANGES SHALL BE GIVEN IMMEDIATELY TO THE LANDSCAPE ARCHITECT: TWO COPIES WILL BE FORWARDED TO THE OWNER, BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING.

2. MAINTAIN TREES UNTIL FINAL ACCEPTANCE, BUT IN NO CASE, LESS THAN 60 DAYS AFTER FINAL ACCEPTANCE OF PLANTING, MAINTAIN ALL PLANTS BY PRUMING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS, TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED, RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY AS REQUIRED TO KEEP ALL PLANTS FREE OF INSECTS AND DISEASE.

C. WATERING

1. IN THE ABSENCE OF ADEQUATE RAINFALL, WATERING SHALL BE PERFORMED DAILY OR AS OFTEN AS NECESSARY DURING THE FIRST WEEK AND IN SUFFICIENT QUANTITIES TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATERING SHALL NOT BE DONE DURING THE HEAT OF THE DAY, CONTRACTOR SHALL PROVIDE A SEPARATE LUMP SUM PRICE IN THE OVERALL LANDSCAPE BID FOR WATERING TO ALL NEW PLANTINGS DURING ONE GROWING SEASON.

D. EXCAVATION:

1. DEPTH AND WIDTH OF EXCAYATION FOR PLANTING OF ALL PLANTS SHALL BE TO TWICE THE DEPTH AND WIDTH OF ROOT BALL OR CONTAINER OF PLANT TO BE INSTALLED, EXCEPT AS NOTED ON DETAILS.

E. TOPSOIL, PLANTING MIX, AND MULCH

1. ALL TOPSOR SHALL BE WELL GRADED LOAM OF GOOD UNIFORM QUALITY AND SHALL BE A NATURAL FRIABLE SOIL FREE OF OBJECTS LARGER THAN ONE BUCH IN ANY DIMENSION, AND FREE OF TOXIC SUBSTANCES, WEEDS AND ANY MATERIAL OR SUBSTANCES THAT MAY BE HARMFUL TO PLANT GROWTH. TOPSOL SHALL CONTAIN AT LEAST 1/3 ORGANIC MATTER. IF SUFFICIENT TOPSOIL IS NOT AVAILABLE ON THE SITE TO MEET THE PEPTH AS SPECIFIED HEREIN, THE CONTRACTOR SHALL FURNISH ADDITIONAL TOPSOIL PRIOR TO TOPSOIL DELIVERY, THE CONTRACTOR SHALL OBTAIN THE LANDSCAPE ARCHITECT'S

2. FOR PLANTING MIX, MIX THOROUGHLY 2/3 EXISTING SOIL AND 1/3 LEAF MOLD OR EQUAL ORGANIC MATTER

3. MULCH MATERIAL SHALL BE OF UNIFORM SIZE, FINE MULCH SHALL BE A REDDISH DARK BROWN COLOR AND SHALL BE LAID TO A UNIFORM MINIMUM DEPTH OF 2 INCHES, MULCH AREAS AROUND TREES AT THE RATE OF " OF DIAMETER PER OF TRUNK

1. IF A PLANT IS FOUND NOT TO BE SUITABLE OR AVAILABLE, THE LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE BIDDING, THE OWNER OR LANDSCAPE ARCHITECT WILL THEN SELECT A REASONABLE ALTERNATE OR INFORM ALL LANDSCAPE CONTRACTORS OF THE AVAILABILITY OF THE ORIGINAL PLANT.

G. PRUNING, CLEANUP, PROTECTION OF EXISTING MATERIALS AND RESTORATION:

1 THE CONTRACTOR SHALL PRUNE PLANT MATERIAL WITHIN TWO (2) DAYS OF INSTALLATION IN ACCORDANCE WITH THE DETAILS AND AS DIRECTED BY THE OWNER'S REPRESENTATIVE.

2. DURING COURSE OF PLANTING, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY AND PROMPTLY REMOVED. LAWN AREAS KEPT CLEAR, AND ALL REASONABLE PRECAUTIONS TAKEN TO AVOID DAMAGE TO ANY EXISTING LAWNS, PAYING. ETC, NOT SCHEDULED FOR REMOVAL, WHEN PLANTING IN AN AREA HAS BEEN COMPLETED. THE AREA SHALL BE CLEANED UP THOROUGHLY. DEBRIS, RUBBISH, SUBSOIL AND WASTE MATERIALS SHALL BE CLEANED UP AND REMOVED FROM THE PROPERTY, EXISTING GRASS AREAS WHICH HAVE BEEN INJURED BY THE WORK SHALL BE REGRADED AND SODDED TO MATCH THE EXISTING LAWN: THE ENTIRE AREA SHALL BE NEAT AND CLEAN TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.

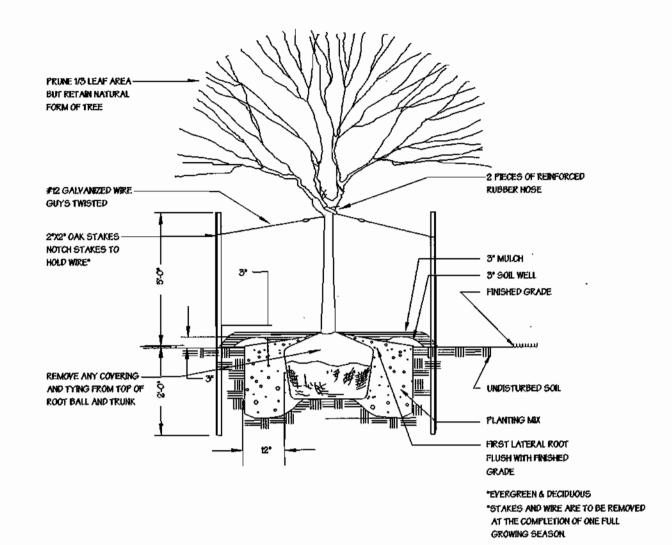
3. CONTRACTOR SHALL, AT ALL TIMES, PROTECT ALL PLANTS AND LAWNS FROM DAMAGE. THE MOYING OF HEAVY EQUIPMENT OF MATERIAL OVER THE LAWN AREAS SHALL BE DONE ON PLANKS OR

4. THE CONTRACTOR SHALL RESTORE TO THEIR ORIGINAL CONDITION ALL PAYEMENTS, SODDED OR PLANTED AREAS. STRUCTURES OR SUBSTRUCTURES, NOT SCHEDULED FOR REMOVAL, WHICH ARE DISTURBED BY THE CONTRACTOR DURING PLANTING OPERATIONS. SUCH RESTORATION SHALL BE IN A MANNER SATISFACTORY TO THE LANDSCAPE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.

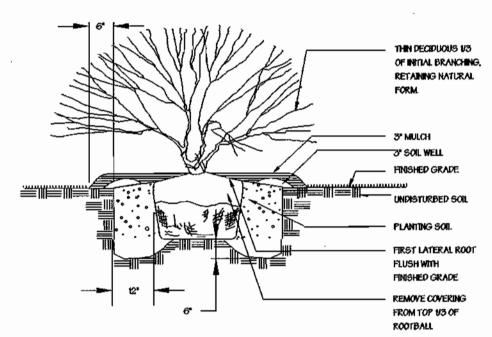
H. FINAL INSPECTION AND GUARANTEE:

1. AFTER PLANTING IS COMPLETED (INCLUDING MULCHING AND CLEAN-UP) THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING TO REQUEST FINAL INSPECTION OF THE TOTAL PLANTING, THE LANDSCAPE ARCHITECT SHALL MAKE A FINAL INSPECTION VISIT AS SOON AS POSSIBLE. LANDSCAPE ARCHITECT SHALL NOTIFY THE LANDSCAPE CONTRACTOR, IN WRITING, WHEN ALL WORK IS SATISFACTORILY COMPLETE. IF WORK IS NOT SATISFACTORILY COMPLETE, THE LANDSCAPE ARCHITECT WILL NOTIFY THE LANDSCAPE CONTRACTOR, IN WRITING. AS TO THE DEFICIENCIES IN THE WORK AND THE NECESSARY CORRECTIVE MEASURES. THE LANDSCAPE CONTRACTOR WILL BE GIVEN A REASONABLE AMOUNT OF TIME TO CORRECT THE DEFICIENCIES, AND ANOTHER FINAL INSPECTION WILL BE SCHEDULED BY THE LANDSCAPE ARCHITECT.

2. ALL PLANT MATERIAL AND LAWN AREAS SHALL BE GUARANTEED TO BE IN A VIGOROUS GROWING CONDITION ONE YEAR FROM THE DATE OF FINAL INSPECTION AND ACCEPTANCE AT THE TERMINATION OF THIS PERIOD, THE CONTRACTOR SHALL HAVE COMPLETED THE PRECEDING MAINTENANCE SCHEDULE. ANY PLANTS INFECTED WITH DISEASE OR INSECTS WILL BE REMOVED OR TREATED. ALL DEAD OR UNACCEPTABLE PLANTS WILL BE REPLACED BY THE SAME PLANTS AND SIZES DESIGNATED ON THE PLANT LIST. THESE PLANTS SHALL BE PLANTED, MULCHED AND GUY AS SPECIFIED HEREIN AND WITHOUT EXTRA COMPENSATION TO THE CONTRACTOR. AT THE COMPLETION OF ALL SUCH WORK IND WITH THE APPROVAL OF THE LANDSCAP CONTRACT WILL BE CONSIDERED COMPLETE.

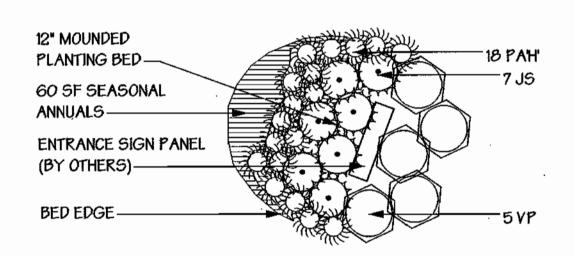


PLANTING DETAIL FOR TREES* - 1 - 4" CALIPER



PLANTING DETAIL FOR EVERGREEN AND DECIDUOUS SHRUBS

NOT TO SCALE



ENTRANCE SIGN PLANTING DETAIL 1'' = 10'

LANDSCAPE SURETY NOTE:

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JS 🧿

EA Q

P۸

PLANT LIST

QUANTITY

107

109

109

BOTANICAL NAME

COMMON NAME

QUERCUS PALUSTRIS

ACER RUBRUM RED SUNSET

RED SUNSET RED MAPLE

PIN OAK

CORNUS MAS

CONELIAN CHERRY

EASTERN WHITE PINE

SHASTA YIBURNUM

VIBURNUM RHYTIDOPHYLLUM 'ALLEGHANY'

FORSYTHIA X INTERMEDIA 'LYNWOOD GOLD'

JUNIPERUS CHINENSIS 'PFITZERIANA AUREA'

ALLEGHANY LEATHERLEAF YIBURNUM

VIBURNUM PLICATUM 'SHASTA'

LYNWOOD GOLD FORSYTHIA

GOLDEN TIP PFITZER JUNIPER

JUNIPERUS SABINA BUFFALO

EUONYMUS ELATUS 'COMPACTA'

PENNISETUM ALOPECUROIDES

PENNISETUM ALOPECUROIDES HAMELN

HAMELN DWARF FOUNTAIN GRASS

BUFFALO JUNIPER

FOUNTAIN GRASS

SEASONAL ANNUALS

VINCA/PANSIES

\$<u>24,930</u>

DWARF BURNING BUSH

PINUS STROBUS

PLATANUS ACERIFOLIA 'BLOODGOOD'

BLOODGOOD LONDON PLANETREE

FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF:

(58) SHADE TREES @ \$300 EACH = (17) EVERGREEN TREES @ \$150 = \$<u>2,550</u> \$<u>4,980</u> (166) SHRUBS @ \$30 EACH=

THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND

BERMS, FENCES AND WALLLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING

SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

PLANTING NOTES:

1. This Plan is for planting purposes only.

2. This Plan has been prepared in accordance with the provisions of section 16.124 of the Howard County Code and the Landscape Manual.

3. All plant material shall be nursery grown and shall conform to American Association of Nurserymen latest standards. Plant installation must conform to the minimum standards cited in the latest edition of the "LANDSCAPE SPECIFICATION GUIDELINES" by the Landscape Contractor's Association.

4. Contractor is to notify Miss Utility a minimum of 72 hours prior to digging. Telephone 1-800-257-7777

5. The Landscape Architect is to be notified 48 hours before planting begins. The location of all plant material is to be approved in field by the Landscape Architect.

6. No tree or shrub planting pits are to be left open or unattended.

7. Shrubs are to be grouped into mulched beds. Beds are to be edged and the grass Is to be killed or removed prior to mulching.

DEVELOPER'S / BUILDER'S CERTIFICATE

I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. 1/We further certify that upon completion, a Certification of Landscape installation, accompanied by an executed one year guarantee of plant materials, will be submitted to

APPROVED: Department of Planning and Zoning

REVISION PURPOSE STATEMENT

CONDITION

B&B

B&B

В&В

В&В

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B&B

B&B

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CONTAINER

CONTAINER

CONTAINER

CONTAINER

CONTAINER

THIS SHEET.

21/2-3" CAL

21/2 CAL.

21/2-3° CAL.

1*3/4*-2" CAL.

30-36" HT.

30-36" HT.

30-36" HT.

24-30" SPD.

18-24" SPD.

30-36° HT.

3 GAL.

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO REMOVE THE PROPOSED SAND FILTER/TRAP, REVISE THE BUILDING FOOTPRINT, REDUCE THE LIMIT OF DISTURBANCE TO THE EXISTING ENTRANCE ROAD AND MOVE AND RE-SIZE THE WATER STORAGE TANK. THESE CHANGES AFFECT THE PLANT LIST QUANTITIES ON

REMARKS

57 ACE 10' O.C.

SPACE 6' O.C.

SPACE 5' O.C.

SPACE 5' O.C.

SPACE 5' O.C.

SPACE 4' O.C.

SPACE 4' O.C.

SPACE 3' O.C.

SPACE 2.5' O.C.

BY OTHERS

LANDSCAPE PLAN REVISED SITE DEVELOPMENT PLAN

12/32/03

ROUTE 94 BUSINESS CENTER LISBON CENTER- PARCELS G & H

Election District #4
Tax Map 2, Grid 24, Parcels G & H
Scale: 1"=50'

SDP-02-096

Matis Warfield

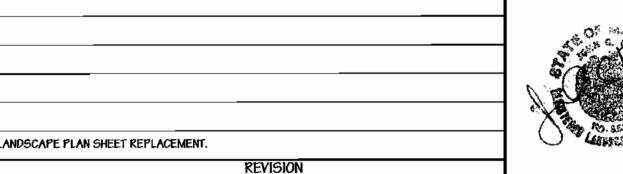
HUMAN & ROHDE, INC. LANDSCAPE ARCHITECTS

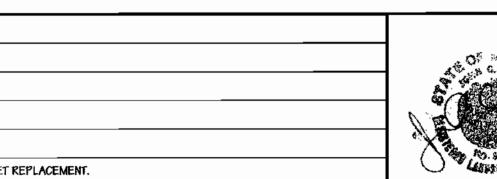
> 512 YIRGINIA AVENUE TOWSON, MARYLAND 21286 410 825 3885

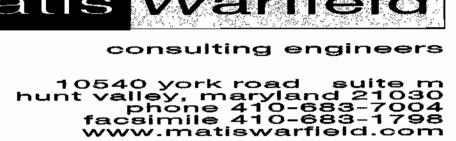
OWNER/DEVELOPER Lisbon Plaza, LLC

12-1-03

c/o MIE Properties, Inc. 5720 Executive Drive Baltimore, Maryland 21228 (410) 788-0100







							·				
	Euminaire Schedule										
Project: All Projects											
	Symbol Qty Label		Arrangement	Lumens	LLF	Description					
		4	02 ·	SINGLE	110000	0.720	Single Area Square - 1000w MH				
	+	5	04	BACK-BACK	110000	0.720	Back-toBack Area Square - 1000				
-		3	05	3 @ 90 PEGREES	110000	0.750	Triple Area Square - 1000w MH				
		3	08	SINGLE	32000	0.720	Single Area Square - 400w MH (at rear of bidg)				

	Numeric Summary - Basic							
Project: All Projects								
	Label	СаісТуре	Units	Avg	Max	Min	Avg/Min	Max/Min
	PARKING-AREA	Illuminance	Fc	9.56	19.2	3.3	2.90	5. <i>8</i> 2
	Rear	Illuminance	Fc	2.80	8.9	0.1	28.00	89.00

Project: All Projects						
s eqN o	Label	x .	Υ	Z	Ortent	Tilt
59	<i>Q</i> 5	1293361.	613240.6	35	0	o
65	05	1293361.	613365.2	35	0	0
67	05	1293361.	613493.0	35	0	0
140	04	1293461.	613461.5	35	180	o
144	02	1293190.	613556.8	35	304.215	0
145	02	1293160.	613402.2	35	354.471	0
156	Q4	1293238.	613495.8	35	90	0
157	02	1293174.	613195.8	3 5	46.641	o
159	04	1293238.	613366.9	35	90	o
162	04	1293236.	613242.8	35	90	0
163	04	1293541.	613433.0	35	336.09	0
165	02	1293201.	613304.7	35	180	0
169	08	1293601.	613362.6	20	0	0
170	08	1293589.	613239.6	20	0	0
171	08	1293613.	613314.2	20	0	0

