

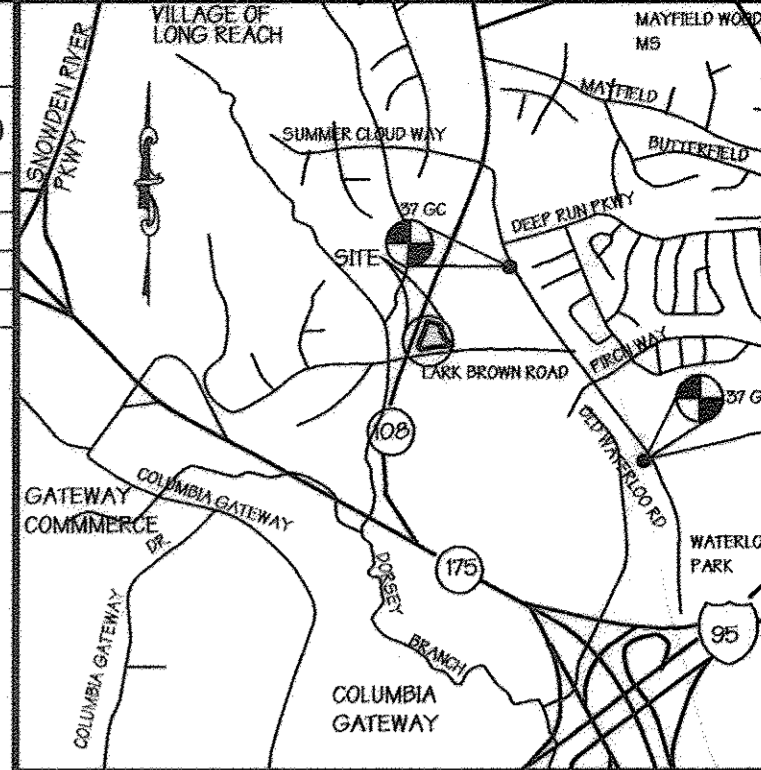
General Notes

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY, PLUS MSHA STANDARDS AND SPECIFICATION IF APPLICABLE OR AS SPECIFIED.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE BASED SOLELY ON AVAILABLE RECORDS. CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITIES WHICH MAY BE IMPACTED BY THE WORK. MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTORS OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK. THESE TESTS SHALL VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
- THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE, AND SHALL CONTACT THE CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST 24 HOURS IN ADVANCE OF COMMENCEMENT OF WORK. ANY DAMAGE CAUSED BY THE CONTRACTOR TO EXISTING PUBLIC RIGHT-OF-WAY, EXISTING PAVING, EXISTING CURB AND GUTTER, EXISTING UTILITIES, ETC. SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM A FIELD RUN SURVEY WITH A MAXIMUM OF 2' CONTOUR INTERVALS PREPARED BY LEO.W. RADER, JAN. 2002.
- PUBLIC WATER AND SEWER PROVIDED BY CONTRACT NUMBER 671-W & 20-1264.
- ALL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AND DETERMINED AND VERIFIED IN ACCORDANCE WITH AASHTO T-180, OR AS SPECIFIED BY GEOTECHNICAL ENGINEER.
- THERE ARE NO WETLANDS, FLOODPLAIN, OR STREAMS ON THIS SITE.
- OPERATING EXISTING VALVES, SWITCHES, SERVICES OR START UP OF NEW SERVICES SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE.
- TRENCH COMPACTION FOR STORM DRAINS WITHIN THE ROAD OR STREET RIGHT OF WAY LIMITS SHALL BE IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL IV, STD. NO. G-2.01.
- UNLESS OTHERWISE NOTED, DIMENSIONS FROM CURB ARE MEASURED FROM FACE.
- THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL WATER, SEWER, AND DRAIN HOUSE CONNECTIONS WITH THE MECHANICAL DRAWINGS.
- THE CONTRACTOR SHALL MAINTAIN 2.0 FEET MINIMUM PROTECTIVE COVER OVER ALL UTILITIES DURING CONSTRUCTION.
- THERE ARE NO KNOWN CEMETERIES OR BURIAL GROUNDS ON THIS SITE. HOWEVER, IF ANY EVIDENCE OF BURIAL OR GRAVES, THE DEVELOPER WILL BE SUBJECT TO SECTION 16.1305 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- ALL SLOPES 3:1 OR GREATER, EXCEPT THOSE ASSOCIATED WITH LANDSCAPE BERMING, SHALL BE MONITORED DURING PLACEMENT BY THE PROJECT GEOTECHNICAL ENGINEER.
- PAVING MARKINGS TO BE "TRAFFIC WHITE"
- CONTRACTOR SHALL MAINTAIN A MINIMUM 2 FOOT BENCH BEHIND CURB AND GUTTER IN FILL AREAS.
- ALL FIRE LINE PIPING SHALL MEET THE REQUIREMENTS OF THE NFPA PIPE LISTED IN APPROVED AND MEET THE AWMA STANDARDS FOR FIRE PROTECTION USE. FITTINGS SHALL HAVE PRESSURE CLASS RATINGS COMPATIBLE WITH WITH THE PIPE USED.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4 FEET OF COVER OVER THE PRIVATE WATER MAIN SHOWN HEREON UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE ALL CRIMPS OR VERTICAL BENDS NECESSARY TO MAINTAIN CLEARANCES WITH OTHER UTILITIES.
- THE CONTRACTOR SHALL INSPECT THE SITE TO DETERMINE IF ANY TREES, PAVING OR STRUCTURES ARE TO BE REMOVED, PRIOR TO PLACING A BID ON THOSE ITEMS. THE CONTRACTOR SHALL CLEAR THE CONSTRUCTION AREA OF ALL EXISTING TREES, PAVING, STRUCTURES, ETC., UNLESS NOTED ON PLAN.
- THE SUBJECT PROPERTY IS ZONED B-1.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$14,940.00.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLAN COORDINATE SYSTEM, HOWARD COUNTY CONTROL STATIONS NOS. 2445004 AND 2445005 WERE USED FOR THIS PROJECT.
- ALL EXTERIOR LIGHTING SHALL COMPLY WITH ZONING REGULATIONS SECTION 134.
- NO CHANGE-IN-USE IS PERMITTED FROM THE LISTED USES AND AREA ASSIGNED TO EACH USE UNLESS SUFFICIENT PARKING IS PROVIDED AND DELINEATED ON THIS PLAN.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST (5) WORKING DAYS PRIOR TO START OF WORK.
- FOR WORK ZONE TRAFFIC CONTROL NOTES SEE STANDARD NO. MD.10-01
- ALL EXISTING PAVEMENT MARKINGS THAT ARE IN CONFLICT WITH PROPOSED PAVEMENT MARKINGS SHALL BE REMOVED BY GRINDING.
- ALL PAVING TO BE STANDARD HOWARD COUNTY SECTION P-2 EXCEPT FOR ROAD WIDENING ALONG MD RTE 108. SEE DETAIL SHEET 3.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY "TRAFFIC CONCEPTS INC.", DATE: JULY 1, 2002, AND WAS APPROVED ON JULY 17, 2002.
- FOREST CONSERVATION NOTE: THE PORTION OF THE LIMIT OF DISTURBANCE (LOD) OCCURRING IN AREAS COVERED BY SDP 88-208 (0.50 AC, WHICH WAS THE LOD FOR THAT PLAN) AND SDP 02-52 (0.30 AC, WHICH WAS ACCOUNTED FOR AS A PART OF THAT PLAN) CAN BE DEDUCTED FROM THE GROSS TRACT AREA TO DETERMINE THE NET TRACT AREA FOR THE PURPOSES OF THE FOREST CONSERVATION CALCULATIONS. RESULTS IN A NET TRACT AREA OF 0.50 AC. THE REFORESTATION REQUIREMENT OF 0.27 ACRES HAS BEEN MET BY PAYMENT OF A FEE IN LIEU INTO THE HOWARD COUNTY FOREST CONSERVATION FUND. THE AMOUNT OF THE FEE PAYMENT WAS \$5,880.00.
- THE PERMIT APPLICATION DEADLINE FOR THE RE-LINED REVISION OF THE SDP FOR CONSTRUCTION OF THE ATM STRUCTURE AND CONCRETE PAD SHALL BE ONE YEAR FROM DEP'S LETTER OF APPROVAL OF THE RE-LINE.
- ON MAY 11, 2017, THE HOWARD COUNTY BOARD OF APPEALS ORDERED THAT THE PETITION OF TWO FARMS, INC. FOR A CONDITIONAL USE FOR A MOTOR VEHICLE FUELING FACILITY IN A B-2 BUSINESS GENERAL ZONING DISTRICT BE GRANTED. PLEASE REFER TO BA-14-022C SUBJECT TO WAIVER PETITION WP 02-94 SEC. 16.119(1) TO ALLOW DIRECT ACCESS TO PRINCIPAL ARTERIAL AND MINOR ARTERIAL HIGHWAYS. APPROVAL GRANTED: APRIL 11, 1990
- SUBJECT TO WAIVER PETITION WP 02-94 SEC. 16.119(1) TO ALLOW DIRECT ACCESS TO PRINCIPAL ARTERIAL HIGHWAYS. APPROVAL GRANTED: MAY 8, 2002

STORMWATER MANAGEMENT SUMMARY TABLE

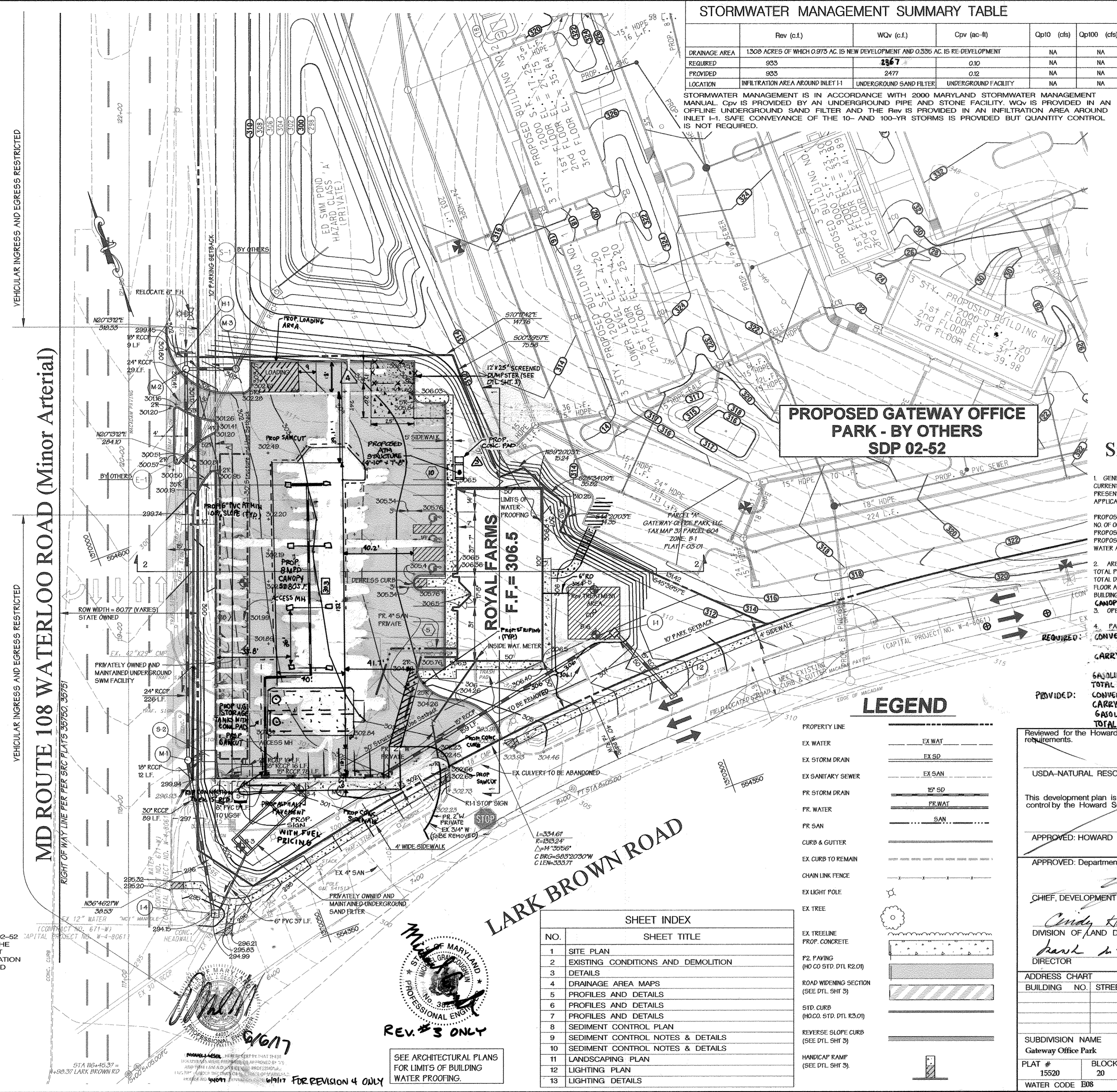
	Rev (c.1)	WCv (c.1)	Cpv (ac-ft)	Qp10 (cfs)	Qp100 (cfs)
DRAINAGE AREA	13008 ACRES OF WHICH 0.975 AC IS NEW DEVELOPMENT AND 0.236 AC IS RE-DEVELOPMENT			NA	NA
REQUIRED	935	2477	0.10	NA	NA
PROVIDED	935	2477	0.12	NA	NA
LOCATION	INFILTRATION AREA AROUND INLET 1	UNDERGROUND SAND FILTER	UNDERGROUND FACILITY	NA	NA

STORMWATER MANAGEMENT IS IN ACCORDANCE WITH 2000 MARYLAND STORMWATER MANAGEMENT MANUAL. CVP IS PROVIDED BY AN UNDERGROUND PIPE AND STONE FACILITY. WQS PROVIDED IN AN OFFLINE UNDERGROUND SAND FILTER AND THE RW IS PROVIDED IN AN INFILTRATION AREA AROUND INLET 1-1. SAFE CONVEYANCE OF THE 10- AND 100-YR STORMS IS PROVIDED BUT QUANTITY CONTROL IS NOT REQUIRED.



VICINITY MAP
SCALE: 1" = 2000'

- FOR TITLE, SEE LIBER 1798, FOLIO 42
- THE COORDINATES AND BEARINGS SHOWN HEREON ARE REFERRED TO THE MD STATE PLANE COORDINATE SYSTEM (NAD83), USING HOWARD COUNTY CONTROL STATION 3762SP FOR POSITION (N563257.204-11372353.606) AND STATION 3762C FOR POSITION (N5628250.791-11370346.348)
- THE ELEVATIONS SHOWN HEREON ARE REFERRED TO THE NORTH AMERICAN VERTICAL DATUM (NAVDS9), USING HOWARD COUNTY CONTROL STATION 3762P FOR BENCH MARK (ELEV=280.951 FEET)



PROPOSED GATEWAY OFFICE PARK - BY OTHERS
SDP 02-52

Site Analysis Data Chart

1. GENERAL SITE DATA	15520
CURRENT PLAN REFERENCE	0-2
APPLICABLE DPZ FILE REFERENCES	SDP 88-208, SDP 02-52, F-03-001
PROPOSED USE	WP 80-104, WP 02-94, BA-14-022C
NO. OF OCCUPANTS	5,000 S.F. CONVENIENCE STORE
PROPOSED WATER	NA WITH 24 SEAT CARRY-OUT
PROPOSED SEWER	PUBLIC RESTAURANT AND FUEL CANOPY
WATER AND SEWER CONTRACT NUMBER	671-W
2. AREA TABULATION	
TOTAL PROJECT AREA	13008 AC.
TOTAL DISTURBED AREA	1786 AC.
FLOOR AREA RATIO	4.886 S.F./1308 AC = 0.08
BUILDING HEIGHT	17'-0"
CANOPY HEIGHT	10'-0"
3. OPEN SPACE DATA	NA
4. PARKING SPACE DATA	55 SPACES PER 1000 S.F.
CONVENIENCE STORE	4822/1000 = 5.22 SPACES
CARRY-OUT RESTAURANT	638/1000 = 0.64 SPACES
GASOLINE SERVICE STATIONS	3 SPACES
TOTAL REQUIRED	30 SPACES
CONVENIENCE STORE	22 SPACES
CARRY-OUT RESTAURANT	5 SPACES
GASOLINE SERVICE STATIONS	3 SPACES
TOTAL	30 INCL. 3 ADA SPACES

LEGEND

PROPERTY LINE	---
EX WATER	EX WAT
EX STORM DRAIN	EX SD
EX SANITARY SEWER	EX SAN
FR STORM DRAIN	FR SD
FR WATER	FR WAT
FR SAN	SAN
CURB & GUTTER	---
EX CURB TO REMAIN	---
CHAIN LINK FENCE	---
EX LIGHT POLE	---
EX TREE	---
EX TREELINE	---
PROP. CONCRETE	---
P2 PAVING	---
ROAD WIDENING SECTION	---
STD CURB	---
REVERSE SLOPE CURB	---
HANDICAP RAMP	---

SHEET INDEX

NO.	SHEET TITLE
1	SITE PLAN
2	EXISTING CONDITIONS AND DEMOLITION
3	DETAILS
4	DRAINAGE AREA MAPS
5	PROFILES AND DETAILS
6	PROFILES AND DETAILS
7	PROFILES AND DETAILS
8	SEDIMENT CONTROL PLAN
9	SEDIMENT CONTROL NOTES & DETAILS
10	SEDIMENT CONTROL NOTES & DETAILS
11	LANDSCAPING PLAN
12	LIGHTING PLAN
13	LIGHTING DETAILS



SEE ARCHITECTURAL PLANS FOR LIMITS OF BUILDING WATER PROOFING.

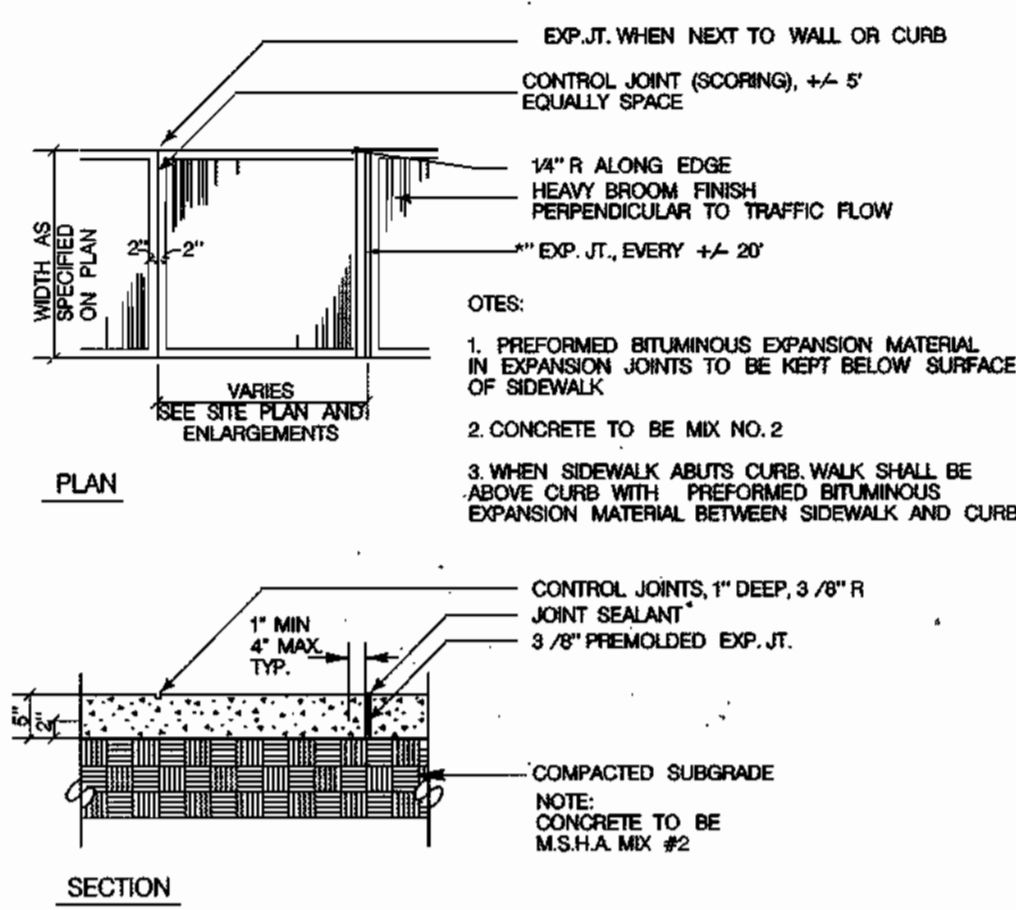
Matis Warfield
consulting engineers
10540 York Road, Suite 100
Baltimore, MD 21286
phone 410-683-7004
facsimile 410-683-1798
www.matiswarfield.com
contact: nick brader

OWNER/DEVELOPER
TWO FARMS, INC.
3611 Roland Avenue
Baltimore, Maryland 21211-2408
(410) 889-0200

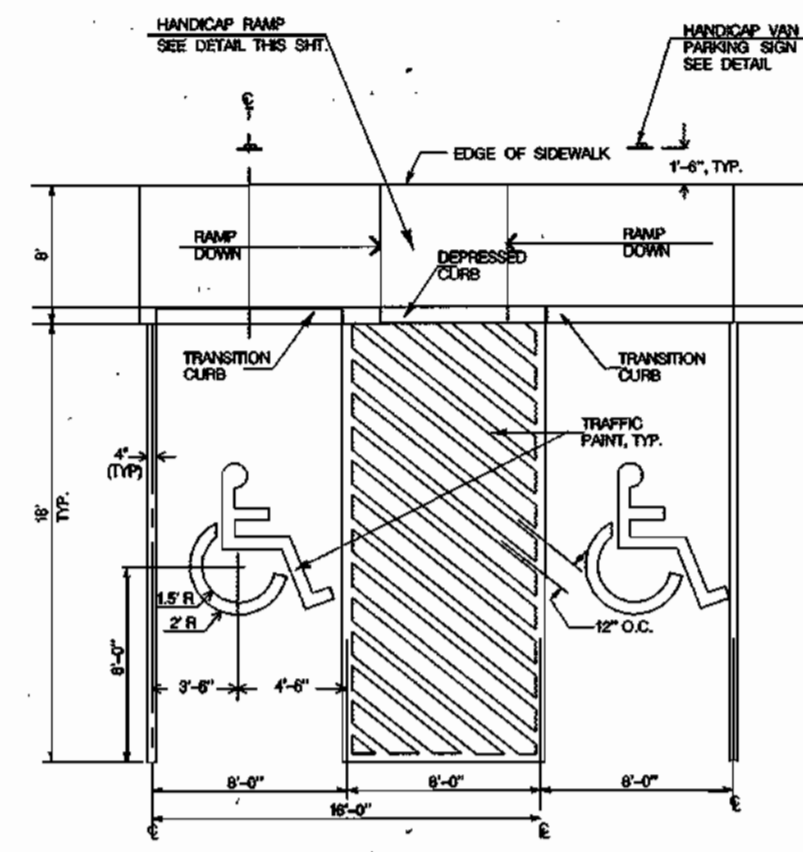
REV 11/20/16 - REVISED SIZE OF DUMPSTER TO 12'x25' AND INC. SIZE OF PAD TO 32'x25'
REV 1-04/24/2017 - WGS - ADDED GAS CANOPY WITH ROOF DRAINS AND UNDERGROUND TRUNKS. ALSO ADDED CONCRETE CURB, CONCRETE SIDEWALK, CROSS WALK STRIPINGS AND PARKING SPACE STRIPING.

REV 11/10/16 - CHANGE USE FROM CONVENIENCE STORE TO CONVENIENCE STORE WITH 24 SEAT CARRY-OUT RESTAURANT. ADD SIDEWALK TO REAR OF BUILDING AND CHANGE WALK FROM 3/4" TO 2".
REV 3/10/15 - ADD SIGN
REV 3/10/15 - MOVED DUMPSTER & INCREASED DUMPSTER SIZE. ADDED SIDEWALK AND STAIRS. LOWERED REAR TREATMENT AREA.
ADDED ATM STRUCTURE WITH CONCRETE PAD.

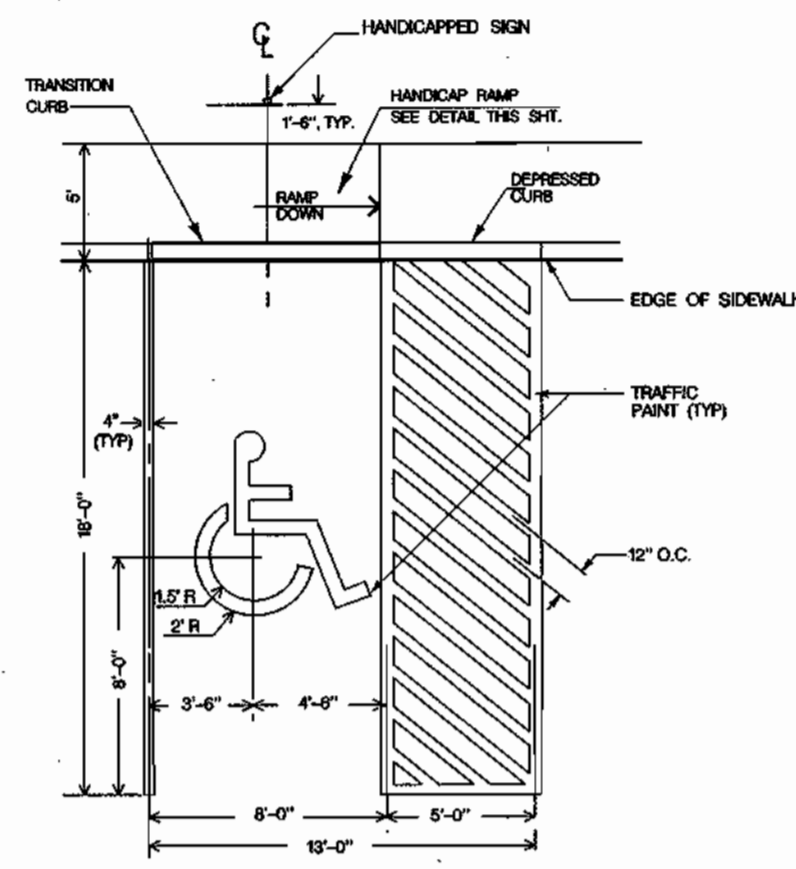
Site Plan
ROYAL FARM STORE #54
8268 LARK BROWN ROAD
Howard County, Maryland
Scale: 1"=30'
August 14, 2003
Sheet 1 of 13
SDP 02-89



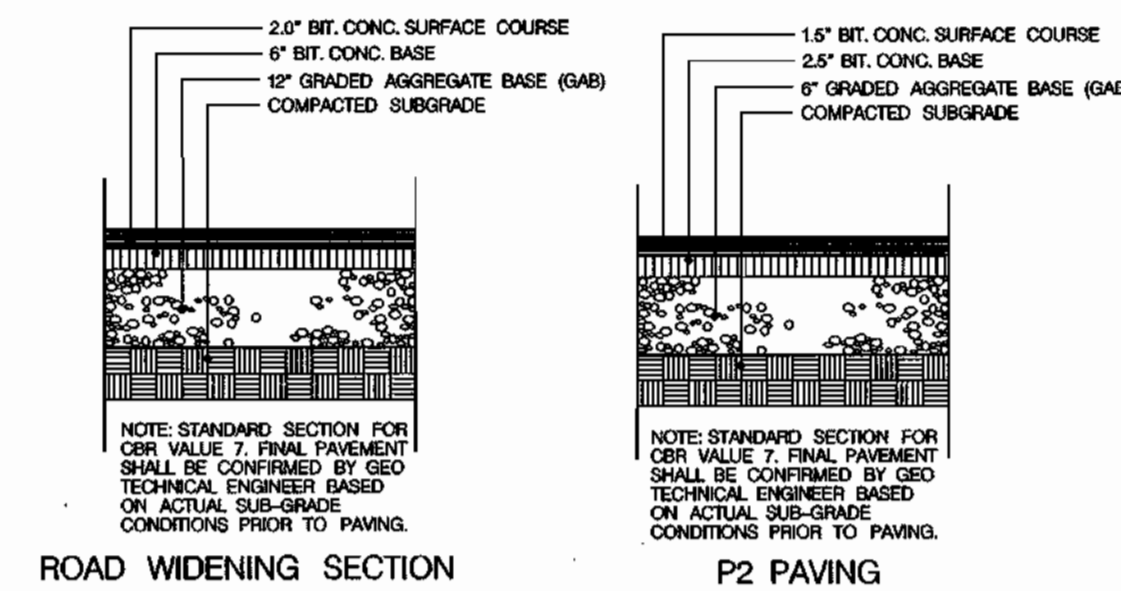
Detail Concrete Walk
Not To Scale



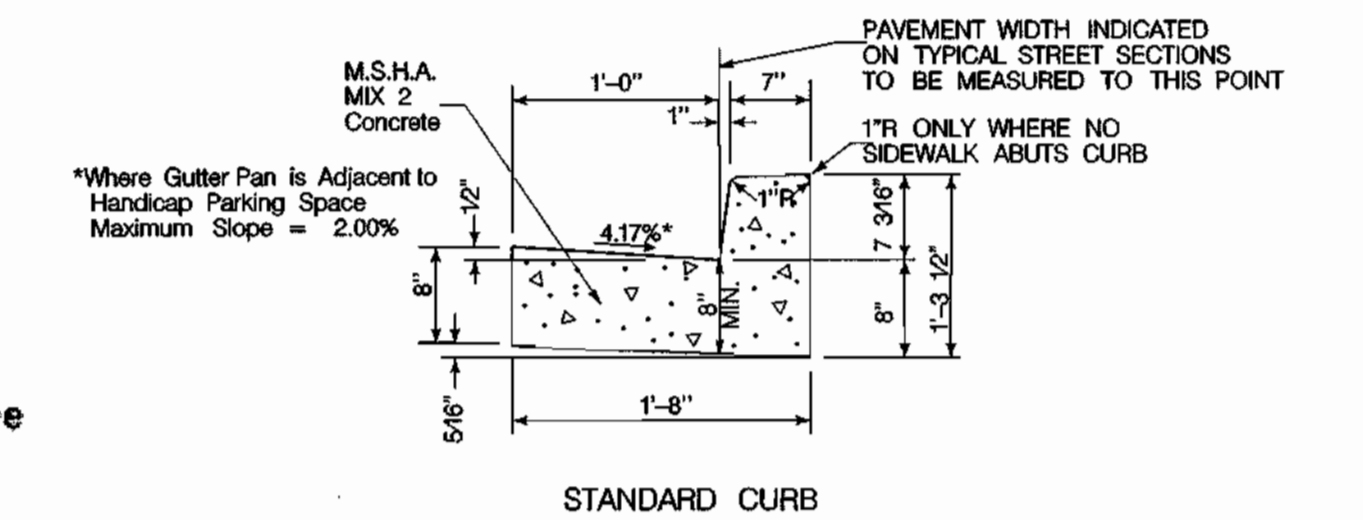
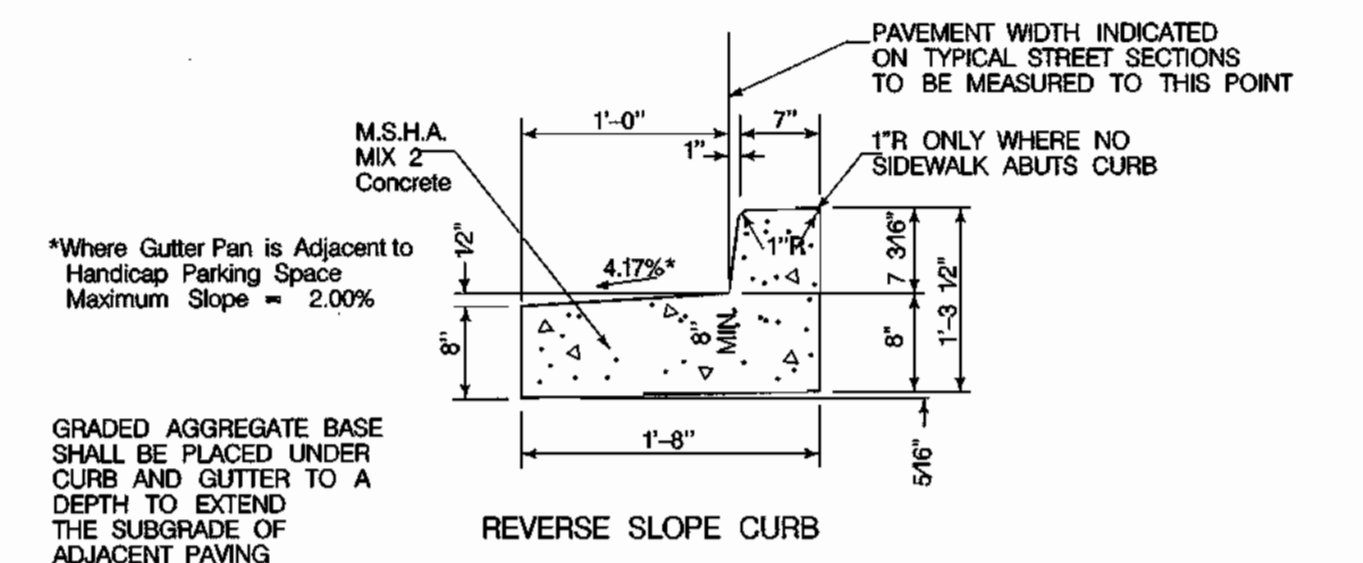
Detail Van Accessible Handicap Parking Spaces
Not To Scale



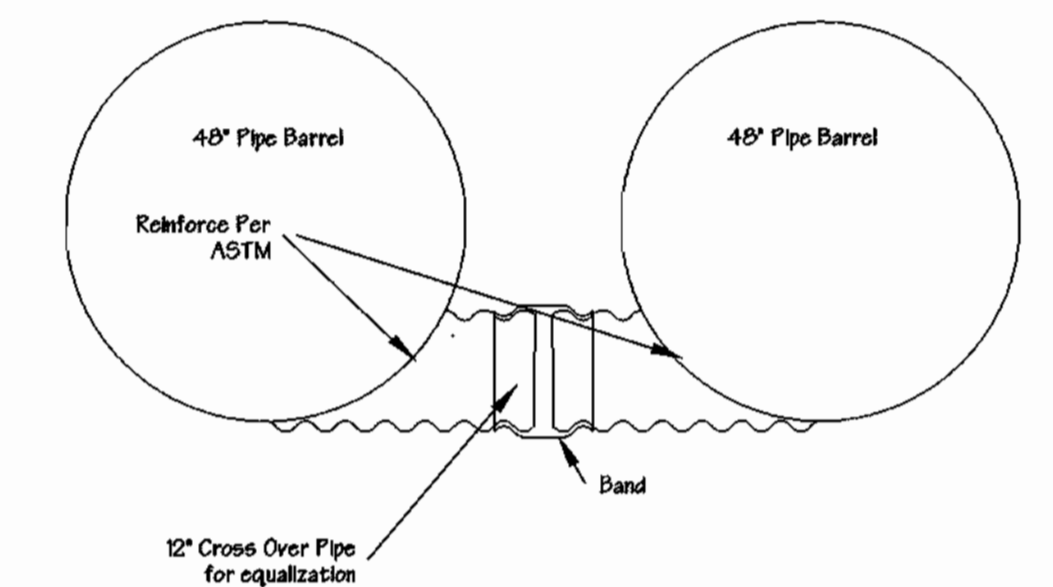
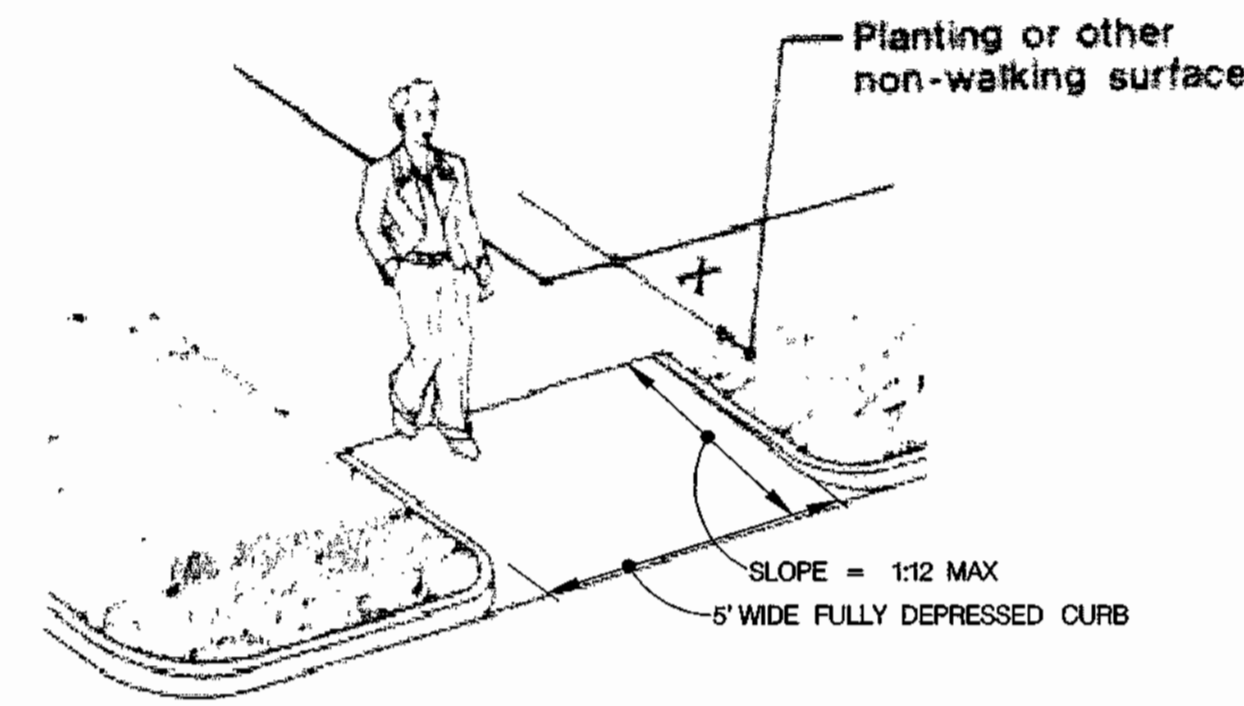
Detail Handicap Parking Space
Not To Scale



Detail Paving Sections
Not To Scale



Refer to Howard County Standard Plate R-3.01
Detail Concrete Curb and Gutter
Not To Scale



ALL DIMENSIONS ARE IN INCHES
* REDUCE SPACING 50 PERCENT

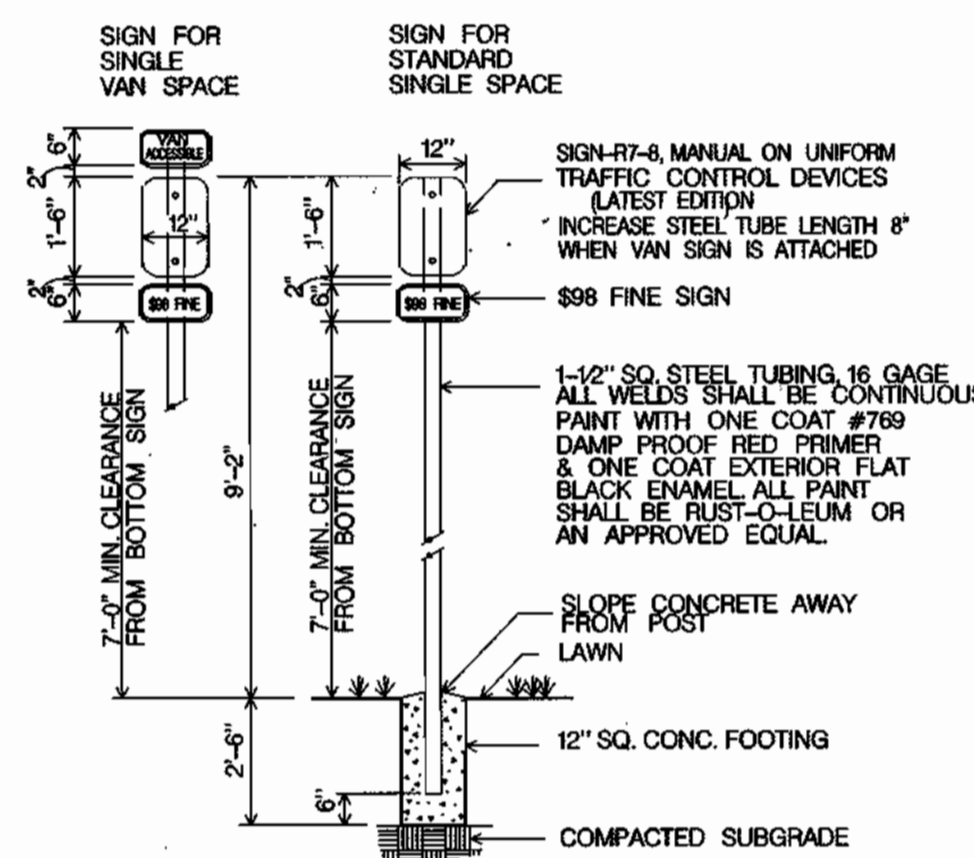
COLORS
LEGEND AND BORDER - GREEN
WHITE SYMBOL ON BLUE BACKGROUND
BACKGROUND - WHITE

Detail Handicap Parking Sign
Not To Scale



\$98 FINE SIGN / VAN ACCESSIBLE SIGN
SIGN TO UTILIZE AN ALUMINUM BLANK 6" x 12" x 0.080" THICK WITH TWO SINGLE POST MOUNTING HOLES.

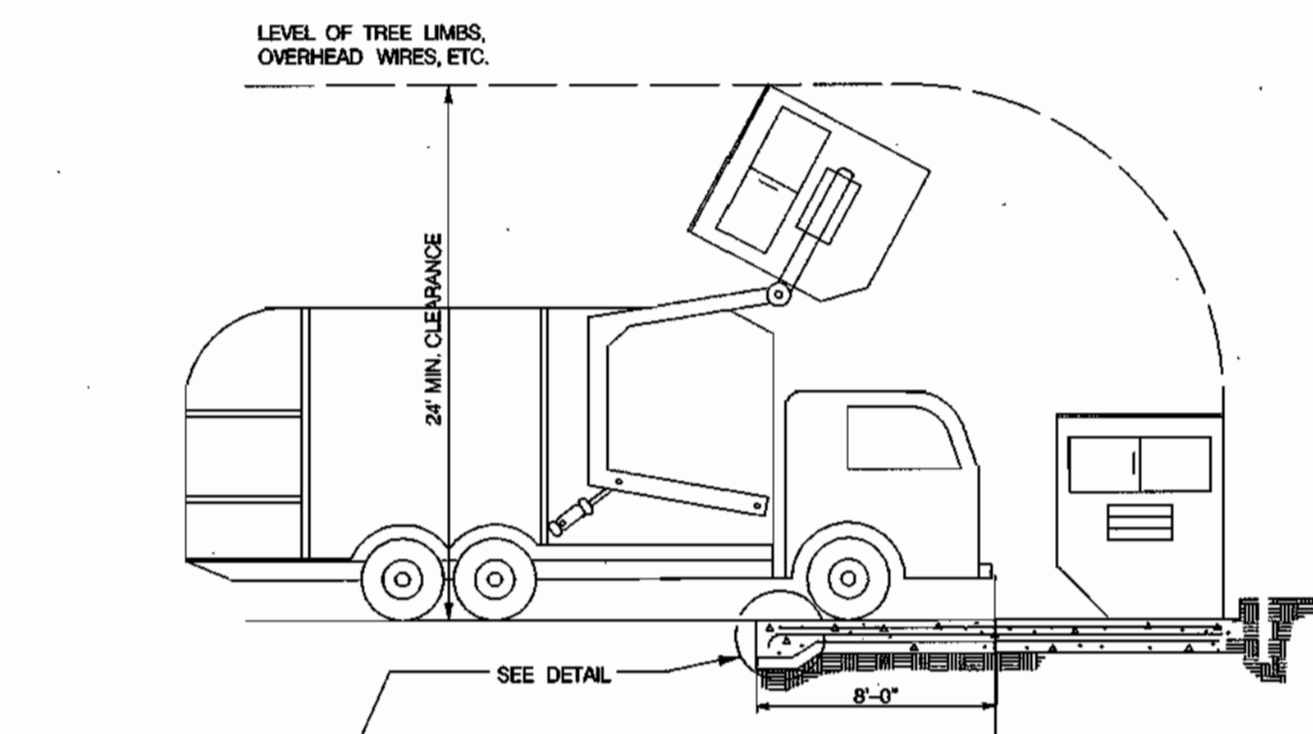
THE TEXT AND BORDER SHALL BE STANDARD GREEN TO MATCH THAT ON R7-8 AND THE BACKGROUND SHALL BE REFLECTIVE WHITE. TEXT SHALL BE IN 3" CHARACTERS



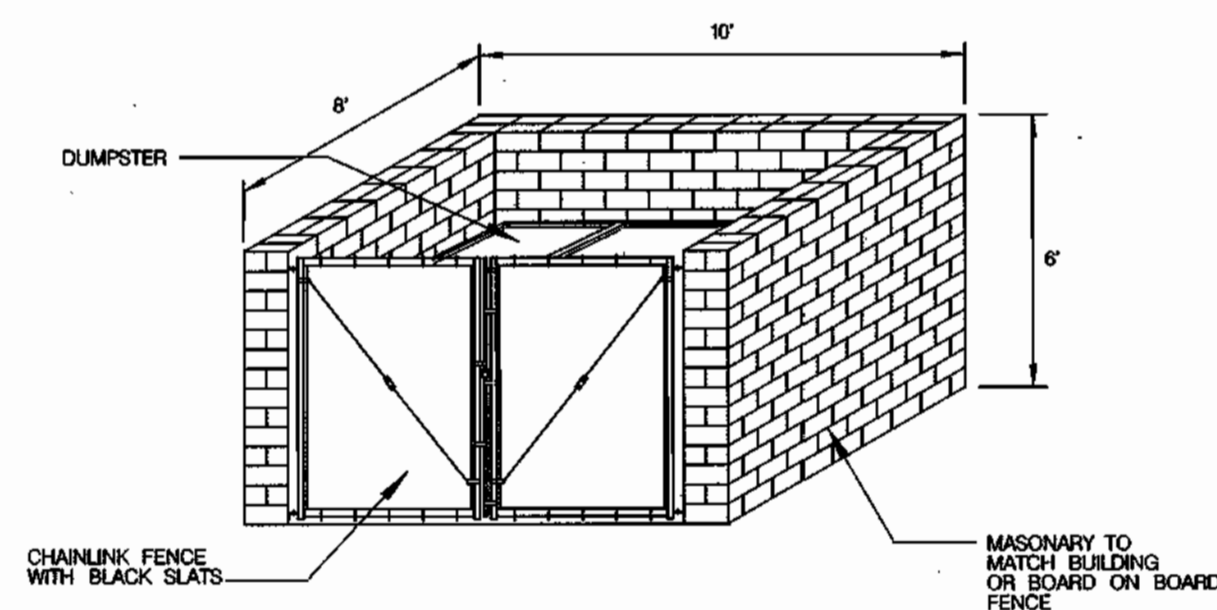
NOTES
1. DISTANCE FROM GROUND TO BOTTOM OF SIGN SHALL BE 7'
2. SEE HANDICAPPED PARKING SPACE DETAIL THIS SHEET FOR LOCATION OF HANDICAPPED SIGN.
3. VAN ACCESSIBLE SPACES SHALL INCLUDE "VAN SIGN" AS REQUIRED
4. SIGNS SHALL CONFORM TO CURRENT ADA CRITERIA.

SIGN COLORS
LETTERS AND BORDER - GREEN
WHITE H.C. SYMBOLS ON BLUE BACKGROUND
BACKGROUND - WHITE

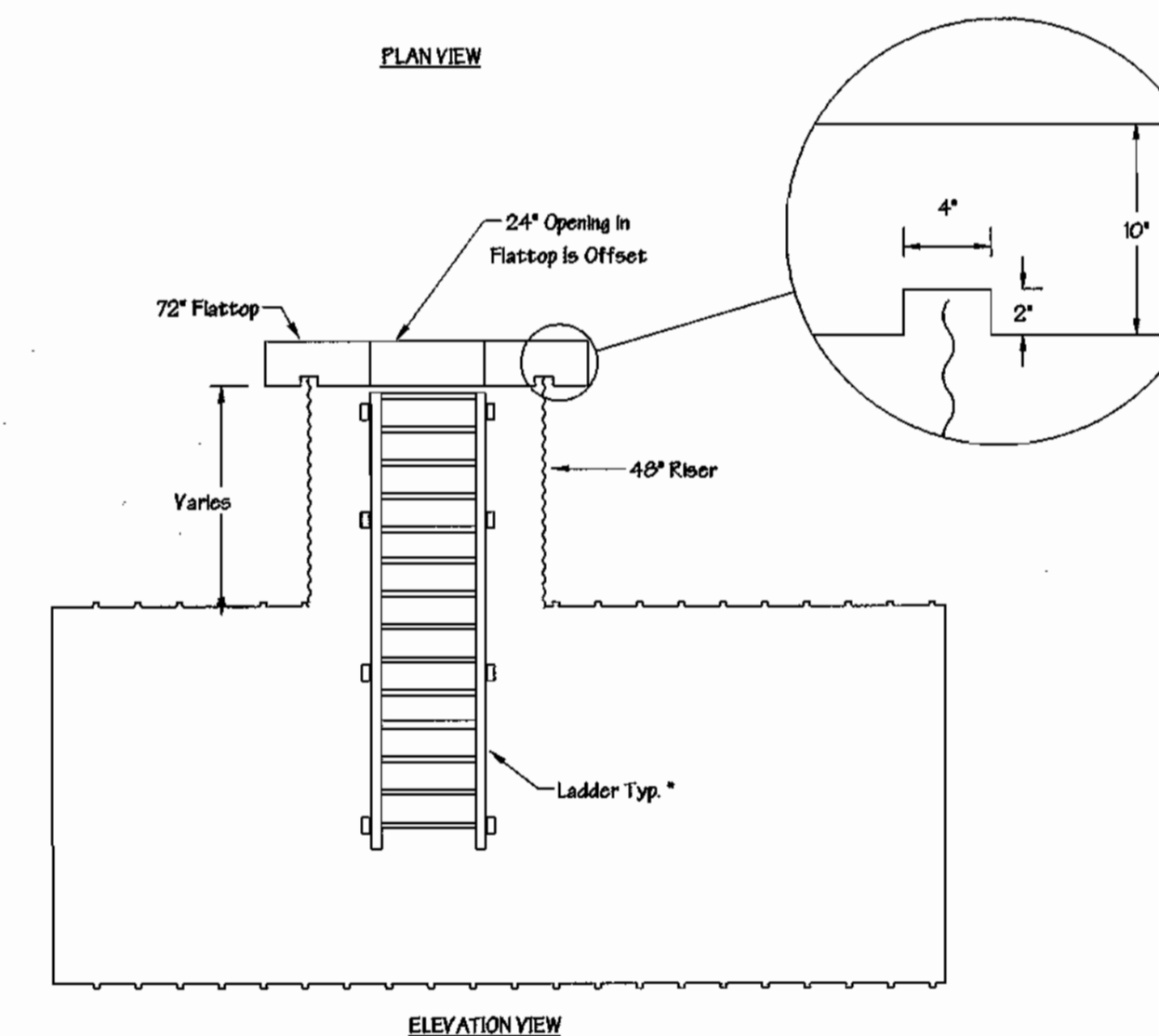
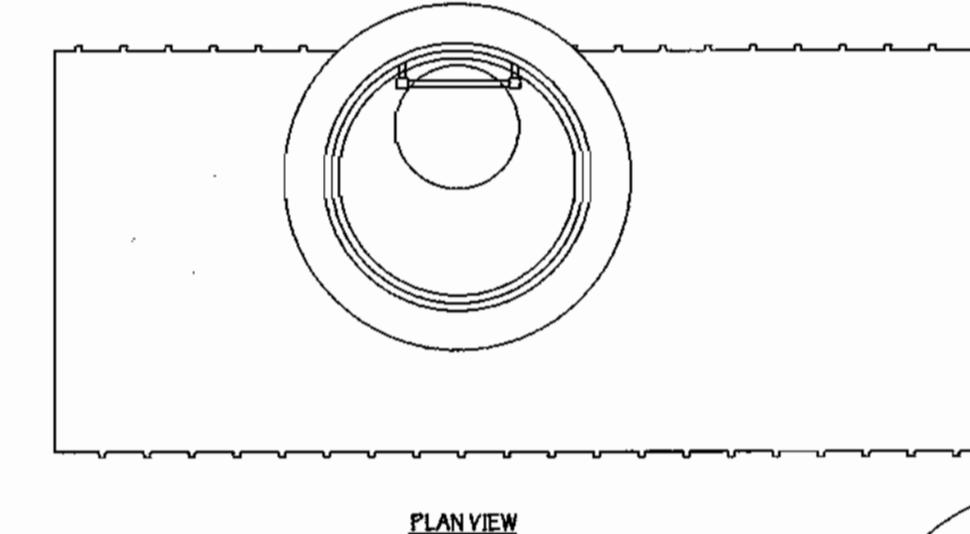
Detail Handicap Parking Sign & Post
Not To Scale



Refer to Howard County Standard Plate R-3.01
Detail Solid Waste Service Pad
Not To Scale
(TO BE LOCATED IN LOADING AREA BETWEEN BUILDINGS)



Dumpster Enclosure Detail
NOT TO SCALE



* NOTE: LADDER TO BE MANUFACTURED FROM ALUMINUM.
STORM SEWER MANHOLE DETAILS FOR UNDERGROUND FACILITY
Not To Scale

Reviewed for the Howard Conservation District and meets technical requirements.

USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

APPROVED: HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 9/10/03

Cindy Hamstra DATE 10-1-03

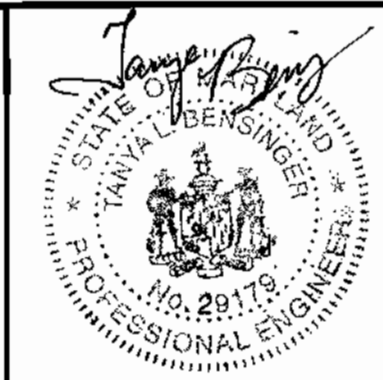
DIVISION OF LAND DEVELOPMENT DATE

Director DATE

ADDRESS CHART
BUILDING NO. STREET ADDRESS
8268 Lark Brown Road

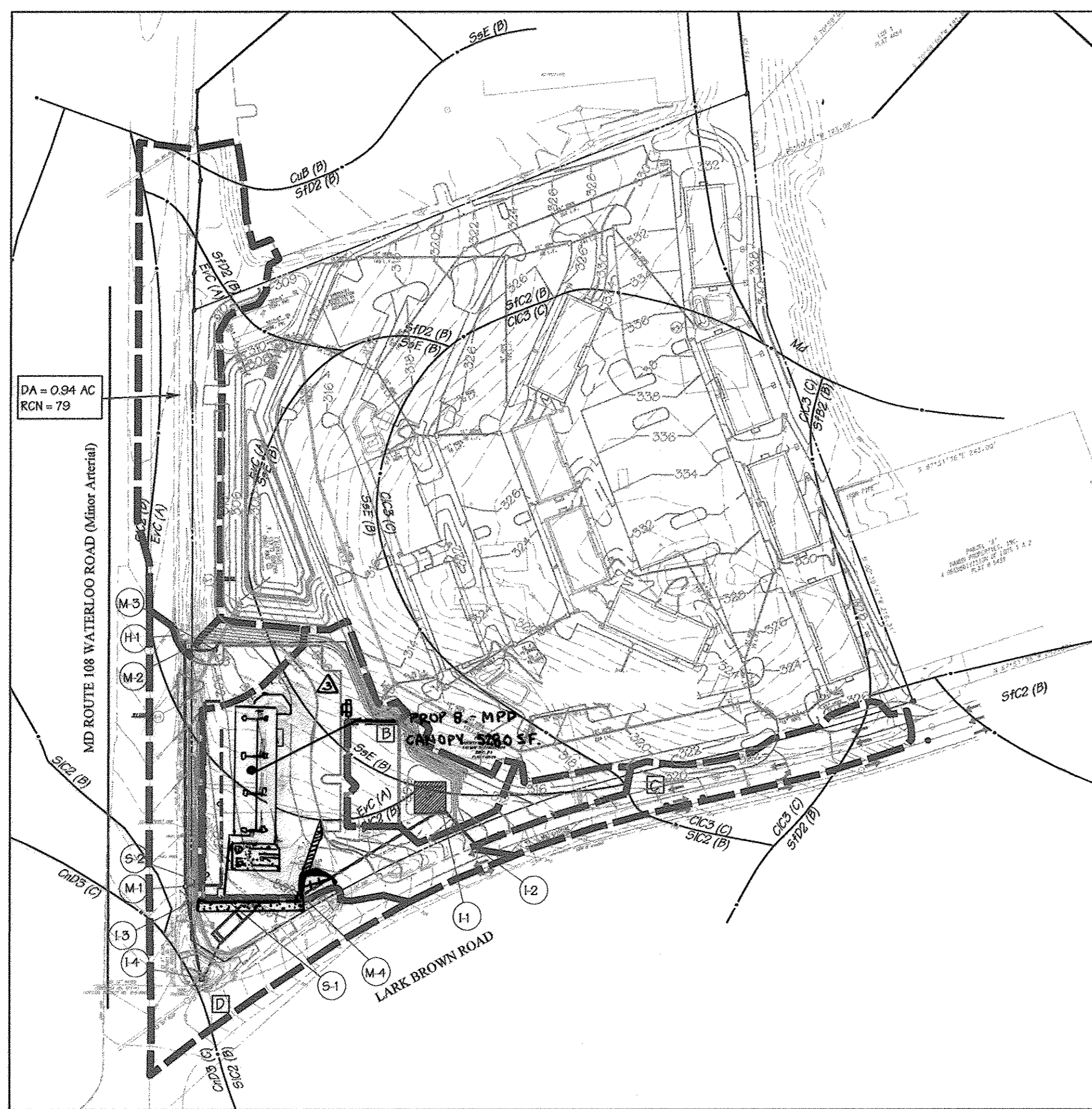
SUBDIVISION NAME Gateway Office Park	SECTION NAME N/A	PARCEL # Parcel B/TM 472
PLAT # 15520	BLOCK # 20	ZONE B-1
ZONING MAP 37	ELECT. DIST. 6	CENSUS TRACT 6067.03
WATER CODE E08	SEWER CODE 3450000	

Matis Warfield
consulting engineers
10540 York Road, Suite M
Hunt Valley, Maryland 21030
Phone 410-683-7904
Facsimile 410-683-1798
www.matiswarfield.com
contact: nick brader

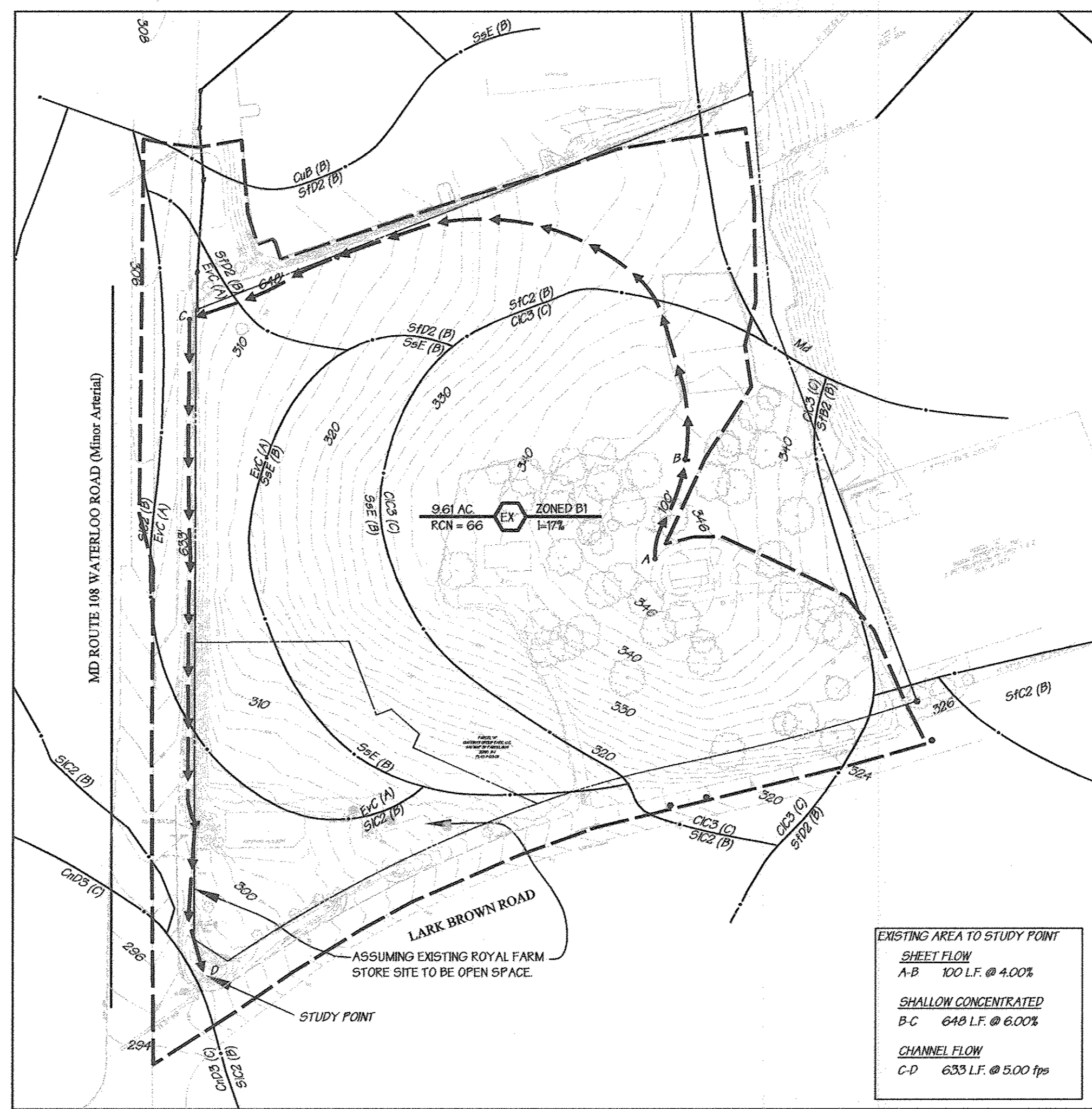


OWNER/DEVELOPER
Cloverland Farms Dairy, Inc.
3611 Roland Avenue
Baltimore, Maryland 21211-2408
(410) 889-0200

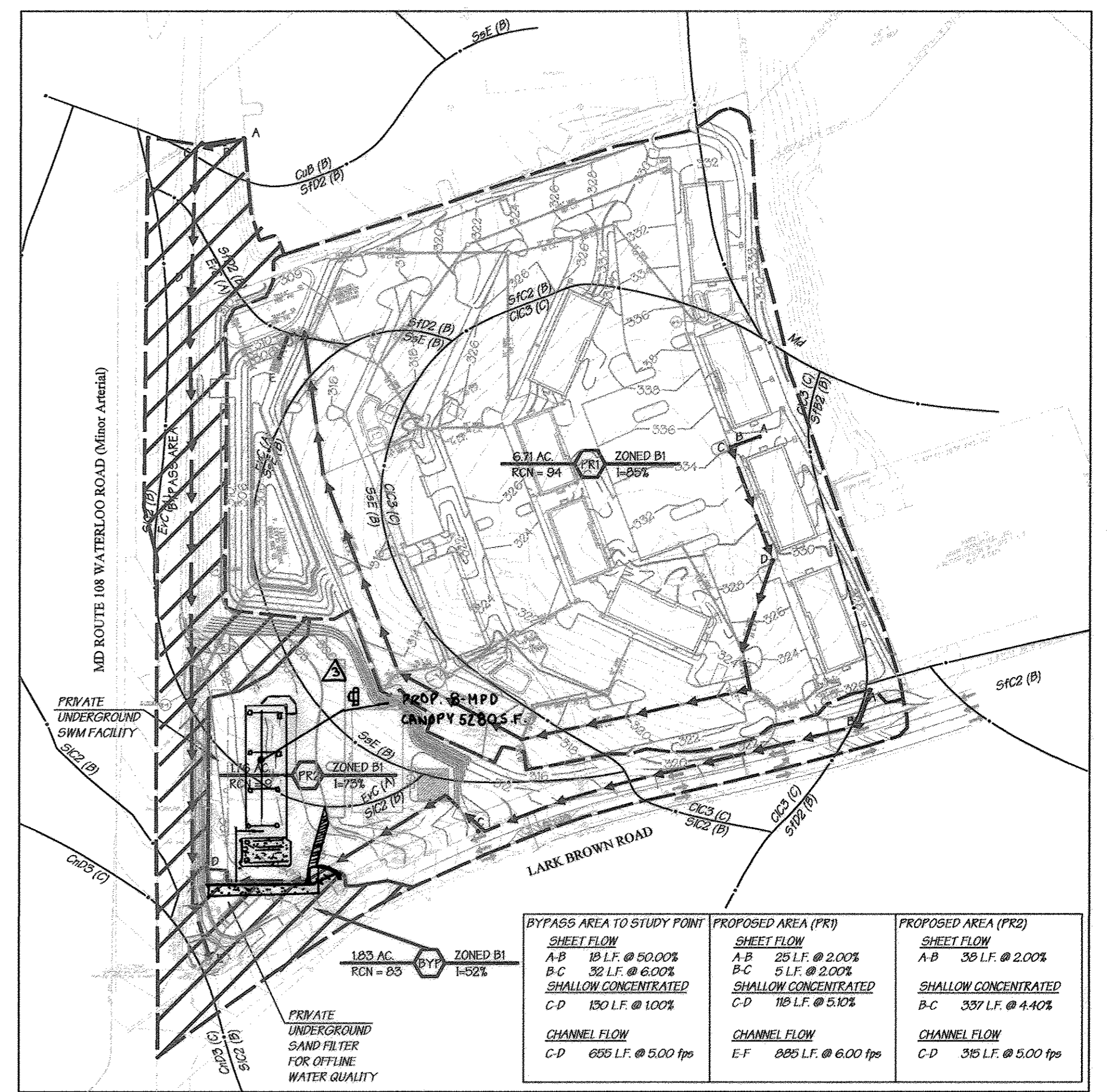
Profiles & Details
ROYAL FARM STORE #54
8268 LARK BROWN ROAD
Howard County, Maryland
Scale: AS SHOWN
August 14, 2003
Sheet 3 of 13



STORM DRAINAGE AREA MAP
SCALE: 1" = 100'



EXISTING SWM DRAINAGE AREA MAP
SCALE: 1" = 100'



PROPOSED SWM DRAINAGE AREA MAP
SCALE: 1" = 100'

EXISTING AREA TO STUDY POINT
SHEET FLOW
A-B 100 L.F. @ 4.00%
SHALLOW CONCENTRATED
B-C 640 L.F. @ 6.00%
CHANNEL FLOW
C-D 635 L.F. @ 5.00 fps

BYPASS AREA TO STUDY POINT	PROPOSED AREA (PR1)	PROPOSED AREA (PR2)
SHEET FLOW A-B 100 L.F. @ 50.00% B-C 32 L.F. @ 6.00% SHALLOW CONCENTRATED C-D 150 L.F. @ 100%	SHEET FLOW A-B 25 L.F. @ 2.00% B-C 2 L.F. @ 2.00% SHALLOW CONCENTRATED C-D 10 L.F. @ 5.00%	SHEET FLOW A-B 30 L.F. @ 2.00% B-C 337 L.F. @ 4.40% CHANNEL FLOW C-D 315 L.F. @ 5.00 fps

SIZE	TYPE	PIPE LENGTH- FEET	SIZE	TYPE	PIPE LENGTH FEET
15"	RCCP CL IV	287	6"	PVC	259
18"	RCCP CL IV	37			
21"	RCCP CL IV	8			
24"	RCCP CL IV	255			
30"	RCCP CL IV	89			
48"	AL T2 16 GA	536			

SUBAREA	AREA	"C" FACTOR	IMPERVIOUS PERCENT
A	1.05	0.75	74%
B	0.29	0.55	41%
C	0.54	0.76	76%
D	0.89	0.70	66%

NO CHANGE TO IMPERVIOUS PERCENT

	Rev (c.f.)	WQV (c.f.)	Cpv (ac-ft)	Qp10 (cfs)	Qp100 (cfs)
REQUIRE	1308 ACRES OF WHICH 0.975 AC IS NEW DEVELOPMENT AND 0.205 AC IS RE-DEVELOPMENT			NA	NA
PROVIDED	935	226.7	0.10	NA	NA
LOCATION	INFILTRATION AREA AROUND INLET I-1	UNDERGROUND SAND FILTER	UNDERGROUND FACILITY	NA	NA

NO.	TYPE	INV. IN	INV. IN	INV. OUT	TOP ELEV.	REMARKS
I-1	H.C. STD. SD 4.14 YARD INLET	302.12		301.92	305.90	
I-2	HC STD. SD 4.34 DOUBLE "S" COMB. INLET			303.28	308.00	
I-3	HC STD. SD 4.34 DOUBLE "S" COMB. INLET			296.23	299.94	
I-4	MD STD. 378.03 TYPE 'K' INLET	290.70		290.50	294.99	
M-1	MD STD. 384.03 5' PRECAST	293.45	292.95	292.45	295.16	
M-2	MD STD. 384.01 4' PRECAST	299.36	296.45	296.25	302.32	
M-3	HC STD. G 5.03 6' BRICK	297.60		297.40	303.40	
M-4	HC STD. G 5.12 4' STD. PRECAST	297.99		297.79	301.92	
H-1	MD STD. 354.01 TYPE 'C' ENDWALL	298.45			300.20	
S-1	SEE DETAIL SHEET 6	296.15		296.15	300.20	
S-2	SEE DETAIL SHEET 6	294.50		293.75	300.62	

<p>PROJECT: Royal Farm Store # 54 RT 108 & Lark Brown Rd. Location: Columbia, MD</p> <p>BORING No.: B-1 PROJECT No.: 02-046</p> <p>ELEV 306.79 HAMMER: 140 lbs BORING METHOD: HSA</p> <p>DATE START: 02/27/03 FINISH: 02/27/03 INSPECTOR: D. P. FRENCH</p> <p>SPHOON O.D.: 2 1/2" FOREMAN: D. P. FRENCH</p>	<p>PROJECT: Royal Farm Store # 54 RT 108 & Lark Brown Rd. Location: Columbia, MD</p> <p>BORING No.: B-2 PROJECT No.: 02-046</p> <p>ELEV 301.16 HAMMER: 140 lbs BORING METHOD: HSA</p> <p>DATE START: 02/27/03 FINISH: 02/27/03 INSPECTOR: D. P. FRENCH</p> <p>SPHOON O.D.: 2 1/2" FOREMAN: D. P. FRENCH</p>	<p>PROJECT: Royal Farm Store # 54 RT 108 & Lark Brown Rd. Location: Columbia, MD</p> <p>BORING No.: B-3 PROJECT No.: 02-046</p> <p>ELEV 298.02 HAMMER: 140 lbs BORING METHOD: HSA</p> <p>DATE START: 02/27/03 FINISH: 02/27/03 INSPECTOR: D. P. FRENCH</p> <p>SPHOON O.D.: 2 1/2" FOREMAN: D. P. FRENCH</p>
<p>PROJECT: Royal Farm Store # 54 RT 108 & Lark Brown Rd. Location: Columbia, MD</p> <p>BORING No.: B-4 PROJECT No.: 02-046</p> <p>ELEV 290.85 HAMMER: 140 lbs BORING METHOD: HSA</p> <p>DATE START: 02/27/03 FINISH: 02/27/03 INSPECTOR: D. P. FRENCH</p> <p>SPHOON O.D.: 2 1/2" FOREMAN: D. P. FRENCH</p>	<p>PROJECT: Royal Farm Store # 54 RT 108 & Lark Brown Rd. Location: Columbia, MD</p> <p>BORING No.: B-5 PROJECT No.: 02-046</p> <p>ELEV 310.32 HAMMER: 140 lbs BORING METHOD: HSA</p> <p>DATE START: 02/27/03 FINISH: 02/27/03 INSPECTOR: D. P. FRENCH</p> <p>SPHOON O.D.: 2 1/2" FOREMAN: D. P. FRENCH</p>	<p>PROJECT: Royal Farm Store # 54 RT 108 & Lark Brown Rd. Location: Columbia, MD</p> <p>BORING No.: B-6 PROJECT No.: 02-046</p> <p>ELEV 308.03 HAMMER: 140 lbs BORING METHOD: HSA</p> <p>DATE START: 02/27/03 FINISH: 02/27/03 INSPECTOR: D. P. FRENCH</p> <p>SPHOON O.D.: 2 1/2" FOREMAN: D. P. FRENCH</p>

FOR REVISION 4 ONLY

REV. #3 ONLY

Reviewed for the Howard Conservation District and meets technical requirements.

USDA NATURAL RESOURCES CONSERVATION SERVICE
DATE: 9/15/03

APPROVED: HOWARD SOIL CONSERVATION DISTRICT
DATE: 9/15/03

APPROVED: Department of Planning and Zoning
DATE: 9/15/03

CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 10-1-03

DIVISION OF LAND DEVELOPMENT
DATE: 10/1/03

DIRECTOR
DATE: 10/1/03

ADDRESS CHART
BUILDING NO. STREET ADDRESS
8268 Lark Brown Road

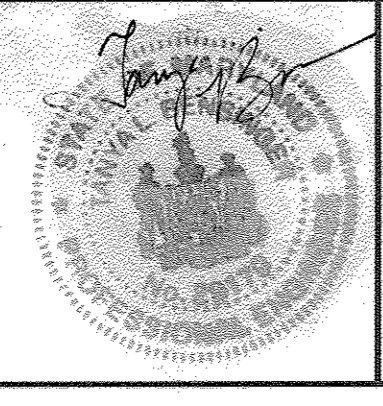
SUBDIVISION NAME SECTION NAME PARCEL #
Gateway Office Park N/A Parcel B/TM 472

PLAT # BLOCK # ZONE ZONE MAP ELECT. DIST. CENSUS TRACT
15520 20 B-1 37 6 6067.03

WATER CODE E08 SEWER CODE 3450000

Matis Warfield
consulting engineers

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Hunt Valley, Maryland 21030
Phone 410-883-7004
Facsimile 410-883-7198
www.matiswarfield.com
contact: nick brader



OWNER/DEVELOPER

TWO FARMS, INC.
3611 Roland Avenue
Baltimore, Maryland 21211-2408
(410) 889-0200

REV. 3/16 - LOWERED REV. AREA INLET
ADDED WITH STRUCTURE WITH CONCRETE PAD
BY MRA DATED 2/5/2013
REV. 4 04/24/11 - W/OB ADDED
L.S. CANALS AND UNDERGROUND
DRAINAGE ALSO ADDED CONCRETE
CONCRETE CURB AND CONCRETE
STAIRS AND STAIRS

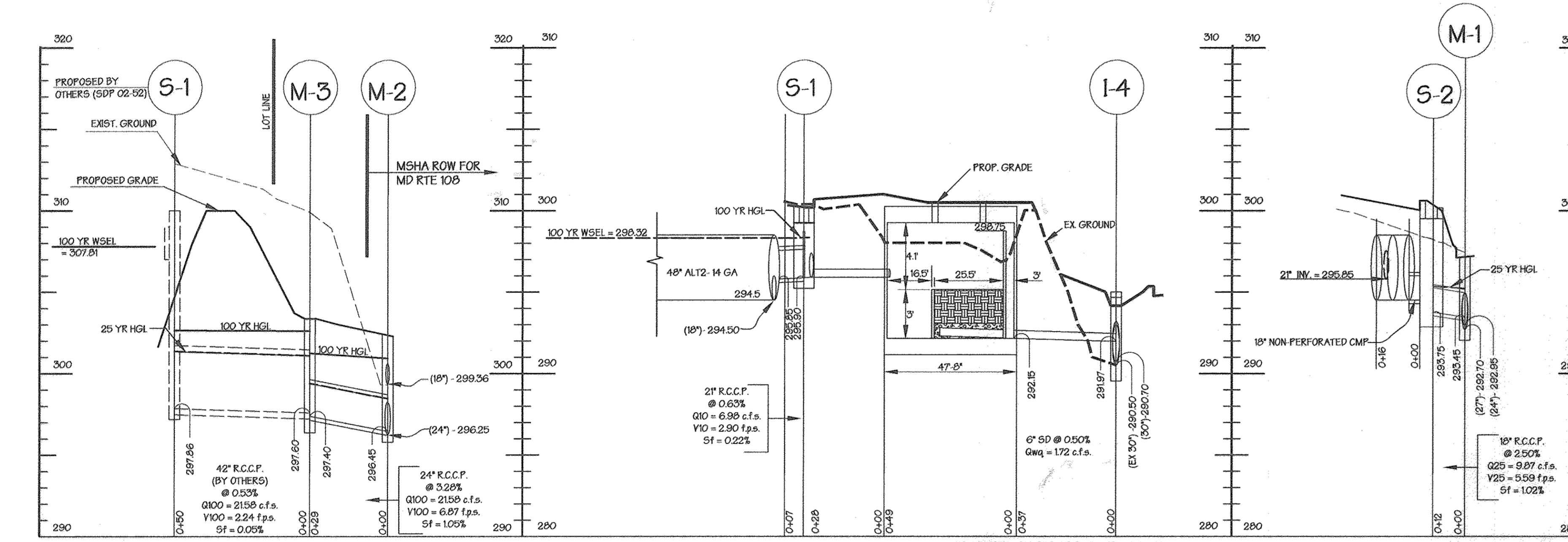
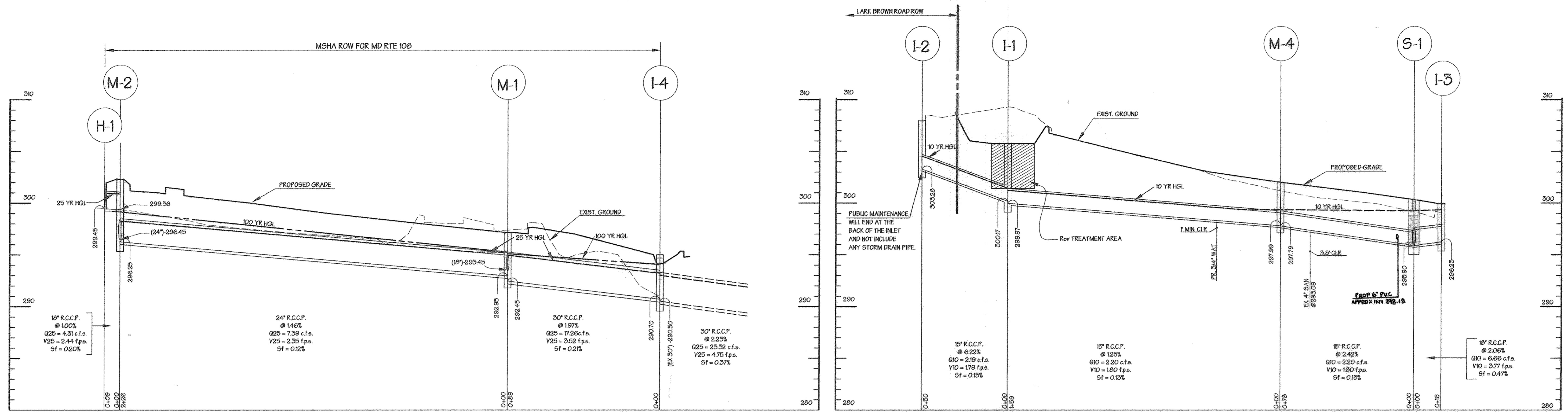
Drainage Area Maps

ROYAL FARM STORE #54
8268 LARK BROWN ROAD

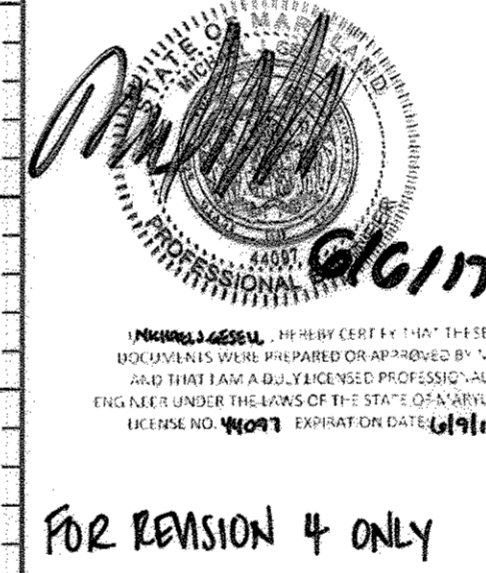
Howard County, Maryland
Scale: AS SHOWN

August 14, 2003
Sheet 4 of 13

SDP 02-89



- OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED UNDERGROUND STORMWATER FILTRATION SYSTEMS**
- THE SEDIMENT CHAMBER OUTLET DEVICES SHALL BE CLEANED AND/OR REPAIRED WHEN DRAWDOWN TIMES WITHIN CHAMBER EXCEED 36 HOURS.
 - DEBRIS AND LITTER SHALL BE REMOVED AS NECESSARY TO INSURE PROPER OPERATION OF THE SYSTEM.
 - SEDIMENT SHALL BE CLEANED OUT OF THE SEDIMENTATION CHAMBER WHEN IT ACCUMULATES TO A DEPTH OF 6 INCHES. VEGETATION WITHIN THE SEDIMENT CHAMBER SHALL BE LIMITED TO A HEIGHT OF 18 INCHES.
 - WHEN WATER PONDS ON THE SURFACE OF THE FILTER BED FOR MORE THAN 72 HOURS, THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REPLACED WITH FRESH MATERIAL. PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID MUST BE FOLLOWED BY THE OWNER.
 - A LOGBOOK SHALL BE MAINTAINED TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
 - THE MAINTENANCE LOGBOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.
 - ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION SYSTEM HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.
- OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED UNDERGROUND FACILITIES**
- THE UNDERGROUND STORMWATER MANAGEMENT FACILITY IS PRIVATELY OWNED AND IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO PERIODICALLY INSPECT AND CLEAN THE FACILITY TO MAINTAIN ITS OPERATION AND FUNCTION.
 - THE UNDERGROUND STORMWATER MANAGEMENT FACILITY SHALL BE INSPECTED YEARLY AT MINIMUM AND AFTER ESPECIALLY SEVERE STORM EVENTS.
 - WHEN SEDIMENT ACCUMULATION OF MORE THAN 2" IS OBSERVED OR ANY DEBRIS THAT MIGHT OBSTRUCT THE OUTFALL IS OBSERVED, THE FACILITY SHALL BE CLEANED.
 - THE FACILITY SHALL BE CLEANED IMMEDIATELY AFTER PETROLEUM SPILLS. THE OWNER SHALL CONTACT THE APPROPRIATE REGULATORY AGENCIES NOTIFYING THEM OF THE SPILL AND CLEANUP OPERATION.
 - THE SEDIMENT AND DEBRIS SHALL BE REMOVED FROM THE UNDERGROUND STORMWATER MANAGEMENT FACILITY BY VACUUM TRUCK OR OTHER MANUAL MEANS. THE OWNER SHALL FOLLOW PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIAL AND LIQUID.
 - THE INLET AND OUTLET PIPES SHALL BE CHECKED FOR ANY OBSTRUCTIONS AT LEAST ONCE EVERY SIX (6) MONTHS. IF OBSTRUCTIONS ARE FOUND, THE OWNER SHALL HAVE THEM REMOVED AND PROPERLY DISPOSED OF.



NOTES FOR UNDERGROUND DETENTION SYSTEM

THE 48" DIAMETER PIPE WILL BE 14 GAUGE WITH 2 2/3 x 1/2" CORRUGATIONS. THE PIPE WILL BE LOCK SEAM ALUMINIZED STEEL TYPE 2 ONLY AND MANUFACTURED IN ACCORDANCE WITH AASHTO M 36 AND M 274.

ALL ELBOWS, TEE, STUBS AND ACCESS MANHOLES WILL BE AS SHOWN ON THE PLANS, PROFILE DETAILS AND MANUFACTURERS SHOP DRAWINGS.

- THE USE OF ASPHALT COATING ON PERFORATED PIPE IS EXPRESSLY PROHIBITED.
- 1. CONNECTING BANDS**
- Prior to placing the bedding, the foundation must be constructed to a uniform and stable grade. In the event that unsuitable foundation materials are encountered during excavation, they shall be removed and brought back to grade with a fill material as approved by the engineer. Once the foundation preparation is complete, then 4 inches of a well-graded granular material shall be placed as the bedding.
- BACKFILL**
- The backfill shall be an A1, A2 or A3 granular fill per AASHTO M-145 or a well graded granular fill as approved by the engineer. The material shall be placed in 8-inch loose lifts and compacted to 90% AASHTO 130 standard proctor density. When placing the first lifts of backfill it is important to make sure that the backfill is properly compacted under and around the pipe haunches. Backfill shall be placed such that there is no more than a two lifts differential between any of the pipe at any time during the backfill process. The backfill shall be advanced along the length of the detention system at the same rate to avoid differential loading on the pipe.
- MINIMUM COVER**
- Backfill shall be placed to the proper elevation over the system as outlined in the plans. Minimum cover for construction loading needs to be determined based on the type of equipment that is planned for construction. Proper cover for construction equipment shall be determined prior to the pre-construction meeting by the engineer.
- Annular corrugated steel bands per AASHTO M36 Table 10, Sec. 9, or similar corrugated aluminum bands per AASHTO M36 Table 11, Sec. 9, modified as follows:
 - HUGGER AND FULLER CORRUGATED BANDS SHOULD EMPLOY USE OF BAR AND BOLT AND STRAP FASTENERS
 - GASKETED BANDS SHALL BE ASSEMBLED IN ACCORDANCE WITH MANUFACTURERS PUBLISHED INSTALLATION GUIDE
 - ALL GASKETED JOINTS SHOULD BE FABRIC WRAPPED WITH A 3-1/2 OZ. NON-WOVEN GEOTEXTILE OUTSIDE THE PIPE AND A MINIMUM OF 6" BEYOND THE BAND EDGES.
 - RODS AND LUGS, (2 PER BAND) MAY BE EMPLOYED ONLY IN SPECIAL SITUATIONS.
 - ALL DEBRIS IS TO BE KEPT OUT OF THE FACILITY DURING AND AFTER CONSTRUCTION
 - ALL METAL PIPE SHALL BE GALVANIZED AND PAINTED WITH TWO COATS OF BATTLESHIP GREY PAINT OR EQUIVALENT.

INSTALLATION SPECIFICATION FOR UNDERGROUND DETENTION SYSTEM

PRE-CONSTRUCTION MEETING

Prior to installation of the detention system a pre-construction meeting shall be conducted. Those required to attend are the supplier of the detention system, the general contractor, sub contractors and the engineer.

FOUNDATION/BEDDING PREPARATION

Prior to placing the bedding, the foundation must be constructed to a uniform and stable grade. In the event that unsuitable foundation materials are encountered during excavation, they shall be removed and brought back to grade with a fill material as approved by the engineer. Once the foundation preparation is complete, then 4 inches of a well-graded granular material shall be placed as the bedding.

BACKFILL

The backfill shall be an A1, A2 or A3 granular fill per AASHTO M-145 or a well graded granular fill as approved by the engineer. The material shall be placed in 8-inch loose lifts and compacted to 90% AASHTO 130 standard proctor density. When placing the first lifts of backfill it is important to make sure that the backfill is properly compacted under and around the pipe haunches. Backfill shall be placed such that there is no more than a two lifts differential between any of the pipe at any time during the backfill process. The backfill shall be advanced along the length of the detention system at the same rate to avoid differential loading on the pipe.

MINIMUM COVER

Backfill shall be placed to the proper elevation over the system as outlined in the plans. Minimum cover for construction loading needs to be determined based on the type of equipment that is planned for construction. Proper cover for construction equipment shall be determined prior to the pre-construction meeting by the engineer.

SPECIFICATIONS FOR TYPE 2 ALUMINIZED STEEL

SCOPE

This specification covers the corrugated steel pipe (CSP) detailed in the project plans.

MATERIAL

The Type 2 ALUMINIZED STEEL coils shall conform to the applicable requirements of AASHTO M 274 or ASTM A 929.

PIPE

The CSP shall be manufactured in accordance with the applicable requirements of AASHTO M 36 or ASTM A 760. The pipe sizes, gauges and corrugations shall be as shown on the project plans.

FITTING/REINFORCING

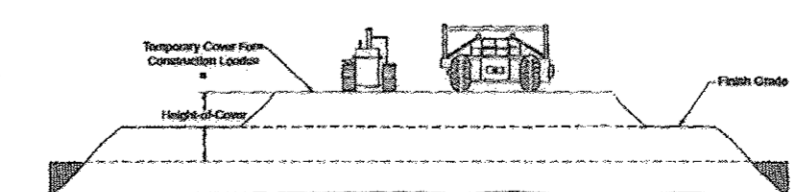
The reinforcing shall be designed and supplied by the manufacturer in accordance with ASTM A 998 standards.

REPAIR

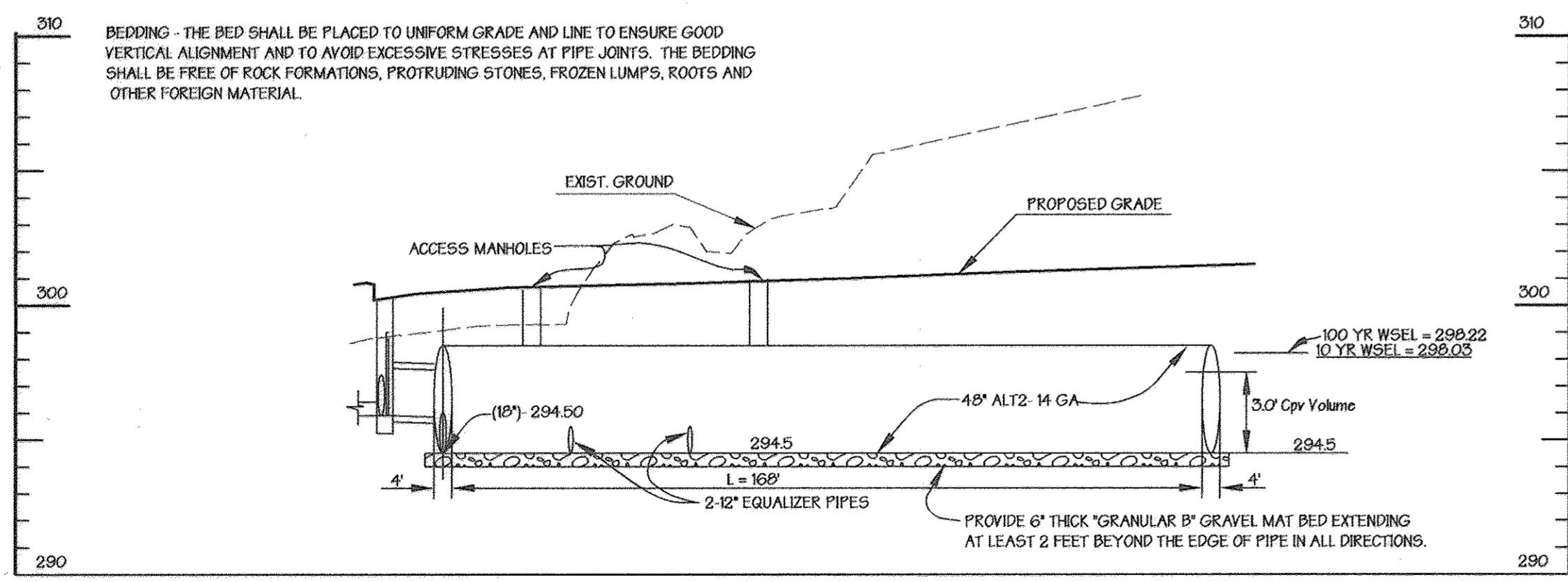
All repairs, when the coating is damaged, shall be in accordance with AASHTO M 36.

Corrugated Steel Pipe General Guidelines for Minimum Cover Required for Heavy Off-Highway Construction Equipment

Pipe Spans, inches	Minimum Cover (feet)		
	for Indicated Axle Loads (kips)	75-110	110-150
12-42	2.0	2.5	3.0
48-72	3.0	3.0	3.5
78-120	3.0	3.5	4.0
126-144	3.5	4.0	4.5



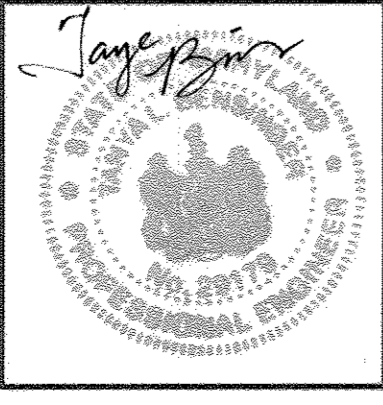
SCALE: HORIZ. 1" = 30'
VERT. 1" = 5'



UNDERGROUND PIPE DETENTION DETAIL SECTION C-C

Matis Warfield
consulting engineers

10540 York Road, Suite M
Hunt Valley, Maryland 21084
phone 410-683-7004
facsimile 410-683-1798
www.matiswarfield.com
contact: nick brader



OWNER/DEVELOPER

TWO FARMS, INC.
3611 Roland Avenue
Baltimore, Maryland 21211-2408
(410) 889-0200

REV 4 - 4/27/2017 - WGS
ADDED GAR CANOPY WITH
RAOF DRAINS AND
UNDERGROUND TANKS. ALSO
ADDED CONCRETE CURB,
CONCRETE SIDEWALK,
CROSSWALK STRIPING AND
PARKING SPACE STRIPING

Profiles & Details

ROYAL FARM STORE #54
8268 LARK BROWN ROAD

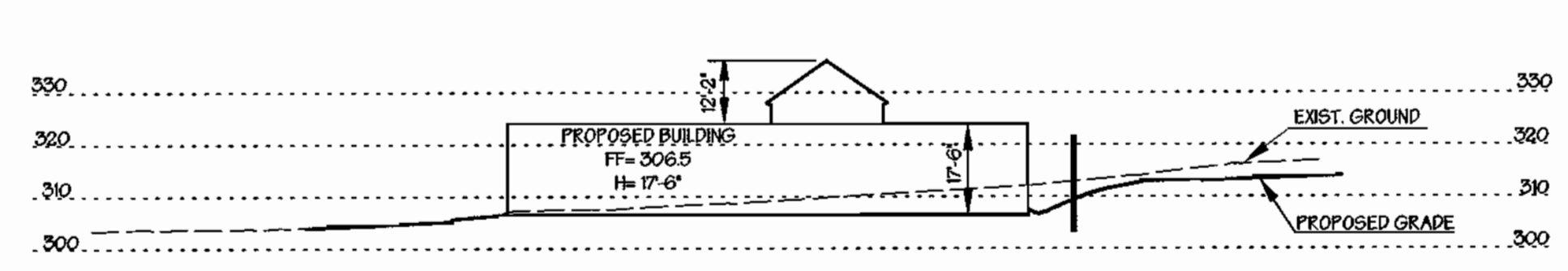
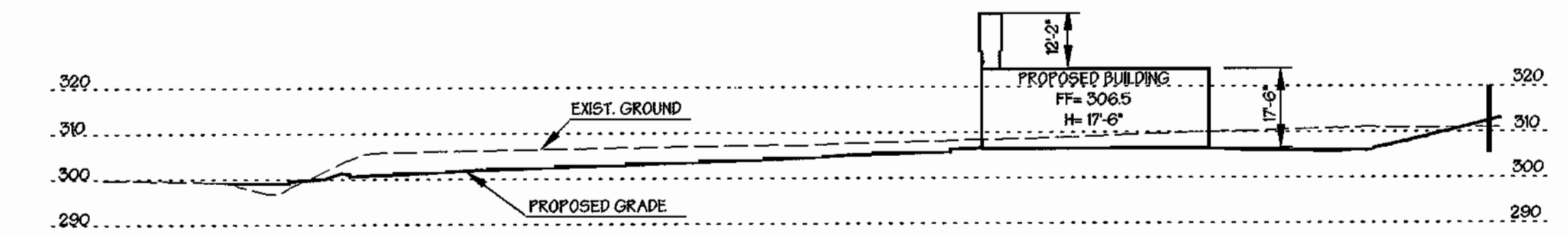
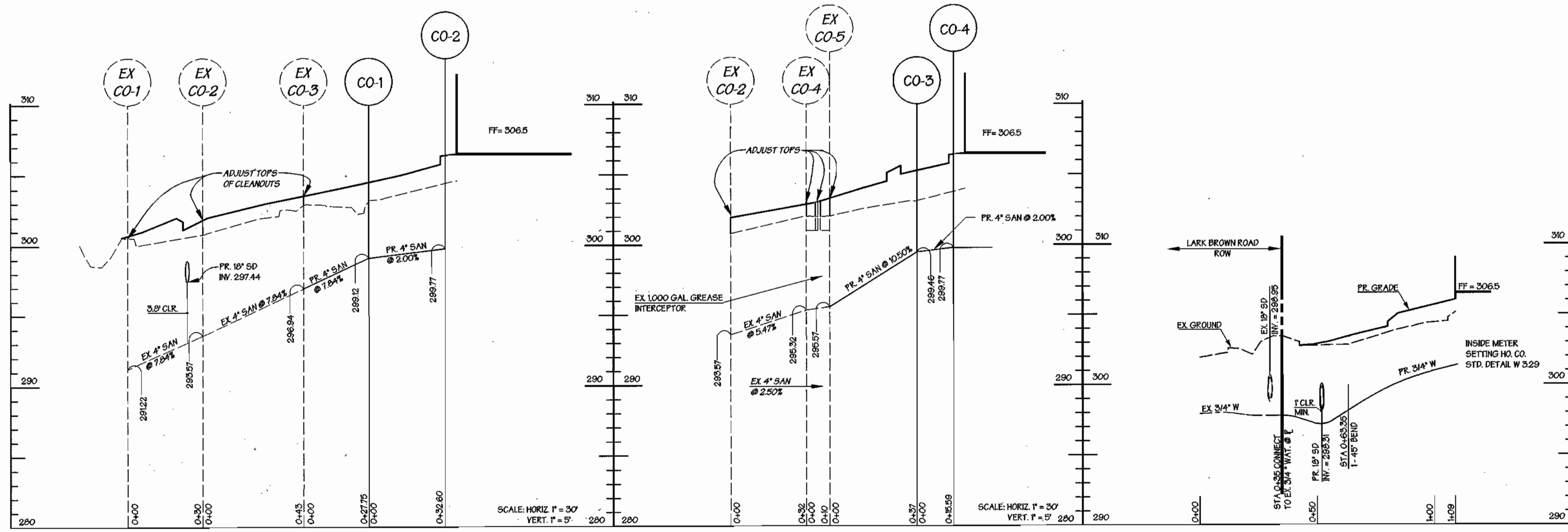
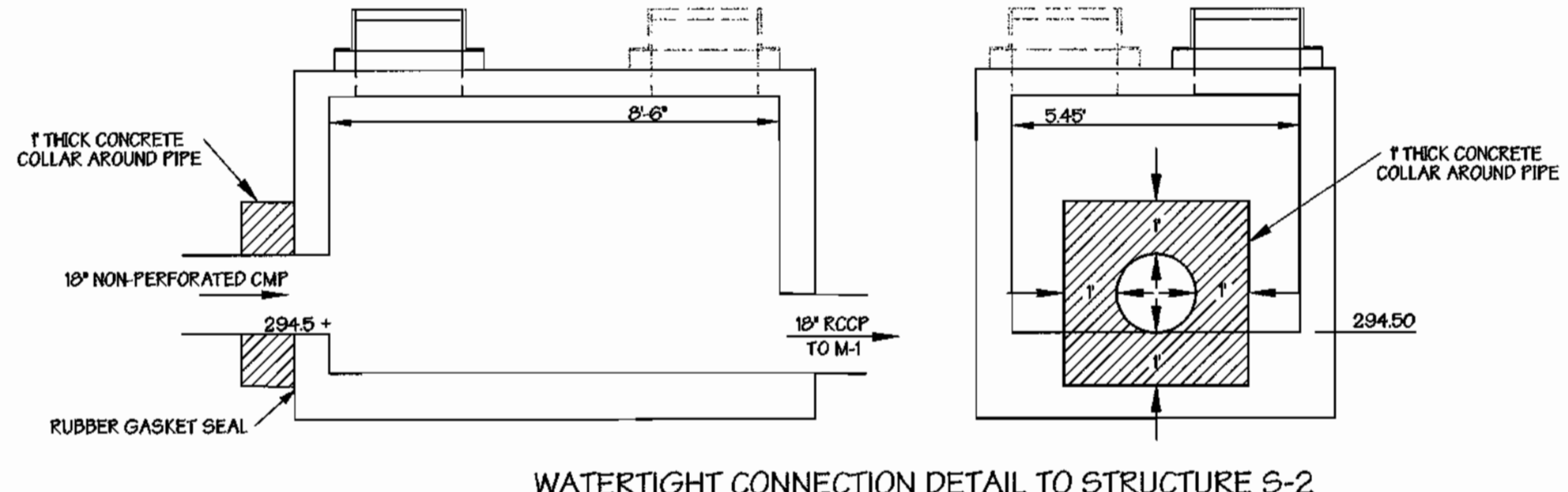
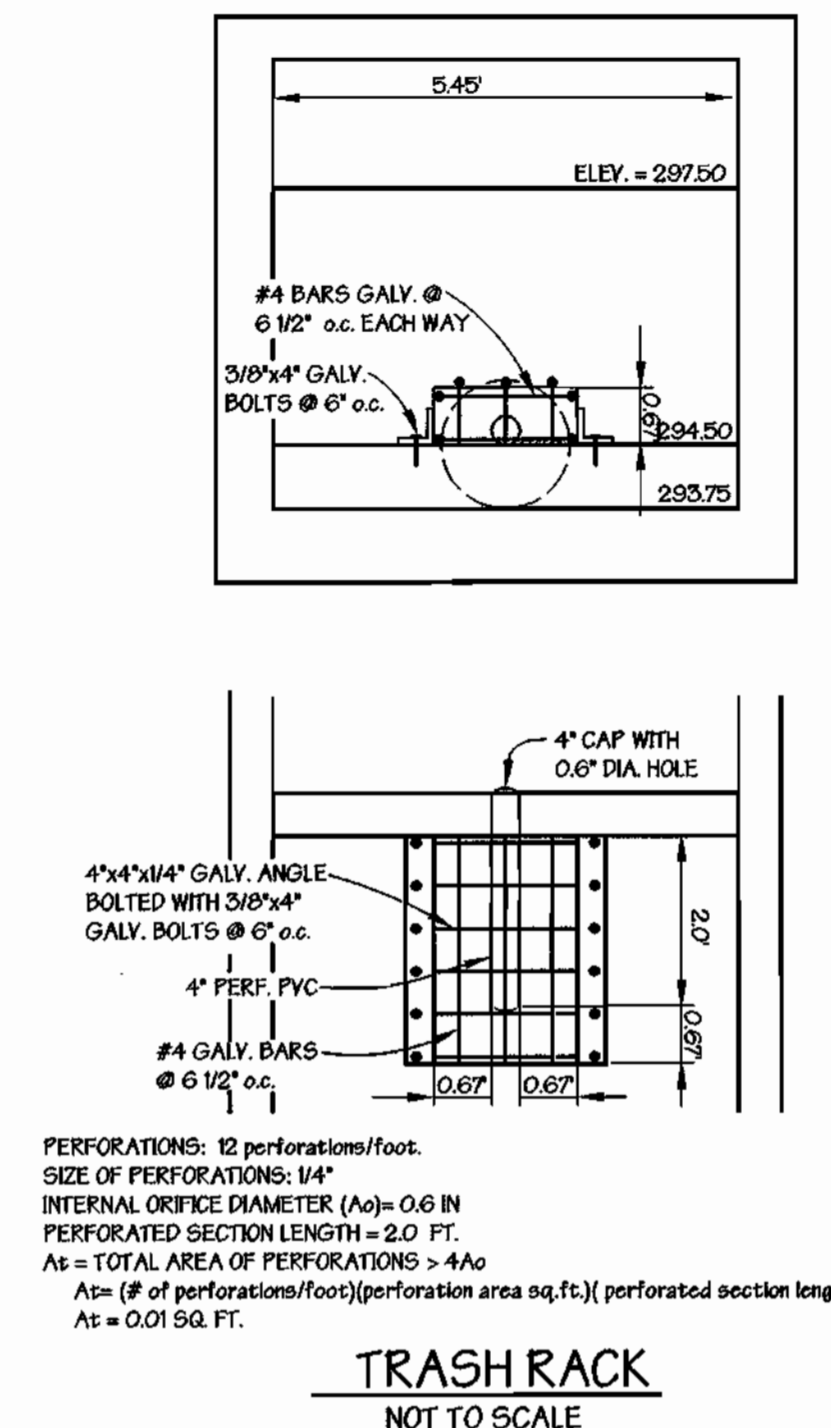
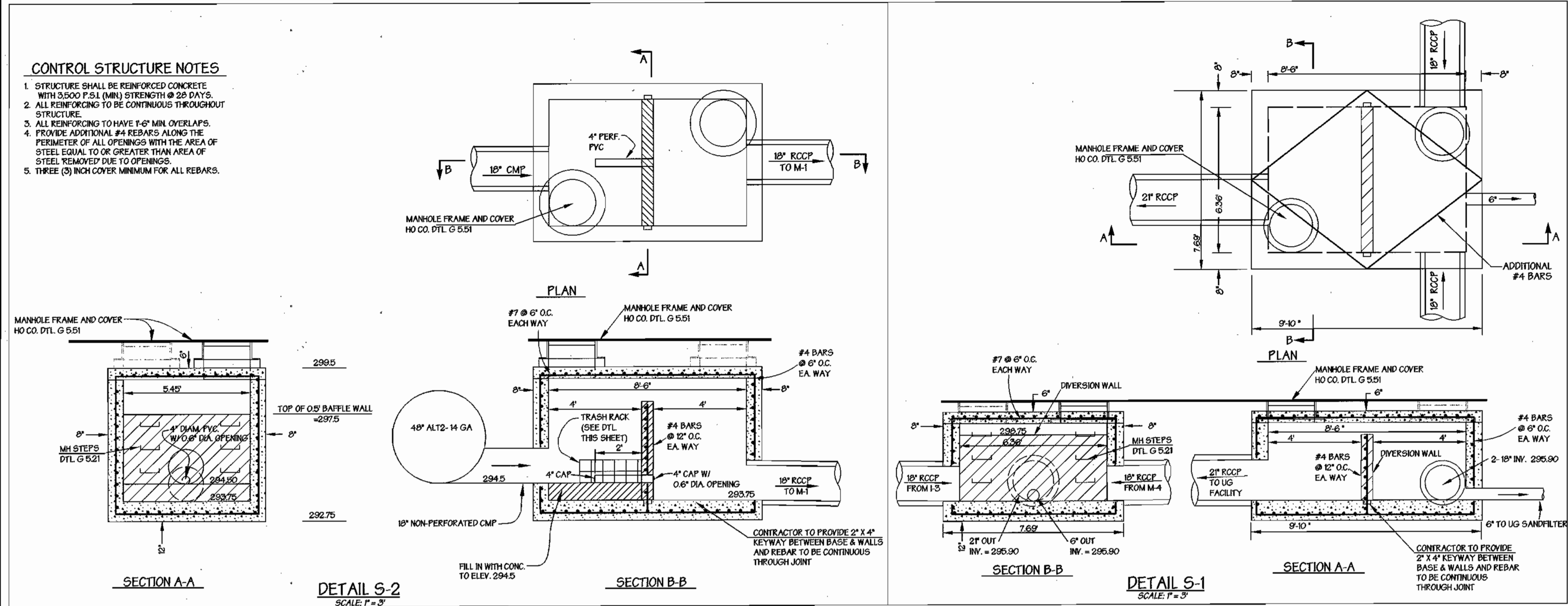
Howard County, Maryland
Scale: 1"=30'

August 14, 2003
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SDP 02-89

CONTROL STRUCTURE NOTES

1. STRUCTURE SHALL BE REINFORCED CONCRETE WITH 5,000 P.S.I. (MIN.) STRENGTH @ 28 DAYS.
2. ALL REINFORCING TO BE CONTINUOUS THROUGHOUT STRUCTURE.
3. ALL REINFORCING TO HAVE 6" MIN. OVERLAPS.
4. PROVIDE ADDITIONAL #4 REBARS ALONG THE PERIMETER OF ALL OPENINGS WITH THE AREA OF STEEL EQUAL TO OR GREATER THAN AREA OF STEEL REMOVED DUE TO OPENINGS.
5. THREE (3) INCH COVER MINIMUM FOR ALL REBARS.



Reviewed for the Howard Conservation District and meets technical requirements.

USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

APPROVED: HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 9/20/03

Cindy Hamilton DATE 10-1-03

DIVISION OF LAND DEVELOPMENT

Director DATE 10/1/03

DIRECTOR

ADDRESS CHART

BUILDING NO. STREET ADDRESS

8268 Lark Brown Road

SUBDIVISION NAME		SECTION NAME	PARCEL #
Gateway Office Park		N/A	Parcel B/TM 472
PLAT #	BLOCK #	ZONE	ELECT. DIST.
15520	20	B-1	6
WATER CODE		SEWER CODE	CENSUS TRACT
B08		3450000	6067.03

Matis Warfield
consulting engineers

10540 York Road Suite M
Hunt Valley, Maryland 21030
Phone 410-683-7004
Facsimile 410-683-1798
www.matiswarfield.com
contact: nick brader



OWNER/DEVELOPER

Cloverland Farms Dairy, Inc.
3611 Roland Avenue
Baltimore, Maryland 21211-2408
(410) 889-0200

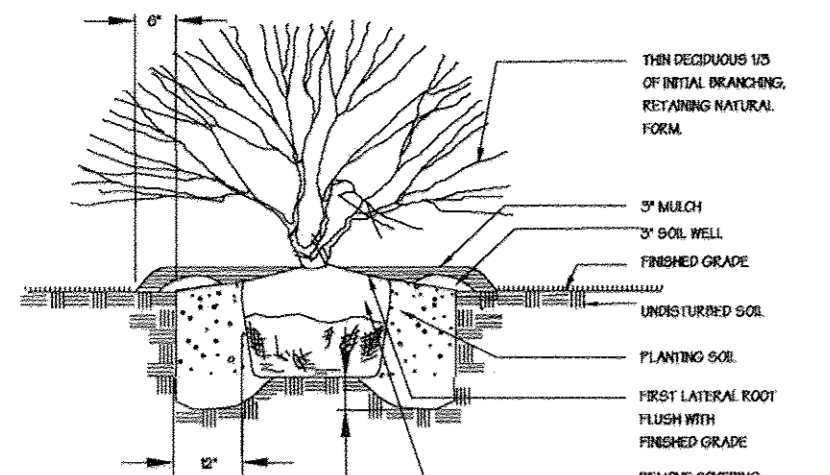
PROFILES & DETAILS

ROYAL FARM STORE #54
8268 LARK BROWN ROAD

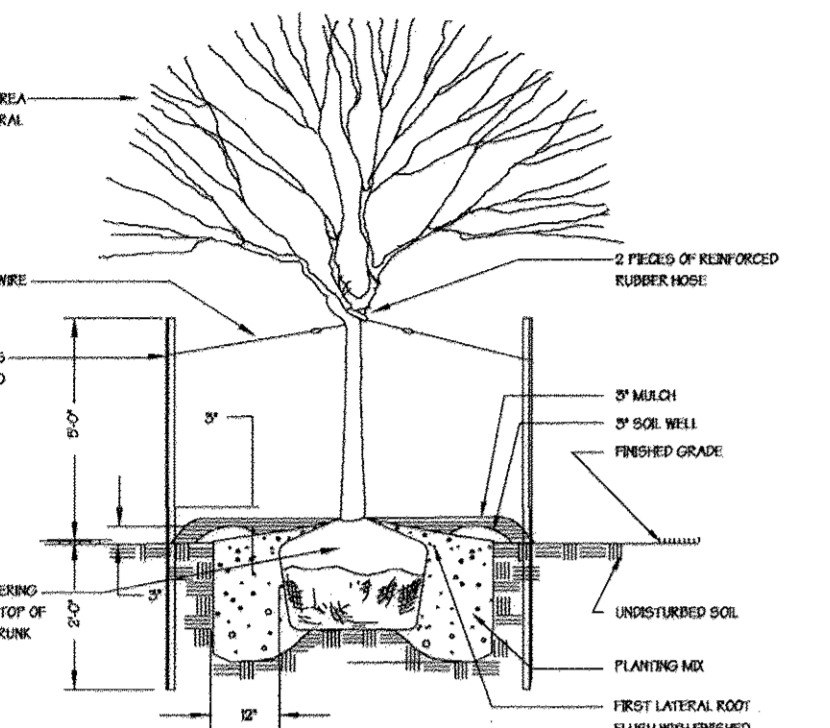
Howard County, Maryland
Scale: AS SHOWN

August 14, 2003
Sheet 6 of 12

SDP 02-89



PLANTING DETAIL FOR EVERGREEN AND DECIDUOUS SHRUBS
NOT TO SCALE



PLANTING DETAIL FOR TREES* - 1 - 4" CALIPER
NOT TO SCALE

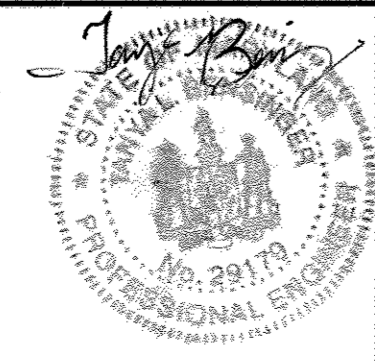
SPECIFICATIONS FOR PLANTING

- A. STANDARDS:**
1. ALL PLANT MATERIAL, CONSTRUCTION METHODS AND MATERIAL PLACEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., THE "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS"
 2. ALL TREES SHALL BE DELIVERED TO THE SITE BALLED AND BURLAPPED. ALL SHRUBS SHALL BE BALLED AND BURLAPPED OR BROOMERED. ALL GRASSES & PERENNIALS SHALL BE IN CONTAINERS.
 3. MAINTENANCE:
 1. AFTER THE PLANTING HAS BEEN APPROVED BY THE LANDSCAPE ARCHITECT AND THE OWNER, THE MAINTENANCE OF WATERING AND WEEDING OF SUCH PLANTS AND PLANTED AREAS SHALL BE PROVIDED BY THE OWNER. SINCE THE PLANTS ARE TO BE GUARANTEED BY THE CONTRACTOR, THE CONTRACTOR SHALL PERIODICALLY CHECK THE MAINTENANCE CONDUCTED BY THE OWNER. IF THE CONTRACTOR OR NOT SATISFIED WITH THE MAINTENANCE OF THE PLANTS, A WRITTEN REPORT, IN TRIPlicate, STATING APPROPRIATE CHANGES SHALL BE GIVEN IMMEDIATELY TO THE LANDSCAPE ARCHITECT. TWO COPIES WILL BE FORWARDED TO THE OWNER. BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING.
 2. MAINTAIN TREES UNTIL FINAL ACCEPTANCE, BUT IN NO CASE, LESS THAN 60 DAYS AFTER FINAL ACCEPTANCE OF PLANTING. MAINTAIN ALL PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED TO MAINTAIN PROPER GROWTH. RESOLVE PLANTING GAINERS, TIGHTEN AND REPAIR STAKES, AND GUY SUPPORTS AND RESET TREES TO PROPER GRADES AND VERTICAL POSITION AS REQUIRED. RESOLVE OR REPAIR DAMAGE TO PLANTS, WEAPONS, SPRAYS AS REQUIRED TO KEEP ALL PLANTS FREE OF INSECTS AND DISEASE.
- C. WATERING**
1. IN THE ABSENCE OF ADEQUATE RAINFALL, WATERING SHALL BE PROVIDED DAILY OR AS OFTEN AS NECESSARY DURING THE FIRST WEEK, AND IN SUFFICIENT QUANTITIES TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATERING SHALL NOT BE DONE DURING THE HEAT OF THE DAY. CONTRACTOR SHALL PROVIDE A SEPARATE LIQUID FERTILIZER IN THE OVERLAP LANDSCAPE AREAS FOR WATERING TO ALL NEW PLANTINGS DURING ONE GROWING SEASON.
 2. IRRIGATION:
 1. DEPTH AND WIDTH OF IRRIGATION FOR PLANTING OF ALL PLANTS SHALL BE TO TWICE THE DEPTH AND WIDTH OF ROOT BALL OR CONTAINER OF PLANT TO BE INSTALLED, EXCEPT AS NOTED ON DETAILS.
- D. EXCAVATION**
1. ALL TOPSOIL SHALL BE WELL GRADED LOAM OF GOOD UNIFORM QUALITY AND SHALL BE A NATURAL PROFILE SOIL FREE OF GRAVELS, STONES, LIMESTONE OR ANY OTHER FOREIGN MATTER. TOPSOIL SHALL CONFORM AT LEAST TO ORGANIC MATTER. IF SUFFICIENT TOPSOIL IS NOT AVAILABLE ON THE SITE TO MEET THE DEPTH AS SPECIFIED HEREIN, THE CONTRACTOR SHALL FURNISH ADDITIONAL TOPSOIL. PRIOR TO TOPSOIL DELIVERY, THE CONTRACTOR SHALL OBTAIN THE LANDSCAPE ARCHITECT'S APPROVAL OF THE SOURCE FROM WHICH TOPSOIL IS TO BE FURNISHED.
 2. FOR PLANTING MIX, MIX THOROUGHLY SUB EXISTING SOIL AND 10% LEAF MULD OR EQUAL ORGANIC MATTER.
 3. MULCH MATERIAL SHALL BE OF UNIFORM SIZE, THE CHEEDEST FINEST, HAYWOOD MULCH OR APPROXIMATELY EQUAL MULCH SHALL BE A REDDISH-DARK BROWN COLOR AND SHALL BE LAD TO A UNIFORM MINIMUM DEPTH OF 2 INCHES. MULCH AREAS AROUND TREES AT THE BASE OF 10" DUMPSTER POTS OF TRUNK CALIPER.
- E. TOPSOIL, PLANTING MIX, AND MULCH**
1. ALL PLANT MATERIAL AND LAWN AREAS SHALL BE GUARANTEED TO BE IN A VIGOROUS GROWING CONDITION ONE YEAR FROM THE DATE OF FINAL INSPECTION AND ACCEPTANCE. AT THE TERMINATION OF THIS PERIOD, THE CONTRACTOR SHALL HAVE COMPLETED THE PRESCRIBED MAINTENANCE SCHEDULE. ANY PLANTS INFECTED WITH PESTS OR DISEASES WILL BE REMOVED OR TREATED. ALL DEAD OR UNACCEPTABLE PLANTS WILL BE REPLACED BY THE SAME PLANTS AND SIZES DESIGNATED ON THE PLANT LIST. THESE PLANTS SHALL BE PLANTED, MULCHED AND GUY AS SPECIFIED HEREIN AND WITHOUT EXTRA COMPENSATION TO THE CONTRACTOR. AT THE COMPLETION OF ALL SUCH WORK AND WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT, THE CONTRACT WILL BE CONSIDERED COMPLETE.
- F. SUBSTITUTIONS:**
1. IF A PLANT IS FOUND NOT TO BE SUITABLE OR AVAILABLE, THE LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE ORDERING THE OWNER OR LANDSCAPE ARCHITECT WILL THEN SELECT A REASONABLE ALTERNATIVE OR WITHIN ALL LANDSCAPE CONTRACTORS OF THE AVAILABILITY OF THE ORIGINAL PLANT.
 2. PRUNING, CLEANUP, PROTECTION OF EXISTING MATERIALS AND REVEGETATION:
 1. THE CONTRACTOR SHALL PRUNE PLANT MATERIAL WITHIN TWO (2) DAYS OF INSTALLATION IN ACCORDANCE WITH THE DETAILS AND AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
 2. DURING COURSE OF PLANTING, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY AND PROMPTLY REMOVED. LAWN AREAS KEPT CLEAR, AND ALL REASONABLE PRECAUTIONS TAKEN TO AVOID DAMAGE TO ANY EXISTING LAWNS, PAVING, ETC. NOT SPECIFICALLY FOR REMOVAL. WHEN PLANTING IN AN AREA HAS BEEN COMPLETED, THE AREA SHALL BE CLEANED UP THOROUGHLY. DEBRIS, RUBBISH, RUBBISH, AND WASTE MATERIALS SHALL BE CLEANED UP AND REMOVED FROM THE PROPERTY. EXISTING GRASS AREAS WHICH HAVE BEEN DAMAGED BY THE WORK SHALL BE RESEED AND SOODED TO MATCH THE EXISTING LAWN. THE ENTIRE AREA SHALL BE KEPT AND CLEAN TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.
 3. CONTRACTOR SHALL AT ALL TIMES, PROTECT ALL PLANTS AND LAWNS FROM DAMAGE. THE MOVING OF HEAVY EQUIPMENT OR MATERIAL OVER THE LAWN AREAS SHALL BE DONE ON PLANKS OR FORDOMS.
 4. THE CONTRACTOR SHALL RESTORE TO THEIR ORIGINAL CONDITION ALL FURNITURE, ORDERED OR PLANTED AREAS, STRUCTURES OR SUBSTRUCTURES, NOT SCHEDULED FOR REMOVAL, WHICH ARE DAMAGED BY THE CONTRACTOR DURING PLANTING OPERATIONS. SUCH RESTORATION SHALL BE IN A MANNER SATISFACTORY TO THE LANDSCAPE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.
 3. FINAL INSPECTION AND GUARANTEE:
 1. AFTER PLANTING IS COMPLETED INCLUDING MULCHING AND CLEANUP, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING TO REQUEST FINAL INSPECTION OF THE TOTAL PLANTING. THE LANDSCAPE ARCHITECT SHALL MAKE A FINAL INSPECTION AS SOON AS POSSIBLE. LANDSCAPE ARCHITECT SHALL NOTIFY THE LANDSCAPE CONTRACTOR, IN WRITING, WHEN ALL WORK IS SATISFACTORILY COMPLETE. IF WORK IS NOT SATISFACTORY COMPLETE, THE LANDSCAPE ARCHITECT WILL NOTIFY THE LANDSCAPE CONTRACTOR, IN WRITING, AS TO THE DEFICIENCIES IN THE WORK AND THE NECESSARY CORRECTIVE MEASURES. THE LANDSCAPE CONTRACTOR WILL BE GIVEN A REASONABLE AMOUNT OF TIME TO CORRECT THE DEFICIENCIES, AND ANOTHER FINAL INSPECTION WILL BE SCHEDULED BY THE LANDSCAPE ARCHITECT.
 2. ALL PLANT MATERIAL AND LAWN AREAS SHALL BE GUARANTEED TO BE IN A VIGOROUS GROWING CONDITION ONE YEAR FROM THE DATE OF FINAL INSPECTION AND ACCEPTANCE. AT THE TERMINATION OF THIS PERIOD, THE CONTRACTOR SHALL HAVE COMPLETED THE PRESCRIBED MAINTENANCE SCHEDULE. ANY PLANTS INFECTED WITH PESTS OR DISEASES WILL BE REMOVED OR TREATED. ALL DEAD OR UNACCEPTABLE PLANTS WILL BE REPLACED BY THE SAME PLANTS AND SIZES DESIGNATED ON THE PLANT LIST. THESE PLANTS SHALL BE PLANTED, MULCHED AND GUY AS SPECIFIED HEREIN AND WITHOUT EXTRA COMPENSATION TO THE CONTRACTOR. AT THE COMPLETION OF ALL SUCH WORK AND WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT, THE CONTRACT WILL BE CONSIDERED COMPLETE.

Prepared By:
Human & Rohde, Inc., Landscape Architects
512 Virginia Ave.
Towson, MD 21286
Phone # 410-825-3885

Matis Warfield
consulting engineers

10540 York Road, Suite 200
Hunt Valley, MD 21031
Phone 410-683-7004
Facsimile 410-683-1798
www.matiswarfield.com



MD ROUTE 108 WATERLOO ROAD (Minor Arterial)

PERIMETER 1 TYPE 'B' SCREEN / 94 LF
NON-RESIDENTIAL TO ROAD

PERIMETER 2A TYPE 'D' / 211 LF
LOADING ADJ. TO ROWDY.

PERIMETER 2 TYPE 'E' SCREEN / 223 LF
PARKING TO ROAD

PERIMETER 3 TYPE 'C' / 111 LF
LOADING TO NON-RESIDENTIAL

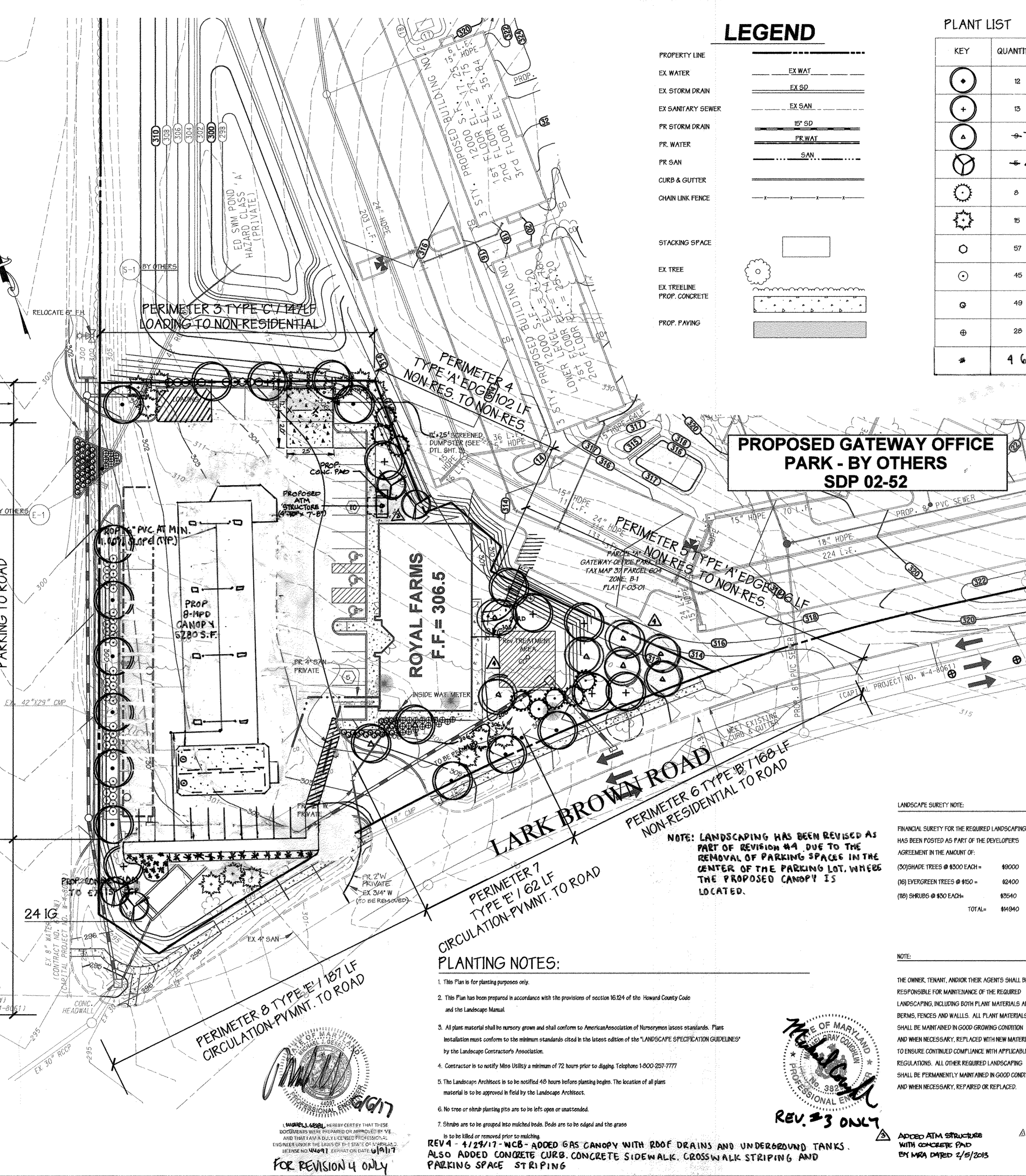
PERIMETER 4 TYPE 'A' EDGE / 102 LF
NON-RES. TO NON-RES.

PERIMETER 5 TYPE 'A' EDGE / 102 LF
NON-RES. TO NON-RES.

PERIMETER 6 TYPE 'B' / 168 LF
NON-RESIDENTIAL TO ROAD

PERIMETER 7 TYPE 'E' / 62 LF
CIRCULATION-PVMT. TO ROAD

PERIMETER 8 TYPE 'E' / 187 LF
CIRCULATION-PVMT. TO ROAD



PROPOSED GATEWAY OFFICE PARK - BY OTHERS
SDP 02-52

PLANTING NOTES:

1. This Plan is for planting purposes only.
 2. This Plan has been prepared in accordance with the provisions of section 16.024 of the Howard County Code and the Landscape Manual.
 3. All plant material shall be nursery grown and shall conform to American Association of Nurserymen latest standards. Plant installation must conform to the minimum standards cited in the latest edition of the "LANDSCAPE SPECIFICATION GUIDELINES" by the Landscape Contractors Association.
 4. Contractor is to notify Mose Utility a minimum of 72 hours prior to digging. Telephone 1-800-257-7777
 5. The Landscape Architect is to be notified 48 hours before planting begins. The location of all plants material is to be approved in field by the Landscape Architect.
 6. No tree or shrub planting pits are to be left open or unattended.
 7. Shrubs are to be grouped into mulched beds. Beds are to be edged and the grass is to be killed or removed prior to mulching.
- REV 4 - 4/29/17 - WCB - ADDED GAS CANOPY WITH ROOF DRAINS AND UNDERGROUND TANKS. ALSO ADDED CONCRETE CURB, CONCRETE SIDEWALK, CROSSWALK STRIPING AND PARKING SPACE STRIPING

LANDSCAPE SURETY NOTE:

FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF:

(30) SHADE TREES @ \$300 EACH =	\$9000
(16) EVERGREEN TREES @ \$150 =	\$2400
(18) SHRUBS @ \$50 EACH =	\$900
TOTAL =	\$12300

NOTE:

THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BIRMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED OR REPLACED.



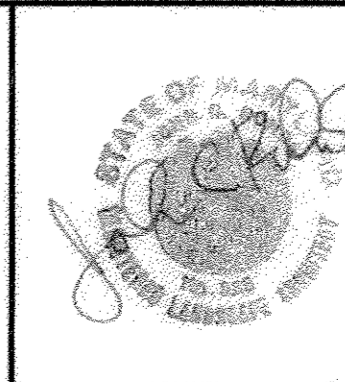
REV. #3 ONLY

APPROVED ATM STRUCTURE WITH CONCRETE PAD BY MRA DATED 2/5/2015

REV 11/14 - ADD SIDEWALK TO REAR OF BLDG. CHANGE WALK FROM 14" TO 24"

OWNER/DEVELOPER
TWO FARMS, INC.
3611 Roland Avenue
Baltimore, Maryland 21211-2408
(410) 889-0200

DEVELOPER'S / BUILDER'S CERTIFICATE
I/ We certify that the landscaping shown on this plan will be done according to the plan, Section 16.024 of the Howard County Code and the Howard County Landscape Manual.
I/ We further certify that upon completion, a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.
John M. Kemp 8/10/03
DEVELOPER / BUILDER DATE



PLANT LIST

KEY	QUANTITY	BOTANICAL NAME COMMON NAME	SIZE	CONDITION	REMARKS
⊙	12	ACER RUBRUM 'RED SUNSET' RED SUNSET RED MAPLE	2 1/2" CAL.	B & B	
⊕	15	QUERCUS PALUSTRIS PIN OAK	2 1/2" CAL.	B & B	
⊙	7	ULMUS PARVIFOLIA 'DYNASTY' DYNASTY ELM	2 1/2" CAL.	B & B	
⊕	4	CORNUS MAS CORNELLANCHERRY DOGWOOD	1 3/4" CAL.	B & B	
⊙	8	PICEA ABIES NORWAY SPRUCE	6-8' HT.	B & B	SPACE 10' O.C. STAGGER
⊙	15	PINUS STROBUS EASTERN WHITE PINE	6-8' HT.	B & B	SPACE 10' O.C. STAGGER
⊙	57	CORNUS STOLONIFERA 'BAILEY' BAILEY'S RED TWIG DOGWOOD	30-36" HT.	B & B	SPACE 4' O.C. STAGGER
⊙	45	EUONYMUS ALATUS COMPACTA DWARF WINGED EUONYMUS	24-30" HT.	B & B	SPACE 4' O.C. STAGGER
⊕	49	JUNIPERUS CHINENSIS 'SARGENTI' SARGENT'S JUNIPER	18-24" SPD	CONTAINER	SPACE 9' O.C. STAGGER
⊕	28	Berberis thunbergii CRIMSON PYGMY BARBERRY	24-30" HT.	CONTAINER	SPACE 9' O.C. STAGGER
⊕	46	JUNIPERUS DAURICA 'PARSONI' PARSON JUNIPER	15-18" SPD.	H3CAN	SPACE 3' O.C. STAGGER

SCHEDULE A
PERIMETER LANDSCAPE EDGE

Category	Adjacent to Roadways	Adjacent to Perimeter Properties
Perimeter Number	1, 6, 2A, 2, 7, 8	4, 5, 3
Landscape Type	'B', 'D', 'E', 'A', 'C'	
Linear Feet of Roadway Frontage/Perimeter	262 LF.	21 LF., 472 LF., 298 LF., 147 LF.
Credits for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	NO	NO, NO, NO, NO
Credits for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	NO	NO, NO, NO, NO
Number of Plants Required		
Shade Trees	5	12
Evergreen Trees	7	4
Shrubs		118
Number of Plants Provided		
Shade Trees	4	13
Evergreen Trees	8	6
Other Trees (2:1 substitution)	2	
Shrubs (10:1 substitution)		123
(Describe plant substitution credits below if needed)	24 FL. TREES - 1 SHD. TREE	10 SHRUBS - 1 EVG.

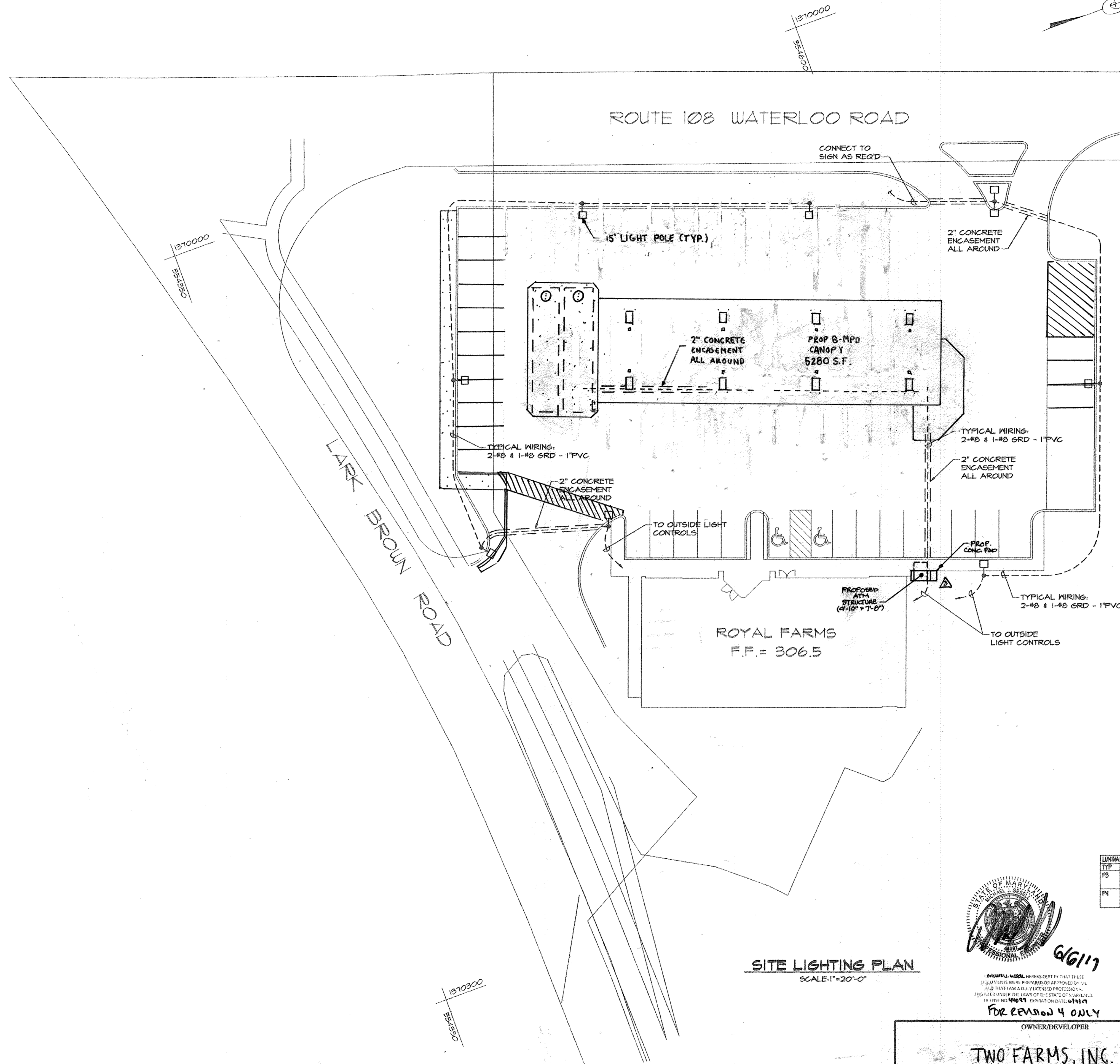
SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING

Number of Parking Spaces	30
Number of Trees Required	2
Number of Trees Provided	2
Other Trees (2:1 substitution)	N/A
Internal Islands Required	2
Internal Islands Provided (Min. 200 Sq Ft)	2 EA. 500 Sq Ft ISLANDS @ 12' WIDTH EQUIVALENT TO 5 EA. 200 Sq Ft ISLANDS

REV. 11/2/06 - REVISED SIZE OF DUMPSTER TO 12' x 25' AND INC. SIZE OF PAD TO 32' x 25'.
REV. 3/1/06 - MOVED DUMPSTER & INCREASED DUMPSTER SIZE. ADDED SIDEWALK AND STAIRS. LOWERED RE, TREATMENT AREA.

APPROVED: Department of Planning and Zoning
CHIEF, DEVELOPMENT ENGINEERING DIVISION
Linda Hamilton 9/15/03
DIVISION OF LAND DEVELOPMENT
Joseph J. Cayle 10/1/02
DIRECTOR DATE

Landscape Plan
ROYAL FARM STORE #54
LARK BROWN ROAD
Howard County, Maryland
Scale: 1"=30'
August 14, 2003
Sheet 11 of 13

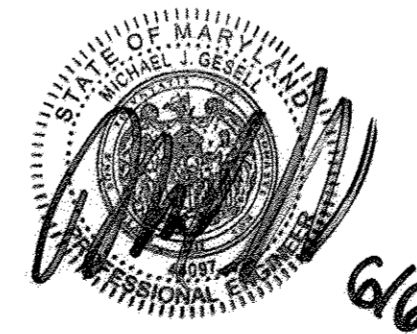


SITE LIGHTING PLAN
SCALE: 1"=30'-0"

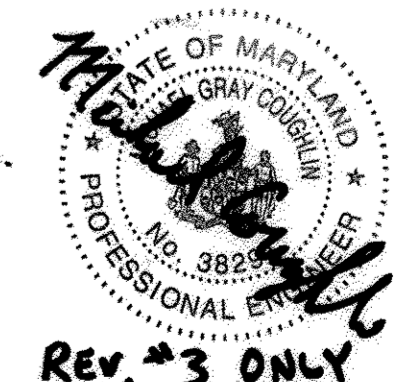
LUMINAIRE SCHEDULE						
TYPE	SYMBOL	DESCRIPTION	LAMP	LUMENS	MOUNTING/BALLAST	HLF
P3		Spaulding 1 of 115	(1) H5-250MR	23000	IS 25	0.80
P4		Spaulding 2 of 115	(2) H5-250MR	23000	IS 25	0.80

▲ REV 4-4/24/17-WCB-ADDED GAS CANOPY WITH ROOF DRAINS AND UNDERGROUND TANKS. ALSO ADDED CONCRETE CURB, CONCRETE SIDEWALK, CROSSWALK STRIPING AND PARKING SPACE STRIPING.

▲ ADDED ATM STRUCTURE WITH CONCRETE PAD BY MRA DATED 2/5/2015



FOR REVISION 4 ONLY
OWNER/DEVELOPER



REV. #3 ONLY

Reviewed for the Howard Conservation District and meets technical requirements.

USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

APPROVED: HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: Department of Planning and Zoning

CHIEF, DEVELOPMENT-ENGINEERING DIVISION DATE 9/20/13

Cindy Hamilton 10-1-13
DIVISION OF LAND DEVELOPMENT DATE

Patrick A. Wynn 11/1/13
DIRECTOR DATE

ADDRESS CHART
BUILDING NO. STREET ADDRESS
8268 Lark Brown Road

SUBDIVISION NAME	SECTION NAME	PARCEL #
Gateway Office Park	N/A	Parcel B/TM 472
PLAT #	BLOCK #	ZONE
15520	20	B-1
TAX MAP	ELECT. DIST.	CENSUS TRACT
37	6	6067.03
WATER CODE B08	SEWER CODE 3450000	

PETER W. RATCLIFFE, A.I.A.
ARCHITECTS
10404 Stevenson Road
Stevenson, Maryland 21153
410-443-7477 Fax: 410-443-7478

MORRIS & RITCHE ASSOCIATES, INC.
Professional Engineer
10000 Rockville Road
Rockville, Maryland 20850
301-761-8778 Fax: 301-761-8778

ROYAL FARMS STORE
ADDRESS
STORE #54

CONTENT:

REVISED:
date

DATE: 07/02/02
SCALE: AS SHOWN
DRAWN BY: MJR

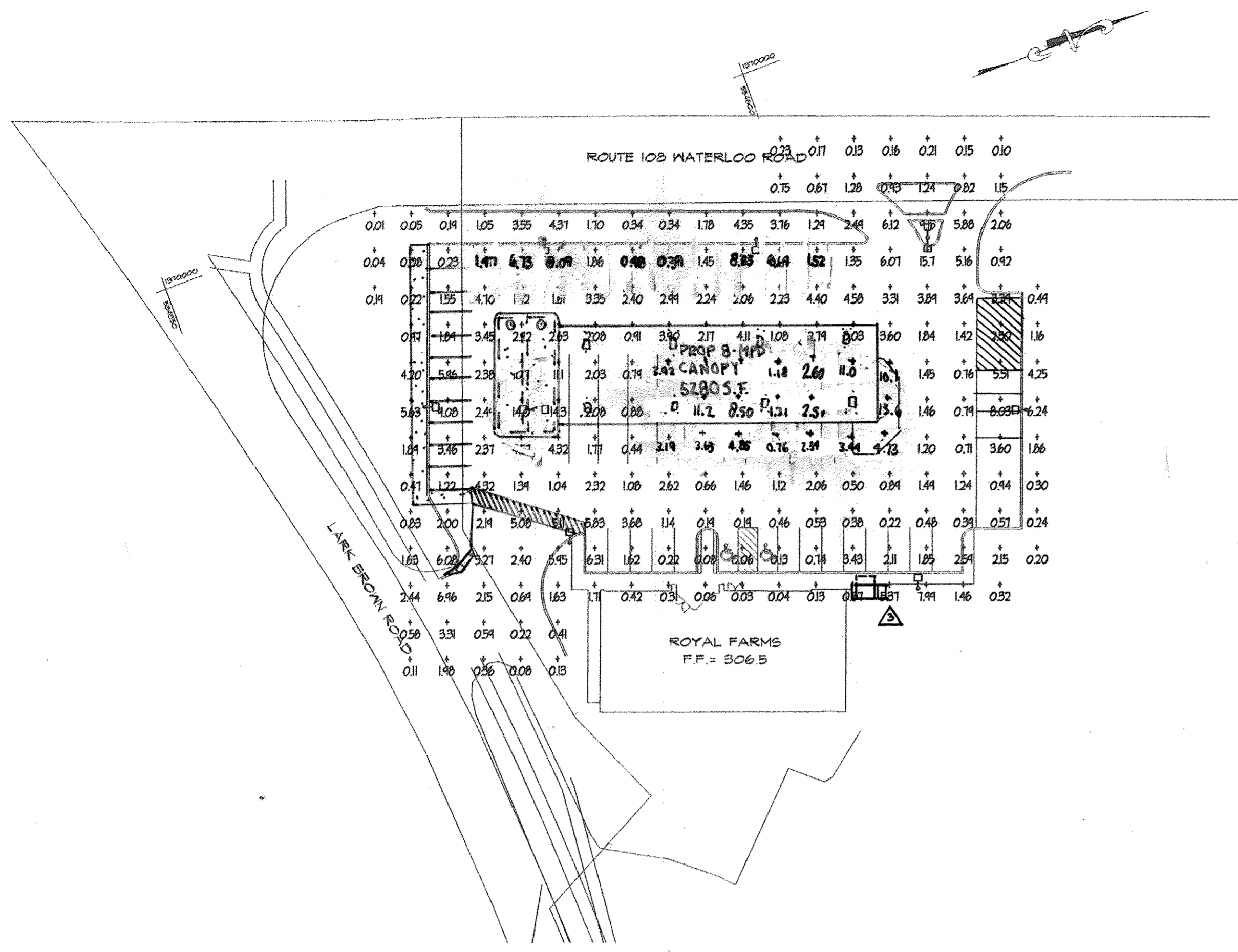
E-1
SHEET 12 OF 13

Lighting Plan
ROYAL FARM STORE #54
8268 LARK BROWN ROAD

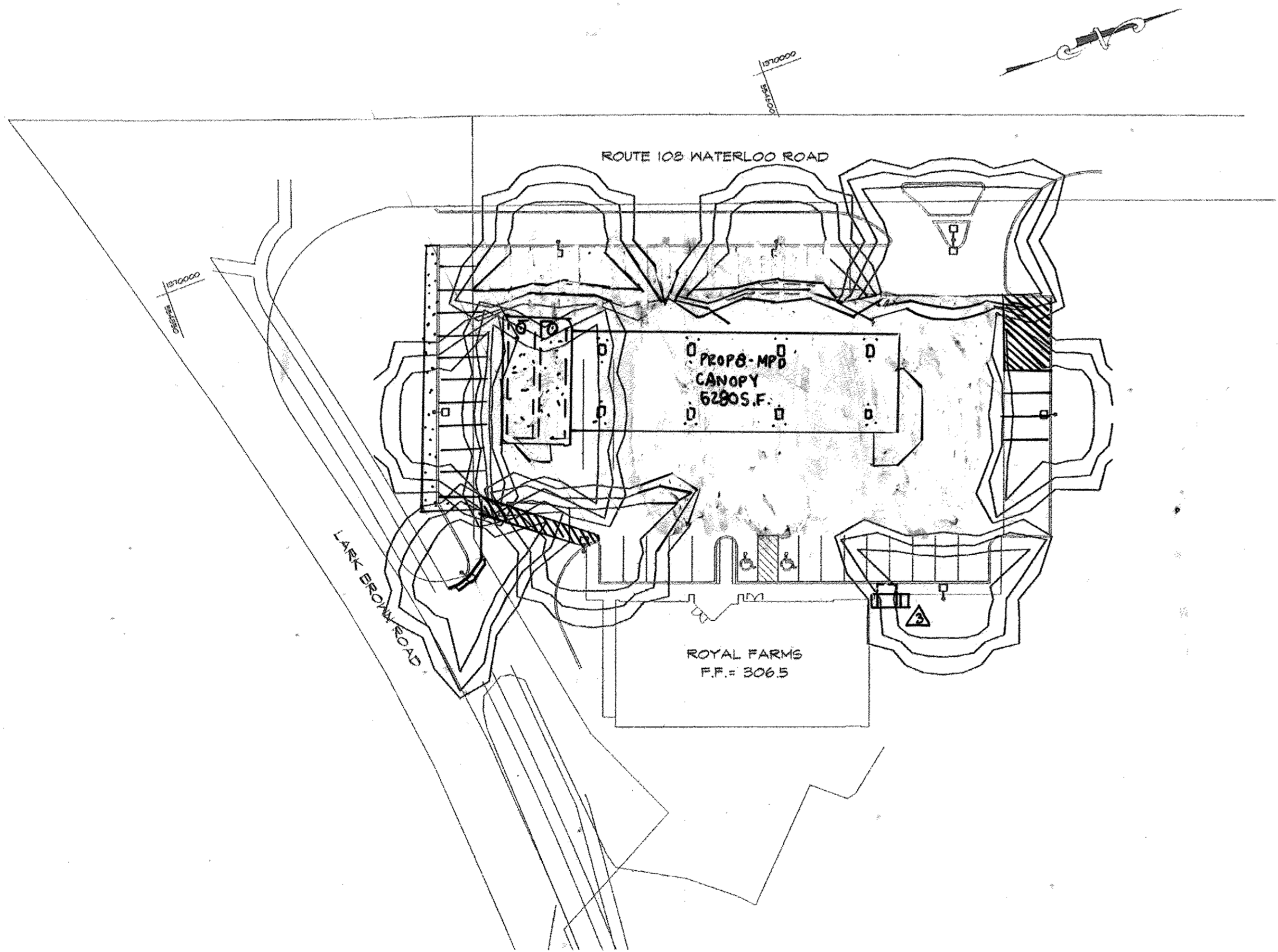
Two Farms, Inc.
3611 Roland Avenue
Baltimore, Maryland 21211-2408
(410) 889-0200

Howard County, Maryland
Scale: 1"=30'

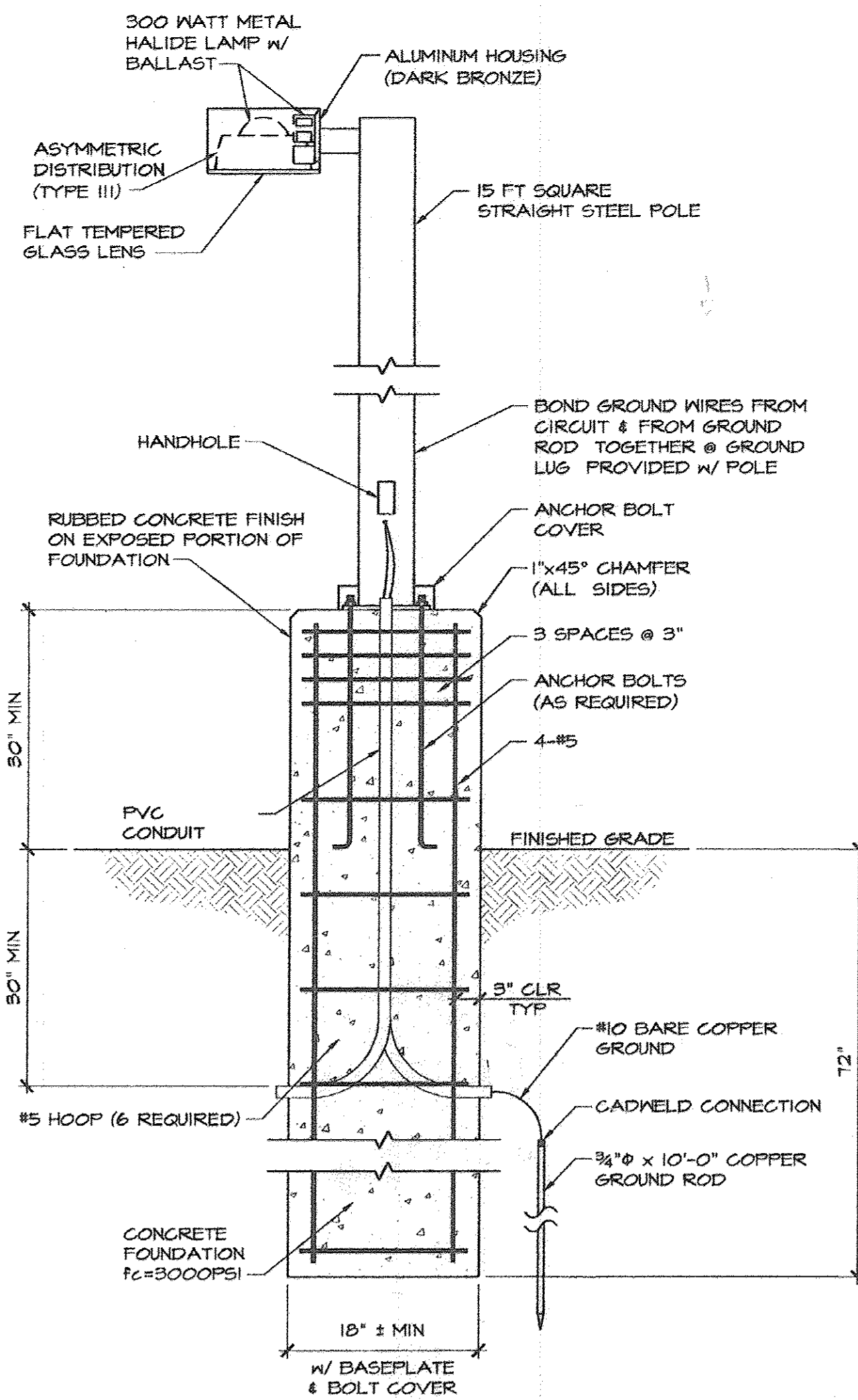
August 14, 2003
Sheet 12 of 13



FOOTCANDLES
SCALE: 1"=40'



PHOTOMETRICS
SCALE: 1"=40'



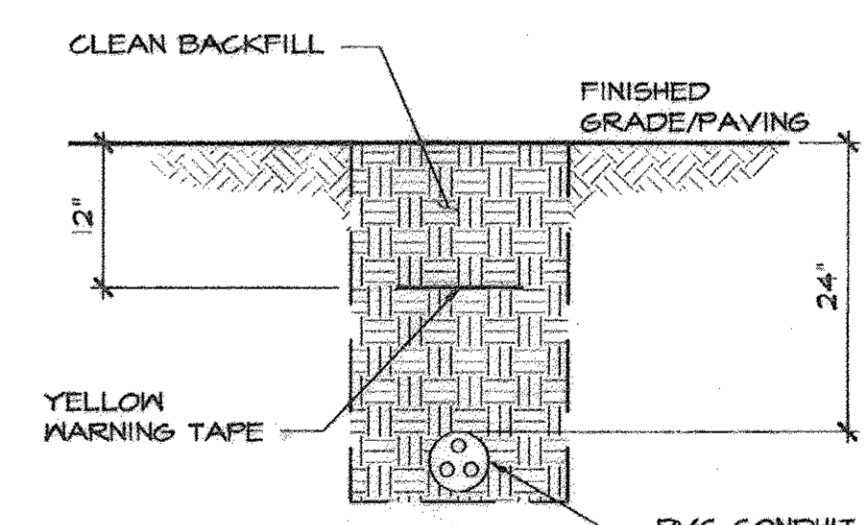
NOTE:
1) SPAULDING "NEWARK" SERIES OR EQUAL.

SITE LIGHT & POLE BASE
NOT TO SCALE

SPECIFICATIONS:

- SECTION 16010 - BASIC ELECTRICAL REQUIREMENTS
- A. THE WORK OF EACH OF THE ELECTRICAL SECTIONS INCLUDES FURNISHING AND INSTALLING THE MATERIAL, EQUIPMENT, AND SYSTEMS COMPLETE AS SPECIFIED AND/OR INDICATED ON THE DRAWINGS. THE ELECTRICAL INSTALLATIONS, WHEN FINISHED, SHALL BE COMPLETE AND COORDINATED, READY FOR SATISFACTORY SERVICE.
 - B. THE WORK UNDER THIS CONTRACT SHALL BE DONE IN STRICT ACCORDANCE WITH ALL APPLICABLE MUNICIPAL, STATE, AND OTHER LOCAL CODES, AND THE 1999 EDITION OF THE NATIONAL ELECTRICAL CODE.
 - C. THE CONTRACTOR SHALL MAKE APPLICATION AND PAY FOR ALL PERMITS, LICENSES AND INSPECTIONS AS REQUIRED UNDER THE ABOVE CODES.
 - D. THE GENERAL ARRANGEMENT OF CONDUIT, WIRING AND EQUIPMENT SHALL BE AS IDENTIFIED ON THE CONTRACT DRAWINGS. THE CONTRACTOR SHALL CAREFULLY INVESTIGATE THE SITE, STRUCTURAL, AND FINISH CONDITIONS AFFECTING HIS WORK AND SHALL ARRANGE SUCH WORK ACCORDINGLY, PROVIDING SUCH FITTINGS AND ACCESSORIES AS MAY BE REQUIRED TO MEET SUCH CONDITIONS.
 - E. ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED AND COMPLETED IN A FIRST CLASS WORKMANLIKE MANNER. ALL MATERIALS SHALL BE NEW AND THE BEST OF THEIR RESPECTIVE KINDS. ALL EQUIPMENT AND SYSTEMS SHALL BE APPROVED BY UL OR SIMILAR NATIONALLY ACCEPTED TESTING AGENCY SUCH AS ETL TESTING LABORATORIES.
 - F. THE CONTRACTOR SHALL SUBMIT DETAILED DIMENSIONED SHOP DRAWINGS, TOGETHER WITH WIRING DIAGRAMS, SPECIFICATIONS, OPERATING DATA, AND/OR CATALOG CUTS FOR ALL EQUIPMENT.
 - G. THE MATERIAL AND WORKMANSHIP OF ALL PARTS OF THE ELECTRICAL INSTALLATION SPECIFIED HEREIN SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE.
 - H. UPON COMPLETION OF THE ELECTRICAL INSTALLATION, THE CONTRACTOR SHALL DELIVER TO THE OWNER ONE (1) SET OF PRINTS OF ELECTRICAL CONTRACT DRAWINGS WHICH SHALL BE LEGIBLY MARKED IN RED PENCIL TO SHOW ALL ADDITIONS, CHANGES AND DEPARTURES OF THE INSTALLATION AS COMPARED WITH THE ORIGINAL DESIGN. THEY SHALL BE SUITABLE FOR USE IN PREPARATION OF RECORD DRAWINGS.
 - I. SEAL ALL CONDUIT PENETRATIONS THRU RATED WALLS AND FLOORS TO MAINTAIN FIRE INTEGRITY.

- SECTION 16050 - BASIC ELECTRICAL MATERIALS AND METHODS
- A. INSTALL ALL WIRING IN CONDUIT EXCEPT AS OTHERWISE INDICATED. MINIMUM CONDUIT SIZE SHALL BE 3/4" INSTALL ALL CONDUIT CONCEALED WHERE POSSIBLE. PROVIDE CONDUIT AS FOLLOWS:
 1. RIGID STEEL CONDUIT FOR WORK EXPOSED BELOW 12 FT. OR EMBEDDED IN CONCRETE OR MASONRY.
 2. GALVANIZED ELECTRICAL METALLIC TUBING (EMT) FOR INTERIOR EXPOSED WORK ABOVE 12 FT. CONCEALED WORK ABOVE SUSPENDED CEILINGS, AND WITHIN INTERIOR PARTITIONS OR NON-MASONRY WALLS.
 3. POLYVINYL CHLORIDE (PVC) SCHEDULE 40 CONDUIT WITH GROUND CONDUCTOR FOR UNDERGROUND AND UNDER SLAB INSTALLATION MAY BE USED.
 - B. INSTALL CONDUITS PARALLEL AND PERPENDICULAR TO WALLS AND INTERIOR SURFACES. CLEAN AND PLUG AND PROVIDE A PULL LINE IN EACH CONDUIT TO BE LEFT EMPTY. USE MANUFACTURER'S ELBOWS AND COMPRESSION TYPE INSULATED CONDUIT FITTINGS. USE CAPPED BUSHINGS OR "PUSH PENNY" PLUGS.
 - C. JUNCTION AND PULL BOXES SHALL BE FURNISHED AND INSTALLED AS INDICATED OR WHERE REQUIRED TO FACILITATE PULLING OF WIRES OR CABLES. BOXES FOR EXTERIOR WORK SHALL BE CAST ALUMINUM OR GALVANIZED CAST IRON TYPE WITH THREADED HUBS, UNLESS OTHERWISE DIRECTED. GASKETED COVER PLATES SHALL BE FURNISHED FOR OUTDOOR INSTALLATIONS.
 - D. BUILDING WIRE, UNLESS OTHERWISE INDICATED, SHALL BE COPPER, 600 VOLT, TYPE THIN/THIN INSULATION FOR INTERIOR AND XHHW OR RHM FOR EXTERIOR USE.



BURIED CONDUIT DETAIL
NOT TO SCALE

▲ REVA- 4/24/17- WCB- ADDED GAS CANOPY WITH ROOF DRAINS AND UNDERGROUND TANKS ALSO ADDED CONCRETE CURB CONCRETE SIDEWALK, CROSSWALK STRIPING AND PARKING SPACE STRIPING.



▲ ADDED WITH STRUCTURE WITH CONCRETE PAD BY MRA DATED 2/9/2015

Rev. #3 ONLY

Reviewed for the Howard Conservation District and meets technical requirements.

USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

APPROVED: HOWARD SOIL CONSERVATION DISTRICT DATE *Gms*

APPROVED: Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE *9/26/03*

Cindy Hamilton DATE *10/1/03*

DIVISION OF LAND DEVELOPMENT

Danish A. Wynn DATE *1/6/03*

DIRECTOR

ADDRESS CHART

BUILDING NO. STREET ADDRESS

8268 Lark Brown Road

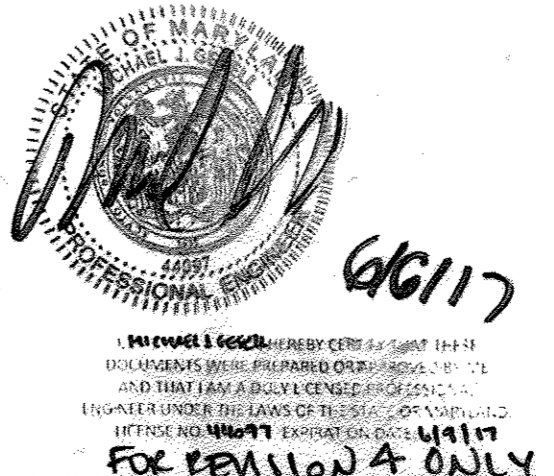
SUBDIVISION NAME	SECTION NAME	PARCEL #
Gateway Office Park	N/A	Parcel B/TM 472
PLAT #	BLOCK #	ZONE
15520	20	B-1
TAX MAP	ELECT. DIST.	CENSUS TRACT
37	6	6067.03
WATER CODE	SEWER CODE	
E08	3450000	

Lighting Details

ROYAL FARM STORE #54

8268 LARK BROWN ROAD

Howard County, Maryland August 14, 2003 Sheet 13 of 13



OWNER/DEVELOPER

TWO FARMS, INC.

3611 Roland Avenue
Baltimore, Maryland 21211-2408
(410) 889-0200

PETER W. RATLIFF, AIA
ARCHITECTS

10408 Stevenson Road #1115
Columbia, MD 21046
410-321-7011 Fax: 410-321-7012 PWA@ARCHITECTS@AOL.COM

MRA
MORRIS & BITCHE ASSOCIATES, INC.
ARCHITECTS, ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
100 WEST ROAD SUITE 204
TOWSON, MD 21286
410-288-1100 FAX: 410-288-1104

ROYAL FARMS STORE

ADDRESS
STORE #54

CONTENT:

REVISED:

#	date

DATE: 07/02/02

SCALE: AS SHOWN

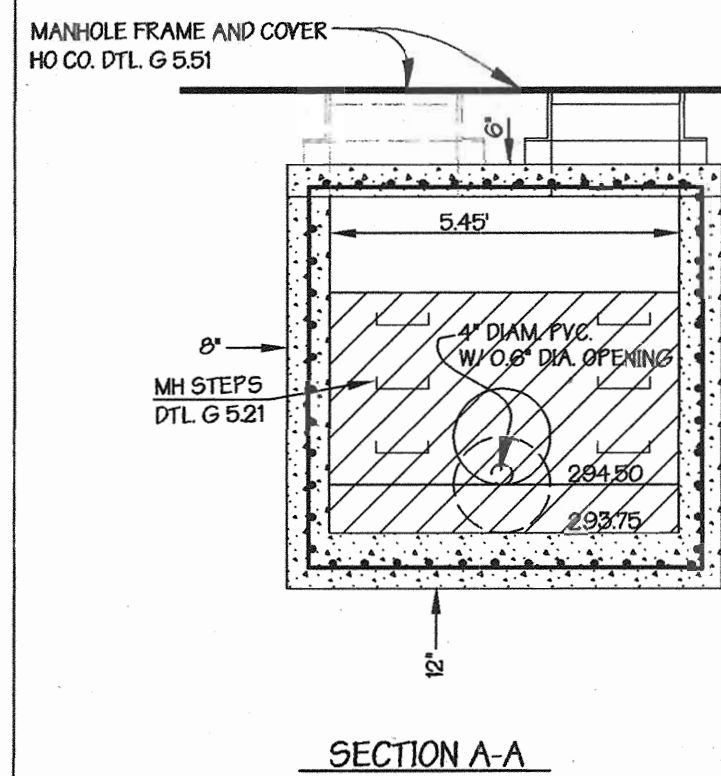
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E-2

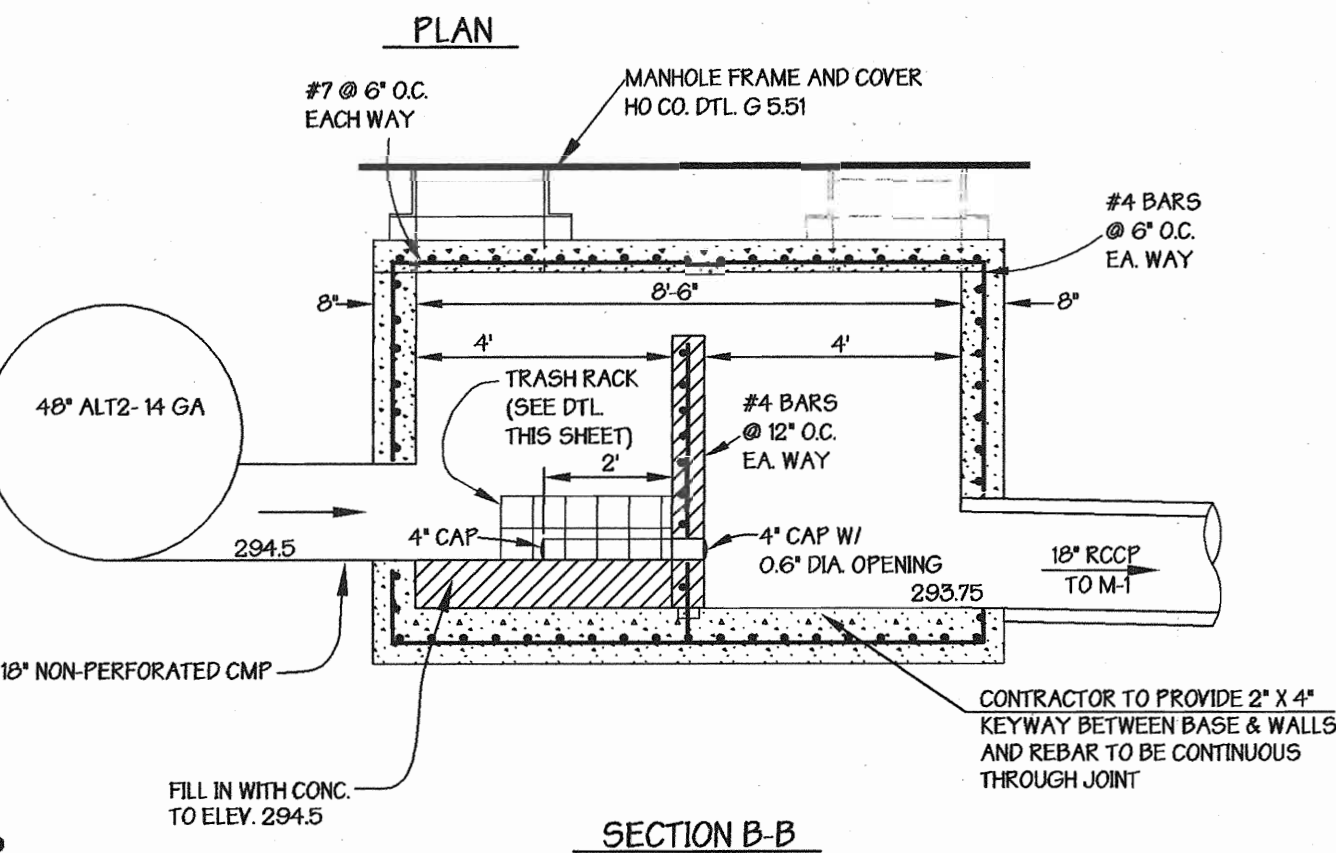
SHEET 13 OF 13

CONTROL STRUCTURE NOTES

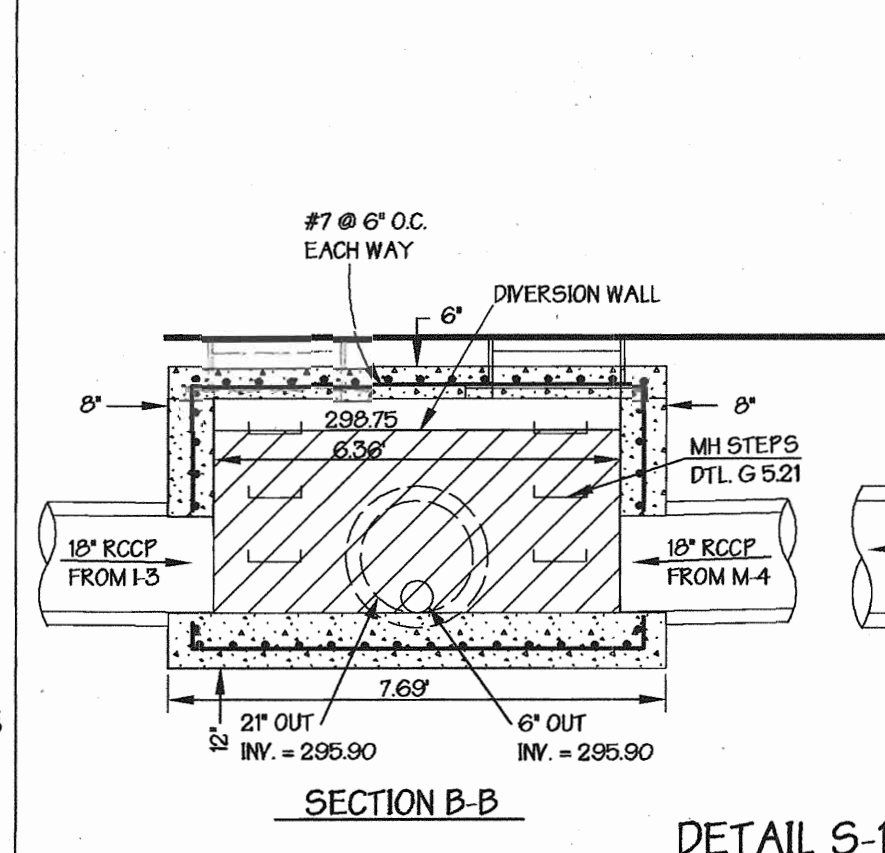
- STRUCTURE SHALL BE REINFORCED CONCRETE WITH 3500 P.S.I. (MIN) STRENGTH @ 28 DAYS.
- ALL REINFORCING TO BE CONTINUOUS THROUGHOUT STRUCTURE.
- ALL REINFORCING TO HAVE 1'-6" MIN. OVERLAPS.
- PROVIDE ADDITIONAL #4 REBARS ALONG THE PERIMETER OF ALL OPENINGS WITH THE AREA OF STEEL EQUAL TO OR GREATER THAN AREA OF STEEL REMOVED DUE TO OPENINGS.
- THREE (3) INCH COVER MINIMUM FOR ALL REBARS.



SECTION A-A

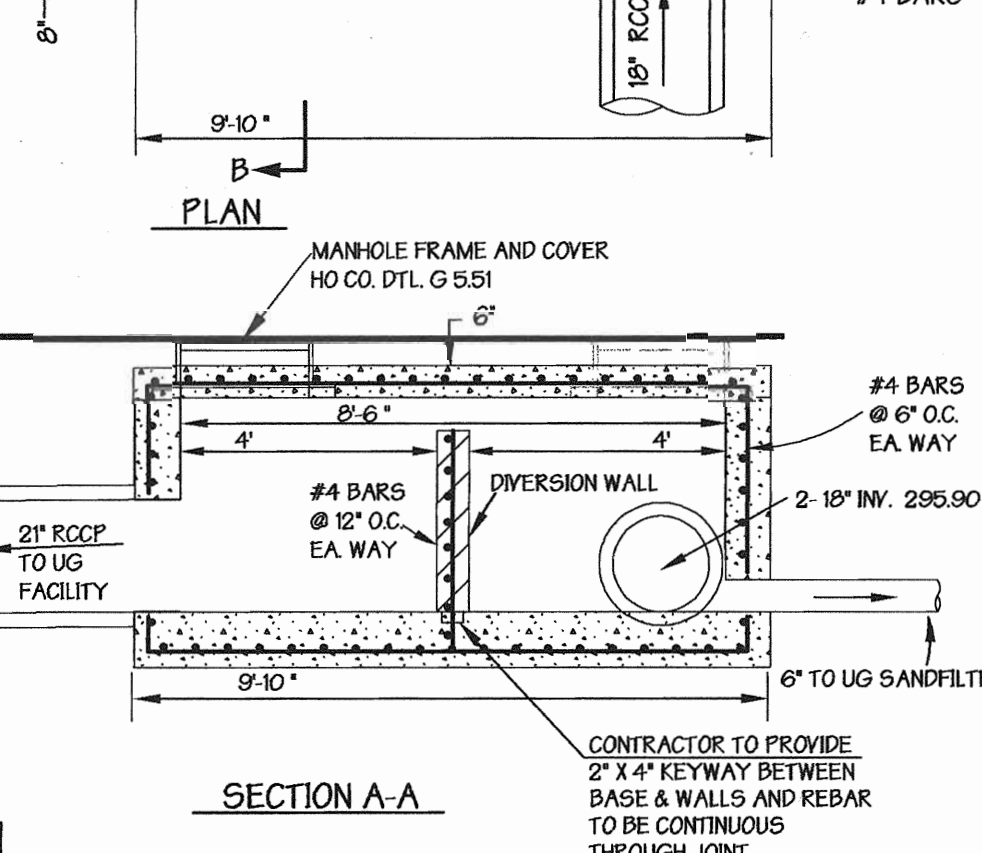


DETAIL S-2
SCALE: 1" = 2"

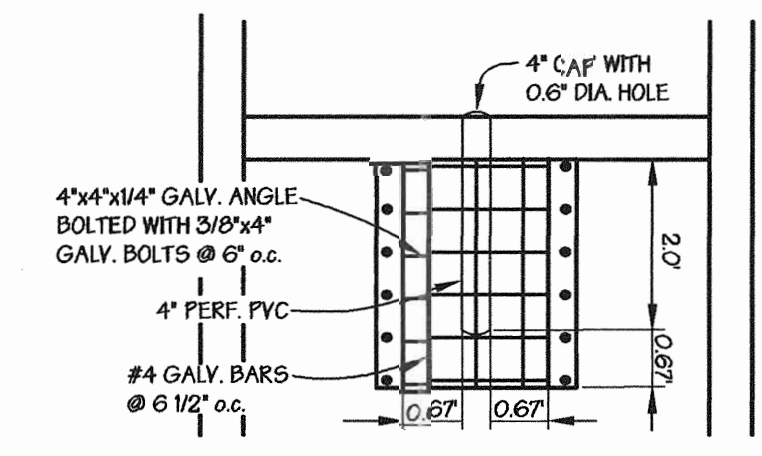
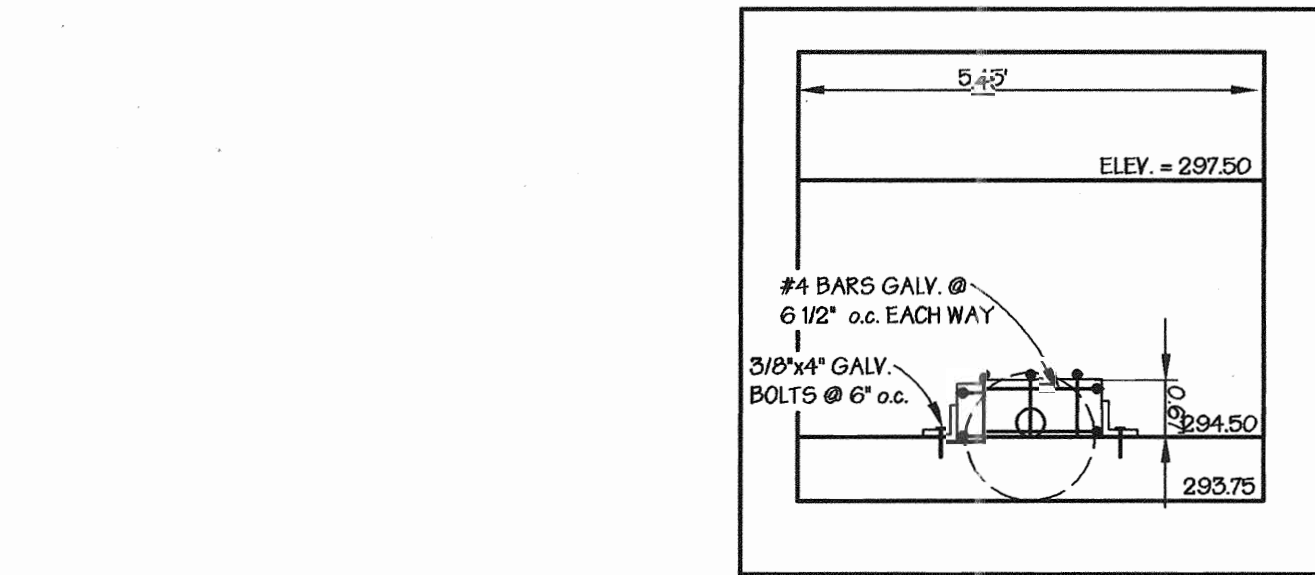


SECTION B-B

DETAIL S-1
SCALE: 1" = 3"

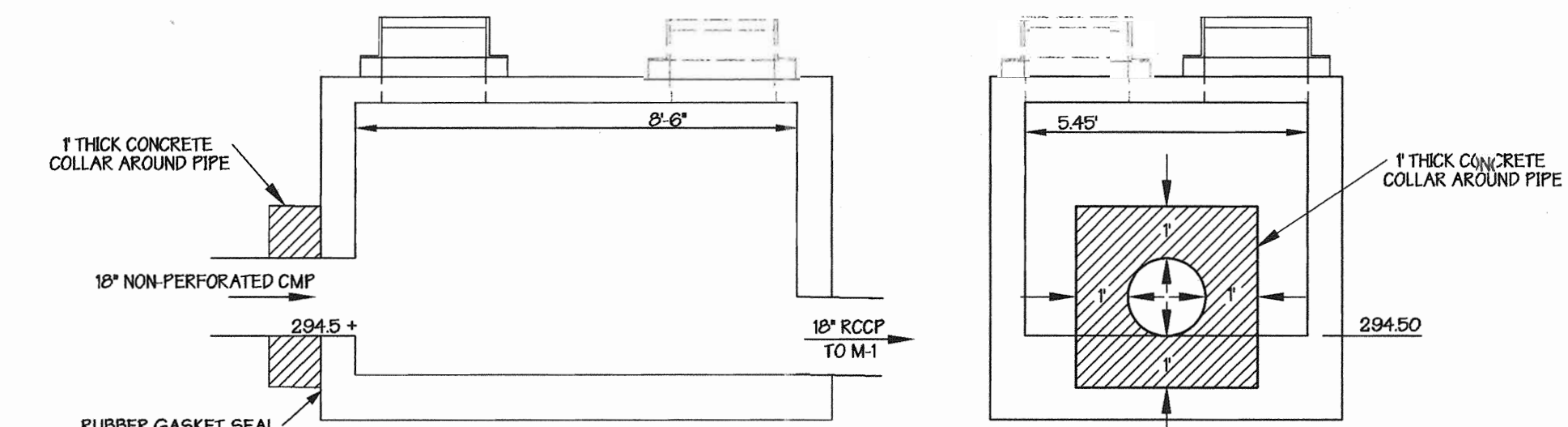


PLAN

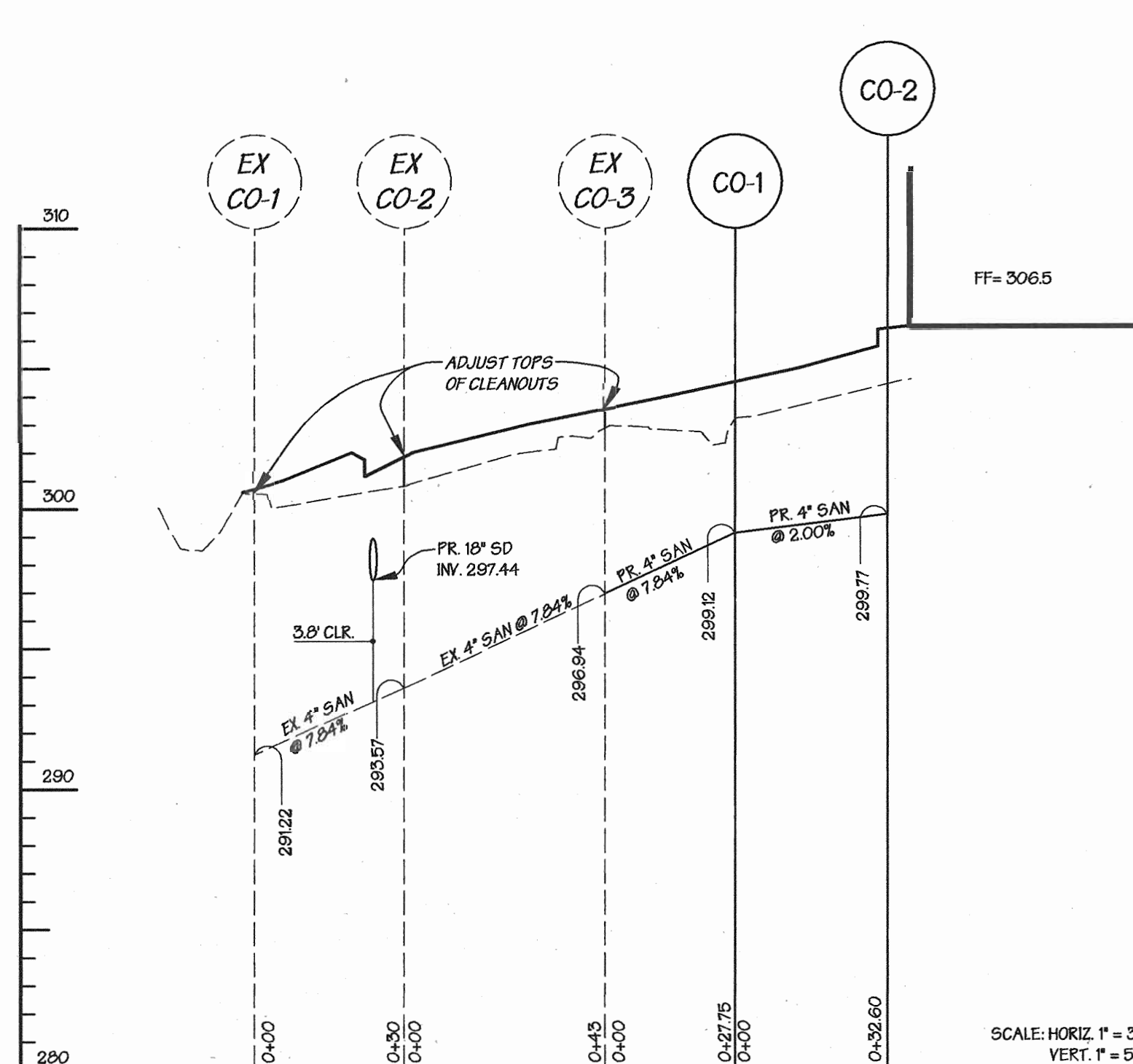


PERFORATIONS: 12 perforations/foot.
 SIZE OF PERFORATIONS: 1/4"
 INTERNAL ORIFICE DIAMETER (A₀) = 0.6 IN
 PERFORATED SECTION LENGTH = 2.0 FT.
 A_T = TOTAL AREA OF PERFORATIONS > 4 A₀
 A_T = (# of perforations/foot)(perforation area sq.ft.)(perforated section length ft.)
 A_T = 0.01 SQ. FT.

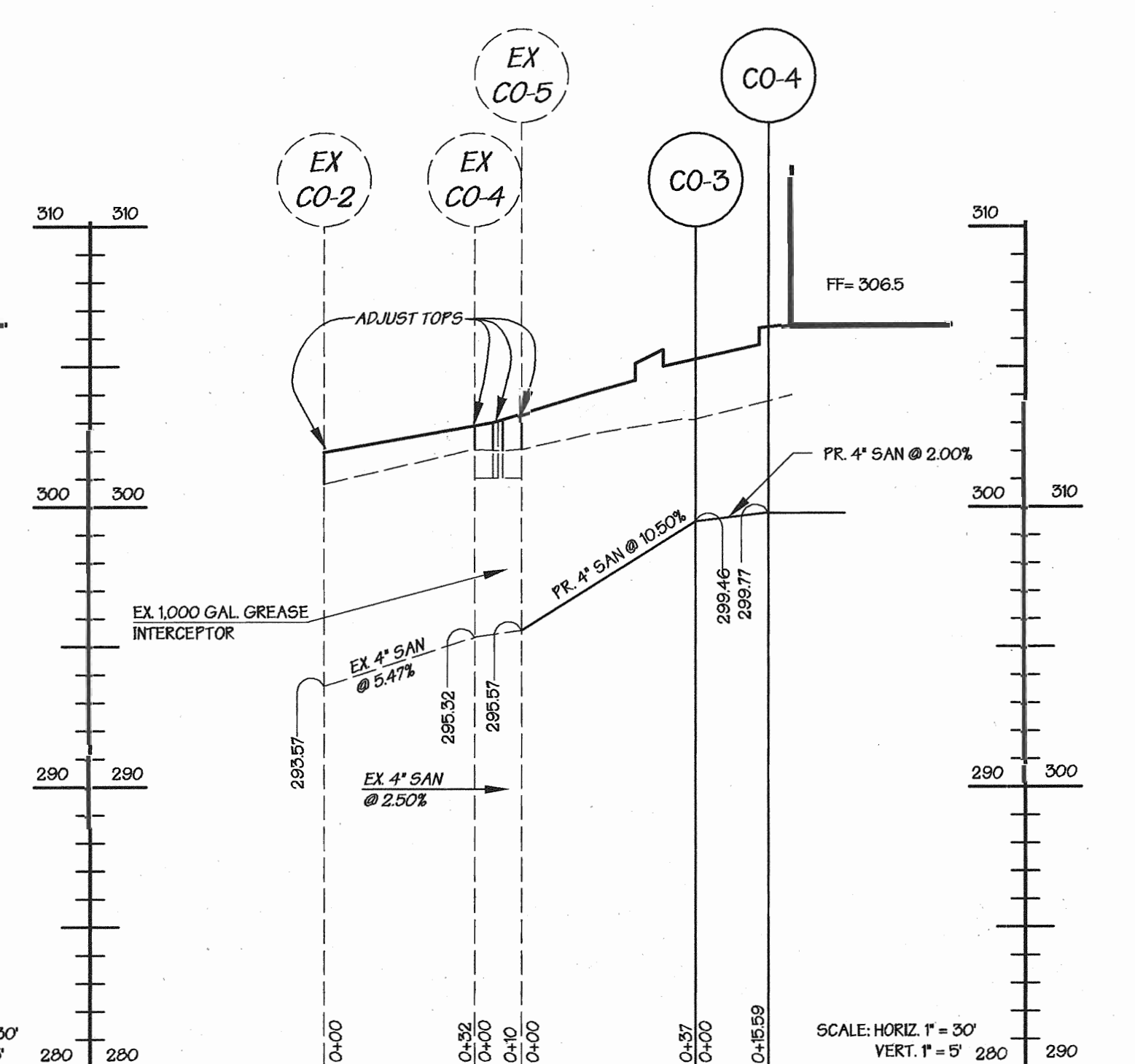
TRASH RACK
NOT TO SCALE



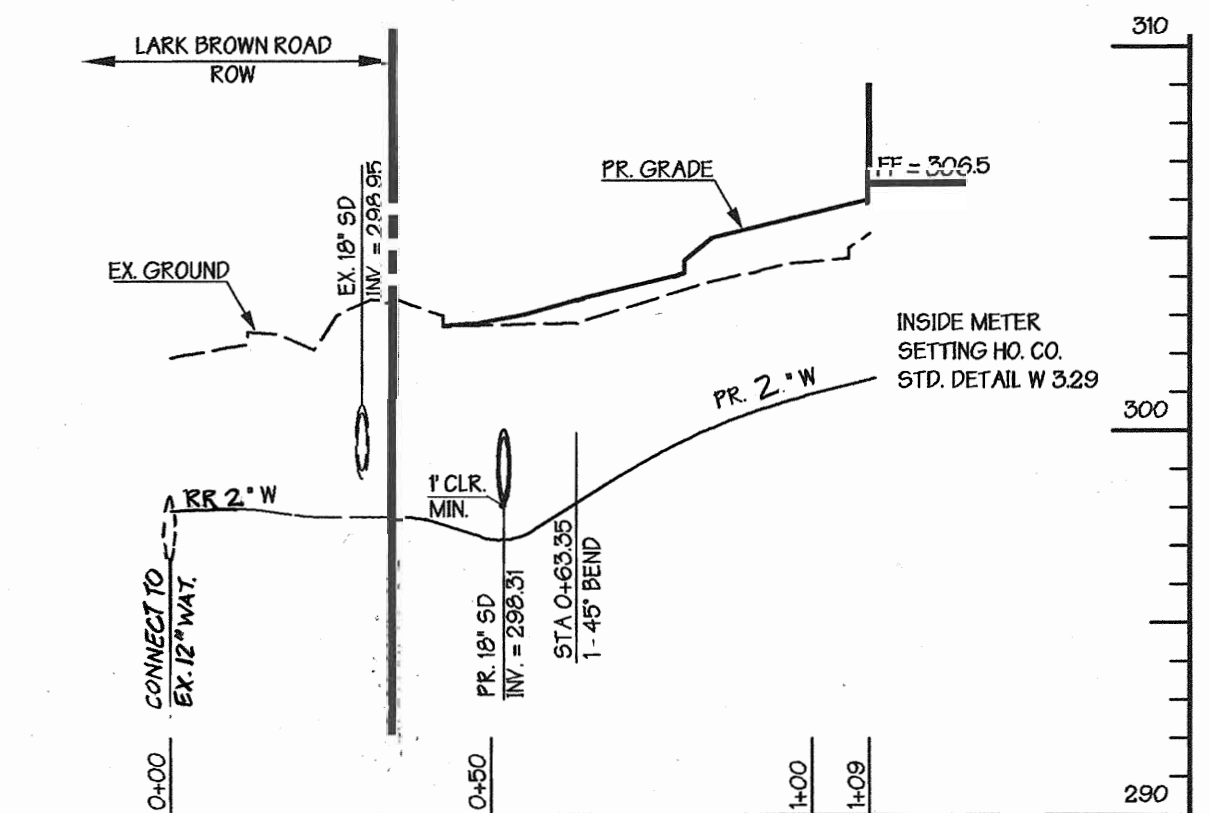
WATERTIGHT CONNECTION DETAIL TO STRUCTURE S-2



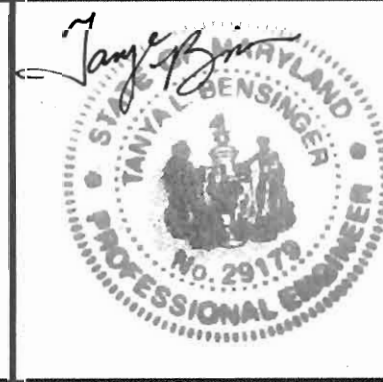
SECTION 1-1



SECTION 2-2



Matis Warfield
 consulting engineers
 10540 York Road, Suite M
 Hunt Valley, Maryland 21030
 Phone 410-883-7004
 Facsimile 410-883-1798
 www.matiswarfield.com
 Contact: Nick Brader



OWNERS/DEVELOPER
Cloverland Farms Dairy, Inc.
 3611 Roland Avenue
 Baltimore, Maryland 21211-2408
 (410) 889-0200

REV 11/10/04 - CHANGE WMC FROM 3/4" TO 2" ON PROFILE

Profiles & Details
ROYAL FARM STORE #54
 8268 LARK BROWN ROAD
 Howard County, Maryland
 Scale: AS SHOWN
 August 14, 2003
 Sheet 6 of 12

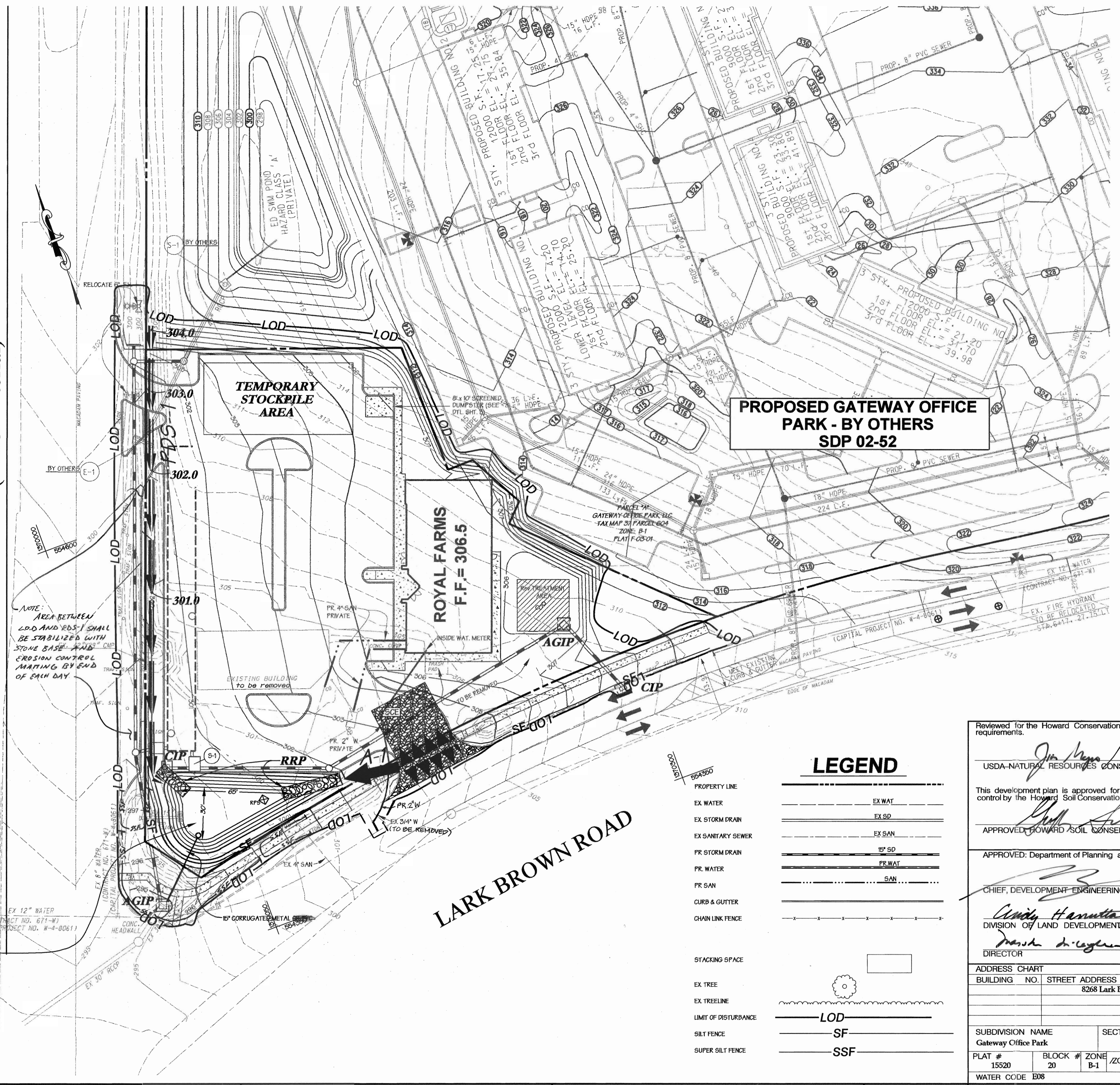
SEQUENCE OF CONSTRUCTION

1. OBTAIN GRADING PERMIT.
2. NOTIFY THE HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES 48 HOURS PRIOR TO BEGINNING WORK. (2 DAYS)
3. INSTALL SILT FENCE, SEDIMENT TRAP, STABILIZED CONSTRUCTION ENTRANCE, EARTH DIKE AND PERIMETER DIKE/SWALES. WHEN INSTALLING PDS ALONG 108, FILL IN AREA OF EXISTING ENTRANCE CULVERT CROSSING. (1 DAY)
4. BEGIN GRADING OPERATION MAINTAINING POSITIVE DRAINAGE TOWARD SEDIMENT CONTROL DEVICES AND MEASURES. (1 DAY)
5. BEGIN BUILDING CONSTRUCTION (1 DAY).
6. INSTALL LENGTH OF STORM DRAIN IN RTE 108 THAT CAN BE BACKFILLED AND STABILIZED WITH STONE BASE IN ONE DAY (5 DAYS).
7. INSTALL REMAINDER OF UTILITES AND START INSTALLATION OF PROPOSED CURB AND GUTTER AND STONE SUBBASE. (10 DAYS)
8. WITH A 5-DAY CLEAR (NO PRECIPITATION) WEATHER FORECAST FROM NWS, INSTALL 48" PIPE FOR UNDERGROUND SWM FACILITY AND ANY REMAINING STORM DRAINS. TEMPORARILY BLOCK ALL OPENINGS EXITING STRUCTURE S-1 INTO THE UNDERGROUND SWM FACILITIES. (10 DAYS)
7. FINE GRADE AND STABILIZE SITE. (3 DAYS)
8. UPON STABILIZATION OF THE SITE WITH ESTABLISHED VEGETATION AND STONE SUBBASE IN THE SIDEWALK AND PAVEMENT AREAS AND WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, DEWATER AND REMOVE SEDIMENT TRAP AND BLOCK 15" OPENING IN INLET I-4. INSTALL UNDERGROUND SAND FILTER AND Rev TREATMENT AREA ACCORDING TO DETAILS SHOWN ON SHEET 7. REMOVE BLOCKS FROM STRUCTURE S-1 (10 DAYS)
9. INSTALL PAVEMENT AND SIDEWALKS FOR THE ENTIRE SITE. (7 DAYS)
10. WITH PERMISSION OF THE SEDIMENT CONTROL INSPECTOR REMOVE REMAINING SEDIMENT CONTROL DEVICES AND STABILIZE WITH PERMANENT SEEDING. (3 DAYS).

AT THE END OF EACH WORKING DAY ANY STORM DRAIN OPENING THAT WILL ALLOW SEDIMENT TO BYPASS THE PERIMETER CONTROLS MUST BE BLOCKED OR PROTECTED.

SEDIMENT TRAP #1 - TYPE I
 EXISTING DRAINAGE AREA = 1.37 ACRES
 PROPOSED DRAINAGE AREA = 1.37 ACRES
 STORAGE REQUIRED = 4,932 C.F.
 STORAGE PROVIDED = 5,291 C.F.
 BOTTOM DIMENSIONS = 65' x 30'
 BOTTOM ELEVATION = 296.0
 CLEANOUT ELEVATION = 297.0
 TOP OF EMBANKMENT = 300.0
 SIDE SLOPES = 2:1
 WEIR CREST ELEVATION = 299.0
 WEIR STORAGE (296.0 TO 297.75) = 2,649 C.F.
 DRY STORAGE (297.75 TO 299.00) = 2,642 C.F.
 OUTLET PIPE SIZE = 15"
 RISER DIAMETER = 10"
 TRASH RACK DIAMETER = 27"

MD ROUTE 108 WATERLOO ROAD (Minor Arterial)



PROPOSED GATEWAY OFFICE PARK - BY OTHERS SDP 02-52

LARK BROWN ROAD

LEGEND

PROPERTY LINE	---
EX WATER	EX WAT
EX STORM DRAIN	EX SD
EX SANITARY SEWER	EX SAN
PR STORM DRAIN	PR SD
PR WATER	PR WAT
PR SAN	PR SAN
CURB & GUTTER	---
CHAIN LINK FENCE	---
STACKING SPACE	---
EX TREE	○
EX TREELINE	---
LIMIT OF DISTURBANCE	LOD
SILT FENCE	SF
SUPER SILT FENCE	SSF

Reviewed for the Howard Conservation District and meets technical requirements.

USDA-NATURAL RESOURCES CONSERVATION SERVICE 9/15/03 DATE

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

APPROVED: HOWARD SOIL CONSERVATION DISTRICT 9/15/03 DATE

APPROVED: Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION 9/15/03 DATE

DIVISION OF LAND DEVELOPMENT 10-1-02 DATE

DIRECTOR 9/15/03 DATE

ADDRESS CHART

BUILDING NO.	STREET ADDRESS
	8268 Lark Brown Road

SUBDIVISION NAME	SECTION NAME	PARCEL #
Gateway Office Park	N/A	Parcel B/TM 472
PLAT #	BLOCK #	ZONE
15520	20	B-1
WATER CODE	SEWER CODE	
EB8	3450000	

Matis Warfield
 consulting engineers

10540 York Road Suite M
 Hunt Valley, Maryland 21039
 Phone 410-683-7004
 Facsimile 410-683-1798
 www.matiswarfield.com
 contact: nick brader



ENGINEER CERTIFICATION:
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Engineer: *Tanya L. Pensinger* Date: 8/18/03
 Name: Tanya L. Pensinger PE # 29179

OWNER/DEVELOPER

Cloverland Farms Dairy, Inc.
 3611 Roland Avenue
 Baltimore, Maryland 21211-2408
 (410) 889-0200

DEVELOPER CERTIFICATION:
 We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Developer: *John M. Kemp* Date: 8/18/03
 Name: John M. Kemp PE # 29179

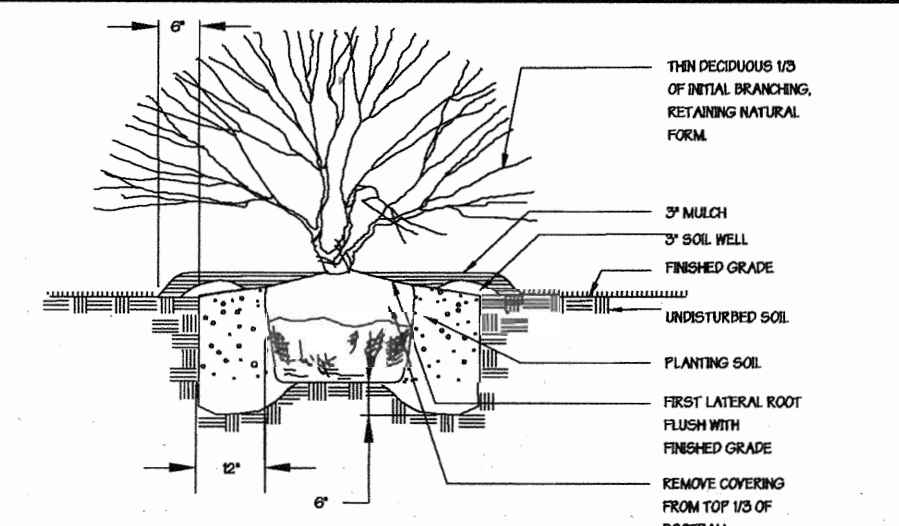
REV. 11/1/04, ADD SIDEWALK TO REAR OF BLDG, CHANGE W/C FROM 3/4" TO 2", EXTEND LOD AROUND W/C.

Sediment Control Plan

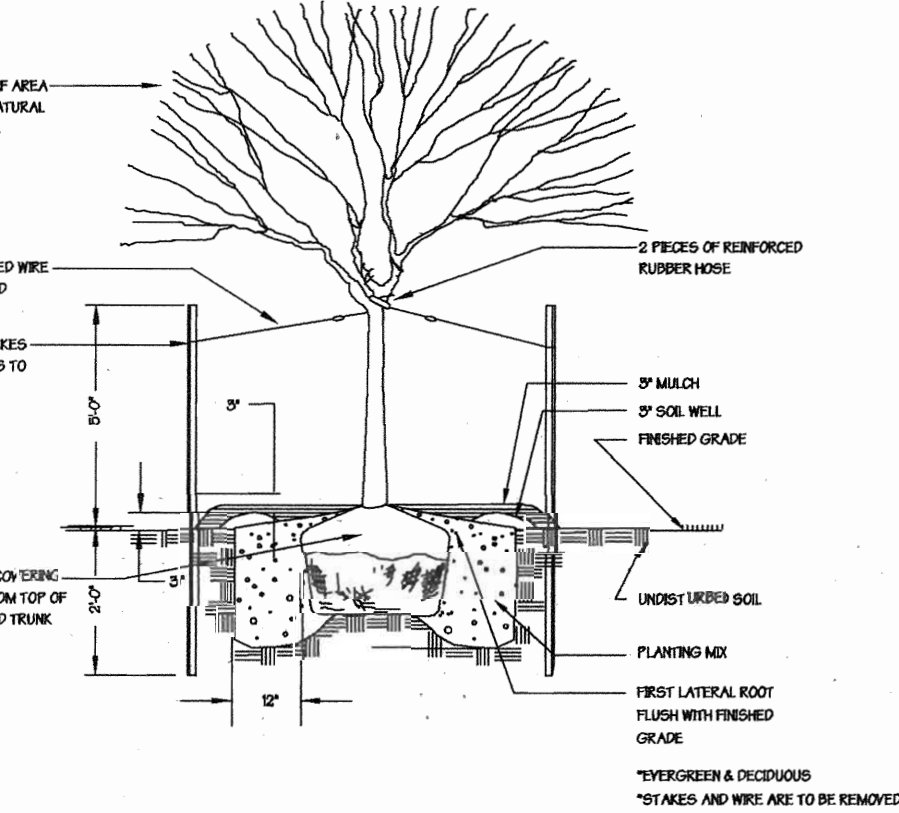
ROYAL FARM STORE #54
 8268 LARK BROWN ROAD

Howard County, Maryland
 Scale: 1"=30'

August 14, 2003
 Sheet 8 of 13
 SDP 02-89



PLANTING DETAIL FOR EVERGREEN AND DECIDUOUS SHRUBS
NOT TO SCALE



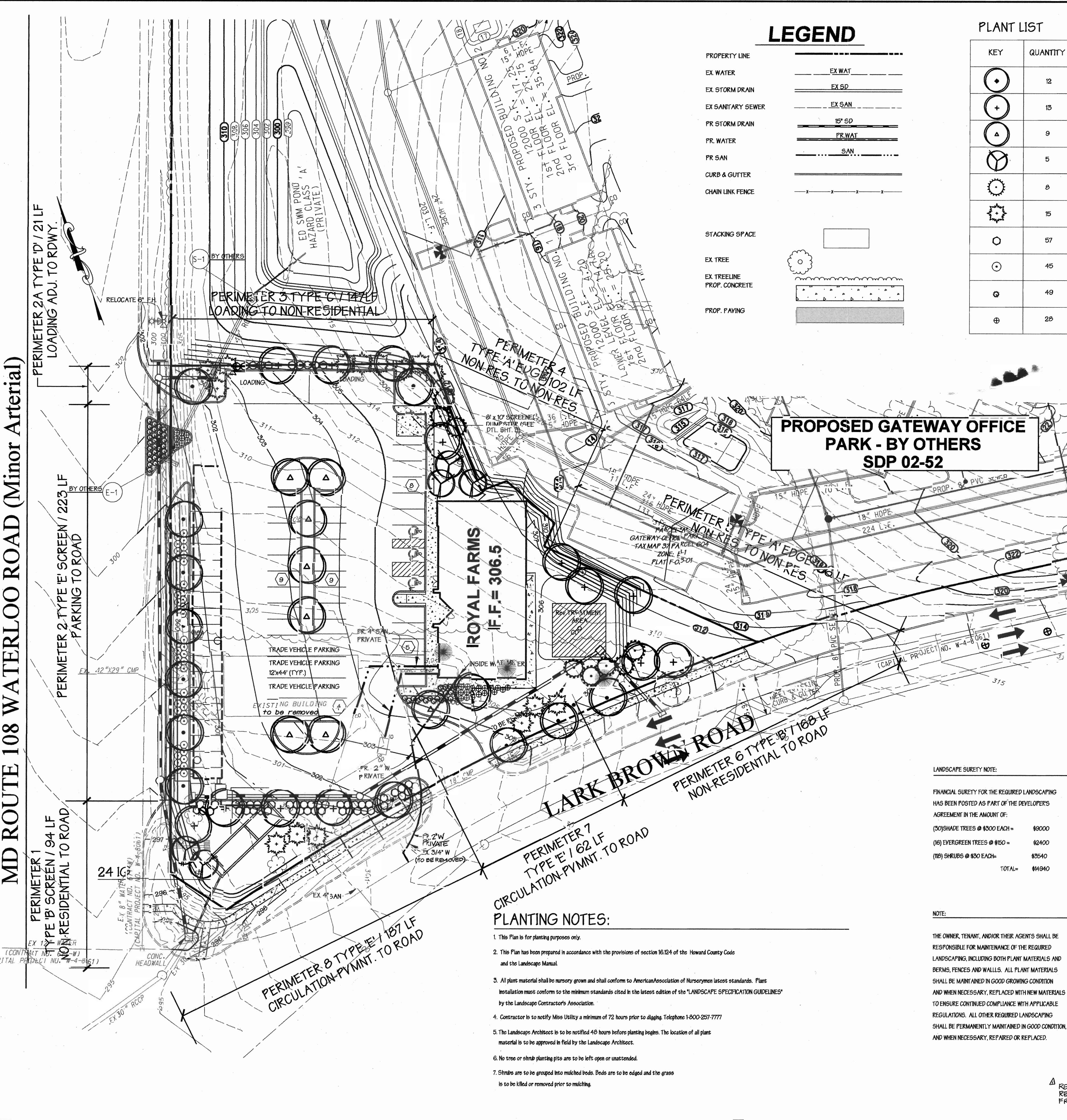
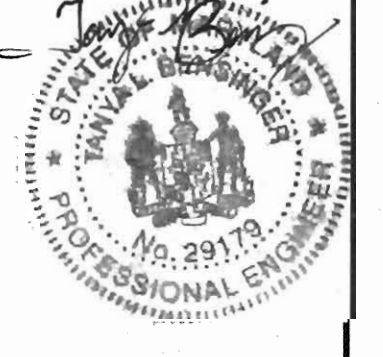
PLANTING DETAIL FOR TREES* - 1-4" CALIPER
NOT TO SCALE

SPECIFICATIONS FOR PLANTING

- A. STANDARDS:**
1. ALL PLANT MATERIAL, CONSTRUCTION METHODS AND MATERIAL PLACEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "MANUAL STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN INC. THE "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE WASHINGTON METROPOLITAN AREA".
 2. ALL TREES SHALL BE DELIVERED TO THE SITE BALLED AND BURLAPPED. ALL SHRUBS SHALL BE BALLED AND BURLAPPED OR IN CONTAINERS. ALL GRASSES & PERENNIALS SHALL BE IN CONTAINERS.
 3. AFTER THE PLANTING HAS BEEN AFFIRMED BY THE LANDSCAPE ARCHITECT AND THE OWNER, THE MAINTENANCE OF WATERING AND WEEDING OF SUCH PLANTS AND PLANTED AREAS SHALL BE PROVIDED BY THE OWNER. SINCE THE PLANTS ARE TO BE GUARANTEED BY THE CONTRACTOR, THE CONTRACTOR SHALL PERIODICALLY CHECK THE MAINTENANCE CONDUCTED BY THE OWNER. IF THE CONTRACTOR IS NOT SATISFIED WITH THE MAINTENANCE OF THE PLANTS, A WRITTEN REPORT, IN TRIPlicate, STATING THE DEFICIENCIES SHALL BE GIVEN IMMEDIATELY TO THE LANDSCAPE ARCHITECT. TWO COPIES WILL BE FORWARDED TO THE OWNER. REGULAR MAINTENANCE SHALL BE AFTER PLANTING.
 4. MAINTAIN TREES UNTIL FINAL ACCEPTANCE, BUT IN NO CASE, LESS THAN 60 DAYS AFTER FINAL ACCEPTANCE OF PLANTING. MAINTAIN ALL PLANTS BY PRUNING, COLLECTING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SANDERS, TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND REPAIR TREES TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS, SPRAY AS REQUIRED TO KEEP ALL PLANTS FREE OF INSECTS AND DISEASE.
 5. WATERING
 - I. IN THE ABSENCE OF ADEQUATE RAINFALL, WATERING SHALL BE PERFORMED DAILY OR AS OFTEN AS NECESSARY DURING THE FIRST YEAR, AND IN SUFFICIENT QUANTITIES TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATERING SHALL NOT BE DONE DURING THE HEAT OF THE DAY. CONTRACTOR SHALL PROVIDE A SEPARATE LIAM SIM PLAN IN THE OVERALL LANDSCAPE BID FOR WATERING TO ALL NEW PLANTINGS DURING ONE GROWING SEASON.
 - II. EXCAVATION
 1. DEPTH AND WIDTH OF EXCAVATION FOR PLANTING OF ALL PLANTS SHALL BE TO THREE TIMES THE DEPTH AND WIDTH OF ROOT BALL OR CORNER TRIP PLANT TO BE INSTALLED, EXCEPT AS NOTED OTHERWISE.
 6. TOPSOIL, PLANTING MIX, AND MULCH
 1. ALL TOPSOIL SHALL BE WELL GRADED LOAM OF 6000 UNIFORM QUALITY AND SHALL BE A MINIMUM FEASIBLE SOIL FREE OF C BUELS LARGER THAN ONE INCH IN ANY DIMENSION, AND FREE OF TOXIC SUBSTANCES, WEEDS AND ANY MATERIAL, OR SUBSTANCES THAT MAY BE HARMFUL TO PLANT GROWTH. TOPSOIL SHALL CONTAIN AT LEAST 10% ORGANIC MATTER. IF SUFFICIENT TOPSOIL IS NOT AVAILABLE ON THE SITE TO MEET THE DEPTH AS SPECIFIED HEREIN, THE CONTRACTOR SHALL FURNISH ADDITIONAL TOPSOIL, FILL TO TOPSOIL DELIVERY. THE CONTRACTOR SHALL OBTAIN THE LANDSCAPE ARCHITECT'S APPROVAL OF THE SOURCE FROM WHICH TOPSOIL IS TO BE FURNISHED.
 2. FOR PLANTING MIX, MIX THOROUGHLY 3:2:1 EXISTING SOIL AND 1:1:1 MOLD OR EQUAL ORGANIC MATTER.
 3. MULCH MATERIAL SHALL BE OF UNIFORM SIZE, FINE SHREDDED TYPICAL HARDWOOD MULCH OR APPROVED EQUAL. MULCH SHALL BE A REDDISH BROWN COLOR AND SHALL BE LAD TO A MINIMUM MINIMUM DEPTH OF 2 INCHES MULCH AREAS AROUND TREES AT THE RATE OF 1 OF DIAMETER 3:1 OF TRUNK CALIPER.

Prepared By:
Human & Rohde, Inc., Landscape Architects
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Towson, Md 21286
Phone # 410-825-3885

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consulting engineers
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hunt valley, maryland 21030
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www.matiswarfield.com



LEGEND

- PROPERTY LINE
EX WATER
EX STORM DRAIN
EX SANITARY SEWER
PR STORM DRAIN
PR WATER
PR SAN
CURB & GUTTER
CHAIN LINK FENCE
STACKING SPACE
EX TREE
EX TREELINE
PROP. CONCRETE
PROP. PAVING

PLANT LIST

KEY	QUANTITY	BOTANICAL NAME COMMON NAME	SIZE	CONDITION	REMARKS
⊙	12	ACER RUBRUM 'RED SUNSET' 'RED SUNSET' RED MAPLE	2 1/2" 3" CAL.	B & B	
⊕	15	QUERCUS PALUSTRIS PIN OAK	2 1/2" 3" CAL.	B & B	
⊙	9	ULMUS PARYFOLIA 'DYNASTY' DYNASTY ELM	2 1/2" 3" CAL.	B & B	
⊙	5	CORNUS MAS CORNELLANCHERRY DOGWOOD	1 3/4" 2" CAL.	B & B	
⊙	8	PICEA ABIES NORWAY SPRUCE	6" 8" HT.	B & B	SPACE 1' O.C. STAGGER
⊙	15	PINUS STROBUS EASTERN WHITE PINE	6" 8" HT.	B & B	SPACE 1' O.C. STAGGER
⊙	57	CORNUS STOLONIFERA 'DAILEY' DAILEY'S RED TWIG DOGWOOD	30-36" HT.	B & B	SPACE 4" O.C. STAGGER
⊙	45	EUONYMUS ALATUS COMPACTA DWARF WINGED-EUONYMUS	24-30" HT.	B & B	SPACE 4" O.C. STAGGER
⊙	49	JUNIFERUS CHINENSIS 'SARGENTI' SARGENT'S JUNIFER	18-24" SPD	CONTAINER	SPACE 9" O.C. STAGGER
⊙	25	BERBERIS THUNBERGII 'ATROPURPUREA' NANA CRIMSON PYGMY BARBERRY	24-30" HT.	CONTAINER	SPACE 9" O.C. STAGGER

SCHEDULE A
PERIMETER LANDSCAPE EDGE

Category	Adjacent to Roadways	Adjacent to Perimeter Properties
Perimeter Number	1, 6	2, 7, 8
Landscape Type	'B'	'E', 'A', 'C'
Linear Feet of Roadway Frontage/Perimeter	262 LF.	472 LF.
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	NO	NO
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	NO	NO
Number of Plants Required		
Shade Trees	5	12
Evergreen Trees	7	5
Shrubs	118	7
Number of Plants Provided		
Shade Trees	4	13
Evergreen Trees	8	12
Other Trees (2:1 substitution)	2	6
Shrubs (10:1 substitution)	123	10
(Describe plant substitution credits below if needed)	2+L TREES=1SHD. TREE	10 SHRUBS=1EYG.

SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING

Number of Parking Spaces	54
Number of Trees Required	3
Number of Trees Provided	
Shade Trees	7
Other Trees (2:1 substitution)	N/A
Internal Islands Required	3
Internal Islands Provided (N=1, 200 Sf.)	2 EA- 500 SF. ISLANDS @ 12' WIDTH EQUIVALENT TO 5 EA- 200 SF. ISLANDS

LANDSCAPE SURETY NOTE:

FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF:
(50) SHADE TREES @ \$200 EACH = \$10000
(16) EVERGREEN TREES @ \$150 = \$2400
(18) SHRUBS @ \$30 EACH = \$540
TOTAL = \$14840

NOTE:

THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED OR REPLACED.

PLANTING NOTES:

1. This Plan is for planting purposes only.
2. This Plan has been prepared in accordance with the provisions of section 16.124 of the Howard County Code and the Landscape Manual.
3. All plant material shall be nursery grown and shall conform to American Association of Nurserymen latest standards. Plant installation must conform to the minimum standards cited in the latest edition of the "LANDSCAPE SPECIFICATION GUIDELINES" by the Landscape Contractors' Association.
4. Contractor is to notify Miss Utility a minimum of 72 hours prior to digging. Telephone: 1-800-257-7777
5. The Landscape Architect is to be notified 48 hours before planting begins. The location of all plant material is to be approved in field by the Landscape Architect.
6. No tree or shrub planting pits are to be left open or unattended.
7. Strips are to be grouped into mulched beds. Beds are to be edged and the grass is to be killed or removed prior to mulching.

OWNER/DEVELOPER

Cloverland Farms Dairy, Inc.
3611 Roland Avenue
Baltimore, Maryland 21211-2408
(410) 889-0200

DEVELOPER'S / BUILDER'S CERTIFICATE

I/ We certify that the landscaping shown on this plan will be done according to the provisions of section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/ We further certify that upon completion, a Certification of Landscaping Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.
John M. Kemp
DEVELOPER / BUILDER
DATE: 8/10/03



APPROVED: Department of Planning and Zoning
CHIEF, DEVELOPMENT ENGINEERING DIVISION
Carole Hamm
DIVISION OF LAND DEVELOPMENT
DATE: 8/10/03

Landscape Plan
ROYAL FARM STORE #5.4
LARK BROWN ROAD
Howard County, Maryland
Scale: 1"=30'
August 14, 2003
Sheet 11 of 13
SDP 02-89

General Notes

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY, PLUS MSHA STANDARDS AND SPECIFICATION IF APPLICABLE OR AS SPECIFIED.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE BASED SOLELY ON AVAILABLE RECORDS. CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITIES WHICH MAY BE IMPACTED BY THE WORK. MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
- THE CONTRACTOR SHALL NOTIFY 'MISS UTILITY' AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE, AND SHALL CONTACT THE CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST 24 HOURS IN ADVANCE OF COMMENCEMENT OF WORK. ANY DAMAGE CAUSED BY THE CONTRACTOR TO EXISTING PUBLIC RIGHT-OF-WAY, EXISTING PAVING, EXISTING CURB AND GUTTER, EXISTING UTILITIES, ETC. SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM A FIELD RUN SURVEY WITH A MAXIMUM OF 2' CONTOUR INTERVALS PREPARED BY LEO.W. RADER, JAN. 2002.
- PUBLIC WATER AND SEWER PROVIDED BY CONTRACT NUMBER 671-W & 20-1264.
- ALL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED AND VERIFIED IN ACCORDANCE WITH AASHTO T-180, OR AS SPECIFIED BY GEOTECHNICAL ENGINEER.
- THERE ARE NO WETLANDS, FLOODPLAIN, OR STREAMS ON THIS SITE.
- OPERATING EXISTING VALVES, SWITCHES, SERVICES OR START UP OF NEW SERVICES SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE.
- TRENCH COMPACTION FOR STORM DRAINS WITHIN THE ROAD OR STREET RIGHT OF WAY LIMITS SHALL BE IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL IV, STD. NO. G-2.01.
- UNLESS OTHERWISE NOTED, DIMENSIONS FROM CURB ARE MEASURED FROM FACE.
- THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL WATER, SEWER, AND DRAIN HOUSE CONNECTIONS WITH THE MECHANICAL DRAWINGS.
- THE CONTRACTOR SHALL MAINTAIN 2.0 FEET MINIMUM PROTECTIVE COVER OVER ALL UTILITIES DURING CONSTRUCTION.
- THERE ARE NO KNOWN CEMETERIES OR BURIAL GROUNDS ON THIS SITE. HOWEVER, UPON DISCOVERY OF ANY EVIDENCE OF BURIAL OR GRAVES, THE DEVELOPER WILL BE SUBJECT TO SECTION 16.1305 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- ALL SLOPES 3:1 OR GREATER, EXCEPT THOSE ASSOCIATED WITH LANDSCAPE BERMING, SHALL BE MONITORED DURING PLACEMENT BY THE PROJECT GEOTECHNICAL ENGINEER.
- PAVING MARKINGS TO BE "TRAFFIC WHITE"
- CONTRACTOR SHALL MAINTAIN A MINIMUM 2 FOOT BENCH BEHIND CURB AND GUTTER IN FILL AREAS.
- ALL FIRE LINE PIPING SHALL MEET THE REQUIREMENTS OF THE NFPA PIPE SHALL BE UL LISTED, FM APPROVED AND MEET THE AWWA STANDARDS FOR FIRE PROTECTION USE. FITTINGS SHALL HAVE PRESSURE CLASS RATINGS COMPATIBLE WITH THE PIPE USED.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4 FEET OF COVER OVER THE PRIVATE WATER MAIN SHOWN HEREON UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE ALL CRIMPS OR VERTICAL BENDS NECESSARY TO MAINTAIN CLEARANCES WITH OTHER UTILITIES.
- THE CONTRACTOR SHALL INSPECT THE SITE TO DETERMINE IF ANY TREES, PAVING OR STRUCTURES ARE TO BE REMOVED, PRIOR TO PLACING A BID ON THOSE ITEMS. THE CONTRACTOR SHALL CLEAR THE CONSTRUCTION AREA OF ALL EXISTING TREES, PAVING, STRUCTURES, ETC., UNLESS NOTED ON PLAN.
- THE SUBJECT PROPERTY IS ZONED B-1.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$14,940.00
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL SYSTEM, WHICH IS BASED UPON THE MARYLAND STATE PLAN COORDINATE SYSTEM, HOWARD COUNTY CONTROL STATIONS NOS. 2445004 AND 2445005 WERE USED FOR THIS PROJECT.
- ALL EXTERIOR LIGHTING SHALL COMPLY WITH ZONING REGULATIONS SECTION 134.
- NO CHANGE-IN-USE IS PERMITTED FROM THE LISTED USES AND AREA ASSIGNED TO EACH USE UNLESS SUFFICIENT PARKING IS PROVIDED AND DELINEATED ON THIS PLAN.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST (5) WORKING DAYS PRIOR TO START OF WORK.
- FOR WORK ZONE TRAFFIC CONTROL NOTES SEE STANDARD NO. MD-10-01
- ALL EXISTING PAVEMENT MARKINGS THAT ARE IN CONFLICT WITH PROPOSED PAVEMENT MARKINGS SHALL BE REMOVED BY GRINDING.
- ALL PAVING TO BE STANDARD HOWARD COUNTY SECTION P-2 EXCEPT FOR ROAD WIDENING ALONG MD RTE 108. SEE DETAIL SHEET 3.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY "TRAFFIC CONCEPTS INC.", DATE: JULY 1, 2002, AND WAS APPROVED ON JULY 17, 2002.
- FOREST CONSERVATION NOTE: THE PORTION OF THE LIMIT OF DISTURBANCE (LOD) OCCURRING IN AREAS COVERED BY SDP 88-208 (0.50 AC., WHICH WAS THE LOD FOR THAT PLAN) AND SDP 02-52 (0.94 AC., WHICH WAS ACCOUNTED FOR AS A PART OF THAT PLAN) CAN BE DEDUCTED FROM THE GROSS TRACT AREA TO DETERMINE THE NET TRACT AREA FOR THE PURPOSES OF THE FOREST CONSERVATION CALCULATIONS. THIS RESULTS IN A NET TRACT AREA OF 0.50 AC. THE REFORESTATION REQUIREMENT OF 0.27 ACRES HAS BEEN MET BY PAYMENT OF A FEE IN LIEU INTO THE HOWARD COUNTY FOREST CONSERVATION FUND. THE AMOUNT OF THE FEE PAYMENT WAS \$5,880.60.

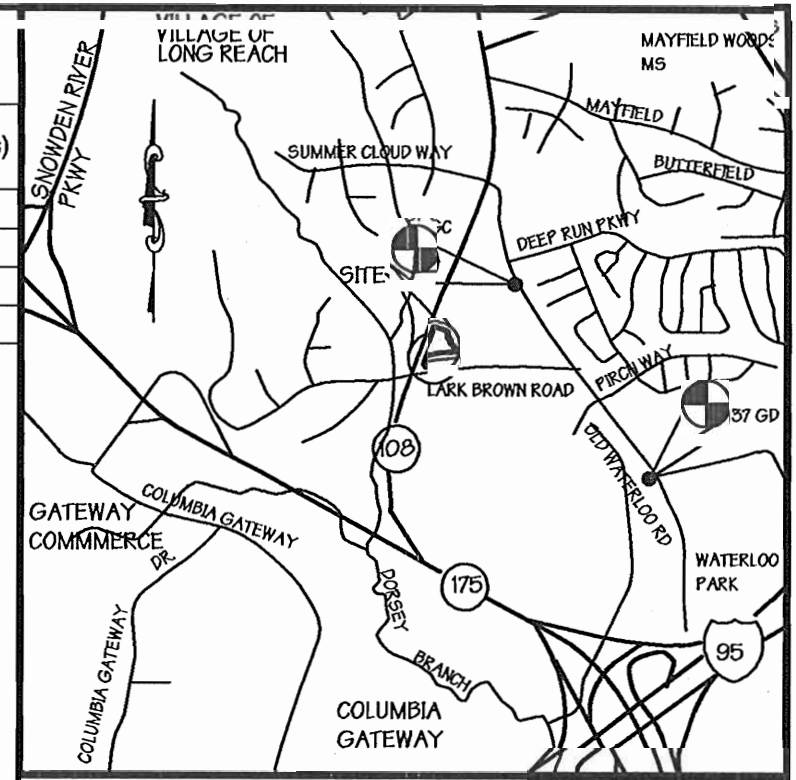
SUBJECT TO WAIVER PETITION WP 90-104 SEC. 16.113(f)(8) TO ALLOW DIRECT ACCESS TO PRINCIPAL ARTERIAL AND MINOR ARTERIAL HIGHWAYS. APPROVAL GRANTED: APRIL 11, 1990

SUBJECT TO WAIVER PETITION WP 02-94 SEC. 16.119(f) TO ALLOW DIRECT ACCESS TO PRINCIPAL ARTERIAL HIGHWAYS. APPROVAL GRANTED: MAY 8, 2002

STORMWATER MANAGEMENT SUMMARY TABLE

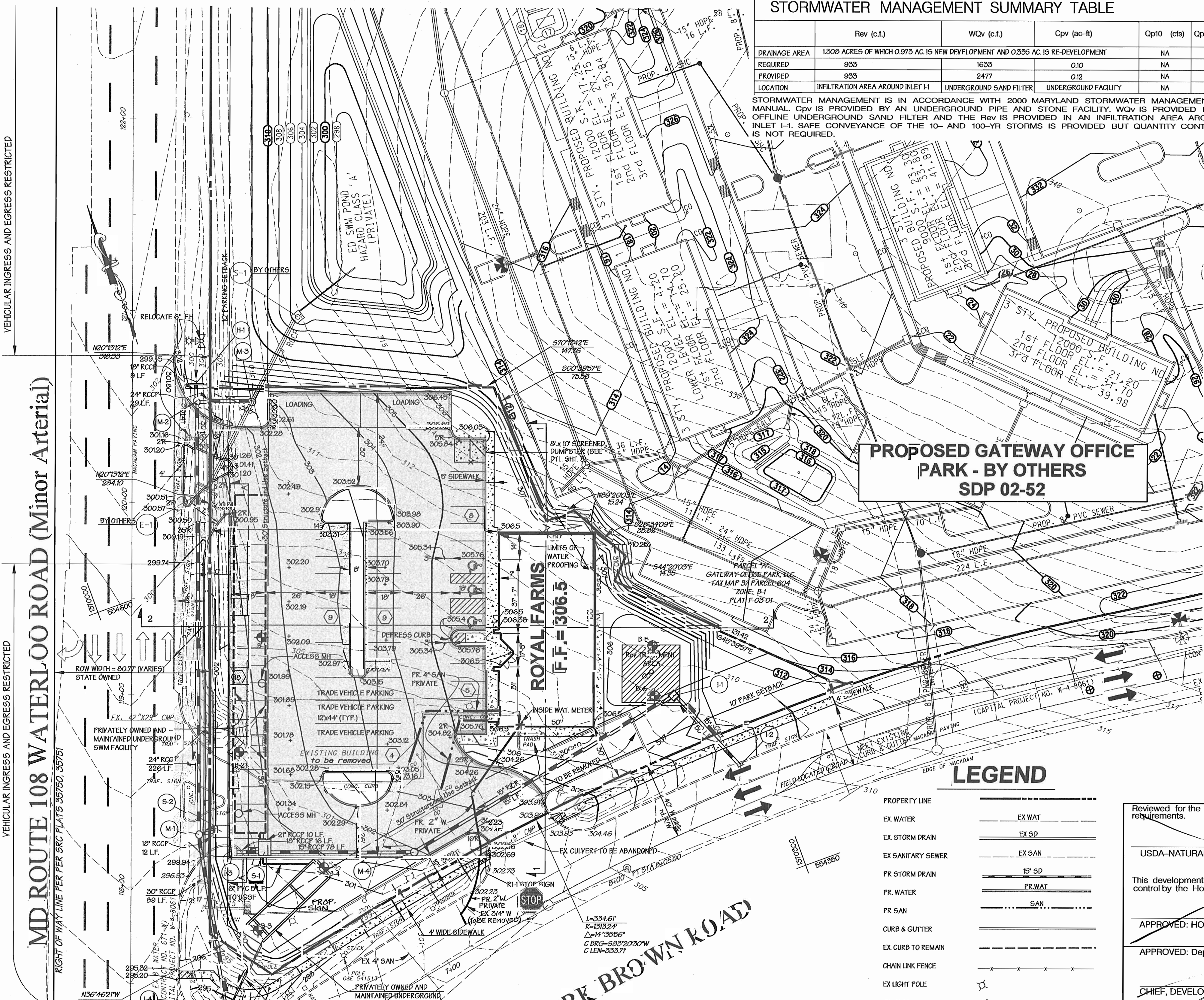
	Rev (c.f.)	WQv (c.f.)	Cpv (ac-ft)	Qp10 (cfs)	Qp100 (cfs)
DRAINAGE AREA	1308 ACRES OF WHICH 0.973 AC IS NEW DEVELOPMENT AND 0.306 AC IS RE-DEVELOPMENT			NA	NA
REQUIRED	933	1633	0.10	NA	NA
PROVIDED	933	2477	0.12	NA	NA
LOCATION	INFILTRATION AREA AROUND INLET 1-1	UNDERGROUND SAND FILTER	UNDERGROUND FACILITY	NA	NA

STORMWATER MANAGEMENT IS IN ACCORDANCE WITH 2000 MARYLAND STORMWATER MANAGEMENT MANUAL. Cpv IS PROVIDED BY AN UNDERGROUND PIPE AND STONE FACILITY. WQv IS PROVIDED IN AN OFFLINE UNDERGROUND SAND FILTER AND THE Rev IS PROVIDED IN AN INFILTRATION AREA AROUND INLET 1-1. SAFE CONVEYANCE OF THE 10- AND 100-YR STORMS IS PROVIDED BUT QUANTITY CONTROL IS NOT REQUIRED.



VICINITY MAP

- SCALE: 1" = 2000'
- FOR TITLE, SEE LIBER 1798, FOLIO 42
 - THE COORDINATES AND BEARINGS SHOWN HEREON ARE REFERRED TO THE MD. STATE PLANE COORDINATE SYSTEM (NAD83), USING HOWARD COUNTY CONTROL STATION 13760P FOR POSITION (N553237.204 E1372553.605) AND STATION 13760P FOR POSITION (N552520.794 E13702946.349)
 - THE ELEVATIONS SHOWN HEREON ARE REFERRED TO THE NORTH AMERICAN VERTICAL DATUM (NAV83), USING HOWARD COUNTY CONTROL STATION 13760P FOR BENCH MARK (ELEV. = 280.931 FEET)



PROPOSED GATEWAY OFFICE PARK - BY OTHERS SDP 02-52

ROYAL FARMS I.F.F. = 306.5

MD ROUTE 108 WATERLOO ROAD (Minor Arterial)

LARK BROWN ROAD

Site Analysis Data Chart

- GENERAL SITE DATA
 - CURRENT PLAT REFERENCE: 85200
 - PRESIDENT ZONING: B-1
 - APPLICABLE DPZ FILE REFERENCES: SDP 88-208, SDP 02-52, F-03-001, WF-90-104, WF-02-94
 - PROPOSED USE: 5,000 SF CONVENIENCE STORE
 - NO. OF OCCUPANTS: N/A WITH 24 SEAT CARRY OUT
 - PROPOSED WATER: PUBLIC RESTAURANT
 - PROPOSED SEWER: PUBLIC
 - WATER AND SEWER CONTRACT NUMBER: 671-W
- AREA TABULATION
 - TOTAL PROJECT AREA: 1308 AC
 - TOTAL DISTURBED AREA: 1796 AC
 - FLOOR AREA RATIO: 4,886 SF/1308 AC = 0.09
 - BUILDING HEIGHT: 17'-6"
- OPEN SPACE DATA: NA
- PARKING SPACE DATA
 - PARKING REQUIRED: 30 TOTAL REQUIRED = 39
 - 5,000 SF @ 6 P.S./1,000 SF = 30
 - GA'S STATION: 3
 - PARKING PROVIDED: 53
 - TOTAL INCLUDES:
 - 46 STANDARD SPACES @ 9' X 18'
 - 4 TRADE VEHICLE SPACES @ 12' X 44'
 - 2 VAN ACCESSIBLE HANDICAP SPACES @ 24' X 10' TWO SIDE BY SIDE
 - 1 STD. HANDICAP SPACE @ 13' X 18'

LEGEND

PROPERTY LINE	---
EX WATER	EX WAT
EX STORM DRAIN	EX SD
EX SANITARY SEWER	EX SAN
PR STORM DRAIN	PR SD
PR WATER	PR WAT
PR SAN	SAN
CURB & GUTTER	---
EX CURB TO REMAIN	---
CHAIN LINK FENCE	---
EX LIGHT POLE	---
EX TREE	---
EX TREELINE PROP. CONCRETE	---
P2 PAVING (NO CO. STD. DTL R2.0)	---
ROAD WIDENING SECTION (SEE DTL. SHT 3)	---
STD. CURB (NO CO. STD. DTL R3.0)	---
REVERSE SLOPE CURB (SEE DTL. SHT 3)	---
HANDICAP RAMP (SEE DTL. SHT 3)	---

SHEET INDEX

NO.	SHEET TITLE
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2	EXISTING CONDITIONS AND DEMOLITION
3	DETAILS
4	DRAINAGE AREA MAPS
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7	PROFILES AND DETAILS
8	SEDIMENT CONTROL PLAN
9	SEDIMENT CONTROL NOTES & DETAILS
10	SEDIMENT CONTROL NOTES & DETAILS
11	LANDSCAPING PLAN
12	LIGHTING PLAN
13	LIGHTING DETAILS

SEE ARCHITECTURAL PLANS FOR LIMITS OF BUILDING WATER PROOFING.

OWNER/DEVELOPER

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Site Plan
ROYAL FARM STORE #54
8268 LARK BROWN ROAD

Howards County, Maryland
Scale: 1" = 30'

Aug 14, 2003
Sht 1 of 13

SDP 02-89