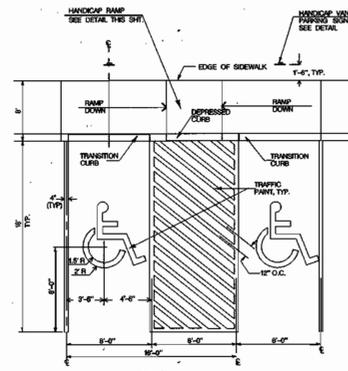
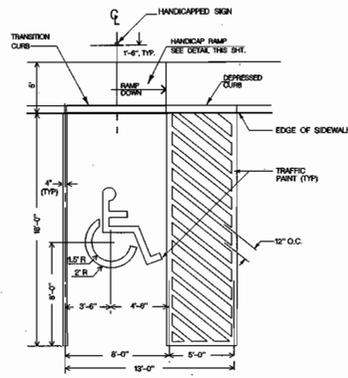


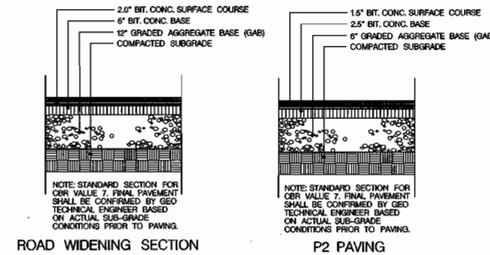
Detail Concrete Walk
Not To Scale



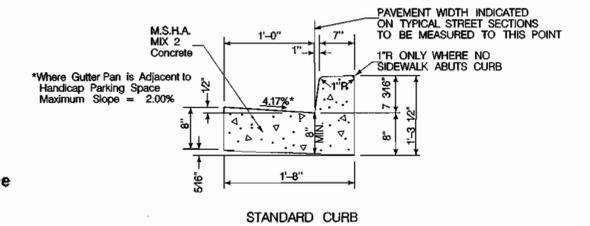
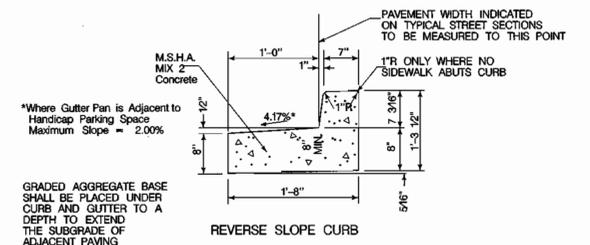
Detail Van Accessible Handicap Parking Spaces
Not To Scale



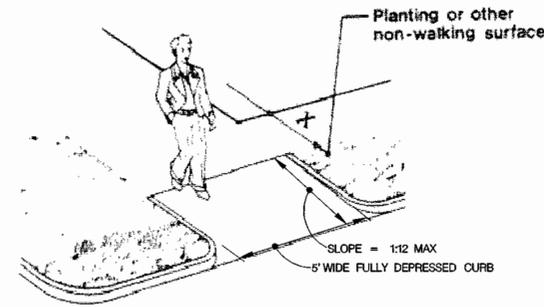
Detail Handicap Parking Space
Not To Scale



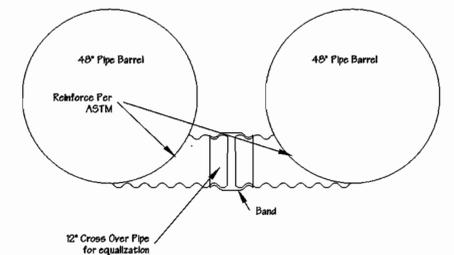
Detail Paving Sections
Not To Scale



Refer to Howard County Standard Plate R-3.01
Detail Concrete Curb and Gutter
Not To Scale



Handicap Curb Ramp
Not To Scale



EQUALIZER PIPE DETAIL FOR UNDERGROUND FACILITY
Not To Scale



ALL DIMENSIONS ARE IN INCHES * REDUCE SPACING 50 PERCENT

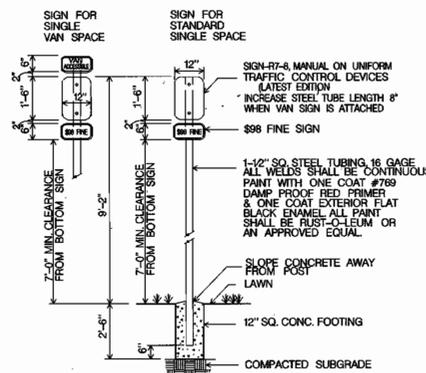
COLORS
LEGEND AND BORDER - GREEN
WHITE SYMBOL ON BLUE BACKGROUND
BACKGROUND - WHITE

Detail Handicap Parking Sign
Not To Scale



\$98 FINE SIGN / VAN ACCESSIBLE SIGN
SIGN TO UTILIZE AN ALUMINUM BLANK 8" X 12" X 0.080" THICK WITH TWO SINGLE POST MOUNTING HOLES.

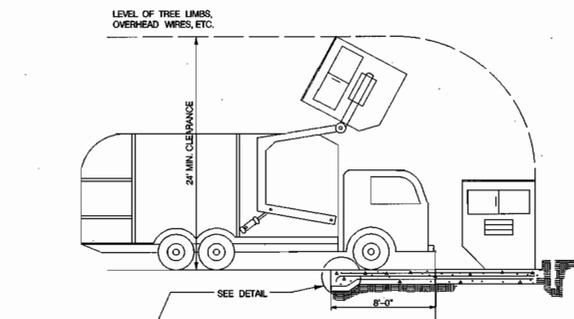
THE TEXT AND BORDER SHALL BE STANDARD GREEN TO MATCH THAT ON R7-8 AND THE BACKGROUND SHALL BE REFLECTIVE WHITE. TEXT SHALL BE IN 3" CHARACTERS



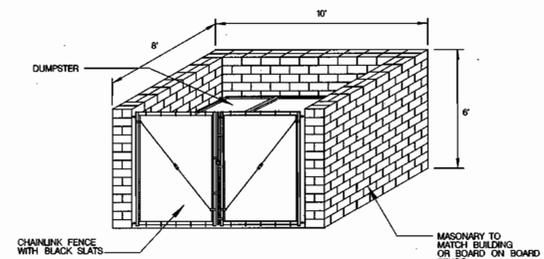
NOTES
1. DISTANCE FROM GROUND TO BOTTOM OF SIGN SHALL BE 7'
2. SEE HANDICAPPED PARKING SPACE DETAIL THIS SHEET FOR LOCATION OF HANDICAPPED SIGN.
3. VAN ACCESSIBLE SPACES SHALL INCLUDE "VAN SIGN" AS REQUIRED
4. SIGNS SHALL CONFORM TO CURRENT ADA CRITERIA.

SIGN COLORS
LETTERS AND BORDER - GREEN
WHITE H.C. SYMBOLS ON BLUE BACKGROUND
BACKGROUND - WHITE

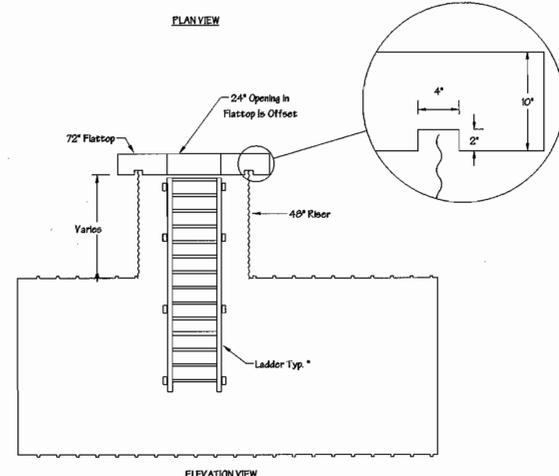
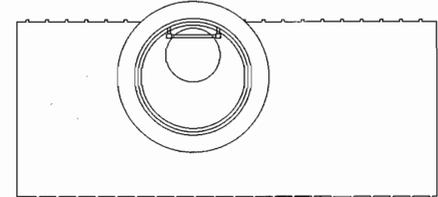
Detail Handicap Parking Sign & Post
Not To Scale



Refer to Howard County Standard Plate R-3.01
Detail Solid Waste Service Pad
Not To Scale
(TO BE LOCATED IN LOADING AREA BETWEEN BUILDINGS)



Dumpster Enclosure Detail
NOT TO SCALE



*NOTE: LADDER TO BE MANUFACTURED FROM ALUMINUM.
STORM SEWER MANHOLE DETAILS FOR UNDERGROUND FACILITY
Not To Scale

Reviewed for the Howard Conservation District and meets technical requirements.

USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

APPROVED: HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION 9/10/03 DATE

Cindy Hamstra 10.1.03 DATE
DIVISION OF LAND DEVELOPMENT

Mark Z. Leyle 10/10/03 DATE
DIRECTOR

ADDRESS CHART
BUILDING NO. STREET ADDRESS
8268 Lark Brown Road

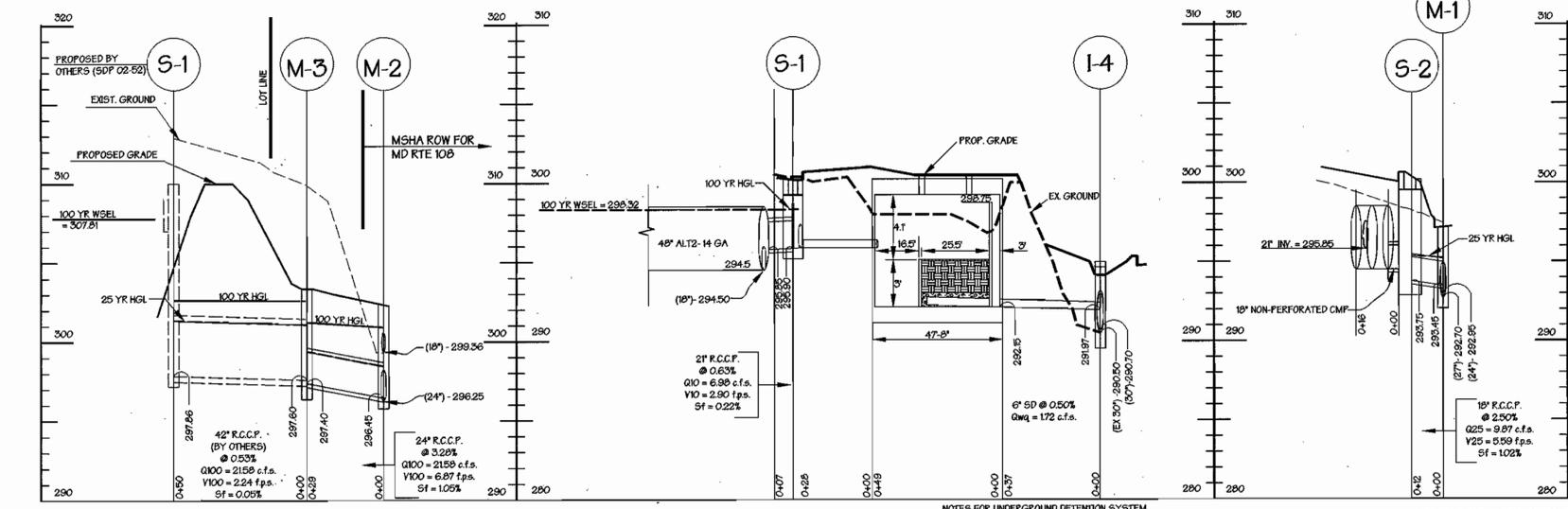
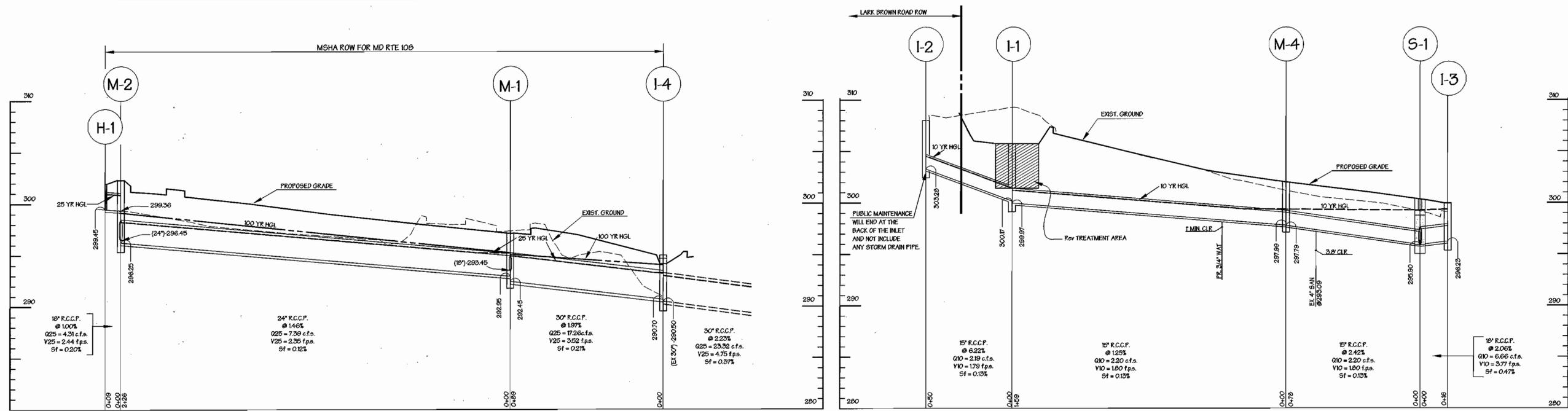
SUBDIVISION NAME	SECTION NAME	PARCEL #
Gateway Office Park	N/A	Parcel B/TM 472
PLAT #	BLOCK #	ZONE
15520	20	B-1
WATER CODE B08	ZONING MAP	ELECT. DIST.
	37	6
	SEWER CODE	CENSUS TRACT
	3450000	6067.03

Matis Warfield
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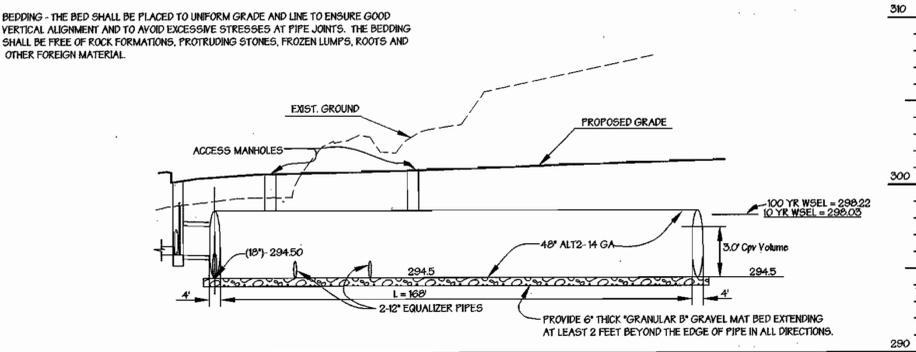


OWNER/DEVELOPER
Cloverland Farms Dairy, Inc.
3611 Roland Avenue
Baltimore, Maryland 21211-2408
(410) 889-0200

Profiles & Details
ROYAL FARM STORE #54
8268 LARK BROWN ROAD
Howard County, Maryland
Scale: AS SHOWN
August 14, 2003
Sheet 3 of 13



- OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED UNDERGROUND STORMWATER FILTRATION SYSTEMS**
- THE SEDIMENT CHAMBER OUTLET DEVICES SHALL BE CLEANED AND/OR REPAIRED WHEN DRAINDOWN TIMES WITHIN CHAMBER EXCEED 36 HOURS.
 - DEBRIS AND LITTER SHALL BE REMOVED AS NECESSARY TO INSURE PROPER OPERATION OF THE SYSTEM.
 - SEDIMENT SHALL BE CLEANED OUT OF THE SEDIMENTATION CHAMBER WHEN IT ACCUMULATES TO A DEPTH OF 6 INCHES. VEGETATION WITHIN THE SEDIMENT CHAMBER SHALL BE LIMITED TO A HEIGHT OF 18 INCHES.
 - WHEN WATER PONDS ON THE SURFACE OF THE FILTER BED FOR MORE THAN 72 HOURS, THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REPLACED WITH FRESH MATERIAL. PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID MUST BE FOLLOWED BY THE OWNER.
 - A LOGBOOK SHALL BE MAINTAINED TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
 - THE MAINTENANCE LOGBOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.
 - ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION SYSTEM HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.



NOTES FOR UNDERGROUND DETENTION SYSTEM

THE 48" DIAMETER PIPE WILL BE 14 GAGE WITH 2-2/5 x 1/2" CORRUGATIONS. THE PIPE WILL BE LOCKSEAM ALUMINIZED STEEL TYPE 2 ONLY AND MANUFACTURED IN ACCORDANCE WITH AASHTO M-36 AND M-274. ALL ELBOWS, TEE, STUBS AND ACCESS MANHOLES WILL BE AS SHOWN ON THE PLANS, PROFILE DETAILS AND MANUFACTURERS SHOP DRAWINGS.

THE USE OF ASPHALT COATING ON PERFORATED PIPE IS EXPRESSLY PROHIBITED.

- CONNECTING BANDS
 - Angular corrugated steel bands per AASHTO M36 Table 13, Sec. 9, or angular corrugated aluminum bands per AASHTO M96 Table 11, Sec. 9, modified as follows:

FEATURE	DETENTION
Corrugation	2-2/5 x 1/2"
Pipe Dia.	Up to and including 48"
Band Type	Hugger 10-1/2" width min
Gaskets Type	O-ring
Rollered Ends	Mils 2 rollered ends
 - HUGGER AND FULLER CORRUGATED BANDS SHOULD EMPLOY USE OF BAR AND BOLT AND STRAP FASTENERS
 - GASKETED BANDS SHALL BE ASSEMBLED IN ACCORDANCE WITH MANUFACTURERS PUBLISHED INSTALLATION GUIDE
 - ALL GASKETED JOINTS SHOULD BE FABRIC WRAPPED WITH A 3-1/2 OZ. NON-WOVEN GEOTEXTILE OUTSIDE THE PIPE AND A MINIMUM OF 6" BEYOND THE BAND EDGES.
 - RODS AND LUGS, (2 PER BAND) MAY BE EMPLOYED ONLY IN SPECIAL SITUATIONS.
 - ALL DEBRIS IS TO BE KEPT OUT OF THE FACILITY DURING AND AFTER CONSTRUCTION.
 - ALL METAL PIPE SHALL BE GALVANIZED AND PAINTED WITH TWO COATS OF BATTLESHIP GREY PAINT OR EQUIVALENT.

INSTALLATION SPECIFICATION FOR UNDERGROUND DETENTION SYSTEM

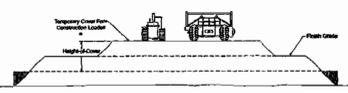
PRE-CONSTRUCTION MEETING
Prior to installation of the detention system a pre-construction meeting shall be conducted. Those required to attend are the supplier of the detention system, the general contractor, sub contractors and the engineer.

FOUNDATION/BEDDING PREPARATION
Prior to placing the bedding, the foundation must be constructed to a uniform and stable grade. In the event that unsuitable foundation materials are encountered during excavation, they shall be removed and brought back to grade with a fill material as approved by the engineer. Once the foundation preparation is complete, then 4 inches of a well-graded granular material shall be placed as the bedding.

BACKFILL
The backfill shall be an A1, A2 or A3 granular fill per AASHTO M-445 or a well graded granular fill as approved by the engineer. The material shall be placed in 6-inch loose lifts and compacted to 90% AASHTO T99 standard proctor density. When placing the first lifts of backfill it is important to make sure that the backfill is properly compacted under and around the pipe branches. Backfill shall be placed such that there is no more than a two lift differential between any of the pipes at any time during the backfill process. The backfill shall be advanced along the length of the detention system at the same rate to avoid differential loading on the pipe.

MINIMUM COVER
Backfill shall be placed to the proper elevation over the system as outlined in the plans. Minimum cover for construction loading needs to be determined based on the type of equipment that is planned for construction. Proper cover for construction equipment shall be determined prior to the pre-construction meeting by the engineer.

Pipe Spans, inches	Minimum Cover (feet) for Indicated Axle Loads (kips)		
	18-50	50-75	75-110
12-42	2.0	2.5	3.0
48-72	3.0	3.0	3.5
78-120	3.0	3.5	4.0
126-144	3.5	4.0	4.5



SCALE: HORIZ. 1" = 30'
VERT. 1" = 5'

Reviewed for the Howard Conservation District and meets technical requirements.

Jim Mays 9/15/03
USDA NATURAL RESOURCES CONSERVATION SERVICE DATE

Chris Hamilton 9/15/03
APPROVED: HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: Department of Planning and Zoning
Chris Hamilton 9/15/03
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Derek A. Coyle 9/15/03
DIVISION OF LAND DEVELOPMENT DATE

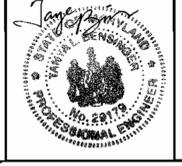
Derek A. Coyle 9/15/03
DIRECTOR DATE

ADDRESS CHART
BUILDING NO. STREET ADDRESS
8268 Lark Brown Road

SUBDIVISION NAME Gateway Office Park	SECTION NAME N/A	PARCEL # Parcel B/TM 472
PLAT # 15520	BLOCK # 20	ZONE B-1
WATER CODE E08	SEWER CODE 3450000	ELECT. DIST. 6
		CENSUS TRACT 6067.03

Matis Warfield
consulting engineers

10540 York Road, Suite M
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Facsimile 410-883-7098
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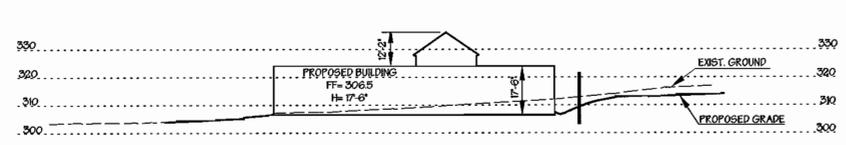
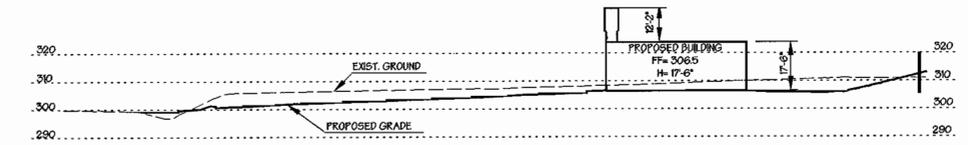
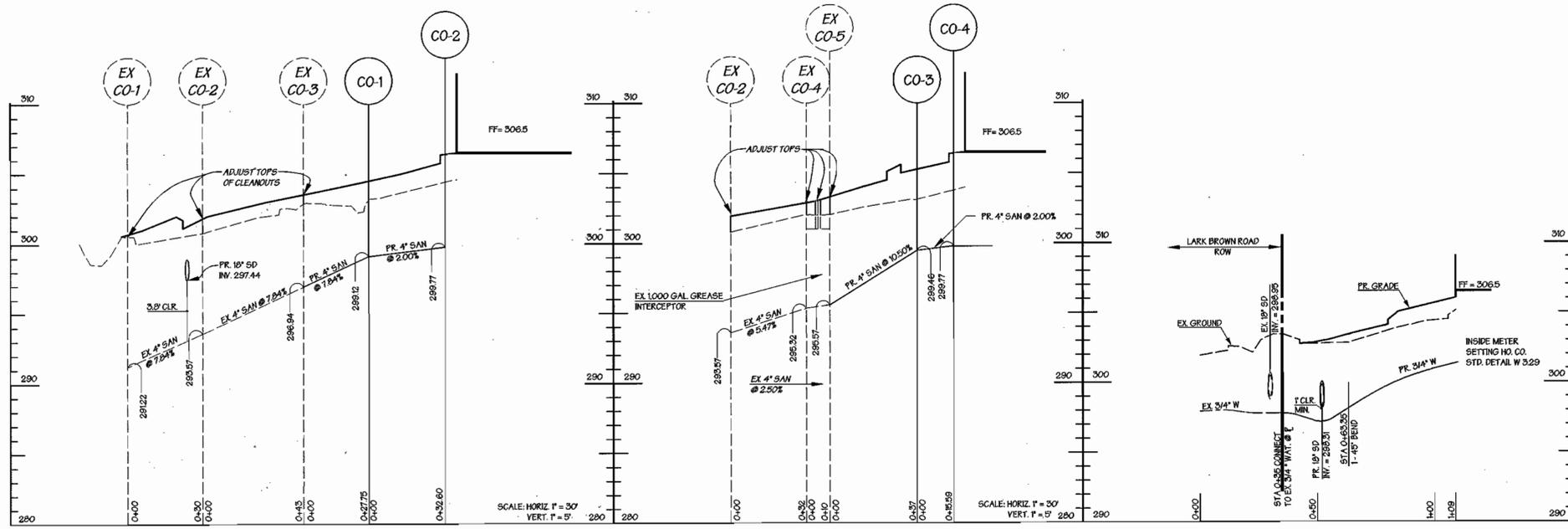
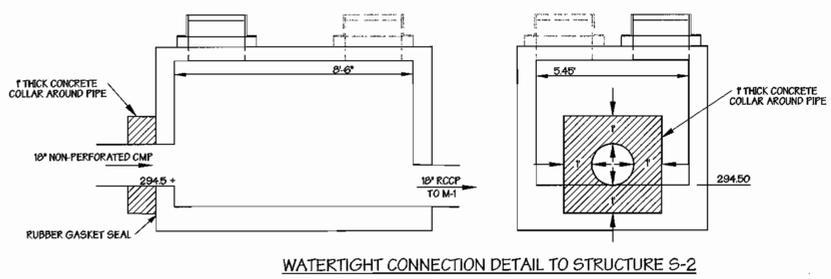
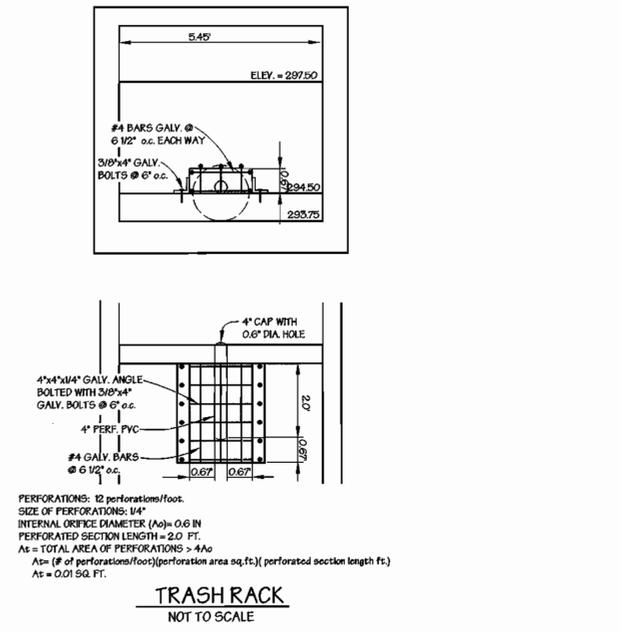
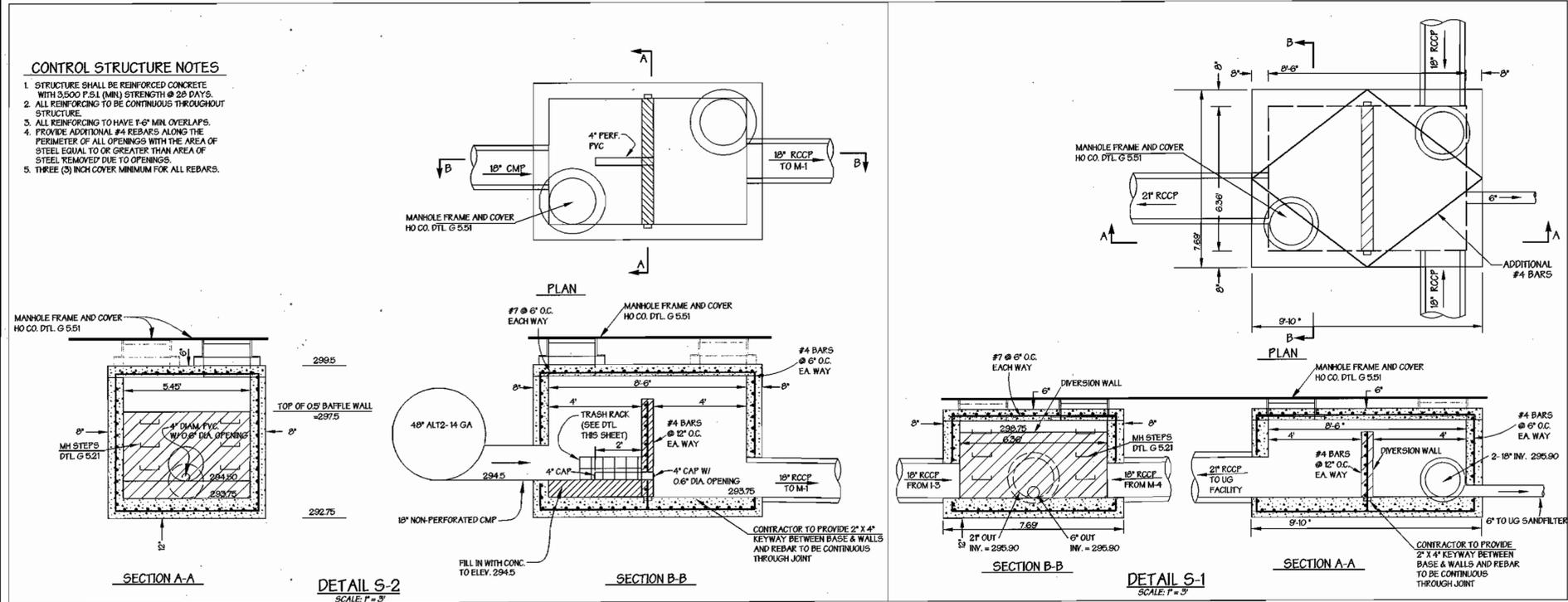
Profiles & Details
ROYAL FARM STORE #54
8268 LARK BROWN ROAD

Howard County, Maryland
Scale: 1"=30'

August 14, 2003
Sheet 5 of 12
SDP 02-89

CONTROL STRUCTURE NOTES

1. STRUCTURE SHALL BE REINFORCED CONCRETE WITH 5,000 P.S.I. (MIN.) STRENGTH @ 28 DAYS.
2. ALL REINFORCING TO BE CONTINUOUS THROUGHOUT STRUCTURE.
3. ALL REINFORCING TO HAVE 6" MIN. OVERLAPS.
4. PROVIDE ADDITIONAL #4 REBARS ALONG THE PERIMETER OF ALL OPENINGS WITH THE AREA OF STEEL EQUAL TO OR GREATER THAN AREA OF STEEL REMOVED DUE TO OPENINGS.
5. THREE (3) INCH COVER MINIMUM FOR ALL REBARS.



Reviewed for the Howard Conservation District and meets technical requirements.

USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

APPROVED: HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 9/20/03

Cindy Hamilton DATE 10-1-03

DIVISION OF LAND DEVELOPMENT

Mark D. Coyle DATE 10/1/03

DIRECTOR

ADDRESS CHART

BUILDING NO. STREET ADDRESS

8268 Lark Brown Road

SUBDIVISION NAME		SECTION NAME	PARCEL #
Gateway Office Park		N/A	Parcel B/TM 472
PLAT #	BLOCK #	ZONE	ELECT. DIST.
15520	20	B-1	6
WATER CODE		SEWER CODE	CENSUS TRACT
B08		3450000	6067.03

Matis Warfield
consulting engineers

10540 York Road Suite M
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Phone 410-683-7004
Facsimile 410-683-1798
www.matiswarfield.com
contact: Nick Brader



OWNER/DEVELOPER

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3611 Roland Avenue
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PROFILES & DETAILS

ROYAL FARM STORE #54
8268 LARK BROWN ROAD

Howard County, Maryland
Scale: AS SHOWN

August 14, 2003
Sheet 6 of 12

SDP 02-89

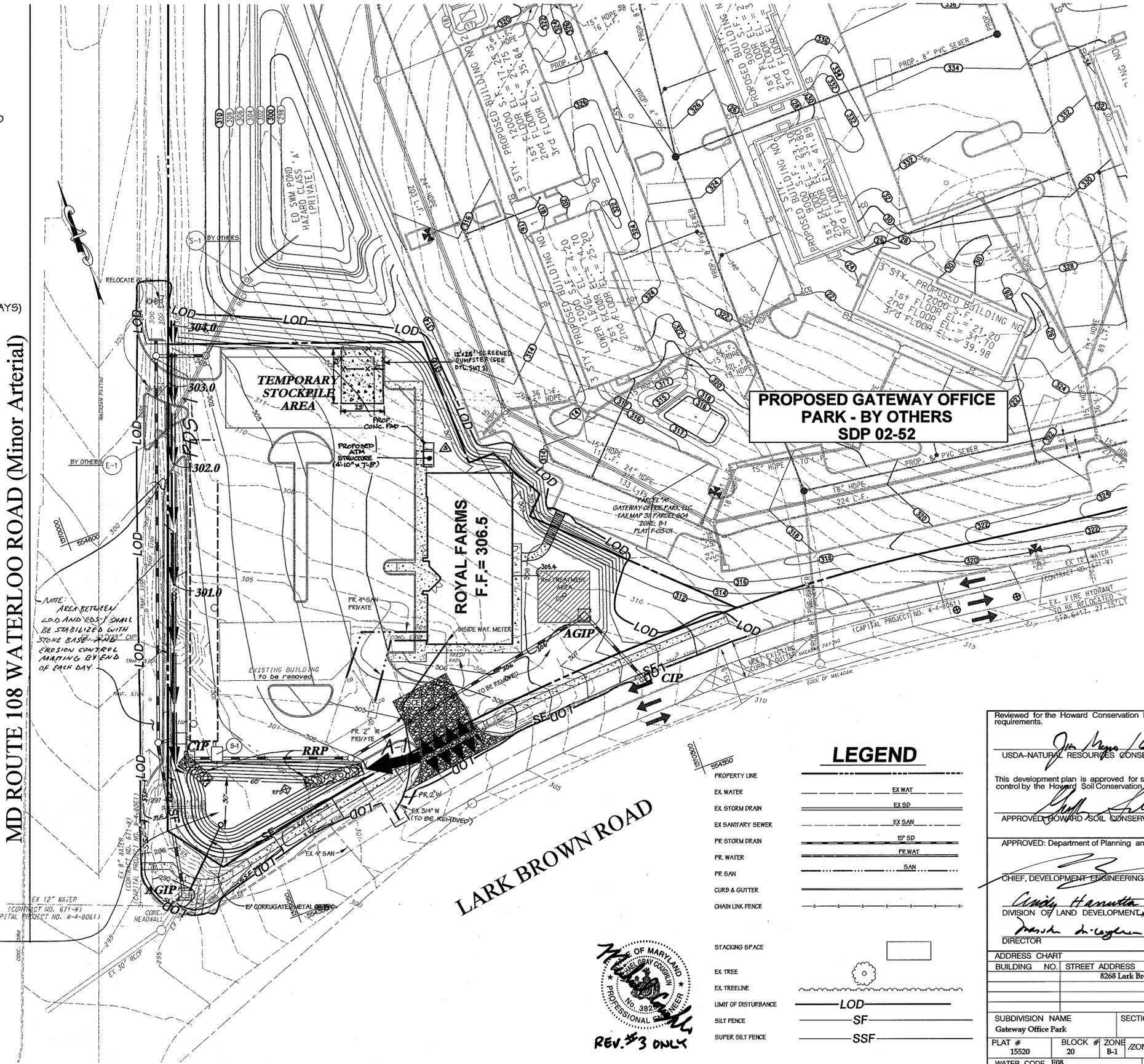
SEQUENCE OF CONSTRUCTION

- OBTAIN GRADING PERMIT.
- NOTIFY THE HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES 48 HOURS PRIOR TO BEGINNING WORK. (2 DAYS)
- INSTALL SILT FENCE, SEDIMENT TRAP, STABILIZED CONSTRUCTION ENTRANCE, EARTH DIKE AND PERIMETER DIKE/SWALES. WHEN INSTALLING PDS ALONG 108, FILL IN AREA OF EXISTING ENTRANCE CULVERT CROSSING. (1 DAY)
- BEGIN GRADING OPERATION MAINTAINING POSITIVE DRAINAGE TOWARD SEDIMENT CONTROL DEVICES AND MEASURES. (1 DAY)
- BEGIN BUILDING CONSTRUCTION (1 DAY).
- INSTALL LENGTH OF STORM DRAIN IN RTE 108 THAT CAN BE BACKFILLED AND STABILIZED WITH STONE BASE IN ONE DAY (5 DAYS).
- INSTALL REMAINDER OF UTILITES AND START INSTALLATION OF PROPOSED CURB AND GUTTER AND STONE SUBBASE. (10 DAYS)
- WITH A 5-DAY CLEAR (NO PRECIPITATION) WEATHER FORECAST FROM NWS, INSTALL 48" PIPE FOR UNDERGROUND SWM FACILITY AND ANY REMAINING STORM DRAINS. TEMPORARILY BLOCK ALL OPENINGS EXITING STRUCTURE S-1 INTO THE UNDERGROUND SWM FACILITIES. (10 DAYS)
- FINE GRADE AND STABILIZE SITE. (3 DAYS)
- UPON STABILIZATION OF THE SITE WITH ESTABLISHED VEGETATION AND STONE SUBBASE IN THE SIDEWALK AND PAVEMENT AREAS AND WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, DEWATER AND REMOVE SEDIMENT TRAP AND BLOCK 15" OPENING IN INLET I-4. INSTALL UNDERGROUND SAND FILTER AND Rev TREATMENT AREA ACCORDING TO DETAILS SHOWN ON SHEET 7. REMOVE BLOCKS FROM STRUCTURE S-1 (10 DAYS)
- INSTALL PAVEMENT AND SIDEWALKS FOR THE ENTIRE SITE. (7 DAYS)
- WITH PERMISSION OF THE SEDIMENT CONTROL INSPECTOR REMOVE REMAINING SEDIMENT CONTROL DEVICES AND STABILIZE WITH PERMANENT SEEDING. (3 DAYS).

AT THE END OF EACH WORKING DAY ANY STORM DRAIN OPENING THAT WILL ALLOW SEDIMENT TO BYPASS THE PERIMETER CONTROLS MUST BE BLOCKED OR PROTECTED.

SEDIMENT TRAP #1 - TYPE I
 EXISTING DRAINAGE AREA = 1.37 ACRES
 PROPOSED DRAINAGE AREA = 1.37 ACRES
 STORAGE PROVIDED = 4,992 C.F.
 STORAGE REQUIRED = 5,291 C.F.
 BOTTOM DIMENSIONS = 65' x 30'
 BOTTOM ELEVATION = 296.0
 CLEANOUT ELEVATION = 297.0
 TOP OF EMBANKMENT = 300.0
 SIDE SLOPES = 2:1
 WEIR CREST ELEVATION = 299.0
 WET STORAGE (296.0 TO 297.75) = 2,649 C.F.
 DRY STORAGE (297.75 TO 299.00) = 2,642 C.F.
 OUTLET PIPE SIZE = 15"
 RISER DIAMETER = 18"
 TRASH RACK DIAMETER = 27"

MD ROUTE 108 WATERLOO ROAD (Minor Arterial)



PROPOSED GATEWAY OFFICE PARK - BY OTHERS
 SDP 02-52

LEGEND

PROPERTY LINE	---	EX WATER	EX WAT
EX WATER	---	EX STORM DRAIN	EX SD
EX STORM DRAIN	---	EX SANITARY SEWER	EX SAN
EX SANITARY SEWER	---	PR STORM DRAIN	PR SD
PR STORM DRAIN	---	PR WATER	PR WAT
PR WATER	---	PR SAN	PR SAN
PR SAN	---	CURB & GUTTER	---
CURB & GUTTER	---	CHAIN LINK FENCE	---
CHAIN LINK FENCE	---	STACKING SPACE	---
STACKING SPACE	---	EX TREE	---
EX TREE	---	EX TREELINE	---
EX TREELINE	---	LIMIT OF DISTURBANCE	---
LIMIT OF DISTURBANCE	---	SILT FENCE	---
SILT FENCE	---	SUPER SILT FENCE	---
SUPER SILT FENCE	---		



Reviewed for the Howard Conservation District and meets technical requirements.

USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE 9/5/03

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

APPROVED: HOWARD SOIL CONSERVATION DISTRICT DATE 9/5/03

APPROVED: Department of Planning and Zoning DATE 9/2/03

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 9/2/03

DIVISION OF LAND DEVELOPMENT DATE 10-1-03

DIRECTOR DATE 11/1/03

ADDRESS CHART
 BUILDING NO. STREET ADDRESS
 8268 Lark Brown Road

SUBDIVISION NAME Gateway Office Park	SECTION NAME N/A	PARCEL # Parcel B/TM 472
PLAT # 15520	BLOCK # 20	ZONE B-1
TAX MAP 37	ELECT. DIST. 6	CENSUS TRACT 6067.03
WATER CODE E08	SEWER CODE 3450000	

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 10540 York Road, Suite M
 Hunt Valley, Maryland 21080
 phone 410-683-7004
 facsimile 410-683-1798
 www.matiswarfield.com
 contact: nick brader



ENGINEER CERTIFICATION:
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Engineer *Tanya Bensinger* Date 8/18/03
 Name Tanya L. Bensinger PE # 29179

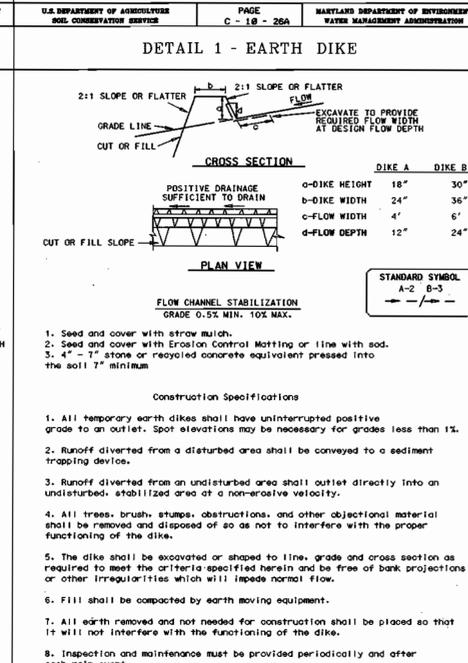
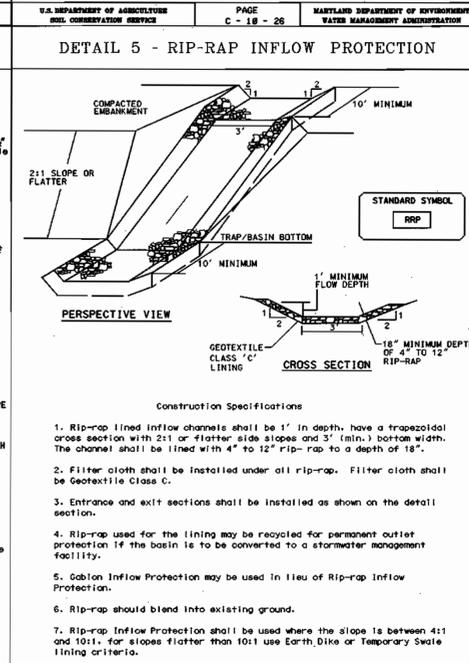
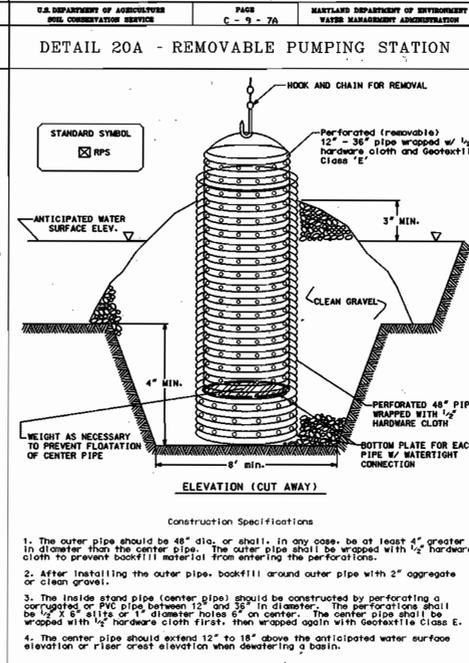
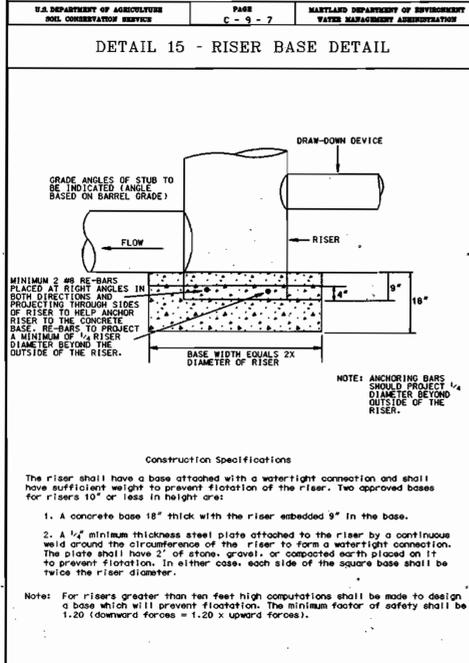
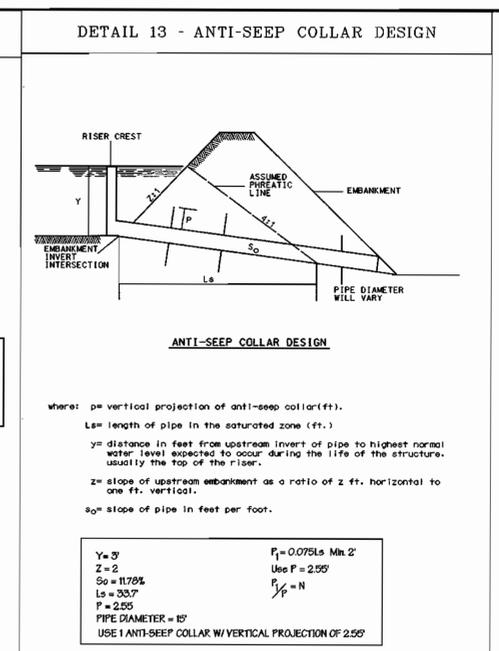
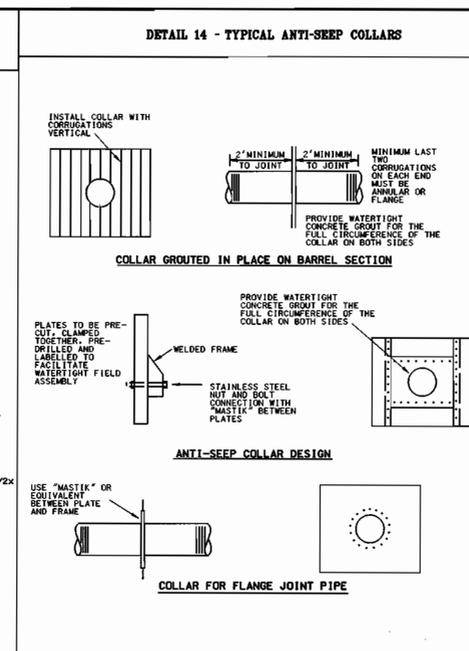
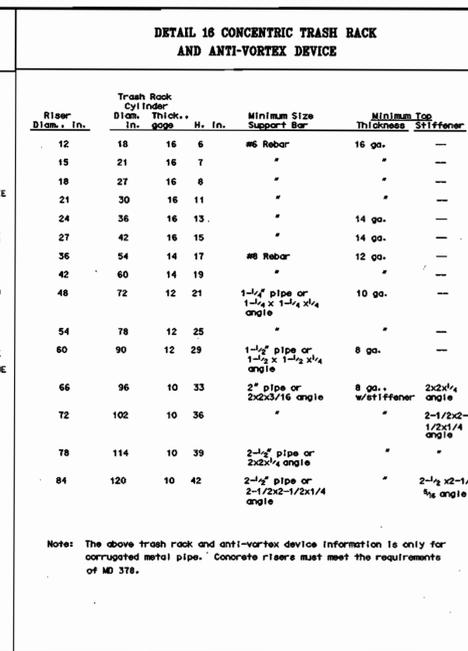
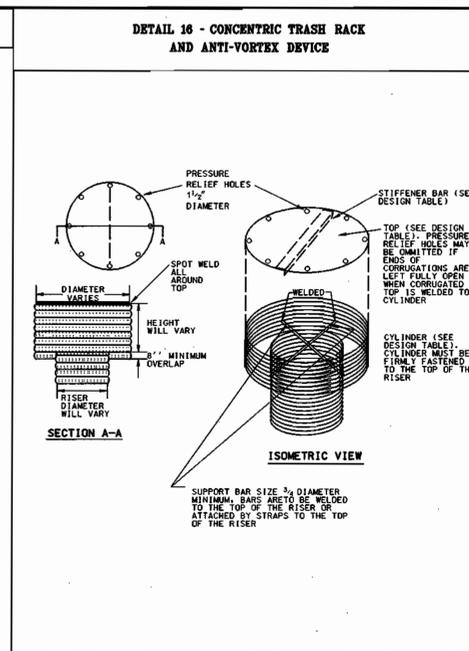
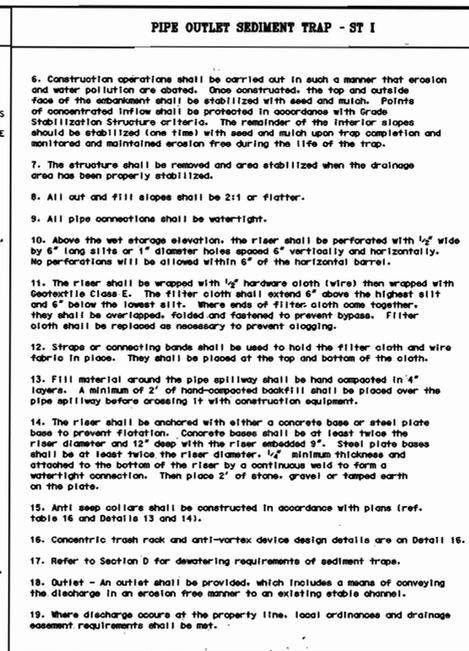
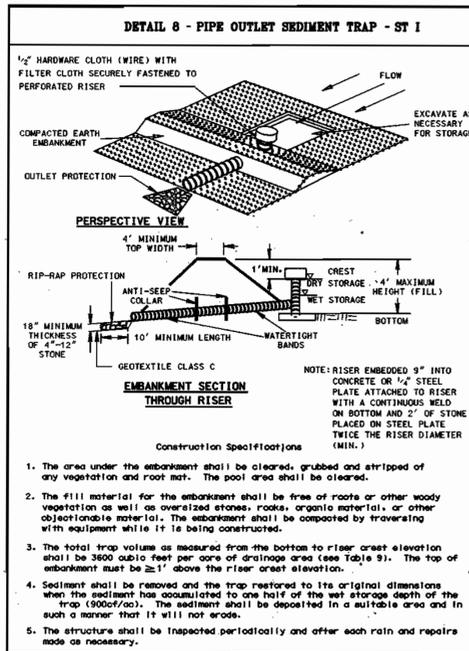
OWNER/DEVELOPER
Cloverland Farms Dairy, Inc.
 3611 Roland Avenue
 Baltimore, Maryland 21211-2408
 (410) 889-0200

DEVELOPER CERTIFICATION:
 I/we certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Developer *John M. Kemp* Date 8/18/03
 Name John M. Kemp PE # 382

REV. 11/1/04, ADD SIDEWALK TO REAR OF BLDG, CHANGE W/C FROM 3/4" TO 2".
 REV. 3/1/06 - MOVED DUMPSTER & INCREASED DUMPSTER SIZE, ADDED SIDEWALK AND STAIRS, LOWERED REAR TREATMENT AREA.
 REV. 11/21/06 - REVISED SIZE OF DUMPSTER TO 12'x25' AND INC. SIZE OF PAD TO 22'x25'.
 ADDED ATM STRUCTURE WITH CONCRETE PAD BY MARK DATED 2/2/2015

Sediment Control Plan
ROYAL FARM STORE #54
 8268 LARK BROWN ROAD
 Howard County, Maryland
 Scale: 1"=30'
 August 14, 2003
 Sheet 8 of 13
 SDP 02-89



Reviewed for the Howard Conservation District and meets technical requirements.

USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE 9/15/03

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

APPROVED: HOWARD SOIL CONSERVATION DISTRICT DATE 9/15/03

APPROVED: Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 9/15/03

DIVISION OF LAND DEVELOPMENT DATE 10/1/03

DIRECTOR DATE 11/15/03

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE C-10-25 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE D-12-5 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE B-6-2 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE A-1-6 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

ADDRESS CHART

BUILDING NO. STREET ADDRESS

8268 Lark Brown Road

SUBDIVISION NAME SECTION NAME PARCEL #

Gateway Office Park N/A Parcel B/TM 472

PLAT # BLOCK # ZONE TAX MAP ELECT. DIST. CENSUS TRACT

15520 20 B-1 37 6 6067.03

WATER CODE B08 SEWER CODE 3450000

Sediment Details

ROYAL FARM STORE #54

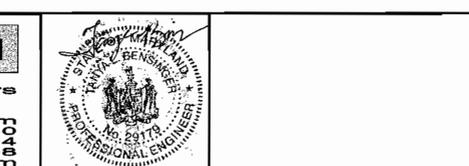
8268 LARK BROWN ROAD

Howard County, Maryland Scale: N/A

August 14, 2003 Sheet 10 of 13

Matis Warfield
consulting engineers

10540 York Road Suite M
Hunt Valley, Maryland 21030
Phone 410-993-7004
Facsimile 410-683-1798
www.matiswarfield.com
contact: nick brader

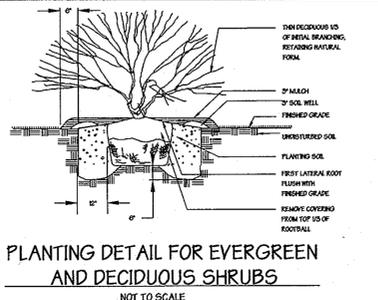


OWNER/DEVELOPER

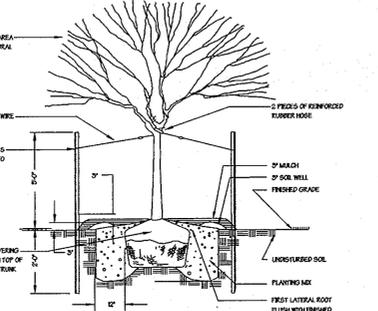
Cloverland Farms Dairy, Inc.
3611 Roland Avenue
Baltimore, Maryland 21211-2408
(410) 889-0200

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE C-18-26 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE C-18-24 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



PLANTING DETAIL FOR EVERGREEN AND DECIDUOUS SHRUBS
NOT TO SCALE



PLANTING DETAIL FOR TREES - 1-4\"/>

SPECIFICATIONS FOR PLANTING

- A. STANDARDS:**
- ALL PLANT MATERIAL, CONSTRUCTION METHODS AND MATERIAL PLACEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF "AMERICAN STANDARDS FOR NURSERY STOCK" AS FURNISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. THE "LANDSCAPE SPECIFICATION GUIDELINES FOR PLANTING" AND "WASHINGTON METRO-POLITAN AREAS".
 - ALL TREES SHALL BE DELIVERED TO THE SITE BALLED AND BURLAPPED. ALL SHRUBS SHALL BE BALLED AND BURLAPPED OR IN CONTAINERS. ALL GRASSES & PERENNIALS SHALL BE IN CONTAINERS.
 - MAINTENANCE:
 - AFTER THE PLANTING HAS BEEN APPROVED BY THE LANDSCAPE ARCHITECT AND THE OWNER, THE MAINTENANCE OF WEEDING AND WEEDING OF SUCH PLANTS AND PLANTING AREAS SHALL BE PROVIDED BY THE OWNER. SINCE THE PLANTS ARE TO BE GUARANTEED BY THE CONTRACTOR, THE CONTRACTOR SHALL PERIODICALLY CHECK THE MAINTENANCE CONDUCTED BY THE OWNER. IF THE CONTRACTOR IS NOT SATISFIED WITH THE MAINTENANCE OF THE PLANTS, A WRITTEN REPORT, IN TRIPLICATE, STATING APPROPRIATE CHARGES SHALL BE GIVEN IMMEDIATELY TO THE LANDSCAPE ARCHITECT. TWO COPIES WILL BE FORWARDED TO THE OWNER. BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING.
 - MAINTAIN TREES UNTIL FINAL ACCEPTANCE, BUT IN NO CASE, LESS THAN 60 DAYS AFTER FINAL ACCEPTANCE OF PLANTING. MAINTAIN ALL PLANTS BY PRUNING, CLEANING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SANDS, TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES TO PROPER GRADES OR ORIGINAL POSITIONS AS REQUIRED. RESTORE OR REPLACE DAMAGED WEAPONS. SPRAY AS REQUIRED TO KEEP ALL PLANTS FREE OF INSECTS AND DISEASE.
- C. WATERING:**
- IN THE ABSENCE OF ADEQUATE RAINFALL, WATERING SHALL BE PERFORMED DAILY OR AS OFTEN AS NECESSARY DURING THE FIRST WEEK, AND IN SUFFICIENT QUANTITIES TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATERING SHALL NOT BE DONE DURING THE HEAT OF THE DAY. CONTRACTOR SHALL PROVIDE A SEPARATE LEAFY SUN PRIZE IN THE OVERALL LANDSCAPE BID FOR WATERING TO ALL NEW PLANTINGS DURING ONE GROWING SEASON.
 - EXCAVATION:
 - DEPTH AND WIDTH OF EXCAVATION FOR PLANTING OF ALL PLANTS SHALL BE TWICE THE DEPTH AND WIDTH OF ROOT BALL OR CONTAINER OF PLANT TO BE INSTALLED, EXCEPT AS NOTED OTHERWISE.
- E. TOPSOIL, PLANTING MIX AND MULCH:**
- ALL TOPSOIL SHALL BE WELL GRADED LOAM OF GOOD UNIFORM QUALITY AND SHALL BE A NATURAL SOURCE FREE OF OBJECTS LARGER THAN ONE INCH IN ANY DIMENSION, AND FREE OF TOXIC SUBSTANCES, WEEDS AND ANY MATERIAL OR SUBSTANCE THAT MAY BE HARMFUL TO ANY GROWING TOPSOIL. SHALL CONTAIN AT LEAST 5% ORGANIC MATTER. IF SUFFICIENT TOPSOIL IS NOT AVAILABLE ON THE SITE TO MEET THE DEPTH AS SPECIFIED HEREIN, THE CONTRACTOR SHALL FURNISH ADDITIONAL TOPSOIL, PRIOR TO TOPSOIL DELIVERY, THE CONTRACTOR SHALL OBTAIN THE LANDSCAPE ARCHITECT'S APPROVAL OF THE SOURCE FROM WHICH TOPSOIL IS TO BE FURNISHED.
 - FOR PLANTING MIX, MIX THOROUGHLY 2/3 EXISTING SOIL AND 1/3 LEAF LIME OR EQUAL ORGANIC MATTER.
 - MULCH MATERIAL SHALL BE OF UNIFORM SIZE, FINE SHREDDED TANBARK, HARDWOOD MULCH OR APPROVED EQUAL. MULCH SHALL BE A FEW INCHES THICK, UNIFORM, AND SHALL BE LAID TO A UNIFORM MINIMUM DEPTH OF 2 INCHES. MULCH AREAS AROUND TREES AT THE RATE OF 1/2 CUBIC YARD PER TRUNK CALIPER.

Prepared By:
Human & Rohde, Inc., Landscape Architects
512 Virginia Ave.
Towson, Md 21286
Phone # 410-825-3885

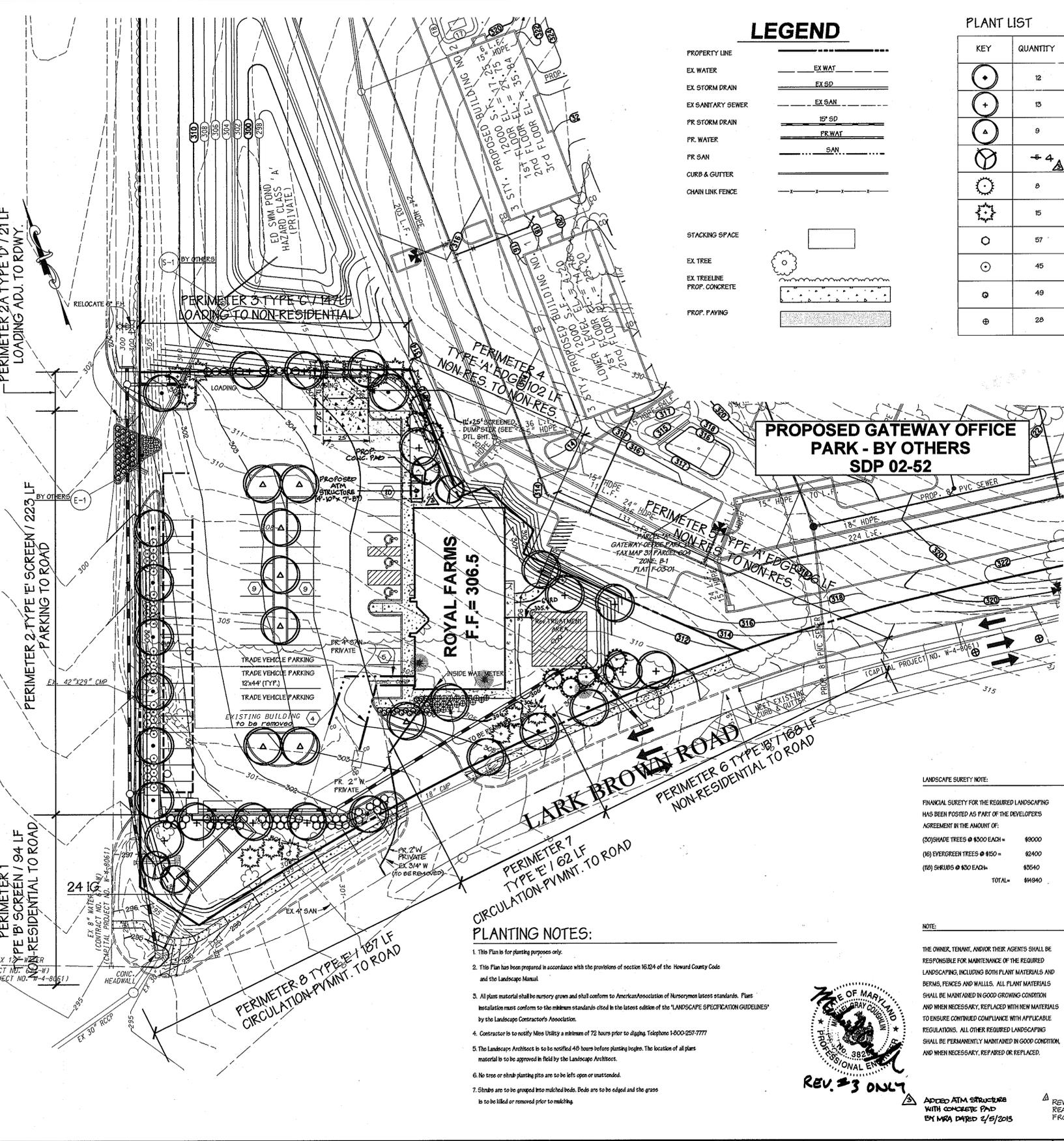
LEGEND

- PROPERTY LINE
- EX. WATER
- EX. STORM DRAIN
- EX. SANITARY SEWER
- PR. STORM DRAIN
- PR. WATER
- PR. SAN
- CURB & GUTTER
- CHAIN LINK FENCE
- STACKING SPACE
- EX. TREE
- EX. TREELINE
- PROP. CONCRETE
- PROP. PAVING

PLANT LIST

KEY	QUANTITY	BOTANICAL NAME COMMON NAME	SIZE	CONDITION	REMARKS
⊙	12	ACER RUBRUM 'RED SUNSET' RED SUNSET RED MAPLE	2 1/2-3\"/>		

MD ROUTE 108 WATERLOO ROAD (Minor Arterial)



PROPOSED GATEWAY OFFICE PARK - BY OTHERS
SDP 02-52

SCHEDULE A
PERIMETER LANDSCAPE EDGE

Category	Adjacent to Roadways	Adjacent to Perimeter Properties
Perimeter Number	1, 6	2, 7, 8, 4, 5, 3
Landscape Type	'B'	'D', 'E', 'A', 'C'
Linear Feet of Roadway Frontage/Perimeter	262 LF.	21 LF., 472 LF., 298 LF., 147 LF.
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	NO	NO, NO, NO, NO, NO
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	NO	NO, NO, NO, NO, NO
Number of Plants Required		
Shade Trees	5	1, 12, 4
Evergreen Trees	7	2, 118, 7
Shrubs		
Number of Plants Provided		
Shade Trees	4	1, 13, 12, 4
Evergreen Trees	8	2, 6, 6, 6
Other Trees (2:1 substitution)	2	
Shrubs (10:1 substitution)		125, 10
(Describe plant substitution credits below if needed)		24 FT TREES - 1800 SF TREE, 10 SHRUBS - 1 EVG

SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING

Number of Parking Spaces	54
Number of Trees Required	3
Number of Trees Provided	7
Shade Trees	
Other Trees (2:1 substitution)	N/A
Internal Islands Required	3
Internal Islands Provided (Min. 200 SF.)	2 EA - 500 SF ISLANDS @ 12' WIDTH EQUIVALENT TO 5 EA - 200 SF ISLANDS

PLANTING NOTES:

- This Plan is for planting purposes only.
- This Plan has been prepared in accordance with the provisions of section 16.024 of the Howard County Code and the Landscape Manual.
- All plant material shall be nursery grown and shall conform to American Association of Nurserymen latest standards. Plant installation must conform to the minimum standards cited in the latest edition of the "LANDSCAPE SPECIFICATION GUIDELINES" by the Landscape Contractors' Association.
- Contractor is to notify Miss Utsey a minimum of 72 hours prior to digging Telephone 1-800-259-7777
- The Landscape Architect is to be notified 48 hours before planting begins. The location of all plants material is to be approved in field by the Landscape Architect.
- No tree or shrub planting pits are to be left open or unattended.
- Shrubs are to be grouped into matched beds. Beds are to be edged and the grass is to be tilled or removed prior to matching.

LANDSCAPE SURETY NOTE:

FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF:
(3) SHADE TREES @ \$300 EACH = \$9000
(16) EVERGREEN TREES @ \$150 = \$2400
(18) SHRUBS @ \$100 EACH = \$1800
TOTAL = \$14400

NOTE:

THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.



APPROX ATM STRUCTURE WITH CONCRETE PAD BY MRA DATED 2/8/2015

REV 11/1/04 - ADD SIDEWALK TO REAR OF BLDG, CHANGE W/C FROM 1 3/4\"/>

APPROVED: Department of Planning and Zoning

CHIEF DEVELOPMENT ENGINEERING DIVISION
DATE: 8/18/03
DATE: 10/1/02
DATE: 10/1/02

Matis Warfield
consulting engineers
10540 York road suite m
hunt valley, maryland 21030
phone 410-683-1099
facsimile 410-683-1798
www.matiswarfield.com

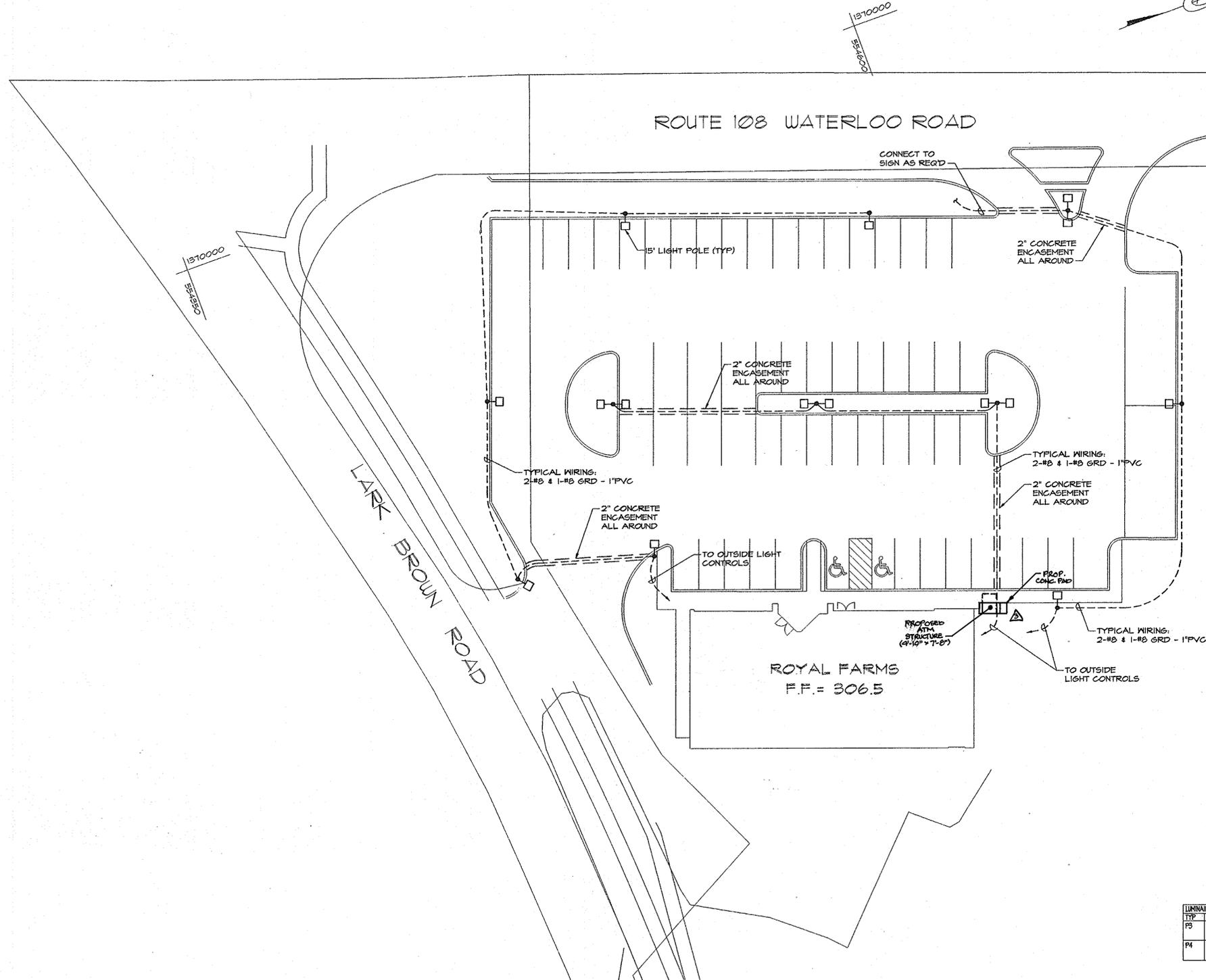


OWNER/DEVELOPER
Cloverland Farms Dairy, Inc.
3611 Roland Avenue
Baltimore, Maryland 21211-2408
(410) 889-0200

DEVELOPER'S / BUILDER'S CERTIFICATE
I/ We certify that the landscaping shown on this plan will be done according to the plan, Section 16.024 of the Howard County Code and the Howard County Landscape Manual.
I/ We further certify that upon completion, a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.
John M. Kemp
DATE: 8/18/03



Landscape Plan
ROYAL FARM STORE #54
LARK BROWN ROAD
Howard County, Maryland
Scale: 1"=30'
August 14, 2003
Sheet 11 of 13
SDP 02-89



SITE LIGHTING PLAN
SCALE: 1"=20'-0"

Reviewed for the Howard Conservation District and meets technical requirements.

USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

APPROVED: HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 9/2/03

Cindy Hamilton DATE 10-1-03

DIVISION OF LAND DEVELOPMENT DATE

Paul D. Wynn DATE 11/6/03

DIRECTOR DATE

ADDRESS CHART

BUILDING NO.	STREET ADDRESS
	8268 Lark Brown Road

SUBDIVISION NAME	SECTION NAME	PARCEL #
Gateway Office Park	N/A	Parcel B/TM 472

PLAT #	BLOCK #	ZONE	TAX MAP	ELECT. DIST.	CENSUS TRACT
15520	20	B-1	37	6	6067.03

WATER CODE E08 SEWER CODE 3480000

LUMINAIRE SCHEDULE	TYPE	STREET	DESCRIPTION	LAMP	LUMENS	MOUNTING/BALLAST	HLF	QTY
P3			Spaulding 1 of 115 (1) 1' CE-H250-II	(1) H5-250MR	23000	5 25		020 1
P4			Spaulding 2 of 115 (2) 1' CE-H250-II	(2) H5-250MR	23000	5 25		020 4



Added ATM structure with concrete pad by MRA dated 2/5/2013

REV. #3 ONLY

OWNER/DEVELOPER Cloverland Farms Dairy, Inc. 3611 Roland Avenue Baltimore, Maryland 21211-2408 (410) 889-0200	Lighting Plan ROYAL FARM STORE #54 8268 LARK BROWN ROAD Howard County, Maryland Scale: 1"=30'	August 14, 2003 Sheet 12 of 13
--	--	-----------------------------------

PETER W. RATCLIFFE, A.L.A.
ARCHITECTS
5040 Stevenson Road #1113
410-481-7100 Fax 410-481-7101 PWR@PWRARCHITECTS.COM

MORRIS & FITCHE ASSOCIATES, INC.
ENGINEER, PLANNER, ARCHITECT AND LANDSCAPE ARCHITECT
15 WEST ROAD SUITE 245
TOWSON, MARYLAND 21286
410-251-1000
FAX 410-251-7146

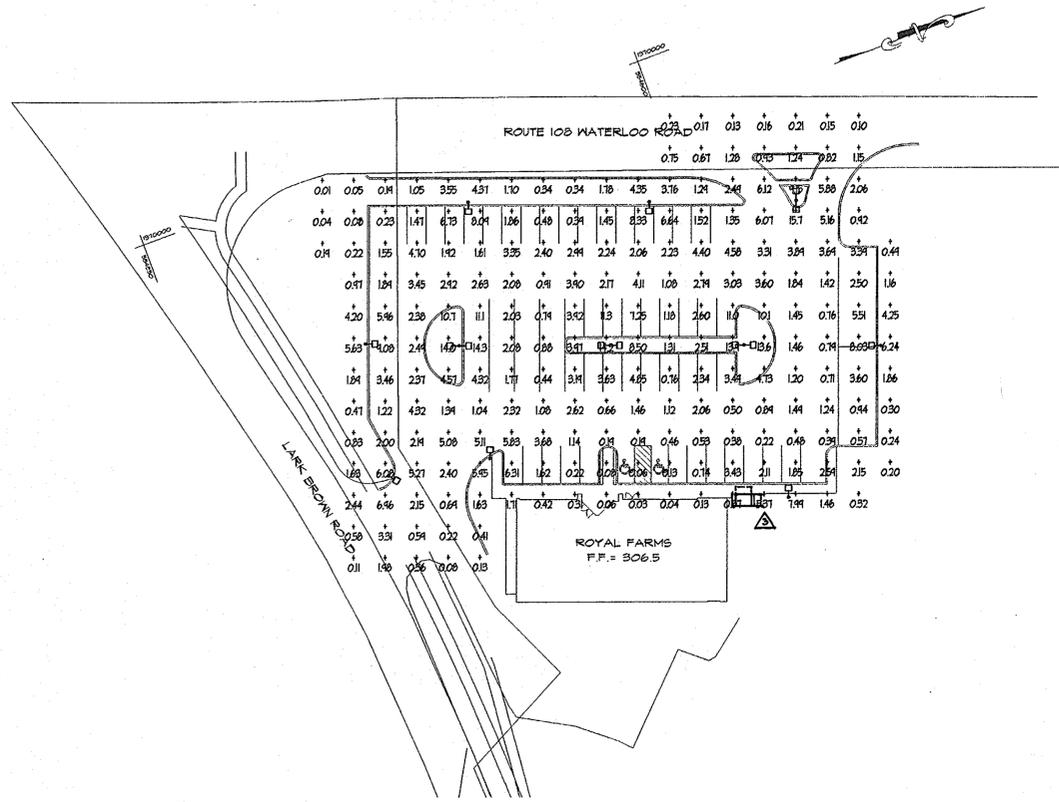
ROYAL FARMS STORE
ADDRESS
STORE #54

CONTENT:

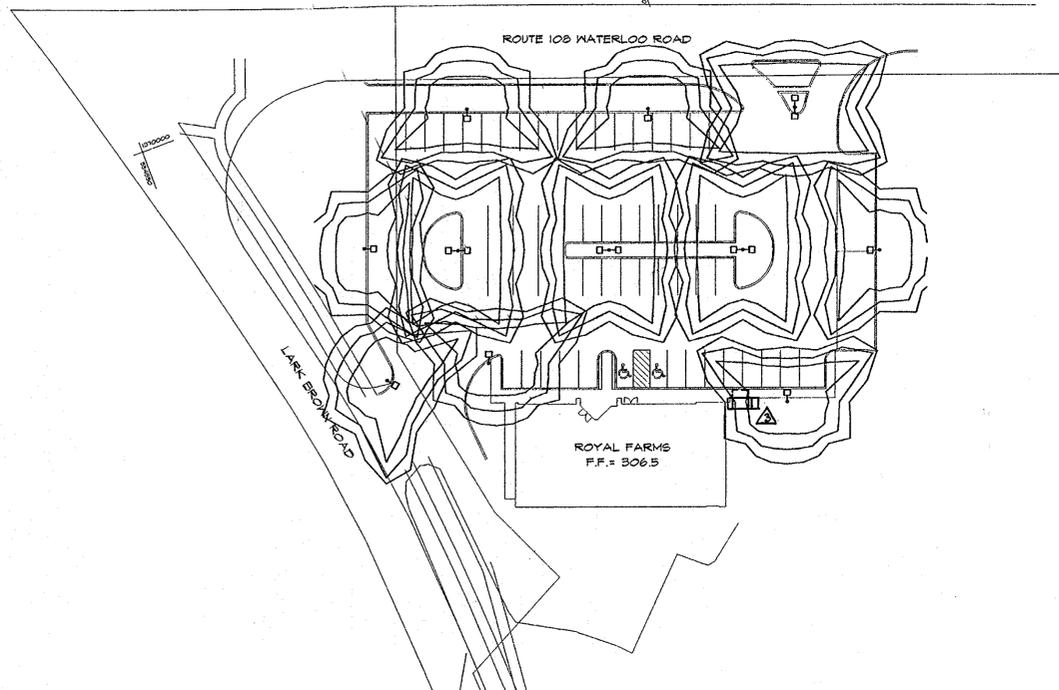
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date

DATE: 07/02/02
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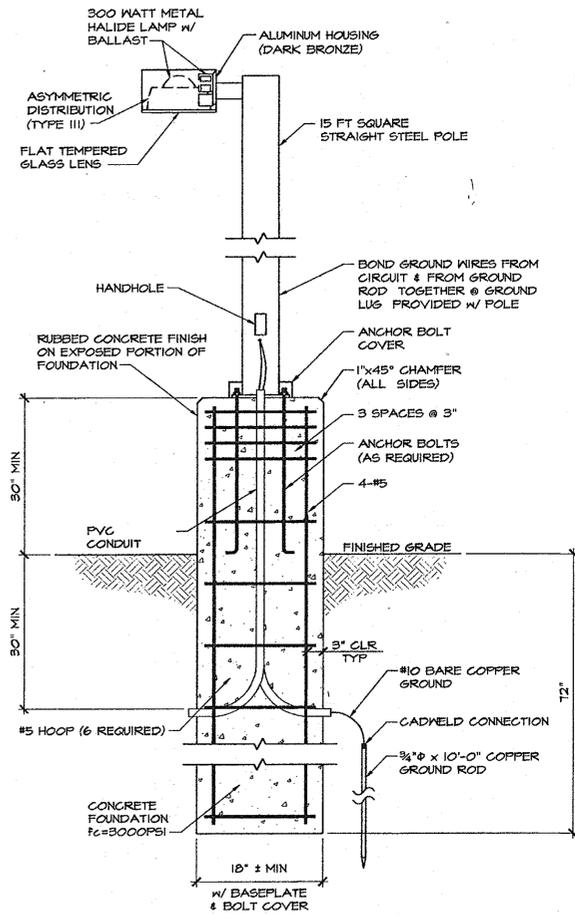
E-1
SHEET 12 OF 13



FOOTCANDLES
SCALE: 1"=40'



PHOTOMETRICS
SCALE: 1"=30'

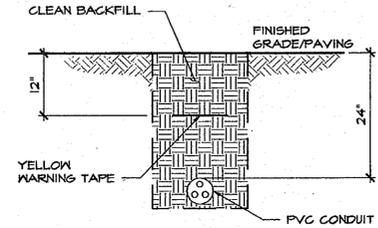


NOTE:
1) SPAULDING "NEWARK" SERIES OR EQUAL.

SITE LIGHT & POLE BASE
NOT TO SCALE

SPECIFICATIONS:

- SECTION 16010 - BASIC ELECTRICAL REQUIREMENTS**
- A. THE WORK OF EACH OF THE ELECTRICAL SECTIONS INCLUDES FURNISHING AND INSTALLING THE MATERIAL, EQUIPMENT, AND SYSTEMS COMPLETE AS SPECIFIED AND/OR INDICATED ON THE DRAWINGS. THE ELECTRICAL INSTALLATIONS, WHEN FINISHED, SHALL BE COMPLETE AND COORDINATED, READY FOR SATISFACTORY SERVICE.
 - B. THE WORK UNDER THIS CONTRACT SHALL BE DONE IN STRICT ACCORDANCE WITH ALL APPLICABLE MUNICIPAL, STATE, AND OTHER LOCAL CODES, AND THE 1999 EDITION OF THE NATIONAL ELECTRICAL CODE.
 - C. THE CONTRACTOR SHALL MAKE APPLICATION AND PAY FOR ALL PERMITS, LICENSES AND INSPECTIONS AS REQUIRED UNDER THE ABOVE CODES.
 - D. THE GENERAL ARRANGEMENT OF CONDUIT, WIRING AND EQUIPMENT SHALL BE AS IDENTIFIED ON THE CONTRACT DRAWINGS. THE CONTRACTOR SHALL CAREFULLY INVESTIGATE THE SITE, STRUCTURAL, AND FINISH CONDITIONS AFFECTING HIS WORK AND SHALL ARRANGE SUCH WORK ACCORDINGLY, PROVIDING SUCH FITTINGS AND ACCESSORIES AS MAY BE REQUIRED TO MEET SUCH CONDITIONS.
 - E. ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED AND COMPLETED IN A FIRST CLASS WORKMANLIKE MANNER. ALL MATERIALS SHALL BE NEW AND THE BEST OF THEIR RESPECTIVE KINDS. ALL EQUIPMENT AND SYSTEMS SHALL BE APPROVED BY UL OR SIMILAR NATIONALLY ACCEPTED TESTING AGENCY SUCH AS ETL TESTING LABORATORIES.
 - F. THE CONTRACTOR SHALL SUBMIT DETAILED DIMENSIONED SHOP DRAWINGS, TOGETHER WITH WIRING DIAGRAMS, SPECIFICATIONS, OPERATING DATA, AND/OR CATALOG CUTS FOR ALL EQUIPMENT.
 - G. THE MATERIAL AND WORKMANSHIP OF ALL PARTS OF THE ELECTRICAL INSTALLATION SPECIFIED HEREIN SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE.
 - H. UPON COMPLETION OF THE ELECTRICAL INSTALLATION, THE CONTRACTOR SHALL DELIVER TO THE OWNER ONE (1) SET OF PRINTS OF ELECTRICAL CONTRACT DRAWINGS WHICH SHALL BE LEGIBLY MARKED IN RED PENCIL TO SHOW ALL ADDITIONS, CHANGES AND DEPARTURES OF THE INSTALLATION AS COMPARED WITH THE ORIGINAL DESIGN. THEY SHALL BE SUITABLE FOR USE IN PREPARATION OF RECORD DRAWINGS.
 - I. SEAL ALL CONDUIT PENETRATIONS THRU RATED WALLS AND FLOORS TO MAINTAIN FIRE INTEGRITY.
- SECTION 16050 - BASIC ELECTRICAL MATERIALS AND METHODS**
- A. INSTALL ALL WIRING IN CONDUIT EXCEPT AS OTHERWISE INDICATED. MINIMUM CONDUIT SIZE SHALL BE 3/4". INSTALL ALL CONDUIT CONCEALED WHERE POSSIBLE. PROVIDE CONDUIT AS FOLLOWS:
 1. RIGID STEEL CONDUIT FOR WORK EXPOSED BELOW 12 FT. OR EMBEDDED IN CONCRETE OR MASONRY.
 2. GALVANIZED ELECTRICAL METALLIC TUBING (EMT) FOR INTERIOR EXPOSED WORK ABOVE 12 FT, CONCEALED WORK ABOVE SUSPENDED CEILING, AND WITHIN INTERIOR PARTITIONS OR NON-MASONRY WALLS.
 3. POLYVINYL CHLORIDE (PVC) SCHEDULE 40 CONDUIT WITH GROUND CONDUCTOR FOR UNDERGROUND AND UNDER SLAB INSTALLATION MAY BE USED.
 - B. INSTALL CONDUITS PARALLEL AND PERPENDICULAR TO WALLS AND INTERIOR SURFACES. CLEAN AND PLUG AND PROVIDE A FULL LINE IN EACH CONDUIT TO BE LEFT EMPTY. USE MANUFACTURER'S ELBOWS AND COMPRESSION TYPE INSULATED CONDUIT FITTINGS. USE CAPPED BUSHINGS OR "PUSH PENNY" PLUGS.
 - C. JUNCTION AND PULL BOXES SHALL BE FURNISHED AND INSTALLED AS INDICATED OR WHERE REQUIRED TO FACILITATE PULLING OF WIRES OR CABLES. BOXES FOR EXTERIOR WORK SHALL BE CAST ALUMINUM OR GALVANIZED CAST IRON TYPE WITH THREADED HUBS, UNLESS OTHERWISE DIRECTED. GASKETED COVER PLATES SHALL BE FURNISHED FOR OUTDOOR INSTALLATIONS.
 - D. BUILDING WIRE, UNLESS OTHERWISE INDICATED, SHALL BE COPPER, 600 VOLT, TYPE THIN/THIN INSULATION FOR INTERIOR AND XHHW OR RHW FOR EXTERIOR USE.



BURIED CONDUIT DETAIL
NOT TO SCALE

Reviewed for the Howard Conservation District and meets technical requirements.

USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

APPROVED: HOWARD SOIL CONSERVATION DISTRICT DATE *9/10/03*

APPROVED: Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION *9/10/03* DATE

Cindy Hamilton 10/1/03 DATE

DIVISION OF LAND DEVELOPMENT

Daniel Dwyll 10/6/03 DATE

DIRECTOR

ADDRESS CHART

BUILDING NO. STREET ADDRESS

8268 Lark Brown Road

SUBDIVISION NAME		SECTION NAME		PARCEL #	
Gateway Office Park		N/A		Parcel B/TM 472	
PLAT #	BLOCK #	ZONE	TAX MAP	ELECT. DIST.	CENSUS TRACT
15520	20	B-1	37	6	6067.03
WATER CODE E08		SEWER CODE 3450000			

Lighting Details

ROYAL FARM STORE #54

8268 LARK BROWN ROAD

Howard County, Maryland August 14, 2003
Scale: 1"=30' Sheet 13 of 13

ASPECT WITH STRUCTURE WITH CONCRETE PAD BY MRA DATE 9/1/2003



OWNER/DEVELOPER

Cloverland Farms Dairy, Inc.

3611 Roland Avenue
Baltimore, Maryland 21211-2408
(410) 889-0200

PETER W. RATLIFF, A.I.A.
ARCHITECTS

1048 S. WASHINGTON ROAD
SUITE 2113
410-444-7110 FAX 410-444-7111

MORRIS & FITCHE ASSOCIATES, INC.
MEMBER PLANNER, ENGINEER AND LANDSCAPE ARCHITECTS
10 WEST ROAD SUITE 200
TOWERSVILLE, MD 21156
410-447-8800 FAX 410-447-8874

ROYAL FARMS STORE

ADDRESS
STORE #54

CONTENT:

REVISED:	#	date

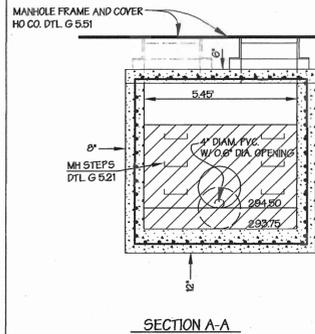
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E-2

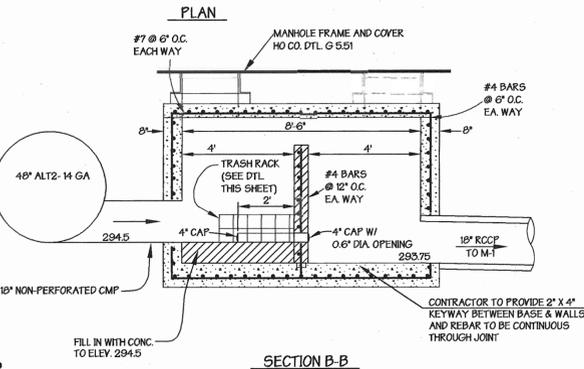
SHEET 13 OF 13

CONTROL STRUCTURE NOTES

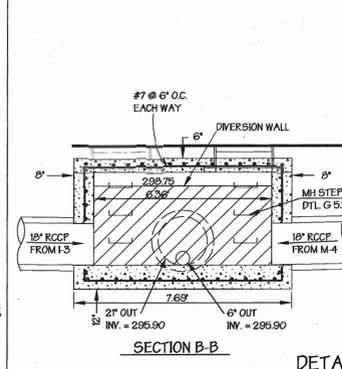
- STRUCTURE SHALL BE REINFORCED CONCRETE WITH 3,500 P.S.I. (MIN) STRENGTH @ 28 DAYS.
- ALL REINFORCING TO BE CONTINUOUS THROUGHOUT STRUCTURE.
- ALL REINFORCING TO HAVE 1'-6" MIN. OVERLAPS.
- PROVIDE ADDITIONAL #4 REBARS ALONG THE PERIMETER OF ALL OPENINGS WITH THE AREA OF STEEL EQUAL TO OR GREATER THAN AREA OF STEEL REMOVED DUE TO OPENINGS.
- THREE (3) INCH COVER MINIMUM FOR ALL REBARS.



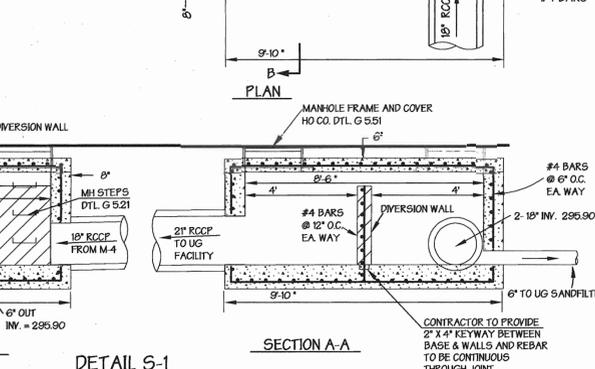
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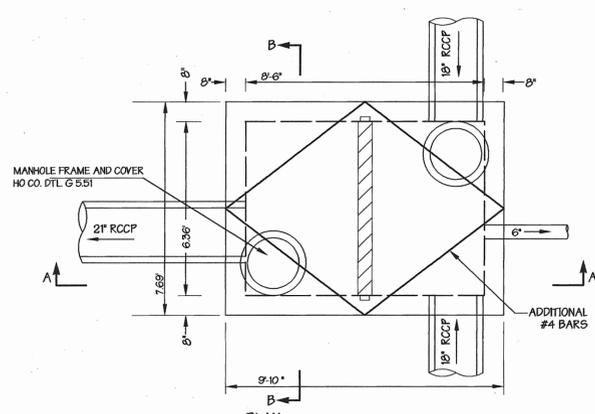
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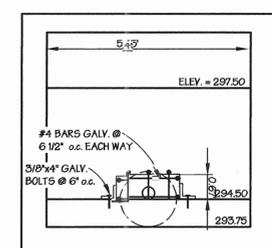
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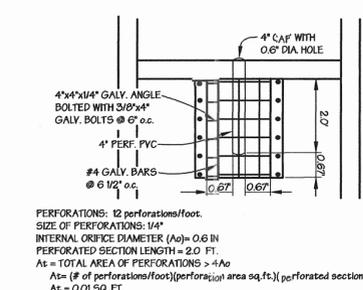
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SCALE: 1" = 2"



PLAN

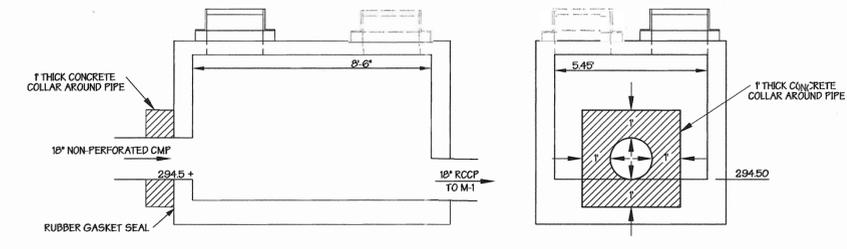


ELEV. = 297.50

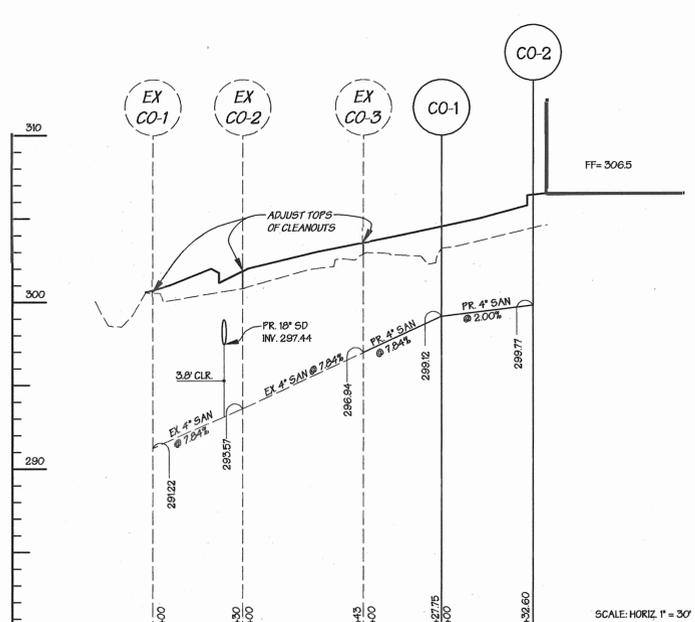


TRASH RACK
NOT TO SCALE

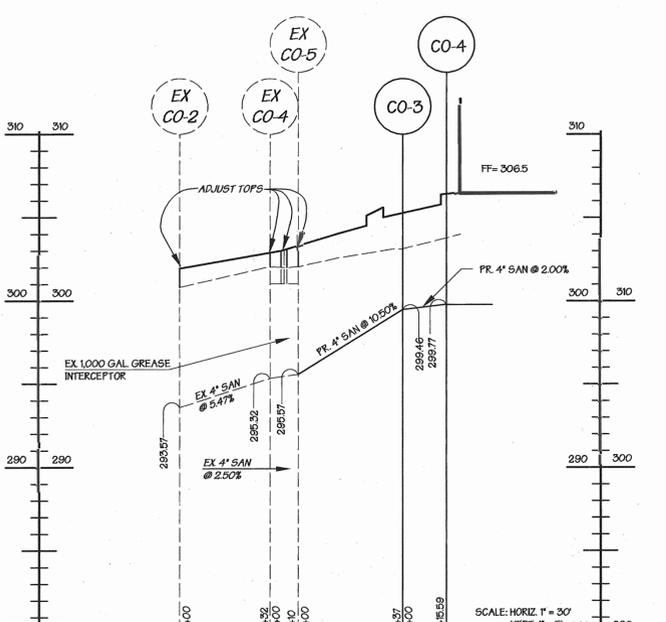
PERFORATIONS: 12 perforations/foot.
SIZE OF PERFORATIONS: 1/4"
INTERNAL ORIFICE DIAMETER (A₀) = 0.6 IN
PERFORATED SECTION LENGTH = 2.0 FT.
A_T = TOTAL AREA OF PERFORATIONS > 4 A₀
A_T = (# of perforations/foot)(perforation area sq.ft.)(perforated section length ft.)
A_T = 0.01 SQ. FT.



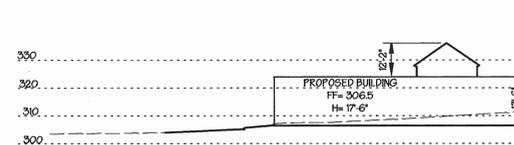
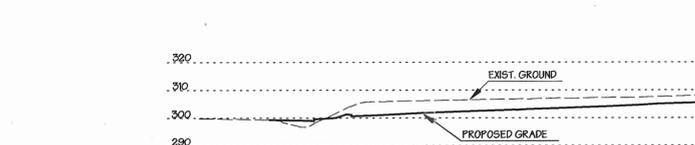
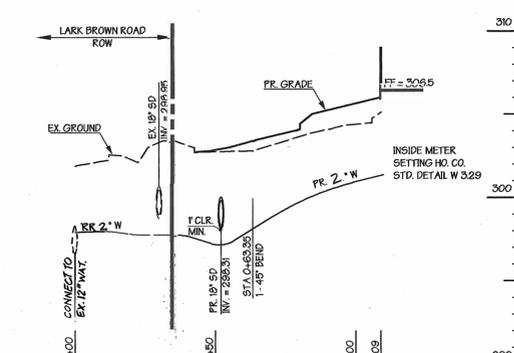
WATERTIGHT CONNECTION DETAIL TO STRUCTURE S-2



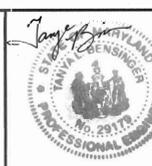
SECTION 1-1



SECTION 2-2



Matis Warfield
consulting engineers
10540 York Road, Suite M
Hunt Valley, Maryland 21030
Phone 410-883-7004
Facsimile 410-883-1798
www.matiswarfield.com
Contact: Nick Brader



OWNER/DEVELOPER
Cloverland Farms Dairy, Inc.
3611 Roland Avenue
Baltimore, Maryland 21211-2408
(410) 889-0200

REV 11/10/04 - CHANGE WMC FROM 3/4" TO 2" ON PROFILE

Reviewed for the Howard Conservation District and meets technical requirements.		
USDA - NATURAL RESOURCES CONSERVATION SERVICE	DATE	
This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.		
APPROVED: HOWARD SOIL CONSERVATION DISTRICT	DATE	
APPROVED: Department of Planning and Zoning		
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE	9/20/03
<i>Cindy Hamilton</i>	DATE	10-1-03
DIVISION OF LAND DEVELOPMENT	DATE	
<i>David L. Coyle</i>	DATE	11/11/03
DIRECTOR	DATE	
ADDRESS CHART		
BUILDING NO.	STREET ADDRESS	
	8268 Lark Brown Road	
SUBDIVISION NAME		SECTION NAME
Gateway Office Park		N/A
PLAT #	BLOCK #	ZONE
15520	20	B-1
WATER CODE		SEWER CODE
E08		3450000
PARCEL #	CENSUS TRACT	
Parcel B/TM 472	4137.03	

Profiles & Details
ROYAL FARM STORE #54
8268 LARK BROWN ROAD
Howard County, Maryland
Scale: AS SHOWN

August 14, 2003
Sheet 6 of 12

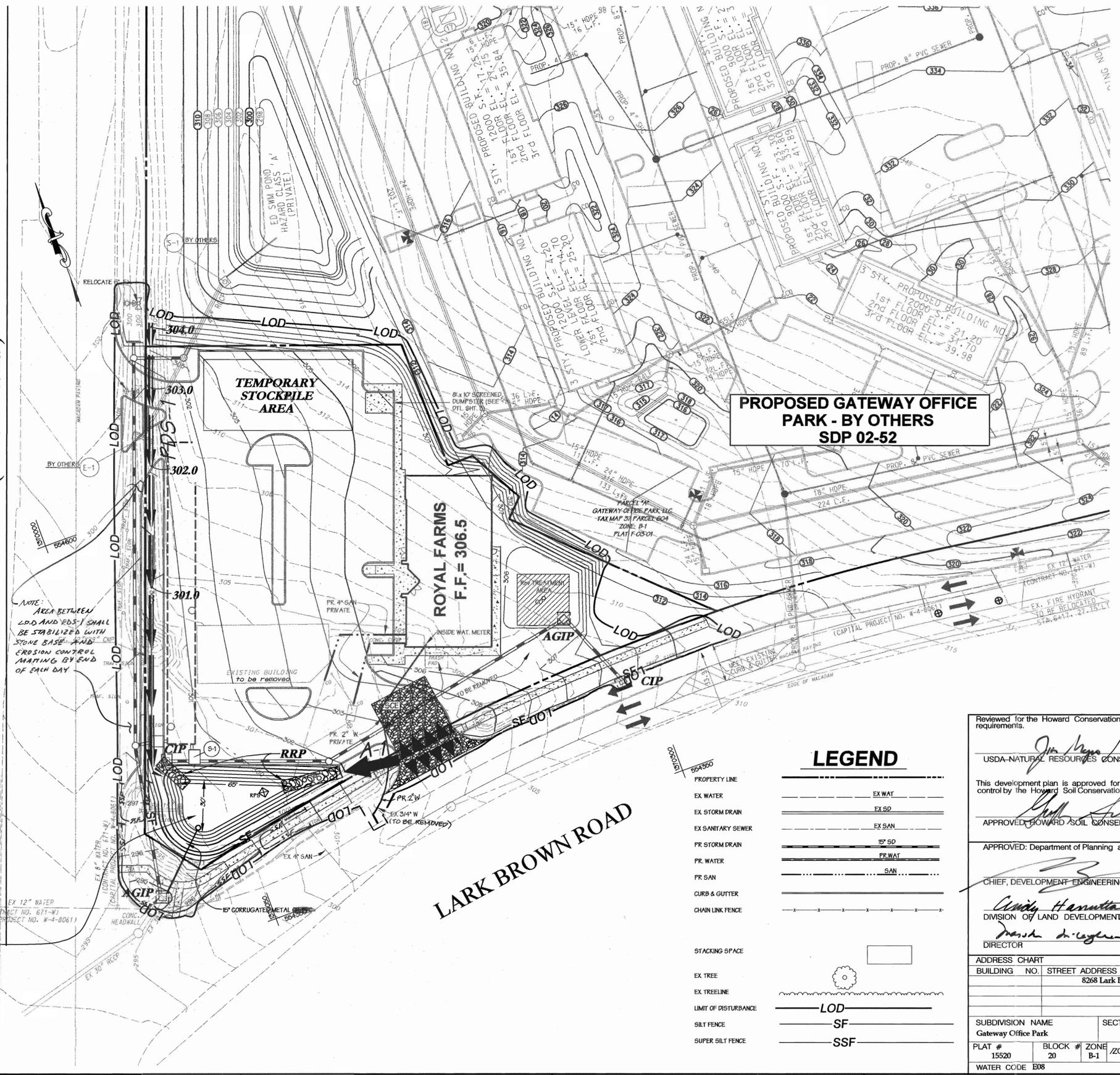
SEQUENCE OF CONSTRUCTION

1. OBTAIN GRADING PERMIT.
2. NOTIFY THE HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES 48 HOURS PRIOR TO BEGINNING WORK. (2 DAYS)
3. INSTALL SILT FENCE, SEDIMENT TRAP, STABILIZED CONSTRUCTION ENTRANCE, EARTH DIKE AND PERIMETER DIKE/SWALES. WHEN INSTALLING PDS ALONG 108, FILL IN AREA OF EXISTING ENTRANCE CULVERT CROSSING. (1 DAY)
4. BEGIN GRADING OPERATION MAINTAINING POSITIVE DRAINAGE TOWARD SEDIMENT CONTROL DEVICES AND MEASURES. (1 DAY)
5. BEGIN BUILDING CONSTRUCTION (1 DAY).
6. INSTALL LENGTH OF STORM DRAIN IN RTE 108 THAT CAN BE BACKFILLED AND STABILIZED WITH STONE BASE IN ONE DAY (5 DAYS).
7. INSTALL REMAINDER OF UTILITES AND START INSTALLATION OF PROPOSED CURB AND GUTTER AND STONE SUBBASE. (10 DAYS)
8. WITH A 5-DAY CLEAR (NO PRECIPITATION) WEATHER FORECAST FROM NWS, INSTALL 48" PIPE FOR UNDERGROUND SWM FACILITY AND ANY REMAINING STORM DRAINS. TEMPORARILY BLOCK ALL OPENINGS EXITING STRUCTURE S-1 INTO THE UNDERGROUND SWM FACILITIES. (10 DAYS)
7. FINE GRADE AND STABILIZE SITE. (3 DAYS)
8. UPON STABILIZATION OF THE SITE WITH ESTABLISHED VEGETATION AND STONE SUBBASE IN THE SIDEWALK AND PAVEMENT AREAS AND WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, DEWATER AND REMOVE SEDIMENT TRAP AND BLOCK 15" OPENING IN INLET I-4. INSTALL UNDERGROUND SAND FILTER AND Rev TREATMENT AREA ACCORDING TO DETAILS SHOWN ON SHEET 7. REMOVE BLOCKS FROM STRUCTURE S-1 (10 DAYS)
9. INSTALL PAVEMENT AND SIDEWALKS FOR THE ENTIRE SITE. (7 DAYS)
10. WITH PERMISSION OF THE SEDIMENT CONTROL INSPECTOR REMOVE REMAINING SEDIMENT CONTROL DEVICES AND STABILIZE WITH PERMANENT SEEDING. (3 DAYS).

AT THE END OF EACH WORKING DAY ANY STORM DRAIN OPENING THAT WILL ALLOW SEDIMENT TO BYPASS THE PERIMETER CONTROLS MUST BE BLOCKED OR PROTECTED.

SEDIMENT TRAP #1 - TYPE I
 EXISTING DRAINAGE AREA = 1.37 ACRES
 PROPOSED DRAINAGE AREA = 1.37 ACRES
 STORAGE REQUIRED = 4,932 C.F.
 STORAGE PROVIDED = 5,291 C.F.
 BOTTOM DIMENSIONS = 65' x 30'
 BOTTOM ELEVATION = 296.0
 CLEANOUT ELEVATION = 297.0
 TOP OF EMBANKMENT = 300.0
 SIDE SLOPES = 2:1
 WEIR CREST ELEVATION = 299.0
 WEIR STORAGE (296.0 TO 297.75) = 2,649 C.F.
 DRY STORAGE (297.75 TO 299.00) = 2,642 C.F.
 OUTLET PIPE SIZE = 15"
 RISER DIAMETER = 10"
 TRASH RACK DIAMETER = 27"

MD ROUTE 108 WATERLOO ROAD (Minor Arterial)



PROPOSED GATEWAY OFFICE PARK - BY OTHERS SDP 02-52

LEGEND

PROPERTY LINE	---	EX WATER	---
EX WATER	---	EX STORM DRAIN	---
EX STORM DRAIN	---	EX SANITARY SEWER	---
EX SANITARY SEWER	---	PR STORM DRAIN	---
PR STORM DRAIN	---	PR WATER	---
PR WATER	---	PR SAN	---
PR SAN	---	CURB & GUTTER	---
CURB & GUTTER	---	CHAIN LINK FENCE	---
CHAIN LINK FENCE	---	STACKING SPACE	---
STACKING SPACE	---	EX TREE	---
EX TREE	---	EX TREELINE	---
EX TREELINE	---	LIMIT OF DISTURBANCE	---
LIMIT OF DISTURBANCE	---	SILT FENCE	---
SILT FENCE	---	SUPER SILT FENCE	---
SUPER SILT FENCE	---		

Reviewed for the Howard Conservation District and meets technical requirements.

USDA-NATURAL RESOURCES CONSERVATION SERVICE / DATE 9/15/03

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

APPROVED: HOWARD SOIL CONSERVATION DISTRICT / DATE 9/15/03

APPROVED: Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION / DATE 9/15/03

DIVISION OF LAND DEVELOPMENT / DATE 10-1-02

DIRECTOR / DATE 9/15/03

ADDRESS CHART

BUILDING NO.	STREET ADDRESS
	8268 Lark Brown Road

SUBDIVISION NAME	SECTION NAME	PARCEL #
Gateway Office Park	N/A	Parcel B/TM 472
PLAT #	BLOCK #	ZONE
15520	20	B-1
WATER CODE	SEWER CODE	
EB8	3450000	

Matis Warfield
 consulting engineers

10540 York Road, Suite M
 Hunt Valley, Maryland 21039
 Phone 410-683-7004
 Facsimile 410-683-1798
 www.matiswarfield.com
 contact: nick brader



ENGINEER CERTIFICATION:
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Engineer: *Tanya L. Pensinger* Date: 8/18/03
 Name: Tanya L. Pensinger PE # 29179

OWNER/DEVELOPER

Cloverland Farms Dairy, Inc.
 3611 Roland Avenue
 Baltimore, Maryland 21211-2408
 (410) 889-0200

DEVELOPER CERTIFICATION:
 We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Developer: *John M. Kemp* Date: 8/18/03
 Name: John M. Kemp PE # 29179

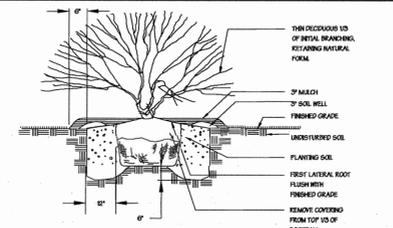
REV. 11/1/04, ADD SIDEWALK TO REAR OF BLDG, CHANGE W/C FROM 3/4" TO 2", EXTEND LOD AROUND W/C.

Sediment Control Plan

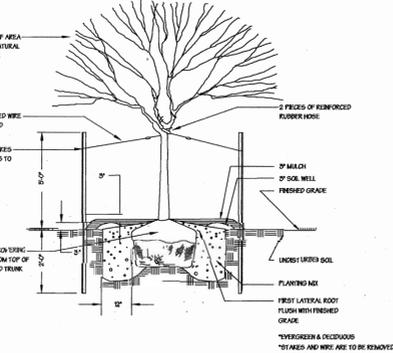
ROYAL FARM STORE #54
 8268 LARK BROWN ROAD

Howard County, Maryland
 Scale: 1"=30'

August 14, 2003
 Sheet 8 of 13
 SDP 02-89



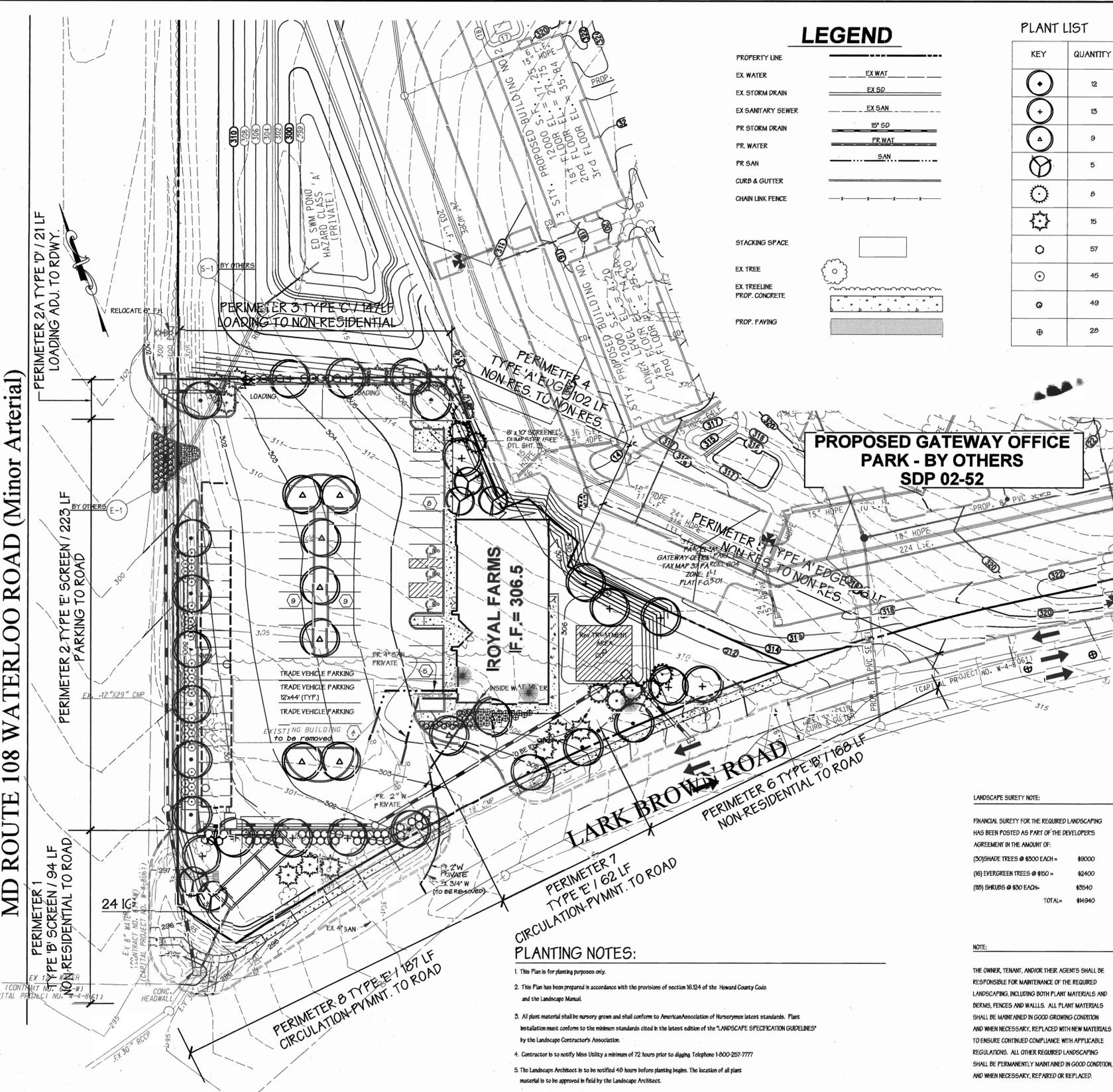
PLANTING DETAIL FOR EVERGREEN AND DECIDUOUS SHRUBS
NOT TO SCALE



PLANTING DETAIL FOR TREES* - 1-4" CALIPER
NOT TO SCALE

SPECIFICATIONS FOR PLANTING

- A. STANDARDS:**
1. ALL PLANT MATERIAL, CONSTRUCTION METHODS AND MATERIAL PLACEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "MANUAL STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN INC. THE "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE WASHINGTON METROPOLITAN AREA";
 2. ALL TREES SHALL BE DELIVERED TO THE SITE BALLED AND BURLAPPED. ALL SHRUBS SHALL BE BALLED AND BURLAPPED OR IN CONTAINERS. ALL GRASSES & PERENNIALS SHALL BE IN CONTAINERS.
 3. AFTER THE PLANTING HAS BEEN AFFIRMED BY THE LANDSCAPE ARCHITECT AND THE OWNER, THE MAINTENANCE OF WATERING AND WEEDING OF SUCH PLANTS AND PLANTED AREAS SHALL BE PROVIDED BY THE OWNER. SINCE THE PLANTS ARE TO BE GUARANTEED BY THE CONTRACTOR, THE CONTRACTOR SHALL PERIODICALLY CHECK THE MAINTENANCE CONDUCTED BY THE OWNER. IF THE CONTRACTOR IS NOT SATISFIED WITH THE MAINTENANCE OF THE PLANTS, A WRITTEN REPORT, IN TRIPlicate, STATING AN UNSATISFACTORY CONDITION SHALL BE FORWARDED TO THE LANDSCAPE ARCHITECT. TWO COPIES WILL BE FORWARDED TO THE OWNER. REGULAR MAINTENANCE SHALL BE AFTER PLANTING.
 4. MAINTAIN TREES UNTIL FINAL ACCEPTANCE, BUT IN NO CASE, LESS THAN 60 DAYS AFTER FINAL ACCEPTANCE OF PLANTING. MAINTAIN ALL PLANTS BY PRUNING, COLLECTING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SANDERS, TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND REPAIR TREES TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS, SPRAY AS REQUIRED TO KEEP ALL PLANTS FREE OF INSECTS AND DISEASE.
- B. WATERING:**
1. IN THE ABSENCE OF ADEQUATE IRRIGATION, WATERING SHALL BE PERFORMED DAILY OR AS OFTEN AS NECESSARY DURING THE FIRST YEAR, AND IN SUFFICIENT QUANTITIES TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATERING SHALL BE DONE DURING THE HEAT OF THE DAY. CONTRACTOR SHALL PROVIDE A SEPARATE LIAM SIM PLAN IN THE OVERALL LANDSCAPE BID FOR WATERING TO ALL NEW PLANTINGS DURING ONE GROWING SEASON.
- C. EXCAVATION:**
1. DEPTH AND WIDTH OF EXCAVATION FOR PLANTING OF ALL PLANTS SHALL BE TO THREE TIMES THE DEPTH AND WIDTH OF ROOT BALL OR CORNER PLANT TO BE INSTALLED, EXCEPT AS NOTED OTHERWISE.
- D. TOPSOIL, PLANTING MIX, AND MULCH:**
1. ALL TOPSOIL SHALL BE WELL GRADED LOAM OF 6000 UNIFORM QUALITY AND SHALL BE A MINIMUM FEASIBLE SOIL FREE OF CLUMPS LARGER THAN ONE INCH IN ANY DIMENSION, AND FREE OF TOXIC SUBSTANCES, WEEDS AND ANY MATERIAL, OR SUBSTANCES THAT MAY BE HARMFUL TO PLANT GROWTH. TOPSOIL SHALL CONTAIN AT LEAST 10% ORGANIC MATTER. IF SUFFICIENT TOPSOIL IS NOT AVAILABLE ON THE SITE TO MEET THE DEPTH AS SPECIFIED HEREIN, THE CONTRACTOR SHALL FURNISH ADDITIONAL TOPSOIL, PRIOR TO TOPSOIL DELIVERY, THE CONTRACTOR SHALL OBTAIN THE LANDSCAPE ARCHITECT'S APPROVAL OF THE SOURCE FROM WHICH TOPSOIL IS TO BE FURNISHED.
 2. FOR PLANTING MIX, MIX THOROUGHLY 3:2:1 EXISTING SOIL AND 1:1:1 MOLD OR EQUAL ORGANIC MATTER.
 3. MULCH MATERIAL SHALL BE OF UNIFORM SIZE, FINE SHREDDED TWIGG HARDWOOD MULCH OR APPROVED EQUAL. MULCH SHALL BE A REDDISH BROWN COLOR AND SHALL BE LAD TO A MINIMUM MINIMUM DEPTH OF 2 INCHES MULCH AREAS AROUND TREES AT THE RATE OF 1 OF DIAMETER 3 FEET OF TRUNK CALIPER.
- E. PREPARED BY:**
Human & Rohde, Inc., Landscape Architects
512 Virginia Ave.
Towson, Md 21286
Phone # 410-825-3885



LEGEND

- PROPERTY LINE
EX WATER
EX STORM DRAIN
EX SANITARY SEWER
PR STORM DRAIN
PR WATER
PR SAN
CURB & GUTTER
CHAIN LINK FENCE
STACKING SPACE
EX TREE
EX TREELINE
PROP. CONCRETE
PROP. PAVING

PLANT LIST

KEY	QUANTITY	BOTANICAL NAME COMMON NAME	SIZE	CONDITION	REMARKS
⊙	12	ACER RUBRUM RED SUNSET RED SUNSET RED MAPLE	2 1/2-3" CAL.	B & B	
⊕	15	QUERCUS PALUSTRIS PIN OAK	2 1/2-3" CAL.	B & B	
⊙	9	ULMUS PARYFOLIA DYNASTY DYNASTY ELM	2 1/2-3" CAL.	B & B	
⊙	5	CORNUS MAS CORNELLANCHERRY DOGWOOD	1 3/4-2" CAL.	B & B	
⊙	8	PICEA ABIES NORWAY SPRUCE	6-8' HT.	B & B	SPACE 1' O.C. STAGGER
⊙	15	PINUS STROBUS EASTERN WHITE PINE	6-8' HT.	B & B	SPACE 1' O.C. STAGGER
⊙	57	CORNUS STOLONIFERA BAILEY BAILEY'S RED TWIG DOGWOOD	30-36" HT.	B & B	SPACE 4" O.C. STAGGER
⊙	45	EUONYMUS ALATUS COMPACTA DWARF WINGED-EUONYMUS	24-30" HT.	B & B	SPACE 4" O.C. STAGGER
⊙	49	JUNIFERUS CHINENSIS SARGENTI SARGENT'S JUNIFER	18-24" SPD	CONTAINER	SPACE 9" O.C. STAGGER
⊙	25	BERBERIS THUNBERGII ATROPURPUREA NANA CRIMSON PYGMY BARBERRY	24-30" HT.	CONTAINER	SPACE 9" O.C. STAGGER

PROPOSED GATEWAY OFFICE
PARK - BY OTHERS
SDP 02-52

SCHEDULE A
PERIMETER LANDSCAPE EDGE

Category	Adjacent to Roadways	Adjacent to Perimeter Properties
Perimeter Number	1, 6	2, 7, 8
Landscape Type	'B'	'E'
Linear Feet of Roadway Frontage/Perimeter	262 LF.	472 LF.
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	NO	NO
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	NO	NO
Number of Plants Required		
Shade Trees	5	12
Evergreen Trees	7	5
Shrubs	118	7
Number of Plants Provided		
Shade Trees	4	13
Evergreen Trees	8	12
Other Trees (2:1 substitution)	2	6
Shrubs (10:1 substitution)	123	10
(Describe plant substitution credits below if needed)	2+L TREES=1SHD. TREE	10 SHRUBS=1EYG.

SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING

Number of Parking Spaces	54
Number of Trees Required	3
Number of Trees Provided	
Shade Trees	7
Other Trees (2:1 substitution)	N/A
Internal Islands Required	3
Internal Islands Provided (N=1, 200 Sf.)	2 EA- 500 SF. ISLANDS @ 12' WIDTH EQUIVALENT TO 5 EA- 200 SF. ISLANDS

LANDSCAPE SURETY NOTE:

FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF:
(50) SHADE TREES @ \$200 EACH = \$10000
(16) EVERGREEN TREES @ \$150 = \$2400
(18) SHRUBS @ \$30 EACH = \$540
TOTAL = \$14840

NOTE:

THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED OR REPLACED.

PLANTING NOTES:

1. This Plan is for planting purposes only.
2. This Plan has been prepared in accordance with the provisions of section 16.124 of the Howard County Code and the Landscape Manual.
3. All plant material shall be nursery grown and shall conform to American Association of Nurserymen latest standards. Plant installation must conform to the minimum standards cited in the latest edition of the "LANDSCAPE SPECIFICATION GUIDELINES" by the Landscape Contractors' Association.
4. Contractor is to notify Miss Utility a minimum of 72 hours prior to digging. Telephone 1-800-257-7777
5. The Landscape Architect is to be notified 48 hours before planting begins. The location of all plant material is to be approved in field by the Landscape Architect.
6. No tree or shrub planting pits are to be left open or unattended.
7. Strips are to be grouped into mulched beds. Beds are to be edged and the grass is to be killed or removed prior to mulching.

APPROVED: Department of Planning and Zoning
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DIVISION OF LAND DEVELOPMENT
DATE: 8/10/03
DATE: 8/10/03

Matis Warfield
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OWNER/DEVELOPER
Cloverland Farms Dairy, Inc.
3611 Roland Avenue
Baltimore, Maryland 21211-2408
(410) 889-0200

DEVELOPER'S / BUILDER'S CERTIFICATE
I/ We certify that the landscaping shown on this plan will be done according to the provisions of section 16.124 of the Howard County Code and the Howard County Landscape Manual.
I/ We further certify that upon completion, a Certification of Landscaping Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.
John M. Kemp
DATE: 8/10/03
GNEC VP



Landscape Plan
ROYAL FARM STORE #5.4
LARK BROWN ROAD
Howard County, Maryland
Scale: 1"=30'
August 14, 2003
Sheet 11 of 13
SDP 02-89

General Notes

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY, PLUS MSHA STANDARDS AND SPECIFICATION IF APPLICABLE OR AS SPECIFIED.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE BASED SOLELY ON AVAILABLE RECORDS. CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITIES WHICH MAY BE IMPACTED BY THE WORK. MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
- THE CONTRACTOR SHALL NOTIFY 'MISS UTILITY' AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE, AND SHALL CONTACT THE CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST 24 HOURS IN ADVANCE OF COMMENCEMENT OF WORK. ANY DAMAGE CAUSED BY THE CONTRACTOR TO EXISTING PUBLIC RIGHT-OF-WAY, EXISTING PAVING, EXISTING CURB AND GUTTER, EXISTING UTILITIES, ETC. SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM A FIELD RUN SURVEY WITH A MAXIMUM OF 2' CONTOUR INTERVALS PREPARED BY LEO.W. RADER, JAN. 2002.
- PUBLIC WATER AND SEWER PROVIDED BY CONTRACT NUMBER 671-W & 20-1264.
- ALL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED AND VERIFIED IN ACCORDANCE WITH AASHTO T-180, OR AS SPECIFIED BY GEOTECHNICAL ENGINEER.
- THERE ARE NO WETLANDS, FLOODPLAIN, OR STREAMS ON THIS SITE.
- OPERATING EXISTING VALVES, SWITCHES, SERVICES OR START UP OF NEW SERVICES SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE.
- TRENCH COMPACTION FOR STORM DRAINS WITHIN THE ROAD OR STREET RIGHT OF WAY LIMITS SHALL BE IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL IV, STD. NO. G-2.01.
- UNLESS OTHERWISE NOTED, DIMENSIONS FROM CURB ARE MEASURED FROM FACE.
- THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL WATER, SEWER, AND DRAIN HOUSE CONNECTIONS WITH THE MECHANICAL DRAWINGS.
- THE CONTRACTOR SHALL MAINTAIN 2.0 FEET MINIMUM PROTECTIVE COVER OVER ALL UTILITIES DURING CONSTRUCTION.
- THERE ARE NO KNOWN CEMETERIES OR BURIAL GROUNDS ON THIS SITE. HOWEVER, UPON DISCOVERY OF ANY EVIDENCE OF BURIAL OR GRAVES, THE DEVELOPER WILL BE SUBJECT TO SECTION 16.1305 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- ALL SLOPES 3:1 OR GREATER, EXCEPT THOSE ASSOCIATED WITH LANDSCAPE BERMING, SHALL BE MONITORED DURING PLACEMENT BY THE PROJECT GEOTECHNICAL ENGINEER.
- PAVING MARKINGS TO BE "TRAFFIC WHITE"
- CONTRACTOR SHALL MAINTAIN A MINIMUM 2 FOOT BENCH BEHIND CURB AND GUTTER IN FILL AREAS.
- ALL FIRE LINE PIPING SHALL MEET THE REQUIREMENTS OF THE NFPA PIPE SHALL BE UL LISTED, FM APPROVED AND MEET THE AWWA STANDARDS FOR FIRE PROTECTION USE. FITTINGS SHALL HAVE PRESSURE CLASS RATINGS COMPATIBLE WITH THE PIPE USED.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4 FEET OF COVER OVER THE PRIVATE WATER MAIN SHOWN HEREON UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE ALL CRIMPS OR VERTICAL BENDS NECESSARY TO MAINTAIN CLEARANCES WITH OTHER UTILITIES.
- THE CONTRACTOR SHALL INSPECT THE SITE TO DETERMINE IF ANY TREES, PAVING OR STRUCTURES ARE TO BE REMOVED, PRIOR TO PLACING A BID ON THOSE ITEMS. THE CONTRACTOR SHALL CLEAR THE CONSTRUCTION AREA OF ALL EXISTING TREES, PAVING, STRUCTURES, ETC., UNLESS NOTED ON PLAN.
- THE SUBJECT PROPERTY IS ZONED B-1.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$14,940.00
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLAN COORDINATE SYSTEM, HOWARD COUNTY CONTROL STATIONS NOS. 2445004 AND 2445005 WERE USED FOR THIS PROJECT.
- ALL EXTERIOR LIGHTING SHALL COMPLY WITH ZONING REGULATIONS SECTION 134.
- NO CHANGE-IN-USE IS PERMITTED FROM THE LISTED USES AND AREA ASSIGNED TO EACH USE UNLESS SUFFICIENT PARKING IS PROVIDED AND DELINEATED ON THIS PLAN.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST (5) WORKING DAYS PRIOR TO START OF WORK.
- FOR WORK ZONE TRAFFIC CONTROL NOTES SEE STANDARD NO. MD-10-01
- ALL EXISTING PAVEMENT MARKINGS THAT ARE IN CONFLICT WITH PROPOSED PAVEMENT MARKINGS SHALL BE REMOVED BY GRINDING.
- ALL PAVING TO BE STANDARD HOWARD COUNTY SECTION P-2 EXCEPT FOR ROAD WIDENING ALONG MD RTE 108. SEE DETAIL SHEET 3.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY "TRAFFIC CONCEPTS INC.", DATE: JULY 1, 2002, AND WAS APPROVED ON JULY 17, 2002.
- FOREST CONSERVATION NOTE: THE PORTION OF THE LIMIT OF DISTURBANCE (LOD) OCCURRING IN AREAS COVERED BY SDP 88-208 (0.50 AC., WHICH WAS THE LOD FOR THAT PLAN) AND SDP 02-52 (0.94 AC., WHICH WAS ACCOUNTED FOR AS A PART OF THAT PLAN) CAN BE DEDUCTED FROM THE GROSS TRACT AREA TO DETERMINE THE NET TRACT AREA FOR THE PURPOSES OF THE FOREST CONSERVATION CALCULATIONS. THIS RESULTS IN A NET TRACT AREA OF 0.50 AC. THE REFORESTATION REQUIREMENT OF 0.27 ACRES HAS BEEN MET BY PAYMENT OF A FEE IN LIEU INTO THE HOWARD COUNTY FOREST CONSERVATION FUND. THE AMOUNT OF THE FEE PAYMENT WAS \$5,880.60.

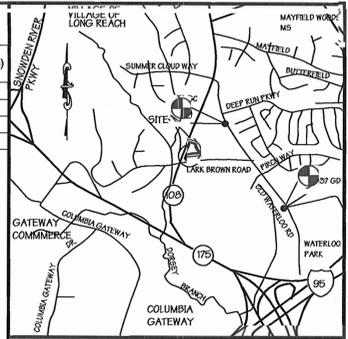
SUBJECT TO WAIVER PETITION WP 90-104 SEC. 16.113(f)(8) TO ALLOW DIRECT ACCESS TO PRINCIPAL ARTERIAL AND MINOR ARTERIAL HIGHWAYS. APPROVAL GRANTED: APRIL 11, 1990

SUBJECT TO WAIVER PETITION WP 02-94 SEC. 16.119(f) TO ALLOW DIRECT ACCESS TO PRINCIPAL ARTERIAL HIGHWAYS. APPROVAL GRANTED: MAY 8, 2002

STORMWATER MANAGEMENT SUMMARY TABLE

	Rev (c.f.)	WQv (c.f.)	Cpv (ac-ft)	Qp10 (cfs)	Qp100 (cfs)
DRAINAGE AREA	1308 ACRES OF WHICH 0.973 AC IS NEW DEVELOPMENT AND 0.336 AC IS RE-DEVELOPMENT			NA	NA
REQUIRED	933	1633	0.10	NA	NA
PROVIDED	933	2477	0.12	NA	NA
LOCATION	INFILTRATION AREA AROUND INLET #1	UNDERGROUND SAND FILTER	UNDERGROUND FACILITY	NA	NA

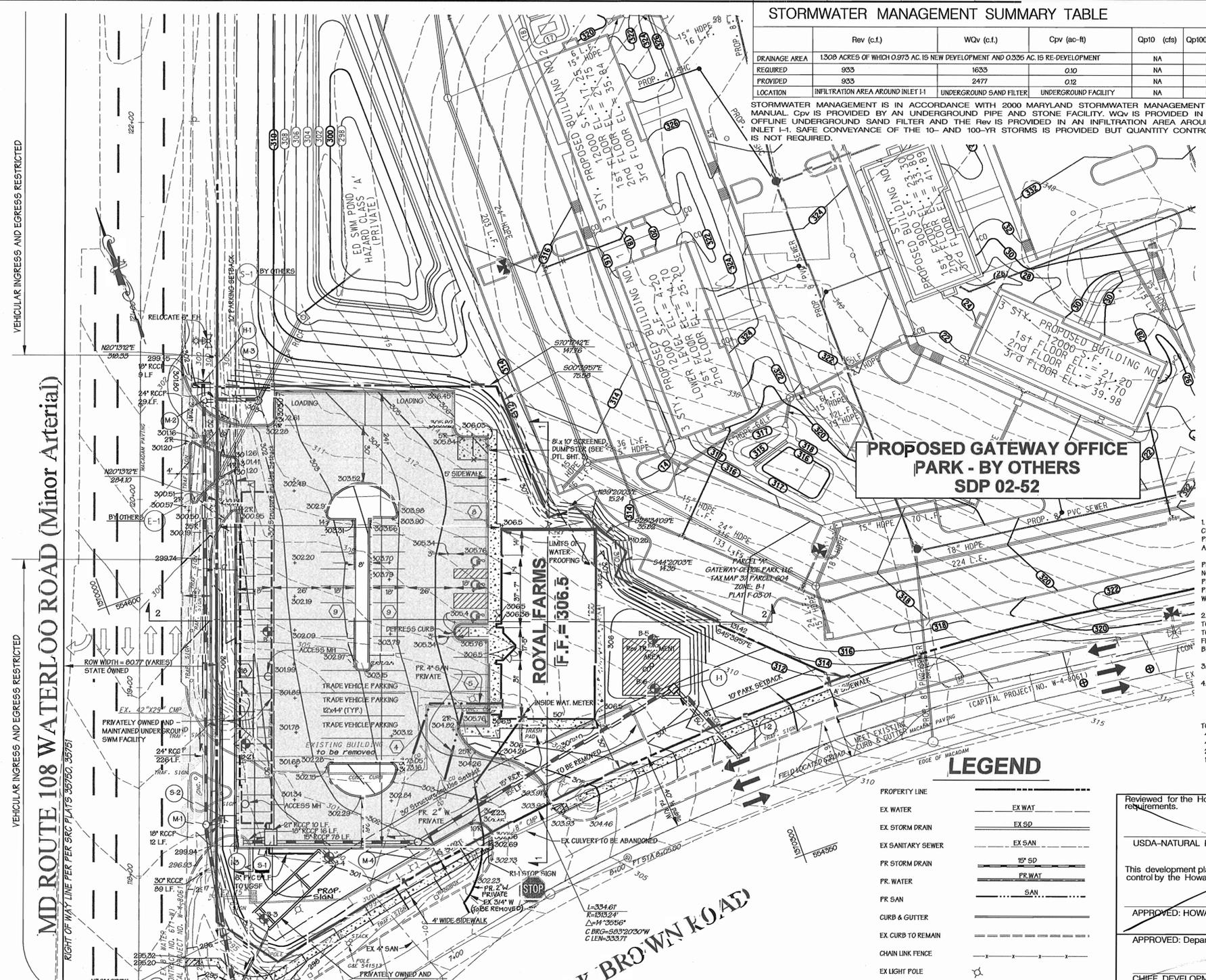
STORMWATER MANAGEMENT IS IN ACCORDANCE WITH 2000 MARYLAND STORMWATER MANAGEMENT MANUAL. Cpv IS PROVIDED BY AN UNDERGROUND PIPE AND STONE FACILITY. WQv IS PROVIDED IN AN OFFLINE UNDERGROUND SAND FILTER AND THE Rev IS PROVIDED IN AN INFILTRATION AREA AROUND INLET #1. SAFE CONVEYANCE OF THE 10- AND 100-YR STORMS IS PROVIDED BUT QUANTITY CONTROL IS NOT REQUIRED.



VICINITY MAP

SCALE: 1" = 2000'

- FOR TITLE, SEE LIBER 1798, FOLIO 42
- THE COORDINATES AND BEARINGS SHOWN HEREON ARE REFERRED TO THE MD. STATE PLANE COORDINATE SYSTEM (NAD83), USING HOWARD COUNTY CONTROL STATION "3760" FOR POSITION (N553237.204 E537255.605) AND STATION "3760" FOR POSITION (N552520.794 E537094.349)
- THE ELEVATIONS SHOWN HEREON ARE REFERRED TO THE NORTH AMERICAN VERTICAL DATUM (NAV83), USING HOWARD COUNTY CONTROL STATION "3760" FOR BENCH MARK (ELEV. = 280.931 FEET)



PROPOSED GATEWAY OFFICE PARK - BY OTHERS SDP 02-52

ROYAL FARMS I.F.F. = 306.5

MD ROUTE 108 WATERLOO ROAD (Minor Arterial)

LARK BROWN ROAD

Site Analysis Data Chart

- GENERAL SITE DATA
 - CURRENT PLAT REFERENCE: 85200
 - PRESENT ZONING: B-1
 - APPLICABLE DPZ FILE REFERENCES: SDP 88-208, SDP 02-52, F-03-001, WF-90-104, WF-02-94
 - PROPOSED USE: 5,000 SF CONVENIENCE STORE
 - NO. OF OCCUPANTS: N/A WITH 24 SEAT CARRY OUT
 - PROPOSED WATER: PUBLIC RESTAURANT
 - PROPOSED SEWER: PUBLIC
 - WATER AND SEWER CONTRACT NUMBER: 671-W
- AREA TABULATION
 - TOTAL PROJECT AREA: 1308 AC
 - TOTAL DISTURBED AREA: 1796 AC
 - FLOOR AREA RATIO: 4,886 SF/1308 AC = 0.09
 - BUILDING HEIGHT: 17'-6"
- OPEN SPACE DATA: NA
- PARKING SPACE DATA
 - PARKING REQUIRED: 30 TOTAL REQUIRED = 39
 - 5,000 SF @ 6 P.S./1,000 SF = 30
 - GA'S STATION: 3
 - PARKING PROVIDED: 53
 - TOTAL INCLUDES:
 - 46 STANDARD SPACES @ 9' X 18'
 - 4 TRADE VEHICLE SPACES @ 12' X 44'
 - 2 VAN ACCESSIBLE HANDICAP SPACES @ 24' X 10' TWO SIDE BY SIDE
 - 1 STD. HANDICAP SPACE @ 13' X 18'

LEGEND

PROPERTY LINE	---
EX WATER	EX WAT
EX STORM DRAIN	EX SD
EX SANITARY SEWER	EX SAN
PR STORM DRAIN	PR SD
PR WATER	PR WAT
PR SAN	SAN
CURB & GUTTER	---
EX CURB TO REMAIN	---
CHAIN LINK FENCE	---
EX LIGHT POLE	---
EX TREE	---
EX TREELINE PROP. CONCRETE	---
P2 PAVING (NO CO. STD. DTL R2.0)	---
ROAD WIDENING SECTION (SEE DTL. SHT 3)	---
STD. CURB (NO CO. STD. DTL R3.0)	---
REVERSE SLOPE CURB (SEE DTL. SHT 3)	---
HANDICAP RAMP (SEE DTL. SHT 3)	---

SHEET INDEX

NO.	SHEET TITLE
1	SITE PLAN
2	EXISTING CONDITIONS AND DEMOLITION
3	DETAILS
4	DRAINAGE AREA MAPS
5	PROFILES AND DETAILS
6	PROFILES AND DETAILS
7	PROFILES AND DETAILS
8	SEDIMENT CONTROL PLAN
9	SEDIMENT CONTROL NOTES & DETAILS
10	SEDIMENT CONTROL NOTES & DETAILS
11	LANDSCAPING PLAN
12	LIGHTING PLAN
13	LIGHTING DETAILS

SEE ARCHITECTURAL PLANS FOR LIMITS OF BUILDING WATER PROOFING.

OWNER/DEVELOPER

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Site Plan
ROYAL FARM STORE #54
8268 LARK BROWN ROAD

Howards County, Maryland
Scale: 1" = 30'

Aug 14, 2003
Sht 1 of 13

SDP 02-89