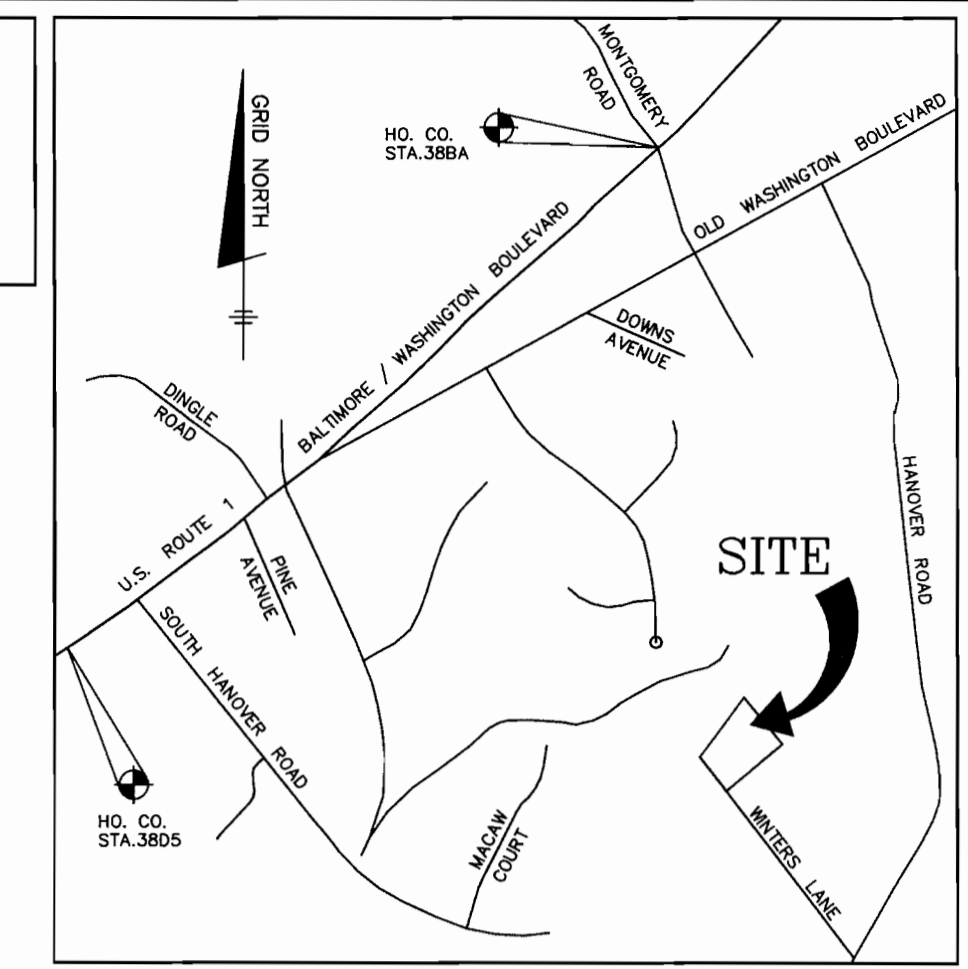


BENCHMARKS NAD'83

HO. CO. STA. 3805	EL. 193.75
N 562553.278	E 1390967.927
HO. CO. STA. 388A	EL.
N 561,056.3802	E 1,389,634.1843

• SEE VICINITY MAP FOR LOCATIONS



VICINITY MAP
SCALE: 1" = 200'

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY, PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST FIVE(5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE EXISTING CONTOURS SHOWN HEREON HAVE BEEN TAKEN FROM THE PROPOSED GRADES SHOWN ON F-01-39, PREPARED BY MILDBENBURG, BOENDER & ASSOCIATES, INC..
- COORDINATES SHOWN ARE BASED UPON HOWARD COUNTY NAD '83. CONTROL STATIONS No. 3805 & No. 388A.
- WATER AND SEWER FOR THIS PROJECT IS PUBLIC, CONTRACT No. 14-3930-D. DRAINAGE AREA IS IN THE PATAPUSCO WATERSHED.
- STORMWATER MANAGEMENT REQUIREMENTS FOR THIS SUBDIVISION WAS PROVIDED UNDER F-01-39.
- THERE ARE NO WETLANDS, WETLANDS BUFFERS, STREAMS, STREAM BUFFERS OR FLOODPLAIN ON-SITE.
- EXISTING UTILITIES WERE LOCATED FROM RECORD DRAWINGS.
- THIS SUBDIVISION IS SHOWN IN THE METROPOLITAN DISTRICT.
- NO BURIAL GROUNDS OR CEMETERIES EXIST ON-SITE.
- SECTION 128 OF THE ZONING REGULATIONS ALLOWS PORCHES OR DECKS, OPEN OR ENCLOSED, TO PROJECT NOT MORE THAN 10' FEET INTO THE REQUIRED FRONT OR REAR YARD SETBACKS; BAY WINDOWS, BALCONIES, CHIMNEYS AND EXTERIOR STAIRWAYS, NOT MORE THAN 16' FEET IN WIDTH, MAY PROJECT NOT MORE THAN 4' FEET INTO ANY REQUIRED SETBACK.
- THE STAKING OF FOUNDATIONS PRIOR TO CONSTRUCTION TO ENSURE COMPLIANCE WITH REGULATORY BUILDING RESTRICTION LINES IS RECOMMENDED.
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE BUILDERS EXPENSE.
- BRL INDICATES BUILDING RESTRICTION LINE.
- FOR LOT AREAS, EASEMENTS, OBLIGATIONS AND OTHER RELATED INFORMATION REFER TO PLAT NO. 14965 AND ANY REVISION OR RESUBMISSION PLATS OF THESE LOTS.
- PREVIOUS HOWARD COUNTY FILE NUMBERS: F-75-18-, S-99-06, P-00-10, F-01-39.
- FOREST CONSERVATION OBLIGATIONS FOR THIS SUBDIVISION WERE MET AS PART OF F-01-39, BY THE RETENTION OF EXISTING FOREST AND BY THE PURCHASE OF CREDITS FROM A FOREST CONSERVATION BANK. FINANCIAL SURETY HAS BEEN POSTED WITH THE DEVELOPER'S AGREEMENT.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
A.) WIDTH - 12 FEET (14 FT. SERVING MORE THAN ONE RESIDENCE)
B.) SURFACE - 6 INCHES COMPACTED CRUSHER RUN BASE W/TAR & CHIP COATING
C.) GEOMETRY - 15% GRADE MAX.; 10% MAX. GRADE CHANGE; 45 FOOT MIN. TURNING RADIUS
D.) STRUCTURES (BRIDGES/CULVERTS) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOAD)
E.) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE
F.) STRUCTURE CLEARANCE - MINIMUM 12 FEET
G.) MAINTENANCE - SUFFICIENT TO ENSURE ALL-WEATHER USE
- LANDSCAPING FOR THIS PROJECT WAS PROVIDED UNDER F-01-39. PERIMETER LANDSCAPING AND STREET TREES ARE PROVIDED AS SHOWN ON THE APPROVED ROAD CONSTRUCTION DRAWING UNDER F-01-39. FINANCIAL SURETY FOR THE REQUIRED PLANTINGS ON THIS SITE HAS BEEN POSTED WITH THE DEVELOPER'S AGREEMENT.
- THIS PLAN CONFORMS WITH THE 5th EDITION OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATION.
- THE MARYLAND AVIATION ADMINISTRATION HAS APPROVED THE CONSTRUCTION OF THE PROPOSED STRUCTURES ON THIS SITE UNDER PERMIT NO. 99-138. NO STRUCTURES SHALL BE ALLOWED TO PENETRATE ANY NAVIGATIONAL AIRSPACE.
- INGRESS, EGRESS AND MAINTENANCE OF THE PRIVATE ACCESS PLACE IS PURSUANT TO THE DECLARATION OF RIGHT OF ACCESS AND MAINTENANCE OBLIGATIONS RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MD AS LIBER 5702 /FOLIO 0506. ON SEPT. 7,2001.
- THE 4'x10' TRASH PAD WITHIN THE PUBLIC RIGHT-OF-WAY OF WINTERS LANE SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION PURSUANT TO THE DECLARATION OF RIGHTS OF ACCESS AND MAINTENANCE OBLIGATIONS.
- THE HOMEOWNER'S ARTICLES OF INCORPORATION HAVE BEEN FILED WITH THE MARYLAND STATE DEPARTMENT OF ASSESSMENTS AND TAXATION ON AUGUST 27,2001 AS I.D. NO. D06438873.
- DRIVEWAYS SHALL BE INSTALLED IN ACCORDANCE WITH HOWARD COUNTY STANDARD DETAIL R-6.60.

HOUSE FOOTPRINTS
SCALE: 1" = 30'

SEWER HOUSE CONNECTION TABLE

LOT NO.	MINIMUM CELLAR ELEV.	INVERT @ EASEMENT OR R/W
2	187.87	182.57
3	194.44	189.14
4	199.63	194.43
5	199.83	194.63
6	194.63	189.43
7	188.06	182.88

ADDRESS CHART

LOT NO.	STREET ADDRESS
2	6211 WINTERS RIDGE
3	6215 WINTERS RIDGE
4	6219 WINTERS RIDGE
5	6220 WINTERS RIDGE
6	6216 WINTERS RIDGE
7	6212 WINTERS RIDGE
8	6208 WINTERS RIDGE

NOTES: 1) CONTRACTOR SHALL CHECK SEWER HOUSE CONNECTION ELEVATION AT PROPERTY/EASEMENT LINE PRIOR TO CONSTRUCTION OF THE HOUSE TO ENSURE PROPER SLOPE CAN BE MAINTAINED.

MINIMUM LOT SIZE CHART

LOT NO.	GROSS AREA	PIPESTEM AREA	MIN. LOT SIZE
2	11,400 S.F.	843 S.F.	10,557 S.F.
3	10,892 S.F.	1,291 S.F.	9,601 S.F.
4	11,642 S.F.	1,272 S.F.	10,370 S.F.
5	12,081 S.F.	1,618 S.F.	10,463 S.F.
6	10,926 S.F.	1,325 S.F.	9,601 S.F.
7	10,614 S.F.	1,013 S.F.	9,601 S.F.

SITE DATA TABULATION

- GENERAL SITE DATA
- PRESENT ZONING: R-12
 - APPLICABLE DPZ FILE REFERENCES: F-01-39, F-75-18, S-99-06, P-00-10
 - PROPOSED USE OF SITE: SINGLE-FAMILY DETACHED
 - PROPOSED WATER IS PUBLIC
PROPOSED SEWER IS PUBLIC
- AREA TABULATION
- TOTAL PROJECT AREA..... 1.55 AC±
 - TOTAL NUMBER OF LOTS ALLOWED AS SHOWN ON FINAL PLAT..... 8
 - TOTAL NUMBER OF RESIDENTIAL UNITS SHOWN ON THIS SUBMISSION..... 6
 - APPROXIMATE LIMIT OF DISTURBANCE..... 1.16 AC±
 - AREA OF THIS PLAN SUBMISSION..... 1.55 AC±
 - BUILDING COVERAGE OF SITE (PERMITTED)..... N/A
 - BUILDING COVERAGE OF SITE (PROPOSED)..... N/A

SHEET INDEX

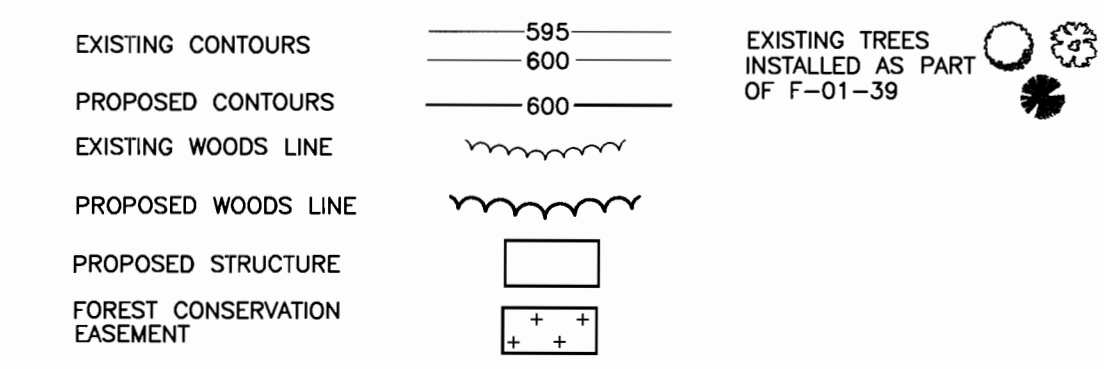
NO.	DESCRIPTION
1	SITE PLAN, DETAILS AND LANDSCAPE PLAN
2	SEDIMENT & EROSION CONTROL PLAN, NOTES AND DETAILS

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL#			
WINTERS RIDGE LOTS 1 THRU 8	N/A	LOTS 2 THRU 7			
PLAT No.	BLOCK No.	ZONE	TAX MAP	ELEC. DIST.	CENSUS
14965	15	R-12	38	1st	6012.01
WATER CODE	SEWER CODE				
A-01	2150300				

PLAN VIEW
SCALE: 1" = 30'

LEGEND



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 3/22/02
CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 3/22/02
CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 3/22/02
DIRECTOR

NO. DATE REVISION

BENCHMARK ENGINEERING, INC.
ENGINEERS • LAND SURVEYORS • PLANNERS
8480 BALTIMORE NATIONAL PIKE • SUITE 418
ELLICOTT CITY, MARYLAND 21043
PHONE: 410-465-6105 • FAX: 410-465-6844

Donald Moon
3/6/02

BUILDER: DORSEY FAMILY HOMES
9926 CYPRESSMEDE DRIVE
ELLICOTT CITY, MD 21041

PROJECT: WINTERS RIDGE LOTS 1 THRU 7

LOCATION: TAX MAP 38 - GRID 15 - PARCEL- 868
1st ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE: SITE DEVELOPMENT PLAN

DATE: NOVEMBER, 2001 PROJECT NO. 1508

SCALE: 1" = 30' DRAWING 1 OF 2

DESIGN: DAM DRAFT: EDD

