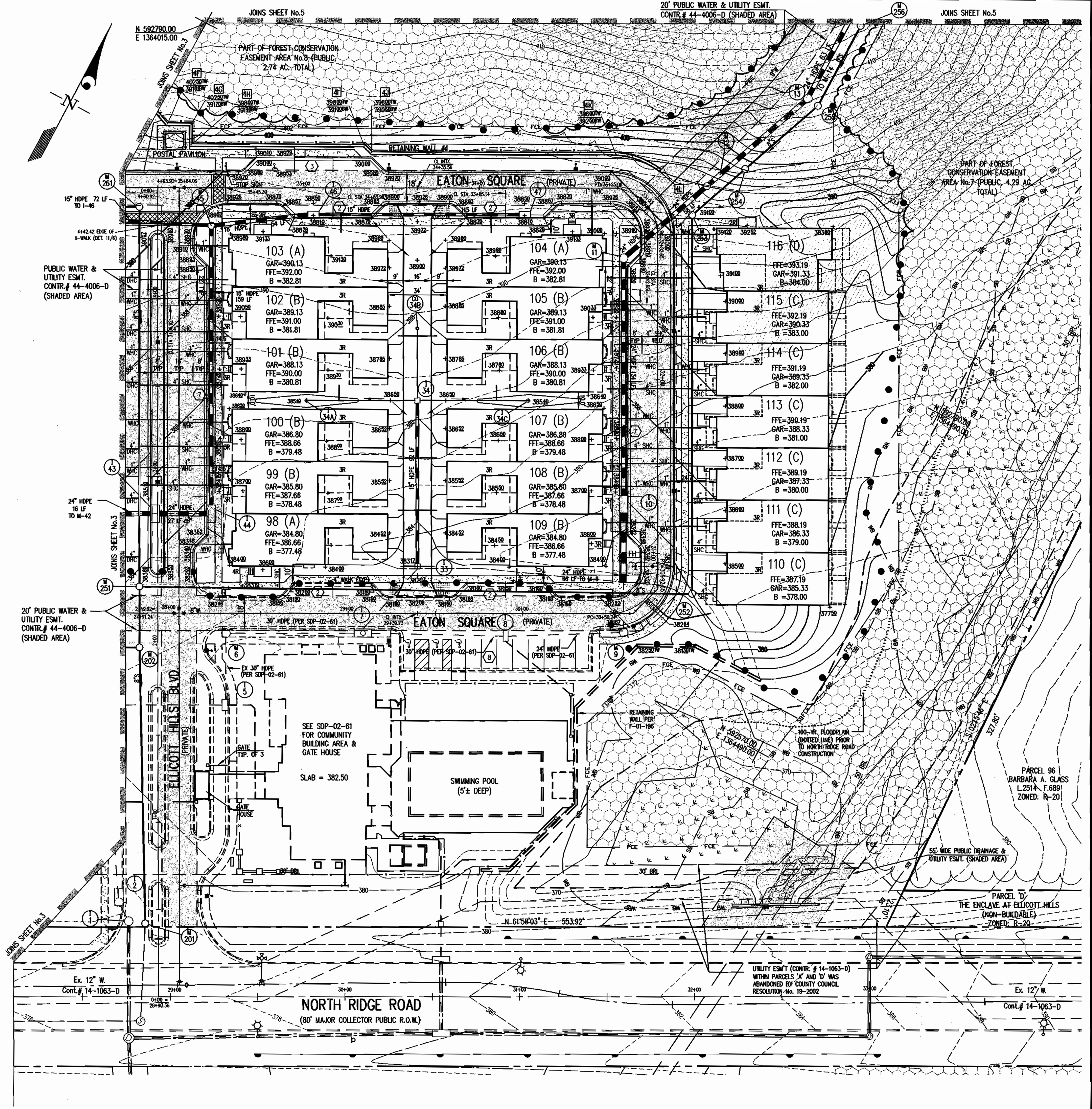
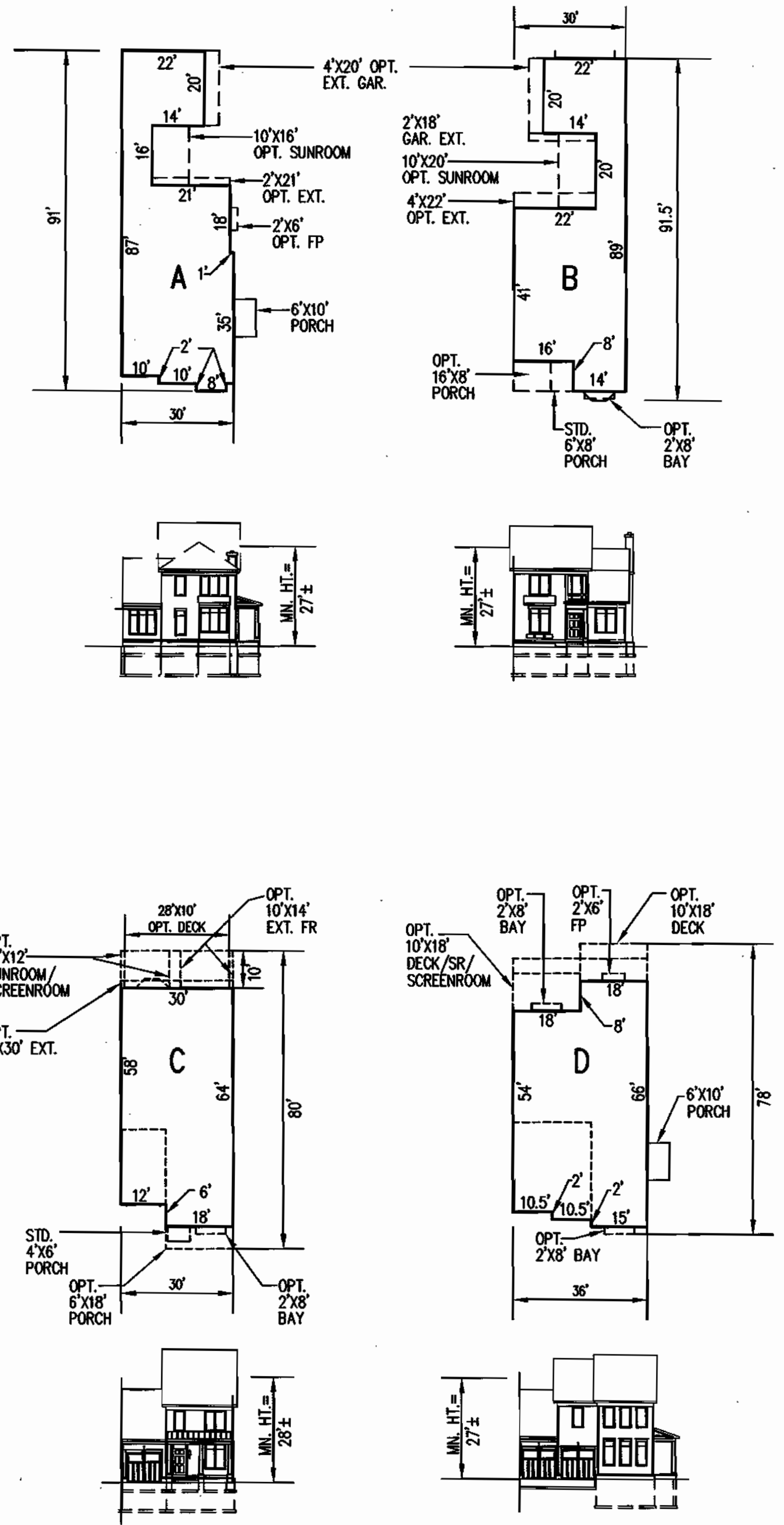


SITE DEVELOPMENT PLAN LEGEND

- 600 --- EXISTING CONTOUR
- 600 --- EXISTING SLOPE 25% & GREATER
- 600 --- EXISTING SLOPE 15% - 25%
- 600 --- PROPOSED CONTOUR
- + 38600X EXISTING SPOT ELEV.
- + 38800P PROPOSED SPOT ELEV. (LP=LOW PT.)
- --- EXISTING TREE LINE
- --- PROPOSED TREE LINE
- --- LIMIT OF DISTURBANCE
- --- WETLANDS
- --- 25' WETLAND BUFFER
- --- STREAM BUFFER
- --- FLOOD PLAIN EASEMENT
- --- EDGE OF PAVING
- --- EXISTING CURB & GUTTER
- --- PROPOSED CURB & GUTTER
- --- CURB FILLET (PC, PT)
- --- NOSE DOWN CURB (NDC, DET. 4/6 & 13/6)
- --- PROPOSED STORM DRAIN LINE
- --- SEWER LINE
- --- PRIVATE WHC (HEAVY LINE)
- --- PUBLIC WHC (LIGHT LINE)
- --- WATER LINE
- --- FIRE HYDRANT
- --- EXISTING UTILITY/LIGHT POLE
- --- PROPOSED SITE LIGHTING (BY BGE)
- --- NUMBER OF PARKING SPACES
- --- TRANSFORMER PAD
- --- RETAINING WALL (TW=TOP ELV.; BW=BOTTOM)
- --- FENCE LINE
- --- PROPOSED SIDEWALK (SEE DET. 5/6)
- --- PROPOSED FOREST CONSERVATION ESMT.



RETAINING WALL COORDINATES

POINT NO.	NORTH	EAST	APPROX. STA.	COMMENTS
4F	N 582727.6619	E 1364022.6621	7+15	BOTTOM OF WALL AT FRONT FINISHED GRADE OF WALL #4
4G	N 582733.5227	E 1364034.0292	7+28	
4H	N 582723.2108	E 1364039.8328	7+40	
4I	N 582770.0157	E 1364127.7173	8+39	
4J	N 582768.1582	E 1364133.8044	8+45	
4K (PC)	N 582837.3183	E 1364283.7366	9+83	
4L (END)	N 582837.3183	E 1364283.7366	10+15	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Paul Butts 4/19/02
 Director Date

Cindy Hammett 4/19/02
 Chief, Division of Land Development Date

Mark R. ... 4/19/02
 Chief, Development Engineering Division Date

- NOTES:**
- ALL WATER METERS SHALL BE LOCATED INSIDE THE BUILDINGS.
 - ALL STORM DRAIN AND SEWER WITHIN PARCEL 'A' ARE PRIVATELY OWNED AND MAINTAINED.
 - FOR THE PUBLIC PORTION OF THE WATER SERVICE SEE CONTRACT No. 44-4006-D.

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3809 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT. 410-880-1820 DC/VA: 301-589-2524 FAX: 301-421-4186

NO.	REVISION	DATE	BY	APP'R.

PREPARED FOR:
 (Owner/Developer)
 ERTI SEVEN LLC
 c/o Greenbaum & Rose Assoc., Inc.
 Suite 410, Woodholme Center
 1829 Reisterstown Road
 Baltimore, MD 21228
 Phone: 410-484-9400
 Attn: Mark Bennett or Charles O'Donovan

SITE DEVELOPMENT PLAN
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
 PLAT Nos. 15319-15323
 + 15353-15357

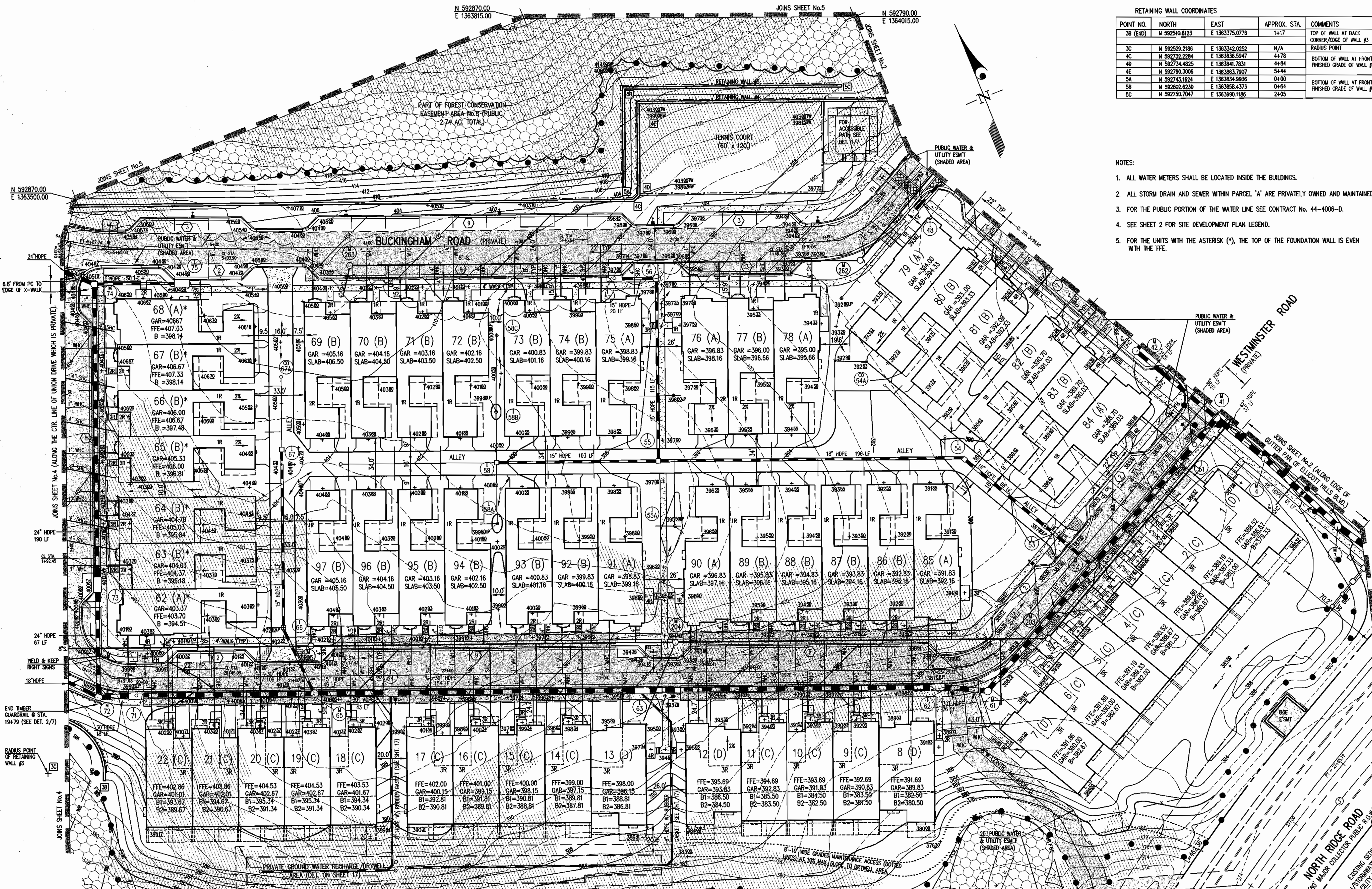
SCALE	ZONING	G. L. W. FILE No.
1" = 30'	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	2 of 43

N 592870.00 E 1363815.00 JOINS SHEET No.5 N 592790.00 E 1364015.00

RETAINING WALL COORDINATES				
POINT NO.	NORTH	EAST	APPROX. STA.	COMMENTS
3B (END)	N 592510.8123	E 1363375.0778	1+17	TOP OF WALL AT BACK CORNER/EDGE OF WALL #3
3C	N 592529.2186	E 1363342.0252	N/A	RADIUS POINT
4C	N 592732.2284	E 1363836.5947	4+78	BOTTOM OF WALL AT FRONT
4D	N 592734.4825	E 1363841.7831	4+94	FINISHED GRADE OF WALL #4
4E	N 592730.3006	E 1363863.7907	5+44	
5A	N 592743.1624	E 1363834.9236	0+00	BOTTOM OF WALL AT FRONT
5B	N 592802.6230	E 1363858.4373	0+64	FINISHED GRADE OF WALL #5
5C	N 592750.7047	E 1363990.1186	2+05	

NOTES:

1. ALL WATER METERS SHALL BE LOCATED INSIDE THE BUILDINGS.
2. ALL STORM DRAIN AND SEWER WITHIN PARCEL 'A' ARE PRIVATELY OWNED AND MAINTAINED.
3. FOR THE PUBLIC PORTION OF THE WATER LINE SEE CONTRACT No. 44-4006-D.
4. SEE SHEET 2 FOR SITE DEVELOPMENT PLAN LEGEND.
5. FOR THE UNITS WITH THE ASTERISK (*), THE TOP OF THE FOUNDATION WALL IS EVEN WITH THE FFE.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
James R. Batts 4/9/02
 Director Date
Christy Hammon 4/9/02
 Chief, Division of Land Development Date
Charles O'Donovan 4/1/02
 Chief, Development Engineering Division Date

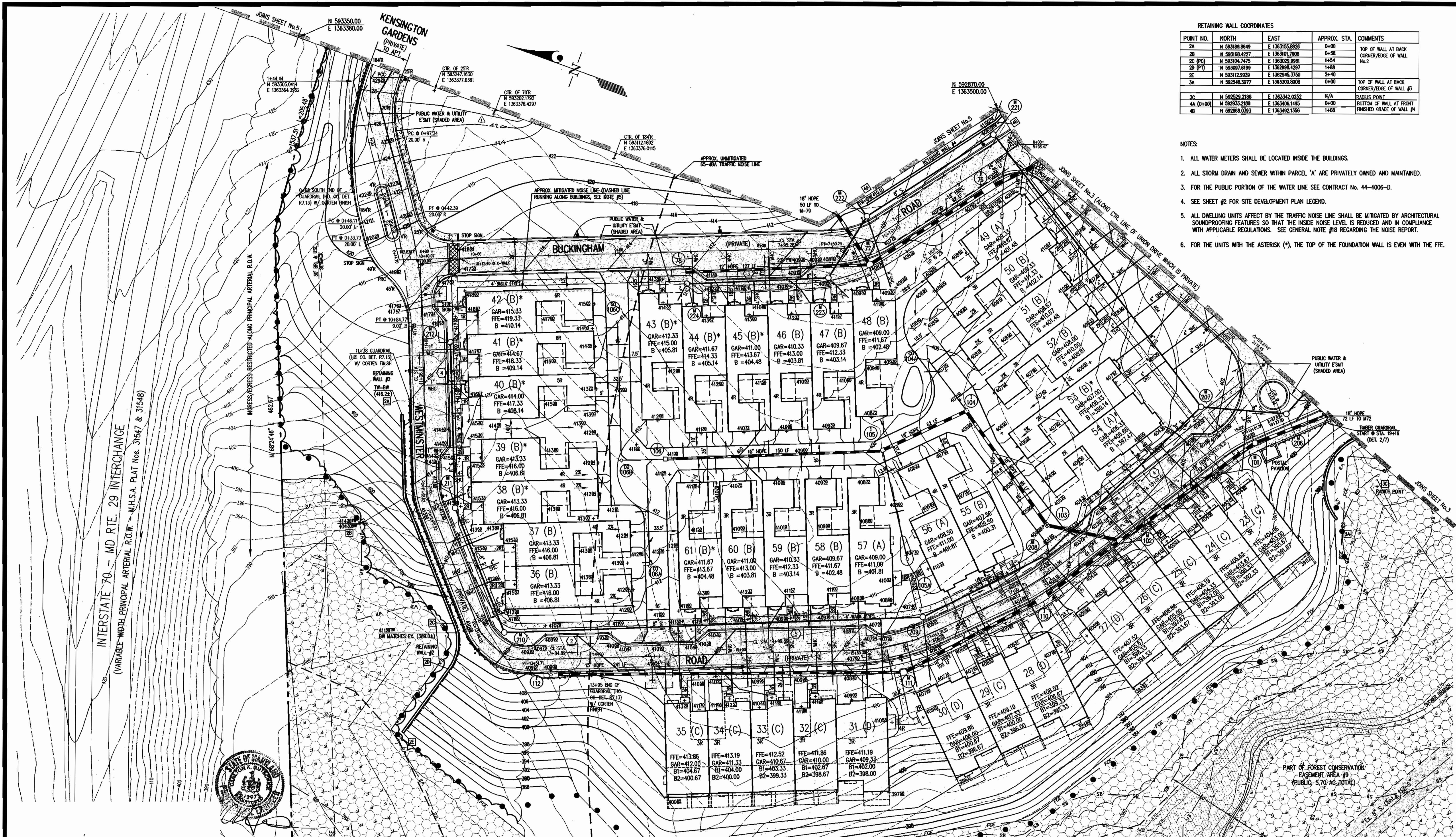
GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20996
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-889-2524 FAX: 301-421-4186

DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.
MBT	HKJ	MBT				

PREPARED FOR:
 (Owner/Developer)
 EXIT SEVEN LLC
 c/o Greenbaum & Rose Assoc., Inc.
 Suite 410, Woodhome Center
 1829 Reisterstown Road
 Baltimore, MD 21208
 Phone: 410-494-8400
 Attn: Mark Bennett or Charles O'Donovan

SITE DEVELOPMENT PLAN
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
 PLAT Nos. 15319-15223
 15353-15357
 ELLICOTT CITY ELECTION DISTRICT No. 2

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	3 of 43



POINT NO.	NORTH	EAST	APPROX. STA.	COMMENTS
2A	N 593189.8649	E 1363155.8626	0+00	TOP OF WALL AT BACK CORNER/EDGE OF WALL No.2
2B	N 593168.4227	E 1363101.7006	0+58	
2C (PC)	N 593104.7475	E 1363029.9981	1+54	
2D (PT)	N 593087.8199	E 1362984.4297	1+88	
2E	N 593112.9839	E 1362945.3750	2+40	
3A	N 592548.3977	E 1363309.8008	0+00	TOP OF WALL AT BACK CORNER/EDGE OF WALL #3
3C	N 592529.2186	E 1363342.0522	N/A	RADIUS POINT
4A (0+00)	N 592333.2389	E 1363408.1495	0+00	BOTTOM OF WALL AT FRONT FINISHED GRADE OF WALL #4
4B	N 592268.0383	E 1363492.1356	1+08	

- NOTES:
- ALL WATER METERS SHALL BE LOCATED INSIDE THE BUILDINGS.
 - ALL STORM DRAIN AND SEWER WITHIN PARCEL 'A' ARE PRIVATELY OWNED AND MAINTAINED.
 - FOR THE PUBLIC PORTION OF THE WATER LINE SEE CONTRACT NO. 44-4006-D.
 - SEE SHEET #2 FOR SITE DEVELOPMENT PLAN LEGEND.
 - ALL DWELLING UNITS AFFECT BY THE TRAFFIC NOISE LINE SHALL BE MITIGATED BY ARCHITECTURAL SOUNDPROOFING FEATURES SO THAT THE INSIDE NOISE LEVEL IS REDUCED AND IN COMPLIANCE WITH APPLICABLE REGULATIONS. SEE GENERAL NOTE #18 REGARDING THE NOISE REPORT.
 - FOR THE UNITS WITH THE ASTERISK (*), THE TOP OF THE FOUNDATION WALL IS EVEN WITH THE FFE.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Scott R. Smith 4/19/02
Director Date

Cynthia Harriott 4/19/02
Chief, Division of Land Development Date

William J. ... 4/11/02
Chief, Development Engineering Division Date



GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONTOWN OFFICE PARK
BURTONTOWN, MARYLAND 20866
TEL: 301-421-4024 FAX: 301-421-4186

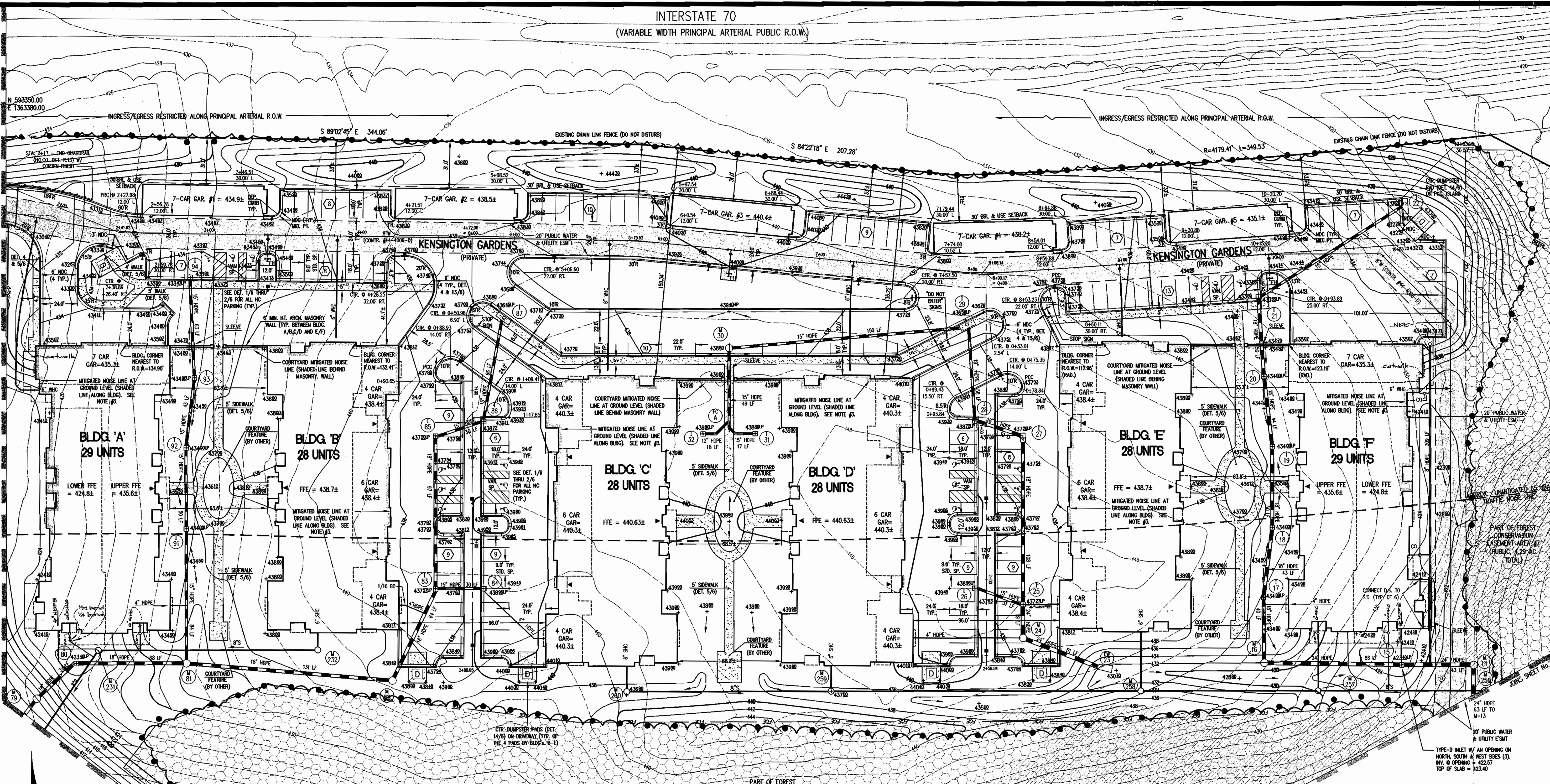
DATE	REVISION	BY	APPR.
4/19/02	Rev. contours		

PREPARED FOR:
(Owner/Developer)
ENT SEVEN LLC
c/o Greenbaum & Rose Assoc., Inc.
Suite 410, Woodhome Center
1829 Woodhome Road
Baltimore, MD 21208
Phone: 410-624-9400
Attn: Mark Bennett or Charles O'Donovan

SITE DEVELOPMENT PLAN
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
PLAT No. 15319 - 15323
+ 15353 - 15357
ELLICOTT CITY ELECTION DISTRICT No. 2

SCALE	ZONING	G. L. W. FILE NO.
1" = 30'	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	4 of 43

INTERSTATE 70
(VARIABLE WIDTH PRINCIPAL ARTERIAL PUBLIC R.O.W.)



JOINS SHEET No. 4
N 593350.00
E 1363380.00

INGRESS/EGRESS RESTRICTED ALONG PRINCIPAL ARTERIAL R.O.W.

S 89°02'45" E 344.06'

EXISTING CHAIN LINK FENCE (DO NOT DISTURB)

S 84°22'18" E 207.28'

R=4179.41' L=349.53'

INGRESS/EGRESS RESTRICTED ALONG PRINCIPAL ARTERIAL R.O.W.

EXISTING CHAIN LINK FENCE (DO NOT DISTURB)

JOINS SHEET No. 3
N 592870.00
E 1363500.00

- NOTES:**
- BUILDING MAIN INGRESS/EGRESS POINTS (WHICH ARE DENOTED BY THE DARKEN TRIANGLE SYMBOL) ARE AT THE SAME FINISHED GRADE ELEVATION AS THE BUILDING FFE. THE (5) FEET FROM THE INGRESS/EGRESS POINTS, THE OUTSIDE FINISHED GRADE IS A MAXIMUM OF 0.10 FT. LOWER THAN THE FFE. (FOR A 2% MAX. SLOPE).
 - DIMENSIONS TO THE BUILDINGS ARE TO THE OUTSIDE FACE OF BUILDING WALLS.
 - ALL APARTMENT BUILDINGS SHALL BE EQUIPPED WITH AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM AND INSIDE METER SETTING. BUILDINGS CONSTRUCTION SHALL INCORPORATE THE NECESSARY SOUND PROOFING TO PROVIDE ACCEPTABLE INTERIOR NOISE LEVEL (PER APPLICABLE REGULATIONS) FOR THOSE UNITS AFFECTED BY THE TRAFFIC NOISE FROM INTERSTATE I-70.
 - ALSO SEE ARCHITECTURAL DRAWINGS FOR CONSTRUCTION DETAILS OF THE MASONRY COURTYARD WALL. SEE SHEET #7 FOR APARTMENT AND GARAGE BLDG. FOOTPRINTS AND ELEVATIONS.
 - SPOT ELEVATIONS ALONG CURB LINE ARE AT THE FLOW LINE UNLESS NOTED OTHERWISE. CURB RADI ARE TO THE FACE OF CURB. CURB FILLETS ARE 5' RADII UNLESS NOTED OTHERWISE.
 - UNLESS NOTED OTHERWISE, ALL CURB AND GUTTER WITHIN THE APARTMENT COMPLEX ARE TYPE-A. SEE SHEET #6 FOR CURBS AND PAVING DELINEATION, SHEET #2 FOR SOP LEGEND AND SHEET #7 FOR BLDG. FOOTPRINTS, ELEVATIONS AND SETBACK REQUIREMENTS.

DRIVEWAY CENTER LINE COORDINATES

LOCATION	STATIONS	COORDINATES
KENSINGTON GARDENS	2+41.62	N 593265.9692 E 1363454.2372
	5+79.52	N 593260.3419 E 1363792.0832
	8+06.14	N 593238.1106 E 1364017.6131
	10+83.20 (END)	N 593257.1872 E 1364294.0129
THROUGH CENTER OF PARKING LOT BETWEEN BUILDINGS B & C	0+00 (= 4+72.06)	N 592981.4783 E 1363684.6381
THROUGH CENTER OF PARKING LOT BETWEEN BUILDINGS D & E	0+00 (= 8+09.17)	N 593238.3194 E 1364020.6381
	2+56.84 (END, DUE SOUTH)	N 592981.4783 E 1364020.6381

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Joseph R. Smith 4/16/02
Director Date

Christy Hancock 4/16/02
Chief, Division of Land Development Date

John J. McLaughlin 4/16/02
Chief, Development Engineering Division Date

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONVILLE OFFICE PARK
BURTONVILLE, MARYLAND 20886
TEL: 301-421-4024 FAX: 301-421-4186

DES. DRN. CHK.

PREPARED FOR:
(Owner/Developer)
ERT SEVEN LLC
c/o Greenbaum & Rose Assoc., Inc.
Suite 410, Woodholme Center
1829 Reisterstown Road
Baltimore, MD 21205
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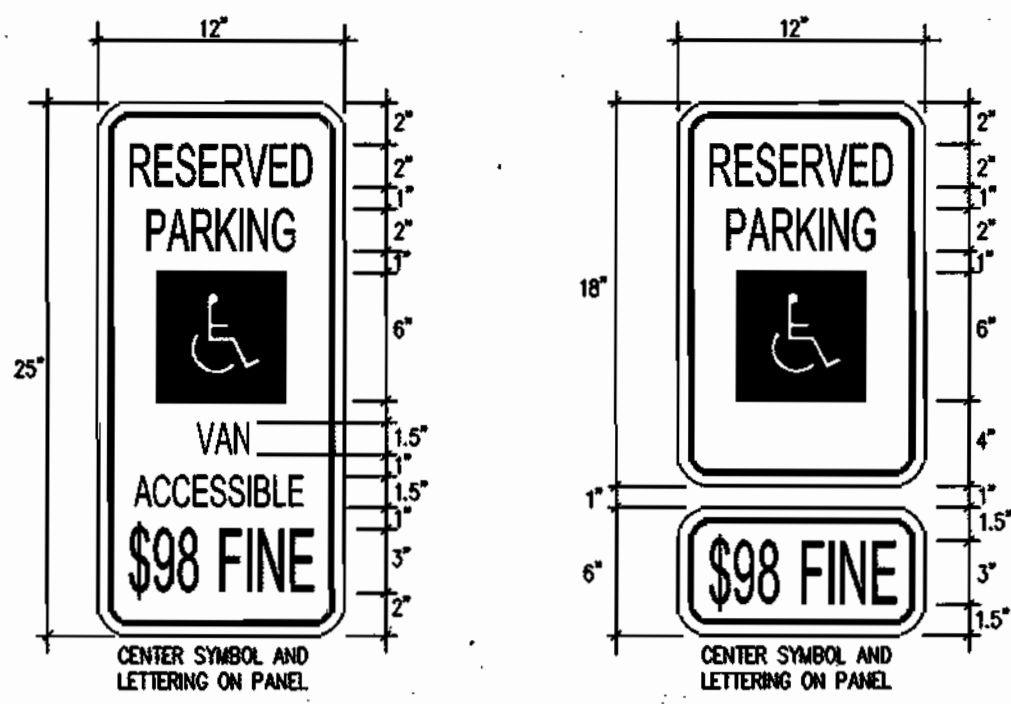
SITE DEVELOPMENT PLAN
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
PLAT No. 15319-15323
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ELLICOTT CITY ELECTION DISTRICT No. 2

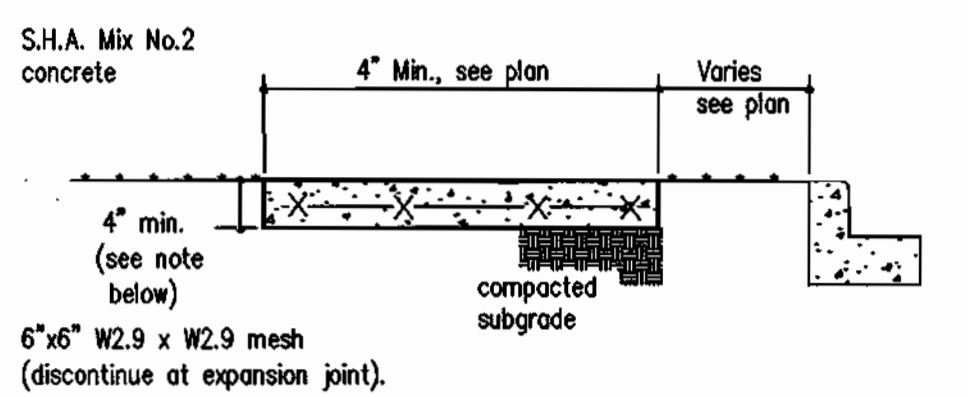
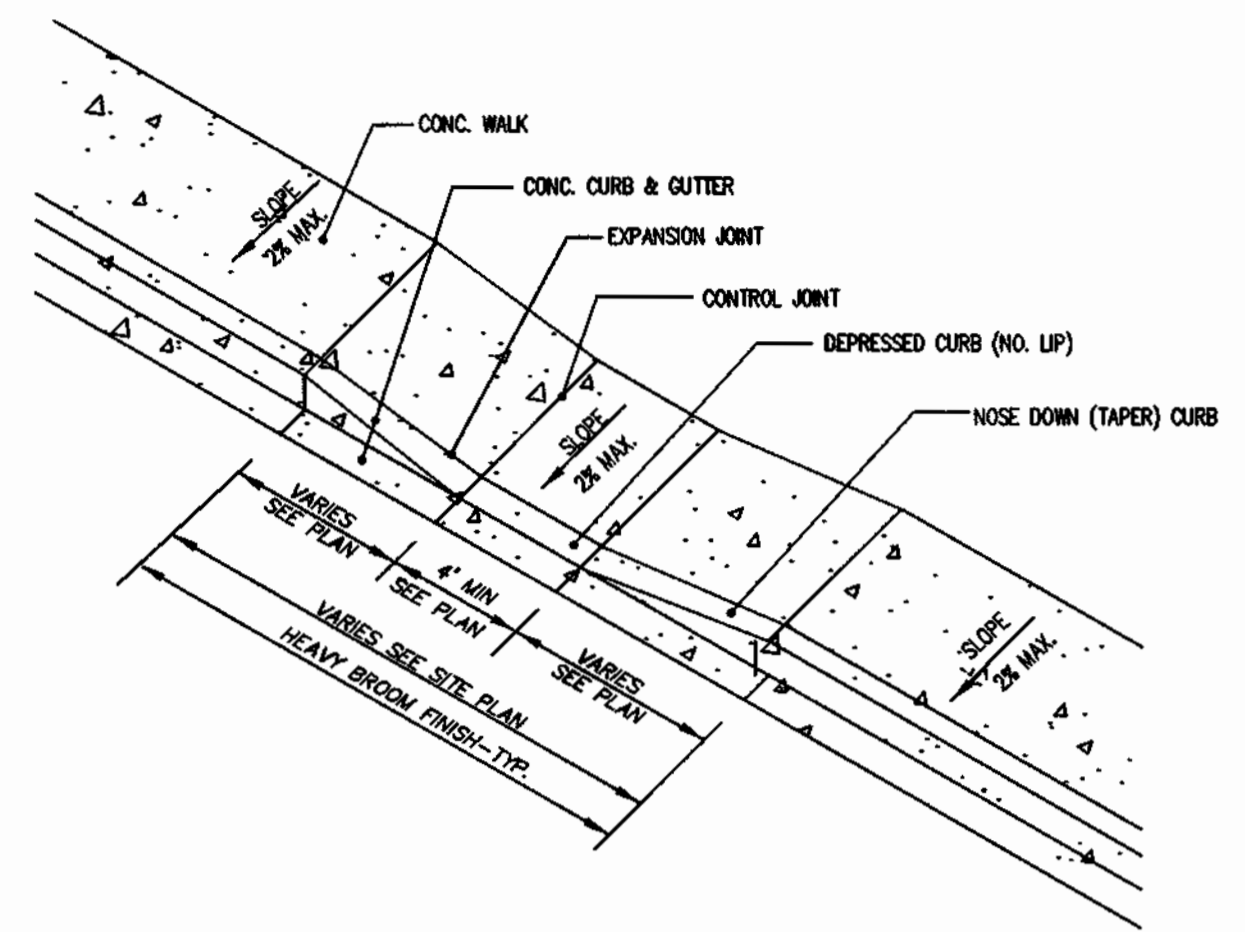
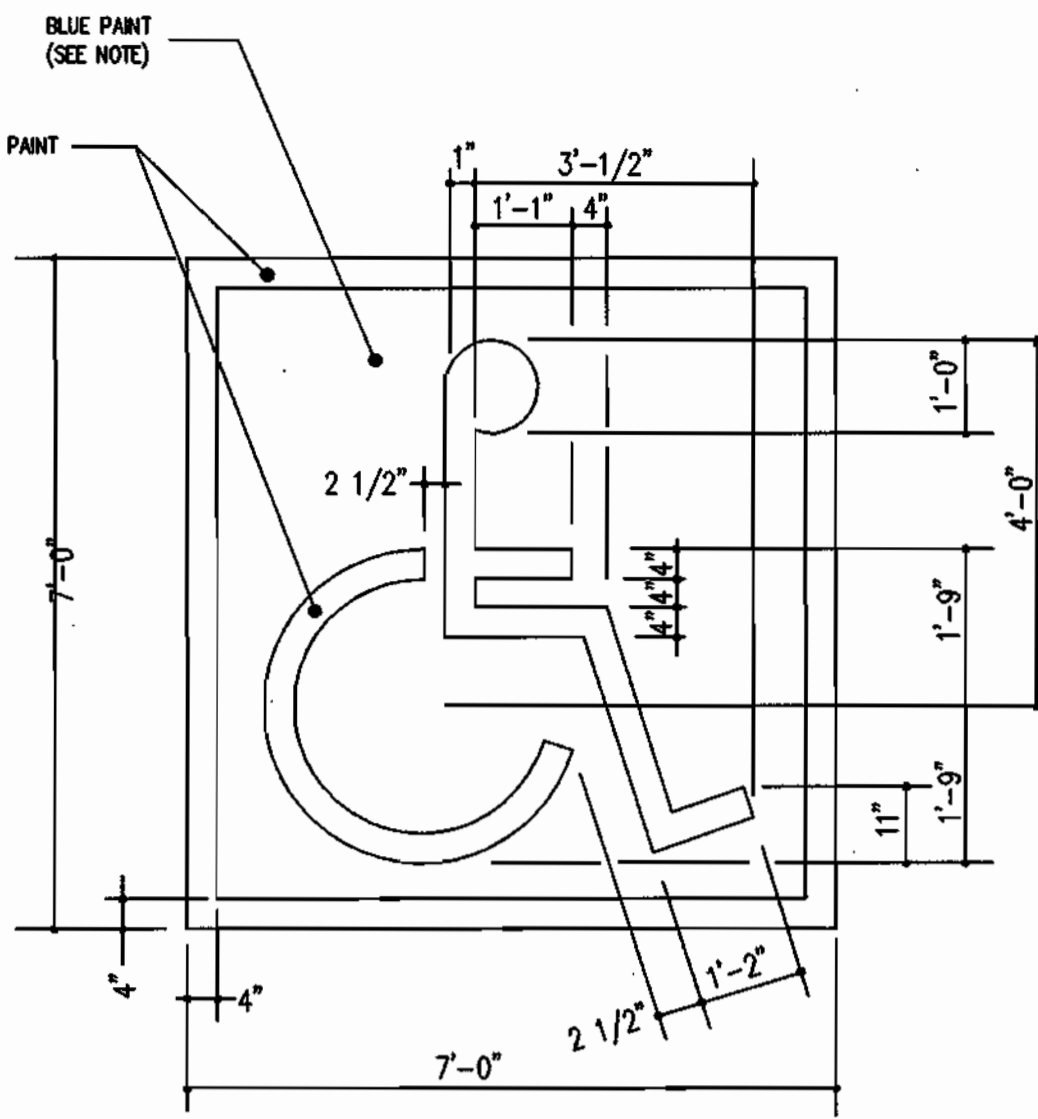
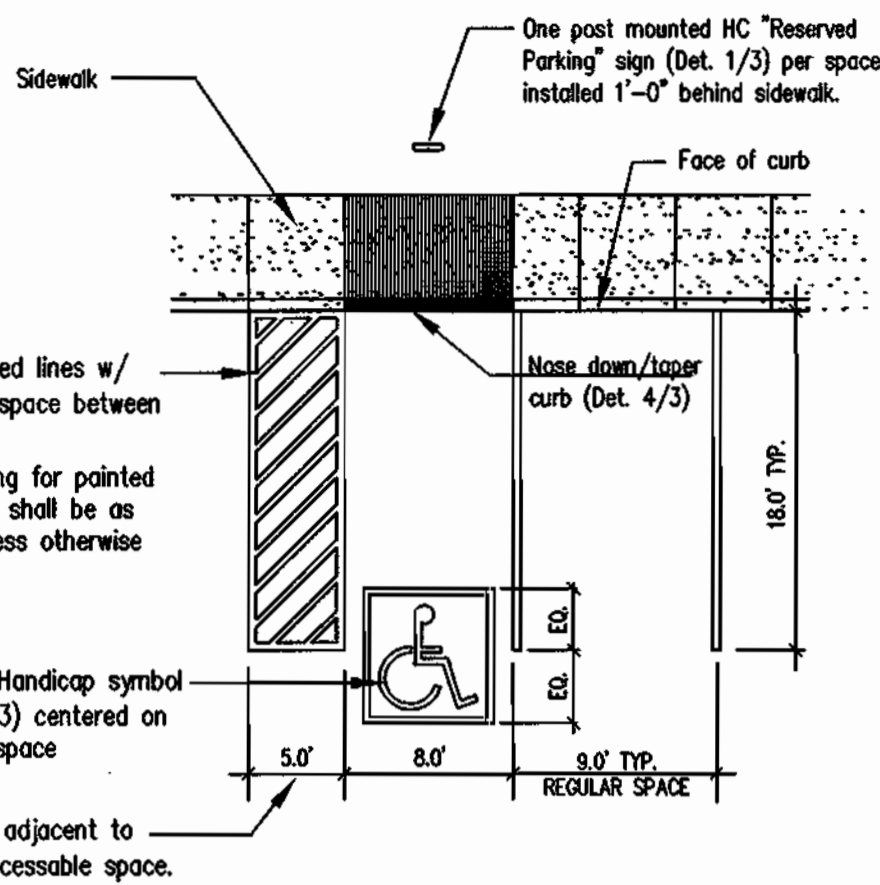
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ZONING: POR
G. L. W. FILE No.: 00-050

DATE: 18/MAR/02
TAX MAP - GRID: 17-17,18,24
SHEET: 5 of 43

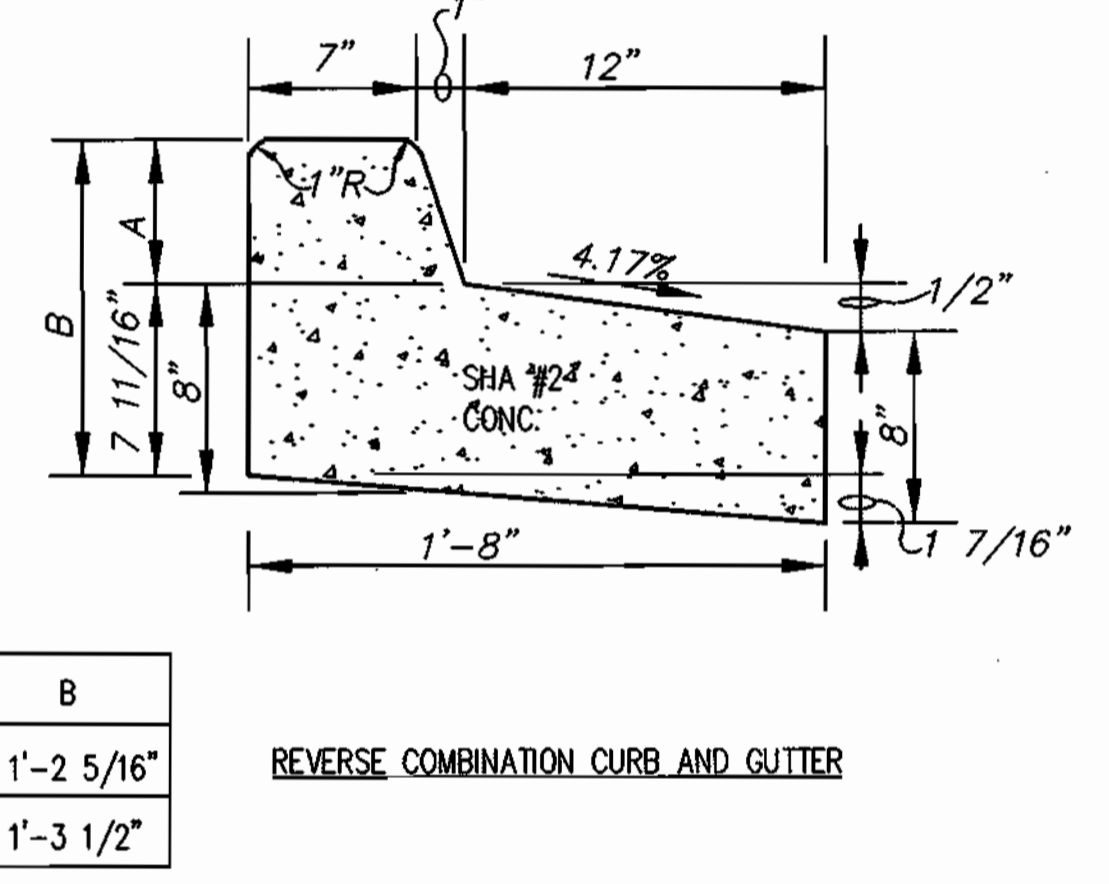
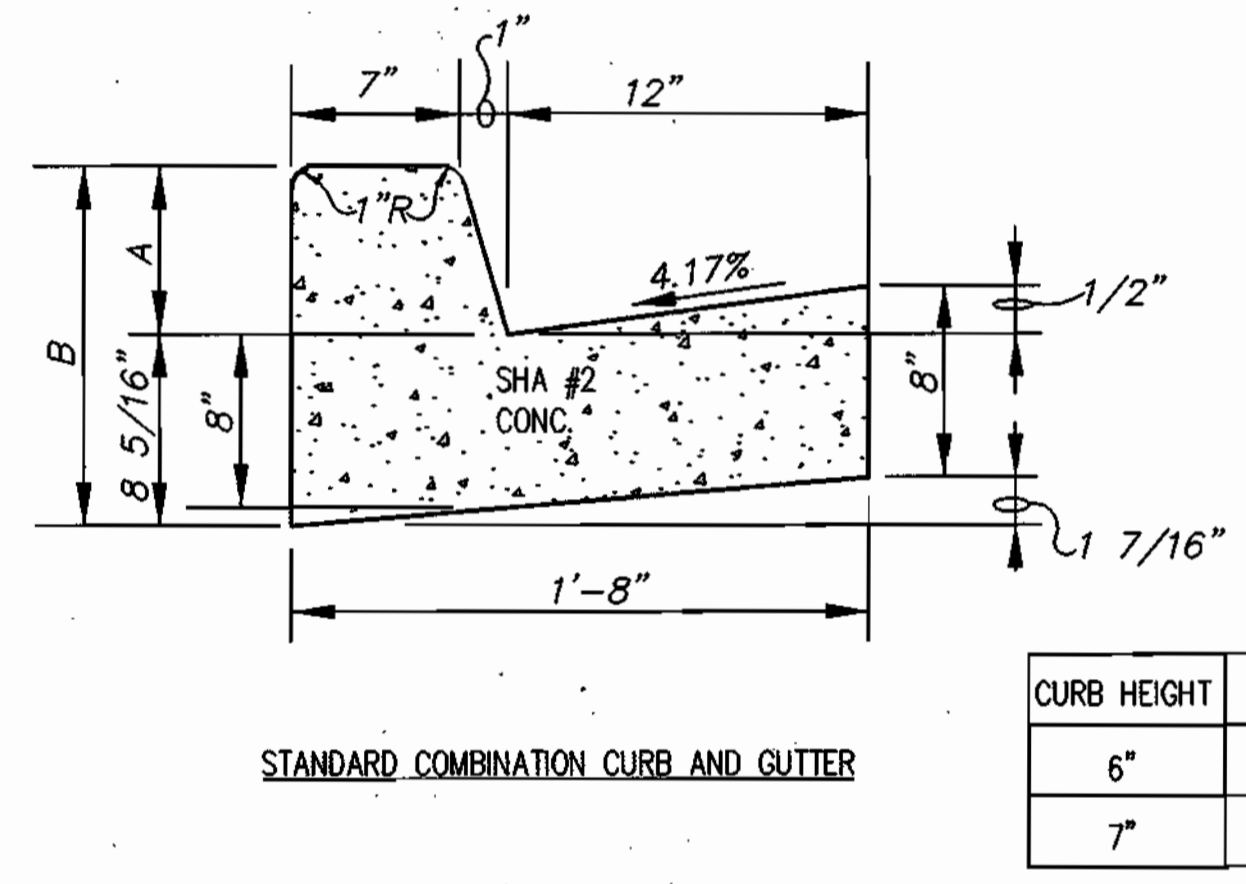
HOWARD COUNTY, MARYLAND



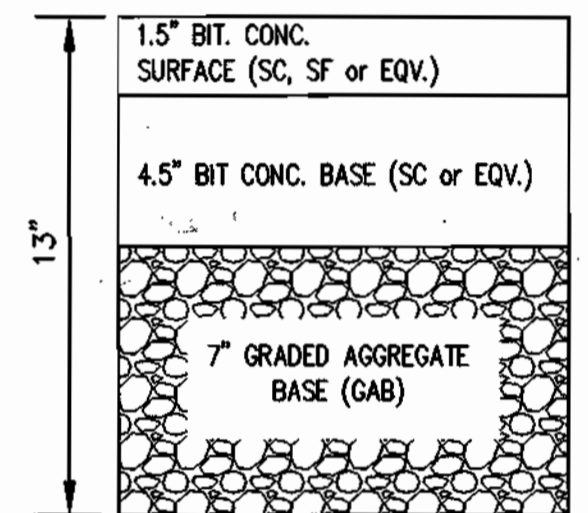
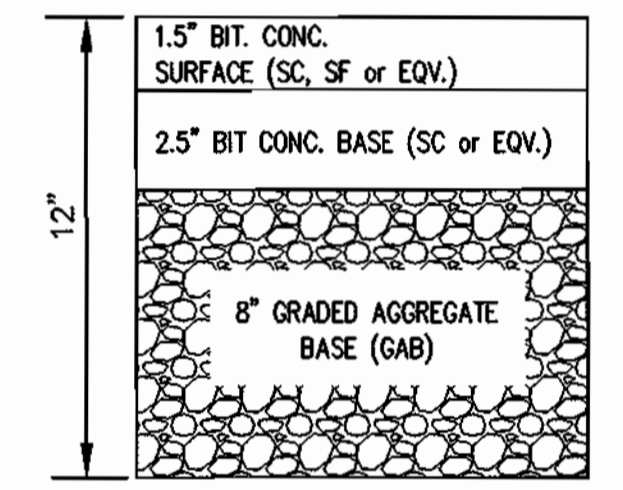
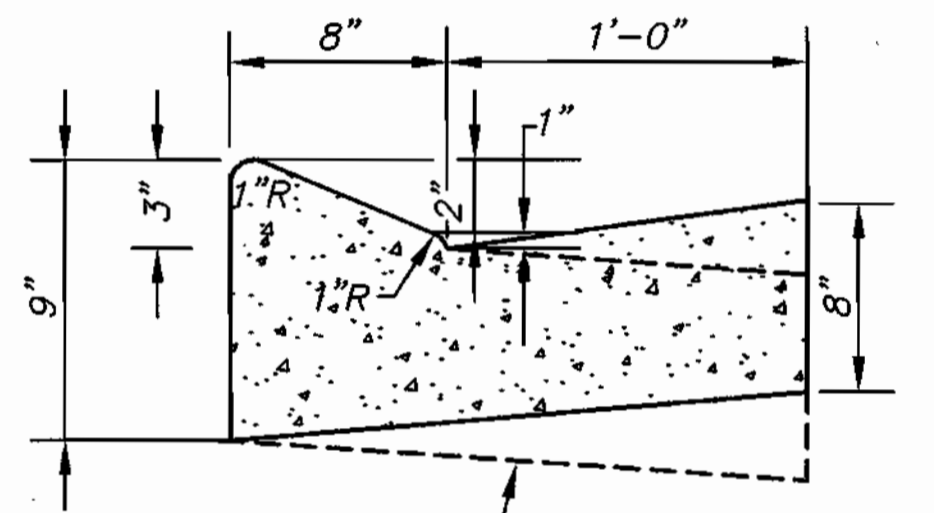
- GENERAL NOTES:**
1. Signs shall meet design standards of the Federal Highway Administration and conform to the State of Maryland Standard Highway sign booklet detail R7-8.
 2. One sign is required per space placed as shown on site plan.
 3. Spaces indicated on site plan as "VAN" accessible shall be signed accordingly.
 4. Signs shall be pole mounted with hot dipped galvanized county approved perforated channel posts w/ the top of the sign 9'-1" above finished grade or as indicated on site drawings.
 5. Sign shall be attached to flanged side of post. Post shall extend into ground 2'-6" min.
 6. Colors: Legend and Border - green
Symbol - white on blue background
background - white



1 HANDICAP PARKING SIGNS DETAIL NO SCALE 2 PARKING SPACE LAYOUT NO SCALE 3 HANDICAP SPACE STENCIL LAYOUT NO SCALE 4 TYPE-A HANDICAP RAMP DETAIL NO SCALE 5 TYPICAL SIDEWALK SECTION NO SCALE

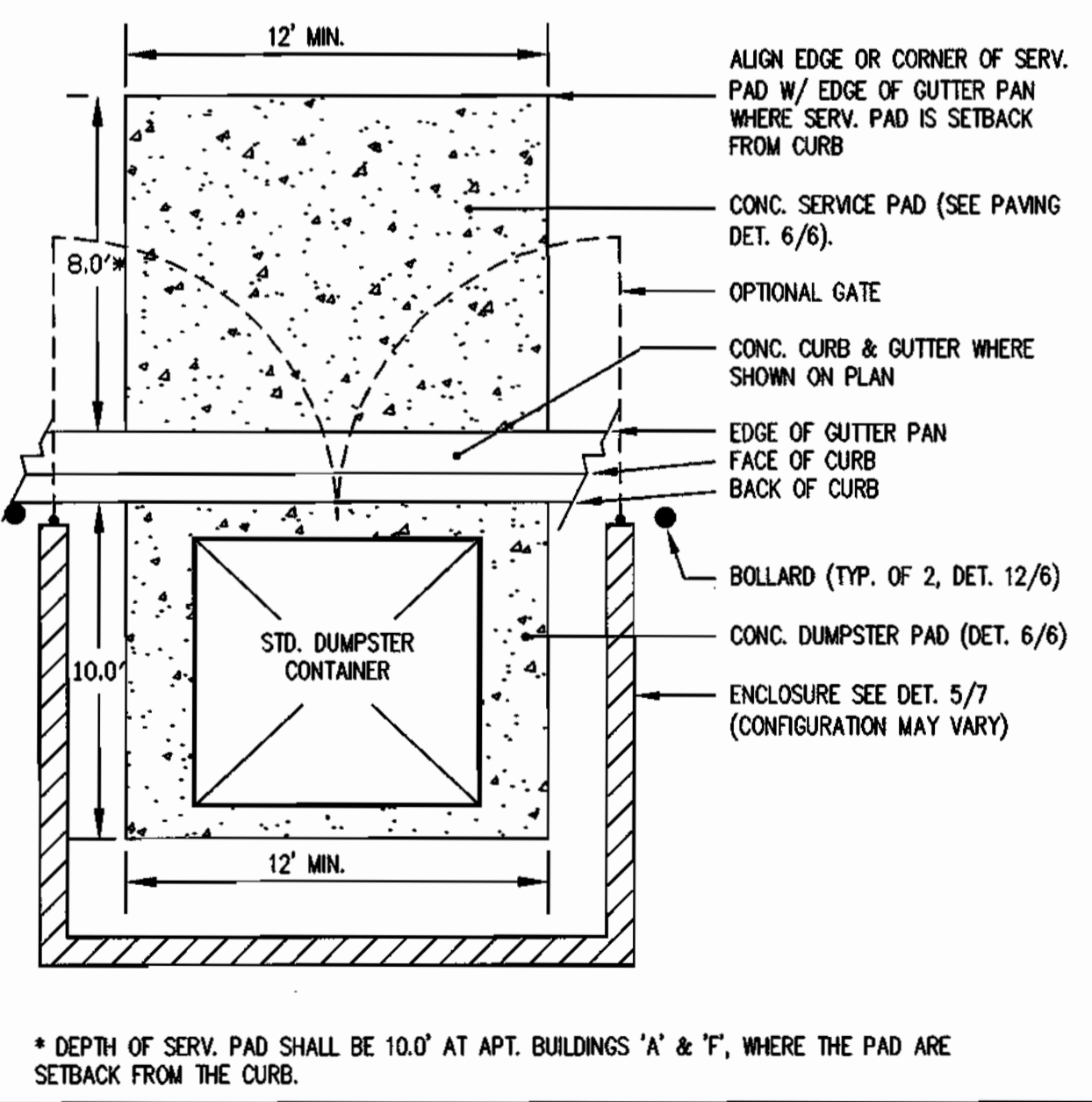
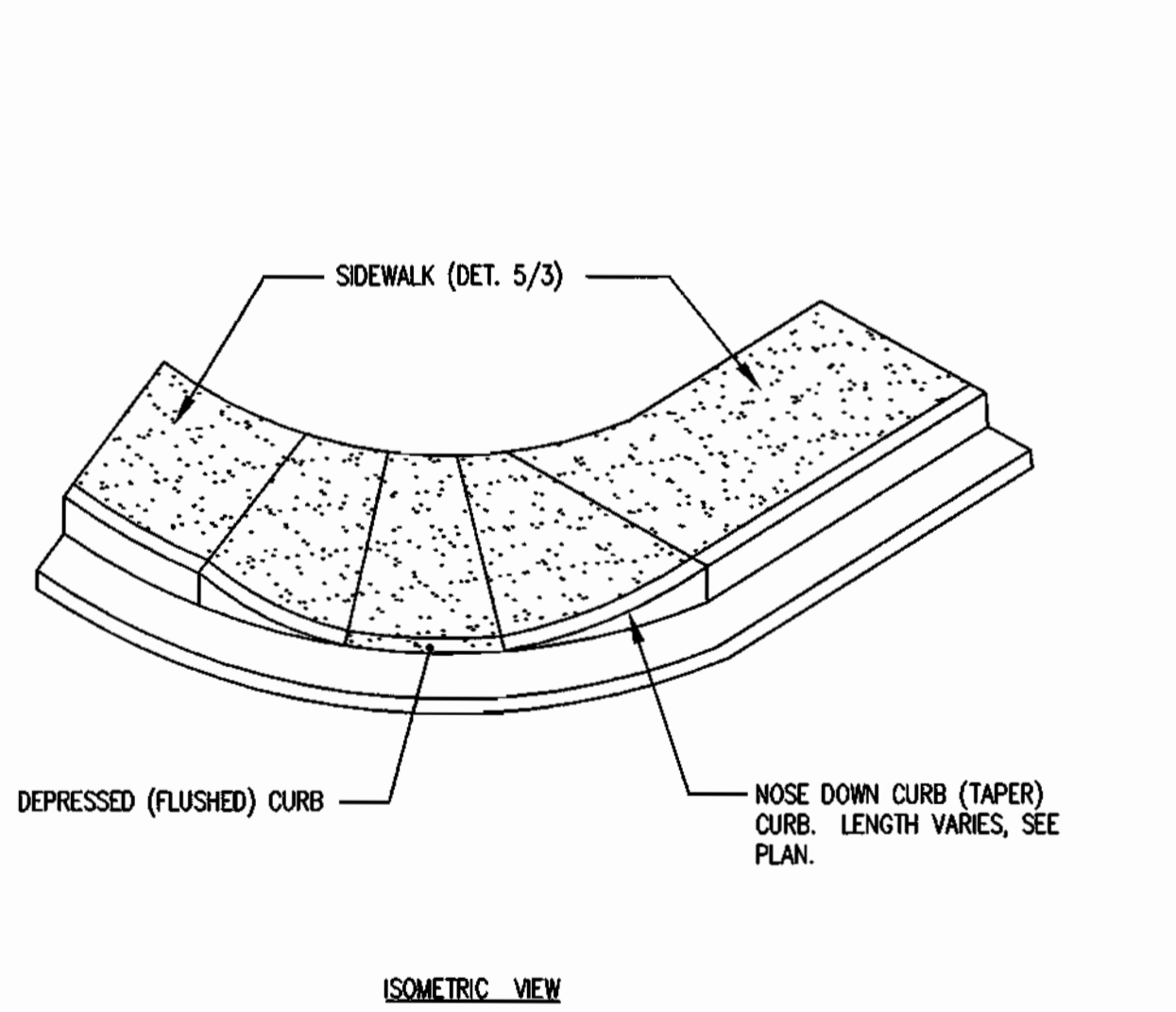
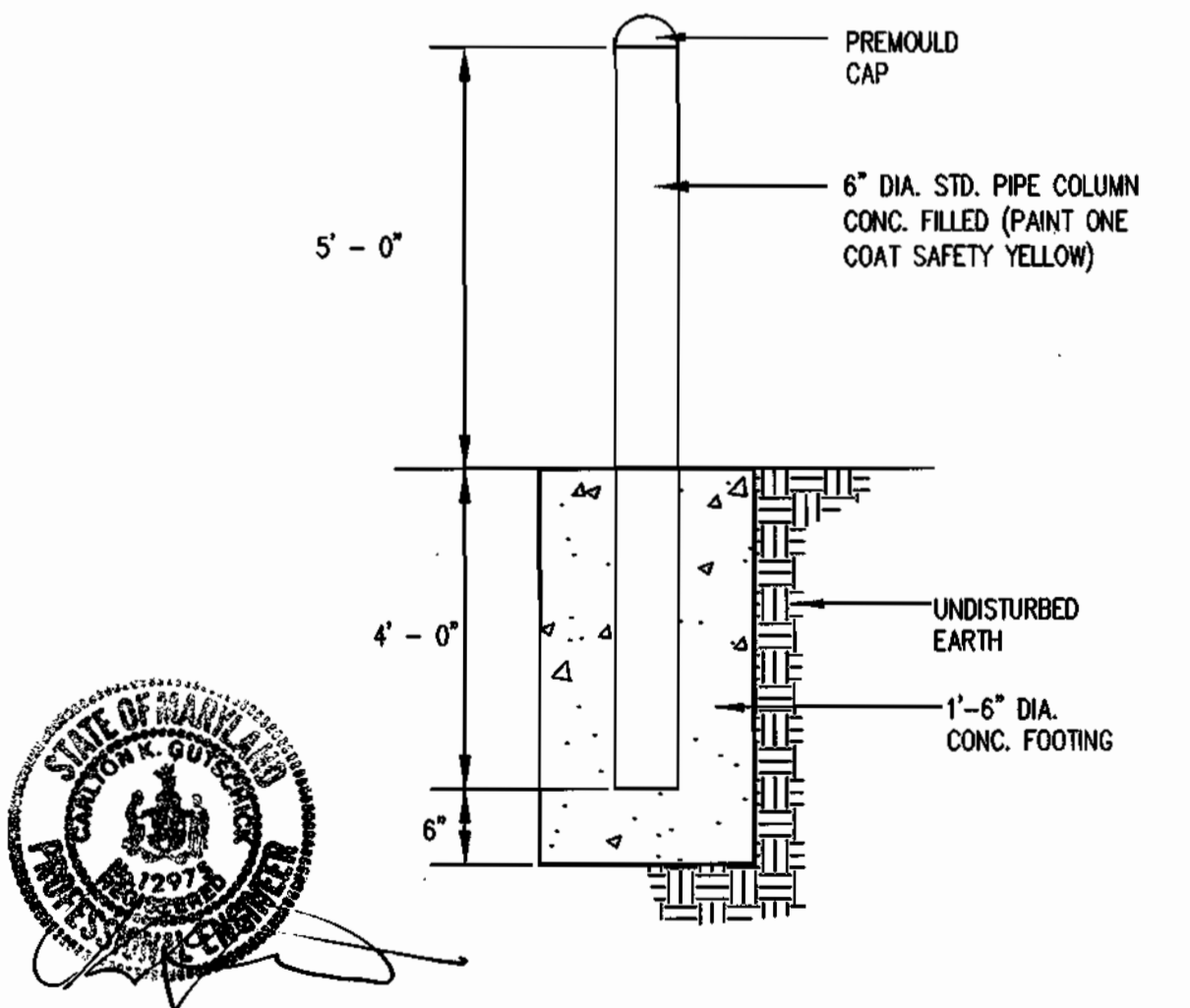
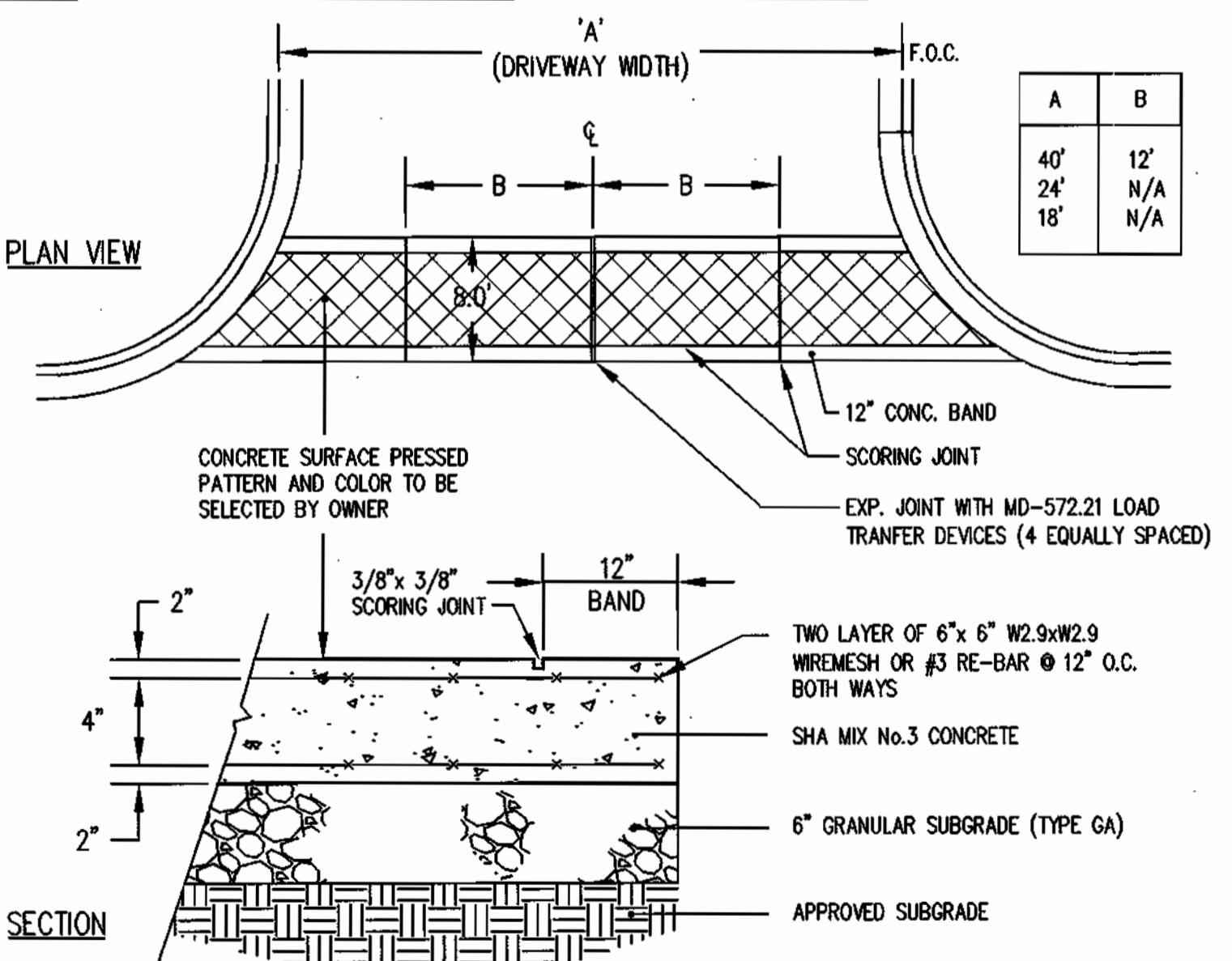
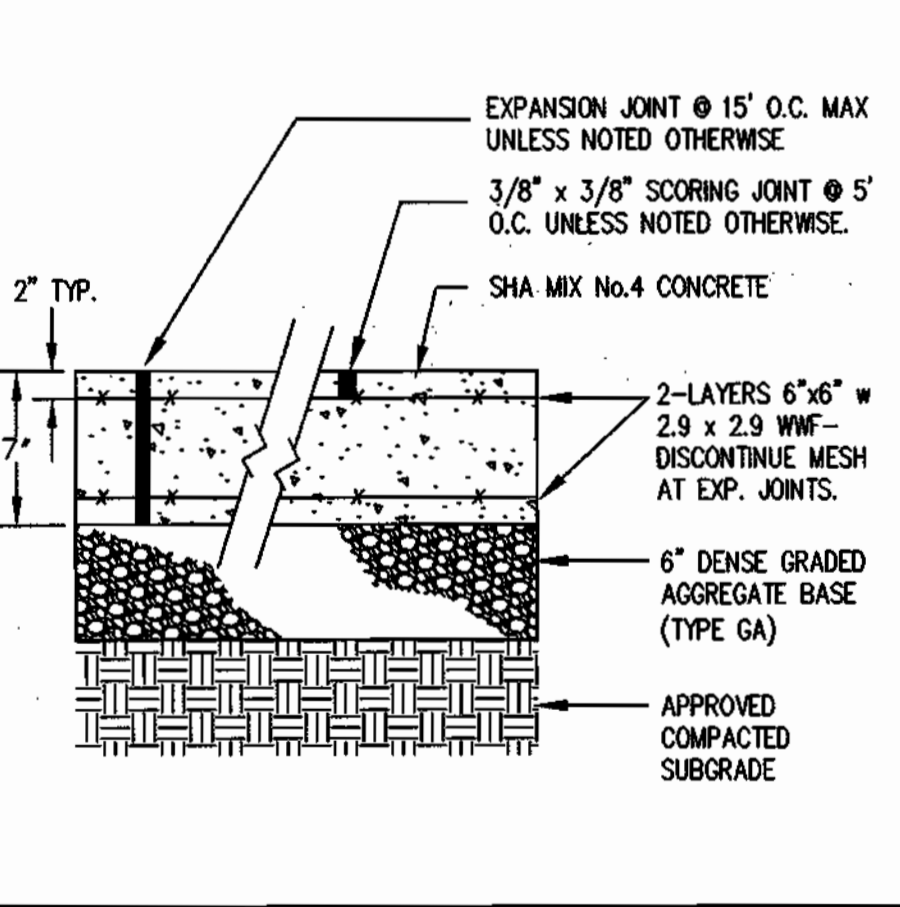


CURB HEIGHT	A	B
6"	6"	1'-2 5/16"
7"	7 3/16"	1'-3 1/2"



- NOTES:**
1. 50' MAX. BETWEEN EXPANSION JOINTS & 10' MAX. BETWEEN CONTROL JOINTS.
 2. ALL ON-SITE CURB & GUTTER SHALL BE 6" HIGH. CURB & GUTTER IN NORTH RIDGE ROAD R.O.W. SHALL BE 7" HIGH.
 3. STANDARD CURB & GUTTER SHALL BE USED WHERE THE DRIVEWAY SLOPES TOWARDS THE CURB & GUTTER. REVERSE CURB & GUTTER SHALL BE USED WHERE THE DRIVEWAY SLOPES AWAY FROM THE CURB & GUTTER.

6 TYPE-A CONCRETE CURB AND GUTTER (STANDARD & REVERSE) NO SCALE 7 TYPE 'C' COMBINATION CURB & GUTTER NO SCALE 8 P-2 LIGHT DUTY PAVING NO SCALE 9 P-3 HEAVY DUTY PAVING NO SCALE



6 HEAVY DUTY CONCRETE PAVING NO SCALE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Howard County 4/1/02
Director Date

Cindy Hamrick 4/1/02
Chief, Division of Land Development Date

Michael J. ... 4/1/02
Chief, Development Engineering Division Date

11 SPECIALTY PAVING CROSS WALK NO SCALE 12 BOLLARD DETAIL NO SCALE 13 TYPICAL CURB/NOSE DOWN TAPER @ INTERSECTION NO SCALE 14 DUMPSTER DETAIL NO SCALE

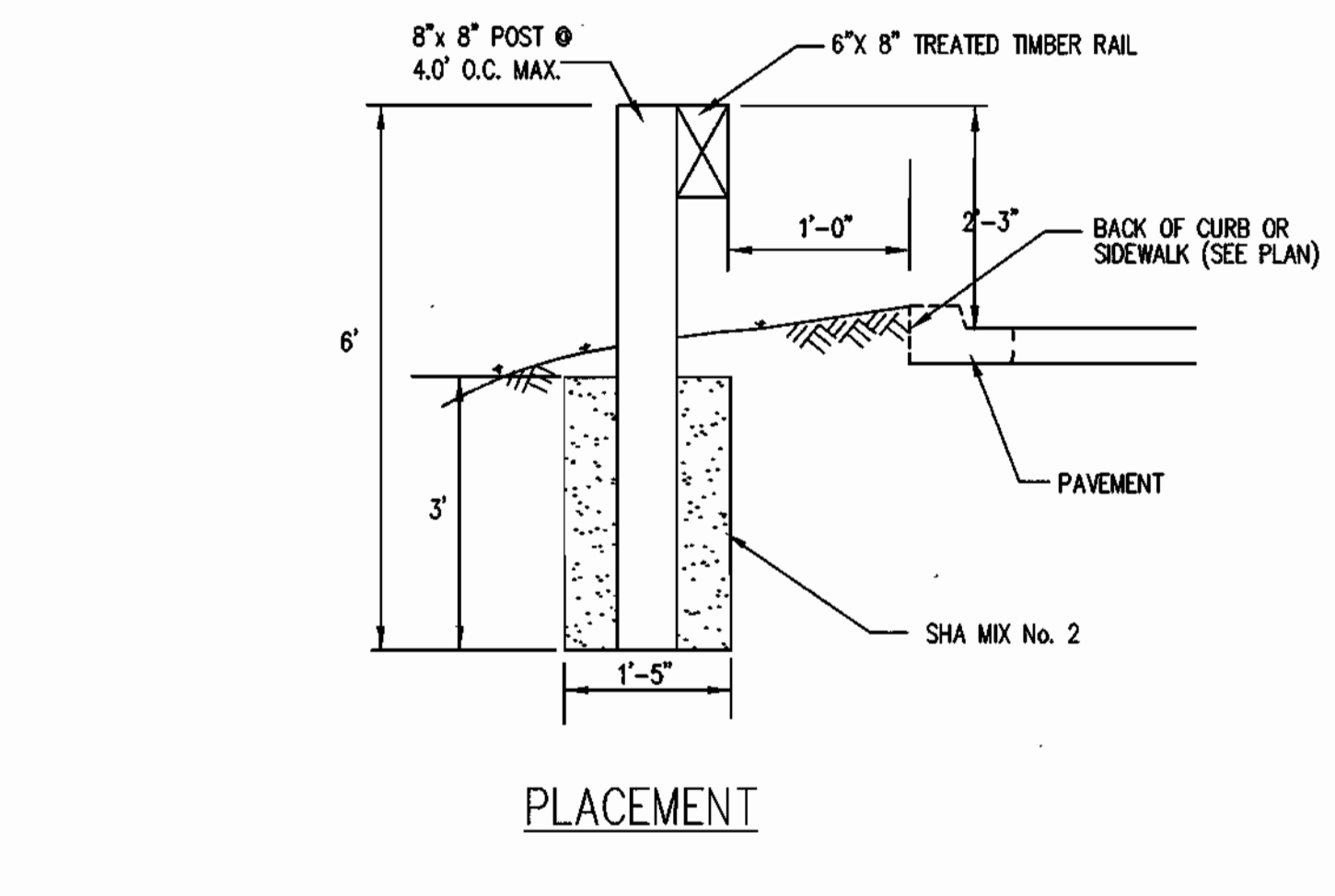
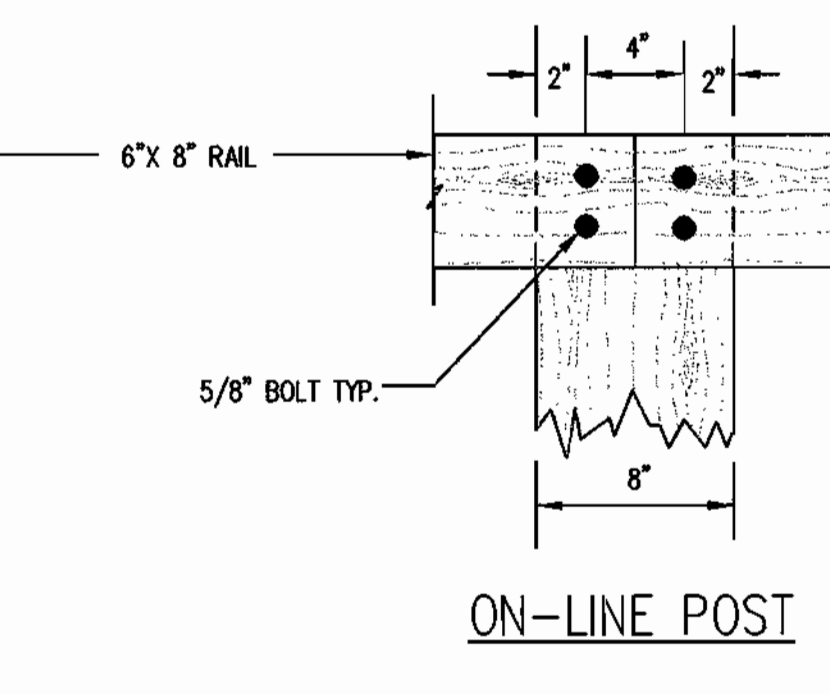
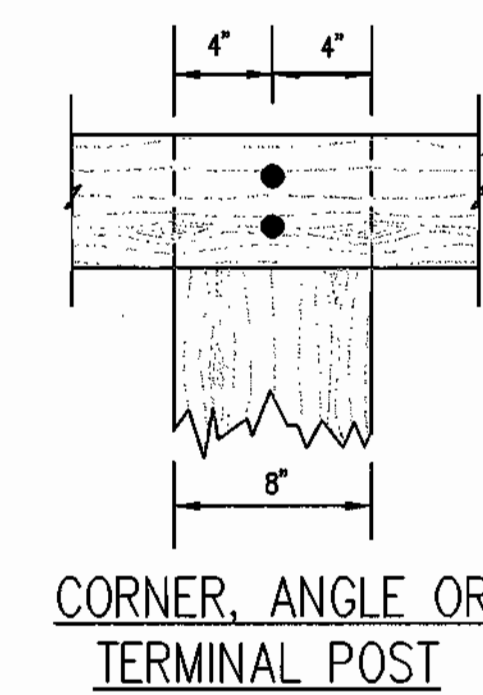
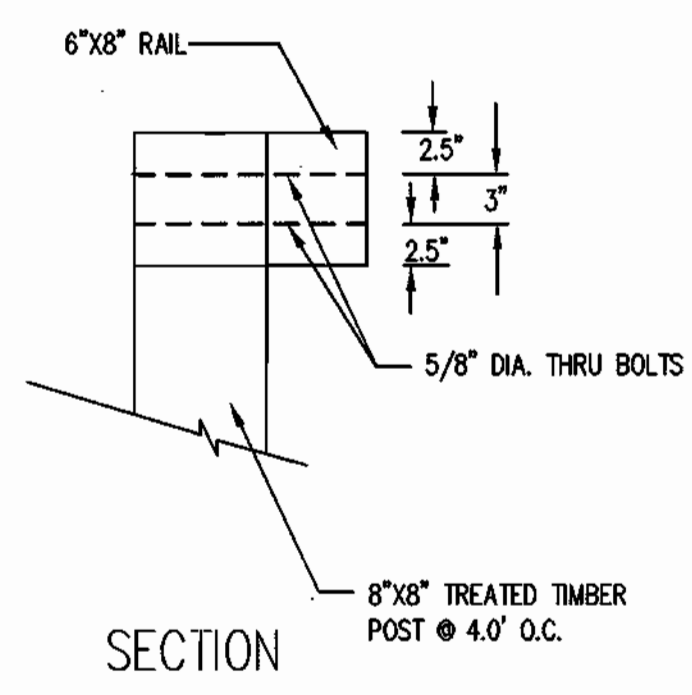
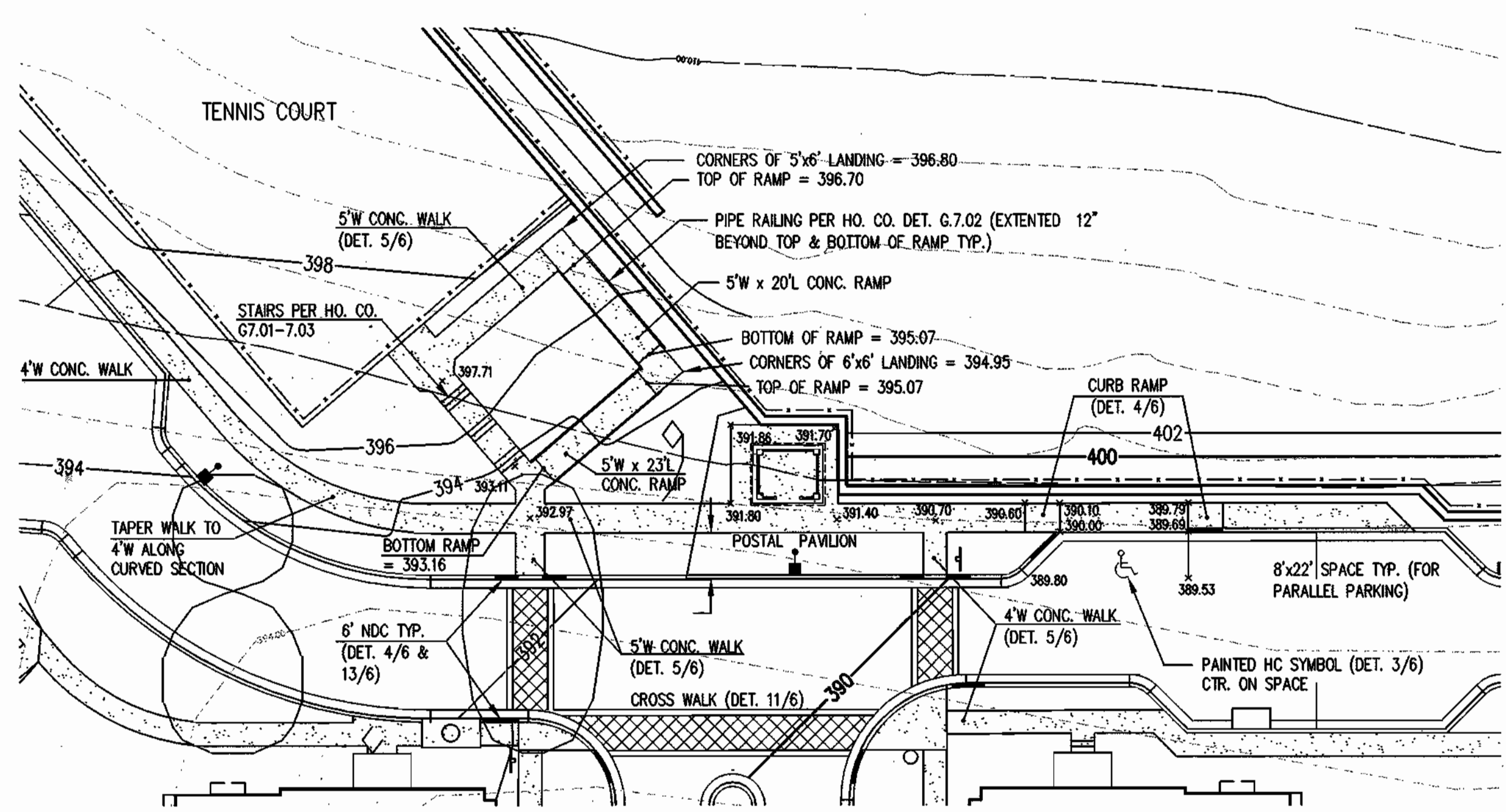
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3909 NATIONAL DRIVE - SUITE 250 - BURTONTOWN, MARYLAND 20866
TEL: 301-421-4024 FAX: 410-589-1820

DATE	REVISION	BY	APP'R.

PREPARED FOR:
EXIT SEVEN LLC
c/o Greenbaum & Rose Assoc., Inc.
Suite 410, Woodholme Center
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SITE DETAILS
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
PLAT Nos. 15319-15323
+ 15352-15357
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	6 of 43

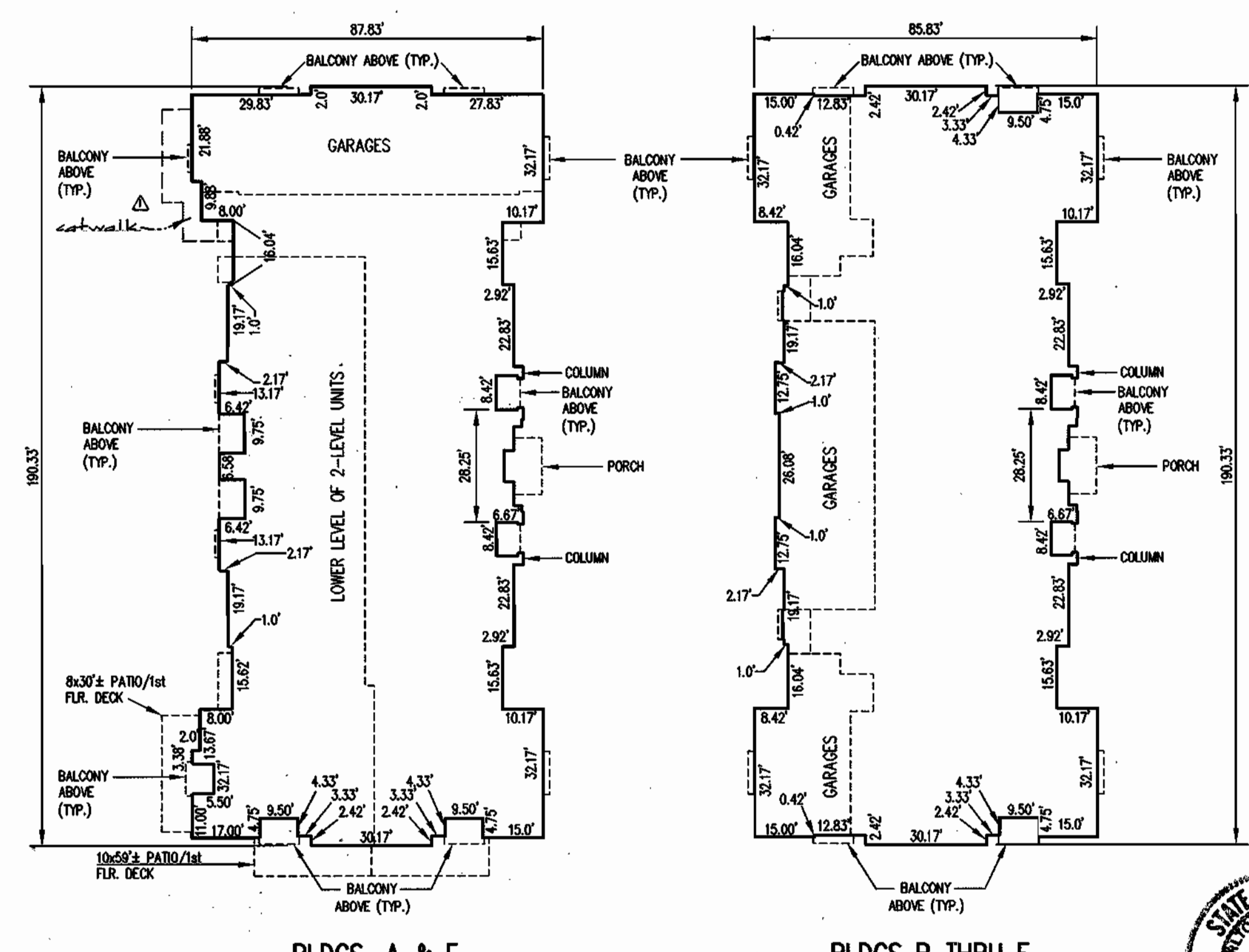


NOTES:
 1. TIMBER SHALL BE PRESSURE TREATED SOUTHERN PINE OR APPR. EQUIVALENT.
 2. ALL FASTENER HARDWARE SHALL BE GALVANIZED.

1 ACCESSIBLE ROUTE TO POSTAL PAVILION AND TENNIS COURT 1" = 20'

2 TIMBER GUARDRAIL

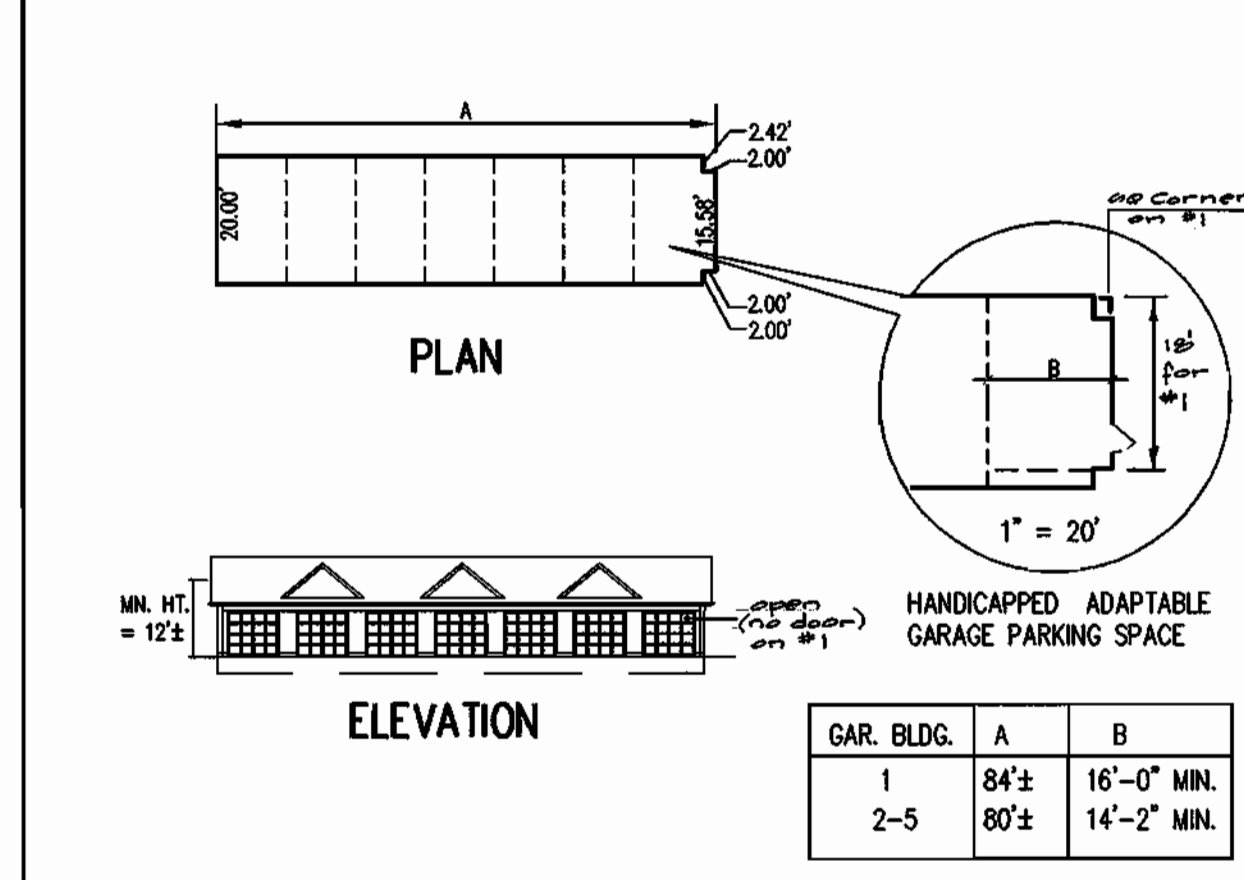
NTS



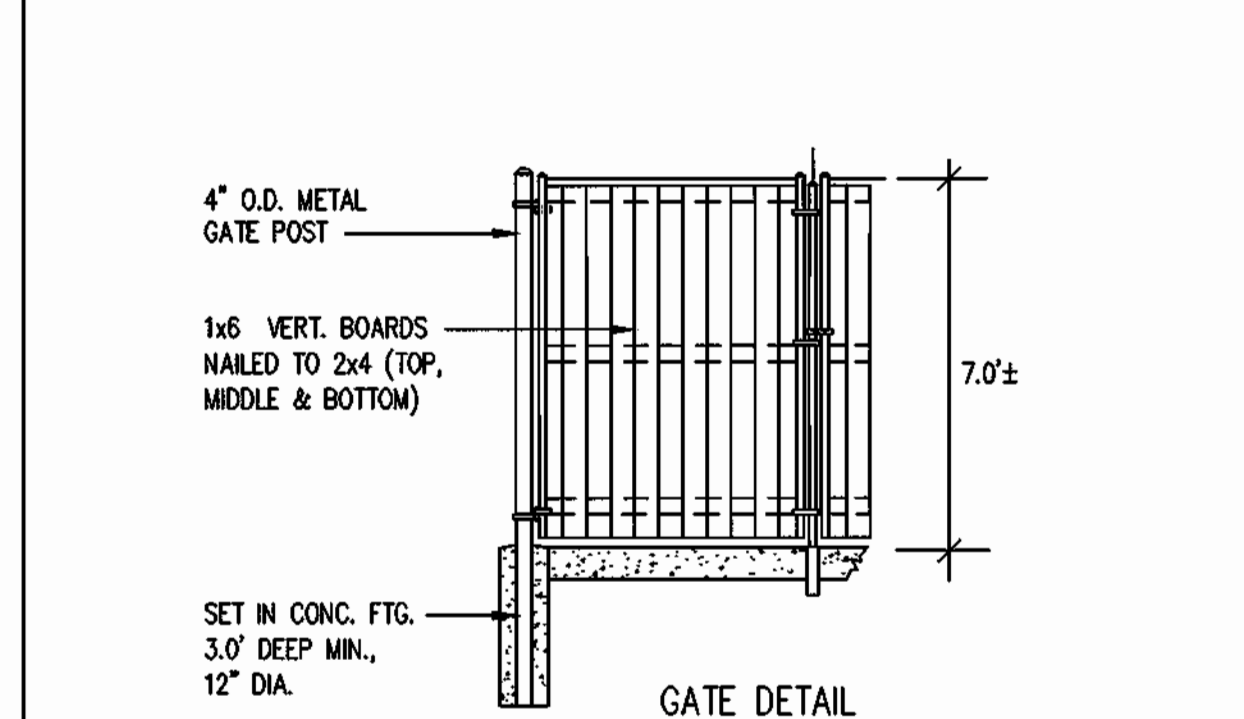
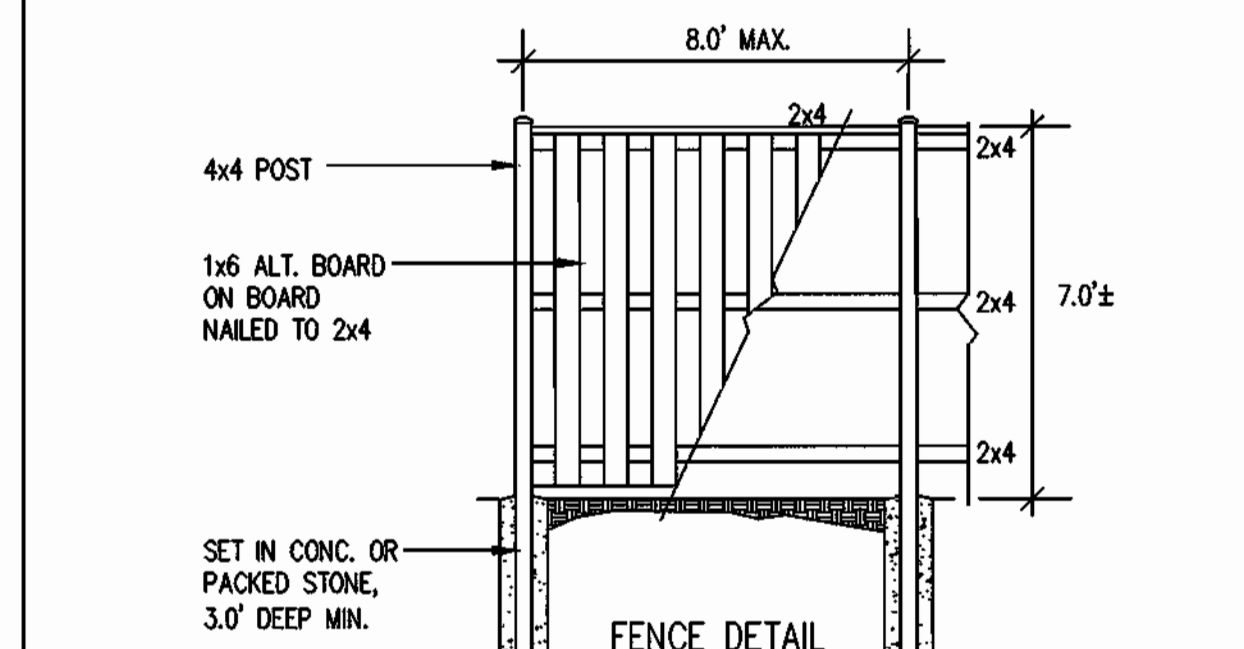
NOTE: PER SEC. 115.D.1.(a), THE MAXIMUM BUILDING HEIGHT IS 50 FEET FOR THE MINIMUM SETBACK OF 30 FEET. HOWEVER, FOR EVERY 2 FEET OF ADDITIONAL SETBACK, ONE FOOT OF ADDITIONAL HEIGHT IS PERMITTED UP TO AN ABSOLUTE MAXIMUM BUILDING HEIGHT OF 80 FEET PER SEC. 115.D.1.(b). THUS, FOR A BUILDING HEIGHT OF 80', THE MINIMUM SETBACK IS 90 FEET (30' + 60'). ALL PROPOSED APARTMENT BUILDINGS ARE UNDER 80' IN HEIGHT AND THE BUILDING NEAREST TO THE R.O.W. (BUILD. 'E') IS SETBACK 112.96'. THEREFORE, ALL PROPOSED APARTMENT BUILDINGS MEET SETBACK REQUIREMENTS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* Date: 4/1/02
 Chief, Division of Land Development: *[Signature]* Date: 4/1/02
 Chief, Development Engineering Division: *[Signature]* Date: 4/1/02

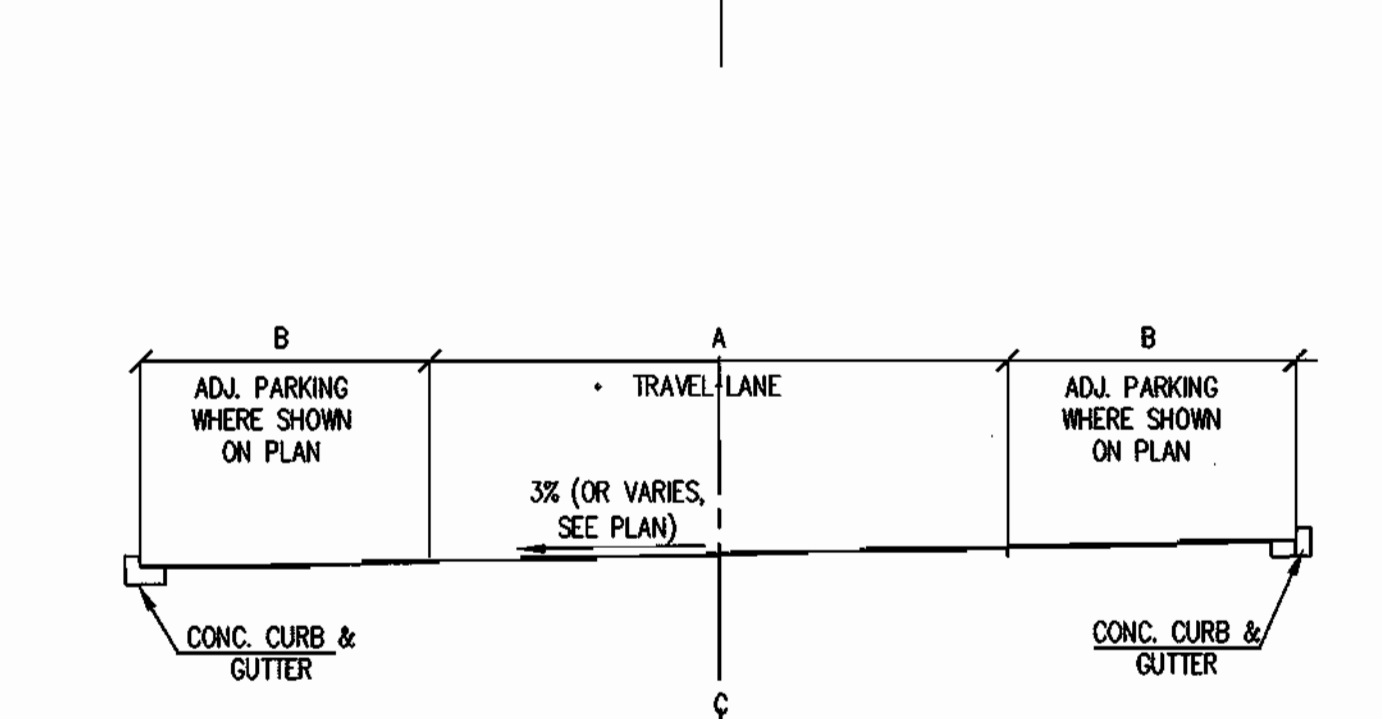
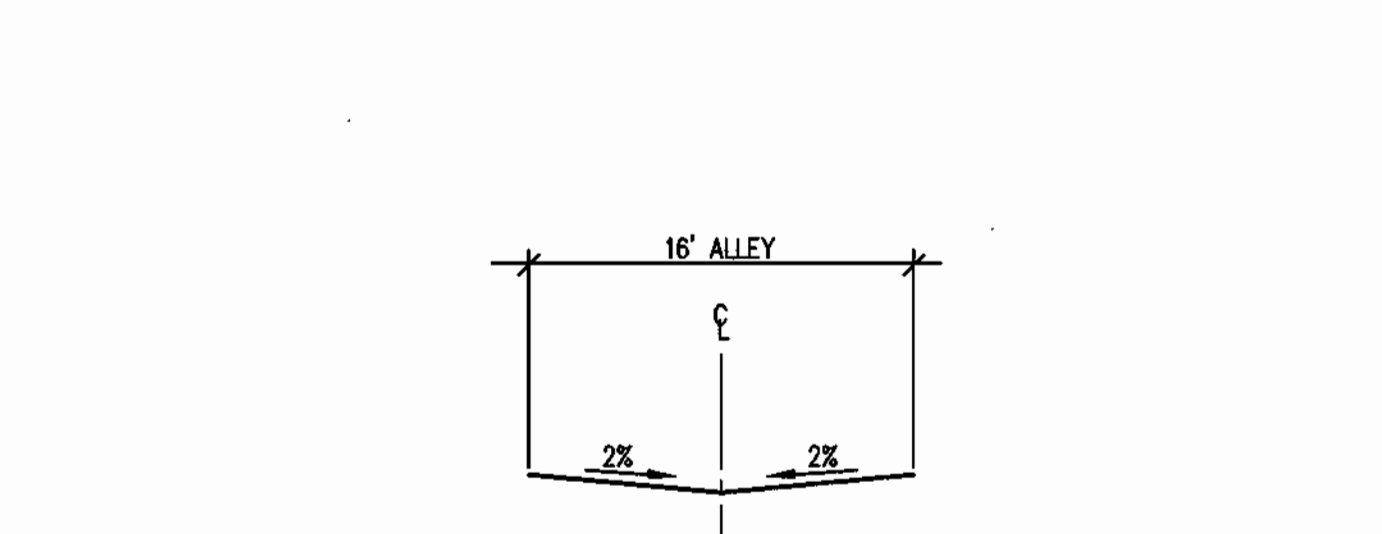
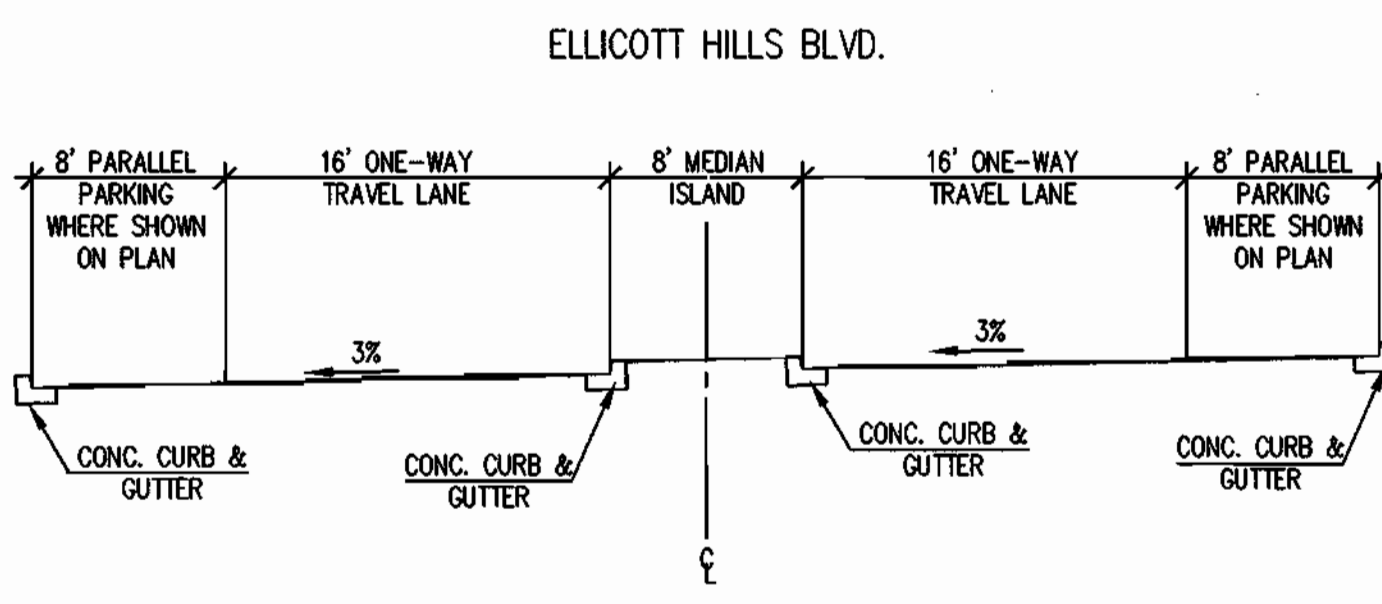
3 APARTMENT BUILDINGS SCALE: 1"=30'



4 GARAGE BUILDING NTS



5 DUMPSTER ENCLOSURE DETAIL



ROAD NAME	A	B
BUCKINGHAM ROAD	24'	8' FOR PARALLEL PARKING
WESTMINSTER ROAD	18'	8' FOR PARALLEL PARKING
EATON SQUARE	18'	8' FOR PARALLEL PARKING
UNION DRIVE	18'	8' FOR PARALLEL PARKING
KENSINGTON GARDENS	24' MIN.	18' MIN. FOR 90° PARKING

6 TYPICAL PRIVATE ROAD SECTIONS NTS

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 FAX: 410-980-1820 DC/VA: 301-988-2524 FAX: 301-421-4186




DATE	REVISION	BY	APPR.
01-07-02	Added sidewalk & rev. det. for car side	HKJ	

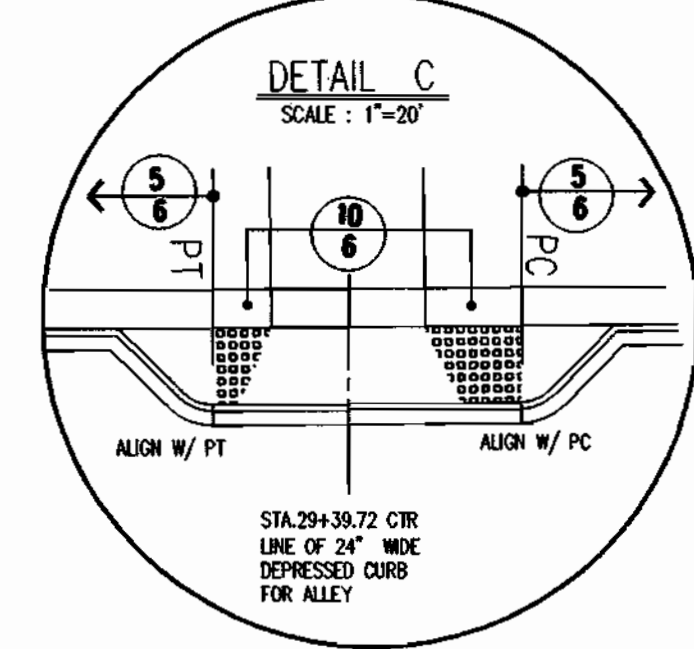
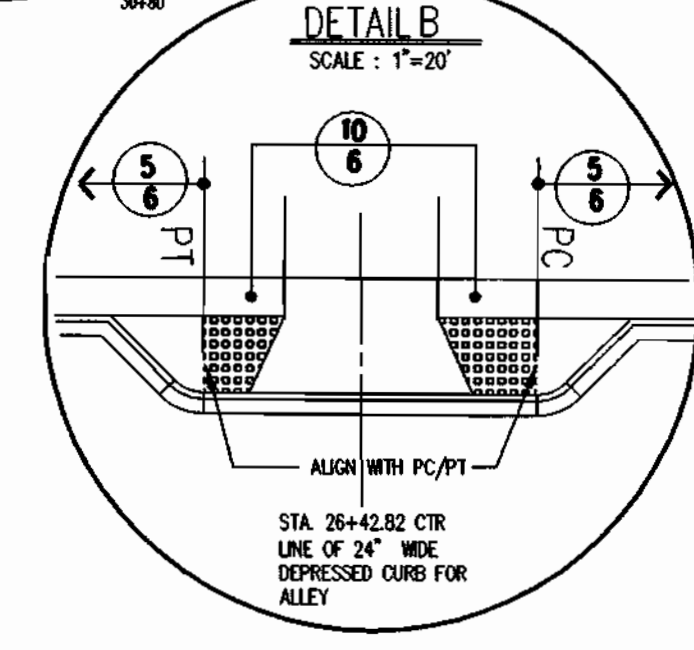
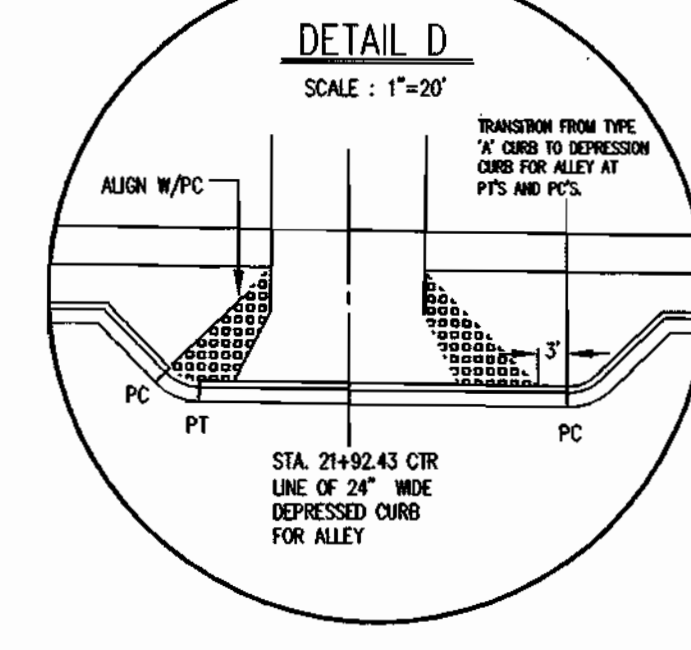
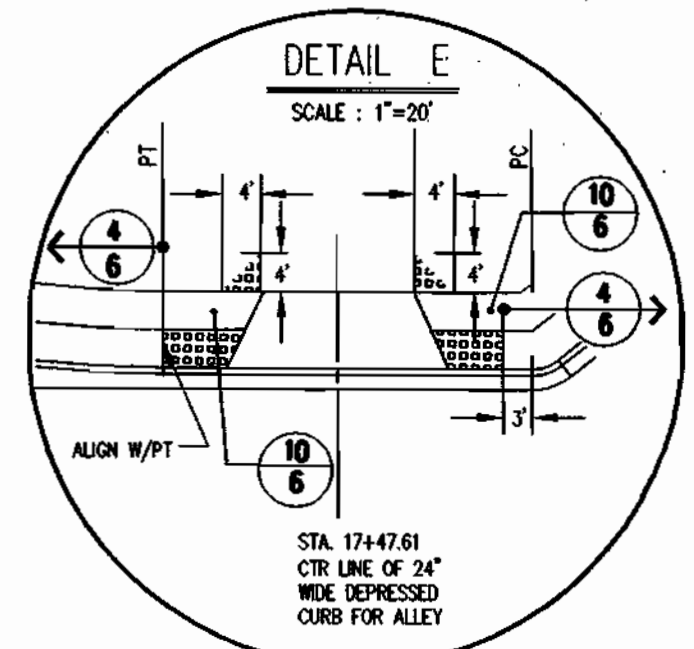
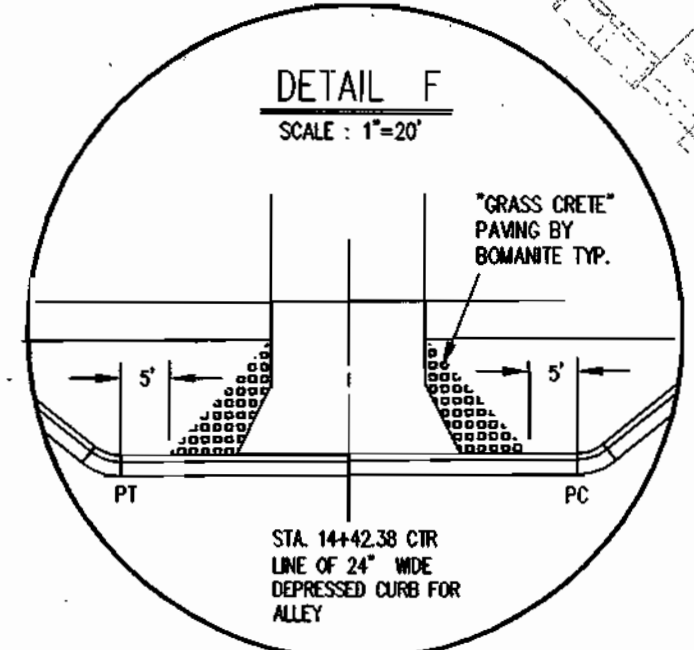
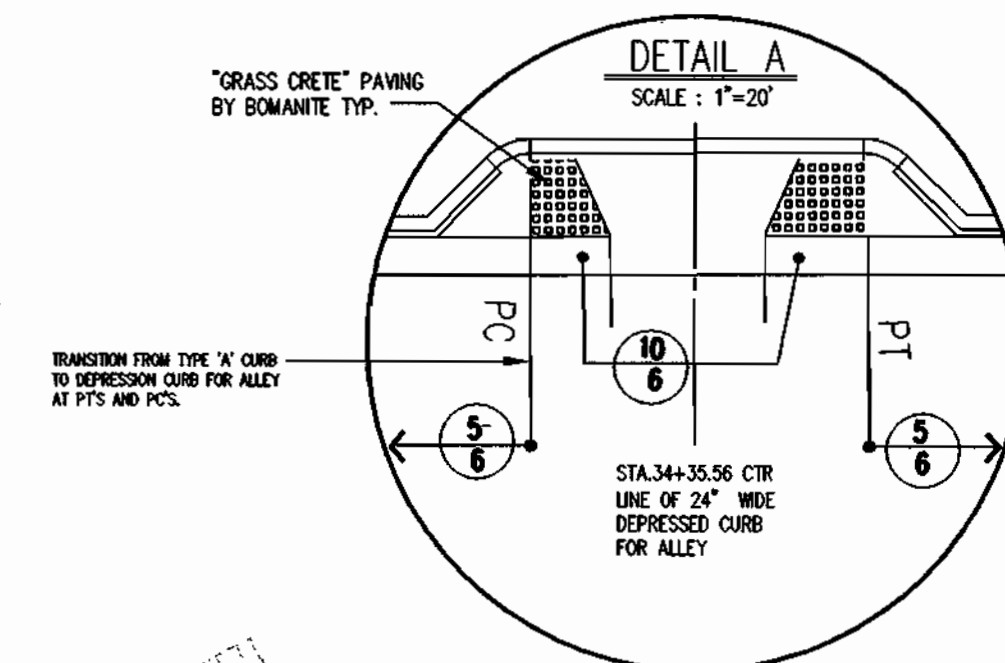
PREPARED FOR:
 EXT SEVEN LLC
 (Owner/Developer)
 c/o Greenbaum & Rose Assoc., Inc.
 Suite 410, Woodbine Center
 1829 Reisterstown Road
 Baltimore, MD 21208
 Phone: 410-481-3400
 Attn: Mark Bennett or Charles O'Donovan

SITE DETAILS
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
 PLAT No. 15319-15323
 15353-15357
 ELLICOTT CITY ELECTION DISTRICT No. 2

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	7 of 43

LEGEND

-  P-2 BITUMINOUS PAVING (DET. 8/6)
-  P-3 BITUMINOUS PAVING (DET. 9/6)
-  HEAVY DUTY CONCRETE PAVING (DET. 10/6)



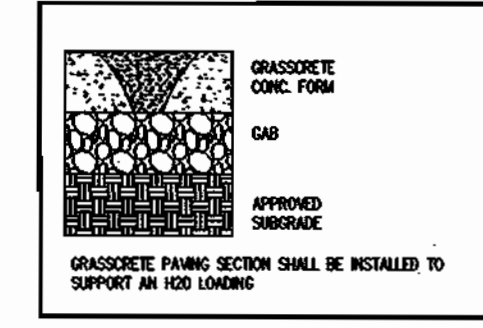
- NOTE:**
- ALL CURBS ARE TYPE "A" (DET. 6/6) UNLESS NOTED OTHERWISE ON THIS PLAN.
 - TYPICAL PROPOSED ROADWAY (ALL PRIVATE) STANDARD FOR THE COMMUNITY ARE AS FOLLOWS:
 - 24" CLOSED PAVEMENT SECTION (WITHOUT ADA PARALLEL PARKING); BUCKINGHAM ROAD
 - 18" CLOSED PAVEMENT SECTION (WITHOUT ADA PARALLEL PARKING); WESTMINSTER ROAD, UNION DRIVE AND EATON SQUARE
 - 16" (MIN.) OPEN SECTION FOR ALLEYS
 - 16" MIN. WIDTH OF EACH ONE-WAY TRAVEL LANE OF ELLICOTT HILLS BLVD. (WITHOUT ADA PARALLEL PARKING)
 - 24" MIN. WIDTH OF TRAVEL LANE FOR KENSINGTON GARDENS THROUGH THE APARTMENTS.
 - SEE DETAIL ON SHEET #7 FOR TYPICAL ROAD SECTIONS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

James S. Smith 4/16/02
Director Date

Cheryl K. Kavanagh 4/16/02
Chief, Division of Land Development Date

Mark D. Williams 4/16/02
Chief, Development Engineering Division Date



GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3809 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20886
TEL: 301-421-4024 BALT. 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

NO.	DATE	REVISION	BY	APP'R.

PREPARED FOR:
(Owner/Developer)
EXIT SEVEN LLC
c/o Greenbaum & Rose Assoc., Inc.
Suite 410, Woodholme Center
1829 Reisterstown Road
Baltimore, MD 21288
Phone: 410-484-8400
Attn: Mark Bennett or Charles O'Donovan

PAVING & CURB DELINEATION PLAN
THE ENCLAVE AT ELLICOTT HILLS
PARCEL "A" - RESIDENCES
PLAT Nos. 15319-15323
+ 15353-15357

ELLIOTT CITY ELECTION DISTRICT No. 2

SCALE	ZONING	G. L. W. FILE No.
1" = 50'	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	8 of 43

Per F-01-196, the Rev facility behind lots 13-21 on Parcel A must provide 0.428 ac.-ft. of storage and treat 5.30 ac. of impervious before credits are applied to volume reduction.
 This fulfills the groundwater recharge requirement for all of the drainage going to the SMM facility. See Drainage Area Map on sheet 21 of 26 from F-01-196 (Northridge Road Construction Drawing Plan Set). Per Schedule 1 shown below, the total impervious draining to the Rev facility is 6.91 ac.
 Per Schedule 2 shown below, 2.49 ac. of the 5.30 acres of impervious is credited.
 Per Schedule 2 shown below, 2.81 acres of impervious must be managed for recharge through the facility. Using the percent area method (2.81 ac./5.30 ac.) x 0.428 ac.-ft. = 0.227 ac.-ft. of volume required after credits are accounted for.
 Based on Rev computations and details from Sheet 17, 0.237 ac.-ft. of volume is provided in the Rev facility.

SCHEDULE 1 IMPERVIOUS AREA DRAINING TO REV FACILITY			
D.A.	%	TOTAL AC.	IMP. AC.
87	65%	0.80	0.52
86	100%	0.10	0.10
84	100%	0.20	0.20
85	AS COMPUTED IN INLET COMPS.		0.18
83	AS COMPUTED IN INLET COMPS.		0.18
94	65%	0.40	0.26
93	65%	0.16	0.10
92	65%	0.16	0.10
91	65%	0.16	0.10
90	65%	0.25	0.16
79	65%	0.60	0.39
76	65%	0.80	0.52
75	AS COMPUTED IN INLET COMPS.		0.12
112	65%	0.90	0.59
110	65%	0.85	0.55
106	65%	0.25	0.16
105	65%	0.56	0.36
104	65%	0.27	0.18
103	65%	0.17	0.11
73	65%	0.80	0.52
71	65%	1.09	0.71
67	65%	0.33	0.21
65	65%	0.20	0.13
64	65%	0.16	0.10
63	65%	0.52	0.34

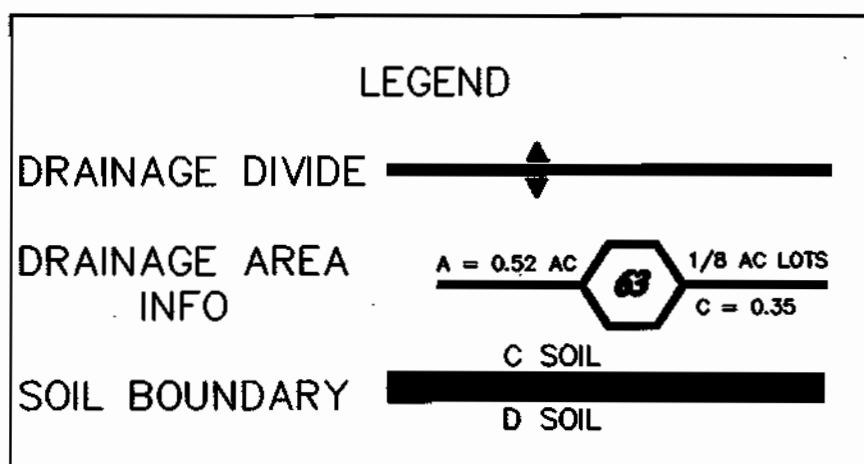
TOTAL IMPERVIOUS DRAINING TO REV FACILITY 6.91 AC.

SCHEDULE 2 REV VOLUME CREDIT SCHEDULE			
TYPE OF CREDIT	LOCATION	IMPERVIOUS AREA CREDITED SF.	AC.
GRASSED CHANNEL	D.A. TO CHANNEL ADJACENT TO BUILDING INCLUDING IMP. FROM DA'S 15, 25, 26, 27, 28, 29, & 31		1.37
ROOFRAIN/SIDEWALK OVERLAND FLOW	DA 57	4,470	0.10
	UNITS 1-7	7,350	0.17
	UNITS 8-12	5,250	0.12
	UNITS 13-17	5,250	0.12
	UNITS 18-22	5,250	0.12
	UNITS 23-27	5,250	0.12
BUFFER CREDIT	UNITS 28-30	3,150	0.07
	UNITS 31-35	5,250	0.12
	UNITS 100-116	7,350	0.17
TOTAL CREDITS FROM ABOVE			2.49
REVISED IMP. AREA FOR REV VOLUME		5.30AC - 2.49AC	2.81

* NOTE * THESE AREAS ARE SHOWN AS SHADED ON THIS SHEET AND SHEET 10 OF 43.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* Date: 4/9/02
 Chief, Division of Land Development: *[Signature]* Date: 4/9/02
 Chief, Development Engineering Division: *[Signature]* Date: 4/11/02



NOTE:
 ALL B SOIL ASSUMED AS C SOIL PER MASS GRADING OF SITE.
 ALL D SOILS REMAIN D SOILS

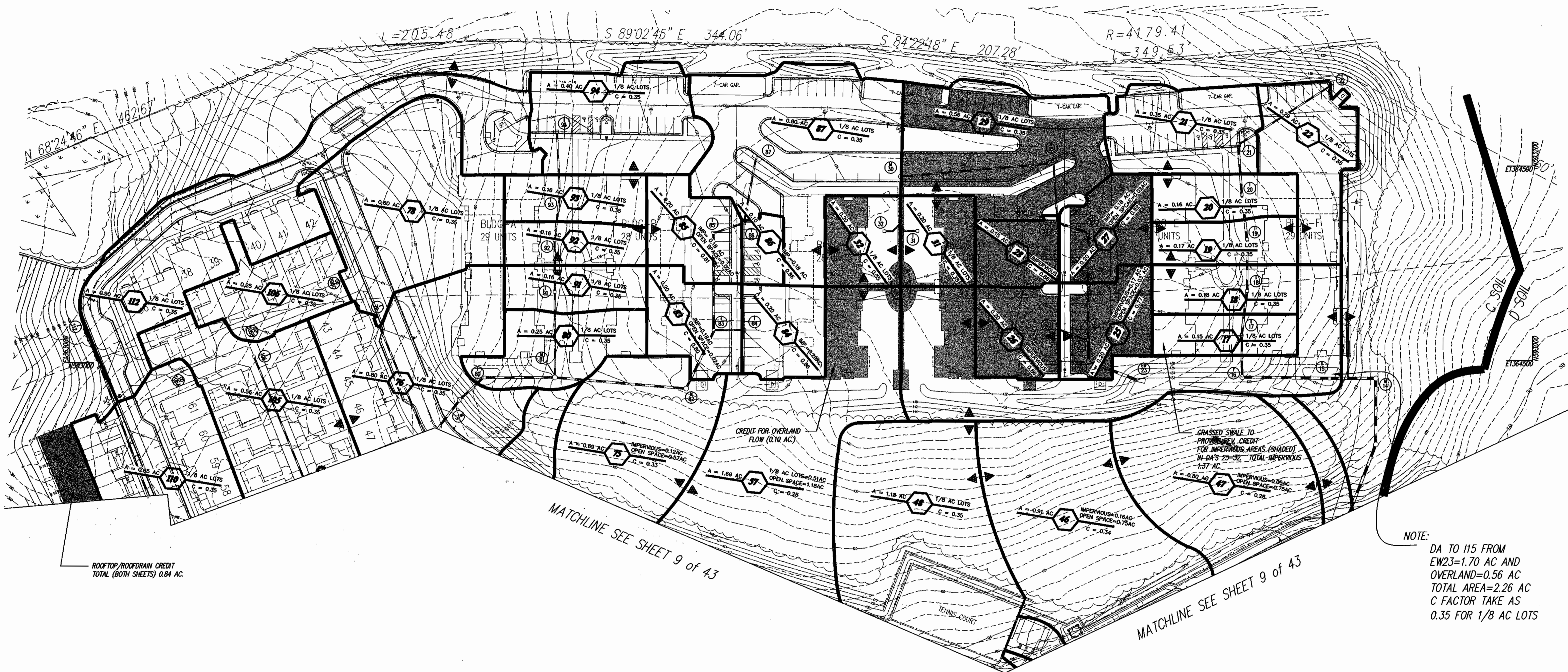
GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3009 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/WA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR:
 (Owner/Developer)
 EXIT SEVEN LLC
 c/o Greenbaum & Rose Assoc., Inc.
 Suite 410, Woodburn Center
 1829 Roberston Road
 Baltimore, MD 21208
 Phone: 410-884-8400
 Attn: Mark Bennett or Charles O'Donovan

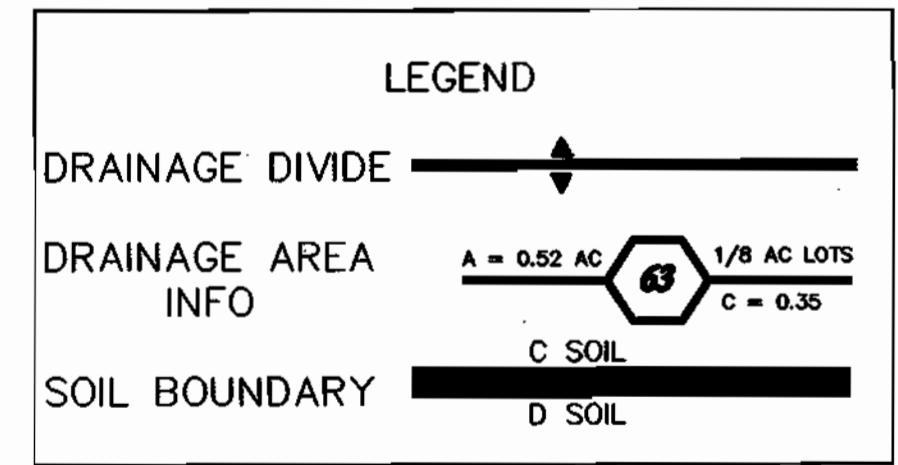
THIS PLAN FOR DRAINAGE AREA INFO. ONLY
DRAINAGE AREA MAP
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
 PLAT No. 15319-15323
 15353-15357
 ELLICOTT CITY ELECTION DISTRICT No. 2

SCALE	ZONING	G. L. W. FILE No.
1" = 50'	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	9 of 43

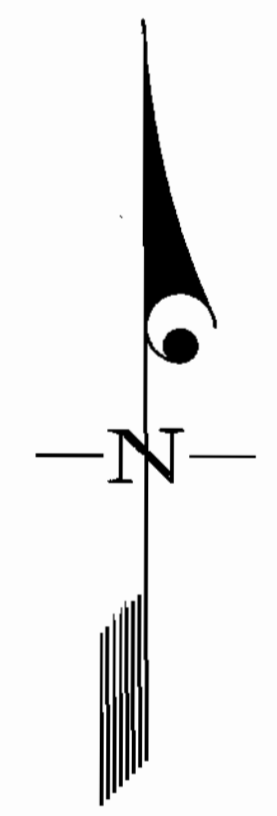


NOTE:
 DA TO I15 FROM
 EW23=1.70 AC AND
 OVERLAND=0.56 AC
 TOTAL AREA=2.26 AC
 C FACTOR TAKE AS
 0.35 FOR 1/8 AC LOTS

ROOFTOP/ROOFDRAIN CREDIT
 TOTAL (BOTH SHEETS) 0.84 AC



NOTE:
 ALL B SOIL ASSUMED
 AS C SOIL PER MASS
 GRADING OF SITE
 ALL D SOILS REMAIN D SOILS



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Howard R. Rutz 4/19/02
 Director Date

Christy R. Rutz 4/19/02
 Chief, Division of Land Development Date

William J. Rutz 4/19/02
 Chief, Development Engineering Division Date



THIS PLAN FOR DRAINAGE AREA INFO ONLY

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 FAX: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

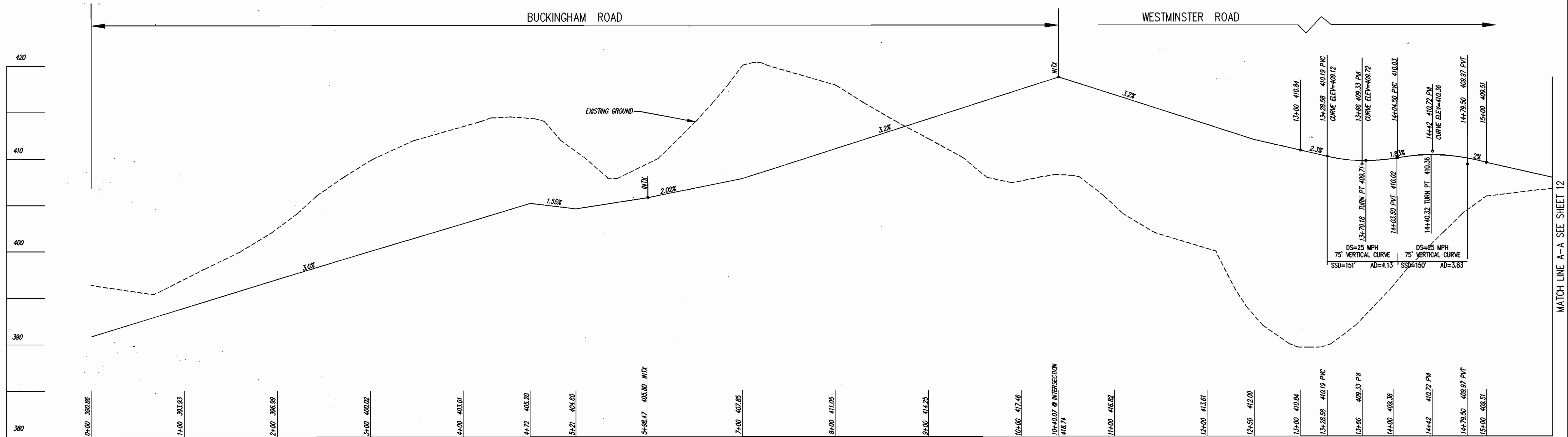
DES.	DRN.	CHK.	DATE	REVISION	BY	APP'R.

PREPARED FOR:
 (Owner/Developer)
 EXIT SEVEN LLC
 c/o Greenbaum & Rose Assoc., Inc.
 Suite 410, Woodbine Center
 1829 Reisterstown Road
 Baltimore, MD 21208
 Phone: 410-451-5400
 Attn: Mark Bennett or Charles O'Donovan

DRAINAGE AREA MAP
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
 PLAT No. 15319-15323
 + 15353-15357

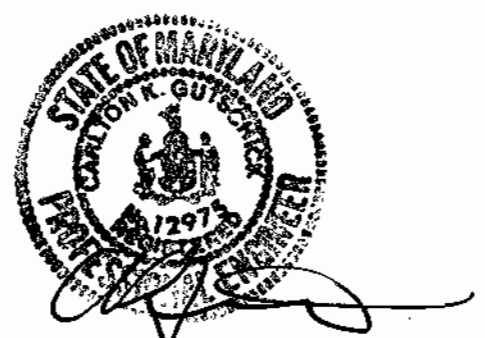
ELLICOTT CITY ELECTION DISTRICT No. 2

SCALE	ZONING	G. L. W. FILE No.
1" = 50'	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	10 of 43



MATCH LINE A-A SEE SHEET 12

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Joseph S. Smith* Date: 4/19/02
 Chief, Division of Land Development: *Andy Edwards* Date: 4/19/02
 Chief, Development Engineering Division: *Mark Bennett* Date: 4/11/02



APPROXIMATE C GRADE FOR SITE DISTANCE PURPOSES ONLY!!
 CONTRACTOR TO CONSTRUCT CURB & GUTTER PER SITE PLAN SPOT ELEVATIONS.

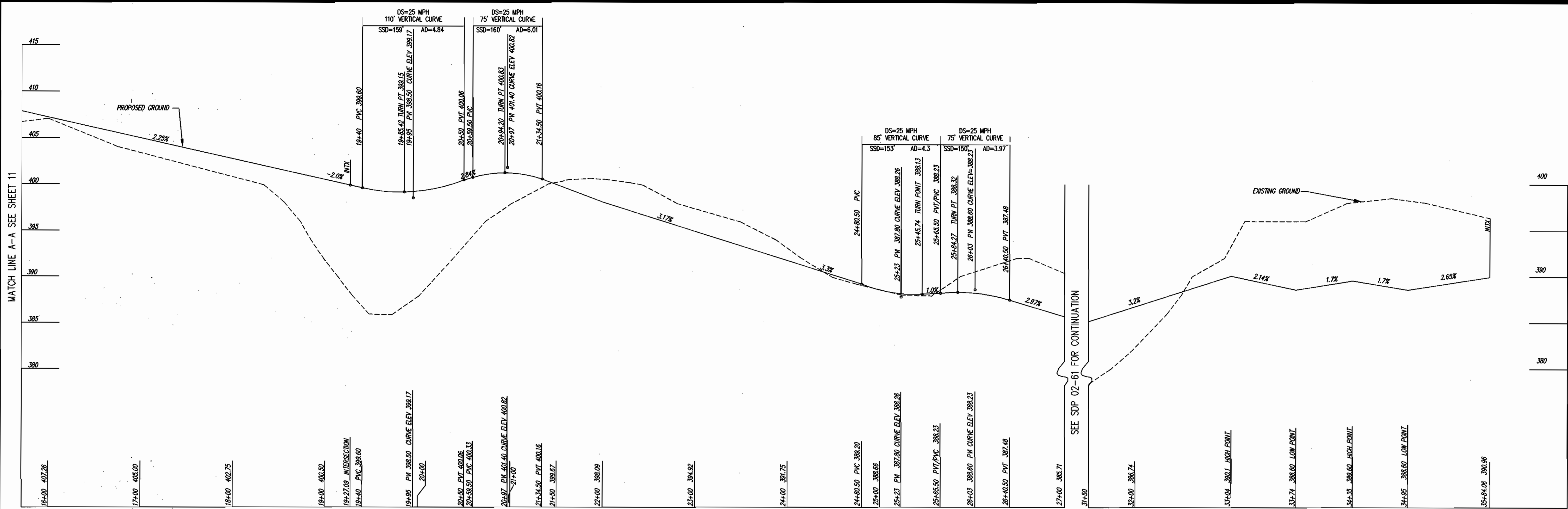
GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-999-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR:
 (Owner/Developer)
 EXT SEVEN LLC
 c/o Greenbaum & Rose Assoc., Inc.
 Suite 410, Woodholme Center
 1829 Reisterstown Road
 Baltimore, MD 21208
 Phone: 410-634-5400
 Attn: Mark Bennett or Charles O'Donovan

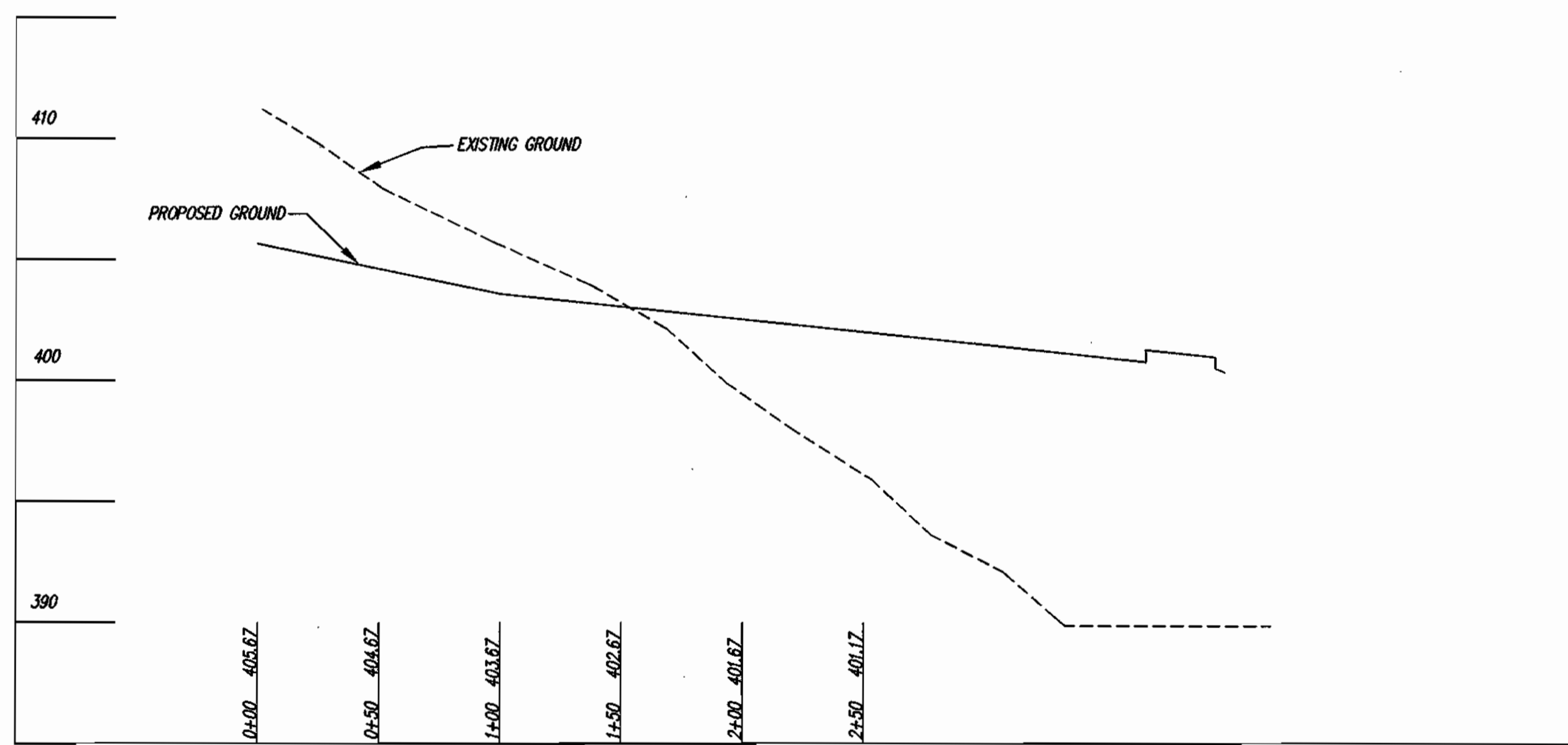
ROAD PROFILES
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
 PLAT NoS. 15319-15323
 + 15352-15357
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=50'	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	11 of 43



WESTMINSTER ROAD CENTERLINE PROFILE

EATON SQUARE CENTERLINE PROFILE



UNION DRIVE CENTERLINE PROFILE

SCALE: 1" = 5' VERT.
1" = 50' HORIZ.

APPROXIMATE C GRADE FOR SITE DISTANCE PURPOSES ONLY!!
CONTRACTOR TO CONSTRUCT CURB & GUTTER PER SITE PLAN SPOT ELEVATIONS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* Date: 4/13/02
 Chief, Division of Land Development: *[Signature]* Date: 4/11/02
 Chief, Development Engineering Division: *[Signature]* Date: 4/11/02



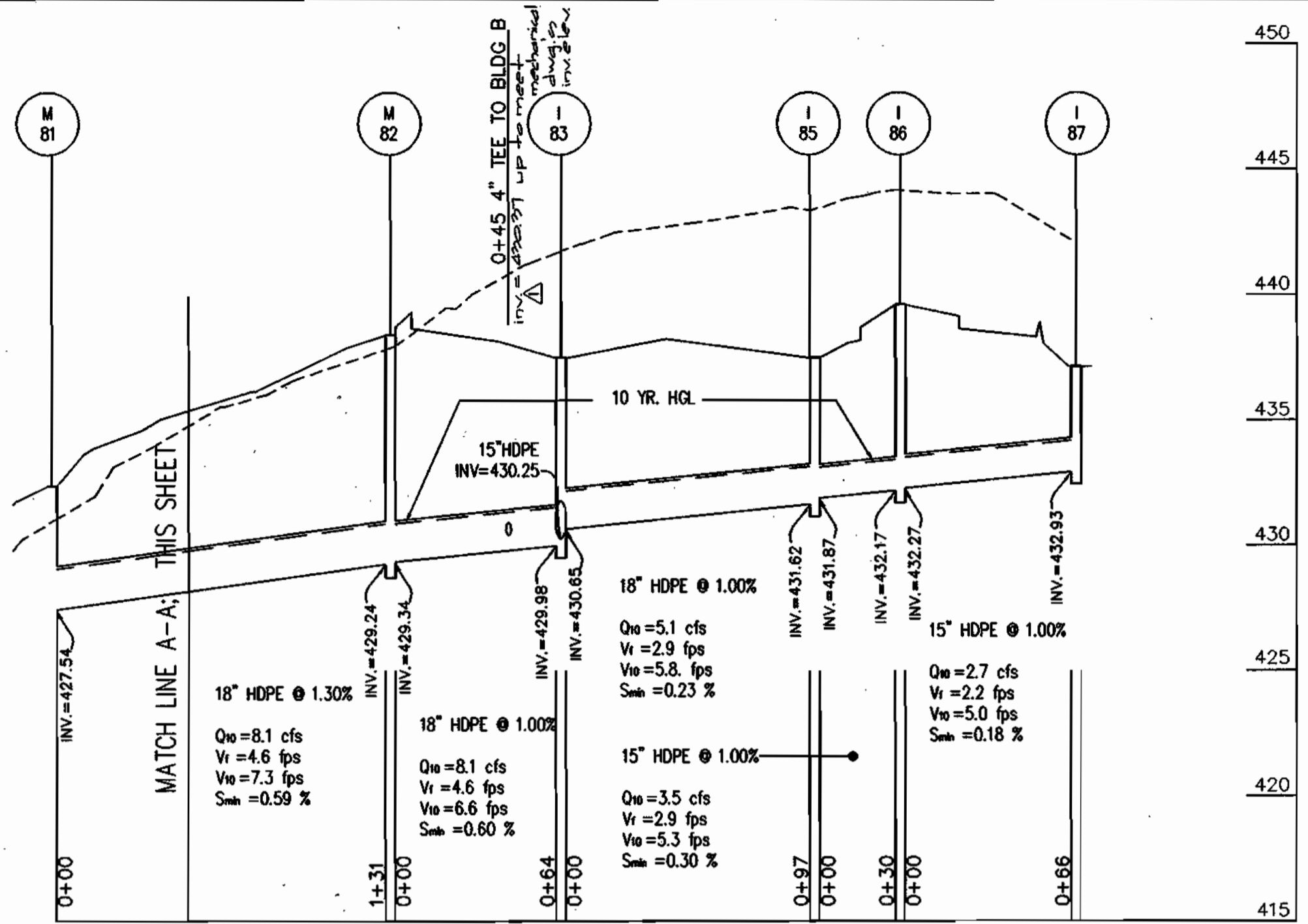
GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-988-2524 FAX: 301-421-4186

NO.	DATE	REVISION	BY	APP.

PREPARED FOR:
 (Owner/Developer)
 EXIT SEVEN LLC
 c/o Greenbourn & Rose Assoc., Inc.
 Suite 410, Woodholme Center
 1829 Reisterstown Road
 Baltimore, MD 21208
 Phone: 410-484-8400
 Attn: Mark Bennett or Charles O'Donovan

ROAD PROFILES
THE ENCLAVE AT ELLICOTT HILLS
 PARCEL 'A' - RESIDENCES
 PLAT Nos. 15319-15323
 + 15353-15357
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=50'	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	12 of 43

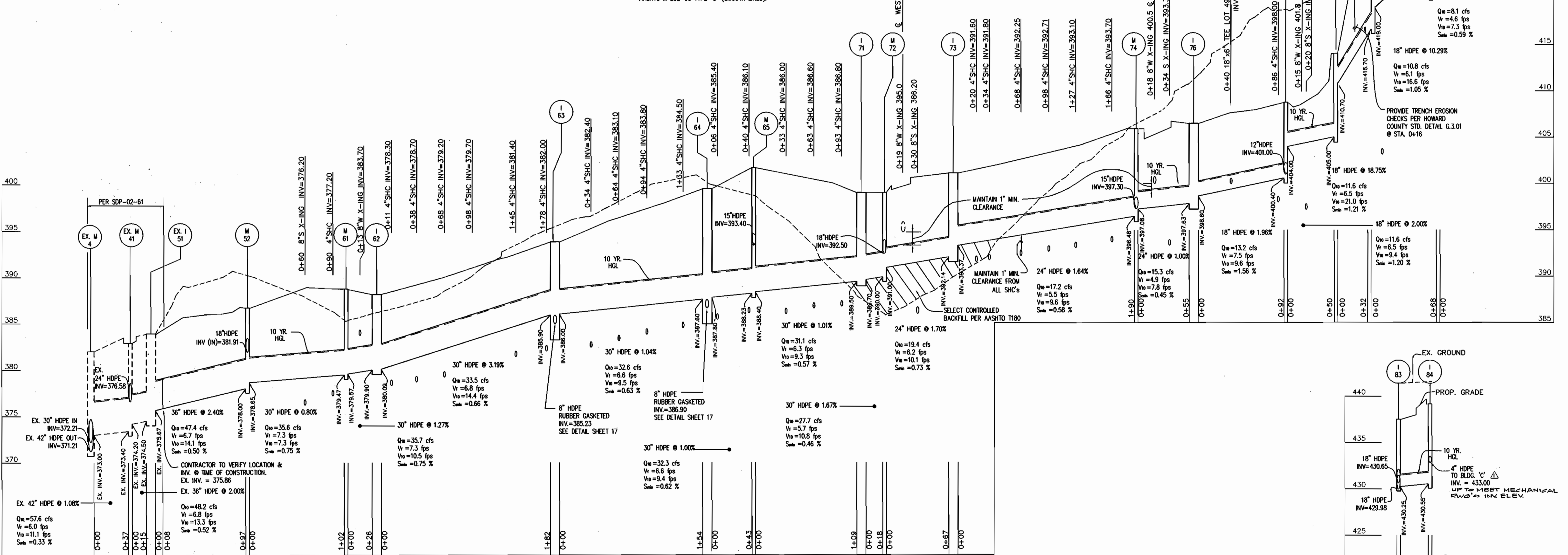


STRUCTURE No.	TYPE	WIDTH (INSIDE) DIAMETER	TOP ELEVATION		INVERT ELEVATION		STANDARD DETAIL	REMARKS
			UPPER	LOWER	UPPER	LOWER		
52	PRECAST MH	5'-0"	387.10	-	381.91	378.00	G.5.13	-
61	PRECAST MH	5'-0"	388.60	-	379.57	379.47	G.5.13	-
62	A-10	4'-0"	388.11	-	380.09	379.90	SD 4.02	TOP OF SLAB ELEVATION LISTED (SUMP)
63	A-10	4'-0"	394.50	394.17	386.00	385.23	SD 4.02/SEE DETAIL	SEE DETAIL SHEET 17
64	A-10	4'-0"	400.00	399.67	387.80	386.90	SD 4.02/SEE DETAIL	SEE DETAIL SHEET 17
65	PRECAST MH	5'-0"	401.70	-	393.40	389.23	G.5.13	-
71	A-10	4'-0"	399.82	-	389.70	389.50	SD 4.02	TOP OF SLAB ELEVATION LISTED (SUMP)
72	PRECAST MH	5'-0"	400.35	-	392.50	390.00	G.5.13	-
73	A-10	3'-6"	401.17	-	393.37	392.14	SD 4.02	TOP OF SLAB ELEVATION LISTED (SUMP)
74	PRECAST MH	4'-0"	405.90	-	397.30	396.48	G.5.12	-
76	A-10	3'-0"	406.64	406.84	398.60	397.63	SD 4.02	-
77	PRECAST MH	4'-0"	408.65	-	404.00	400.40	G.5.12	-
79	PRECAST MH	4'-0"	414.58	-	410.70	405.00	G.5.12	-
80	S INLET	4'-6"	423.40	-	419.00	416.70	SD 4.22	-
81	PRECAST MH	4'-0"	432.35	-	428.10	426.00	G.5.12	-
82	PRECAST MH	4'-0"	438.20	-	429.34	429.24	G.5.12	-
83	S INLET	3'-6"	437.27	-	430.65	429.98	SD 4.22	-
84	S COMB. INLET	3'-6"	439.46	-	433.00	430.55	SD 4.32	-
85	S INLET	3'-6"	437.27	-	431.67	431.62	SD 4.22	-
86	S COMB. INLET	3'-6"	439.22	-	432.27	432.17	SD 4.32	-
87	A-10	2'-6"	436.95	-	432.93	430.02	SD 4.02	TOP OF SLAB ELEVATION LISTED (SUMP)

NOTE: STRUCTURES LISTED ON MORE THAN ONE PAGE ARE ONLY SHOWN IN ONE STRUCTURE SCHEDULE. SEE PLAN & PROFILES FOR OTHER INVS FOR STRUCTURES WITH MULTIPLE PIPES.

SIZE	TYPE	QUANTITY (L.F.)	REMARKS
4"	HDPE	71	-
6"	HDPE	33	-
15"	HDPE	126	-
18"	HDPE	534	-
24"	HDPE	312	-
30"	HDPE	634	-
36"	HDPE	89	-

NOTE: 1) ALL HDPE 12" TO 42" SHALL BE AASHTO M 294-90 TYPE "S" (SMOOTH LINED).
2) ALL HDPE 3" TO 10" SHALL BE AASHTO M 292-90 TYPE "S" (SMOOTH LINED).



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Date: 4/16/02
 Chief, Division of Land Development
 Date: 4/16/02
 Chief, Development Engineering Division



GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
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 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/WV: 301-989-2524 FAX: 301-421-4186

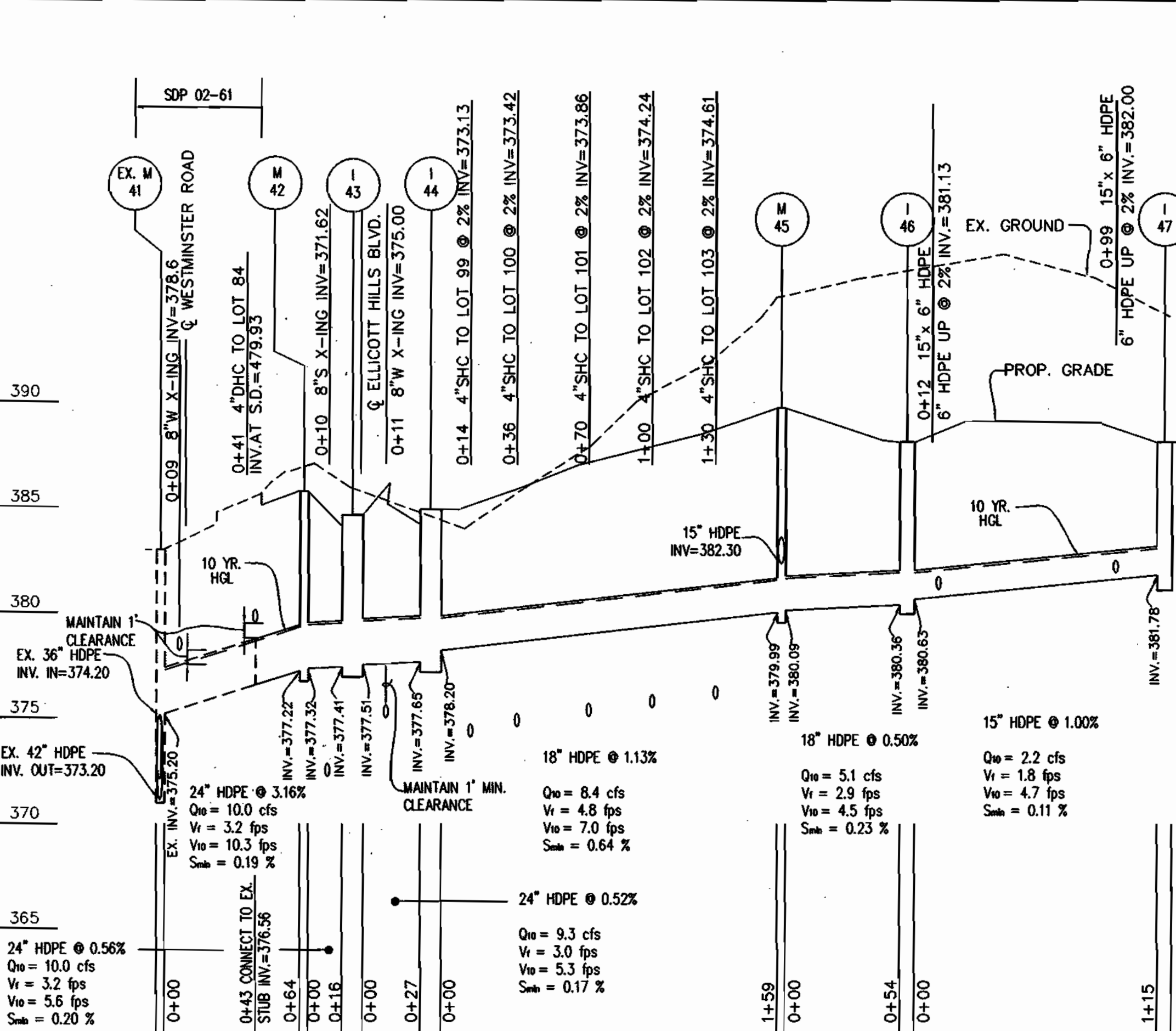
DATE	REVISION	BY	APPR.
4-18-02	Added 8" HDPE to Bldg A		

PREPARED FOR:
 (Owner/Developer)
 EXIT SEVEN LLC
 c/o Greenbaum & Rose Assoc., Inc.
 Suite 410, Woodhome Center
 1829 Redfern Road
 Baltimore, MD 21208
 Phone: 410-494-8400
 Attn: Mark Bennett or Charles O'Donovan

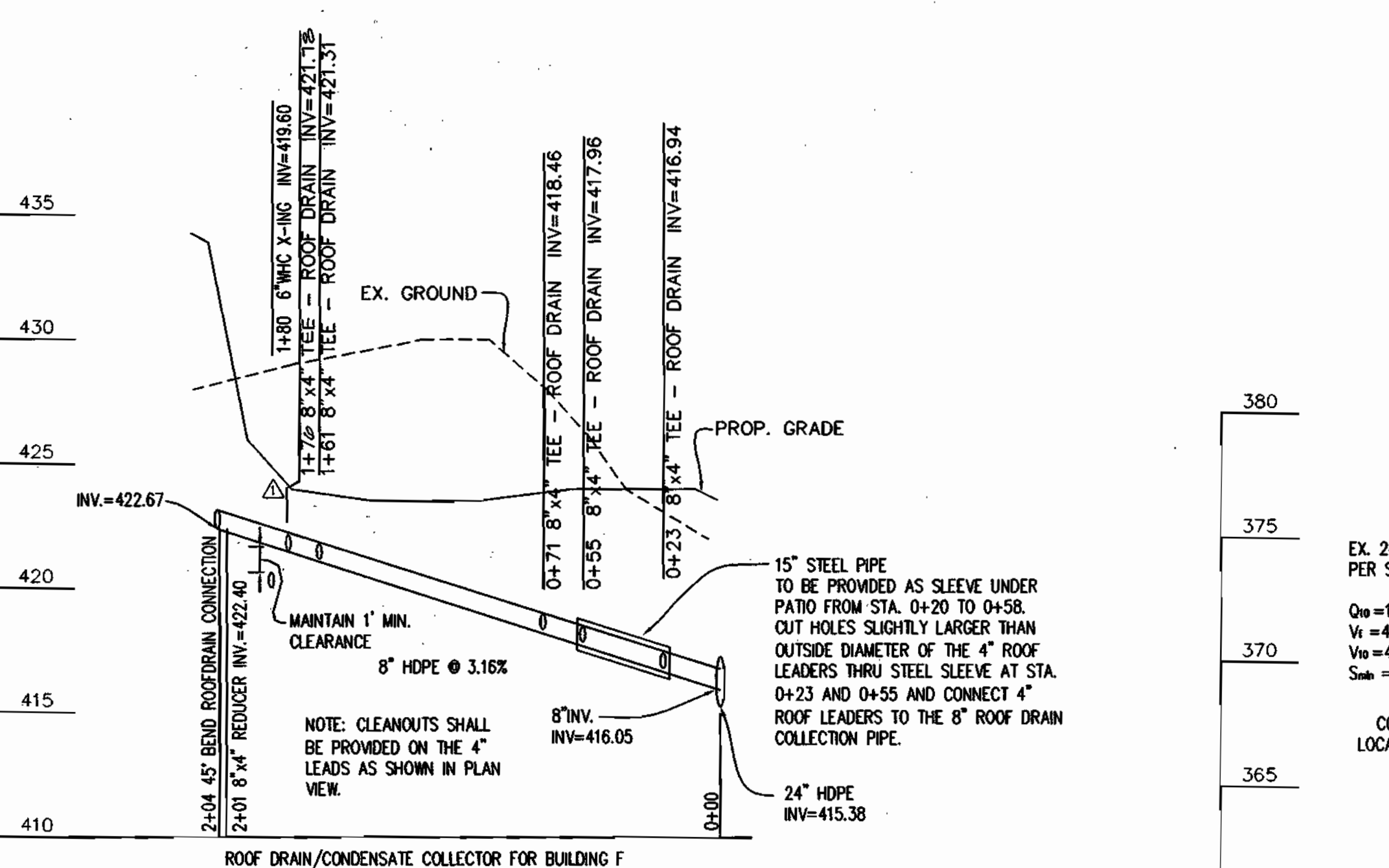
STORM DRAIN PROFILES
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
 PLAT Nos. 15219-15223
 7-15353-15357
 ELLICOTT CITY ELECTION DISTRICT No. 2
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
Vertical: 1" = 5' Horizontal: 1" = 5'	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	13 of 43

L:\CADD\DRAWINGS\00056\SDP\5-SDP-02-XX\SDP8-PF-SHOWING 03/14/2002 03:34:04 PM EST



NOTE: CONTRACTOR TO VERIFY LOCATION & INV. AT THE TIME OF CONSTRUCTION.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* Date: 4/19/02
 Chief, Division of Land Development: *[Signature]* Date: 4/19/02
 Chief, Development Engineering Division: *[Signature]* Date: 4/1/02



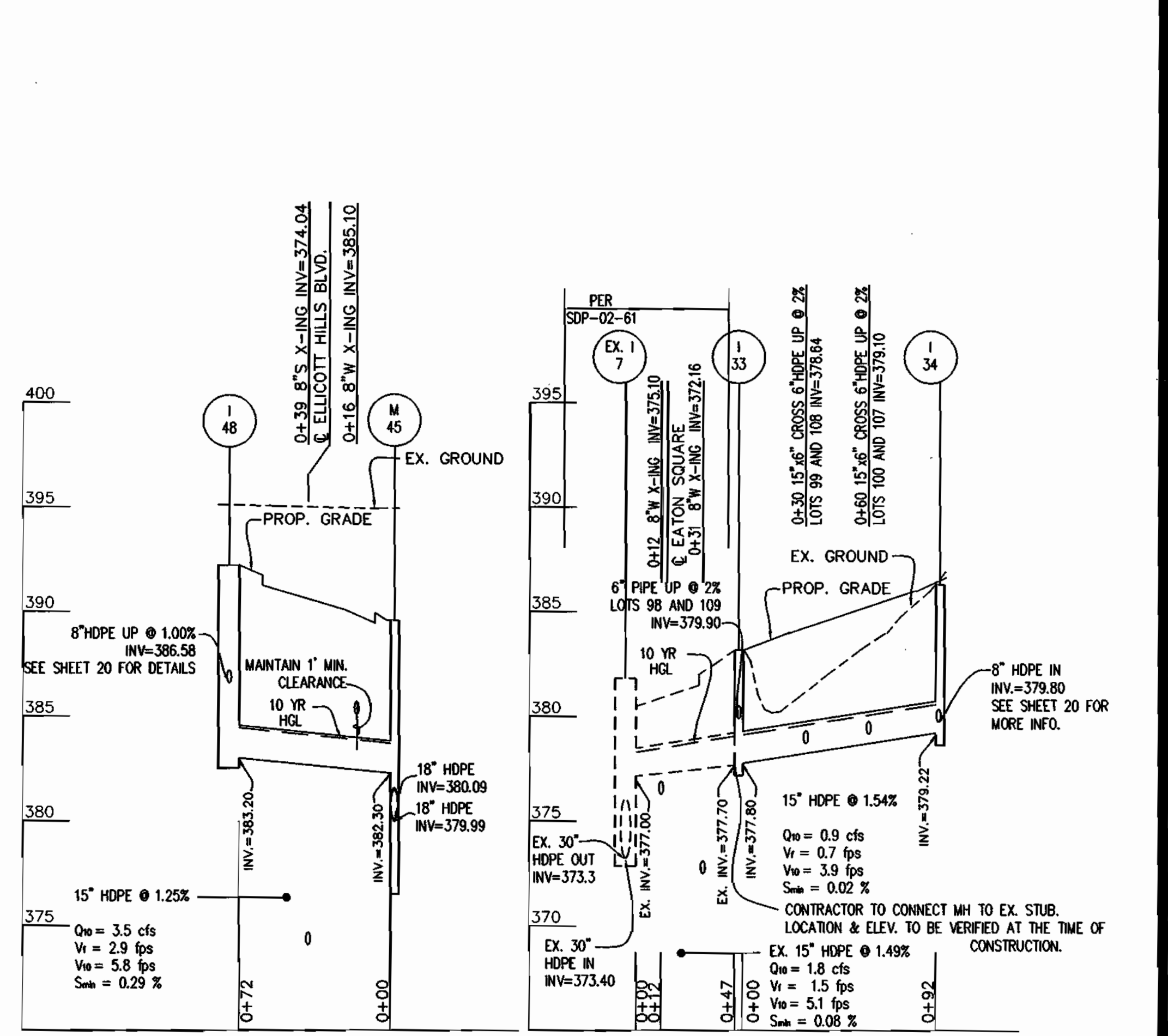
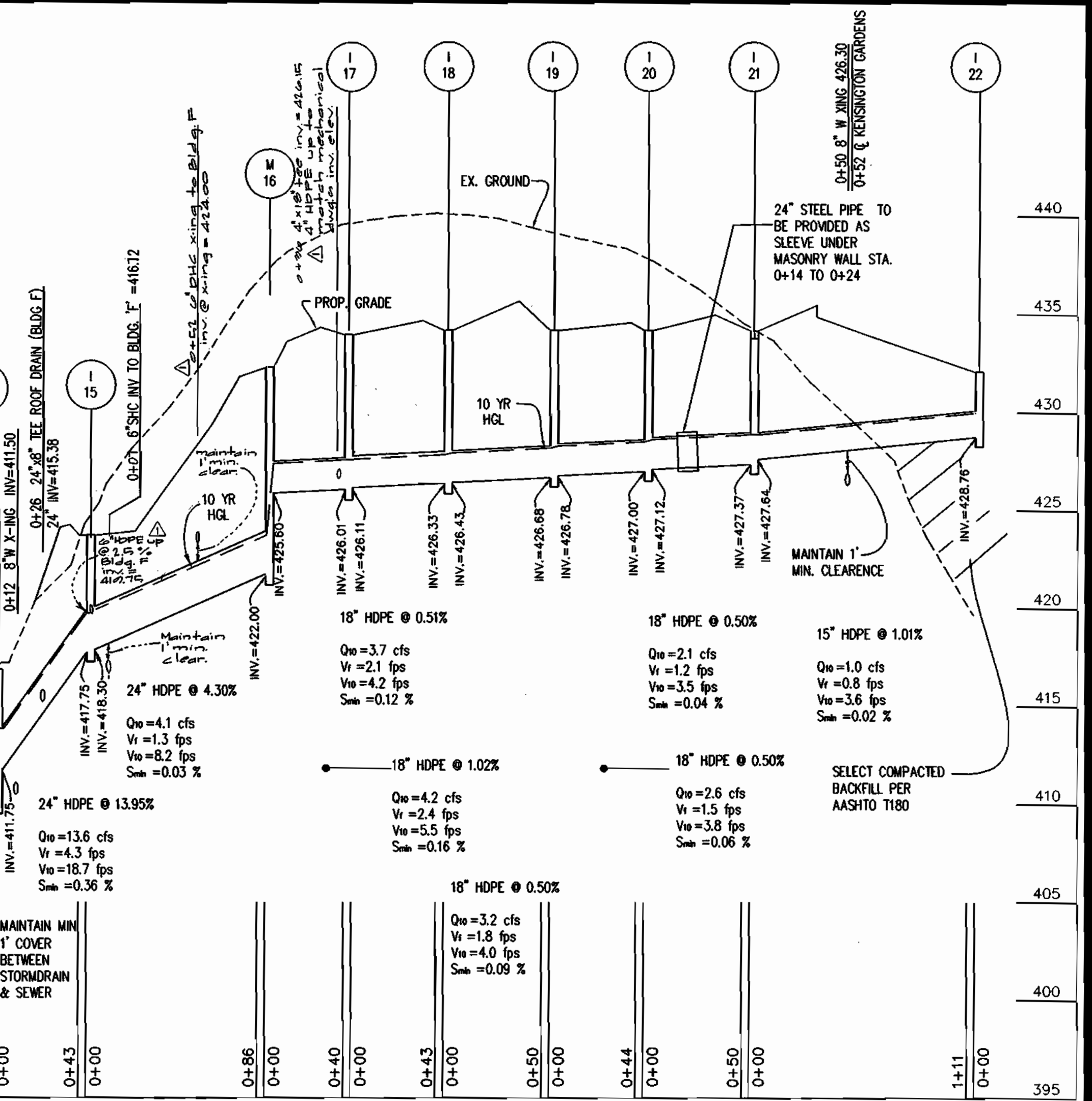
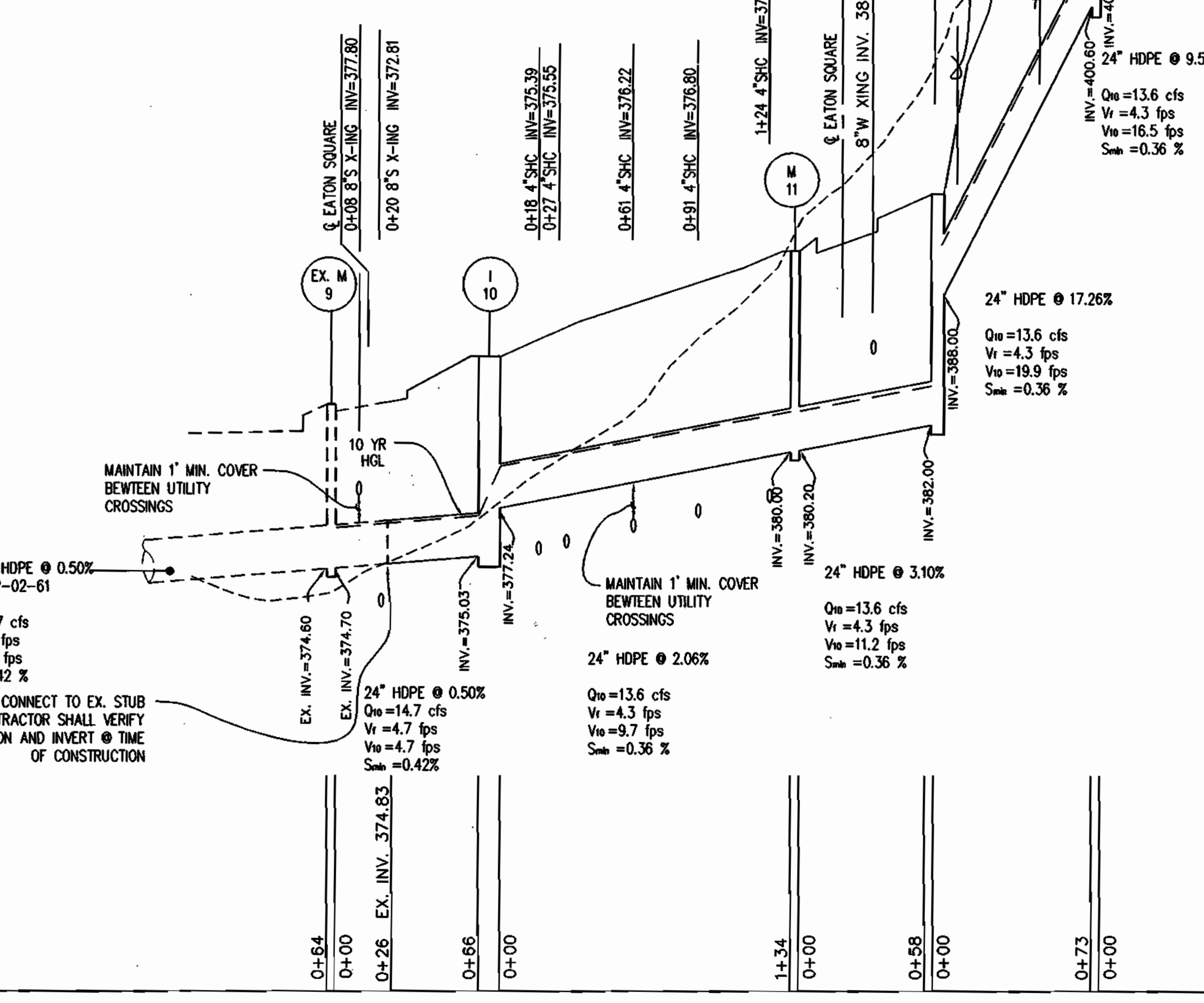
GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURNING WOOD OFFICE PARK
 BURNING WOOD, MARYLAND 20886
 TEL: 301-421-4024 FAX: 410-880-1820 DC/VA: 301-988-2524 FAX: 301-421-4186

STRUCTURE SCHEDULE								
STRUCTURE No.	TYPE	WIDTH (INSIDE) DIAMETER	TOP ELEVATION		INVERT ELEVATION		STANDARD DETAIL	REMARKS
			UPPER	LOWER	UPPER	LOWER		
10	A-10	3'-6"	384.63	384.37	377.24	375.03	SD 4.02/4.41	
11	PRECAST MH	4'-0"	389.20	-	380.20	380.00	G.5.12	
12	PRECAST MH	4'-0"	392.00	-	388.00	382.00	G.5.12	
13	PRECAST MH	4'-0"	408.50	-	404.00	400.00	G.5.12	
14	PRECAST MH	4'-0"	416.70	-	411.75	410.00	G.5.12	
15	D INLET	3'-6"	423.40	-	418.30	417.75	SD 4.39	(SUMP) WEIR OPENINGS ON N.S. & W SIDES WEIR INV.=422.57
16	PRECAST MH	4'-0"	432.00	-	425.60	422.00	G.5.12	
17	S INLET	3'-0"	434.00	-	428.30	426.01	SD 4.22	4" HDPE FOR UPPER INV.
18	S INLET	3'-0"	434.00	-	426.43	426.33	SD 4.22	
19	S INLET	3'-0"	434.00	-	426.78	426.68	SD 4.22	
20	S INLET	3'-0"	434.00	-	427.12	427.00	SD 4.22	
21	S COMB. INLET	3'-0"	TC=434.09	-	427.64	427.37	SD 4.32	
22	A-10	2'-6"	432.12	-	428.76	427.37	SD 4.02/4.41	TOP OF SLAB ELEVATION LISTED (SUMP)
33	S INLET	3'-0"	383.17	-	379.81	379.71	SD 4.22	
34	S INLET	2'-7"	386.35	-	383.00	383.00	SD 4.22	ALL UPPER INVS. ARE THE SAME ELEVATION (SEE SHT. 20)
42	PRECAST MH	4'-0"	385.63	-	377.32	377.22	G.5.12	
43	A-10	2'-6"	385.47	385.15	377.51	377.41	SD 4.02/4.41	
44	A-10	2'-6"	384.46	384.26	378.20	377.65	SD 4.02/4.41	
45	PRECAST MH	4'-0"	389.20	-	382.30	379.99	G.5.12	
46	DOUBLE S INLET	3'-0"	TC=388.60	-	380.63	380.36	SD 4.23	
47	DOUBLE S INLET	3'-0"	TC=388.60	-	381.78	381.78	SD 4.23	
48	A-10	2'-6"	392.70	392.35	386.58	383.20	SD 4.02/4.41	TOP OF SLAB ELEVATION LISTED

NOTE: STRUCTURES SHOWN ON MORE THAN ONE PAGE ARE ONLY SHOWN IN ONE STRUCTURE SCHEDULE.
 SEE PLAN & PROFILES FOR OTHER INVS FOR STRUCTURES WITH MULTIPLE PIPES

PIPE SCHEDULE			
SIZE	TYPE	QUANTITY (L.F.)	REMARKS
4"	HDPE	27	
6"	HDPE	76	
8"	HDPE	201	
15"	HDPE	437	
18"	HDPE	440	
24"	HDPE	561	
15"	STEEL	38	SLEEVE
24"	STEEL	10	SLEEVE

NOTE: ALL HDPE 12" THRU 42" SHALL BE AASHTO M 294-90 TYPE "S" (SMOOTH LINED).
 ALL HDPE 3" THRU 10" SHALL BE AASHTO M 292-90 TYPE "S" (SMOOTH LINED).



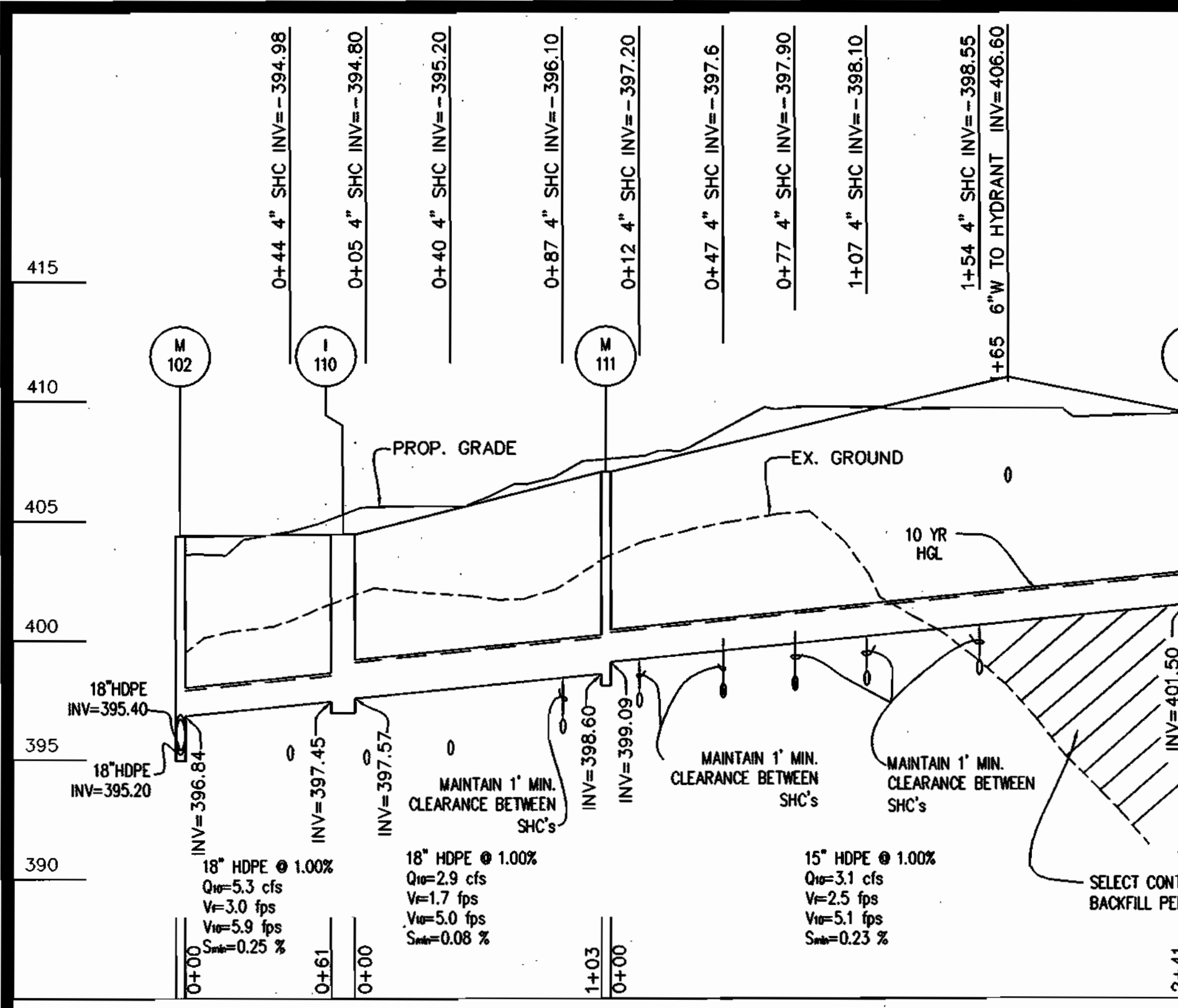
STORM DRAIN PROFILES
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
 PLAT No. 15319-15323
 + 15353-15357

SCALE: Vertical 1" = 5'
 Horizontal 1" = 5'

DATE: 18/MAR/02
 TAX MAP - GRID: 17-17,18,24
 SHEET: 14 of 43

ZONING: POR
 G. L. W. FILE No.: 00-050

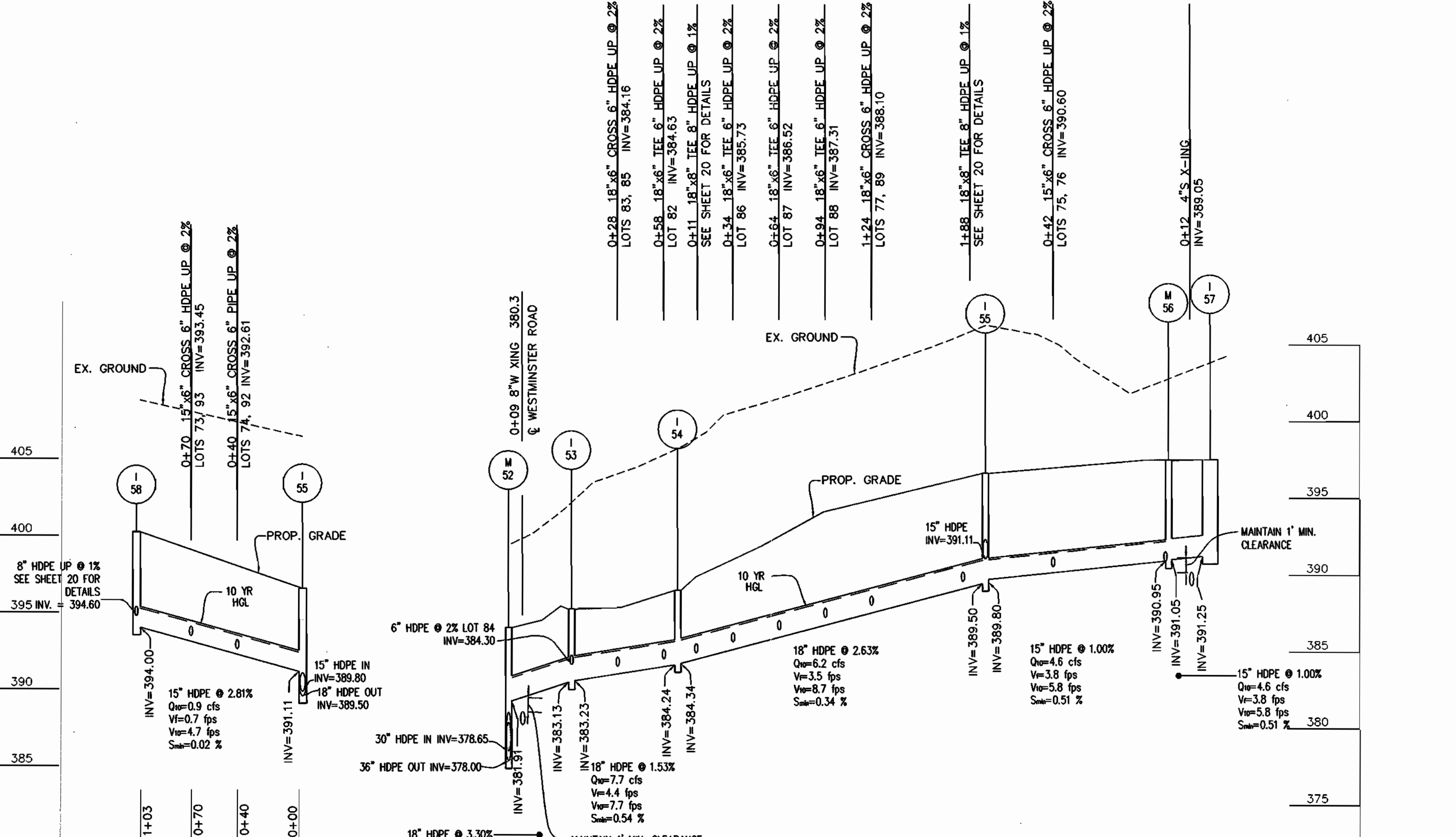
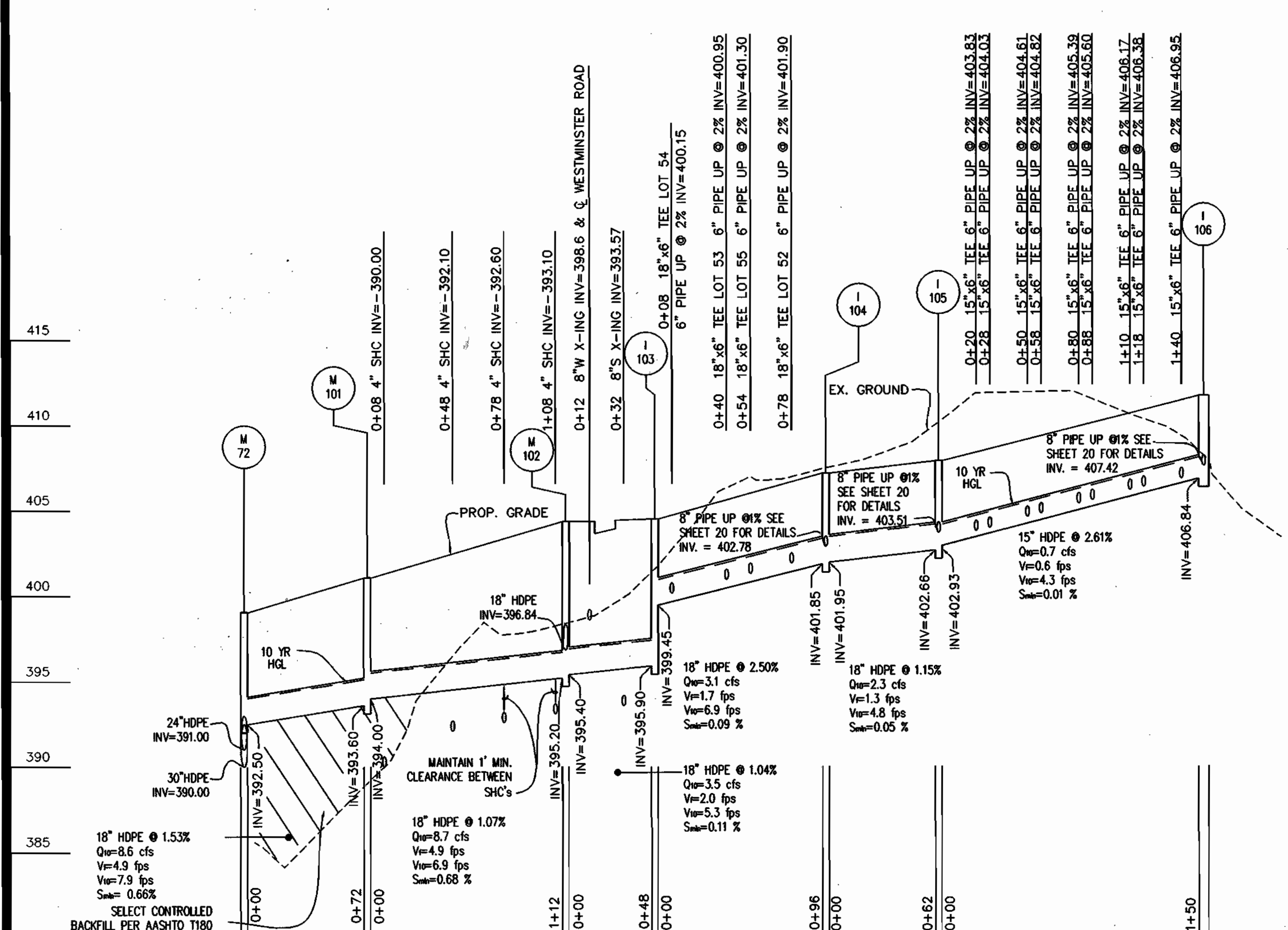
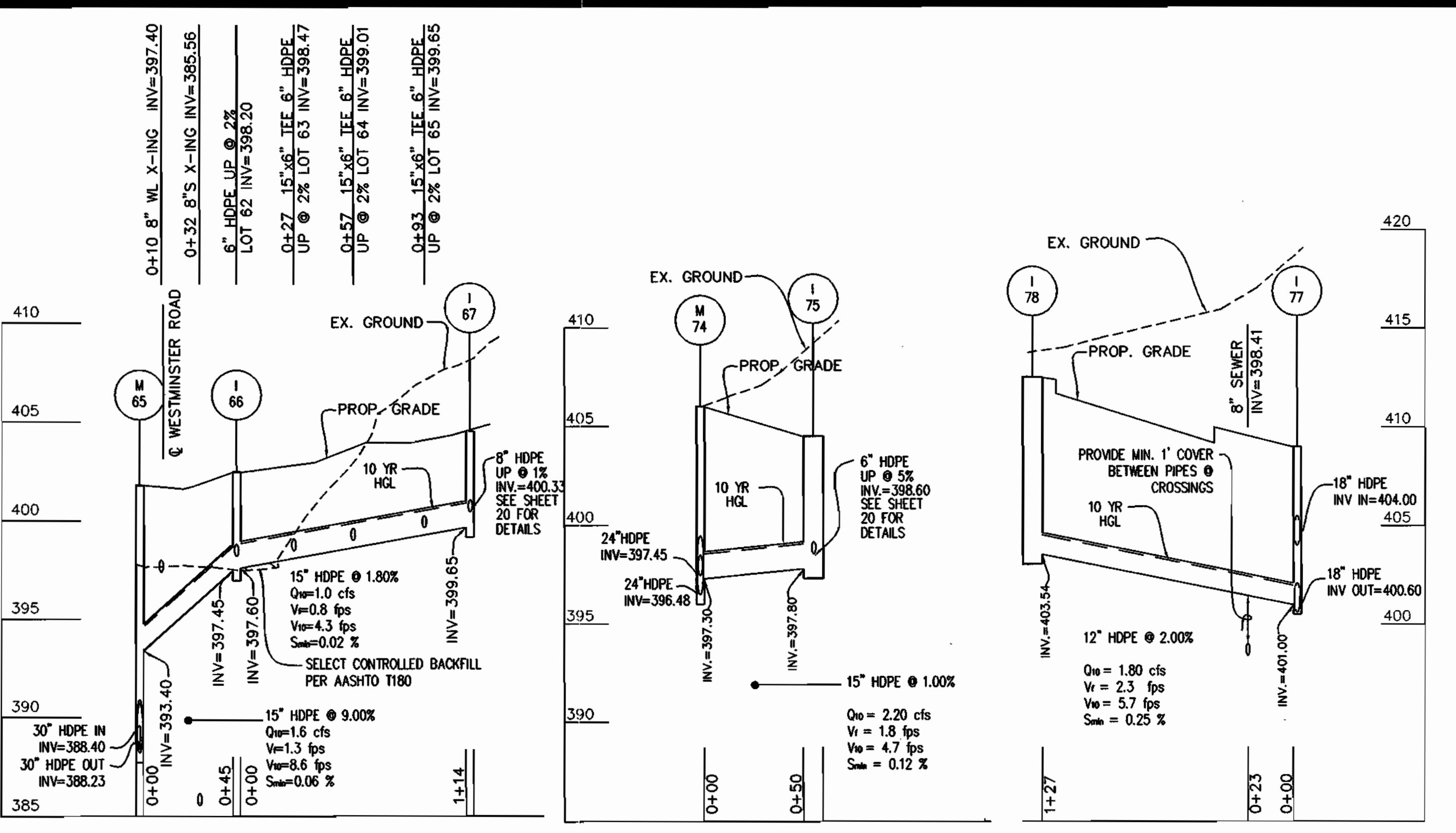
HOWARD COUNTY, MARYLAND



STRUCTURE No.	TYPE	WIDTH (INSIDE) DIAMETER	TOP ELEVATION		STANDARD DETAIL	REMARKS
			UPPER	LOWER		
25	S INLET	1'-0"	387.60	383.23	SD 4.22	
26	S INLET	1'-0"	389.30	384.34	SD 4.22	
27	S INLET	1'-0"	396.70	391.11	SD 4.22	
28	PRECAST MH	4'-0"	397.10	391.05	C.S.12	
29	A-10	2'-6"	397.50	391.25	SD 4.02	TOP OF SLAB ELEVATION LISTED (SUMP)
30	S INLET	1'-0"	394.60	394.00	SD 4.22	
31	S INLET	1'-0"	392.10	387.45	SD 4.22	SUMP
32	S INLET	1'-0"	404.50	400.25	SD 4.22	
33	A-10	2'-6"	404.50	397.80	SD 4.02	TOP OF SLAB ELEVATION LISTED (SUMP) SEE PLAN VIEW SHEET 20
34	A-10	2'-6"	413.17	412.67	SD 4.02	
35	IP	4'-0"	400.00	393.60	C.S.12	
36	PRECAST MH	4'-0"	403.60	398.84	C.S.12	
37	S INLET	1'-0"	404.60	398.45	SD 4.22	SUMP
104	S INLET	1'-0"	406.80	402.78	SD 4.22	SEE PLAN VIEW SHEET 20
105	S INLET	1'-0"	407.30	403.51	SD 4.22	SEE PLAN VIEW SHEET 20
106	S INLET	1'-0"	411.18	407.42	SD 4.22	SEE PLAN VIEW SHEET 20
110	A-10	2'-6"	405.11	404.88	SD 4.02	TOP OF SLAB ELEVATION LISTED
111	PRECAST MH	4'-0"	407.60	399.09	C.S.12	
112	A-10	2'-6"	408.50	401.50	SD 4.02	TOP OF SLAB ELEVATION LISTED (SUMP)

SIZE	TYPE	QUANTITY (L.F.)	REMARKS
6"	HDPE	320	
12"	HDPE	127	
15"	HDPE	838	
18"	HDPE	853	

NOTE: ALL HDPE 12" TO 42" SHALL BE AASHTO M 294-90 TYPE "S" (SMOOTH LINED). ALL HDPE 3" TO 10" SHALL BE AASHTO M 292-90 TYPE "S" (SMOOTH LINED).



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* Date: 4/9/02
 Chief, Division of Land Development: *[Signature]* Date: 4/9/02
 Chief, Development Engineering Division: *[Signature]* Date: 4/10/02



GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONTVILLE OFFICE PARK
 BURTONTVILLE, MARYLAND 20866
 TEL: 301-421-4024 FAX: 301-421-4186
 DUNEL: 410-880-1820 DC/VA: 301-989-2524

NO.	DATE	REVISION	BY	APP'R.

PREPARED FOR:
 (Owner/Developer)
 ENI SEVEN LLC
 c/o Greenbrook & Rose Assoc., Inc.
 Suite 410, Woodbine Center
 1829 Reisterstown Road
 Baltimore, MD 21208
 Phone: 410-491-3400
 Attn: Mark Bennett or Charles O'Donovan

STORM DRAIN PROFILES
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
 PLAT No. 15319-15323
 + 15353-15357
 ELLICOTT CITY ELECTION DISTRICT No. 2
 HOWARD COUNTY, MARYLAND

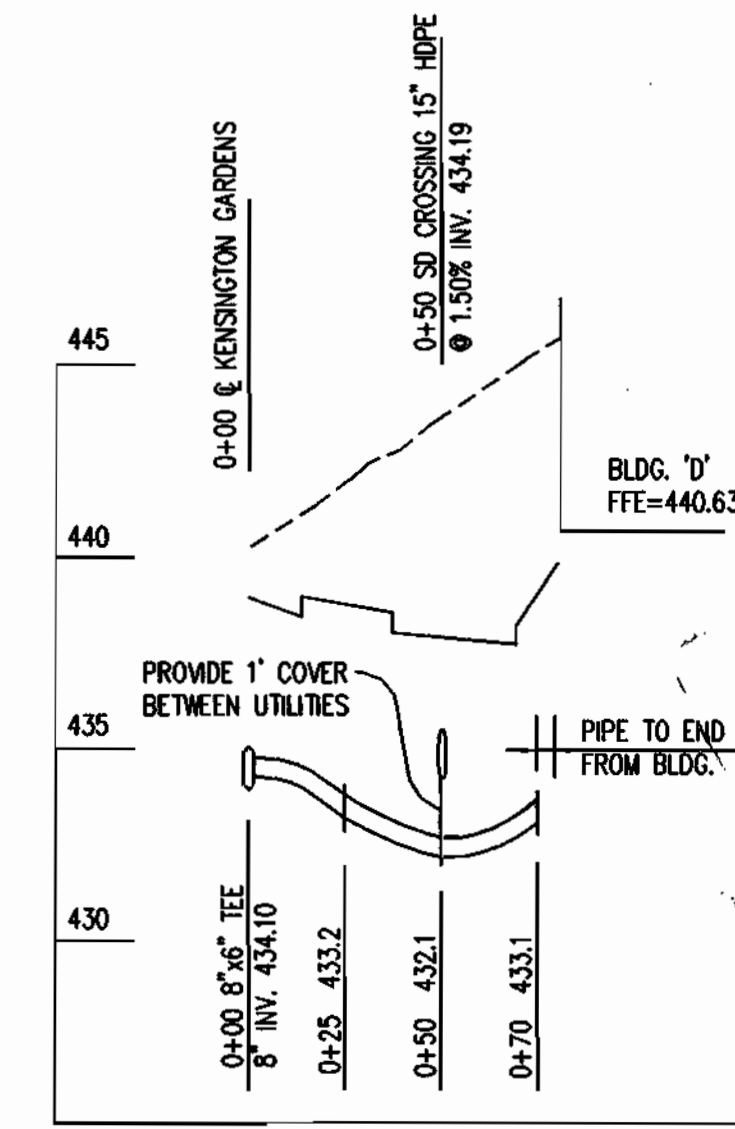
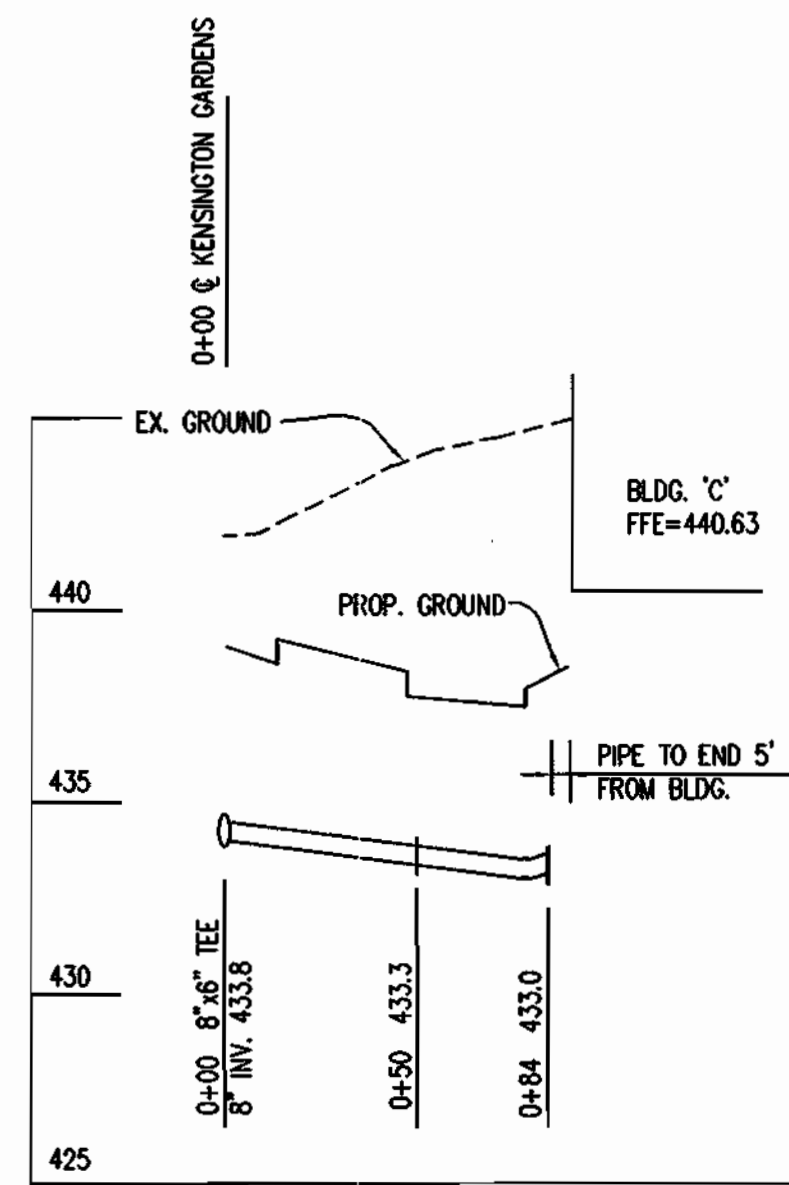
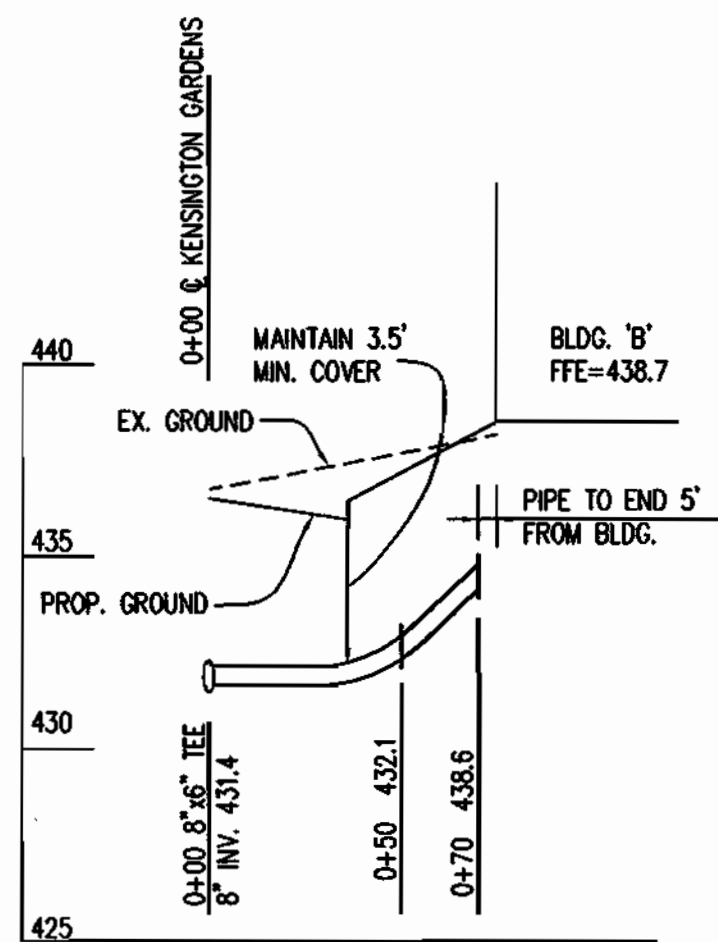
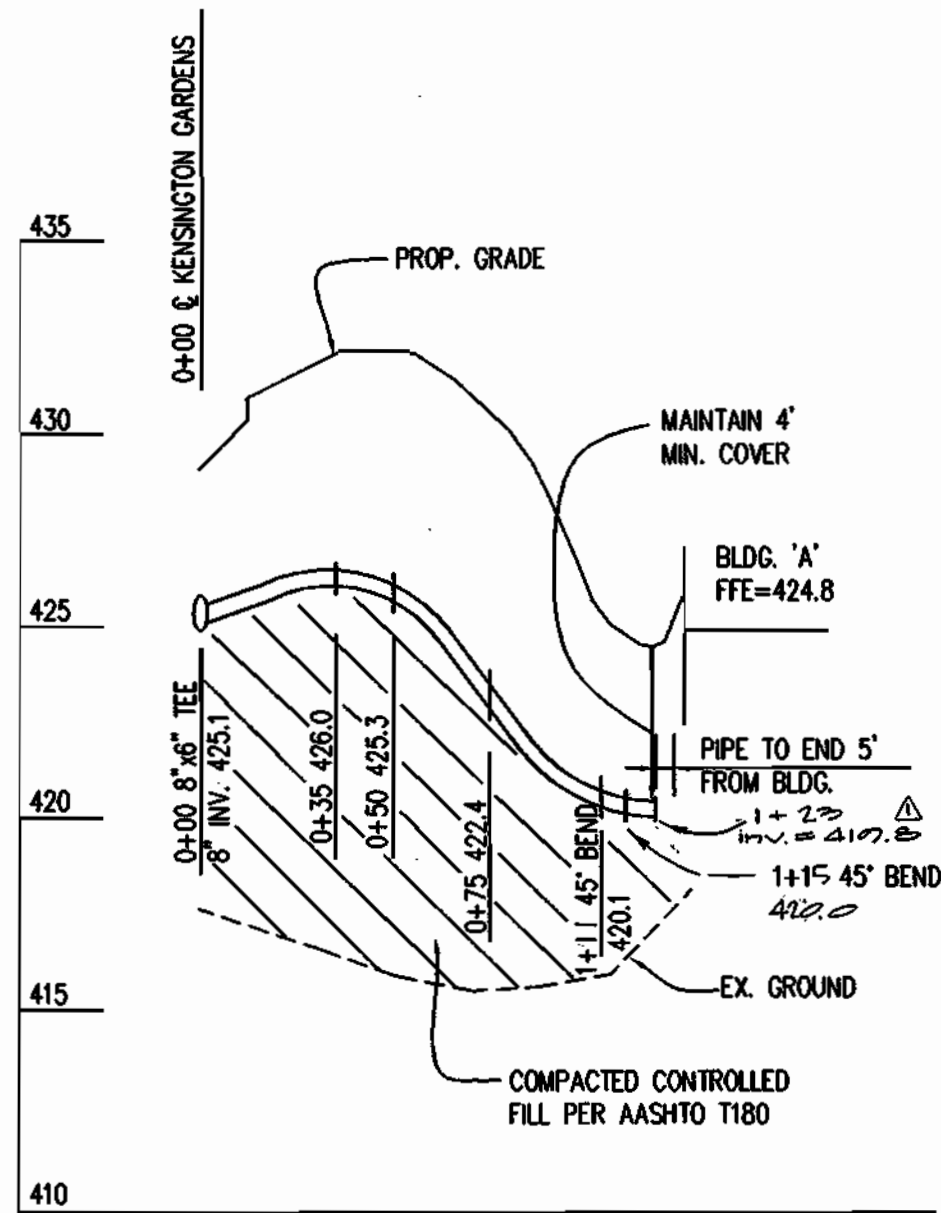
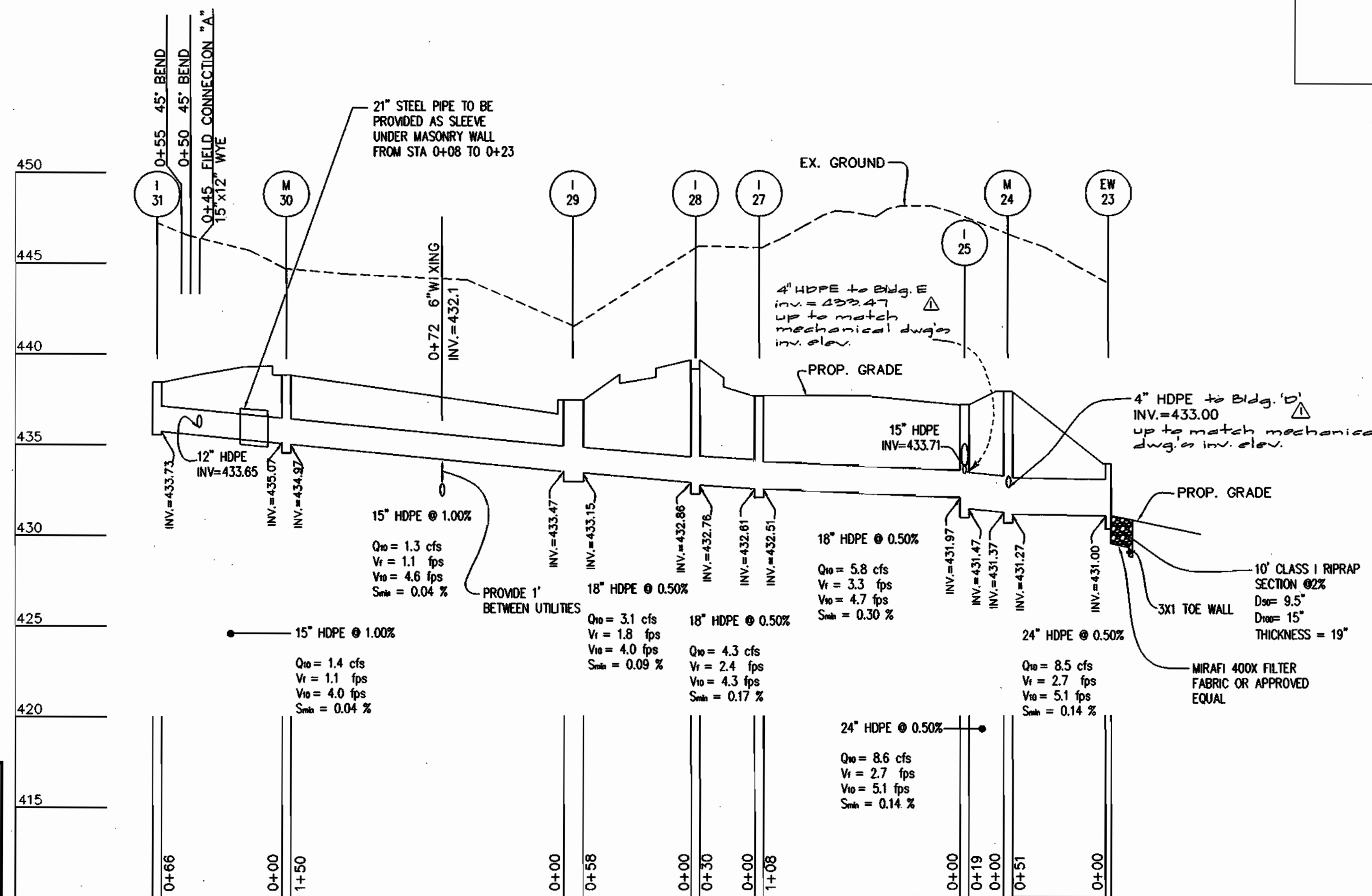
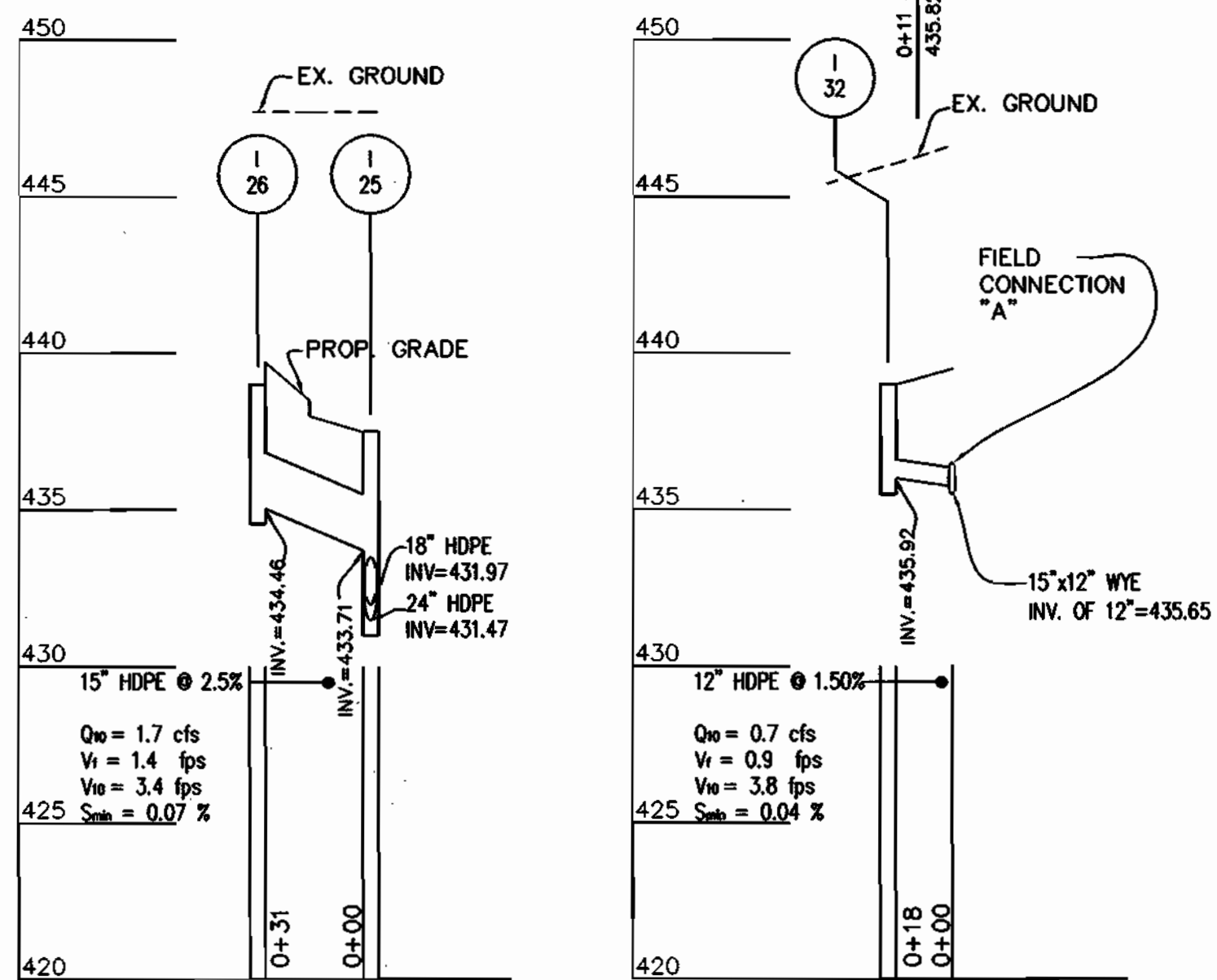
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1"=50'	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	15 of 43

STRUCTURE SCHEDULE								
STRUCTURE No.	TYPE	WIDTH (INSIDE) DIAMETER	TOP ELEVATION		INVERT ELEVATION		STANDARD DETAIL	REMARKS
			UPPER	LOWER	UPPER	LOWER		
23	24" TYPE C ENDWALL	2'-0"	433.75	-	431.00	-	SD 5.21	-
24	PRECAST MH	4'-0"	437.65	-	433.00	431.27	G.5.12	4" HDPE AS UPPER INVERT
25	S INLET	2'-7"	437.27	-	433.71	431.47	SD 4.22	SUMP
26	S COMB. INLET	2'-7"	TC=439.46	-	-	434.46	SD 4.32	SUMP
27	DOUBLE S INLET	2'-7-1/2"	437.20	-	432.61	432.51	SD 4.23	SUMP
28	S COMB. INLET	3'-0"	TC=439.22	-	-	432.86	SD 4.32	SUMP
29	A-10	2'-6"	437.00	-	433.47	433.15	SD 4.02	TOP OF SLAB ELEVATION LISTED (SUMP)
30	PRECAST MH	4'-0"	436.90	-	435.07	434.97	G.5.12	-
31	S INLET	2'-7"	436.80	-	435.73	435.73	SD 4.22	SUMP
32	S INLET	2'-7"	436.80	-	435.92	435.92	SD 4.22	SUMP
91	S INLET	2'-7"	434.00	-	429.04	428.94	SD 4.22	SUMP
92	S INLET	2'-7"	434.00	-	429.64	429.54	SD 4.22	SUMP
93	S INLET	2'-7"	434.00	-	430.17	430.07	SD 4.22	SUMP
94	S COMB. INLET	2'-7"	TC=434.11	-	-	430.80	SD 4.32	SUMP

NOTE: STRUCTURES LISTED ON MORE THAN ONE PAGE ARE ONLY LISTED IN ONE STRUCTURE SCHEDULE.
SEE PLAN VIEW AND PROFILES FOR OTHER INV'S FOR STRUCTURES WITH MULTIPLE PIPES.

PIPE SCHEDULE			
SIZE	TYPE	QUANTITY (L.F.)	REMARKS
4"	HDPE	122	0
12"	HDPE	18	0
15"	HDPE	487	0
18"	HDPE	196	0
24"	HDPE	70	0
21"	STEEL	25	SLEEVE

NOTE: ALL HDPE 12" THRU 42" SHALL BE AASHTO M 294-90 TYPE "S" (SMOOTH LINED).
ALL HDPE 3" THRU 10" SHALL BE AASHTO M 292-90 TYPE "S" (SMOOTH LINED).

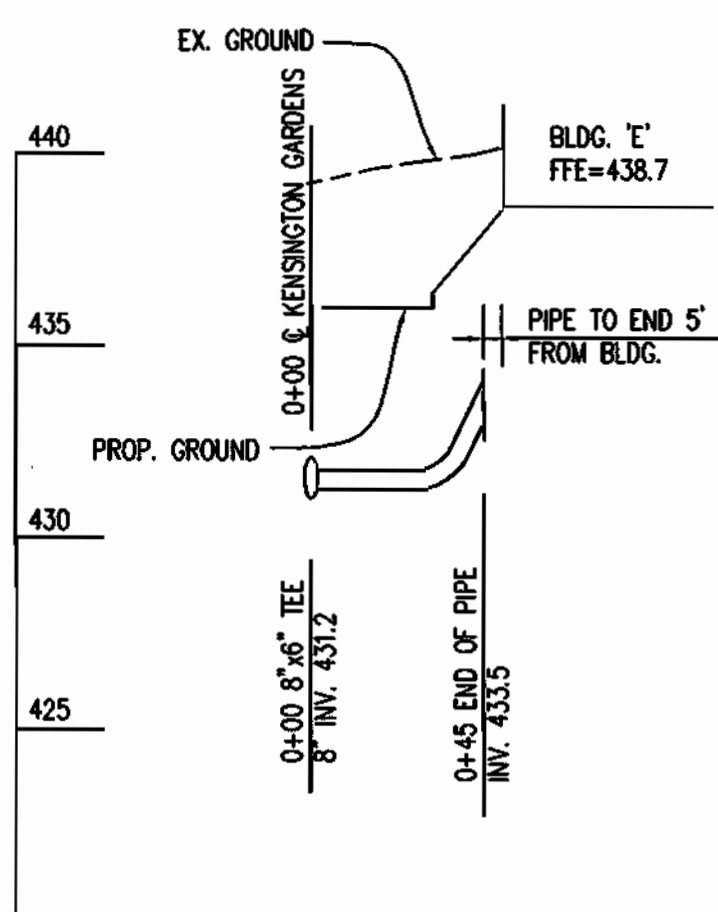


6" WHC TO BLDG. 'A'
SCALE: 1"=50'H. 1"=5'V.

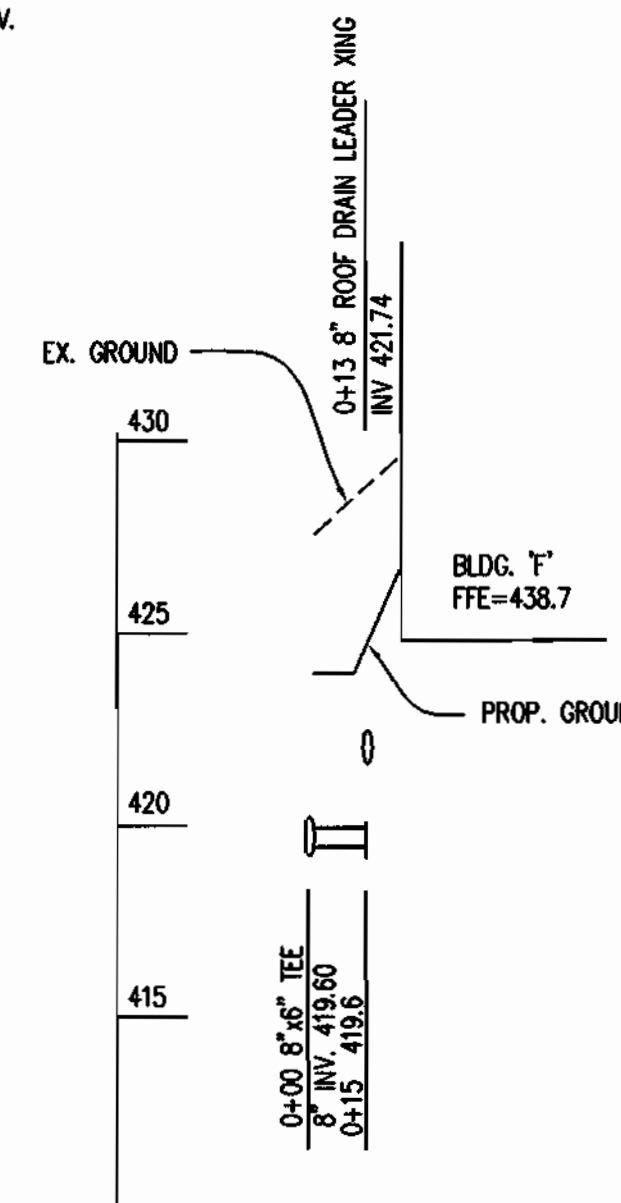
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SCALE: 1"=50'H. 1"=5'V.

6" WHC TO BLDG. 'C'
SCALE: 1"=50'H. 1"=5'V.

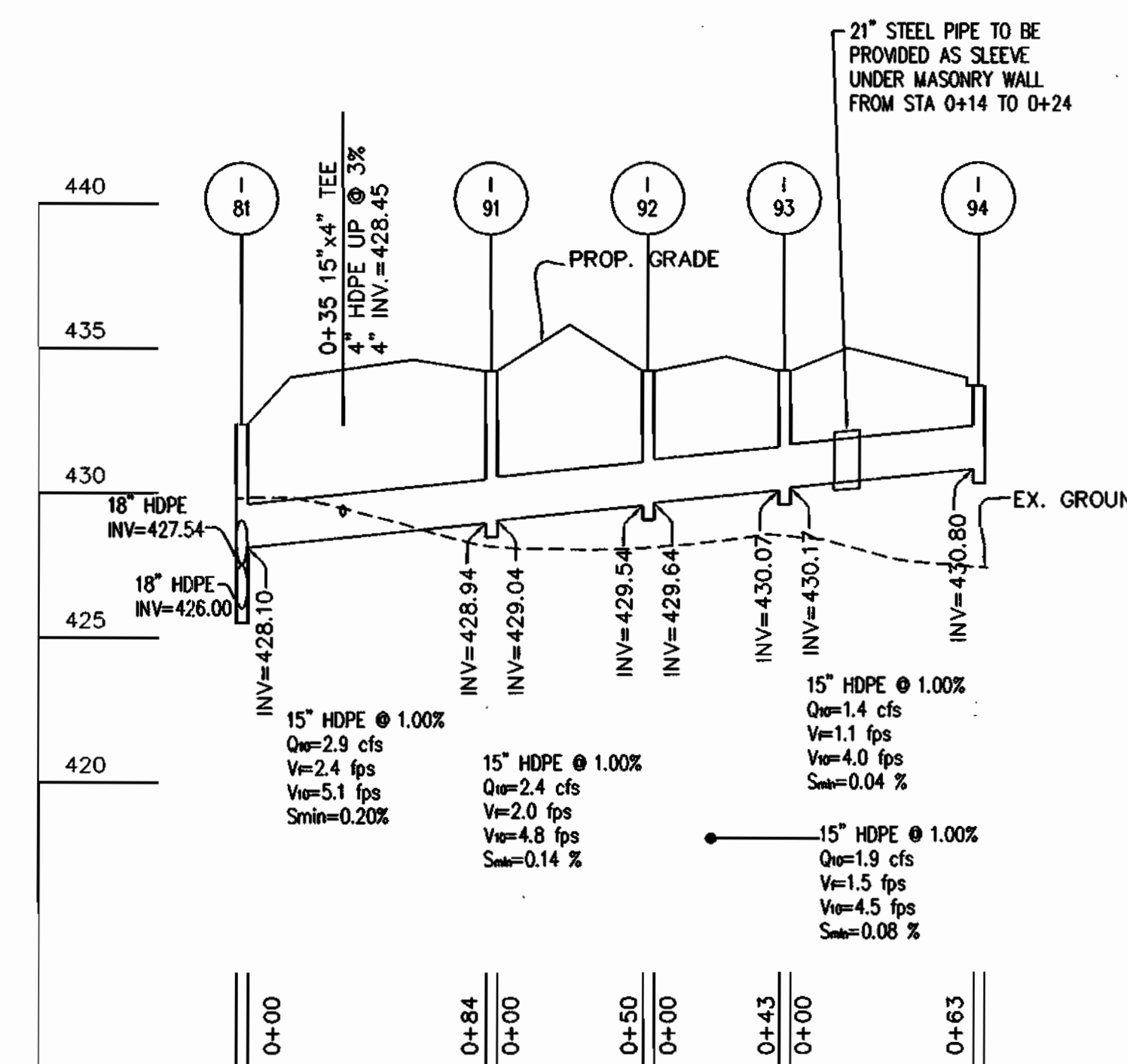
6" WHC TO BLDG. 'D'
SCALE: 1"=50'H. 1"=5'V.



6" WHC TO BLDG. 'E'
SCALE: 1"=50'H. 1"=5'V.



6" WHC TO BLDG. 'F'
SCALE: 1"=50'H. 1"=5'V.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 4/19/02
Chief, Division of Land Development: *[Signature]* Date: 4/19/02
Chief, Development Engineering Division: *[Signature]* Date: 4/1/02

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

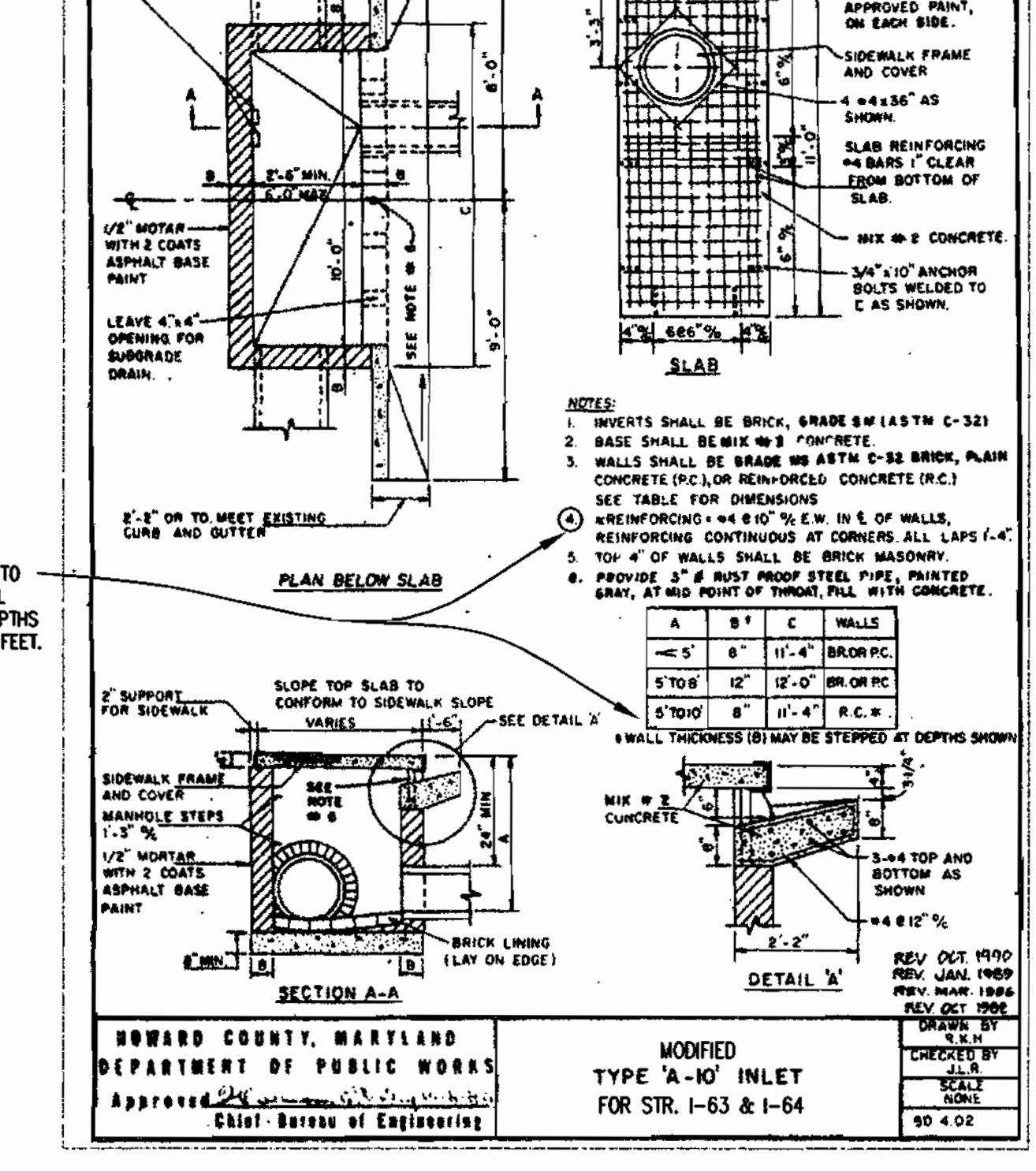
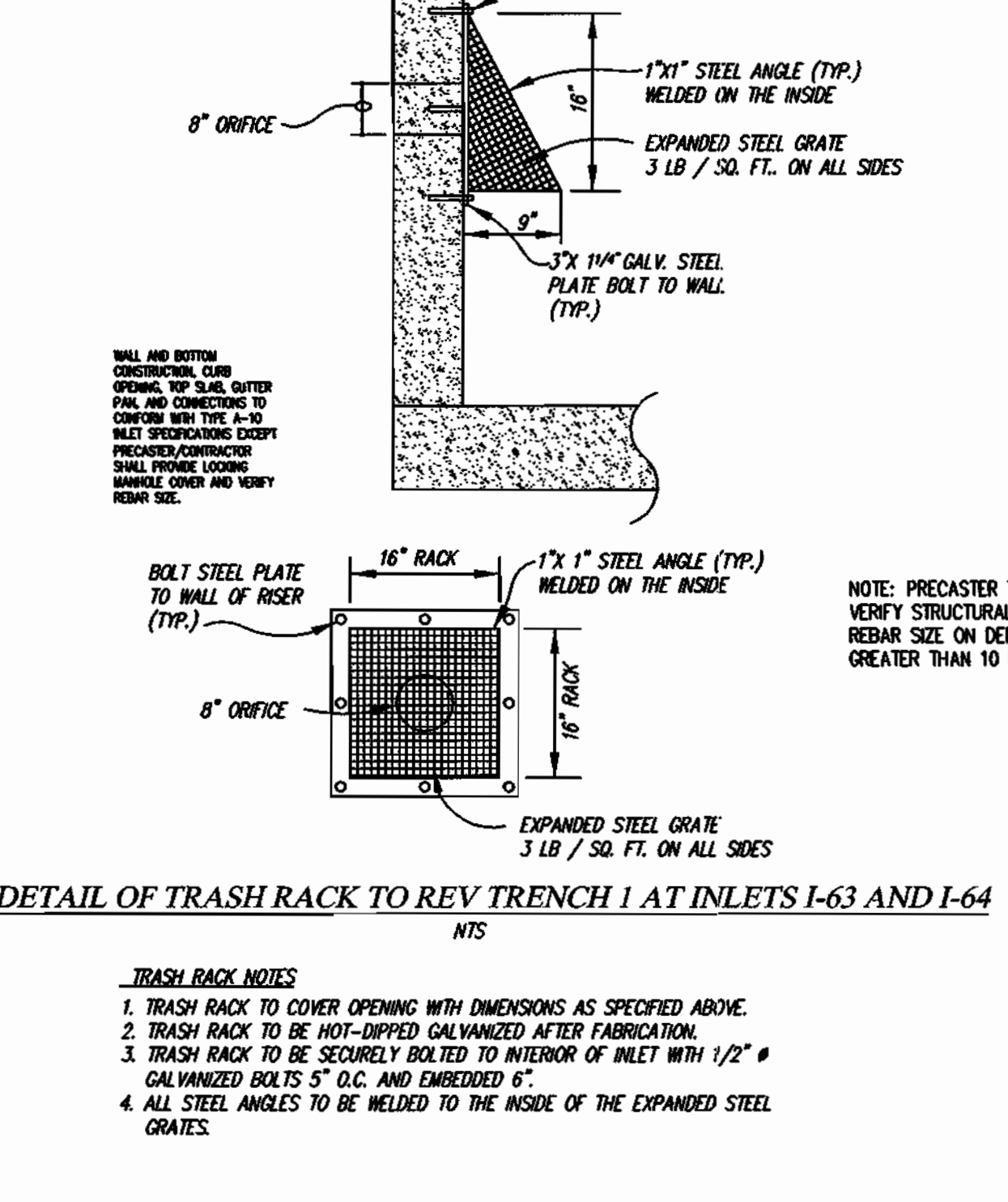
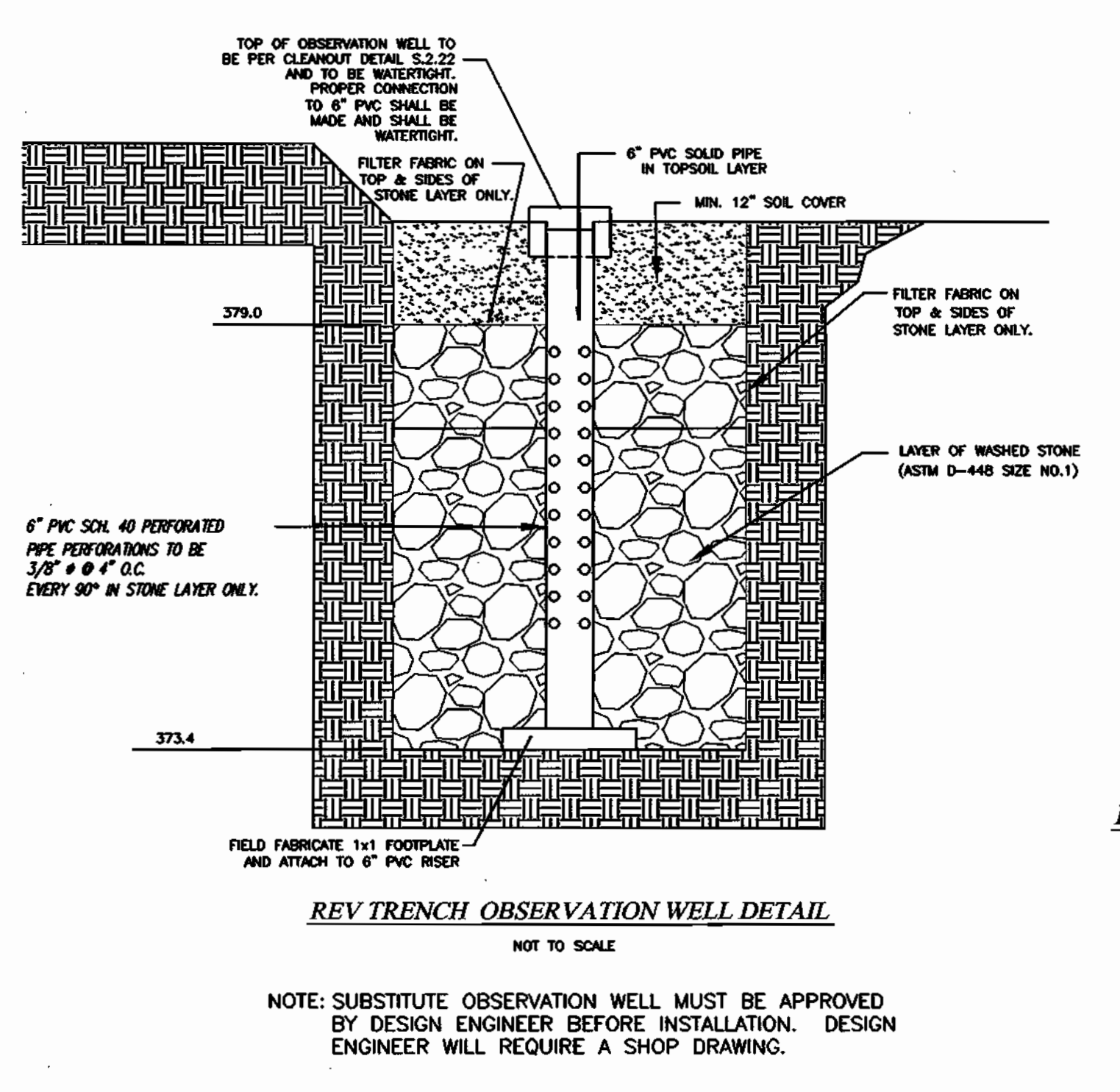
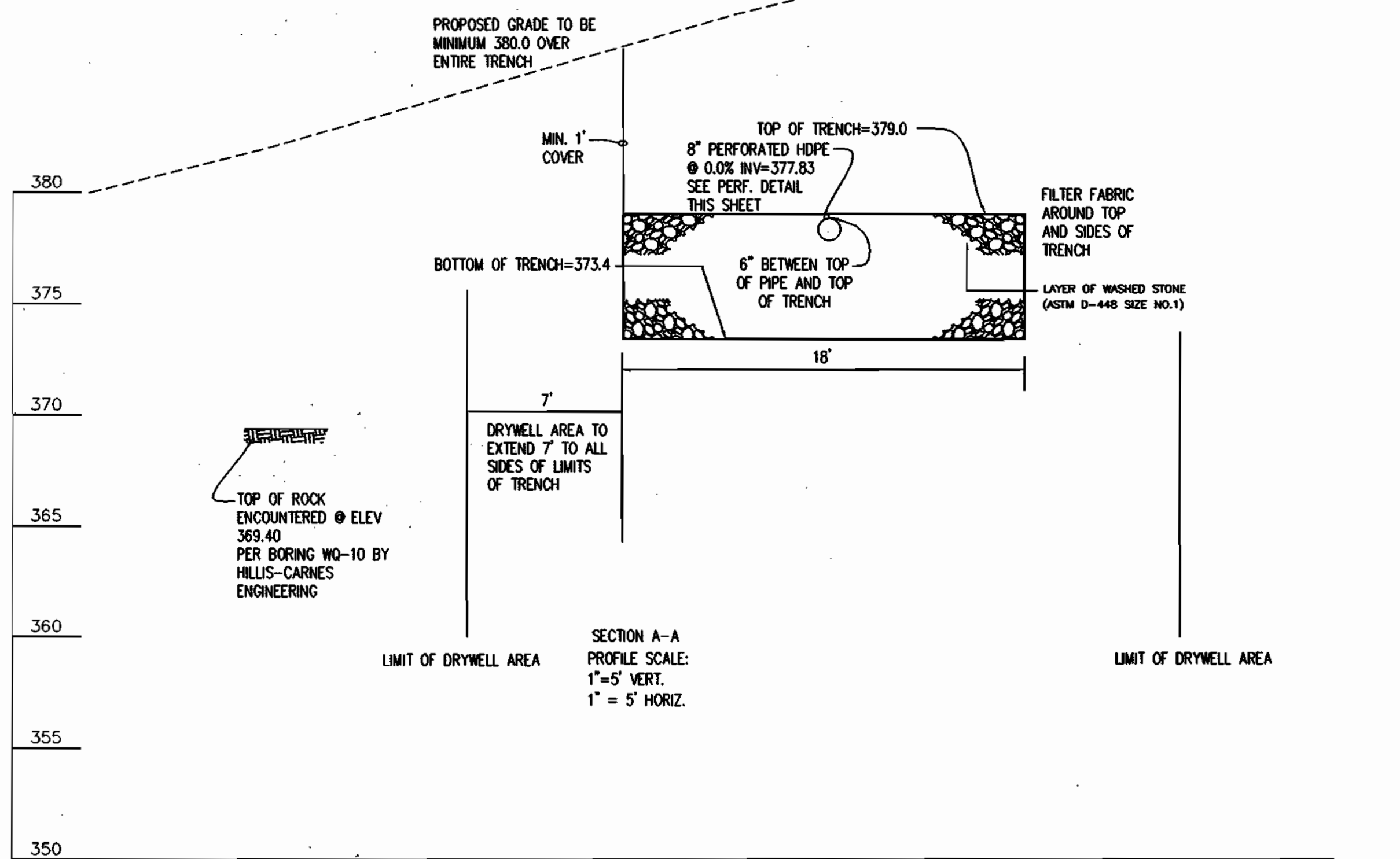
PREPARED FOR:
(Owner/Developer)
EXIT SEVEN LLC
c/o Greenbaum & Rose Assoc., Inc.
Suite 410, Woodburne Center
1829 Ridelstone Road
Baltimore, MD 21208
Phone: 410-484-8400
Attn: Mark Bennett or Charles O'Donovan

STORM DRAIN PROFILES
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
PLAT Nos. 15319-15323
+ 15353-15357

SCALE 1"=50'H 1"=5'V	ZONING POR	G. L. W. FILE No. 00-050
DATE 18/MAR/02	TAX MAP - GRID 17-17,18,24	SHEET 16 of 43

ELLICOTT CITY ELECTION DISTRICT No. 2

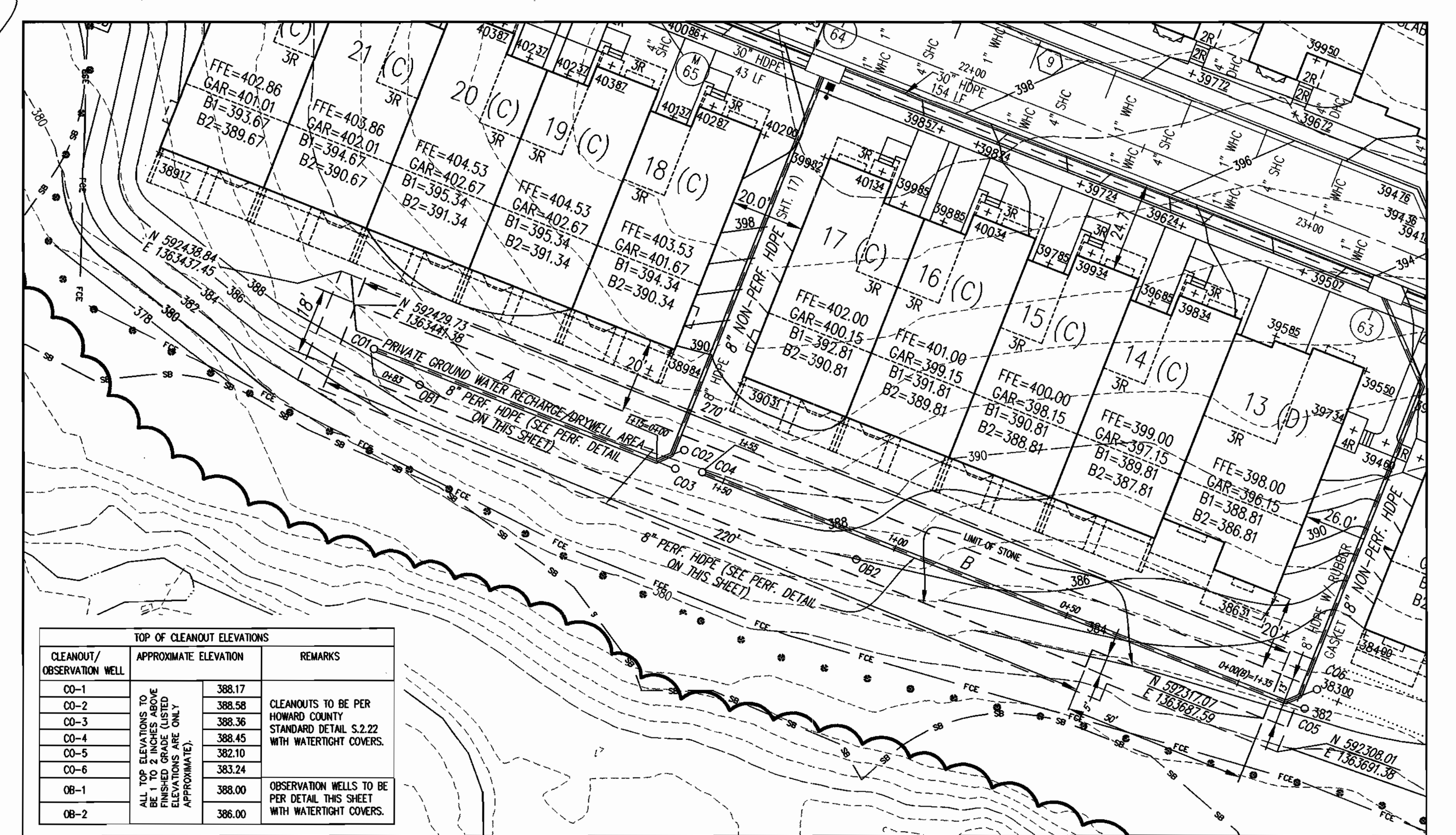
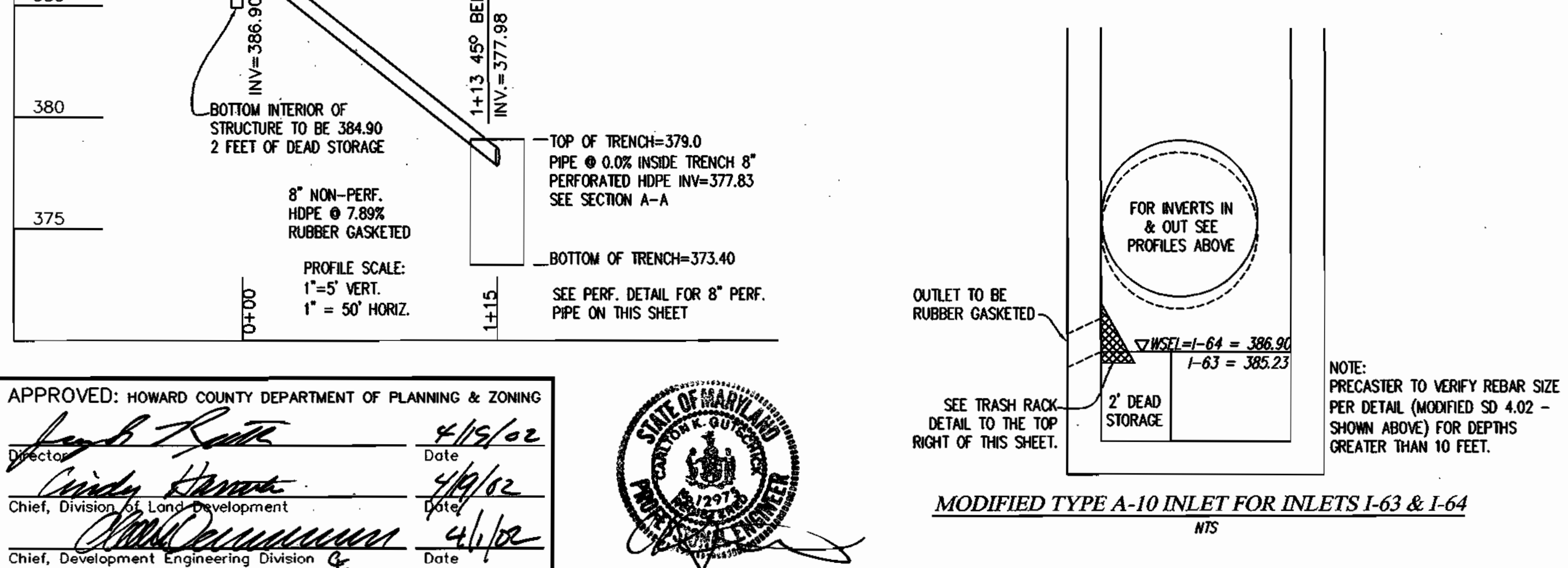
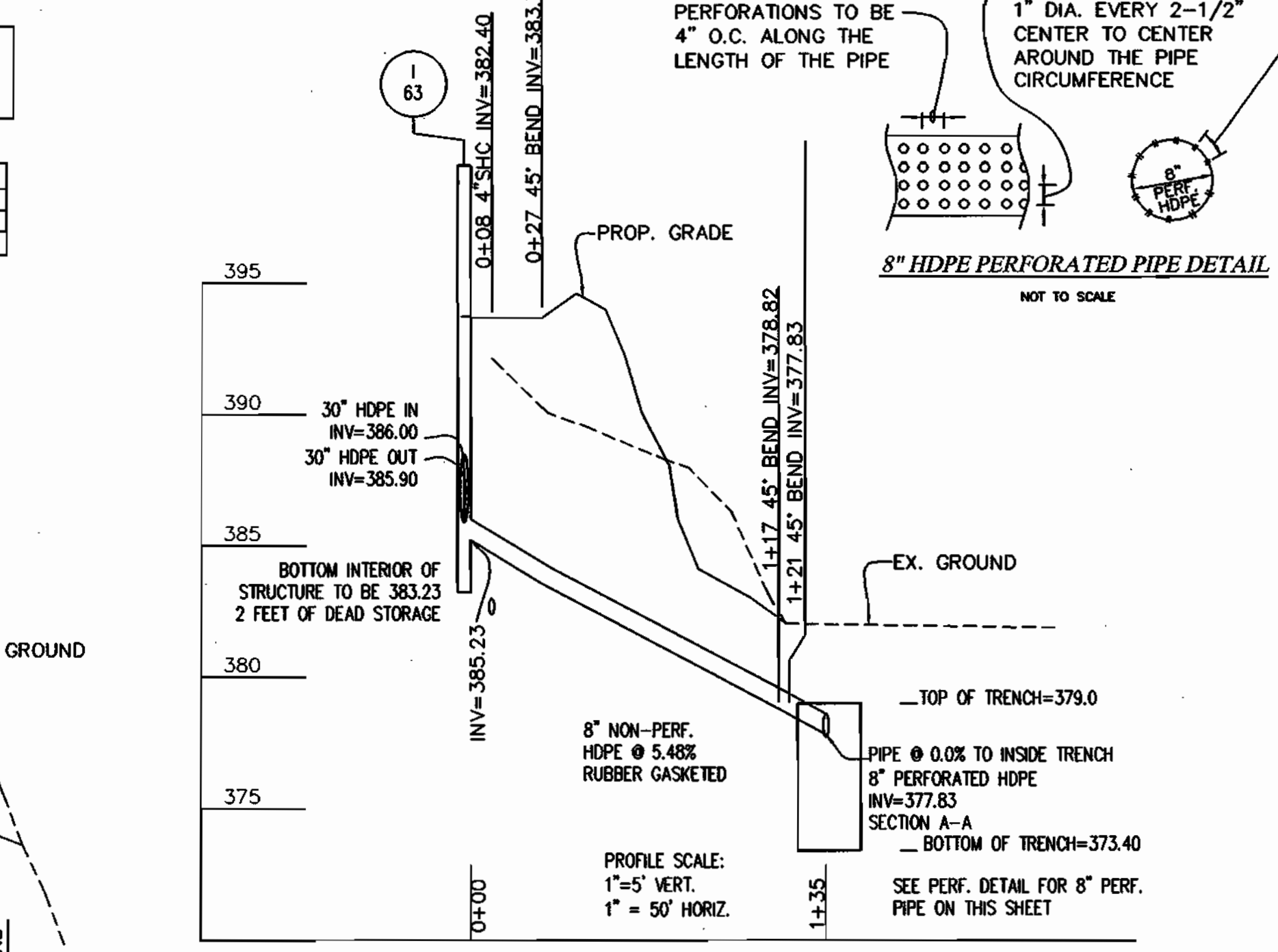
HOWARD COUNTY, MARYLAND



STRUCTURE SCHEDULE
ALL STRUCTURES SHOWN ARE INCLUDED ON STRUCTURE SCHEDULES OF OTHER SHEETS.

SIZE	TYPE	QUANTITY (L.F.)	REMARKS
8"	HDPE	230	RUBBER GASKETED
8"	HDPE	238	PERFORATED

NOTE: ALL HDPE 8" AND LARGER SHALL BE AASHTO M 294-90 TYPE "S" (SMOOTH LINED).



CLEANOUT/OBSERVATION WELL	APPROXIMATE ELEVATION	REMARKS
CO-1	388.17	
CO-2	388.58	
CO-3	388.36	
CO-4	388.45	
CO-5	382.10	
CO-6	383.24	
OB-1	388.00	OBSERVATION WELLS TO BE PER DETAIL THIS SHEET WITH WATERTIGHT COVERS.
OB-2	386.00	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* Date: 4/15/02
 Chief, Division of Land Development: *[Signature]* Date: 4/16/02
 Chief, Development Engineering Division: *[Signature]* Date: 4/16/02



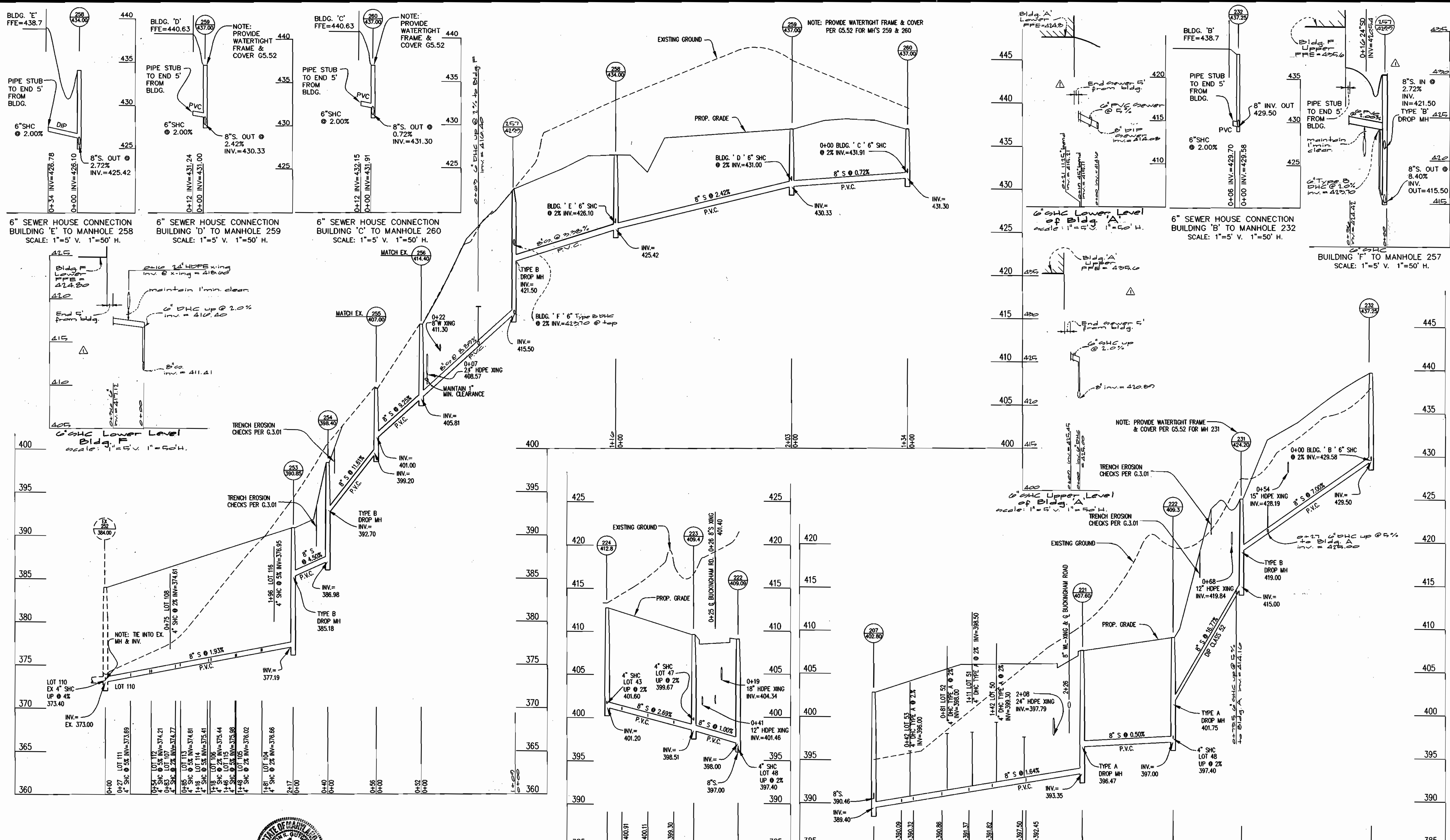
GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONVILLE OFFICE PARK
 BURTONVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1020 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR:
 (Owner/Developer)
 EXIT SEVEN LLC
 c/o Greenbaum & Rose Assoc., Inc.
 Suite 410, Woodholme Center
 1823 Reisterstown Road
 Baltimore, MD 21208
 Phone: 410-484-8400
 Attn: Mark Bennett or Charles O'Donovan

UTILITY PROFILES AND DETAILS
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
 PLAT Nos. 15219-15223
 + 15333-15357
 ELLICOTT CITY ELECTION DISTRICT No. 2
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	17 of 43



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 4/19/02

Chief, Division of Land Development: *[Signature]* Date: 4/19/02

Chief, Development Engineering Division: *[Signature]* Date: 4/19/02



GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 220 - BURTOWNSVILLE OFFICE PARK
 BURTOWNSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALE: 410-880-1820 DC/WA: 301-988-2524 FAX: 301-421-4186

PREPARED FOR:
 (Owner/Developer)
 EXIT SEVEN LLC
 c/o Greenbaum & Rose Assoc., Inc.
 Suite 410, Woodstone Center
 1829 Reisterstown Road
 Baltimore, MD 21286
 Phone: 410-684-8400
 Attn: Mark Bennett or Charles O'Donovan

SEWER PROFILES
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
 PLAT No. 15219-15223
 + 15353-15357

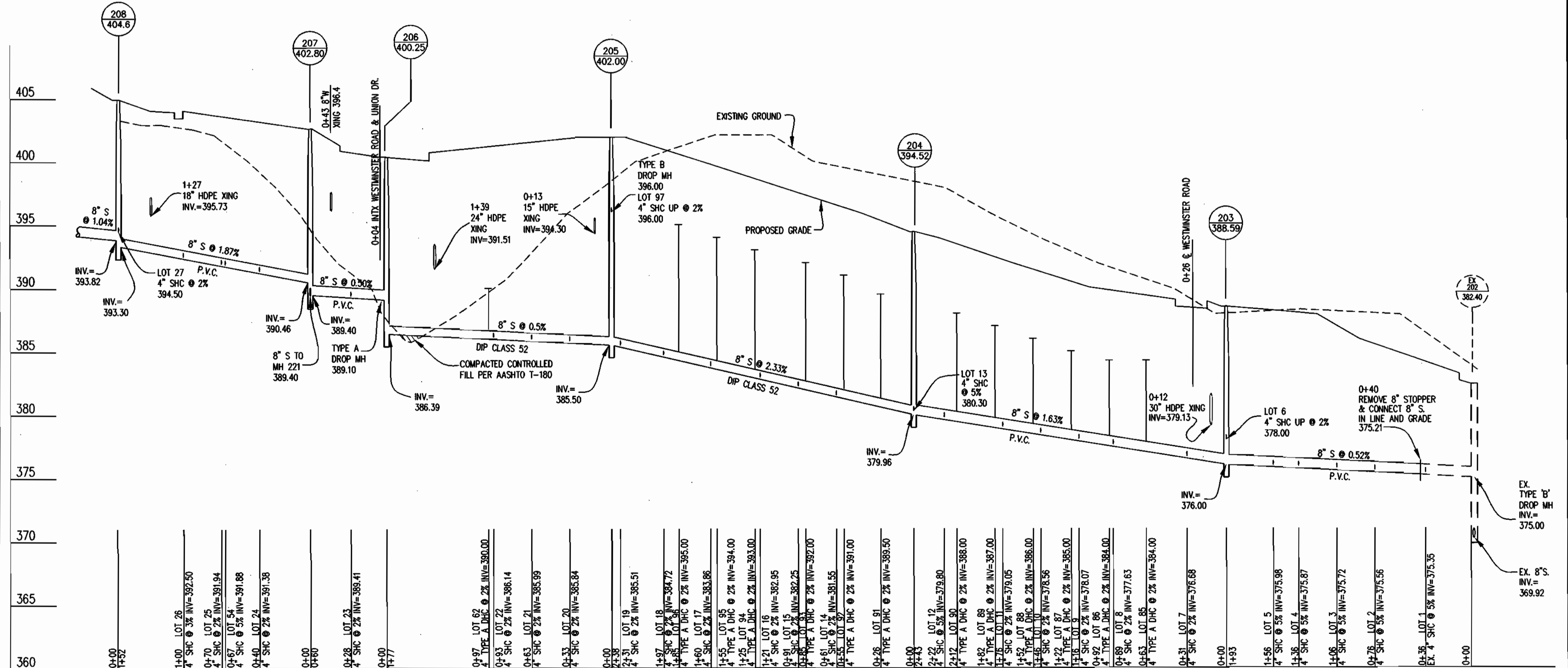
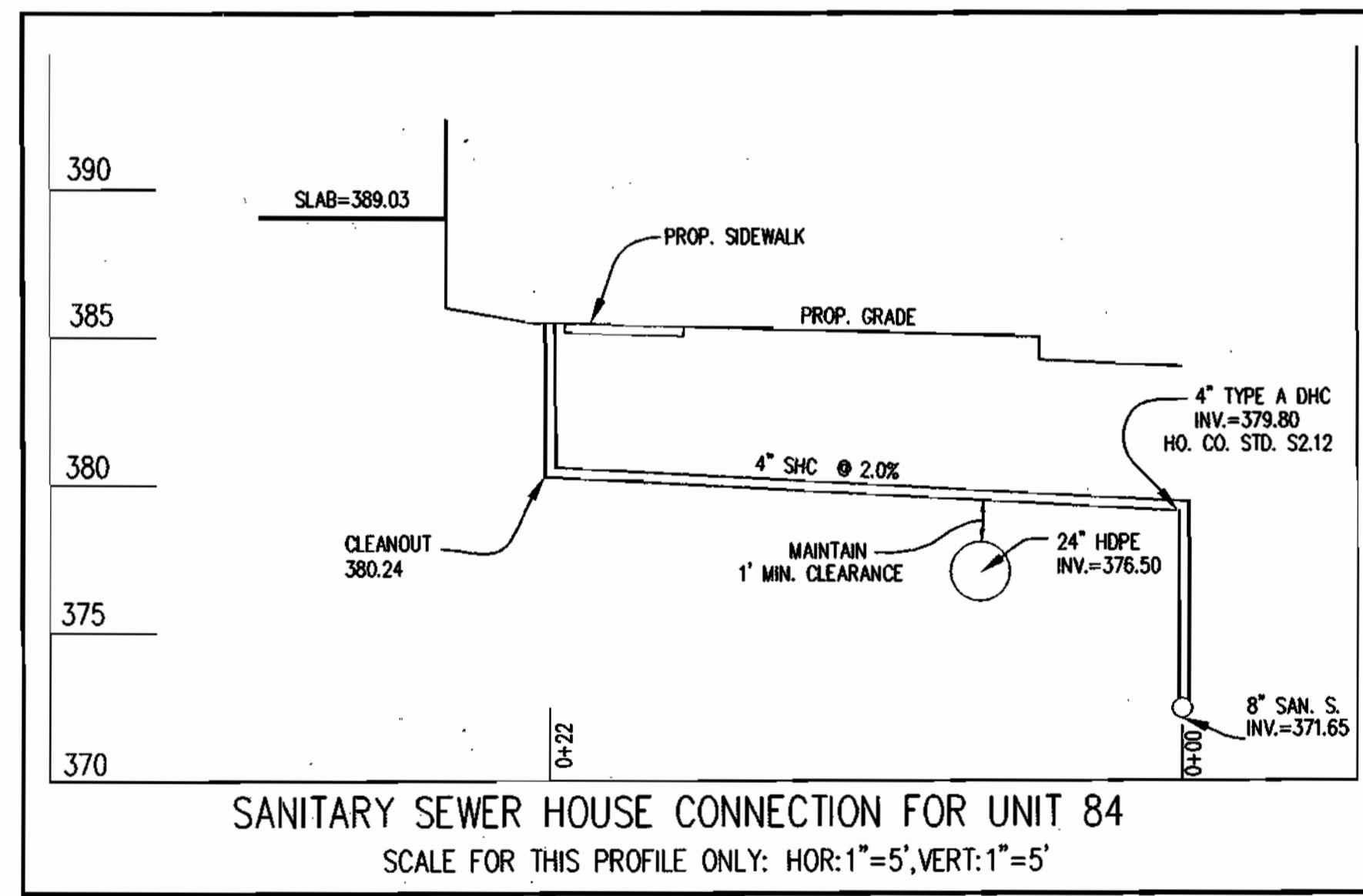
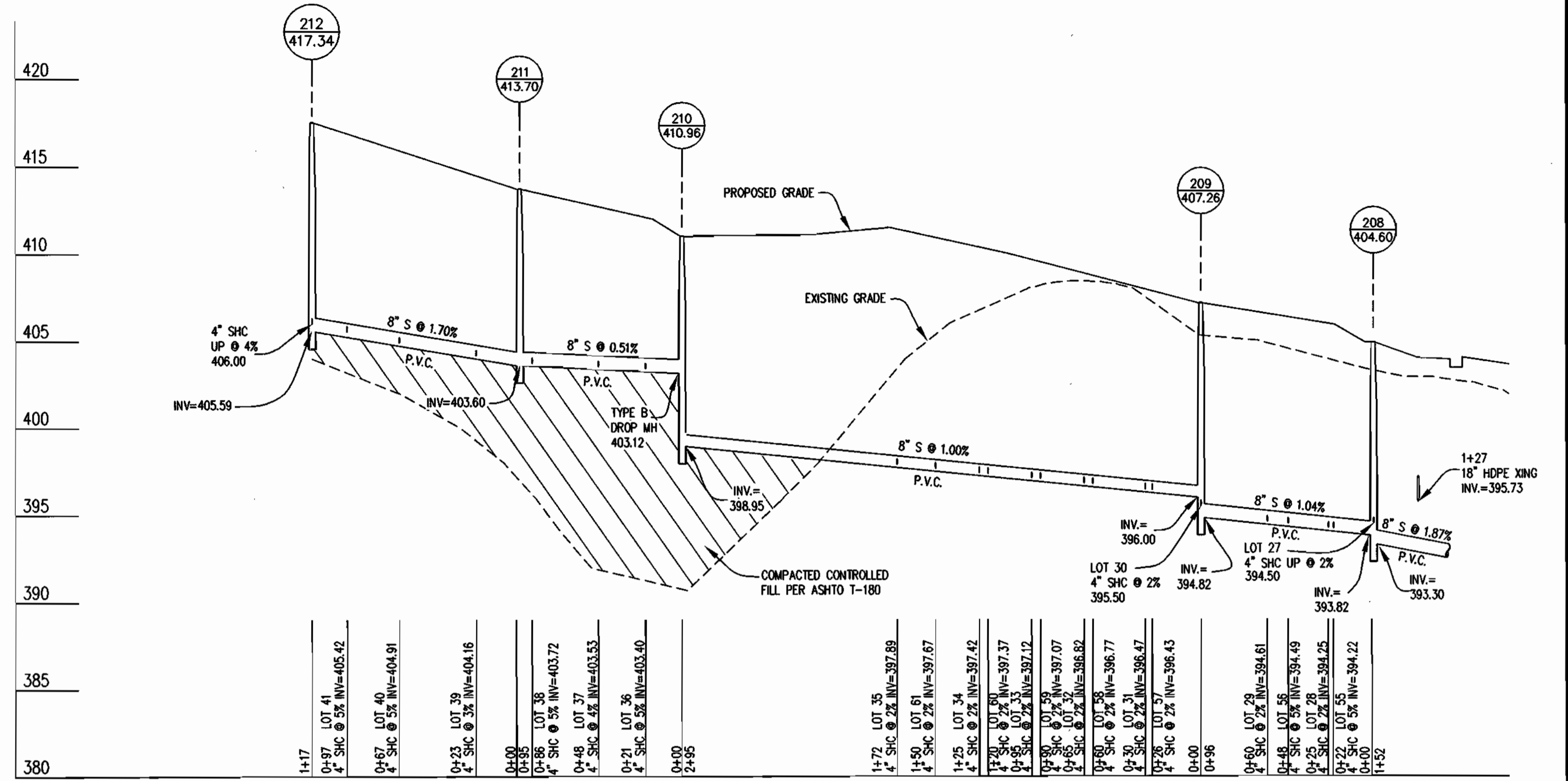
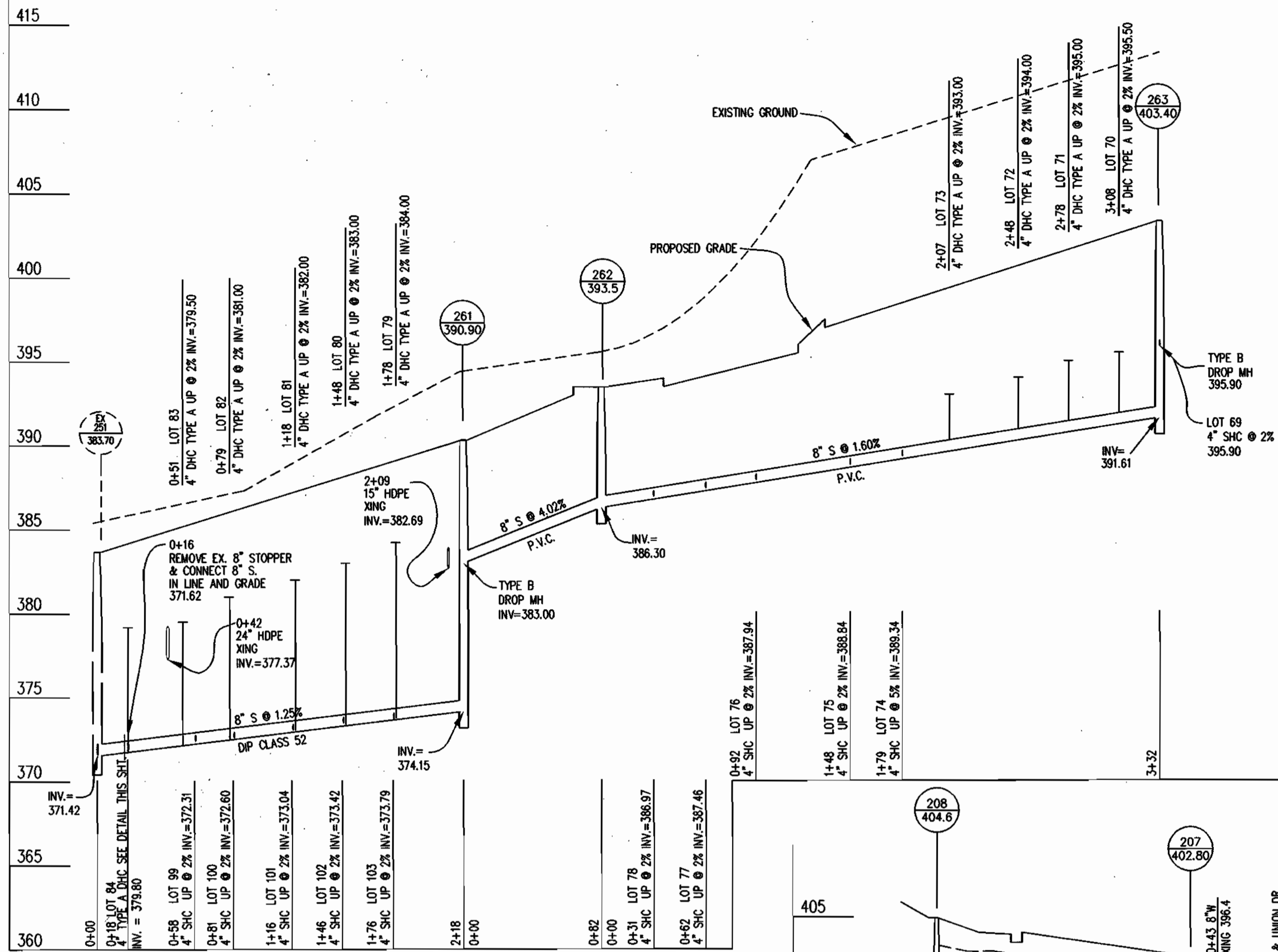
SCALE HOR: 1"=50' VERT: 1"=5'	ZONING POR	G. L. W. FILE No. 00-050
DATE 18/MAR/02	TAX MAP - GRID 17-17,18,24	SHEET 18 of 43

DATE	REVISION	BY	APPR.
4/18/02	Rev SHC to building A & F - moved MH 257 & raised top		

ELICOTT CITY ELECTION DISTRICT No. 2

HOWARD COUNTY, MARYLAND

SDP-02-65



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* Date: 4/19/02
 Chief, Division of Land Development: *[Signature]* Date: 4/16/02
 Chief, Development Engineering Division: *[Signature]* Date: 4/11/02



GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3809 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

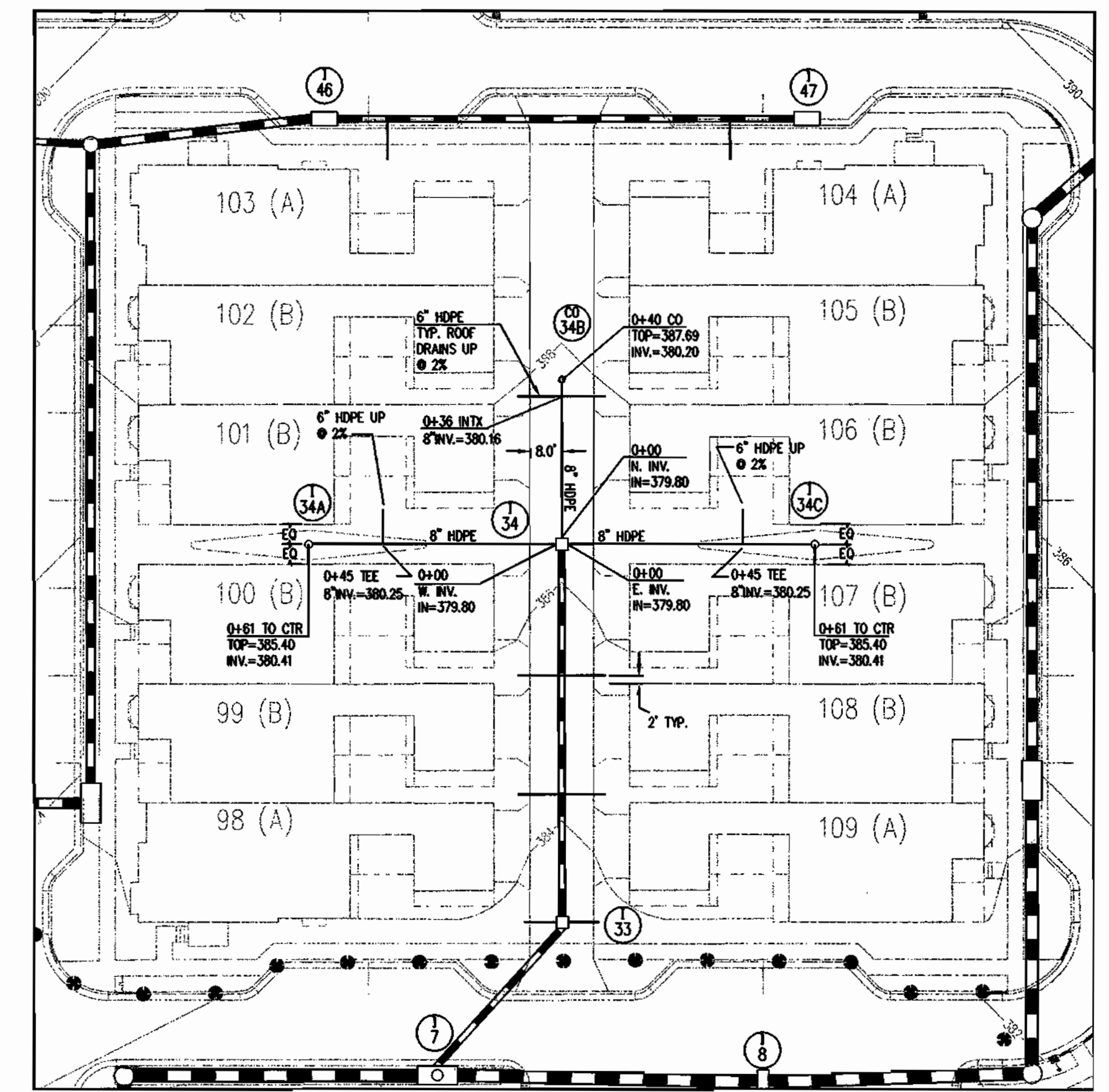
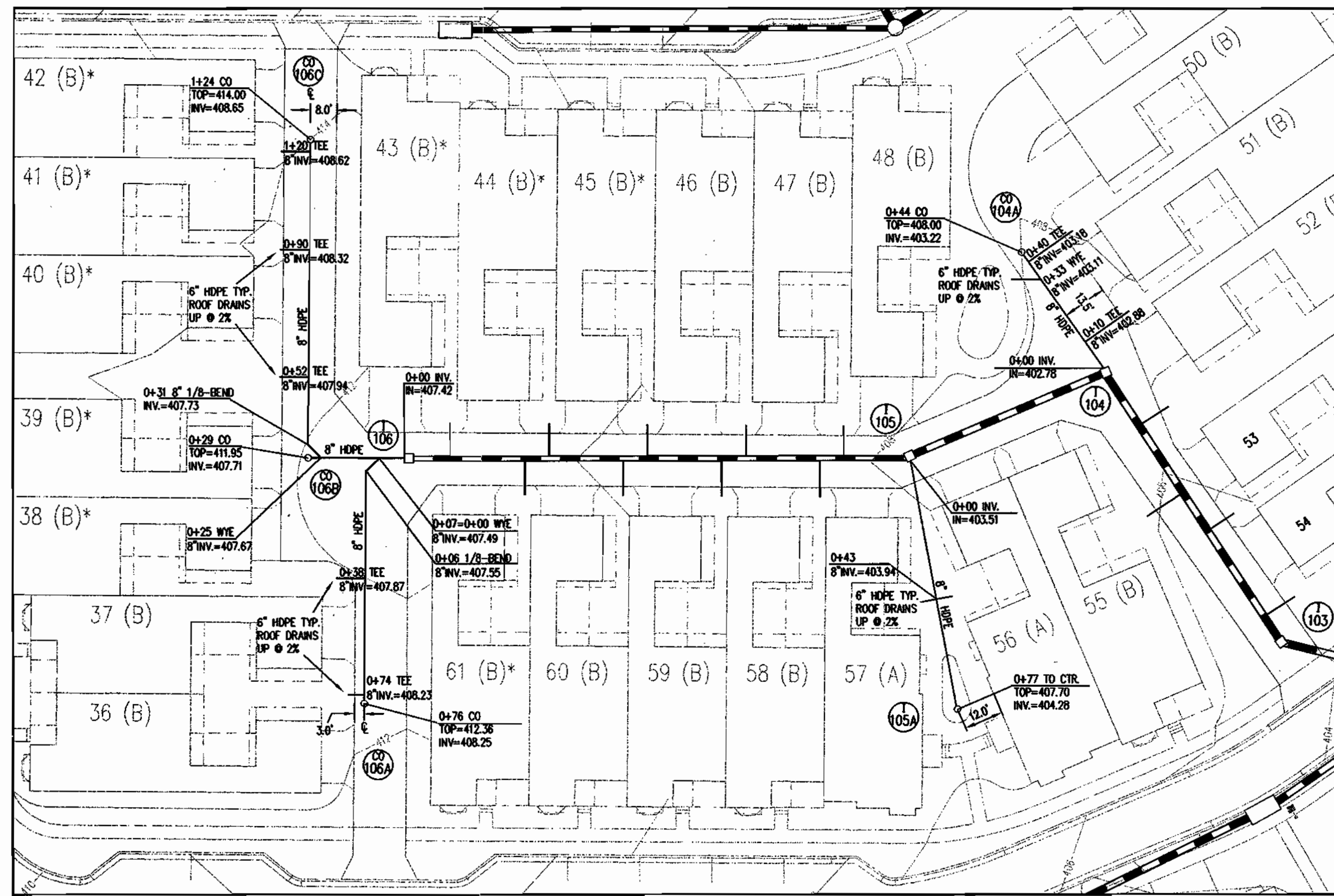
DES.	DRN.	CHK.	DATE	REVISION	BY	APP'R.

PREPARED FOR:
 (Owner/Developer)
 EXIT SEVEN LLC
 c/o Greenbaum & Rose Assoc., Inc.
 Suite 410 Woodbine Center
 1829 Reisterstown Road
 Baltimore, MD 21208
 Phone: 410-684-8400
 Attn: Mark Bennett or Charles O'Donovan

SEWER PROFILES
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
 PLAT Nos. 15219-15223
 + 15353-15357
 ELLICOTT CITY ELECTION DISTRICT No. 2

SCALE	ZONING	G. L. W. FILE No.
HOR: 1"=50' VERT: 1"=50'	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	19 of 43

SDP-02-65



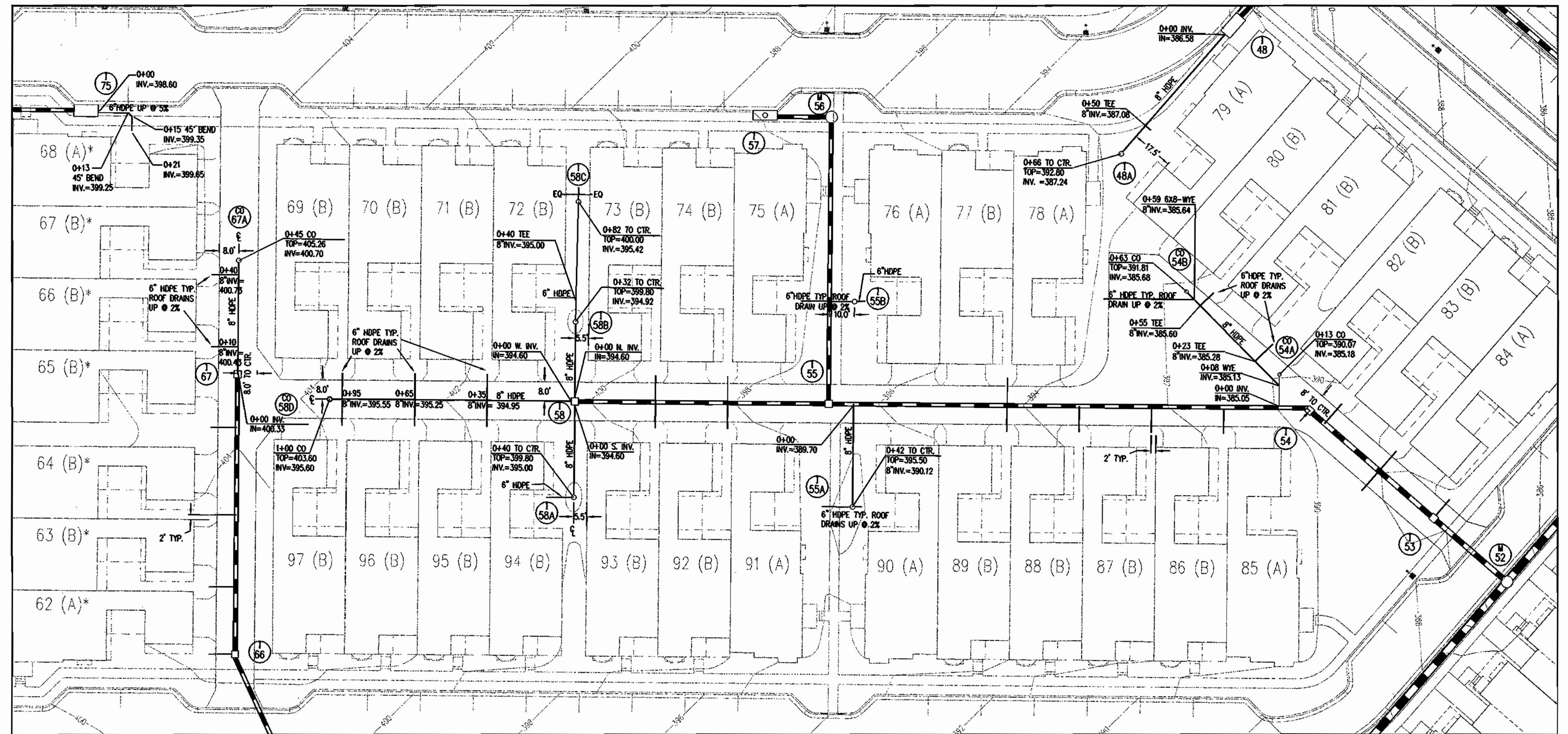
STRUCTURE SCHEDULE								
STRUCTURE No.	TYPE	WIDTH (INSIDE) DIAMETER	TOP ELEVATION		INVERT ELEVATION		STANDARD DETAIL	REMARKS
			UPPER	LOWER	UPPER	LOWER		
34A	YARD INLET	1'-0"	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	12" NYLOPLAST MAIN DRAIN WITH STDH-20 RATED GRATE OR EQUAL	CLEANOUT AT END OF 8" HDPE PIPE
34B	CLEANOUT	0'-8"	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	12" NYLOPLAST MAIN DRAIN WITH STDH-20 RATED GRATE OR EQUAL	CLEANOUT AT END OF 8" HDPE PIPE
34C	YARD INLET	1'-0"	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	12" NYLOPLAST MAIN DRAIN WITH STDH-20 RATED GRATE OR EQUAL	CLEANOUT AT END OF 8" HDPE PIPE
48A	YARD INLET	1'-0"	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	12" NYLOPLAST MAIN DRAIN WITH STDH-20 RATED GRATE OR EQUAL	CLEANOUT AT END OF 8" HDPE PIPE
54A	CLEANOUT	0'-8"	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	12" NYLOPLAST MAIN DRAIN WITH STDH-20 RATED GRATE OR EQUAL	CLEANOUT AT END OF 8" HDPE PIPE
54B	CLEANOUT	0'-8"	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	12" NYLOPLAST MAIN DRAIN WITH STDH-20 RATED GRATE OR EQUAL	CLEANOUT AT END OF 8" HDPE PIPE
55A	YARD INLET	1'-0"	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	12" NYLOPLAST MAIN DRAIN WITH STDH-20 RATED GRATE OR EQUAL	CLEANOUT AT END OF 8" HDPE PIPE
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56A	YARD INLET	1'-0"	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	12" NYLOPLAST MAIN DRAIN WITH STDH-20 RATED GRATE OR EQUAL	CLEANOUT AT END OF 8" HDPE PIPE
56B	YARD INLET	1'-0"	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	12" NYLOPLAST MAIN DRAIN WITH STDH-20 RATED GRATE OR EQUAL	CLEANOUT AT END OF 8" HDPE PIPE
57A	CLEANOUT	0'-8"	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	12" NYLOPLAST MAIN DRAIN WITH STDH-20 RATED GRATE OR EQUAL	CLEANOUT AT END OF 8" HDPE PIPE
104A	CLEANOUT	0'-8"	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	12" NYLOPLAST MAIN DRAIN WITH STDH-20 RATED GRATE OR EQUAL	CLEANOUT AT END OF 8" HDPE PIPE
105A	YARD INLET	1'-0"	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	12" NYLOPLAST MAIN DRAIN WITH STDH-20 RATED GRATE OR EQUAL	CLEANOUT AT END OF 8" HDPE PIPE
106A	CLEANOUT	0'-8"	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	12" NYLOPLAST MAIN DRAIN WITH STDH-20 RATED GRATE OR EQUAL	CLEANOUT AT END OF 8" HDPE PIPE
108B	CLEANOUT	0'-8"	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	12" NYLOPLAST MAIN DRAIN WITH STDH-20 RATED GRATE OR EQUAL	CLEANOUT AT END OF 8" HDPE PIPE
108C	CLEANOUT	0'-8"	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	SEE PLAN VIEW FOR ELEVATION AND INVERT	12" NYLOPLAST MAIN DRAIN WITH STDH-20 RATED GRATE OR EQUAL	CLEANOUT AT END OF 8" HDPE PIPE

NOTE: 6" PIPE LENGTH ABOVE DOES NOT INCLUDE PIPES CONNECTING DIRECTLY TO MAIN STORM DRAIN BETWEEN STRUCTURES: 106 TO 105; 104 TO 103; 77 TO 76; 67 TO 66; 58 TO 55; 55 TO 56 (EXCLUDING 155B TO LOT 76) 55 TO 54; 54 TO 53; 47 TO 46; AND 34 TO 33. THE LENGTHS REFERENCED IN THIS NOTE ARE INCLUDED ON PIPE SCHEDULES ON SHEETS 13 TO 17.

PIPE SCHEDULE			
SIZE	TYPE	QUANTITY (L.F.)	REMARKS
6"	HDPE	305	D
8"	HDPE	530	D

NOTE: ALL HDPE 3" TO 10" SHALL BE AASHTO M292-90 TYPE "S" (SMOOTH LINED).

NOTE: ROOF DRAINS INSTALLED AT TIME OF MAIN STORM DRAIN PIPE ARE TO BE INSTALLED ONLY TO THE LIMITS SHOWN HEREON. AT THE TIME OF INDIVIDUAL UNIT CONSTRUCTION, ROOF LEADERS AND YARD INLETS WITHIN THE COURTYARDS ONLY ARE TO BE PROVIDED AND CONNECTED TO THE ROOF DRAINS SHOWN HEREON, AS IS NECESSARY TO PROVIDE ADEQUATE DRAINAGE.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 4/19/02
 Chief, Division of Land Development: *[Signature]* Date: 4/19/02
 Chief, Development Engineering Division: *[Signature]* Date: 4/19/02



GLW GUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTSMVILLE OFFICE PARK
 BURTSMVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR:
 (Owner/Developer)
 EXIT SEVEN LLC
 c/o Greenbaum & Rose Assoc., Inc.
 Suite 410, Woodhome Center
 1820 Rockledge Road
 Baltimore, MD 21208
 Phone: 410-484-8400
 Attn: Mark Bennett or Charles O'Donovan

COURTYARD, LANDSCAPE & ROOF DRAINS
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
 PLAT No. 15219-15223
 15353-15357

SCALE	ZONING	G. L. W. FILE No.
1"=30'	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	20 of 43

ELLICOTT CITY ELECTION DISTRICT No. 2

HOWARD COUNTY, MARYLAND

FOR CONTINUATION SEE SHEET 22

FOR CONTINUATION SEE SHEET 22



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Robert T. Smith 2/19/02
 Director

Cindy Hamrick 2/19/02
 Chief, Division of Land Development

John D. Williams 4/1/02
 Chief, Development Engineering Division



THIS PLAN IS FOR ESTABLISHING BUILDING PADS ONLY!

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 DATE: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

PREPARED FOR:
 (Owner/Developer)
 EXT SEVEN LLC
 c/o Greenbaum & Rose Assoc., Inc.
 Suite 410, Woodholme Center
 1829 Reisterstown Road
 Baltimore, MD 21208
 Phone: 410-654-8400
 Attn: Mark Bennett or Charles O'Donovan

INITIAL (BUILDING PAD) GRADING PLAN
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
 PLAT Nos. 15319-15223
 + 15358-15357

ELLICOTT CITY ELECTION DISTRICT No. 2

SCALE	ZONING	G. L. W. FILE No.
1"=50'	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	21 of 43

00050/SDP-02-21/SDP21n22.dwg

DES:HKJ DRN:HKJ CHK:MBT

HOWARD COUNTY, MARYLAND



FOR CONTINUATION SEE SHEET 21

FOR CONTINUATION SEE SHEET 21

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director *[Signature]* 4/15/02
 Date
 Chief, Division of Land Development *[Signature]* 4/19/02
 Date
 Chief, Development Engineering Division *[Signature]* 4/1/02
 Date



GLW GUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20885
 TEL: 301-421-4024 BAL: 410-580-1620 DC/VA: 301-989-2524 FAX: 301-421-4186

00050/SDP/SDP-02-02-XX/SDP21n22.dwg DES. HKJ DRN. HKJ CHK. MBT

DATE	REVISION	BY	APPR.

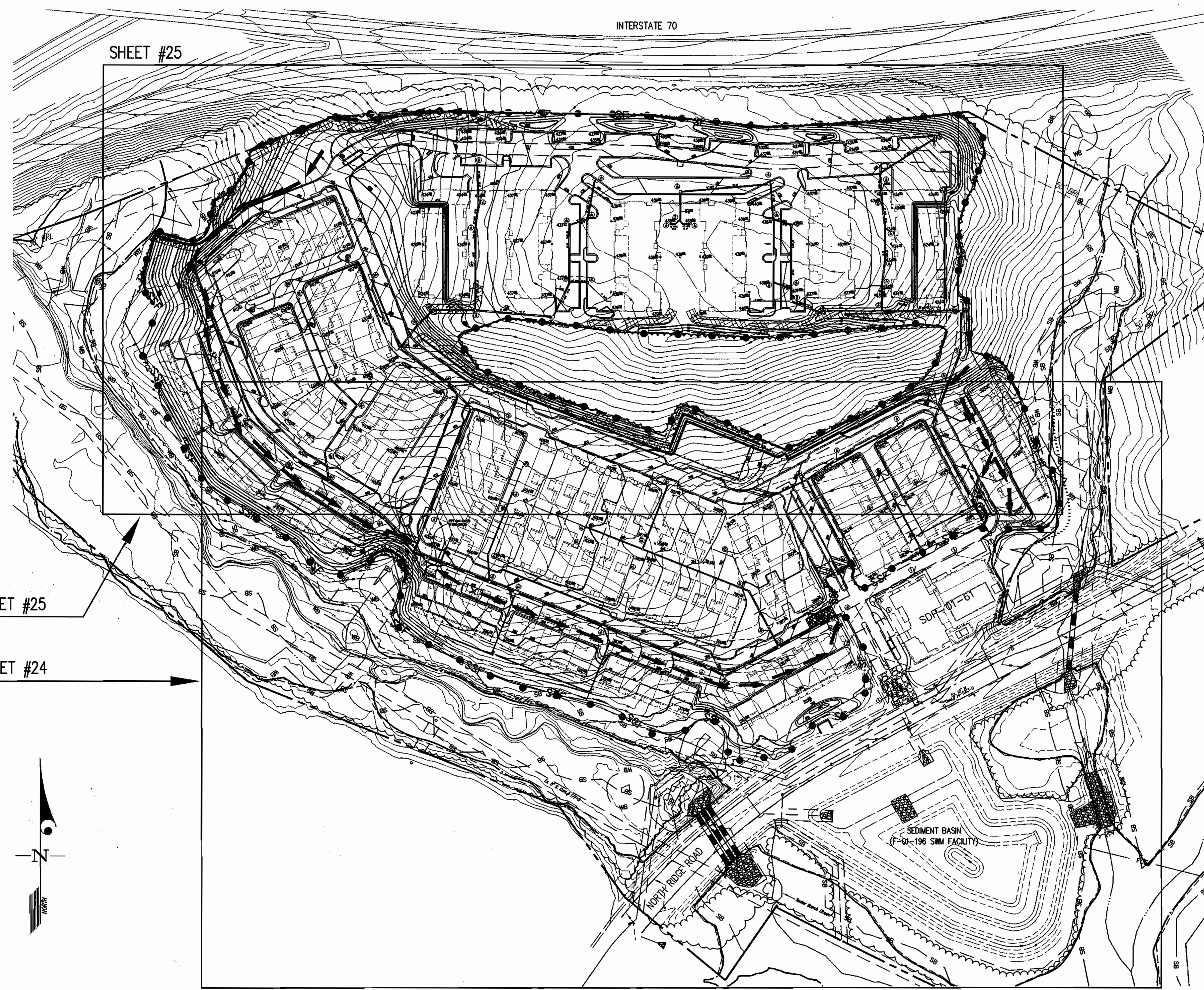
PREPARED FOR:
 (Owner/Developer)
 EXIT SEVEN LLC
 c/o Greenbaum & Rose Assoc., Inc.
 Suite 410, Woodholme Center
 1829 Reisterstown Road
 Baltimore, MD 21285
 Phone: 410-484-8400
 Attn: Mark Bennett or Charles O'Donovan

INITIAL (BUILDING PAD) GRADING PLAN
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
 PLAT Nos. 15319-15323
 + 15358-15357
 ELLICOTT CITY ELECTION DISTRICT No. 2

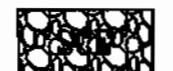






THIS PLAN IS FOR ESTABLISHING BUILDING PADS ONLY!

SCALE	ZONING	G. L. W. FILE No.
1"=50'	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	22 of 43

HOWARD COUNTY, MARYLAND



SEDIMENT CONTROL LEGEND

-  STABILIZED CONSTRUCTION ENTRANCE
-  SILT FENCE
-  SUPER SILT FENCE
-  L.O.D. LIMIT OF DISTURBANCE
-  EROSION CONTROL MATTING
-  TREE PROTECTION FENCE
-  E.D. EARTH DIKE

SEQUENCE OF CONSTRUCTION

1. OBTAIN GRADING PERMIT AND ARRANGE PRE-CONSTRUCTION MEETING WITH THE INSPECTOR. (1 DAY).
2. INSTALL STABILIZED CONSTRUCTION ENTRANCES. STAKE THE LIMIT OF DISTURBANCES AND INSTALL PERIMETER SEDIMENT CONTROLS, TREE PROTECTION DEVICES AND SWM BASIN DEWATERING DEVICE. (1 - 2 WEEKS).
3. CLEAR AND GRUB ONLY THE AREA NEEDED TO INSTALL THE PERIMETER SEDIMENT CONTROLS AND INSTALL REMAINING SEDIMENT CONTROLS. (1 WEEK).
4. EXCAVATE AND INSTALL STORM DRAIN SYSTEM FROM EX I-51 TO STUB JUST PAST M-65 UNTIL THE PIPE DAY LIGHTS. SEE DETAILS ON SHEET 30. FILL AREA OVER STORM DRAIN TO CREATE DIVERSION BERM PER DETAIL ON SHEET 30. COORDINATE CONSTRUCTION OF RETAINING WALL #3 WITH CONSTRUCTION OF BERM. SECURELY FASTEN SOLID PVC END CAPS TO COMPLETELY BLOCK THE BLEEDER PIPE IN INLETS I-63 & I-64 SO THAT NO DIRTY WATER GOES TO THE GROUNDWATER RECHARGE/DRYWELL FACILITY (1 WEEK).
5. STABILIZE AREA IMMEDIATELY. (1 DAY).
6. CONTINUE CONSTRUCTION OF STORM DRAIN UP TO INLET I12 AND FILL OVER STORM DRAIN TO CREATE BERM PER DETAILS ON SHEET 30. AT THE SAME TIME ROUGH GRADE THE AREA BETWEEN THE TENNIS COURT PAD AND STORM DRAIN SYSTEM FROM EX I-51 TO M-65. (3 WEEKS).
7. STABILIZE IMMEDIATELY. (1 DAY)
8. CONSTRUCT SUMP AREA AROUND PIPE STUB PAST EX M-9 PER DETAILS ON SHEET 30. (4 DAYS).
9. STABILIZE IMMEDIATELY. (1 DAY).
10. ROUGH GRADE SITE, INSTALL THE REST OF THE RETAINING WALLS AND THE REST OF THE UTILITIES. STABILIZE IMMEDIATELY (2 MONTHS). CHECK TO MAKE SURE THAT END CAPS ON BLEEDER PIPES IN INLETS I-63 & I-64 ARE STILL SECURELY FASTENED.
11. INSTALL CURB AND GUTTER AND BASE PAVE; HOWEVER DELAY THE INSTALLATION OF THE NORTHERN HALF OF THE MEDIAN (BETWEEN M-45 TO I-44) AND BY THE ENTRANCE TO THE APARTMENTS IN ORDER TO FACILITATE CONSTRUCTION TRAFFIC. (1 MONTH)
12. INSTALL SEDIMENT CONTROLS FOR INDIVIDUAL HOUSE CONSTRUCTION PADS PER PHASE TWO SEDIMENT CONTROL PLANS, FINE GRADE AND CONSTRUCT HOUSES. (12-18 MONTHS).
13. INSTALL LANDSCAPING (1 WEEK).
14. ONCE THE SITE IS SUBSTANTIALLY STABILIZED AND PERMISSION IS GRANTED BY THE SEDIMENT CONTROL INSPECTOR, FLUSH ALL THE STORM DRAIN RUN TO I-64 AND I-63 OF ANY ACCUMULATED SEDIMENT (IF NECESSARY) THEN PUMP OUT AND REMOVE ANY REMAINING SEDIMENT FROM INLET I-63 & I-64. REMOVE THE PVC END CAPS TO OPEN THE STORM DRAIN LINES FROM I-64 AND I-63 TO THE DRYWELL.
15. WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR REMOVE SEDIMENT CONTROLS AND BASIN DEWATERING DEVICE. REMOVE SEDIMENT FROM BASIN AND INSTALL MEDIAN ISLANDS. (3 DAYS).
16. PERMANENTLY STABILIZE SITE AND POND. (1 WEEK).

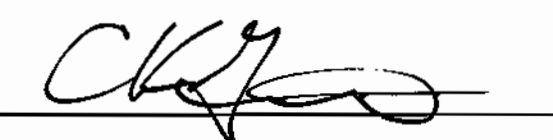
DEVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD."

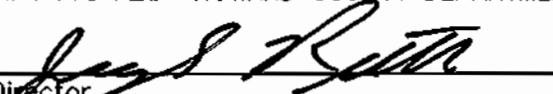
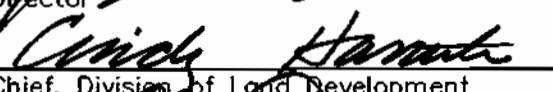
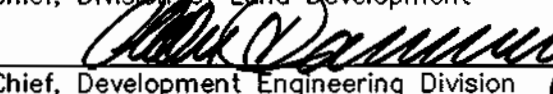

Signature of Developer/Builder
3/20/02
Date

ENGINEER'S CERTIFICATE

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."


3-20-02
Date

THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY !!

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 4/19/02
 Director Date
 4/19/02
 Chief, Division of Land Development Date
 4/1/02
 Chief, Development Engineering Division Date

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

 3/25/02
John R. Platon
Howard S.C.D. Date

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

 3/25/02
Jim Meyer
Natural Resources Conservation Service Date



GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALE: 410-980-1820 DC/VA: 301-959-2524 FAX: 301-421-4186

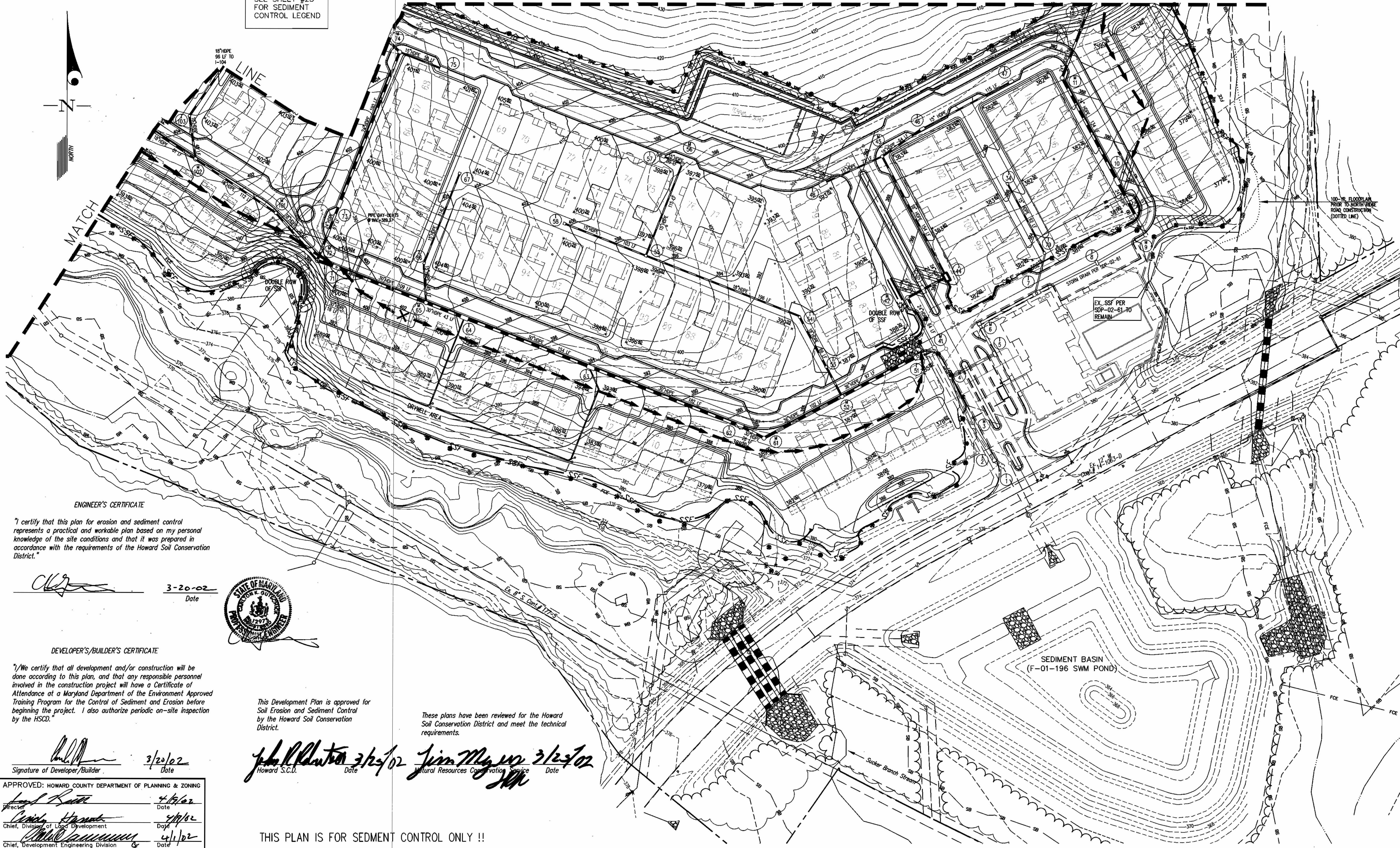
DATE	REVISION	BY	APPR.

PREPARED FOR:
 (Owner/Developer)
 EBY SICHEN LLC
 c/o Greenbaum & Rose Assoc., Inc.
 Suite 410, Woodhams Center
 1829 Reisterstown Road
 Baltimore, MD 21205
 Phone: 410-484-8400
 Attn: Mark Bennett or Charles O'Donovan

SEDIMENT CONTROL OVERVIEW PLAN
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
 PLAT Nos. 15319-15323
 + 15353-15357
 ELLICOTT CITY ELECTION DISTRICT No. 2
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=100'	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	23 of 43

SEE SHEET #25
FOR SEDIMENT
CONTROL LEGEND



ENGINEER'S CERTIFICATE
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

[Signature]
Date: 3-20-02



DEVELOPER'S/BUILDER'S CERTIFICATE
I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD.

[Signature]
Signature of Developer/Builder
Date: 3/20/02

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.
These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.
John R. Clinton 3/24/02
Howard S.C.D.
Jim Meyer 3/24/02
Natural Resources Conservation Service

THIS PLAN IS FOR SEDIMENT CONTROL ONLY !!

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: *[Signature]* Date: 4/16/02
Chief, Division of Land Development: *[Signature]* Date: 4/19/02
Chief, Development Engineering Division: *[Signature]* Date: 4/1/02

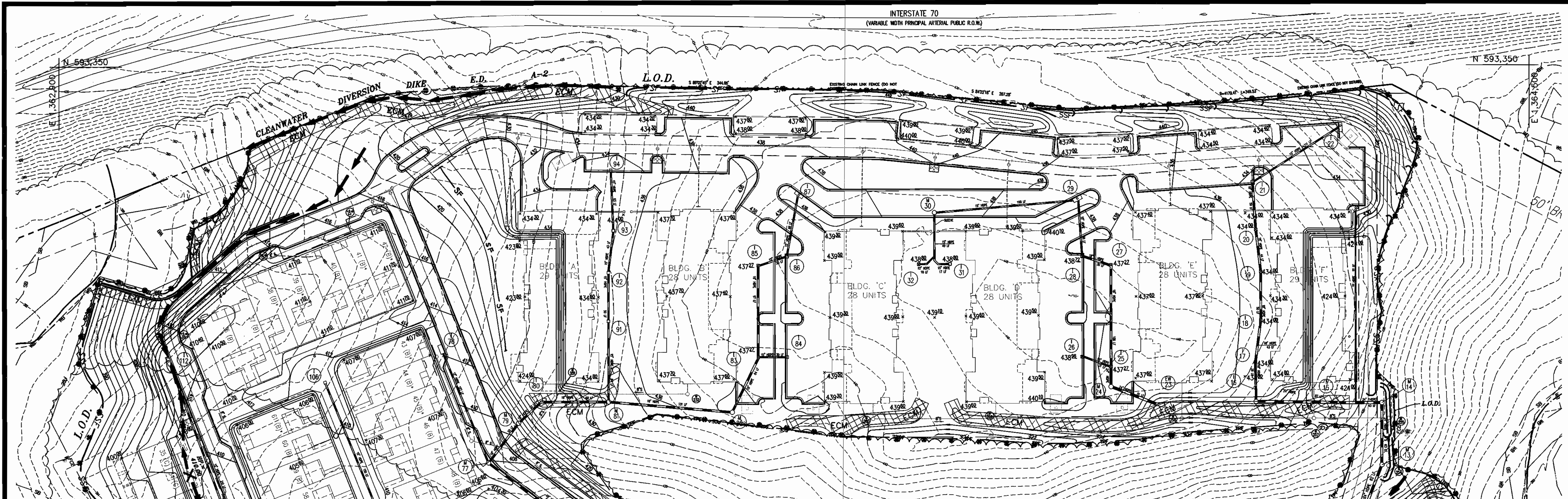
GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSHILLE OFFICE PARK
BURTONSHILLE, MARYLAND 20886
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.

PREPARED FOR:
(Owner/Developer)
ERT SEVEN LLC
c/o Greenbaum & Rose Assoc., Inc.
Suite 410, Woodholme Center
1829 Redstone Road
Baltimore, MD 21208
Phone: 410-484-8400
Attn: Mark Bennett or Charles O'Donovan

PHASE I SEDIMENT & EROSION CONTROL PLAN
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
PLAT No. 15219-15223
+15353-15357
ELLICOTT CITY ELECTION DISTRICT No. 2
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=50'	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	24 of 43



SEE SHEET 24

- SEDIMENT CONTROL LEGEND**
- STABILIZED CONSTRUCTION ENTRANCE
 - SF SILT FENCE
 - SSF SUPER SILT FENCE
 - L.O.D. LIMIT OF DISTURBANCE
 - EROSION CONTROL MATTING
 - TPF TREE PROTECTION FENCE
 - ED. EARTH DIKE

DEVELOPER'S/BUILDER'S CERTIFICATE

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ENGINEER'S CERTIFICATE

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."



These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

John H. Kutz 4/1/02
Director

Cindy Harms 3/19/02
Chief, Division of Land Development

John J. ... 4/1/02
Chief, Development Engineering Division

Jim Meyer 3/25/02
Natural Resources Conservation Service

John R. ... 3/25/02
Howard S.C.D.

Paul ... 3/20/02
Signature of Developer/Builder

CKG 3/20/02
Date

THIS PLAN IS FOR SEDIMENT CONTROL ONLY !!

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 FAX: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

PREPARED FOR
(Owner/Developer)
ENT SEVEN LLC
c/o Greenbaum & Rose Assoc., Inc.
Suite 410, Woodholme Center
1829 Reisterstown Road
Baltimore, MD 21208
Phone: 410-494-3400
Attn: Mark Bennett or Charles O'Donovan

PHASE I SEDIMENT & EROSION CONTROL PLAN
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
PLAT No. 15219-15225
+ 15353-15357
ELLICOTT CITY ELECTION DISTRICT No. 2

SCALE	ZONING	G. L. W. FILE No.
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DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	25 of 43

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

John Robertson 3/23/02
Howard S.C.D. Date

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

Jim Meyer 3/23/02
Natural Resources Conservation Service Date

ENGINEER'S CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Ch. G. 3-20-02
Date



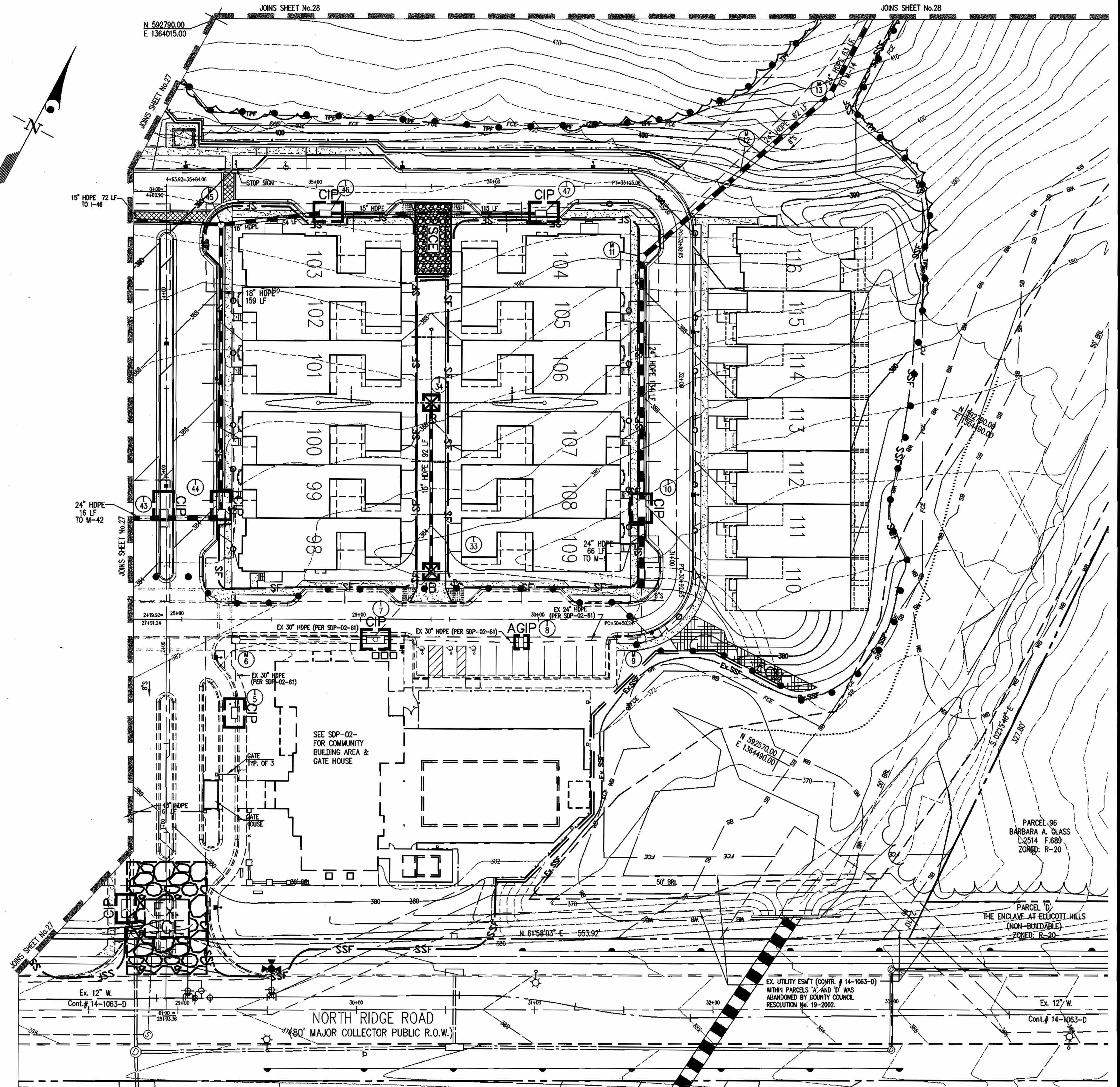
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Paul Down 3/20/02
Signature of Developer/Builder Date

SEDIMENT CONTROL LEGEND

- STABILIZED CONSTRUCTION ENTRANCE
- SILT FENCE
- SUPER SILT FENCE
- LIMIT OF DISTURBANCE
- EROSION CONTROL MATTING
- TREE PROTECTION FENCE
- INLET PROTECTION



THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY!

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Paul R. Raitt 4/17/02
Director Date
Charles Horvath 4/17/02
Chief, Division of Land Development Date
John O'Donovan 4/17/02
Chief, Development Engineering Division Date

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONTOWN OFFICE PARK
BURTONTOWN, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-980-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR:
(Owner/Developer)
EXT SEVEN LLC
c/o Greenbaum & Rose Assoc., Inc.
Suite 410, Woodholme Center
1829 Rotelersham Road
Baltimore, MD 21208
Phone: 410-484-8400
Attn: Mark Bennett or Charles O'Donovan

PHASE 2 SEDIMENT & EROSION CONTROL PLAN
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
PLAT Nos. 15319-15323
+ 15353-15357

SCALE 1" = 30'	ZONING POR	G. L. W. FILE No. 00-050
DATE 18/MAR/02	TAX MAP - GRID 17-17,18,24	SHEET 26 of 43

00050/SDF/SDF-02-02/PH2-SC2.DWG

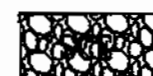






DES. DRN. CHK.

DATE	REVISION	BY	APPR.

ELLICOTT CITY ELECTION DISTRICT No. 2

HOWARD COUNTY, MARYLAND

SEDIMENT CONTROL LEGEND

-  STABILIZED CONSTRUCTION ENTRANCE
-  SF SILT FENCE
-  SSF SUPER SILT FENCE
-  L.O.D. LIMIT OF DISTURBANCE
-  EROSION CONTROL MATTING
-  TPF TREE PROTECTION FENCE
-  CIP CURB INLET PROTECTION

N 592870.00 E 1363815.00 JOINS SHEET No.28 N 592790.00 E 1364015.00

DEVELOPER'S/BUILDER'S CERTIFICATE
 "I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD."

John J. [Signature] **3/20/02**
 Signature of Developer/Builder Date

ENGINEER'S CERTIFICATE
 "I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

AKG [Signature] **3-20-02**
 Date



This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

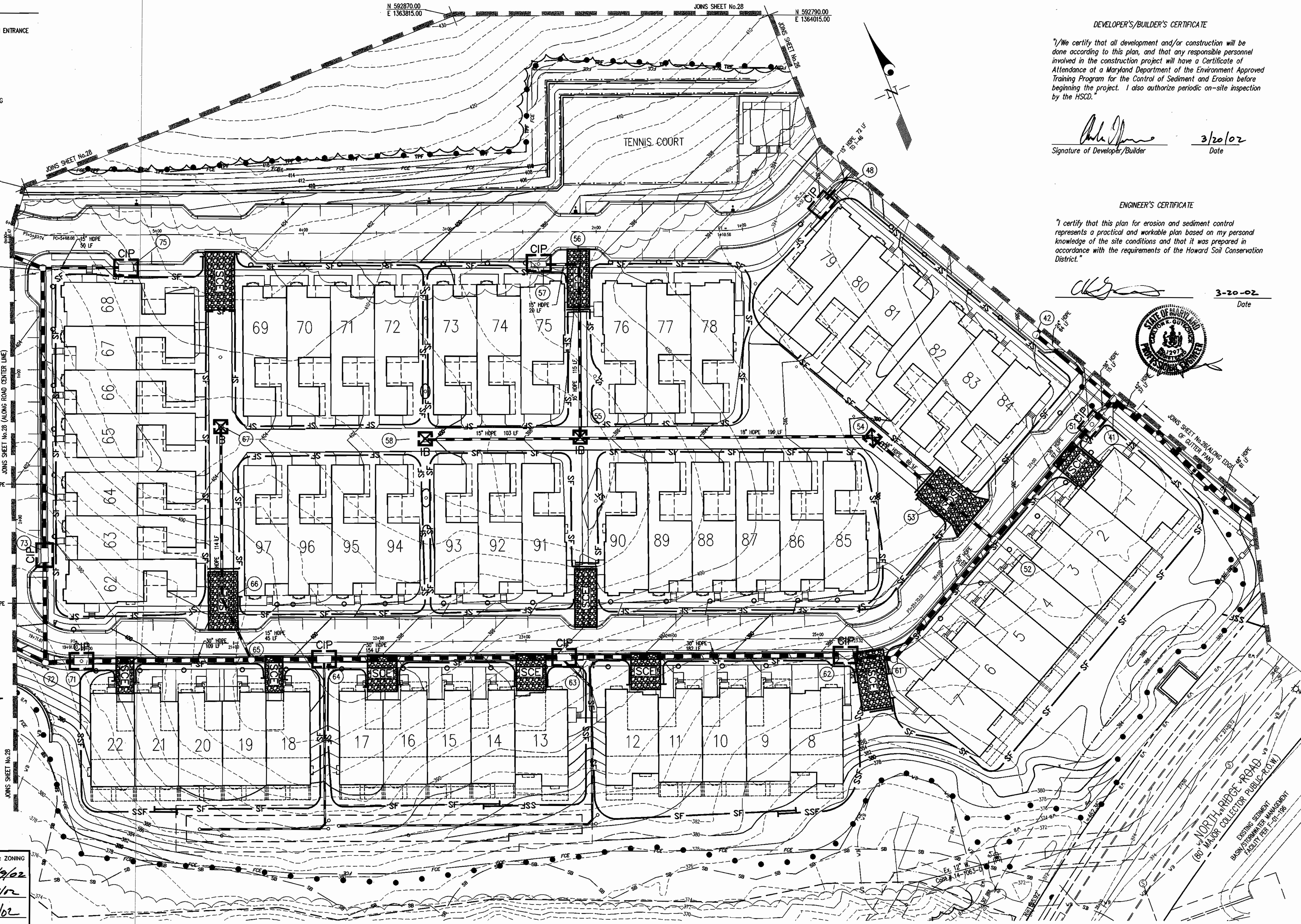
John P. Roberts [Signature] **3/2/02**
 Howard S.C.D. Date

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

Jim Myers [Signature] **3/2/02**
 Natural Resources Inspection Service Date

THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY!

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
[Signature] **4/17/02** Date
 Director
[Signature] **4/1/02** Date
 Chief, Division of Land Development
[Signature] **4/1/02** Date
 Chief, Development Engineering Division



GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALR: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

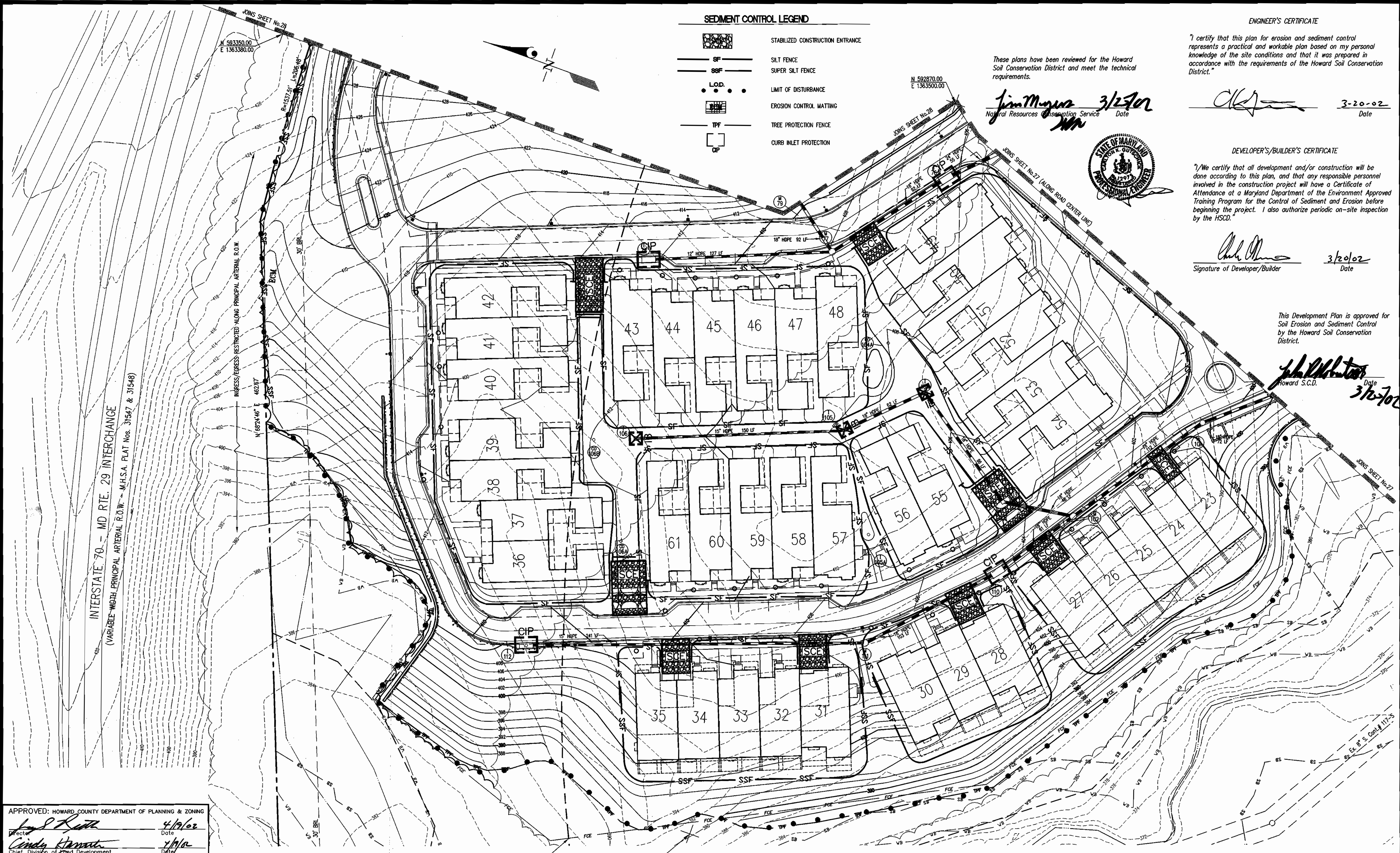
DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.

PREPARED FOR:
 (Owner/Developer)
 ENT SEVEN LLC
 c/o Greenbaum & Rose Assoc., Inc.
 Suite 410, Woodhome Center
 1829 Restalstown Road
 Baltimore, MD 21208
 Phone: 410-484-8400
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PHASE 2 SEDIMENT & EROSION CONTROL PLAN
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
 PLAT No. 15219-15323
 + 15353-15357

ELLICOTT CITY ELECTION DISTRICT No. 2

SCALE 1" = 30'	ZONING POR	G. L. W. FILE No. 00-050
DATE 18/MAR/02	TAX MAP - GRID 17-17,18,24	SHEET 27 of 43



SEDIMENT CONTROL LEGEND

- STABILIZED CONSTRUCTION ENTRANCE
- SILT FENCE
- SUPER SILT FENCE
- LIMIT OF DISTURBANCE
- EROSION CONTROL MATTING
- TREE PROTECTION FENCE
- CURB INLET PROTECTION

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

Jim Myers 3/20/02
 Natural Resources Conservation Service Date

ENGINEER'S CERTIFICATE

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Chris... 3-20-02
 Signature Date



DEVELOPER'S/BUILDER'S CERTIFICATE

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Chris... 3/20/02
 Signature of Developer/Builder Date

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

John... 3/20/02
 Howard S.C.D. Date

INTERSTATE 70 - MD RTE. 29 INTERCHANGE
 (VARIABLE WIDTH PRINCIPAL ARTERIAL R.O.W. - M.H.S.A. PLAT NOS. 31547 & 31548)

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
John... 4/19/02
 Director Date
Candy... 4/19/02
 Chief, Division of Land Development Date
... 4/19/02
 Chief, Development Engineering Division Date

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR:
 (Owner/Developer)
 EGT SEVEN LLC
 c/o Greenbaum & Rose Assoc., Inc.
 Suite 410, Woodholme Center
 1829 Reisterstown Road
 Baltimore, MD 21206
 Phone: 410-484-5400
 Attn: Mark Bennett or Charles O'Donovan

THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY!

PHASE 2 SEDIMENT & EROSION CONTROL PLAN
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
 PLAT Nos. 15319-15323
 15353-15357

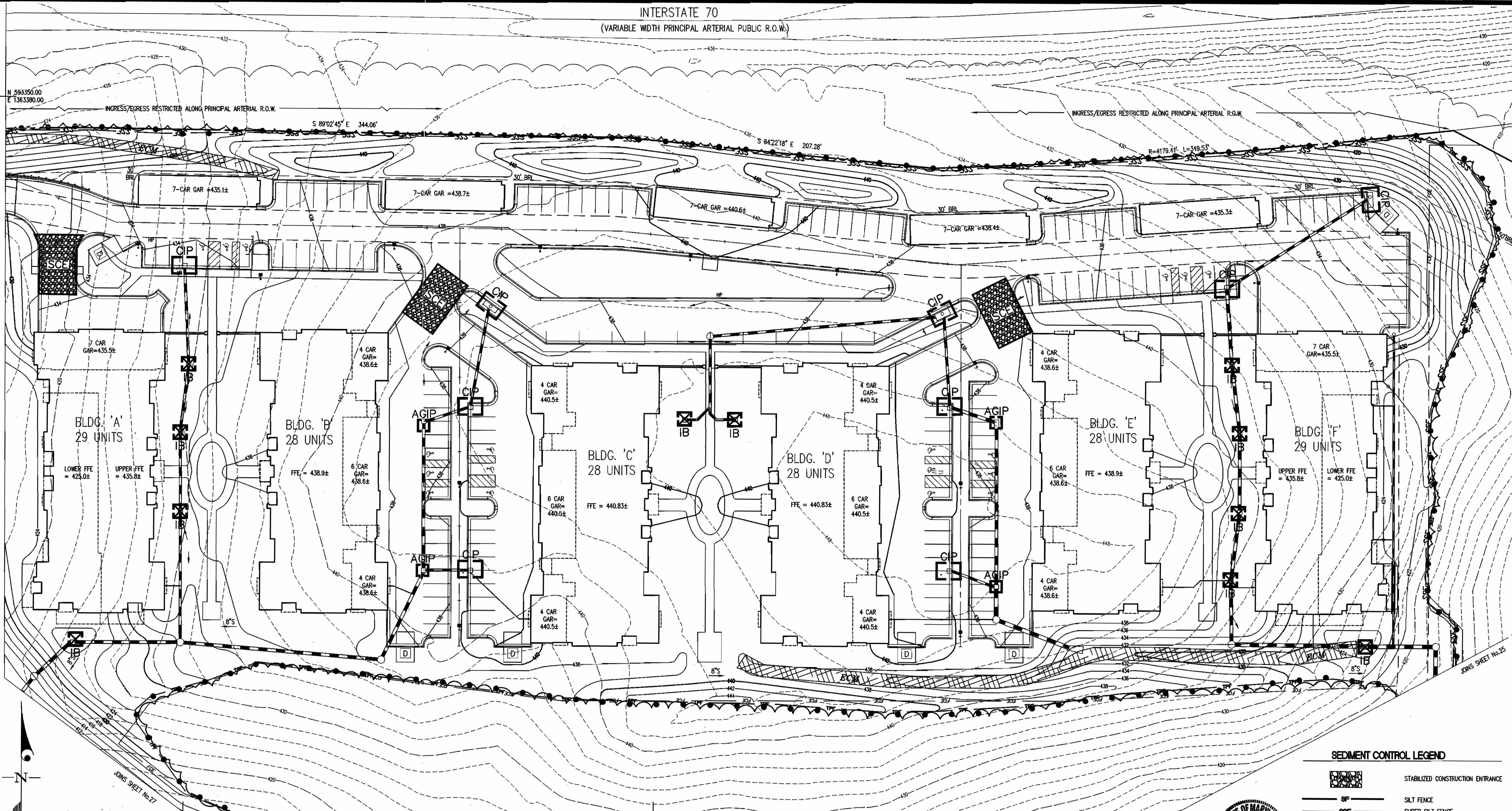
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1" = 30'	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	28 of 43

00050/SDP's/SDP-02-02/PH2-SC4.DWG	DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.
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ELLICOTT CITY ELECTION DISTRICT No. 2

HOWARD COUNTY, MARYLAND

INTERSTATE 70
(VARIABLE WIDTH PRINCIPAL ARTERIAL PUBLIC R.O.W.)



SEDIMENT CONTROL LEGEND

- STABILIZED CONSTRUCTION ENTRANCE
- SF SILT FENCE
- SSF SUPER SILT FENCE
- L.O.D. LIMIT OF DISTURBANCE
- EROSION CONTROL MATTING
- TPF TREE PROTECTION FENCE
- CIP CURB INLET PROTECTION



ENGINEER'S CERTIFICATE

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

[Signature]
3-20-02
Date

DEVELOPER'S/BUILDER'S CERTIFICATE

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[Signature]
3/20/02
Date

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

[Signature] 3/27/02
Date
Natural Resources Preservation Director

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

[Signature] 3/22/02
Date
Howard S.C.D.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 4/19/02
Date
[Signature] 4/19/02
Date
Chief, Division of Land Development
[Signature] 4/19/02
Date
Chief, Development Engineering Division

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTOWNSVILLE OFFICE PARK
BURTOWNSVILLE, MARYLAND 22866
TEL: 301-421-4024 BALTE 410-880-1820 DC/VA 301-969-2524 FAX: 301-421-4186

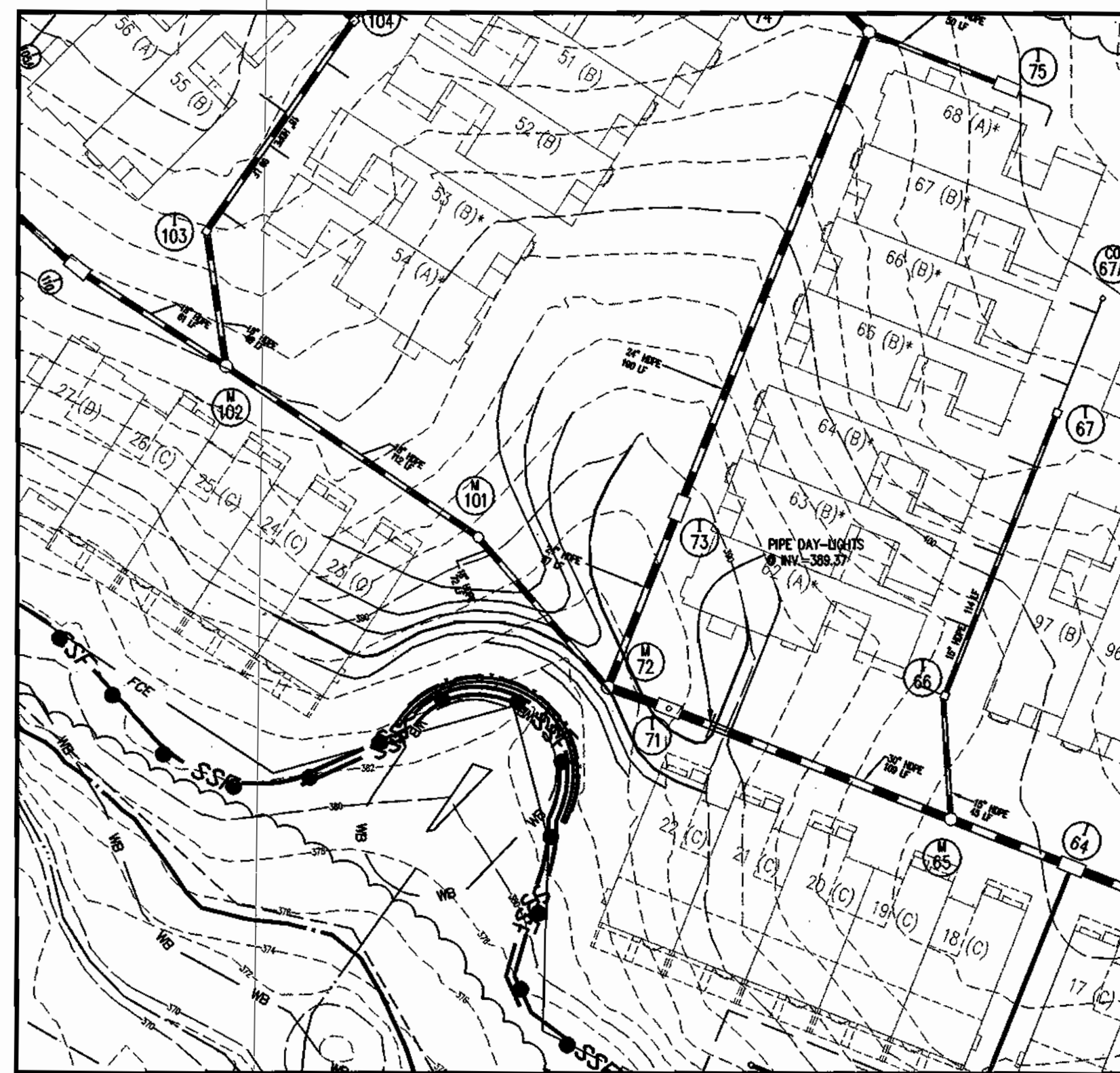
DATE	REVISION	BY	APPR.

PREPARED FOR:
(Owner/Developer)
DIT SEVEN LLC
c/o Greenbaum & Rose Assoc., Inc.
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1829 Resterslow Road
Baltimore, MD 21208
Phone: 410-484-8400
Attn: Mark Bennett or Charles O'Donovan

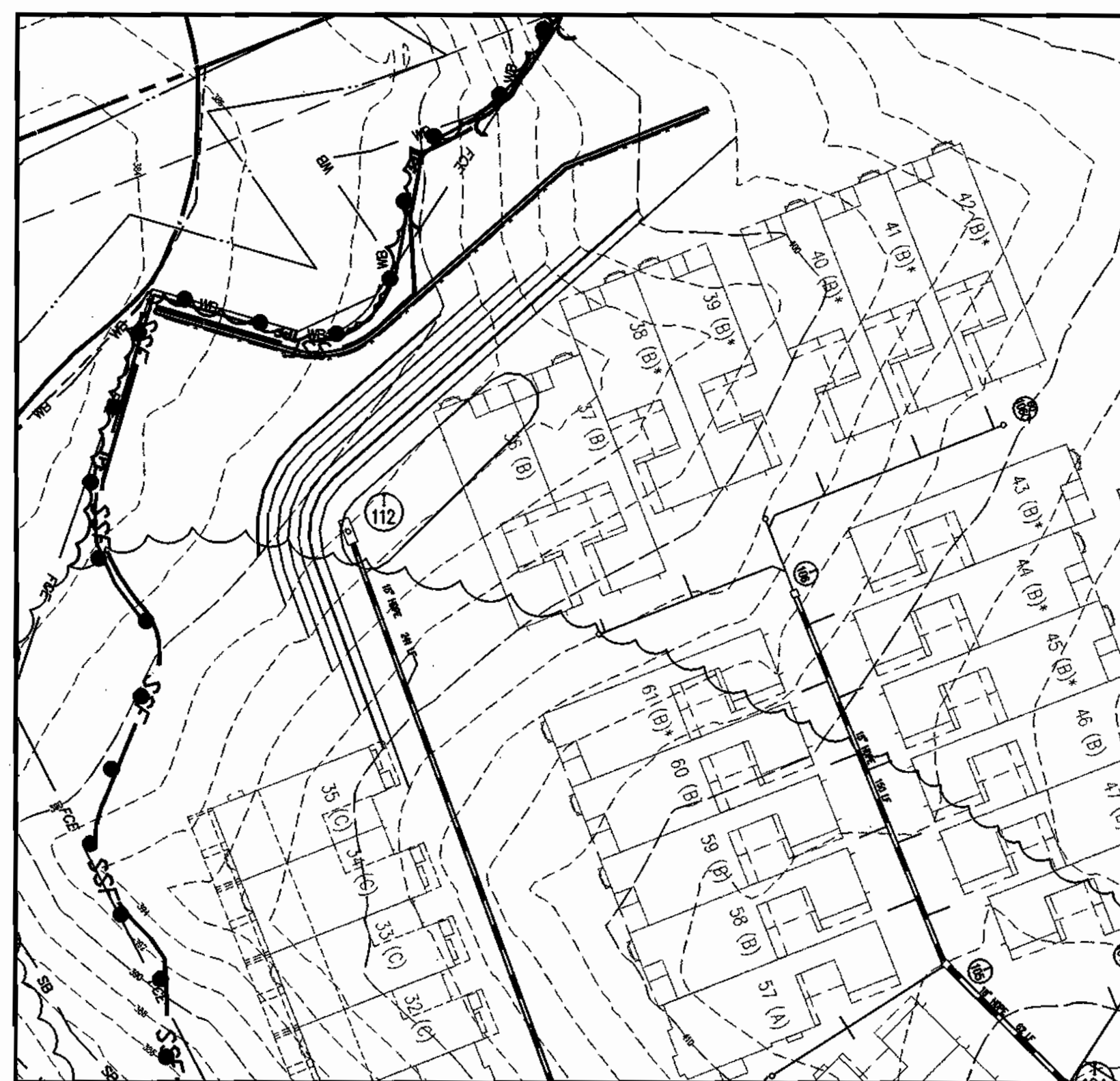
PHASE 2 SEDIMENT & EROSION CONTROL PLAN
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
PLAT No. 15319-15223
+ 15353-15357
ELLICOTT CITY ELECTION DISTRICT No. 2
HOWARD COUNTY, MARYLAND

THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY !!

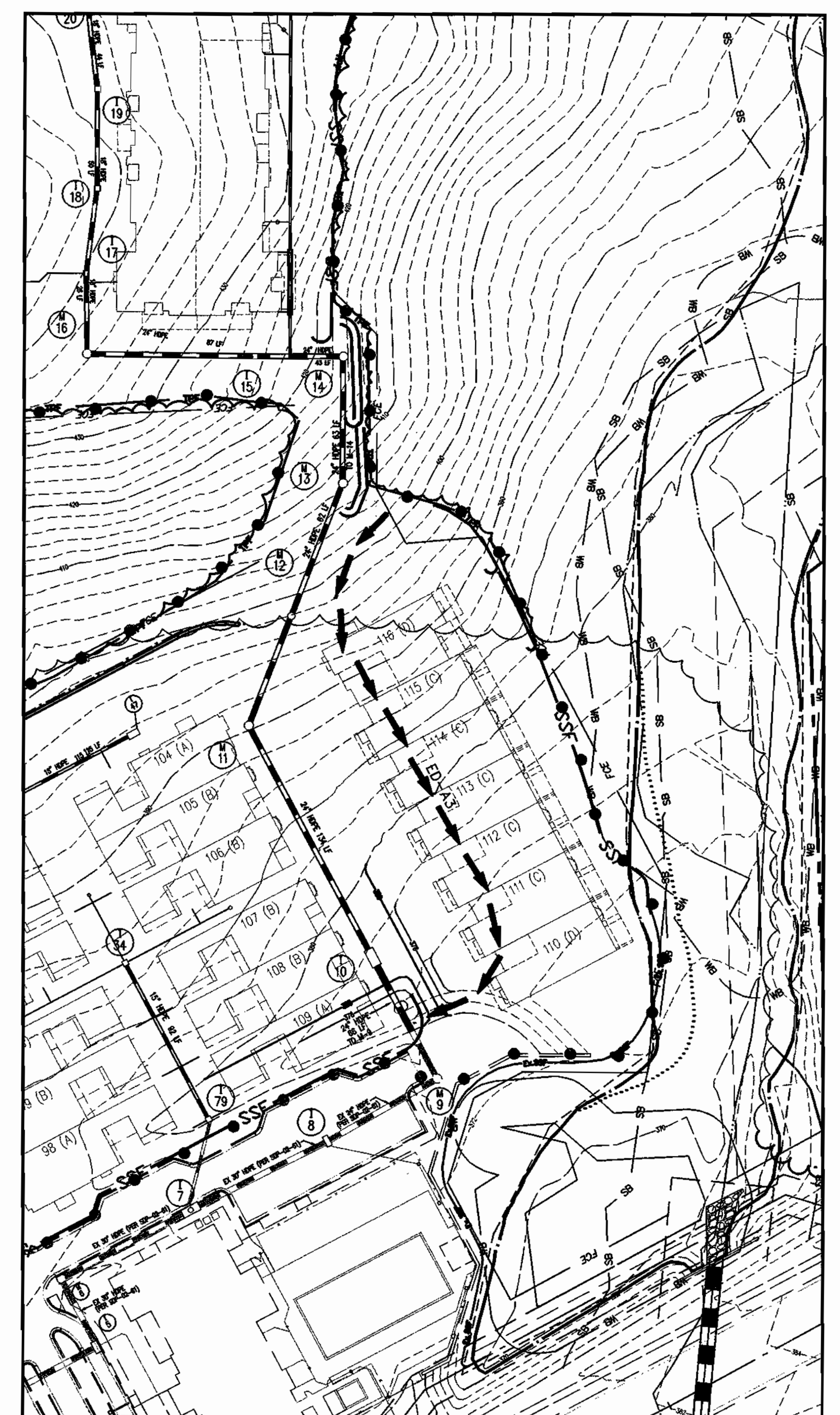
SCALE	ZONING	G. L. W. FILE No.
1" = 30'	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	29 of 43



INITIAL GRADING TO CREATE SUMP IN THE VICINITY OF 1-71



INITIAL GRADING TO CREATE SUMP IN THE VICINITY OF 1-112



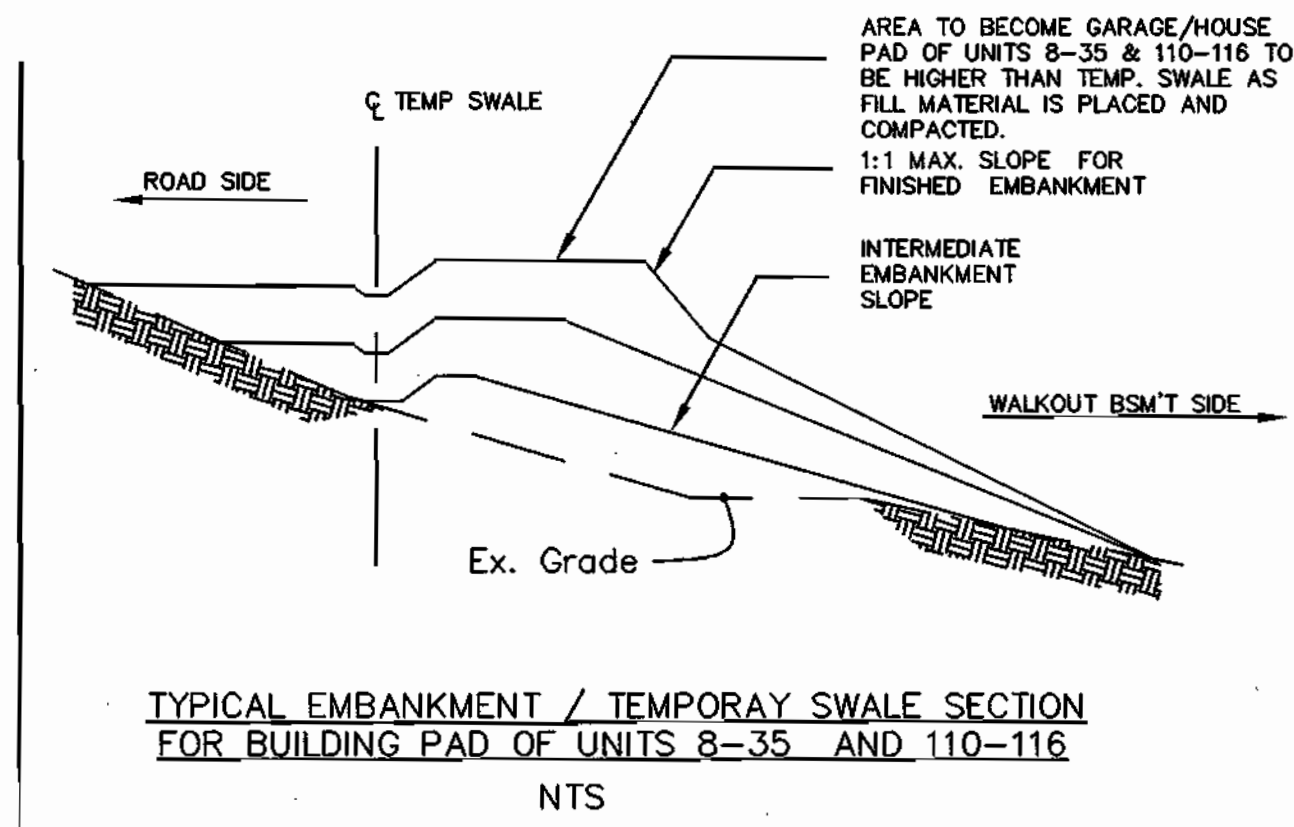
INITIAL GRADING TO CREATE SUMP BETWEEN M-9 & 1-10



(ALL 3 VIEWS)

SEDIMENT CONTROL LEGEND

- STABILIZED CONSTRUCTION ENTRANCE
- SILT FENCE
- SUPER SILT FENCE
- LIMIT OF DISTURBANCE
- EROSION CONTROL MATTING
- TREE PROTECTION FENCE
- EARTH DIKE



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 4/19/02
 Director Date
[Signature] 4/19/02
 Chief, Division of Land Development Date
[Signature] 4/11/02
 Chief, Development Engineering Division Date

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

[Signature] 3/25/02
 Howard S.C.D. Date

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

[Signature] 3/27/02
 National Resources Conservation Service Date

DEVELOPER'S/BUILDER'S CERTIFICATE

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[Signature] 3/20/02
 Signature of Developer/Builder Date

ENGINEER'S CERTIFICATE

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

[Signature] 3-20-02
 Date



THIS PLAN IS FOR SEDIMENT CONTROL ONLY !!

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BIRTVILLE OFFICE PARK
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 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

00050/SDP-02-XX/PHI-508.DWG DES. DRN. CHK. DATE REVISION BY APPR.

PREPARED FOR:
 (Owner/Developer)
 EXIT SEVEN LLC
 c/o Greenbaum & Rose Assoc., Inc.
 Suite 410, Woodbine Center
 1829 Ridgeline Road
 Baltimore, MD 21208
 Phone: 410-684-8400
 Attn: Mark Bennett or Charles O'Donovan

SEDIMENT & EROSION CONTROL DETAILS

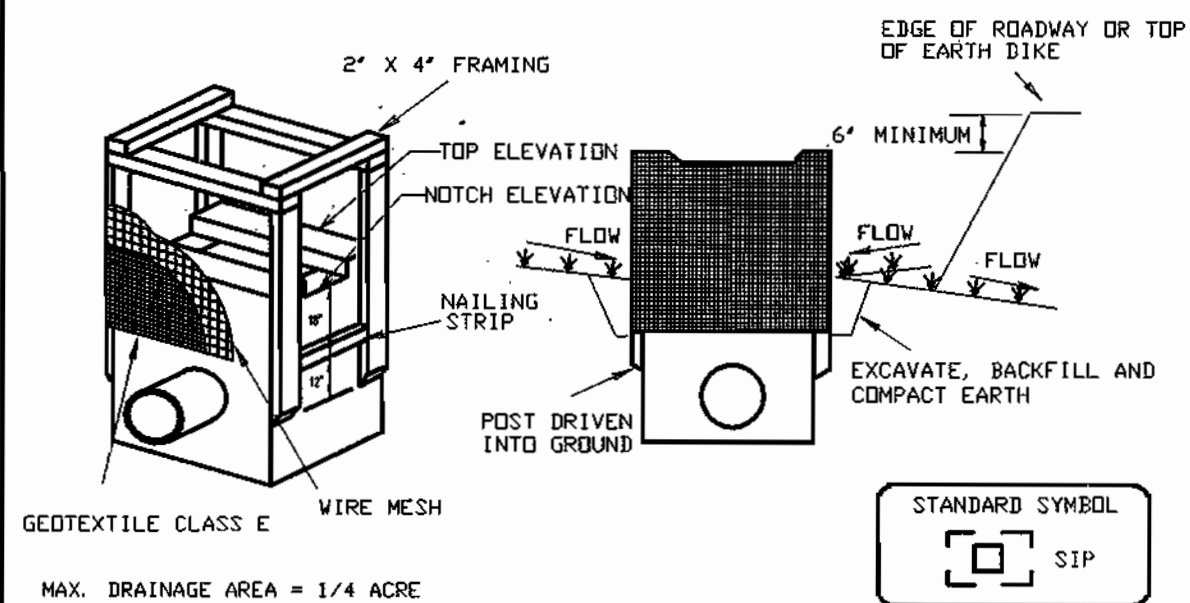
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
 PLAT Nos. 15319-15323
 715353-15357

ELLICOTT CITY ELECTION DISTRICT No. 2

HOWARD COUNTY, MARYLAND

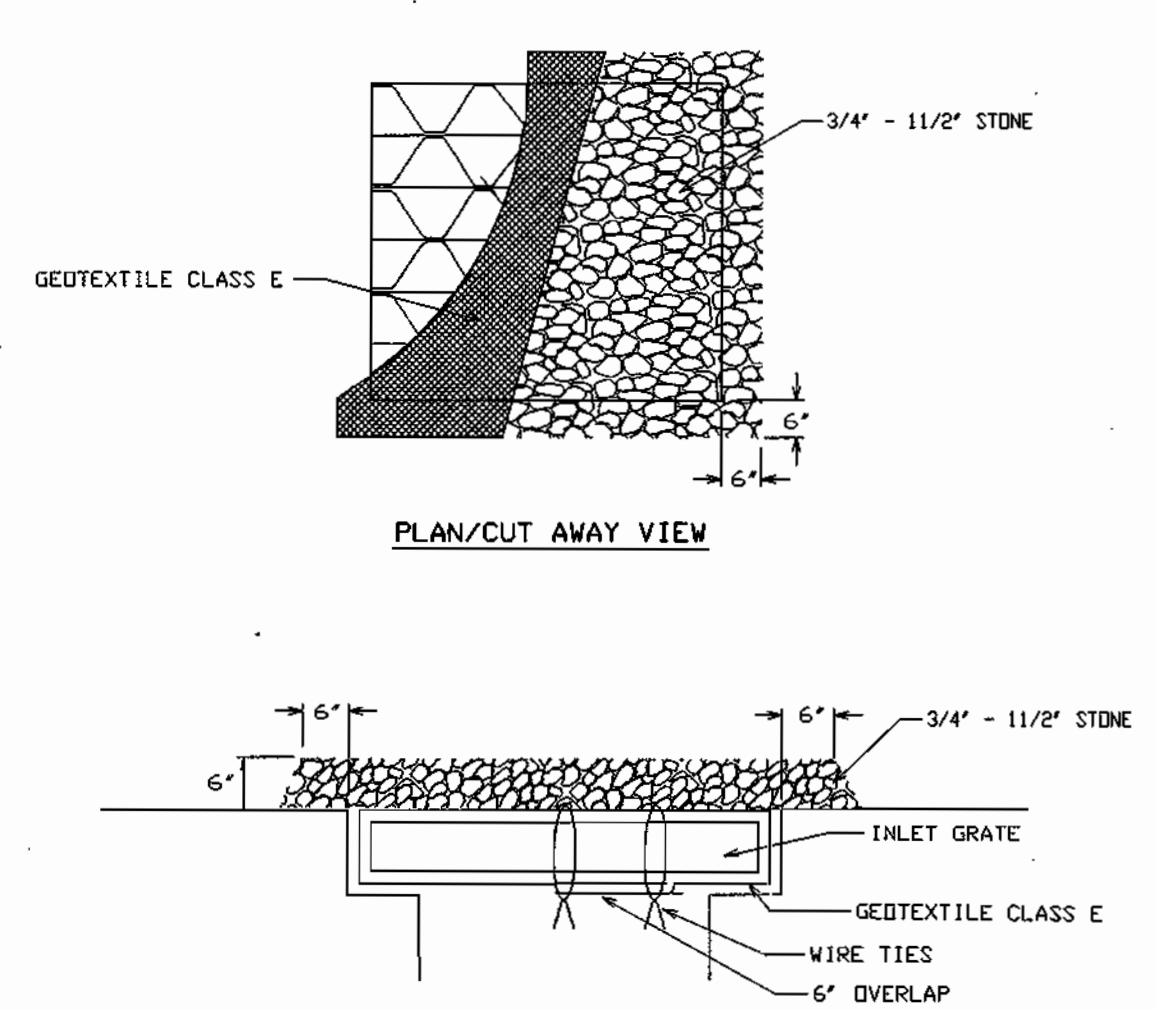
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DATE 18/MAR/02	TAX MAP - GRID 17-17,18,24	SHEET 30 of 43

DETAIL 23A - STANDARD INLET PROTECTION



- MAX. DRAINAGE AREA = 1/4 ACRE
- Construction Specifications
- Excavate completely around the inlet to a depth of 18" below the notch elevation.
 - Drive the 2" x 4" construction grade lumber posts 1' into the ground at each corner of the inlet. Place nail strips between the posts on the ends of the inlet. Assemble the top portion of the 2" x 4" frame using the overlap joint shown on Detail 23A. The top of the frame (weir) must be 6" below adjacent roadways where flooding and safety issues may arise.
 - Stretch the 1/2" x 1/2" wire mesh tightly around the frame and fasten securely. The ends must meet and overlap at a post.
 - Stretch the Geotextile Class E tightly over the wire mesh with the geotextile extending from the top of the frame to 18" below the inlet notch elevation. Fasten the geotextile firmly to the frame. The ends of the geotextile must meet at a post, be overlapped and folded, then fastened down.
 - Backfill around the inlet in compacted 6" layers until the layer of earth is level with the notch elevation on the ends and top elevation on the sides.
 - If the inlet is not in a sump, construct a compacted earth dike across the ditch line directly below it. The top of the earth dike should be at least 6" higher than the top of the frame.
 - The structure must be inspected periodically and after each rain and the geotextile replaced when it becomes clogged.

DETAIL 23B - AT GRADE INLET PROTECTION



- MAX. DRAINAGE AREA = 1/4 ACRE
- Construction Specifications
- Lift grate and wrap with Geotextile Class E to completely cover all openings, then set grate back in place.
 - Place 3/4" to 1 1/2" stone, 4"-6" thick on the grate to secure the fabric and provide additional filtration.

Dust Control

Definition:
Controlling dust blowing and movement on construction sites and roads.

Purpose:
To prevent blowing and movement of dust from exposed soil surfaces, reduce on and off-site damage, health hazards, and improve traffic safety.

Conditions Where Practice Applies:
This practice is applicable to areas subject to dust blowing and movement where on and off-site damage is likely without treatment.

Specifications:

Temporary Methods

- Mulches - See standards for vegetative stabilization with mulches only. Mulch should be crimped or locked to prevent blowing.
- Vegetative Cover - See standards for temporary vegetative cover.
- Tillage - To roughen surface and bring clods to the surface. This is an emergency measure which should be used before soil blowing starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12' apart, spring-toothed harrows, and similar plows are examples of equipment which may produce the desired effect.
- Irrigation - This is generally done as an emergency treatment. Site is sprinkled with water until the surface is moist. Repeat as needed. At no time should the site be irrigated to the point that runoff begins to flow.
- Barriers - Solid board fences, silt fences, snow fences, straw bales, and similar material can be used to control air currents and soil blowing. Barriers placed at right angle to prevailing currents at intervals of about ten times their height are effective in controlling soil blowing.
- Calcium Chloride - Apply at rates that will keep surface moist. May need treatment.

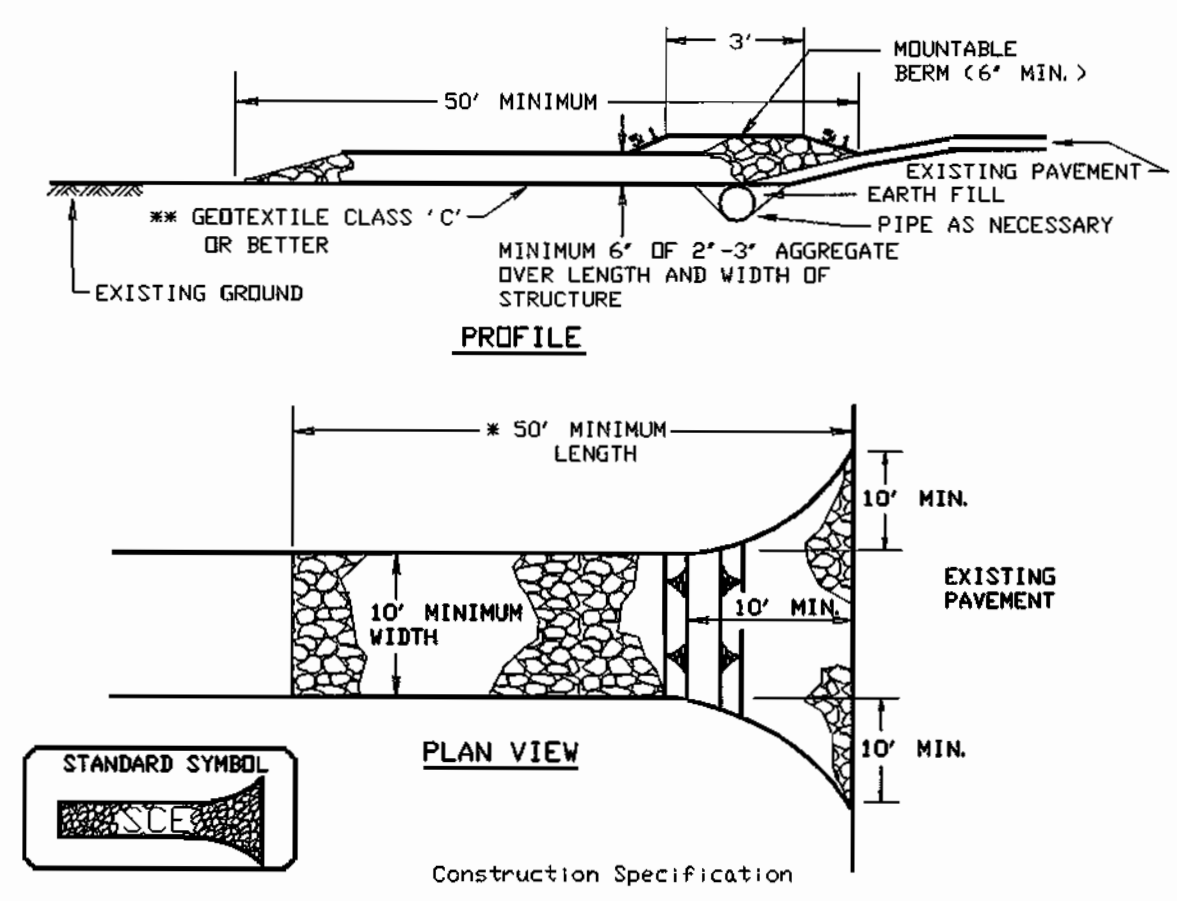
Permanent Methods

- Permanent Vegetation - See standards for permanent vegetative cover, and permanent stabilization with sod. Existing trees or large shrubs may afford valuable protection if left in place.
- Topsoiling - Covering with less erosive soil material. See standards for top soil.
- Stone - Cover surface with crushed stone or gravel.

References

- Agriculture Handbook 346. Wind Erosion Forces in the United States and Their Use in Predicting Soil Loss.
- Agriculture Information Bulletin 354. How to Control Wind Erosion, USDA, ARS.

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE

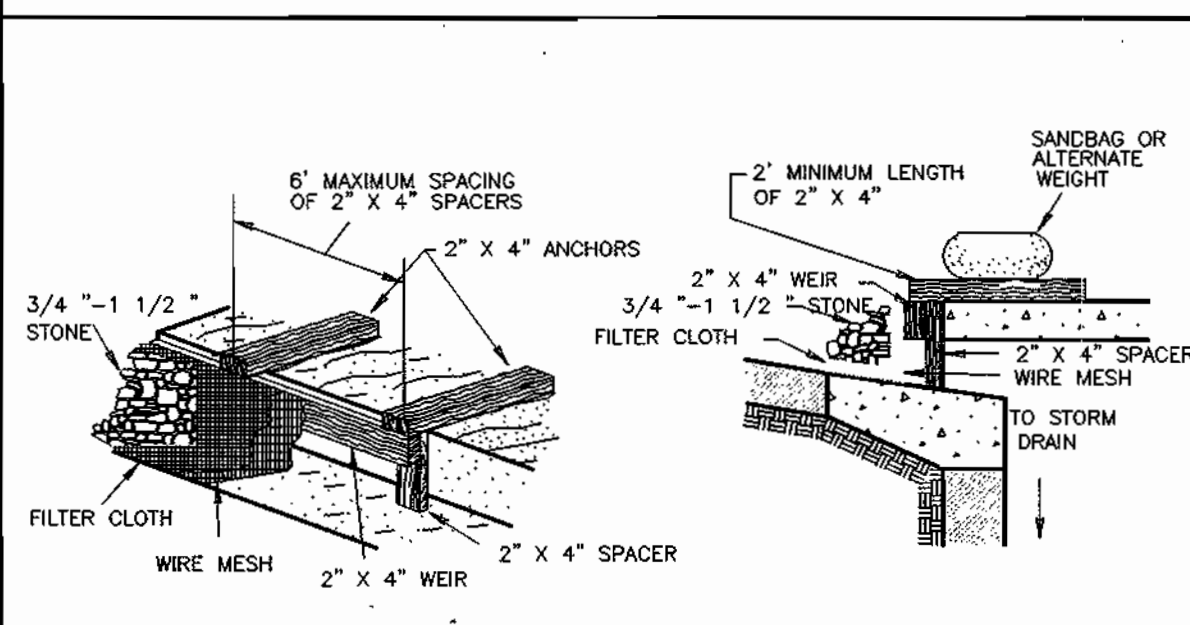


- Construction Specification
- Length - minimum of 50' (*30' for single residence lot).
 - Width - 10' minimum, should be flared at the existing road to provide a turning radius.
 - Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. *The plan approval authority may not require single family residences to use geotextile.
 - Stone - crushed aggregate (2' to 3'), or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
 - Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
 - Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

STABILIZED CONSTRUCTION ENTRANCE

- Construction Specification
- Length - minimum of 50' (*30' for single residence lot).
 - Width - 10' minimum, should be flared at the existing road to provide a turning radius.
 - Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. *The plan approval authority may not require single family residences to use geotextile.
 - Stone - crushed aggregate (2' to 3'), or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
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 - Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

DETAIL 23C - CURB INLET PROTECTION (COG OR COS INLETS)



- MAX. DRAINAGE AREA = 1/4 ACRE
- Construction Specifications
- Attach a continuous piece of wire mesh (30" minimum width by throat length plus 4") to the 2" x 4" weir (measuring throat length plus 2") as shown on the standard drawing.
 - Place a continuous piece of Geotextile Class E the same dimensions as the wire mesh over the wire mesh and securely attach it to the 2" x 4" weir.
 - Securely nail the 2" x 4" weir to a 9" long vertical spacer to be located between the weir and the inlet face (max. 4" apart).
 - Place the assembly against the inlet throat and nail (minimum 2' lengths of 2" x 4" to the top of the weir at spacer locations). These 2" x 4" anchors shall extend across the inlet top and be held in place by sandbags or alternate weight.
 - The assembly shall be placed so that the end spacers are a minimum 1' beyond both ends of the throat opening.
 - Form the 1/2" x 1/2" wire mesh and the geotextile fabric to the concrete gutter and against the face of the curb on both sides of the inlet. Place clean 3/4" x 1 1/2" stones over the wire mesh and geotextile in such a manner to prevent water from entering the inlet under or around the geotextile.
 - This type of protection must be inspected frequently and the filter cloth and stone replaced when clogged with sediment.
 - Assure that storm flow does not bypass the inlet by installing a temporary earth or asphalt dike to direct the flow to the inlet.

DEVELOPER'S/BUILDER'S CERTIFICATE

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Signature of Developer/Builder: *[Signature]* Date: 3/20/02

ENGINEER'S CERTIFICATE

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature: *[Signature]* Date: 3-20-02



These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

Signature: *[Signature]* Date: 3/20/02

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* Date: 4/19/02
 Chief, Division of Land Development: *[Signature]* Date: 4/19/02
 Chief, Development Engineering Division: *[Signature]* Date: 4/19/02

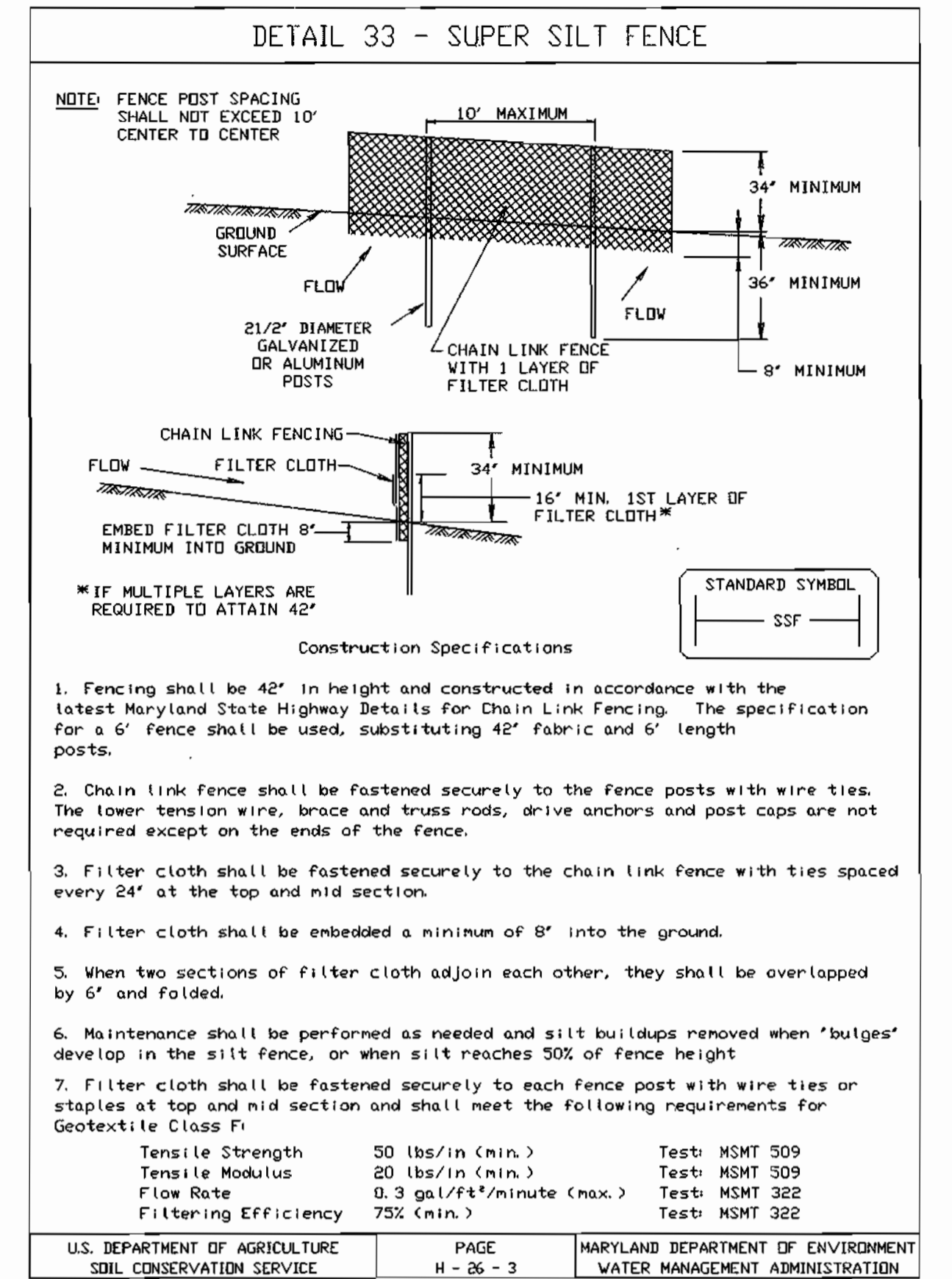
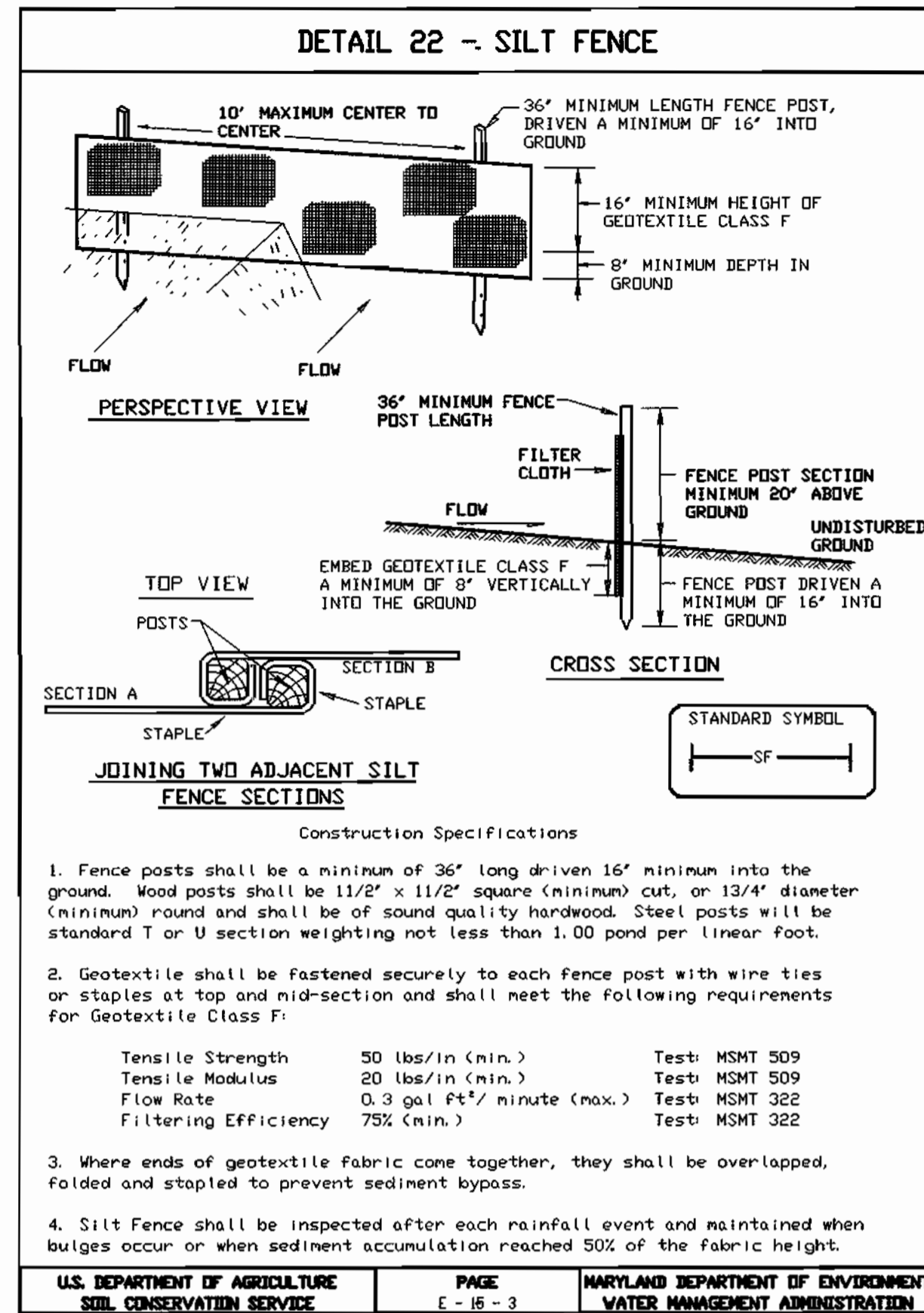
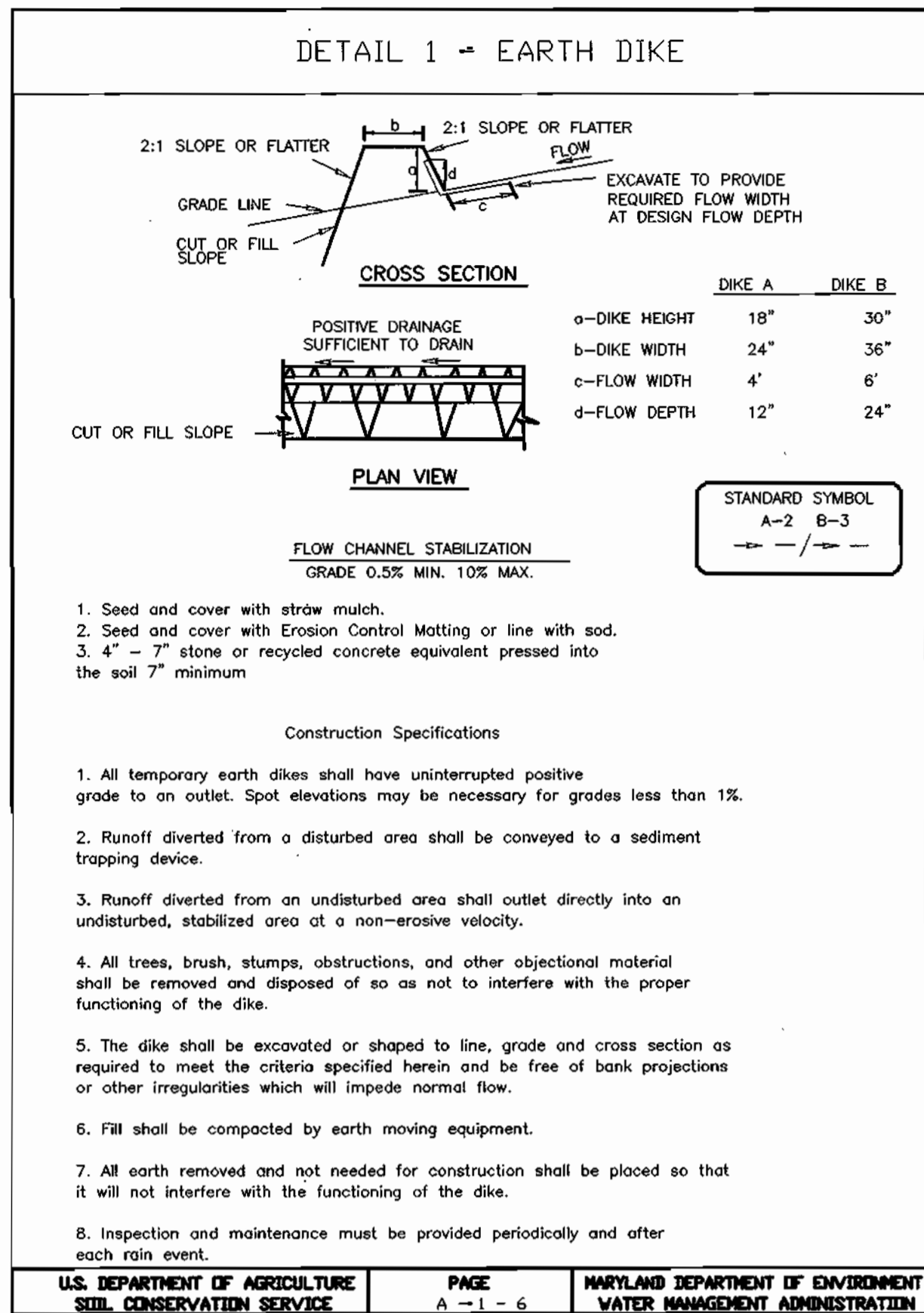
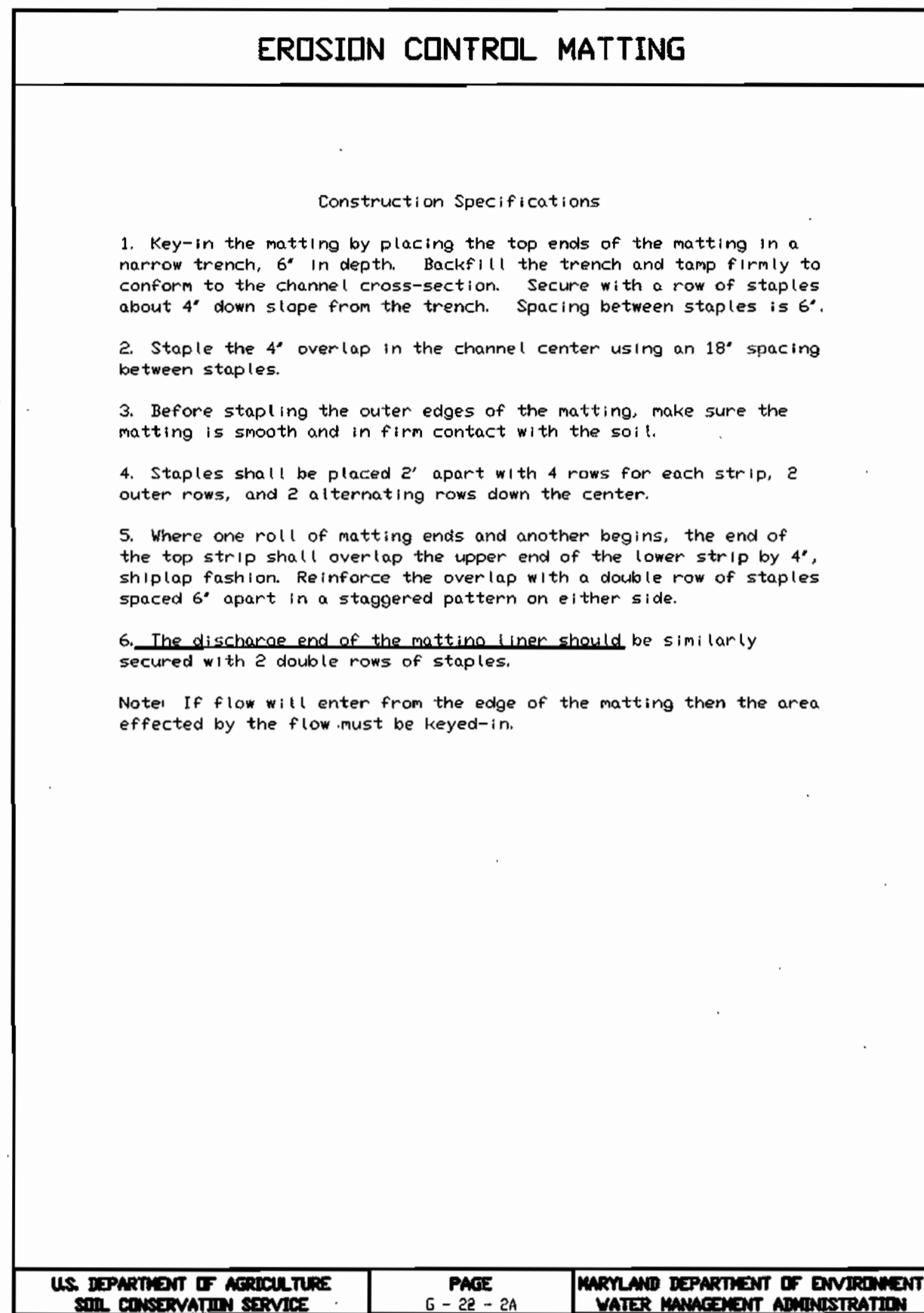
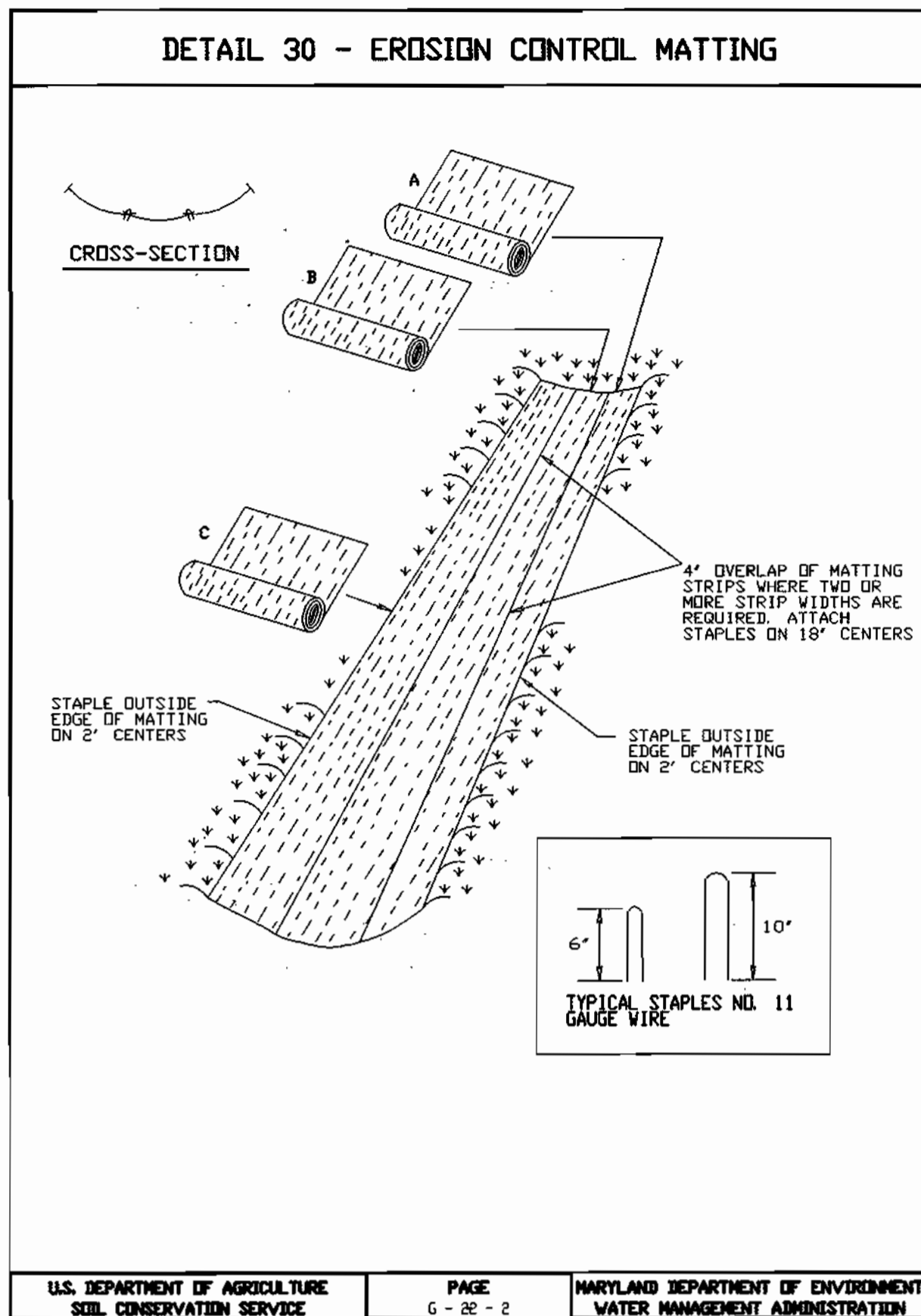
GLW GUTSCHICK LITTLE & WEBBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-890-1820 DC/MC: 301-989-2524 FAX: 301-421-4186

NO.	DATE	REVISION	BY	APP'R.

PREPARED FOR:
 (Owner/Developer)
 EIT SEVEN LLC
 c/o Greenbeam & Rose Assoc., Inc.
 Suite 410, Woodlawn Center
 1829 Reisterstown Road
 Baltimore, MD 21208
 Phone: 410-484-8400
 Attn: Mark Bennett or Charles O'Donovan

SEDIMENT & EROSION CONTROL DETAILS
THE ENCLAVE AT ELLICOTT HILLS
 PARCEL 'A' - RESIDENCES
 PLAT Nos. 15319-15323
 +15353-15357
 ELICOTT CITY ELECTION DISTRICT No. 2

SCALE	ZONING	G. L. W. FILE No.
NTS	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	31 of 43



This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

John R. Roberts 3/23/02
Howard S.C.D. Date

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/we certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD."

Paul Thomas 3/20/02
Signature of Developer/Builder Date

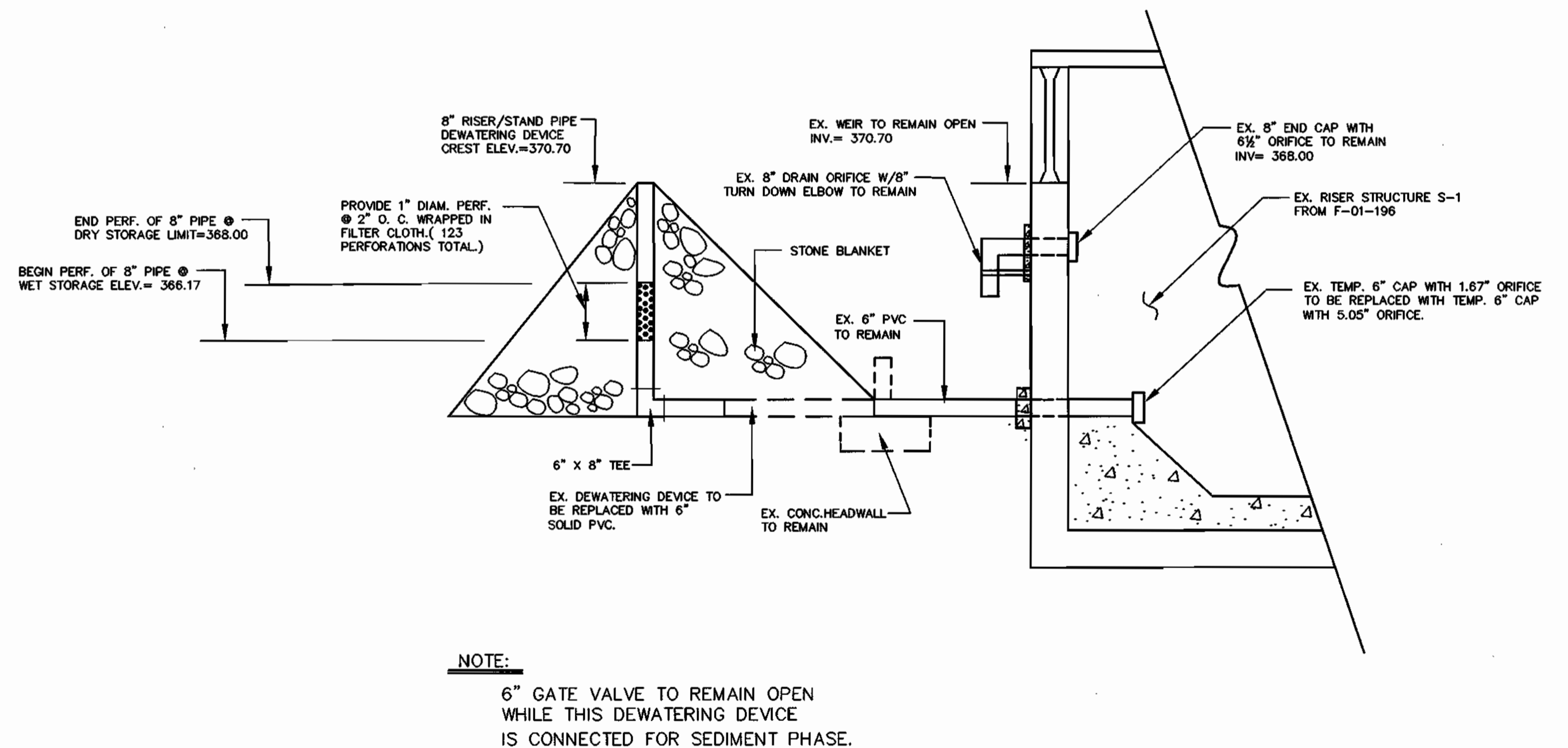
These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

Jim Meyer 3/23/02
Natural Resources Conservation Service Date

ENGINEER'S CERTIFICATE

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

CLD 3-20-02
Date



TEMP. 8" DEWATERING DEVICE FOR SEDIMENT BASIN # 1

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Paul Burt 4/19/02
Director Date
Chris Krom 4/19/02
Chief, Division of Community Development Date
John Vannum 4/19/02
Chief, Development Engineering Division Date

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK
BURTNSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

00050/SDP's/SDP-02-XX/SC-detail.dwg DES. DRN. HKJ CHK. DATE REVISION BY APPR.

PREPARED FOR:
(Owner/Developer)
EXIT SEVEN LLC
c/o Greenbaum & Rose Assoc., Inc.
Suite 410, Woodholme Center
1829 Ridgeline Road
Baltimore, MD 21208
Phone: 410-684-8400
Attn: Mark Bennett or Charles O'Donovan

SEDIMENT & EROSION CONTROL DETAILS
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
PLAT Nos. 15319-15323
7/15353-15357

SCALE	ZONING	G. L. W. FILE No.
NTS	POR	00-050
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18/MAR/02	17-17,18,24	32 of 43

ELLICOTT CITY ELECTION DISTRICT No. 2

HOWARD COUNTY, MARYLAND

STANDARD AND SPECIFICATIONS FOR TOPSOIL DEFINITION

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

PURPOSE

To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

CONDITIONS WHERE PRACTICE APPLIES

- I. This practice is limited to areas having 2:1 or flatter slopes where:
a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplied of moisture and plant nutrients.
c. The original soil to be vegetated contains material toxic to plant growth.
d. The soil is so acidic that treatment with limestone is not feasible.
II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

- I. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications.
ii. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand.
iii. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre.
IV. For sites having disturbed areas under 5 acres:
i. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.

- sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
b. Organic content of topsoil shall be not less than 1.5 percent by weight.
c. Topsoil having soluble salt greater than 500 parts per mill shall not be used.
d. No sod or seed shall be placed on soil which has been with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of photo-toxic materials.

- Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.
V. Topsoil Application
i. When topsoiling, maintain needed erosion and sediment control practices such as diversion, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
ii. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.
iii. Topsoil shall be uniformly distributed in a 4' - 8' layer and lightly compacted to a minimum thickness of 4".
iv. Topsoil shall not be placed while the topsoil or subsoil is frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

References: Guideline Specifications, Soil Preparation and Sodding, MD-VA Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institutes. Revised 1973.

STANDARD AND SPECIFICATIONS FOR TOPSOIL DEFINITION

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

PURPOSE

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b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplied of moisture and plant nutrients.
c. The original soil to be vegetated contains material toxic to plant growth.
d. The soil is so acidic that treatment with limestone is not feasible.
II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization.

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- I. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications.
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iii. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre.
IV. For sites having disturbed areas under 5 acres:
i. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.

SEDIMENT CONTROL NOTES

- 1. A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction.
2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
3. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes and perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51), sod (Sec. 54), temporary seedings (Sec. 50) and mulching (Sec. 52).
6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.

Table with 2 columns: Item, Value. Includes Total Area of Site (44.5± Acres), Area Disturbed (26.5± Acres), Area to be roofed or paved (15.3± Acres), Area to be vegetatively stabilized (11.2± Acres), Total Cut (105,000± Cu. Yds.), Total Fill (105,000± Cu. Yds.), Off-site waste/borrow area location.

PERMANENT SEEDING NOTES

Apply to graded or cleared area not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.
Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).
Soil Amendments: In lieu of soil test recommendations, use one of the following schedules
1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square feet) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding.
2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redistributed where a short-term vegetative cover is needed.
Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).
Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).
Seeding: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2-1/2 bushel per acre of annual rye (3.2 lbs./1000 sq.ft.).
Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding.

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

DEVELOPER'S/BUILDER'S CERTIFICATE

I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD.

Signature of Developer/Builder: [Signature] Date: 3/20/02

ENGINEER'S CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer: [Signature] Date: 3-20-02



These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

Signature of Natural Resources Conservation Service: [Signature] Date: 3/20/02
Signature of Howard S.C.D.: [Signature] Date: 3/20/02

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: [Signature] Date: 4/19/02
Chief, Division of Land Development: [Signature] Date: 4/19/02
Chief, Development Engineering Division: [Signature] Date: 4/11/02

GLW GUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3009 NATIONAL DRIVE - SUITE 250 - BIRKENSVILLE OFFICE PARK
BIRKENSVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-889-1820 DC/VA: 301-968-2524 FAX: 301-421-4186

00050/SOPs/SOP-02-XX/SC-detail.dwg

Table with 4 columns: DATE, REVISION, BY, APPR.

PREPARED FOR: (Owner/Developer)
EXIT SEVEN LLC
c/o Greenbaum & Rose Assoc., Inc.
Suite 410, Woodhams Center
1025 Rattlesnake Road
Baltimore, MD 21208
Phone: 410-484-8400
Attn: Mark Bennett / Charles O'Donovan

SEDIMENT & EROSION CONTROL NOTES

THE ENCLAVE AT ELLICOTT HILLS

PARCEL 'A' - RESIDENCES

FLAT NOs. 15319-15323

+ 15353-15357

ELLICOTT CITY ELECTION DISTRICT No. 2

Table with 3 columns: SCALE, ZONING, G. L. W. FILE No. and 3 rows: NTS, POR, 00-050; DATE, TAX MAP - GRID, SHEET; 18/MAR/02, 17-17,18,24, 33 of 43

**FOREST CONSERVATION
EASEMENT AREA #9 = 5.70 AC.**
(0.81 CREDITED + 4.89 NON-CREDITED)

INTERSTATE 70 (variable width arterial public R/W)

**FOREST CONSERVATION
EASEMENT AREA #7 = 4.29 AC.**
(2.59 CREDITED + 1.70 NON-CREDITED)

**F-01-196
FOREST CONSERVATION
EASEMENT AREA #5 = 1.49 AC.**
(1.49 CREDITED)

**FOREST CONSERVATION
EASEMENT AREA #8 = 2.74 AC.**
(2.74 CREDITED)

**FOREST CONSERVATION
EASEMENT AREA #10 = 2.34 AC.**
(0.40 CREDITED + 1.94 NON-CREDITED)

**FOREST CONSERVATION
EASEMENT AREA #6 = 8.20 AC.**
(6.34 CREDITED + 1.86 NON-CREDITED)

**FOREST CONSERVATION
EASEMENT AREA #11 = 0.38 AC.**
(0.10 CREDITED + 0.28 NON-CREDITED)

**F-01-196
FOREST CONSERVATION
EASEMENT AREA #1 = 0.26 AC.**
(0.06 CREDITED + 0.20 NON-CREDITED)

**F-01-196
FOREST CONSERVATION
EASEMENT AREA #2 = 1.45 AC.**
(0.38 CREDITED + 1.07 NON-CREDITED)

**F-01-196
FOREST CONSERVATION
EASEMENT AREA #3 = 3.56 AC.**
(3.56 CREDITED)

LEGEND

- 400 --- EXISTING CONTOUR
- 400 --- PROPOSED CONTOUR
- LIMIT OF DISTURBANCE
- TP --- TREE PROTECTION FENCE
- EXISTING TREE LINE (LIGHT LINE)
- FOREST AREA TO BE CLEARED
- PROPOSED TREE LINE (HEAVY LINE)
- WETLANDS
- WB --- 25' WETLAND BUFFER
- SB --- STREAM
- SB --- STREAM BUFFER
- SOILS
- 15-25% SLOPE AREA
- 25% AND GREATER SLOPE AREA
- 33" PIN OAK
- FOREST CONSERVATION EASEMENT (FCE) AREA
- FOREST CONSERVATION SIGNS (see detail on sheet 40)

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 4/19/02

Chief, Division of Land Development: *[Signature]* Date: 4/19/02

Chief, Development Engineering Division: *[Signature]* Date: 4/1/02

NOTE:

1. EXISTING INFORMATION SHOWN ON THIS PLAN REFLECTS PRE NORTH RIDGE ROAD CONSTRUCTION IN ORDER TO ACCOUNT FOR FC REQUIREMENTS FOR THE ENTIRE SITE (76.7 ± ACRE). SEE SHEET 35 FOR FOREST CONSERVATION WORKSHEET AND SUMMARY TABLE OF ALL THE CONSERVATION AREAS.

2. CREDITED ACREAGE IS NET TRACT FOREST RETENTION. NON-CREDITED ACREAGE MAY INCLUDE AREA WITHIN FLOODPLAIN AND/OR NON-WOODED SURPLUS AREA.

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONVILLE OFFICE PARK
BURTONVILLE, MARYLAND 20886
TEL: 301-421-4024 FAX: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

PREPARED FOR:
(Owner/Developer)
EXT SEVEN LLC
c/o Greenbaum & Rose Assoc., Inc.
Suite 410, Woodbine Center
1829 Reisterstown Road
Baltimore, MD 21206
Phone: 410-484-9400
Attn: Mark Bennett or Charles O'Donovan

FOREST CONSERVATION PLAN OVERVIEW

THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
PLAT Nos. 15319-15223
+ 15353-15357

ELLICOTT CITY ELECTION DISTRICT No. 2

SCALE	ZONING	G. L. W. FILE No.
1" = 100'	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	34 of 43

GENERAL NOTES

- This reforestation plan is provided in accordance with the requirements of Subtitle 12 "Forest Conservation" of the Howard County Code.
- Implementation of this plan must be performed by a contractor that is knowledgeable and experienced in afforestation/reforestation techniques and practices.
- The owner is responsible for a 2-year (min.) post-construction maintenance period which involves activities necessary to ensure survival and growth of the conservation area.

Two inspection per year by a qualified professional at beginning and end of the growing season, are recommended in order to take remedial steps as necessary. If, after one year, the possibility exists that the original planting (if applicable) will not meet survival rate standards, the applicant may choose to establish reinforcement plantings.
- At the end of the post-construction management and protection period, certification by a qualified consultant will be required before to the owner can be released from his/her forest conservation obligation to the administrator of the Howard County Forest Conservation program.
- The contractor is responsible for the location of any existing utilities. The repair of any utilities damaged by the contractor shall be at the contractor's expense.

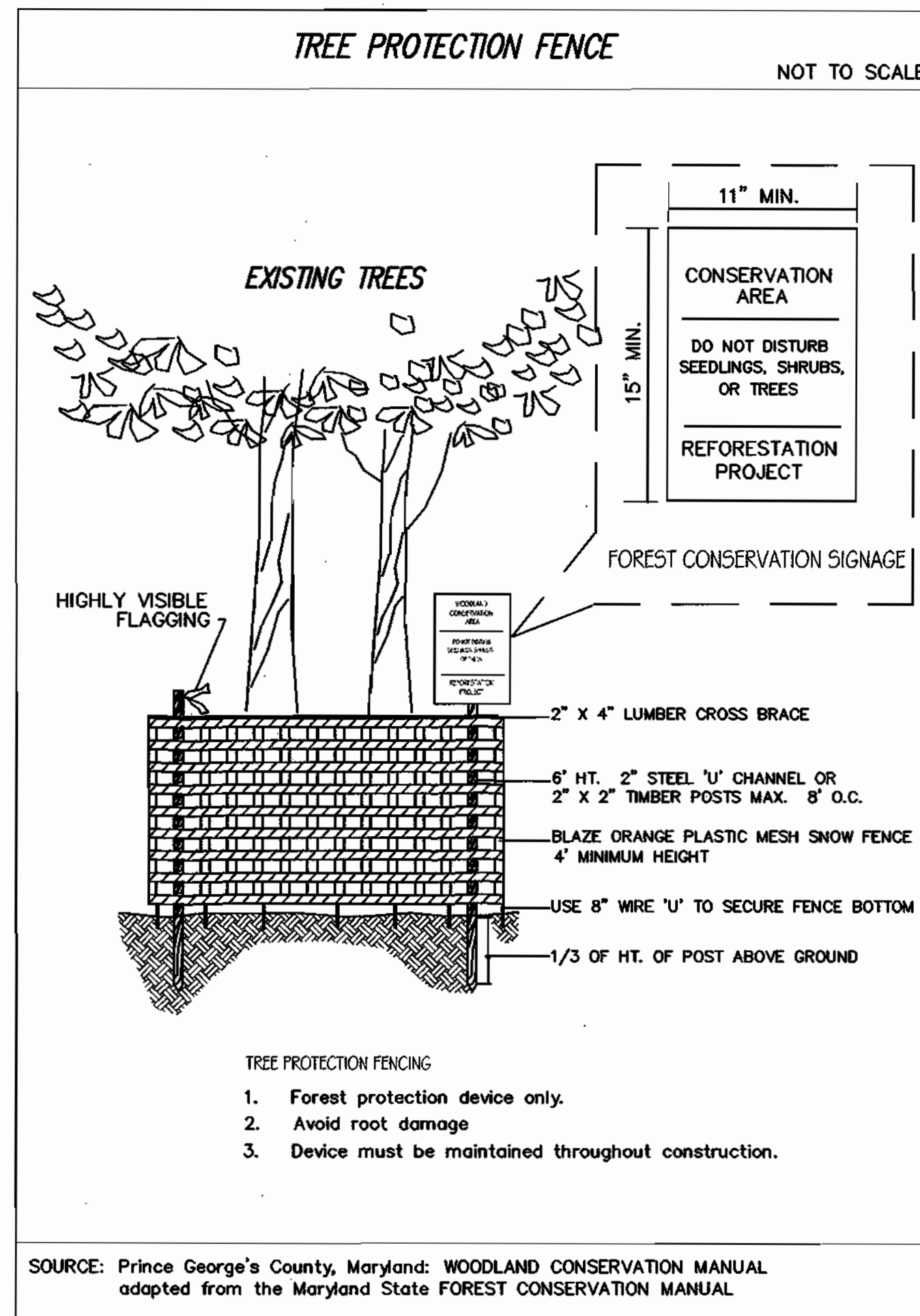
CONSTRUCTION PERIOD PROTECTION PROGRAM

- The limit of forest retention shall be staked and flagged.
- A pre-construction meeting at the site should be held to confirm the limits of clearing specified. The meeting should include the owner or the owner's representative, the on-site foreman in charge of land disturbance, the environmental consultant and the appropriate Howard County inspectors.
- Forest protection devices and signs (see details) shall be installed prior to any clearing or grading. The protection devices and signs shall be maintained during the entire construction period. None of the devices shall be anchored or attached in any way to the trees to be saved.
- Equipment, vehicles and building materials shall not be within the protected area. Activities strictly to implement any reforestation planting and maintenance (i.e. watering, fertilizing thinning, pruning, removal of dead and diseased trees where necessary, etc.) of the conservation area are permitted. Clearing for the purpose of sodding or planting grass is not permitted within the forest conservation area once it's established.
- At the end of the construction period, the designated qualified professional shall convey to the administrator of the Howard County Forest Conservation Program certification that all forest retention areas have been preserved, all reforestation and/or afforestation plantings (if applicable) have been installed as required by the forest conservation plan, and that all protection measures required for the post-construction period have been installed.

Upon review of the final certification document for completeness and accuracy, the program coordinator will notify the owner of release from the construction period obligations. The 2-year (min.) post-construction management and protection period then commences.

FOREST CONSERVATION PROGRAM SEQUENCE

- OBTAIN ALL NECESSARY PERMITS.
- STAKEOUT LIMITS OF DISTURBANCE.
- FIELD MEETING TO REVIEW AND VERIFY LIMIT OF DISTURBANCE FOR SITE DEVELOPMENT GRADING AND CONSTRUCTION.
- INSTALL FOREST CONSERVATION SIGNS AND FOREST PROTECTION DEVICES (FENCES) ALONG THE PORTION OF THE LIMIT OF DISTURBANCE (THAT INVOLVES CLEARING AND/OR RETENTION OF TREES). SEE SEDIMENT CONTROL PLAN.
- COMMENCE SITE CONSTRUCTION.
- MOVE CONSERVATION SIGNS INSTALLED IN #4 (ABOVE) TO THE EDGE OF THE CONSERVATION EASEMENT.
- INSPECTION AND CERTIFICATION FOR THE RELEASE OF THE CONSTRUCTION PERIOD OBLIGATIONS; START OF POST-CONSTRUCTION MANAGEMENT PERIOD.
- POST-CONSTRUCTION MANAGEMENT FOR A PERIOD OF 2 YEARS (MIN.).
- FINAL INSPECTION AND CERTIFICATION FOR THE RELEASE OF THE DEVELOPER'S FOREST CONSERVATION OBLIGATION.



NOTES:

- THE TREE PROTECTION FENCING SHOWN ON THESE PLANS IS TEMPORARY AND SHALL REMAIN IN PLACE DURING CONSTRUCTION ACTIVITY, BUT THE FOREST CONSERVATION SIGNAGE IS PERMANENT AND SHALL REMAIN IN PLACE AROUND THE FOREST CONSERVATION EASEMENTS AFTER THE REMOVAL OF THE TREE PROTECTION FENCING.
- FOREST CONSERVATION SIGNAGE SHALL BE INSTALLED ALONG THE PERIMETER OF THE CONSERVATION EASEMENT AT 50' TO 100' APART (200' APART ALONG MD RTE 40 & I-70) AND AT ALL CORNERS WHERE THE EASEMENT CHANGES DIRECTION.
- ATTACHMENT OF SIGNS TO TREES IS PROHIBITED.

FOREST CONSERVATION WORKSHEET

1. SITE DATA	
GROSS SITE AREA	76.68 AC
AREA WITHIN 100-YEAR FLOOD PLAIN EASEMENT	13.59
NET TRACT AREA	63.09
LAND USE CATEGORY (POR, R-20 and R-ED)	RESIDENTIAL-SUBURBAN
2. INFORMATION FOR CALCULATIONS	
A. NET TRACT AREA	63.09 AC
B. REFORESTATION THRESHOLD (20% x A)	12.62
C. AFFORESTATION THRESHOLD (15% x A)	9.46
D. EXISTING FOREST ON NET TRACT AREA	43.28
E. FOREST AREAS ON NET TRACT TO BE CLEARED	19.14
F. FOREST AREAS ON NET TRACT TO BE RETAINED	24.14**
3. REFORESTATION CALCULATIONS	
A. NET TRACT AREA	63.09 AC
B. REFORESTATION THRESHOLD (20% x A)	12.62
C. EXISTING FOREST ON NET TRACT AREA	43.28
D. FOREST AREAS TO BE CLEARED	19.14
E. FOREST AREAS TO BE RETAINED	24.14
G. FOREST AREAS CLEARED ABOVE REFORESTATION THRESHOLD	19.14
F. FOREST AREAS CLEARED BELOW REFORESTATION THRESHOLD	NONE
H. FOREST AREAS RETAINED ABOVE REFORESTATION THRESHOLD (3E-3B)	11.52

4. REQUIRED FOREST CONSERVATION	
A. REFORESTATION FOR CLEARING ABOVE THRESHOLD (3G x 1/4)	4.79 AC
B. CREDIT FOR FOREST AREAS RETAINED ABOVE THRESHOLD (3H)	11.52
C. TOTAL REFORESTATION PLANTING REQUIRED (4A-4B)	NONE
5. BREAK EVEN POINT (BEP) CALCULATIONS	
A. CLEARING PERMITTED WITHOUT MITIGATION ((3C-3B)/1.25)	24.53 AC
B. FOREST RETENTION LEVEL ABOVE THRESHOLD WITH NO MITIGATION PLANTING (3C-5A)	18.75

6. PROPOSED METHODS OF FULFILLING FOREST CONSERVATION OBLIGATIONS

NO REFORESTATION PLANTING IS REQUIRED FOR THE PROPOSED CLEARING TO DEVELOP THIS SITE SINCE THERE IS A SURPLUS CREDIT OF EXISTING FOREST RETENTION. THE BREAK EVEN POINT IS 24.53 AC (FOR CLEARING) AND 18.75 AC (FOR RETENTION OF EXISTING FOREST ON THE NET TRACT AREA).

TO FULFILL THE FOREST CONSERVATION OBLIGATION FOR THIS SITE, A MINIMUM OF 18.75 AC (THE BREAK-EVEN POINT) OF EXISTING FOREST ON THE NET TRACT AREA MUST BE RECORDED WITHIN A FOREST CONSERVATION EASEMENT.

THE TOTAL ACREAGE OF FOREST CONSERVATION EASEMENT AREA TO BE RECORDED IS 31.00 ACRES WHICH COMPRISES OF:

18.75 AC. OF FOREST RETENTION OUTSIDE THE 100-YEAR FLOOD PLAIN EASEMENT (NET TRACT RETENTION)
9.56 AC. OF FOREST RETENTION INSIDE THE 100-YEAR FLOOD PLAIN EASEMENT
2.69 AC. OF NON-WOODED ENVIRONMENTAL AREA FOR POTENTIAL FOREST ESTABLISHMENT

** THE EXISTING FOREST AREA (APPROX. 4.8± AC.) ADJACENT TO THE PROPERTY OF EDWARD & ANN ROGERS AND CONSERVATION AREA No. 3 IS INCLUDED IN THE RETENTION VALUE OF 24.14 ACRES. HOWEVER, THIS (4.8± AC) AREA IS ABOVE THE NOT MADE PART OF A CONSERVATION EASEMENT IN ORDER TO FACILITATE POSSIBLE FUTURE DEVELOPMENT OF THIS PORTION OF PARCEL 'B'.

TABULATION OF PROPOSED FOREST CONSERVATION EASEMENTS

FOREST CONSERVATION EASEMENT AREA No.	1*	2*	3*	4*	5*	6	7	8	9	10	11	TOTAL
FOREST RETENTION OUTSIDE THE 100-YR FLOOD PLAIN	0.06 AC	0.38 AC	3.56 AC	0.28 AC	1.49 AC	6.34 AC	2.59 AC	2.74 AC	0.81 AC	.40 AC	0.10 AC	18.75 AC. (CREDITED, BEP)
FOREST RETENTION INSIDE THE 100-YR FLOOD PLAIN	0.20 AC	1.07 AC	N/A	0.31 AC	N/A	1.31 AC	0.87 AC	N/A	3.84 AC	1.79 AC	0.17 AC	9.56 AC. (NON-CREDITED FLOODPLAIN)
NON-WOODED ENVIRONMENTAL AREAS FOR POTENTIAL PLANTING OR NATURAL REGENERATION	N/A	N/A	N/A	N/A	N/A	0.55 AC	0.83 AC	N/A	1.05 AC	0.15 AC	0.11 AC	2.69 AC. (NON-CREDITED SURPLUS)
TOTAL AREA OF EACH FOREST CONSERVATION EASEMENT	0.26 AC	1.45 AC	3.56 AC	0.59 AC	1.49 AC	8.20 AC	4.29 AC	2.74 AC	5.70 AC	2.34 AC	0.38 AC	31.00 AC (CREDITED & NON-CREDITED)

* FCE AREA Nos. 1-5 ARE PER F-01-196 FOR THE CONSTRUCTION OF THE NORTH RIDGE ROAD EXTENSION. FOREST CONSERVATION EASEMENT AREA Nos. 6-11 ARE ADDITIONAL FCE ACREAGE ALSO RECORDED UNDER F-01-196 TO SATISFY FOREST CONSERVATION OBLIGATION TO THE ENTIRE 76.68 AC. SITE (AND SDP-02-61 & SDP-02-65).

* FOREST CONSERVATION SURETY FOR FCE AREA Nos. 1-11 WAS POSTED AS PART OF THE DEVELOPER'S AGREEMENT FOR F-01-196 IN THE AMOUNT OF \$163,350.00 TO COVER 18.75 ACRES OF RETENTION AT \$0.20/S.F.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Carol Henderson 4/19/02
Director

Mark Bennett 4/19/02
Chief, Division of Land Development

Charles O'Donovan 4/11/02
Chief, Development Engineering Division

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
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TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-988-2524 FAX: 301-421-4186

PREPARED FOR:
(Owner/Developer)
EXIT SEVEN LLC
c/o Greensboro & Rose Assoc., Inc.
Suite 410, Woodburne Center
1829 Rablensdown Road
Baltimore, MD 21208
Phone: 410-484-8400
Attn: Mark Bennett or Charles O'Donovan

FOREST CONSERVATION NOTES, SCHEDULES and DETAILS

THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' -- RESIDENCES
PLAT Nos. 15319-15323
+ 15353-15357

SCALE	ZONING	G. L. W. FILE No.
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18/MAR/02	17-17,18,24	35 of 43

ELLICOTT CITY ELECTION DISTRICT No. 2

HOWARD COUNTY, MARYLAND

00050/SDP/02-XX/SDP35.DWG

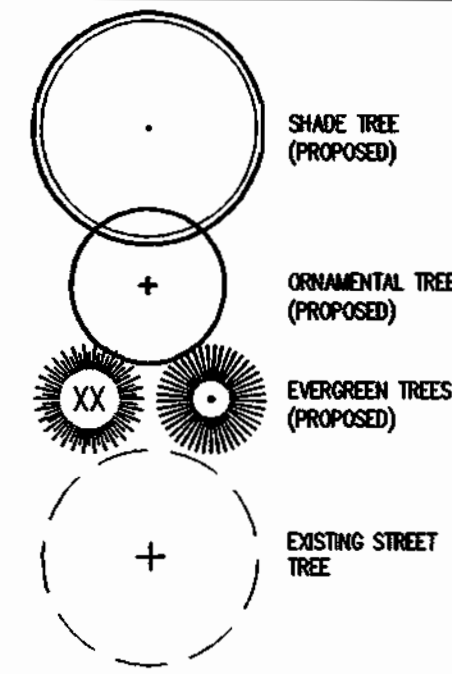
DES. DRN. CHK.

DATE REVISION BY APPR.

LANDSCAPING NOTES

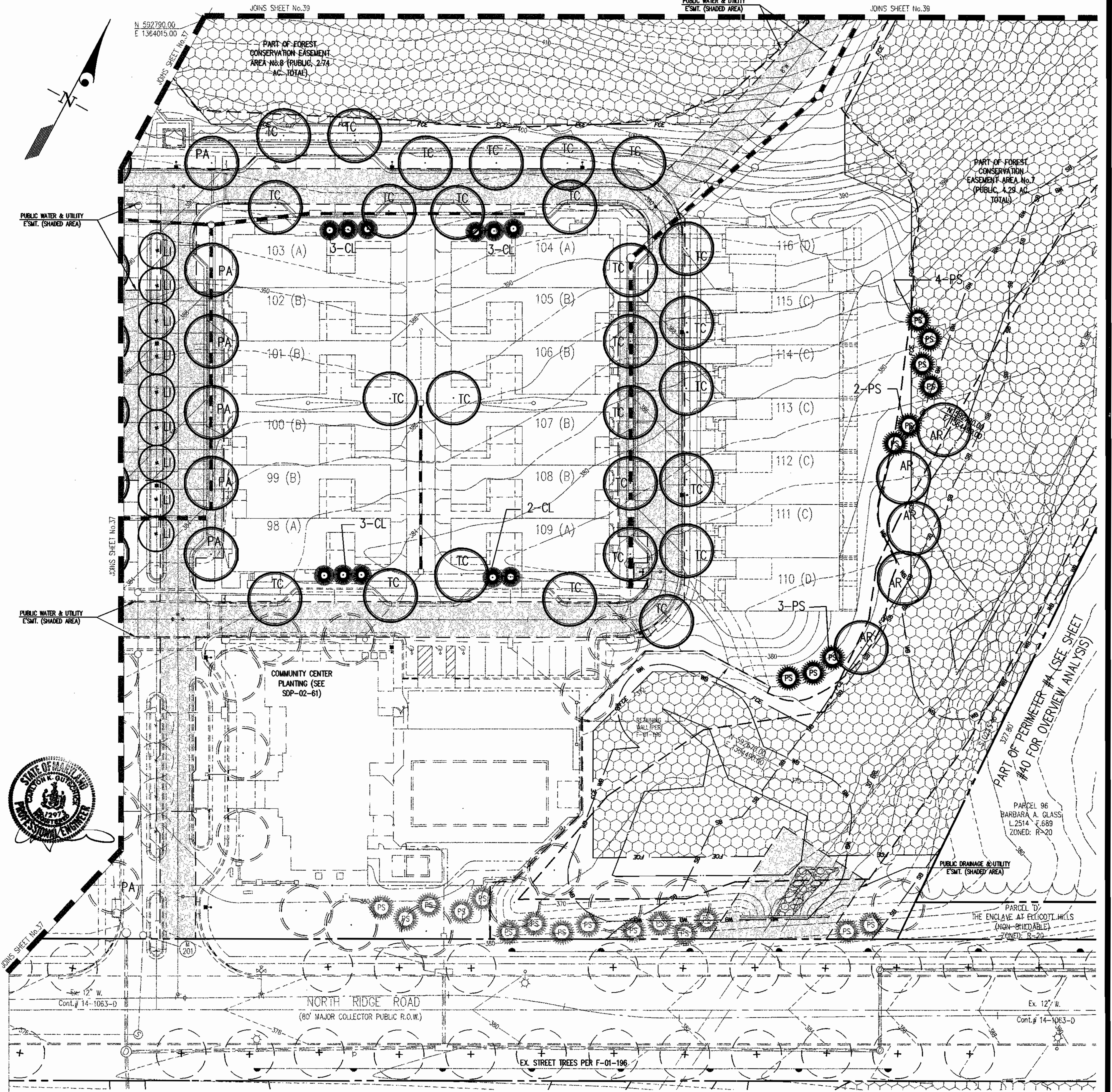
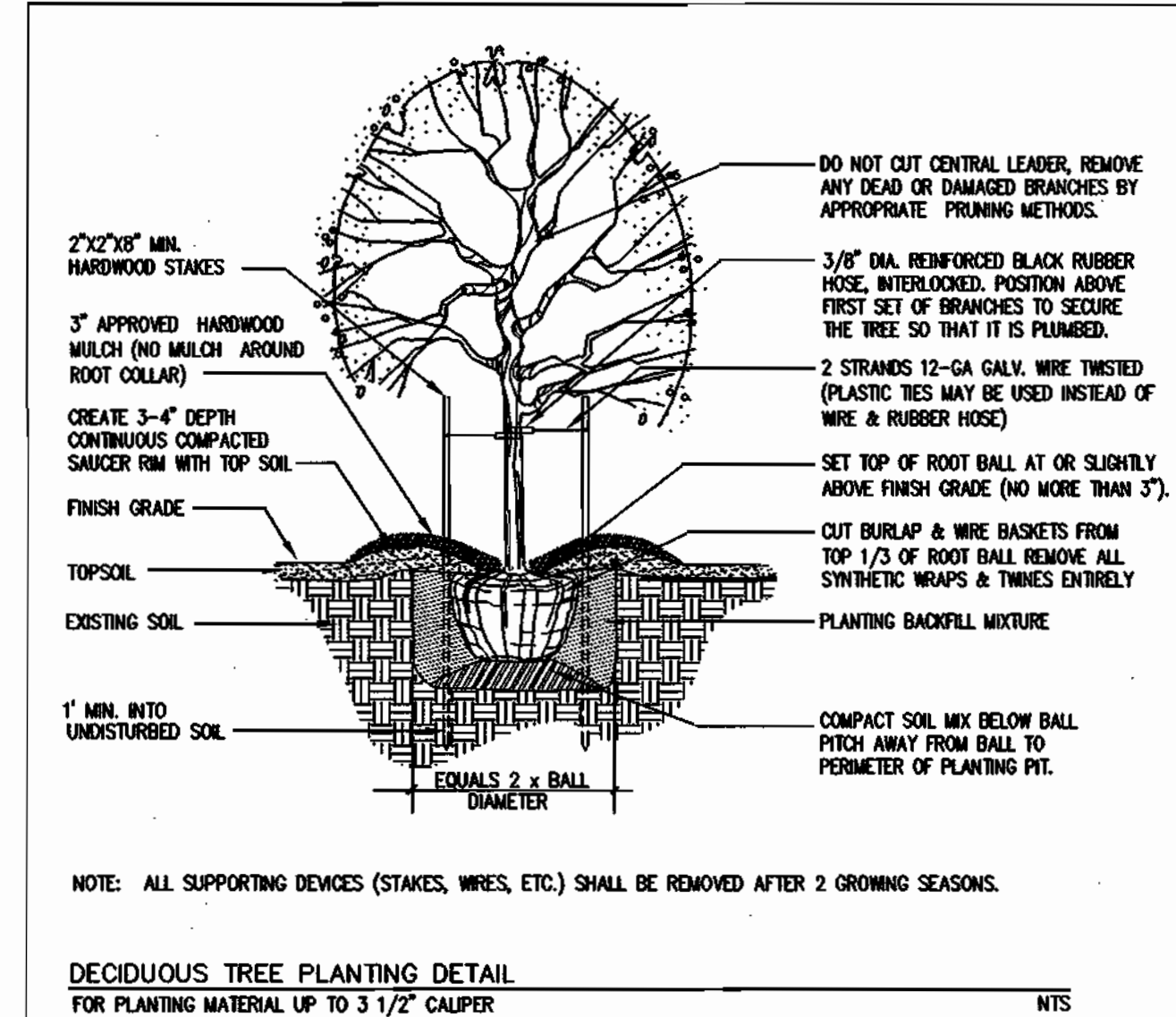
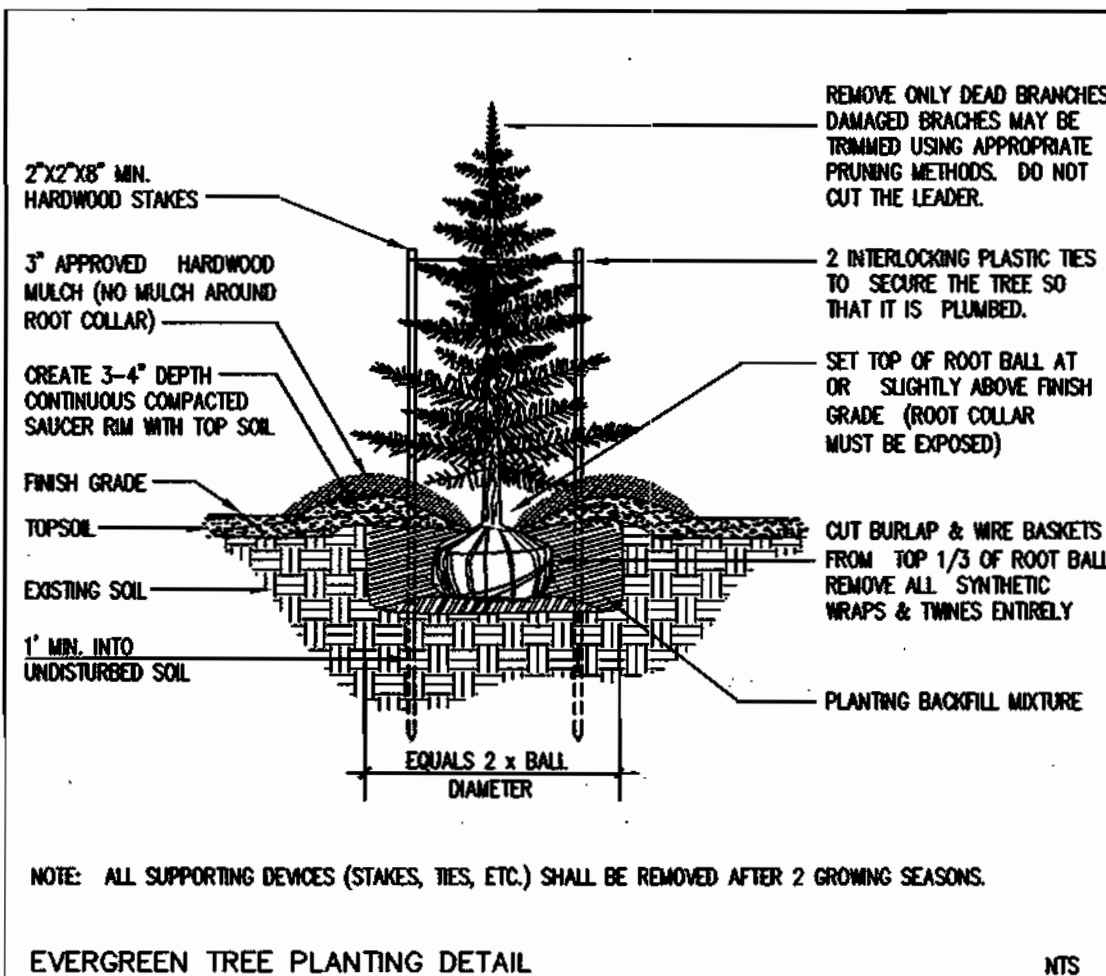
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE & CHAPTER M OF THE HOWARD COUNTY LANDSCAPE MANUAL.
- CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET No.1 SHALL APPLY.
- FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
- PLANT QUANTITIES SHOWN ON THE PLAN LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
- ALL PLANT MATERIAL SHALL BE FULL HEAVY, WELL FORMED, SYMMETRICAL, AND CONFORM TO THE A.A.H. SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THIS PLAN.
- NO SUBSTITUTION SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF HOWARD COUNTY DPZ AND THE OWNER OR HIS REPRESENTATIVE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SEEDED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS FOR SEEDING.
- THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
- ALL EXPOSED EARTH WITHIN LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER THE PLANTING DETAILS.
- DO NOT PLANT DIRECTLY OVER WATER HOUSE CONNECTIONS (IDENTIFIED AS 'WHC' ON SHEETS 2-5).

PLANT TYPE LEGEND



QTY.	SYMBOL	NAME (BOTANICAL/COMMON)	SIZE	CONT.	COMMENTS
SHADE TREES					
13	AR	ACER RUBRUM 'OCTOBER GLORY' / OCT. GLORY RED MAPLE	2.5"-3" CAL.	B&B	FULL, EVENLY SPREAD CROWN
12	PA	PLATANUS ACERIFOLIA / LONDON PLANETREE			
156	TC	TILIA CORDATA / LITTLELEAF LINDEN			
20	AS	ACER SACCHARINUM 'GREEN MOUNTAIN' / GREEN MOUNTAIN SUGAR MAPLE			
36	GT	GLEDITSIA TRIACANTHOS 'IMPERIAL' / IMPERIAL THORNLESS HONEYLOCUST	2"-2.5" CAL.	B&B	MULTI-STEM, EVEN FORM
54	QP	QUERCUS PALUSTRIS / PIN OAK	2"-2.5" CAL.	B&B	CENTRAL LEADER, UNIFORM CROWN
7	NS	NYSSA SYLVATICA / SOUR GUM			
ORNAMENTAL TREES					
17	LI	LAGERSTROEMIA INDICA / CRAPE MYRTLE	6' MIN. HT.	B&B	INTACT LEADER, SYMMETRICAL FORM
EVERGREEN TREES					
94	PS	PINUS STROBUS / EASTERN WHITE PINE	5' MIN. HT.	B&B	INTACT LEADER, SYMMETRICAL FORM
5	IAF	ILEX ATTEMUATA 'FOSTERI' / FOSTER HOLLY			
29	CL	CUPRESSOCYPARIS LEYLANDI / LEYLAND CYPRESS			
SHRUBS					
36	VR	VBURNUM RHODOPHYLLUM / LEATHERLEAF VBURNUM	3-4' HT.	CONT.	
5	VPT	VBURNUM PUCIATUM TOMENTOSUM			
52	ICH	ILEX ORENATA 'HELLERI' / JAPANESE HOLLY			

SUBSTITUTIONS MAY BE MADE WITH THE PLANTS LISTED IN THE HOWARD COUNTY LANDSCAPE MANUAL, APPENDICES 'B' AND 'C'. ALL SUBSTITUTION MUST BE APPROVED BY HOWARD COUNTY DPZ AND THE OWNER OF HIS REPRESENTATIVE (SEE NOTE 6, THIS SHEET).



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 4/9/02

Chief, Division of Land Development: *[Signature]* Date: 4/9/02

Chief, Development Engineering Division: *[Signature]* Date: 4/1/02

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: *[Signature]* DATE: 3/20/02

THIS PLAN IS FOR PLANTING PURPOSES ONLY !!

GLW GUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS

3809 NATIONAL DRIVE - SUITE 250 - BURTENVILLE OFFICE PARK
BURTENVILLE, MARYLAND 20866

TEL: 301-421-4024 BALT: 410-880-1820 DC/WA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR:

(Owner/Developer)
EXIT SEVEN LLC
c/o Greenbeam & Rose Assoc., Inc.
Sulte 410, Woodbine Center
1029 Ridewater Road
Baltimore, MD 21208
Phone: 410-484-8400
Attn: Mark Bennett or Charles O'Donovan

PLANTING PLAN

THE ENCLAVE AT ELLICOTT HILLS

PARCEL 'A' - RESIDENCES

PLAT No. 15219-15223
+ 15353-15357

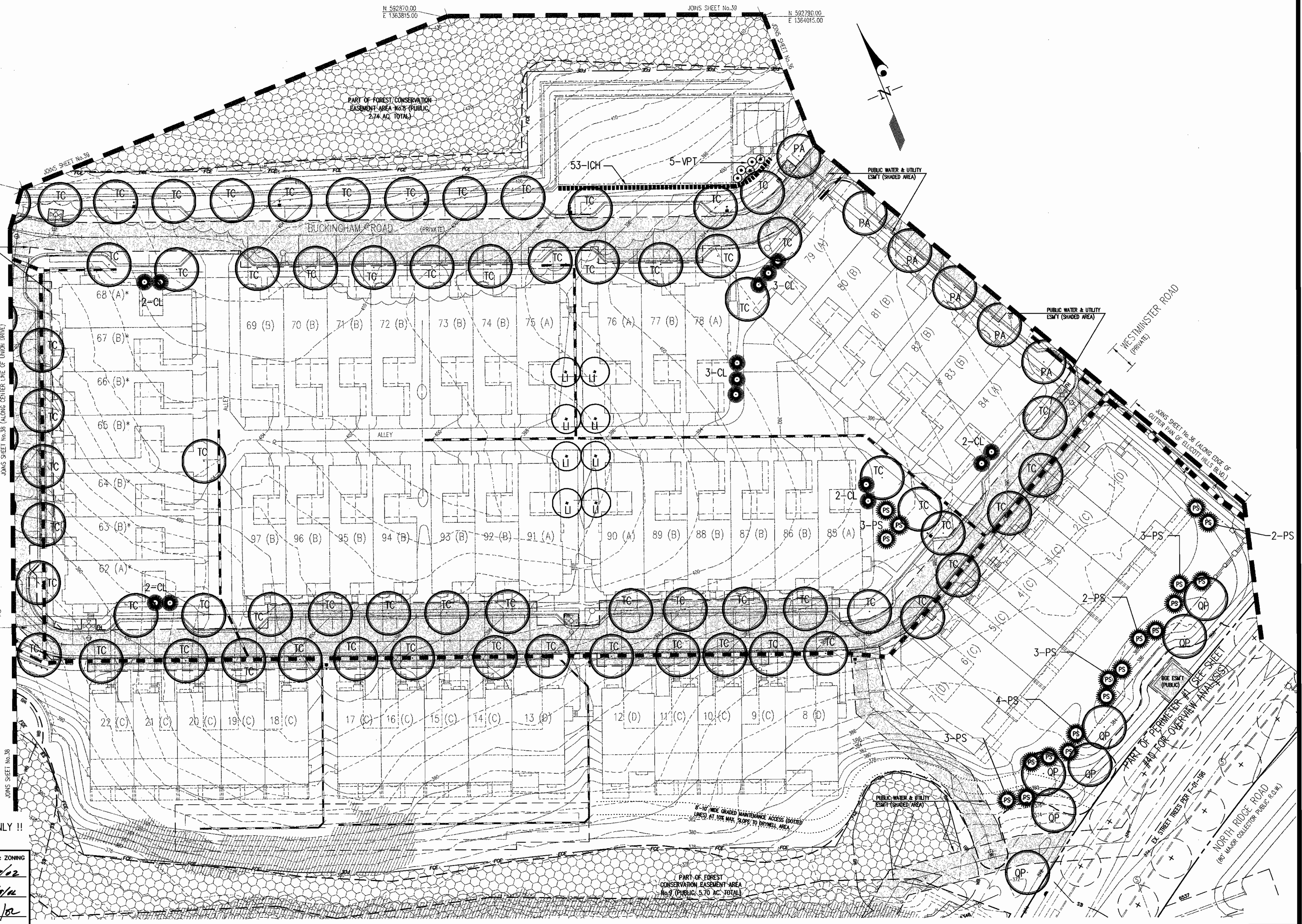
ELICOTT CITY ELECTION DISTRICT No. 2

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	36 of 43

PUBLIC WATER & UTILITY
 ESMT (SHADED AREA)

WESTMINSTER ROAD
 (PRIVATE)

JOHN SHEET No. 38



THIS PLAN IS FOR PLANTING PURPOSES ONLY !!

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Joseph B. Smith* Date: 4/10/02
 Chief, Division of Land Development: *Carlyle H. Harts* Date: 4/10/02
 Chief, Development Engineering Division: *John J. Williams* Date: 4/10/02

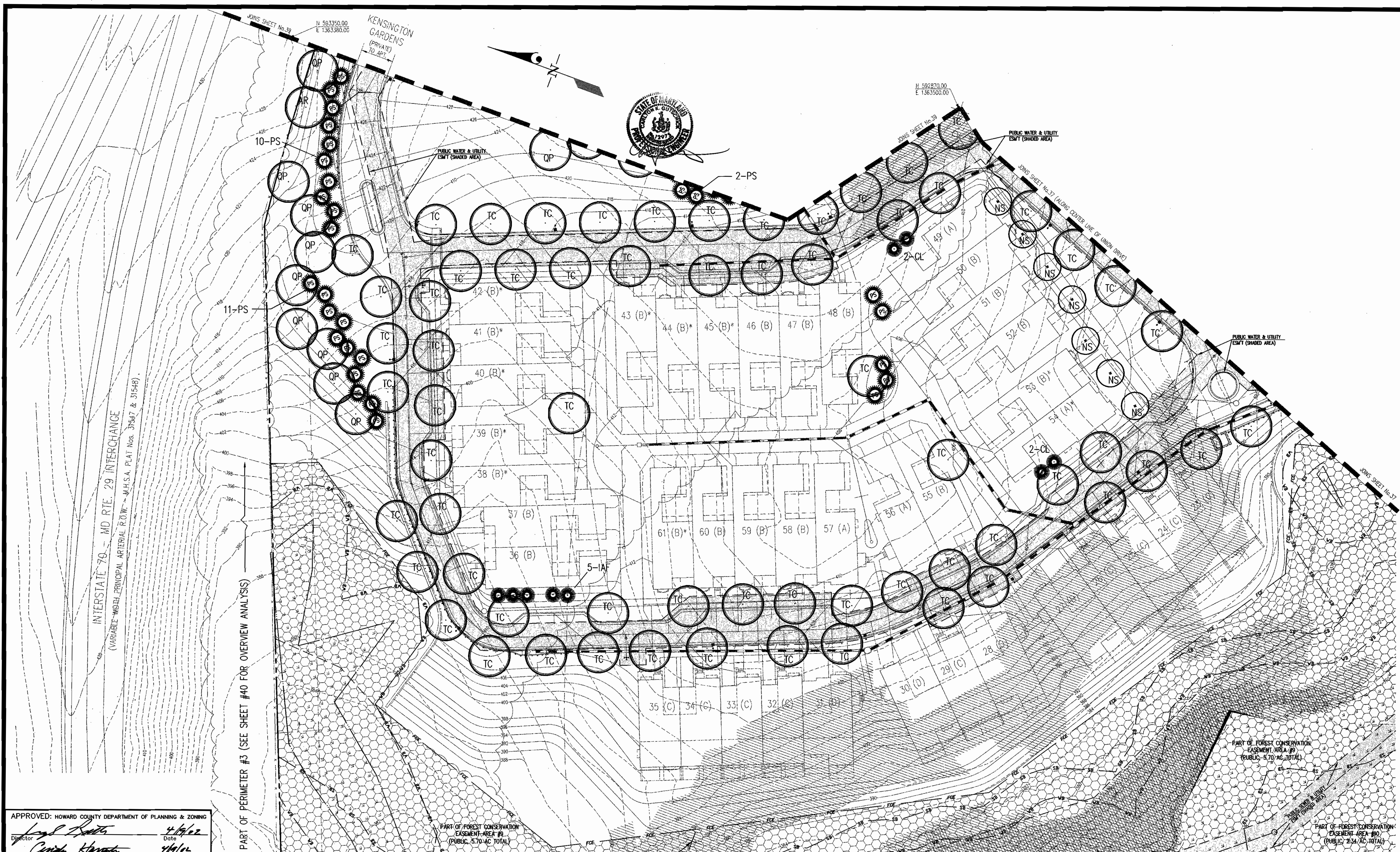
GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONTOWN OFFICE PARK
 BURTONTOWN, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-999-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR:
 (Owner/Developer)
 ENVI SEVEN LLC
 c/o Greenbaum & Rose Assoc., Inc.
 Suite 410, Woodbine Center
 1829 Reisterstown Road
 Baltimore, MD 21208
 Phone: 410-684-8400
 Attn: Mark Bennett or Christine O'Donovan

PLANTING PLAN
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
 PLAT No. 15219-15223
 15353-15357
 ELLICOTT CITY ELECTRON DISTRICT No. 2
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	37 of 43



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Paul Harris* Date: 4/6/02

Chief, Division of Land Development: *Cynthia Harvath* Date: 4/6/02

Chief, Development Engineering Division: *Charles O'Donovan* Date: 4/11/02

PART OF FOREST CONSERVATION EASEMENT AREA #9 (PUBLIC 5.70 AC TOTAL)

PART OF FOREST CONSERVATION EASEMENT AREA #9 (PUBLIC 5.70 AC TOTAL)

PART OF FOREST CONSERVATION EASEMENT AREA #9 (PUBLIC 2.34 AC TOTAL)

N 592870.00
E 1362930.00

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3008 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-855-1000 DC/VA: 301-899-2524 FAX: 301-421-4186

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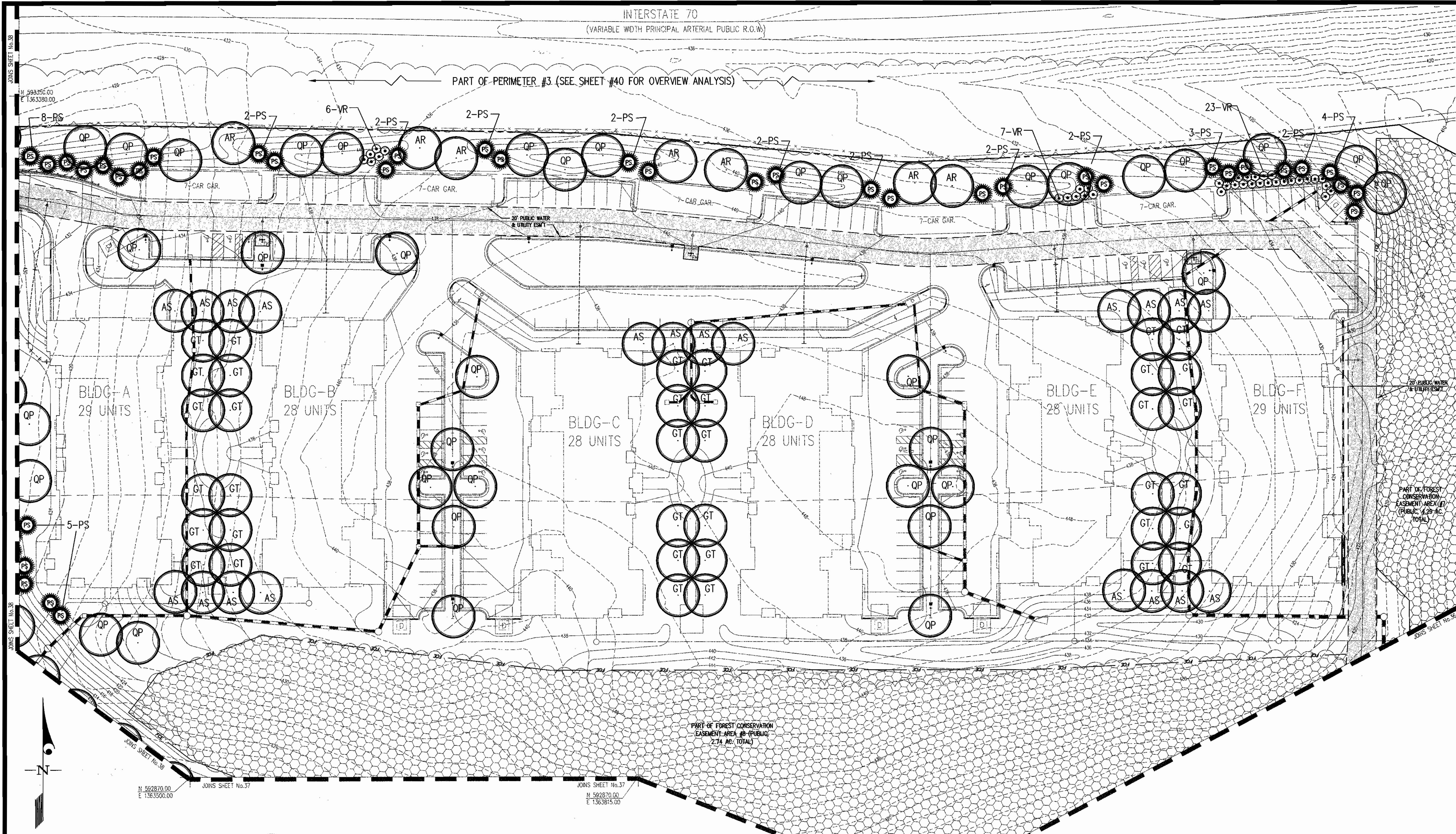
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(Owner/Developer)
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c/o Greenbaum & Rose Assoc., Inc.
Suite 410, Woodhome Center
1829 Reisterstown Road
Baltimore, MD 21208
Phone: 410-494-8400
Attn: Mark Bennett or Charles O'Donovan

PLANTING PLAN
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
PLAT No. 15319-15223
+15353-15357

ELLICOTT CITY ELECTION DISTRICT No. 2

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	38 of 43

THIS PLAN IS FOR PLANTING PURPOSES ONLY !!



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 4/14/02

Chief, Division of Land Development: *[Signature]* Date: 2/11/02

Chief, Development Engineering Division: *[Signature]* Date: 4/1/02



GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DES.	DRN.	CHK.	DATE	REVISION	BY	APP'R.

PREPARED FOR:
 (Owner/Developer)
 EXIT SEVEN LLC
 c/o Greenbaum & Rose Assoc., Inc.
 Suite 410, Woodbine Center
 1829 Raftertown Road
 Baltimore, MD 21208
 Phone: 410-481-8400
 Attn: Mark Bennett or Charles O'Donovan

PLANTING PLAN
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
 PLAT Nos. 15219 - 15223
 15353 - 15357

ELLICOTT CITY ELECTION DISTRICT No. 2

THIS PLAN IS FOR PLANTING PURPOSES ONLY !!

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	39 of 43

HOWARD COUNTY, MARYLAND

LEGEND

---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	EXISTING TREE LINE (LIGHT LINE)
---	PROPOSED TREE LINE (HEAVY LINE)
---	WETLANDS
---	25' WETLAND BUFFER
---	STREAM
---	STREAM BUFFER

**SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING**

NUMBER OF PARKING SPACES	151 IN APT. SECTION	98 IN SFA SECTION
NUMBER OF TREES REQUIRED	15	10
NUMBER OF TREES PROVIDED		
SHADE TREES	15	10
OTHER TREES (2:1 substitution)		

**SCHEDULE C
RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING**

NUMBER OF DWELLING UNITS	170 APTS.	116 SFA
NUMBER OF TREES REQUIRED (1: DU SFA; 1:3 DU APTS)	57	116
NUMBER OF TREES PROVIDED		
SHADE TREES	57 (OR EQV. SUB.)	116 (OR EQV. SUB.)
OTHER TREES (2:1 substitution)		

SCHEDULE-A: PRELIMINARY PERIMETER LANDSCAPE EDGE

PERIMETER No.	1	2	3	4	CORNER UNIT/ BLDG. ORIENTATION*
LOCATED ADJACENT TO	ROADWAYS	PERIMETER PROPERTY	ROADWAYS	PERIMETER PROPERTY	PRIVATE DRIVE
LANDSCAPE TYPE	C	A	C	C	E
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	581' (THIS SDP)	1674'	532'	735'	641'
CREDIT FOR EXISTING VEGETATION	YES, 301' OF EX. WOODLAND	YES, 1674' OF EXISTING WOODLAND	YES, 532' OF EX. WOODLAND	NONE	NONE
CREDIT FOR WALL, FENCE OR BERM	N/A	N/A	N/A	N/A	YES, 312' OF BERMING CREDIT
NUMBER OF PLANTS REQUIRED	(FOR 280')	NONE	NONE	188' ALONG BACK OF UNITS 110-115	188' ALONG BACK OF UNITS 110-115
SHADE TREES	7			5	5
EVERGREEN TREES	14			7	7
SHRUBS	N/A			9	9
NUMBER OF PLANTS PROVIDED					
SHADE TREES	7			5	5
EVERGREEN TREES	14			7	7
OTHER TREES (@ 2:1 substitution)				9	9
SHRUBS (10:1 substitution)				36	36

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] Date: 4/10/02
 Director

[Signature] Date: 4/11/02
 Chief, Division of Land Development

[Signature] Date: 4/11/02
 Chief, Development Engineering Division

*10 EVERGREEN TREES AS (5:1) SUBSTITUTIONS FOR 40 SHRUBS

* CORNER UNIT/BLDG. ORIENTATION
 BLDG. "A" = 272 LF (TYPE B)
 UNIT #1: 30'-20' D/W = 16" (TYPE C)
 UNITS 36 & 42 @ 90' EA = 180'
 UNITS 40,54,62,68,70,94,98,103,104 @ 100 @ 30' EA = 300'



PERIMETER-2
 RETENTION OF EXISTING WOODLAND AS 100% CREDIT FOR 1674' OF TYPE-A BUFFER (SFA VS. EXISTING NON-RESIDENTIAL)

Parcel E
 Bon Secours Howard County
 Health Park
 Plot No. 5385
 Zoned: POR

FINANCIAL SURETY FOR THE REQUIRED LANDSCAPE PLANTING, IN THE AMOUNT OF \$90,990.00, SHALL BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT FOR SDP-02-65.

THE LANDSCAPE SURETY COVERS THE FOLLOWING REQUIRED PLANTING PER SCHEDULES 'A', 'B' AND 'C':

249 TOTAL SHADE TREES REQUIRED @ \$300.00 EA.	= \$74,700.00
92 TOTAL EVERGREEN TREES REQUIRED @ \$150.00 EA.	= 13,800.00
83 SHRUBS @ \$30.00 EA.	= 2,490.00
	\$90,990.00

FOR LANDSCAPING PURPOSES ONLY!

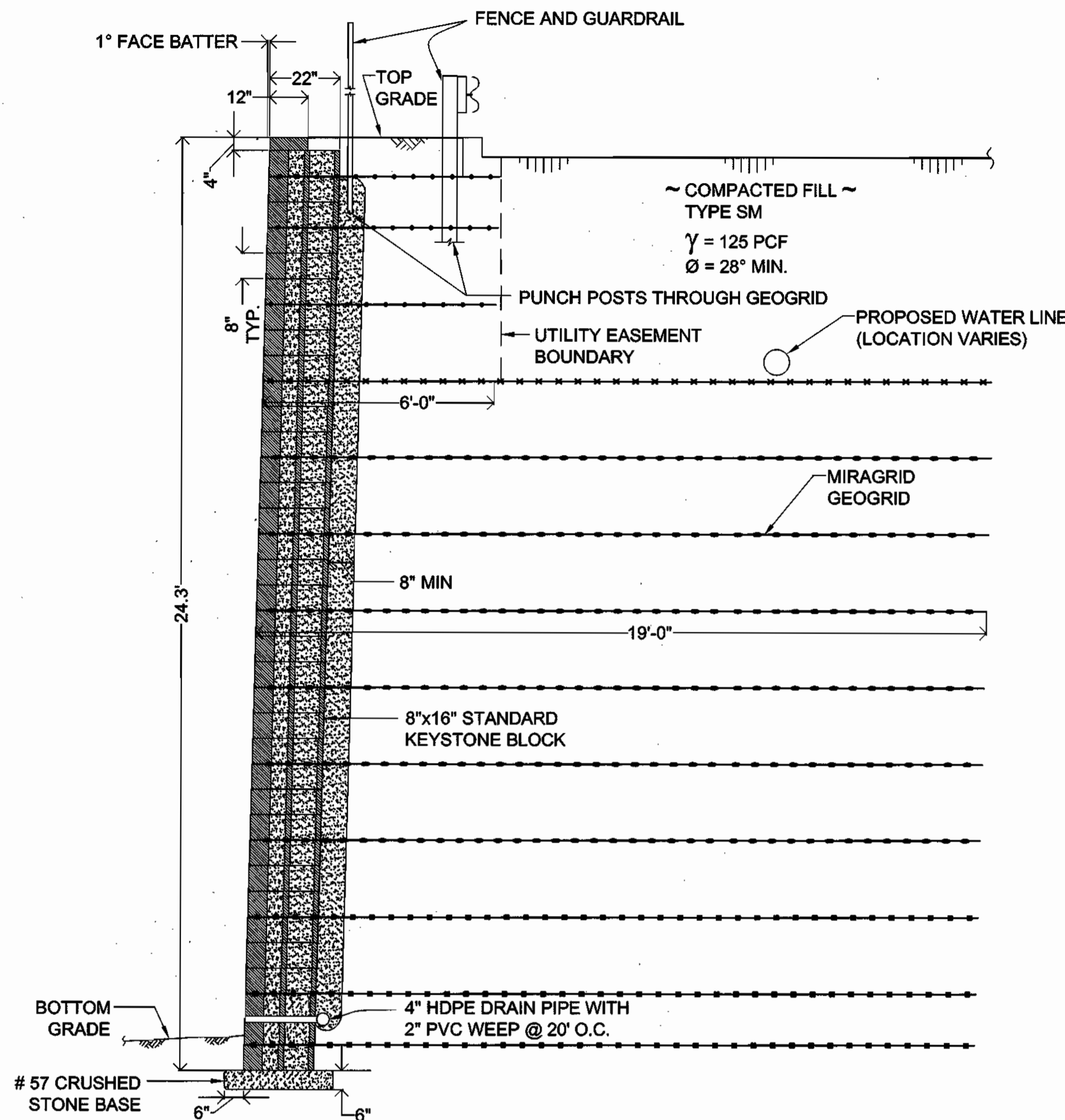
GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 FAX: 301-421-4185

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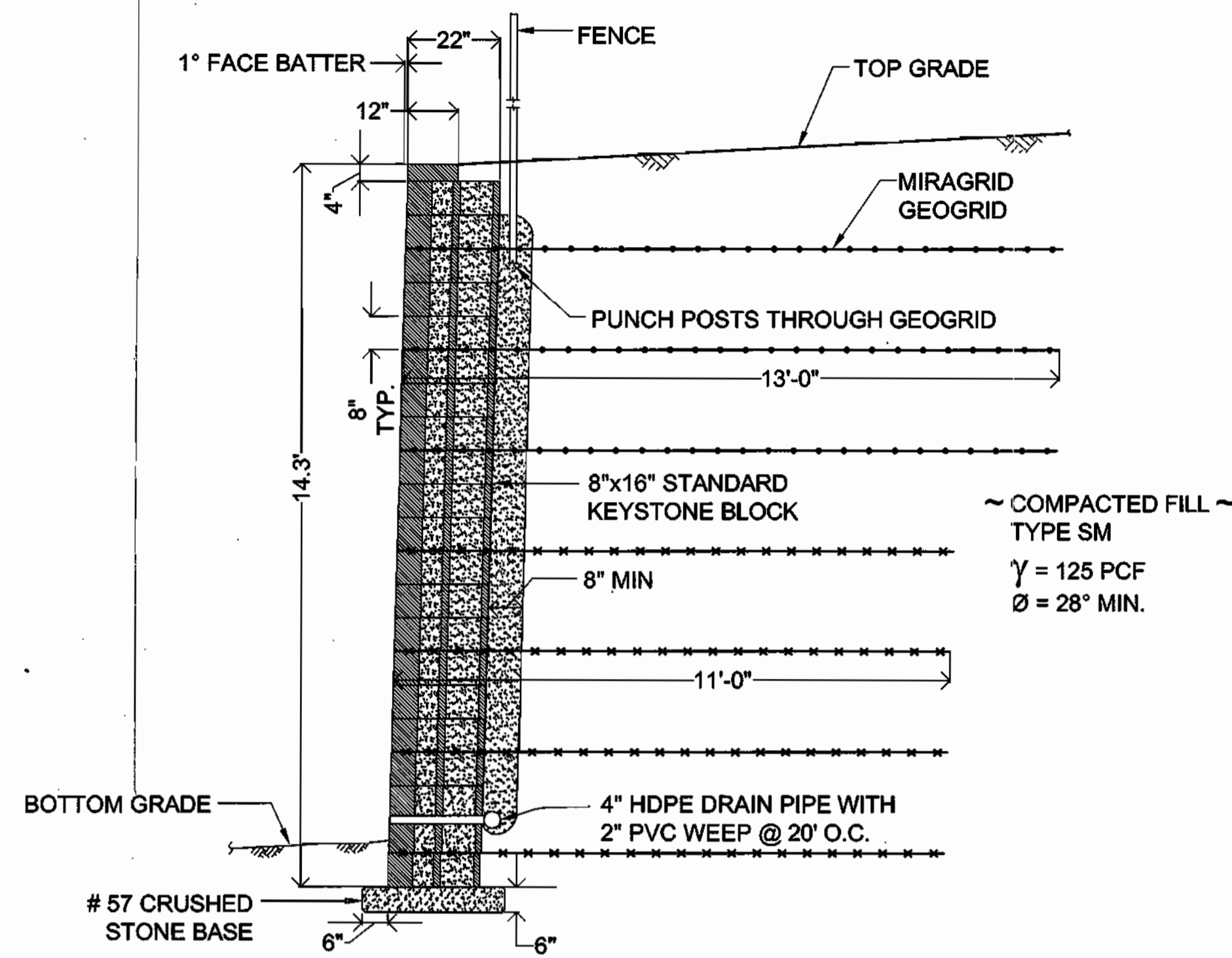
PREPARED FOR:
 (Owner/Developer)
 ENCLAVE SEVEN LLC
 c/o Greenbaum & Rose Associates, Inc.
 Suite 410, Woodhome Center
 1829 Reisterstown Road
 Baltimore, MD 21208
 Phone: 410-654-9400
 Attn: Mark Bennett or Charles O'Donovan

LANDSCAPE BUFFER ANALYSIS
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
 PLAT No. 15319-15213
 +15353-15357
 ELLICOTT CITY ELECTION DISTRICT No. 2
 HOWARD COUNTY, MARYLAND

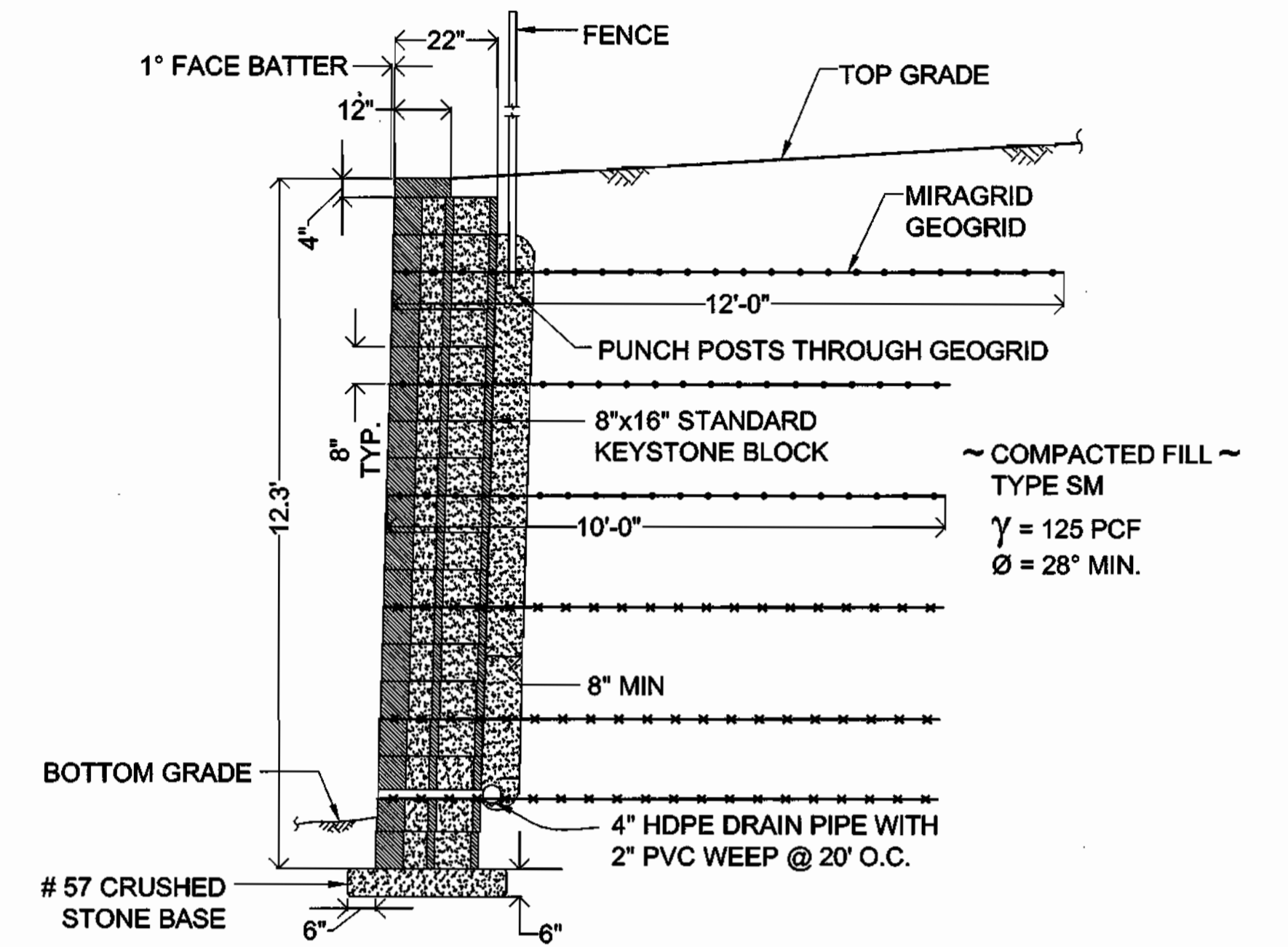
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1" = 100'	POR	00-050
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18/MAR/02	17-17,18,24	40 of 43



WALL #2 @ STA. 1+35 - SECTION A-A



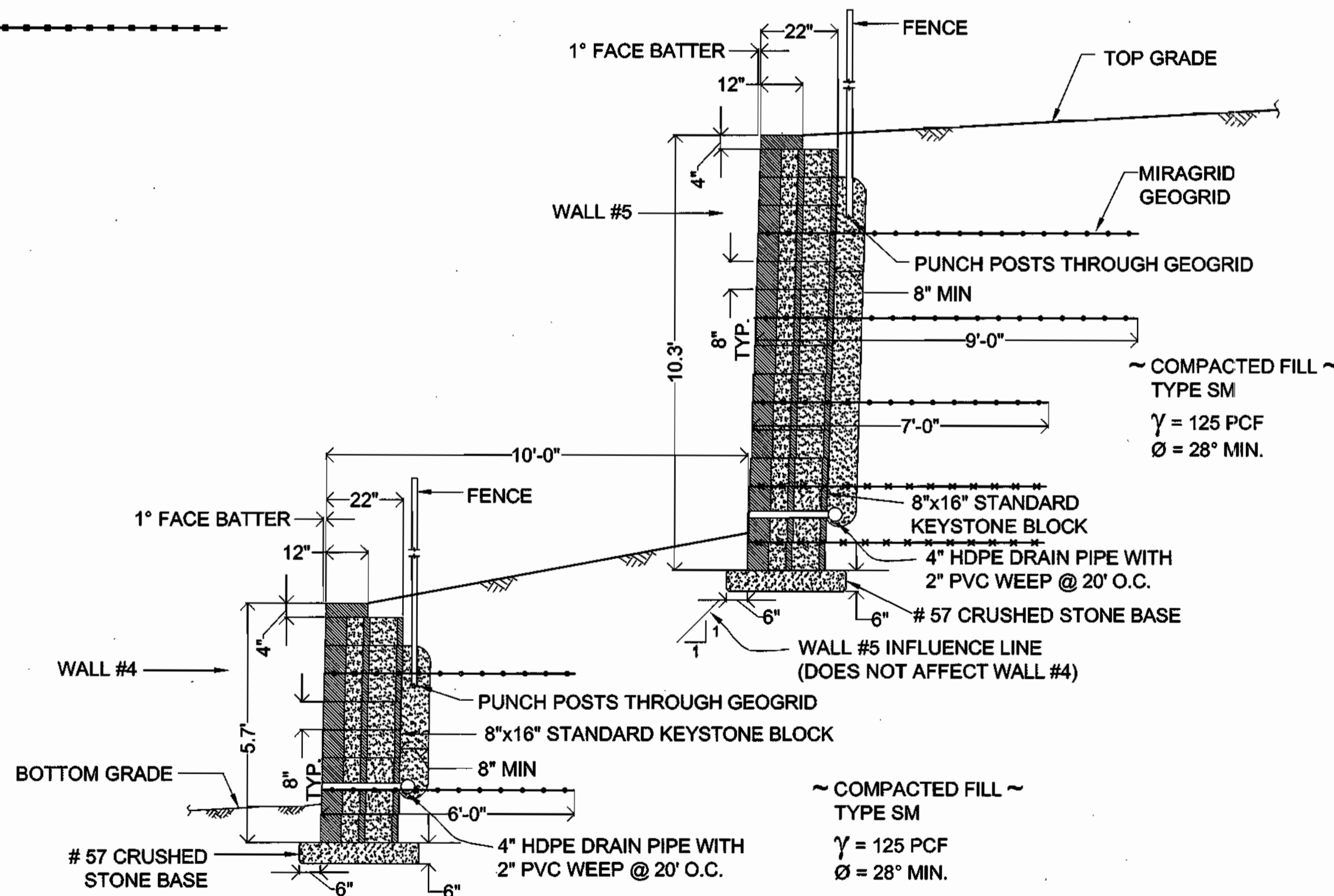
WALL #2 @ STA. 2+05 - SECTION B-B



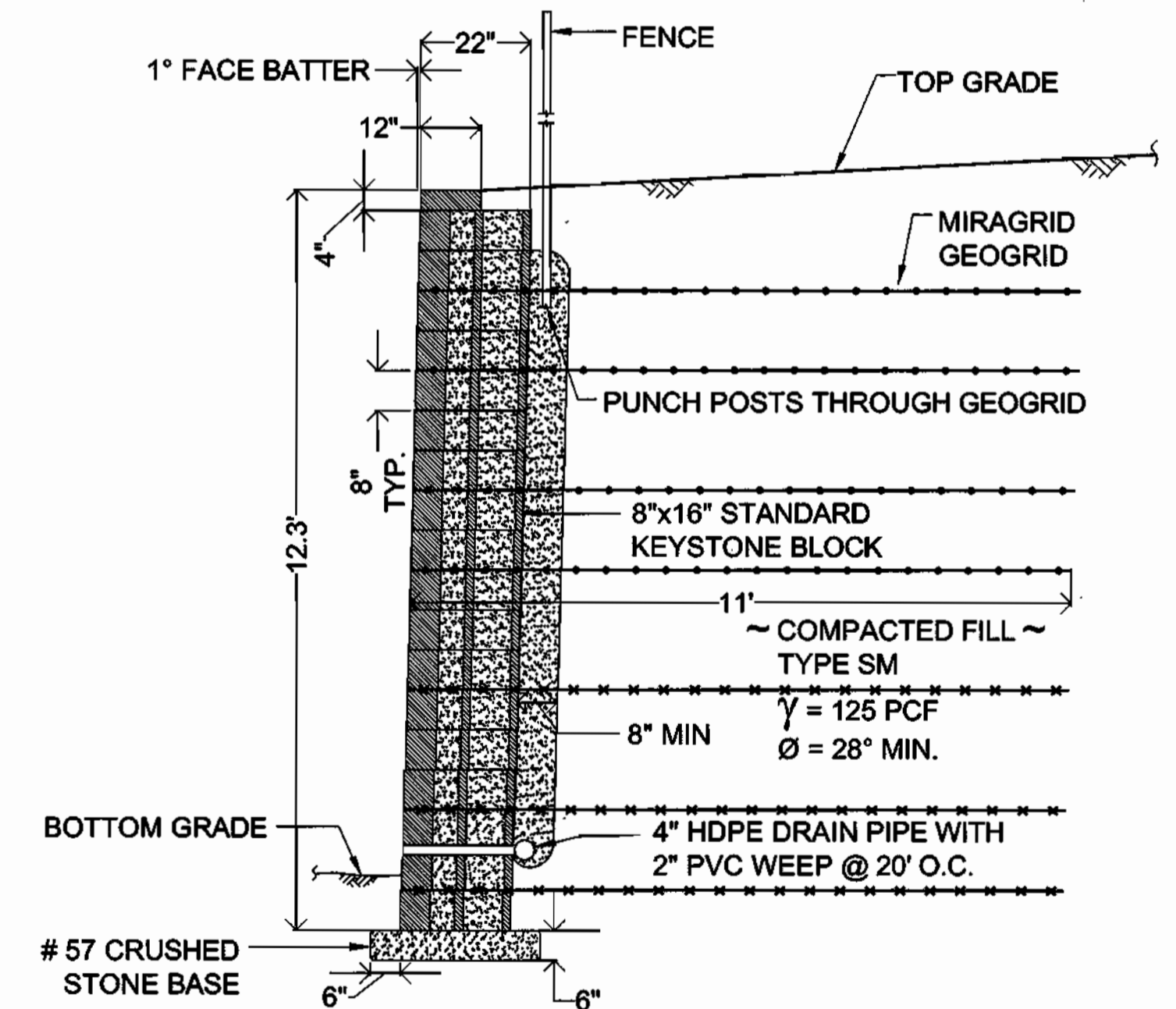
WALL #3 @ STA. 0+65 - SECTION C-C

GEOGRID KEY

- Miragrid 3XT
- Miragrid 5XT
- Miragrid 8XT
- Miragrid 10XT



WALL #5 @ STA. 0+50 / WALL #4 @ STA. 5+40 - SECTION D-D



WALL #4 @ Sta. 7+25 - SECTION E-E

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Paul R. Ratto* 4/15/02
 Chief, Division of Land Development: *Conrad Hansen* 4/14/02
 Chief, Development Engineering Division: *John J. ...* 4/11/02



HILLIS-CARNES
ENGINEERING ASSOCIATES, INC.

12011 Guilford Road, Suite 106, Annapolis Junction, Maryland 20701
 Phone: (410) 860-4788, D.C. (202) 470-4228

DES. RWS DRN. AM. CHK. RMH. DATE

REVISION

BY APPR.

PREPARED FOR:
 (Owner/Developer)
 EXIT SEVEN LLC
 c/o Greenbaum & Rose Assoc., Inc.
 Suite 410, Woodhome Center
 1828 Reisterstown Road
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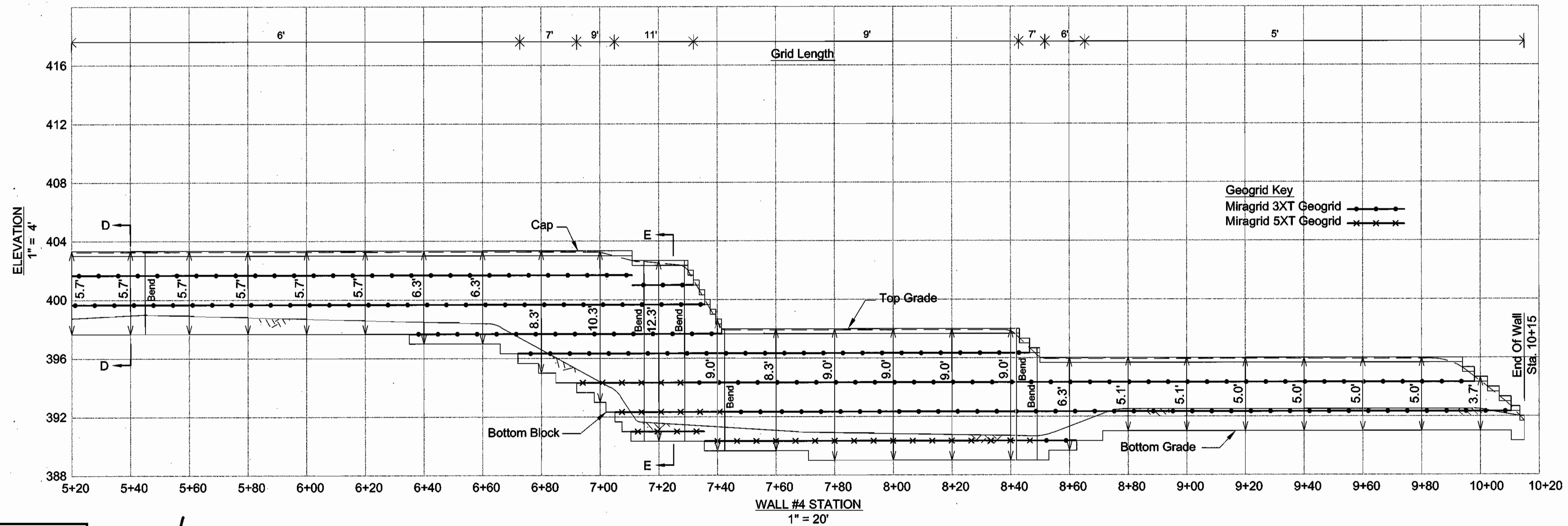
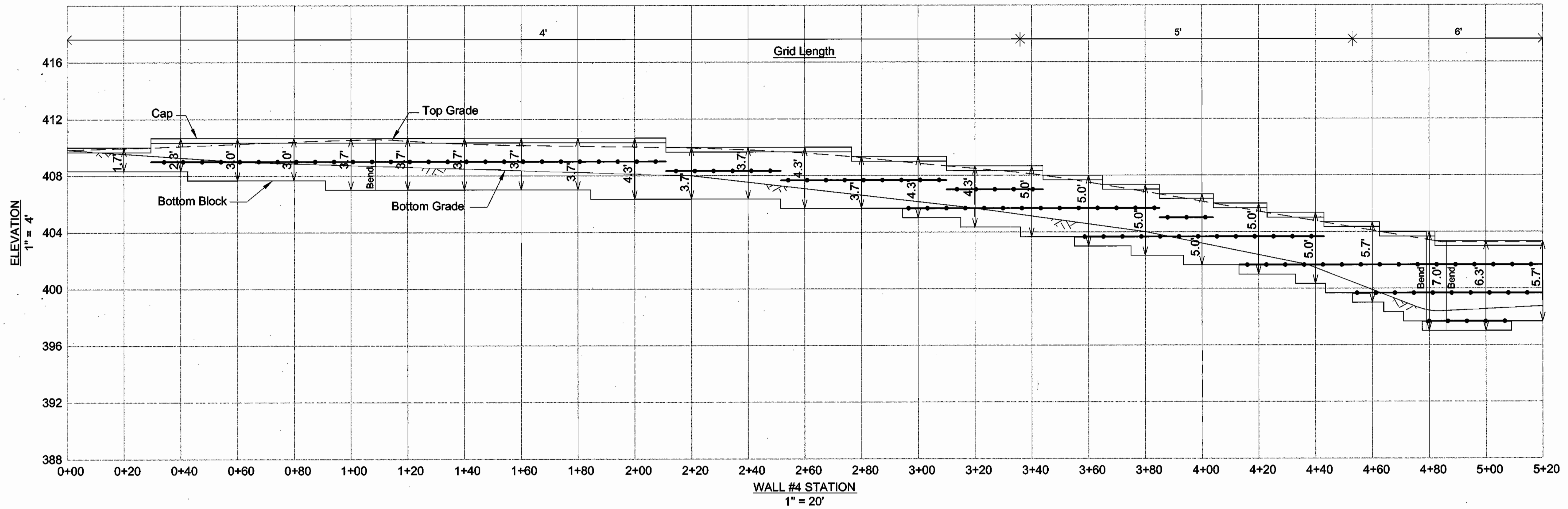
RETAINING WALL CONSTRUCTION DETAILS

THE ENCLAVE AT ELLICOTT HILLS
 PARCEL 'A' -- RESIDENCES
 PLAT NOS. 15319-15323
 T 15353-15357

ELLICOTT CITY ELECTION DISTRICT No. 2

SCALE 1" = 25'	ZONING POR	FILE No. 00-050
DATE 18/Mar/02	TAX MAP - GRID 17-17,18,24	SHEET 41 of 43

HOWARD COUNTY, MARYLAND



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* Date: 4/10/02
 Chief, Division of Land Development: *[Signature]* Date: 4/10/02
 Chief, Development Engineering Division: *[Signature]* Date: 4/11/02



HILLIS-CARNES ENGINEERING ASSOCIATES, INC.
 12011 Guilford Road Suite 106
 Baltimore, MD 21286
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 Annapolis Junction, Maryland 20701
 Fax: (410) 880-4098

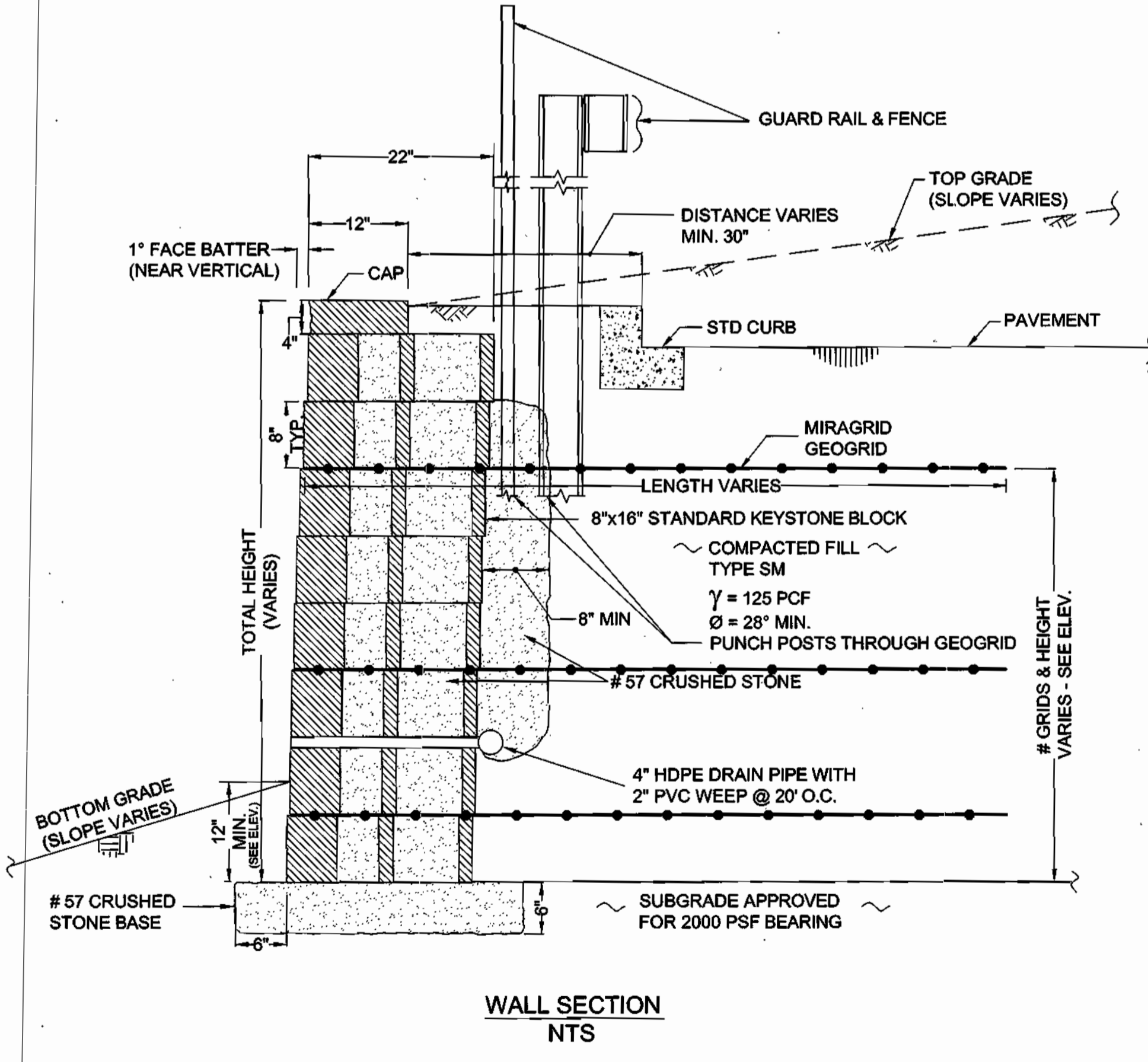
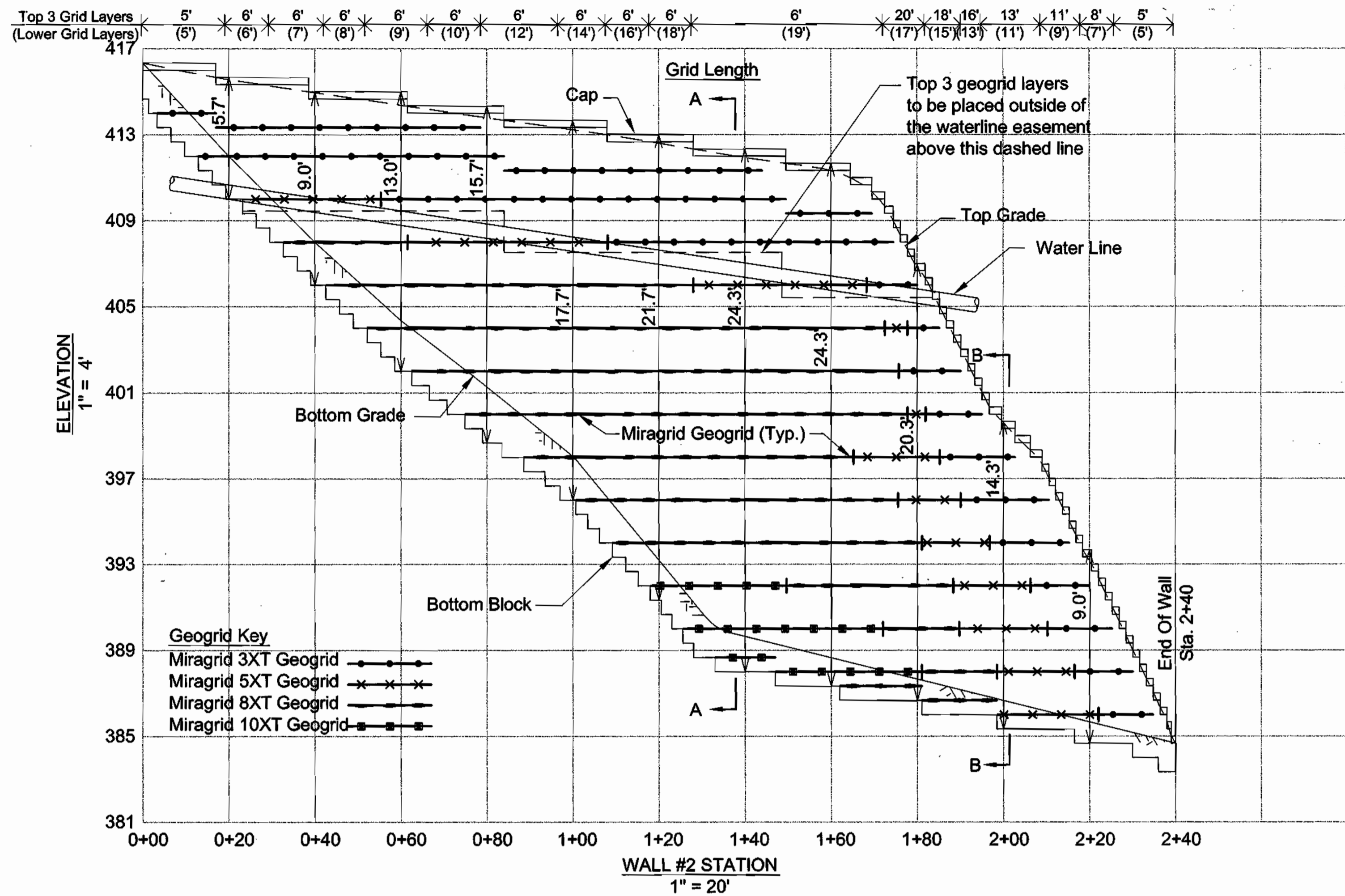
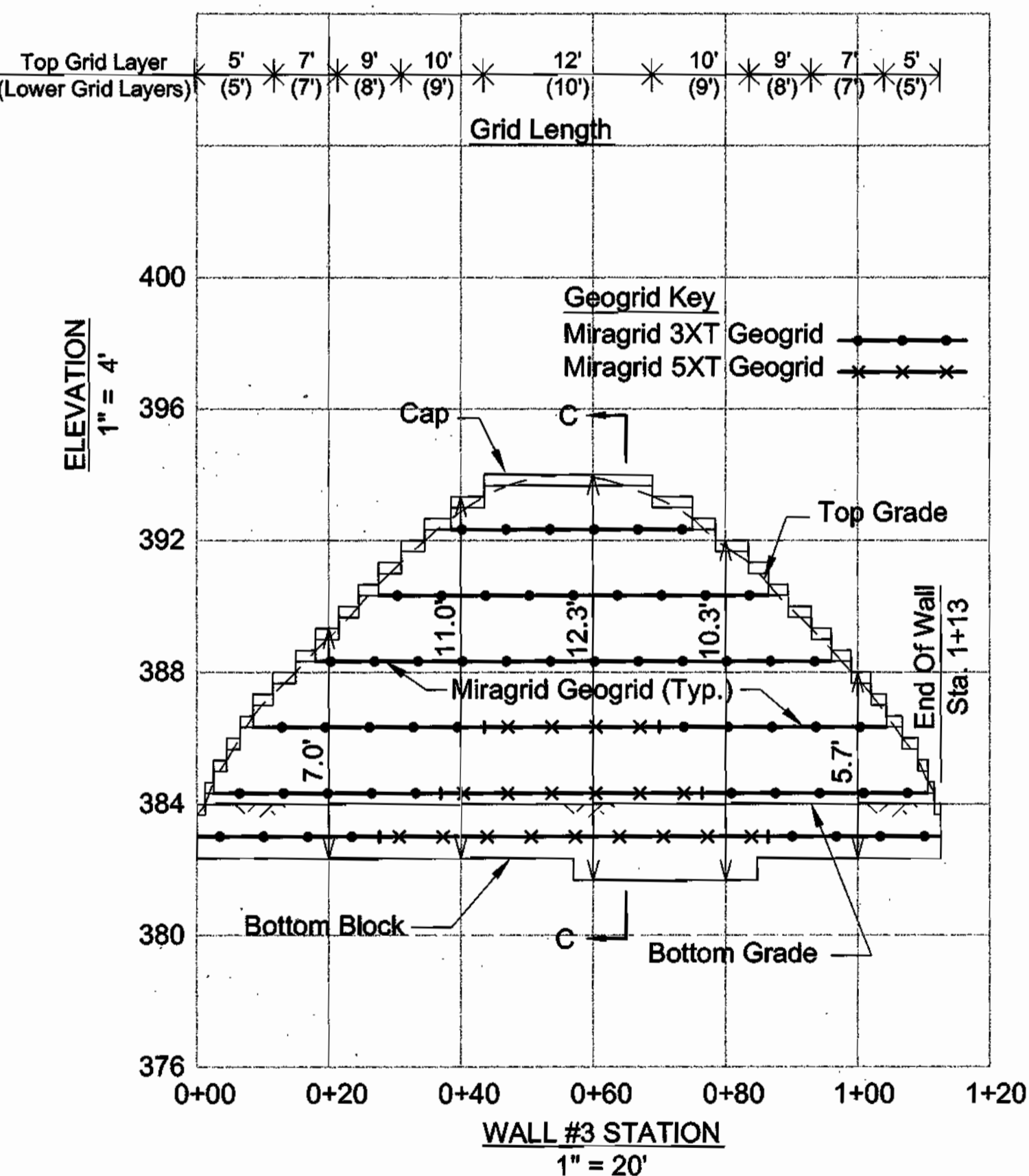
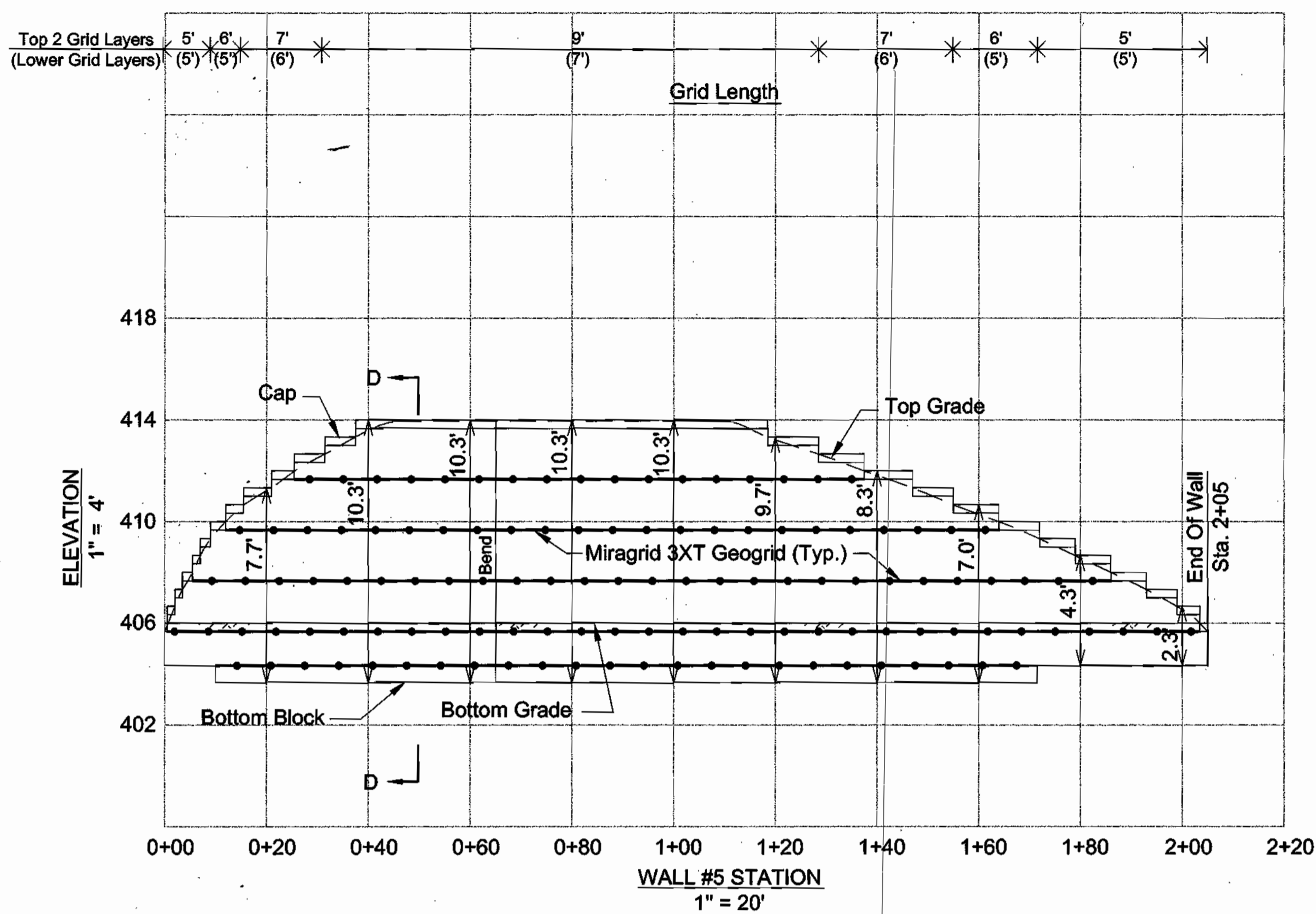
DES.	RWS	DRN.	AM	CHK.	RHM	DATE	REVISION	BY	APP'R.

PREPARED FOR:
 (Owner/Developer)
 EXT SEVEN LLC
 c/o Greenbaum & Rose Assoc., Inc.
 Suite 410, Woodholme Center
 1829 Ridderstown Road
 Baltimore, MD 21208
 Phone: 410-484-8400
 Attn: Mark Bennett or Charles O'Donovan

RETAINING WALL CONSTRUCTION DETAILS
 THE ENCLAVE AT ELLICOTT HILLS
 PARCEL 'A' -- RESIDENCES
 PLAT NOS. 15319-15322
 + 15353-15357
 ELLICOTT CITY ELECTION DISTRICT No. 2
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	FILE No.
As Noted	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/Mar/02	17-17,18,24	42 of 43

SDP.02.65



SPECIFICATIONS

KEYSTONE MODULAR CONCRETE BLOCK RETAINING WALL

- PART 1: GENERAL**
- 1.01 Description
- A. Work shall consist of furnishing and construction of a KEYSTONE Retaining Wall System in accordance with these specifications and in reasonably close conformity with the lines, grades, design, and dimensions shown on the plans.
- B. Work includes preparing foundation soil, furnishing and installing leveling pad, unit drainage fill and backfill to the lines and grades shown on the construction drawings.
- C. Work includes furnishing and installing geogrid soil reinforcement of the type, size, location, and lengths designated on the construction drawings.
- 1.02 Delivery, Storage and Handling
- A. Contractor shall check all materials upon delivery to assure that the proper type, grade, color, and certification has been received.
- B. Contractor shall protect all materials from damage due to job site conditions and in accordance with manufacturer's recommendations. Damaged materials shall not be incorporated into the work.
- PART 2: PRODUCTS**
- 2.01 Modular Concrete Retaining Wall Units
- A. Modular concrete units shall conform to the following architectural requirements:
- face color - concrete gray - standard manufacturer's color may be specified by the Owner;
 - face finish - sculptured rock face in angular tri-planer configuration. Other face finishes will not be allowed without written approval of Owner;
 - bond configuration - running with bonds nominally located at midpoint vertically adjacent units. In both straight and curved alignments;
 - exposed surfaces of units shall be free of chips, cracks or other imperfections when viewed from a distance of 10 feet under diffused lighting.
- B. Modular concrete materials shall conform to the requirements of ASTM C1372 - Standard Specifications for Segmental Retaining Wall Units.
- C. Modular concrete units shall conform to the following structural and geometric requirements measured in accordance with appropriate references:
- compressive strength = 3000 psi minimum;
 - absorption = 8% maximum (8% in northern states) for standard weight aggregates;
 - dimensional tolerances = ± 1/8" from nominal unit dimensions not including rough split face, 1 1/16" unit height - top and bottom planes;
 - unit size - 8" (H) x 16" (W) x 22" (D) minimum;
 - unit weight - 100 lb/unit minimum for standard weight aggregates;
 - inter-unit shear strength - 1000 psi minimum at 2 psi normal pressure;
 - geogrid/unit peak connection strength - 1000 psi minimum at 2 psi normal force.
- D. Modular concrete units shall conform to the following constructability requirements:
- vertical setback = 1/8" per course (near vertical) or 1" per course per the design;
 - alignment and grid positioning mechanism - fiberglass pins, two per unit minimum;
 - maximum horizontal gap between erected units shall be 1/2 inch.
- 2.02 Shear Connectors
- A. Shear connectors shall be 1/2 inch diameter thermoset isotropic polyester resin-protuded fiberglass reinforcement rods or equivalent to provide connection between vertically and horizontally adjacent units. Strength of shear connectors between vertical adjacent units shall be applicable over a design temperature of 10 degrees F to +100 degrees F.
- B. Shear connectors shall be capable of holding the geogrid in the proper design position during grid pre-tensioning and backfilling.
- 2.03 Base Leveling Pad Material
- Material shall consist of a compacted #57 crushed stone base as shown on the construction drawings.
- 2.04 Unit Drainage Fill
- Unit drainage fill shall consist of #57 crushed stone. One cubic foot, minimum, of drainage fill shall be used for A, each square foot of wall face. Drainage fill shall be B, placed within cones of, between, and behind units to meet this requirement.
- 2.05 Reinforced Backfill
- Reinforced backfill shall type SM, be free of debris and meet the following gradation tested in accordance with A, ASTM D-422 and meet other properties shown on the plan:
- | Screen Size | Percent Passing |
|-----------------------|---|
| 2 inch | 100-75 |
| 3/4 inch | 100-75 |
| No. 40 | 0-40 |
| No. 200 | 0-35 |
| Plasticity Index (PI) | < 15 and Liquid Limit < 40 per ASTM D-4318. |
- Material can be site excavated soils where the above requirements can be met. Unsuitable soils for backfill (high plasticity clays or organic soils) shall not be used in the reinforced soil mass.
- 2.06 Geogrid Soil Reinforcement
- A. Geosynthetic reinforcement shall consist of geogrids manufactured specifically for soil reinforcement applications and shall be manufactured from high tenacity polyester yarn.
- 2.07 Drainage Pipe
- A. The drainage pipe shall be perforated corrugated HDPE pipe manufactured in accordance with ASTM D-1248.
- PART 3: EXECUTION**
- 3.01 Excavation
- A. Contractor shall excavate to the lines and grades shown on the construction drawings, to a minimum thickness of 6 inches where hand compaction is used, or 8 - 10 inches where heavy compaction equipment is used. Lift thickness shall be decreased to achieve the required density as required.
- B. Reinforced backfill shall be compacted to 95% of the maximum density as determined by ASTM D698. The moisture content of the backfill material prior to and during compaction shall be uniformly distributed throughout each layer and shall be + 3% to - 3% of optimum.
- C. Only lightweight hand-operated equipment shall be allowed within 3 feet from the tail of the modular concrete unit.
- D. Tracked construction equipment shall not be operated directly upon the geogrid reinforcement. A minimum fill thickness of 6 inches is required prior to operation of tracked vehicles over the geogrid. Tracked vehicle turning should be checked in all directions and insure that all units are in full contact with the base and properly seated.
- E. Rubber lined equipment may pass over geogrid reinforcement at slow speeds, less than 10 MPH. Sudden braking and sharp turning shall be avoided.
- F. At the end of each day's operation, the Contractor shall slope the last lift of reinforced backfill away from the wall units to direct runoff away from wall face. The Contractor shall not allow surface runoff from adjacent areas to enter the wall construction site.
- 3.02 Base Leveling Pad
- A. Leveling pad material shall be placed to the lines and grades shown on the construction drawings, to a minimum thickness of 6 inches and extend laterally a minimum of 6' in front and behind the modular wall unit.
- B. Leveling pad shall be prepared to insure full contact to the base surface of the concrete units.
- 3.03 Modular Unit Installation
- A. First course of units shall be placed on the leveling pad at the appropriate line and grade. Alignment and level shall be checked in all directions and insure that all units are in full contact with the base and properly seated.
- B. Place the front units side-by-side. Do not leave gaps between adjacent units. Layout of corners and curves shall be in accordance with manufacturer's recommendations.
- C. Install shearconnecting devices per manufacturer's recommendations.
- D. Place and compact drainage fill within and behind wall units. Place and compact backfill soil behind drainage fill. Follow wall erection and drainage fill closely with structure backfill.
- E. Maximum stacked vertical height of wall units, prior to unit drainage fill and backfill placement and compaction, shall not exceed three courses.
- 3.04 Structural Geogrid Installation
- A. Geogrid shall be oriented with the highest strength axis perpendicular to the wall alignment.
- B. Geogrid reinforcement shall be placed at the strengths, lengths, and elevations shown on the construction design drawings or as directed by the Engineer.
- C. The geogrid shall be laid horizontally on compacted backfill and attached to the modular wall units. Place the next course of modular concrete units over the geogrid. The geogrid shall be pulled taut, and anchored prior to backfill placement on the geogrid.
- D. Geogrid reinforcements shall be continuous throughout their embedment lengths and placed side-by-side to provide 100% coverage at each level. Spliced connections between shorter pieces of geogrid or gaps between adjacent pieces of geogrid are not permitted.
- 3.05 Reinforced Backfill Placement
- A. Reinforced backfill shall be placed, spread, and compacted in such a manner that minimizes the development of voids in the geogrid and installation damage.
- B. Reinforced backfill shall be placed and compacted in lifts not to exceed 8 inches where hand compaction is used, or 8 - 10 inches where heavy compaction equipment is used. Lift thickness shall be decreased to achieve the required density as required.
- C. Reinforced backfill shall be compacted to 95% of the maximum density as determined by ASTM D698. The moisture content of the backfill material prior to and during compaction shall be uniformly distributed throughout each layer and shall be + 3% to - 3% of optimum.
- D. Only lightweight hand-operated equipment shall be allowed within 3 feet from the tail of the modular concrete unit.
- E. Tracked construction equipment shall not be operated directly upon the geogrid reinforcement. A minimum fill thickness of 6 inches is required prior to operation of tracked vehicles over the geogrid. Tracked vehicle turning should be checked in all directions and insure that all units are in full contact with the base and properly seated.
- F. Rubber lined equipment may pass over geogrid reinforcement at slow speeds, less than 10 MPH. Sudden braking and sharp turning shall be avoided.
- G. At the end of each day's operation, the Contractor shall slope the last lift of reinforced backfill away from the wall units to direct runoff away from wall face. The Contractor shall not allow surface runoff from adjacent areas to enter the wall construction site.
- 3.06 Cap Installation
- A. Cap units shall be glued to underlying units with an all-weather adhesive recommended by the manufacturer. Do not exceed three courses.
- 3.07 Field Quality Control
- A. The Owner shall engage inspection and testing services, including independent laboratories, to provide quality assurance and testing services during construction.
- B. As a minimum, quality assurance testing should include foundation soil inspection, soil and backfill testing, verification of design parameters, and observation of construction for general compliance with design drawings and specifications.
- C. The wall construction shall be monitored and certified by a Maryland registered Professional Engineer.
- 3.08 Fence And Guard Rail
- Retaining wall fence and guard rails shown shall be installed in accordance with the 1999 BOCA National Building Code Section 1021.0.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

John Beatty 4/1/02
 Director

Conrad Henrich 4/1/02
 Chief, Division of Land Development

Mark Bennett 4/1/02
 Chief, Development Engineering Division



HILLIS-CARNES
 ENGINEERING ASSOCIATES, INC.

12011 Quillard Road, Suite 106
 Baltimore, MD 21208
 Phone: 410-684-4228

Annapolis Junction, Maryland 20701
 Fax: 410-994-4096

DES.	RWS	DRN.	AM	CHK.	RMH	DATE	REVISION	BY	APP'R.

PREPARED FOR:
 (Owner/Developer)
 ENCLAVE LLC
 c/o Greenbaum & Rose Assoc., Inc.
 Suite 410, Woodholme Center
 1829 Retastown Road
 Baltimore, MD 21208
 Phone: 410-684-5400
 Attn: Mark Bennett or Charles O'Donovan

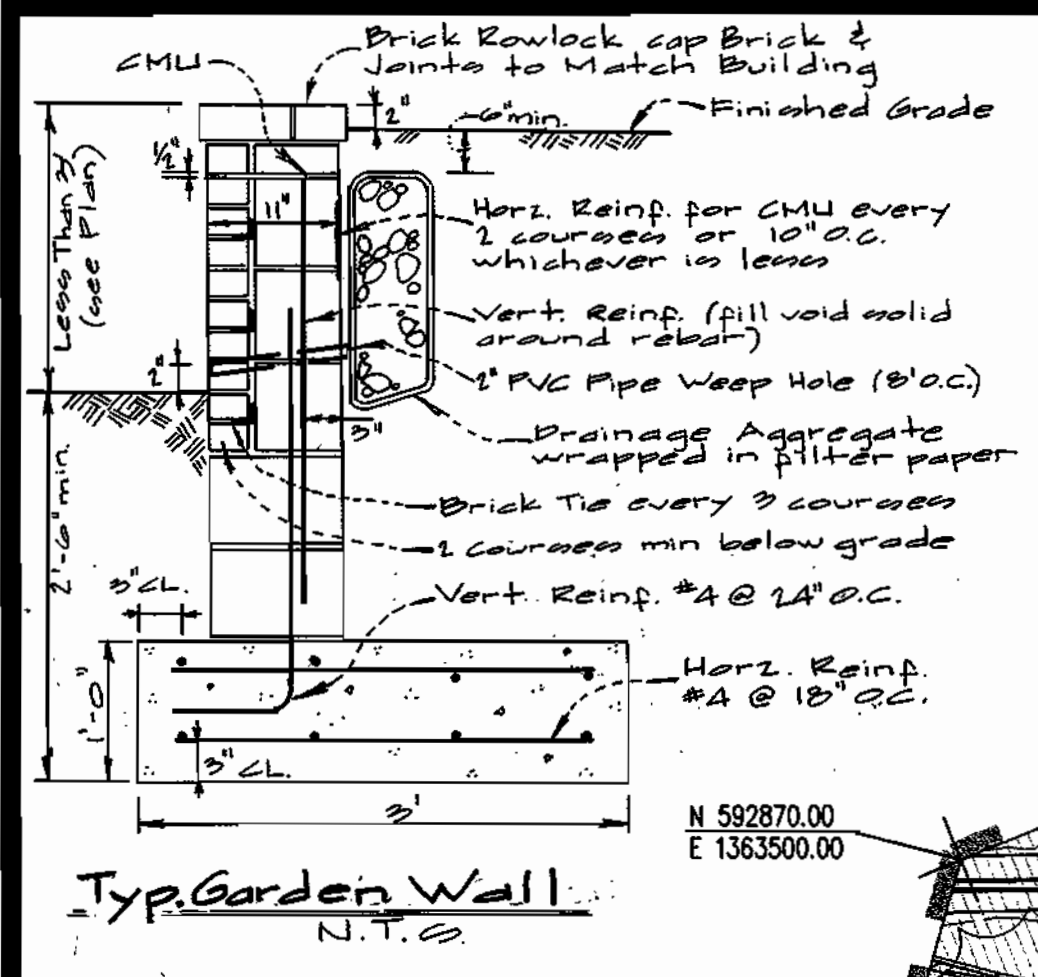
RETAINING WALL CONSTRUCTION DETAILS

THE ENCLAVE AT ELLICOTT HILLS
 PARCEL 'A' - RESIDENCES
 PLAT NOS. 15319-15222
 + 15353-15357

ELLICOTT CITY ELECTION DISTRICT No. 2

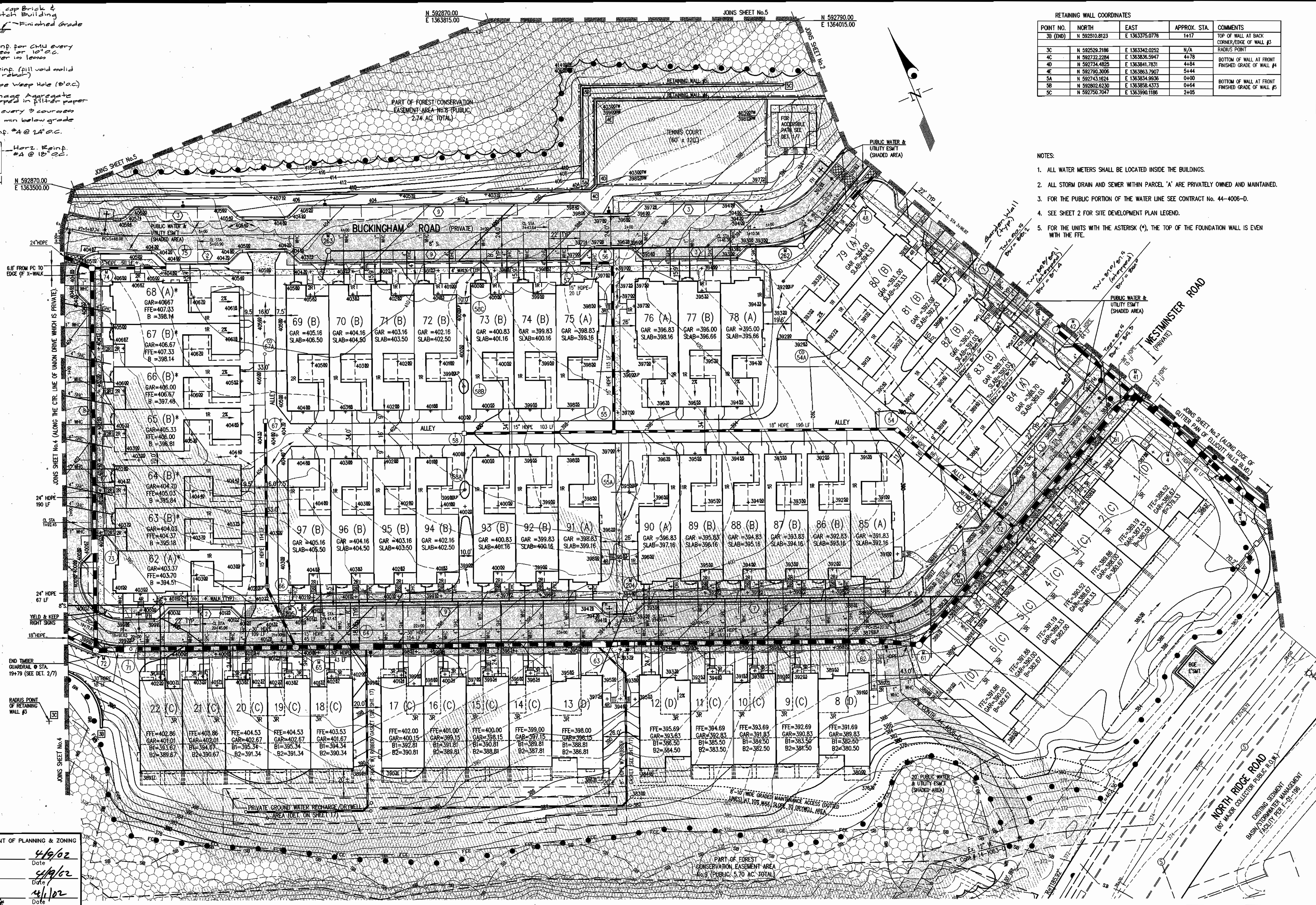
SCALE	ZONING	FILE No.
As Noted	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/Mar/02	17-17,18,24	43 of 43

SDF-02-65



RETAINING WALL COORDINATES				
POINT NO.	NORTH	EAST	APPROX. STA.	COMMENTS
3B (END)	N 592510.8123	E 1363375.0776	1+17	TOP OF WALL AT BACK CORNER/EDGE OF WALL #3
3C	N 592528.2186	E 1363342.0252	N/A	RADIUS POINT
4C	N 592732.2284	E 1363836.5947	4+78	BOTTOM OF WALL AT FRONT FINISHED GRADE OF WALL #4
4E	N 592734.4825	E 1363841.7831	4+84	
4F	N 592730.3006	E 1363833.7907	5+44	
5A	N 592743.1624	E 1363834.9938	0+00	BOTTOM OF WALL AT FRONT FINISHED GRADE OF WALL #5
5B	N 592802.6230	E 1363858.4373	0+64	
5C	N 592750.7047	E 1363990.1186	2+05	

- NOTES:
- ALL WATER METERS SHALL BE LOCATED INSIDE THE BUILDINGS.
 - ALL STORM DRAIN AND SEWER WITHIN PARCEL 'A' ARE PRIVATELY OWNED AND MAINTAINED.
 - FOR THE PUBLIC PORTION OF THE WATER LINE SEE CONTRACT NO. 44-4006-D.
 - SEE SHEET 2 FOR SITE DEVELOPMENT PLAN LEGEND.
 - FOR THE UNITS WITH THE ASTERISK (*), THE TOP OF THE FOUNDATION WALL IS EVEN WITH THE FFE.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Howard County
 Director
 Date: 4/19/02

Cindy Hamner
 Chief, Division of Land Development
 Date: 4/19/02

Charles Williams
 Chief, Development Engineering Division
 Date: 4/11/02

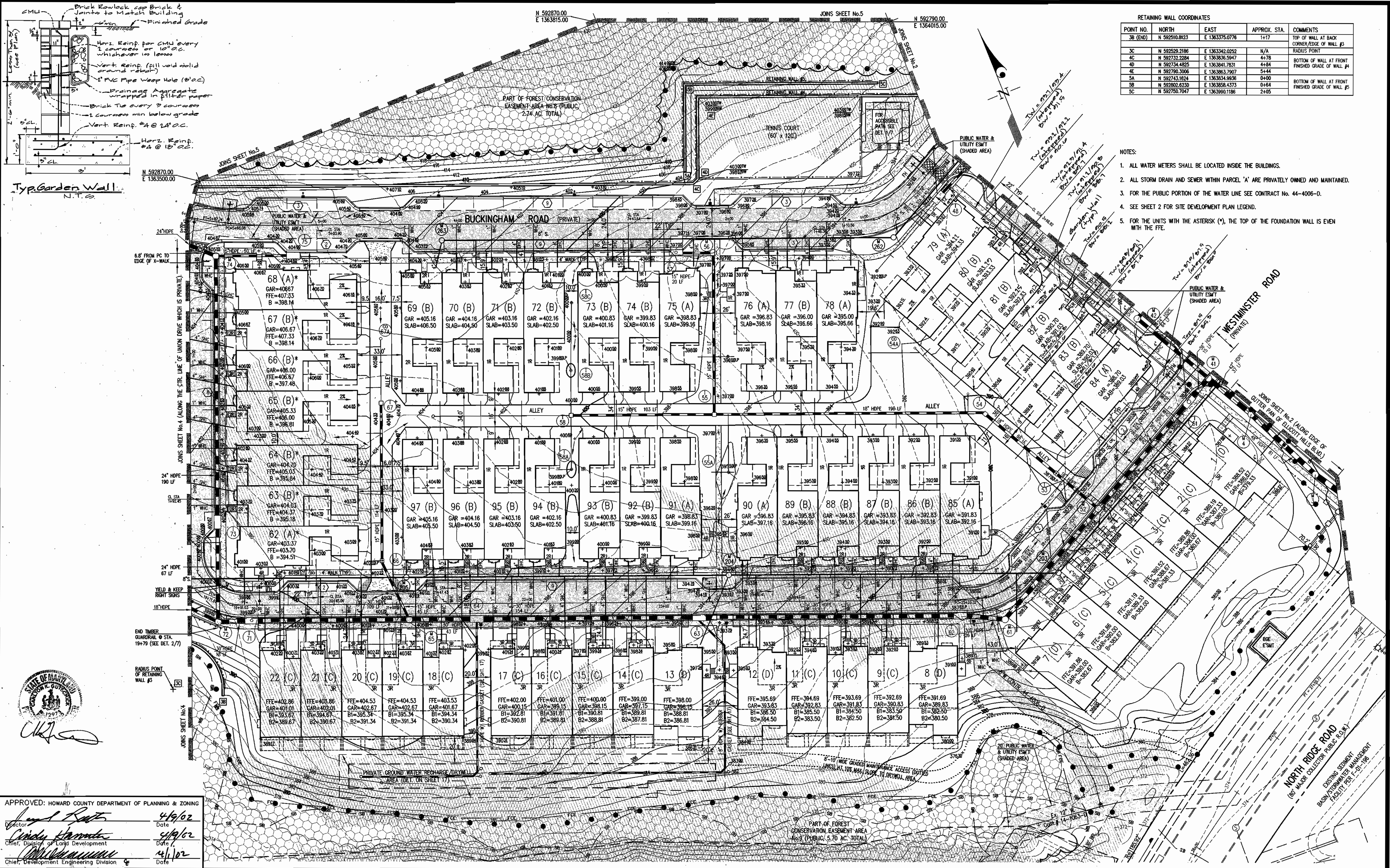
GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTOWNSVILLE OFFICE PARK
 BURTOWNSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-988-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
10.00.02	Added Garden Wall & Garden Wall Detail		

PREPARED FOR:
 (Owner/Developer)
 EXIT SEVEN LLC
 c/o Greenbaum & Rose Assoc., Inc.
 Suite 410, Woodhome Center
 1029 Rollington Road
 Baltimore, MD 21208
 Phone: 410-484-8400
 Attn: Mark Bennett or Charles O'Donovan

SITE DEVELOPMENT PLAN
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
 PLAT No.s 15319-15323
 15353-15357
 ELLICOTT CITY ELECTION DISTRICT No. 2

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	3 of 43



RETAINING WALL COORDINATES				
POINT NO.	NORTH	EAST	APPROX. STA.	COMMENTS
3B (END)	N 59250.8123	E 1363375.0776	T+17	TOP OF WALL AT BACK CORNER/EDGE OF WALL #3
3C	N 592529.2186	E 1363342.0252	N/A	RADIUS POINT
4C	N 592732.2284	E 1363836.5947	4+78	BOTTOM OF WALL AT FRONT
4D	N 592734.4825	E 1363841.7831	4+84	BOTTOM OF WALL AT FRONT
4E	N 592790.3006	E 1363863.7907	5+44	
5A	N 592743.1624	E 1363834.9936	0+00	BOTTOM OF WALL AT FRONT
5B	N 592802.6230	E 1363858.4373	0+64	FINISHED GRADE OF WALL #5
5C	N 592750.7947	E 1363960.1186	2+05	

- NOTES:
1. ALL WATER METERS SHALL BE LOCATED INSIDE THE BUILDINGS.
 2. ALL STORM DRAIN AND SEWER WITHIN PARCEL 'A' ARE PRIVATELY OWNED AND MAINTAINED.
 3. FOR THE PUBLIC PORTION OF THE WATER LINE SEE CONTRACT No. 44-4006-D.
 4. SEE SHEET 2 FOR SITE DEVELOPMENT PLAN LEGEND.
 5. FOR THE UNITS WITH THE ASTERISK (*), THE TOP OF THE FOUNDATION WALL IS EVEN WITH THE FFE.

Typ. Garden Wall
N.T.S.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Howard Kutz* 4/9/02
 Chief, Division of Land Development: *Cindy Hammett* 4/9/02
 Chief, Development Engineering Division: *William M...* 4/1/02

GLW Gutschick Little & Weber, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 FAX: 301-421-4186

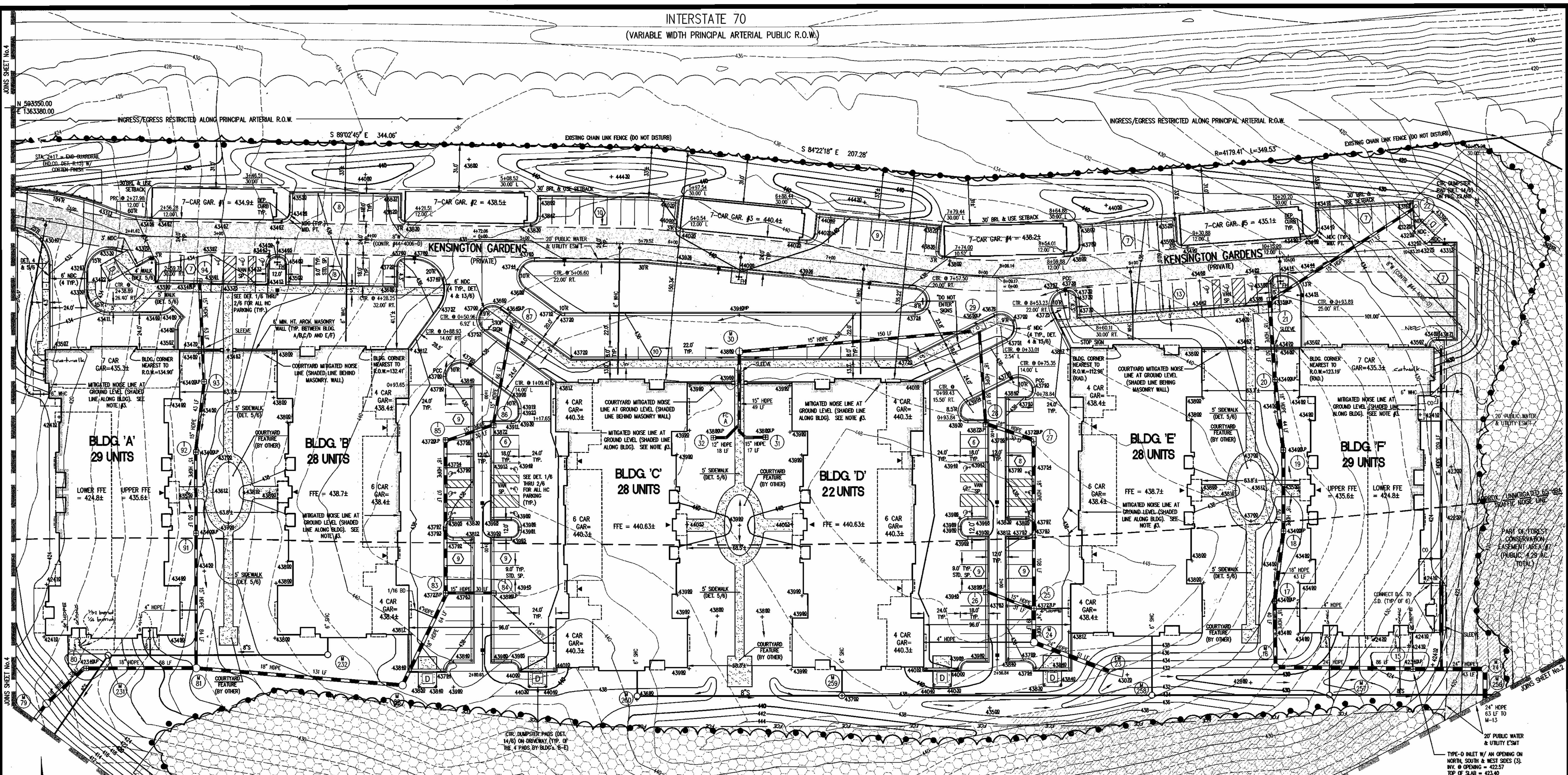
DATE	REVISION	BY	APPR.
12-09-02	ADDED GARDEN WALLS: UNITS 79-81		
12-10-02	ADDED Garden Wall & Garden Wall Detail		

PREPARED FOR:
 (Owner/Developer)
 EXIT SEVEN LLC
 c/o Greenbaum & Rose Assoc., Inc.
 Suite 410, Woodhome Center
 1823 Reisterstown Road
 Baltimore, MD 21208
 Phone: 410-484-8400
 Attn: Mark Bennett or Charles O'Donovan

SITE DEVELOPMENT PLAN
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
 PLAT Nos. 15319-15323
 15353-15357
 ELLICOTT CITY ELECTION DISTRICT No. 2
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	3 of 43

INTERSTATE 70
(VARIABLE WIDTH PRINCIPAL ARTERIAL PUBLIC R.O.W.)



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* Date: 4/10/02
 Chief, Division of Land Development: *[Signature]* Date: 4/10/02
 Chief, Development Engineering Division: *[Signature]* Date: 4/10/02

- NOTES:**
- BUILDING MAIN INGRESS/EGRESS POINTS (WHICH ARE DENOTED BY THE DASHED TRIANGLE SYMBOL) ARE AT THE SAME FINISHED GRADE ELEVATION AS THE BUILDING FFE. FIVE (5) FEET FROM THE INGRESS/EGRESS POINTS, THE OUTSIDE FINISHED GRADE IS A MAXIMUM OF 0.10 FT. LOWER THAN THE F.F.E. (FOR A 2% MAX. SLOPE).
 - DIMENSIONS TO THE BUILDINGS ARE TO THE OUTSIDE FACE OF BUILDING WALLS.
 - ALL APARTMENT BUILDINGS SHALL BE EQUIPPED WITH AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM AND INSIDE METER SETTING. BUILDINGS CONSTRUCTION SHALL INCORPORATE THE NECESSARY SOUND PROOFING TO PROVIDE ACCEPTABLE INTERIOR NOISE LEVEL (PER APPLICABLE REGULATIONS) FOR THOSE UNITS AFFECTED BY THE TRAFFIC NOISE FROM INTERSTATE I-70.
 - ALSO SEE ARCHITECTURAL DRAWINGS FOR CONSTRUCTION DETAILS OF THE MASONRY COURTYARD WALL. SEE SHEET #7 FOR APARTMENT AND GARAGE BLDG. FOOTPRINTS AND ELEVATIONS.
 - SPOT ELEVATIONS ALONG CURB LINE ARE AT THE FLOW LINE UNLESS NOTED OTHERWISE. CURB RADII ARE TO THE FACE OF CURB. CURB FILLETS ARE 5' RADII UNLESS NOTED OTHERWISE.
 - UNLESS NOTED OTHERWISE, ALL CURB AND GUTTER WITHIN THE APARTMENT COMPLEX ARE TYPE-A. SEE SHEET #8 FOR CURB AND PAVING DELINEATION, SHEET #2 FOR SVP LEGEND AND SHEET #7 FOR BLDG. FOOTPRINTS, ELEVATIONS AND SETBACK REQUIREMENTS.

REVISION TABLE:

DATE	REVISION	BY	APPR.
1-9-02	Rev unit nos for Bldg. 'D'		
1-10-02	Rev site to bldg. A, added 6" HOPE; Rev site to bldg. E; added setback Bldg. E		

DRIVEWAY CENTER LINE COORDINATES

LOCATION	STATIONS	COORDINATES
KENSINGTON GARDENS	24+41.62	N 593285.9692 E 1363454.2372
	54+79.52	N 593280.3419 E 1363792.0832
	84+06.14	N 593238.1106 E 1364017.6131
	104+83.20 (END)	N 593257.1872 E 1364294.0139
THROUGH CENTER OF PARKING LOT BETWEEN BUILDINGS B & C	0+00 (= 4+72.06)	N 593262.1316 E 1363684.6381
	2+80.65 (END, DUE SOUTH)	N 592861.4783 E 1363684.6381
THROUGH CENTER OF PARKING LOT BETWEEN BUILDINGS D & E	0+00 (= 8+09.17)	N 593238.3194 E 1364020.6381
	2+56.84 (END, DUE SOUTH)	N 592981.4783 E 1364020.6381

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURLINGTON OFFICE PARK
 BURLINGTON, MARYLAND 20896
 TEL: 301-421-4024 FAX: 301-421-4186

DATE: 18/MAR/02

SCALE: 1" = 30'

ZONING: POR

TAX MAP - GRD

DATE: 17-17,18,24

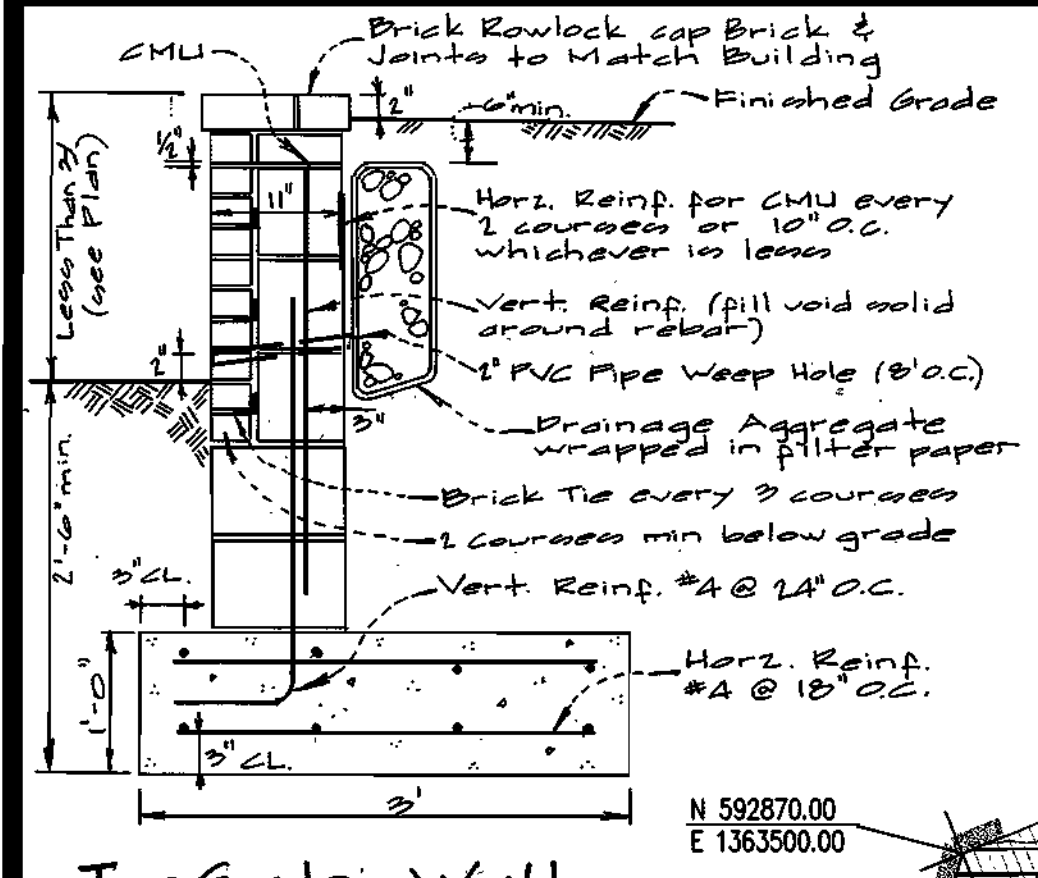
SHEET: 5 of 43

PREPARED FOR:
 (Owner/Developer)
 ENT SEVEN LLC
 c/o Greenbaum & Rose Assoc., Inc.
 Suite 410, Woodhome Center
 1629 Nicholson Road
 Baltimore, MD 21208
 Phone: 410-484-8400
 Attn: Mark Bennett or Charles O'Donovan

SITE DEVELOPMENT PLAN
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
 PLAT No. 15319-15323
 4 15 353-15357

ELLICOTT CITY ELECTION DISTRICT No. 2

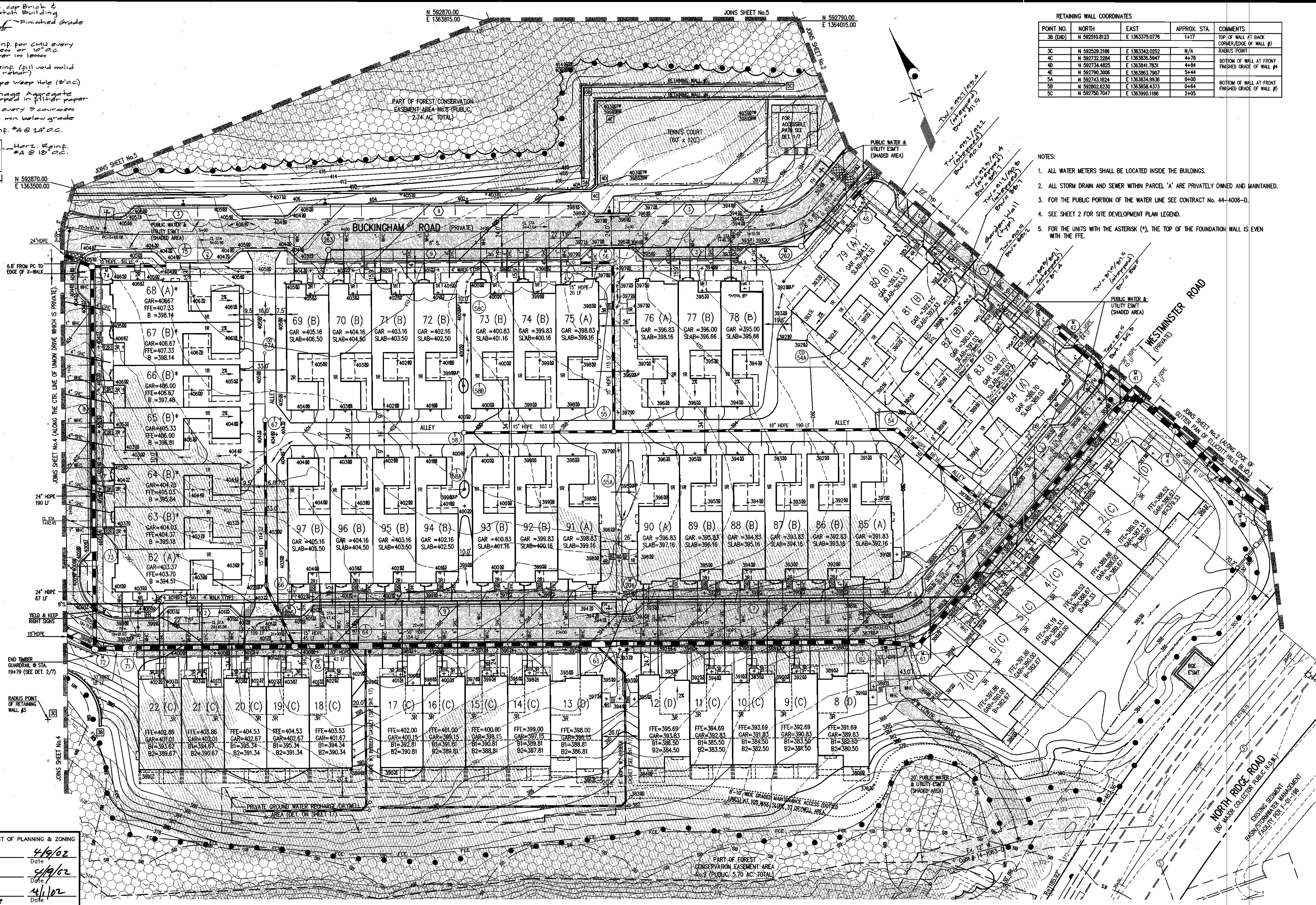
HOWARD COUNTY, MARYLAND



Typ. Garden Wall
N.T.S.

RETAINING WALL COORDINATES				
POINT NO.	NORTH	EAST	APPROX. STA.	COMMENTS
3B (END)	N 592810.8123	E 1363375.0776	1+17	TOP OF WALL AT BACK CORNER EDGE OF WALL #3
3C	N 592829.2186	E 1363342.0252	N/A	RADIUS POINT
4C	N 592732.2284	E 1363336.5947	4+78	BOTTOM OF WALL AT FRONT
4D	N 592734.4825	E 1363341.7831	4+84	BOTTOM OF WALL AT FRONT FINISHED GRADE OF WALL #4
4E	N 592790.3006	E 1363363.7907	5+44	
5A	N 592743.1624	E 1363334.9936	0+40	BOTTOM OF WALL AT FRONT
5B	N 592802.6230	E 1363352.6273	0+44	FINISHED GRADE OF WALL #5
5C	N 592750.7047	E 1363390.1186	2+05	

- NOTES:
- ALL WATER METERS SHALL BE LOCATED INSIDE THE BUILDINGS.
 - ALL STORM DRAIN AND SEWER WITHIN PARCEL 'A' ARE PRIVATELY OWNED AND MAINTAINED.
 - FOR THE PUBLIC PORTION OF THE WATER LINE SEE CONTRACT No. 44-4006-D.
 - SEE SHEET 2 FOR SITE DEVELOPMENT PLAN LEGEND.
 - FOR THE UNITS WITH THE ASTERISK (*), THE TOP OF THE FOUNDATION WALL IS EVEN WITH THE FFE.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Paul R. Rutz 4/19/02
Director Date

Andy Hammond 4/19/02
Chief, Division of Land Development Date

William J. ... 4/1/02
Chief, Development Engineering Division Date

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
01.15.04	Revised #78 and 'B' unit		
12.09.03	ADDED GARDEN WALLS - UNITS 79-81		
12.12.03	Added Garden Wall & Garden Wall Detail		




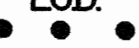


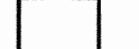
PREPARED FOR:
EXIT SEVEN LLC
c/o Greenbaum & Rose Assoc., Inc.
Suite 410, Woodbine Center
1829 Redelstown Road
Baltimore, MD 21208
Phone: 410-484-9400
Attn: Mark Bennett or Charles O'Donovan

SITE DEVELOPMENT PLAN
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
PLAT Nos. 15319-15323
15353-15357

ELLICOTT CITY ELECTION DISTRICT No. 2

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	3 of 43

SEDIMENT CONTROL LEGEND

-  STABILIZED CONSTRUCTION ENTRANCE
-  SF SILT FENCE
-  SSF SUPER SILT FENCE
-  L.O.D. LIMIT OF DISTURBANCE
-  EROSION CONTROL MATTING
-  TPF TREE PROTECTION FENCE
-  CIP CURB INLET PROTECTION

N 592870.00 E 1363815.00 JOINS SHEET No.28 N 592790.00 E 1364015.00

DEVELOPER'S/BUILDER'S CERTIFICATE

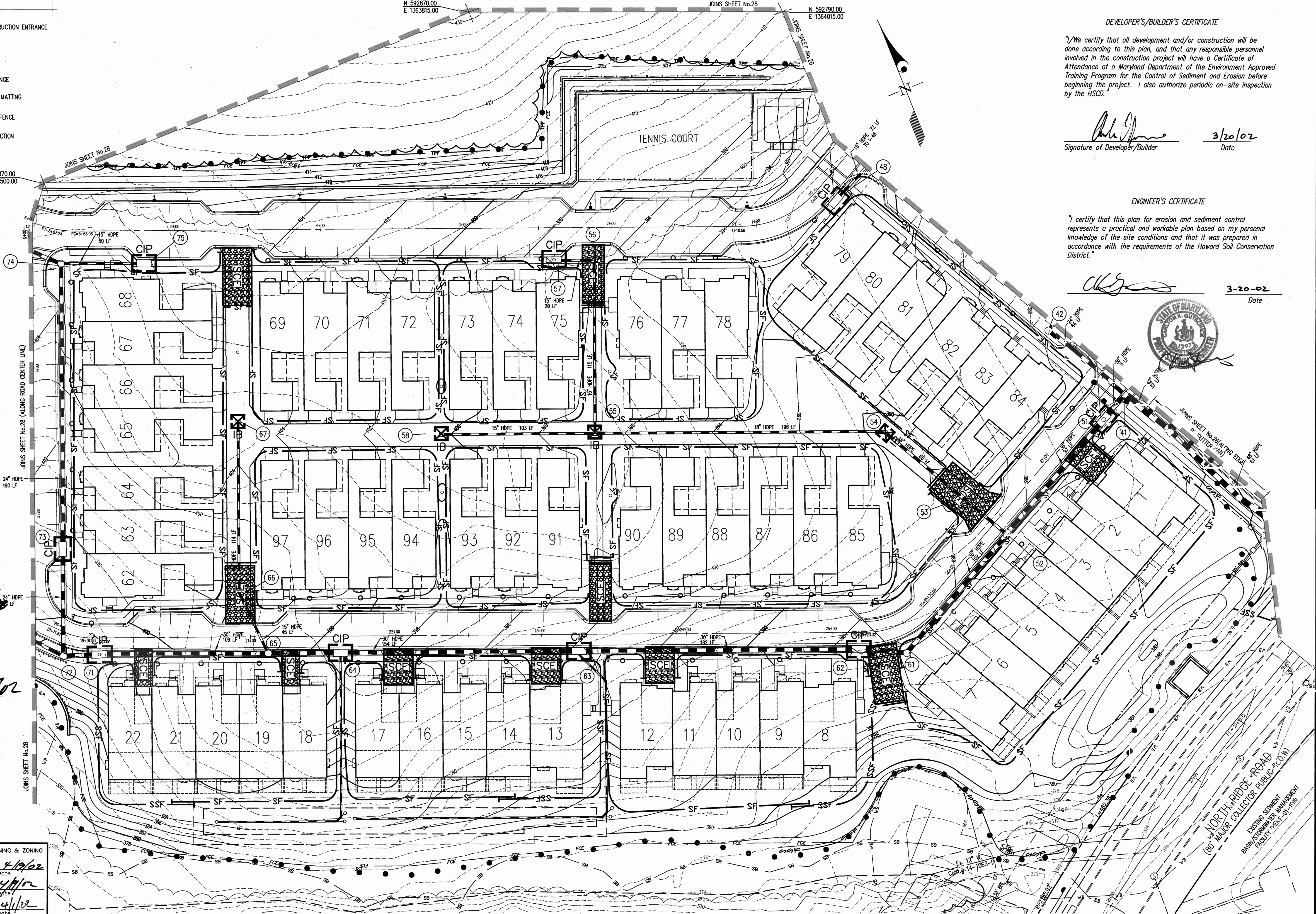
"I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD."

John J. [Signature]
Signature of Developer/Builder
3/20/02
Date

ENGINEER'S CERTIFICATE

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Chas. G. [Signature]
3-20-02
Date



This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

John K. [Signature]
Howard S.C.D.
3/22/02
Date

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

Jim Myers [Signature]
Natural Resources Assessment Service
3/22/02
Date

THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY!

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* 4/10/02
 Chief, Division of Land Development: *[Signature]* 4/11/02
 Chief, Development Engineering Division: *[Signature]* 4/11/02

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3908 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-988-2524 FAX: 301-421-4186
 00050/SDP/SDP-02-01/PH2-SC3.DWG DES. DRN. CHK.

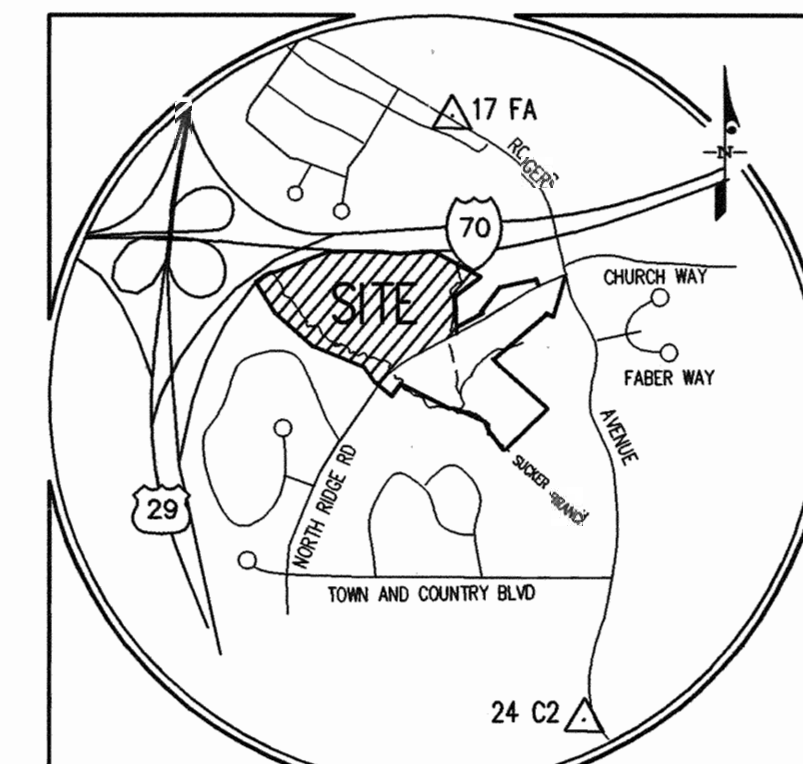
DATE	REVISION	BY	APP'R.
4/10/02	Regarding to create wob for units 6 & 7; add smp		

PREPARED FOR:
 (Owner/Developer)
 EXIT SEVEN LLC
 c/o Greensbaum & Rose Assoc., Inc.
 Suite 410, Woodbine Center
 1829 Reisterstown Road
 Baltimore, MD 21208
 Phone: 410-484-8400
 Attn: Mark Bennett or Charles O'Donovan

PHASE 2 SEDIMENT & EROSION CONTROL PLAN
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
 PLAT Nos. 15319-15323
 + 15353-15357
 ELLICOTT CITY ELECTION DISTRICT No. 2
 HOWARD COUNTY, MARYLAND

SCALE 1" = 30'	ZONING POR	G. L. W. FILE No. 00-050
DATE 18/MAR/02	TAX MAP - GRID 17-17,18,24	SHEET 27 of 43

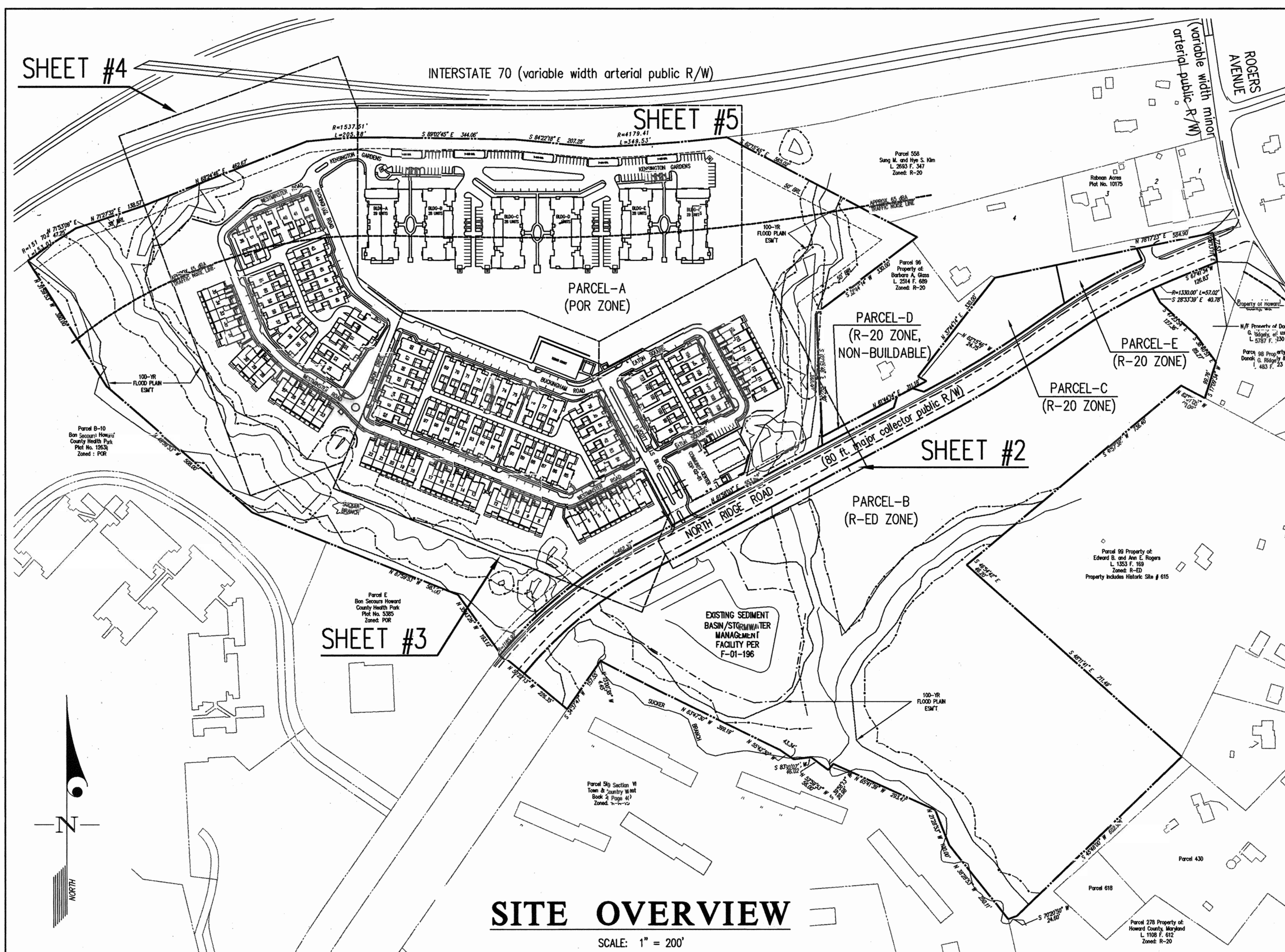
SITE DEVELOPMENT PLAN
The ENCLAVE at ELLICOTT HILLS
PARCEL 'A' -- RESIDENCES



VICINITY MAP
SCALE: 1" = 200'

GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY USHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.
4. PROJECT BACKGROUND:
LOCATION: ON THE NORTHWEST SIDE RIDGE ROAD (BETWEEN STA. 28+00 AND 30+00)
TAX MAP: 17 (BLOCK 18)
ZONING: PARCEL-A IS ZONED FOR
ELECTION DISTRICT: 2
GROSS AREA: PARCEL-A = 44.55± ACRES



SITE OVERVIEW
SCALE: 1" = 200'

SHEET INDEX

- 1 COVER SHEET
2 SITE DEVELOPMENT PLAN
3 SITE DEVELOPMENT PLAN
4 SITE DEVELOPMENT PLAN
5 SITE DEVELOPMENT PLAN
6 SITE DETAILS
7 SITE DETAILS
8 PAVING DELINEATION PLAN
9 DRAINAGE AREA MAP
10 DRAINAGE AREA MAP
11 ROAD PROFILES
12 ROAD PROFILES
13 STORM DRAIN PROFILES
14 STORM DRAIN PROFILES
15 STORM DRAIN PROFILES
16 STORM DRAIN PROFILES
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18 SEWER PROFILES
19 SEWER PROFILES
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22 INITIAL (BUILDING PAD) GRADING PLAN
23 SEDIMENT CONTROL OVERVIEW
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26 PHASE 2 SEDIMENT & EROSION CONTROL PLAN
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28 PHASE 2 SEDIMENT & EROSION CONTROL PLAN
29 PHASE 2 SEDIMENT & EROSION CONTROL PLAN
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33 SEDIMENT & EROSION CONTROL NOTES
34 FOREST CONSERVATION PLAN OVERVIEW
35 FOREST CONSERVATION NOTES, SCHEDULES & DETAILS
36 PLANTING PLAN
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38 PLANTING PLAN
39 PLANTING PLAN
40 LANDSCAPE BUFFER ANALYSIS
41 RETAINING WALL CONSTRUCTION DETAILS
42 RETAINING WALL CONSTRUCTION DETAILS
43 RETAINING WALL CONSTRUCTION DETAILS

VF04-118 was approved on Apr. 5, 2004 to waive out (a) (i) (ii) requiring all building permits to be applied for within two yrs. of signature approval of the SDP. VF-04-118 requires that all remaining building permits must be applied for by Apr. 15, 2005.

- 5. TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
6. EXCEPT FOR SIDEWALKS, ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. SIDEWALKS ARE DIMENSIONED TO THE BACK OF CURB. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
7. EXISTING TOPOGRAPHY AND FEATURES WERE SURVEYED BY GREENMAN-PEDERSON, INC. (VIA AERIAL PHOTOGRAPHY) ON 4/06/2001 AND SUPPLEMENTED BY GLM FIELD RUN (TOPO DONE ON 11/21/2000) AND F-01-196.
8. COORDINATES ARE BASED ON NAD 83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NUMBERS 17 FA AND 24 C2.
9. STORMWATER MANAGEMENT IS PROVIDED BY AN EXISTING RETENTION FACILITY (PER F-01-196) ON PARCEL-B AND THE DRYWELL ON PARCEL-A AS FOLLOWS:
- PARCEL-A'S SWM FACILITY: REV(100%) = 0.2277 ac-ft. REV(50%) = 0.237 ac-ft IS IN THE DRYWELL FACILITY BEHIND UNITS 13-21. THIS DRYWELL FACILITY PROVIDES FULL REV FOR THE DRAINAGE AREA TO THE OFFSITE POND (ON PARCEL-B) DESIGNED UNDER F-01-196.
- PARCEL-B'S (OFFSITE) SWM FACILITY PER F-01-196: Wq (required) = 1.789 ac-ft. Wq (provided) = 1.896 ac-ft. Cqv (required) = 2.405 ac-ft. Cqv (provided) = 2.502 ac-ft. PARCEL-A IS MANAGED BY THE (F-01-196) POND ON PARCEL-B.
10. PUBLIC WATER AND SEWER SHALL BE UTILIZED (AS PROVIDED BY W&S CONTRACT NOS. 14-1063-D, 117-S, 10-1129 AND 44-4006-D). HOWEVER, ALL SEWER AND STORMDRAIN (LINES AND STRUCTURES) PROPOSED WITHIN PARCEL-A ARE PRIVATELY (NOT PUBLICLY) MAINTAINED. WITHIN PARCEL-A, ONLY THE WATER LINE AND FIRE HYDRANTS WITHIN THE EASEMENT FOR CONTRACT NO. 44-4006-D IS PUBLICLY MAINTAINED. ALL WATER METERS SHALL BE LOCATED INSIDE THE BUILDINGS.
11. THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS. THE CONTRACTOR MUST DIG TEST PITS (BY HAND) AT ALL UTILITY CROSSINGS AND CONNECTION POINTS TO VERIFY EXACT LOCATION. IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS.
12. ALL ON-SITE DRIVEWAYS AND PARKING ARE PRIVATELY OWNED AND MAINTAINED.
13. ANY DAMAGE TO COUNTY & STATE OWNED RIGHT-OF-WAY TO BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
14. ALL PROPOSED RAMP SHALL BE IN ACCORDANCE WITH CURRENT A.D.A. STANDARDS. MAXIMUM SIDEWALK CROSS (24) TWO PERCENT. PROVIDE A (5X5) FIVE FOOT BY FIVE FOOT LEVEL (2X MAX.) LANDING AREA SLOPE SHALL BE AT THE TOP AND BOTTOM OF ALL RAMP AND BUILDING ENTRANCE/EXIT POINTS.
15. TRENCH BEDDING FOR STORM DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH HOWARD COUNTY STANDARD G2.01, UNLESS OTHERWISE NOTED.
16. GUTTER PAN OF CURBS SHALL BE PITCHED TO CONFORM TO THE ADJACENT DRAINAGE PATTERNS OF THE ADJACENT PAVING FOR VEHICULAR USE. SPOT ELEVATIONS ALONG THE CURB ARE TO THE FLOW LINE (BOTTOM OF CURB). UNLESS NOTED OTHERWISE. ALL CURB FILLETS ARE 5' RADIUS UNLESS NOTED OTHERWISE.
17. THERE ARE NO KNOWN GRAVE SITES OR CEMETERIES ON THIS SITE.
18. OTHER TOPICS RELATED TO THE DEVELOPMENT OF THIS SITE:
- S-01-01 (BY PB-350 D&O SIGNED 5/03/01; AMENDMENT APPROVED ON 11/20/01).
- SDP-02-01 (COMMUNITY CENTER).
- TRAFFIC NOISE REPORT (LO5414, DATED 9/20/01) BY STAINO ENGINEERING, INC. APPROVED WITH P-02-03.
- WETLAND DELINEATION BY EXPLORATION RESEARCH ON 11/3/2000 AND SUBMITTED WITH S-01-10.
- MDC PERMIT #01-N1-0289/2001-64588.
- APFO (TRAFFIC) STUDY BY THE TRAFFIC GROUP AND SUBMITTED WITH S-01-10.
- GEOTECH REPORTS BY HILLIS-CARNE (APRIL 2, 2001) AND SUBMITTED WITH F-01-196.
- THE 100-YEAR FLOOD PLAIN STUDY AND EASEMENT PREPARED UNDER F-01-196.
- FOREST STAND DELINEATION PREPARED UNDER S-01-10 AND FOREST CONSERVATION PLANS FILED UNDER F-01-196, P-02-03, AND SDP-02-01. FOR RECORDED FOREST CONSERVATION EASEMENTS, SEE PLAT NOS. 15319-15323.
- AS A CONSEQUENCE OF ITS SUBMISSION FOR COUNTY REVIEW AFTER NOVEMBER 15, 2001, THIS SDP IS SUBJECT TO COMPLIANCE WITH THE FIFTH EDITION OF THE SUBDIVISION REGULATIONS. IN ADDITION, IT IS SUBJECT TO COMPLIANCE WITH COUNTY COUNCIL BILL 50-2001 WHICH AMENDS PORTIONS OF THE ZONING REGULATIONS.
19. ALL OUTSIDE LIGHTING SHALL COMPLY WITH ZONING REGULATION SECTION 134 WHICH REQUIRES LIGHTS TO BE INSTALLED TO DIRECT/REFLECT LIGHT DOWNWARDS AND INWARDS ON SITE AWAY FROM ALL ADJACENT PUBLIC STREETS AND RESIDENTIAL AREAS.
20. FOREST CONSERVATION EASEMENTS ARE RECORDED UNDER F-01-196 AS PLAT NOS. 15319-15323. TO FULFILL FOREST CONSERVATION OBLIGATION FOR THE ENTIRE "ENCLAVE AT ELLICOTT HILLS" SITE (78.68 ACRES), WHICH INCLUDES THE DEVELOPMENT OF PARCEL 'A' UNDER SDP-02-01 AND SDP-02-05 AS REQUIRED BY SECTION 16.1200 OF THE HOWARD COUNTY CODE, FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENTS; HOWEVER, THE INITIAL GRADING TO DEVELOP THE PARCELS 'A' PER THIS SDP AND FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED. ALL FOREST CONSERVATION FINANCIAL SURETY WAS POSTED AS PART OF THE DEVELOPER'S AGREEMENT FOR F-01-196. FOR ADDITIONAL INFORMATION SEE SHEETS 35 & 40.
21. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE WETLANDS, STREAMS OR THEIR REQUIRED BUFFERS FOR THE PARCEL-A RESIDENCES DEVELOPMENT WORK SHOWN ON THIS SDP.
22. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (AS ANALYZED ON SHEET 34 TO SATISFY SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL) IS POSTED AS PART OF THE SDP DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$90,990.00 (SEE SHEET 40 FOR THE BREAK DOWN OF THIS AMOUNT).
23. CONTRACTOR SHALL PROVIDE AASHTO M-293-90 TYPE "S" SMOOTH LINED HOPE FOR STORM DRAIN PIPES 12" THROUGH 42" AND AASHTO M292-90 TYPE "S" SMOOTH LINED HOPE FOR 3" TO 10" PIPE.

SITE DATA

- 1. GENERAL SITE DATA
A. PRESENT ZONING: POR (PARCEL 'A', THIS SUBMISSION)
B. PROPOSED USE OF SITE: ELDERLY HOUSING W/ A COMMUNITY CENTER
2. AREA TABULATION FOR PARCEL-A
GROSS ACRE 44.55 AC.
100-YR FLOOD PLAIN ESM* 8.72
STEEP SLOPE 25% OR GREATER* 1.00
NET ACRE 34.83 AC.
* FOR NATURAL STEEP SLOPE OF 25% AND GREATER LOCATED OUTSIDE THE 100-YR FLOOD PLAIN EASEMENT.
3. AREA OF THIS SDP SUBMISSION (LIMIT OF GRADING DISTURBANCE): 26.5± AC.
4. PARCEL 'A' DEVELOPMENT DATA
A. PROPOSED NUMBER OF UNITS: 116 SFA + 164 APT = 182± UNITS
B. PARKING REQUIRED:
164 APT. UNITS @ 2 SPACES PER FIVE UNITS = 66 SPACES REQUIRED FOR CONDO APTS.
116 SFA CONDO UNITS @ 2 PER UNIT = 232 SPACES
6191 SF COMMUNITY CENTER @ 10 SPACES/1000 SF PLUS
1 SPACE/EMPLOYEE @ 2 EMPLOYEE = 64 SPACES
ONE TENNIS COURT @ 6 SPACES/COURT = 6 SPACES
76± TOTAL SPACES REQUIRED
C. PARKING PROVIDED:
APT. CONDO AREA: 151 SURFACE + 105 GAR. SPACES = 256 SPACES
SFA CONDO UNITS: 201 GAR SPACES = 201 SPACES
+ 55 DRIVEWAY SPACES = 256 SPACES
COMMON SURFACE SPACES IN SFA CONDO AREA = 113 SPACES (INCL. 15 FROM SDP-02-01)
625 TOTAL SPACES PROVIDED
D. OPEN SPACE IS NOT APPLICABLE.

ADDRESS CHART (TOWNHOUSE CONDOMINIUM UNITS)

Table with 4 columns: UNIT No., STREET ADDRESS, UNIT No., STREET ADDRESS. Lists addresses from 2701 Westminister Road to 2755 Westminister Road.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
[Signatures and Dates: 4/19/02, 4/19/02, 4/16/02]

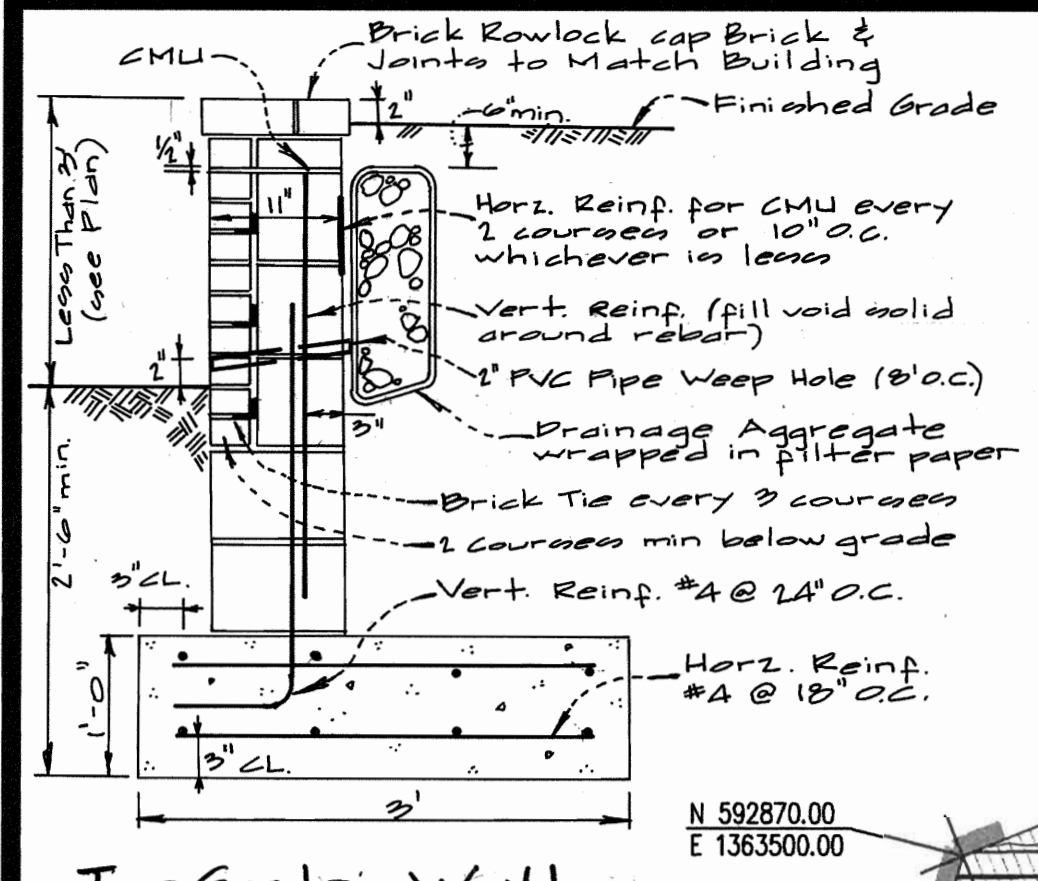
Table with 2 columns: BLDG. No., STREET ADDRESS. Lists building numbers A through F and their corresponding addresses.

GLW GUTSCHICK, LITTLE & WEBER, P.A. CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS. 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK, BURTONSVILLE, MARYLAND 20866. TEL: 301-421-4024 FAX: 301-421-4186

Prepared for: Owner/Developer EXIT SEVEN LLC. c/o Greenbaum & Rose Assoc., Inc. 1829 Reisterstown Road, Baltimore, MD 21208. Attn: Mark Bennett or Charles O'Donovan. Date: 4/11/02. Revision: 1. S. 19. 04 Add conditional approval note for VF-04-118. Rev. site data to reflect unit no. changes.

COVER SHEET THE ENCLAVE AT ELLICOTT HILLS PARCEL 'A' -- RESIDENCES PLAT NOS. 15319-15323 + 15333-15337. SCALE: 1" = 200'. ZONING: POR. DATE: 18/MAR/02. TAX MAP - GRID: 17-17,18,24. SHEET: 1 of 43. HOWARD COUNTY, MARYLAND.

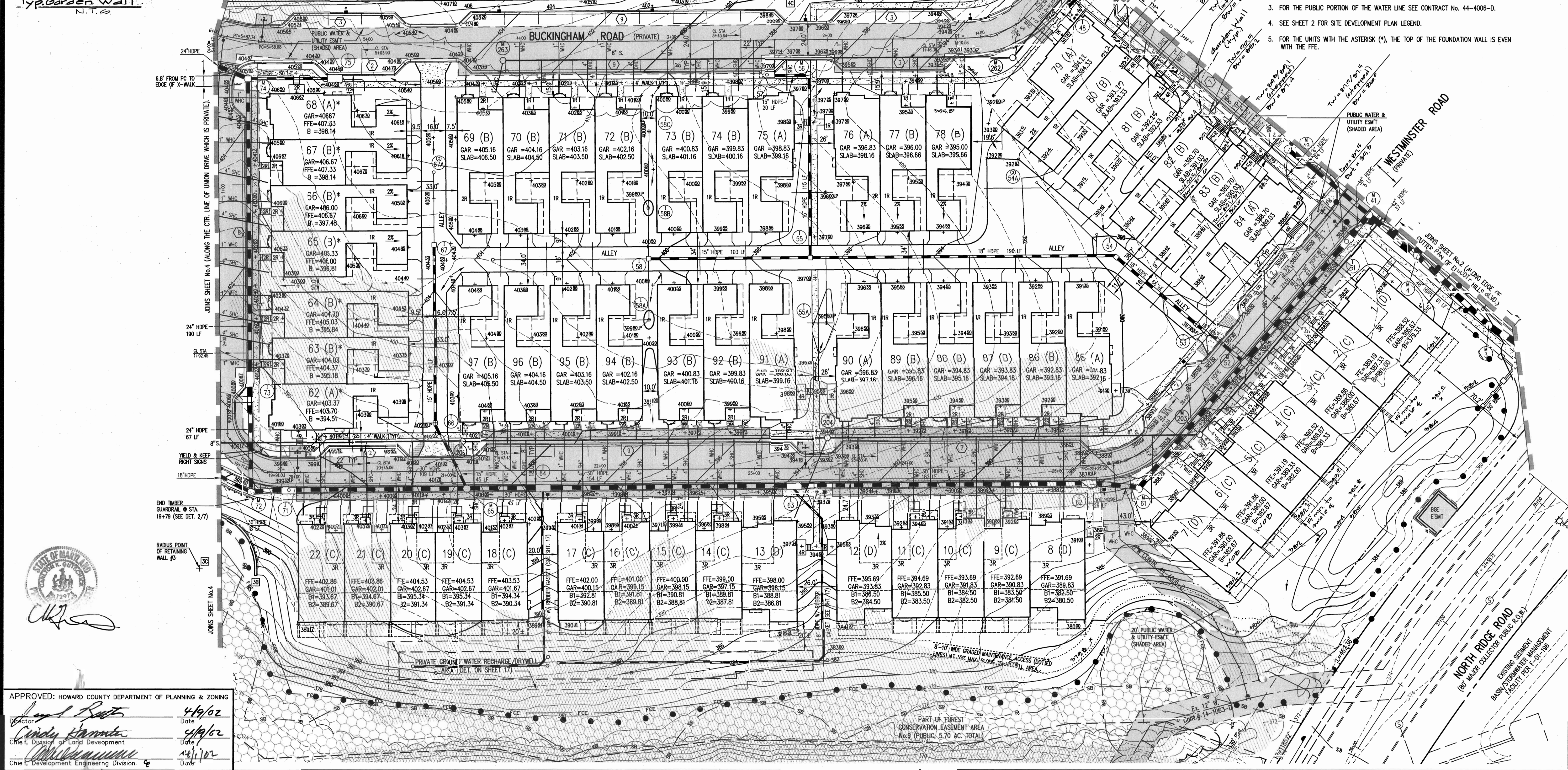




RETAINING WALL COORDINATES

POINT NO.	NORTH	EAST	APPROX. STA.	COMMENTS
3B (END)	N 592510.8123	E 1363375.0776	1417	TOP OF WALL AT BACK CORNER EDGE OF WALL #3
3C	N 592529.2186	E 1363342.0252	N/A	RADIUS POINT
4C	N 592732.2291	E 1363836.5947	4478	BOTTOM OF WALL AT FRONT FINISHED GRADE OF WALL #4
4D	N 592734.4825	E 1363841.7831	4484	
4E	N 592790.3006	E 1363863.7907	5444	
5A	N 592743.1624	E 1363834.9936	0400	BOTTOM OF WALL AT FRONT FINISHED GRADE OF WALL #5
5B	N 592802.6230	E 1363858.4373	0464	
5C	N 592750.7047	E 1363990.1186	2405	

- NOTES:
- ALL WATER METERS SHALL BE LOCATED INSIDE THE BUILDINGS.
 - ALL STORM DRAIN AND SEWER WITHIN PARCEL 'A' ARE PRIVATELY OWNED AND MAINTAINED.
 - FOR THE PUBLIC PORTION OF THE WATER LINE SEE CONTRACT No. 44-4006-D.
 - SEE SHEET 2 FOR SITE DEVELOPMENT PLAN LEGEND.
 - FOR THE UNITS WITH THE ASTERISK (*), THE TOP OF THE FOUNDATION WALL IS EVEN WITH THE FFE.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 4/9/02
Director Date

[Signature] 4/9/02
Chief of Division of Land Development Date

[Signature] 4/11/02
Chief of Development Engineering Division Date

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3809 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 FAX: 301-421-4186

3.10.04 Revising to create WOB for units 6 & 7
3.10.04 Revising to use 12.5 unit
3.10.02 APPROVED GARDEN WALLS LEAVES 71-81
3.10.02 Added Garden Wall & Garden Wall Detail

DATE: _____ DESIGNED: _____ CHECKED: _____

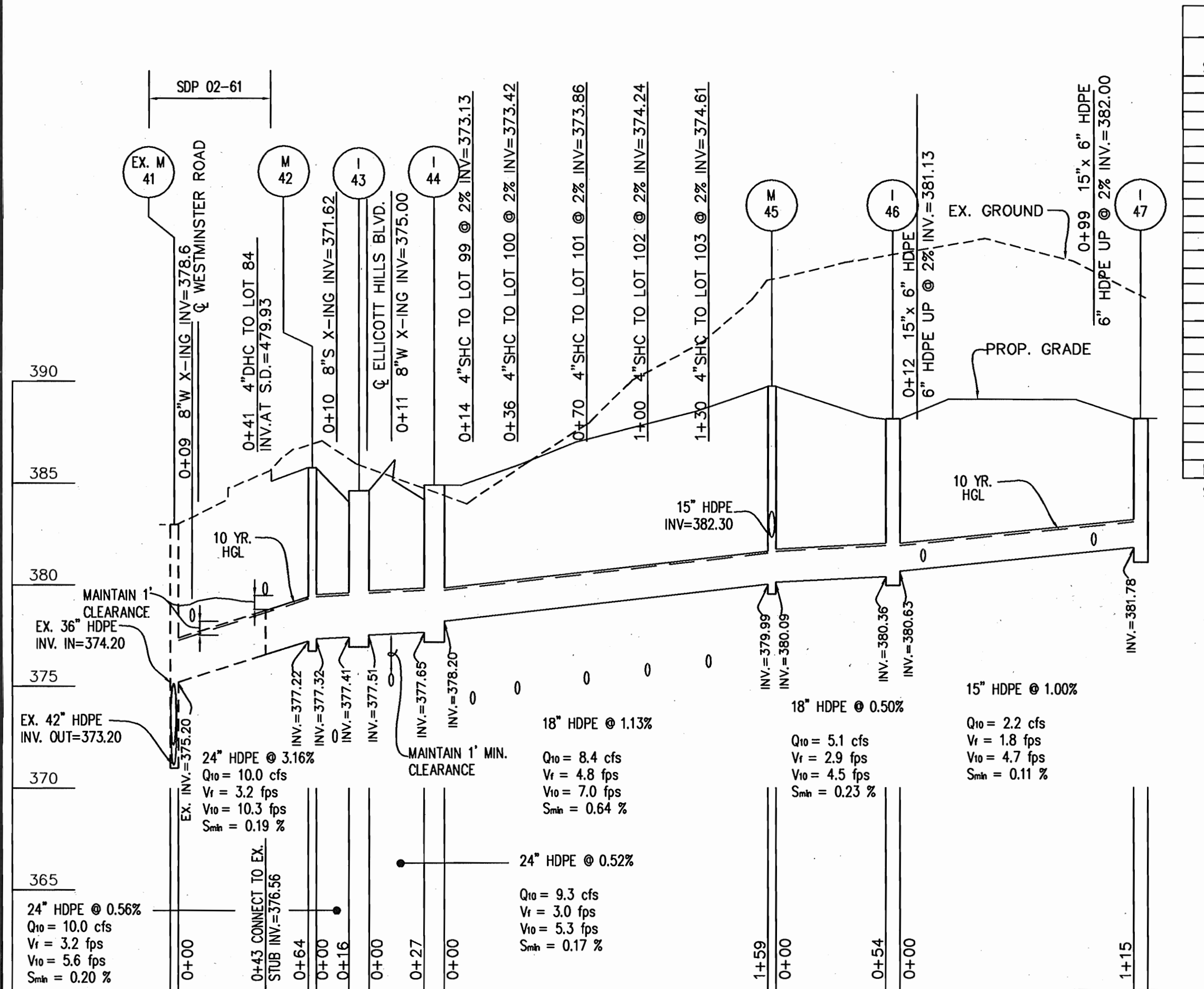
PREPARED FOR:
(Owner/Developer)
EXIT SEVEN LLC
c/o Greenbaum & Rose Assoc., Inc.
Suite 410, Woodbine Center
1829 Reisterstown Road
Baltimore, MD 21208
Phone: 410-484-8400
Attn: Mark Bennett or Charles O'Donovan

SITE DEVELOPMENT PLAN
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
PLAT Nos. 15219-15223
15333-15337

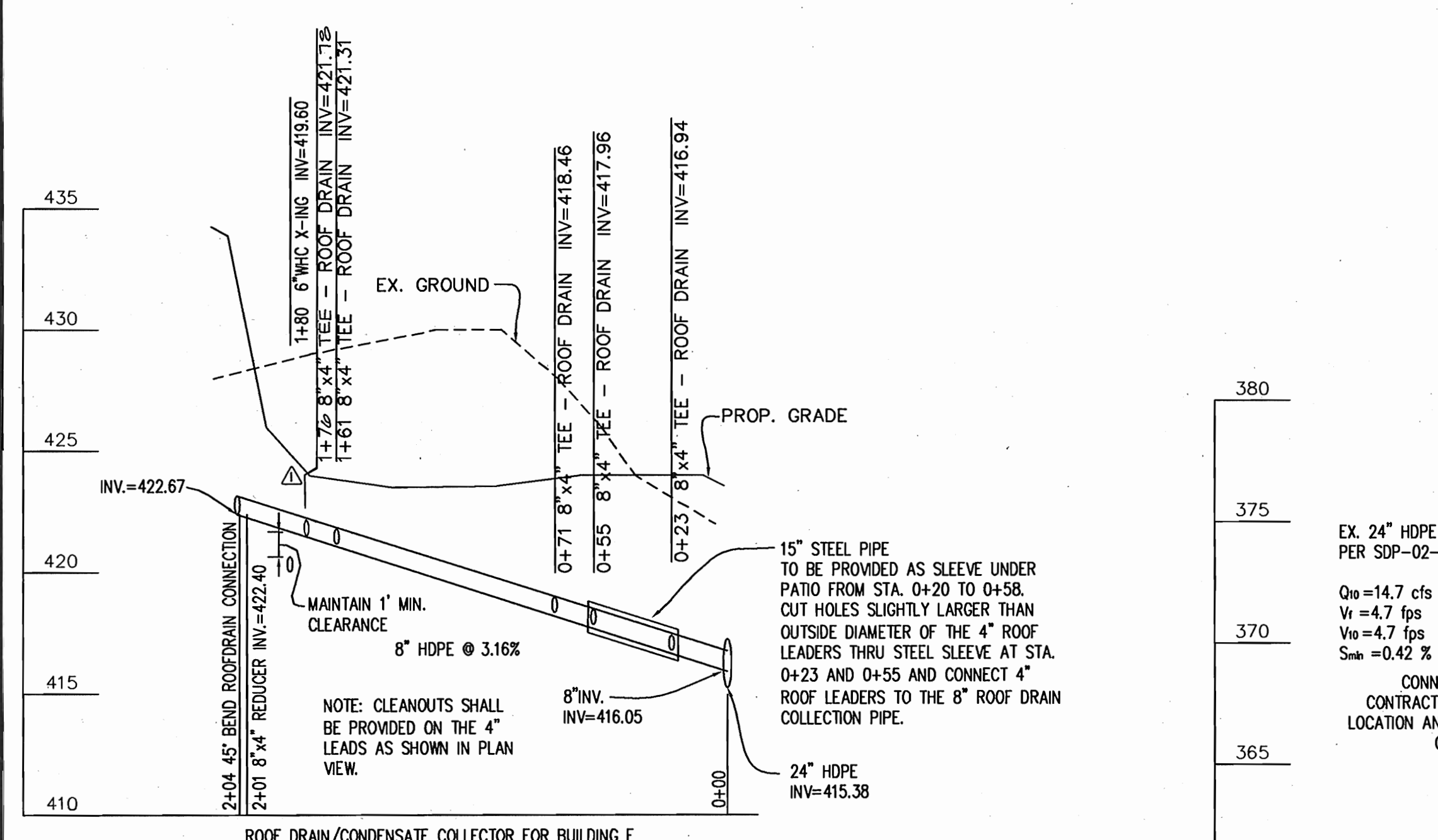
ELICOTT CITY ELECTION DISTRICT No. 2

SCALE 1" = 30'	ZONING POR	G. L. W. FILE No. 00-050
DATE 18/MAR/02	TAX MAP - GRID 17-17,18,24	SHEET 3 of 43

HOWARD COUNTY, MARYLAND



NOTE: CONTRACTOR TO VERIFY LOCATION & INV. AT THE TIME OF CONSTRUCTION.



NOTE: CLEANOUTS SHALL BE PROVIDED ON THE 4" LEADS AS SHOWN IN PLAN VIEW.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Date: 4/19/02
 Chief, Development Engineering Division



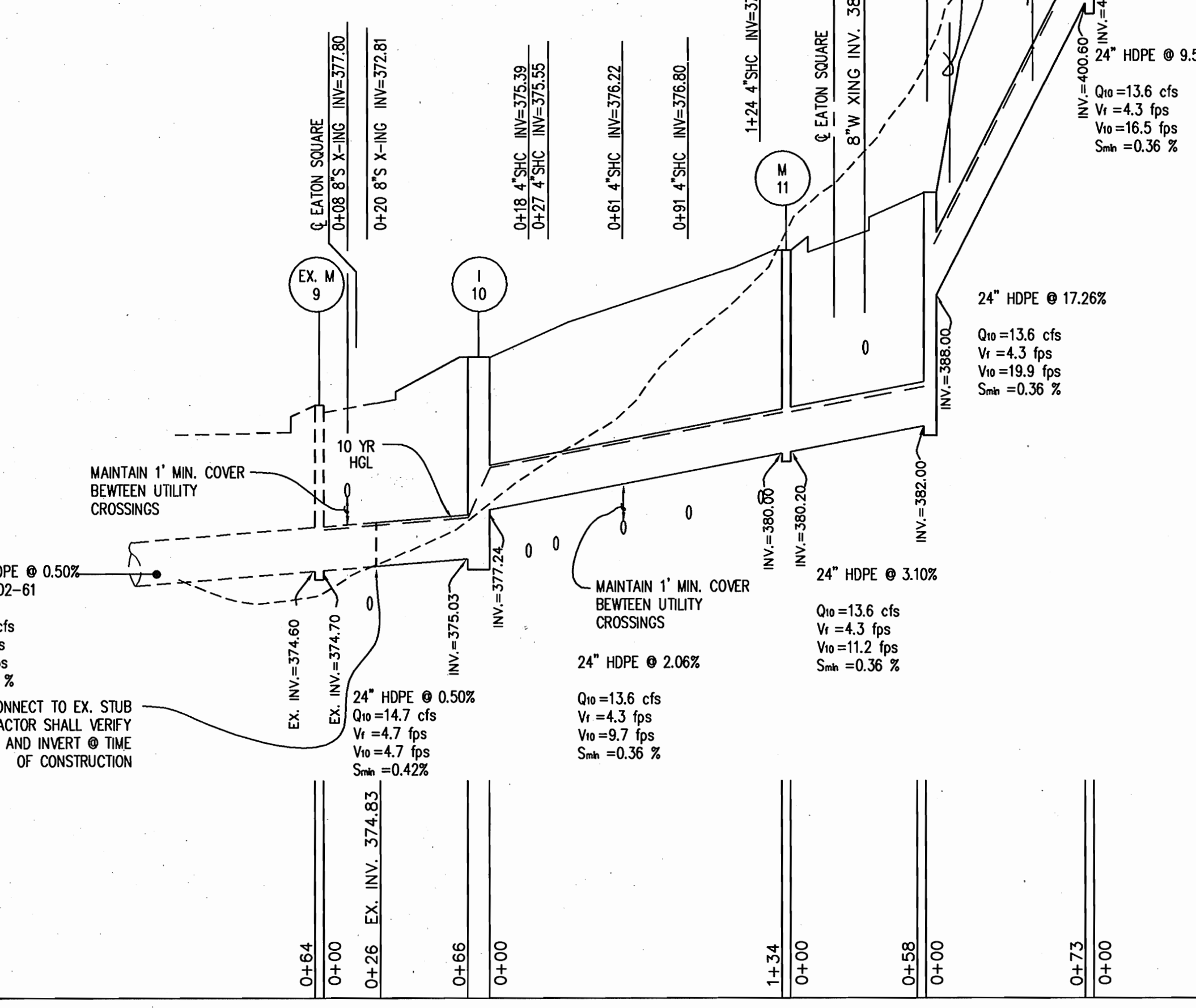
GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886
 TEL: 301-421-4024 FAX: 301-421-4186

STRUCTURE SCHEDULE									
STRUCTURE No.	TYPE	WIDTH (INSIDE) DIAMETER	TOP ELEVATION		INVERT ELEVATION		STANDARD DETAIL	REMARKS	
			UPPER	LOWER	UPPER	LOWER			
10	A-10	3'-6"	384.63	384.37	377.24	375.03	SD 4.02/4.41		
11	PRECAST MH	4'-0"	389.20	-	380.20	380.00	G.5.12		
12	PRECAST MH	4'-0"	392.00	-	388.00	382.00	G.5.12		
13	PRECAST MH	4'-0"	408.50	-	404.00	400.00	G.5.12		
14	PRECAST MH	4'-0"	416.70	-	411.75	410.00	G.5.12		
15	D INLET	3'-6"	424.50	-	418.30	417.75	SD 4.39	(SUMP) WEIR OPENINGS ON N,S & W SIDES WEIR INV.=422.57	
16	PRECAST MH	4'-0"	432.00	-	425.60	422.00	G.5.12		
17	S INLET	3'-0"	434.00	-	428.30	426.01	SD 4.22	4" HDPE FOR UPPER INV.	
18	S INLET	3'-0"	434.00	-	426.43	426.33	SD 4.22		
19	S INLET	3'-0"	434.00	-	426.78	426.68	SD 4.22		
20	S INLET	3'-0"	434.00	-	427.12	427.00	SD 4.22		
21	S COMB. INLET	3'-0"	TC=434.00	-	427.64	427.37	SD 4.32		
22	A-10	2'-6"	432.12	-	428.76	SD 4.02/4.41	TOP OF SLAB ELEVATION LISTED (SUMP)		
33	S INLET	3'-0"	383.17	-	379.81	379.71	SD 4.22		
34	S INLET	2'-7"	386.35	-	383.00	SD 4.22	ALL UPPER INVS. ARE THE SAME ELEVATION (SEE SHT. 20)		
42	PRECAST MH	4'-0"	385.63	-	377.32	377.22	G.5.12		
43	A-10	2'-6"	385.47	385.15	377.51	377.41	SD 4.02/4.41		
44	A-10	2'-6"	384.46	384.26	378.20	377.65	SD 4.02/4.41		
45	PRECAST MH	4'-0"	389.70	-	382.30	379.99	G.5.12		
46	DOUBLE S INLET	3'-0"	TC=388.60	-	380.63	380.36	SD 4.23		
47	DOUBLE S INLET	3'-0"	TC=388.60	-	381.78	SD 4.23			
48	A-10	2'-6"	392.70	392.35	386.58	383.20	SD 4.02/4.41	TOP OF SLAB ELEVATION LISTED	

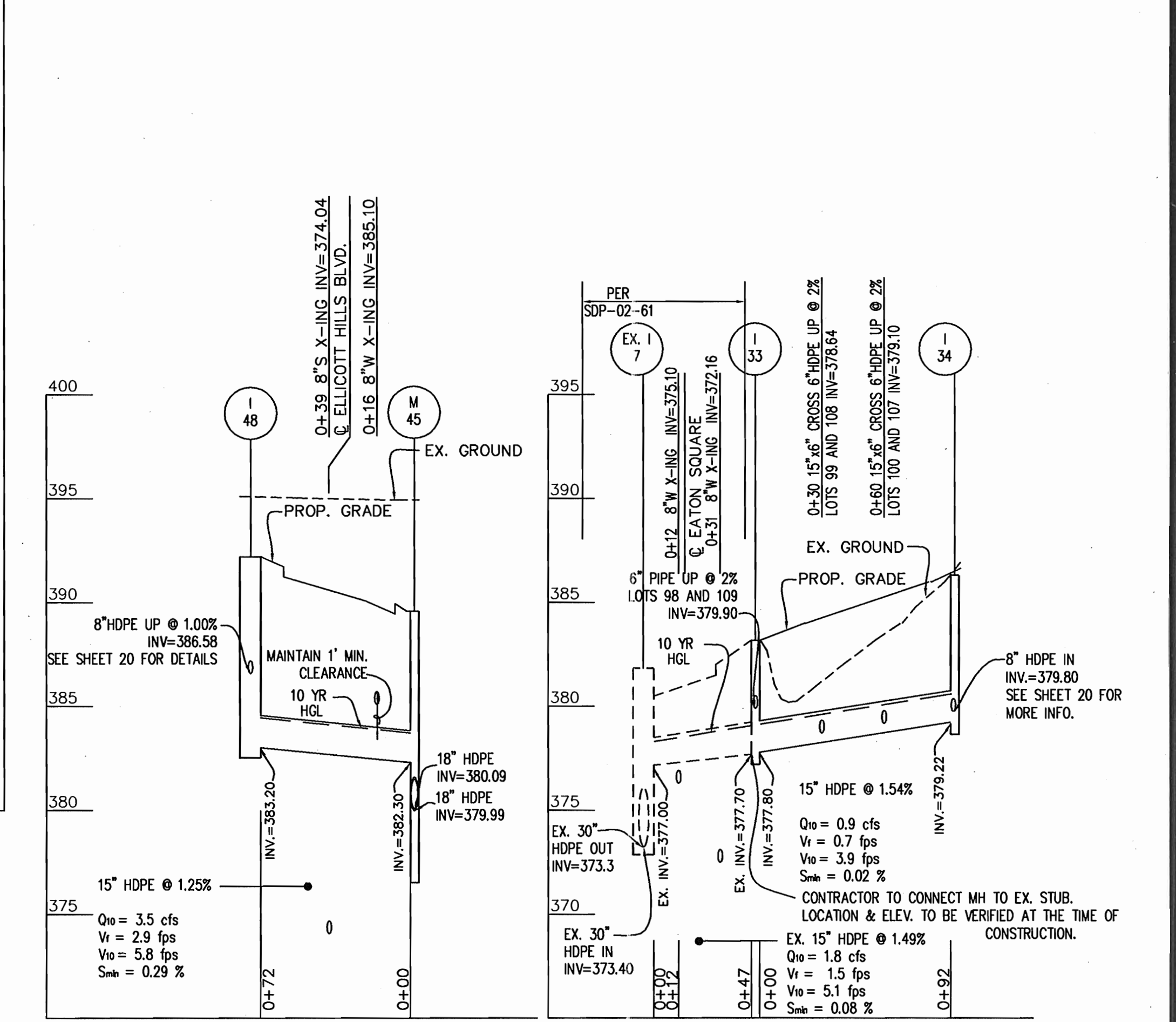
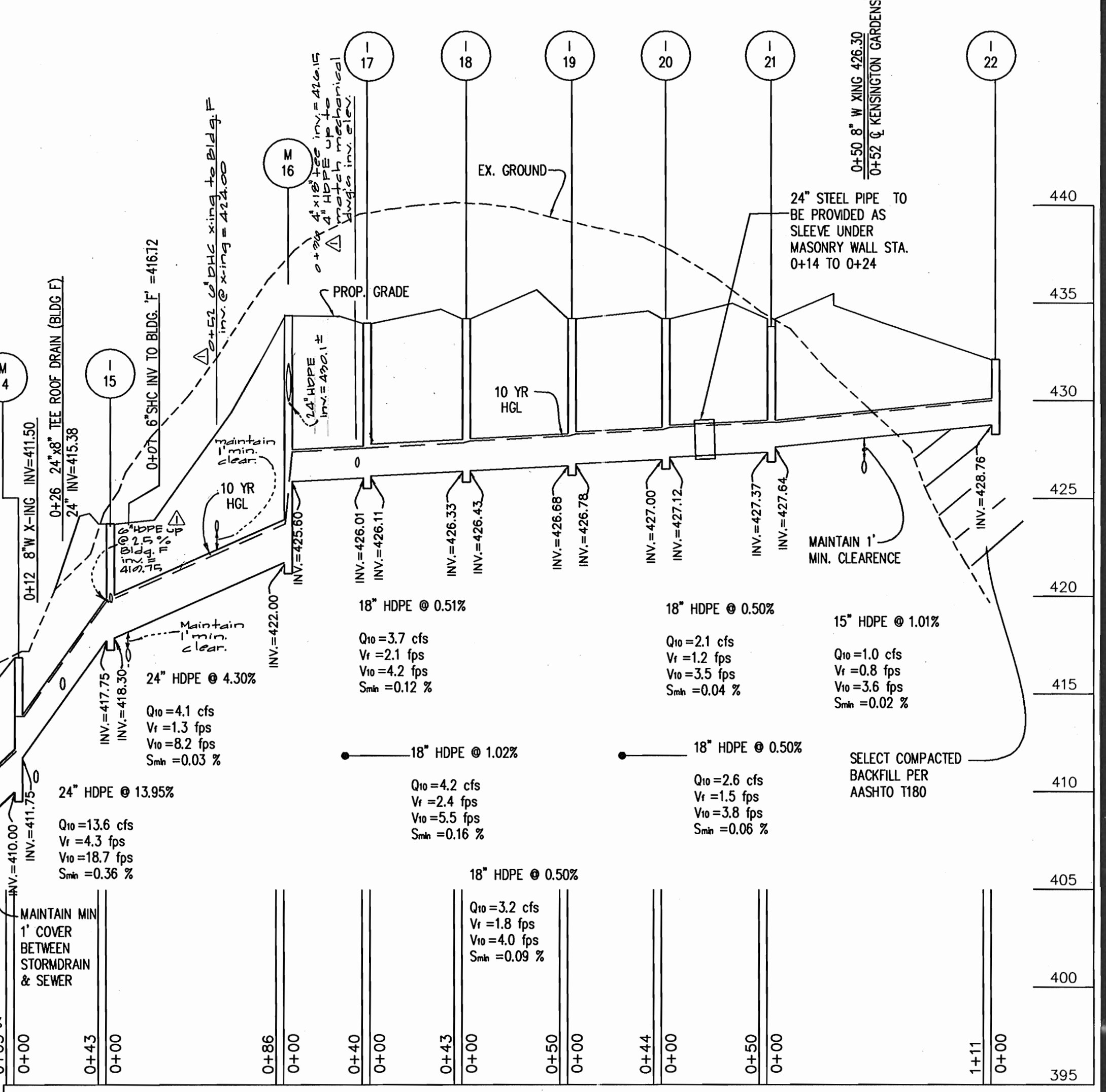
NOTE: STRUCTURES SHOWN ON MORE THAN ONE PAGE ARE ONLY SHOWN IN ONE STRUCTURE SCHEDULE. SEE PLAN & PROFILES FOR OTHER INVS FOR STRUCTURES WITH MULTIPLE PIPES.

PIPE SCHEDULE			
SIZE	TYPE	QUANTITY (L.F.)	REMARKS
4"	HDPE	27	
6"	HDPE	76	
8"	HDPE	201	
15"	HDPE	437	
18"	HDPE	440	
24"	HDPE	561	
15"	STEEL	36	SLEEVE
24"	STEEL	10	SLEEVE

NOTE: ALL HDPE 12" THRU 42" SHALL BE AASHTO M 299-90 TYPE "S" (SMOOTH LINED). ALL HDPE 3" THRU 10" SHALL BE AASHTO M 292-90 TYPE "S" (SMOOTH LINED).



CONNECT TO EX. STUB CONTRACTOR SHALL VERIFY LOCATION AND INVERT @ TIME OF CONSTRUCTION



STORM DRAIN PROFILES
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
 PLAT No. 15319 - 15323
 + 15353 - 15357

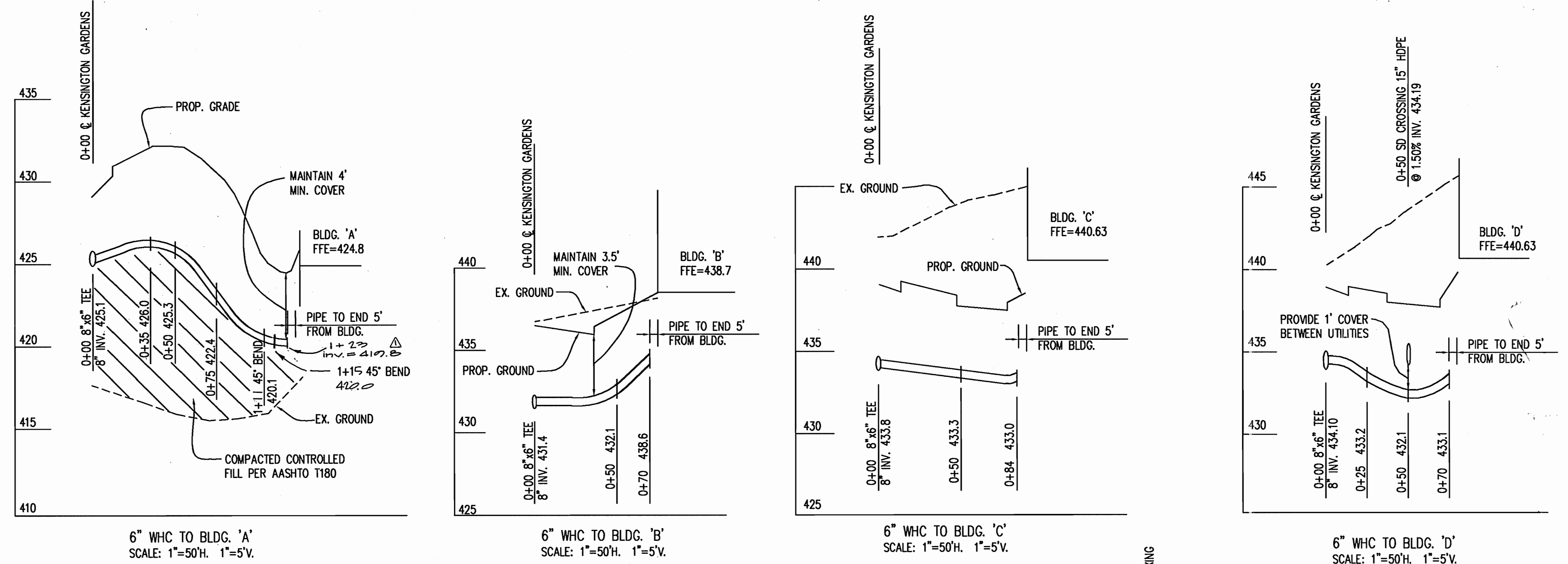
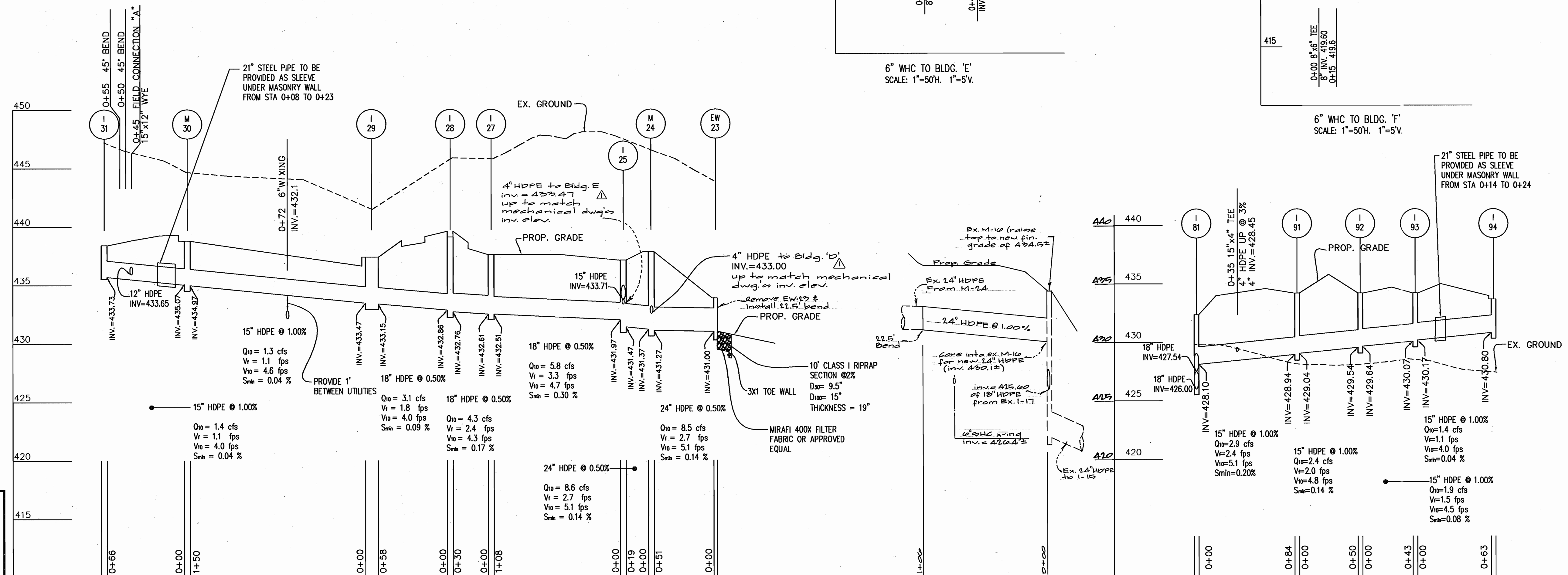
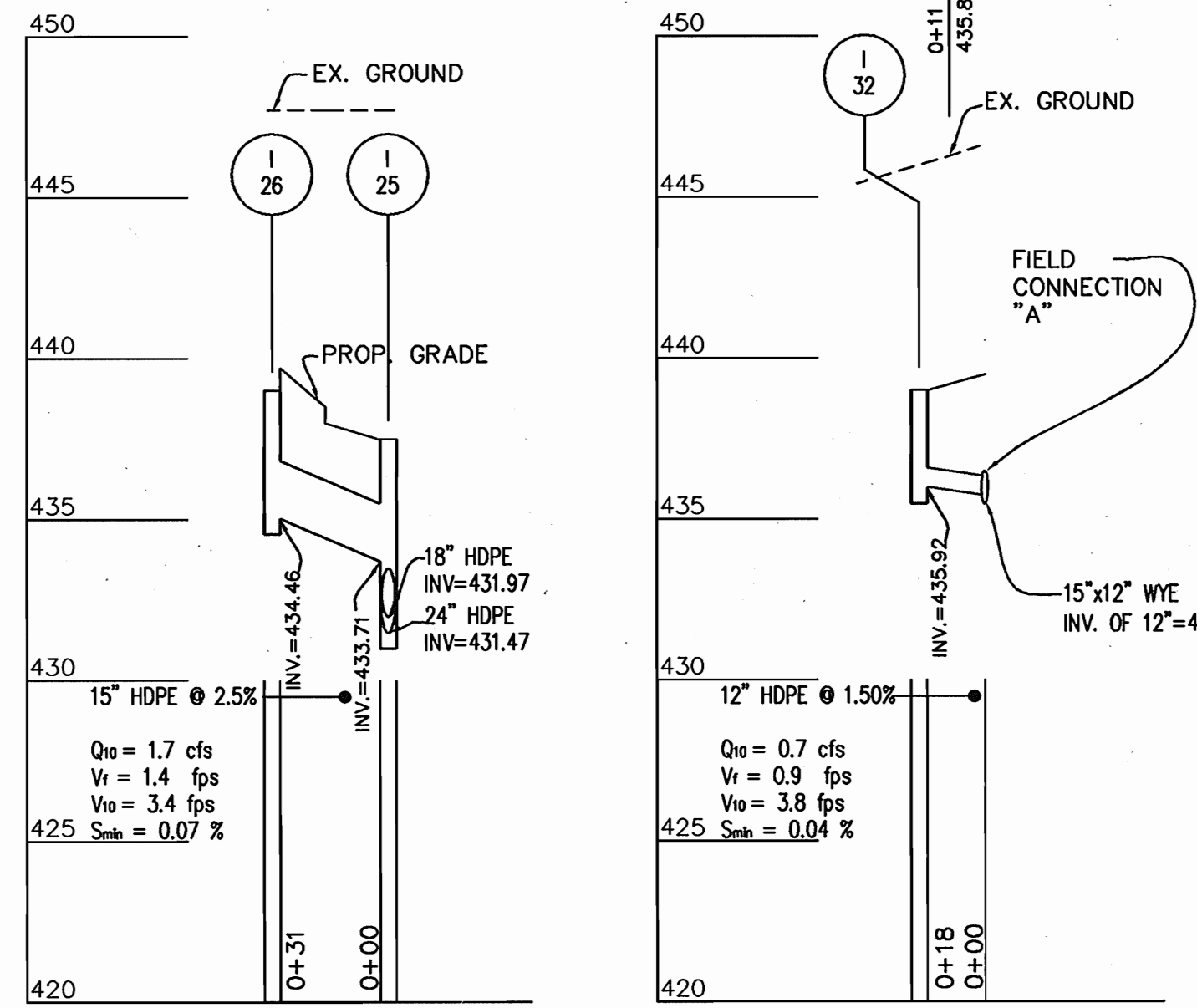
SCALE: Hor: 1" = 50', Vert: 1" = 5'
 ZONING: POR
 DATE: 18/MAR/02
 TAX MAP - GRID: 17-17,18,24
 SHEET: 14 of 43
 G. L. W. FILE No. 00-050

STRUCTURE SCHEDULE									
STRUCTURE No.	TYPE	WIDTH (INSIDE) DIAMETER	TOP ELEVATION		INVERT ELEVATION		STANDARD DETAIL	REMARKS	
			UPPER	LOWER	UPPER	LOWER			
23	24" TYPE C ENDWALL	2'-0"	433.75	-	431.00	-	SD 5.21	-	-
24	PRECAST MH	4'-0"	437.65	-	433.00	431.27	C.5.12	-	4" HDPE AS UPPER INVERT
25	S INLET	2'-7"	437.27	-	433.71	431.47	SD 4.22	-	SUMP
26	S COMB. INLET	2'-7"	TC=439.46	-	-	434.46	SD 4.32	-	SUMP
27	DOUBLE S INLET	2'-7-1/2"	437.20	-	432.61	432.51	SD 4.23	-	SUMP
28	S COMB. INLET	3'-0"	TC=439.22	-	-	432.66	SD 4.32	-	SUMP
29	A-10	2'-8"	437.00	-	433.47	433.15	SD 4.02	-	TOP OF SLAB ELEVATION LISTED (SUMP)
30	PRECAST MH	4'-0"	438.90	-	435.07	434.97	C.5.12	-	-
31	S INLET	2'-7"	438.80	-	435.73	-	SD 4.22	-	SUMP
32	S INLET	2'-7"	438.80	-	435.92	-	SD 4.22	-	SUMP
91	S INLET	2'-7"	434.00	-	429.04	428.94	SD 4.22	-	SUMP
92	S INLET	2'-7"	434.00	-	429.64	429.54	SD 4.22	-	SUMP
93	S INLET	2'-7"	434.00	-	430.17	430.07	SD 4.22	-	SUMP
94	S COMB. INLET	2'-7"	TC=434.11	-	-	430.80	SD 4.32	-	SUMP

NOTE: STRUCTURES LISTED ON MORE THAN ONE PAGE ARE ONLY LISTED IN ONE STRUCTURE SCHEDULE.
SEE PLAN VIEW AND PROFILES FOR OTHER INVS FOR STRUCTURES WITH MULTIPLE PIPES.

PIPE SCHEDULE			
SIZE	TYPE	QUANTITY (L.F.)	REMARKS
4"	HDPE	122	0
12"	HDPE	18	0
15"	HDPE	487	0
18"	HDPE	196	0
24"	HDPE	70	0
21"	STEEL	25	SLEEVE

NOTE: ALL HDPE 12" THRU 42" SHALL BE AASHTO M 294-90 TYPE "S" (SMOOTH LINED).
ALL HDPE 3" THRU 10" SHALL BE AASHTO M 292-90 TYPE "S" (SMOOTH LINED).



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: [Signature] Date: 4/19/02
 Chief, Division of Land Development: [Signature] Date: 4/19/02
 Chief, Development Engineering Division: [Signature] Date: 4/1/02

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK
 1207
 BURTNSVILLE, MARYLAND 20886
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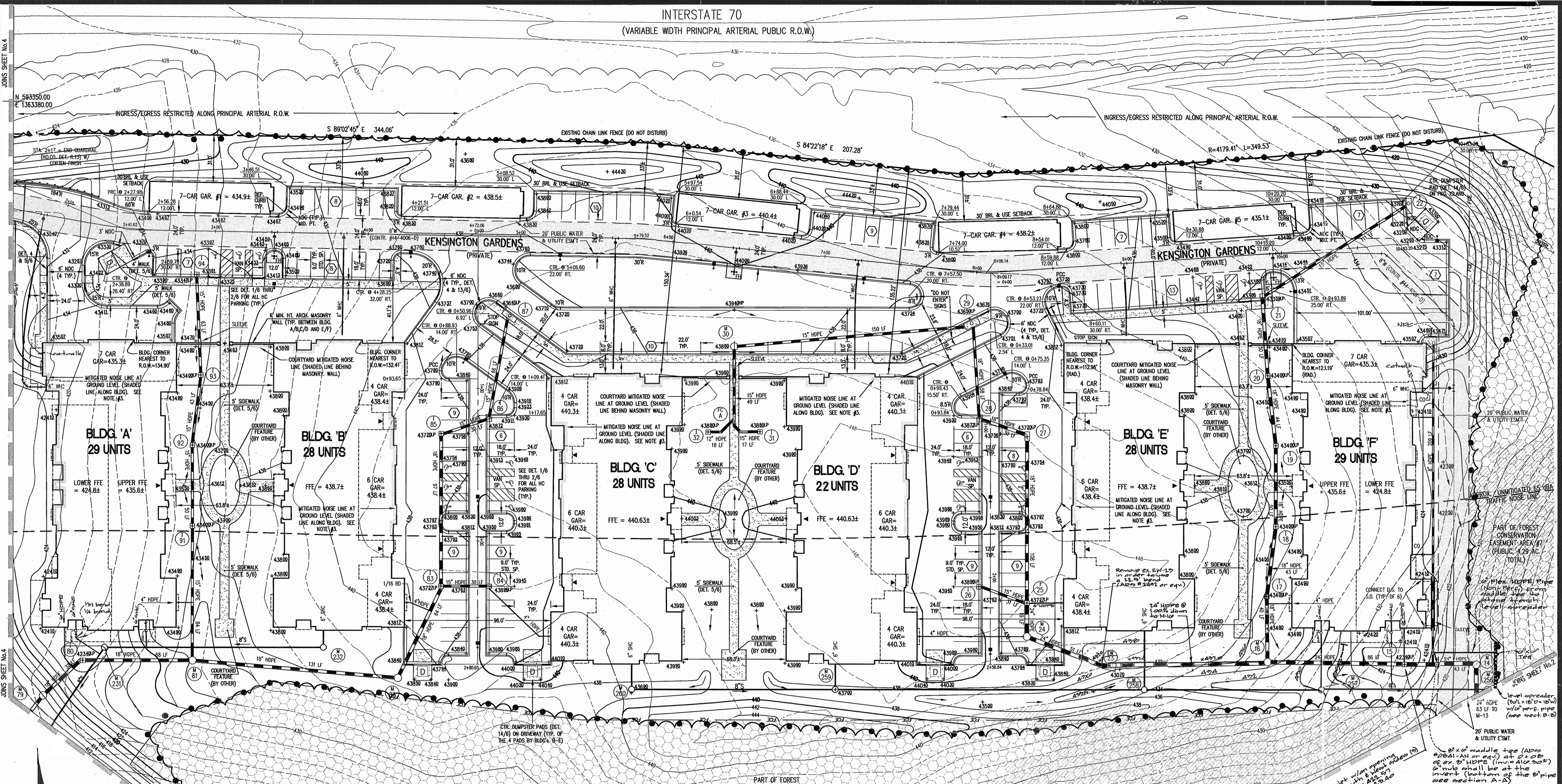
DATE	REVISION	BY	APPR.
1-2-02	added profile from Ew-12 (removed) to M-10		
1-18-02	added 4" HDPE to Bldg. E; Rev. WHC to Bldg. A		

PREPARED FOR:
 (Owner/Developer)
 EXT SEVEN LLC
 c/o Greenbaum & Rose Assoc., Inc.
 Suite 410, Woodhams Center
 1829 Redstone Road
 Baltimore, MD 21208
 Phone: 410-484-8400
 Attn: Mark Bennett or Charles O'Donovan

STORM DRAIN PROFILES
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
 PLAT Nos. 15319-15323
 15353-15357
 ELLICOTT CITY ELECTION DISTRICT No. 2
 HOWARD COUNTY, MARYLAND

DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	16 of 43

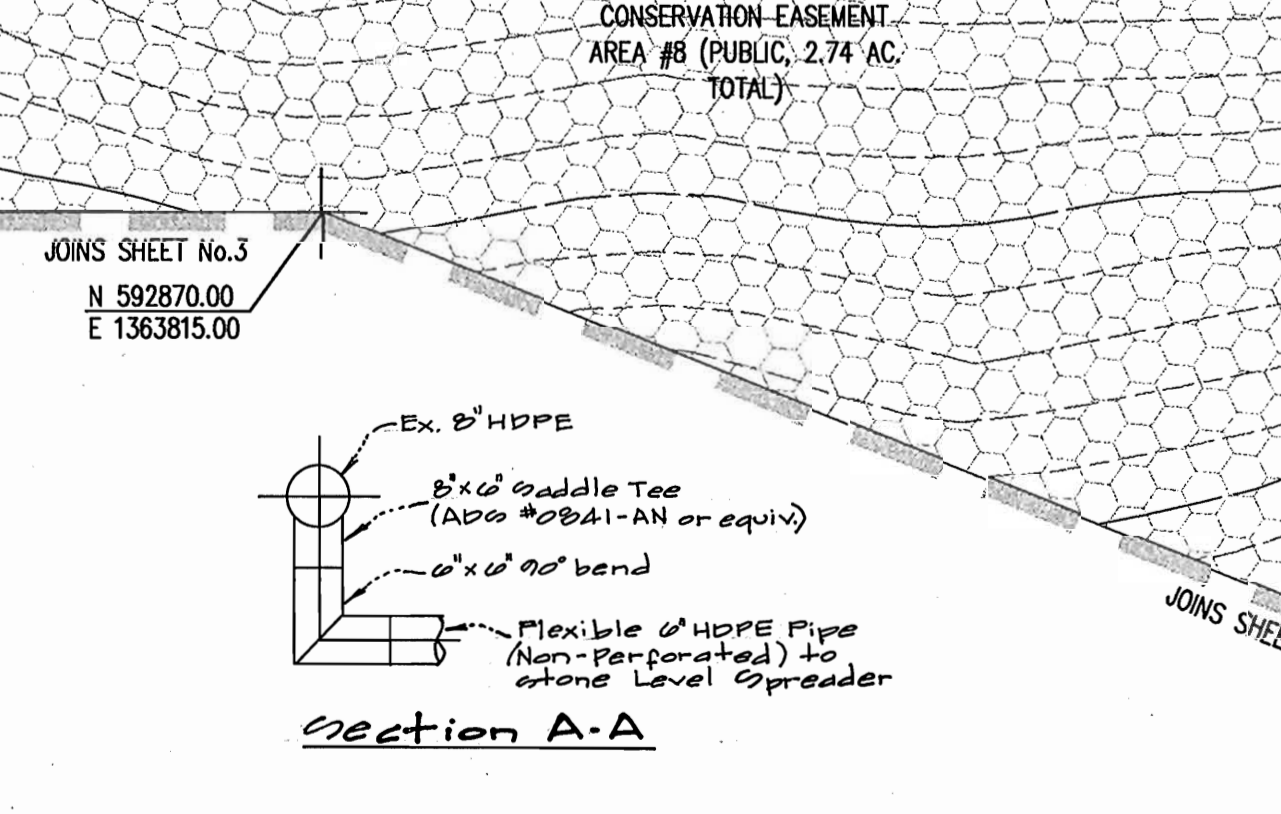
INTERSTATE 70
(VARIABLE WIDTH PRINCIPAL ARTERIAL PUBLIC R.O.W.)



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Paul R. ...* Date: 4/19/02
 Chief, Division of Land Development: *Charles ...* Date: 4/19/02
 Chief, Development Engineering Division: *John ...* Date: 4/19/02

- NOTES:
- BUILDING MAIN INGRESS/EGRESS POINTS (WHICH ARE DENOTED BY THE DARKEN TRIANGLE SYMBOL) ARE AT THE SAME FINISHED GRADE ELEVATION AS THE BUILDING F.F.E. FIVE (5) FEET FROM THE INGRESS/EGRESS POINTS, THE OUTSIDE FINISHED GRADE IS A MAXIMUM OF 0.10 FT. LOWER THAN THE F.F.E. (FOR A 2% MAX. SLOPE).
 - DIMENSIONS TO THE BUILDINGS ARE TO THE OUTSIDE FACE OF BUILDING WALLS.
 - ALL APARTMENT BUILDINGS SHALL BE EQUIPPED WITH AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM AND INSIDE METER SETTING. BUILDINGS CONSTRUCTION SHALL INCORPORATE THE NECESSARY SOUND PROOFING TO PROVIDE ACCEPTABLE INTERIOR NOISE LEVEL (PER APPLICABLE REGULATIONS) FOR THOSE UNITS AFFECTED BY THE TRAFFIC NOISE FROM INTERSTATE I-70.
 - ALSO SEE ARCHITECTURAL DRAWINGS FOR CONSTRUCTION DETAILS OF THE MASONRY COURTYARD WALL. SEE SHEET #7 FOR APARTMENT AND GARAGE BLDG. FOOTPRINTS AND ELEVATIONS.
 - SPOT ELEVATIONS ALONG CURB LINE ARE AT THE FLOW LINE UNLESS NOTED OTHERWISE. CURB RADI ARE TO THE FACE OF CURB. CURB FILLETS ARE 5' RADII UNLESS NOTED OTHERWISE.
 - UNLESS NOTED OTHERWISE, ALL CURB AND GUTTER WITHIN THE APARTMENT COMPLEX ARE TYPE-A. SEE SHEET #8 FOR CURB AND PAVING DELINEATION, SHEET #2 FOR SDP LEGEND AND SHEET #7 FOR BLDG. FOOTPRINTS, ELEVATIONS AND SETBACK REQUIREMENTS.



DRIVEWAY CENTER LINE COORDINATES

LOCATION	STATIONS	COORDINATES
KENSINGTON GARDENS	2+41.82	N 593265.9692 E 1363454.2372
	5+79.52	N 593290.3419 E 1363792.0832
	8+08.14	N 593238.1106 E 1364017.6131
	10+83.20 (END)	N 593257.1872 E 1364294.0139
THROUGH CENTER OF PARKING LOT BETWEEN BUILDINGS B & C	0+00 (= 4+72.06)	N 593262.1316 E 1363684.6381
	2+80.65	N 592981.4783 E 1363684.6381
THROUGH CENTER OF PARKING LOT BETWEEN BUILDINGS D & E	0+00 (= 8+09.17)	N 593238.3194 E 1364010.3181
	2+56.84 (END, DUE SOUTH)	N 592981.4783 E 1364020.6381

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTINSVILLE OFFICE PARK
 BURTINSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

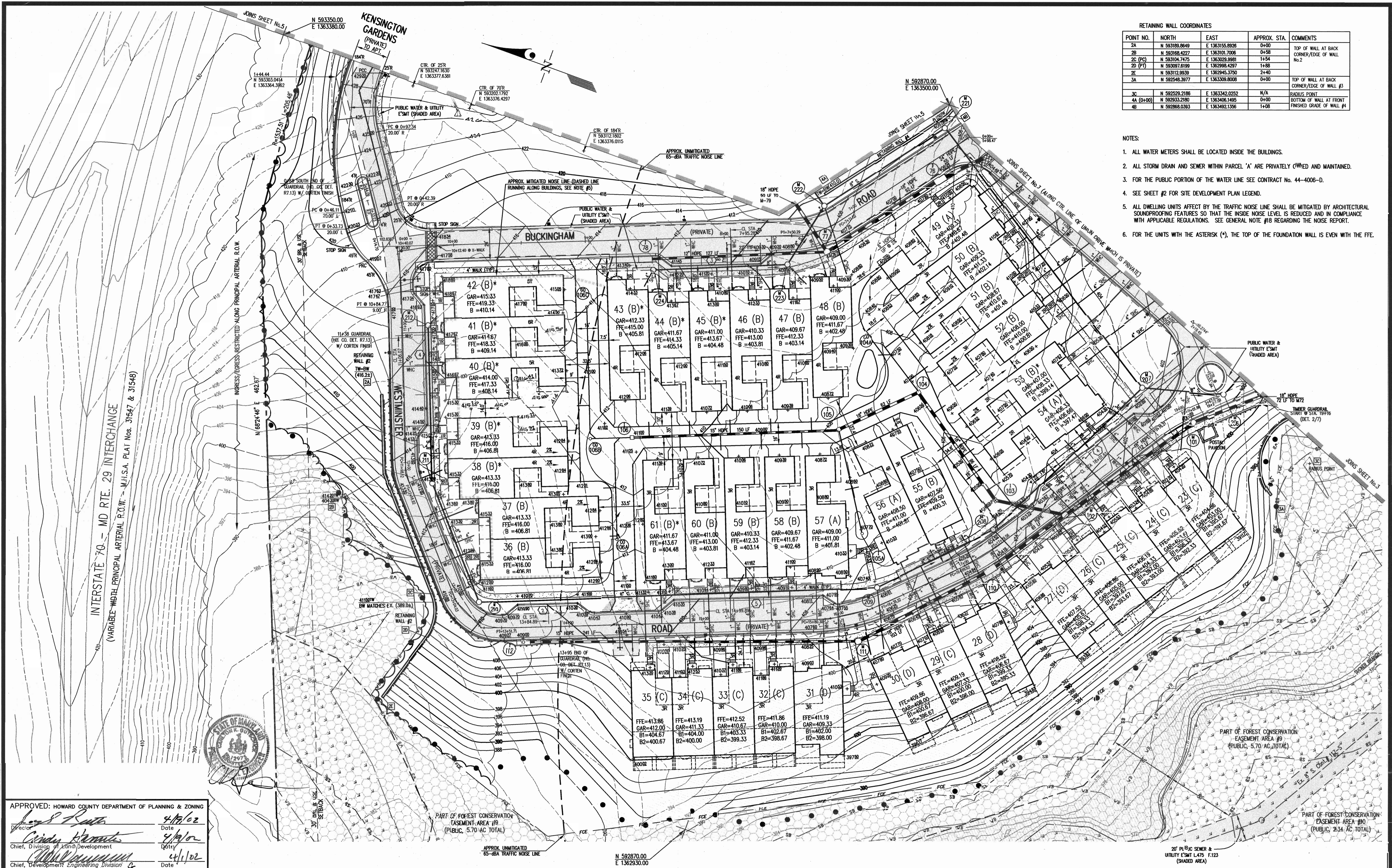
DATE	REVISION	BY	APP'R.
1.2.05	Rev. grading & sp. betw. Ew-23 and M-16 plus add a stone level spreader		
1.9.04	Rev. unit nos. for Bldg. 'B'		
1.8.02	Rev. curbs to bldg. A, added 6" HDPE; Rev. curbs & sp. for Bldg. E; added sidewalk bldg. E & F		

PREPARED FOR:
 (Owner/Developer)
 EXT SEVEN LLC
 c/o Greenbaum & Rose Assoc., Inc.
 Suite 410, Woodhome Center
 1828 Reisterstown Road
 Baltimore, MD 21208
 Phone: 410-484-8400
 Attn: Mark Bennett or Charles O'Donovan

SITE DEVELOPMENT PLAN
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
 PLAT No. 13319-15223
 15353-15357

ELICOTT CITY ELECTION DISTRICT No. 2

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	5 of 43



RETAINING WALL COORDINATES

POINT NO.	NORTH	EAST	APPROX. STA.	COMMENTS
2A	N 93189.8649	E 1363155.8926	0+00	TOP OF WALL AT BACK CORNER/EDGE OF WALL No. 2
2B	N 93168.4227	E 1363101.7006	0+58	
2C (PC)	N 93104.7475	E 1363029.9981	1+54	
2D (PT)	N 93097.6199	E 1362998.4297	1+88	
2E	N 93112.9839	E 1362945.3750	2+40	
3A	N 93258.3977	E 1363309.8008	0+00	TOP OF WALL AT BACK CORNER/EDGE OF WALL #3
3C	N 93258.2186	E 1363342.0252	N/A	RADIUS POINT
4A (0+00)	N 93233.2181	E 1363408.1495	0+00	BOTTOM OF WALL AT FRONT FINISHED GRADE OF WALL #4
4B	N 93286.0393	E 1363482.1356	1+08	

- NOTES:
- ALL WATER METERS SHALL BE LOCATED INSIDE THE BUILDINGS.
 - ALL STORM DRAIN AND SEWER WITHIN PARCEL 'A' ARE PRIVATELY OWNED AND MAINTAINED.
 - FOR THE PUBLIC PORTION OF THE WATER LINE SEE CONTRACT No. 44-4006-D.
 - SEE SHEET #2 FOR SITE DEVELOPMENT PLAN LEGEND.
 - ALL DWELLING UNITS AFFECT BY THE TRAFFIC NOISE LINE SHALL BE MITIGATED BY ARCHITECTURAL SOUNDPROOFING FEATURES SO THAT THE INSIDE NOISE LEVEL IS REDUCED AND IN COMPLIANCE WITH APPLICABLE REGULATIONS. SEE GENERAL NOTE #18 REGARDING THE NOISE REPORT.
 - FOR THE UNITS WITH THE ASTERISK (*), THE TOP OF THE FOUNDATION WALL IS EVEN WITH THE FFE.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 4/16/02

Chief, Division of Land Development: *[Signature]* Date: 4/16/02

Chief, Development Engineering Division: *[Signature]* Date: 4/1/02

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK
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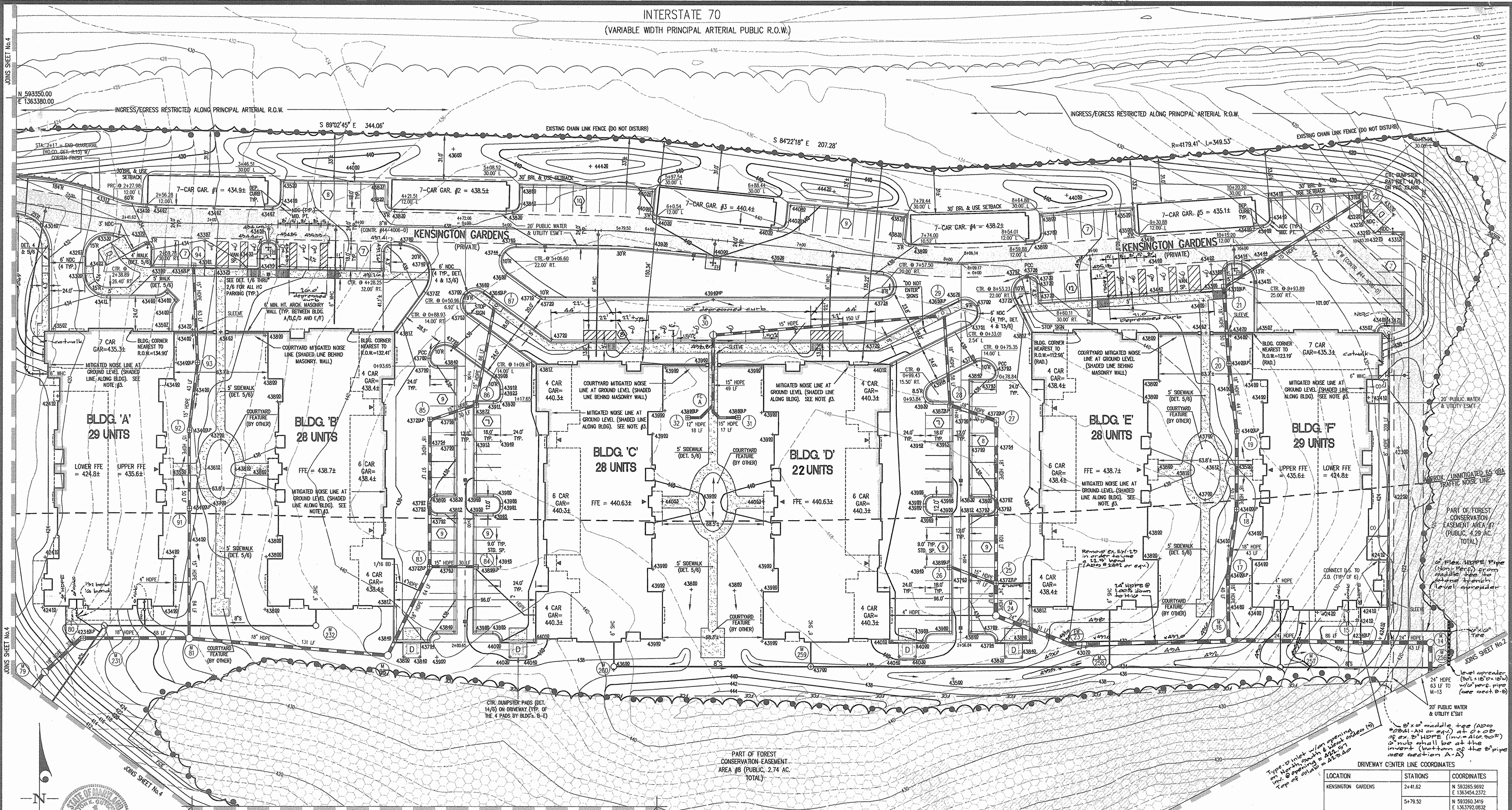
NO.	DATE	DESCRIPTION
1	4.12.02	Rev. Grading btwn 20 & 20
2	4.18.02	Rev. contours

PREPARED FOR:
 (Owner/Developer)
 EXIT SEVEN LLC
 c/o Greenbaum & Rose Assoc., Inc.
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 1829 Robinson Road
 Baltimore, MD 21208
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 Attn: Mark Bennett or Charles O'Donovan

SITE DEVELOPMENT PLAN
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
 PLAT No. 15319-15323
 + 15353-15357
 ELLICOTT CITY ELECTION DISTRICT No. 2

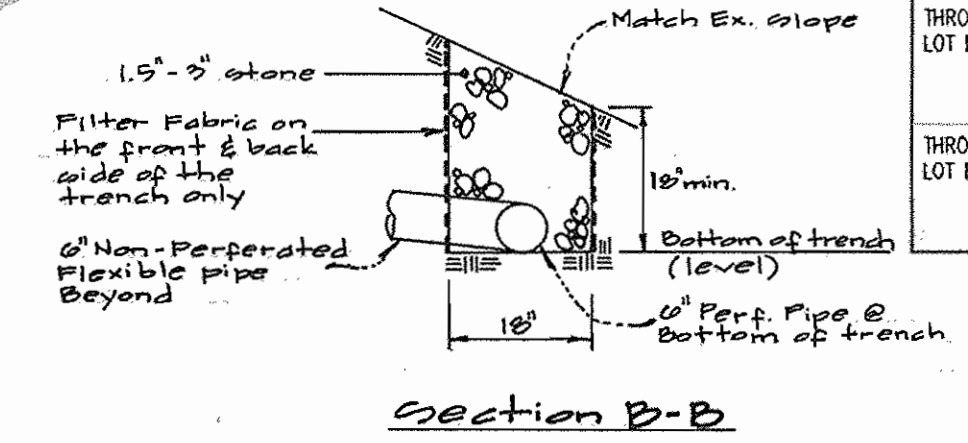
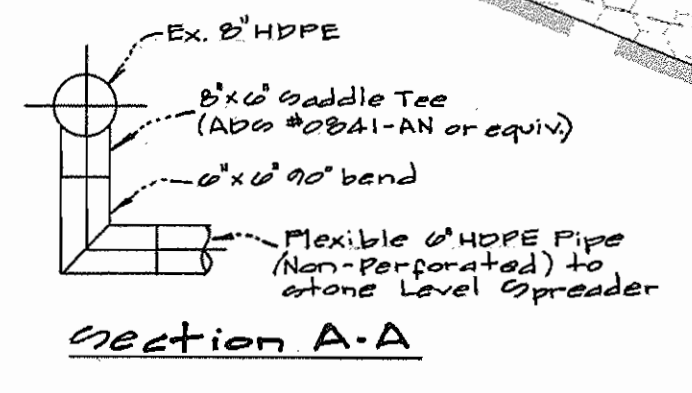
SCALE	ZONING	G. L. W. FILE No.
1" = 30'	POR	09-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	4 of 43

INTERSTATE 70
(VARIABLE WIDTH PRINCIPAL ARTERIAL PUBLIC R.O.W.)



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* Date: 4/16/02
 Chief, Division of Land Development: *[Signature]* Date: 4/16/02
 Chief, Development Engineering Division: *[Signature]* Date: 4/16/02

- NOTES:
- BUILDING MAIN INGRESS/EGRESS POINTS (WHICH ARE DENOTED BY THE DARKEN TRIANGLE SYMBOL) ARE AT THE SAME FINISHED GRADE ELEVATION AS THE BUILDING F.F.E. FIVE (5) FEET FROM THE INGRESS/EGRESS POINTS, THE OUTSIDE FINISHED GRADE IS A MAXIMUM OF 0.10 FT. LOWER THAN THE F.F.E. (FOR A 2% MAX. SLOPE).
 - DIMENSIONS TO THE BUILDINGS ARE TO THE OUTSIDE FACE OF BUILDING WALLS.
 - ALL APARTMENT BUILDINGS SHALL BE EQUIPPED WITH AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM AND INSIDE METER SETTING. BUILDINGS CONSTRUCTION SHALL INCORPORATE THE NECESSARY SOUND PROOFING TO PROVIDE ACCEPTABLE INTERIOR NOISE LEVEL (PER APPLICABLE REGULATIONS) FOR THOSE UNITS AFFECTED BY THE TRAFFIC NOISE FROM INTERSTATE 70.
 - ALSO SEE ARCHITECTURAL DRAWINGS FOR CONSTRUCTION DETAILS OF THE MASONRY COURTYARD WALL. SEE SHEET #7 FOR APARTMENT AND GARAGE BLDG. FOOTPRINTS AND ELEVATIONS.
 - SPOT ELEVATIONS ALONG CURB LINE ARE AT THE FLOW LINE UNLESS NOTED OTHERWISE. CURB RADI ARE TO THE FACE OF CURB. CURB FILETS ARE 5' RADII UNLESS NOTED OTHERWISE.
 - UNLESS NOTED OTHERWISE, ALL CURB AND CUTTER WITHIN THE APARTMENT COMPLEX ARE TYPE-A. SEE SHEET #8 FOR CURB AND PAVING DELINEATION, SHEET #2 FOR SOP LEGEND AND SHEET #7 FOR BLDG. FOOTPRINTS, ELEVATIONS AND SETBACK REQUIREMENTS.



DRIVEWAY CENTER LINE COORDINATES

LOCATION	STATIONS	COORDINATES
KENSINGTON GARDENS	24+1.82	N 593265.9692 E 1363454.2372
	5+79.52	N 593260.3419 E 1363792.0832
	8+06.14	N 593261.1106 E 1364017.6131
THROUGH CENTER OF PARKING LOT BETWEEN BUILDINGS B & C	0+00 (= 4472.06)	N 593262.1316 E 1363684.6381
	2+80.65	N 592981.4783 E 1363684.6381
THROUGH CENTER OF PARKING LOT BETWEEN BUILDINGS D & E	0+00 (= 8498.17)	N 593263.3194 E 1364020.0381
	2+58.84	N 592981.4783 E 1364020.0381

Note: Top of Stone Level Spreader shall be installed at the same Elevation for the entire 30' length.

GLW Gutschick Little & Weber, P.A.
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 BURTNSVILLE, MARYLAND 20886
 TEL: 301-421-4024 FAX: 410-880-1820 DC/VA: 301-988-2524 FAX: 301-421-4168

DATE	REVISION	BY	APPR.
2.2.00	Rel. handicap parking b/w bldgs. to parking bays on north side of bldgs.		
1.9.05	Rev. grading & esp. b/w EW-23 and M-10 plus add a stone level spreader		
1.9.07	Rev. unit nos. for Bldg. 10		
1.18.07	Rev. curbs to bldg. A, added 6\"/>		

PREPARED FOR:
 (Owner/Developer)
 EXT SEVEN LLC
 c/o Greenbaum & Rose Assoc., Inc.
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SITE DEVELOPMENT PLAN
THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' - RESIDENCES
 PLAT No. 15319-15323
 + 15 353-15357

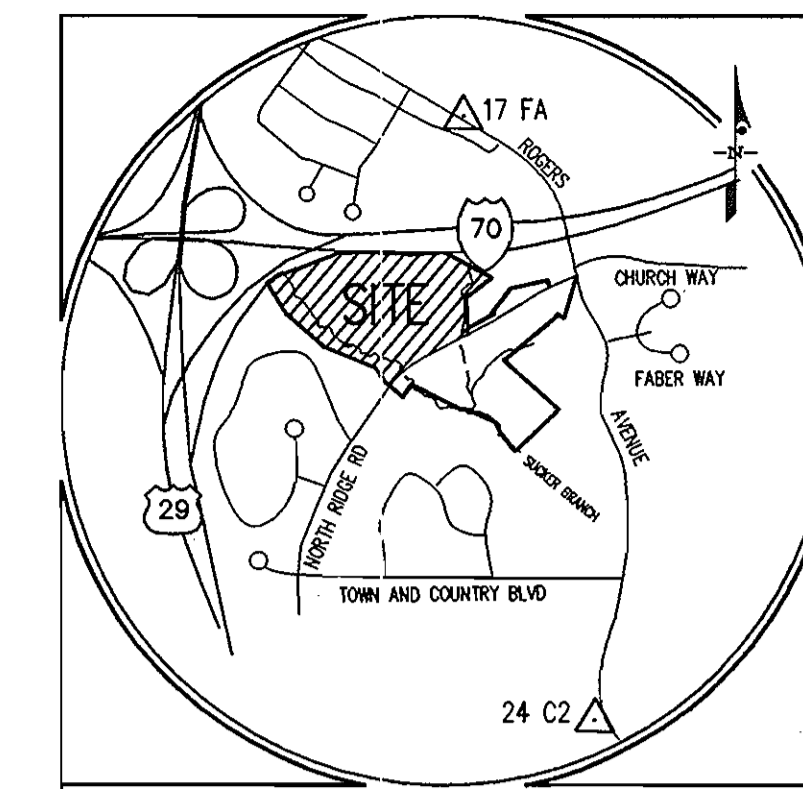
ELLICOTT CITY ELECTION DISTRICT No. 2

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	POR	00-050
DATE	TAX MAP - GRID	SHEET
18/MAR/02	17-17,18,24	5 of 43

SITE DEVELOPMENT PLAN

The ENCLAVE at ELLICOTT HILLS

PARCEL 'A' -- RESIDENCES



VICINITY MAP
SCALE: 1" = 2000'

GENERAL NOTES

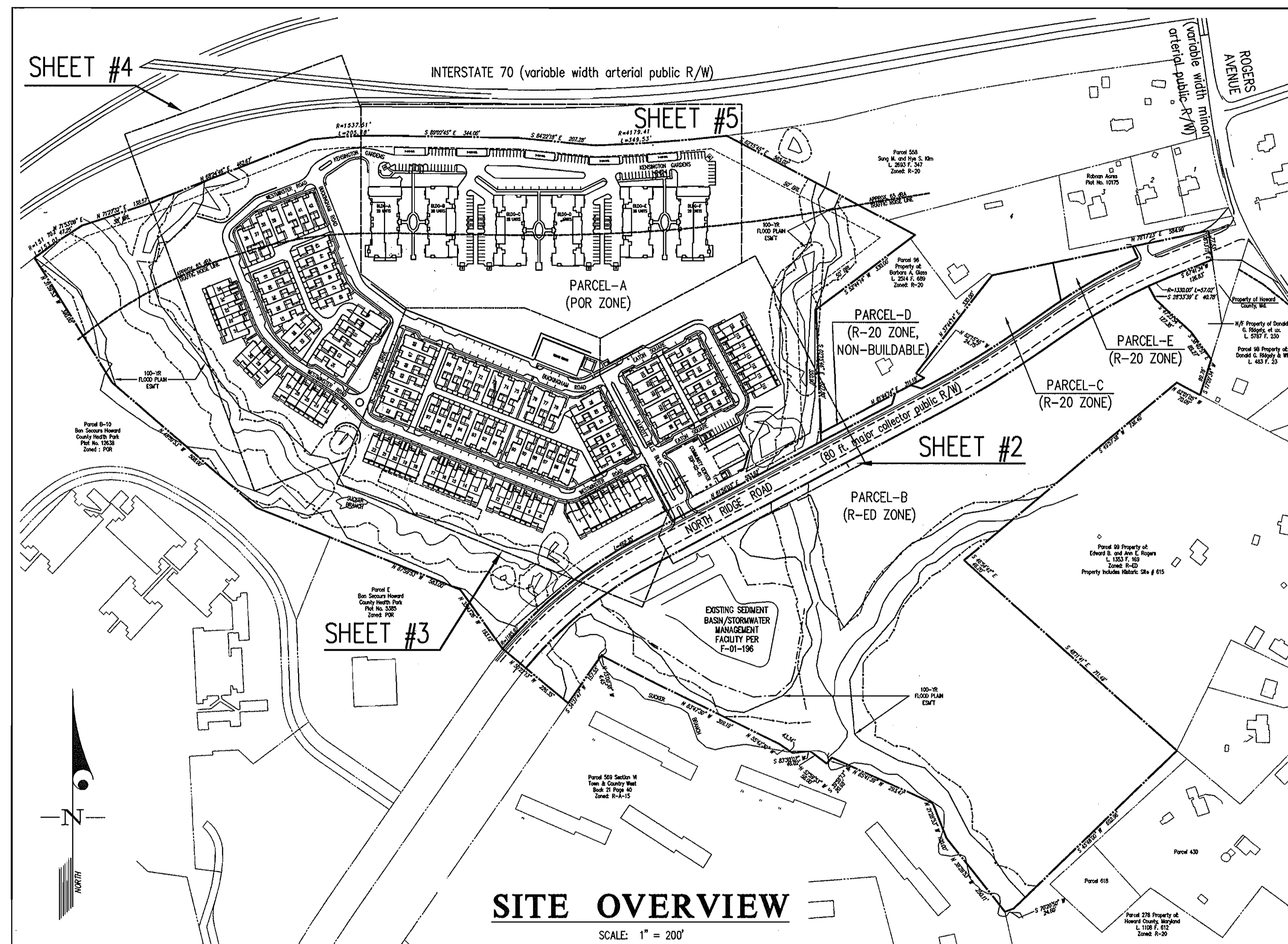
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PUBLIC WORKS STANDARDS AND SPECIFICATIONS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.
4. PROJECT BACKGROUND:
LOCATION: ON THE NORTHWEST SIDE RIDGE ROAD (BETWEEN STA. 28+00 AND 30+00)
TAX MAP: 17 (BLOCK 18)
ZONING: PARCEL-A IS ZONED POR
ELECTION DISTRICT: 2
GROSS AREA: PARCEL-A = 44.554 ACRES

FOR OTHER SUBMISSIONS RELATED TO THIS SITE, SEE HOWARD COUNTY FILE Nos.:
S-01-10 (SKETCH PLAN) AND ASSOCIATED PB-350 D&D SIGNED ON MAY 03, 2001. AMENDMENT FOR 2 ADDITIONAL HOUSING UNITS (FOR A TOTAL OF 286 UNITS) APPROVED ON 11/20/01.
WP-01-79 THAT WAS GRANTED ON MARCH 06, 2001 TO WAIVE SECTION 16.121 WHICH REQUIRES THE PROVISIONS OF OPEN SPACE AND RECREATIONAL OPEN SPACE IN THE R-ED & R-20 ZONING DISTRICTS (PARCELS 15 THRU 17) AND DEFERRING THESE OPEN SPACE OBLIGATIONS UNTIL THE R-ED AND R-20 PORTIONS ARE DESIGNED. THE FUTURE PROVISIONS OF OPEN SPACE ACREAGE MUST BE BASED ON THE GROSS ACREAGE OF THE R-ED AND R-20 ZONED LAND, INCLUDING THE ROAD R.O.W. AND SWM POND AND MUST BE SO NOTED IN PLAT TABULATIONS.
WP-01-122 THAT WAS GRANTED ON JUNE 01, 2001 TO WAIVE SECTION 16.144(F)(1) AND 16.146 REQUIRING SUBMISSION OF A PRELIMINARY PLAN FOR THE NORTH RIDGE ROAD EXTENSION AND THE SWM POND ON THE R-ED ZONED LAND IN ACCORDANCE WITH THE APPROVED SKETCH PLAN.
F-01-196 FOR THE CONSTRUCTION OF THE SWM FACILITY AND THE EXTENSION OF NORTH RIDGE ROAD TO ROGERS AVENUE.
P-02-03 FOR THE PRELIMINARY LAYOUT OF PARCEL-A AND THE PRELIMINARY FOREST CONSERVATION PLAN FOR THE ENTIRE SUBDIVISION ("THE ENCLAVE @ ELLICOTT HILLS, PARCEL 'A'").
SDP-02-61 FOR THE COMMUNITY CENTER PORTION ON PARCEL 'A'.

5. TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
6. EXCEPT FOR SIDEWALKS, ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. SIDEWALKS ARE DIMENSIONED TO THE BACK OF CURB. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIALY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
7. EXISTING TOPOGRAPHY AND FEATURES WERE SURVEYED BY GREENMAN-PEDERSON, INC. (VA AERIAL PHOTOGRAPHY) ON 4/06/2001 AND SUPPLEMENTED BY G.L.W. FIELD RUN (TOPO DONE ON 11/21/2000) AND F-01-196.
8. COORDINATES ARE BASED ON NAD '83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NUMBERS 17 FA AND 24 C2.
9. STORMWATER MANAGEMENT IS PROVIDED BY AN EXISTING RETENTION FACILITY (PER F-01-196) ON PARCEL-B AND THE DRYWELL ON PARCEL-A AS FOLLOWS:
- PARCEL-A'S SWM FACILITY: REV(REQ) = 0.227 ac-ft. REV(PROVIDED) = 0.237 ac-ft IS IN THE DRYWELL FACILITY BEHIND UNITS 13-21. THIS DRYWELL FACILITY PROVIDES FULL REV FOR THE DRAINAGE AREA TO THE OFFSITE POND (ON PARCEL-B) DESIGNED UNDER F-01-196.
- PARCEL-B'S (OFFSITE) SWM FACILITY PER F-01-196: Wq (required) = 1.789 ac-ft. Wq (provided) = 1.896 ac-ft
Oqv (required) = 2.405 ac-ft. Oqv (provided) = 2.502 ac-ft
PARCEL-A IS MANAGED BY THE (F-01-196) POND ON PARCEL-B.

10. PUBLIC WATER AND SEWER SHALL BE UTILIZED (AS PROVIDED BY W&S CONTRACT NOS. 14-1063-D, 117-S, 10-1129 AND 44-4008-D). HOWEVER, ALL SEWER AND STORMWATER LINES AND STRUCTURES PROPOSED WITHIN PARCEL-A ARE PRIVATELY (NOT PUBLICLY) MAINTAINED. WITHIN PARCEL-A, ONLY THE WATER LINE AND FIRE HYDRANTS WITHIN THE EASEMENT FOR CONTRACT NO. 44-4008-D IS PUBLICLY MAINTAINED. ALL WATER METERS SHALL BE LOCATED INSIDE THE BUILDINGS.
11. THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS. THE CONTRACTOR MUST DIG TEST PITS (BY HAND) AT ALL UTILITY CROSSINGS AND CONNECTION POINTS TO VERIFY EXACT LOCATION, IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS.
12. ALL ON-SITE DRIVEWAYS AND PARKING ARE PRIVATELY OWNED AND MAINTAINED.
13. ANY DAMAGE TO COUNTY & STATE OWNED RIGHT-OF-WAY TO BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
14. ALL PROPOSED RAMPS SHALL BE IN ACCORDANCE WITH CURRENT A.D.A. STANDARDS. MAXIMUM SIDEWALK CROSS (24) TWO PERCENT. PROVIDE A (5X5) FIVE FOOT BY FIVE FOOT LEVEL (2% MAX.) LANDING AREA SLOPE SHALL BE AT THE TOP AND BOTTOM OF ALL RAMPS AND BUILDING ENTRANCE/EXIT POINTS.
15. TRENCH BEDDING FOR STORM DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH HOWARD COUNTY STANDARD G2.01, UNLESS OTHERWISE NOTED.
16. GUTTER PAN OF CURBS SHALL BE PITCHED TO CONFORM TO THE ADJACENT DRAINAGE PATTERNS OF THE ADJOINING PAVING FOR VEHICULAR USE. SPOT ELEVATIONS ALONG THE CURB ARE TO THE FLOW LINE (BOTTOM OF CURB), UNLESS NOTED OTHERWISE. ALL CURB FILETS ARE 5' RADIUS UNLESS NOTED OTHERWISE.
17. THERE ARE NO KNOWN GRAVE SITES OR CEMETERIES ON THIS SITE.
18. OTHER TOPICS RELATED TO THE DEVELOPMENT OF THIS SITE:
- S-01-01 (BY PB-350 D&D SIGNED 5/03/01; AMENDMENT APPROVED ON 11/20/01).
- SDP-02-61 (COMMUNITY CENTER).
- TRAFFIC NOISE REPORT (LO1541A, DATED 9/20/01) BY STALANO ENGINEERING, INC. APPROVED WITH P-02-03.
- WETLAND DELINEATION BY EXPLORATION RESEARCH ON 11/13/2000 AND SUBMITTED WITH S-01-10.
- MDE PERMIT #01-WT-0280/2001-64588.
- AFPO (TRAFFIC) STUDY BY THE TRAFFIC GROUP AND SUBMITTED WITH S-01-10.
- GEOTECH REPORTS BY HILLIS-CARNES (APRIL 2, 2001) AND SUBMITTED WITH F-01-196.
- THE 100-YEAR FLOOD PLAIN STUDY AND EASEMENT PREPARED UNDER F-01-196.
- FOREST STAND DELINEATION PREPARED UNDER S-01-10 AND FOREST CONSERVATION PLANS FILED UNDER F-01-196, P-02-03, AND SDP-02-61. FOR RECORDED FOREST CONSERVATION EASEMENTS, SEE PLAT Nos. 15319-15323.
- AS A CONSEQUENCE OF ITS SUBMISSION FOR COUNTY REVIEW AFTER NOVEMBER 15, 2001, THIS SDP IS SUBJECT TO COMPLIANCE WITH THE FIFTH EDITION OF THE SUBDIVISION REGULATIONS. IN ADDITION, IT IS SUBJECT TO COMPLIANCE WITH COUNTY COUNCIL BILL 50-2001 WHICH AMENDS PORTIONS OF THE ZONING REGULATIONS.

19. ALL OUTSIDE LIGHTING SHALL COMPLY WITH ZONING REGULATION SECTION 13.4 WHICH REQUIRES LIGHTS TO BE INSTALLED TO DIRECT/REFLECT LIGHT DOWNWARDS AND INWARDS ON SITE AWAY FROM ALL ADJOINING PUBLIC STREETS AND RESIDENTIAL AREAS.
20. FOREST CONSERVATION EASEMENTS ARE RECORDED UNDER F-01-196 AS PLAT Nos. 15319-15323. TO FULFILL FOREST CONSERVATION OBLIGATION FOR THE ENTIRE "ENCLAVE AT ELLICOTT HILLS" SITE (76.68 ACRES, WHICH INCLUDES THE DEVELOPMENT OF PARCEL 'A' UNDER SDP-02-61 AND SDP-02-65) AS REQUIRED BY SECTION 16.120 OF THE HOWARD COUNTY CODE, FOREST CONSERVATION ACT, NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENTS. HOWEVER, THE INITIAL GRADING TO DEVELOP THE PARCELS 'A' PER THIS SDP AND FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED. ALL FOREST CONSERVATION FINANCIAL SURETY WAS POSTED AS PART OF THE DEVELOPER'S AGREEMENT FOR F-01-196. FOR ADDITIONAL INFORMATION SEE SHEETS 35 & 40.



SITE OVERVIEW
SCALE: 1" = 200'

ADDRESS CHART (TOWNHOUSE CONDOMINIUM UNITS)

UNIT No.	STREET ADDRESS	UNIT No.	STREET ADDRESS	UNIT No.	STREET ADDRESS	UNIT No.	STREET ADDRESS	UNIT No.	STREET ADDRESS
1	2701 WESTMINSTER ROAD	25	2757 WESTMINSTER ROAD	49	2813 UNION DRIVE/2835 BUCKINGHAM ROAD	73	2819 BUCKINGHAM ROAD	97	2742 WESTMINSTER ROAD
2	2703	26	2759	50	2811 UNION DRIVE	74	2817	98	3010 ELLICOTT HILLS BLVD./2901 EATON SQUARE
3	2705	27	2761	51	2809	75	2815	99	3012
4	2707	28	2765	52	2807	76	2811	100	3014
5	2709	29	2767	53	2805	77	2809	101	3018
6	2711	30	2769	54	2801 UNION DRIVE/2754 WESTMINSTER ROAD	78	2807 BUCKINGHAM ROAD	102	3020
7	2713	31	2773	55	2788 WESTMINSTER ROAD	79	3021 ELLICOTT HILLS BLVD./2801 BUCKINGHAM ROAD	103	3022 ELLICOTT HILLS BLVD./2925 EATON SQUARE
8	2717	32	2775	56	2786	80	3021	104	2919 EATON SQUARE
9	2719	33	2777	57	2772	81	3019	105	2917
10	2721	34	2779	58	2774	82	3015	106	2915
11	2723	35	2781	59	2776	83	3013	107	2911
12	2725	36	2784	60	2778	84	3011 ELLICOTT HILLS BLVD./2700 WESTMINSTER ROAD	108	2909
13	2729	37	2786	61	2780 WESTMINSTER ROAD	85	2714 WESTMINSTER ROAD	109	2907
14	2731	38	2788	62	2800 UNION DRIVE/2750 WESTMINSTER ROAD	86	2716	110	2905
15	2733	39	2790	63	2802 UNION DRIVE	87	2718	111	2908
16	2735	40	2794	64	2804	88	2720	112	2910
17	2737	41	2796	65	2808	89	2722	113	2912
18	2741	42	2798 WESTMINSTER ROAD	66	2810	90	2724	114	2914
19	2743	43	2849 BUCKINGHAM ROAD	67	2812	91	2728	115	2916
20	2745	44	2847	68	2814 UNION DRIVE/2833 BUCKINGHAM ROAD	92	2730	116	2918 EATON SQUARE
21	2747	45	2845	69	2829 BUCKINGHAM ROAD	93	2732		
22	2749	46	2843	70	2827	94	2736		
23	2753	47	2841	71	2825	95	2738		
24	2755 WESTMINSTER ROAD	48	2839 BUCKINGHAM ROAD	72	2823	96	2740 WESTMINSTER ROAD		

APARTMENT BUILDING ADDRESSES

BLDG. No.	STREET ADDRESS
A	2500 KENSINGTON GARDENS
B	2510
C	2520
D	2530
E	2540
F	2550

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Leah T. Smith 4/19/02
Director

Christy Harriott 4/19/02
Chief, Division of Land Development

[Signature] 4/19/02
Chief, Development Engineering Division

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- 2 SITE DEVELOPMENT PLAN
- 3 SITE DEVELOPMENT PLAN
- 4 SITE DEVELOPMENT PLAN
- 5 SITE DEVELOPMENT PLAN
- 6 SITE DETAILS
- 7 SITE DETAILS
- 8 PAVING DELINEATION PLAN
- 9 DRAINAGE AREA MAP
- 10 DRAINAGE AREA MAP
- 11 ROAD PROFILES
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- 13 STORM DRAIN PROFILES
- 14 STORM DRAIN PROFILES
- 15 STORM DRAIN PROFILES
- 16 STORM DRAIN PROFILES
- 17 UTILITY PROFILES & DETAILS
- 18 UTILITY PROFILES & DETAILS
- 19 SEWER PROFILES
- 20 COURTYARD, LANDSCAPE & ROOF DRAINS
- 21 INITIAL (BUILDING PAD) GRADING PLAN
- 22 INITIAL (BUILDING PAD) GRADING PLAN
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- 24 PHASE 1 SEDIMENT & EROSION CONTROL PLAN
- 25 PHASE 1 SEDIMENT & EROSION CONTROL PLAN
- 26 PHASE 2 SEDIMENT & EROSION CONTROL PLAN
- 27 PHASE 2 SEDIMENT & EROSION CONTROL PLAN
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- 30 PHASE 2 SEDIMENT & EROSION CONTROL PLAN
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- 41 RETAINING WALL CONSTRUCTION DETAILS
- 42 RETAINING WALL CONSTRUCTION DETAILS
- 43 RETAINING WALL CONSTRUCTION DETAILS

SITE DATA

1. GENERAL SITE DATA
 - A. PRESENT ZONING: POR (PARCEL 'A', THIS SUBMISSION)
 - B. PROPOSED USE OF SITE: ELDERLY HOUSING W/ A COMMUNITY CENTER
2. AREA TABULATION FOR PARCEL-A

GROSS ACRE	44.55 AC.
100-YR FLOOD PLAIN ESM* T	8.72
STEEP SLOPE 25% OR GREATER*	1.00
NET ACRE	34.83 AC.

* FOR NATURAL STEEP SLOPE OF 25% AND GREATER LOCATED OUTSIDE THE 100-YR FLOOD PLAIN EASEMENT.
3. AREA OF THIS SDP SUBMISSION (LIMIT OF GRADING DISTURBANCE): 26.51 AC.
4. PARCEL 'A' DEVELOPMENT DATA
 - A. PROPOSED NUMBER OF UNITS: 116 SFA + 164 APT = 180 UNITS
 - B. PARKING REQUIRED:

164 APT. UNITS @ 2 SPACES PER FIVE UNITS =	66 SPACES REQUIRED FOR CONDO APTS.
116 SFA CONDO UNITS @ 2 PER UNIT =	232 SPACES
6191 SF COMMUNITY CENTER @ 10 SPACES/1000 SF PLUS 1 SPACE/EMPLOYEE @ 2 EMPLOYEE =	64 SPACES
ONE TENNIS COURT @ 6 SPACES/COURT =	6 SPACES
	628 TOTAL SPACES REQUIRED
 - C. PARKING PROVIDED:

APT. CONDO AREA: 140 SURFACE + 105 GAR. SPACES =	254 SPACES
SFA CONDO UNITS: 201 GAR SPACES + 55 DRIVEWAY SPACES =	256 SPACES
COMMON SURFACE SPACES IN SFA CONDO AREA =	113 SPACES (INCL. 15 FROM SDP-02-61)
	623 TOTAL SPACES PROVIDED
 - D. OPEN SPACE IS NOT APPLICABLE.

SUBDIVISION NAME: THE ENCLAVE @ ELLICOTT HILLS PARCEL-A (RESIDENCES)	SECTION/AREA: N/A	PARCEL: A
PLATS: 15319-15323	ZONE: POR	TAX MAP: 17
WATER CODE: H02	BLOCK: 18	ELEC. DIST.: 2
	CENSUS TRACT: 6029	SEWER CODE: 1454500

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-959-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

PREPARED FOR:
(Owner/Developer)
DOT SEVEN LLC
c/o Greenbaum & Rose Assoc., Inc.
Suite 410, Woodlawn Center
1829 Reisterstown Road
Baltimore, MD 21208
Phone: 410-484-9400
Attn: Mark Bennett or Charles O'Donovan

COVER SHEET

THE ENCLAVE AT ELLICOTT HILLS
PARCEL 'A' -- RESIDENCES
PLAT Nos. 15319-15323
+ 15353-15357

SCALE: 1" = 200'

ZONING: POR

DATE: 18/MAR/02

TAX MAP - GRID: 17-17,18,24

SHEET: 1 of 43

HOWARD COUNTY, MARYLAND

ELLICOTT CITY ELECTION DISTRICT No. 2