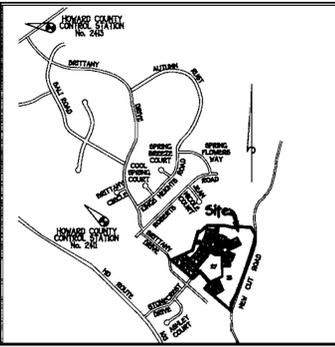


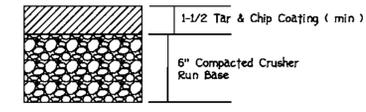
LOT No.	GROSS AREA	PIPESTEM AREA	REMAINING AREA	100 YEAR FLOODPLAIN	25% SLOPES	MINIMUM LOT SIZE
20	17,521 SQ.FT.	3,423 SQ.FT.	14,098 SQ.FT.	0 SQ.FT.	0 SQ.FT.	14,098 SQ.FT.
23	14,989 SQ.FT.	314 SQ.FT.	14,675 SQ.FT.	0 SQ.FT.	0 SQ.FT.	14,675 SQ.FT.
24	17,294 SQ.FT.	1,940 SQ.FT.	15,354 SQ.FT.	0 SQ.FT.	0 SQ.FT.	15,354 SQ.FT.
25	16,974 SQ.FT.	1,974 SQ.FT.	14,000 SQ.FT.	0 SQ.FT.	0 SQ.FT.	14,000 SQ.FT.
26	16,826 SQ.FT.	2,621 SQ.FT.	14,205 SQ.FT.	0 SQ.FT.	0 SQ.FT.	14,205 SQ.FT.
29	18,829 SQ.FT.	2,253 SQ.FT.	16,576 SQ.FT.	0 SQ.FT.	0 SQ.FT.	16,576 SQ.FT.
31	15,910 SQ.FT.	1,910 SQ.FT.	14,000 SQ.FT.	0 SQ.FT.	0 SQ.FT.	14,000 SQ.FT.

LOT NUMBER	STREET ADDRESS
17	4415 STONE CREST DRIVE
18	4601 POPLAR CREEK COURT
19	4605 POPLAR CREEK COURT
20	4609 POPLAR CREEK COURT
21	4613 POPLAR CREEK COURT
22	4616 POPLAR CREEK COURT
23	4612 POPLAR CREEK COURT
24	4608 POPLAR CREEK COURT
28	4447 STONECREST DRIVE
29	4449 STONECREST DRIVE
30	4451 STONECREST DRIVE
31	4453 STONECREST DRIVE



SHEET	DESCRIPTION
SHEET 1	TITLE SHEET, NOTES AND DETAILS AND SITE DEVELOPMENT PLAN
SHEET 2	SITE DEVELOPMENT PLAN AND HOUSE MODELS
SHEET 3	SEDIMENT AND EROSION CONTROL PLAN
SHEET 4	DETAIL SHEET

BENCH MARKS
 Elev. 499.919, HO. CO. MONUMENT No. 2411 N 577292.80 E 1366061.29
 Elev. 404.518, HO. CO. MONUMENT No. 2413 N 580643.01 E 1364960.99



Detail Use-in-Common Driveway
 NOT TO SCALE
 See General Note 23 For Additional Details

THE OWNER, TENANT, AND/OR THEIR AGENTS OF LOT 18 SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS.

Symbol	Description
(Dashed line)	Existing Contour 2' Interval
(+)	Spot Elevation
(-56'-56')	Super Silt Fence
(Dashed line with arrow)	Proposed Walkout
(Dashed line with arrow)	Existing Earth Dike
(Dashed line)	Existing Tree Line
(L.O.D.)	Limit of Disturbance
(Tree symbol)	Existing Street Tree Taken From F-00-54
(Star symbol)	Forest Construction ESMT Areas
(Sun symbol)	Street Light

QTY.	KEY	NAME	SIZE
2	(Tree symbol)	ACER SACCHARUM 'GREEN MOUNTAIN' GREEN MOUNTAIN/SUGAR MAPLE	2 - 2 1/2" CALIPER FULL CROWN, B&B
2	(Tree symbol)	PINUS STROBUS EASTERN WHITE PINE	6'-8" HGT.

PERIMETER CATEGORY	LANDSCAPE TYPE	LINEAR FEET OF ROADWAY FRONTAGE PERIMETER	NUMBER OF PLANTS REQUIRED
P-1 ADJACENT TO ROADWAY	B	88.97	4

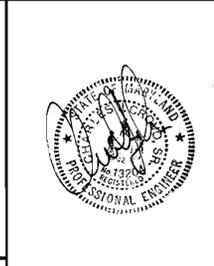
DEVELOPER'S / BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
 Signature of Developer: *John Lewis* Date: 11-20-01

- GENERAL NOTES:**
- SUBJECT PROPERTY IS ZONED R-20 PER 10-18-93 COMPREHENSIVE ZONING PLAN.
 - THE TOTAL AREA INCLUDED IN THIS SUBMISSION IS: 4.29 AC.
 - THE TOTAL NUMBER OF LOTS INCLUDED IN THIS SUBMISSION IS: 12.
 - THE TOTAL DISTURBED AREA IS: 3.57 AC.
 - SHC ELEVATIONS SHOWN ARE LOCATED AT THE PROPERTY LINE.
 - DEPARTMENT OF PLANNING AND ZONING REFERENCE FILE NUMBERS ARE: 5-97-16, 5P-98-15, F-00-54 AND WAS CONTRACT #14-3899-D.
 - UTILITIES SHOWN AS EXISTING ARE TAKEN FROM APPROVED WATER AND SEWER PLANS; CONTRACT #14-3899-D APPROVED ROAD CONSTRUCTION PLANS; F-00-54.
 - ANY DAMAGE TO COUNTY OWNED RIGHTS-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
 - ALL ROADWAYS ARE PUBLIC AND EXISTING.
 - THE EXISTING TOPOGRAPHY WAS TAKEN FROM ROAD CONSTRUCTION PLANS F-00-54, PREPARED BY FISHER COLLINS & CARTER, INC.
 - THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM - HOWARD COUNTY CONTROL STATIONS: 2411 AND 2413.
 - THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/DIVISION OF CONSTRUCTION INSPECTING AT 410-313-1080 AT LEAST TWENTY-FOUR (24) HOURS PRIOR TO THE START OF WORK.
 - THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
 - FOR DRIVEWAY ENTRANCE DETAILS, REFER TO HOWARD COUNTY DESIGN MANUAL VOLUME IV, DETAIL R.6.06.
 - IN ACCORDANCE WITH SECTION 128(A)(1) OF THE HOWARD COUNTY SUPPLEMENTARY ZONING DISTRICT REGULATIONS, BAY WINDOWS OR CHIMNEYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES AND DECKS MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR SETBACKS.
 - STORMWATER MANAGEMENT IS PROVIDED PER: F-00-45. CONTROL WILL BE PROVIDED BY EXTENDED DETENTION FACILITIES WHICH WILL BE PRIVATELY OWNED AND MAINTAINED BY HOME OWNER'S ASSOCIATION.
 - NO FLOODPLAINS EXIST ON SITE.
 - PERMETER LANDSCAPING AND STREET SIDE LANDSCAPING WILL BE PROVIDED AS SHOWN ON THE APPROVED ROAD DRAWINGS, F-00-54. LANDSCAPE SURETY HAS BEEN MADE A PART OF THE DEVELOPER'S AGREEMENT.
 - THE FOREST CONSERVATION OBLIGATIONS FOR THIS SITE WERE FULFILLED UNDER F-00-54 IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 16120 OF THE HOWARD COUNTY FOREST CONSERVATION ACT BY RETAINING 7.7 ACRES OF ON-SITE FOREST. FOREST MANAGEMENT PRACTICES DESCRIBED IN THE DEED OF FOREST CONSERVATION EASEMENTS ARE PERMITTED.
 - THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH PROVISIONS OF SECTION 16124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE TREES IN SCHEDULE "A" IN THE AMOUNT OF \$800.00 SHALL BE PART OF THE BUILDER'S GRADING PERMIT APPLICATION FOR LOT 18.
 - NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, EXCEPT AS SHOWN ON THE APPROVED ROAD CONSTRUCTION DRAWING F-00-54.
 - NO WETLANDS OR STREAMS EXIST ON THIS PLAN.
 - USE-IN-COMMON DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING (MINIMUM) REQUIREMENTS:
 A) WIDTH - 12 FEET (4 FEET SERVING MORE THAN ONE RESIDENCE);
 B) SURFACE - SIX (6) INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING. (1-1/2" MINIMUM);
 C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND 45-FOOT TURNING RADIUS;
 D) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (225-LOADING);
 E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER SURFACE;
 F) STRUCTURE CLEARANCES - MINIMUM 12 FEET;
 G) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE.
 - NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN WETLAND OR STREAM BUFFERS UNLESS APPROVED BY THE DEPARTMENT OF PLANNING AND ZONING OR HOWARD COUNTY, MARYLAND.
 - REMOVE THE EXISTING CONCRETE IMPONDMENT LOCATED ON OPEN SPACE LOT 16 PRIOR TO DEDICATION.
 - DUE TO THE ORIENTATION OF THE HOUSE ON LOT 18, ANY ADDITION OF A PORCH OR DECK CANNOT ENCROACH INTO THE 10' SIDE BRL.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL FREE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2299

REVISIONS

NO.	DESCRIPTION



ENGINEER'S CERTIFICATE
 "I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
 Signature of Engineer: *Charles J. Crovo* Date: 11/20/01
DEVELOPER'S CERTIFICATE
 "I/We certify that the landscaping shown on this plan will be according to the plan, section 16124 of the Howard County code and the Howard County Landscape Manual. construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
 Signature of Developer: *John Lewis* Date: 11-20-01

Reviewed for HOWARD SCD and meets Technical Requirements.
John Lewis 12/13/01 Date
John Lewis 12/13/01 Date
 Howard SCD
OWNER/DEVELOPER
 STONECREST MANOR, L.L.C.
 C/O LAND DESIGN & DEVELOPMENT, LLC
 8000 MAIN STREET
 ELLICOTT CITY, MARYLAND 21043
BUILDER
 RYAN HOMES, INC.
 11460 CRONRIDGE DRIVE, SUITE 128
 OWINGS MILLS, MARYLAND 21117

<i>John Lewis</i> 12/28/01 Date Chief, Division of Land Development	<i>John Lewis</i> 12/14/01 Date Chief, Development Engineering Division
<i>John Lewis</i> 12/14/01 Date Director, Department of Planning and Zoning	
PROJECT: STONE MANOR	SECTION: 1
PLAT: 15002 TO 15006	BLOCK NO.: 1
WATER CODE: G-01	TAX/ZONE: R-20 31
	ELEC. DIST.: SECOND
	CENSUS TR.: 6028.00
	LOTS NO.: 17 THRU 24 & 28 THRU 31

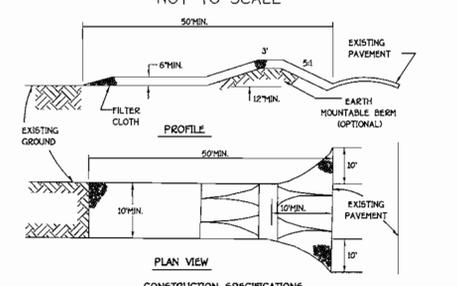
SITE DEVELOPMENT PLAN
STONE MANOR
SECTION ONE
LOTS 17-24 & 28-31
 TAX MAP No: 31 P/O PARCELS: 2 & 805 GRID 1
 SECOND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' DATE: NOV, 2001
 SHEET 1 OF 4

DEFINITION
Vegetative stabilization specifications are used to promote the establishment of vegetation on exposed soil...

- 1. A Minimum Of 48 Hours Notice Must Be Given To The Howard County Department Of Inspections, Licenses And Permits...
2. All Vegetative And Structural Practices Are To Be Installed According To The Provisions Of This Plan And Are To Be In Accordance With The Provisions Of This Plan...



STABILIZED CONSTRUCTION ENTRANCE - 2 NOT TO SCALE



- 1. STONE SIZE - USE 2" STONE, OR RECYCLED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET EXCEPT ON A SINGLE RESIDENCE LOT...

CONSTRUCTION SEQUENCE

Table with 2 columns: No. of Days, and 7 numbered steps for the construction sequence.

ENGINEER'S CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer: Charles J. Crovo
Signature of Developer: John Lewis

OWNER/DEVELOPER

STONECREST MANOR, LLC.
C/O LAND DESIGN & DEVELOPMENT, LLC
8000 MAIN STREET
ELLIOTT CITY, MARYLAND 21043

APPROVED: DEPARTMENT OF PLANNING AND ZONING

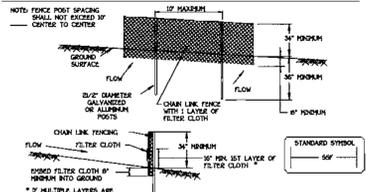
Signature of Planning and Zoning official: [Signature]
Date: 12/21/01

SEDIMENT AND EROSION CONTROL PLAN

STONE MANOR SECTION ONE
LOTS 17-24 & 28-31
TAX MAP NO: 31 P/O PARCELS: 2 & 805 GRID 1



SUPER SILT FENCE



- Construction Specifications
- Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Design for Chain Link Fencing. The specification for a 42" fence shall be used, substituting 42" frame and 9" length posts.
 - Chain link fence shall be installed securely to the fence posts with wire ties. The lower tension wire, brace and trim rods, drive anchors and steel wire tie required except on the ends of the fence.
 - Fence shall be installed in a trench 6" deep and 6" wide with the top of the fence 6" above the ground.
 - When two sections of fence chain abut each other, they shall be overlapped by 6" and nailed.
 - Hardware shall be performed to be used and all hardware removed when "tender" develop in the soil period, or when at possible 90% of fence height.
 - Fence shall be removed to each fence post with wire ties or chains at 100' and end sections shall meet the following requirements for Contractor Class 1:
 - Travel through: 50 Barbs (max)
 - Travel: 20 Barbs (max)
 - Flow Rate: 60 GPM (max)
 - Filtering Efficiency: 75% (max)

NOTE: CONTRACTOR TO REGRADE, SOD OR HYDROSEED AND STRAW MULCH ALL AREAS DISTURBED AS A RESULT OF THEIR WORK.

SPRAY WITH WILT-PROOF ACCORDING TO MANUFACTURERS STANDARDS

PRUNE 1/3 LEAF AREA BUT RETAIN NATURAL FORM OF TREE

2 PIECES OF REINFORCED RUBBER HOSE

DOUBLE #12 GALVANIZED WIRE GUYTS TWISTED

3-2"x2" OAK STAKES NOTCH STAKES TO HOLD WIRE

WRAP TRUNK TO SECOND TIER OF BRANCHES WITH WATERPROOF TREE WRAP. TIE AT 24" INTERVALS (EXCEPT EVERGREENS)

REMOVE ANY COVERING FROM TOP OF ROOT CROWN

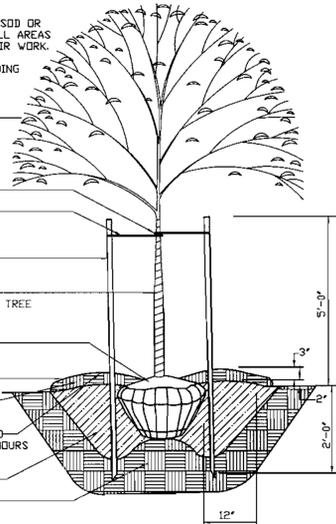
3" MULCH

MAINTAIN GROUND LINE WITH TOP OF ROOT CROWN

CONSTRUCT 3" SAUCER RIM-FLOOD WITH WATER TWICE WITHIN 24 HOURS

TOP SOIL MIXTURE

CONVEX BOTTOM 6" MIN. HT.



TREE PLANTING DETAIL
NOT TO SCALE

PLANTING SPECIFICATIONS

Plants, related material, and operations shall meet the detailed description as given on the plans and as described herein.

All plant material, unless otherwise specified, shall be nursery grown, uniformly branched, have a vigorous root system, and shall conform to the species, size, root and shape shown on the plant list and the American Association of Nurserymen (AAN) Standards. Plant material shall be healthy, vigorous, free from defects, decay, disfiguring roots, sun scald injuries, abrasions of the bark, plant disease, insect pest eggs, borers and all forms of insect infestations or objectionable disfigurements. Plant material that is weak or which has been cut back from larger grades to meet specified requirements will be rejected. Trees with forked leaders will not be accepted. All plants shall be freshly dug; no heated-in plants from cold storage will be accepted.

Unless otherwise specified, all general conditions, planting operations, details and planting specification shall conform to "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas" (hereinafter "Landscape Guidelines") approved by the Landscape Contractors Association of Metropolitan Washington and the Potomac Chapter of the American Society of Landscape Architect, latest edition, including all agenda.

Contractor shall be required to guarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section of the Landscape Guidelines. Contractor's attention is directed to the maintenance requirements found within the one year specifications including watering and replacement of specified plant material.

Contractor shall be responsible for notifying utility companies, utility contractors and "Miss Utility" a minimum of 48 hours prior to beginning any work. Contractor may make minor adjustments in spacing and location of plant material to avoid conflicts with utilities. Damage to existing structure and utilities shall be repaired at the expense of the Contractor.

Protection of existing vegetation to remain shall be accomplished by the temporary installation of 4 foot high snow fence or blaze orange safety fence at the drip line.

Contractor is responsible for installing all material in the proper planting season for each plant type. All planting is to be completed within the growing season of completion of site construction.

Plant quantities are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on plan and those shown on the plant list, the quantities on the plan take precedence.

All shrubs shall be planted in continuous trenches or prepared planting beds and mulched with composted hardwood mulch as details and specified except where noted on plans.

Positive drainage shall be maintained in planting beds 2 percent slope).

Planting mix shall be as follows: Deciduous Plants - Two parts topsoil, one part well-rotted cow or horse manure. Add 3 lbs. of standard fertilizer per cubic yard of planting mix. Evergreen Plants - two parts topsoil, one part humus or other approved organic material. Add 3 lbs. of evergreen (acidic) fertilizer per cubic yard of planting mix. Topsoil shall conform to the Landscape Guidelines.

Weed Control: Incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. Caution: Be sure to carefully check the chemical used to assure its adaptability to the specific ground cover to be treated.

All areas within contract limits disturbed during or prior to construction not designated to receive plants and mulch shall be fine graded and seeded. This plan is intended for landscape use only. see other plan sheets for more information on grading, sediment control, layout, etc.

PERMANENT SEEDING NOTES

ALL DISTURBED AREAS SHALL BE STABILIZED AS FOLLOWS:

SEEDING PREPARATION:
LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING.

SOIL AMENDMENTS:
APPLY TWO TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1,000 SQ.FT.) AND 600 LBS. PER ACRE 0-20-20 FERTILIZER (14 LBS./1,000 SQ.FT.) BEFORE SEEDING HARROW OR DISC INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 40 LBS. PER ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS./1,000 SQ.FT.) AND 500 LBS. PER ACRE (11.5 LBS./1,000 SQ.FT.) OF 10-20-20 FERTILIZER.

SEEDING:
FOR THE PERIODS MARCH 1 THROUGH APRIL 30, AND AUGUST 1 THROUGH OCTOBER 15, SEED WITH 100 LBS. PER ACRE (2.5 LBS./1,000 SQ.FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THROUGH JULY 31, SEED WITH 60 LBS./ACRE (1.4 LBS./1,000 SQ.FT.) KENTUCKY 31 TALL FESCUE AND 2 LBS. PER ACRE (0.05 LBS./1,000 SQ.FT.) OF WEeping LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THROUGH FEBRUARY 29, PROTECT SITE BY OPTION (2) - USE 500 LBS. PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING; OPTION (3) - USE 500 LBS. PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING; OR USE 348 GALLONS PER ACRE (9 GAL./1,000 SQ.FT.) OF ANCHORING.

MULCHING:
APPLY 1 TO 2 TONS PER ACRE (10 TO 20 LBS./1,000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING 200 GALLONS PER ACRE (5 GAL./1,000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS ON SLOPES 6 FEET OR HIGHER, USE 348 GALLONS PER ACRE (9 GAL./1,000 SQ.FT.) FOR ANCHORING.

MAINTENANCE:
RESPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

* FOR PUBLIC PONDS SUBSTITUTE CHEMUNG CROWFOOT AT 15 LBS./ACRE AND KENTUCKY 31 TALL FESCUE AT 40 LBS./ACRE. THE SEEDING REQUIREMENT, OPTIMUM SEEDING DATE FOR THIS MIXTURE IS MARCH 1 TO APRIL 30.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDING PREPARATION:
LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS:
APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1,000 SQ.FT.)

SEEDING:
FOR THE PERIODS MARCH 1 THROUGH APRIL 30, AND AUGUST 15 THROUGH NOVEMBER 15, SEED WITH 17 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS./ACRE OF WEeping LOVEGRASS (07 LBS./1,000 SQ.FT.) FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 29, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE 500.

MULCHING:
APPLY 1 TO 2 TONS PER ACRE (10 TO 20 LBS./1,000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHORING TONS, OR 250 GALLONS PER ACRE (6.25 GAL./1,000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS ON SLOPES 6 FEET OR HIGHER, USE 348 GALLONS PER ACRE (9 GAL./1,000 SQ.FT.) FOR ANCHORING.

REFER TO THE 1998 MARYLAND STANDARDS AND SPECIFICATION FOR SOIL, EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

STANDARD INLET PROTECTION



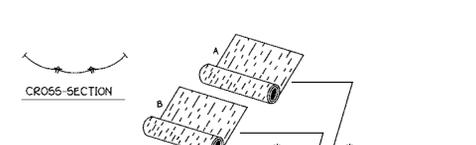
STANDARD INLET PROTECTION

Construction Specifications

- Excavate completely around the inlet to a depth of 18" below the notch elevation.
- Drive the 2" x 4" construction grade lumber posts 1" into the ground at each corner of the inlet. Place nail strips between the posts on the ends of the inlet. Assemble the top portion of the 2" x 4" frame using the overlap joint shown on Detail 23A. The top of the frame (weir) must be 6" below adjacent roadways where flooding and safety issues may arise.
- Stretch the 1/2" x 1/2" wire mesh tightly around the frame and fasten secure. The ends must meet and overlap at a post.
- Stretch the geotextile Class E tightly over the wire mesh with the geotextile extending from the top of the frame to 18" below the inlet notch elevation. Fasten the geotextile firmly to the frame. The ends of the geotextile must meet at a post, be overlapped and folded, then fastened down.
- Backfill around the inlet in compacted 6" layers until the layer of earth is level with the notch elevation on the ends and top elevation on the sides.
- If the inlet is not in a sump, construct a compacted earth dike across the ditch line directly below it. The top of the earth dike should be at least 6" higher than the top of the frame.
- The structure must be inspected periodically and after each rain and the geotextile replaced when it becomes clogged.

Note: If flow will enter from the edge of the matting then the area affected by the flow must be keyed-in.

EROSION CONTROL MATTING

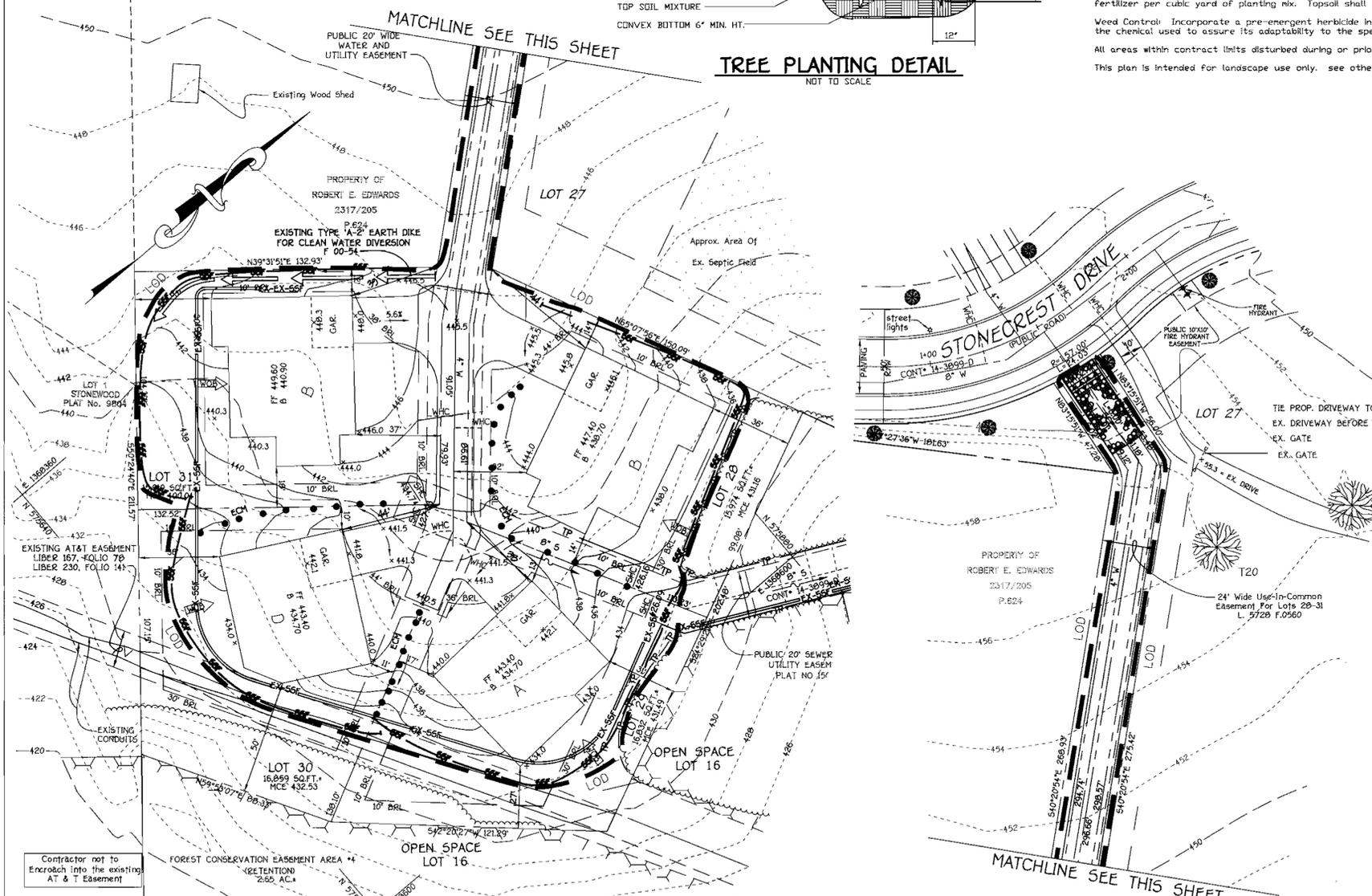


EROSION CONTROL MATTING

Construction Specifications

- Key-in the matting by placing the top ends of the matting in a narrow trench, 6" in depth. Backfill the trench and tamping firmly to conform to the channel cross-section. Secure with a row of staples about 4" down slope from the trench. Spacing between staples is 6".
- Staple the 4" overlap in the channel center using an 18" spacing between staples.
- Before stapling the outer edges of the matting, make sure the matting is smooth and in firm contact with the soil.
- Staples shall be placed 2" apart with 4 rows for each strip, 2 outer rows, and 2 alternating rows down the center.
- Where one roll of matting ends and another begins, the end of the top strip shall overlap the upper end of the lower strip by 4", shingle fashion. Reinforce the overlap with a double row of staples spaced 6" apart in a staggered pattern on either side.
- The discharge end of the matting liner should be similarly secured with 2 double rows of staples.

Note: If flow will enter from the edge of the matting then the area affected by the flow must be keyed-in.



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL Pkz
ELLCOTT CITY, MARYLAND 21042
410.461.2299

ENGINEER'S CERTIFICATE
"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
Signature of Engineer: Charles J. Crovo
Date: 11/20/01

DEVELOPER'S CERTIFICATE
"I/we certify that all development and construction will be done according to this plan for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
Signature of Developer: John Lewis
Date: 11/20/01

Reviewed for HOWARD SCD and meets Technical Requirements.
Signature: Jim Meyer
Date: 12/13/01

Signature: John R. Blunt
Date: 12/13/01

OWNER/DEVELOPER
STONECREST MANOR, L.L.C.
C/O LAND DESIGN & DEVELOPMENT, L.L.C.
8000 MAIN STREET
ELLCOTT CITY, MARYLAND 21043

BUILDER
RYAN HOMES, INC.
11460 CROWBRIDGE DRIVE, SUITE 129
OWINGS MILLS, MARYLAND 21117

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Signature: [Signature]
Date: 12/21/01

Signature: [Signature]
Date: 12/14/01

Signature: [Signature]
Date: 12/21/01

PROJECT	SECTION	LOTS NO.
STONE MANOR	1	17 THRU 24 & 28 THRU 31
PLAT	BLOCK NO.	ZONE
15002 TO 15006	1	R-20
WATER CODE	TAX/ZONE	ELEC. DIST.
G-01	31	SECOND
	SEWER CODE	CENSUS TR.
	1253100	6020.00

SEDIMENT AND EROSION CONTROL PLAN

STONE MANOR SECTION ONE
LOTS 17-24 & 28-31

TAX MAP No: 31 P/O PARCELS: 2 & 805 GRID 1
SECOND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: 1" = 30' DATE: NOV, 2001
SHEET 4 OF 4