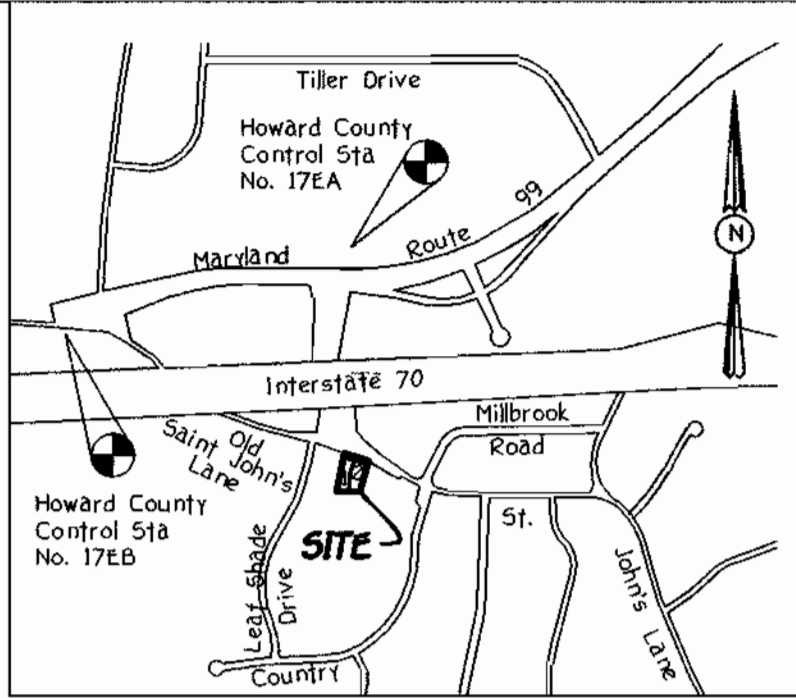


LANDSCAPE DEVELOPER'S CERTIFICATE
 I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a certification of landscape installation accompanied by an executed one year guarantee of plant materials will be submitted to the Department of Planning and Zoning.
Christopher L. Brown 3/12/02
 Christopher L. Brown Date

This plan has been prepared in accordance with the provision of Section 16.124 of the Howard County Code and Landscape Manual. Financial surety for the required landscaping will be posted as part of the grading permit.

GENERAL NOTES:

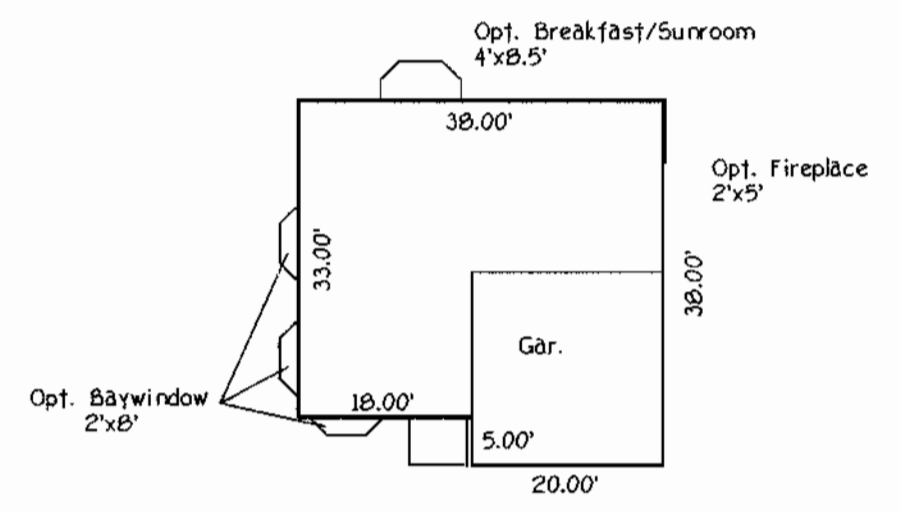
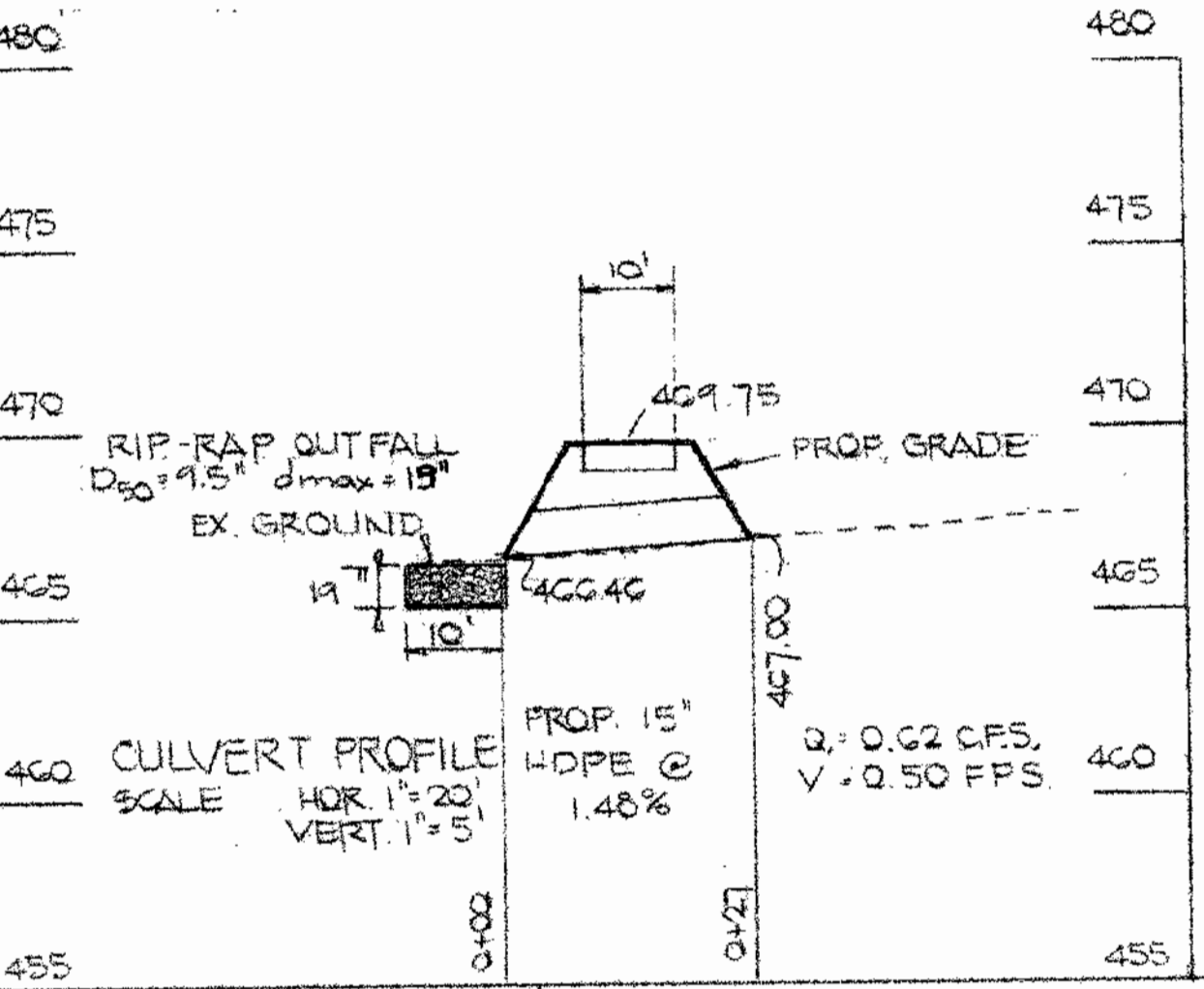
- Subject property zoned R-20 per 10/18/93 Comprehensive Zoning Plan.
- Total number of lots: 1
- The contractor or developer shall contact the Construction Inspection Division at (410) 313-1800 at least 24 hours in advance of commencement of the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- This project is subject to Howard County Files F-02-01
- Boundary survey was performed by Fisher, Collins and Carter Inc. on or about March, 2001.
- Horizontal and vertical control datum is based in Howard County Geodetic Control Stations: Monument 17EA N594354.00
 E1357505.50
 Monument 17EB N594350.3922
 E134092.710
- Any damage to the county's right-of-way shall be corrected at the developer's expense.
- This plan is for house siting and lot grading only. Improvements shown within the right-of-way of this site development plan are not to be used for construction.
- Contractor will check sewer house connection elevation at right-of-way line prior to construction.
- Storm water management is not required, the limits of disturbance is less than 5000 s.f.
- Site Analysis Data:
 A. Total project area: 0.32 ac.
 B. Area of plan submission: 0.32 ac.
 C. Limit of disturbance: 0.11 ac.
 D. Proposed use for site and structures: Single Family Detached Dwelling
 E. Open space requirements: A fee in lieu of open space was paid in the amount of \$1500.00 for this lot was paid at the time of recordation of F-02-01.
- This project is exempt from the requirements per Section 16.1200 of the Howard County Code and the Forest Conservation Manual in accordance with Section 16.1202(b)(1)(D) the subdivision is less than 40,000 s.f. and this is a minor subdivision with no further subdivision potential.
- Contractor to use Howard County Standard Detail R6.01 Residential Driveway Entrance.
- In accordance with Section 12B of the Howard County Zoning Regulations, bay windows, chimneys or exterior stairways not more than sixteen feet in width may project not more than four feet into any setbacks, porches or decks, open or enclosed may project not more than ten feet onto the front or rear setback.
- At the time of plant installation, all trees as listed and approved herewith, shall be of the proper height requirements in accordance with the Howard County Landscape Manual. In addition, no substitutions or relocation of the required plantings may be made without prior review and approval from the Department of Planning and Zoning. Any deviation from this approved Landscape Plan may result in denial or delay in the release of landscape surety until such time as all required materials are planted and/or revisions are made to the applicable plans and certifications.
- The owner/builders shall be advised that, in all districts except for the New Town, fireplace chimneys, bay windows, window wells, vestibules, balconies and HVAC units not more than 16 feet in width may project not more than 4 feet into any required yard in accordance with Section 12B of the Zoning Regulations.
- Recorded as Plat No. 18221 on 2-11-02 among the land records of Howard County, Maryland.



Vicinity Map

SCHEDULE A - PERIMETER LANDSCAPE EDGE

PERIMETER CATEGORY	P-1 ADJACENT TO ROADWAY	P-2 ADJACENT TO PERIMETER PROPERTY	P-3 ADJACENT TO PERIMETER PROPERTY
LANDSCAPE TYPE	A	A	A
LINEAR FEET OF PERIMETER	71.53 LF	221.73 LF	75.41 LF
CREDIT FOR EXISTING VEGETATION (NO, YES, %)	NO	YES (14' HULLBERRY #18 LOCUST)	NO
CREDIT FOR WALL, FENCE OR BERTH (NO, YES AND %)	NO	NO	NO
NUMBER OF TREES REQ'D SHADE TREES	N/A	4 (2 CREDITED)	1
NUMBER OF TREES PROVIDED SHADE TREES	—	2	1
NUMBER OF TREES REQ'D EVERGREEN TREES	—	—	—
NUMBER OF TREES PROVIDED EVERGREEN TREES	—	—	—



LANDSCAPING NOTES

- Financial surety for the required landscaping must be posted as part of the Grading Permit in the amount of \$4,000.00.
- The Owner, Tenant and/or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.
- Should any tree designated for preservation, for which landscaping credit is given, die prior to release of bonds, the owner will be required to replace the tree with the equivalent species or with a tree which will obtain the same height, spread and growth characteristics. The replacement tree must be a minimum of 3 inches in caliper and installed as required in the Landscape Manual.
- Landscaping is not required on Perimeter 3 because this perimeter abuts lots within the same subdivision per Section 16.124 of the Howard County Code.
- The area below the dripline of an existing tree to be saved should remain undisturbed. Tree protection should be provided for the area below the dripline of existing trees on adjacent properties or along the property line with Celestinus A. Green, Parcel 206 and should be undisturbed.

PLANT LIST

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
3		ACER RUBRUM OCTOBER GLORY	OCTOBER GLORY RED MAPLE	2 1/2"-3"

ADDRESS TABLE

LOT NUMBER	STREET ADDRESS
1	2704 OLD ST. JOHN'S LANE

INDEX OF SHEETS

SHEET NO.	DESCRIPTION
1 OF 2	SITE DEVELOPMENT PLAN AND SEDIMENT AND EROSION CONTROL PLAN
2 OF 2	NOTES AND DETAILS

LEGEND

SYMBOL	DESCRIPTION
	EXISTING FENCE
	EXISTING CONTOUR 2' INTERVAL
	EXISTING CONTOUR 10' INTERVAL
	PROPOSED CONTOUR 2' INTERVAL
	PROPOSED CONTOUR 10' INTERVAL
	SPOT ELEVATION
	SILT FENCE
	SUPER SILT FENCE
	FIRST FLOOR ELEVATION
	BASEMENT ELEVATION
	PROPOSED WALKOUT
	SILT FENCE
	TREE PROTECTION
	EXISTING TREE LINE
	LIMIT OF DISTURBANCE
	EXISTING TREE TO BE SAVED

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTURIAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL FREE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2899

No.	DESCRIPTION	DATE
1	Rev. 9th. to show As-Built Conditions	8-23-02



ENGINEER'S CERTIFICATE
 I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Earl D. Collins 3-12-02
 Earle D. Collins Date

DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
Christopher L. Brown 3/12/02
 Signature of Developer CHRISTOPHER L. BROWN Date

Reviewed for HOWARD COUNTY and meets Technical Requirements.
Jan M. Geyer 3/23/02
 U.S. Fish & Wildlife Service Date

This development plan is approved for sediment and erosion control by the HOWARD COUNTY SOIL CONSERVATION DISTRICT.
John R. Whitcomb 3/23/02
 Howard SCD Date

DEVELOPER/OWNER
 Christopher L. Brown
 c/o Harmony Builders
 4226 Columbia Road
 Ellicott City, Maryland 21042
 410-461-0833

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

David R. Hester 4/5/02
 Director, Department of Planning and Zoning Date

Chris Hester 4/5/02
 Chief, Department of Land Development Date

David R. Hester 3/28/02
 Chief, Development Engineering Division & Date

SUBDIVISION	SECTION/AREA	LOT NO.
ST. JOHN'S DELIGHT		1

PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
19241	16	R-20	17	SECOND	6030

WATER CODE	SEWER CODE
1-104	5757500

SITE DEVELOPMENT PLAN NOTES AND DETAILS

ST. JOHN'S DELIGHT
 LOT 1

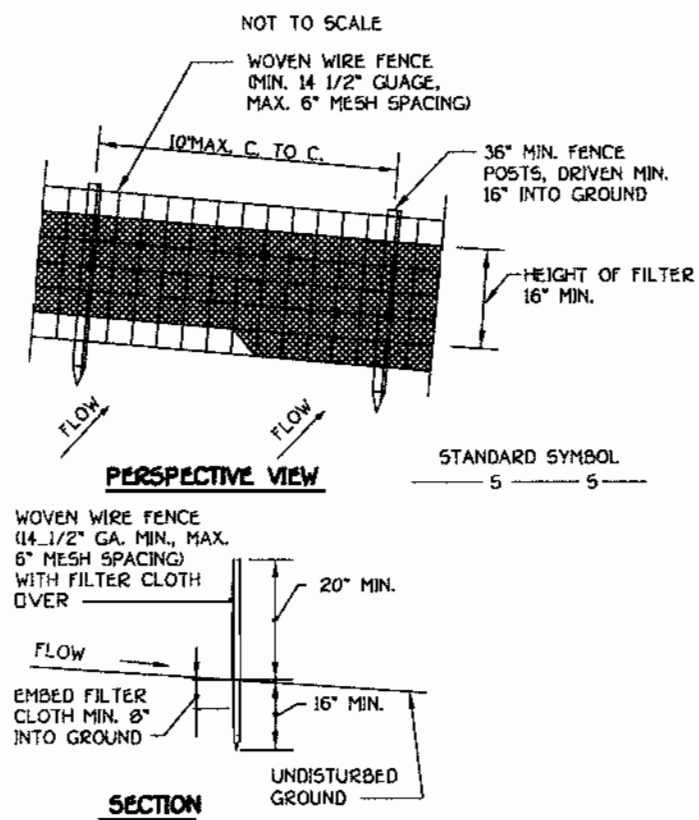
TAX MAP No: 17 GRID 16 PARCEL No: 69

SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND

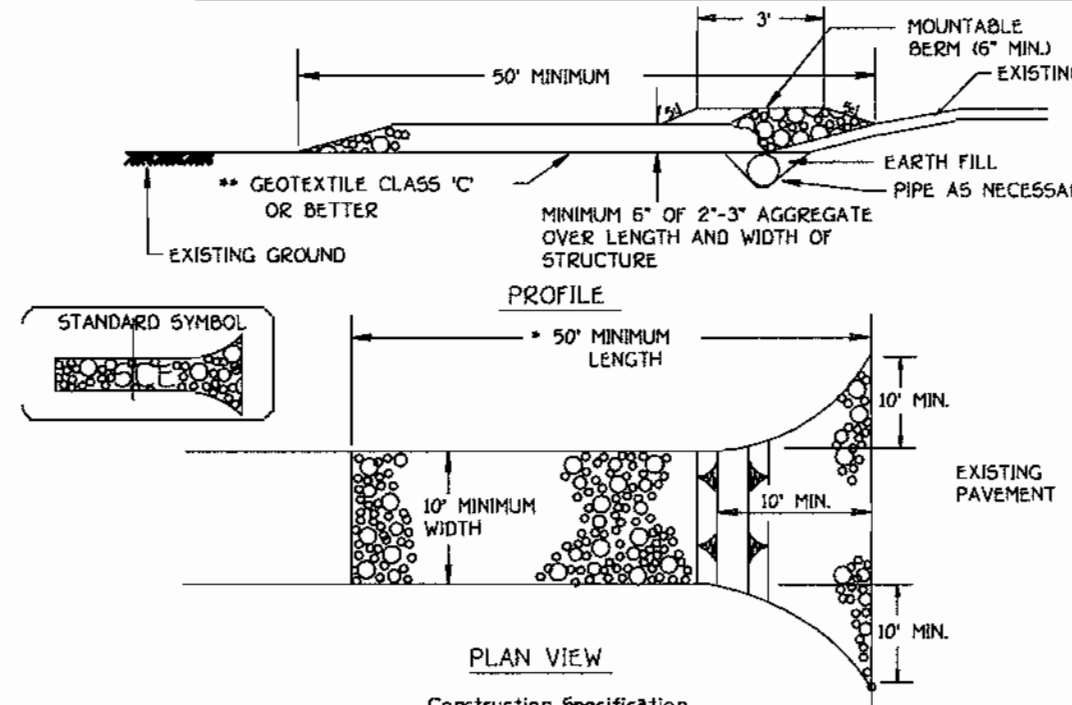
SCALE: AS SHOWN DATE: AUGUST, 2001

SHEET 1 OF 2

SILT FENCE



STABILIZED CONSTRUCTION ENTRANCE



SEDIMENT CONTROL NOTES

- 1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (03-1999).

STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

Vegetative stabilization specifications are used to promote the establishment of vegetation on exposed soil. When soil is stabilized with vegetation, the soil is less likely to erode and more likely to allow infiltration of rainfall, thereby reducing sediment loads and runoff to downstream areas and improving wildlife habitat and water resources.

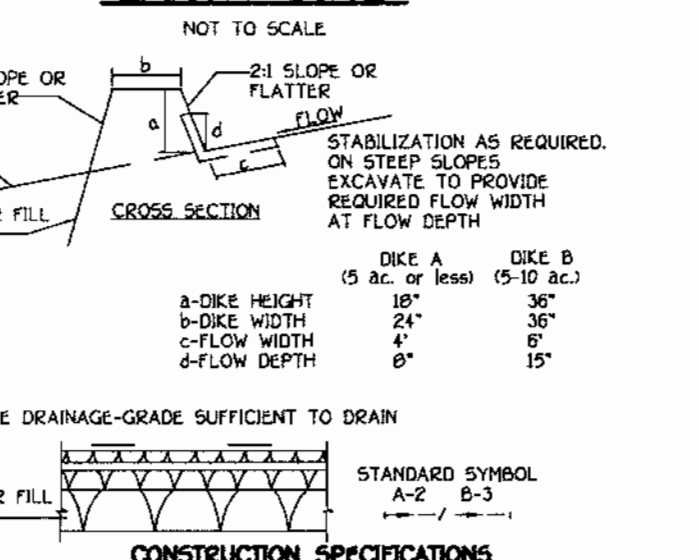
CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- 1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO END POSTS WITH WIRE TIES OR STAPLES.

CONSTRUCTION SPECIFICATIONS

- 1. Length - minimum of 50' (+30' for single residence lot).

EARTH DIKE



TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE RESTORED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

CONSTRUCTION SPECIFICATIONS

- 1. ALL DIKES SHALL BE COMPACTED BY EARTH-MOVING EQUIPMENT.

SEQUENCE OF CONSTRUCTION

- 1. OBTAIN GRADING PERMIT.

FLOW CHANNEL STABILIZATION

Table with columns: TYPE OF MATERIAL, CHANNEL GRADE, DISE A, DISE B. Rows 1-3 detailing silt fence and dike specifications.

PERMANENT SEEDING NOTES

ALL DISTURBED AREAS SHALL BE STABILIZED AS FOLLOWS: SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING.

PLANTING SPECIFICATIONS

Plants, related material, and operations shall meet the detailed description as given on the plans and as described herein.

All plant material, unless otherwise specified, shall be nursery grown, uniformly branched, have a vigorous root system, and shall conform to the species, size, root and shape shown on the plant list and the American Association of Nurserymen (AAN) Standards.

Unless otherwise specified, all general conditions, planting operations, details and planting specifications shall conform to "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas", hereinafter "Landscape Guidelines" approved by the Landscape Contractors Association of Metropolitan Washington and the Potomac Chapter of the American Society of Landscape Architect, latest edition, including all appendices.

Contractor shall be required to guarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section of the Landscape Guidelines. Contractor's attention is directed to the maintenance requirements found within the one year specifications including watering and replacement of specified plant material.

Contractor shall be responsible for notifying utility companies, utility contractors and "Miss Utility" a minimum of 48 hours prior to beginning any work. Contractor may make minor adjustments in spacing and location of plant material to avoid conflicts with utilities. Damage to existing structure and utilities shall be repaired at the expense of the Contractor.

Protection of existing vegetation to remain shall be accomplished by the temporary installation of 4 foot high snow fence or blaze orange safety fence at the drip line.

Contractor is responsible for installing all material in the proper planting season for each plant type. All planting is to be completed within the growing season of completion of site construction.

Bid shall be based on actual site conditions. No extra payment shall be made for work arising from site conditions differing from those indicated on drawings and specifications.

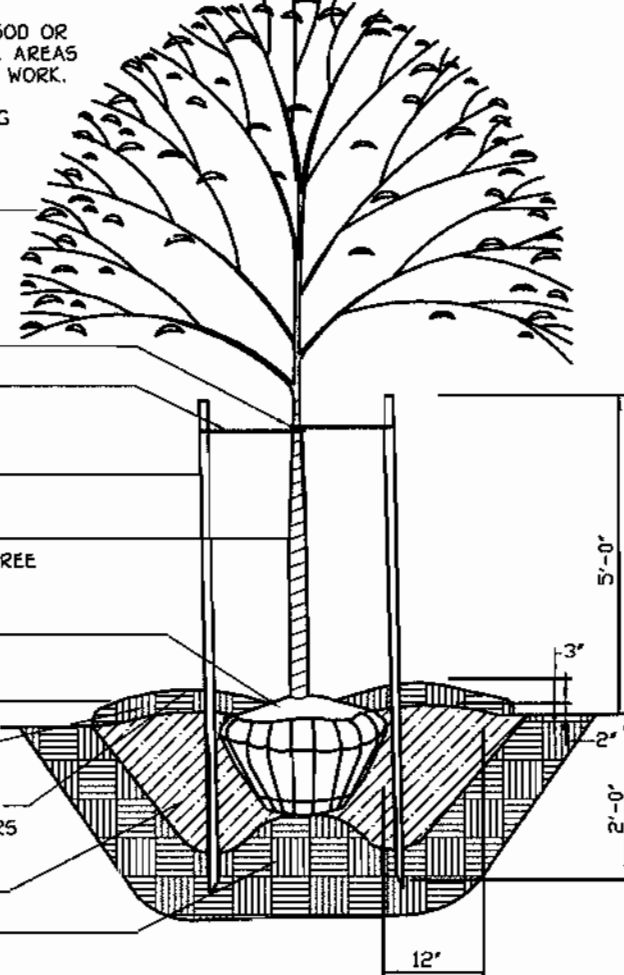
Plant quantities are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on plan and those shown on the plant list, the quantities on the plan take precedence.

All shrubs shall be planted in continuous trenches or prepared planting beds and mulched with composted hardwood mulch as details and specified except where noted on plans.

Planting mix shall be as follows: Deciduous Plants - Two parts topsoil, one part well-rotted cow or horse manure. Add 3 lbs. of standard fertilizer per cubic yard of planting mix. Evergreen Plants - two parts topsoil, one part manure or other approved organic material. Add 3 lbs. of evergreen (acidic) fertilizer per cubic yard of planting mix. Topsoil shall conform to the Landscape Guidelines.

Weed Control: Incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. Caution: Be sure to carefully check the chemical used to assure its adaptability to the specific ground cover to be treated.

All areas within contract limits disturbed during or prior to construction not designated to receive plants and mulch shall be fine graded and seeded. This plan is intended for landscape use only. see other plan sheets for more information on grading, sediment control, layout, etc.



TREE PLANTING DETAIL

FISHER, COLLINS & CARTER, INC. CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS. Includes company logo and address: 10772 BALTIMORE NATIONAL PIKE, ELKTON CITY, MARYLAND 21922.

REVISION table with columns: DATE, DESCRIPTION. Includes a circular seal for the State of Maryland Professional Engineer.

ENGINEER'S CERTIFICATE: I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District. Includes signature of Paul D. Collins and date 3-12-02.

DEVELOPER'S CERTIFICATE: I/We certify that all development and construction will be done according to this plan and that any responsible personnel involved in the construction project will have a Certificate of Attendance of Department of Planning and Zoning Program for the Control of Sediment and Erosion before beginning the project. Includes signature of Christopher L. Brown and date 3/12/02.

APPROVED: Howard County Department of Planning and Zoning. Includes signatures of Cynthia Bernards and Robert J. ... and date 4/5/02.

SITE DEVELOPMENT PLAN NOTES AND DETAILS. ST. JOHN'S DELIGHT LOT 1. Includes tax map 17, grid 16, parcel no. 69, second election district, Howard Co. MD, scale as shown, date August, 2001, sheet 2 of 2.