

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 8/1/02

CHIEF, DIVISION OF LAND DEVELOPMENT DATE 8/13/02

DIRECTOR DATE 8/15/02

SITE DEVELOPMENT PLAN
SITE DETAILS
VILLAGE CREST
PARCEL A-1

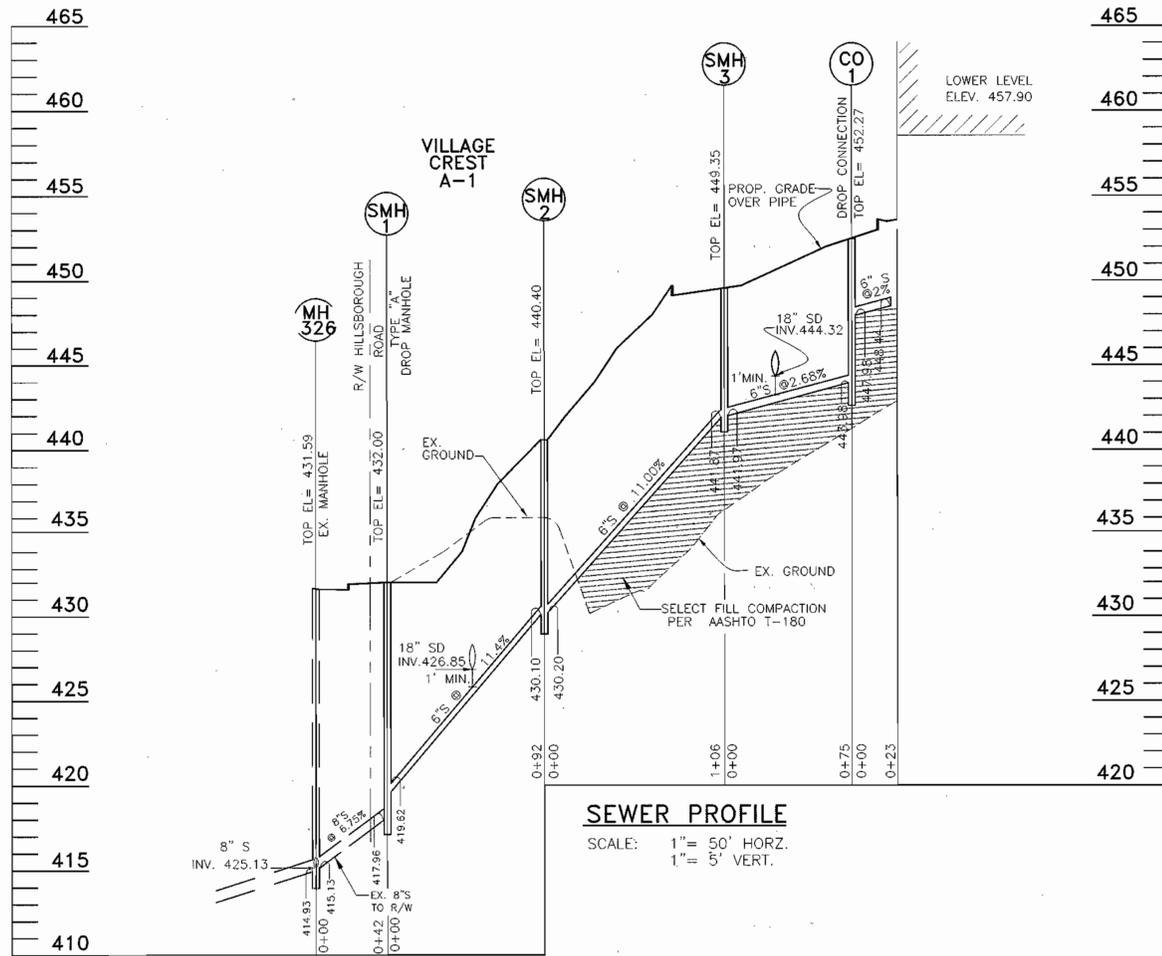
TAX MAP #25 BLOCK 20 2ND ELECTION DISTRICT PARCEL P/O 98 HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226
SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

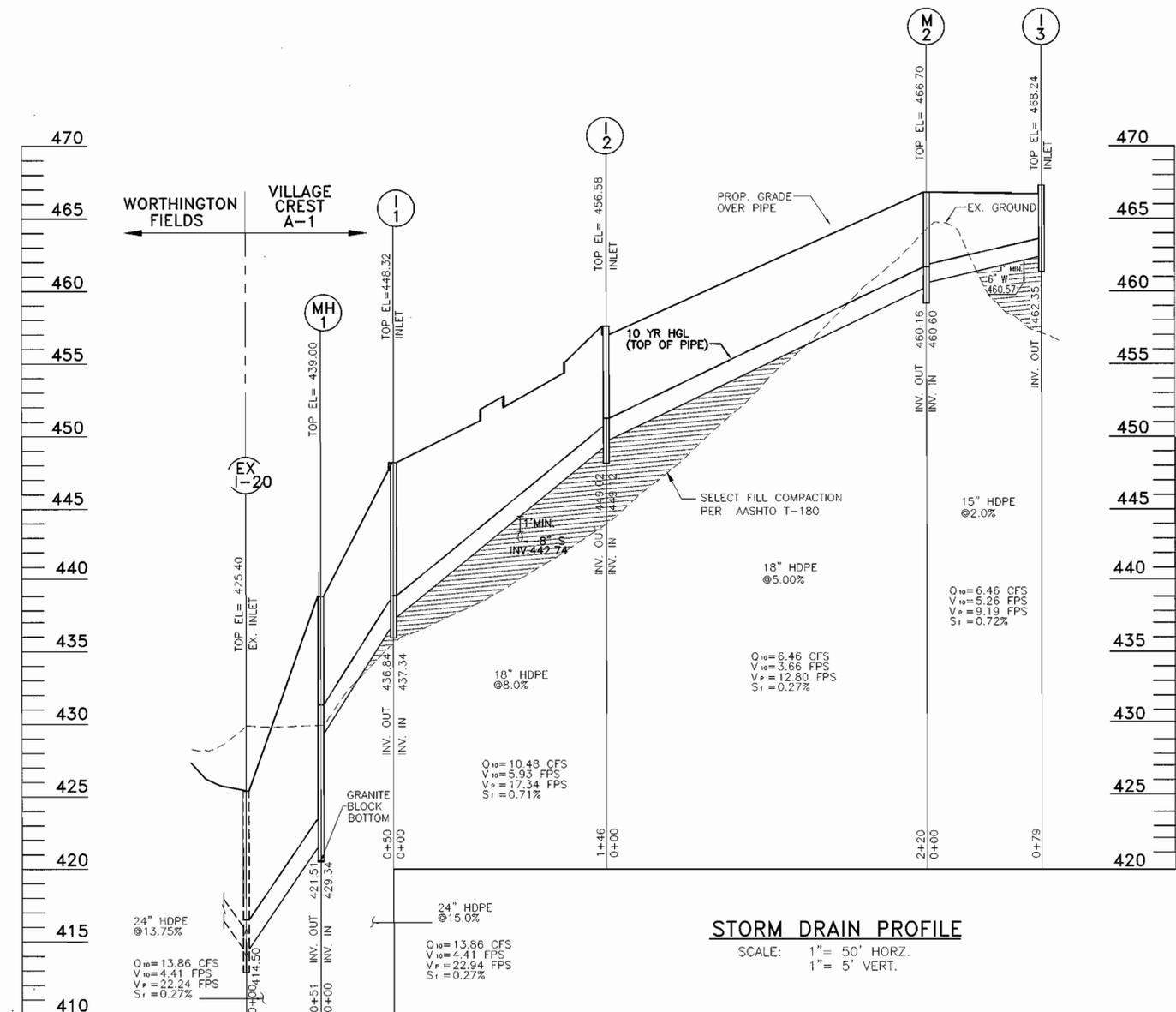
DESIGN BY: RJ
DRAWN BY: RJ
CHECKED BY: RHW
DATE: JUNE 2002
SCALE: AS SHOWN
W.O. NO.: 2018121.00

3 SHEET OF 8

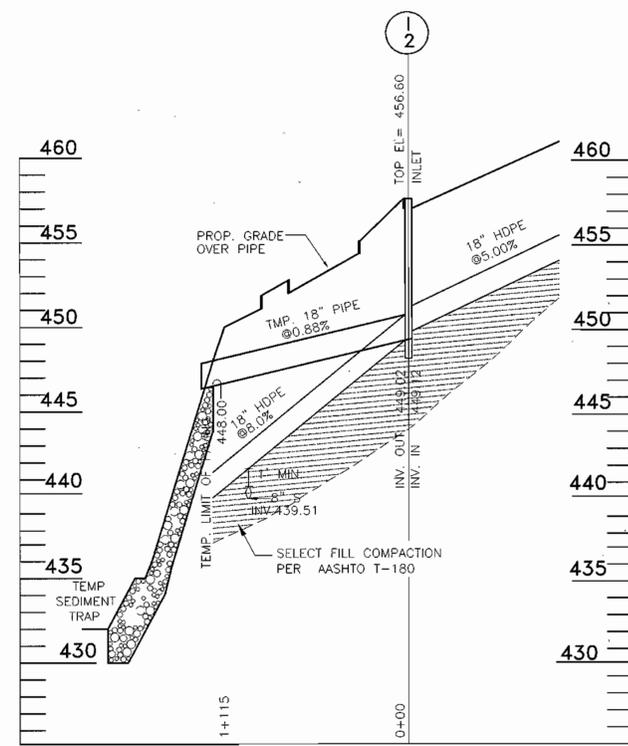
H:\PROJECTS\2010\121\ENGR\DWG\SDP1\03SDP1.DWG Tue Jun 18 12:56:07 2002 Romo
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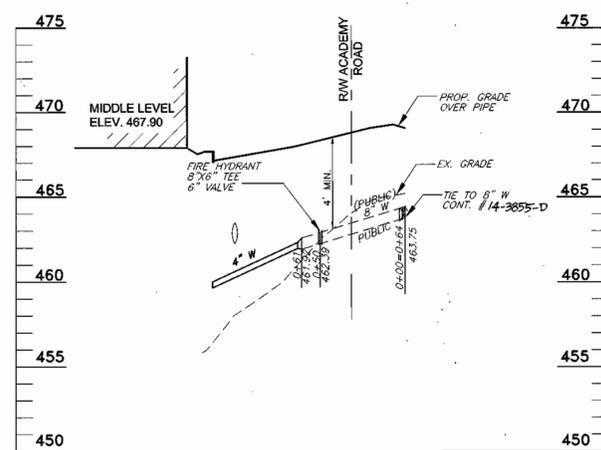
SEWER PROFILE
SCALE: 1" = 50' HORZ.
1" = 5' VERT.



STORM DRAIN PROFILE
SCALE: 1" = 50' HORZ.
1" = 5' VERT.



TEMP PIPE TO SEDIMENT TRAP
SCALE: 1" = 50' HORZ.
1" = 5' VERT.



WATER PROFILE
SCALE: 1" = 50' HORZ.
1" = 5' VERT.

STRUCTURE SCHEDULE						
NO.	TYPE	LOCATION	TOP ELEV.	INV. IN	INV. OUT	REMARKS
I-1	DOUBLE TYPE 'S' COMBINATION INLET	N 576928 E 1371609	447.74	436.84	437.34	SD 4.34
I-2	DOUBLE TYPE 'S' COMBINATION INLET	N 576869 E 1371739	456.00	449.02	449.73	SD 4.34
I-3	DOUBLE TYPE 'S' COMBINATION INLET	N 576673 E 1371879	467.66	-	462.35	SD 4.34
M-1	PRECAST MANHOLE (4')	N 576974 E 1371591	439.00	421.51	429.34	G 5.12
M-2	PRECAST MANHOLE (4')	N 576740 E 1371921	466.70	460.60	460.16	G 5.12

1. TOP ELEVATION ARE TO THE CENTER OF THE STRUCTURE AT TOP OF CURB FOR DOUBLE 'S' COMB. INLETS, CENTER TOP OF GRATE FOR DOUBLE TYPE 'S' INLET AND TOP OF MANHOLE COVER FOR PRECAST MANHOLES.
2. SEE ARCHITECTURAL PLANS FOR ROOF DRAIN DETAILS

PIPE SCHEDULE		
SIZE	TYPE	LENGTH
15"	HDPE	79 LF
18"	HDPE	366 LF
24"	HDPE	101 LF

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 8/1/02
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 8/13/02
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 8/16/02
DIRECTOR DATE

OWNER / DEVELOPER
DR. IRVING AND EDITH TAYLOR
C/O LAND DESIGN & DEVELOPMENT, INC.
8000 MAIN STREET
ELLCOTT CITY, MD 21043
ATTN: MR. DONALD R. REUWER
PHONE: (410) 480-9105

SITE DEVELOPMENT PLAN
PROFILES AND DETAILS
VILLAGE CREST
PARCEL A-1

TAX MAP #25 BLOCK 20
2ND ELECTION DISTRICT

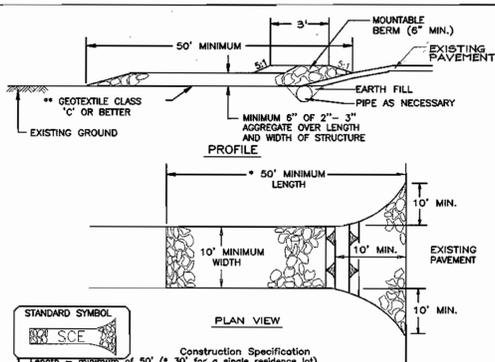
PARCEL PJO 98
HOWARD COUNTY, MARYLAND

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4 SHEET OF 8

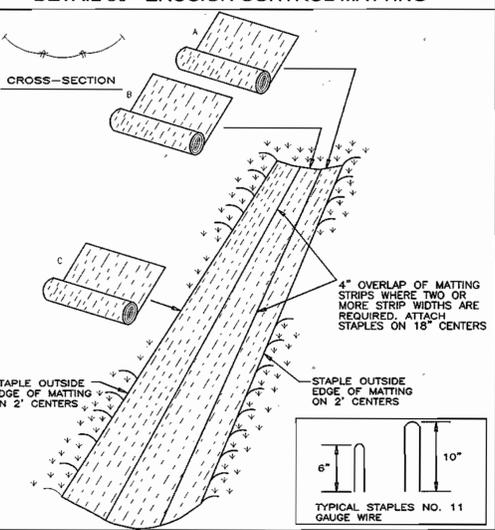
DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



- Construction Specification
1. Length - minimum of 50' (30' for a single residence lot).
2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.
3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone...

Table with 4 columns: U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE, PAGE 17-3, MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION.

DETAIL 30 - EROSION CONTROL MATTING



- Construction Specifications
1. Key-in the matting by placing the top ends of the matting in a narrow trench, 6" in depth. Backfill the trench and tamp firmly to conform to the channel cross-section.
2. Staple the 4" overlap in the channel center using an 18" spacing between staples.

Table with 4 columns: U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE, PAGE 22-2, MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION.

EROSION CONTROL MATTING

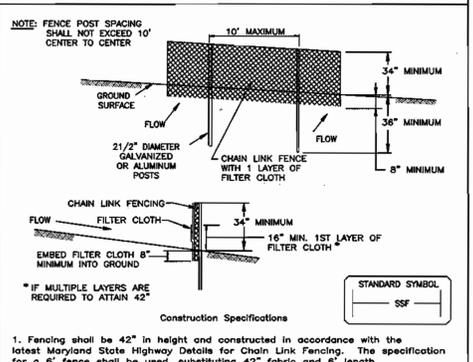
- Construction Specifications
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2. Staple the 4" overlap in the channel center using an 18" spacing between staples.

Table with 4 columns: U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE, PAGE 22-2A, MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION.

ENGINEERS CERTIFICATE

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

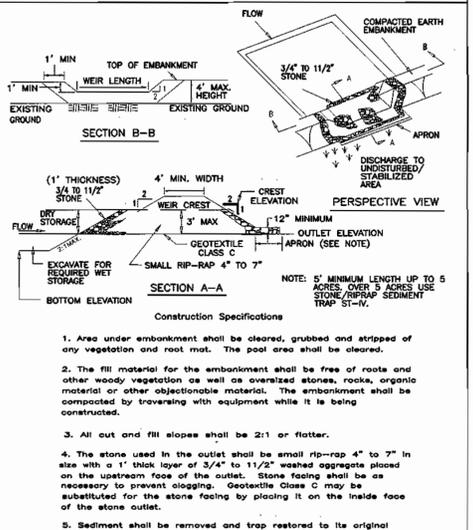
DETAIL 33 - SUPER SILT FENCE



- Construction Specifications
1. Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing.
2. Chain link fence shall be fastened securely to the fence posts with wire ties.

Table with 4 columns: U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE, PAGE 28-3, MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION.

DETAIL 9 - STONE OUTLET SEDIMENT TRAP - ST II



- Construction Specifications
1. Area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The pool area shall be cleared.
2. The fill material for the embankment shall be free of roots and other woody vegetation as well as oversized stones, rocks, organic material or other objectionable material.

Table with 4 columns: U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE, PAGE 2-19, MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION.

STONE OUTLET SEDIMENT TRAP - ST II

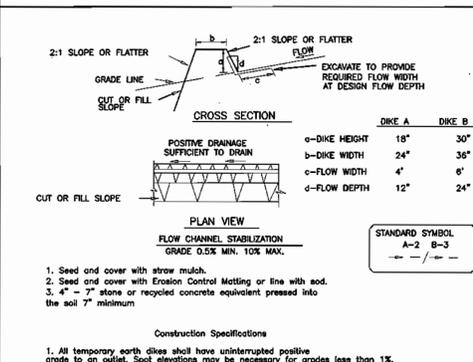
- Construction Specifications
6. The structure shall be inspected periodically after each rain and repairs made as needed.
7. Construction of traps shall be carried out in such a manner that sediment pollution is abated. Once constructed, the top and outside face of the embankment shall be stabilized with seed and mulch.

Table with 4 columns: U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE, PAGE 2-19A, MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION.

DEVELOPER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

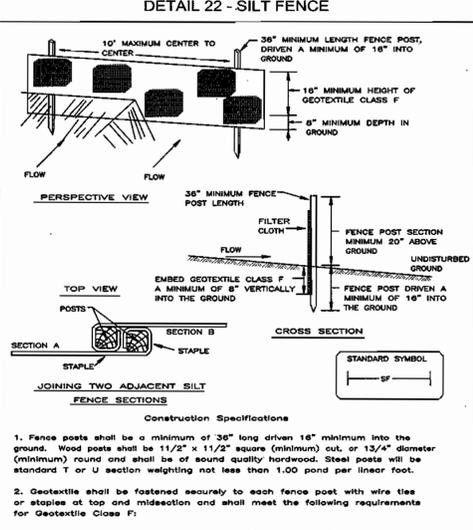
DETAIL 1 - EARTH DIKE



- Construction Specifications
1. All temporary earth dikes shall have uninterrupted positive grade to an outlet. Spot elevations may be necessary for grades less than 1%.
2. Runoff diverted from a disturbed area shall be conveyed to a sediment trapping device.

Table with 4 columns: U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE, PAGE 1-8, MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION.

DETAIL 22 - SILT FENCE



- Construction Specifications
1. Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood.
2. Geotextile shall be fastened securely to each fence post with wire ties or staples at top and midsection and shall meet the following requirements for Geotextile Class F:

Table with 4 columns: U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE, PAGE 2-19, MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION.

STONE OUTLET SEDIMENT TRAP - ST II

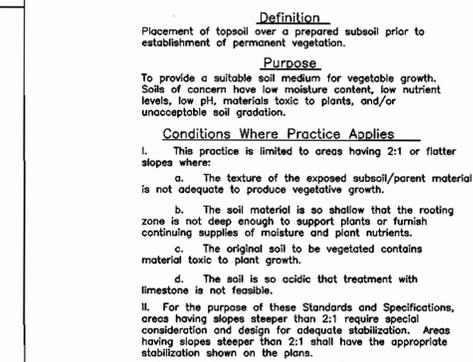
- Construction Specifications
6. The structure shall be inspected periodically after each rain and repairs made as needed.
7. Construction of traps shall be carried out in such a manner that sediment pollution is abated. Once constructed, the top and outside face of the embankment shall be stabilized with seed and mulch.

Table with 4 columns: U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE, PAGE 2-19A, MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION.

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DETAIL 5 - RIP-RAP INFLOW PROTECTION



- Construction Specifications
1. Rip-rap lined inflow channels shall be 1' in depth, have a trapezoidal cross section with 2:1 or flatter side slopes and 3" (min.) bottom width. The channel shall be lined with 4" to 12" rip-rap to a depth of 16".
2. Filter cloth shall be installed under all rip-rap. Filter cloth shall be Geotextile Class C.

Table with 4 columns: U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE, PAGE 3-1-2, MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION.

PERMANENT SEEDING NOTES

- APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.
SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

Table with 4 columns: U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE, PAGE 3-1-2, MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION.

TEMPORARY SEEDING NOTES

- SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.
SOIL AMENDMENTS: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.).
SEEDING: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushel per acre of annual ryegrass (3.2 lbs./1000 sq.ft.).

Table with 4 columns: U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE, PAGE 3-1-3, MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION.

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21.0 STANDARDS AND SPECIFICATIONS FOR TOP SOIL

- Definition
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.
Purpose
To provide a suitable soil medium for vegetable growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Table with 4 columns: U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE, PAGE 21.0, MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION.

SEDIMENT CONTROL NOTES

- 1. A minimum of 48 hours notice must be given to the Howard County Department of Inspection, License and Permits Sediment Control Division prior to the start of any construction (313-1650).
2. All vegetation and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.

Table with 4 columns: U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE, PAGE 21.0, MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION.

SEQUENCE OF CONSTRUCTION

- 1. OBTAIN ALL REQUIRED PERMITS FROM HOWARD COUNTY.
2. NOTIFY HOWARD COUNTY BUREAU OF INSPECTIONS AND PERMITS AT (410) 313-1800 AT LEAST 24 HOURS BEFORE STARTING ANY WORK.
3. INSTALL STABILIZED CONSTRUCTION ENTRANCE, SUPER SILT FENCE, AND INLET PROTECTION.

Table with 4 columns: U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE, PAGE 21.0, MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION.

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GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWING.
 MISS UTILITY: 1-800-257-7777
 HOWARD COUNTY BUREAU OF UTILITIES: 313-2386
 AT&T CABLE LOCATION DIVISION: 393-3553
 B.G.&E. CO. CONTRACTOR SERVICES: 850-4620
 B.G.&E. CO. UNDERGROUND DAMAGE CONTROL: 787-4620
 STATE HIGHWAY ADMINISTRATION: 531-5533
- PROJECT BACKGROUND:
 LOCATION: ELLICOTT CITY, MARYLAND; TAX MAP 25, PARCELS A-1 THRU E-1
 ZONING: POR
 SUBDIVISION: VILLAGE CREST - PARCELS A-1, A RESUBDIVISION OF WORTHINGTON FIELDS NON BUILDABLE PARCEL A.
 SECTION/AREA: N/A
 LIMIT OF DISTURBANCE, AREA: 127194.24 SF OR 2.92 AC.
 P-00-07, S-99-18, S-00-05, F-01-60, P-01-20, F-02-47, F-02-112
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/ CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- ANY DAMAGE TO PUBLIC RIGHT-OF-WAYS, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS, FIELD SURVEYS, PUBLIC WATER AND AND SEWER EXTENSION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS
- ALL REINFORCED CONCRETE FOR STORM DRAIN STRUCTURES SHALL HAVE A MINIMUM OF 28 DAYS STRENGTH OF 3,500 P.S.I.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOIL TEST PRIOR TO CONSTRUCTION.
- ALL STORM DRAIN PIPE BEDDING SHALL BE CLASS 'C'.
- THE PROJECT BOUNDARY IS BASED ON A BOUNDARY SURVEY PERFORMED BY FISHER COLLINS & CARTER, INC. DATED DECEMBER 21, 1998.
- THE TOPOGRAPHY SHOWN HEREON IS BASED ON AERIAL PHOTOGRAMETRIC SURVEY PERFORMED BY WINGS AERIAL MAPPING COMPANY DATED MARCH, 1995.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- ALL PAVING P-2, SEE DETAIL.
- APFO TRAFFIC STUDY NOT REQUIRED FOR THIS PROJECT. PROPOSED SITE IS GREATER THAN 1 MILE TO CLOSEST MAJOR COLLECTOR INTERSECTION.
- CONTRACTOR RESPONSIBLE TO CONSTRUCT ALL HANDICAP PARKING AND HANDICAP ACCESS IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS.
- ALL ELEVATIONS ARE TO FLOWLINE/BOTTOM OF CURB UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- PUBLIC WATER AND SEWER. AVAILABLE THROUGH CONTRACT NO. 14-3855-D.
- ALL EXTERIOR SITE LIGHTING TO CONFORM TO SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
- BUILDING TO HAVE INSIDE WATER METER SETTING.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
 FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$22,530.00 FOR 40 SHADE TREES, 40 EVERGREEN TREES, AND 151 SHRUBS.
- STORMWATER MANAGEMENT TO BE PROVIDED BY WET POND, POND #1. THE FACILITY WILL BE HAZARD CLASS 'A', PRIVATELY OWNED AND MAINTAINED PER F-01-60.
- REF. 4TH EDITION OF THE HOWARD COUNTY SUBDIVISION AND LAND DIVISION REGULATIONS.
- AS A RESULT OF THE PRELIMINARY PLAN, P-01-20, FOR THIS SUBDIVISION, VILLAGE CREST, BEING SUBMITTED TO THE COUNTY FOR REVIEW PRIOR TO 11/15/01, THIS SITE DEVELOPMENT PLAN IS SUBJECT TO COMPLIANCE WITH THE FOURTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. IN ADDITION, BECAUSE THE PRELIMINARY PLAN FOR THE VILLAGE CREST SUBDIVISION DID OBTAIN SIGNATURE APPROVAL PRIOR TO 11/01/01, ON 09/17/01, THIS SITE DEVELOPMENT PLAN IS SUBJECT TO COMPLIANCE WITH THE ZONING REGULATIONS ADOPTED ON 10/18/93 AND AMENDED ON 07/12/01.
- THE FOREST CONSERVATION EASEMENTS HAVE BEEN ESTABLISHED FOR THE ENTIRE SUBDIVISION (F-02-47& F-02-112) TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY FOREST CONSERVATION ACT. NO CLEARING, GRADING, OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASMENT. FOREST MANAGEMENT PRACTICES AS DESCRIBED IN THE DEED OF FOREST CONSERVATION EASMENT ARE PERMITTED.
 AREA OF RETENTION: 3.43 AC.
 AREA OF REFORESTATION: 23.07 AC.
 AREA OF FOREST CONSERVATION: 17.29 AC.

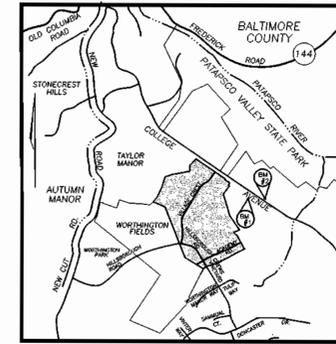
SITE DEVELOPMENT PLAN

VILLAGE CREST

PARCEL A-1

HOWARD COUNTY, MARYLAND

SHEET INDEX	
SHEET NO.	DESCRIPTION
1 of 8	COVER SHEET
2 of 8	SITE AND UTILITY PLAN
3 of 8	SITE DETAILS
4 of 8	PROFILES
5 of 8	GRADING AND SEDIMENT CONTROL PLAN
6 of 8	SEDIMENT AND EROSION CONTROL DETAILS
7 of 8	LANDSCAPE PLAN & DETAILS
8 of 8	STORM DRAIN DRAINAGE AREA MAP



VICINITY MAP
SCALE: 1"=2000'

BENCHMARKS

- BENCHMARK NO. 1:** COUNTY CONTROL #3044005R
 3/4" REBAR 0.8' BELOW SURFACE
 N. 578233.92, E. 1373142.33
 ELEV. = 374.389
- BENCHMARK NO. 2:** COUNTY CONTROL #3044004R
 3/4" REBAR 0.8' BELOW SURFACE
 N. 578128.03, E. 1373460.71
 ELEV. = 362.575

SITE ANALYSIS

AREA OF TRACT: 73.84 AC.
 AREA OF SITE: 2.77 AC.
 NO CHANGE IN THE INDICATED USES OR THE FLOOR AREA OF ANY USE IS PERMITTED WITHOUT THE PRIOR APPROVAL OF THE DPZ, DLD.

PROPOSED USE: RETAIL AND OFFICE
 RETAIL AND PERSONAL SERVICE USES LIMITED TO OCCUPY NO MORE THAN 25% OF THE TOTAL FLOOR AREA.
 (25% OF 22,563 = 5,640 SF.)

AREA OF SUBMISSION: 1120661SF. (2.77 AC.)
 AREA OF DISTURBANCE: 113567 SF. (2.61 AC.)

BUILDING 11,582 SF. (0.27 AC.)
 SIDEWALK 2873 SF. (0.07 AC.)
 DUMPSTER 476 SF. (0.01 AC.)
 PAVING 34802 SF. (0.80 AC.)

IMPERVIOUS AREA
 41% OF SUBMISSION AREA

OPEN SPACE REMAINING:
 59% OF SUBMISSION AREA

BUILDING FOOTPRINT:
 LOWER FLOOR: 5,992 SQ. FT.
 MIDDLE FLOOR: 11,269 SQ. FT.
 UPPER FLOOR: 7,302 SQ. FT.
 TOTAL: 22,563 SQ. FT.

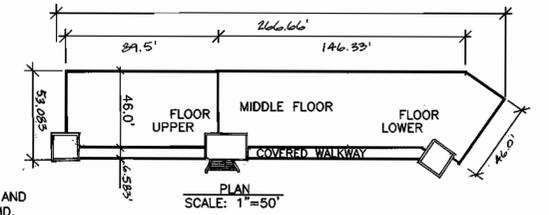
PARKING SPACE TABULATIONS

OFFICE USE:
 3.3 SPACES PER 1000 SF
 @ 16,923 SF = 55.85 SPACES

RETAIL AND PERSONAL SERVICE USES:
 MAX. 25% OF THE TOTAL FLOOR AREA OF THE BUILDING
 25% OF 22,563 SQ. FT. = 5,640 SQ. FT.

5.0 SPACES PER 1000 SF
 @ 5,640 SF = 28.20 SPACES

OTHER:
 "NO CHANGE IN THE INDICATED USES OR THE FLOOR AREA OF ANY USE IS PERMITTED WITHOUT THE PRIOR APPROVAL OF THE DEPARTMENT OF PLANNING & ZONING AND DEPARTMENT OF LAND DEVELOPMENT, HOWARD COUNTY, MD.



TOTAL SPACES REQUIRED = 85
 TOTAL SPACES PROVIDED = 91
 HANDICAPPED SPACES REQUIRED = 4
 HANDICAPPED SPACES PROVIDED = 4

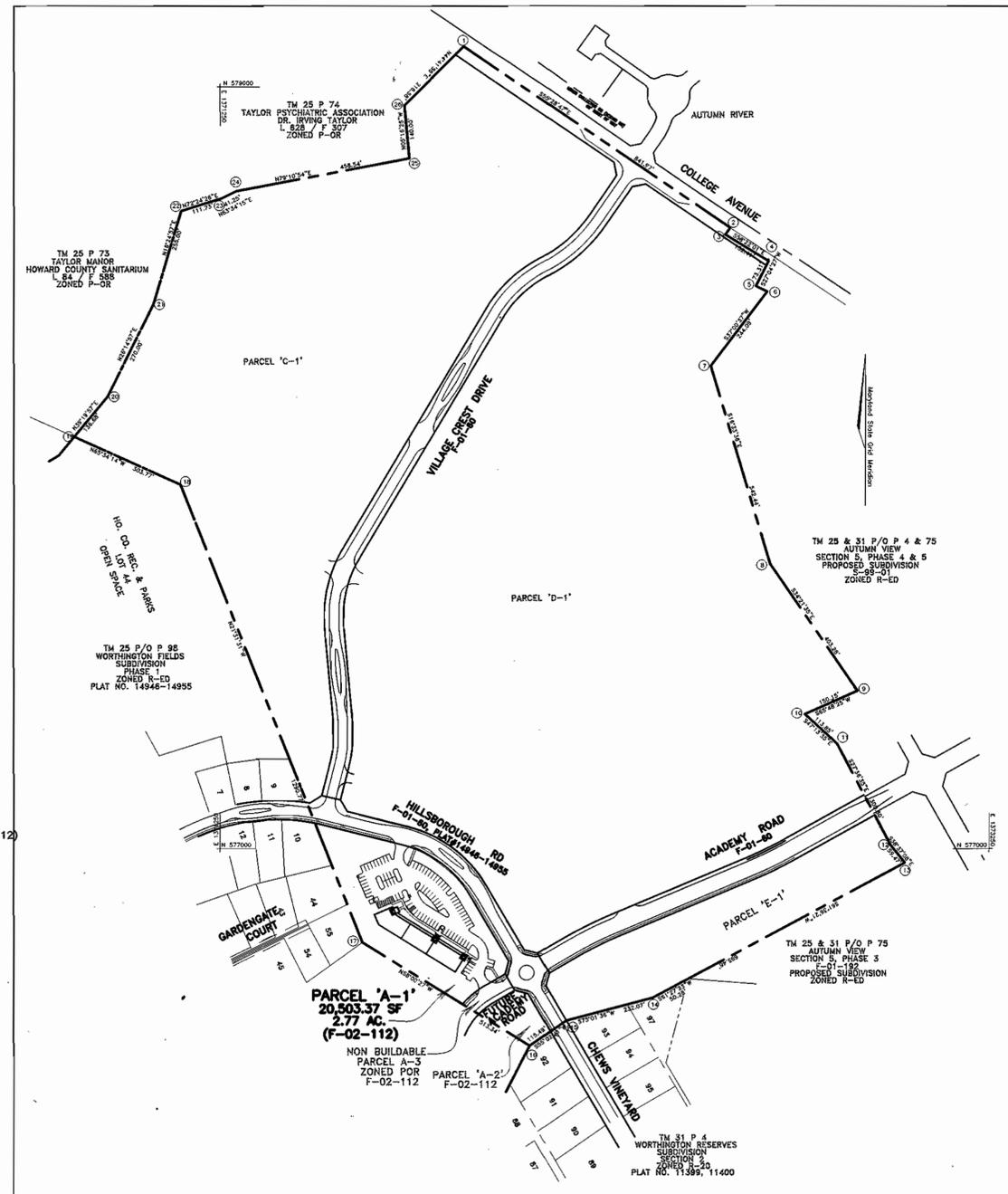
BUILDING TABULATIONS

USE:
 LOWER LEVEL: OFFICE
 MIDDLE LEVEL: RETAIL/OFFICE
 UPPER LEVEL: OFFICE

LOWER FLOOR: 5,992 SQ. FT.
 MIDDLE FLOOR: 5,640 SQ. FT./1,5629 SQ. FT.
 UPPER FLOOR: 7,302 SQ. FT.

OWNER / DEVELOPER

DR. IRVING AND EDITH TAYLOR
 C/O LAND DESIGN & DEVELOPMENT, INC.
 8000 MAIN STREET
 ELLICOTT CITY, MD 21043
 ATTN: MR. DONALD R. REUWER
 PHONE: (410) 480-9105



LOCATION PLAN
SCALE: 1"=200'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 8/1/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 8/13/02
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 8/15/12
 DIRECTOR DATE

ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
A-1	VILLAGE CREST DRIVE				
	8001 HILLSBOROUGH ROAD				
SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER			
VILLAGE CREST	N/A	A-1			
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELECT. DIST.	CENSUS TR.
15359	20	POR	25	2ND	6027
WATER CODE G-01		SEWER CODE 1253100			

NO.	REVISION	DATE
1	REVISE FLOOR AREAS AND ADD 8" WATER	6-12-03

SITE DEVELOPMENT PLAN
COVER SHEET
VILLAGE CREST
PARCEL A-1

TAX MAP #25 BLOCK 20
 2ND ELECTION DISTRICT

PARCEL P/O 98
 HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
 ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
 ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6228
 SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: RJ
 DRAWN BY: RJ
 CHECKED BY: RHV
 DATE: JUNE 2012
 SCALE: AS SHOWN
 W.O. NO.: 2018121.00

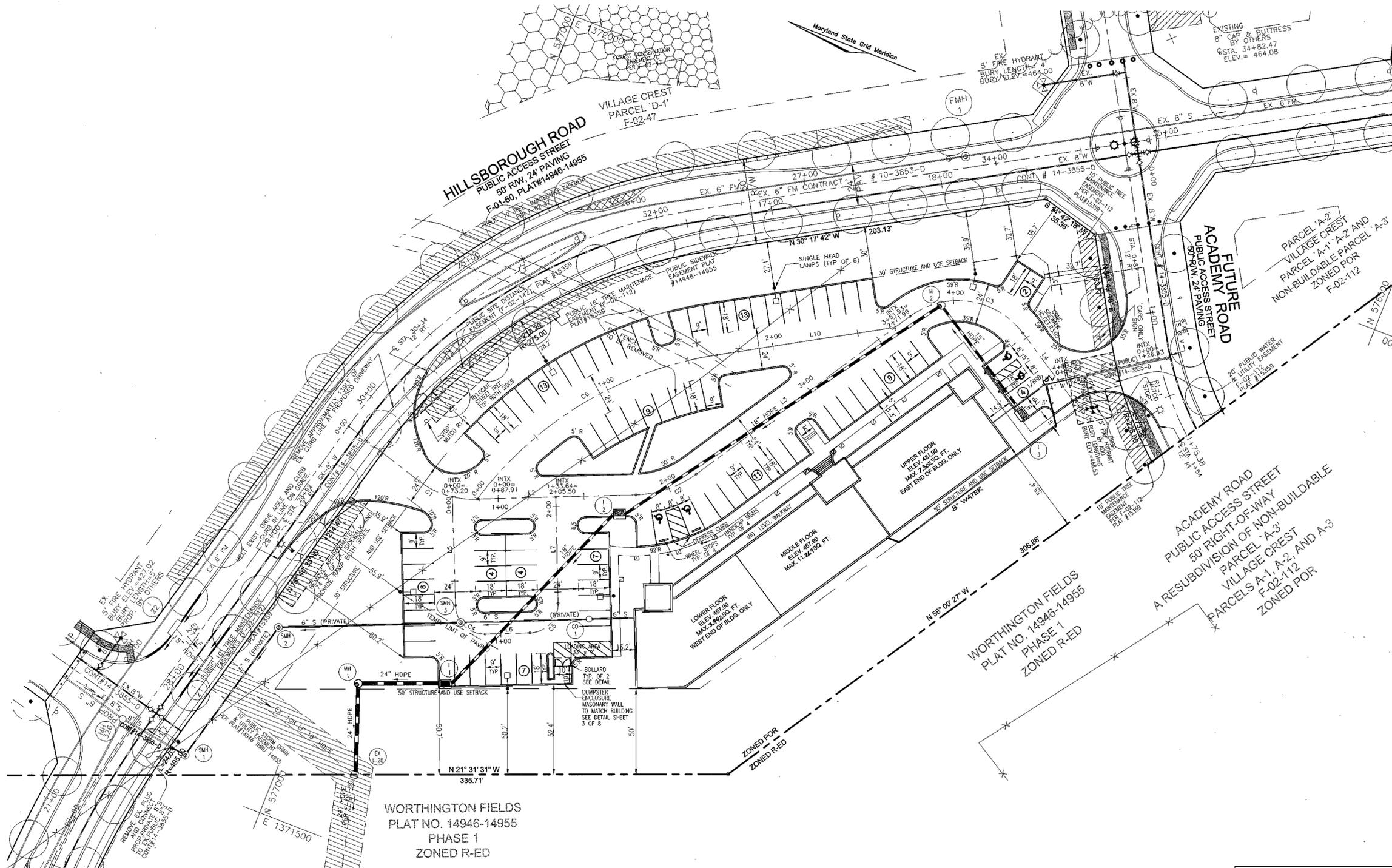
1 SHEET OF 8

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA ANGLE	TANGENT	CHORD DIRECTION	CHORD LENGTH
C1	34.44	50.00	39°28'11"	17.94	S03°16'22"E	33.77
C2	37.74	62.03	34°51'26"	19.47	S40°34'16"E	37.16
C3	73.78	47.10	89°45'19"	46.90	N13°00'28"W	66.47
C4	26.85	16.84	91°22'09"	17.24	S22°40'38"W	24.09
C5	26.47	16.84	90°05'02"	16.86	N68°02'58"W	23.83
C6	167.06	214.33	44°39'31"	88.03	N52°37'28"W	162.86

LINE TABLE		
LINE	LENGTH	BEARING
L1	52.17	S16°27'44"W
L2	91.62	N23°00'27"W
L3	154.79	N58°00'27"W
L4	48.63	N31°59'33"E
L5	64.09	N66°45'07"E
L6	26.00	N23°00'27"W
L7	62.10	S67°17'23"W
L8	37.43	N30°17'42"W
L9	15.58	N58°00'27"W
L10	104.93	N30°17'42"W

LEGEND

- PARKING LIGHT(6)
- ⊙ STREET LIGHT (2)
150 WATT PENDANT (CUT OFF)
30' POLE
12' ARM
- EX. STREET TREE TO BE RELOCATED
- RELOCATED STREET TREE



WORTHINGTON FIELDS
PLAT NO. 14946-14955
PHASE 1
ZONED R-ED

PLAN
SCALE: 1"=30'

OWNER / DEVELOPER
DR. IRVING AND EDITH TAYLOR
C/O LAND DESIGN & DEVELOPMENT, INC.
8000 MAIN STREET
ELLICOTT CITY, MD 21043
ATTN: MR. DONALD R. REUWER
PHONE: (410) 480-9105

**SITE DEVELOPMENT PLAN
SITE AND UTILITY PLAN
VILLAGE CREST
PARCEL A-1**

TAX MAP #25 BLOCK 20 PARCEL P/O 98
2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
7125 Riverwood Drive Columbia, Maryland 21046-2354
Phone: 410-290-9550 Fax: 410-720-6226
Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: R.J.
DRAWN BY: R.J.
CHECKED BY: SHV
DATE: JUNE 2002
SCALE: AS SHOWN
W.G. NO.: 2018121.00

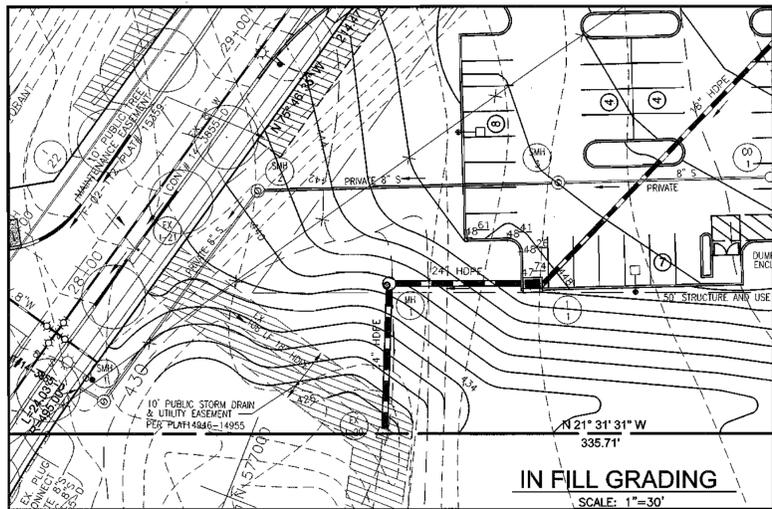
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Mark D... 2/1/02
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

... 8/12/02
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DIRECTOR DATE

NO.	REVISION	DATE
1	REVISE FLOOR AREAS AND ADD WATER	6.12.03



TEMP. SEDIMENT TRAP II

Ex. drainage area: 2.65 Ac.
 Total storage required: 9540 Cf
 Total storage provided: 10,050 Cf
 Bottom dimensions: 15' X 84'
 Bottom elevation: 430.50'
 Crest elevation: 434.00'
 Wet storage elevation: 430.5' - 433.14' (2.64')
 Dry storage elevation: 433.14' - 434.00' (0.86')
 Total storage depth: 3.5'
 Top of embankment: 435.00'
 Cleanout elevation: 431.80'
 Side slopes: 2:1

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

Jim Meyer 7/30/02
 USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

John R. Reuter 7/30/02
 HOWARD SCD DATE

DEVELOPER'S CERTIFICATE

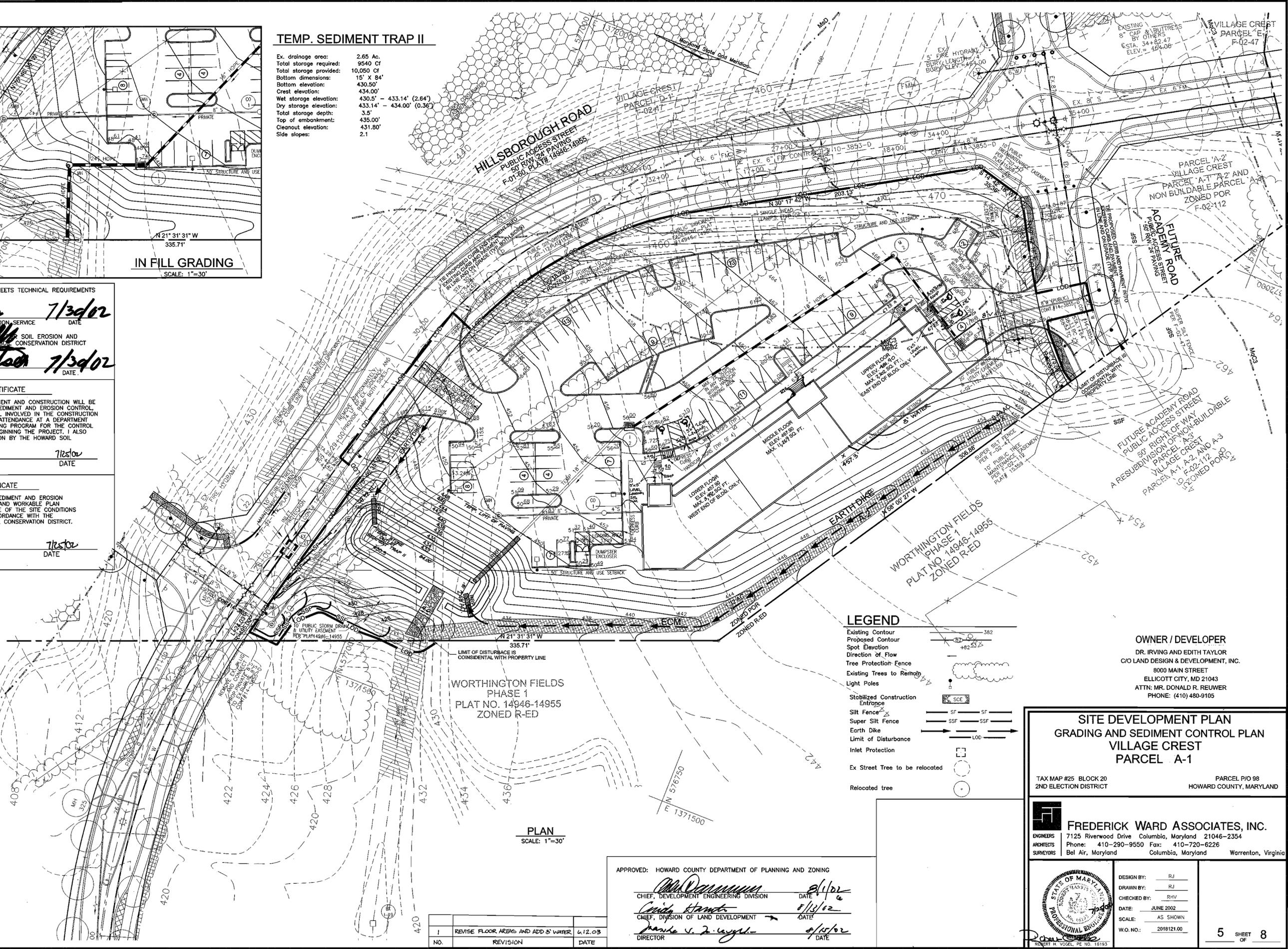
I, WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Reuter 7/30/02
 SIGNATURE OF DEVELOPER DATE

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Robert H. Vogel 7/30/02
 SIGNATURE OF ENGINEER DATE
 ROBERT H. VOGEL



WORTHINGTON FIELDS
 PHASE 1
 PLAT NO. 14946-14955
 ZONED R-ED

PLAN
 SCALE: 1"=30'

LEGEND

- Existing Contour
- Proposed Contour
- Spot Elevation
- Direction of Flow
- Tree Protection Fence
- Existing Trees to Remain
- Light Poles
- Stabilized Construction Entrance
- Silt Fence
- Super Silt Fence
- Earth Dike
- Limit of Disturbance
- Inlet Protection
- Ex Street Tree to be relocated
- Relocated tree

OWNER / DEVELOPER
 DR. IRVING AND EDITH TAYLOR
 C/O LAND DESIGN & DEVELOPMENT, INC.
 8000 MAIN STREET
 ELLICOTT CITY, MD 21043
 ATTN: MR. DONALD R. REUVER
 PHONE: (410) 480-9105

**SITE DEVELOPMENT PLAN
 GRADING AND SEDIMENT CONTROL PLAN
 VILLAGE CREST
 PARCEL A-1**

TAX MAP #25 BLOCK 20 PARCEL PIO 98
 2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
 ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
 ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226
 SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: RJ
 DRAWN BY: RJ
 CHECKED BY: RHV
 DATE: JUNE 2002
 SCALE: AS SHOWN
 W.O. NO.: 2018121.00

5 SHEET OF 8

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chris Stant 8/10/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Chris Stant 8/10/02
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Frank V. Z. Vogel 8/10/02
 DIRECTOR DATE

NO.	REVISION	DATE
1	REVISE FLOOR AREAS AND ADD S' WATER	6/12/03

LANDSCAPE SCHEDULE				
KEY	QUAN.	BOTANICAL NAME	SIZE	REM.
AR	21	ACER RUBRUM 'OCTOBER GLORY' 'OCTOBER GLORY' RED MAPLE	2 1/2"-3" Cal.	B & B
CL	6	CLADRASTIS LUTEA 'SWEETSHADE' SWEETSHADE YELLOWWOOD	2 1/2"-3" Cal.	B & B
IC	171	ILEX CRENATA 'ROTUNDIFOLIA' ROUNDLEAF JAPANESE HOLLY @ 4' OC	2 1/2"-3" Ht.	B & B OR CONT.
IN	7	ILEX 'NELLIE STEVENS' NELLIE STEVENS HOLLY	5' - 6' Ht.	B & B OR CONT.
OI	20	OSMANTHUS ILLICIFOLIUS 'GULFIDE' GULFIDE OSMANTHUS	2 1/2"-3" Ht.	B & B
PA	18	PHLEODENDRON AMURENSE 'SHADEMASTER' SHADEMASTER AMUR CORKTREE	2 1/2"-3" Cal.	B & B
PS	40	PINUS STROBUS WHITE PINE	6' - 8' Ht.	B & B

- ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT AAN SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH LCMW PLANTING SPECIFICATIONS.
- MAINTENANCE TO INCLUDE MONITORING AND HAND WATERING AS NEEDED FOR THE FIRST TWO GROWING SEASONS TO ESTABLISH WOODY PLANTS. SPECIALIZED PLANTING AREAS INCLUDING INTERIOR COURTYARDS AND ANNUAL BEDS MAY REQUIRE REGULAR HAND WATERING OR IRRIGATION.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
- CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING	
Number of parking spaces	91
Number of trees & islands required	5
Number of trees & islands provided	10

CATEGORY	ADJACENT TO PERIMETER PROPERTIES				ADJACENT TO ROADWAYS			
	1	2	3	4	5	6	7	8
Perimeter/Frontage Designation	C	D	C	C	E	E	E	B
Linear Feet of Roadway Frontage/Perimeter	224	45	374	48	86	430	83	137
Credit for Existing Vegetation (Yes, No, Linear Feet Describe below if needed)	No	No	No	No	No	No	No	No
Credit for Wall, Fence or Berm (Yes, No, Linear Feet Describe below if needed)	No	No	No	No	No	No	No	No
Number of Plants Required	1:40 6	1:60 1	1:40 9	1:40 1	1:40 2	1:40 11	1:40 2	1:50 3
Shade Trees	1:20 11	1:10 5	1:20 19	1:20 2	-	-	-	1:40 3
Evergreen Trees	-	-	-	-	1:4 22	1:4 108	1:4 21	-
Shrubs	-	-	-	-	-	-	-	-
Number of Plants Provided	6	1	9	1	2	11	2	3
Shade Trees	11	11	20	2	-	-	-	3
Other Trees (2:1 Substitution)	-	-	-	-	-	-	-	-
Shrubs (10:1 Substitution)	-	-	-	3	25	124	39	-
Describe Plant Substitution Credits Below if needed)	-	-	-	-	-	-	-	-

* Existing Woods to Remain

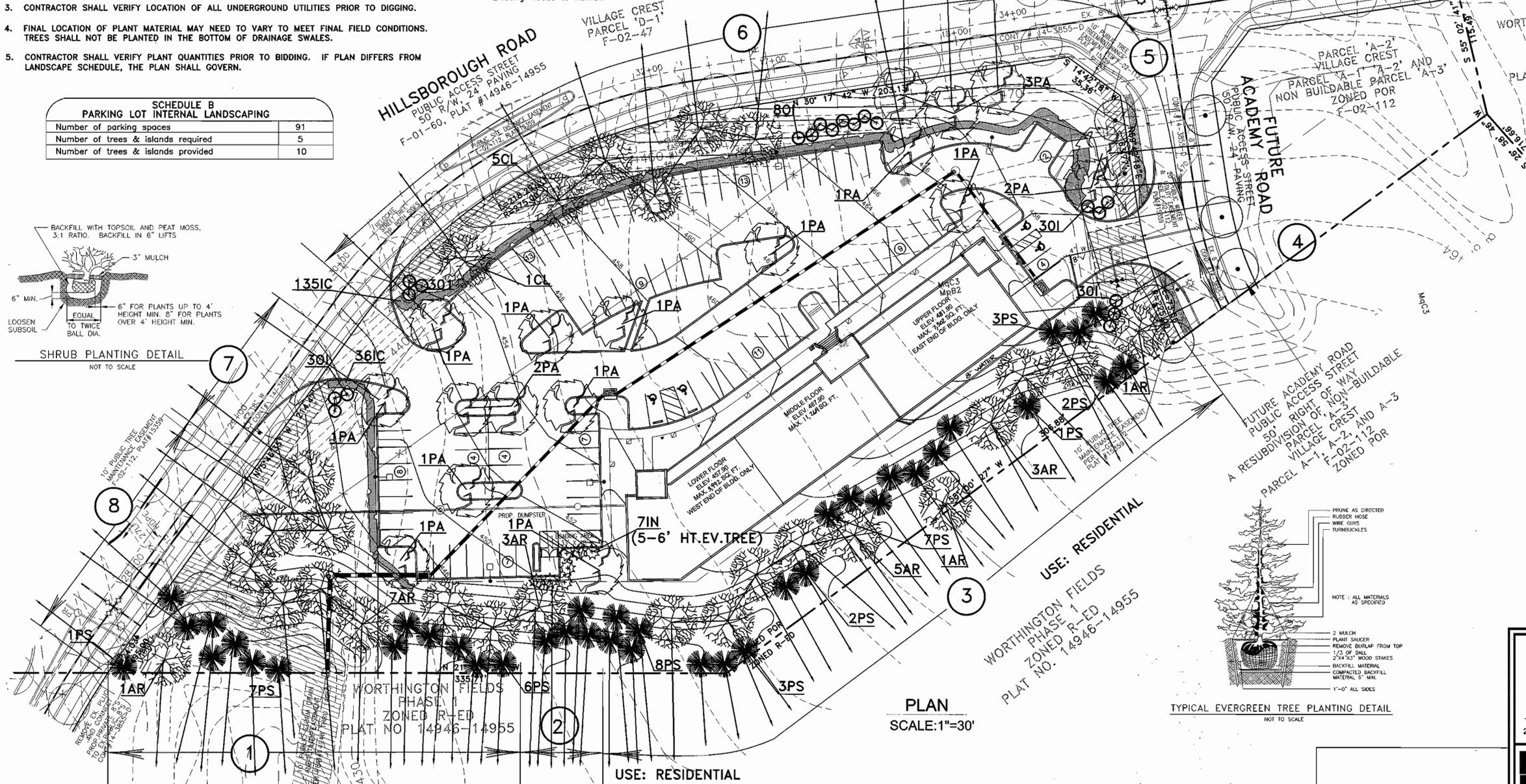
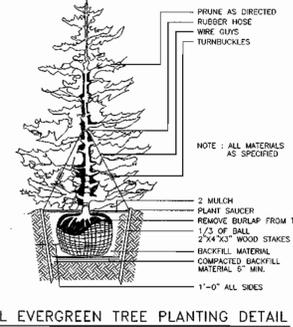
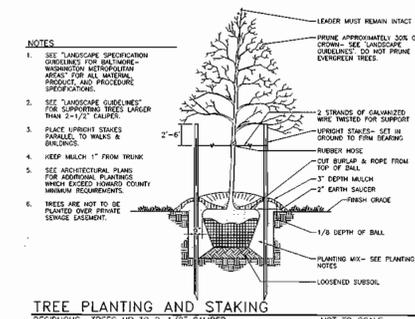
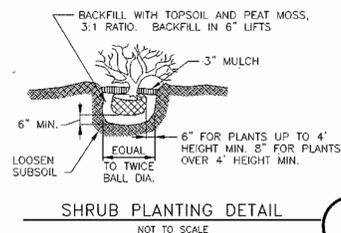
GENERAL NOTES

- This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual. The required parking and perimeter landscaping will be bonded per this submission.
- Financial Surety for the required landscaping must be posted as part of the Grading Permit in the amount of \$22,530.00 for 40 shade trees, 40 evergreen trees, and 151 shrubs.
- Parking light poles to be Kim Lighting standard Entablature, 25' black steel round poles, flush mount. 250 watt metal Halide.
- Perimeter landscape materials which cannot be located within perimeters 4-8 will be relocated to perimeters 1-3 adjacent to Worthington Fields. Arrows are shown pointing from provided trees to their respective perimeters.

VILLAGE CREST
PARCEL 'E-1'
P-02-47

LEGEND

- Existing Contour
- Proposed Contour
- Spot Elevation
- Direction of Flow
- Existing Trees to Remain
- Light Poles
- Shade Trees
- Evergreen Trees
- Shrubs/Hedge
- Perimeter Landscape Edge
- Street tree
- Ex. street tree to be relocated
- Relocated street tree
- Street tree



PLAN
SCALE: 1"=30'

USE: RESIDENTIAL

USE: RESIDENTIAL

WORTHINGTON FIELDS
PHASE 1
ZONED R-ED
PLAT NO. 14946-14955

WORTHINGTON FIELDS
PHASE 1
ZONED R-ED
PLAT NO. 14946-14955

DEVELOPER'S BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE(1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

SIGNATURE OF DEVELOPER _____ DATE _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 8/13/02

CHIEF, DIVISION OF LAND DEVELOPMENT DATE 8/13/02

DIRECTOR DATE 8/13/02

NO.	REVISION	DATE
1	REVISE FLOOR AREAS AND ADD 8' WATER	6.12.05

OWNER / DEVELOPER
DR. IRVING AND EDITH TAYLOR
C/O LAND DESIGN & DEVELOPMENT, INC.
8000 MAIN STREET
ELLCOTT CITY, MD 21043
ATTN: MR. DONALD R. REUVER
PHONE: (410) 480-9105

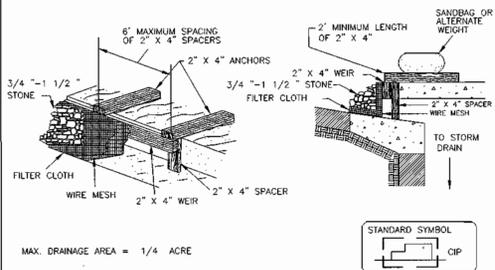
SITE DEVELOPMENT PLAN
LANDSCAPE PLAN & DETAILS
VILLAGE CREST
PARCEL A-1

TAX MAP #25 BLOCK 20 PARCEL P/O 98
2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
7125 Riverwood Drive Columbia, Maryland 21046-2354
Phone: 410-290-9550 Fax: 410-720-6226
Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: MHM
DRAWN BY: MHM/RJL
CHECKED BY: MHM
DATE: JUNE 2002
SCALE: AS SHOWN
W.O. NO.: 2018121.00
7 SHEET OF 8

**DETAIL 23C - CURB INLET PROTECTION
(COG OR COS INLETS)**



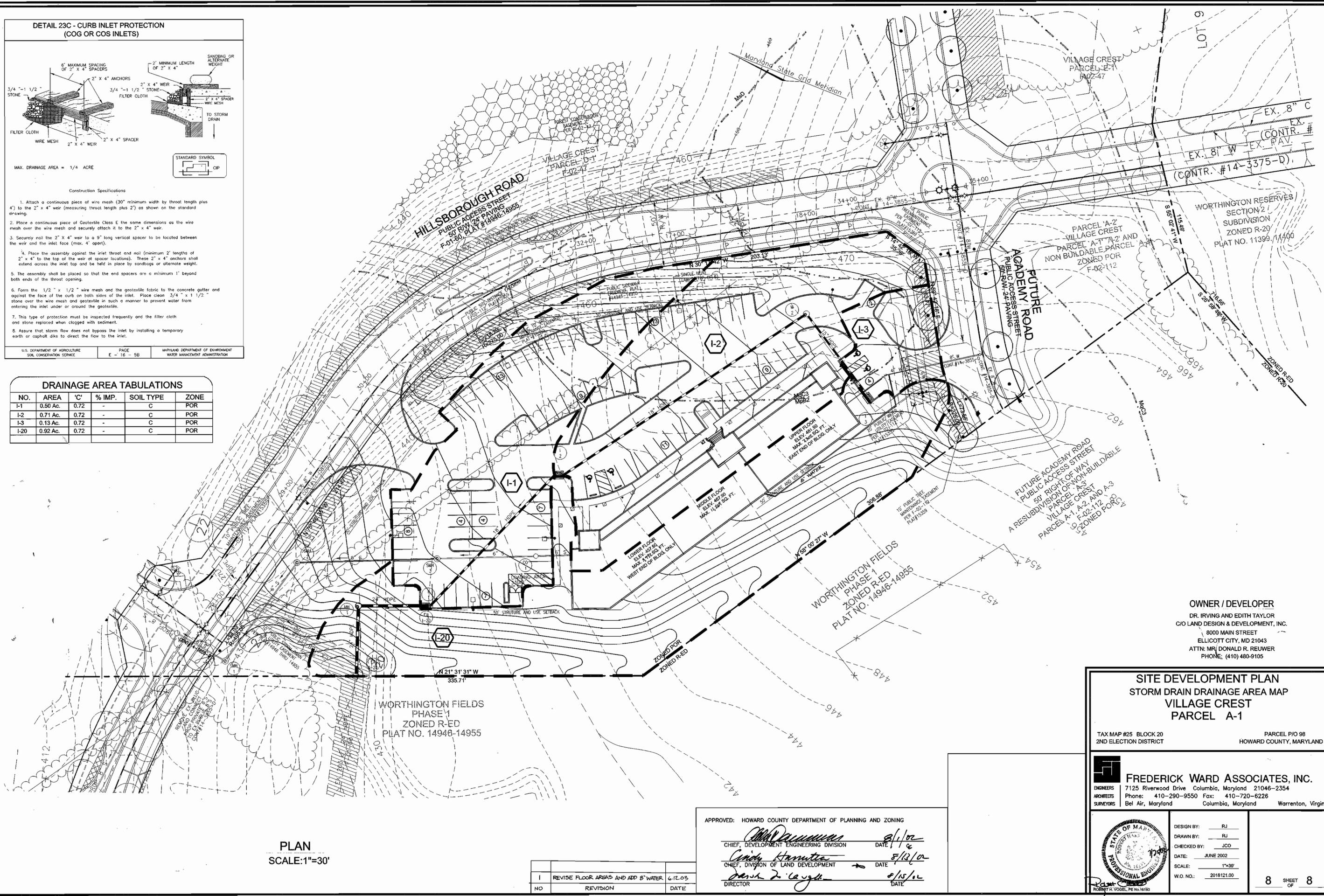
Construction Specifications

1. Attach a continuous piece of wire mesh (30" minimum width by throat length plus 4") to the 2" x 4" weir (measuring throat length plus 2") as shown on the standard drawing.
2. Place a continuous piece of Geotextile Class E the same dimensions as the wire mesh over the wire mesh and securely attach it to the 2" x 4" weir.
3. Securely nail the 2" x 4" weir to a 9" long vertical spacer to be located between the weir and the inlet face (max. 4" apart).
4. Place the assembly against the inlet throat and nail (minimum 2" lengths of 2" x 4" to the top of the weir at spacer locations). These 2" x 4" anchors shall extend across the inlet top and be held in place by sandbags or alternate weight.
5. The assembly shall be placed so that the end spacers are a minimum 1" beyond both ends of the throat opening.
6. Form the 1/2" x 1/2" wire mesh and the geotextile fabric to the concrete gutter and against the face of the curb on both sides of the inlet. Place clean 3/4" x 1 1/2" stone over the wire mesh and geotextile in such a manner to prevent water from entering the inlet under or around the geotextile.
7. This type of protection must be inspected frequently and the filter cloth and stone replaced when clogged with sediment.
8. Assume that storm flow does not bypass the inlet by installing a temporary earth or asphalt dike to direct the flow to the inlet.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E - 16 - 58 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DRAINAGE AREA TABULATIONS

NO.	AREA	'C'	% IMP.	SOIL TYPE	ZONE
I-1	0.50 Ac.	0.72	-	C	POR
I-2	0.71 Ac.	0.72	-	C	POR
I-3	0.13 Ac.	0.72	-	C	POR
I-20	0.92 Ac.	0.72	-	C	POR



OWNER / DEVELOPER
DR. IRVING AND EDITH TAYLOR
C/O LAND DESIGN & DEVELOPMENT, INC.
8000 MAIN STREET
ELLCOTT CITY, MD 21043
ATTN: MR. DONALD R. REUWER
PHONE: (410) 480-9105

**SITE DEVELOPMENT PLAN
STORM DRAIN DRAINAGE AREA MAP
VILLAGE CREST
PARCEL A-1**

TAX MAP #25 BLOCK 20 PARCEL P/O 98
2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
7125 Riverwood Drive Columbia, Maryland 21046-2354
Phone: 410-290-9550 Fax: 410-720-8226
Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: RJ
DRAWN BY: RJ
CHECKED BY: JCO
DATE: JUNE 2002
SCALE: 1"=30'
W.O. NO.: 2018121.00

8 SHEET OF 8

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 8/1/02
CHIEF, DIVISION OF LAND DEVELOPMENT DATE 8/13/02
DIRECTOR DATE 8/15/02

NO.	REVISION	DATE
1	REVISE FLOOR AREAS AND ADD 8" WATER	6.12.03

PLAN
SCALE: 1"=30'

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWING.
 MISS UTILITY: 1-800-257-7777
 HOWARD COUNTY BUREAU OF UTILITIES: 313-2366
 AT&T CABLE LOCATION DIVISION: 393-3553
 B.G.&E. CO. CONTRACTOR SERVICES: 850-4620
 B.G.&E. CO. UNDERGROUND DAMAGE CONTROL: 787-4620
 STATE HIGHWAY ADMINISTRATION: 531-5533
- PROJECT BACKGROUND:**
 LOCATION : ELLICOTT CITY, MARYLAND; TAX MAP 25, PARCELS A-1 THRU E-1
 ZONING : POR
 SUBDIVISION : VILLAGE CREST - PARCELS A-1, A RESUBDIVISION OF WORTHINGTON FIELDS NON BUILDABLE PARCEL A.
 SECTION/AREA : N/A
 LIMIT OF DISTURBANCE, AREA :127194.24 SF OR 2.92 AC.
 P-00-07, S-99-18, S-00-05, F-01-60, P-01-20, F-02-47, F-02-112
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/ CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- ANY DAMAGE TO PUBLIC RIGHT-OF-WAYS, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS, FIELD SURVEYS, PUBLIC WATER AND AND SEWER EXTENSION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS
- ALL REINFORCED CONCRETE FOR STORM DRAIN STRUCTURES SHALL HAVE A MINIMUM OF 28 DAYS STRENGTH OF 3,500 P.S.I.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOIL TEST PRIOR TO CONSTRUCTION.
- ALL STORM DRAIN PIPE BEDDING SHALL BE CLASS 'C'.
- THE PROJECT BOUNDARY IS BASED ON A BOUNDARY SURVEY PERFORMED BY FISHER COLLINS & CARTER, INC. DATED DECEMBER 21, 1998.
- THE TOPOGRAPHY SHOWN HEREON IS BASED ON AERIAL PHOTOGRAMETIC SURVEY PERFORMED BY WINGS AERIAL MAPPING COMPANY DATED MARCH, 1995.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- ALL PAVING P-2, SEE DETAIL.
- APFO TRAFFIC STUDY NOT REQUIRED FOR THIS PROJECT. PROPOSED SITE IS GREATER THAN 1 MILE TO CLOSEST MAJOR COLLECTOR INTERSECTION.
- CONTRACTOR RESPONSIBLE TO CONSTRUCT ALL HANDICAP PARKING AND HANDICAP ACCESS IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS.
- ALL ELEVATIONS ARE TO FLOWLINE/BOTTOM OF CURB UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- PUBLIC WATER AND SEWER AVAILABLE THOUGH CONTRACT NO. 14-3855-D.
- ALL EXTERIOR SITE LIGHTING TO CONFORM TO SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
- BUILDING TO HAVE INSIDE WATER METER SETTING.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
 FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$22,530.00 FOR 40 SHADE TREES, 40 EVERGREEN TREES, AND 151 SHRUBS.
- STORMWATER MANAGEMENT TO BE PROVIDED BY WET POND, POND #1. THE FACILITY WILL BE HAZARD CLASS 'A', PRIVATELY OWNED AND MAINTAINED PER F-01-60.
- REF. 4TH EDITION OF THE HOWARD COUNTY SUBDIVISION AND LAND DIVISION REGULATIONS.
- AS A RESULT OF THE PRELIMINARY PLAN, P-01-20, FOR THIS SUBDIVISION, VILLAGE CREST, BEING SUBMITTED TO THE COUNTY FOR REVIEW PRIOR TO 11/15/01, THIS SITE DEVELOPMENT PLAN IS SUBJECT TO COMPLIANCE WITH THE FOURTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. IN ADDITION, BECAUSE THE PRELIMINARY PLAN FOR THE VILLAGE CREST SUBDIVISION DID OBTAIN SIGNATURE APPROVAL PRIOR TO 11/01/01, ON 09/17/01, THIS SITE DEVELOPMENT PLAN IS SUBJECT TO COMPLIANCE WITH THE ZONING REGULATIONS ADOPTED ON 10/18/93 AND AMENDED ON 07/12/01.
- THE FOREST CONSERVATION EASEMENTS HAVE BEEN ESTABLISHED FOR THE ENTIRE SUBDIVISION (F-02-47& F-02-112) TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY FOREST CONSERVATION ACT. NO CLEARING, GRADING, OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASMENT. FOREST MANAGEMENT PRACTICES AS DESCRIBED IN THE DEED OF FOREST CONSERVATION EASMENT ARE PERMITTED.
 AREA OF RETENTION: 3.43 AC.
 AREA OF REFORESTATION: 23.07 AC.
 AREA OF FOREST CONSERVATION: 17.29 AC.

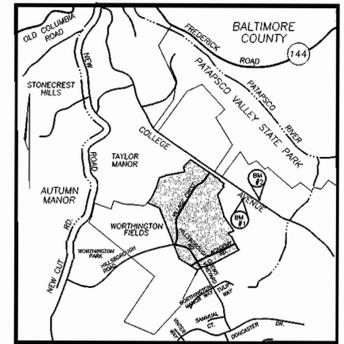
SITE DEVELOPMENT PLAN

VILLAGE CREST

PARCEL A-1

HOWARD COUNTY, MARYLAND

SHEET INDEX	
SHEET NO.	DESCRIPTION
1 of 8	COVER SHEET
2 of 8	SITE AND UTILITY PLAN
3 of 8	SITE DETAILS
4 of 8	PROFILES
5 of 8	GRADING AND SEDIMENT CONTROL PLAN
6 of 8	SEDIMENT AND EROSION CONTROL DETAILS
7 of 8	LANDSCAPE PLAN & DETAILS
8 of 8	STORM DRAIN DRAINAGE AREA MAP



VICINITY MAP
SCALE: 1"=2000'

BENCHMARKS

BENCHMARK NO. 1 COUNTY CONTROL #3044005R
 3/4" REBAR 0.8' BELOW SURFACE
 N. 578233.92, E. 1373142.33
 ELEV. = 374.389

BENCHMARK NO. 2 COUNTY CONTROL #3044004R
 3/4" REBAR 0.6' BELOW SURFACE
 N. 578128.03, E. 1373460.71
 ELEV. = 382.575

SITE ANALYSIS

AREA OF TRACT: 73.84 AC.
 AREA OF SITE: 2.77 AC.
 NO CHANGE IN THE INDICATED USES OR THE FLOOR AREA OF ANY USE IS PERMITTED WITHOUT THE PRIOR APPROVAL OF THE DPZ, DLD.

PROPOSED USE: RETAIL AND OFFICE
 RETAIL AND PERSONAL SERVICE USES LIMITED TO OCCUPY NO MORE THAN 25% OF THE TOTAL FLOOR AREA. (25% OF 22,543 = 5,640 SF)

AREA OF SUBMISSION: 1120661SF. (2.77 AC.)
 AREA OF DISTURBANCE: 113567 SF. (2.61 AC.)

BUILDING 11,582 SF. (0.27 AC.)
 SIDEWALK 2873 SF. (0.07 AC.)
 DUMPSTER 478 SF. (0.01 AC.)
 PAVING 34802 SF. (0.80 AC.)

IMPERVIOUS AREA
 41% OF SUBMISSION AREA

OPEN SPACE REMAINING:
 59% OF SUBMISSION AREA

BUILDING FOOTPRINT:
 LOWER FLOOR: 7302 SQ. FT.
 MIDDLE FLOOR: 11,269 SQ. FT.
 UPPER FLOOR: 3,012 SQ. FT.
 TOTAL: 22,543 SQ. FT.

PARKING SPACE TABULATIONS

OFFICE USE:
 3.3 SPACES PER 1000 SF
 @ 16,923 SF = 55.85 SPACES

RETAIL AND PERSONAL SERVICE USES:
 MAX. 25% OF THE TOTAL FLOOR AREA OF THE BUILDING
 25% OF 22,543 SQ. FT. = 5,640 SQ. FT.

5.0 SPACES PER 1000 SF
 @ 5,640 SF = 28.20 SPACES

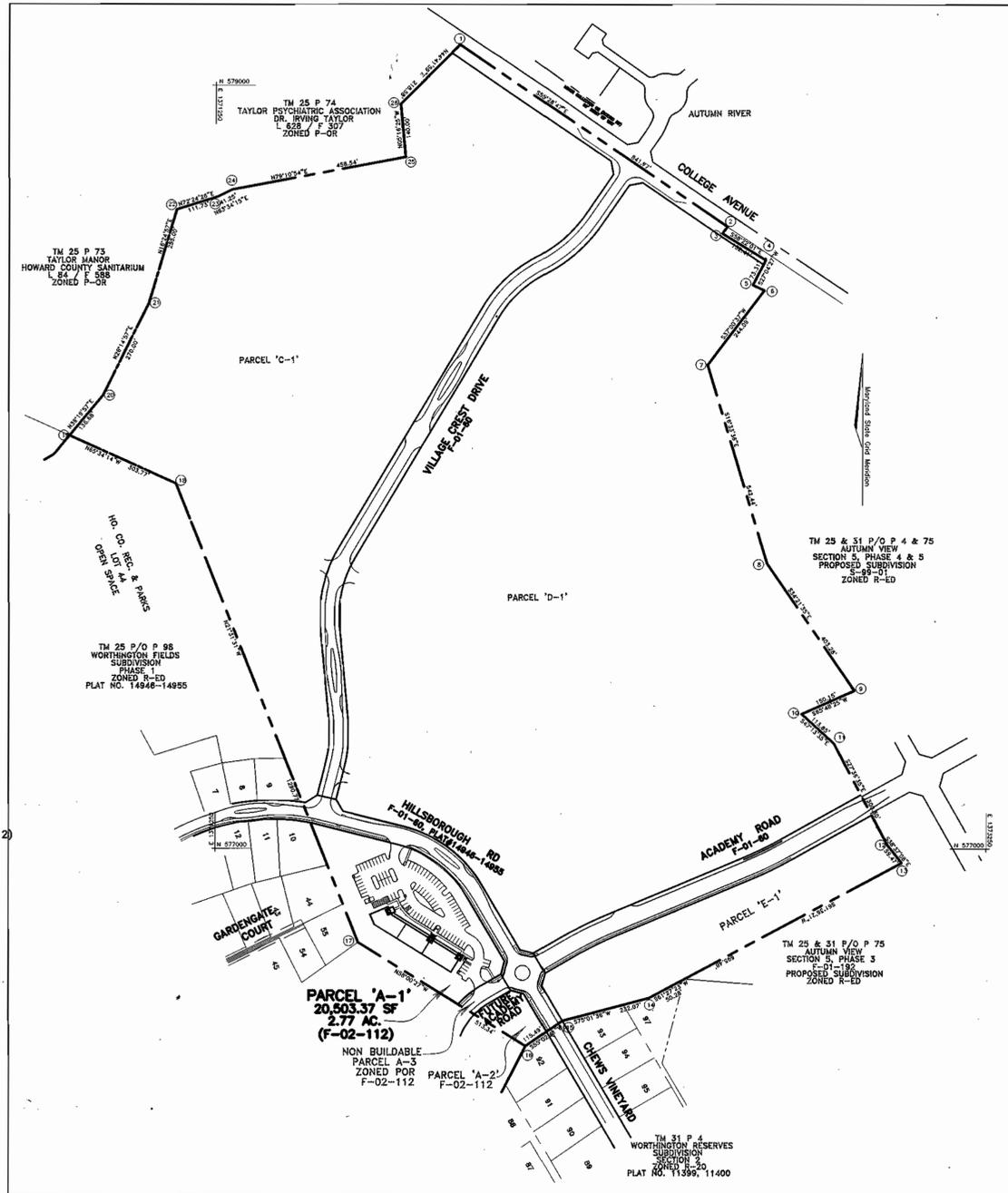
OTHER:
 "NO CHANGE IN THE INDICATED USES OR THE FLOOR AREA OF ANY USE IS PERMITTED WITHOUT THE PRIOR APPROVAL OF THE DEPARTMENT OF PLANING & ZONNING AND DEPARTMENT OF LAND DEVELOPMENT, HOWARD COUNTY, MD.

TOTAL SPACES REQUIRED = 85
 TOTAL SPACES PROVIDED = 91
 HANDICAPPED SPACES REQUIRED = 4
 HANDICAPPED SPACES PROVIDED = 4

BUILDING TABULATIONS

USE:
 LOWER LEVEL: OFFICE
 MIDDLE LEVEL: RETAIL/OFFICE
 UPPER LEVEL: OFFICE

LOWER FLOOR: 7302 SQ. FT.
 MIDDLE FLOOR: 11,269 SQ. FT.
 UPPER FLOOR: 3,012 SQ. FT.



LOCATION PLAN
SCALE: 1"=200'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

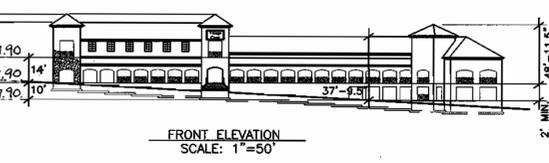
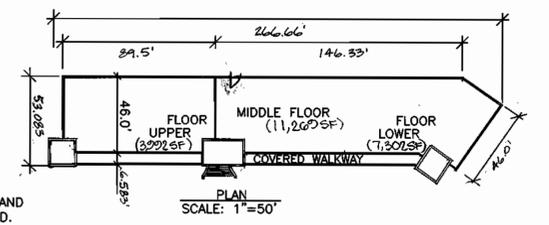
[Signature] 8/1/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 8/13/02
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 8/15/02
 DIRECTOR DATE

NO.	REVISION	DATE
2	ADD REAR DOOR & CORRECT PLUG TABS.	1.16.04
1	REVISE FLOOR AREAS AND ADD 8' WATER	6.12.03

ADDRESS CHART						
PARCEL NO.	STREET ADDRESS					
A-1	VILLAGE CREST DRIVE					
	8001 HILLSBOROUGH ROAD					
SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER				
VILLAGE CREST	N/A	A-1				
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELECT. DIST.	CENSUS TR.	
15359	20	POR	25	2ND	6027	
WATER CODE G-01		SEWER CODE 1253100				



OWNER / DEVELOPER
 DR. IRVING AND EDITH TAYLOR
 C/O LAND DESIGN & DEVELOPMENT, INC.
 8000 MAIN STREET
 ELLICOTT CITY, MD 21043
 ATTN: MR. DONALD R. REUWER
 PHONE: (410) 480-9105

SITE DEVELOPMENT PLAN
COVER SHEET
VILLAGE CREST
PARCEL A-1

TAX MAP #25 BLOCK 20
 2ND ELECTION DISTRICT

PARCEL P/O 98
 HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
 ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
 ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226
 SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: RJ
 DRAWN BY: RJ
 CHECKED BY: RHV
 DATE: JUNE 2002
 SCALE: AS SHOWN
 W.O. NO.: 2018121.00

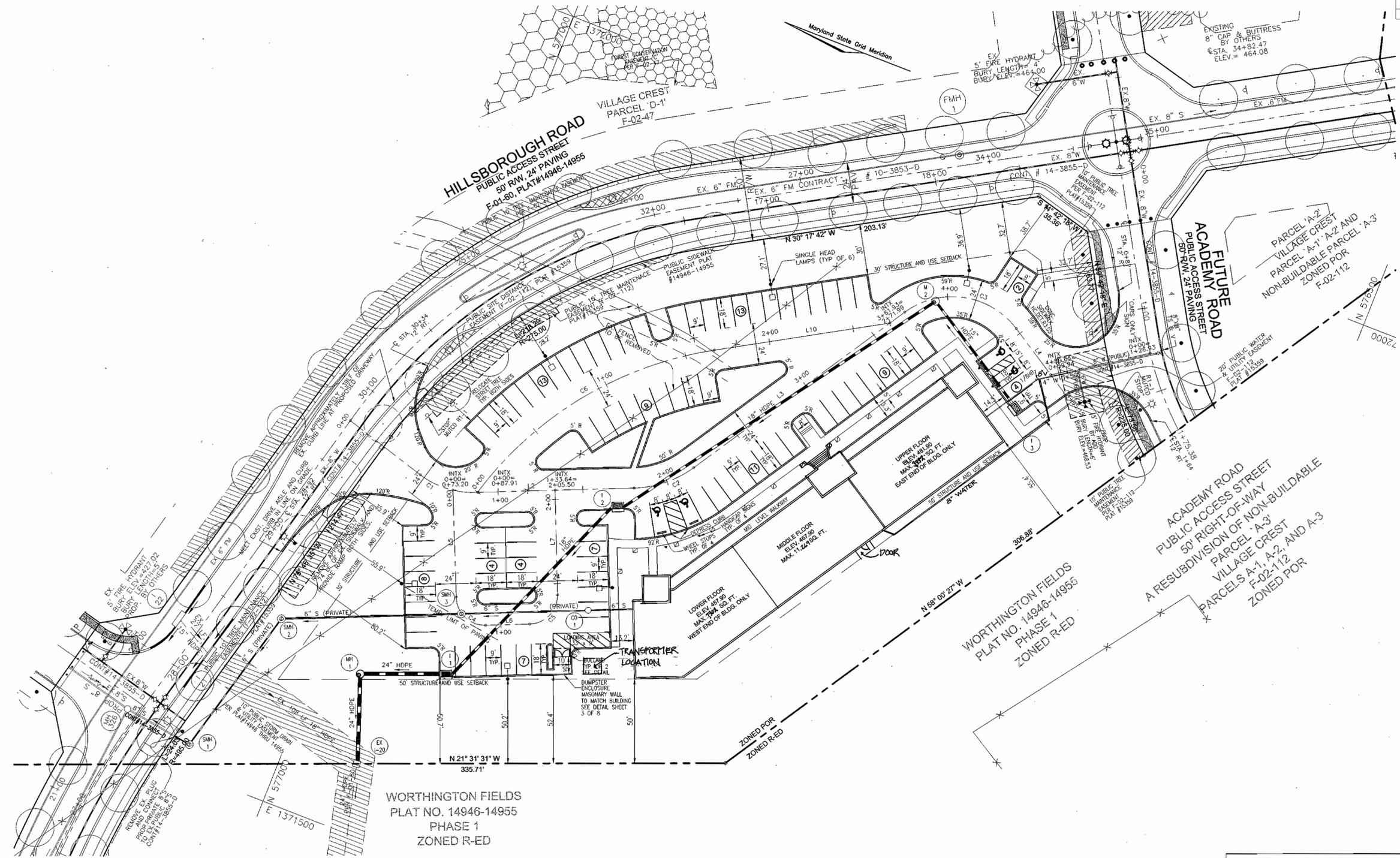
1 SHEET OF 8

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA ANGLE	TANGENT	CHORD DIRECTION	CHORD LENGTH
C1	34.44	50.00	39°28'11"	17.94	S03°16'22"E	33.77
C2	37.74	62.03	34°51'26"	19.47	S40°34'16"E	37.16
C3	73.78	47.10	89°45'19"	46.90	N13°00'28"W	66.47
C4	26.85	16.84	91°22'09"	17.24	S22°40'38"W	24.09
C5	26.47	16.84	90°05'02"	16.86	N68°02'58"W	23.83
C6	167.06	214.33	44°39'31"	88.03	N52°37'28"W	162.86

LINE TABLE		
LINE	LENGTH	BEARING
L1	52.17	S16°27'44"W
L2	91.62	N23°00'27"W
L3	154.79	N58°00'27"W
L4	48.63	N31°59'33"E
L5	64.09	N66°45'07"E
L6	26.00	N23°00'27"W
L7	62.10	S67°17'23"W
L8	37.43	N30°17'42"W
L9	15.58	N58°00'27"W
L10	104.93	N30°17'42"W

LEGEND

- PARKING LIGHT(6)
- STREET LIGHT (2)
150 WATT "PENDANT (CUT OFF)"
30' POLE
12' ARM
- EX. STREET TREE TO BE RELOCATED
- RELOCATED STREET TREE



WORTHINGTON FIELDS
PLAT NO. 14946-14955
PHASE 1
ZONED R-ED

PLAN
SCALE: 1"=30'

OWNER / DEVELOPER
DR. IRVING AND EDITH TAYLOR
C/O LAND DESIGN & DEVELOPMENT, INC.
8000 MAIN STREET
ELLCOTT CITY, MD 21043
ATTN: MR. DONALD R. REUWER
PHONE: (410) 480-9105

**SITE DEVELOPMENT PLAN
SITE AND UTILITY PLAN
VILLAGE CREST
PARCEL A-1**

TAX MAP #25 BLOCK 20 PARCEL P/O 98
2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226
SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

	DESIGN BY: <u> R.I. </u>
	DRAWN BY: <u> R.I. </u>
	CHECKED BY: <u> S.H.V. </u>
	DATE: <u> JUNE 2002 </u>
SCALE: <u> AS SHOWN </u>	W.O. NO.: <u> 2018121.00 </u>

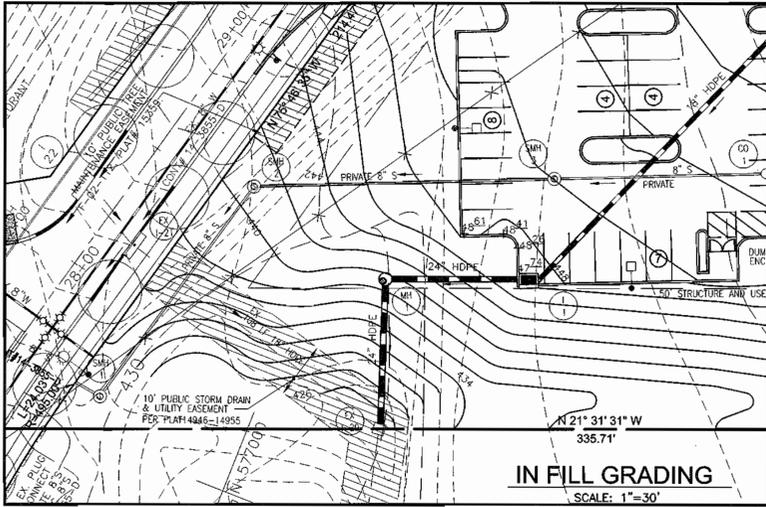
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

 [Signature] 2/1/02
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

 [Signature] 8/12/02
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DIRECTOR _____ DATE _____

NO.	REVISION	DATE
2	ADD REAR DOOR & CORRECT FLOOR AREA	1.16.04
1	REVISE FLOOR AREAS AND ADD WATER	6.12.03



TEMP. SEDIMENT TRAP II

Ex. drainage area: 2.65 Ac.
 Total storage required: 9540 Cf
 Total storage provided: 10,050 Cf
 Bottom dimensions: 15' x 84'
 Bottom elevation: 430.50'
 Crest elevation: 434.00'
 Wet storage elevation: 430.5' - 433.14' (2.64')
 Dry storage elevation: 433.14' - 434.00' (0.86')
 Total storage depth: 3.5'
 Top of embankment: 435.00'
 Cleanout elevation: 431.80'
 Side slopes: 2:1

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

Jim Myers 7/3/02
 MDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

John R. Blanton 7/3/02
 HOWARD SCD DATE

DEVELOPER'S CERTIFICATE

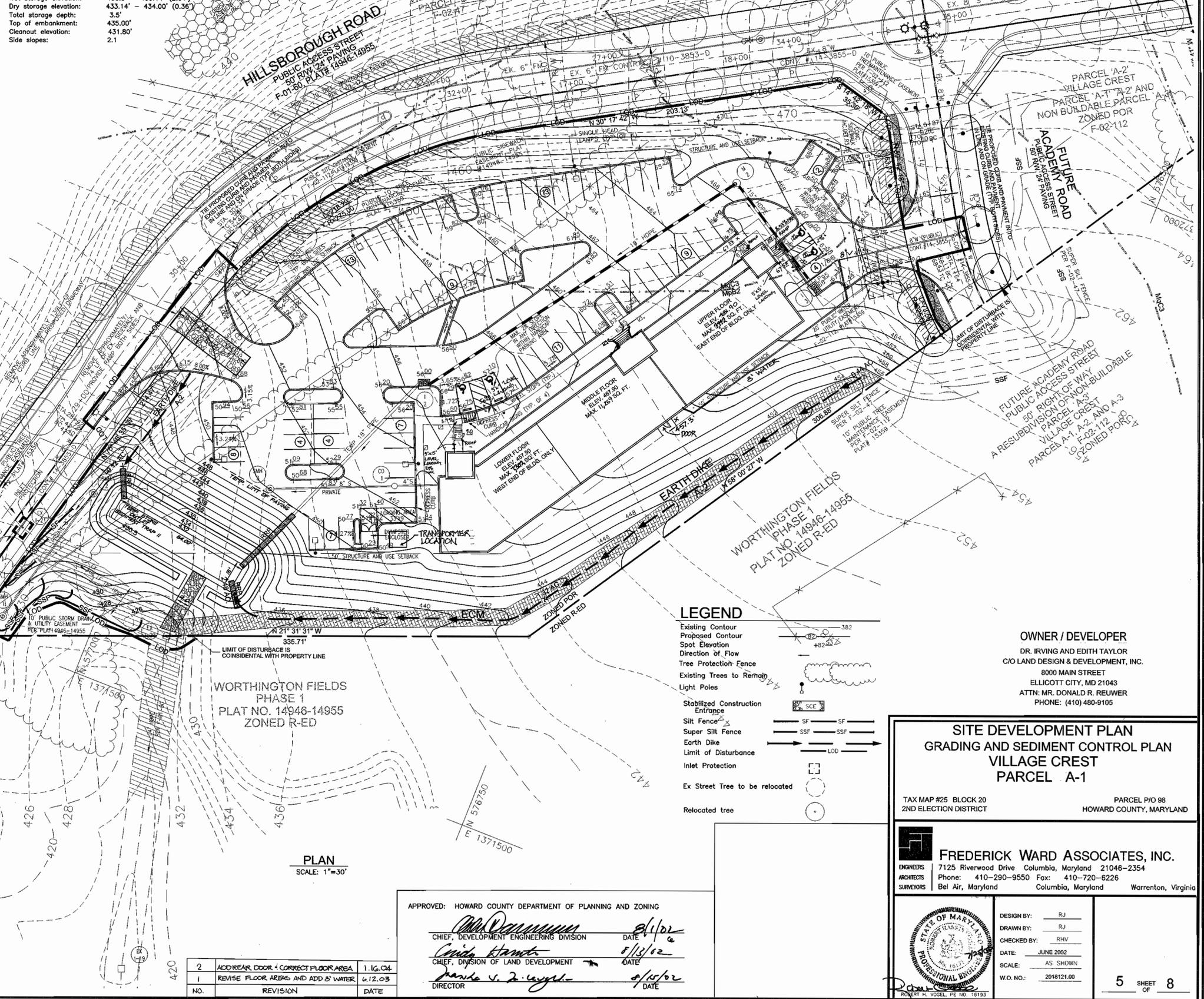
I, WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

Robert H. Vogel 7/25/02
 SIGNATURE OF DEVELOPER DATE

ENGINEERS CERTIFICATE

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Robert H. Vogel 7/25/02
 SIGNATURE OF ENGINEER DATE
 ROBERT H. VOGEL



PLAN
 SCALE: 1"=30'

NO.	REVISION	DATE
2	ADD REAR DOOR & CORRECT FLOOR AREA	1.16.04
1	REVISE FLOOR AREAS AND ADD 6" WATER	6.12.03

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Michael P. ... 8/1/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Chris ... 8/13/02
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Janice ... 8/15/02
 DIRECTOR DATE

OWNER / DEVELOPER
 DR. IRVING AND EDITH TAYLOR
 C/O LAND DESIGN & DEVELOPMENT, INC.
 8000 MAIN STREET
 ELLICOTT CITY, MD 21043
 ATTN: MR. DONALD R. REULWER
 PHONE: (410) 480-9105

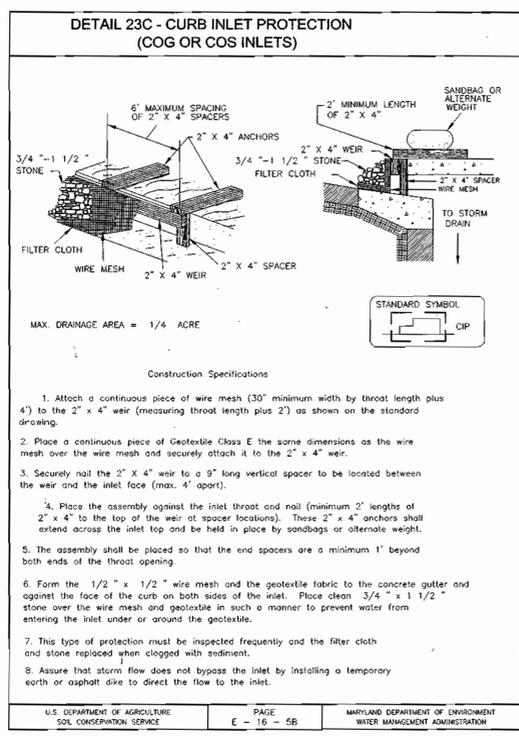
SITE DEVELOPMENT PLAN
GRADING AND SEDIMENT CONTROL PLAN
VILLAGE CREST
PARCEL A-1

TAX MAP #25 BLOCK 20 PARCEL P/O 98
 2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
 ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
 ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226
 SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

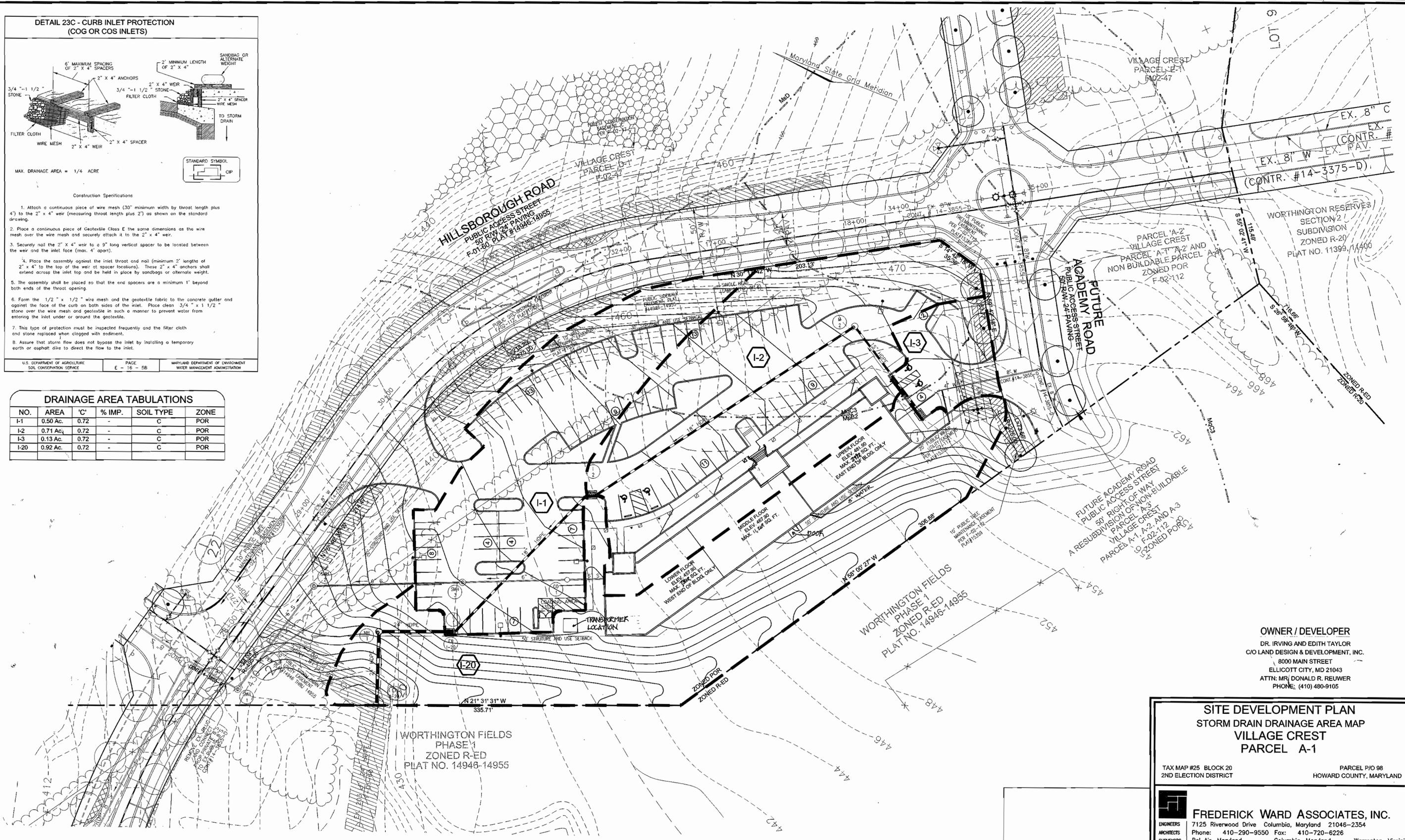
DESIGN BY: RJ
 DRAWN BY: RJ
 CHECKED BY: RHV
 DATE: JUNE 2002
 SCALE: AS SHOWN
 W.O. NO.: 2018121.00

5 SHEET OF 8



DRAINAGE AREA TABULATIONS

NO.	AREA	'C'	% IMP.	SOIL TYPE	ZONE
I-1	0.50 Ac.	0.72	-	C	POR
I-2	0.71 Ac.	0.72	-	C	POR
I-3	0.13 Ac.	0.72	-	C	POR
I-20	0.92 Ac.	0.72	-	C	POR



OWNER / DEVELOPER
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C/O LAND DESIGN & DEVELOPMENT, INC.
8000 MAIN STREET
ELLCOTT CITY, MD 21043
ATTN: MR. DONALD R. REIJWER
PHONE: (410) 480-9105

SITE DEVELOPMENT PLAN
STORM DRAIN DRAINAGE AREA MAP
VILLAGE CREST
PARCEL A-1

TAX MAP #25 BLOCK 20 PARCEL P/O 98
2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226
SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: RJ
DRAWN BY: RJ
CHECKED BY: JCO
DATE: JUNE 2002
SCALE: 1"=30'
W.O. NO.: 2018121.00

8 SHEET OF 8

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 8/1/02
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 8/13/02
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 8/15/02
DIRECTOR DATE

NO.	REVISION	DATE
2	ADD REAR DOOR & CORRECT FLOOR AREA	1.16.04
1	REVISE FLOOR AREAS AND ADD 8" WATER	6.12.03

PLAN
SCALE: 1"=30'

LANDSCAPE SCHEDULE				
KEY	QUAN.	BOTANICAL NAME	SIZE	REM.
AR	21	ACER RUBRUM 'OCTOBER GLORY' 'OCTOBER GLORY' RED MAPLE	2 1/2"-3" Cal.	B & B
CL	6	CLADRASTIS LUTEA 'SWEETSHADE' SWEETSHADE YELLOWWOOD	2 1/2"-3" Cal.	B & B
IC	171	ILEX CORNATA 'ROTUNDFOLIA' ROUNDLEAF JAPANESE HOLLY @ 4' OC	2 1/2"-3" Ht.	B & B OR CONT.
IN	7	ILEX 'NELLIE STEVENS' NELLIE STEVENS HOLLY	5' - 6' Ht.	B & B OR CONT.
OI	20	OSMANTHUS ILLICIFOLIUS 'GULFTIDE' GULFTIDE OSMANTHUS	2 1/2"-3" Cal.	B & B
PA	18	PHILODENDRON AMURENSE 'SHADEMASTER' SHADEMASTER AMUR CORKTREE	2 1/2"-3" Ht.	B & B
PS	40	PINUS STROBUS WHITE PINE	6' - 8' Ht.	B & B

- ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT AAS SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH LCMW PLANTING SPECIFICATIONS.
- MAINTENANCE TO INCLUDE MONITORING AND HAND WATERING AS NEEDED FOR THE FIRST TWO GROWING SEASONS TO ESTABLISH WOODY PLANTS. SPECIALIZED PLANTING AREAS INCLUDING INTERIOR COURTYARDS AND ANNUAL BEDS MAY REQUIRE REGULAR HAND WATERING OR IRRIGATION.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
- CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.

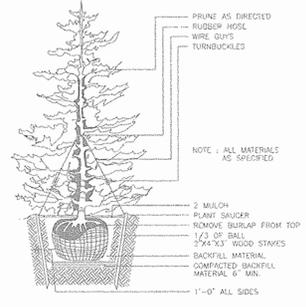
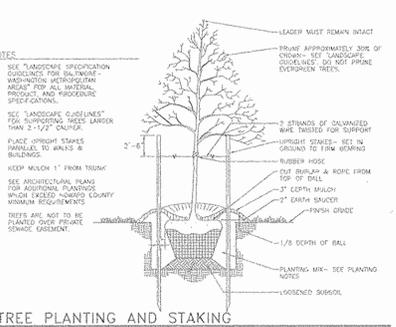
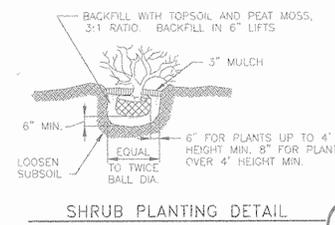
SCHEDULE B PARKING LOT INTERNAL LANDSCAPING	
Number of parking spaces	91
Number of trees & islands required	5
Number of trees & islands provided	10

CATEGORY	ADJACENT TO PERIMETER PROPERTIES				ADJACENT TO ROADWAYS			
	1	2	3	4	5	6	7	8
Perimeter/Frontage Designation Landscape Type	C	D	C	C	E	E	E	B
Linear Feet of Roadway Frontage/Perimeter	224	45	374	48	86	430	83	137
Credit for Existing Vegetation (Yes, No, Linear Feet Describe below if needed)	No	No	No	No	No	No	No	No
Credit for Wall, Fence or Berm (Yes, No, Linear Feet Describe below if needed)	No	No	No	No	No	No	No	No
Number of Plants Required	1:40	6:160	1:40	9:140	1:40	2:140	11:140	2:150
Evergreen Trees	1:2011	1:10	5:120	19:120	2:--	--	--	1:40
Shrubs	--	--	--	--	1:4	22:108	1:4	21:--
Number of Plants Provided								
Shade Trees	6	1	9	1	2	11	2	3
Evergreen Trees	11	11	20	2	--	--	--	3
Other Trees (2:1 Substitution)	--	--	--	--	--	--	--	--
Shrubs (10:1 Substitution)	--	--	--	3	25	124	39	--
Describe Plant Substitution Credits Below if needed								

* Existing Woods to Remain

GENERAL NOTES

- This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual. The required parking and perimeter landscaping will be bonded per this submission.
- Financial Surety for the required landscaping must be posted as part of the Grading Permit in the amount of \$22,530.00 for 40 shade trees, 40 evergreen trees, and 151 shrubs.
- Parking light poles to be Kim Lighting standard Entablature, 25' black steel round poles, flush mount. 250 watt metal Halide.
- Perimeter landscape materials which cannot be located within perimeters 4-8 will be relocated to perimeters 1-3 adjacent to Worthington Fields. Arrows are shown pointing from provided trees to their respective perimeters.



OWNER / DEVELOPER
DR. IRVING AND EDITH TAYLOR
C/O LAND DESIGN & DEVELOPMENT, INC.
8000 MAIN STREET
ELLICOTT CITY, MD 21043
ATTN: MR. DONALD R. REUVER
PHONE: (410) 480-9105

SITE DEVELOPMENT PLAN
LANDSCAPE PLAN & DETAILS
VILLAGE CREST
PARCEL A-1
TAX MAP #25 BLOCK 20
2ND ELECTION DISTRICT
PARCEL P/O 98
HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
7125 Riverwood Drive Columbia, Maryland 21046-2354
Phone: 410-290-9550 Fax: 410-720-6225
Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

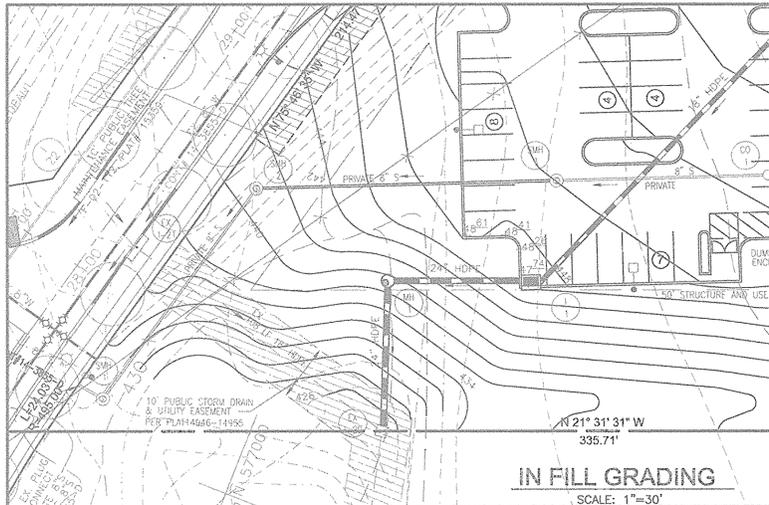
DESIGN BY: MMH
DRAWN BY: MMH/SJ
CHECKED BY: MMH
DATE: JUNE 2002
SCALE: AS SHOWN
W.O. NO.: 2018121.00
7 SHEET OF 8

DEVELOPER'S BUILDER'S CERTIFICATE
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE(1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
[Signatures and Dates]
CHIEF, DEVELOPMENT ENGINEERING DIVISION
CHIEF, DIVISION OF LAND DEVELOPMENT
DIRECTOR

NO.	REVISION	DATE
3	ADD NEW DOOR, STEPS, SIDEWALK & GRASS TRAP	4-12-07
2	ADD REAR DOOR & CORRECT FLOOR AREA	1.16.04
1	REVISE FLOOR AREAS AND ADD 8" WATER	4.12.03

K:\PROJECTS\2010121\VENIS\img\SDP1\WTA_NPL_A1.dwg Tue Jun 18 13:16:13 2002 MMH



TEMP. SEDIMENT TRAP II

Ex. drainage area: 2.65 Ac.
 Total storage required: 9540 CF
 Total storage provided: 10,050 CF
 Bottom dimensions: 15' x 84'
 Bottom elevation: 430.50'
 Crest elevation: 434.00'
 Wet storage elevation: 430.5' - 433.14' (2.64')
 Dry storage elevation: 433.14' - 434.00' (0.36')
 Total storage depth: 3.5'
 Top of embankment: 435.00'
 Cleanout elevation: 431.80'
 Side slopes: 2:1

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

Jim Meyer 7/3/02
 DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT

John R. Blunt 7/3/02
 DATE

DEVELOPER'S CERTIFICATE

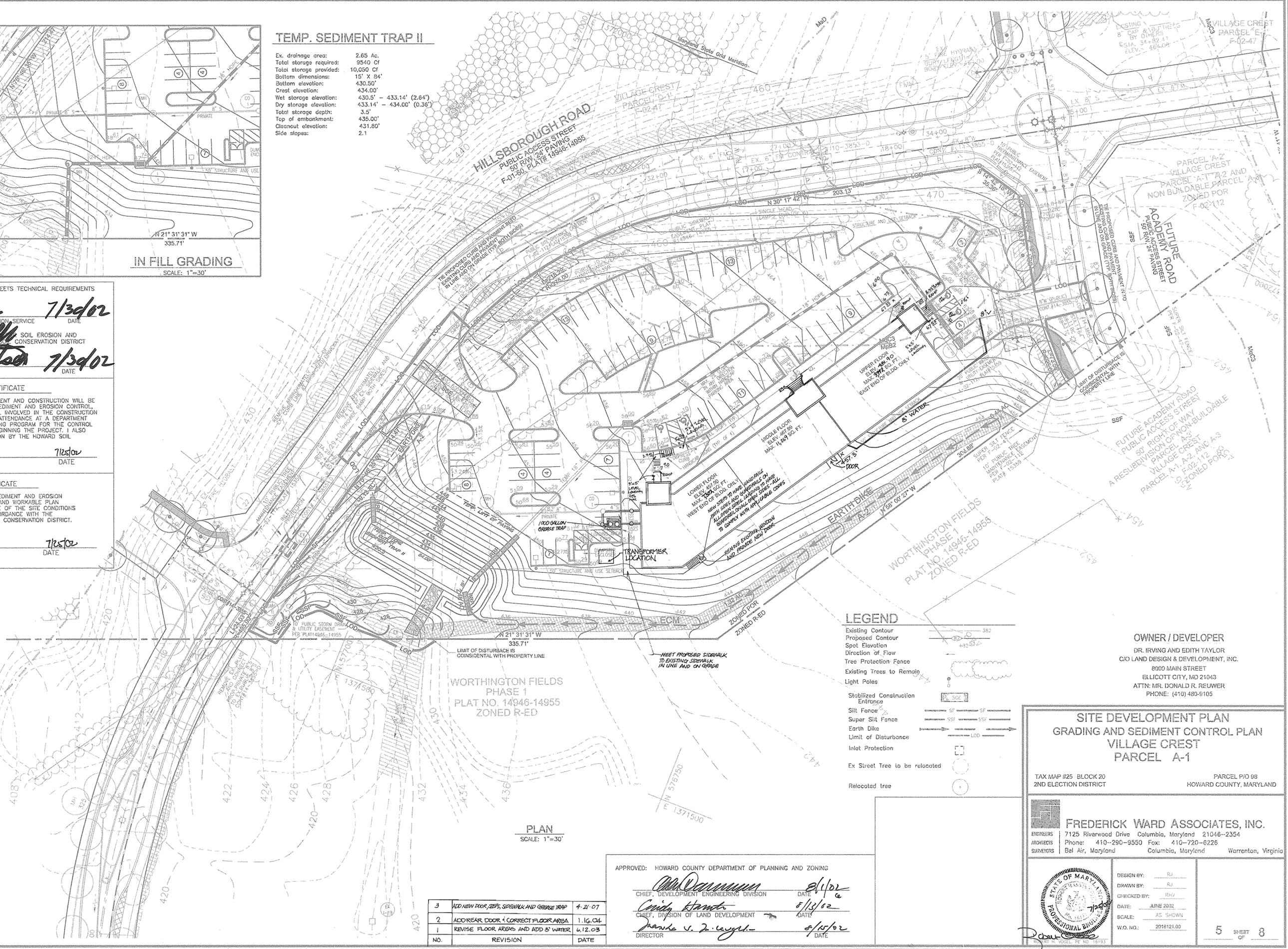
"I, WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY CONSERVATION DISTRICT.

John R. Blunt 7/3/02
 SIGNATURE OF DEVELOPER DATE

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT.

Robert H. Vogel 7/3/02
 SIGNATURE OF ENGINEER DATE



PLAN
 SCALE: 1"=30'

NO.	REVISION	DATE
3	ADD NEW POOR, SEPS, SIDEWALK AND GREASE TRAP	4-21-07
2	ADD REAR DOOR & CORRECT FLOOR AREA	1-16-04
1	REVISE FLOOR AREAS AND ADD S' WATER	6-12-03

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chris Hand 8/15/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Chris Hand 8/15/02
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Marsha S. Ziegler 8/15/02
 DIRECTOR DATE

LEGEND

- Existing Contour
- Proposed Contour
- Spot Elevation
- Direction of Flow
- Tree Protection Fence
- Existing Trees to Remain
- Light Poles
- Stabilized Construction Entrance
- Silt Fence
- Super Silt Fence
- Earth Dike
- Limit of Disturbance
- Inlet Protection
- Ex Street Tree to be relocated
- Relocated tree

OWNER / DEVELOPER
 DR. IRVING AND EDITH TAYLOR
 CIO LAND DESIGN & DEVELOPMENT, INC.
 8000 MAIN STREET
 ELLICOTT CITY, MD 21043
 ATTN: MR. DONALD R. REUWER
 PHONE: (410) 480-9105

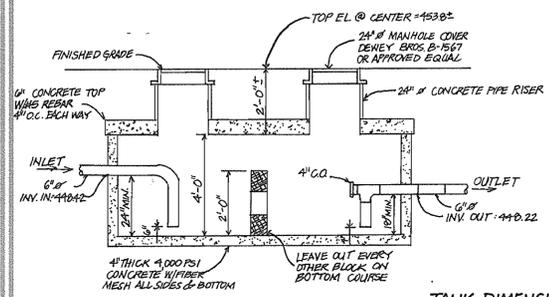
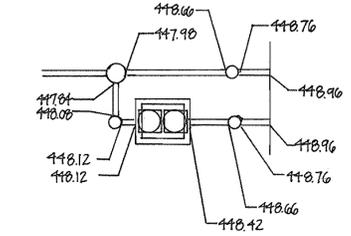
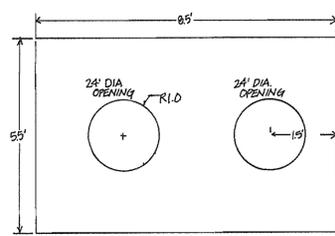
**SITE DEVELOPMENT PLAN
 GRADING AND SEDIMENT CONTROL PLAN
 VILLAGE CREST
 PARCEL A-1**

TAX MAP #25 BLOCK 20 PARCEL P/O 98
 2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
 ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
 ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226
 SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: RJ
 DRAWN BY: RJ
 CHECKED BY: RHV
 DATE: JUNE 2002
 SCALE: AS SHOWN
 W.O. NO.: 2018121.00

5 SHEET OF 8

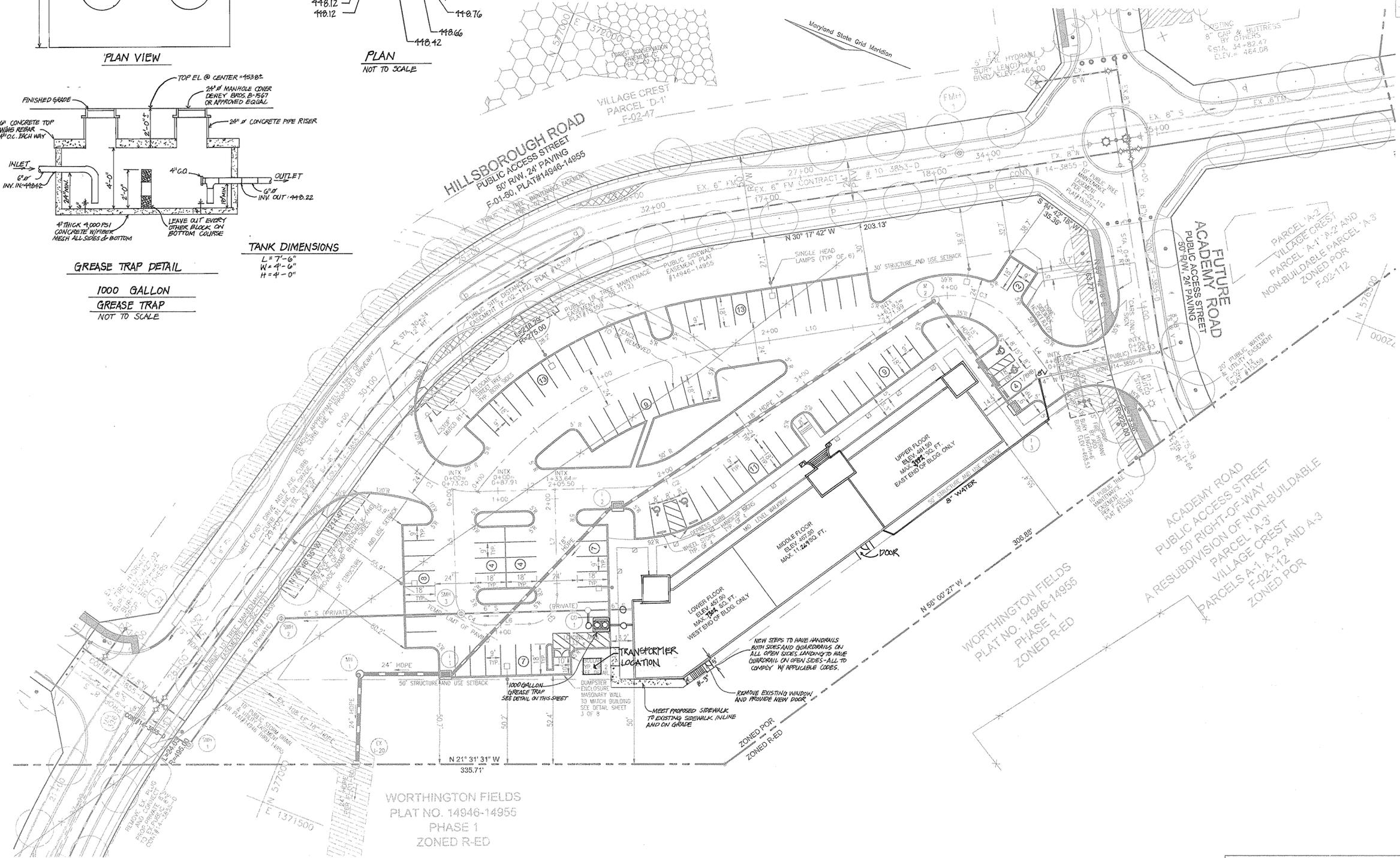
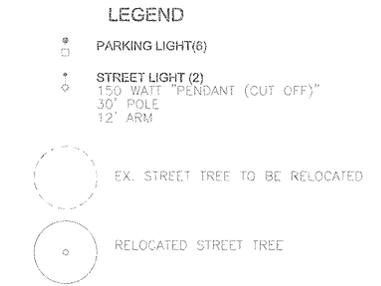


TANK DIMENSIONS
 L = 7'-6"
 W = 4'-6"
 H = 4'-0"

1000 GALLON GREASE TRAP
 NOT TO SCALE

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA ANGLE	TANGENT	CHORD DIRECTION	CHORD LENGTH
C1	34.44	50.00	39°28'11"	17.94	S03°16'22"E	33.77
C2	37.74	62.03	34°51'26"	19.47	S40°34'16"E	37.16
C3	73.78	47.10	89°45'19"	46.90	N13°00'28"W	66.47
C4	26.85	16.84	91°22'09"	17.24	S22°40'38"W	24.09
C5	26.47	16.84	90°05'02"	16.86	N68°02'58"W	23.83
C6	167.06	214.33	44°39'31"	88.03	N52°37'28"W	162.86

LINE TABLE		
LINE	LENGTH	BEARING
L1	52.17	S16°27'44"W
L2	91.62	N23°00'27"W
L3	154.79	N58°00'27"W
L4	48.63	N31°59'33"E
L5	64.09	N66°45'07"E
L6	26.00	N23°00'27"W
L7	62.10	S67°17'23"W
L8	37.43	N30°17'42"W
L9	15.58	N58°00'27"W
L10	104.93	N30°17'42"W



WORTHINGTON FIELDS
 PLAT NO. 14946-14955
 PHASE 1
 ZONED R-ED

PLAN
 SCALE: 1"=30'

OWNER / DEVELOPER
 DR. IRVING AND EDITH TAYLOR
 C/O LAND DESIGN & DEVELOPMENT, INC.
 8000 MAIN STREET
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 ATTN: MR. DONALD R. REUWER
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SITE DEVELOPMENT PLAN
 SITE AND UTILITY PLAN
 VILLAGE CREST
 PARCEL A-1
 TAX MAP #25 BLOCK 20
 2ND ELECTION DISTRICT
 PARCEL PIO 98
 HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
 ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
 ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6225
 SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] 8/1/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
 [Signature] 8/13/02
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
 DIRECTOR DATE

NO.	REVISION	DATE
3	ADD NEW DOOR, STEPS, SIDEWALK AND GREASE TRAP	4-12-07
2	ADD REAR DOOR & CORRECT FLOOR AREAS	1.16.04
1	REVISE FLOOR AREAS AND ADD 8" WATER	6.12.03

DESIGN BY: [Signature]
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 DATE: JUNE 2002
 SCALE: AS SHOWN
 W.O. NO.: 2018121.00
 2 SHEET OF 8

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS.
 MISS UTILITY: 1-800-257-7777
 HOWARD COUNTY BUREAU OF UTILITIES: 313-2366
 AT&T CABLE LOCATION DIVISION: 393-3553
 B.G.&E. CO. CONTRACTOR SERVICES: 850-4620
 B.G.&E. CO. UNDERGROUND DAMAGE CONTROL: 767-4620
 STATE HIGHWAY ADMINISTRATION: 531-5533
- PROJECT BACKGROUND:
 LOCATION: ELLICOTT CITY, MARYLAND; TAX MAP 25, PARCELS A-1 THRU E-1
 ZONING: POR
 SUBDIVISION: VILLAGE CREST -- PARCELS A-1, A RESUBDIVISION OF WORTHINGTON FIELDS NON BUILDABLE PARCEL A.
 SECTION/AREA: N/A
 LIMIT OF DISTURBANCE, AREA: 127194.24 SF OR 2.92 AC.
 P-00-07, S-99-18, S-00-05, F-01-60, P-01-20, F-02-47, F-02-112
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- ANY DAMAGE TO PUBLIC RIGHT-OF-WAYS, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS, FIELD SURVEYS, PUBLIC WATER AND AND SEWER EXTENSION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS
- ALL REINFORCED CONCRETE FOR STORM DRAIN STRUCTURES SHALL HAVE A MINIMUM OF 28 DAYS STRENGTH OF 3,500 P.S.I.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOIL TEST PRIOR TO CONSTRUCTION.
- ALL STORM DRAIN PIPE BEDDING SHALL BE CLASS 'C'.
- THE PROJECT BOUNDARY IS BASED ON A BOUNDARY SURVEY PERFORMED BY FISHER COLLINS & CARTER, INC. DATED DECEMBER 21, 1998.
- THE TOPOGRAPHY SHOWN HEREON IS BASED ON AERIAL PHOTOGRAMETRIC SURVEY PERFORMED BY WINGS AERIAL MAPPING COMPANY DATED MARCH, 1995.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- ALL PAVING P-2, SEE DETAIL.
- APFO TRAFFIC STUDY NOT REQUIRED FOR THIS PROJECT. PROPOSED SITE IS GREATER THAN 1 MILE TO CLOSEST MAJOR COLLECTOR INTERSECTION.
- CONTRACTOR RESPONSIBLE TO CONSTRUCT ALL HANDICAP PARKING AND HANDICAP ACCESS IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS.
- ALL ELEVATIONS ARE TO FLOWLINE/BOTTOM OF CURB UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- PUBLIC WATER AND SEWER AVAILABLE THROUGH CONTRACT NO. 14-3855-D.
- ALL EXTERIOR SITE LIGHTING TO CONFORM TO SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
- BUILDING TO HAVE INSIDE WATER METER SETTING.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
 FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$22,530.00 FOR 40 SHADE TREES, 40 EVERGREEN TREES, AND 151 SHRUBS.
- STORMWATER MANAGEMENT TO BE PROVIDED BY WET POND, POND #1. THE FACILITY WILL BE HAZARD CLASS 'A', PRIVATELY OWNED AND MAINTAINED PER F-01-60.
- REF. 4TH EDITION OF THE HOWARD COUNTY SUBDIVISION AND LAND DIVISION REGULATIONS.
- AS A RESULT OF THE PRELIMINARY PLAN, P-01-20, FOR THIS SUBDIVISION, VILLAGE CREST, BEING SUBMITTED TO THE COUNTY FOR REVIEW PRIOR TO 11/15/01, THIS SITE DEVELOPMENT PLAN IS SUBJECT TO COMPLIANCE WITH THE FOURTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. IN ADDITION, BECAUSE THE PRELIMINARY PLAN FOR THE VILLAGE CREST SUBDIVISION DID OBTAIN SIGNATURE APPROVAL PRIOR TO 11/01/01, ON 09/17/01, THIS SITE DEVELOPMENT PLAN IS SUBJECT TO COMPLIANCE WITH THE ZONING REGULATIONS ADOPTED ON 10/18/93 AND AMENDED ON 07/12/01.
- THE FOREST CONSERVATION EASEMENTS HAVE BEEN ESTABLISHED FOR THE ENTIRE SUBDIVISION (F-02-47& F-02-112) TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY FOREST CONSERVATION ACT. NO CLEARING, GRADING, OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASMENT. FOREST MANAGEMENT PRACTICES AS DESCRIBED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE PERMITTED.
 AREA OF RETENTION: 3.43 AC.
 AREA OF REFORESTATION: 23.07 AC.
 AREA OF FOREST CONSERVATION: 17.29 AC.

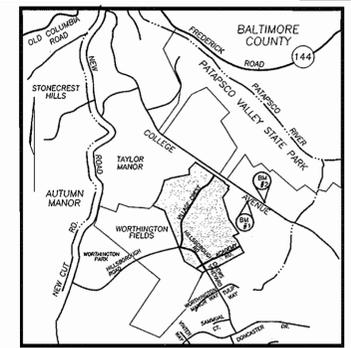
SITE DEVELOPMENT PLAN

VILLAGE CREST

PARCEL A-1

HOWARD COUNTY, MARYLAND

SHEET INDEX	
SHEET NO.	DESCRIPTION
1 of 8	COVER SHEET
2 of 8	SITE AND UTILITY PLAN
3 of 8	SITE DETAILS
4 of 8	PROFILES
5 of 8	GRADING AND SEDIMENT CONTROL PLAN
6 of 8	SEDIMENT AND EROSION CONTROL DETAILS
7 of 8	LANDSCAPE PLAN & DETAILS
8 of 8	STORM DRAIN DRAINAGE AREA MAP



VICINITY MAP
SCALE: 1"=2000'

BENCHMARKS

BENCHMARK NO. 1, COUNTY CONTROL #3044005R
 3/4" REBAR 0.8' BELOW SURFACE
 N. 578233.92, E. 1373142.33
 ELEV. = 374.389

BENCHMARK NO. 2, COUNTY CONTROL #3044004R
 3/4" REBAR 0.6' BELOW SURFACE
 N. 578128.03, E. 1373460.71
 ELEV. = 362.575

SITE ANALYSIS

AREA OF TRACT: 73.84 AC.
 AREA OF SITE: 2.77 AC.
 NO CHANGE IN THE INDICATED USES OR THE FLOOR AREA OF ANY USE IS PERMITTED WITHOUT THE PRIOR APPROVAL OF THE DPZ, DLD.

PROPOSED USE: RETAIL AND OFFICE
 RETAIL AND PERSONAL SERVICE USES LIMITED TO OCCUPY NO MORE THAN 25% OF THE TOTAL FLOOR AREA. (25% OF 22,563 = 5,640 SF)

AREA OF SUBMISSION: 1120661SF. (2.77 AC.)
 AREA OF DISTURBANCE: 113567 SF. (2.61 AC.)

BUILDING 11,582 SF. (0.27 AC.)
 SIDEWALK 2873 SF. (0.07 AC.)
 DUMPSTER 476 SF. (0.01 AC.)
 PAVING 34802 SF. (0.80 AC.)

IMPERVIOUS AREA
 41% OF SUBMISSION AREA

OPEN SPACE REMAINING:
 59% OF SUBMISSION AREA

BUILDING FOOTPRINT:
 LOWER FLOOR: 7302 SQ. FT.
 MIDDLE FLOOR: 11,269 SQ. FT.
 UPPER FLOOR: 3112 SQ. FT.
 TOTAL: 22,563 SQ. FT.

PARKING SPACE TABULATIONS

OFFICE USE:
 3.3 SPACES PER 1,000 SF
 @ 14,078 SF = 46.40 SPACES

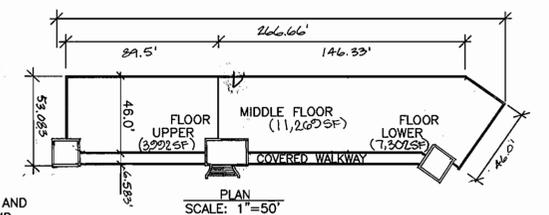
RETAIL AND PERSONAL SERVICE USES:
 MAX. 25% OF THE TOTAL FLOOR AREA OF THE BUILDING
 25% OF 22,563 SQ. FT. = 5,640 SQ. FT.

5.0 SPACES PER 1,000 SF
 @ 5,640 SF = 28.20 SPACES

RESTAURANT:
 2.0 SF @ 14 SPACES / 1,000 SF = 40 SPACES

OTHER:
 *NO CHANGE IN THE INDICATED USES OR THE FLOOR AREA OF ANY USE IS PERMITTED WITHOUT THE PRIOR APPROVAL OF THE DEPARTMENT OF PLANNING & ZONING AND DEPARTMENT OF LAND DEVELOPMENT, HOWARD COUNTY, MD.

TOTAL SPACES REQUIRED = 95
 TOTAL SPACES PROVIDED = 91
 HANDICAPPED SPACES REQUIRED = 4
 HANDICAPPED SPACES PROVIDED = 4



BUILDING TABULATIONS

USE:
 LOWER LEVEL: OFFICE
 MIDDLE LEVEL: RETAIL/OFFICE
 UPPER LEVEL: OFFICE

LOWER FLOOR: 7302 SQ. FT.
 MIDDLE FLOOR: 11,269 SQ. FT.
 UPPER FLOOR: 3112 SQ. FT.

USE REQUIRED	SHARED PARKING TABULATION						
	WEEKDAY	WEEKEND	NIGHT	WEEKDAY	WEEKEND	NIGHT	
OFFICE	100%	100%	100%	10%	10%	5%	5%
RETAIL	20%	60%	60%	4%	4%	2%	2%
RESTAURANT	5%	16%	16%	25%	28%	19%	1%
TOTAL	63	84	84	70	79	62	8

TOTAL PARKING REQUIRED WITHOUT SHARING = 115 SPACES
 TOTAL PARKING REQUIRED WITH SHARING = 84 SPACES
 TOTAL PARKING PROVIDED = 91 SPACES

OWNER / DEVELOPER

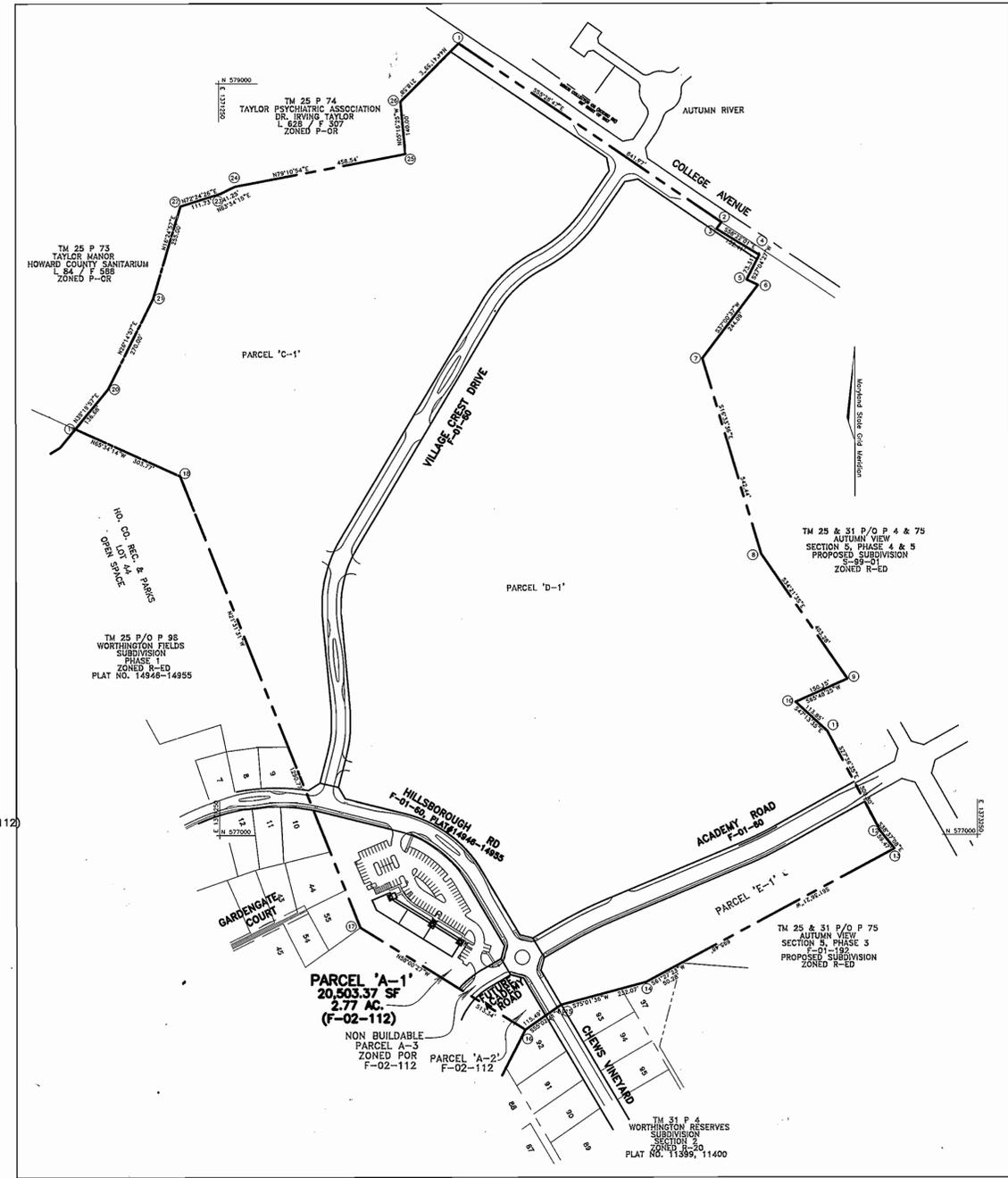
DR. IRVING AND EDITH TAYLOR
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 8000 MAIN STREET
 ELLICOTT CITY, MD 21043
 ATTN: MR. DONALD R. REIWER
 PHONE: (410) 480-9105

SITE DEVELOPMENT PLAN
COVER SHEET
VILLAGE CREST
PARCEL A-1

TAX MAP #25 BLOCK 20 PARCEL P/O 98
 2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
 7125 Riverwood Drive Columbia, Maryland 21046-2354
 Phone: 410-290-9550 Fax: 410-720-6226
 ARCHITECTS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia
 SURVEYORS

DESIGN BY: RJ
 DRAWN BY: RJ
 CHECKED BY: RHW
 DATE: JUNE 2002
 SCALE: AS SHOWN
 W.O. NO.: 2018121.00



LOCATION PLAN
SCALE: 1"=200'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

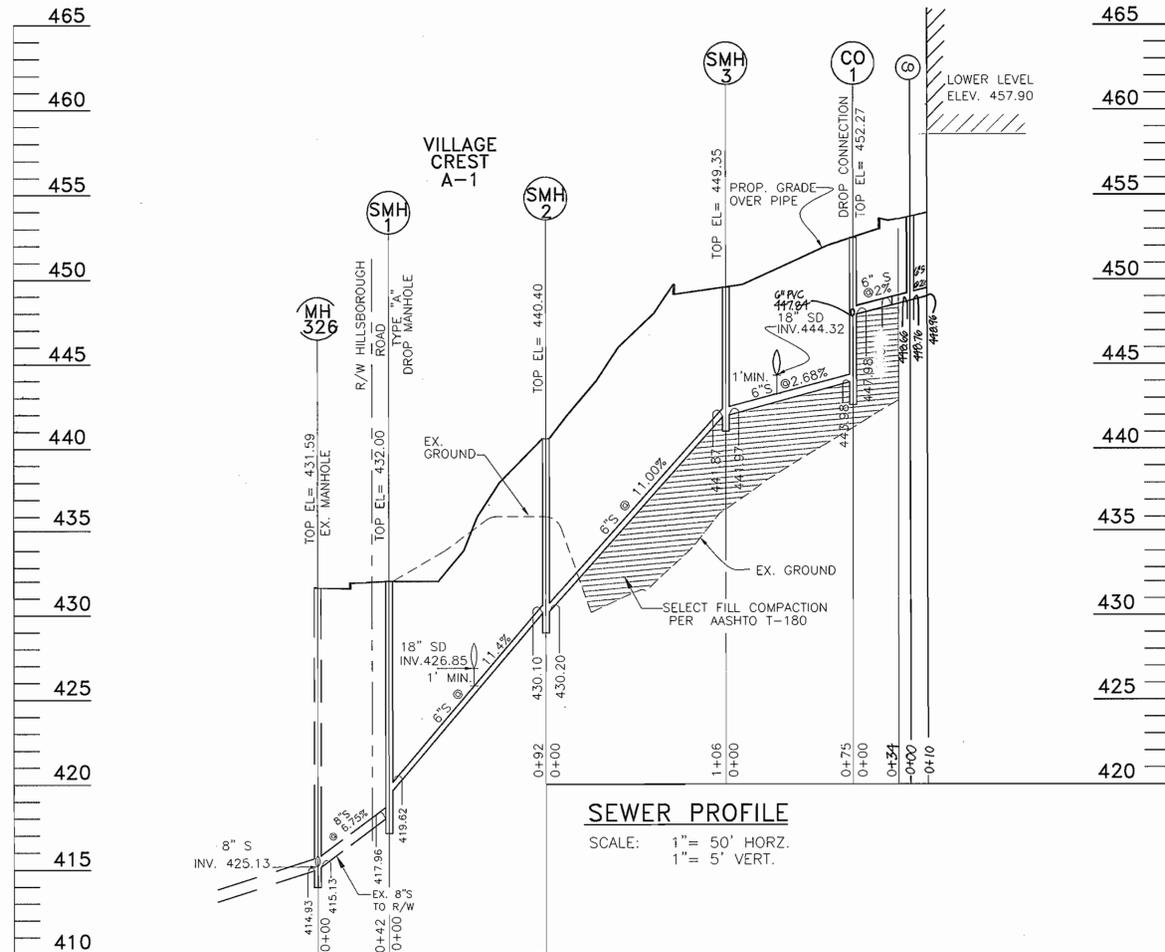
[Signature] 8/1/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 8/13/02
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

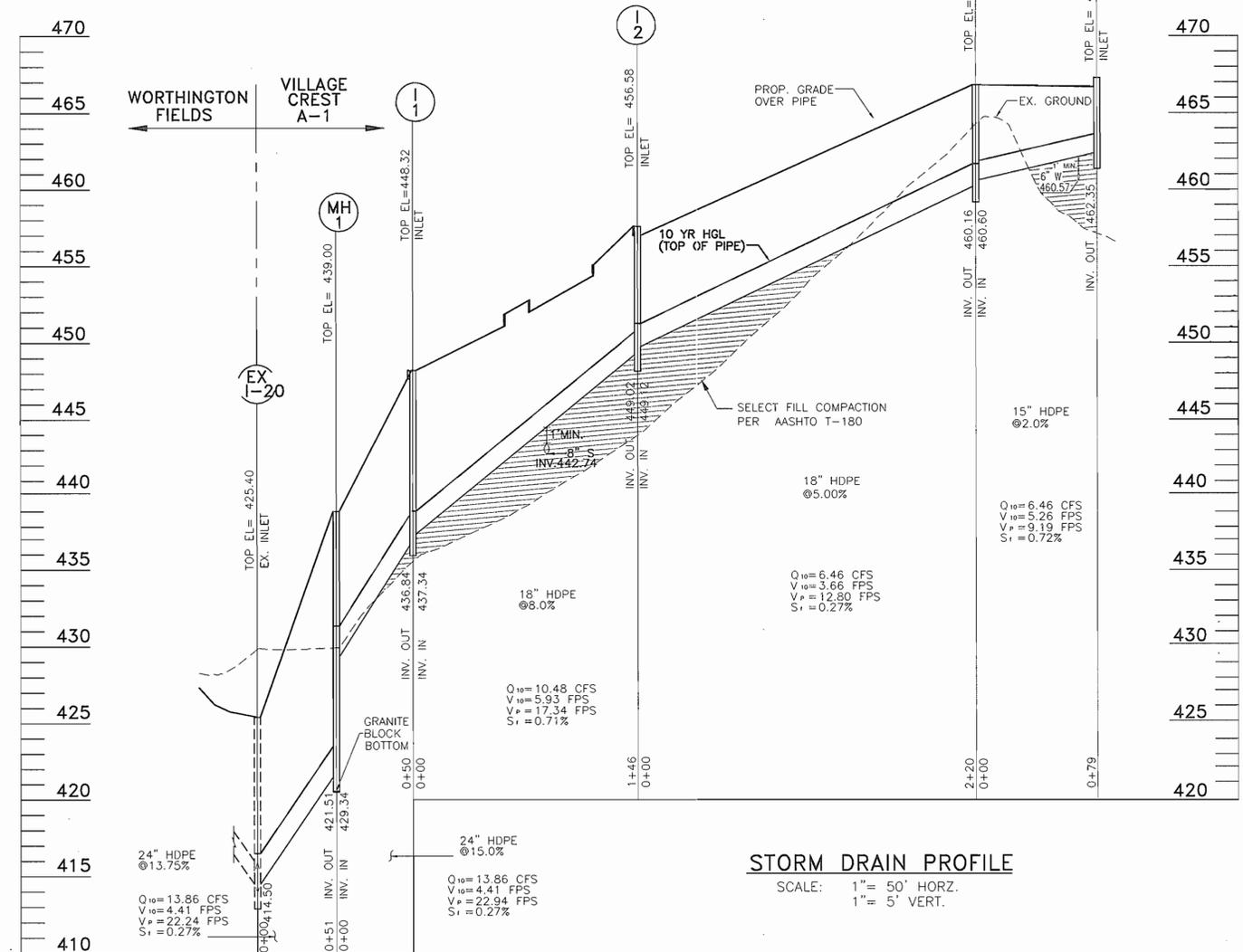
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 DIRECTOR DATE

NO.	REVISION	DATE
3	ADD DOOR, STEPS, SIDEWALK AND A GREASE TRAP	4-12-07
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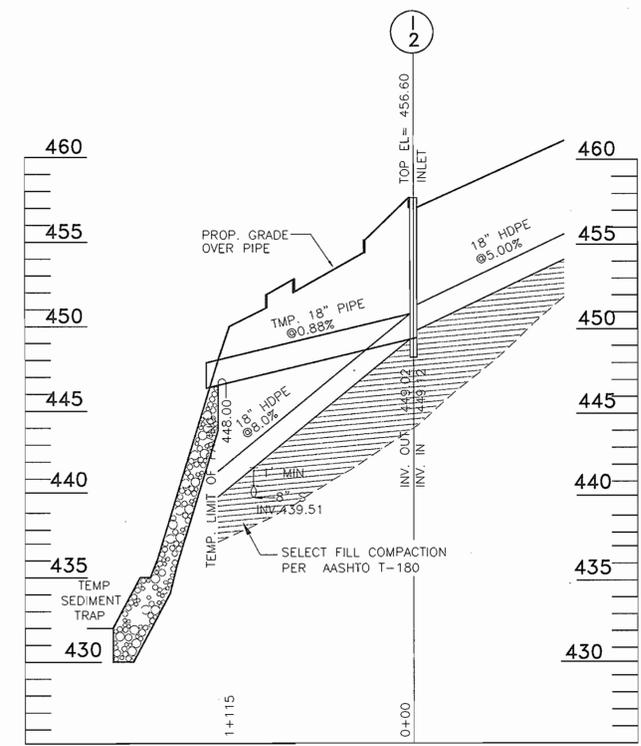
ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
A-1	VILLAGE CREST DRIVE				
	8001 HILLSBOROUGH ROAD				
SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER			
VILLAGE CREST	N/A	A-1			
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELECT. DIST.	CENSUS TR.
15359	20	POR	25	2ND	6027
WATER CODE G-01		SEWER CODE 1253100			



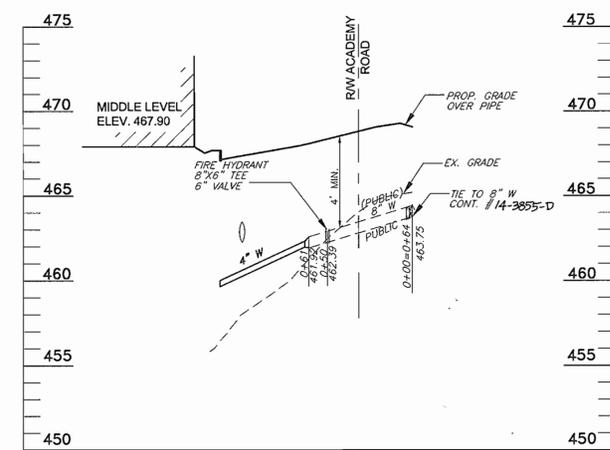
SEWER PROFILE
SCALE: 1" = 50' HORZ.
1" = 5' VERT.



STORM DRAIN PROFILE
SCALE: 1" = 50' HORZ.
1" = 5' VERT.



TEMP PIPE TO SEDIMENT TRAP
SCALE: 1" = 50' HORZ.
1" = 5' VERT.



WATER PROFILE
SCALE: 1" = 50' HORZ.
1" = 5' VERT.

STRUCTURE SCHEDULE						
NO.	TYPE	LOCATION	TOP ELEV.	INV. IN	INV. OUT	REMARKS
I-1	DOUBLE TYPE 'S' COMBINATION INLET	N 576928 E 1371609	447.74	436.84	437.34	SD 4.34
I-2	DOUBLE TYPE 'S' COMBINATION INLET	N 576869 E 1371739	456.00	449.02	449.73	SD 4.34
I-3	DOUBLE TYPE 'S' COMBINATION INLET	N 576673 E 1371879	467.66	-	462.35	SD 4.34
M-1	PRECAST MANHOLE (4')	N 576974 E 1371591	439.00	421.51	429.34	G 5.12
M-2	PRECAST MANHOLE (4')	N 576740 E 1371921	466.70	460.60	460.16	G 5.12

1. TOP ELEVATION ARE TO THE CENTER OF THE STRUCTURE AT TOP OF CURB FOR DOUBLE 'S' COMB. INLETS, CENTER TOP OF GRATE FOR DOUBLE TYPE 'S' INLET AND TOP OF MANHOLE COVER FOR PRECAST MANHOLES.
2. SEE ARCHITECTURAL PLANS FOR ROOF DRAIN DETAILS.

PIPE SCHEDULE		
SIZE	TYPE	LENGTH
15"	HDPE	79 LF
18"	HDPE	366 LF
24"	HDPE	101 LF

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Michael J. ... 8/1/02
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Conrad ... 8/13/02
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Mark ... 8/16/02
DIRECTOR DATE

OWNER / DEVELOPER
DR. IRVING AND EDITH TAYLOR
C/O LAND DESIGN & DEVELOPMENT, INC.
8000 MAIN STREET
ELLCOTT CITY, MD 21043
ATTN: MR. DONALD R. REÜWER
PHONE: (410) 480-9105

SITE DEVELOPMENT PLAN
PROFILES AND DETAILS
VILLAGE CREST
PARCEL A-1

TAX MAP #25 BLOCK 20
2ND ELECTION DISTRICT

PARCEL P/O 98
HOWARD COUNTY, MARYLAND

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DESIGN BY: RJ
DRAWN BY: RJ
CHECKED BY: RHV
DATE: JUNE 2002
SCALE: AS SHOWN
W.O. NO.: 2018121.00

4 SHEET OF 8

NO.	REVISION	DATE
1	ADD NEW DOOR STEPS, SIDEWALK AND GRADE TRAP	4-12-07