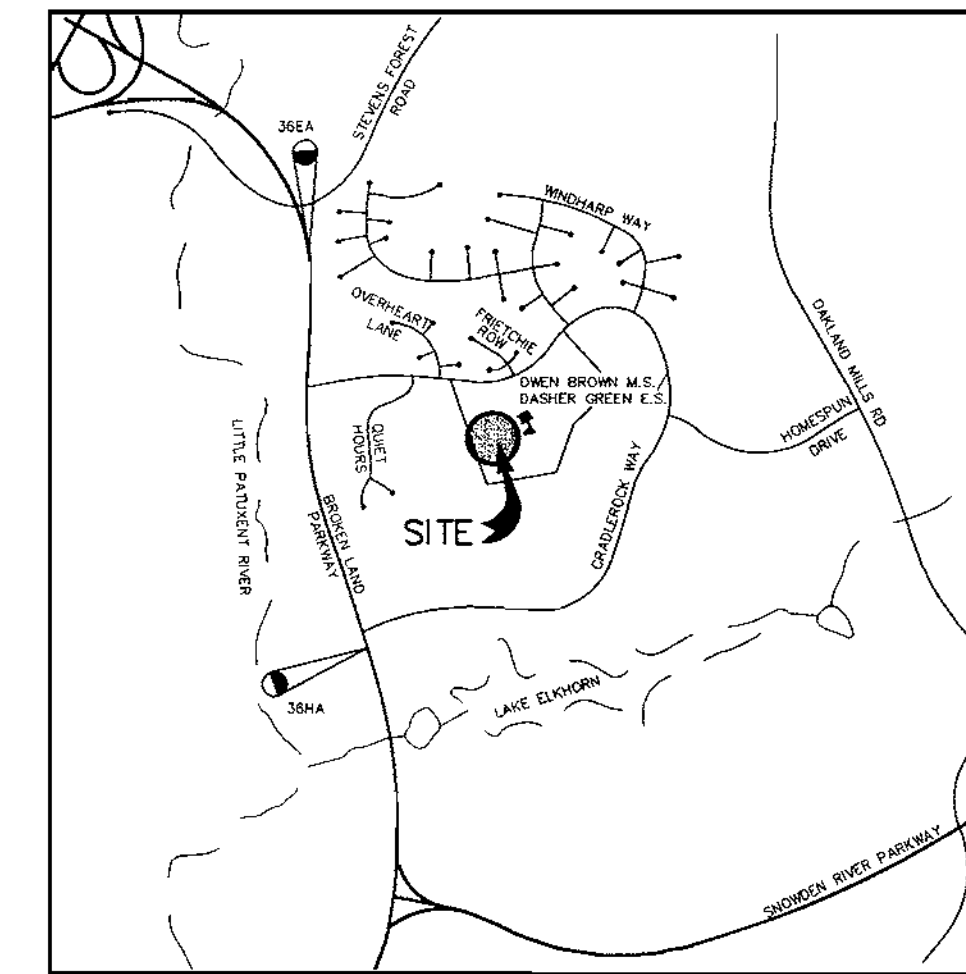


SHEET INDEX	
No.	DESCRIPTION
1	TITLE SHEET
2	SITE DEVELOPMENT PLAN
3	GRADING, SEDIMENT CONTROL PLAN & DRAINAGE AREA MAP
4	DETAILS AND NOTES
5	PROFILES AND DETAILS
6	LANDSCAPE PLAN

SITE DEVELOPMENT PLAN HEAD START FACILITY AT OWEN BROWN MIDDLE SCHOOL/ DASHER GREEN ELEMENTARY SCHOOL 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND



VICINITY MAP
SCALE: 1"=200'

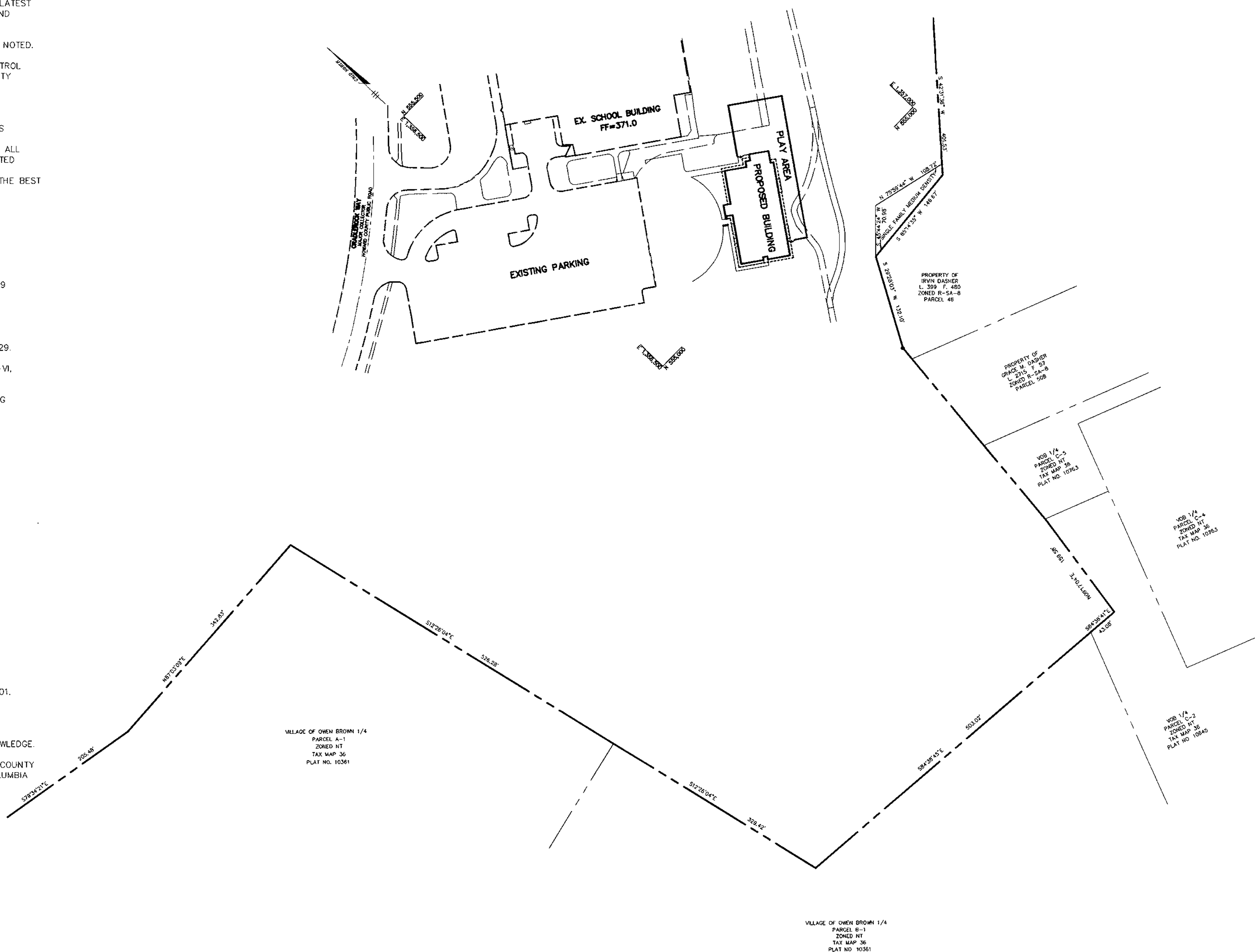
HOWARD COUNTY CONTROL STATIONS

36EA N 556986.794 E 1354535.254 ELEV. 355.577 CONC. MONUMENT	36HA N 555116.609 E 1354381.451 ELEV. 232.938 CONC. MONUMENT
--	--

SITE ANALYSIS

AREA OF SITE	33.165 ACRES
DISTURBED AREA	2.3 ACRES
PRESENT ZONING	NT
EXISTING BUILDING COVERAGE	2.92 ACRES (8.8% OF TOTAL PARCEL)
PROPOSED BUILDING COVERAGE	0.22 ACRES (0.7% OF TOTAL PARCEL)
TOTAL BUILDING COVERAGE	3.14 ACRES (9.5% OF TOTAL PARCEL)
PROPOSED BUILDING USE	PRESCHOOL HEAD START FACILITY
# OF EX. PARKING SPACES	119 SPACES
# OF EX. PARKING SPACES REMOVED	13 SPACES
# OF NEW PARKING SPACES PROVIDED	26 SPACES (INCLUDING 5 HC)
NET PARKING GAIN	13 SPACES
TOTAL ON-SITE PARKING (INCLUDING PARKING GAIN)	132 SPACES
AREA OF PARKING LOT (MAX. 3.165 Ac. PER FDP)	2.32 Ac.

- GENERAL NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
 - THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/ CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
 - THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
 - TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
 - ALL PLAN DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
 - THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 36EA AND 36HA WERE USED FOR THIS PROJECT.
 - WATER IS PUBLIC. CONTRACT NO. 486 D.W.S.
 - SEWER IS PUBLIC. SEWER DRAINAGE AREA: LITTLE PATUXENT CONTRACT NO. 489 D&S
 - APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
 - A 100-YEAR FLOODPLAIN STUDY IS NOT REQUIRED FOR THIS PROJECT.
 - THERE ARE NO ON-SITE WETLANDS AS PER FIELD VISIT OF JULY 2001.
 - A TRAFFIC STUDY IS NOT REQUIRED FOR THIS PROJECT.
 - A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
 - THE BOUNDARY FOR THIS PROJECT IS BASED ON PREVIOUSLY RECORDED PLAT No. F 75-79 BOOK 31 FOLIO 10 (AUGUST 4, 1975).
 - SUBJECT PROPERTY ZONED NEW TOWN OPEN SPACE (CREDITED AND NON-CREDITED) PER 10-18-93 COMPREHENSIVE ZONING PLAN.
 - ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
 - SEE DEPARTMENT OF PLANNING AND ZONING FILE NOS : SDP-75-58c, FDP PHASE 127 A-VI, F-75-79.
 - THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
 - CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
 - PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD.
 - NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE.
 - ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
 - ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
 - STORM DRAIN TRENCHES WITHIN ROAD RIGHT OF WAY SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.E., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, LATEST AMENDMENTS.
 - PROFILES STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN.
 - ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T100.
 - THE EXISTING TOPOGRAPHY IS PER PHR&A SURVEY DATED JANUARY, 2001 WITH MAXIMUM TWO FOOT CONTOUR INTERVALS.
 - A GEOTECHNICAL STUDY FOR THIS PROJECT WAS PREPARED BY ECS, LTD DATED JUNE, 2001.
 - STORMWATER MANAGEMENT FOR RECHARGE AND WATER QUALITY VOLUMES ARE PROVIDED VIA A PROPOSED ON-SITE PRIVATELY MAINTAINED BIORETENTION FACILITY.
 - THERE ARE NO CEMETARIES OR BURIAL GROUNDS ON THE SITE TO THE BEST OF OUR KNOWLEDGE.
 - THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BECAUSE THE PRELIMINARY DEVELOPMENT PLAN OF COLUMBIA WAS APPROVED PRIOR TO DECEMBER 31, 1992.
 - LANDSCAPING IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL IS PROVIDED.



APPROVED:
PLANNING BOARD
of HOWARD COUNTY
DATE Nov. 28, 2001

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

James S. Brown 1/8/02
DIRECTOR DATE

Robert R. For 12/28/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Cindy Horvath 1/8/02
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE	NO.	REVISION
OWNER / DEVELOPER		
THE HOWARD COUNTY PUBLIC SCHOOL SYSTEM 10910 ROUTE 108 ELLCOTT CITY, MARYLAND 21042		
PROJECT		
HEAD START FACILITY AT OWEN BROWN MIDDLE SCHOOL/ DASHER GREEN ELEMENTARY		
AREA TAX MAP 36 PARCEL 405 ZONED NT VILLAGE OF OWEN BROWN 1/2, LOT 65 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND		
TITLE		
TITLE SHEET		

RIEMER MUEGGE
a division of
Patton Harris Rust & Associates, pc
ENGINEERS • SURVEYORS • PLANNERS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SPECIALISTS
8818 Centre Park Drive, Columbia, MD 21045 • tel 410.997.8000 fax 410.997.9282

12.14.01
DATE

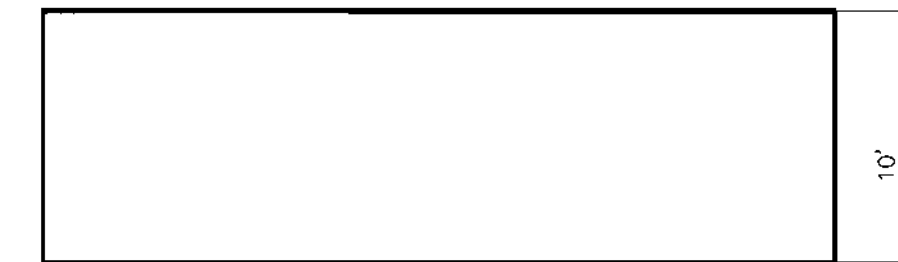
DESIGNED BY : C.J.R.
DRAWN BY : MAD
CHECKED BY : C.J.R.
PROJECT NO : 00369/
SDP1.DWG
DATE : DECEMBER 17, 2001
SCALE : AS SHOWN
DRAWING NO. 1 OF 6

Christopher J. Reid
CHRISTOPHER J. REID #19949

ADDRESS CHART

PARCEL	ADDRESS
405	6750 CRADLEROCK WAY

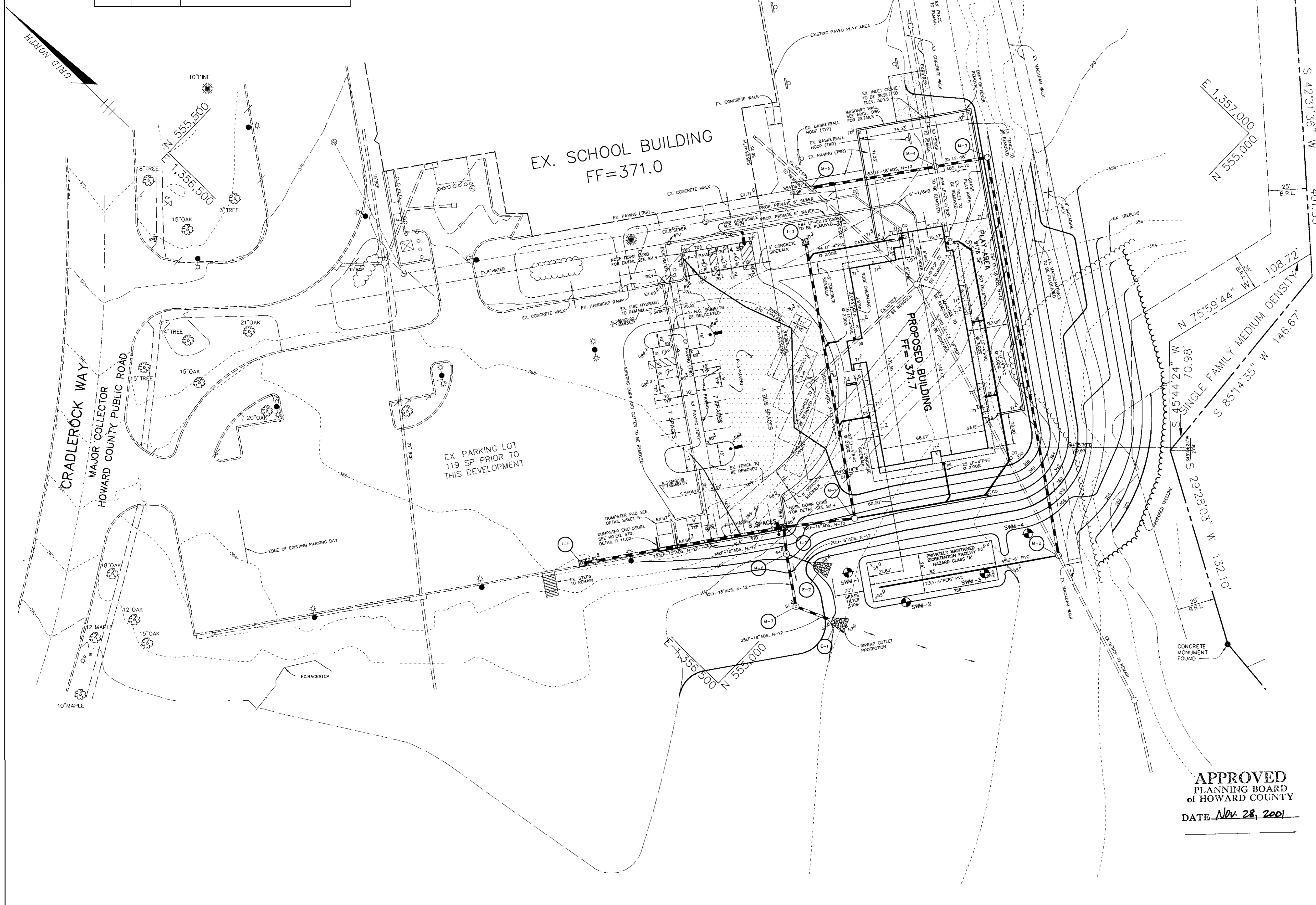
PARCEL	ADDRESS
405	6750 CRADLEROCK WAY



BUILDING ELEVATION
NO SCALE

PLAN
SCALE: 1"=100'

SWM SUMMARY		
STORAGE REQ.	NOTES	
Mov	2561 CF	VOLUME STORED IN BIORETENTION
Rev	660 CF	VOLUME STORED IN BIORETENTION, BELOW UNDERDRAIN
Qpv	N/A	q1 < 2 CFS



- NOTES:**
- ALL RADII ARE 5' UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS ARE TO FACE OF CURB OR BUILDINGS UNLESS OTHERWISE NOTED.
 - ALL ON-SITE ROADS ARE PRIVATE.
 - ALL LIGHTING IS TO BE DIRECTED/REFLECTED AWAY FROM ADJACENT PUBLIC ROADS AND RESIDENTIALLY ZONED PROPERTIES, AND BE IN ACCORDANCE WITH SECTION 154 OF THE HOWARD COUNTY ZONING REGULATIONS.
 - STD/REV - STANDARD TO REVERSE CURB TRANSITION.
 - P-1 PAVING
 - P-3 PAVING
 - CONCRETE
 - PAVEMENT TO BE REMOVED
 - MAGADAM WALK/PAVING
 - FOR DETAILS OF SIDEWALK, MAGADAM WALK, CURB, ETC. SEE SHEET 4
 - DS - DENOTES DOWNSPOUTS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

James S. Rust 1/8/02
DIRECTOR DATE

Michael J. ... 12/28/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Cheryl ... 1/6/02
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE NO. REVISION

OWNER / DEVELOPER
THE HOWARD COUNTY PUBLIC SCHOOL SYSTEM
10910 ROUTE 108
ELLCOTT CITY, MARYLAND 21042

PROJECT HEAD START FACILITY
AT OWEN BROWN MIDDLE SCHOOL/
DASHER GREEN ELEMENTARY

AREA TAX MAP 36 PARCEL 405 ZONED NT
VILLAGE OF OWEN BROWN 1/2, LOT 65
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE SITE DEVELOPMENT PLAN

RIEMER MUEGGE
a division of
Patton Harris Rust & Associates, pc
ENGINEERS • SURVEYORS • PLANNERS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SPECIALISTS
8818 Centre Park Drive, Columbia, MD 21045 • tel 410.997.8900 fax 410.997.9282

12-18-01
DATE

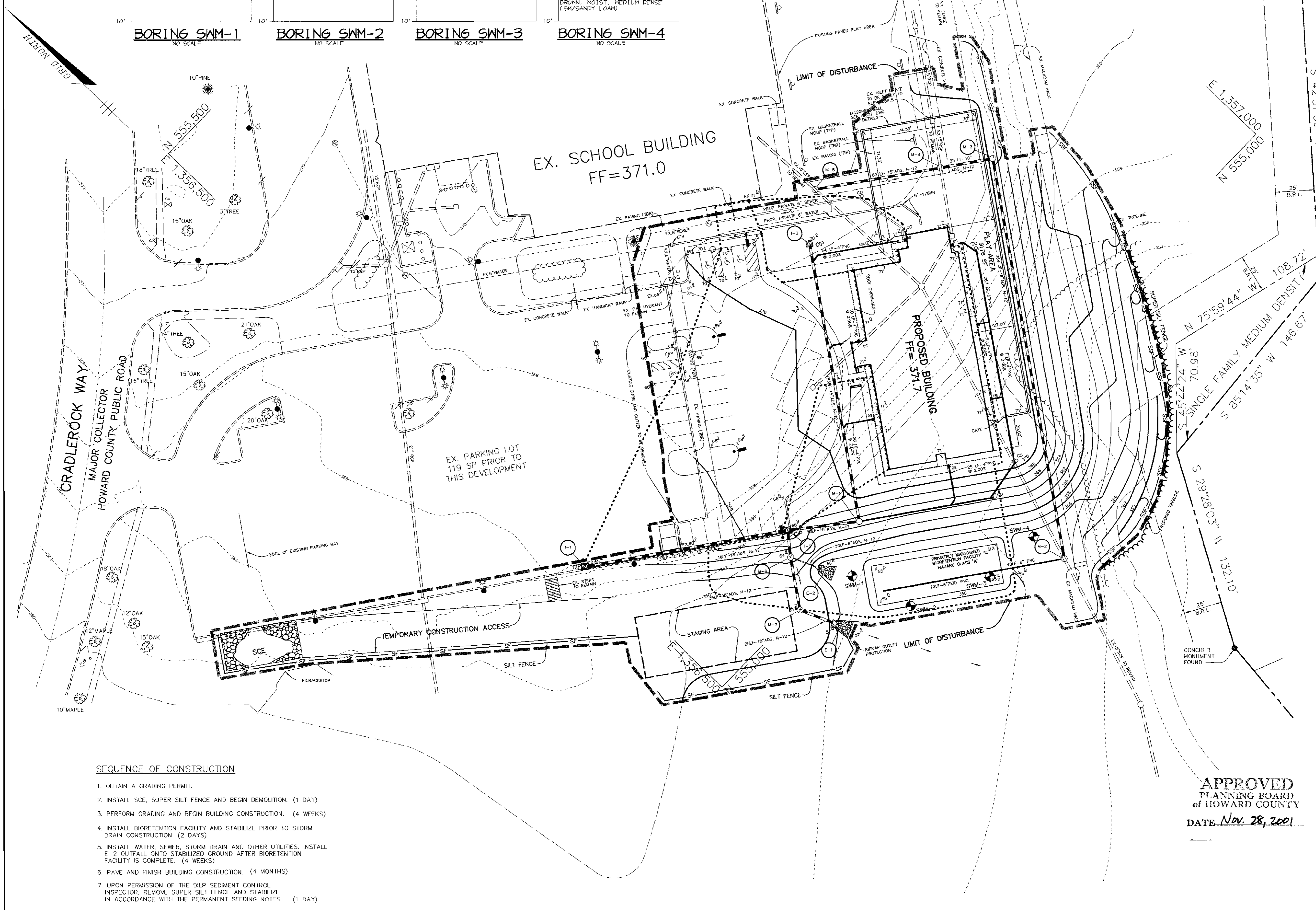
DESIGNED BY: C.J.R.
DRAWN BY: MAD
CHECKED BY: C.J.R.
PROJECT NO: 003569/
SDP2.DWG
DATE: DECEMBER 17, 2001
SCALE: 1"=30'
DRAWING NO. 2 OF 6

Christopher J. Reid
CHRISTOPHER J. REID #19949

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE Nov. 28, 2001

0'-	0'-	0'-	0'-
2.5'-	3'-	5.5'-	5'-
10'-	5'-	9.5'-	6'-
10'-	10'-	10'-	1.5'-
BORING SWM-1 NO SCALE	BORING SWM-2 NO SCALE	BORING SWM-3 NO SCALE	BORING SWM-4 NO SCALE

DRAINAGE DATA			
INLET NOS.	AREA IN ACRES	C FACTOR	PERCENT IMPERVIOUS
1	0.47	0.76	85
2	0.09	0.60	61
3	0.10	0.36	25



BY THE DEVELOPER :

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

K. Krug 12.14.01
DEVELOPER DATE

BY THE ENGINEER :

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Chris J. Reid 12.14.01
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Jim Meyer 1/7/02
NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Robertson 1/7/02
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

James R. Smith 1/8/02
DIRECTOR DATE

Abel K. Smith Jr. 12/28/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Chris Harshbarger 1/8/02
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE	NO.	REVISION

OWNER / DEVELOPER

THE HOWARD COUNTY PUBLIC SCHOOL SYSTEM
10910 ROUTE 108
ELLCOTT CITY, MARYLAND 21042

PROJECT **HEAD START FACILITY AT OWEN BROWN MIDDLE SCHOOL/ DASHER GREEN ELEMENTARY**

AREA TAX MAP 36 PARCEL 405 ZONED NT VILLAGE OF OWEN BROWN 1/2, LOT 65 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE **GRADING, SEDIMENT CONTROL PLAN AND DRAINAGE AREA MAP**

RIEMER MUEGGE
a division of:
Patton Harris Rust & Associates, pc
ENGINEERS • SURVEYORS • PLANNERS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SPECIALISTS
8818 Centre Park Drive, Columbia, MD 21045 • tel 410.997.8900 fax 410.997.9282

12.14.01
DATE

DESIGNED BY : C.J.R.

DRAWN BY : MAD

CHECKED BY : C.J.R.

PROJECT NO : 00369/SDP3.DWG

DATE : DECEMBER 17, 2001

SCALE : 1"=30'

DRAWING NO. 3 OF 6

Chris J. Reid
CHRISTOPHER J. REID #19949

APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE Nov. 28, 2001

- SEQUENCE OF CONSTRUCTION**
- OBTAIN A GRADING PERMIT.
 - INSTALL SCE, SUPER SILT FENCE AND BEGIN DEMOLITION. (1 DAY)
 - PERFORM GRADING AND BEGIN BUILDING CONSTRUCTION. (4 WEEKS)
 - INSTALL BIORETENTION FACILITY AND STABILIZE PRIOR TO STORM DRAIN CONSTRUCTION. (2 DAYS)
 - INSTALL WATER, SEWER, STORM DRAIN AND OTHER UTILITIES. INSTALL E-2 OUTFALL ONTO STABILIZED GROUND AFTER BIORETENTION FACILITY IS COMPLETE. (4 WEEKS)
 - PAVE AND FINISH BUILDING CONSTRUCTION. (4 MONTHS)
 - UPON PERMISSION OF THE DILP SEDIMENT CONTROL INSPECTOR, REMOVE SUPER SILT FENCE AND STABILIZE IN ACCORDANCE WITH THE PERMANENT SEEDING NOTES. (1 DAY)

Table: Materials Specifications for Bioretention

MATERIAL	SPECIFICATION	SIZE	NOTES
PLANTINGS	SEE SHEET 6 OF 6	N/A	SEE SHEET 6 OF 6
PLANTING SOIL (2.5' to 4' deep)	SAND 35 - 60% SILT 30 - 55% CLAY 10 - 25%	N/A	USDA SOIL TYPES LOAMY SAND, SANDY LOAM, OR LOAM
MULCH	SHREDDED HARDWOOD		AGED 6 MONTHS, MINIMUM
SAND	AASHTO-M-6 OR ASTM-C-33	0.02" TO 0.04"	SAND SUBSTITUTIONS SUCH AS DIABASE AND GRANITONE #10 ARE NOT ACCEPTABLE. NO CALCIUM CARBONATE OR DOLOMITIC SAND SUBSTITUTIONS ARE ACCEPTABLE. NO "ROCK DUST" CAN BE USED FOR SAND.
GEOTEXTILE	Class "C" - approx opening size (ASTM-D-4751), grab tensile strength (ASTM-D-4632), puncture resistance (ASTM-D-4822)	N/A	FOR USE AS NECESSARY
UNDERDRAIN GRAVEL	AASHTO 4.3	0.375" to 0.75"	
UNDERDRAIN PIPING	F758, TYPE PS 28 OR AASHTO M-278	4" TO 6" RIGID SCHEDULE 40PVC OR SDR35	3/8" PERF. @ 6" ON CENTER, 4 HOLES PER ROW, MINIMUM OF 3" OF GRAVEL OVER PIPES

Specifications for Bioretention

1. Material Specifications

The allowable materials to be used in bioretention area are detailed in Table "Materials Specifications for Bioretention on this sheet."

2. Planting Soil

The soil shall be a uniform mix, free of stones, stumps, roots or other similar objects larger than two inches. No other materials or substances shall be mixed or dumped within the bioretention area that may be harmful to plant growth, or prove a hindrance to the planting or maintenance operations. The planting soil shall be free of Bermuda grass, Quackgrass, Johnson grass, or other noxious weeds as specified under COMAR 15.06.01.05.

The planting soil shall be tested and shall meet the following criteria:

pH range	5.2 - 7.0
organic matter	1.5 - 4% (by weight)
magnesium	35 lb./ac
phosphorus (phosphate - P205)	75 lb./ac
potassium (potash - K2O)	85 lb./ac
soluble salts	Not to exceed 500 ppm

All bioretention areas shall have a minimum of one test. Each test shall consist of both the standard soil test for pH, phosphorus, and potassium and additional tests of organic matter, and soluble salts. A textural analysis is required from the site stockpiled topsoil. If topsoil is imported, then a texture analysis shall be performed for each location where the topsoil was excavated.

Since different labs calibrate their testing equipment differently, all testing results shall come from the same testing facility.

Should the pH fall out of the acceptable range, it may be modified (higher) with lime or (lower) with iron sulfate plus sulfur.

3. Compaction

It is very important to minimize compaction of both the base of the bioretention area and the required backfill. When possible, use excavation hoses to remove original soil. Use of equipment with narrow tracks or narrow tires, rubber tires with large lugs, or high pressure tires will cause excessive compaction resulting in reduced infiltration rates and is not acceptable. Compaction will significantly contribute to design failure.

Compaction can be alleviated at the base of the bioretention facility by using primary tilling operation such as a chisel plow, ripper, or subsoiler. These tilling operations are to restructure the soil profile through the 12-inch compaction zone. Substitute methods must be approved by the engineer. Rototillers typically do not till deep enough to reduce the effects of compaction from heavy equipment.

Rototill 2 to 3 inches of sand into the base of the bioretention facility before backfilling the optional sand layer. Pump any ponded water before preparing (rototilling) base.

When backfilling the topsoil over the sand layer, first place 3 to 4 inches of topsoil over the sand, then rototill the sand/topsoil to create a gradation zone. Backfill the remainder of the topsoil to final grade.

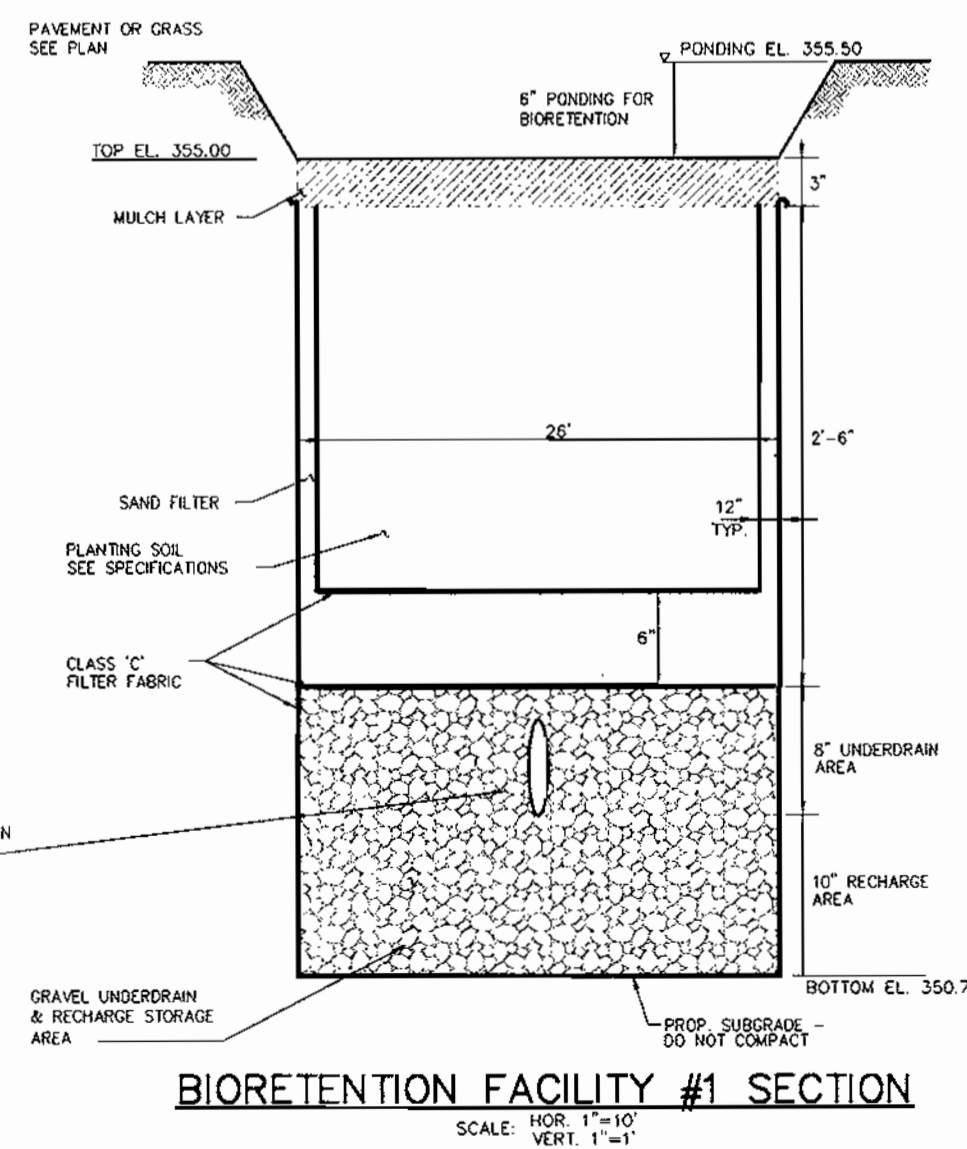
When backfilling the bioretention facility, place soil in lifts 12" to 18". Do not use heavy equipment within the bioretention basin. Heavy equipment can be used around the perimeter of the basin to supply soils and sand. Grade bioretention materials with light equipment such as a compact loader or a dozer/loader with marsh tracks.

4. Plant Installation

Mulch should be placed to a uniform thickness of 2" to 3". Shredded hardwood mulch is the only accepted mulch. Shredded mulch must be well aged (6 to 12 months) for acceptance.

Root stock of the plant material shall be kept moist during transport and on-site storage. The plant root ball should be planted so 1/8th of the ball is above final grade surface. The diameter of the planting pit shall be at least six inches larger than the diameter of the planting ball. Set and maintain the plant straight during the entire planting process. Thoroughly water ground bed cover after installation.

Trees shall be braced using 2" by 2" stakes only as necessary and for the first growing season only. Stakes are to be equally spaced on the outside of the tree ball.



Bioretention Facility Operation & Maintenance Schedule

Inspections are an integral part of any maintenance program. Bioretention facilities shall be inspected on a semi-annual basis for the first year, and after major storm events. After the first year, annual inspections shall be sufficient, or as required by Howard County.

PLANTING SOIL BED

The soils of the planting bed shall be tested on an annual basis for pH to establish acidic levels. If the pH is below 5.2, lime shall be applied. If the pH is above 7.0 to 8.0, iron sulfate plus sulfur shall be added to reduce the pH. The soil bed may experience some erosion, particularly at the inflow points, periodic inspection and correction of erosion may be necessary. The surface of the bed may become clogged with fine sediments over time. Core aeration or cultivating of unvegetated areas shall be required to ensure adequate filtration.

MULCH LAYER

Annual mulching, as part of a regular landscape contract, is required. The previous mulch shall be removed and discarded to an appropriate disposal area or retained if it is decayed. The mulch shall be placed to depths not to exceed 3". Seeded ground cover or grass areas shall not receive mulching.

PLANTING MATERIALS

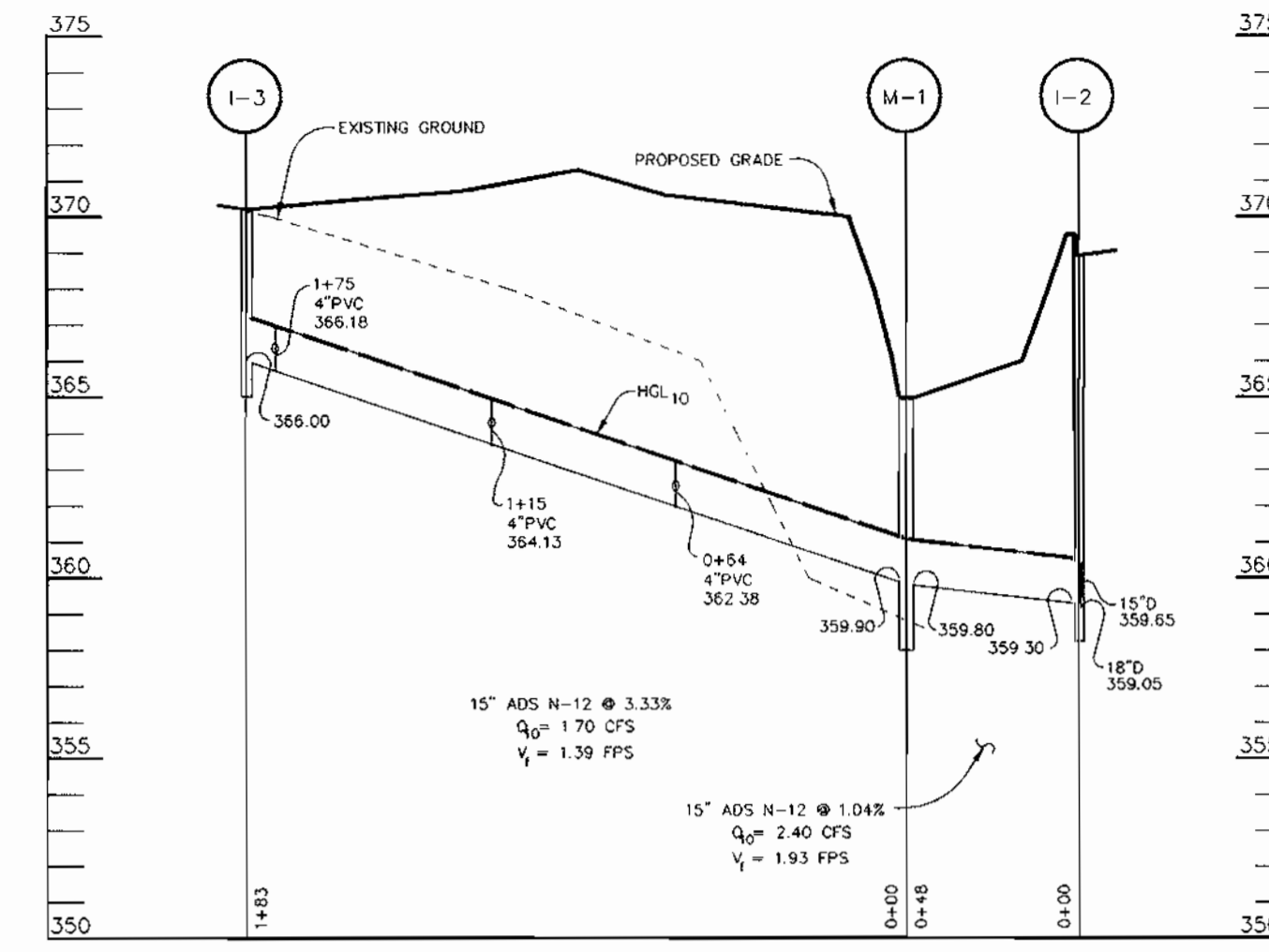
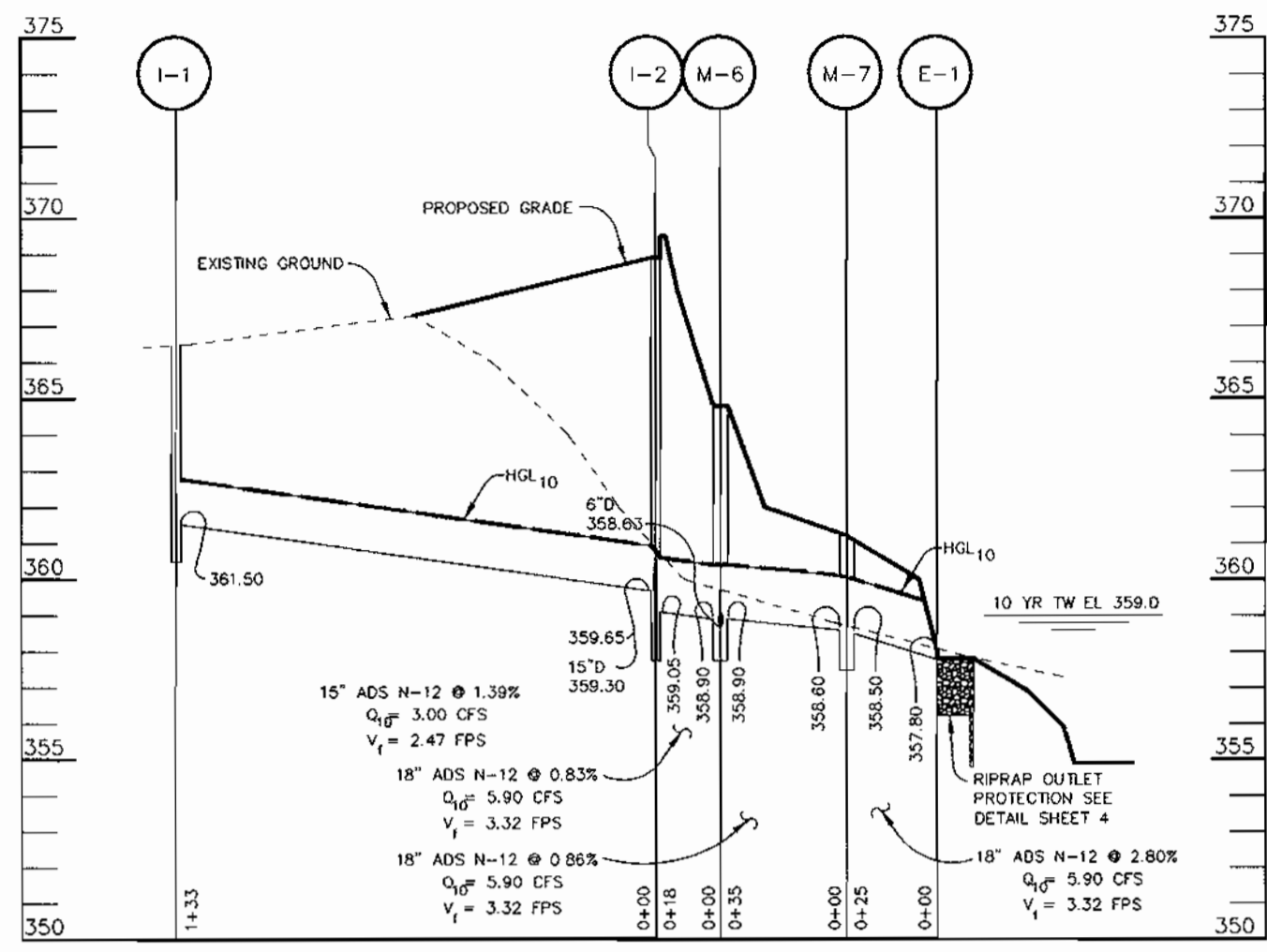
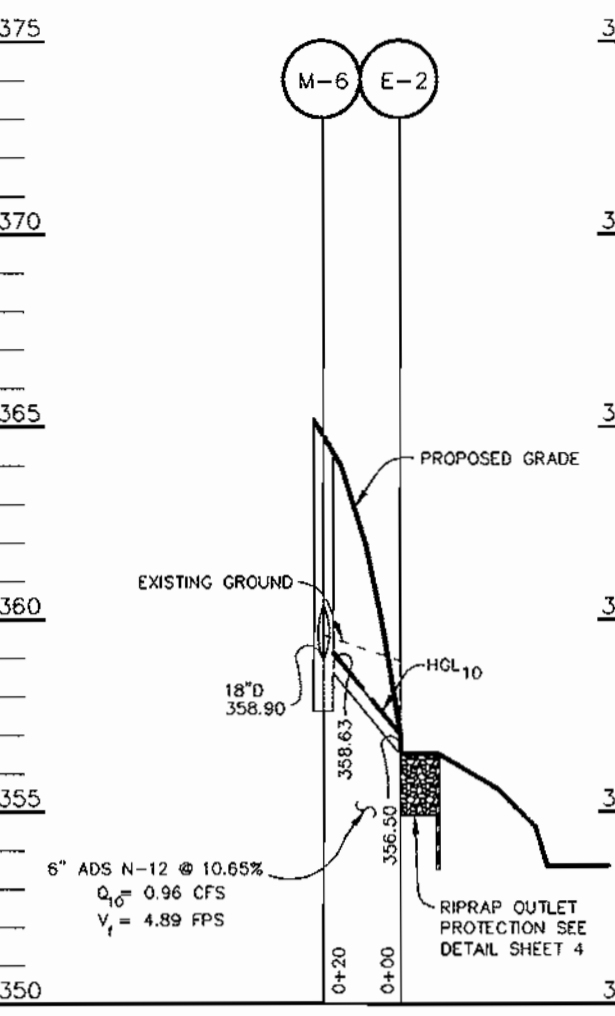
Annual inspection of plant materials is necessary. Dead or severely diseased species shall be replaced. Replacement of particular species shall be considered for species that fail to establish. Weedy vegetation shall require periodic pruning, depending on the adjacent land uses, to avoid conflicts with overhead utilities, or hazards to people and property. Pruning shall follow the standard pruning practices (ANSI A300, National Arborist Association, Inc., 1995). Remove plant stakes after the first growing season. Cut grasses back to 3 inches annually in late winter (late February early March).

PRETREATMENT, INFLOW LOCATIONS, AND OVERFLOW

The sand, mulch, and planting soil shall be inspected annually for clogging. Sediment build-up shall be removed as needed. Replacement of the sand, mulch, and planting soil will be necessary when the voids are obviously filled with sediment and water is no longer infiltrating. The inflow location shall be inspected annually for clogging. Sediment build-up is a common problem with many practices where runoff leaves an impervious surface and enters a vegetative or earthen surface. Any built-up sediment shall be removed to avoid runoff by-passing the facility.

WEED CONTROL

To reduce the spread of weeds, grass clippings shall be collected and disposed of outside the bioretention planting areas.



STRUCTURE SCHEDULE

STRUCTURE	TYPE	LOCATION	INV. IN	INV. OUT	TOP	REMARKS
1-1	S	* N 555118.61 E 1356444.84	-	361.50 (15")	365.9	HOCO STD. DETAIL SD 4.22
1-2	S	* N 555040.18 E 1356603.28	354.30 (15") 354.65 (15")	359.05 (18")	366.9	HOCO STD. DETAIL SD 4.22
1-3	S	* N 555160 E 13567147	-	366.00 (15")	370.2	HOCO STD. DETAIL SD 4.22
M-1	4" MH	* N 555011 E 1356640	354.75 (6") 354.00 (15") 354.00 (15")	358.75 (18")	365.0	HOCO STD. DETAIL 6 5.12
M-2	4" MH	* N 554898 E 1356715	347.62 (18")	347.52 (EX18")	354.7	HOCO STD. DETAIL 6 5.12
M-3	4" MH	* N 555112 E 1356870	361.21 (18")	361.11 (18")	371.1	HOCO STD. DETAIL 6 5.12
M-4	4" MH	* N 555132 E 1356842	363.21 (EX15") 363.21 (15")	362.96 (18")	371.1	HOCO STD. DETAIL 6 5.12
M-5	4" MH	* N 555181 E 1356775	-	365.32 (15")	370.7	HOCO STD. DETAIL 6 5.12
M-6	5" MH	* N 555027 E 1356592	358.90 (18")	358.90 (18")	364.8	HOCO STD. DETAIL 6 5.12
M-7	4" MH	* N 554948 E 13568572	358.60 (18")	358.50 (18")	361.2	HOCO STD. DETAIL 6 5.12
E-1	18" END SECTION	* N 554475 E 1356581	-	358.7 (18")	-	ADS, N-12
E-2	6" END SECTION	* N 555008 E 1356600	-	356.5 (6")	-	ADS, N-12

NOTES: * LOCATION OF "S" FACILITY INLETS AND MANHOLES IS AT CENTER OF TOP COVER; FOR "M" INLETS LOCATION IS GIVEN FOR CENTER OF THROAT OPENING AT FACE OF CURB; FOR END SECTIONS AND HEADWALLS THE LOCATION IS CENTER OF THROAT OPENING AT FACE OF STRUCTURE. TOP ELEVATION IS TOP OF CURB/GRATE/RIM.

PIPE SCHEDULE

PIPE LENGTH	SIZE	TYPE
129	4"	PVC
312	6"	PVC
13	6"	PERF. PVC
364	15"	ADS, N-12
457	18"	ADS, N-12
20	6"	ADS, N-12

APPROVED
PLANNING BOARD
OF HOWARD COUNTY

DATE Nov 28, 2001

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DIRECTOR: [Signature] 1/8/02 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION: [Signature] 12/28/01 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT: [Signature] 1/8/12 DATE

DATE NO. REVISION

OWNER / DEVELOPER
THE HOWARD COUNTY PUBLIC SCHOOL SYSTEM
10910 ROUTE 108
ELLCOTT CITY, MARYLAND 21042

PROJECT
HEAD START FACILITY
AT OWEN BROWN MIDDLE SCHOOL/
DASHER GREEN ELEMENTARY

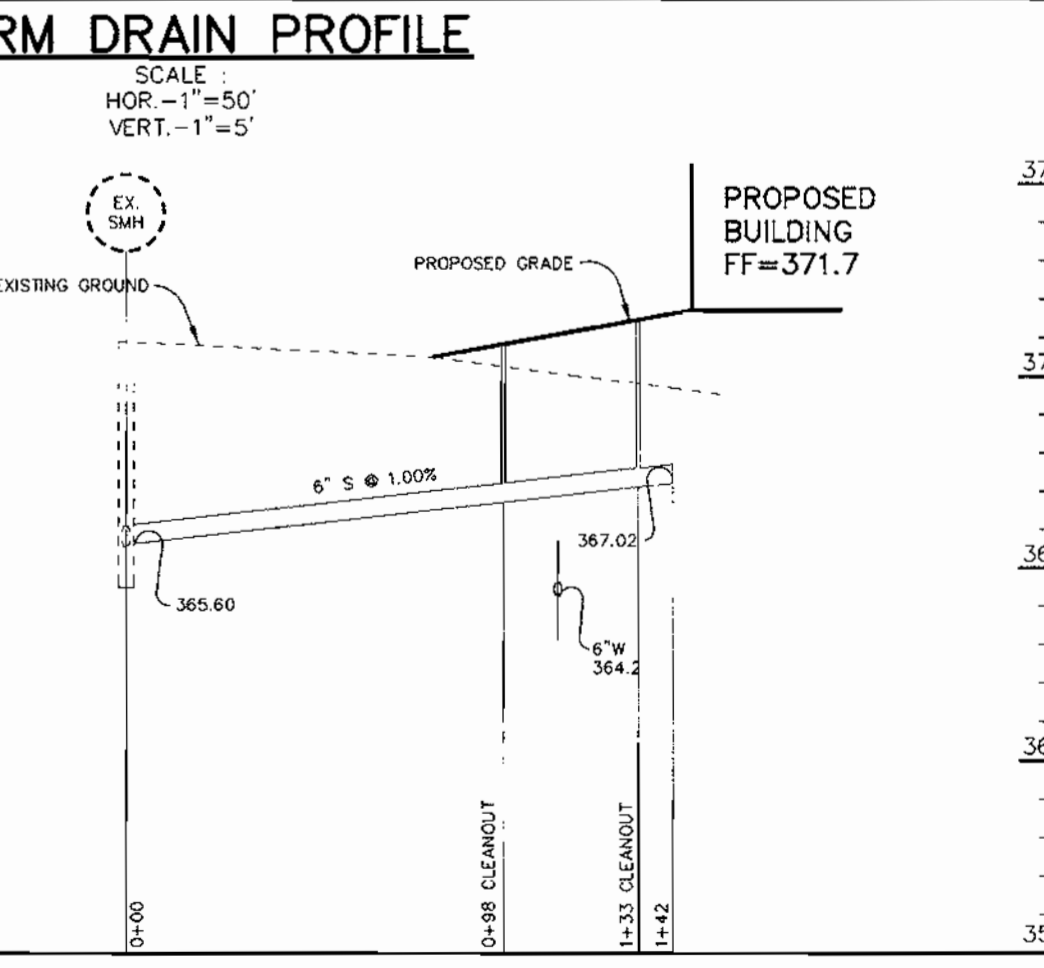
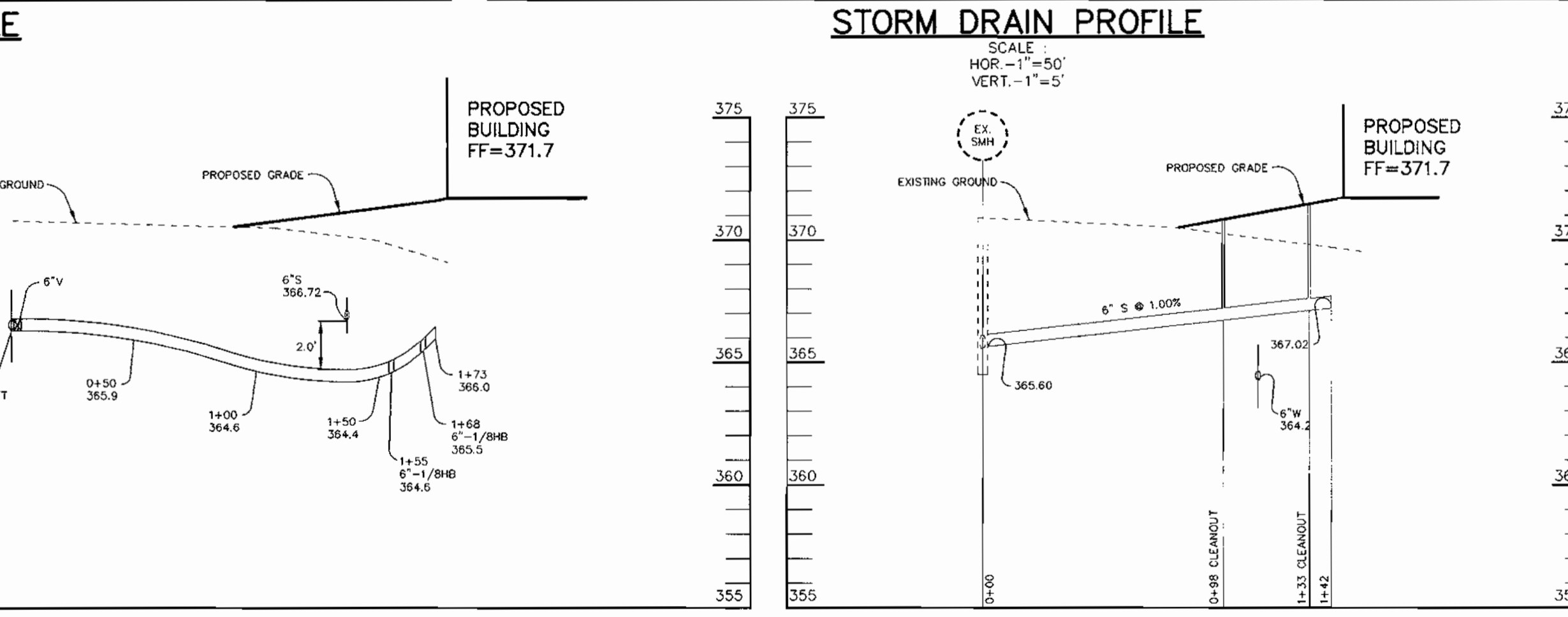
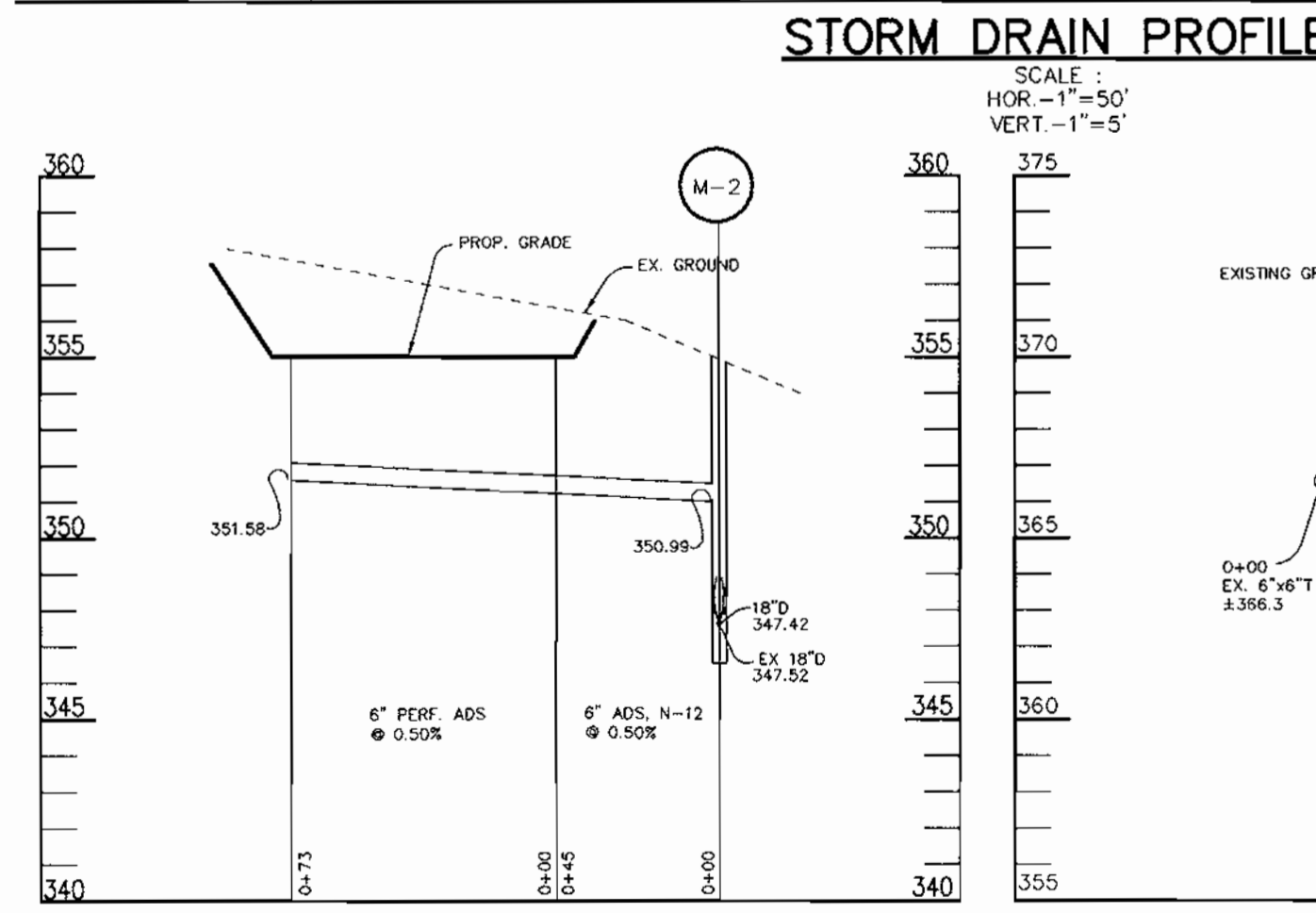
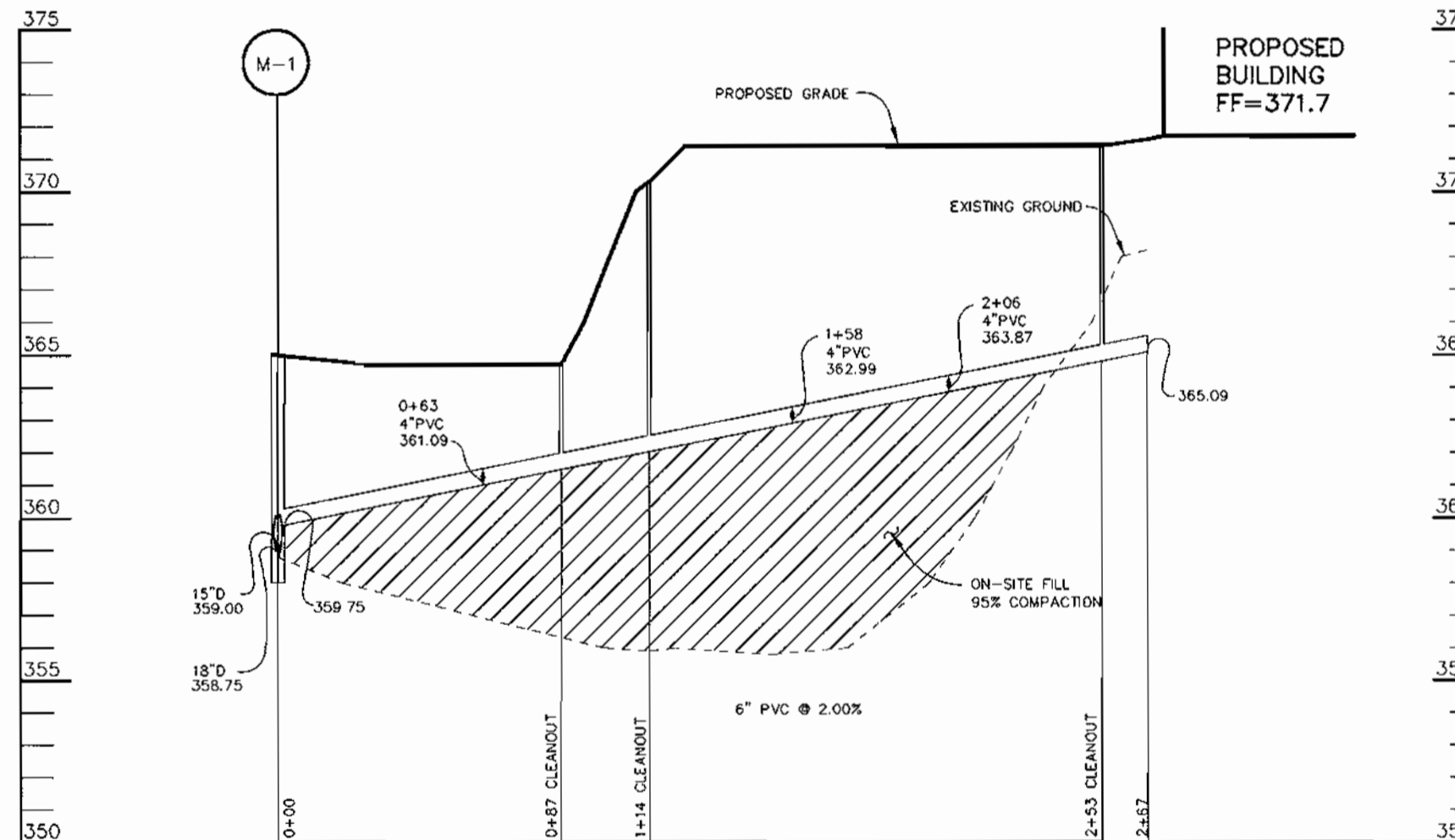
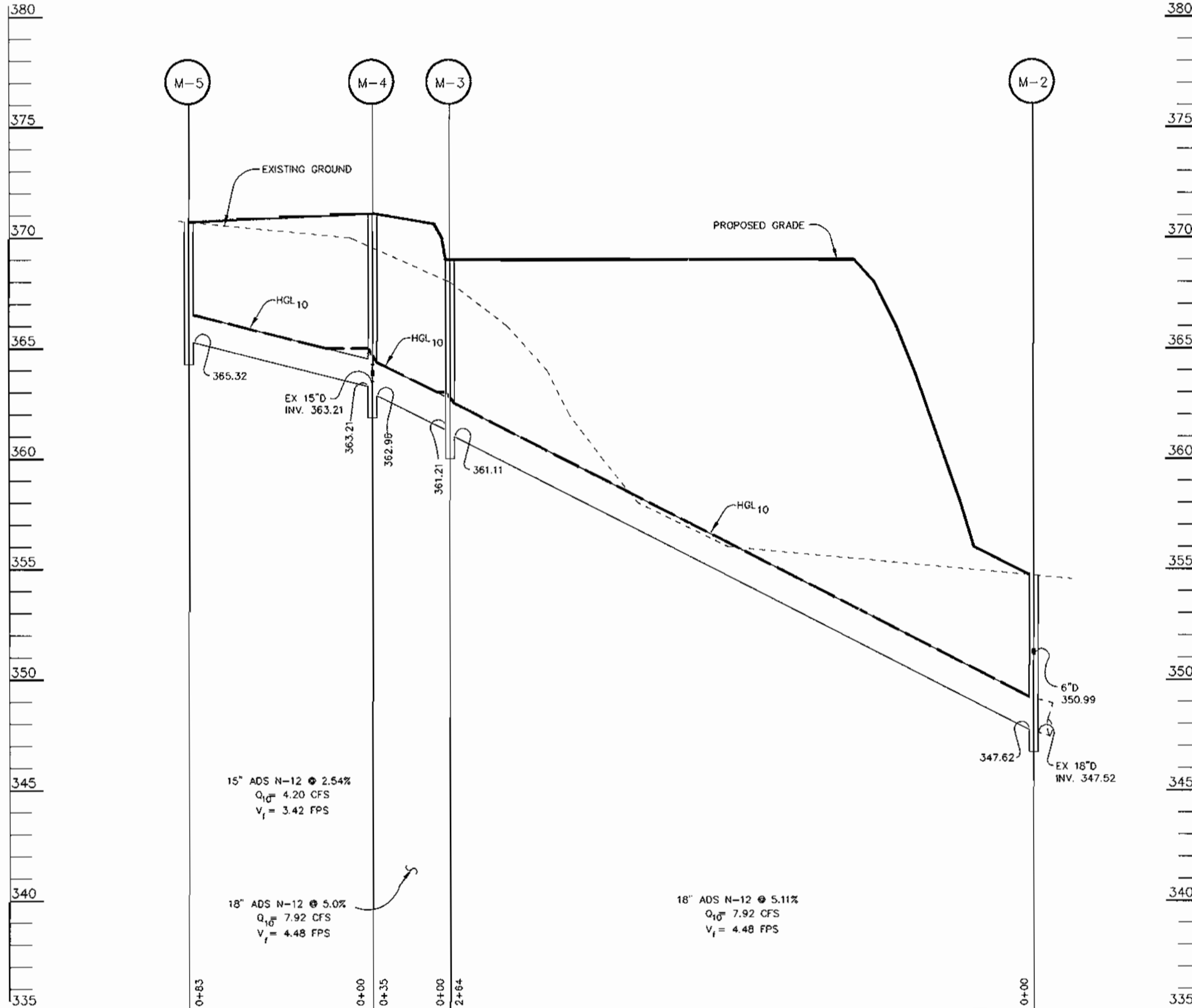
AREA TAX MAP 36 PARCEL 405 ZONED NT
VILLAGE OF OWEN BROWN 1/2, LOT 65
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE
PROFILES AND DETAILS

RIEMER MUEGGE
a division of
Patton Harris Rust & Associates, pc
ENGINEERS • SURVEYORS • PLANNERS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SPECIALISTS
8818 Centre Park Drive, Columbia, MD 21045 • tel 410.997.8900 fax 410.997.9282

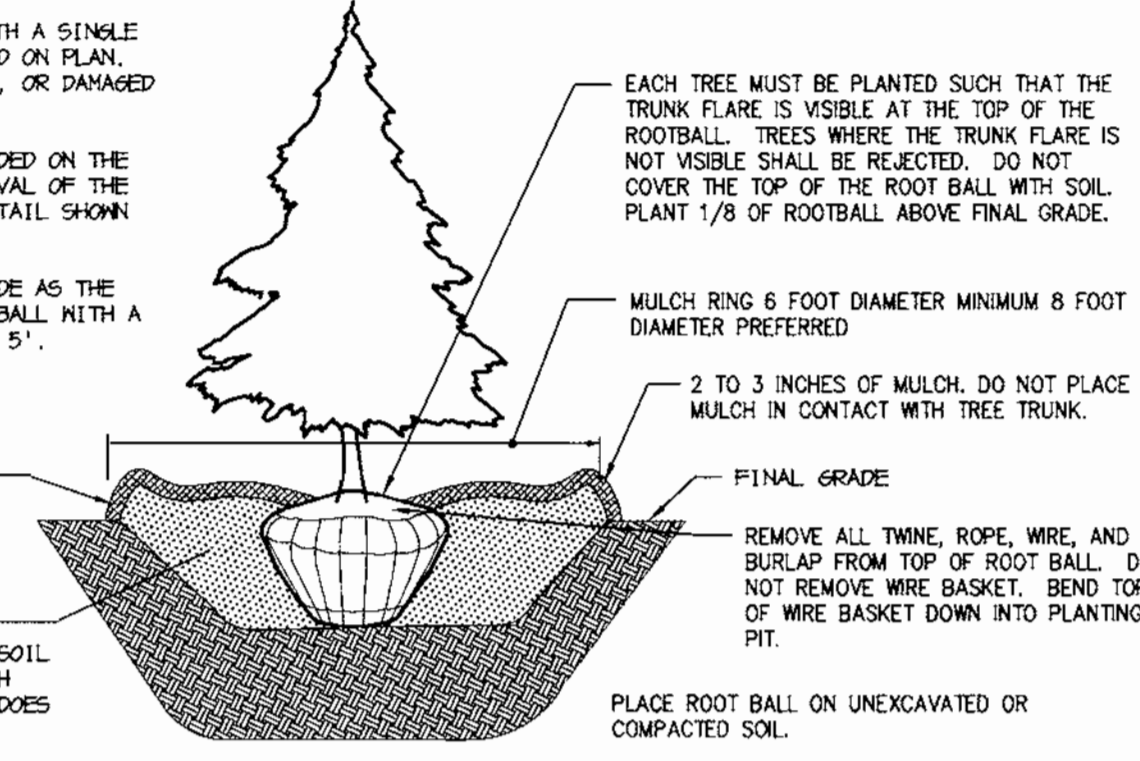
DESIGNED BY: C.J.R.
DRAWN BY: MAD
CHECKED BY: C.J.R.
PROJECT NO.: 00369/
SDPS.DWG
DATE: DECEMBER 17, 2001
SCALE: AS SHOWN
DRAWING NO. 5 OF 6

12-17-01
DATE
CHRISTOPHER J. REID #19949



NOTES:

- SELECT ONLY NURSERY STOCK WITH A SINGLE LEADER UNLESS OTHERWISE SPECIFIED ON PLAN. PLANTS WITH CO-DOMINANT, MISSING, OR DAMAGED LEADERS SHALL BE REJECTED.
- STAKE TREES ONLY IF RECOMMENDED ON THE PLANT SCHEDULE OR UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT. STAKING DETAIL SHOWN ONLY IF RECOMMENDED.
- DIG PLANTING PIT TWICE AS WIDE AS THE DIAMETER OF THE TOP OF THE ROOT BALL WITH A MINIMUM PLANTING PIT DIAMETER OF 5".



SCHEDULE D - STORMWATER MANAGEMENT AREA LANDSCAPING	
S.N.M. PERIMETER - BIORETENTION AREA	1
LANDSCAPE TYPE	B
LINEAR FEET OF TOTAL PERIMETER	±260'
CREDIT FOR EX. VEGETATION	NO
CREDIT FOR PROP. PERIMETER 2 LANDSCAPING	YES, 80'
LINEAR FEET OF REMAINING PERIMETER	180'
NUMBER OF TREES REQUIRED:	
SHADE TREES	4
EVERGREEN TREES	5
NUMBER OF PLANTS PROVIDED	
SHADE TREES	1*
EVERGREEN TREES	5
OTHER TREES (2:1 SUBSTITUTION, 50% MAX.)	5
SHRUBS (10:1 SUBSTITUTION, 25% MAX.)	10

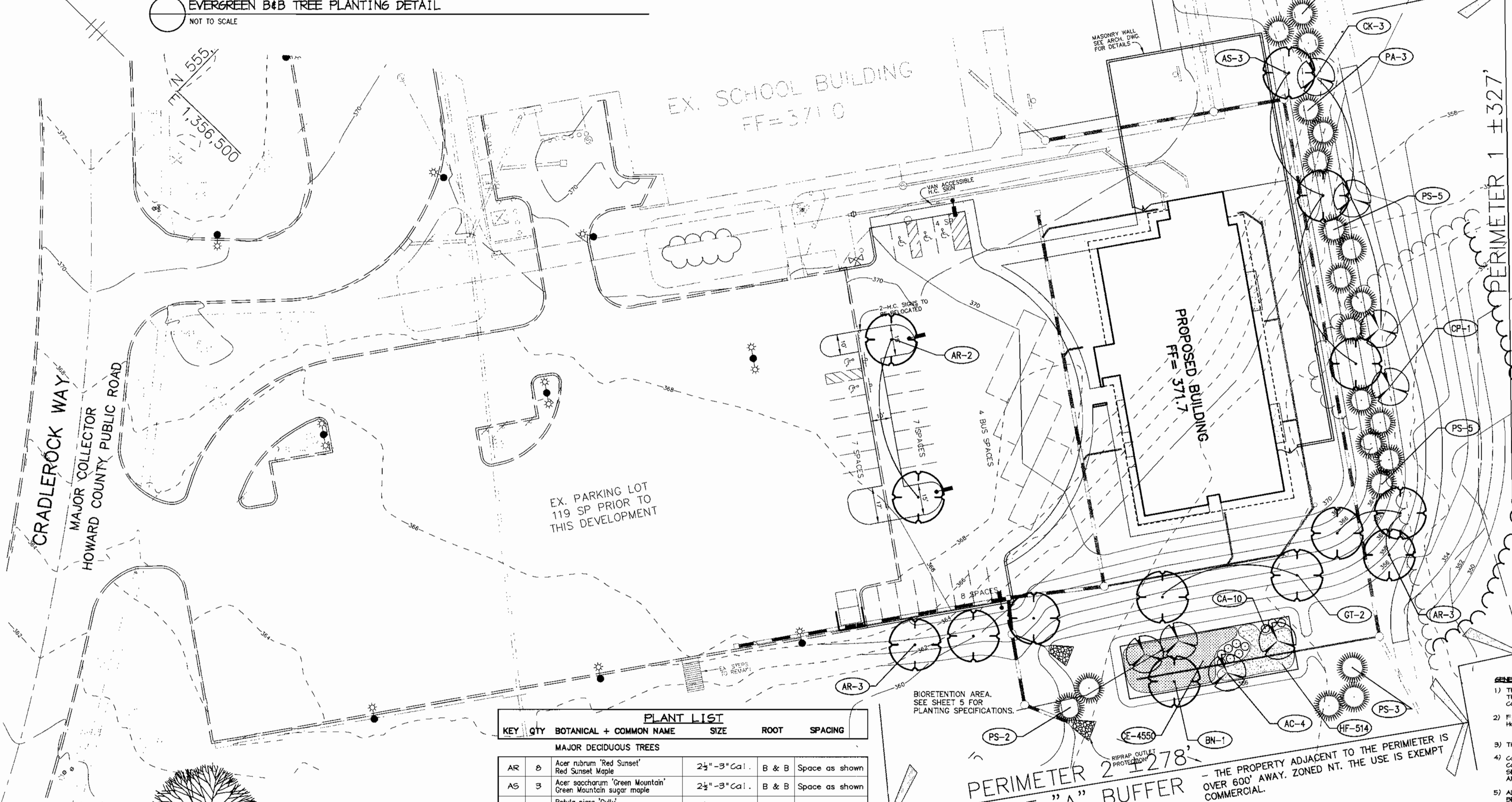
SUBSTITUTION NOTES:
(4) ORNAMENTAL TREES WERE SUBSTITUTED FOR (2) SHADE TREES, AND
(10) SHRUBS WERE SUBSTITUTED FOR (1) SHADE TREE.

SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING	
PARKING LOT	1
NUMBER OF PARKING SPACES	20
NUMBER OF SHADE TREES REQUIRED (1/20 SPACES)	1
NUMBER OF TREES PROVIDED	
SHADE TREES	2
OTHER TREES (2:1 SUBSTITUTION)	1
NUMBER OF ISLANDS PROVIDED	1

PLANTING SPECIFICATIONS

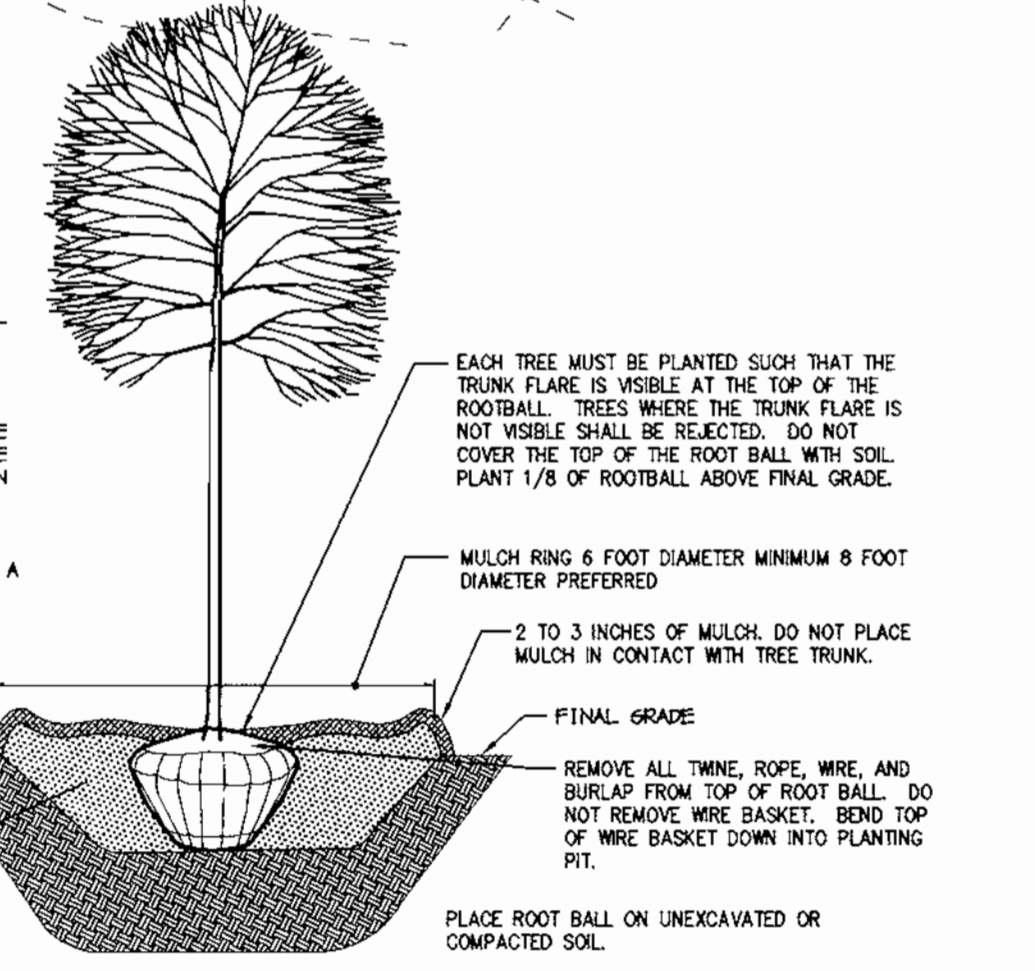
- Plants, related material, and operations shall meet the detailed description, as given on the plans and as described herein. Where discrepancies exist between Schedule A guidelines referenced within these specifications and the Howard County Landscape Manual, the latter takes precedence.
- All plant material, unless otherwise specified, that is not nursery grown, uniformly rooted, and does not have a vigorous root system, and does not conform to the most recent edition of the American Association of Nurserymen (AAN) Standards shall be rejected. Plant material that is not healthy, vigorous, free from defects, decay, dieback, root rot, insect infestation, or objectionable disfigurements shall be rejected. Plant material that is weak or which has been cut back from cold storage will be rejected. Trees with forked leaders will be rejected. All B & B plants shall be freshly dug, no heated-in plants or plants from cold storage will be accepted.
- Unless otherwise specified, all general conditions, planting operations, details and planting specifications shall conform to the most recent edition of the Landscape Specification Guidelines by the Landscape Contractors Association of MD, DC, & VA (hereinafter "Landscape Guidelines") approved by the Landscape Contractors Association of Metropolitan Washington and the Potomac Chapter of the American Society of Landscape Architects.
- Contractor shall guarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section of the Landscape Guidelines. Contractor's attention is directed to the maintenance requirements found within the one year specifications including watering and replacement of specified plant material.
- Contractor shall be responsible for notifying all relevant and appropriate utility companies, utility contractors, and "twp utilities" a minimum of 48 hours prior to the beginning of any work. Contractor may make minor adjustments in spacing and location of plant material to avoid conflicting utilities. Major changes will require the approval of the landscape architect. Damage to existing structures and utilities shall be repaired at the expense of the contractor.
- Protection of existing vegetation to remain shall be accomplished via the temporary installation of 4 foot high snow fence at the drip line, see detail 11.
- Contractor is responsible for installing all material in the proper planting season for each plant type. All planting is to be completed within growing season of completion of site construction. Do not plant Pinus strobus or X. glabra (juniper) between November 15 and March 15. Landscape plants are not to be installed before site is graded to final grade.
- Contractor to regrade, fine grade, sod, hydroseed and straw mulch all areas disturbed by their work.
- Bid shall be based on actual site conditions. No extra payment shall be made for work arising from actual site conditions differing from those indicated on drawings and specifications.
- Plant quantities are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on plan and those shown on the plant list, the quantities on the plant list shall take precedence. Where discrepancies on the plan exist between the symbols and the callout leader, the number of symbols take precedence.
- All shrubs and groundcover areas shall be planted in continuous planting beds, prepared as specified, unless otherwise indicated on plans. (See Specification 13). Beds to be mulched with minimum 2" and maximum 3" of composted, double-bredded hardwood mulch throughout.
- Positive drainage shall be maintained on planting beds (minimum 2 percent slope).
- Bed preparation shall be as follows: Till into a minimum depth of 6" 1 yard of Compro or Leafgro per 200 sq ft of planting bed, and 1 yard of topsoil per 100 sq ft of bed. Add 3 lbs of fertilizer per cubic yard of planting mix and till in. Miscellaneous plants (Azalea, Rhododendrons, etc.), top dress after planting with iron sulfate or comparable product according to package directions. Top dress after planting with 1/4 to 1/2 cup (line each).
- Planting mix: For trees not in a prepared bed, mix 50% Compro or Leafgro with 50% soil from tree hole to use as backfill; see tree planting detail.
- Needle insect control: Incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. For tree planting, apply a pre-emergent on top of soil and root ball before mulching operation. For areas to be planted with a ground cover, be sure to carefully check the chemical used to ensure its adaptability to the specific groundcover to be treated. Maintain the mulch weed-free for the extent of the warranty period. Under no circumstance is a pesticide containing chlorpyrifos to be used as a means of pest control.
- Water: All plant material planted shall be watered thoroughly the day of planting. All plants planted not yet planted shall be properly protected from drying until planted. At a minimum, water unplanted plant material daily and as necessary to avoid desiccation.
- Pruning: Do not heavily prune trees and shrubs at planting. Prune only broken, dead, or diseased branches.
- All areas within contract limits disturbed during or prior to construction not designated for native plants and mulch shall be fine graded, graded as planted, and covered with straw mulch.

CRD NORTH



NOTES:

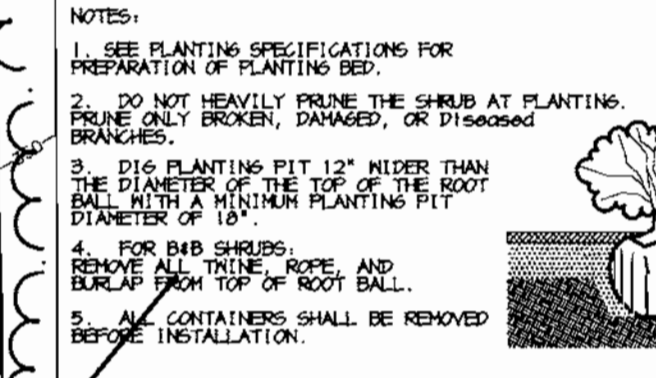
- DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKE TREES ONLY IF RECOMMENDED ON THE PLANT SCHEDULE OR UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT. STAKING DETAIL SHOWN ONLY IF RECOMMENDED.
- DIG PLANTING PIT TWICE AS WIDE AS THE DIAMETER OF THE TOP OF THE ROOT BALL WITH A MINIMUM PLANTING PIT DIAMETER OF 5".



PLANT LIST					
KEY	QTY	BOTANICAL + COMMON NAME	SIZE	ROOT	SPACING
MAJOR DECIDUOUS TREES					
AR	8	Acer rubrum 'Red Sunset' Red Sunset Maple	2 1/2" - 3" Cal.	B & B	Space as shown
AS	3	Acer spicatum 'Green Mountain' Green Mountain sugar maple	2 1/2" - 3" Cal.	B & B	Space as shown
BN*	1	Betula nigra 'Oully' Heritage river birch	2 1/2" - 3" Cal.	B & B	Space as shown
GT	2	Gleditsia triacanthos 'Inermis' Shademaster Shademaster Honeylocust	2 1/2" - 3" Cal.	B & B	Space as shown
EVERGREEN TREES					
PA	6	Picea abies Norway spruce	6" - 8" Ht.	B & B	Space as shown
PS	15	Pinus strobus Eastern white pine	6" - 8" Ht.	B & B	Space as shown
MINOR DECIDUOUS TREES					
AC*	4	Amanchier canadensis Serviceberry	8" - 10" Ht.	B & B	Space as shown
CK	3	Cornus kousa Chinese Dogwood	8" - 10" Ht.	B & B	Space as shown
CP	1	Crataegus phoenopyrum Washington hawthorne	1 1/2" - 2" Cal.	B & B	Space as shown
SHRUBS					
CA*	10	Celastrus ciliolita Summer sweet clematis	30" - 36" Ht.	CONT	Plant 4' o.c.
PERENNIALS / GRASS					
HF*	514	Hesperis matronalis 'Aureomarginata' Gold edge hosta	1 gal.	CONT	Plant 15" o.c.
CE*	4550	Carex elata 'Aurea' ** Bowles golden sedge	2" peat	CONT	Plant 6" o.c.

PLANTING LEGEND	
PROP. SHADE TREE	(Symbol)
PROP. ORNAMENTAL TREE	(Symbol)
PROP. EVERGREEN TREE	(Symbol)
PROP. DECIDUOUS SHRUB	(Symbol)
PROP. TREELINE	(Symbol)
EXISTING SHADE TREE	(Symbol)
EXISTING EVERGREEN TREE	(Symbol)
EXISTING TREELINE	(Symbol)

- NOTES:**
- BIORETENTION PLANTS. REMARKS COLUMN INDICATES HYDROLOGIC ZONES ACCORDING TO APPENDIX OF THE MARYLAND STORMWATER MANAGEMENT ORDINANCE JULY 2000, OR PLANT IS KNOWN TO TOLERATE INUNDATION AS WELL AS DRY AREAS ACCORDING TO COMMON HORTICULTURAL KNOWLEDGE.
 - ** ALSO KNOWN AS CAREX STRICTA 'AUREA'



SCHEDULE A - PERIMETER LANDSCAPE EDGE	
PERIMETER	ADJACENT TO PERIMETER PROPERTIES
LANDSCAPE TYPE	1 2
LINEAR FEET OF ROADWAY FRONTAGE/ PERIMETER	±327' ±278'
CREDIT FOR EXISTING VEGETATION (YES/NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	- -
CREDIT FOR WALL, FENCE, BERM OR DRIVE AISLE (YES/NO/LINEAR FEET)	- -
LINEAR FEET REMAINING	±327' ±311'
NUMBER OF PLANTS REQUIRED	
SHADE TREES	8 5
EVERGREEN TREES	16 -
SHRUBS	16 -
NUMBER OF PLANTS PROVIDED	
SHADE TREES	6 5
EVERGREEN TREES	16 -
SMALL FLOWERING TREES	4 -
SHRUBS	16 -

GENERAL NOTES:

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- FINANCIAL SURETY IS NOT REQUIRED AS THIS IS A HOWARD COUNTY PUBLIC SCHOOL SYSTEM PROJECT.
- THIS PLAN IS FOR LANDSCAPING PURPOSES ONLY.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- ALL MATERIAL SELECTED SHALL BE EQUAL TO OR BETTER THAN THE REQUIREMENTS OF THE "USA STANDARD FOR NURSERY STOCK," LATEST EDITION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEMEN.
- ALL MATERIAL SHALL BE PLANTED IN ACCORDANCE WITH THE MINIMUM STANDARDS SET IN THE LATEST EDITION OF "LANDSCAPE SPECIFICATION GUIDELINES" PUBLISHED BY THE LANDSCAPE CONTRACTORS ASSOCIATION.
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREBY LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT, REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL, IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE DELIVERED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.

DEVELOPER'S/BUILDER'S CERTIFICATE
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL, AND I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPING WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DATE: 12/28/01
SIGNATURE: David Dows #830

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
DATE: Nov. 28, 2001

OWNER / DEVELOPER: THE HOWARD COUNTY PUBLIC SCHOOL SYSTEM, 10910 ROUTE 108, ELLICOTT CITY, MARYLAND 21042

PROJECT: HEAD START FACILITY AT OWEN BROWN MIDDLE SCHOOL / DASHER GREEN ELEMENTARY

AREA: TAX MAP 36 PARCEL 405 ZONED NT VILLAGE OF OWEN BROWN 1/2, LOT 65 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE: LANDSCAPE PLAN

RIEMER MUEGGE
Patton Harris Rust & Associates, pc
ENGINEERS • SURVEYORS • PLANNERS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SPECIALISTS
8818 Centre Park Drive, Columbia, MD 21045 • tel 410.997.8800 fax 410.997.9282

DATE: 12/4/01
DESIGNED BY: DMD
DRAWN BY: DMD
CHECKED BY: DTD
PROJECT NO: 00369/201
DATE: DECEMBER 17, 2001
SCALE: 1" = 30'
DRAWING NO: 6 OF 6
SDP-02-10

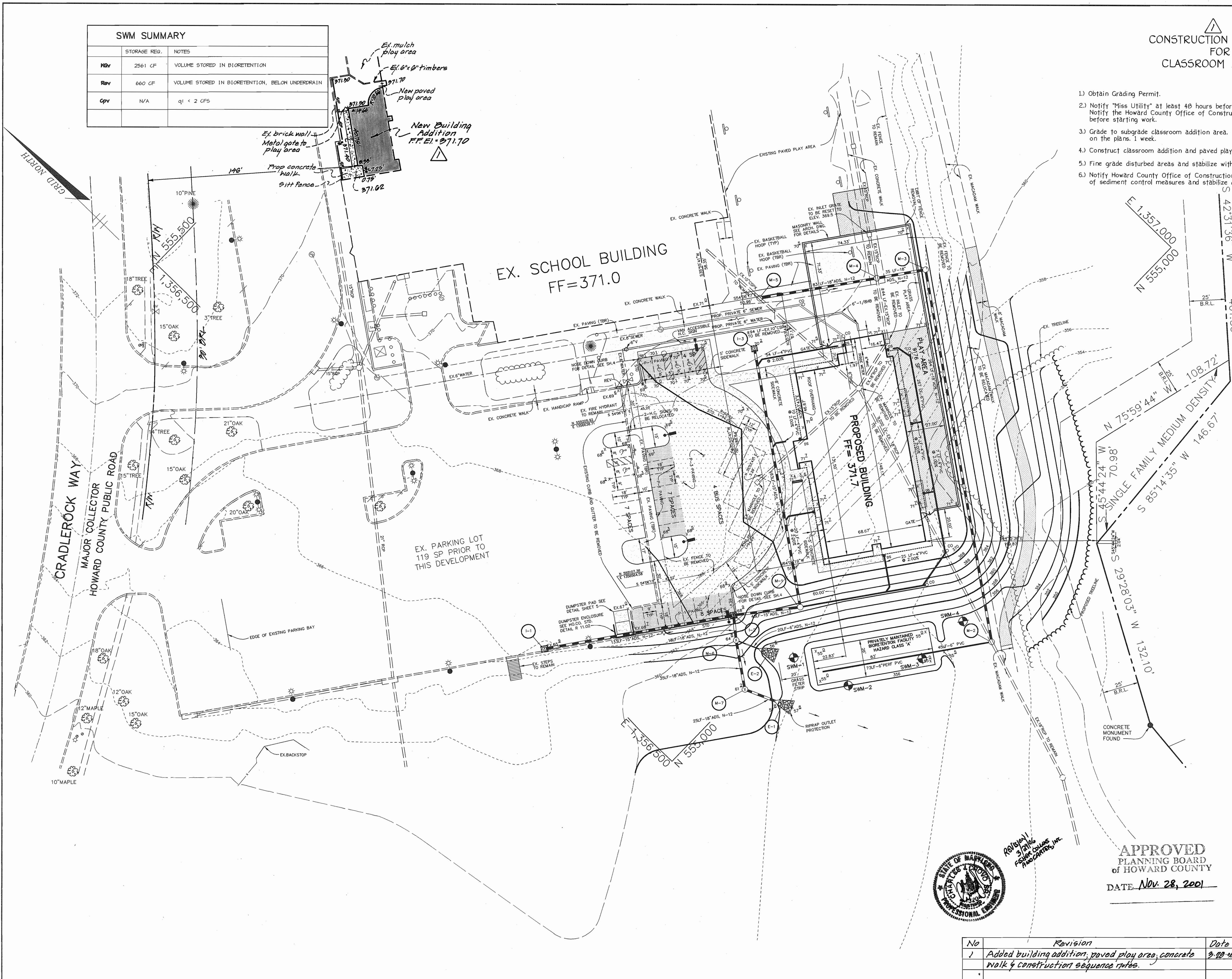
SWM SUMMARY		
STORAGE REQ.		NOTES
Max	2561 CF	VOLUME STORED IN BIORETENTION
Rev	660 CF	VOLUME STORED IN BIORETENTION, BELOW UNDERDRAIN
Opv	N/A	q1 < 2 CFS

CONSTRUCTION SEQUENCE
FOR
CLASSROOM ADDITION

1. Obtain Grading Permit.
2. Notify "Miss Utility" at least 48 hours before beginning any work at 1-800-257-7777. Notify the Howard County Office of Construction/Inspection at 410-313-1330 24 hours before starting work.
3. Grade to subgrade classroom addition area. Install sediment control measures shown on the plans. 1 week.
4. Construct classroom addition and paved play area. 9 months.
5. Fine grade disturbed areas and stabilize with permanent seeding.
6. Notify Howard County Office of Construction/Inspection for permission for removal of sediment control measures and stabilize disturbed areas with permanent seeding.

NOTES:

1. ALL RADII ARE 5' UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO FACE OF CURB OR BUILDING UNLESS OTHERWISE NOTED.
3. ALL ON-SITE ROADS ARE PRIVATE.
4. ALL LIGHTING IS TO BE DIRECTED/REFLECTED AWAY FROM ADJACENT PUBLIC ROADS AND RESIDENTIALLY ZONED PROPERTIES AND BE IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
5. * STD/REV - STANDARD TO REVERSE CURB TRANSITION.
6. P-1 PAVING
7. P-3 PAVING
8. CONCRETE
9. PAVEMENT TO BE REMOVED
10. MACADAM HALK/PAVING
11. FOR DETAILS OF SIDEWALK, MACADAM HALK, CURB, ETC. SEE SHEET 4.
12. DS - DENOTES DOWNSPOUTS



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

James P. Rust 1/6/02
DIRECTOR DATE
Michael J. Fox 12/28/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
Wanda H. Hunter 1/6/02
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE NO. REVISION

OWNER / DEVELOPER

THE HOWARD COUNTY PUBLIC SCHOOL SYSTEM
10910 ROUTE 108
ELLICOTT CITY, MARYLAND 21042

PROJECT HEAD START FACILITY
AT OWEN BROWN MIDDLE SCHOOL/
DASHER GREEN ELEMENTARY

AREA TAX MAP 36 PARCEL 405 ZONED NT
VILLAGE OF OWEN BROWN 1/2, LOT 65
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE SITE DEVELOPMENT PLAN

RIEMER MUEGGE
a division of:
Patton Harris Rust & Associates, pc
ENGINEERS • SURVEYORS • PLANNERS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SPECIALISTS
8818 Centre Park Drive, Columbia, MD 21045 • tel 410.997.8900 fax 410.997.8282

12-14-01
DATE
DESIGNED BY: C.J.R.
DRAWN BY: MAD
CHECKED BY: C.J.R.
PROJECT NO: 00369/
SDP2.DWG
DATE: DECEMBER 17, 2001
SCALE: 1"=30'
DRAWING NO. 2 OF 6

CHRISTOPHER J. REID #19949



APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE Nov. 28, 2001

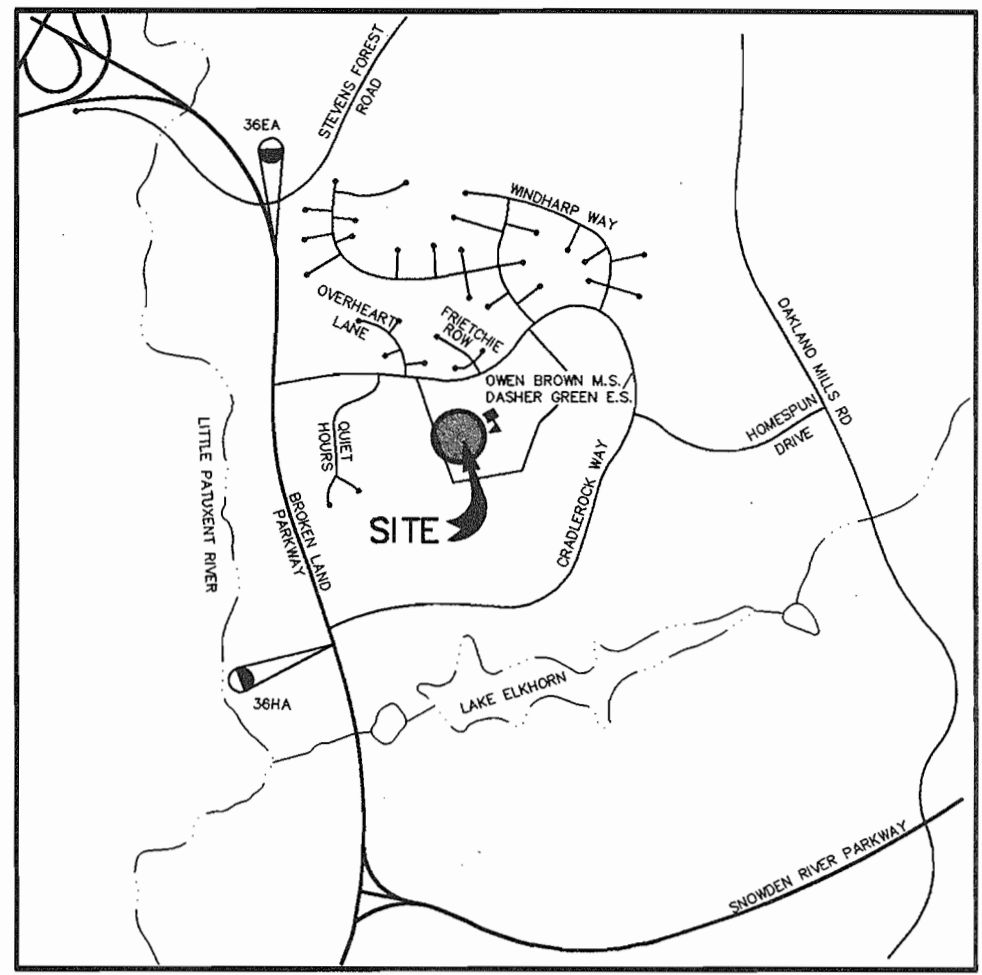
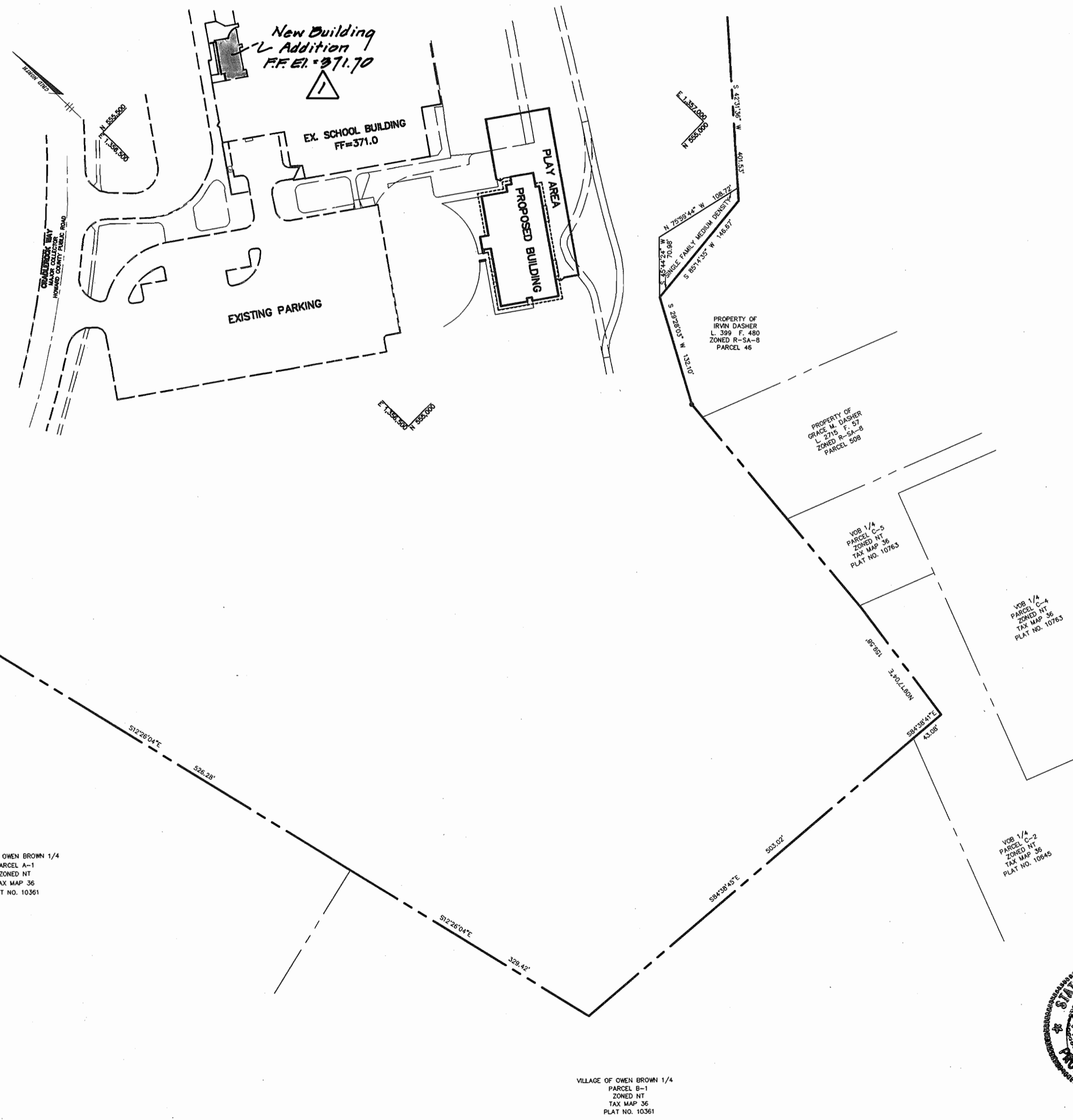
No	Revision	Date
1	Added building addition, paved play area, concrete walk & construction sequence notes.	9-29-01

SHEET INDEX	
No.	DESCRIPTION
1	TITLE SHEET
2	SITE DEVELOPMENT PLAN
3	GRADING, SEDIMENT CONTROL PLAN & DRAINAGE AREA MAP
4	DETAILS AND NOTES
5	PROFILES AND DETAILS
6	LANDSCAPE PLAN

SITE DEVELOPMENT PLAN HEAD START FACILITY AT OWEN BROWN MIDDLE SCHOOL/ DASHER GREEN ELEMENTARY SCHOOL 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 36EA AND 36HA WERE USED FOR THIS PROJECT.
- WATER IS PUBLIC. CONTRACT NO. 486 D,W&S
- SEWER IS PUBLIC. SEWER DRAINAGE AREA: LITTLE PATUXENT CONTRACT NO. 489 D&S
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- A 100-YEAR FLOODPLAIN STUDY IS NOT REQUIRED FOR THIS PROJECT.
- THERE ARE NO ON-SITE WETLANDS AS PER FIELD VISIT OF JULY 2001.
- A TRAFFIC STUDY IS NOT REQUIRED FOR THIS PROJECT.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- THE BOUNDARY FOR THIS PROJECT IS BASED ON PREVIOUSLY RECORDED PLAT No. F 75-79 BOOK 31 FOLIO 10 (AUGUST 4, 1975).
- SUBJECT PROPERTY ZONED NEW TOWN OPEN SPACE (CREDITED AND NON-CREDITED) PER 10-18-93 COMPREHENSIVE ZONING PLAN.
- ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
- SEE DEPARTMENT OF PLANNING AND ZONING FILE NOS: SDP-75-58c, FDP PHASE 127 A-VI, F-75-79.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD.
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE.
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- STORM DRAIN TRENCHES WITHIN ROAD RIGHT OF WAY SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.E., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, LATEST AMENDMENTS.
- PROFILES STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN.
- ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T180.
- THE EXISTING TOPOGRAPHY IS PER PHREA SURVEY DATED JANUARY, 2001 WITH MAXIMUM TWO FOOT CONTOUR INTERVALS.
- A GEOTECHNICAL STUDY FOR THIS PROJECT WAS PREPARED BY ECS, LTD DATED JUNE, 2001.
- STORMWATER MANAGEMENT FOR RECHARGE AND WATER QUALITY VOLUMES ARE PROVIDED VIA A PROPOSED ON-SITE PRIVATELY MAINTAINED BIORETENTION FACILITY.
- THERE ARE NO CEMETARIES OR BURIAL GROUNDS ON THE SITE TO THE BEST OF OUR KNOWLEDGE.
- THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BECAUSE THE PRELIMINARY DEVELOPMENT PLAN OF COLUMBIA WAS APPROVED PRIOR TO DECEMBER 31, 1992.
- LANDSCAPING IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL IS PROVIDED.



VICINITY MAP

SCALE: 1"=200'

HOWARD COUNTY CONTROL STATIONS

36EA N 556986.794 E 1354635.254 ELEV. 355.577 CONC. MONUMENT	36HA N 555116.609 E 1354381.451 ELEV. 292.938 CONC. MONUMENT
--	--

SITE ANALYSIS

AREA OF SITE	33.165 ACRES
DISTURBED AREA	2.3 ACRES
PRESENT ZONING	NT
EXISTING BUILDING COVERAGE	2.92 ACRES (8.8% OF TOTAL PARCEL)
PROPOSED BUILDING COVERAGE	0.22 ACRES (0.7% OF TOTAL PARCEL)
TOTAL BUILDING COVERAGE	3.14 ACRES (9.5% OF TOTAL PARCEL)
PROPOSED BUILDING USE	PRESCHOOL HEAD START FACILITY
# OF EX. PARKING SPACES	119 SPACES
# OF EX. PARKING SPACES REMOVED	13 SPACES
# OF NEW PARKING SPACES PROVIDED	26 SPACES (INCLUDING 5 HC)
NET PARKING GAIN	13 SPACES
TOTAL ON-SITE PARKING (INCLUDING PARKING GAIN)	132 SPACES
AREA OF PARKING LOT (MAX. 3.165 AC. PER FDP)	2.32 Ac.

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

<i>James R. Rust</i> DIRECTOR	1/8/02	DATE
<i>Shirley A. ...</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	12/28/01	DATE
<i>Cindy ...</i> CHIEF, DIVISION OF LAND DEVELOPMENT	1/8/02	DATE

DATE	NO.	REVISION

OWNER / DEVELOPER
THE HOWARD COUNTY PUBLIC SCHOOL SYSTEM
10910 ROUTE 108
ELLCOTT CITY, MARYLAND 21042

PROJECT HEAD START FACILITY
AT OWEN BROWN MIDDLE SCHOOL/
DASHER GREEN ELEMENTARY
AREA TAX MAP 36 PARCEL 405 ZONED NT
VILLAGE OF OWEN BROWN 1/2, LOT 65
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE TITLE SHEET

RIEMER MUEGGE
Patton Harris Rust & Associates, pc
ENGINEERS • SURVEYORS • PLANNERS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SPECIALISTS
8818 Centre Park Drive, Columbia, MD 21045 • tel 410.997.8900 fax 410.997.9282

12-14-01
DATE
DESIGNED BY: C.J.R.
DRAWN BY: MAD
CHECKED BY: C.J.R.
PROJECT NO.: 00369/
SDP1.DWG
DATE: DECEMBER 17, 2001
SCALE: AS SHOWN
DRAWING NO. 1 OF 6
CHRISTOPHER J. REID #19949

Note:
A building permit shall be applied for within 1-year from the date of the DEP approval for the building addition or 5-22-02.



APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE Nov. 28, 2001

ADDRESS CHART

PARCEL	ADDRESS
405	6750 CRADLEROCK WAY

PLAN
SCALE: 1"=100'

No.	Revision	Date
1	Added building addition, paved play area & conc. walk	3-29-02

SUBDIVISION NAME: VILLAGE OF OWEN BROWN		SECT./AREA: 1/2	PARCEL: 405
PLAT: F-75-79	BLOCK: 21	ZONING: NT	TAX MAP NO.: 36
BLOCK DIST.: 6TH		CONC. TRACT.: 6067.02	
WATER CODE: E 10		SEWER CODE: 5410500	

