

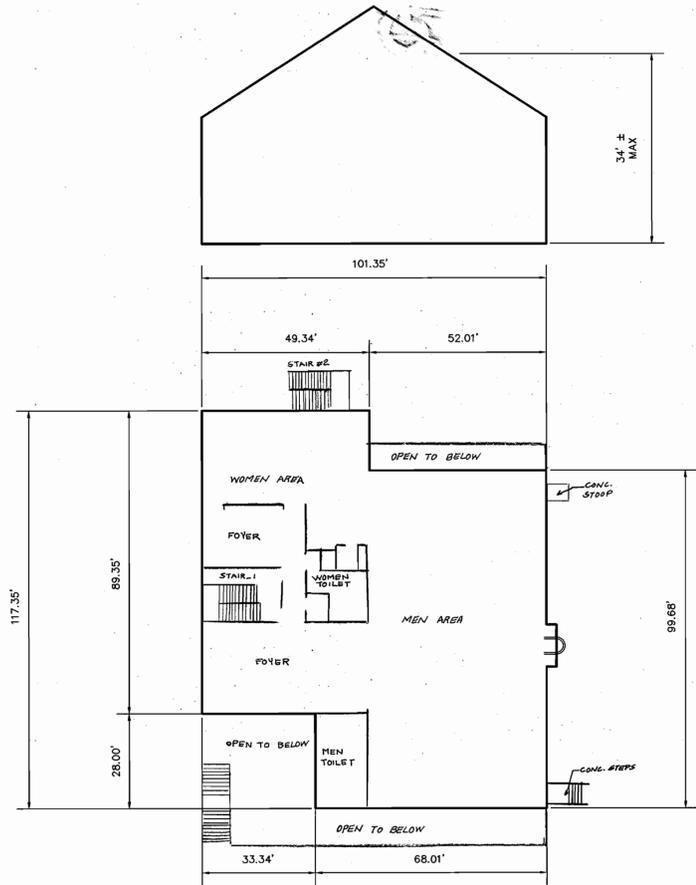
SITE DEVELOPMENT PLANS

DAR AL-TAQWA

PHASE II

SECOND ELECTION DISTRICT

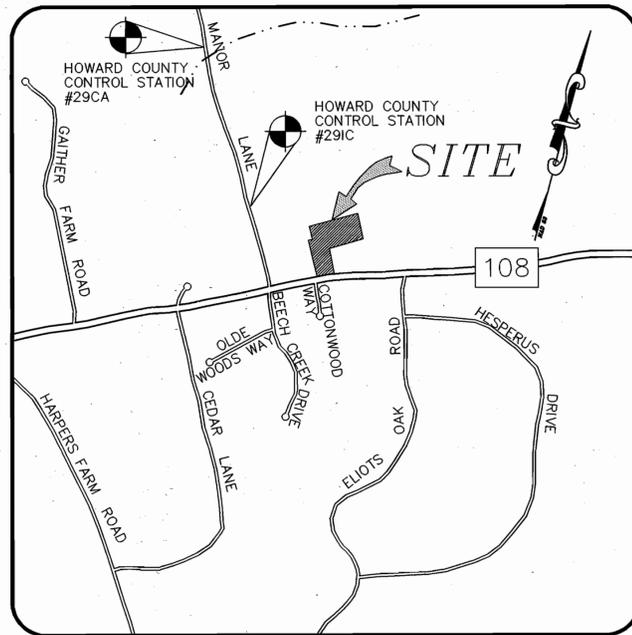
HOWARD COUNTY, MARYLAND



BUILDING FOOTPRINT

PROPOSED 2 STORY RELIGIOUS FACILITY AND RELIGIOUS CLASSROOMS

SCALE: 1"=25'



VICINITY MAP

SCALE: 1" = 1000'

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/CONSTRUCTION INSPECTIONS DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES ON SITE PRIOR TO COMMENCING CONSTRUCTION.
4. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) DAYS PRIOR TO ANY EXCAVATION WORK:
 - MISS UTILITY 1-800-257-7777
 - VERIZON COMPANY (410) 725-9976
 - HOWARD COUNTY BUREAU OF UTILITIES (410) 313-4900
 - AT&T CABLE LOCATION DIVISION (410) 393-3533
 - BALTIMORE GAS & ELECTRIC (410) 685-0123
 - STATE HIGHWAY ADMINISTRATION (410) 531-5533
 - HOWARD COUNTY DEPT. OF PUBLIC WORKS/ CONSTRUCTION INSPECTION DIVISION (410) 313-1880
5. TAX MAP: 29 PARCEL: 12 BLOCK: 11
 EX. ZONING: RC-DEO
 GROSS AREA OF SITE: 6.79± AC
 DEED REFERENCE: 3510/350
 PREVIOUS COUNTY FILE NUMBERS: SDP-97-138
6. BOUNDARY AND TOPOGRAPHY SURVEY PERFORMED BY NIT ASSOCIATES, INC. ON OR ABOUT AUGUST 1995.
7. SOILS AREA BASED ON HOWARD COUNTY SOILS MAP # 19
8. WATER AND SEWER ARE BOTH PRIVATE.
9. PROPOSED USE: RELIGIOUS FACILITY AND RELIGIOUS CLASSROOMS.
10. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON MARYLAND STATE PLANE COORDINATE SYSTEM. STATIONS No. 29CA AND 29IC
 STA. No. 29CA N 574,526.1048 E 1,343,533.7490
 STA. No. 29IC N 572,323.5403 E 1,344,112.2704
11. NO WETLANDS, FLOODPLAINS, OR BURIAL SITES EXIST ON THE SITE.
12. THE EXTERIOR BUILDING MATERIAL WILL BE STEEL FRAME WITH COMPOSITE MASONRY AND EIFS (EXTERIOR INSULATING FINISH SYSTEM) OR DRYVIT WALLS, METAL AND CLAY TILE ROOF.
13. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
14. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (13 SHADE TREES & 55 EVERGREENS) WILL BE POSTED AS PART OF THE GRADING PERMIT. IN THE AMOUNT OF \$ 12,150.00.
15. THIS PROJECT IS SUBJECT TO BOARD OF APPEALS CASE #BA 94-37E WHICH IS A SPECIAL EXCEPTION TO ALLOW THE CONSTRUCTION OF A RELIGIOUS FACILITY ON A PARCEL OF LAND ZONED RC-DEO PROVIDED THAT:
 - 1) THE PETITIONER SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND COUNTY LAWS AND REGULATIONS, INCLUDING THE REQUIREMENTS OF THE STATE HIGHWAY ADMINISTRATION CONCERNING ACCESS AND ROAD IMPROVEMENTS.
 - 2) THE PETITIONER SHALL INSTALL A GATE OR CHAIN ACROSS THE ENTRANCE TO THE FACILITY, SO AS TO PREVENT ACCESS DURING HOURS WHEN THE FACILITY IS NOT IN USE.
 - 3) THE APPROVAL FOR PHASE 2 SHALL BECOME VOID UNLESS A BUILDING PERMIT FOR THE PHASE 2 IMPROVEMENTS IS OBTAINED ON OR BEFORE DECEMBER 31, 2000.
 - 4) THE EASTERN, WESTERN AND SOUTHERN LOT LINES SHALL BE SCREENED AS INDICATED ON PETITIONER'S "REVISED PLAN FOR PHASE 1 AND 2", DATED 1-11-95, WITH TYPE "D" LANDSCAPING IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPING MANUAL.
 - 5) THE GRANTED SPECIAL EXCEPTION SHALL APPLY SOLELY TO THE PROPOSED RELIGIOUS FACILITY AS INDICATED IN THE "REVISED PLAN FOR PHASE 1 AND 2", AND NOT TO ANY OTHER STRUCTURES, ADDITIONS, ACTIVITIES, OR USES.
 - 6) THE PHASE 2 STRUCTURE SHALL BE LOCATED AS INDICATED ON PETITIONER'S "REVISED PLAN FOR PHASE 1 AND 2", SET BACK AT LEAST ONE HUNDRED (100) FEET FROM ALL LOT LINES.
 - 7) ALL EXTERIOR LIGHTING SHALL BE LOW LEVEL, "BOLLARD" STYLE FIXTURES, DIRECTED DOWNWARD AND INWARD SO AS NOT TO SHINE OR REFLECT ONTO ADJACENT PROPERTIES OR ROADS.
 - 8) NO BELLS OR OUTDOOR AMPLIFICATION SHALL BE USED ON SITE.
16. TYPE D LANDSCAPE BUFFER IS SHOWN AS REQUIRED BY BA-94-37E.
17. THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BECAUSE THE DEVELOPMENT ACTIVITIES ARE ON A SINGLE LOT OF ANY SIZE AND THE AREA OF FOREST BEING CLEARED DOES NOT EXCEED 40,000 SQUARE FEET. THE FOREST BEING CLEARED ON-SITE IS APPROXIMATELY 37,375 SQUARE FEET. THIS INCLUDES THE ENTIRE PARCEL, PHASES 1 & II.
18. NO NEW CONSTRUCTION OR BUILDING EXTENSIONS/ADDITIONS ARE PERMITTED WITHOUT FURTHER APPROVAL FROM THE BOARD OF APPEALS. THIS SITE DEVELOPMENT PLAN DOES NOT GRANT APPROVAL OF ANY SIGNS TO BE ERECTED ON THE PROPERTY.
19. THERE SHALL BE NO OUTDOOR LIGHTING ON THE BUILDING AND NO PARKING LIGHTING EXCEPT THE PROPOSED BOLLARD TYPE LIGHTING AS APPROVED BY THE BOARD OF APPEALS IN BA CASE No. 94-37E. PARKING LOT LIGHTING SHALL BE TURNED OFF AFTER ALL ACTIVITIES EXCEPT THOSE NECESSARY FOR SECURITY PURPOSES.
20. TRAFFIC CONTROL DEVICES, MARKING AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
21. ALL PLAN DIMENSIONS ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
22. BOUNDARY, TOPOGRAPHY AND EXISTING UTILITIES ARE BASED ON A SURVEY PERFORMED BY NIT ASSOCIATES, INC. ON OR ABOUT AUGUST 1995.
23. STORMWATER MANAGEMENT IS PRIVATELY OWNED AND MAINTAINED. IT IS PROVIDED UNDER APPROVED SDP-97-138. IT IS PROVIDED VIA THE METHOD OF EXTENDED DETENTION.
24. THE 34' TALL MINARET PROPOSED AT THE SE CORNER OF THE RELIGIOUS FACILITY AS REVIEWED BY THE BOARD OF APPEALS IS NOT PLANNED TO BE CONSTRUCTED UNDER THIS SITE DEVELOPMENT PLAN.
25. THERE ARE NO PLAYGROUNDS, COURTYARDS OR FENCING PROPOSED UNDER THIS SITE DEVELOPMENT PLAN.
26. THE RELIGIOUS FACILITY AS APPROVED BY THE BOARD OF APPEALS IN BA CASE No. 94-37E ARE TO BE CONDUCTED ON THE FIRST FLOOR OF THE PROPOSED RELIGIOUS STRUCTURE CONSISTING OF APPROXIMATELY 9,800 sq.ft.
27. THE EXISTING STRUCTURE TO REMAIN (PHASE I), WILL BE USED AS A HOUSE FOR THE CARETAKER, PER BA 94-37E. THE BOARD OF APPEALS ORDER (NOV. 2, 2000) FOR CASE No. BA 94-37E CONCLUDED THAT: "THE TIME PERIOD FOR OBTAINING A BUILDING PERMIT FOR PHASE 2, AS REQUIRED BY CONDITION No. 3 IN THE DECISION AND ORDER FOR BA 94-37E APPROVED ON MAY 25, 2000, IS HEREBY EXTENDED UNTIL DECEMBER 31, 2002"
28. THE PROPOSED BUILDING CONSIST OF:
 - BASEMENT FLOOR: RELIGIOUS CLASSROOMS (APPROX. 9800 sq.ft.)
 - FIRST FLOOR: MAIN PRAYER AREA: (APPROX. 9800 sq.ft.)
 - SECOND FLOOR: LIBRARY: (APPROX. 4300 sq.ft.)
29. THIS SITE DEVELOPMENT PLAN CONFORMS TO THE 4TH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
30. EXISTING WELL TO BE PROPERLY ABANDONED WITHIN 180 DAYS FROM THE DATE THIS PLAN IS SIGNED BY THE HEALTH DEPARTMENT IN ACCORDANCE WITH HOWARD COUNTY DEPARTMENT REQUIREMENTS.
31. THE GROUNDWATER APPROPRIATION PERMIT, NO. IS H020023008 (01).

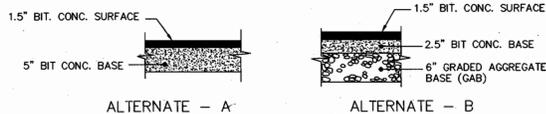
SITE ANALYSIS DATA CHART

PURPOSE (PHASE II)	CONSTRUCTION OF A NEW TWO STORY COMMUNITY RELIGIOUS CENTER WITH RELIGIOUS CLASSROOMS AND PARKING IN ACCORDANCE WITH BA CASE No. 94-37E		
TOTAL AREA OF PROJECT / SUBMISSION	6.79 AC± (PHASE I AND PHASE II) (PARCEL 12)		
LIMIT OF DISTURBED AREA	1.52 AC± / PHASE I	1.95 AC± / PHASE II	
TOTAL DISTURBED AREA	3.47 AC±		
EXISTING ZONING	RC-DEO		
PROPOSED USE	RELIGIOUS COMMUNITY CENTER		
	PHASE I*	PHASE II**	TOTAL
FLOOR AREA PER FIRST FLOOR	1,400 SF	9,800	9,800 SF*
BUILDING COVERAGE	0.5%	3.31%	3.81%
PARKING SPACES REQUIRED PER AREA OF MAIN ASSEMBLY (10 SPACES / 1000 SF FLOOR SPACE)	10	99	99 ACCORDING TO DECISION AND ORDER CASE # BA-94-37E
PARKING SPACES PROVIDED	41	58	99
HANDICAPPED SPACES REQUIRED	2	2	4
HANDICAPPED SPACES PROVIDED	2	2	4

* PHASE I EXISTING RELIGIOUS ASSEMBLY USE TO BE ABANDONED UPON CONSTRUCTION OF PHASE II
 ** SEE NOTE NO. 28.

SHEET INDEX

1	COVER SHEET
2	SITE DEVELOPMENT & LANDSCAPING PLAN
3	MISC. DETAILS, PROFILES AND SECTIONS
4	SEDIMENT CONTROL NOTES AND DETAILS



P-2 PAVING
STANDARD DETAIL R 2.01
NOT TO SCALE

PERMIT INFORMATION BLOCK					
PROJECT NAME	DAR AL TAQWA		SECT./AREA	PHASE II	
LIBER/FOLIO	BLOCK #	ZONE	TAX/ZONE MAP	ELECT. DIST	CENSUS TRK
9113	11	RC-DEO	29	2ND	6023.01
WATER CODE	SEWER CODE				
N/A	N/A				

ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
PARCEL 12	10740 ROUTE 108, ELLICOTT CITY, MD 21042

DEVELOPERS CERTIFICATE
 I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

Sayed Hasan 5/16/02
 SIGNATURE OF DEVELOPER DATE
 Sayed Hasan
 PRINTED NAME OF DEVELOPER

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A REASONABLE AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

John Miltenberg 5/20/02
 SIGNATURE OF ENGINEER DATE
 JOHN MILTENBERG
 PRINTED NAME OF ENGINEER

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.
Jim M. Guss 5/20/02
 USER - NATURAL RESOURCE CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
John R. Blanton 5/22/02
 HOWARD COUNTY SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 5/20/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
[Signature] 7/16/02
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
[Signature] 7/16/02
 DIRECTOR DATE

APPROVED: FOR PUBLIC WATER AND PRIVATE SEWER HOWARD COUNTY HEALTH DEPARTMENT.
[Signature] 7/18/02
 HOWARD COUNTY HEALTH OFFICER DATE

project	96098	date	SBP, 2001
illustration	SA	engineering	SA
scale	1"=50'	approval	RH

no.	description	date
1	CHANGE HEALTH DEPT. SIGNATURE BLOCK TO PUBLIC WATER DIVISION	

HOWARD COUNTY
 SECOND ELECTION DISTRICT
 DAR AL-TAQWA/PHASE II
 COMMUNITY RELIGIOUS CENTER
 TAX MAP 29 PARCEL 12
 COVER SHEET

MILDENBERG, BOENDER & ASSOC., INC.
 Engineers Planners Surveyors
 5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland, 21042
 (410) 997-0296 Balt. (301) 621-5521 Wash. (410) 997-0298 Fax.

OWNER/DEVELOPER

DAR AL TAQWA, INC.
 10740 ROUTE 108
 ELLICOTT CITY, MD 21042
 (410) 997-5711

SDP02-04



Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. 28559 Expiration Date: 7-22-13

FOR REVISION BY BENCHMARK ENGINEERING INC. ONLY

NOTES:

- 1. EX. LANDSCAPE TREES CLOSE TO THE FOREBAY AND THE SWM POND TO BE REMOVED, AS NECESSARY, AND REPLANTED AFTER GRADING HAS BEEN COMPLETED, IN THE SAME APPROXIMATE LOCATION.
2. ALL RADII ARE 5' UNLESS OTHERWISE STATED ON THE PLAN.
3. ALL ROOF LEADERS FOR THE BUILDING TO BE DIRECTED TOWARDS THE WESTERN SWALE AND INTO THE SWM POND.
4. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
5. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (13 SHADE TREES & 55 EVERGREENS) WILL BE POSTED AS PART OF THE GRADING PERMIT. IN THE AMOUNT OF \$ 12,150.00.

DEVELOPERS CERTIFICATE

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature of Developer: Sayad Hassan, Date: 5/10/12

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.

Signature of Engineer: Jim Milberg, Date: 5/10/12

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

Signature: Jim Meyer, Date: 5/28/12

Signature: John Robinson, Date: 7/28/12

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Signature: Chris Hantz, Date: 7/16/12

APPROVED: FOR PUBLIC WATER AND PRIVATE SEWER. HOWARD COUNTY HEALTH DEPARTMENT.

Signature: Roy B... Date: 7/16/12

SEDIMENT TRAP DATA UNDER SDP-97-138

Table with 2 columns: TRAP NUMBER, and values for DRAINAGE AREA, WET STORAGE AREA, DRY STORAGE AREA, WEIR LENGTH, STORAGE DEPTH, CLEANOUT ELEVATION, EMBANKMENT HEIGHT, EMBANKMENT ELEVATION, TRAP BOTTOM ELEVATION, EX. GROUND OUTLET, CREST ELEVATION.

LEGEND

- SP - DENOTES SILT FENCE
SSP - DENOTES SUPER SILT FENCE
LDD - DENOTES LIMIT OF DISTURBANCE
A-1 - DENOTES TYPE A-1 EARTH DIKE
SPZ - DENOTES SILT FENCE DIVERSION
[] - DENOTES AREAS OF HOWARD COUNTY P-1 PAVING
[] - DENOTES AREAS OF SEPTIC EASEMENT

SOIL CLASSIFICATION

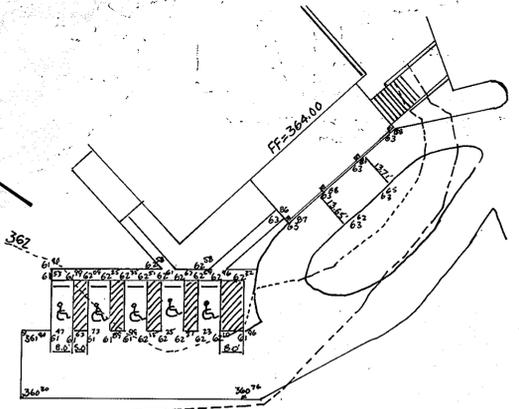
ChB2: CHESTER SILT LOAM 3 TO 8% SLOPES, MODERATELY ERODED TYPE B (X SEWAGE DISPOSAL FIELDS : SLIGHT)

DEVELOPER'S/OWNER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE IN ACCORDANCE TO THIS PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Signature: Sayad Hassan, Date: 5/10/12

SEPTIC DESIGN: GALLONS PER DAY CRITERIA: RELIGIOUS FACILITY 120 PEOPLE MAX AT ANY TIME. SEPTIC TANK: 2000 GALLON PER DAY PER BUILDING. SEPTIC TANK SIZE = MIN. 1000 GALLON TANK.



LANDSCAPE REQUIREMENT PLANTING SCHEDULE

Table with 5 columns: QUANTITY, SYMBOL, BOTANICAL NAME, COMMON NAME, SIZE. Includes rows for ACER SACCHARUM and PINUS STROBUS.

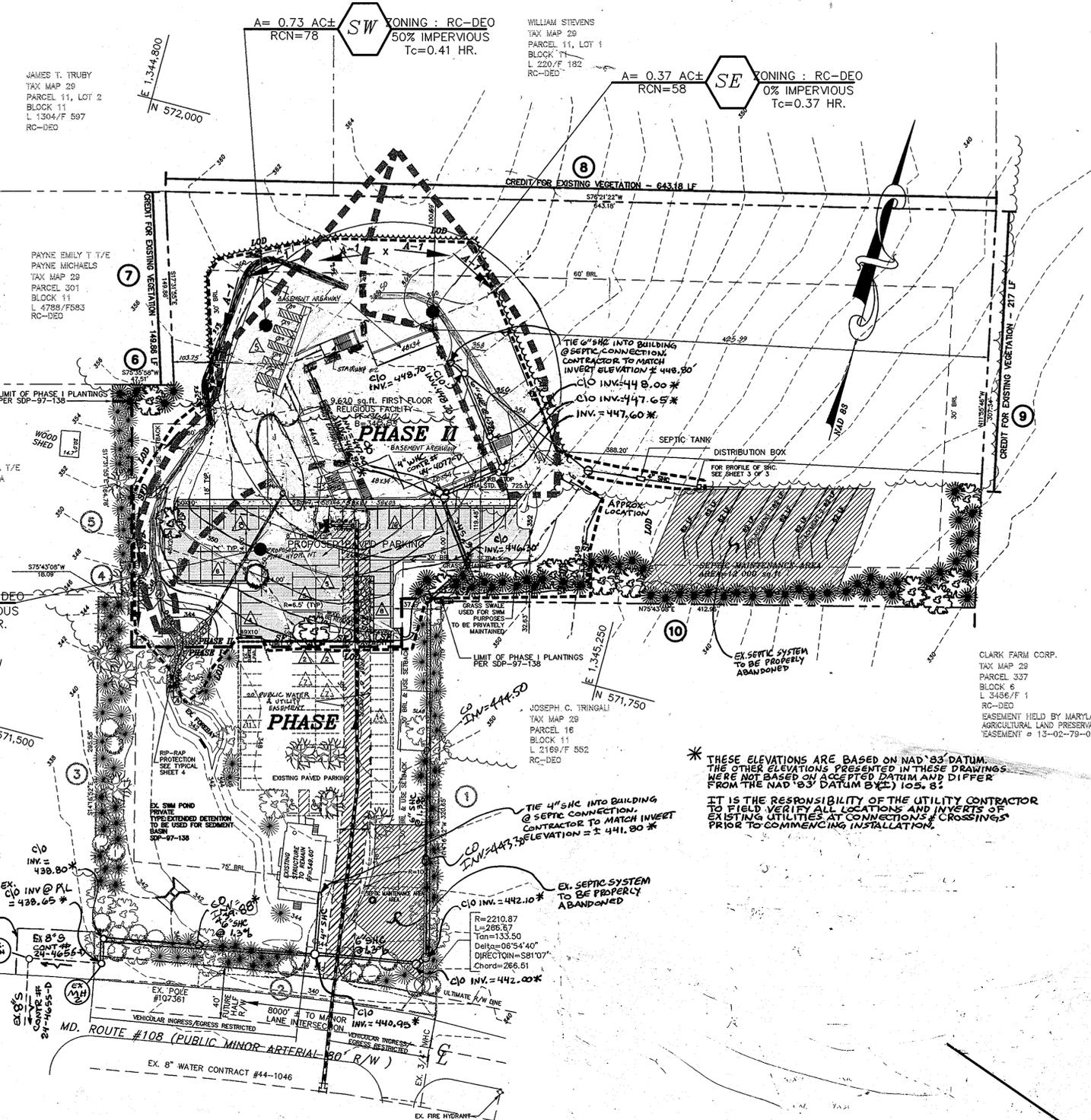
SCHEDULE A: PERIMETER LANDSCAPED EDGE

Table with 2 columns: CATEGORY, ADJ. TO PERIMETER PROPERTIES. Includes rows for LANDSCAPE TYPE, LINEAR FEET OF PERIMETER, CREDIT FOR EXISTING VEGETATION, etc.

SCHEDULE B: PARKING LOT INTERNAL LANDSCAPING

Table with 2 columns: NUMBER OF PARKING SPACES, NUMBER OF PLANTING ISLANDS REQUIRED, NUMBER OF TREES PROVIDED, etc.

PERIMETER table with columns: PERIMETER (1-10), EDGE TYPE, and a list of plant types and quantities.

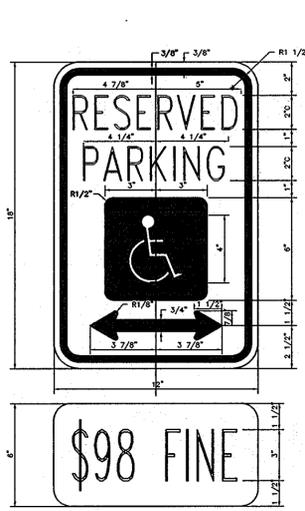


Project information table with columns: date, project, illustration, scale, approval.

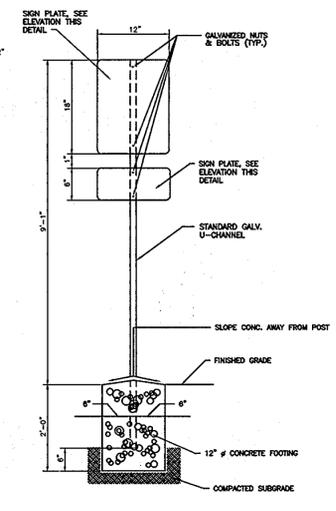
Revision table with columns: date, description, revision.

DAR AL-TAQWA/PHASE II COMMUNITY RELI GIBAS CENTER TAX MAP 29 PARCEL 12 SECOND ELECTION DISTRICT HOWARD COUNTY SITE DEVELOPMENT & LANDSCAPING PLAN

MILDBERG, BOENDER & ASSOC., INC. Engineers Planners Surveyors 5012 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042 (410) 997-0296 Fax: (301) 621-5521 Wash. (410) 997-0298 Fax.



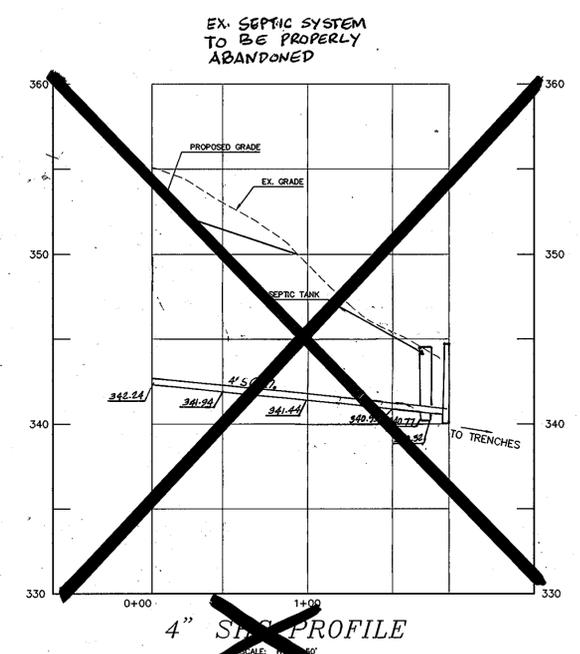
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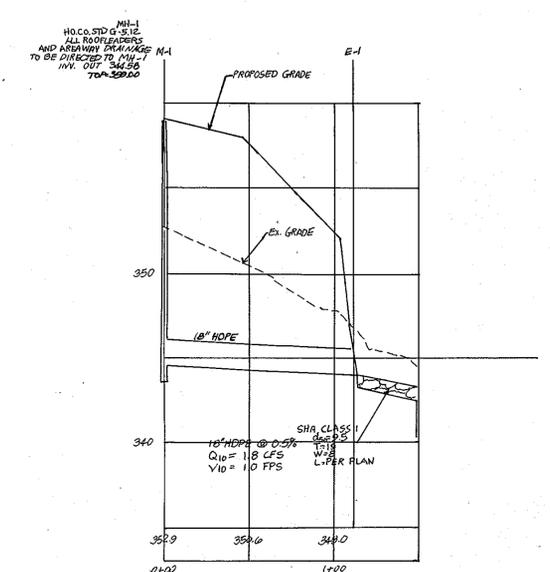
BOLLARD LIGHT DETAIL
SCALE 1"=5'



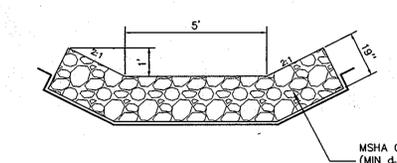
HANDRAIL DETAIL
SCALE 1"=5'



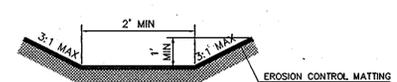
4" SD PROFILE



18" SD PROFILE



TYPICAL OUTFALL SECTION
SCALE 1"=3'



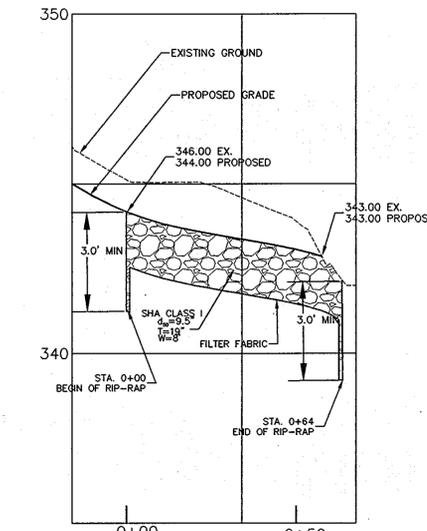
GRASS CHANNEL SECTION

STRUCTURE SCHEDULE

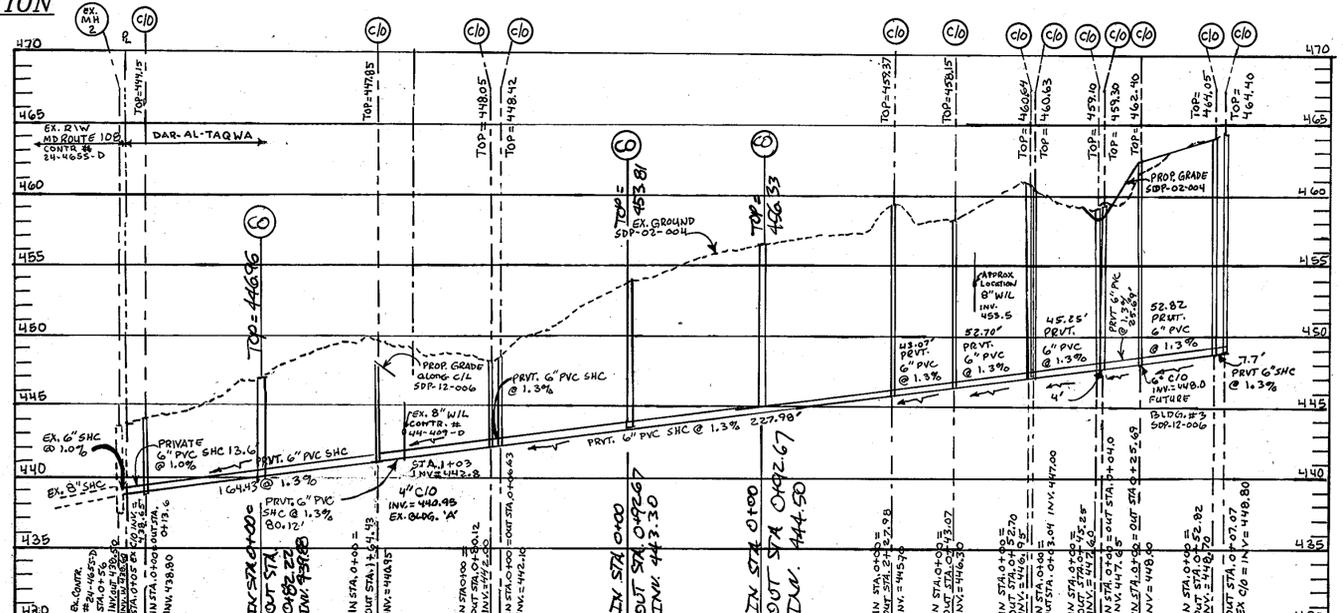
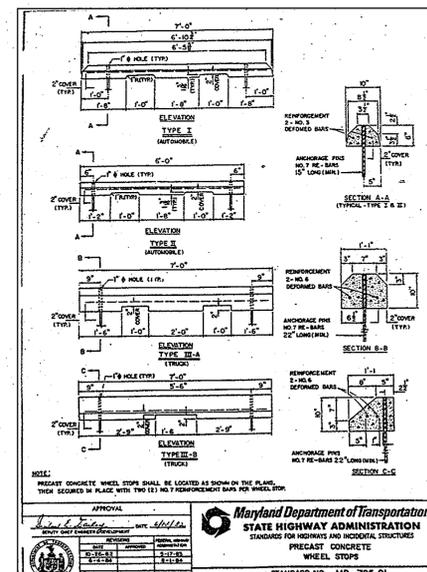
NO.	LOCATION	TOP EL.	INV. IN.	INV. OUT.	COMMENTS
NH-1	N 571730.3377 E 1344976.7492	359.00	-	344.50	H.C. STD. G-5.12

PIPE SCHEDULE

PIPE SIZE	LENGTH
18" HOPE	108 LF.

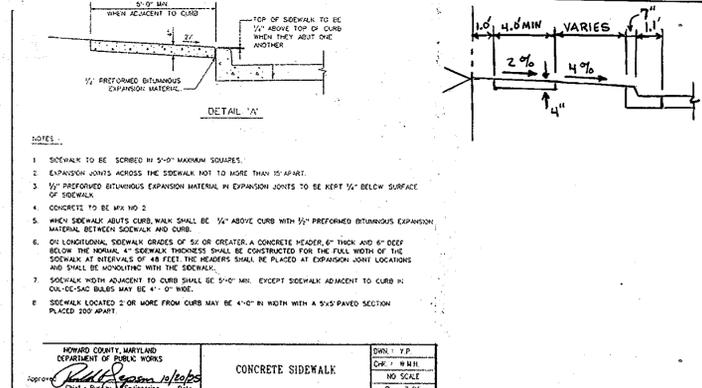


OUTFALL PROFILE A-A
SCALE H. 1"=25'
V. 1"=2.5'



PRIVATE 6" SHC PROFILE

HORIZONTAL SCALE: 1" = 60'
VERTICAL SCALE: 1" = 6'



- NOTES:
1. SIDEWALK TO BE SMOOTH TO 5'-0" MAXIMUM SQUARES.
 2. EXPANSION JOINTS BETWEEN SIDEWALK NOT TO MORE THAN 10' APART.
 3. 1/2" PREFORMED BITUMINOUS EXPANSION MATERIAL IN EXPANSION JOINTS TO BE KEPT 1/2" BELOW SURFACE OF SIDEWALK.
 4. CONCRETE TO BE MIX NO. 2.
 5. WHEN SIDEWALK ADJUTS CURB, WALK SHALL BE 1/2" ABOVE CURB WITH 1/2" PREFORMED BITUMINOUS EXPANSION MATERIAL BETWEEN SIDEWALK AND CURB.
 6. ON LONGITUDINAL SIDEWALK GRADIENTS OF 5% OR GREATER, A CONCRETE HEADER, 6" THICK AND 6" DEEP BELOW THE SURFACE, 4" SIDEWALK THICKNESS SHALL BE CONSTRUCTED FOR THE FULL WIDTH OF THE SIDEWALK AT INTERVALS OF 48 FEET THE HEADERS SHALL BE PLACED AT EXPANSION JOINT LOCATIONS AND SHALL BE MONOLITHIC WITH THE SIDEWALK.
 7. SIDEWALK WIDTH ADJACENT TO CURB SHALL BE 5'-0" MIN. EXCEPT SIDEWALK ADJACENT TO CURB IN CONCRETE BAYERS MAY BE 4'-0" MIN.
 8. SIDEWALK LOCATED 2' OR MORE FROM CURB MAY BE 4'-0" IN WIDTH WITH A 5'-0" PAVED SECTION PLACED 200' APART.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 5/30/02
 DATE: 7/16/02
 DATE: 7/16/02

APPROVED: FOR PUBLIC WATER AND PRIVATE SEWER.
 HOWARD COUNTY HEALTH DEPARTMENT.
 DATE: 7/16/02

HOWARD COUNTY HEALTH OFFICER



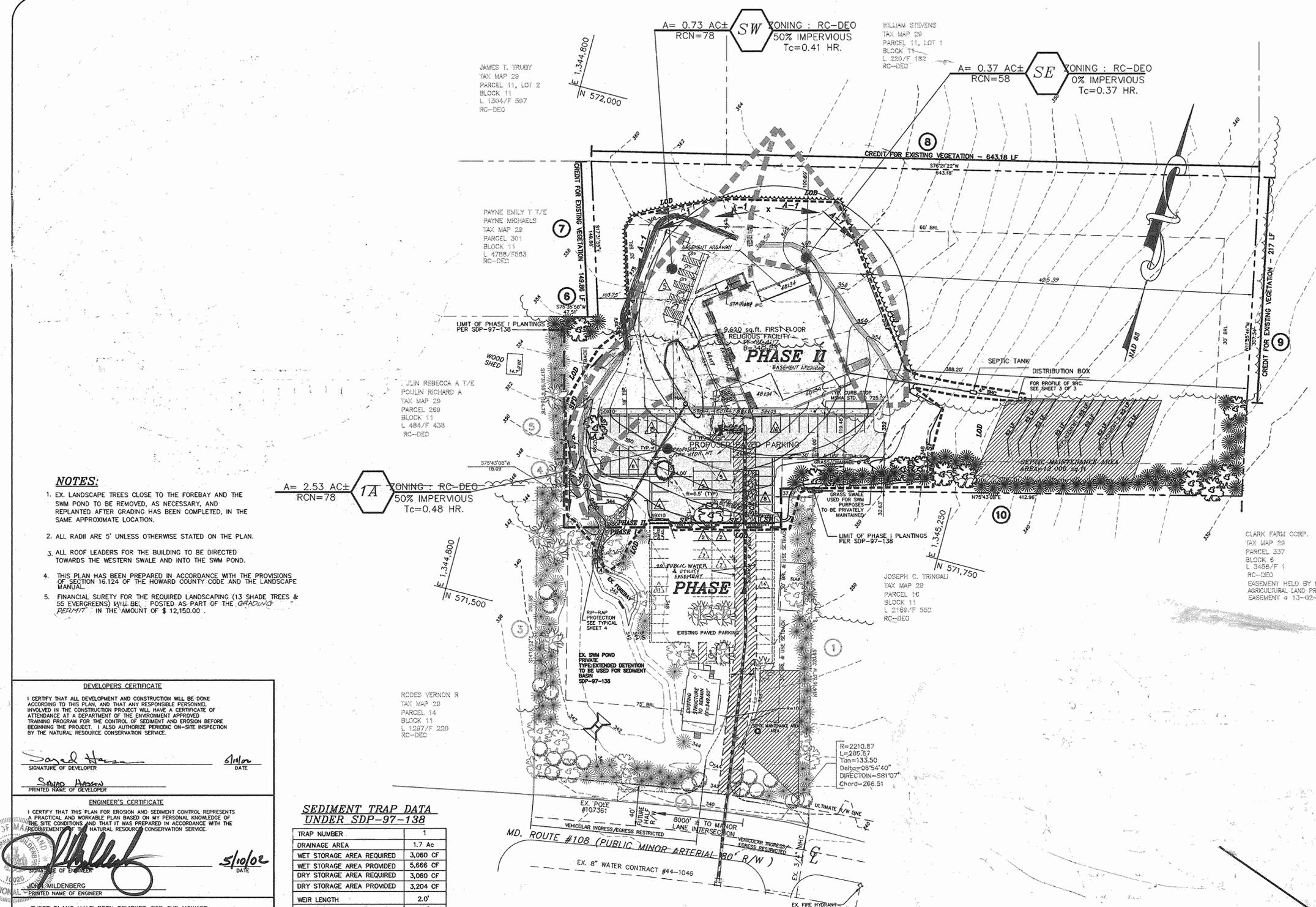
Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am duly licensed and registered under the laws of the State of Maryland.
 License No. 28559, Expiration Date: 7-22-13
 FOR REVISIONS BY BENCHMARK ENGINEERING INC. ONLY

MILDENBERG & ASSOC., INC.
 Engineers Planners Surveyors
 5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland, 21042
 (410) 997-0296 Fax: (301) 621-5521 Wash. (410) 997-0298 Fax.

DAR AL-TAQWA/PHASE II
 COMMUNITY RELIGIOUS CENTER
 TAX MAP 29 PARCEL 12
 HOWARD COUNTY
 SECOND ELECTION DISTRICT
 MISC. DETAILS, PROFILES AND SECTIONS

Project: 980088
 Illustration: SAA
 Date: 01/11/03
 Scale: AS SHOWN
 Approval: R.H.

1. ADD 3 SHC CLEANOUTS
 2. ADD 18\"/>



PERIMETER	EDGE TYPE
PERIMETER 1 THRU 5 PROVIDED UNDER SDP-97-138	N/A
PERIMETER 6 NON-RES TO SFD - 47.51 LF 1 SHADE TREE / 60 LF 1 1 EVERGREEN / 10 LF 5	D
PERIMETER 7 NON-RES TO SFD - 149.86 LF CREDIT FOR EXISTING VEGETATION	D
PERIMETER 8 NON-RES TO SFD - 643.18 LF CREDIT FOR EXISTING VEGETATION	D
PERIMETER 9 NON-RES TO SFD - 217 LF CREDIT FOR EXISTING VEGETATION	D
SFD TO SFD - 90.34 LF 1 SHADE TREE / 60 LF 2 1 EVERGREEN / 10 LF 9	D
PERIMETER 10 NON-RES TO SFD - 412.96 LF 1 SHADE TREE / 60 LF 7 1 EVERGREEN / 10 LF 41	D
TOTAL PLANTING OBLIGATION	
SHADE TREES	10
EVERGREEN TREES	55
SHRUBS	0

SCHEDULE A : PERIMETER LANDSCAPED EDGE

CATEGORY	ADJ. TO PERIMETER PROPERTIES
LANDSCAPE TYPE	D (PERIMETERS 6 THRU 10)
LINEAR FEET OF PERIMETER	1560.85 LF
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	YES, 998.04 LF OF EX. TREES
CREDIT FOR WALL, FENCE, OR BERM (YES, NO, LINEAR FEET)	NO
NUMBER OF PLANTS REQUIRED	
SHADE TREES	10 SHADE TREES
EVERGREEN TREES	55 EVERGREEN TREES
SHRUBS	0 SHRUBS
NUMBER OF PLANTS PROVIDED	
SHADE TREES	10 SHADE TREES
EVERGREEN TREES	55 EVERGREEN TREES
OTHER TREES (2:1 SUBSTITUTION)	0 SUBSTITUTION TREES
SHRUBS (10:1 SUBSTITUTION)	0 SUBSTITUTION TREES

SCHEDULE B: PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	58
NUMBER OF PLANTING ISLANDS REQUIRED	3
NUMBER OF PLANTING ISLANDS PROVIDED	5
NUMBER OF TREES REQUIRED	
SHADE TREES	3 SHADE TREES
NUMBER OF TREES PROVIDED	
SHADE TREES	3 SHADE TREES
OTHER TREES (2:1 SUBSTITUTION)	0 TREES

- NOTES:**
- EX. LANDSCAPE TREES CLOSE TO THE FOREBAY AND THE SWM POND TO BE REMOVED, AS NECESSARY, AND REPLANTED AFTER GRADING HAS BEEN COMPLETED, IN THE SAME APPROXIMATE LOCATION.
 - ALL RADII ARE 5' UNLESS OTHERWISE STATED ON THE PLAN.
 - ALL ROOF LEADERS FOR THE BUILDING TO BE DIRECTED TOWARDS THE WESTERN SWALE AND INTO THE SWM POND.
 - THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
 - FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (13 SHADE TREES & 55 EVERGREENS) SHALL BE POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$12,150.00.

A= 2.53 AC±
RCN=78
ZONING: RC-DEO
50% IMPERVIOUS
Tc=0.48 HR.

SEDIMENT TRAP DATA UNDER SDP-97-138

TRAP NUMBER	1
DRAINAGE AREA	1.7 Ac
WET STORAGE AREA REQUIRED	3,060 CF
WET STORAGE AREA PROVIDED	5,666 CF
DRY STORAGE AREA REQUIRED	3,060 CF
DRY STORAGE AREA PROVIDED	3,204 CF
WEIR LENGTH	2.0'
STORAGE DEPTH BELOW OUTLET	2.0'
CLEANOUT ELEVATION	340.0'
EMBANKMENT HEIGHT	3'
EMBANKMENT ELEVATION	343.0'
TRAP BOTTOM ELEVATION	340.0'
EX. GROUND @ OUTLET	341.0'
CREST ELEVATION	342.0'

LEGEND

- SP - DENOTES SILT FENCE
- SSP - DENOTES SUPER SILT FENCE
- LOD - DENOTES LIMIT OF DISTURBANCE
- A-1 - DENOTES TYPE A-1 EARTH DIKE
- SP2 - DENOTES SILT FENCE DIVERSION
- ☐ - DENOTES AREAS OF HOWARD COUNTY P-1 PAVING
- ☒ - DENOTES AREAS OF SEPTIC EASEMENT

SOIL CLASSIFICATION

ChB2: CHESTER SILT LOAM 3 TO 8% SLOPES, MODERATELY ERODED, TYPE B (X) SEWAGE DISPOSAL FIELDS: SLIGHT

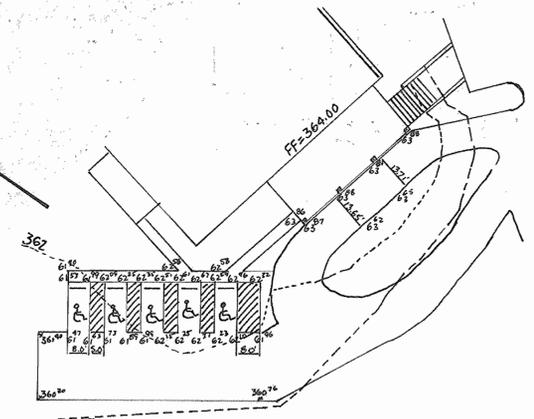
DEVELOPER'S/OWNER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE IN ACCORDANCE TO THIS PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: Sayed Hassan
DATE: 5/10/02

SEPTIC DESIGN
GALLONS PER DAY CRITERIA : RELIGIOUS FACILITY
120 PEOPLE MAX AT ANY TIME
(120x3)+25(FOR FOOD) = 385 GPD (USE 400 GPD MIN)
1200 GPD MAX.
TRENCHES
3' WIDE
2' DEEP (STONE) WITH 4" OF COVER
(400 GAL/DAY) = 167 LF OF TRENCH
[0.8 GAL/SF/DAY X 3 FT] = 167 LF OF TRENCH
APPLYING 60% INCREASE OF ABSORPTION FACTOR
LENGTH REQUIRED = 185 LF OF TRENCH
EASEMENT AREA = 12,000 sq.ft.
4000 GALLONS PER DAY PER BUILDING
SEPTIC TANK SIZE = MIN. 1000 GALLON TANK

FIRST FLOOR EL = 356.67
BASEMENT FLOOR EL = 340.67
INV. OUT = 349
SEPTIC TANK
EX. GRADE = 346.50±
PROP. GRADE = 346.50±
INV. IN = 340.77±
INV. OUT = 340.52±
DISTRIBUTION BOX
EX. GRADE = 343.00 ±
PROP. GRADE = 343.00 ±
INV. = 340.50



LANDSCAPE REQUIREMENT PLANTING SCHEDULE

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
13		ACER SACCHARUM	SUGAR MAPLE	2 1/2" - 3" CAL.
55		PINUS STROBUS	EASTERN WHITE PINE	6" - 8" HT.
TOTAL				
68 PLANTS (13 SHADE TREES, 55 EVERGREEN TREES)				

DEVELOPER'S CERTIFICATE
I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature: Sayed Hassan DATE: 5/10/02
Signature: Sayed Hassan DATE: 5/10/02

ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature: John Wildenberg DATE: 5/10/02
Signature: John Wildenberg DATE: 5/10/02

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Signature: John Wildenberg DATE: 5/10/02
Signature: John Wildenberg DATE: 5/10/02

APPROVED: FOR PUBLIC WATER AND PRIVATE SEWER.
HOWARD COUNTY HEALTH DEPARTMENT.
Signature: John Wildenberg DATE: 5/10/02

Project	Scale	Date	Approval
99098	1" = 50'	01/20/02	SAA

Revision	Description	Date
1	REVISED HANDICAPPED ACCESS PLAN, SEPTIC TANK, AND SEPTIC TRENCHES	5/10/02
2	CHANGE SITE GRADING AND ELEVATIONS TO PLAN AND PERMITS	01/20/02
3	CHANGE HEALTH DEPT. SIGNATURE BLACK TO PUBLIC WATER & ADD WATER MAIN & FIRE HYDRANT.	01/20/02

HOWARD COUNTY
SECOND ELECTION DISTRICT
DAR AL-TAQWA/PHASE II
COMMUNITY RELIGIOUS CENTER
TAX MAP 29 PARCEL 12
SITE DEVELOPMENT & LANDSCAPING PLAN

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
5072 Dorsy Hill Drive, Suite 202, Ellicott City, Maryland, 21042
(410) 997-0296 Fax: (301) 621-6521 Wash. (410) 997-0298 Fax.

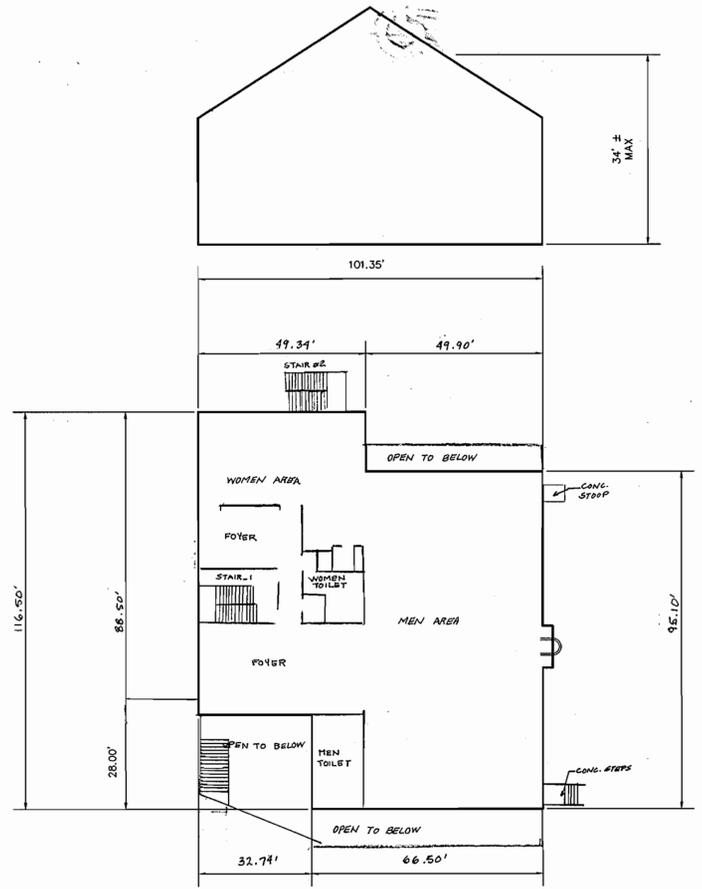
SITE DEVELOPMENT PLANS

DAR AL-TAQWA

PHASE II

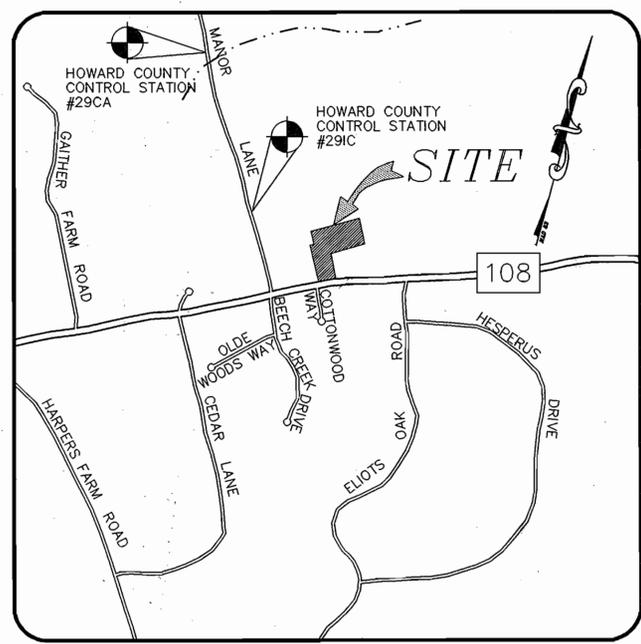
SECOND ELECTION DISTRICT

HOWARD COUNTY, MARYLAND



BUILDING FOOTPRINT

PROPOSED 2 STORY RELIGIOUS FACILITY AND RELIGIOUS CLASSROOMS
SCALE: 1"=25'



VICINITY MAP
SCALE: 1" = 1000'

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/CONSTRUCTION INSPECTIONS DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES ON SITE PRIOR TO COMMENCING CONSTRUCTION.
4. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) DAYS PRIOR TO ANY EXCAVATION WORK:

MISS UTILITY	1-800-257-7777
VERIZON COMPANY	(410) 725-9976
HOWARD COUNTY BUREAU OF UTILITIES	(410) 313-4900
AT&T CABLE LOCATION DIVISION	(410) 393-3533
BALTIMORE GAS & ELECTRIC	(410) 685-0123
STATE HIGHWAY ADMINISTRATION	(410) 531-5533
HOWARD COUNTY DEPT. OF PUBLIC WORKS/CONSTRUCTION INSPECTION DIVISION	(410) 313-1880
5. TAX MAP: 29 PARCEL: 12 BLOCK: 11
EX. ZONING: RC-DEO
GROSS AREA OF SITE: 6.79± Ac
DEED REFERENCE: 3510/380
PREVIOUS COUNTY FILE NUMBERS: SDP-97-138
6. BOUNDARY AND TOPOGRAPHY SURVEY PERFORMED BY NTT ASSOCIATES, INC. ON OR ABOUT AUGUST 1995.
7. SOILS AREA BASED ON HOWARD COUNTY SOILS MAP # 19
8. WATER AND SEWER ARE BOTH PRIVATE.
9. PROPOSED USE: RELIGIOUS FACILITY AND RELIGIOUS CLASSROOMS.
10. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON MARYLAND STATE PLANE COORDINATE SYSTEM, STATIONS NO. 29CA AND 29IC
STA. No. 29CA N 574,526.1048 E 1,343,533.7490
STA. No. 29IC N 572,323.5403 E 1,344,112.2704
11. NO WETLANDS, FLOODPLAINS, OR BURIAL SITES EXIST ON THE SITE
12. THE EXTERIOR BUILDING MATERIAL WILL BE STEEL FRAME WITH COMPOSITE MASONRY AND EPS (EXTERIOR INSULATING FINISH SYSTEM) OR DRYWIT WALLS, METAL AND CLAY TILE ROOF.
13. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
14. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (13 SHADE TREES & 55 EVERGREENS) WILL BE POSTED AS PART OF THE GRADING PERMIT, IN THE AMOUNT OF \$ 121,500.00.
15. THIS PROJECT IS SUBJECT TO BOARD OF APPEALS CASE #BA 94-37E WHICH IS A SPECIAL EXCEPTION TO ALLOW THE CONSTRUCTION OF A RELIGIOUS FACILITY ON A PARCEL OF LAND ZONED RC-DEO PROVIDED THAT:
 - 1) THE PETITIONER SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND COUNTY LAWS AND REGULATIONS, INCLUDING THE REQUIREMENTS OF THE STATE HIGHWAY ADMINISTRATION CONCERNING ACCESS AND ROAD IMPROVEMENTS.
 - 2) THE PETITIONER SHALL INSTALL A GATE OR CHAIN ACROSS THE ENTRANCE TO THE FACILITY, SO AS TO PREVENT ACCESS DURING HOURS WHEN THE FACILITY IS NOT IN USE.
 - 3) THE APPROVAL FOR PHASE 2 SHALL BECOME VOID UNLESS A BUILDING PERMIT FOR THE PHASE 2 IMPROVEMENTS IS OBTAINED ON OR BEFORE DECEMBER 31, 2000.
 - 4) THE EASTERN, WESTERN AND SOUTHERN LOT LINES SHALL BE SCREENED AS INDICATED ON PETITIONER'S REVISED PLAN FOR PHASE 1 AND 2, DATED 1-11-95, WITH TYPE "D" LANDSCAPING IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPING MANUAL.
 - 5) THE GRANTED SPECIAL EXCEPTION SHALL APPLY SOLELY TO THE PROPOSED RELIGIOUS FACILITY AS INDICATED IN THE REVISED PLAN FOR PHASE 1 AND 2, AND NOT TO ANY OTHER STRUCTURES, ADDITIONS, ACTIVITIES, OR USES.
 - 6) THE PHASE 2 STRUCTURE SHALL BE LOCATED AS INDICATED ON PETITIONER'S REVISED PLAN FOR PHASE 1 AND 2, SET BACK AT LEAST ONE HUNDRED (100) FEET FROM ALL LOT LINES.
 - 7) ALL EXTERIOR LIGHTING SHALL BE LOW LEVEL "BOLLARD" STYLE FIXTURES, DIRECTED DOWNWARD AND INWARD SO AS NOT TO SHINE OR REFLECT ONTO ADJACENT PROPERTIES OR ROADS.
 - 8) NO BELLS OR OUTDOOR AMPLIFICATION SHALL BE USED ON SITE.
16. TYPE D LANDSCAPE BUFFER IS SHOWN AS REQUIRED BY BA-94-37E.
17. THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BECAUSE THE DEVELOPMENT ACTIVITIES ARE ON A SINGLE LOT OF ANY SIZE AND THE AREA OF FOREST BEING CLEARED DOES NOT EXCEED 40,000 SQUARE FEET. THE FOREST BEING CLEARED ON-SITE IS APPROXIMATELY 37,375 SQUARE FEET. THIS INCLUDES THE ENTIRE PARCEL, PHASES I & II.
18. NO NEW CONSTRUCTION OR BUILDING EXTENSIONS/ADDITIONS ARE PERMITTED WITHOUT FURTHER APPROVAL FROM THE BOARD OF APPEALS. THIS SITE DEVELOPMENT PLAN DOES NOT GRANT APPROVAL OF ANY SIGNS TO BE ERECTED ON THE PROPERTY.
19. THERE SHALL BE NO OUTDOOR LIGHTING ON THE BUILDING AND NO PARKING LIGHTING EXCEPT THE PROPOSED BOLLARD TYPE LIGHTING AS APPROVED BY THE BOARD OF APPEALS IN BA CASE NO. 94-37E. PARKING LOT LIGHTING SHALL BE TURNED OFF AFTER ALL ACTIVITIES EXCEPT THOSE NECESSARY FOR SECURITY PURPOSES.
20. TRAFFIC CONTROL DEVICES, MARKING AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
21. ALL PLAN DIMENSIONS ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
22. BOUNDARY, TOPOGRAPHY AND EXISTING UTILITIES ARE BASED ON A SURVEY PERFORMED BY NTT ASSOCIATES, INC. ON OR ABOUT AUGUST 1995.
23. STORMWATER MANAGEMENT IS PRIVATELY OWNED AND MAINTAINED. IT IS PROVIDED UNDER APPROVED SDP-97-138. IT IS PROVIDED VIA THE METHOD OF EXTENDED DETENTION.
24. THE 34' TALL MARKET PROPOSED AT THE SE CORNER OF THE RELIGIOUS FACILITY AS REVIEWED BY THE BOARD OF APPEALS IS NOT PLANNED TO BE CONSTRUCTED UNDER THIS SITE DEVELOPMENT PLAN.
25. THERE ARE NO PLAYGROUNDS, COURTYARDS OR FENCING PROPOSED UNDER THIS SITE DEVELOPMENT PLAN. THE RELIGIOUS FACILITY AS APPROVED BY THE BOARD OF APPEALS IN BA CASE NO. 94-37E ARE TO BE CONDUCTED ON THE FIRST FLOOR OF THE PROPOSED RELIGIOUS STRUCTURE CONSISTING OF APPROXIMATELY 9,620 sq.ft.
26. THE EXISTING STRUCTURE TO REMAIN (PHASE I), WILL BE USED AS A HOUSE FOR THE CARETAKER, PER BA 94-37E.
27. THE BOARD OF APPEALS ORDER (NOV. 2, 2000) FOR CASE NO. BA 94-37E CONCLUDED THAT: "THE TIME PERIOD FOR OBTAINING A BUILDING PERMIT FOR PHASE 2, AS REQUIRED BY CONDITION NO. 3 IN THE DECISION AND ORDER FOR BA 94-37E APPROVED ON MAY 25, 2000, IS HEREBY EXTENDED UNTIL DECEMBER 31, 2002"
28. THE PROPOSED BUILDING CONSIST OF:
BASEMENT FLOOR: RELIGIOUS CLASSROOMS (APPROX. 9620 sq.ft.)
FIRST FLOOR: MAIN PRAYER AREA (APPROX. 9620 sq.ft.)
SECOND FLOOR: LIBRARY (APPROX. 4300 sq.ft.)
29. THIS SITE DEVELOPMENT PLAN CONFORMS TO THE 4TH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
30. EXISTING WELL TO BE PROPERLY ABANDONED WITHIN 180 DAYS FROM THE DATE THIS PLAN IS SIGNED BY THE HEALTH DEPARTMENT IN ACCORDANCE WITH HOWARD COUNTY HEALTH DEPARTMENT REQUIREMENTS.
31. THE GROUNDWATER APPROPRIATION PERMIT, NO. IS H020023-008 (01).

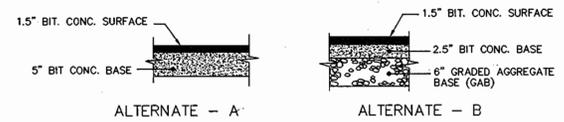
SITE ANALYSIS DATA CHART

PURPOSE (PHASE II)	CONSTRUCTION OF A NEW TWO STORY COMMUNITY RELIGIOUS CENTER WITH RELIGIOUS CLASSROOMS AND PARKING IN ACCORDANCE WITH BA CASE NO. 94-37E	
TOTAL AREA OF PROJECT / SUBMISSION	6.79 AC± (PHASE I AND PHASE II) / PARCEL 12	
LIMIT OF DISTURBED AREA	1.52 AC± / PHASE I	1.95 AC± / PHASE II
TOTAL DISTURBED AREA	3.47 AC±	
EXISTING ZONING	RC-DEO	
PROPOSED USE	RELIGIOUS COMMUNITY CENTER	
	PHASE I*	PHASE II**
FLOOR AREA PER FIRST FLOOR	1,400 SF	9,620 SF
BUILDING COVERAGE	0.5%	3.81%
PARKING SPACES REQUIRED (10 SPACES / 1000 SF FLOOR SPACE)	10	96
PARKING SPACES PROVIDED	41	58
HANDICAPPED SPACES PROVIDED	2	2
HANDICAPPED SPACES REQUIRED	2	2

* PHASE I EXISTING RELIGIOUS ASSEMBLY USE TO BE ABANDONED UPON CONSTRUCTION OF PHASE II
** SEE NOTE NO. 28.

SHEET INDEX

1	COVER SHEET
2	SITE DEVELOPMENT & LANDSCAPING PLAN
3	MISC. DETAILS, PROFILES AND SECTIONS
4	SEDIMENT CONTROL NOTES AND DETAILS



P-2 PAVING
STANDARD DETAIL R 2.01
NOT TO SCALE

PERMIT INFORMATION BLOCK			
PROJECT NAME	DAR AL TAQWA		PARCEL
LIBER./FOLIO	BLOCK #	ZONE	TAX/ZONE MAP
9113	11	RC-DEO	29
WATER CODE	SEWER CODE		ELECT. DIST
N/A	N/A		2ND
CENSUS TRK		6023.01	

ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
PARCEL 12	10740 ROUTE 108, ELLICOTT CITY, MD 21042

DEVELOPER'S CERTIFICATE
I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

Sayed Hussein 5/16/02
SIGNATURE OF DEVELOPER DATE

Sayed Hussein
PRINTED NAME OF DEVELOPER

ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A FEASIBLE AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

John Miltenberg 5/22/02
SIGNATURE OF ENGINEER DATE

John Miltenberg
PRINTED NAME OF ENGINEER

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

Jim M. Guss 5/22/02
USDA - NATURAL RESOURCE CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John Miltenberg 5/22/02
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chris Dismore 5/22/02
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Chris Dismore 7/16/02
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Scott B. Katz 7/16/02
DIRECTOR DATE

APPROVED: FOR PUBLIC, WATER AND PRIVATE SEWER HOWARD COUNTY HEALTH DEPARTMENT.

R. J. P. 7/8/02
HOWARD COUNTY HEALTH OFFICER DATE

project	96098	date	SEP. 2001
illustration	SAA	engineering	SAA
scale	1"=50'	approval	RH

REVISE NUMBER OF PLANNING PERMITS	4/25/02	DATE
REVISE BUILDING DIMENSIONS	11/15/02	DATE
CHANGE HEIGHT, DEF. SIGNATURE, BAGGE TO PUBLIC WORKS		DATE
NO.	3	DESCRIPTION
	2	REVISIONS

HOWARD COUNTY
DAR AL-TAQWA/PHASE II
COMMUNITY RELIGIOUS CENTER
TAX MAP 29 PARCEL 12
SECOND ELECTION DISTRICT
COVER SHEET

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042
(410) 997-0296 Balt. (301) 621-5521 Wash. (410) 997-0296 Fax