

CONSTRUCTION NOTES AND GENERAL NOTES:

- All items shall be assumed in this contract unless otherwise noted.
- Site contractor to coordinate construction activities with electrical contractor when working in the area of proposed or existing telephone, communication or electrical wiring.
- All contractors shall make a site visit, before bidding, to verify all existing on-site conditions.
- Provide 4" wide white striping lines for standard car parking stalls and provide 4" blue striping lines for handicap parking stalls. 4" wide yellow striping to be used for all trailer parking stalls.
- Prior to relocating or installing new fence, the contractor shall verify final fence line location with owner and construction manager.
- All parking lot dimensions shown on these plans are from face of curb unless noted otherwise.
- The contractor shall notify the Howard County Department of Public Works Construction Inspection Division at 410-313-1880 at least 48 hours prior to commencing any of the work in conjunction with the stormwater management plan and any other work shown hereon.
- No work shall proceed until the Howard County Inspects and approves the work previously completed and furnishes the developer with the results of the inspection reports after completion of each required inspection.
- Upon completion of construction, certified as-built drawings shall be submitted to Howard County documenting the as-built condition of all stormwater management facilities.
- All areas not being paved or receiving building coverage shall be stabilized in accordance with the plans approved by the Howard Soil Conservation District.
- The contractor shall note that in case of discrepancy between any scaled dimensions and the figured dimensions shown on these plans, the figured dimensions shall govern.
- Contractor shall meet all existing improvements smoothly for line, grade and finish.
- All work shown on these plans shall be completed in strict accordance with the latest standards and specifications of the Howard County Department of Public Works and of the Maryland State Highway Administration and the Howard County Plumbing Code, unless otherwise noted.
- It shall be distinctly understood that failure to specifically mention any work or associated activities that would normally be required to complete this project shall not relieve the contractor of the responsibility to perform such work.
- The contractor shall thoroughly inspect the entire site to verify existing field conditions and determine the extent of required clearing, demolition, and utility relocation or adjustment prior to placing any bid.
- The locations of existing utilities shown hereon are approximate only and are provided for the convenience of the contractor only. The contractor shall notify Miss Utility at 1-800-257-7777 a minimum of 5 working days prior to digging. The contractor shall confirm to his own satisfaction, using the best available technology, the location of all utilities, whether shown or not, prior to any excavation or placement of materials. If any conflict is found between underground utilities and the proposed location of any construction, the contractor shall contact the Engineer and the owner of the utility immediately. Any damage or disruption of service shall be at the expense of the contractor. Relocation of any existing utilities, if necessary, shall be at the expense of the owner. The contractor shall coordinate relocation of these facilities, if necessary.
- Contractor shall protect all existing trees and vegetation outside the limit of disturbance at all times during construction.
- Contractor shall protect all existing improvements not scheduled for removal or demolition. Any fines or cost for repair to existing improvements not scheduled for removal or demolition is the responsibility of the Contractor. Cost of repair to existing improvements that will be impacted by the project shall be included in the base bid. All existing site features not being retained shall be removed and disposed of at an approved location. Any damage to off-site roads, rights of way, or adjacent property shall be repaired immediately at the expense of the contractor.
- The contractor shall clear the project site of all trees, paving, structures, etc. within the construction area unless otherwise noted on the plan.
- Only suitable material shall be used as fill and all fill shall be placed and compacted as specified in the soils report prepared for this site or as directed by the on-site geotechnical engineer. All grading under proposed paving, and all fill and compaction shall be approved by a geotechnical engineer.
- Contractor shall provide minimum 1 foot bench at edge of paving in fill areas. Maximum slope of bench shall be 4% (1/4 in. per foot).
- Maximum slope shall be 3 horizontal to 1 vertical, unless specifically noted otherwise.
- Contractor shall place 4" minimum topsoil in landscape areas.
- Contractor shall place a warning post at the terminus of all utility stubs and at all the corners of any proposed underground stormwater quality Best Management Practice (BMP).
- Contractor shall provide a minimum of 1 foot of protective fill over storm drain pipes during construction.
- All traffic control, devices, markings, and signage shall be in accordance with the latest edition of the "Manual of Uniform Traffic Control Devices." All street and regulatory signs shall be installed prior to installation of finished paving.
- The contractor shall replace any existing bituminous paving or sub-base which is damaged or removed during construction. All excavated areas shall be backfilled and in accordance with the soils report and/or as directed by geotechnical engineer. Any areas to be paved which exhibit unstable subgrade conditions shall be excavated to bearing soil, refilled and compacted.
- In an area where excavation is required within the road right-of-way, excavation must be made within one (1) foot of the final subgrade.
- Where fill is proposed within the road right-of-way, the fill shall be a minimum of two (2) feet below the final road subgrade.
- All outdoor lighting to comply with Howard County Zoning regulation specifications Section 134 outdoor lighting.
- All storm drains to be RCP unless otherwise noted.
- There are no known cemeteries or burial grounds located on this site.
- A 40' wide "common access easement" exists centered on the common property line between parcels B-1 and B-2, as outlined on Plot 9196 and depicted on this plan.
- This project is exempt from the requirements of Section 16.1200 of the Howard County Code for Forest Conservation per Section 16.1202(b)(1)(iii) since the entire site was mass graded per "Site Grading Plan, Phase II, Greater Baltimore Consolidated Wholesale Food Market" as prepared by George W. Stephens, Jr. and Associates, dated December 11, 1972.
- This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and Landscape Manual.
- Financial surety for the required landscaping will be posted as part of the DPW developer's agreement in an amount of \$13,860.00.
- The "Adequate Public Facilities Ordinance Road Test" was conducted and submitted for review and approval.
- The two wetland areas identified on these plans were field delineated by Brady Gochner of Vortex Environmental and reviewed with representatives of Maryland Department of the Environment (MDE) and the Army Corps of Engineers. For additional information relative to the wetland areas, see the detailed wetland report prepared by Vortex Environmental.
- Per correspondence from David B. Boelner of MDE dated October 9, 2001 the Nontidal Wetlands and Waterways Division of the Water Management Administration (WMA) has completed its review of the application for the project. The WMA intends to issue a Nontidal Wetlands and Waterways Letter of Authorization (LOA) for the proposed activity. The project qualifies for authorization under Category I of the U.S. Army Corps of Engineers' Maryland State Programmatic General Permit (MDSGP). This office will issue the MDSGP and Water Quality Certification (WQC) for the project concurrently with the LOA.
- The contractor or developer shall contact the Construction Inspection Division (24) hours in advance of commencement of work at (410-313-1880).
- All outdoor lighting shall comply with the design and location requirements of Zoning Section 134. (See information of sheet 2 of 15) and Howard County Department of Planning and Zoning Developer/Homebuilder Newsletter of 01/02/01, Application Tracking No. 01-NI-0274/200164754.

APPROVED: FOR PUBLIC (OR PRIVATE) WATER AND PUBLIC (OR PRIVATE) SEWERAGE SYSTEMS

County Health Officer _____ Date _____
Howard County Health Department

1857 William Penn Way, Suite 200
Lancaster, Pennsylvania 17601
Phone (717)-291-2266
Fax (717)-291-4401
Email: info@webbersmith.com

STATUS: P - PRELIMINARY, F - FINAL
3894-C000 - D - F

DRAWN BY: _____
CHECKED BY: _____

DATE: _____

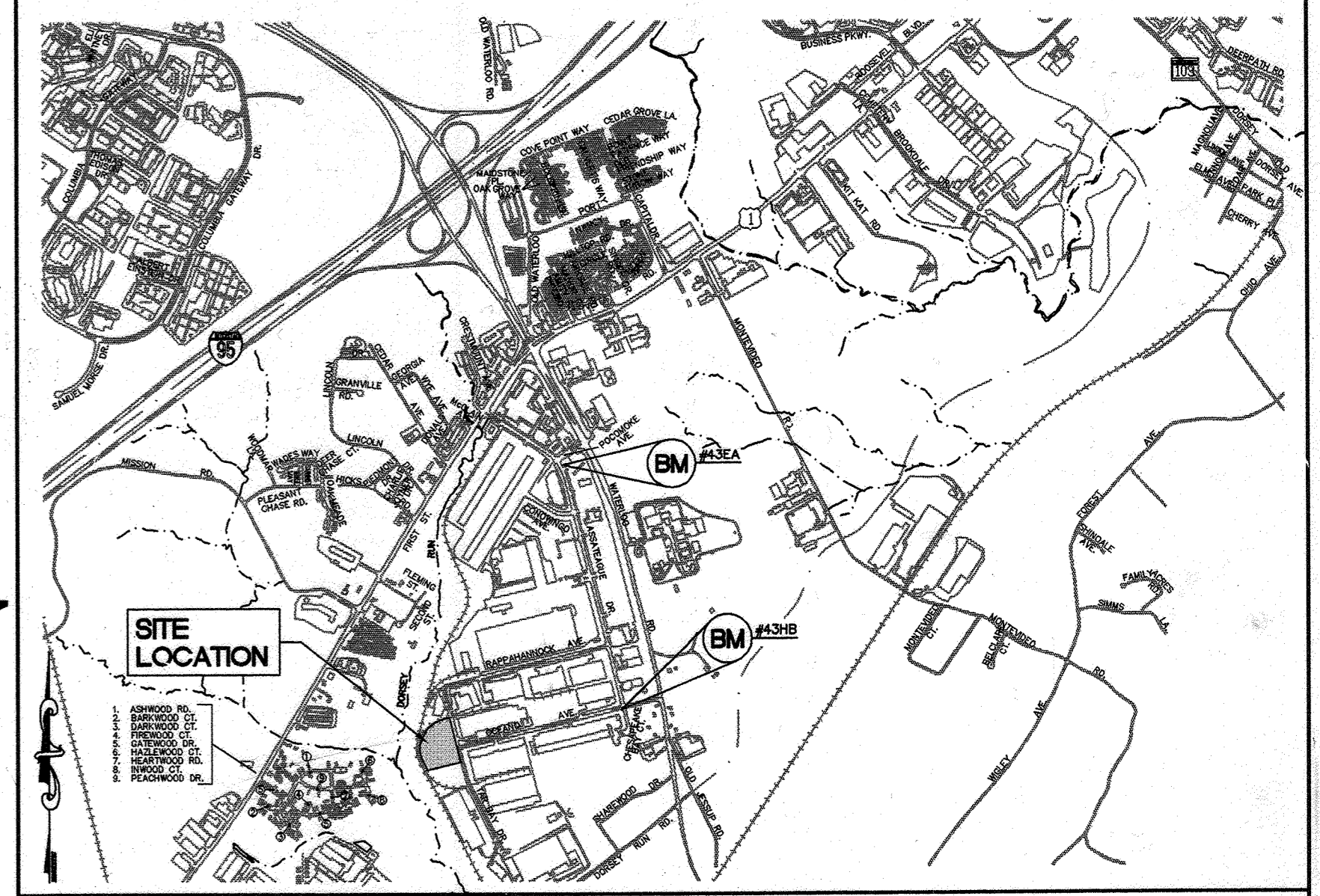
DATE: _____

WEBSER/SMITH Associates, Inc.
DESIGN ENGINEERS

PROFESSIONAL ENGINEER

DATE: _____

Site Development Plans for Parcel B-1 and B-2 Maryland Food Center Authority Cross Dock/Trailer Parking Howard County, Maryland SDP-01-147



BENCHMARKS:

BENCHMARK #43EA
AKA- N/A
NAD 83 (91) HORIZONTAL AND N6VD29 (VERTICAL)
N 546594.00+ FT. E 1379621.745 FT.
ELEVATION = 242.876

BENCHMARK #43HB
AKA- N/A
NAD 83 (91) HORIZONTAL AND N6VD29 (VERTICAL)
N 543196.776 FT. E 1374425.020 FT.
ELEVATION = 252.906 FT.

Location Map
SCALE: 1" = 2000'

SITE ANALYSIS DATA CHART:

PROJECT AREA:	Parcel B-1 = (186,785 SQ. FT.) OR ±4.288 ACRES Parcel B-2 = (96,137 SQ. FT.) OR ±2.207 ACRES Total = (282,922 SQ. FT.) OR ±6.495 ACRES
PRESENT ZONING DESIGNATION:	M-2 (Manufacturing: Heavy)
PROPERTY REFERENCE:	Plot No. 9196 Parcel B-1 = (L.506 F.0782) Parcel B-2 = (L.506 F.0782)
EXISTING USE:	Parcel B-1 = Vacant Parcel B-2 = Vacant
PROPOSED USE:	Parcel B-1 = Trailer Parking w/Guard House Parcel B-2 = Trailer Parking and Cross Dock Warehouse Distribution Facility
BUILDING COVERAGE OF SITE:	Parcel B-1 = (0.05%) Parcel B-2 = (1.2%) (1.4%) Δ
FLOOR AREA:	Parcel B-1 (Guard House) = 84 Sq. Ft. Parcel B-2 (Cross Dock) = 4,560 sq. ft. 13,625 sq. ft. Δ
FLOOR AREA RATIO:	Parcel B-1 = <1% Parcel B-2 = 12%
IMPERVIOUS AREA:	Parcel B-1 = ±67% Parcel B-2 = ±67%
OPEN SPACE ON-SITE:	Parcel B-1 = N/A Parcel B-2 = N/A
TOTAL AREA OF PARKING LOT:	Parcel B-1 = ±125,763 Sq. Ft. Parcel B-2 = ±46,608 Sq. Ft.
% OF PARKING LOT COVERAGE:	Parcel B-1 = ±67% Parcel B-2 = ±67%
AREA OF DISTURBANCE:	Parcel B-1 = ±4.09 AC. Parcel B-2 = ±2.21 AC. Offsite/R.O.W. = ±0.25 AC.
AREA TO BE VEGETATIVELY STABILIZED:	Parcel B-1 = ±52,635 Sq. Ft. Parcel B-2 = ±35,875 Sq. Ft.
AREA OF DISTURBANCE:	Parcel B-1 = ±4.09 Acres Parcel B-2 = ±2.21 Acres

LEGEND

EXISTING	ITEM	PROPOSED
---	2' CONTOUR LINES	---
---	10' CONTOUR LINES	---
---	1' CONTOUR LINES	---
---	BUILDING	---
---	INLET	---
---	SANITARY SEWER LINE	---
---	PROCESS WASTE LINE	---
---	STORM SEWER LINE	---
---	WATER LINE	---
---	GAS LINE	---
---	UNDERGROUND ELEC. LINE	---
---	FIRE PROTECTION LINE	---
---	PROPERTY LINES	---
---	EASEMENT	---
---	CONCRETE PAVING	---
---	ASPHALT PAVING (TRUCK)	---
---	ASPHALT PAVING (CAR)	---
---	RODENT STRIP	---
---	SPOT ELEVATIONS	---
---	HEADWALL	---
---	FENCE	---
---	END SECTION	---
---	POWER POLE	---
---	POST INDICATOR VALVE	---
---	FIRE HYDRANT	---
---	BOLLARDS	---
---	CLEANOUT	---
---	COMBINATION CURB/GUTTER	---
---	BARRIER CURB	---
---	CURB TAPER	---
---	SANITARY SEWER MANHOLE	---
---	STORM SEWER MANHOLE	---
---	WATER VALVE	---
---	RAILROAD	---
---	GUIDE RAIL	---
---	GABION WALL	---

WAIVERS:

* A WAIVER, PETITION NO. WP-02-26, WAS APPROVED BY THE HOWARD COUNTY PLANNING DIRECTOR ON OCTOBER 26, 2001 TO WAIVE SECTION 16.116(a)(1) TO PERMIT GRADING/FILL AND REMOVAL OF VEGETATIVE COVER WITHIN 25 FEET OF WETLAND.

THE WAIVER APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:

- THE OWNER/DEVELOPER SHALL OBTAIN ANY REQUIRED 404/401 PERMIT/CERTIFICATE AND NOTE IT'S/THEIR TRACKING NUMBERS AND DATES ON THIS SHEET.

VARIANCES/ADMINISTRATIVE ADJUSTMENTS:

* AN ADMINISTRATIVE ADJUSTMENT, AA-01-26, OF SECTION 123.D.2.b OF THE HOWARD COUNTY ZONING REGULATIONS WAS GRANTED ON OCTOBER 24, 2001 TO REDUCE THE 50 FOOT STRUCTURE / D USE SETBACK FROM AN INTERNAL PUBLIC STREET RIGHT-OF-WAY TO 10 FEET FOR A TRAILER STOP AREA.

THE VARIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS:

- THE PETITIONER SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND COUNTY LAWS AND REGULATIONS.
- THE GRANTED ADMINISTRATIVE ADJUSTMENT SHALL APPLY SOLELY TO THE PROPOSED PAVED STORAGE AREA AS DEPICTED ON THE ADMINISTRATIVE ADJUSTMENT PLAN SUBMITTED BY THE PETITIONER AND NOT TO ANY OTHER STRUCTURE, ADDITION, BUILDING OR USE.

PARKING TABULATION (PARCEL B-1):
(PER SECTION 133 OF THE HOWARD COUNTY, MARYLAND ZONING REGULATIONS)

USE	SQUARE FEET	PARKING REQUIREMENTS	SPACES REQ'D
GUARDHOUSE	84 sq. ft.	1 space	1
OFFICE	2,844 SQ. FT.	3.3 SPACES/1000 SQ. FT.	10
			TOTAL SPACES REQUIRED 11
			TOTAL SPACES PROVIDED 11

NOTE:
1. UNIVERSAL SPACE MEETING A.D.A. REQUIREMENTS PROVIDED AT GUARD HOUSE FOR SECURITY GUARD

INDEX OF SHEETS:

- 3894-C000 - COVER SHEET (1 OF 15)
- 3894-C001 - SITE PLAN (2 OF 15)
- 3894-C002 - EXISTING CONDITIONS-DEMOTION PLAN (3 OF 15)
- 3894-C003 - GRADING AND UTILITY PLAN (4 OF 15)
- 3894-C301 - EROSION AND SEDIMENTATION CONTROL PLAN (5 OF 15)
- 3894-C302 - EROSION AND SEDIMENTATION CONTROL DETAILS (6 OF 15)
- 3894-C303 - EROSION AND SEDIMENTATION CONTROL NOTES AND TABLES (7 OF 15)
- 3894-C304 - STORMWATER PROFILE SHEET (8 OF 15)
- 3894-C305 - DRAINAGE AREA PLAN (9 OF 15)
- 3894-C401 - PROFILE SHEET (10 OF 15)
- 3894-C402 - LANDSCAPE PLAN (11 OF 15)
- 3894-C501 - SITE DETAILS (12 OF 15)
- 3894-C502 - SITE DETAILS (13 OF 15)
- 3894-C503 - SITE DETAILS (14 OF 15)
- 3894-C504 - STORM WATER QUALITY CONTROL DETAILS AND NOTES (15 OF 15)

SURVEY NOTES:

1. All existing Site Survey Information (boundary, topographic, utility, physical features) shown on these plans were provided by G.W. Stephens, Jr. and Associates, Inc.

NOTE:

- LANDSCAPING WILL BE BROUGHT INTO COMPLIANCE WITH REDLINE REVISIONS #4 AND A SURETY OF \$15,375 WILL BE POSTED WITH THE BUILDING PERMIT APPLICATION.
- THE PURPOSE OF THE REDLINE REVISIONS #4 IS TO SHOW THE ADDITION OF A MODULAR OFFICE BUILDING FOR TEMPORARY OFFICE SPACE FOR EXISTING EMPLOYEES. THE PREVIOUSLY APPROVED SITE DEVELOPMENT PLANS USED AS THE BASE FOR THE REDLINE REVISIONS #4 WAS SUPPLIED BY THE CLIENT AND PREPARED BY OTHERS - NOT RETIRED. RETIRED DOES NOT ATTEST TO THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS AND IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS DEPICTED ON THE PREVIOUSLY APPROVED SITE DEVELOPMENT PLANS.

PARKING TABULATION (PARCEL B-2):
(PER SECTION 133 OF THE HOWARD COUNTY, MARYLAND ZONING REGULATIONS)

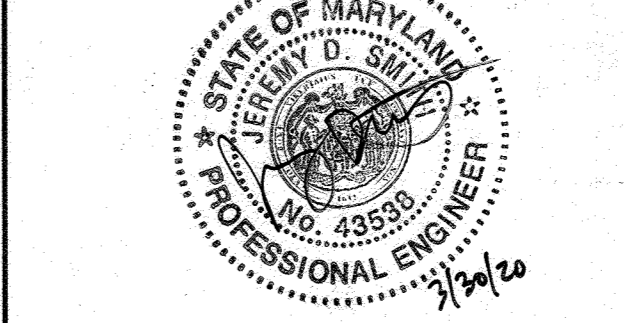
USE	SQUARE FEET	PARKING REQUIREMENTS	SPACES REQ'D
OFFICE	725 sq. ft.	3.3 spaces/1000 sq. ft.	3
WAREHOUSE/ MANUFACTURING	10,825 sq. ft.	2.0 spaces/1000 sq. ft.	22 28 Δ
BUILDING ADDITION WAREHOUSE	2,800 sq. ft.		
			TOTAL SPACES REQUIRED 25 31 Δ
			TOTAL SPACES PROVIDED 25 31 Δ

NOTE:
1. 2 HANDICAP ACCESSIBLE SPACES REQUIRED PER A.D.A. (2 PROVIDED) (1 VAN ACCESSIBLE)
2. THE TOTAL NUMBER OF EMPLOYEES WITHIN THE CROSS DOCK FACILITY IS 15.
3. 28'X29' OFFICE AREA SHOWN WITHIN PROPOSED CROSS DOCK FACILITY.

FOR REVISION #5 ONLY

MD LICENSE # 29203
EXPIRATION 6-16-23
REVISION #5 - ADDED 2800 BLDG ADDITION OVER EX. IMPERVIOUS AREA.
PROP. DISTURBANCE = 3,360 SF

PROFESSIONAL CERTIFICATION
I CERTIFY THAT THESE REDLINE REVISIONS #4 WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 43536, EXPIRATION DATE 6/17/21.



REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

Jim King / Co. 4/3/02
USF - Natural Resources Conservation Service Date

Howard Soil Conservation District 4/3/02
Date

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division MK 4/1/02
Date

Chief, Division of Land Development 4/16/02
Date

Director (Arling) 4/12/02
Date

PARCEL NO.	STREET ADDRESS
B-1	7940 TAR BAY DRIVE (GUARD HOUSE)
B-2	7950 TAR BAY DRIVE (BUILDING)

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	PARCEL #	
Maryland Wholesale Food Center	Section 2 Block B	B-1 & B-2	
PLAT #	BLOCK	ZONE	TAX /ZONE MAP
CMP-9196	20	M-2	43
ELECTION DISTRICT		CENSUS TRACT	
No. 6		609.01	
WATER CODE: B02		SEWER CODE: 3170000	

Cover Sheet
MARYLAND FOOD CENTER AUTHORITY
CROSS DOCK/TRAILER PARKING
BLOCK B, PARCEL B-1, B-2

PREVIOUS FILE #s: 3107, 6875, 9196, F-82-120, F-90-91, VP 82-65, VP 86-117
SDP-01-147

ELECTION DISTRICT: 6
HOWARD CO., MARYLAND

SHEET 1 OF 15
DATE: JUNE 22, 2001

SCALE: AS SHOWN

WEBSER/SMITH Associates, Inc.
DESIGN ENGINEERS

PROFESSIONAL ENGINEER

DATE: _____

THE INFORMATION CONTAINED ON THIS AND ANY RELATED DRAWING FILE SHALL NOT BE USED FOR ANY PURPOSE OTHER THAN THE CONVEYANCE OF INFORMATION FOR THE STATED CLIENT AND PROJECT WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ENGINEER/ARCHITECT.

DATE: _____

CALL 1-800-257-7777
(5) DAYS PRIOR TO THE START OF CONSTRUCTION

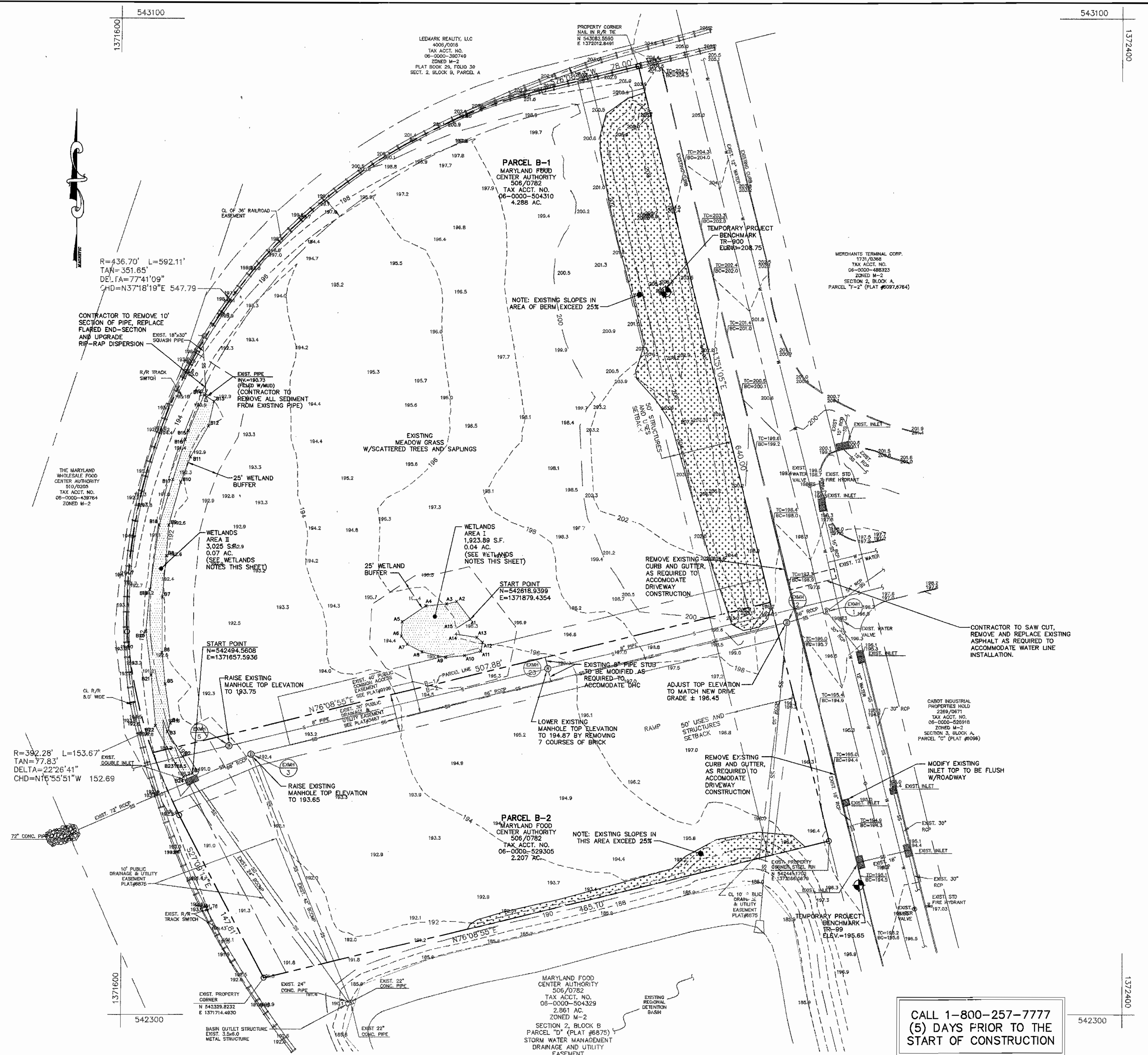
DATE: _____

OWNER/DEVELOPER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVENUE
JESSUP, MD 20794
410-379-5760

SYMBOL	DATE	REVISION	DRAWN	CHECKED
Δ	12/14/21	REVISE TO ADD 2800 SF BLDG ADDITION	M.M.	T.E.N.
Δ	11/11/19	REVISE TO ADD MODULAR OFFICE BUILDING	N.J.M.	J.D.S.
Δ	11/7/01	REVISED PER COUNTY COMMENTS	B.L.E.	B.E.L.
Δ	9/11/01	REVISED PER COUNTY COMMENTS	B.L.E.	B.E.L.
Δ	6/22/01	SUBMITTED FOR SDP REVIEW	E.L.E.	B.E.L.

WETLANDS BOUNDARY LINE DATA

AREA I		
LABEL	BEARING	DISTANCE
A1-A2	N 37°48'35" W	17.69'
A2-A3	S 76°53'59" W	8.31'
A3-A4	S 84°15'20" W	16.67'
A4-A5	S 56°20'13" W	22.81'
A5-A6	S 31°54'45" W	11.63'
A6-A7	S 36°15'09" E	7.99'
A7-A8	S 82°28'31" E	13.91'
A8-A9	S 78°28'54" E	19.49'
A9-A10	N 83°53'09" E	15.16'
A10-A11	N 74°41'38" E	13.44'
A11-A12	N 10°57'11" E	7.19'
A12-A13	N 47°39'45" W	6.02'
A13-A14	N 81°05'07" W	17.30'
A14-A15	N 25°47'43" W	3.53'
A15-A1	N 56°28'52" E	16.02'
AREA II		
B1-B2	N 30°05'38" W	15.63'
B2-B3	N 31°44'24" W	23.29'
B3-B4	N 18°40'55" E	7.50'
B4-B5	N 74°53'33" W	31.68'
B5-B6	N 5°53'45" W	25.31'
B6-B7	N 0°21'41" E	44.50'
B7-B8	N 32°03'50" E	33.02'
B8-B9	N 44°24'49" E	24.72'
B9-B10	N 15°23'03" E	35.65'
B10-B11	N 21°06'31" E	21.67'
B11-B12	N 29°30'12" E	29.04'
B12-B13	N 12°44'57" E	20.06'
B13-B14	N 57°10'02" W	9.51'
B14-B15	S 23°31'25" W	31.27'
B15-B16	S 19°11'40" W	7.65'
B16-B17	S 16°57'31" W	33.71'
B17-B18	S 16°38'56" W	38.04'
B18-B19	S 8°11'09" W	51.96'
B19-B20	S 5°21'10" W	33.62'
B20-B21	S 6°55'39" E	35.53'
B21-B22	S 4°53'18" E	40.72'
B22-B23	S 27°41'18" E	34.69'
B23-B24	S 31°29'54" E	12.19'
B24-B1	N 68°21'19" E	7.76'

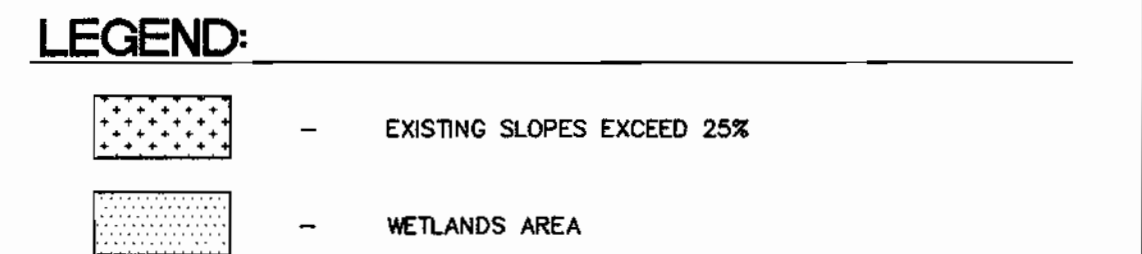


DEMOLITION NOTES:

- The contractor is responsible for all tree removal, clearing and demolition work shown on this plan and any additional clearing and demolition work required to complete their scope of work as outlined on the plans and contract documents.
- All contractors shall make a site visit, before bidding, to verify all existing on-site conditions.
- Existing underground utilities shown on this plan were obtained from the survey and information supplied by the owner and are approximate only. Contractor is to make a substantial effort to locate all existing utilities, whether shown on the plan or not. This verification process shall incorporate but not be limited to the best available technology and by contacting all utility companies. Contractor to contact the engineer if conflict occurs between existing utility lines and proposed improvements.
- Any items identified as to be relocated are to be removed and stored on-site until time of reinstatement. Exact location of temporary storage areas to be coordinated with owner and on-site construction manager.
- All items to be demolished or removed are to be taken off site and disposed of in accordance with all applicable local, state and federal requirements. Demolished items become the property of the contractor unless noted otherwise.
- Prior to removing any asphalt paving a clean saw cut shall be made at the limits of removal. Any existing edge of pavement which abuts new paving shall be saw cut to provide smooth well aligned vertical interface.
- The contractor is responsible for returning all existing public and private facilities (i.e. streets, curbs, sidewalks, utilities, paving, fencing, etc.) which become disturbed during demolition or construction activities to their original condition.

WETLANDS NOTES:

- The two wetland areas identified on this plan were field delineated by Brody Gochauer of Vortex Environmental and reviewed with representatives of Maryland Department of the Environment (MDE) and the Army Corps of Engineers. For additional information relative to the wetland areas, see the detailed wetland report prepared by Vortex Environmental.
- A "Maryland Joint Permit Application" will be submitted to MDE and the Army Corps to obtain a "Letter of Authorization" to permit the proposed filling or modification of the existing wetland areas.



REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

USDA-Natural Resources Conservation Service _____ Date _____

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT _____ Date _____

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division *[Signature]* Date 4/1/02

Chief, Division of Land Development *[Signature]* Date 4/16/02

Director *[Signature]* Date 4/2/02

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
B-1	7940 TAR BAY DRIVE (GUARD HOUSE)
B-2	7950 TAR BAY DRIVE (BUILDING)

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	PARCEL #
Maryland Wholesale Food Center	Section 2 Block B	B-1 & B-2

PLAT #	BLOCK	ZONE	TAX /ZONE MAP	ELECTION DISTRICT	CENSUS TRACT
CMP-9196	20	M-2	43	No. 6	6069.01

WATER CODE: B02 SEWER CODE: 3170000

Existing Conditions-Demolition Plan
MARYLAND FOOD CENTER AUTHORITY
CROSS DOCK/TRAILER PARKING
BLOCK B, PARCEL B-1, B-2

PREVIOUS FILE # 'S: 3467, 8875, 9196, F-82-120, F-90-81, VP 82-65, VP 86-117

ELECTION DISTRICT: 6 HOWARD CO., MARYLAND

SCALE: AS SHOWN DATE: JUNE 22, 2001

SHEET 3 OF 15

WS
WEBBER/SMITH Associates, Inc.
DESIGN ENGINEERS

1857 William Penn Way, Suite 200
 Lancaster, Pennsylvania 17601

Phone (717)-291-2266
 Fax (717)-291-4401
 Email: info@webbersmith.com

STATUS: P - PRELIMINARY, F - FINAL
3894-C002 - D - F

DRAWING NUMBER SIZE STATUS

THE INFORMATION CONTAINED ON THIS AND ANY RELATED DRAWING FILE SHALL NOT BE USED FOR ANY PURPOSE OTHER THAN THE CONVEYANCE OF INFORMATION FOR THE STATED CLIENT AND PROJECT WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ENGINEER/ARCHITECT.

REFERENCE FILES

3894CIV1.dwg 1/17/02 5:05:12 pm EST

GRAPHIC SCALE

(IN FEET)
 1 inch = 40 ft.

3894CIV1.dwg 1/17/02 5:05:12 pm EST

mfc
 MARYLAND FOOD CENTER AUTHORITY

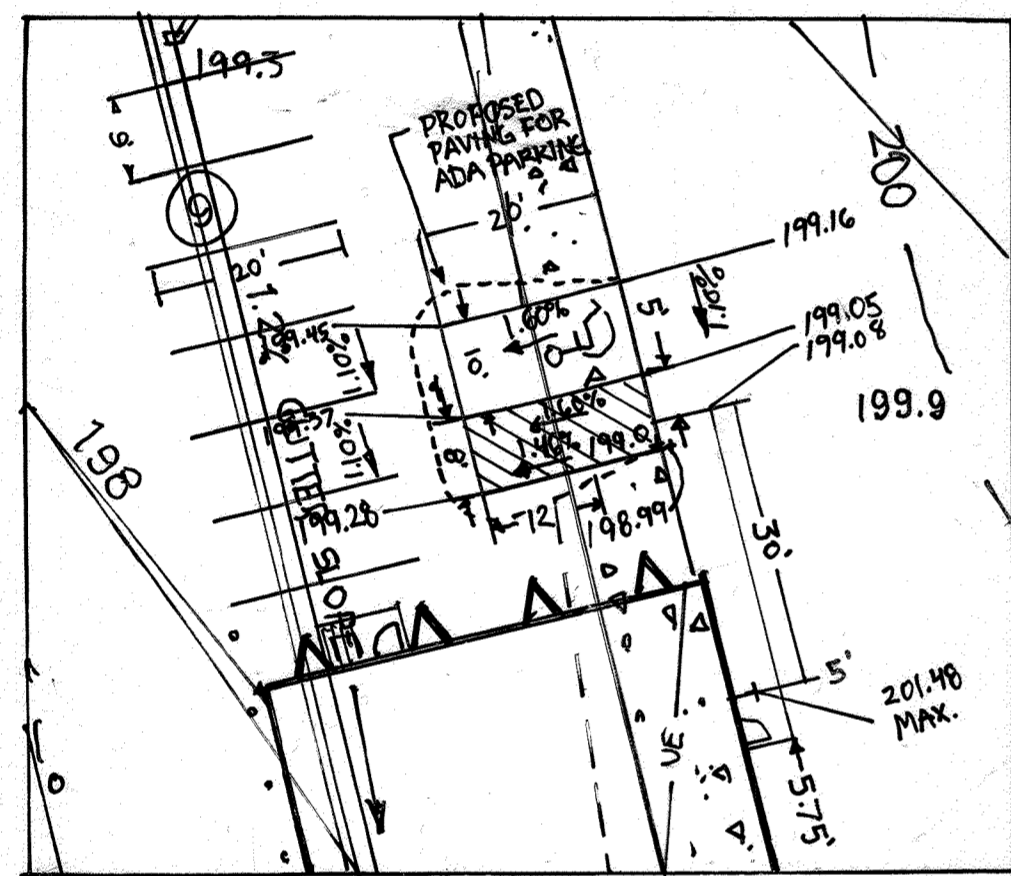
OWNER/DEVELOPER
MARYLAND FOOD CENTER AUTHORITY
 7801 OCEANO AVENUE
 JESSUP, MD 20794
 410-379-5760

SYMBOL	DATE	REVISION	DRAWN	CHECKED
	11/7/01	REVISED PER COUNTY COMMENTS	BLE	BEL
	9/11/01	REVISED PER COUNTY COMMENTS	BLE	BEL
	6/22/01	SUBMITTED FOR S.D.P. REVIEW	BLE	BEL

PROPOSED INLET SCHEDULE						
NO.	TYPE	TOP ELEV.	INV. IN	INV. OUT	O.C.F.S.	HO. CO. DTL.
I-1	TYPE 'S' INLET	192.50	N/A	187.80	6.17	SD-4.22
I-2	DOUBLE TYPE 'S' COMB. INLET	193.50	N=190.00 W=187.40	187.50	8.10	SD-4.34
I-3	DOUBLE TYPE 'S' INLET	194.25	N/A	190.00	5.17	SD-4.23
I-4	DOUBLE TYPE 'S' INLET	196.00	N/A	193.30	6.44	SD-4.23
I-5	DOUBLE TYPE 'S' INLET	192.00	N/A	188.79	4.49	SD-4.23
I-6	DOUBLE TYPE 'S' INLET	192.50	N/A	189.00	4.39	SD-4.23
I-7	YARD INLET	188.1	183.75	182.75	-	SD-4.14
I-8	YARD INLET	187.2	183.80	182.80	-	SD-4.14

PROPOSED STRUCTURE SCHEDULE						
NO.	TYPE	TOP ELEV.	INV. IN	INV. OUT	HO. CO. DTL.	COMMENTS
E-1	30" CONC. FLARED END-SECTION	N/A	N/A	177.00	SD-5.51	-
E-2	18" CONC. FLARED END-SECTION	N/A	N/A	186.00	SD-5.51	-
E-3	18" CONC. FLARED END-SECTION	N/A	N/A	186.00	SD-5.51	-
E-4	18" CONC. FLARED END-SECTION	N/A	N/A	186.00	SD-5.51	-
E-5	18" CONC. FLARED END-SECTION	N/A	N/A	182.0	SD-5.51	-
M-1	STANDARD BRICK	194.00	N=185.24 E=185.99	184.99	G-5.02	-
M-2	SHALLOW BRICK	192.70	N=188.62 E=188.12	188.12	G-5.05	-
M-3	SHALLOW BRICK	193.75	N=188.21 W=188.70	188.11	G-5.05	-
M-4	SHALLOW BRICK	192.50	N=188.65 E=188.65	188.50	G-5.05	-

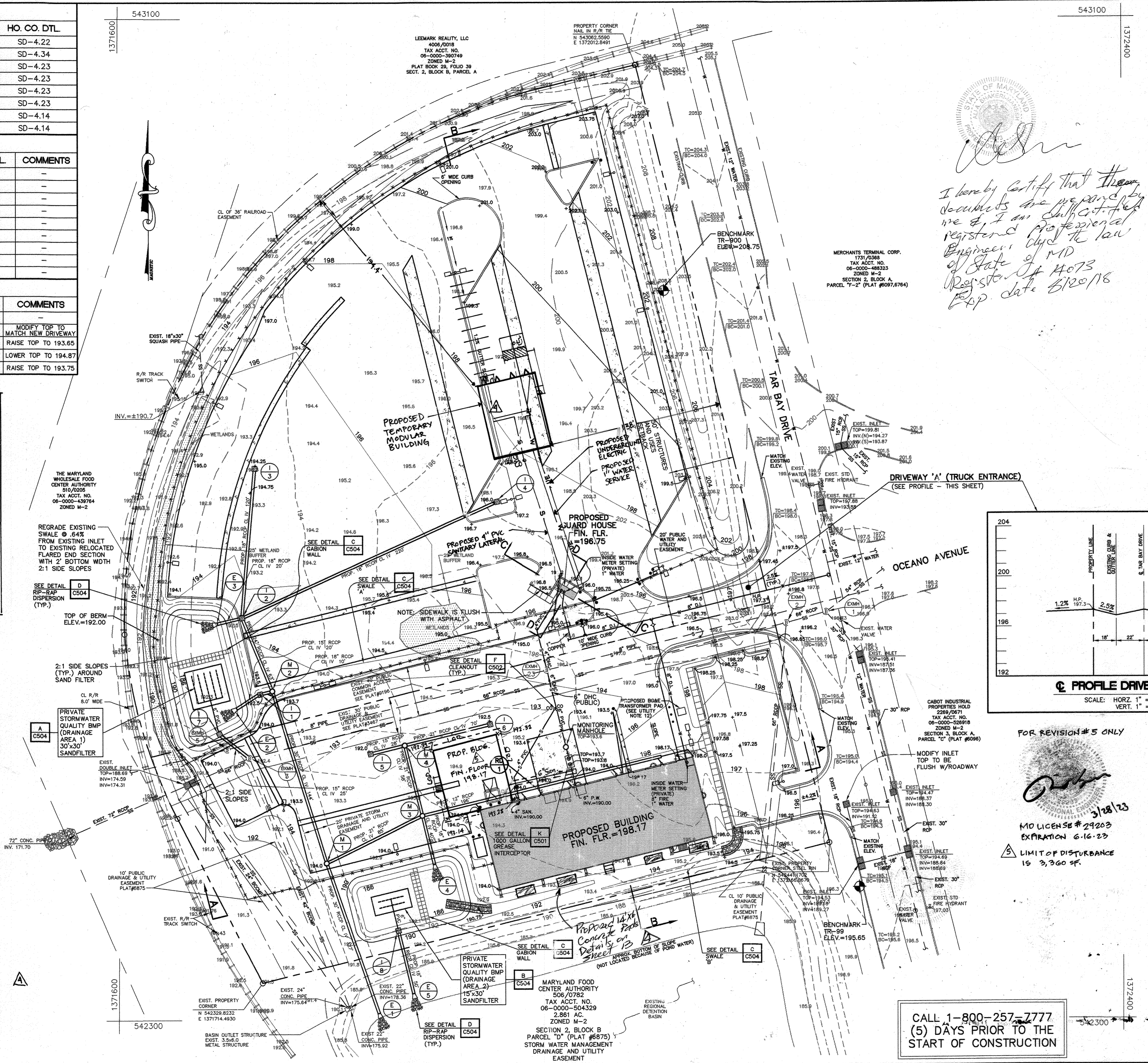
EXISTING STRUCTURE SCHEDULE						
NO.	TYPE	TOP ELEV.	INV. IN	INV. OUT	HO. CO. DTL.	COMMENTS
EX-MH1	EXISTING STORM MANHOLE	197.05	NOT OBTAINED	NOT OBTAINED	N/A	-
EX-MH2	EXISTING STORM MANHOLE	197.21	E=184.16 W=184.16	182.41	N/A	MODIFY TOP TO MATCH NEW DRIVEWAY
EX-MH3	EXISTING STORM MANHOLE	191.87	176.05 (CL)	-	N/A	RAISE TOP TO 193.65
EX-MH23	EXISTING SANITARY MANHOLE	196.54	179.20 (CL)	-	N/A	LOWER TOP TO 194.87
EX-MH5	EXISTING SANITARY MANHOLE	192.82	174.62 (CL)	-	N/A	RAISE TOP TO 193.75



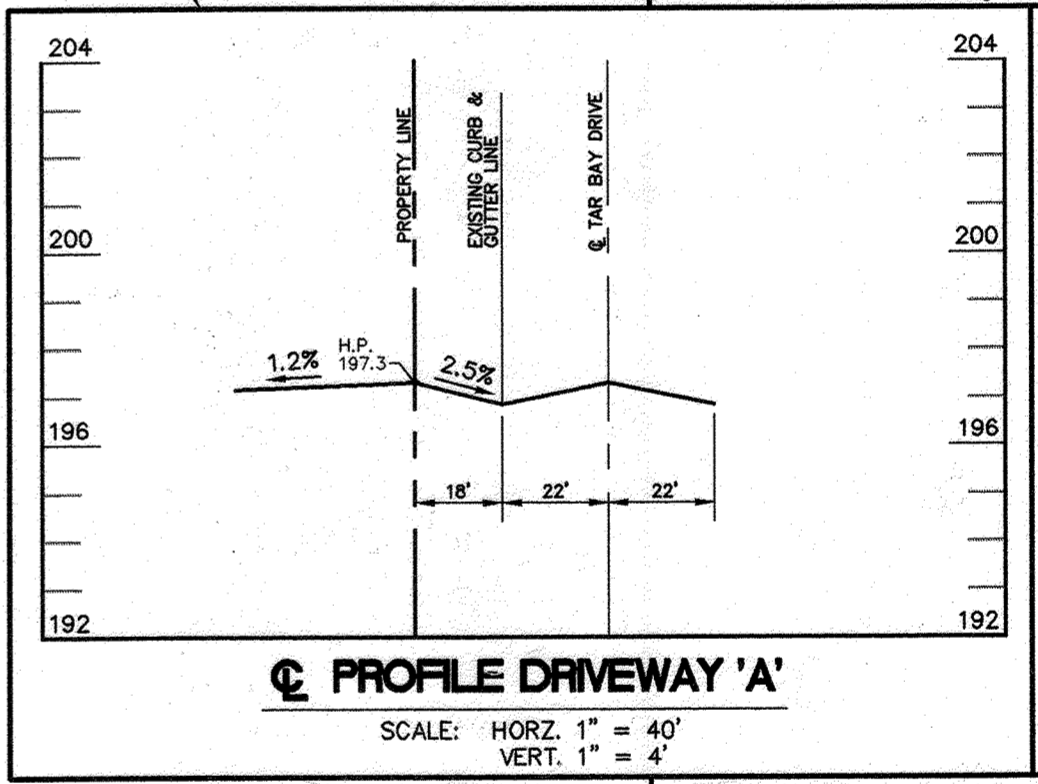
HANDICAP PARKING DETAIL
SCALE: 1"=20'

BEST MANAGEMENT PRACTICES FOR WORKING IN NONTIDAL WETLANDS, WETLAND BUFFERS, WATERWAYS, AND 100-YEAR FLOODPLAINS

- No excess fill, construction material, or debris shall be stockpiled or stored in nontidal wetlands, nontidal wetland buffers, waterways, or the 100-year flood plain.
- Place materials in a location and manner which does not adversely impact surface or subsurface water flow into or out of nontidal wetlands, nontidal wetland buffers, waterways, or the 100-year flood plain.
- Do not use excavated material as backfill if it contains waste metal products, unightly debris, toxic material, or any other deleterious substance. If additional backfill is required, use clean material free of waste metal products, unightly debris, toxic material, or any other deleterious substance.
- Place heavy equipment on mats or suitably operate the equipment to prevent damage to nontidal wetlands, nontidal wetland buffers, waterways, or the 100-year flood plain.
- Repair and maintain any serviceable structure or fill so there is no permanent loss of nontidal wetlands, nontidal wetland buffers, or waterways, or permanent modification of the 100-year floodplain in excess of that lost under the originally authorized structure or fill.
- Rectify any nontidal wetlands, wetland buffers, waterways, or 100-year floodplain temporarily impacted by any construction.
- All stabilization in the nontidal wetland and nontidal wetland buffer shall consist of the following species: Annual Ryegrass (*Lolium multiflorum*), Millet (*Setaria italica*), Barley (*Hordeum sp.*), Oats (*Avena sp.*), and/or Rye (*Secale cereale*). These species will allow for the stabilization of the site while also allowing for the voluntary revegetation of natural wetland species. Other non-persistent vegetation may be acceptable, but must be approved by the Nontidal Wetlands and Waterways Division. Kentucky 31 fescue shall not be utilized in wetland or buffer areas. The area should be seeded and mulched to reduce erosion after construction activities have been completed.
- After installation has been completed, make post-construction grades and elevations the same as the original grades and elevations in temporarily impacted areas.
- To protect aquatic species, in-stream work is prohibited as determined by the classification of the stream:
Use 1 waters: in-stream work shall not be conducted during the period March 1 through June 15, inclusive, during any year.
- Stormwater runoff from impervious surfaces shall be controlled to prevent the washing of debris into the waterway.
- Culverts shall be constructed and any riprap placed so as not to obstruct the movement of aquatic species, unless the purpose of the activity is to impound water.



I hereby certify that these documents are prepared by me or I am a duly registered professional engineer who has signed these documents as a professional engineer.
 Registered Professional Engineer
 State of MD
 Registration # 4073
 Exp. date 5/18/18



PROFILE DRIVEWAY 'A'
SCALE: HORIZ. 1" = 40'
VERT. 1" = 4'

PROFESSIONAL CERTIFICATION
 I CERTIFY THAT THESE REVISED PLANS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 43536, EXPIRATION DATE 6/17/21.

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

USDA Natural Resources Conservation Service Date: 4/3/01

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

Howard Soil Conservation District Date: 4/3/01

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division MK Date: 4/1/02

Chief, Division of Land Development Date: 4/16/02

Director Date: 4/12/02

FOR REVISION #5 ONLY

MD LICENSE # 29203
 EXPIRATION 6-16-23
 LIMIT OF DISTURBANCE IS 3,360 SF.

CALL 1-800-257-7777
 (5) DAYS PRIOR TO THE START OF CONSTRUCTION

WS WEBBER/SMITH Associates, Inc. DESIGN ENGINEERS
 1857 William Penn Way, Suite 200
 Lancaster, Pennsylvania 17601
 Phone (717)-291-2266
 Fax (717)-291-4401
 Email: info@webbersmith.com

STATUS: P - PRELIMINARY, F - FINAL
3894-C003 - D - F
 DRAWING NUMBER SIZE STATUS

THE INFORMATION CONTAINED ON THIS AND ANY RELATED DRAWING FILE SHALL NOT BE USED FOR ANY PURPOSE OTHER THAN THE CONVEYANCE OF INFORMATION FOR THE STATED CLIENT AND PROJECT WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ENGINEER/ARCHITECT.

REFERENCE FILES

3894C003.dwg 1/17/02 5:05:12 pm EST

GRAPHIC SCALE
 0 20 40 60 80 100
 (IN FEET)
 1 inch = 40 ft.

3894C003.dwg 1/17/02 5:05:12 pm EST

mjca
 MARYLAND FOOD CENTER AUTHORITY

OWNER/DEVELOPER
 MARYLAND FOOD CENTER AUTHORITY
 7801 OCEANO AVENUE
 JESSUP, MD 20794
 410-379-5760

SYMBOL	DATE	REVISION	DRAWN	CHECKED
△	1/21/23	REVISE TO ADD BUILDING ADDITION	MM	TEN
△	11/11/19	REVISE TO ADD MODULAR OFFICE BUILDINGS	N.J.M.	J.D.S.
△	10/9/11	REVISED PER COUNTY COMMENTS	BLE	BEI
△	11/7/01	REVISED PER COUNTY COMMENTS	BLE	BEI
△	9/11/01	REVISED PER COUNTY COMMENTS	BLE	BEI
△	6/22/01	SUBMITTED FOR S.D.P. REVIEW	BLE	BEI

Grading and Utility Plan
MARYLAND FOOD CENTER AUTHORITY
CROSS DOCK/TRAILER PARKING
 BLOCK B, PARCEL B-1, B-2

PREVIOUS FILE # 'S': 3467, 6875, 9186, F-82-120, F-90-81, F-92-32, F-92-85, F-92-86, F-92-87

ELECTION DISTRICT: 6 HOWARD CO., MARYLAND SHEET 4 OF 15 DATE: JUNE 22, 2001

SDP-01-147 SCALE: AS SHOWN DATE: JUNE 22, 2001 SDP-01-147

EROSION AND SEDIMENTATION CONTROL NOTES:

- A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division Prior to the start of any construction (313-1855).
- A copy of this plan shall be available for inspection on the construction site at all times.
- All construction personnel shall be cautioned to avoid damage to any existing trees, ground cover or other vegetation, which is intended to be preserved or which is outside the limits of disturbance for the project.
- At the end of each working day, any and all sediment tracked, or conveyed by other means, onto public roadways or paved surfaces, shall be removed and returned to the construction project site. Removal can be completed through either the use of machinery, or by hand tools, but shall never be washed off the road surface with water.
- Erosion & Sedimentation Controls shall be constructed prior to any site clearing, parking lot construction, or site grading. If necessary, only minimal clearing shall be performed to permit the initial installation of the sediment control facilities.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspections approvals may not be authorized until this initial approval by the inspection agency is made.
- All temporary or permanent seeding shall be done in accordance with the 1994 Maryland Standards and Specifications for Soil Erosion and Sedimentation Control. Temporary stabilization (i.e. seeding and mulching) shall be completed within 7 calendar days as to the surface of all perimeter controls, dikes, ditches, perimeter slopes, and all slopes greater than 3 horizontal to 1 vertical (3:1); and 14 days as to all other disturbed or graded areas within the project site. Following construction all areas shall receive permanent seeding.
- All disturbed areas must be stabilized within the time period specified above in accordance with the "1994 Maryland Standards and Specifications for Soil Erosion and Sediment Control" for permanent seeding, sod, temporary seeding and mulching (Section G). Temporary stabilization with mulch alone shall only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All proposed parking areas shall be stabilized with stone as soon as possible following grading to minimize the potential for soil erosion.
- Utility trenches shall be limited to 3 pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.
- All Erosion Control Facilities shall be inspected after every runoff event as well as on a weekly basis. Any necessary repairs and maintenance, including cleaning, shall be conducted immediately.
- Any sediment control measures that are disturbed by on-going grading activities or utility installation must be repaired on the same day of disturbance.
- If soil material is hauled off-site, the contractor shall verify all off-site activities have an approved Erosion & Sedimentation Control Permit.
- All sediment control facilities are to remain in place and fully operational until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- The intent of this plan and any notes is to indicate general means of compliance with the requirements of the State of Maryland and the Maryland Department of Environment. It shall be the responsibility of the contractor to implement these methods, plus any additional measures as may be necessitated by the conditions created by localized site conditions, and/or construction procedures, in order to assure continual compliance with applicable laws.
- Additional Sediment Control Facilities must be provided if deemed necessary by the Howard County Sediment Control Inspector.
- Contractor is responsible for cleaning any and all sediment from the adjacent regional stormwater detention basin.
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the most current Maryland Standards and Specifications for Soil Erosion and Sediment Control and revisions thereto.
- Following initial soil disturbance or re-disturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol 1, Chapter 12 of the Howard County Design Manual, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 Maryland Standards and Specifications for Soil Erosion and Sediment Control for permanent seeding (sec. 51), sod (sec. 54), temporary seeding (sec. 50) and mulching (sec. 52). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized by the end of each work day, whichever is shorter.
- Site Analysis:
Total Area of Site = 6.495 Acres
Area Disturbed = 4.09 acres on Parcel B-1
2.21 acres on Parcel B-2
0.25 acres on Off Site Regional Detention Facility
Area Roofed or Paved = 4.83 acres
Area to be Vegetative Stabilized = 2.0 acres
Total Cut = 15,000 cy (including Topsoil Removal)
Total Fill = 3,000 cy

EROSION AND SEDIMENTATION CONTROL LEGEND

- LIMIT OF DISTURBANCE
- TEMPORARY EARTH DIKE
- TEMPORARY OBSTRUCTION
- SILT FENCE
- SUPER SILT FENCE
- EROSION CONTROL MATTING
- STONE CONSTRUCTION ENTRANCE
- RPS
- REMOVABLE PUMP STATION
- INLET PROTECTION
- SOIL BOUNDARY LINE
- BeB2 - BELTSVILLE SILT LOAM (1 TO 5 PERCENT SLOPES) [HYDRIC SOILS]
- SfC2 - SASSAFRAS GRAVELLY SANDY LOAM (5 TO 10 PERCENT SLOPES)
- Ha - HATBORO SILT LOAM [HYDRIC SOILS]

WS
WEBBER/SMITH Associates, Inc.
DESIGN ENGINEERS
1857 William Penn Way, Suite 200
Lancaster, Pennsylvania 17601
Phone: (717)-291-2266
Fax: (717)-291-4401
Email: info@webbersmith.com
STATUS: P - PRELIMINARY, F - FINAL
3894-C301 - D - F
DRAWING NUMBER SIZE STATUS
DRAWN BY: B.L.E.
CHECKED BY: B.L.E.

THE INFORMATION CONTAINED ON THIS AND ANY RELATED DRAWING FILE SHALL NOT BE USED FOR ANY PURPOSE OTHER THAN THE CONVEYANCE OF INFORMATION FOR THE STATED CLIENT AND PROJECT WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ENGINEER/ARCHITECT.
REFERENCE FILES
GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft.
3894C1V1.dwg 1/17/02 5:05:12 pm EST

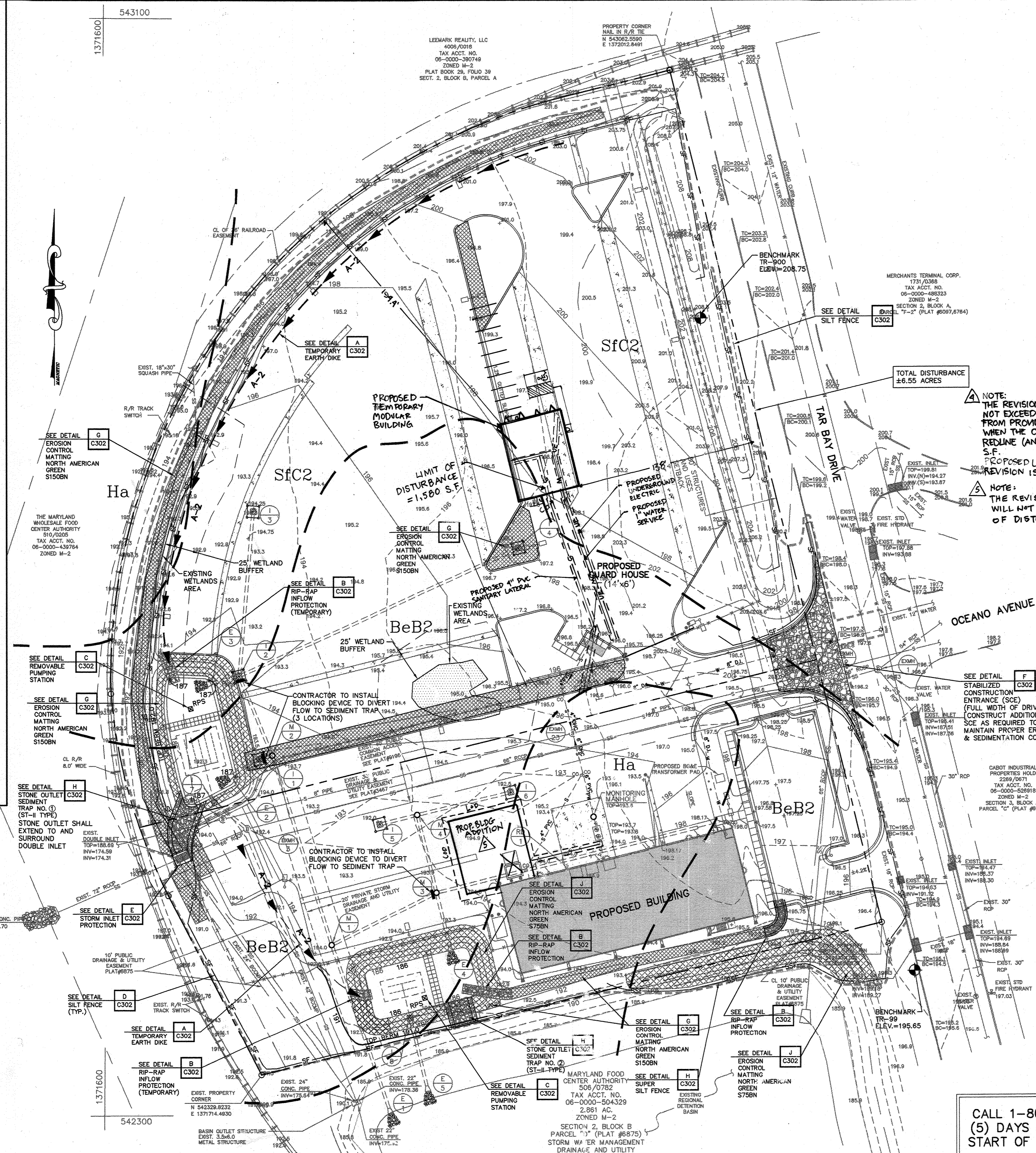
mfc
MARYLAND FOOD CENTER AUTHORITY
OWNER/DEVELOPER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVENUE
JESSUP, MD 20794
410-379-5760

CALL 1-800-257-7777
(5) DAYS PRIOR TO THE START OF CONSTRUCTION

SYMBOL	DATE	REVISION	DRAWN	CHECKED
▲	1/31/02	REVISE TO ADD BLDG. ADDITION	MM	TD
▲	11/11/01	REVISE TO ADD MODULAR OFFICE BUILDING	N.J.M.	J.D.S.
▲	11/7/01	REVISED PER COUNTY COMMENTS	BLE	BEL
▲	9/11/01	REVISED PER COUNTY COMMENTS	BLE	BEL
▲	6/22/01	SUBMITTED FOR S.D.P. REVIEW	BLE	BEL

PARCEL NO.	STREET ADDRESS	PERMIT INFORMATION CHART
B-1	7940 TAR BAY DRIVE (GUARD HOUSE)	SUBDIVISION NAME: Maryland Wholesale Food Center SECTION/AREA: Section 2 Block B PLAT # CMP-9196 BLOCK 20 ZONE M-2 TAX /ZONE MAP 43 ELECTION DISTRICT No. 6 CENSUS TRACT 6069.01 WATER CODE: B02 SEWER CODE: 3170000
B-2	7950 TAR BAY DRIVE (BUILDING)	

Erosion and Sedimentation Control Plan
MARYLAND FOOD CENTER AUTHORITY
CROSS DOCK/TRAILER PARKING
BLOCK B, PARCEL B-1, B-2
PREVIOUS FILE # 'S: 3467, 6875, 9196, F-52-120, F-90-81, VP 82-65, VP 86-117
ELECTION DISTRICT: 6 HOWARD CO., MARYLAND
SCALE: AS SHOWN
DATE: JUNE 22, 2001
SDP-01-147
SHEET 5 OF 15
SDP-01-147



- CONSTRUCTION SEQUENCE NOTES:**
- Prior to the start of any construction, the site contractor shall verify that all appropriate erosion and sedimentation control permits and approvals have been obtained.
 - The contractor shall notify the Howard County Department of Permits and Licenses 48 hours before beginning work. (1 DAY)
 - Install temporary stone construction entrances as indicated on the plan. (1 DAY)
 - Install perimeter temporary silt fence at locations surrounding the site and as indicated on the Erosion and Sedimentation Control Plan. Additional stone filter berms, checks or some other means to reduce velocity may be necessary if adverse surface runoff is encountered. (2 DAYS)
 - Construct the temporary sediment traps with functional sediment control outlets prior to clearing for the proposed buildings, drives and parking areas. The side slopes and top of berm shall be temporarily seeded following grading. (5 DAYS)
 - The Howard County Sediment Control Inspector shall be contacted to inspect the site prior to commencing with any additional construction.
 - Following the installation of the sediment traps and perimeter erosion and sedimentation control measures, clear and grub the project area. (5 DAYS) *CONF. 5/16/02 S.D.C. #10.*
 - Temporary diversions shall be constructed, modified and maintained as necessary to divert flow from disturbed areas into the sediment traps. (2 DAYS)
 - Remove topsoil and excess material and place on temporary topsoil stockpiles as indicated on the plan. Seed all stockpiles and place filter fabric fence on the downhill side. (3 DAYS)
 - Re-grade railroad swale and immediately stabilize with seed, mulch and erosion control matting.
 - Concurrent with excavation and grading for building pad, begin construction of access drives, parking areas and truck maneuvering area. (10 DAYS)
 - Immediately following the completion of the driveway sub-grade, stabilize roadway areas with stone sub-base and then grade, seed and mulch all adjacent grass areas. (2 DAYS)
 - In conjunction with on-site grading, install stormwater conveyance pipes. Inlet protection shall be immediately provided around all newly installed inlets and remain in place until the contributing areas are stabilized. (5 DAYS)
 - Contractor to block off eastern pipe in I-1, southern pipe in I-2 and western pipe in M-3. (1 DAY)
 - Concurrent with building construction, install underground utility services, install curbs and stone drive and parking areas. (10 DAYS)
 - After final grading of the project area, seed and install jute netting and excelsior blanket as indicated. Also seed all other disturbed areas outside of immediate construction. (2 DAYS)
 - Final grade stone parking areas and drives. (2 DAYS)
 - Upon building completion, backfill and stabilize with seed, landscaping or decorative stone all adjacent disturbed areas. (2 DAYS)
 - Pave drives and parking areas. (4 DAYS)
 - Upon stabilization of the entire site, remove all sediment from the stormwater conveyance systems and the temporary sediment traps and properly dispose of. (1 DAY)
 - Re-grade the bottom area of the temporary sediment trap to reflect the final grades proposed for the stormwater quality basins. Install the permanent gabion wall, stone infill, soil filter bed, perforated underdrain, seed and mulch all disturbed areas. (3 DAYS)
- Note: The above durations are estimated based on the design engineer final durations may vary slightly based on the weather and shall be coordinated with the Howard County inspector.*

ENGINEER'S CERTIFICATE
I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Signature of Engineer (print name below signature)
Date
FOR REVISION #5 ONLY

DEVELOPER'S CERTIFICATE
I certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
Signature of Developer (print name below signature)
Date

PROFESSIONAL CERTIFICATION
I CERTIFY THAT THESE REDLINE REVISIONS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 43536, EXPIRATION DATE 6/17/21.
Professional Seal: MARYLAND PROFESSIONAL ENGINEER

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
Signature: Date
USDA Natural Resources Conservation Service
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
Signature: Date
Howard Soil Conservation District

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Signature: Date
Chief, Development Engineering Division
Signature: Date
Chief, Division of Land Development
Signature: Date
Director

ADDRESS CHART	PERMIT INFORMATION CHART
PARCEL NO. STREET ADDRESS	SUBDIVISION NAME SECTION/AREA PARCEL #
B-1 7940 TAR BAY DRIVE (GUARD HOUSE)	Maryland Wholesale Food Center Section 2 Block B B-1 & B-2
B-2 7950 TAR BAY DRIVE (BUILDING)	PLAT # BLOCK ZONE TAX /ZONE MAP ELECTION DISTRICT CENSUS TRACT
	CMF-9196 20 M-2 43 No. 6 6069.01
	WATER CODE: B02 SEWER CODE: 3170000

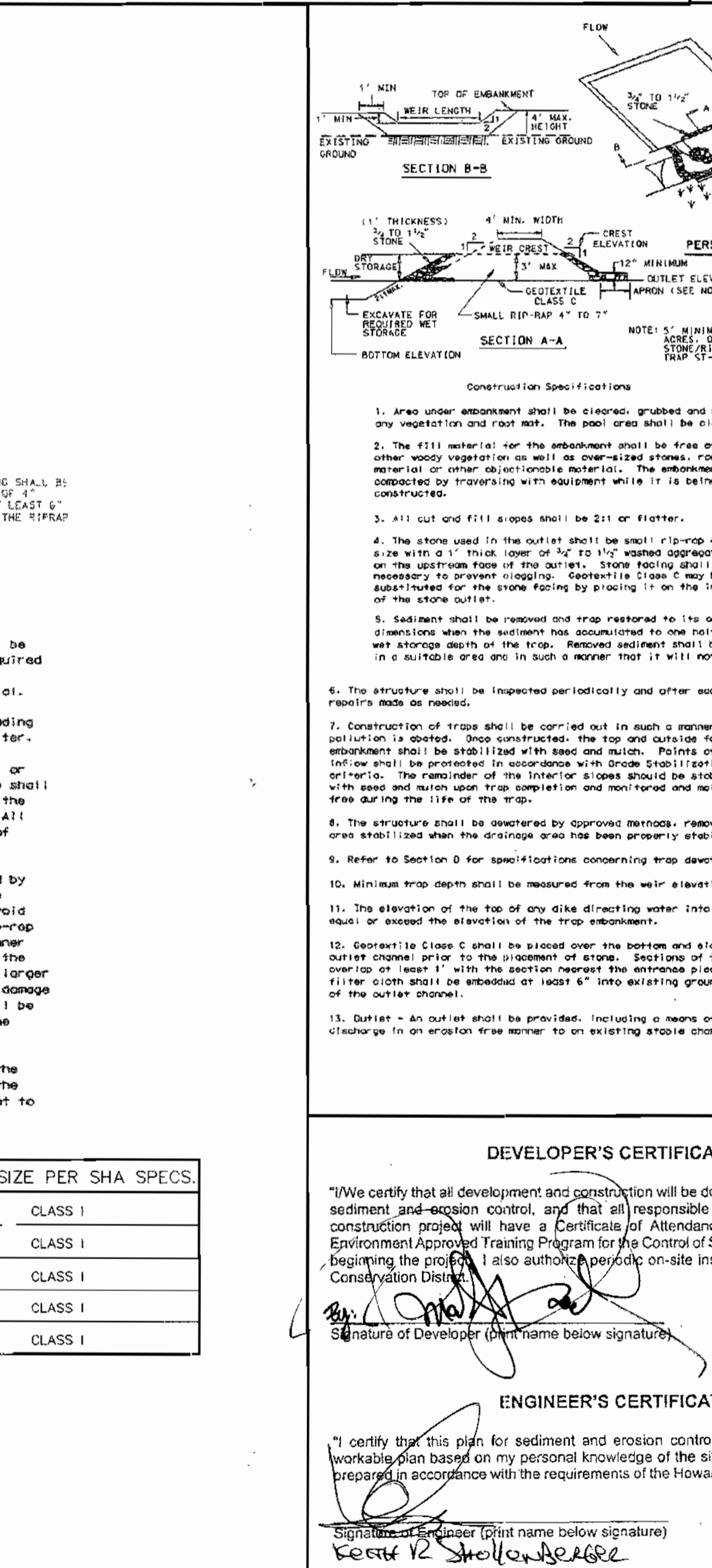
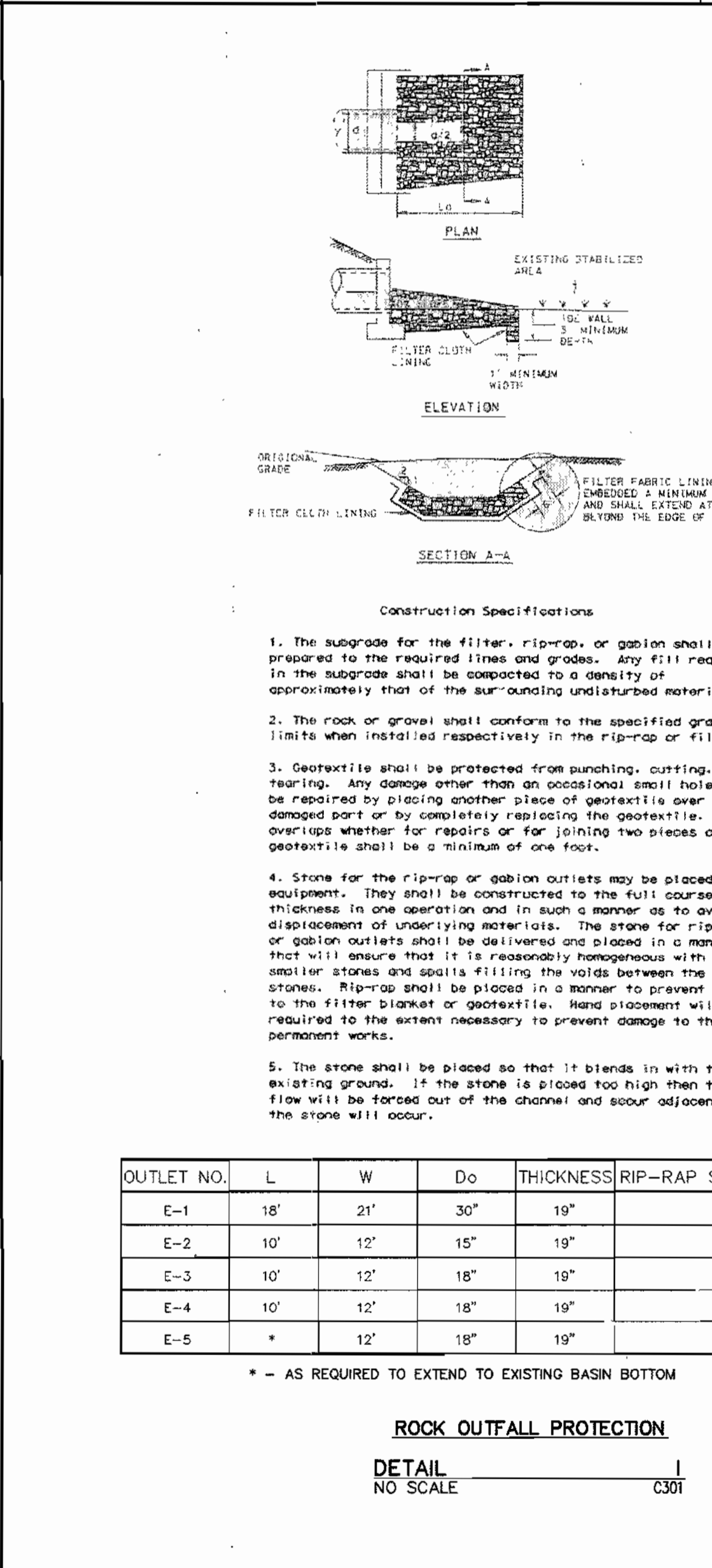
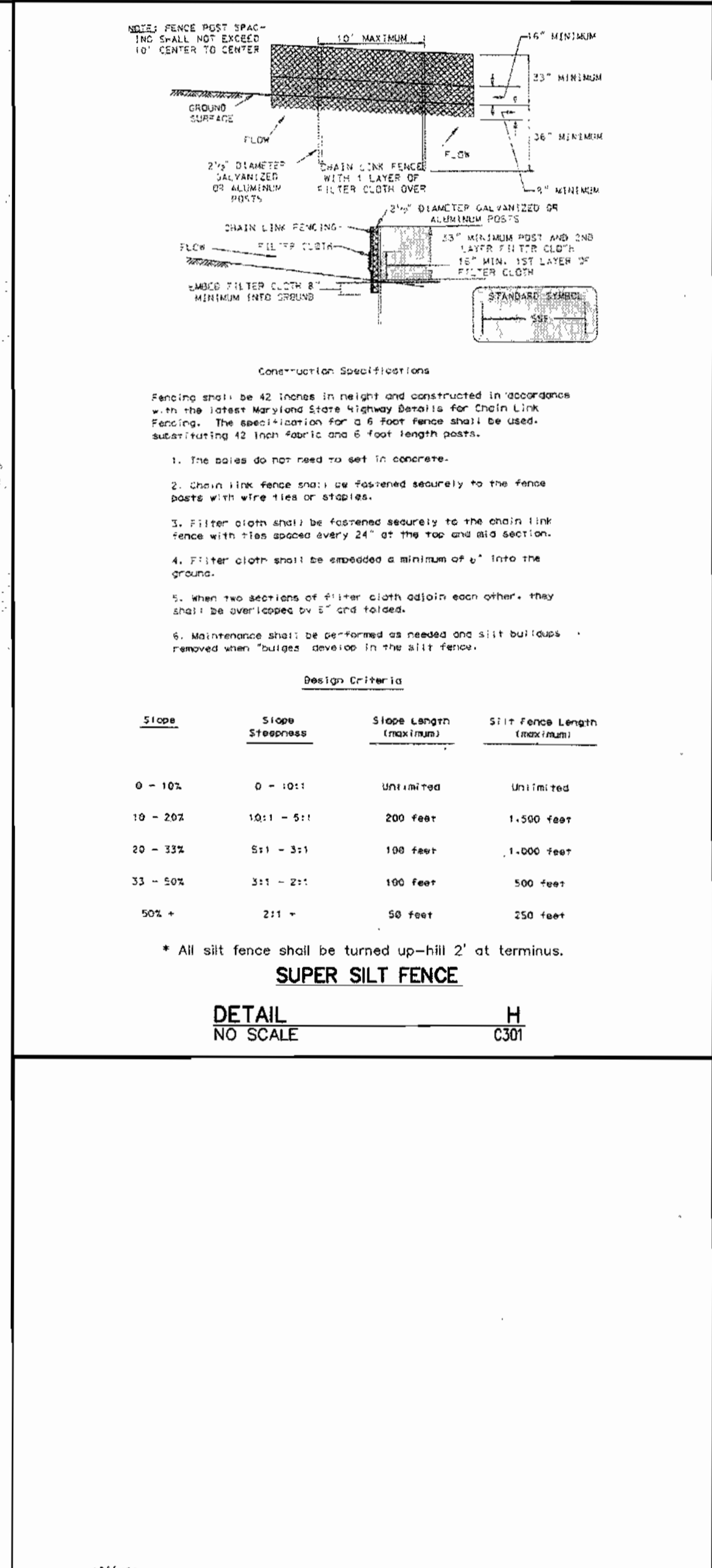
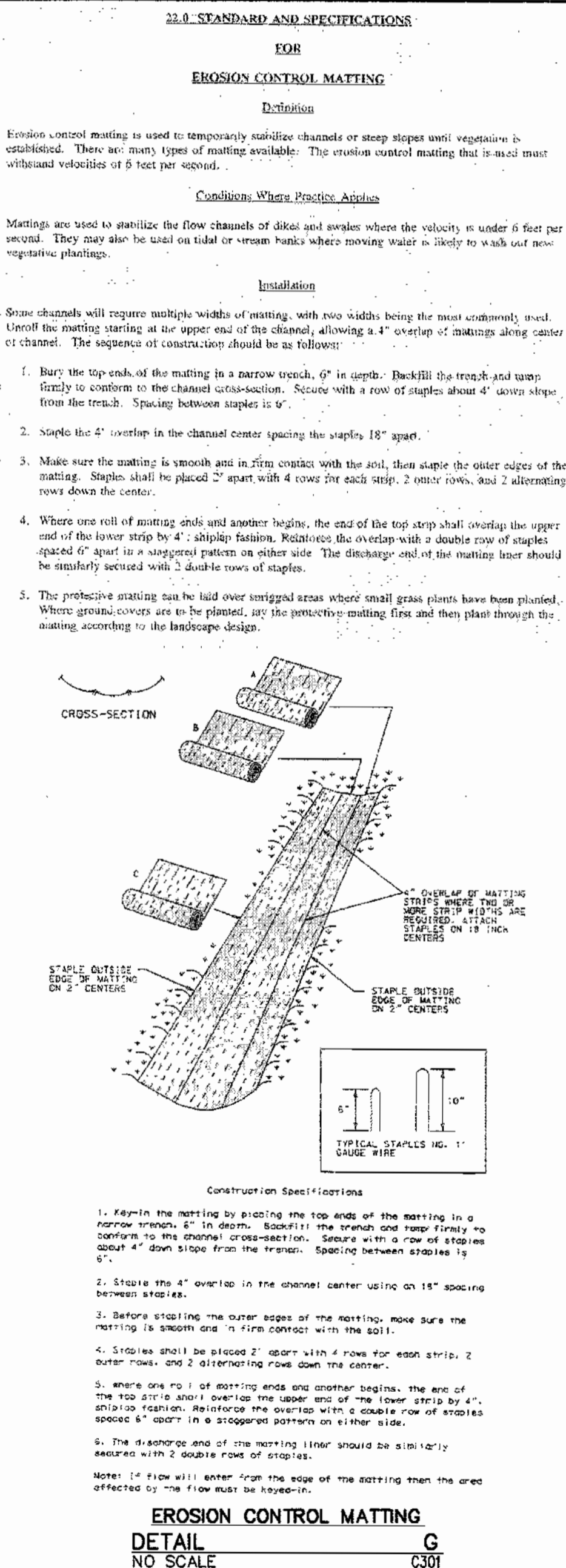
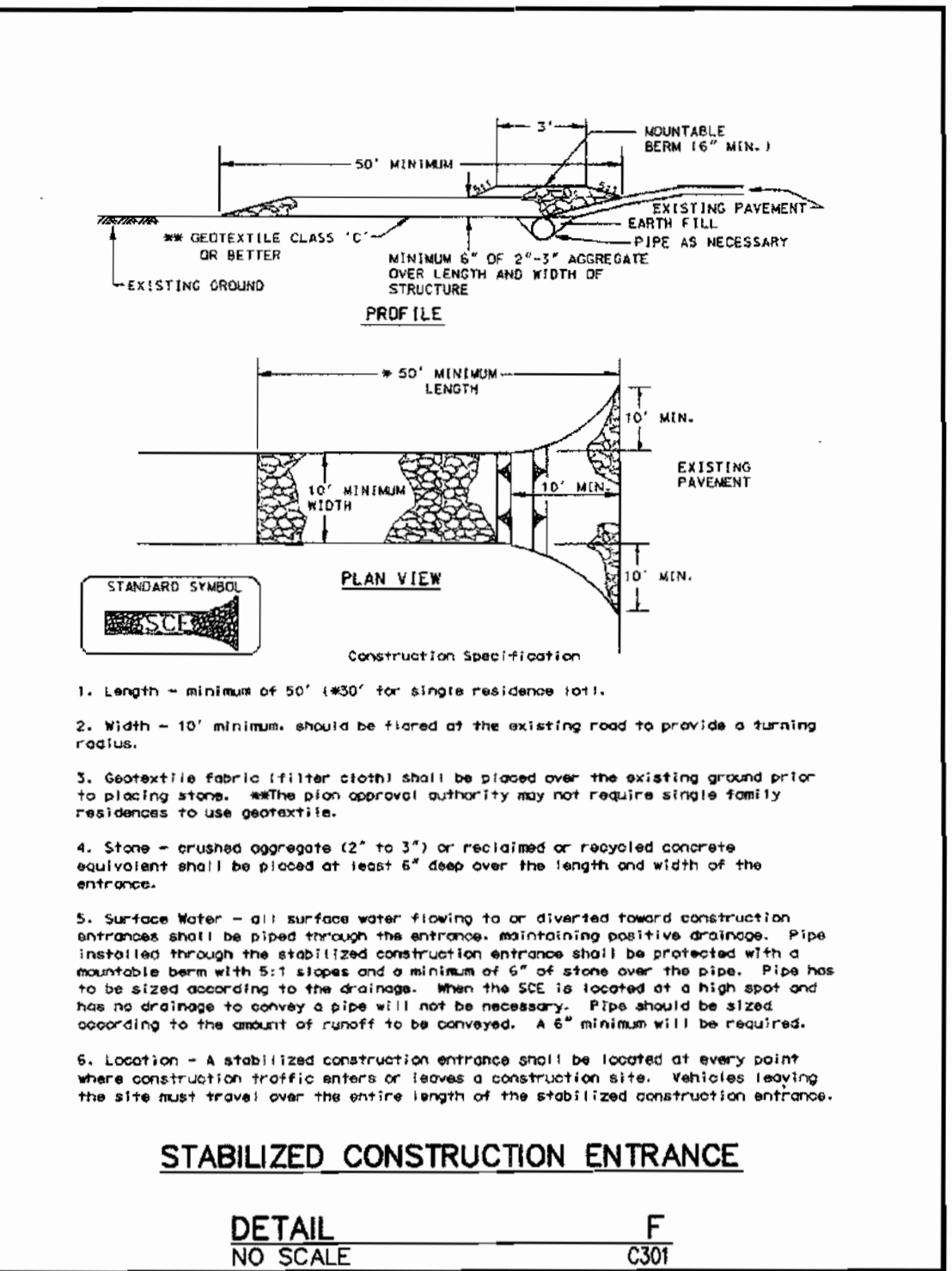
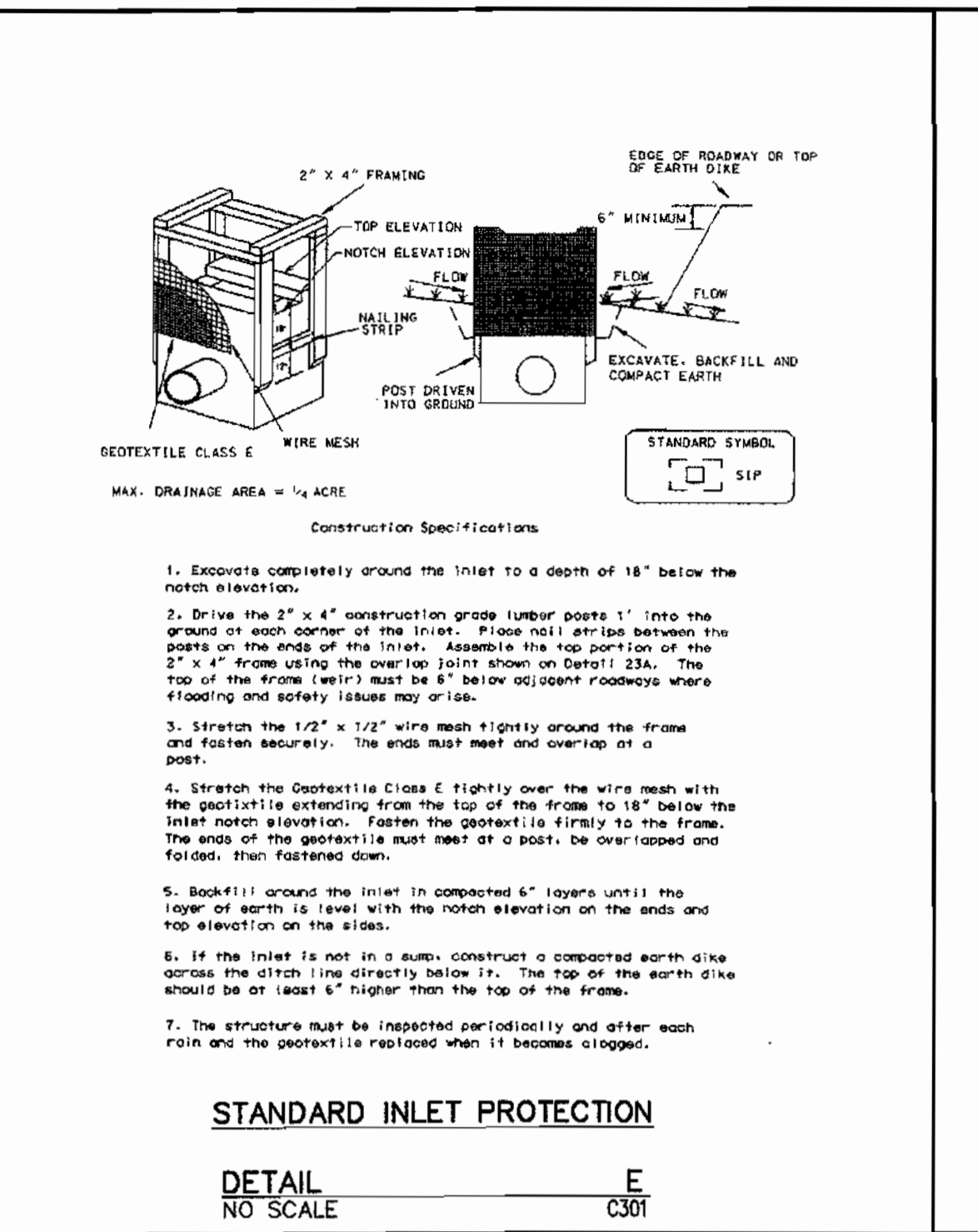
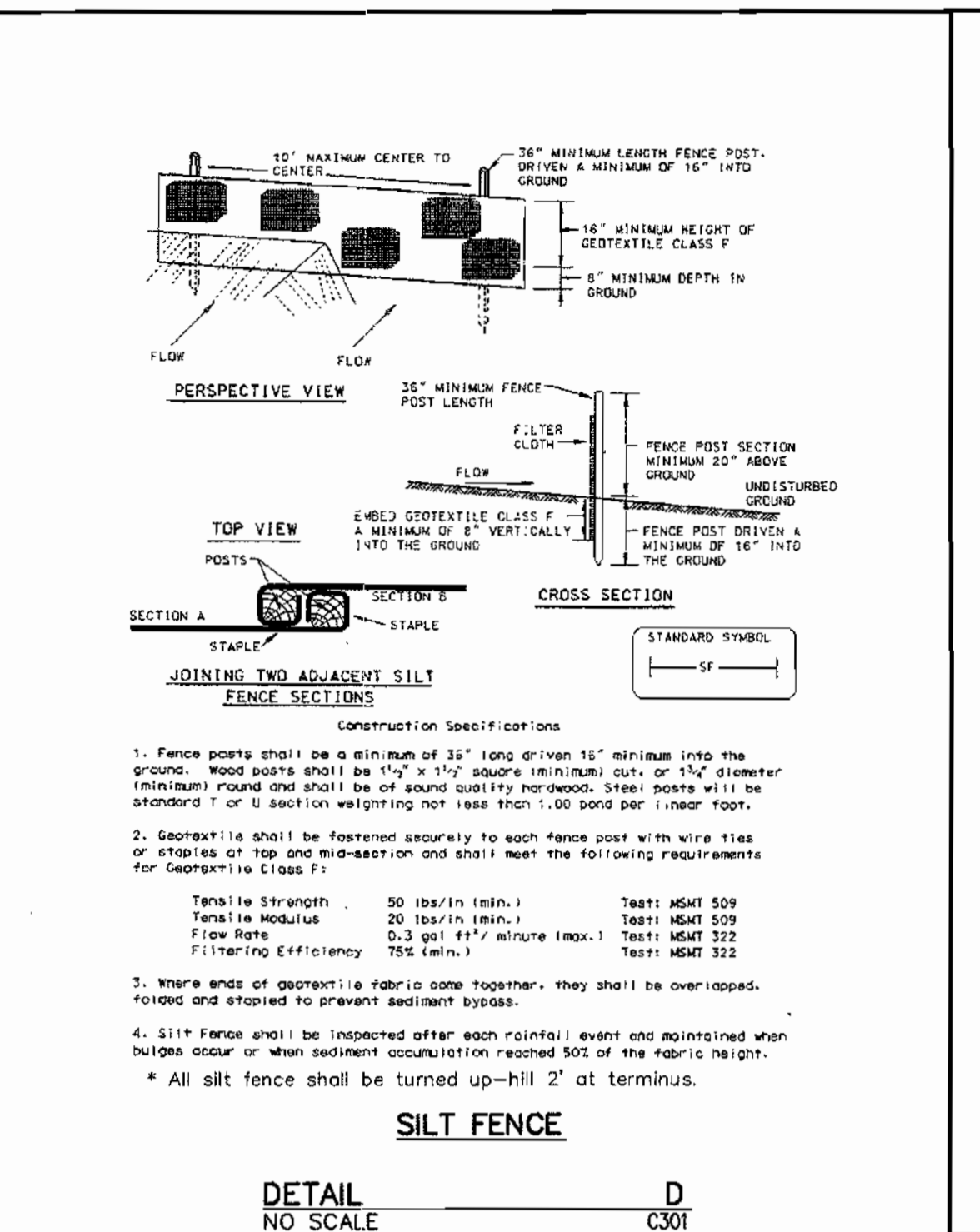
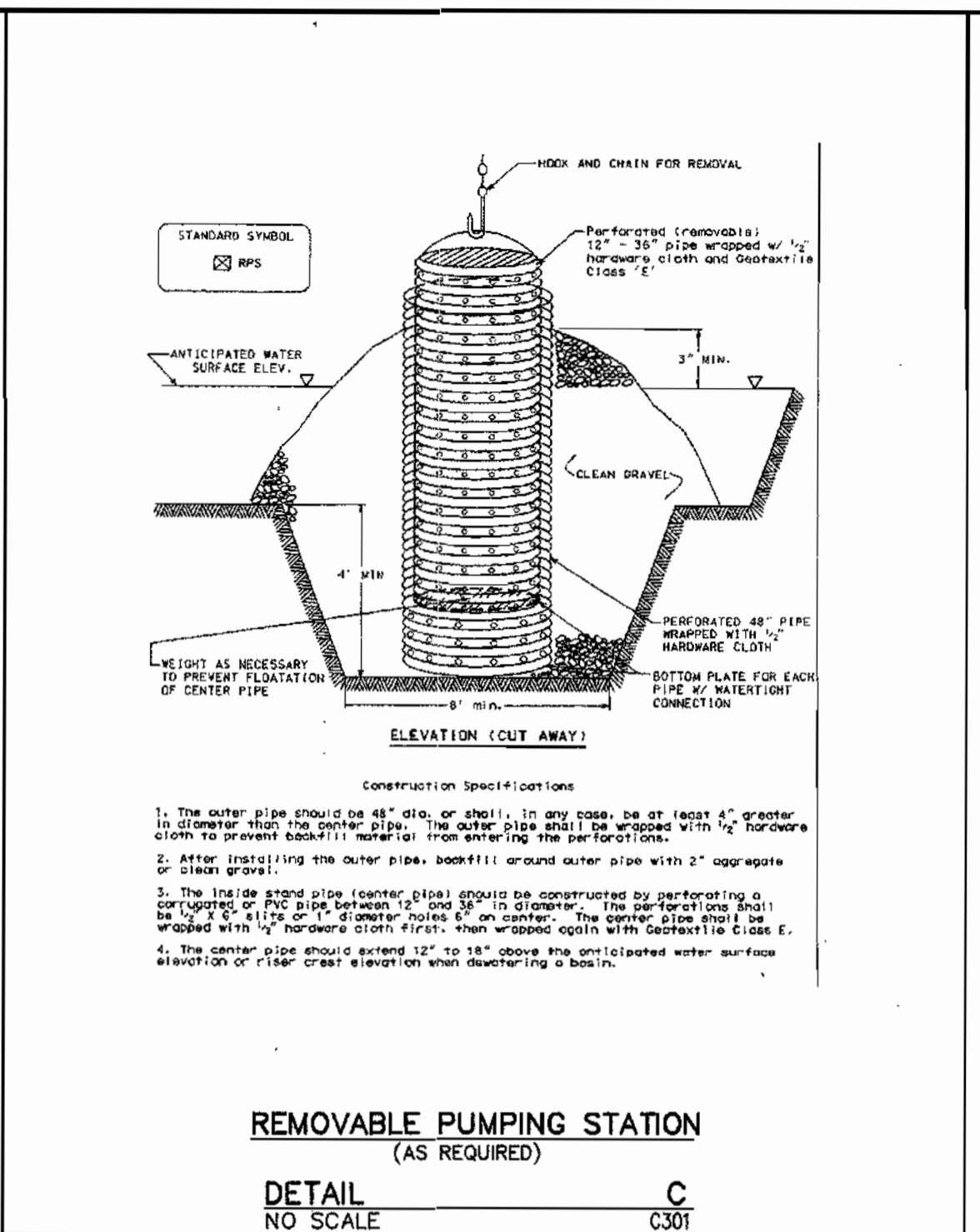
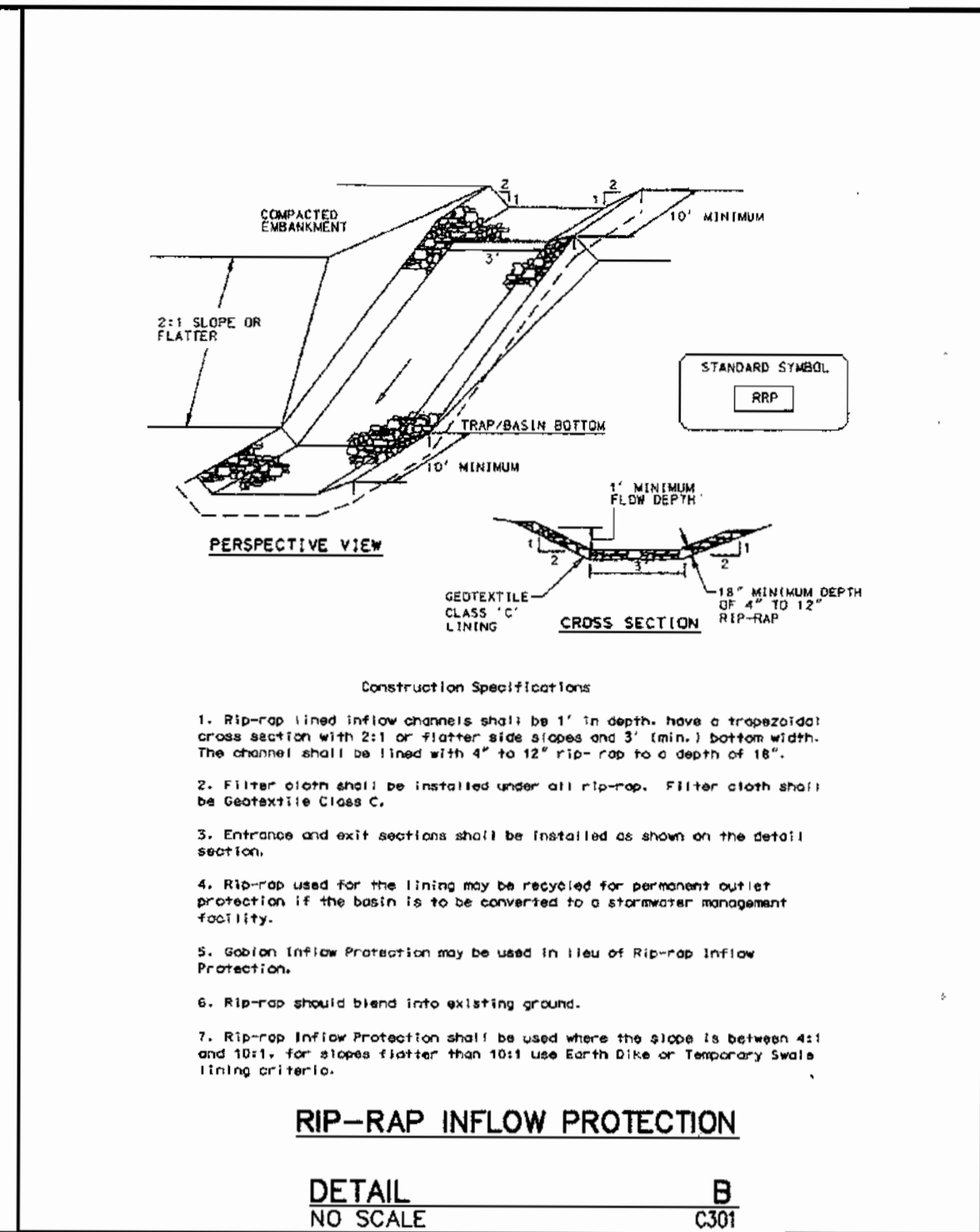
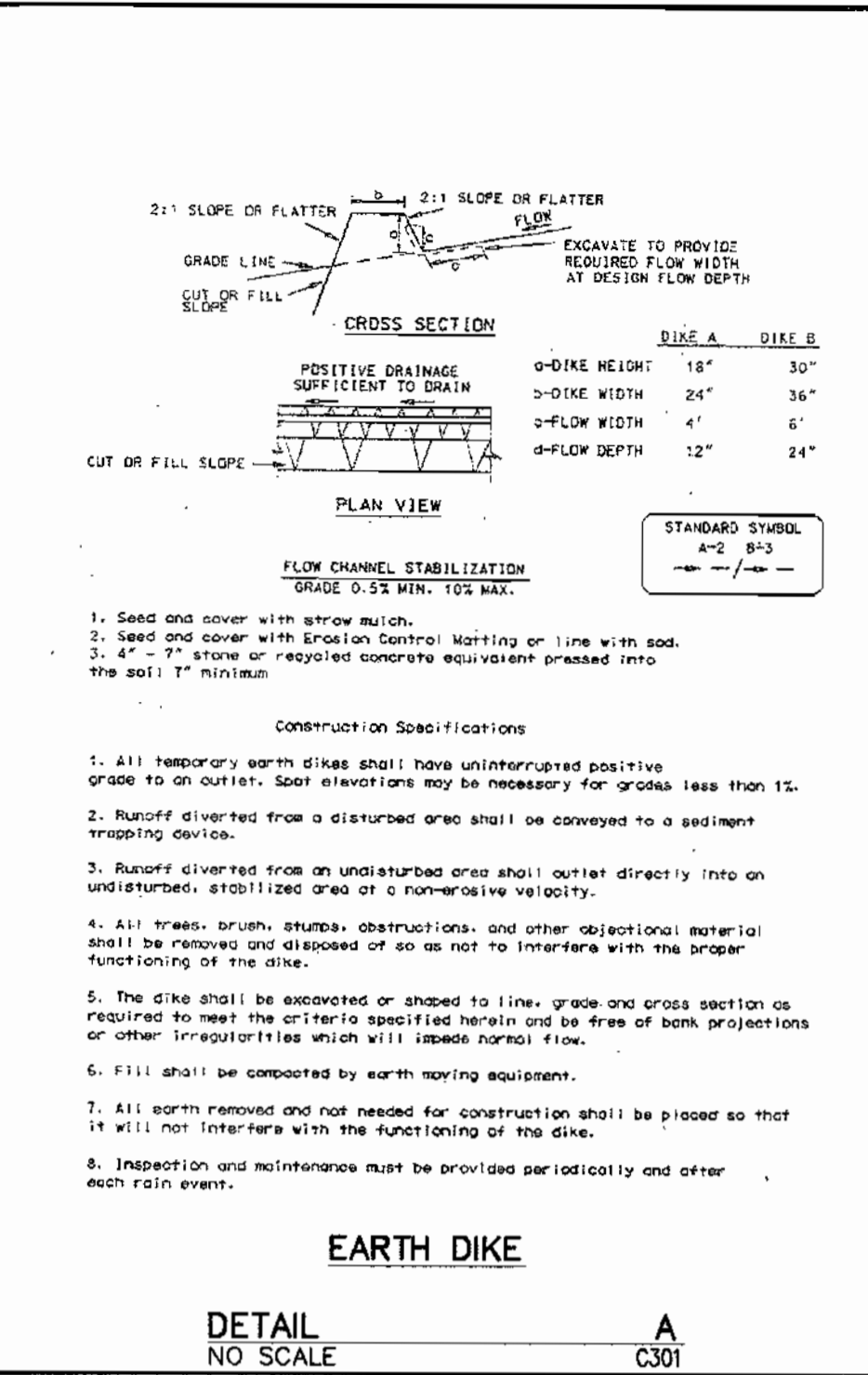


Table 9. Sediment Trap Design Criteria

DRAINAGE AREA (AC)	TRAP TYPE	TOTAL VOLUME (CF)	WET VOLUME (CF)	DRY VOLUME (CF)	MINIMUM LENGTH (FT)	MINIMUM WIDTH (FT)	MINIMUM HEIGHT (FT)
1	I/II	3600	1800	1800	2.5	46	23
2	I/II	7200	3600	3600	2.5	66	34
3	I/II	10800	5400	5400	2.5	86	42
4	I/II	14400	7200	7200	3.0	90	43
5	I/II	18000	9000	9000	3.0	101	50
6	IV	21600	10800	10800	4.0	90	46
7	IV	25200	12600	12600	4.0	100	50
8	IV	28800	14400	14400	4.0	105	55
9	IV	32400	16200	16200	4.0	110	60
10	IV	36000	18000	18000	4.0	123	60

3.3 Stone Outlet Sediment Trap (ST)

This device consists of a trap formed by an embankment or excavation. The outlet of this trap is over a mean and/or level ground. The minimum length (L) of the outlet shall be equal to four (4) times the drainage area (A).

The outlet crest height (H) in feet shall be at least 1 foot below the top of the embankment and no more than 1/4" above ground level. A 1/2" to 1" thick layer of 3/4" to 1 1/2" washed aggregate shall be placed on the upstream face of the outlet. Geotextile Class C placed on the upstream face of the outlet may be substituted for the stone facing by placing it on the inside face of the stone outlet.

CONSTRUCTION SPECIFICATIONS

1. The area under the embankment shall be cleared, grubbed and stripped of any vegetation and rock. The pool area shall be cleared.
2. The fill material for the embankment shall be free of rocks and other woody vegetation or any other objectionable material. The embankment shall be compacted by traversing with equipment while it is being constructed.
3. All cut and fill slopes shall be 2:1 or flatter.
4. The stone used in the outlet shall be 4" to 12" in size with a 1/4" to 1/2" thick layer of 3/4" to 1 1/2" washed aggregate placed on the upstream face of the outlet. Stone facing shall be as necessary to prevent erosion. Geotextile Class C may be substituted for the stone facing by placing it on the inside face of the stone outlet.
5. Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to one half of the wet storage depth of the trap. Removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.
6. The structure shall be inspected periodically and after each rain and repairs made as needed.
7. Construction of traps shall be carried out in such a manner that sediment collection is affected. Once constructed, the top and outside face of the embankment shall be stabilized with seed and mulch. Points of concentration in flow shall be protected in accordance with Drain Stabilization Structure or other. The remainder of the structure shall be stabilized with lime with seed and mulch soon trap completion and monitored and maintained erosion free during the life of the trap.
8. The structure shall be inspected periodically and after each rain and repairs made as needed.
9. Sediment shall be removed and the trap restored to its original dimensions when the sediment has accumulated to one half of the wet storage depth of the trap. Removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.
6. The structure shall be inspected periodically and after each rain and repairs made as needed.
7. Construction of traps shall be carried out in such a manner that sediment collection is affected. Once constructed, the top and outside face of the embankment shall be stabilized with seed and mulch. Points of concentration in flow shall be protected in accordance with Drain Stabilization Structure or other. The remainder of the structure shall be stabilized with lime with seed and mulch soon trap completion and monitored and maintained erosion free during the life of the trap.

SEDIMENT TRAP NUMBER

TRAP TYPE	ST II	ST II
DRAINAGE AREA (5 ACRE MAX) AC	3.5	2
REQUIRED CAPACITY (3600 CF/AC) CF	12,600	7,200
AVERAGE BOTTOM LENGTH (FT)	41	37
AVERAGE BOTTOM WIDTH (FT)	93	78
SIDE SLOPES H:V	2:1	2:1
TOP OF EMBANKMENT ELEVATION	192	191
WEIR ELEVATION(DRY)/CREST OF SPILLWAY	190	189
DRY VOLUME	9694	7483
CLEAN-OUT ELEVATION (@ 700 CF/AC)	187.75	186.5
TRAP BOTTOM ELEVATION	187	186
PROVIDED CAPACITY CF	14,303	10,880
WEIR LENGTH (4"/AC) LF	14	8
OUTLET SIDE SLOPE	2:1	2:1
WET VOLUME (WET)	188.53	187.14
WET VOLUME	4609	3397
PRE-DEV TO TRAP	1.5	1
POST-DEV TO TRAP	3.5	2

NOTE: SEE STONE OUTLET SEDIMENT TRAP ST-II DETAIL (SHEET 5 OF 15)

SEDIMENT TRAP
DETAIL NO SCALE J C301

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

USA-Natural Resource Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division

Chief, Division of Land Development

Director

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
B-1	7940 TAR BAY DRIVE (GUARD HOUSE)
B-2	7940 TAR BAY DRIVE (BUILDING)

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	PARCEL #
Maryland Wholesale Food Center	Section 2 Block B	B-1 & B-2

PLAT #	BLOCK	ZONE	TAX / ZONE MAP	ELECTION DISTRICT	CENSUS TRACT
CMP-9196	20	N-2	43	No. 6	6069.01

WATER CODE: B02 SEWER CODE: 3170000

Erosion and Sedimentation Control Details
MARYLAND FOOD CENTER AUTHORITY
CROSS DOCK/TRAILER PARKING

BLOCK B, PARCEL B-1, B-2

PREVIOUS FILE #s: 3467, 6675, 9196, F-82-102, F-90-91, VP 82-32, VP 82-65, VP 86-117

ELECTION DISTRICT: 6 HOWARD CO., MARYLAND

SHEET 6 OF 15

SCALE: AS SHOWN DATE: JUNE 22, 2001

WS WEBBER/SMITH Associates, Inc. DESIGN ENGINEERS

1857 William Penn Way, Suite 200
Lancaster, Pennsylvania 17601

Phone (717)-291-2266
Fax (717)-291-4401
Email: info@webbersmith.com

STATUS: P - PRELIMINARY, F - FINAL

3894-C302 - D - F

DRAWING NUMBER SIZE STATUS

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CALL 1-800-257-7777
(5) DAYS PRIOR TO THE START OF CONSTRUCTION

3894C302.dwg 1/18/02 11:15:36 am EST

OWNER/DEVELOPER
MARYLAND FOOD CENTER AUTHORITY

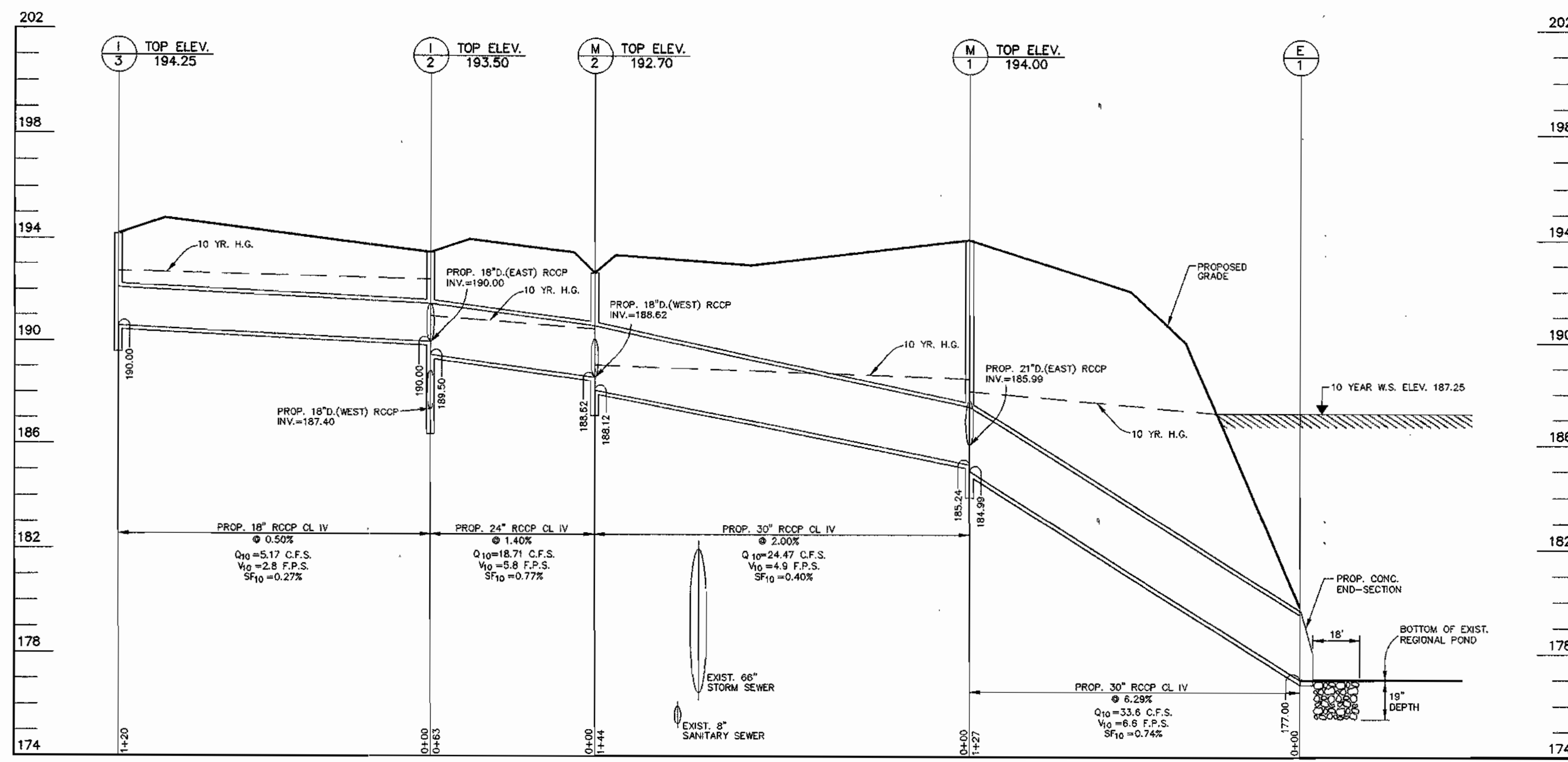
7801 OCEANO AVENUE
JESSUP, MD 20794
410-379-5760

SYMBOL	DATE	REVISION	DRAWN	CHECKED
△	11/7/01	REVISED PER COUNTY COMMENTS	BLE	BEL
△	9/11/01	REVISED PER COUNTY COMMENTS	BLE	BEL
△	6/22/01	SUBMITTED FOR S.O.P. REVIEW	BLE	BEL

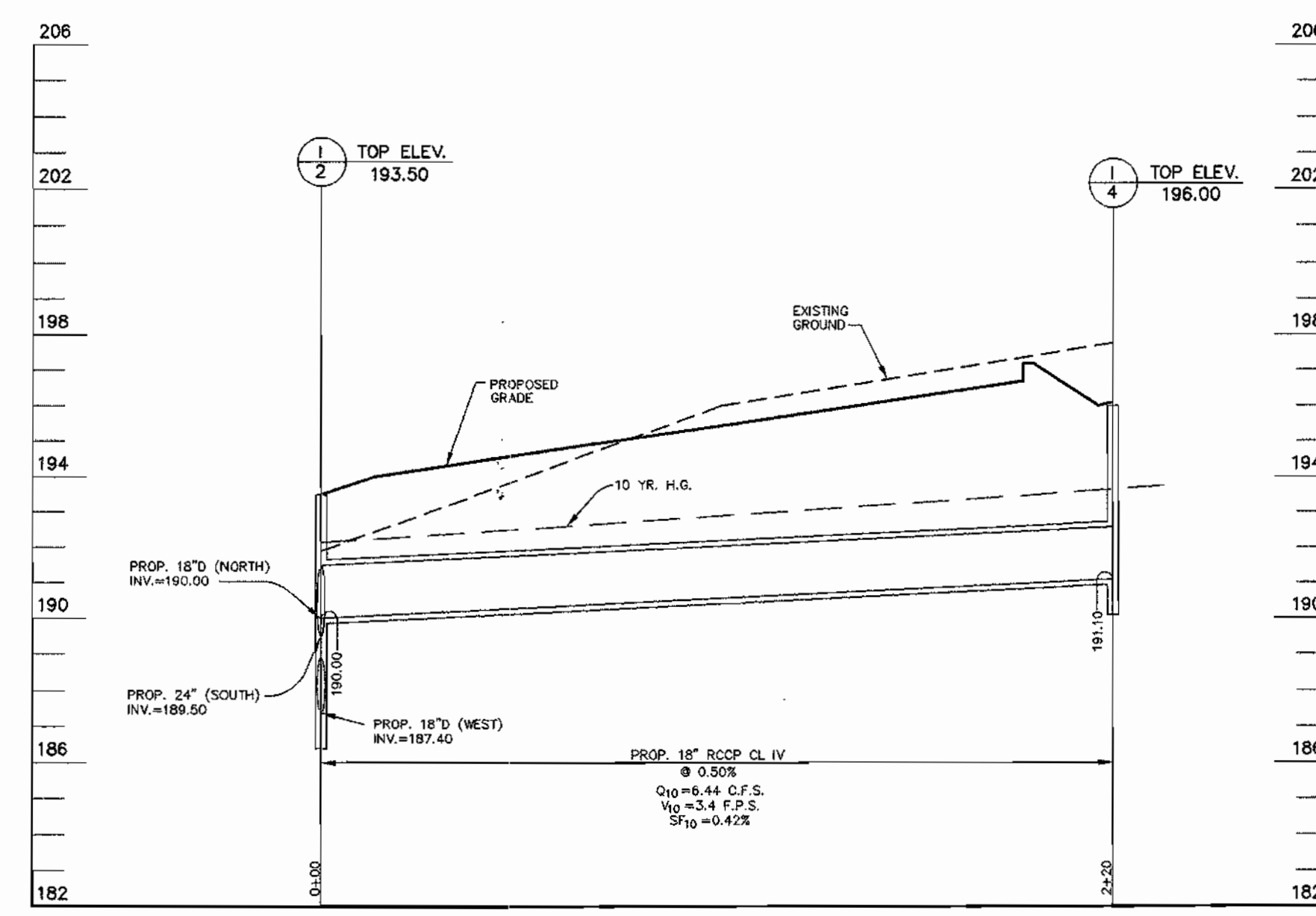
MDA MARYLAND FOOD CENTER AUTHORITY

3/26/02 Date

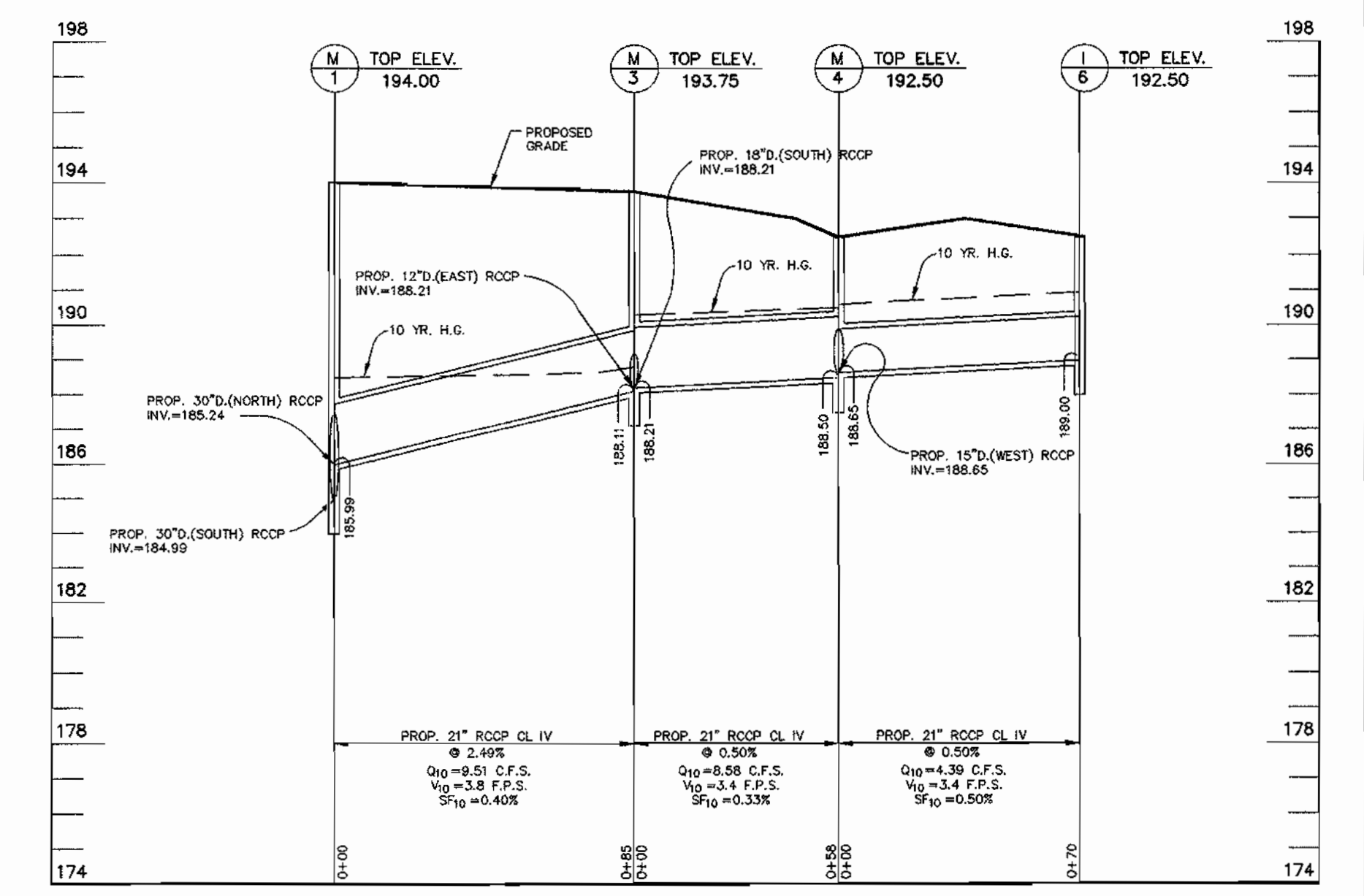
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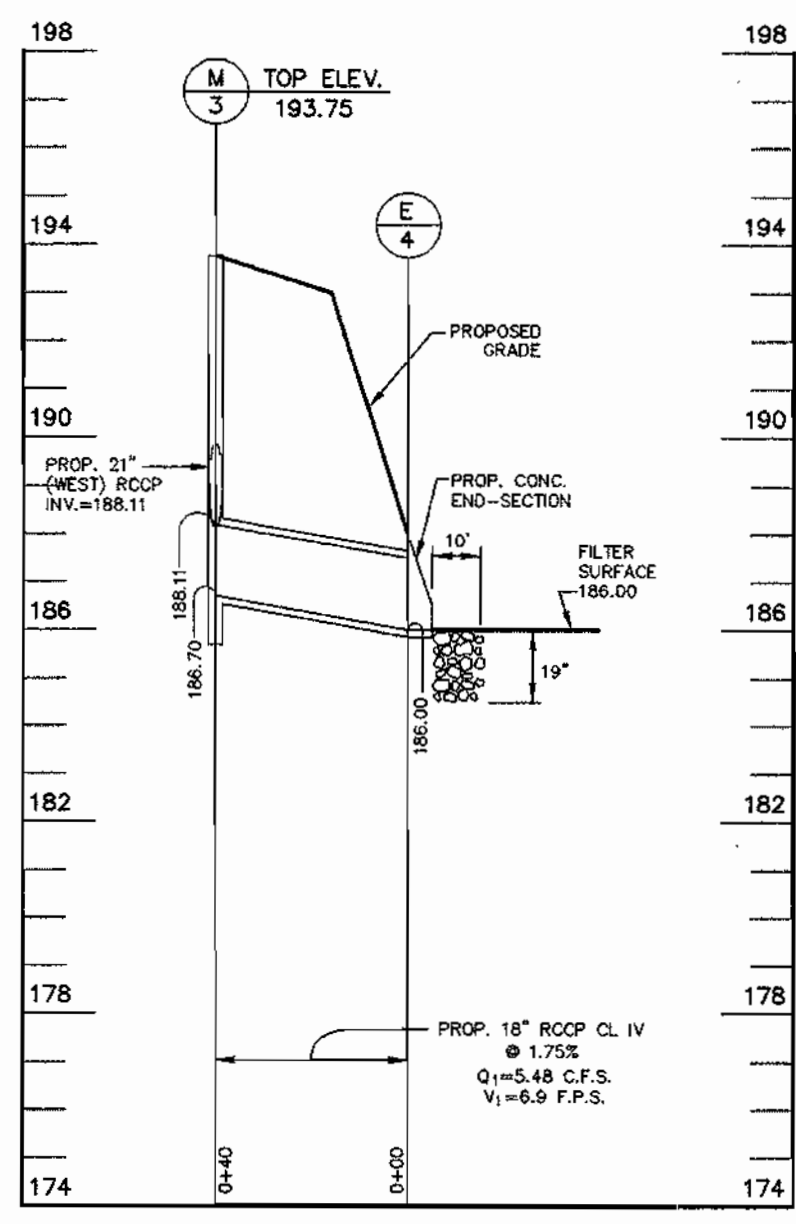
STORM DRAIN PROFILE
SCALE: 1"=40' (HORIZ.)
1"=4' (VERT.)



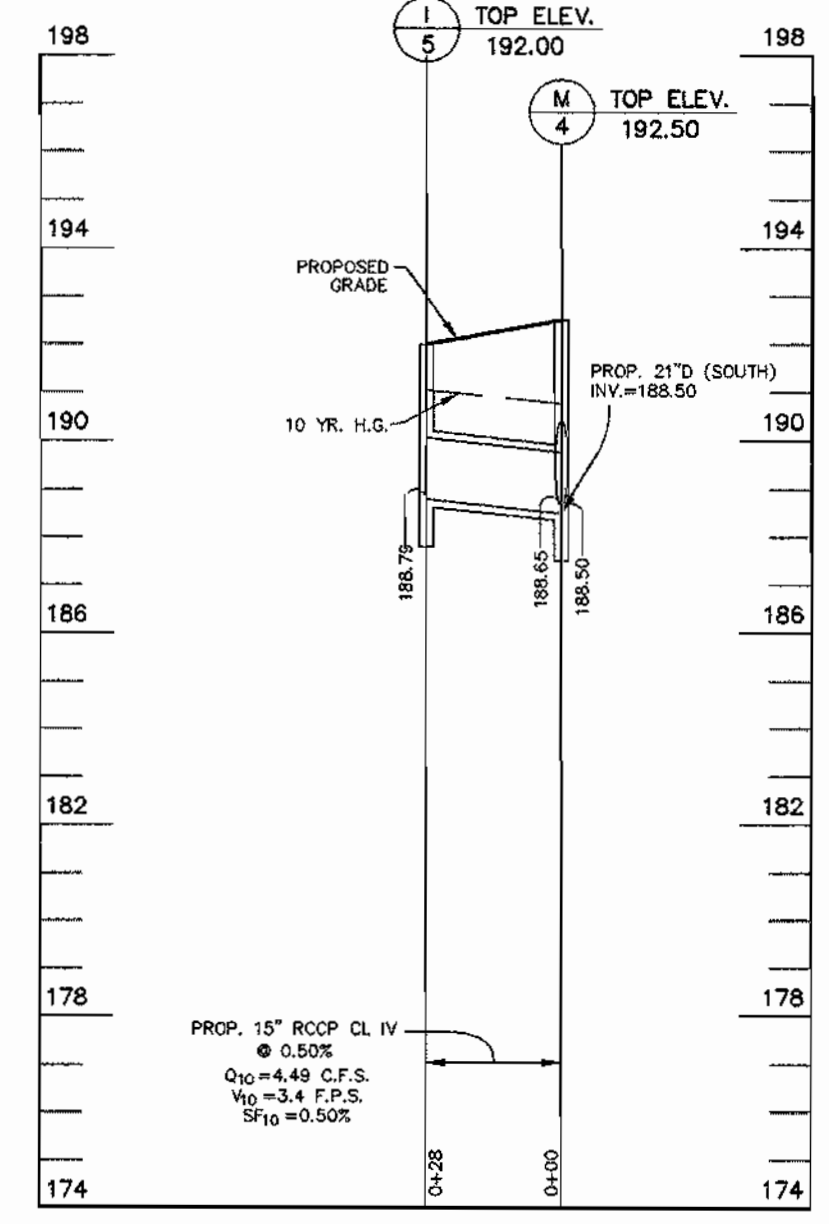
STORM DRAIN PROFILE
SCALE: 1"=40' (HORIZ.)
1"=4' (VERT.)



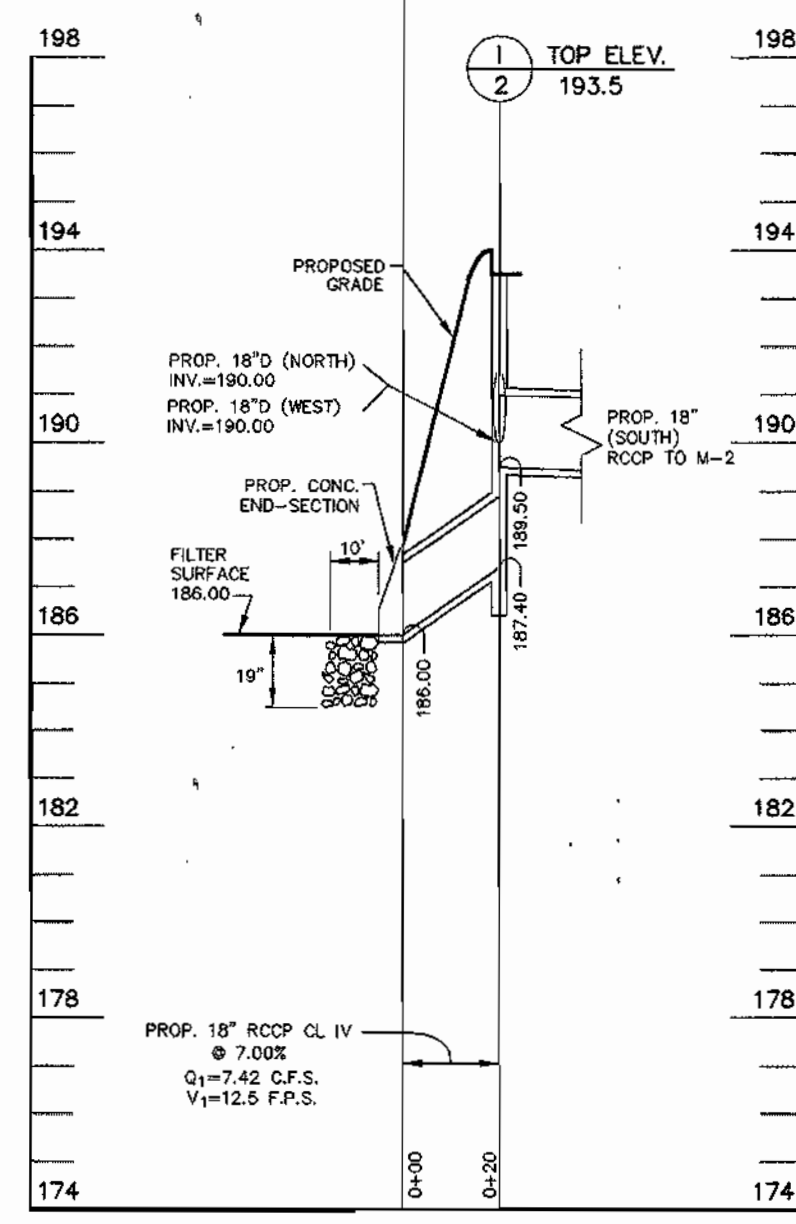
STORM DRAIN PROFILE
SCALE: 1"=40' (HORIZ.)
1"=4' (VERT.)



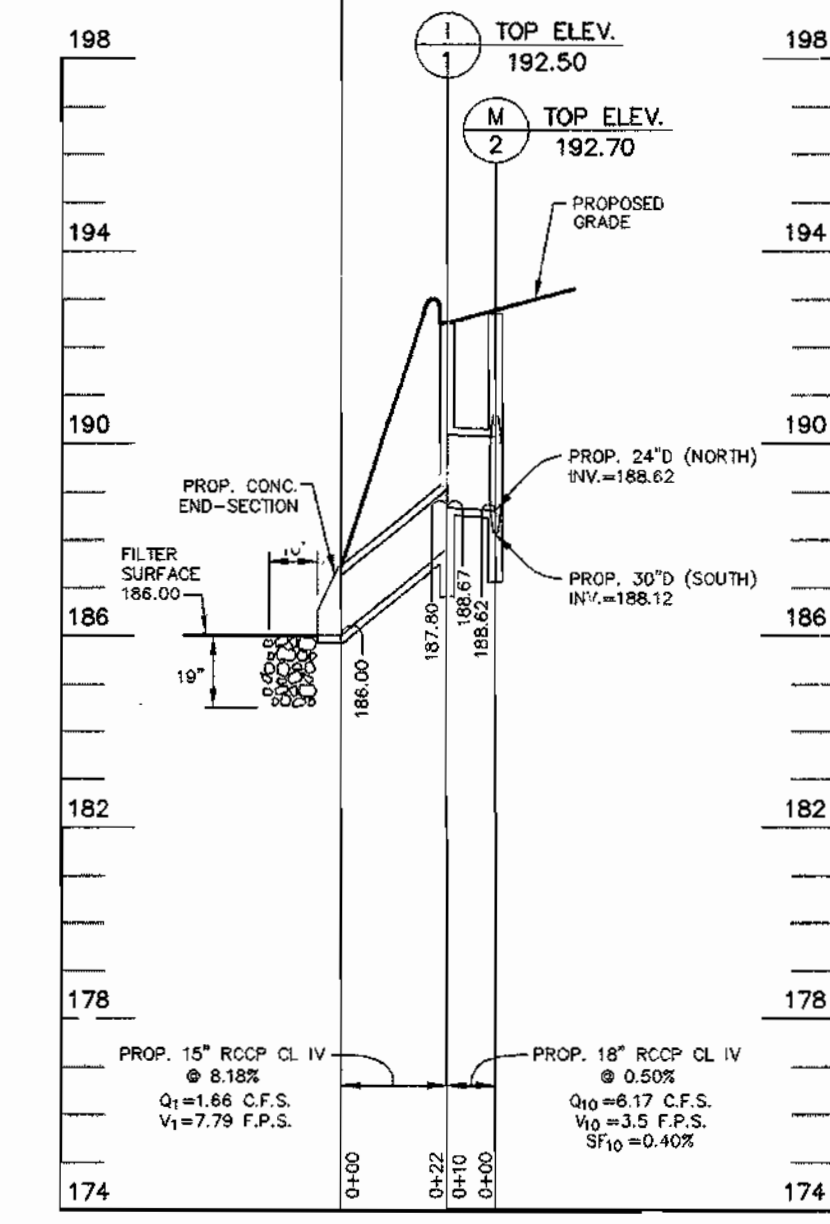
STORM DRAIN PROFILE
SCALE: 1"=40' (HORIZ.)
1"=4' (VERT.)



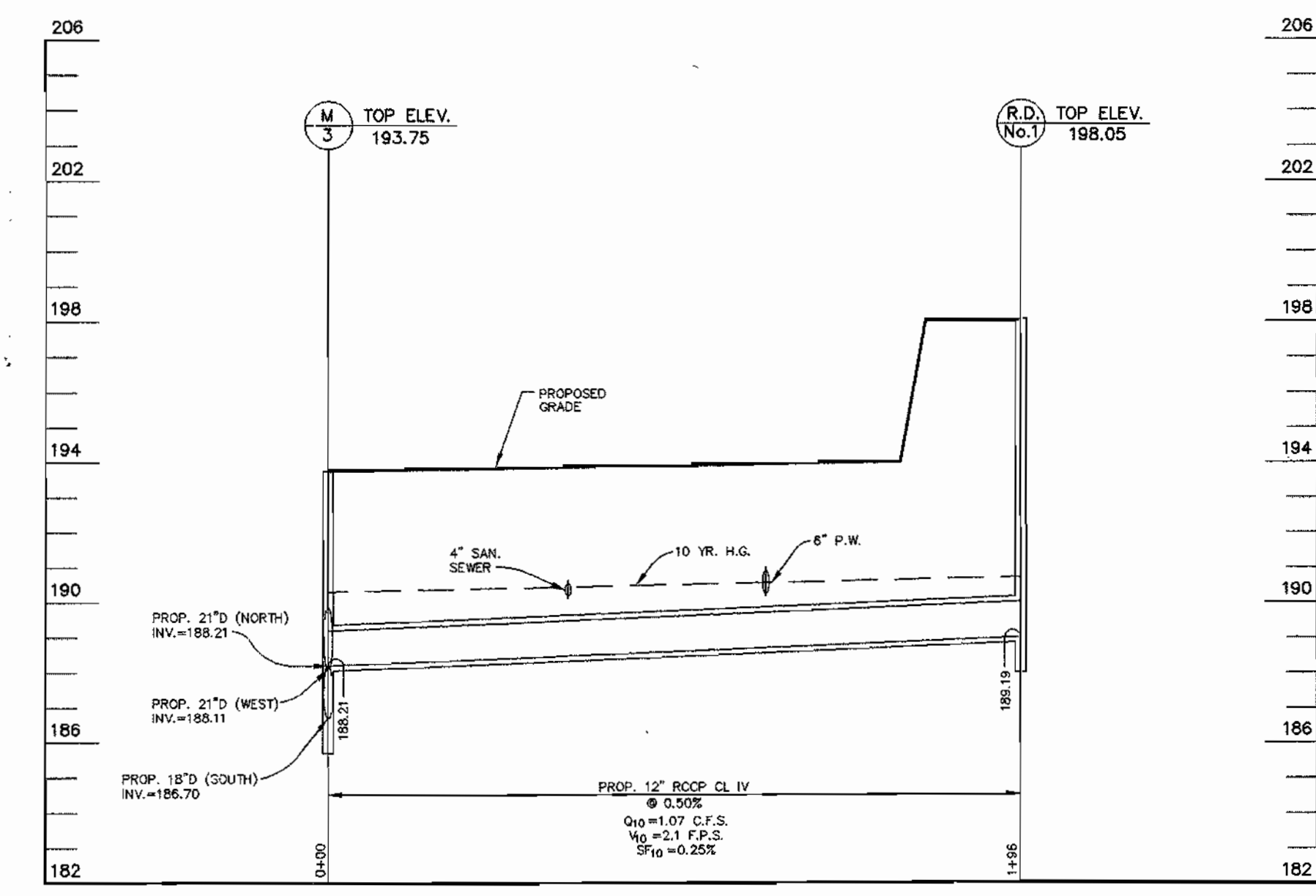
STORM DRAIN PROFILE
SCALE: 1"=40' (HORIZ.)
1"=4' (VERT.)



STORM DRAIN PROFILE
SCALE: 1"=40' (HORIZ.)
1"=4' (VERT.)



STORM DRAIN PROFILE
SCALE: 1"=40' (HORIZ.)
1"=4' (VERT.)



STORM DRAIN PROFILE
SCALE: 1"=40' (HORIZ.)
1"=4' (VERT.)

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

Jim Boyles 9/3/02
USDA-Natural Resource Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

Chadwick 9/3/02
Howard Soil Conservation District

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Michael Damman 4/1/02
Chief, Development Engineering Division

Andy Hamada 4/16/02
Chief, Division of Land Development

Paul D. Cagle 4/17/02
Director

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
B-1	7940 TAR BAY DRIVE (GUARD HOUSE)
B-2	7950 TAR BAY DRIVE (BUILDING)

PERMIT INFORMATION CHART				
SUBDIVISION NAME	SECTION/AREA	PARCEL #		
Maryland Wholesale Food Center	Section 2 & Block B	B-1 & B-2		
PLAT #	BLOCK	ZONE	TAX /ZONE MAP	ELECTION DISTRICT
OMP-9196	20	M-2	43	No. 6
WATER CODE:	B02	SEWER CODE:	3170000	

WS
WEBBER/SMITH Associates, Inc.
DESIGN ENGINEERS

1857 William Penn Way, Suite 200
Lancaster, Pennsylvania 17601

Phone (717)-291-2266
Fax (717)-291-4401
Email: info@webbersmith.com

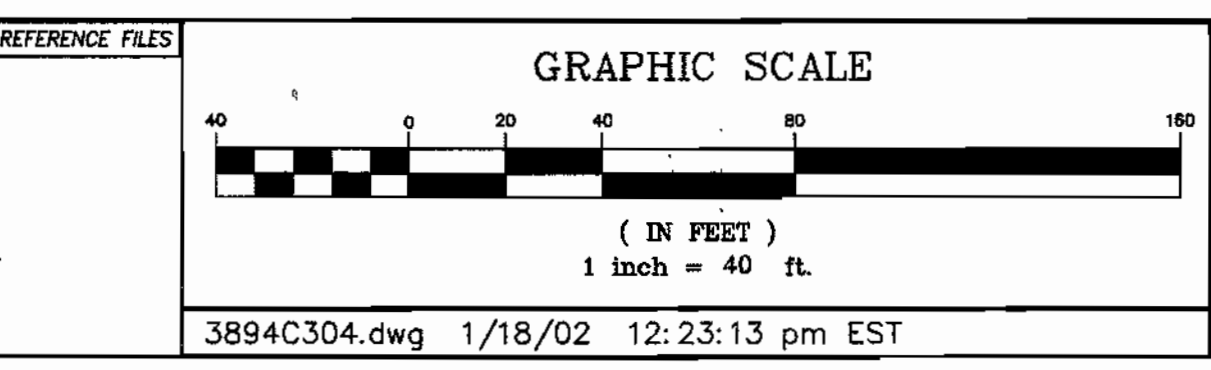
STATUS: P - PRELIMINARY, F - FINAL
3894-C304 - D - F
DRAWING NUMBER SIZE STATUS

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REFERENCE FILES

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OWNER/DEVELOPER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVENUE
JESSUP, MD 20794
410-379-5760

SYMBOL	DATE	REVISION	DRAWN	CHECKED
△	11/7/01	REVISED PER COUNTY COMMENTS	BLE	BEL
△	9/11/01	REVISED PER COUNTY COMMENTS	BLE	BEL
△	6/22/01	SUBMITTED FOR S.D.P. REVIEW	BLE	BEL

Stormwater Profile Sheet
MARYLAND FOOD CENTER AUTHORITY
CROSS DOCK/TRAILER PARKING
BLOCK B, PARCEL B-1, B-2

PREVIOUS FILE #s: 3467, 6875, 9196, F-82-120, F-90-81, VP 82-32, VP 82-65, VP 86-117

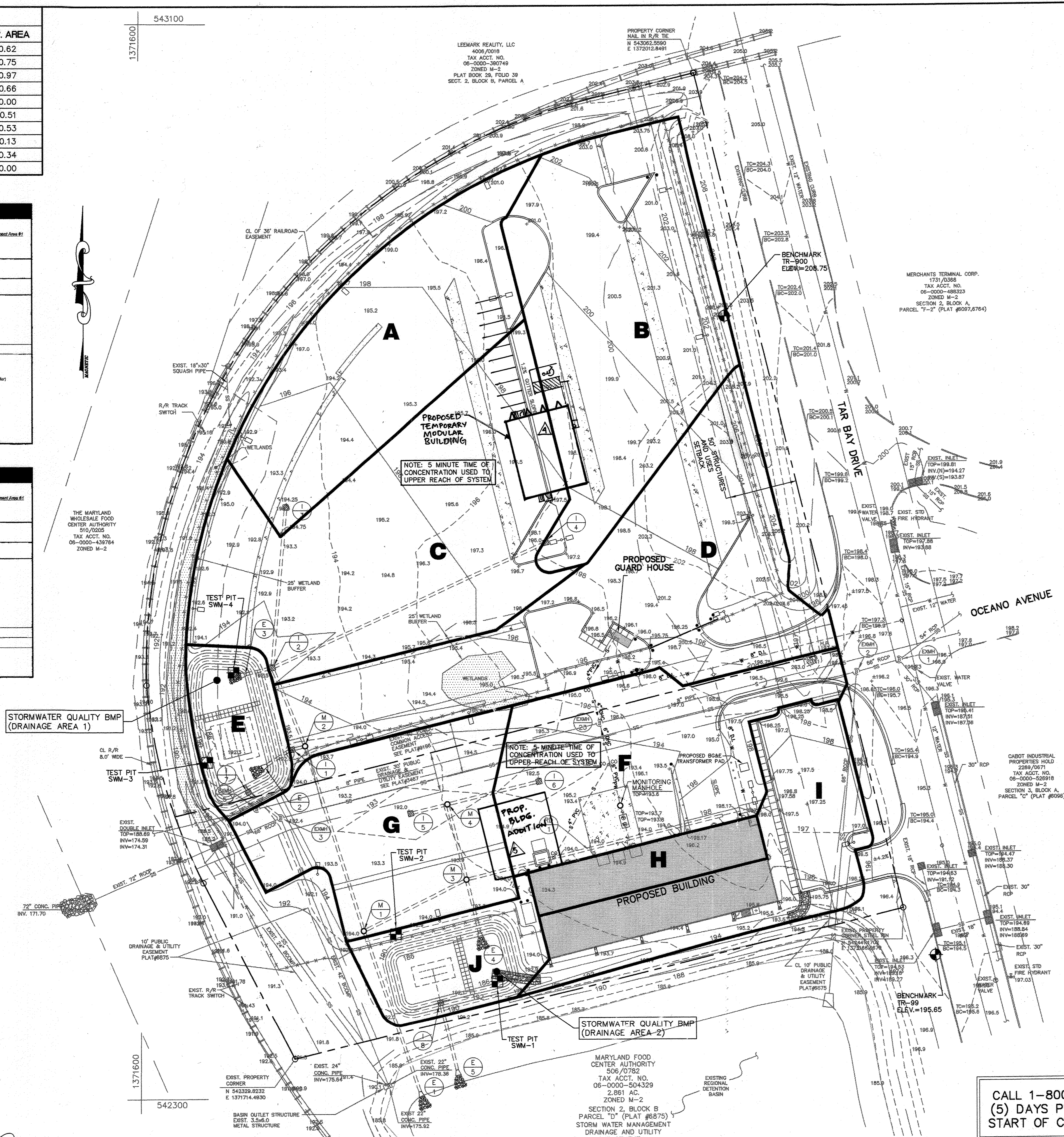
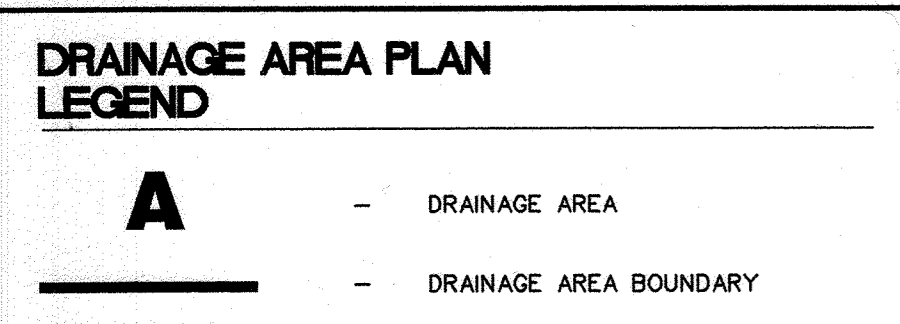
ELECTION DISTRICT: 6 SHEET 8 OF 15 SCALE: AS SHOWN DATE: JUNE 22, 2001

HOWARD CO., MARYLAND

Area	Acres	'C'	% Imp.	Imp. Area
A	0.62	.86	100%	0.62
B	0.87	.76	86%	0.75
C	0.97	.86	100%	0.97
D	0.93	.68	71%	0.66
E	0.16	.24	0%	0.00
F	0.58	.78	88%	0.51
G	0.53	.86	100%	0.53
H	0.13	.86	100%	0.13
I	0.46	.70	74%	0.34
J	0.22	.24	0%	0.00

Station	Depth (ft)	Strata	Soil Classification	Soil Description
197.3	1.0	CL	CL / A.6	FILL: Red Brown CLAY, some pockets of Sand (pockets of root matter throughout) (Hard Digging)
197.3	5.0	CL	CL	FILL: Gray Organic CLAY
196.8	6.0	CL	CL	FILL: Dark Brown to Black Organic Silty S.L.T., some gravel, some root matter, (organic odor) (Hard Digging)

Station	Depth (ft)	Strata	Soil Classification	Soil Description
197.3	1.0	CL	CL	FILL: Red Brown CLAY, pockets of Sand (pockets of root matter throughout) (Hard Digging)
197.3	7.0	CL	CL	FILL: Black Organic Silty S.L.T., some root matter and tree limbs
197.3	8.5	CL	CL	FILL: Red Brown CLAY, pockets of Sand (pockets of root matter throughout)
196.4	12.0	CL	CL	FILL: Black Organic Silty S.L.T., some root matter and tree limbs



Station	Depth (ft)	Strata	Soil Classification	Soil Description
198.5	1.0	CL	CL / A.6	FILL: Red Brown & Purple CLAY, some pockets of Sand (pockets of root matter throughout) (Hard Digging)
198.5	5.0	CL	CL	FILL: Dark Brown to Black Organic Silty S.L.T., some gravel, some root matter, (organic odor) (Hard Digging)

Station	Depth (ft)	Strata	Soil Classification	Soil Description
197.3	1.0	CL	CL / A.6	FILL: Red Brown & Purple CLAY, some pockets of Sand (pockets of root matter throughout) (Hard Digging)
197.3	4.5	CL	CL	FILL: Dark Brown to Black Organic Silty S.L.T., some gravel, some root matter, (organic odor)

PROFESSIONAL CERTIFICATION
 I CERTIFY THAT THESE REDLINE REVISIONS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 43536, EXPIRATION DATE 6/17/21.

FOR REVISION #5 ONLY

3-28-23
 MD LICENSE #29203
 EXPIRATION 6-16-23

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

USDA-Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division MK 4/1/02

Chief, Division of Land Development 4/16/02

Director 4/17/02

PARCEL NO. B-1	STREET ADDRESS
B-1	7940 TAR BAY DRIVE (GUARD HOUSE)
B-2	7950 TAR BAY DRIVE (BUILDING)

SUBDIVISION NAME	SECTION / AREA	PARCEL #
Maryland Wholesale Food Center	Section 2 Block B	B-1 & B-2

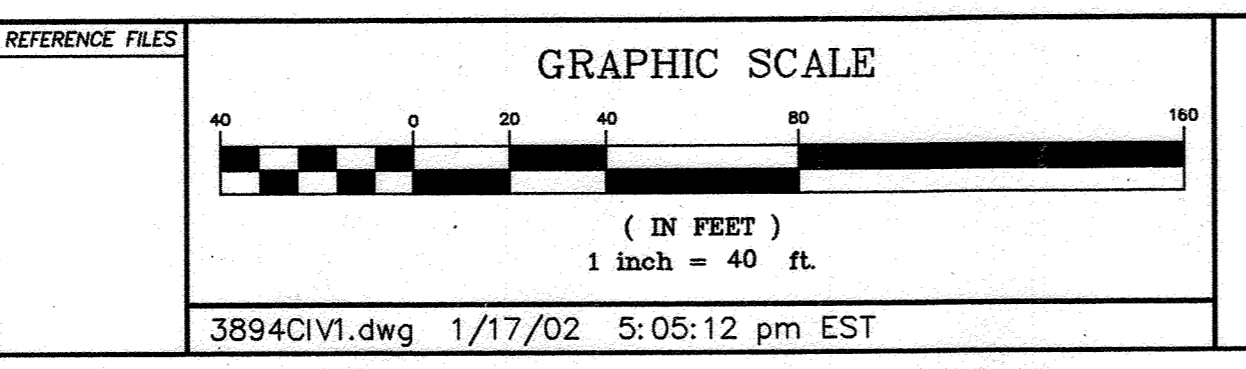
PLAT #	BLOCK	ZONE	TAX / ZONE MAP	ELECTION DISTRICT	CENSUS TRACT
CMP-9196	20	M-2	43	No. 6	6069.01

CALL 1-800-257-7777
 (5) DAYS PRIOR TO THE START OF CONSTRUCTION

WS
 WEBBER/SMITH Associates, Inc.
 DESIGN ENGINEERS
 1857 William Penn Way, Suite 200
 Lancaster, Pennsylvania 17601
 Phone (717)-291-2266
 Fax (717)-291-4401
 Email: info@webbersmith.com
 STATUS: P - PRELIMINARY, F - FINAL
 3894-C305 - D - F
 DRAWING NUMBER SIZE STATUS

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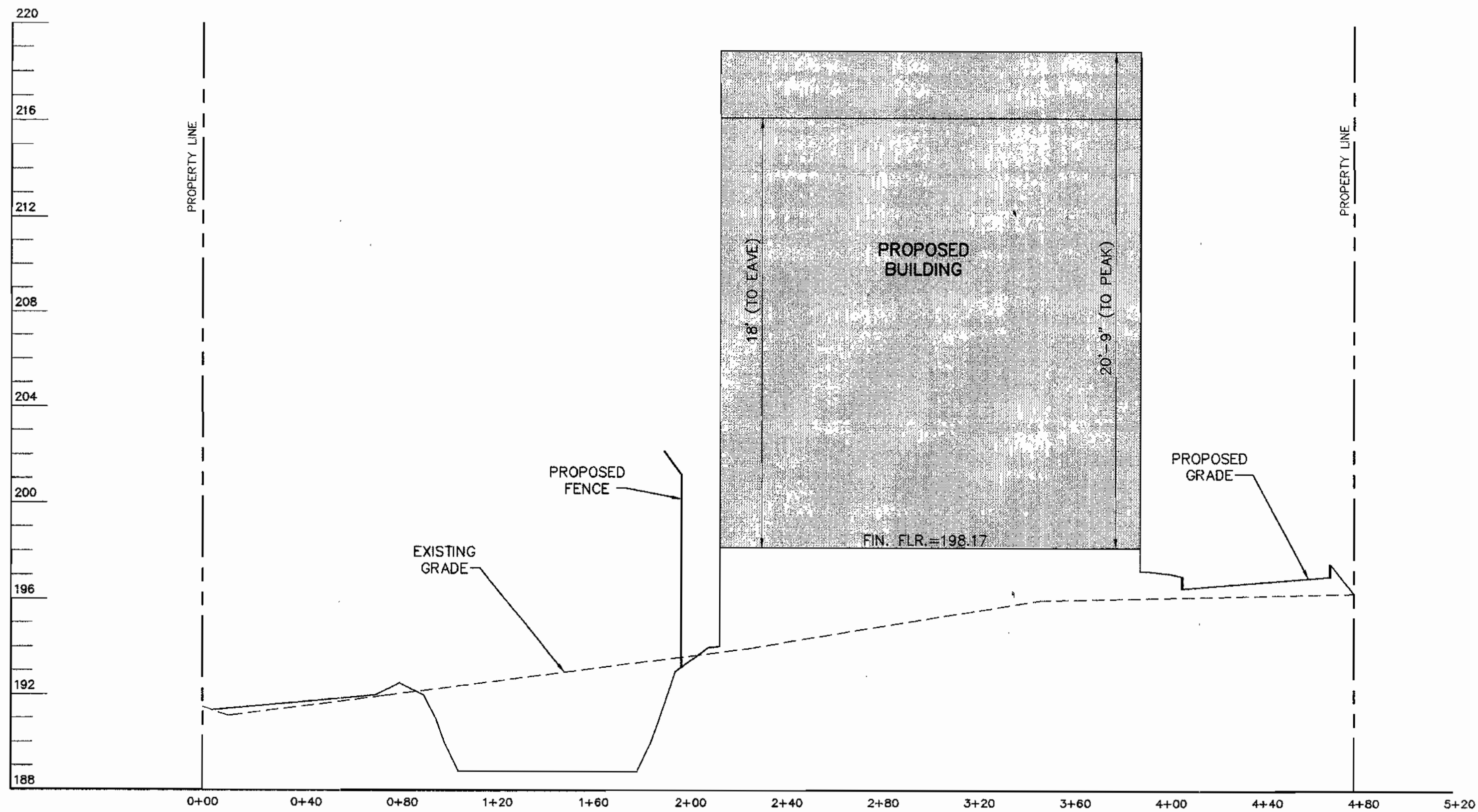
3/21/02



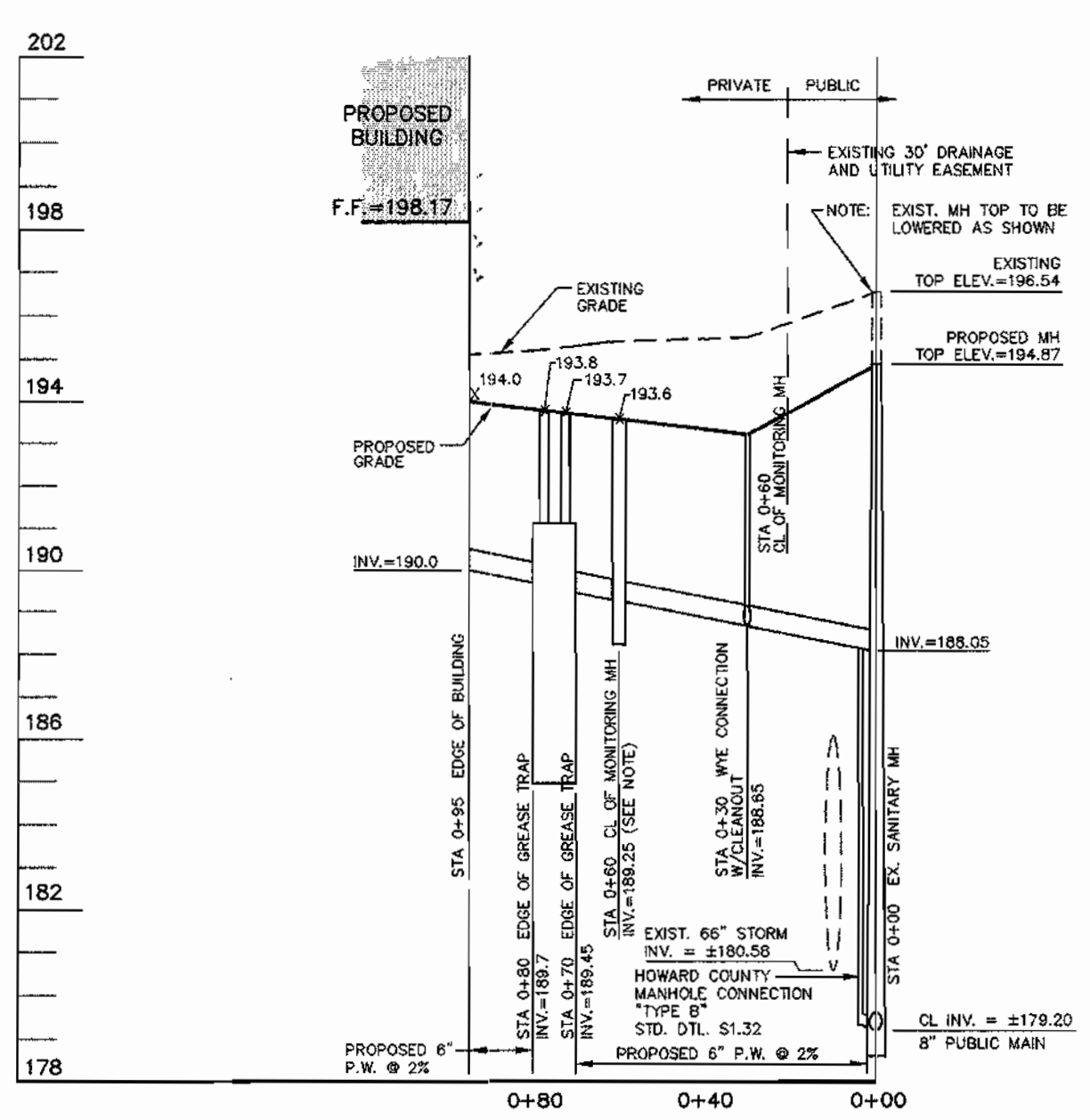
OWNER/DEVELOPER
 MARYLAND FOOD CENTER AUTHORITY
 7801 OCEANO AVENUE
 JESSUP, MD 20794
 410-379-5760

SYMBOL	DATE	REVISION	DRAWN	CHECKED
△	1/31/03	REVISE TO ADD BLDG. ADDITION	MM	TJN
△	11/1/01	REVISE TO ADD MODULAR OFFICE BUILDING	N.J.M.	J.D.S.
△	11/7/01	REVISED PER COUNTY COMMENTS	BLE	BEL
△	9/11/01	REVISED PER COUNTY COMMENTS	BLE	BEL
△	6/22/01	SUBMITTED FOR S.D.P. REVIEW	BLE	BEL

Drainage Area Plan
 MARYLAND FOOD CENTER AUTHORITY
 CROSS DOCK/TRAILER PARKING
 BLOCK B, PARCELS B-1, B-2
 PREVIOUS FILE # 'S: 3467, 6875, 9196, F-82-120, F-90-81, VP 82-32, VP 82-65, VP 86-117
 ELECTION DISTRICT: 6 HOWARD CO., MARYLAND SHEET 9 OF 15
 SCALE: AS SHOWN DATE: JUNE 22, 2001
 SDP-01-147

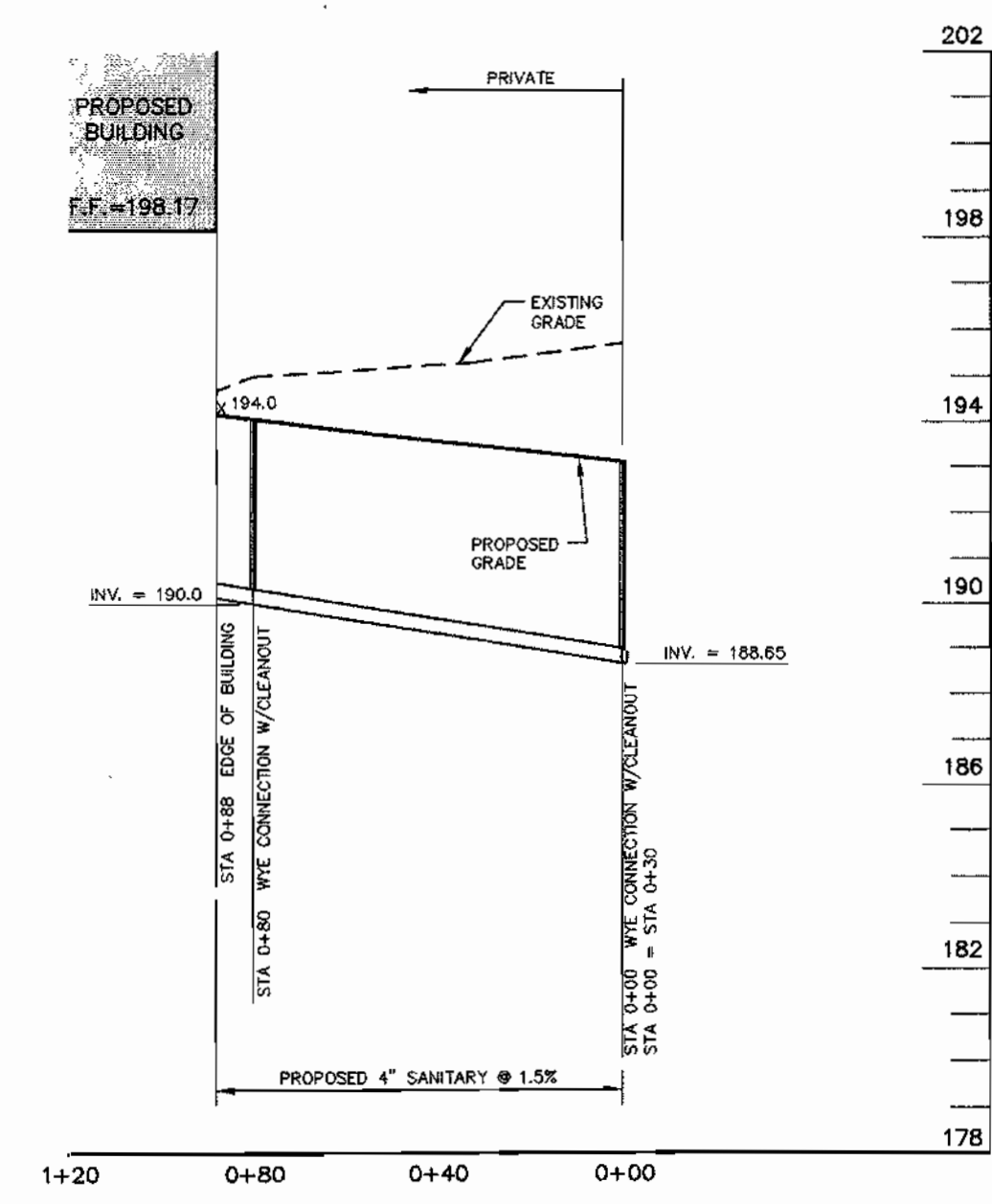


SECTION A-A
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1"=4' (VERT.)

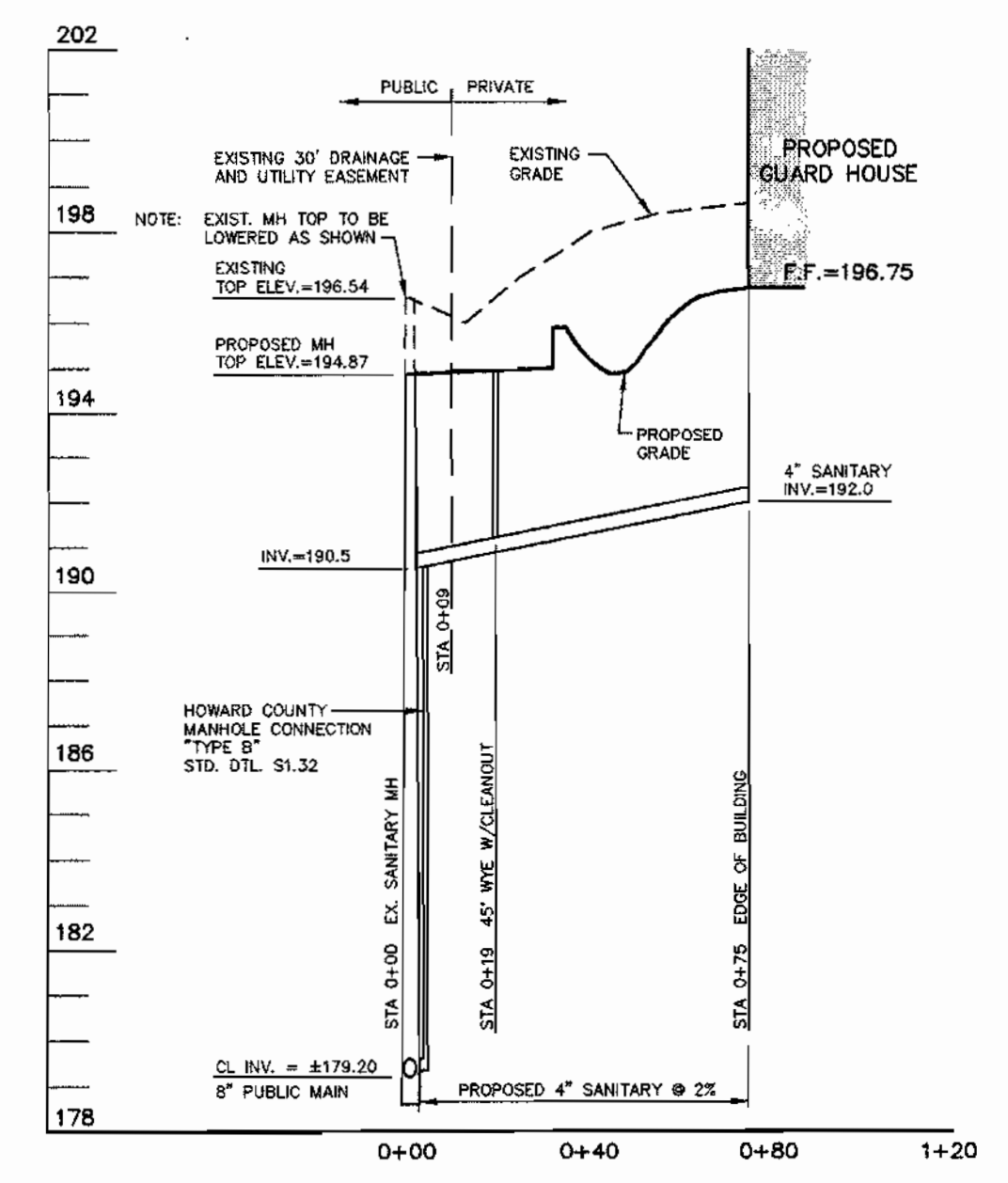


SANITARY SEWER PROFILE
(DROPHOUSE CONNECTION TO
CROSS DOCK FACILITY)
SCALE: 1"=40' (HORIZ.)
1"=4' (VERT.)

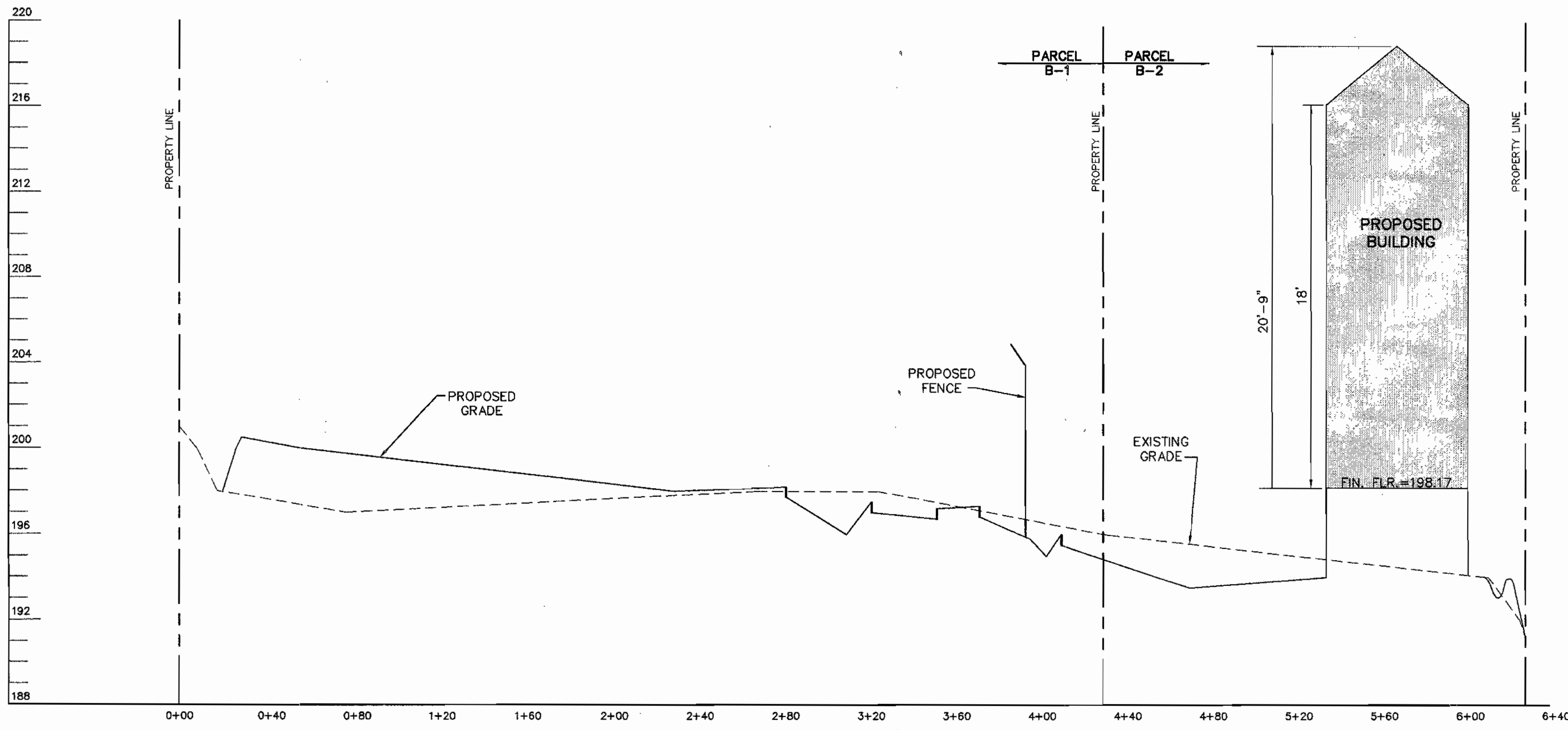
NOTE: MONITORING MANHOLE SHALL BE
HOWARD COUNTY STANDARD
DETAIL 05.05 W/INV. IN = 189.20
INV. OUT = 189.30, TOP = 193.65



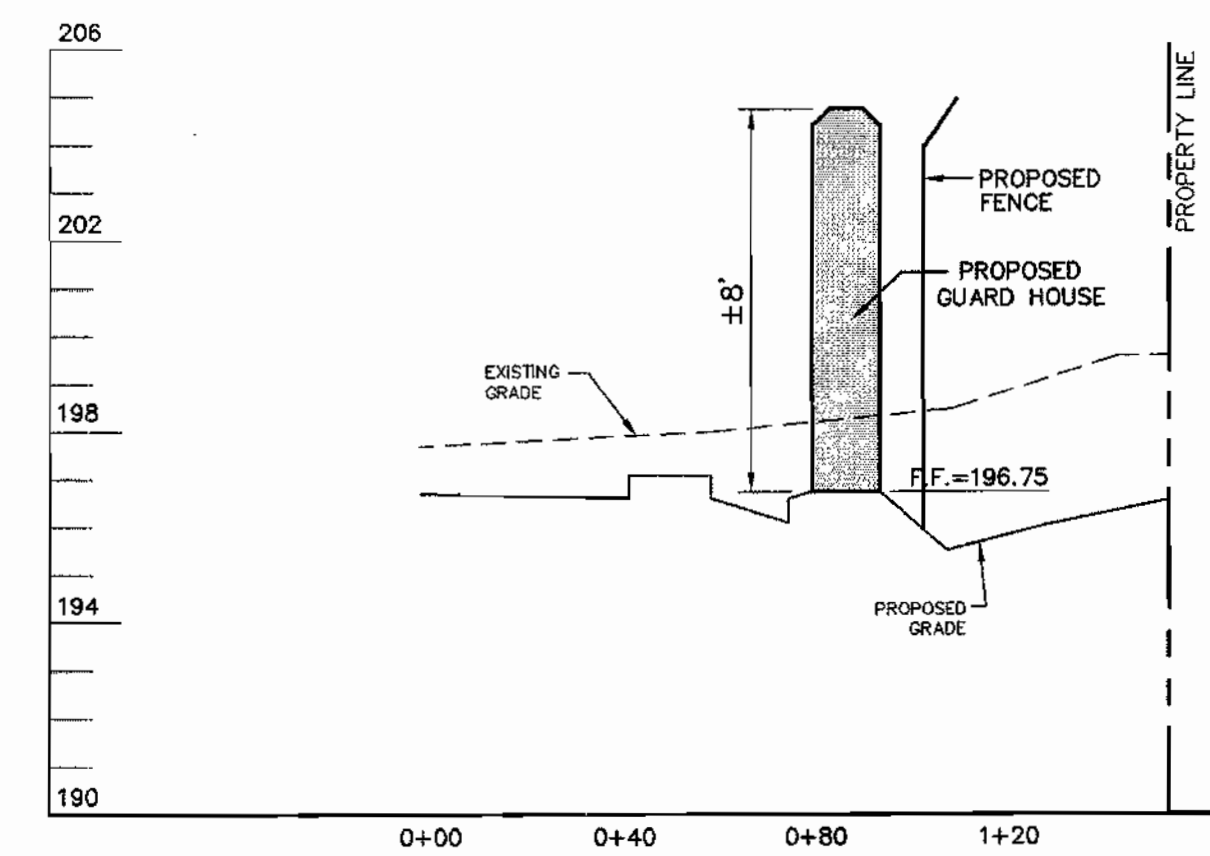
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(WYE CONNECTION TO
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SCALE: 1"=40' (HORIZ.)
1"=4' (VERT.)



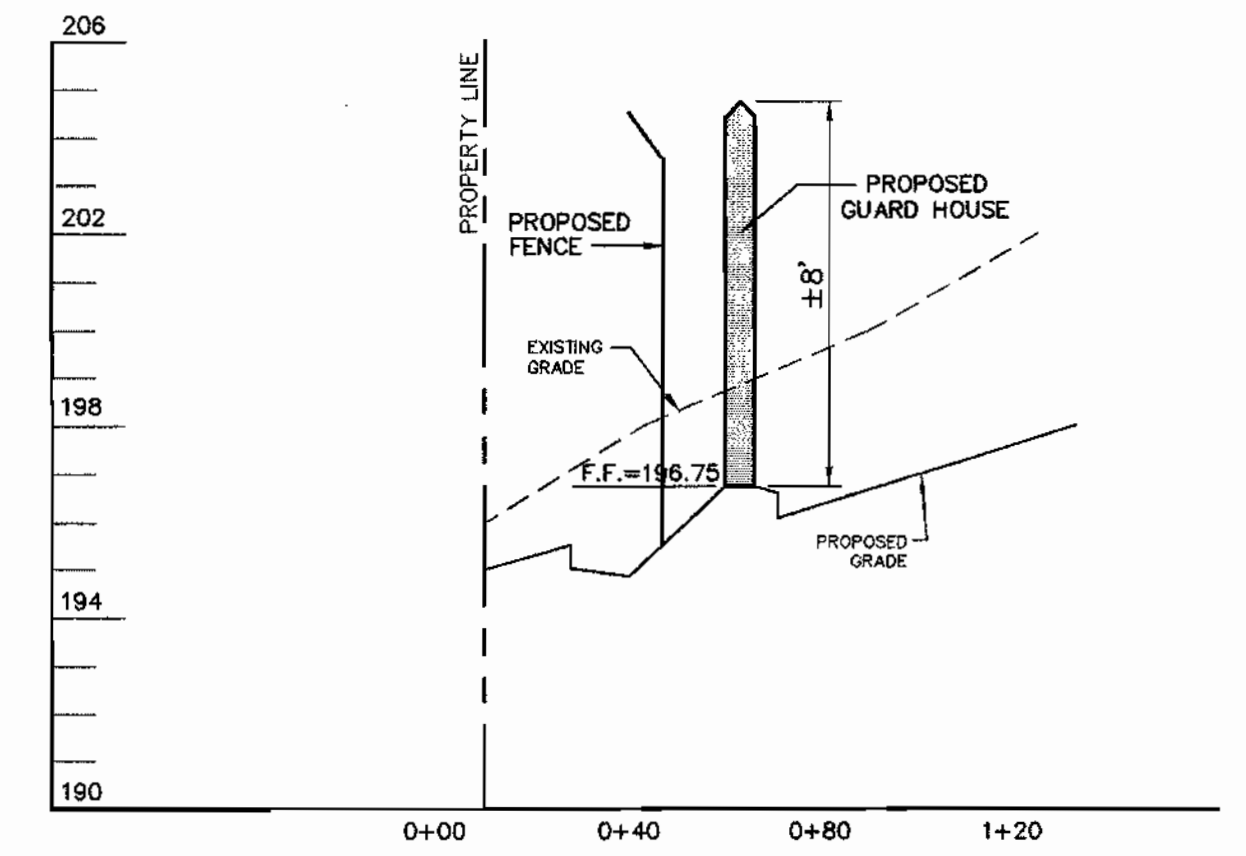
SANITARY SEWER PROFILE
(DROPHOUSE CONNECTION TO
GUARDHOUSE)
SCALE: 1"=40' (HORIZ.)
1"=4' (VERT.)



SECTION B-B
SCALE: 1"=40' (HORIZ.)
1"=4' (VERT.)



SECTION C-C
SCALE: 1"=40' (HORIZ.)
1"=4' (VERT.)



SECTION D-D
SCALE: 1"=40' (HORIZ.)
1"=4' (VERT.)

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

USDA-Natural Resources Conservation Service _____ Date _____

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

Howard Soil Conservation District _____ Date _____

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Michael P. ... 4/1/02
Chief, Development Engineering Division MK Date

Cindy ... 4/18/02
Chief, Division of Land Development Date

David ... 4/18/02
Director Date

ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
B-1	7940 TAR BAY DRIVE (GUARD HOUSE)				
B-2	7950 TAR BAY DRIVE (BUILDING)				
PERMIT INFORMATION CHART					
SUBDIVISION NAME Maryland Wholesale Food Center			SECTION/AREA Section 2 Block B		PARCEL # B-1 & B-2
PLAT # CMP-9196	BLOCK 20	ZONE M-2	TAX /ZONE MAP 43	ELECTION DISTRICT No. 6	CENSUS TRACT 8069.01
WATER CODE: B02			SEWER CODE: 3170000		

WS
WEBBER/SMITH Associates, Inc.
DESIGN ENGINEERS

1857 William Penn Way, Suite 200
Lancaster, Pennsylvania 17601

Phone (717)-291-2266
Fax (717)-291-4401
Email: info@webbersmith.com

STATUS: P - PRELIMINARY, F - FINAL

3894-C401 - D - F

DRAWING NUMBER SIZE STATUS

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REFERENCE FILES

3894C401.dwg 11/7/01 2:25:14 pm EST

GRAPHIC SCALE

(IN FEET)
1 inch = 40 ft.

mfc
MARYLAND FOOD CENTER AUTHORITY

OWNER/DEVELOPER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVENUE
JESSUP, MD 20794
410-379-5760

SYMBOL	DATE	REVISION	DRAWN	CHECKED
△	11/7/01	REVISED PER COUNTY COMMENTS	BLE	BEL
△	9/11/01	REVISED PER COUNTY COMMENTS	BLE	BEL
△	6/22/01	SUBMITTED FOR S.D.P. REVIEW	BLE	BEL

Profile Sheet
MARYLAND FOOD CENTER AUTHORITY
CROSS DOCK/TRAILER PARKING

BLOCK B, PARCEL B-1, B-2

PREVIOUS FILE # 's: 3467, 6875, 9196, F-92-120, F-90-81, VP 82-32, VP 82-65, VP 86-117

ELECTION DISTRICT: 6 SHEET 10 OF 15

HOWARD CO., MARYLAND DATE: JUNE 22, 2001

SDP-01-147

LANDSCAPE CALCULATION NOTES:

1. NO LANDSCAPING IS REQUIRED ALONG PROPERTY LINES BECAUSE THE SITE INCLUDES TWO PARCELS THAT ARE LOCATED WITHIN THE SAME INDUSTRIAL DEVELOPMENT AND THE SITE IS SURROUNDED BY THIS DEVELOPMENT.
2. NO LANDSCAPING IS REQUIRED AROUND THE STORMWATER MANAGEMENT AREAS BECAUSE THE SITE IS ZONED M-1 AND IS NOT ADJACENT TO RESIDENTIAL ZONING OR A PUBLIC ROAD.
3. THIS LANDSCAPING DESIGN OUTLINED ON THIS PLAN WAS PREPARED BY G.W. STEPHENS, JR. AND ASSOCIATES, INC. OF TOWSON, MARYLAND (410-825-8120) FOR WEBBER/SMITH ASSOCIATES.

SCHEDULE A PERIMETER LANDSCAPE EDGE

Landscape Type	ROADWAYS				*PERIMETER PROPERTIES
	B	E	A	C	
Linear Feet of Roadway Frontage Perimeter	131	128	972	380	
Credit for existing Vegetation, (Yes, No Linear Feet)	NO	NO	NO	NO	
Credit for Wall, Fence, or Berm (Yes, No, Linear Feet)	NO	NO	NO	NO	
Number of Plants Required					
Shade Trees	3	3	16	10	
Evergreen Trees	3	0	0	19	
Shrubs	0	32	0	0	
Number of Plants Provided					
Shade Trees	3	4	16	10	
Evergreen Trees	3	1	0	20	
Other Trees (2:1 sub.)	0	2	0	0	
Shrubs (10:1 sub.)	0	50	0	0	

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

Number of Parking Spaces	26 CAR, 96 TRAILER
Number of Islands Required	1
Number of Trees Required	1
Number of Islands Provided (200 SF/ISLAND)	200 SF = 1
Number of Shade Trees Provided	1

DEVELOPER'S/BUILDER'S CERTIFICATION:

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

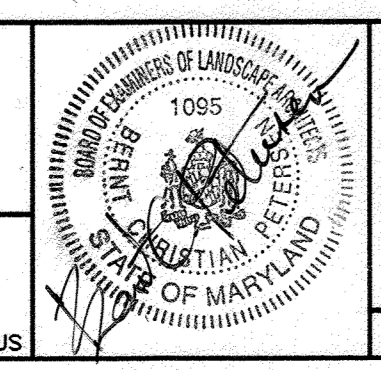
NAME: Douglas J. Dargatzis DATE: March 21, 2002
 PRINT NAME: _____

LANDSCAPE NOTES:

1. THIS LANDSCAPING DESIGN OUTLINED ON THIS PLAN WAS PREPARED BY G.W. STEPHENS, JR. AND ASSOCIATES, INC. OF TOWSON, MARYLAND (410-825-8120) FOR WEBBER/SMITH ASSOCIATES.
2. CONTRACTOR SHALL NOT INSTALL ANY LANDSCAPE PLANTINGS WITHIN THE PUBLIC RIGHT-OF-WAYS OR EASEMENTS.
3. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISION OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPING MANUAL.
4. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$13,860.00.

WS
 WEBBER/SMITH Associates, Inc.
 DESIGN ENGINEERS
 1857 William Penn Way, Suite 200
 Lancaster, Pennsylvania 17601
 Phone (717)-291-2266
 Fax (717)-291-4401
 Email: info@webbersmith.com

STATUS: P - PRELIMINARY, F - FINAL
 DRAWN BY: B.F.
 CHECKED BY: B.F.L.
3894-C402 - D - F
 DRAWING NUMBER SIZE STATUS



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REFERENCE FILES

GRAPHIC SCALE
 (IN FEET)
 1 inch = 40 ft.

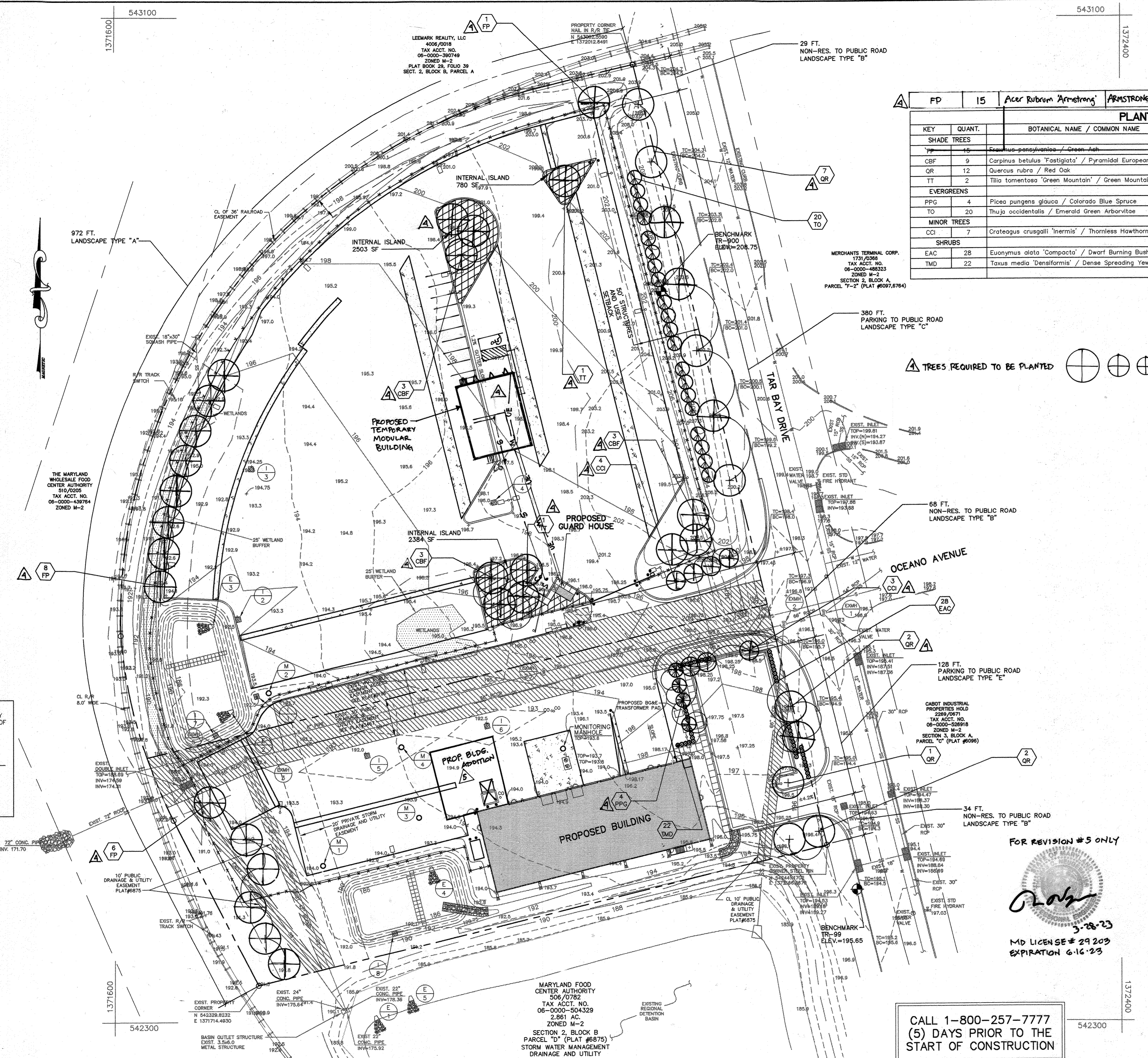
3894CIV1.dwg 1/17/02 5:05:12 pm EST



OWNER/DEVELOPER
 MARYLAND FOOD CENTER AUTHORITY
 7801 OCEANO AVENUE
 JESSUP, MD 20794
 410-379-5760

SYMBOL	DATE	REVISION	DRAWN	CHECKED
△	1/31/03	REVISE TO ADD BLDG. ADDITION	MM	TZN
△	11/1/01	REVISE TO ADD MODULAR OFFICE BUILDING	N.J.M.	J.D.S.
△	11/7/01	REVISED PER COUNTY COMMENTS	BLE	BEL
△	9/11/01	REVISED PER COUNTY COMMENTS	BLE	BEL
△	6/22/01	SUBMITTED FOR S.D.P. REVIEW	BLE	BEL

CALL 1-800-257-7777 (5) DAYS PRIOR TO THE START OF CONSTRUCTION



KEY	QUANT.	BOTANICAL NAME / COMMON NAME	SIZE / COND.	SPACING	REMARKS
PLANT SCHEDULE					
SHADE TREES					
FP	15	Acer Rubrum 'Armstrong'	ARMSTRONG COLUMNAR RED MAPLE	MIN 2.5" - 3" CAL. B&B	
CBF	9	Carpinus betulus 'Fastigiata' / Pyramidal European Hornbeam	2 1/2 - 3" B&B	As Shown	Tree Form
QR	12	Quercus rubra / Red Oak	2 1/2 - 3" B&B	As Shown	Full Crown
TT	2	Tilia tomentosa 'Green Mountain' / Green Mountain Linden	2 1/2 - 3" B&B	As Shown	Full Crown
EVERGREENS					
PPG	4	Picea pungens glauca / Colorado Blue Spruce	6 - 8" B&B	As Shown	Heavy
TO	20	Thuja occidentalis / Emerald Green Arborvitae	6 - 8" B&B	As Shown	
MINOR TREES					
CCI	7	Crataegus crusgalli 'Inermis' / Thornless Hawthorn	1 3/4 - 2" B&B	As Shown	Full Crown
SHRUBS					
EAC	28	Euonymus alata 'Compacta' / Dwarf Burning Bush	24 - 30" B&B	3 ft. o.c.	Heavy
TMD	22	Toxus media 'Densiformis' / Dense Spreading Yew	24 - 30" B&B	3 ft. o.c.	Heavy

LEGEND:

- PROPOSED SHADE TREE
- PROPOSED MINOR TREE
- PROPOSED EVERGREEN TREE
- PROPOSED SHRUBS
- PROPOSED INTERNAL ISLAND

PROFESSIONAL CERTIFICATION
 I CERTIFY THAT THESE REVISIONS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 43558, EXPIRATION DATE 6/17/02.

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

USDA-Natural Resources Conservation Service
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
 Approved: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division: 4/1/02
 Chief, Division of Land Development: 4/16/02
 Director: 4/17/02

PARCEL NO.	STREET ADDRESS
B-1	7940 TAR BAY DRIVE (GUARD HOUSE)
B-2	7950 TAR BAY DRIVE (BUILDING)

SUBDIVISION NAME	SECTION/AREA	PARCEL #
Maryland Wholesale Food Center	Section 2 Block B	B-1 & B-2

PLAT #	BLOCK	ZONE	TAX / ZONE MAP	ELECTION DISTRICT	CENSUS TRACT
CMP-9196	20	M-2	4.3	No. 6	6069.01

WATER CODE: 802 SEWER CODE: 317000

Landscaping Plan
MARYLAND FOOD CENTER AUTHORITY
CROSS DOCK/TRAILER PARKING
 BLOCK B, PARCEL B-1, B-2
 PREVIOUS FILE # : S-3467, 6875, 9196, F-82-120, F-90-81, VP-82-32, VP-82-65, VP-86-117
 ELECTION DISTRICT: 6 SHEET 11 OF 15
 HOWARD CO., MARYLAND SCALE: AS SHOWN DATE: JUNE 22, 2001
 SDP-01-147
 SDP-01-147

- NOTES:**
- 25" DEEP STEEL COUNTER 3" ABOVE FLOOR.
 - STORAGE DRAWER BENEATH COUNTER.
 - 36" WIDE SWINGING STEEL DOOR WITH SAFETY GLAZING, WEATHERSTRIPPING, HARDWARE, HYDRAULIC CLOSER AND LEVER HANDLE LOCK. 34" CLEAR OPENING.
 - ROLLER CASHER WINDOW. 32" HANDLE FLOOR.
 - 36" WIDE SWINGING ALUMINUM PRIVACY DOOR WITH INSIDE LOCK. 34" CLEAR OPENING.
 - DUPLEX OUTLET ABOVE COUNTER. 2-REG'D.
 - 24" HIGH STAINLESS STEEL BACK SPLASH.
 - GROUND FAULT INTERRUPT DUPLEX RECEPTACLE IN RESTROOM.
 - SWITCH FOR FLUORESCENT LIGHT.
 - SWITCH FOR RESTROOM LIGHT.
 - 1-1/4" HOLE IN COUNTER FOR DROP CORDS.
 - THERMOSTAT FOR HEATER.
 - THERMOSTAT FOR ROOF TOP AIR CONDITIONER. (IF A/C UNIT IS SELECTED)
 - THERMOSTAT FOR RESTROOM HEATER.
 - 2-40W. LAMP FLUORESCENT LIGHT FIXTURE WITH ACRYLIC LENS.
 - 120V. COMBINATION HEAT/EXHAUST FAN IN RESTROOM.
 - 208/240V. 4000 WATT FAN FORCED HEATER WITH WALL MOUNTED THERMOSTAT.
 - 120V./115.500BTU ROOF MOUNT AIR CONDITIONER WITH WALL MOUNTED THERMOSTAT. (OPTIONAL)
 - PAR-KUT SHALL PROVIDE A SQUARE D Q 10040225 40 CIRCUIT 225 AMP LOAD CENTER WITH 225 AMP MAIN BREAKER, 120/208 THREE PHASE, FOUR WIRE, SERVICE ENTRANCE RATED LOAD CENTER. BRANCH BREAKERS SHALL BE PROVIDED FOR GUARD HOUSE. THE ELECTRICAL CONTRACTOR SHALL PROVIDE SERVICE CONNECTION AND ADDITIONAL BREAKERS FOR SITE LIGHTING AND GATE.
 - 3" x 3" ANCHOR CLP, WELDED TO BASE AT GRADE, WITH 1" ANCHOR BOLT HOLE 4-REG'D, ONE EACH CORNER. ANCHOR BOOTH AFTER FINAL LOCATION. ANCHOR BOLTS NOT INCLUDED.
 - MIRROR 40" (MAX) TO BOTTOM AND 72" (MIN) TO TOP. *SLOPED FOR A.D.A.
 - COAT HOOK 40" (MAX) ABOVE FLOOR.
 - LOCATION OF PAPER TOWEL DISPENSER.
 - TOILET PAPER HOLDER, ABOVE GRAB BAR.
 - 1-1/2" STAINLESS STEEL GRAB BAR.

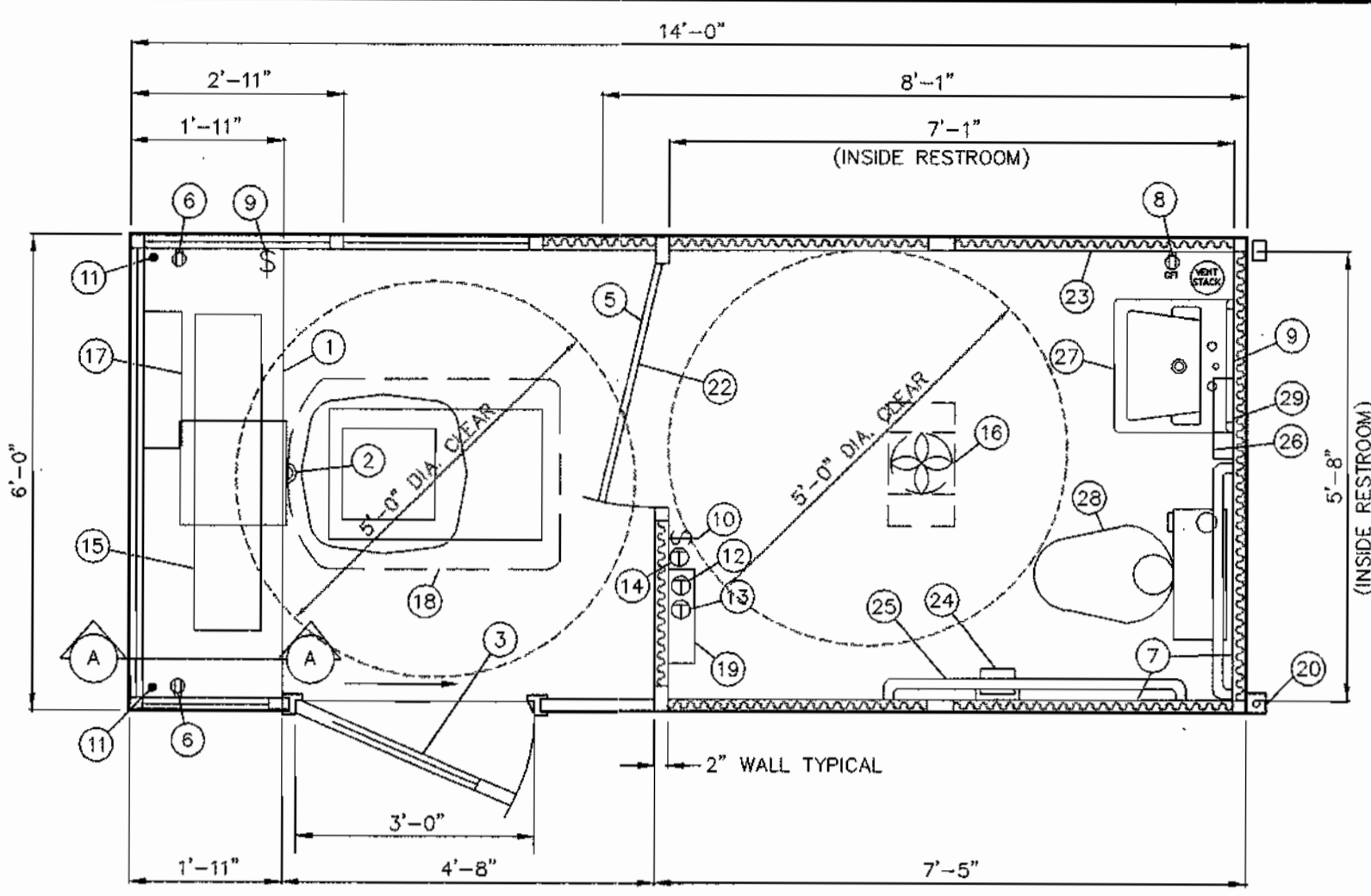
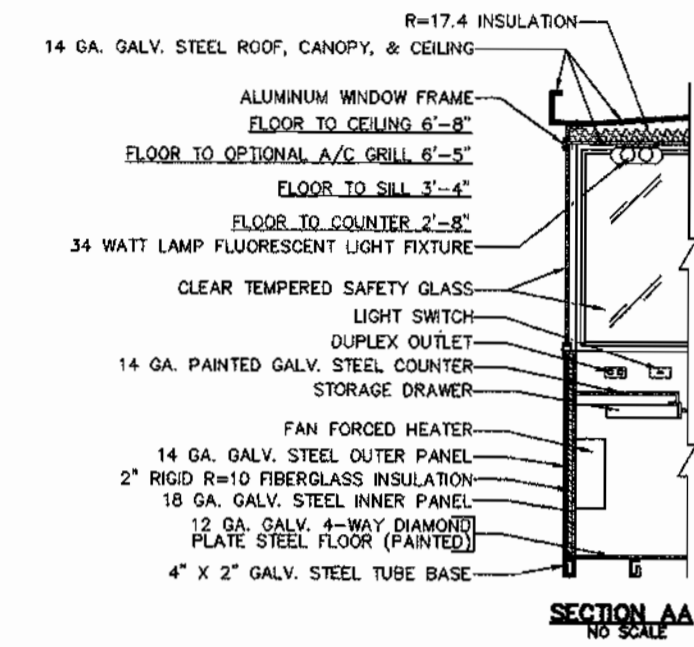
PAR-KUT INTERNATIONAL, INC.
40961 PRODUCTION DRIVE
HARRISON TOWNSHIP, NJ 08045-1351
PHONE: (810) 468-2947
E MAIL: SALES@PAR-KUT.COM
NO. PK146RHC**

(OR APPROVED EQUAL)

** - MODIFIED FROM STANDARD

- NOTE: THE FOLLOWING ITEMS ARE SHIPPED LOOSE IN CARTONS AND FIELD INSTALLED AT SITE BY OTHERS.
- WATER HEATER- ARISTON 2-1/2 GAL. POINT OF USE.
 - WHITE CHINA LAVATORY WITH PAPER HANDLE FAUCET. (THERMAL GUARD ON TRAP)
 - WHITE CHINA WATER CLOSET WITH OPEN FRONT SEAT.
 - JUNCTION BOX WITH RACEWAY TO C.B. PANEL FOR WATER HEATER.

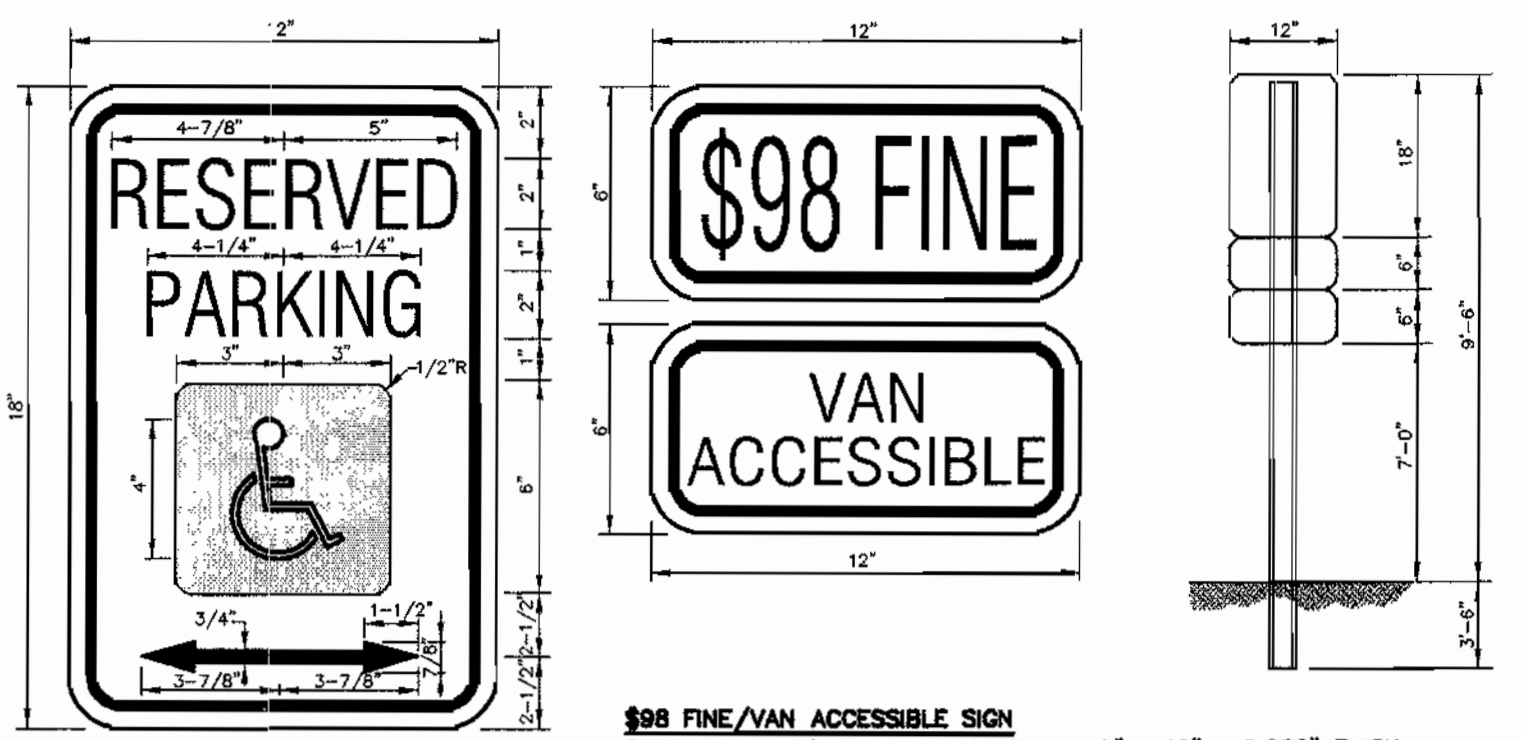
** - MODIFIED FROM STANDARD



- A.D.A. NOTES:**
- BOOTH MUST BE HANDICAP ACCESSIBLE. THE MAXIMUM CHANGE IN LEVEL FROM GRADE TO FINISH FLOOR DOES NOT EXCEED 1/4".
 - HANDICAP ACCESSIBLE RESTROOM SHALL HAVE TILT MIRROR BY BOBBICK AND A.D.A. TRAP GUARD.



GUARD HOUSE DETAIL
NO SCALE

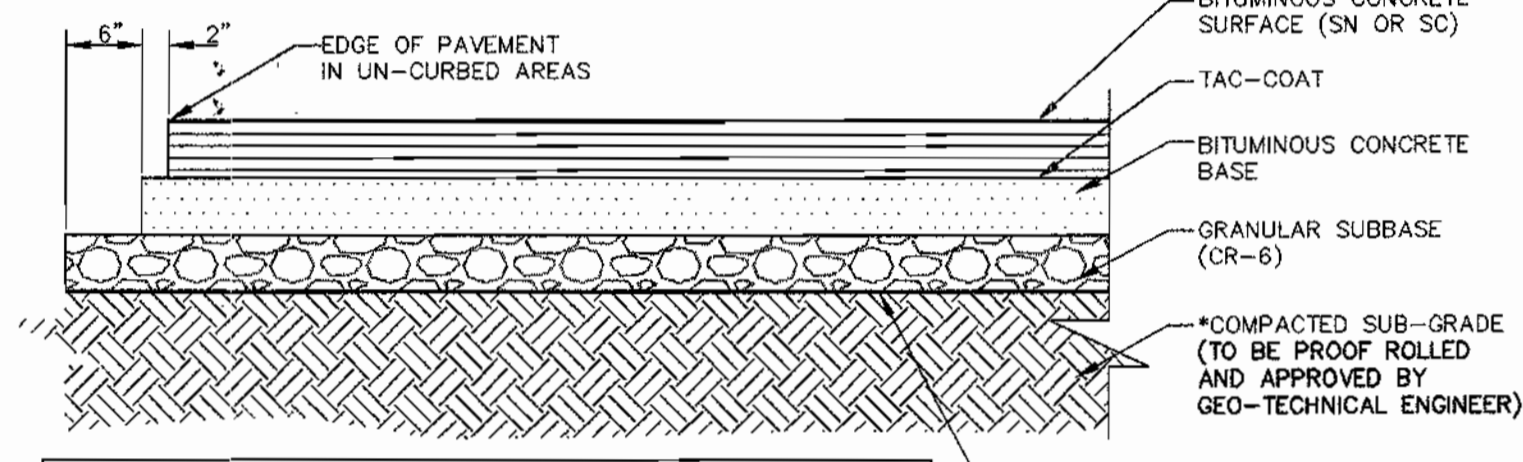
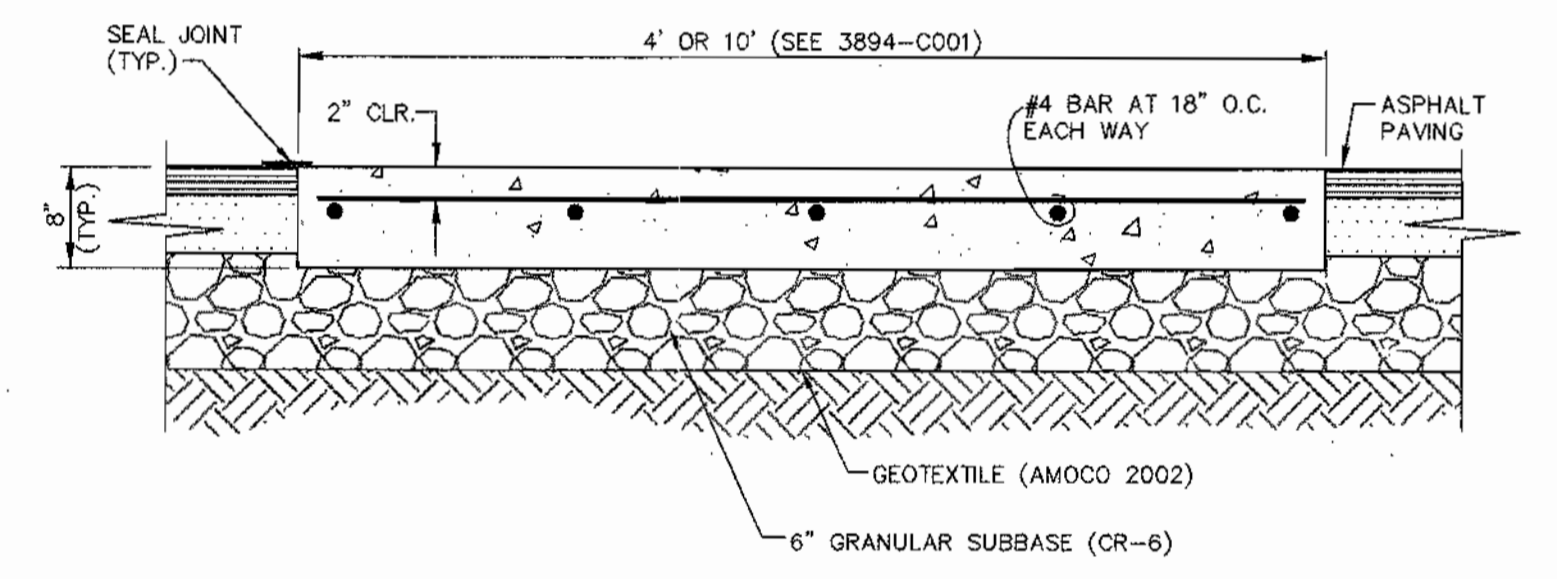
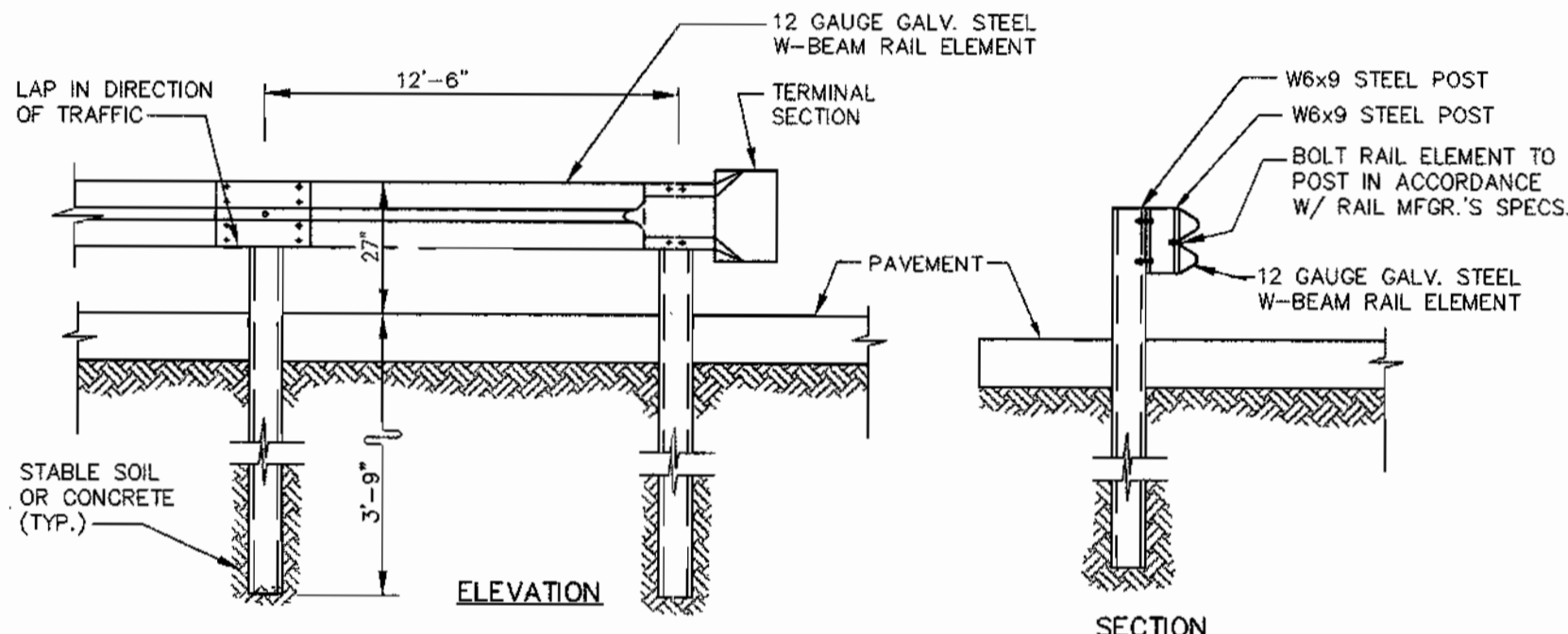
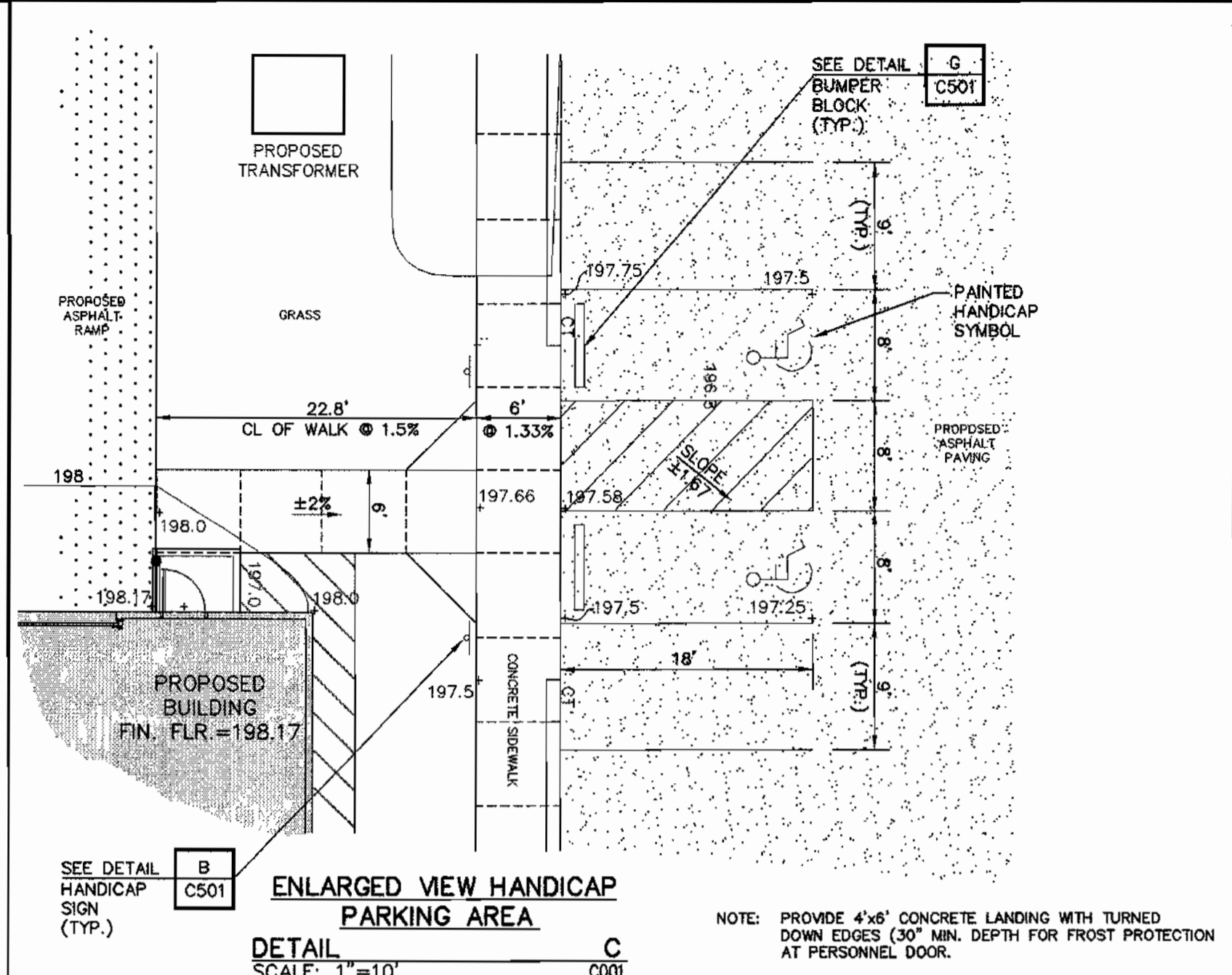


COLORS:
GREEN - LEGEND AND BORDER
WHITE - SYMBOL ON BLUE BACKGROUND
WHITE - BACKGROUND

\$98 FINE/VAN ACCESSIBLE SIGN:
SIGN TO UTILIZE AN ALUMINUM BLANK 6" x 12" x 0.080" THICK WITH TWO SINGLE POST MOUNTING HOLES.

THE TEXT AND BORDER SHALL BE STANDARD GREEN TO MATCH THAT ON R7-8 AND, THE BACKGROUND SHALL BE REFLECTIVE WHITE.

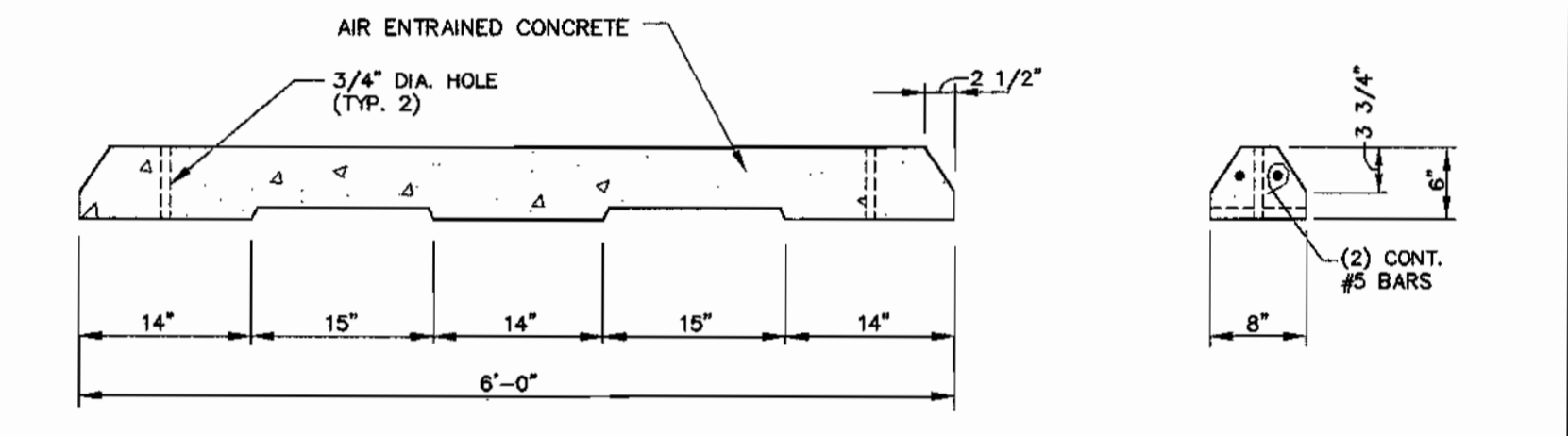
SIGN SHALL BE MOUNTED DIRECTLY BELOW THE STANDARD R7-8 RESERVED PARKING FOR HANDICAPPED SIGN. ITS BOTTOM EDGE SHALL BE NO LESS THAN 7 FEET ABOVE GROUND. IF THE SIGN IS PLACED AGAINST A BUILDING, STRUCTURE, OR OTHER LOCATION WHERE VEHICLE OR PEDESTRIAN TRAFFIC IS NOT OBSTRUCTED, THE BOTTOM EDGE OF THE SIGN SHALL BE AT LEAST 6 FEET BUT NOT MORE THAN 10 FEET ABOVE GROUND.



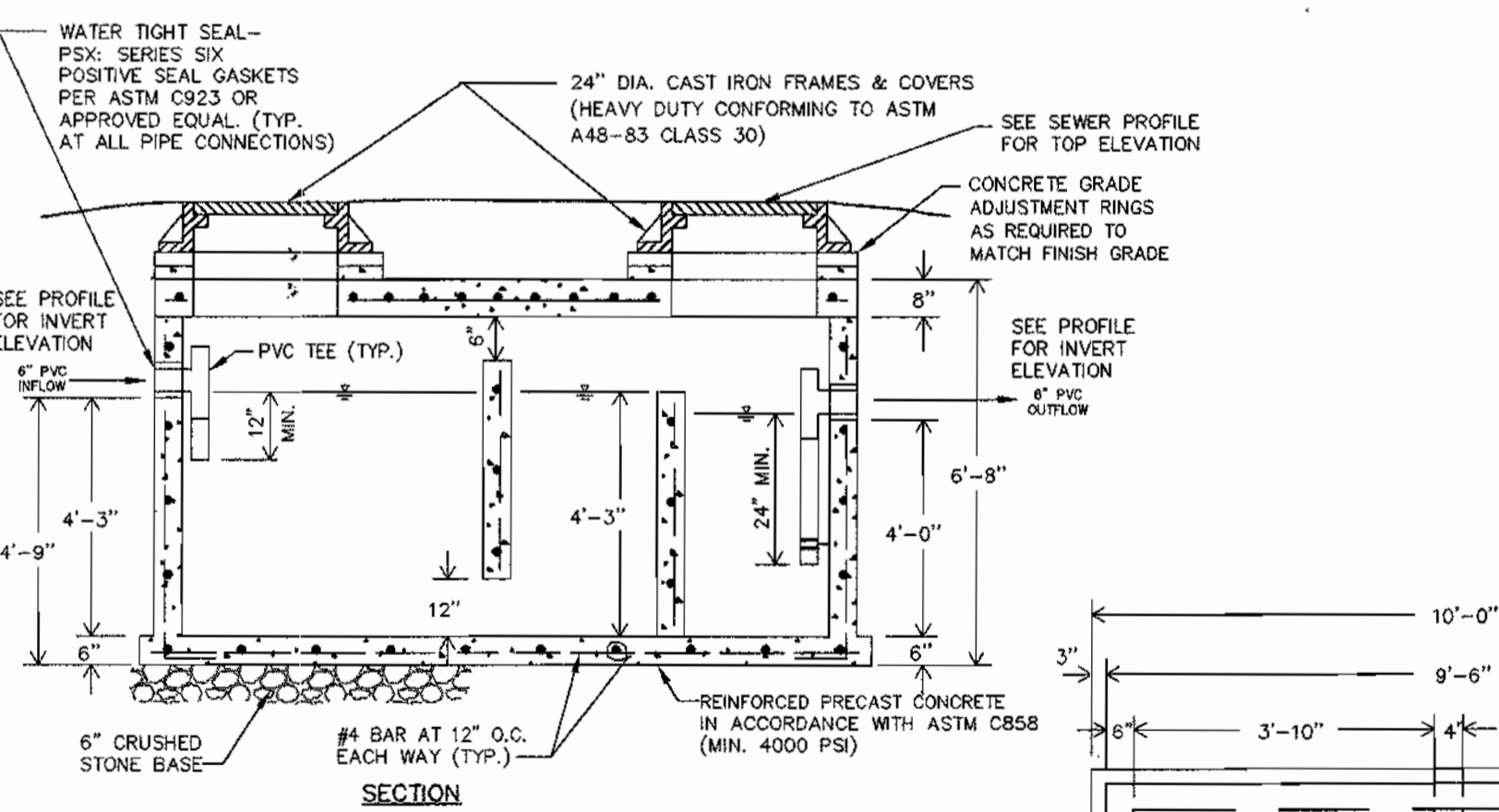
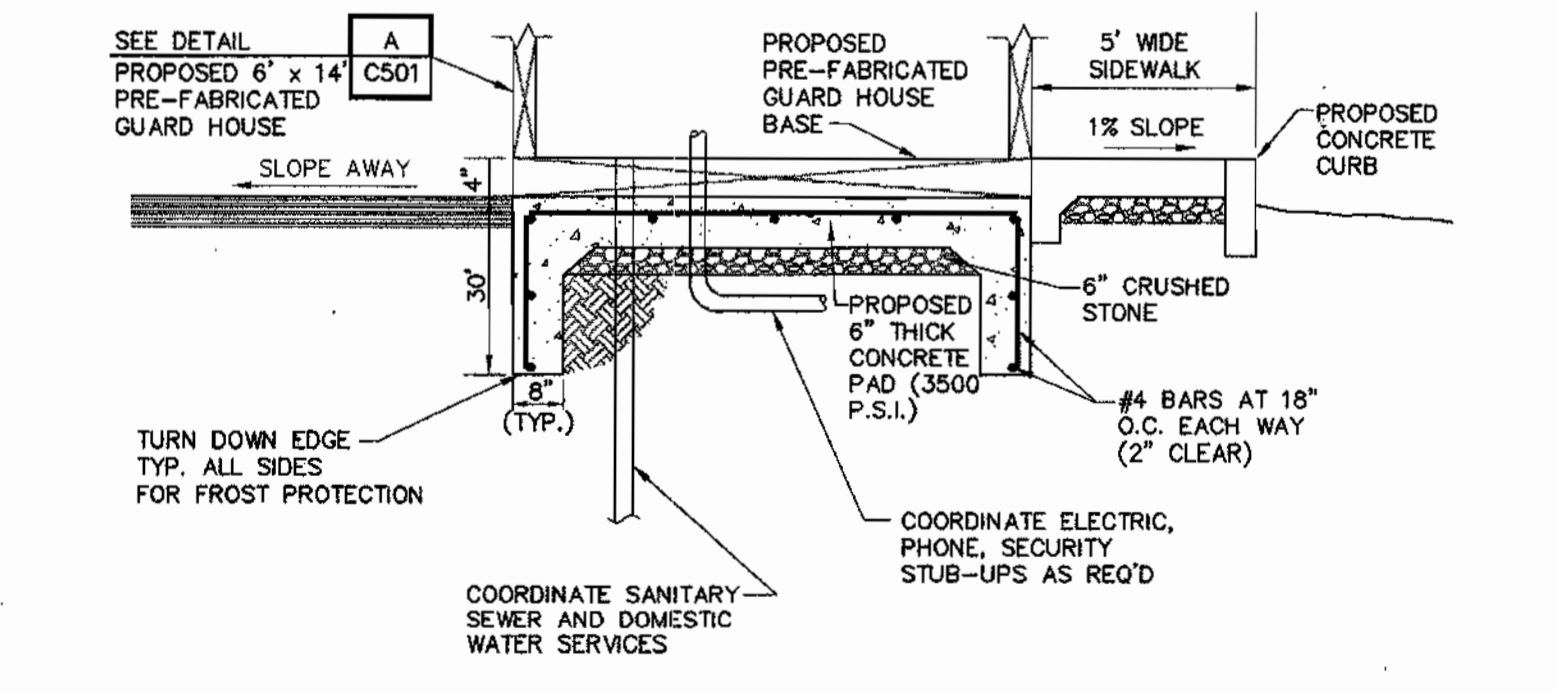
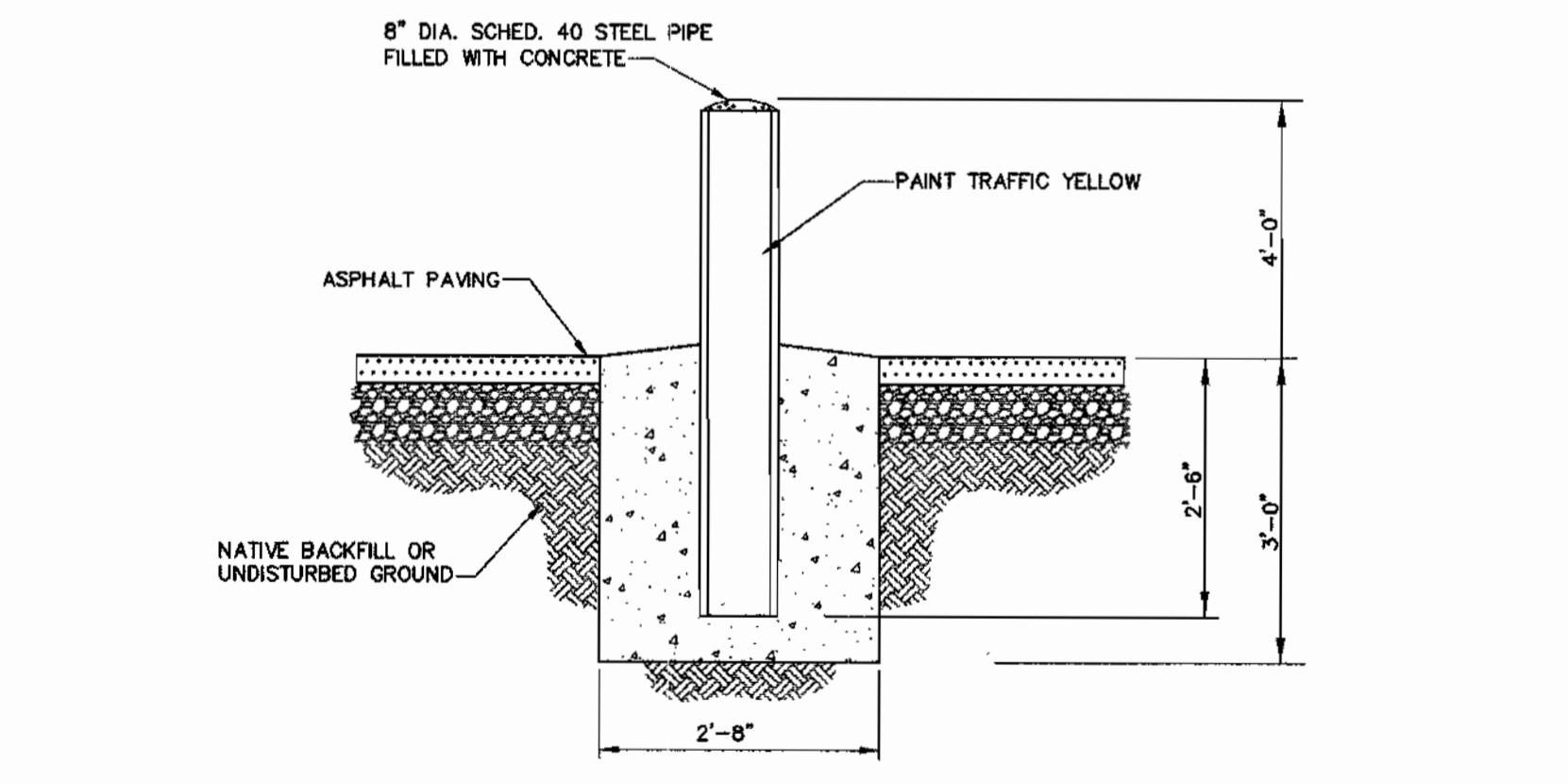
ASPHALTIC PAVEMENT STRUCTURE THICKNESS TABLE

TYPE	BITUMINOUS CONCRETE SURFACE	BITUMINOUS CONCRETE BASE	GRANULAR SUBBASE	GEOTEXTILE FABRIC	SUB-GRADE
CAR	1.5"	2.5"	6.0"	AMOCO 2002	*
TRUCK	2.0"	4.0"	8.0"	AMOCO 2002	*

- NOTES:**
- Pavement shall not be placed on subgrades that are wet, soft, yielding, and/or on unstable material. All soft and unstable material and other portions of the subgrade which will not properly compact, or serve the purpose intended shall be removed and disposed of, and replaced with suitable material.
 - Pavement materials and construction methods shall comply with all applicable Maryland State Highway Administration specifications.
 - The pavement cross-sections identified above are in accordance with recommendations contain in the project geotechnical report prepared by Stegman Engineering.



NOTE:
DRIVE 18" LONG #4 REBAR INTO GROUND THROUGH HOLES TO HOLD BLOCKS IN PLACE. DRIVE BARS UNTIL FLUSH WITH TOP OR CUT OFF BARS.



REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

USDA-Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

Howard Soil Conservation District

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division MK Date 4/1/02

Chief, Division of Land Development Date 4/16/02

Director Date 4/17/02

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
B-1	7940 TAR BAY DRIVE (GUARD HOUSE)
B-2	7950 TAR BAY DRIVE (BUILDING)

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	PARCEL #
Maryland Wholesale Food Center	Section 2 Block B	B-1 & B-2

PLAT #	BLOCK	ZONE	TAX / ZONE MAP	ELECTION DISTRICT	CENSUS TRACT
CMP-9196	20	N-2	43	No. 6	6069.01

WATER CODE: B02 SEWER CODE: 3170000

WS
WEBBER/SMITH Associates, Inc.
DESIGN ENGINEERS

1857 William Penn Way, Suite 200
Lancaster, Pennsylvania 17601

Phone (717)-291-2266
Fax (717)-291-4401
Email: info@webbersmith.com

STATUS: P - PRELIMINARY, F - FINAL
3894-C501 - D - F

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mjca
MARYLAND JUDICIAL CENTER AUTHORITY

OWNER/DEVELOPER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVENUE
JESSUP, MD 20794
410-379-5760

SYMBOL	DATE	REVISION	DRAWN	CHECKED
△	11/7/01	REVISED PER COUNTY COMMENTS	B.L.E.	B.E.L.
△	9/11/01	REVISED PER COUNTY COMMENTS	B.L.E.	B.E.L.
△	6/22/01	SUBMITTED FOR SDP REVIEW	B.L.E.	B.E.L.

Site Details
MARYLAND FOOD CENTER AUTHORITY
CROSS DOCK/TRAILER PARKING
BLOCK B, PARCEL B-1, B-2

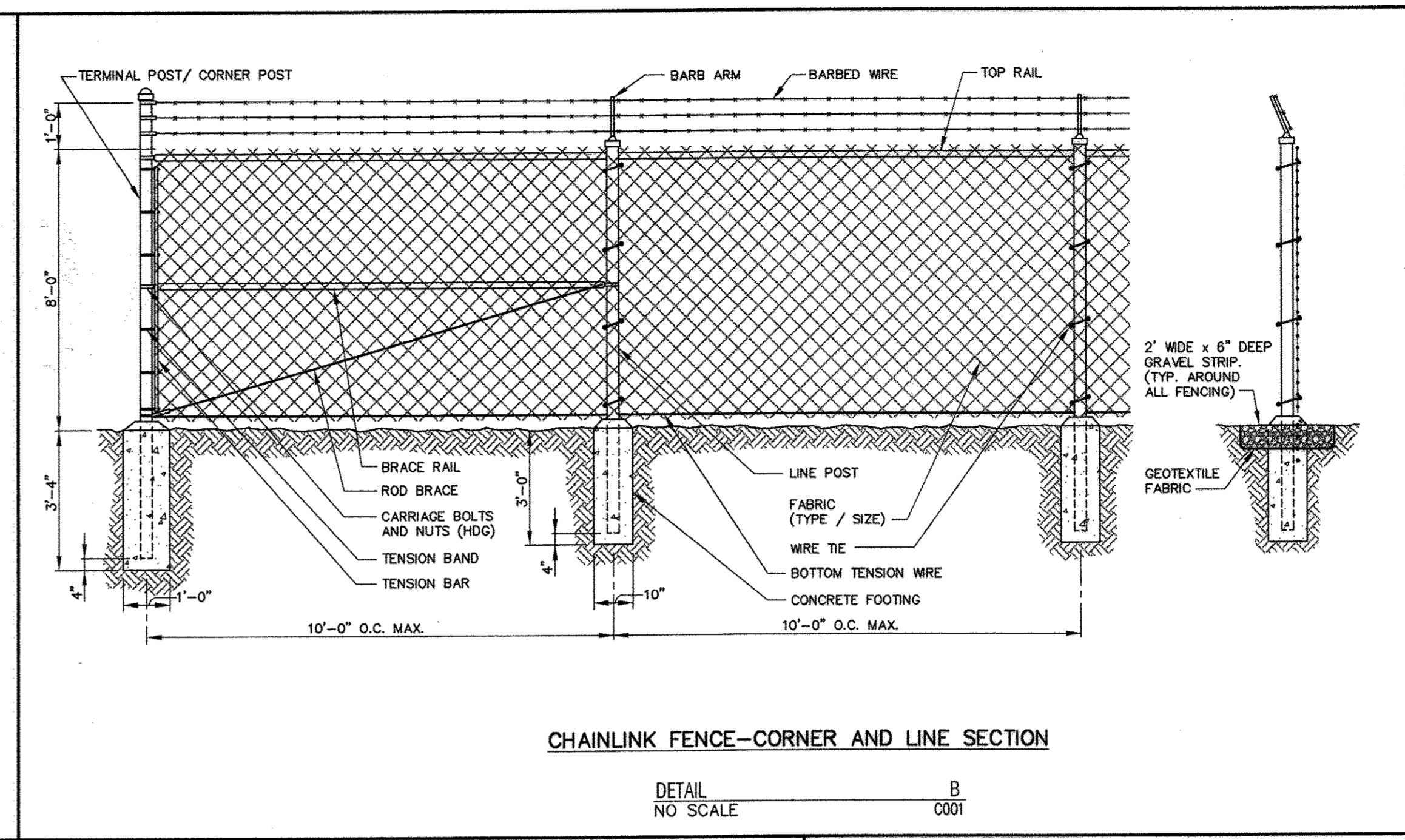
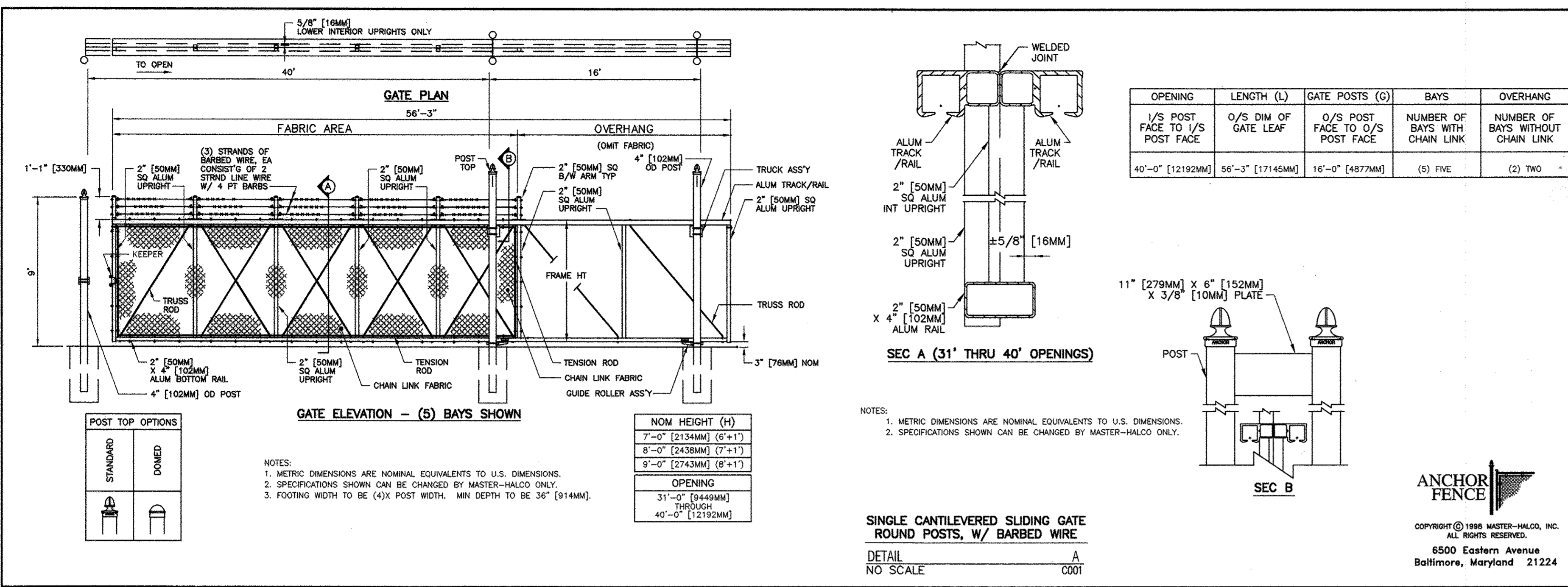
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ELECTION DISTRICT: 6 HOWARD CO., MARYLAND

SCALE: AS SHOWN DATE: JUNE 22, 2001

SDP-01-147

SHEET 12 OF 15



SPECIFICATIONS	
FABRIC	9 GAUGE, 2" MESH WITH TWISTED TOP AND BOTTOM SELVAGE
TENSION WIRE	N/A
BARBED WIRE	3 STRAND, 12 1/2" GAUGE WITH 4 POINT 14 GAUGE BARBS AT 5" O.C.
FRAME WORK	
TOP RAIL	1 5/8" O.D.
LINE POSTS	2 1/2" O.D.
BRACE RAIL	1 5/8" O.D.
CORNER POSTS	3" O.D.
END POSTS	3" O.D.
GATE POSTS	3" O.D.

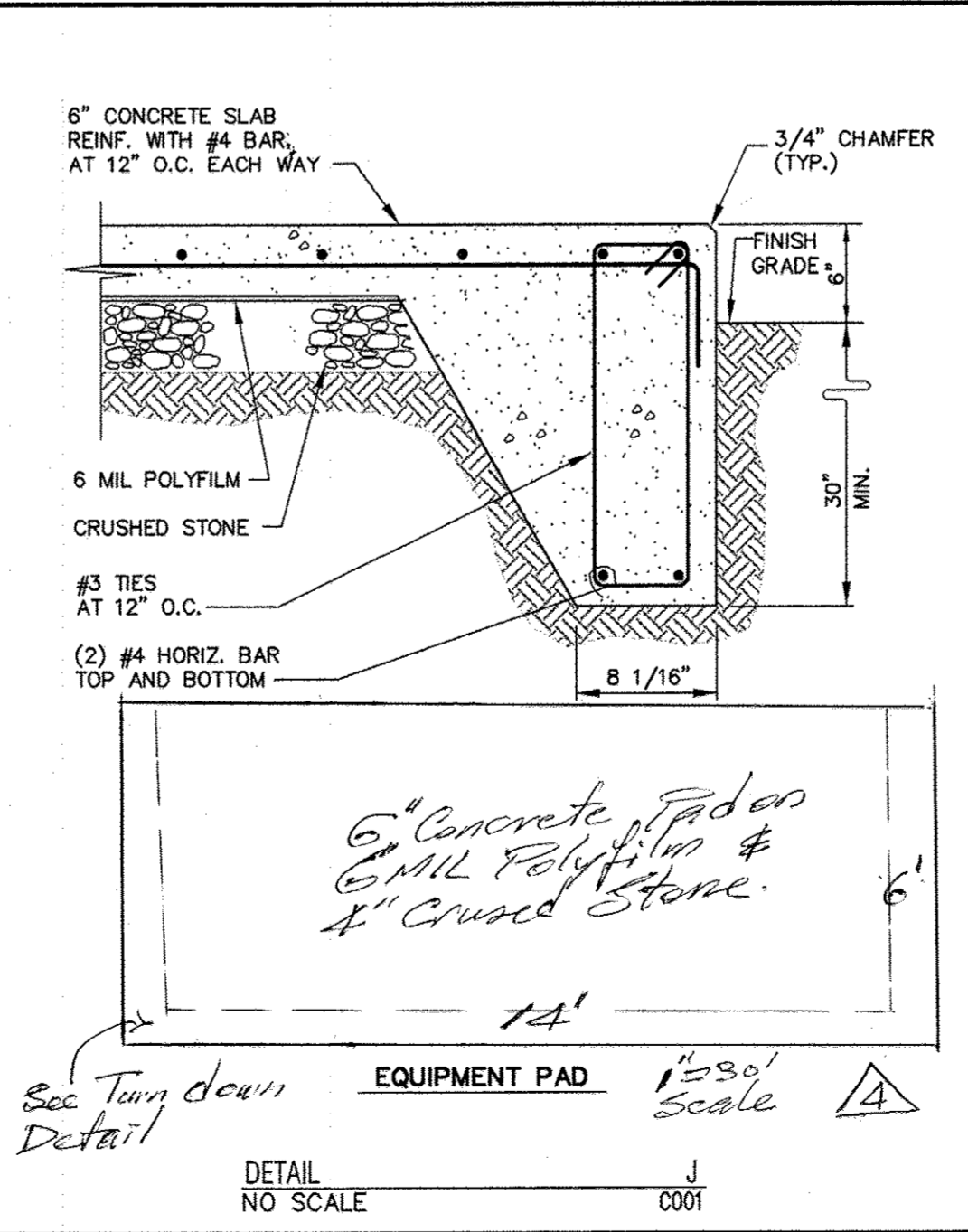
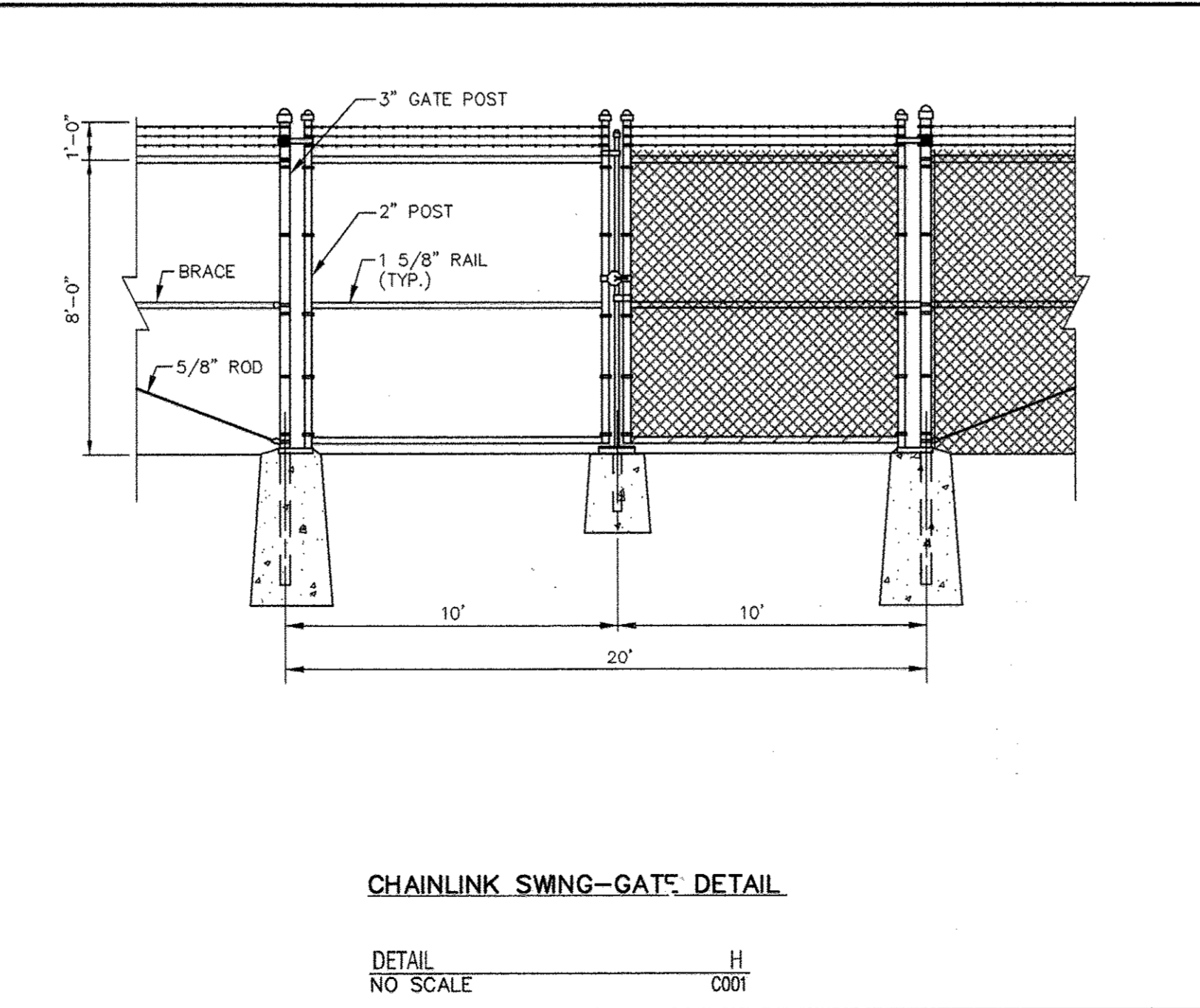
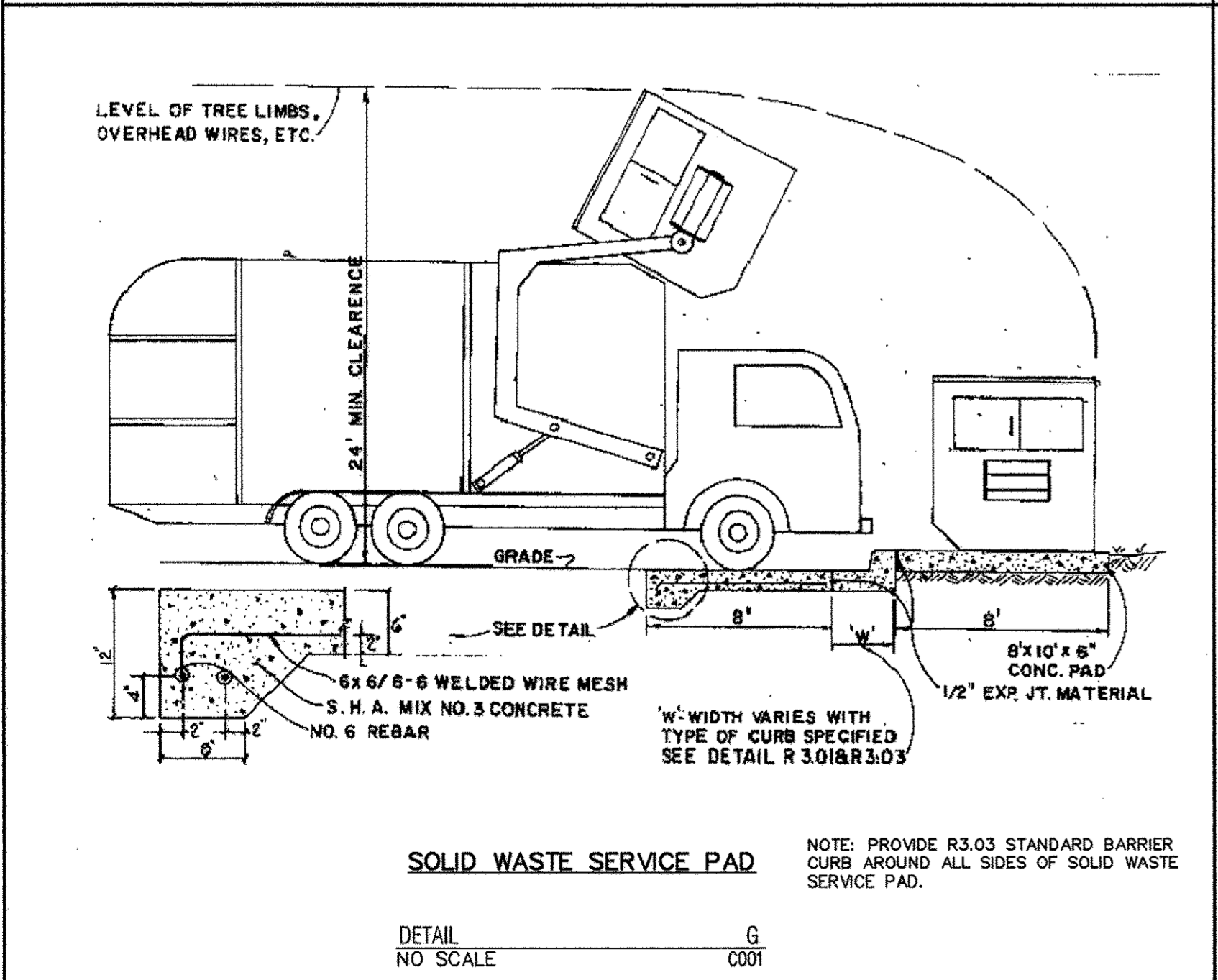
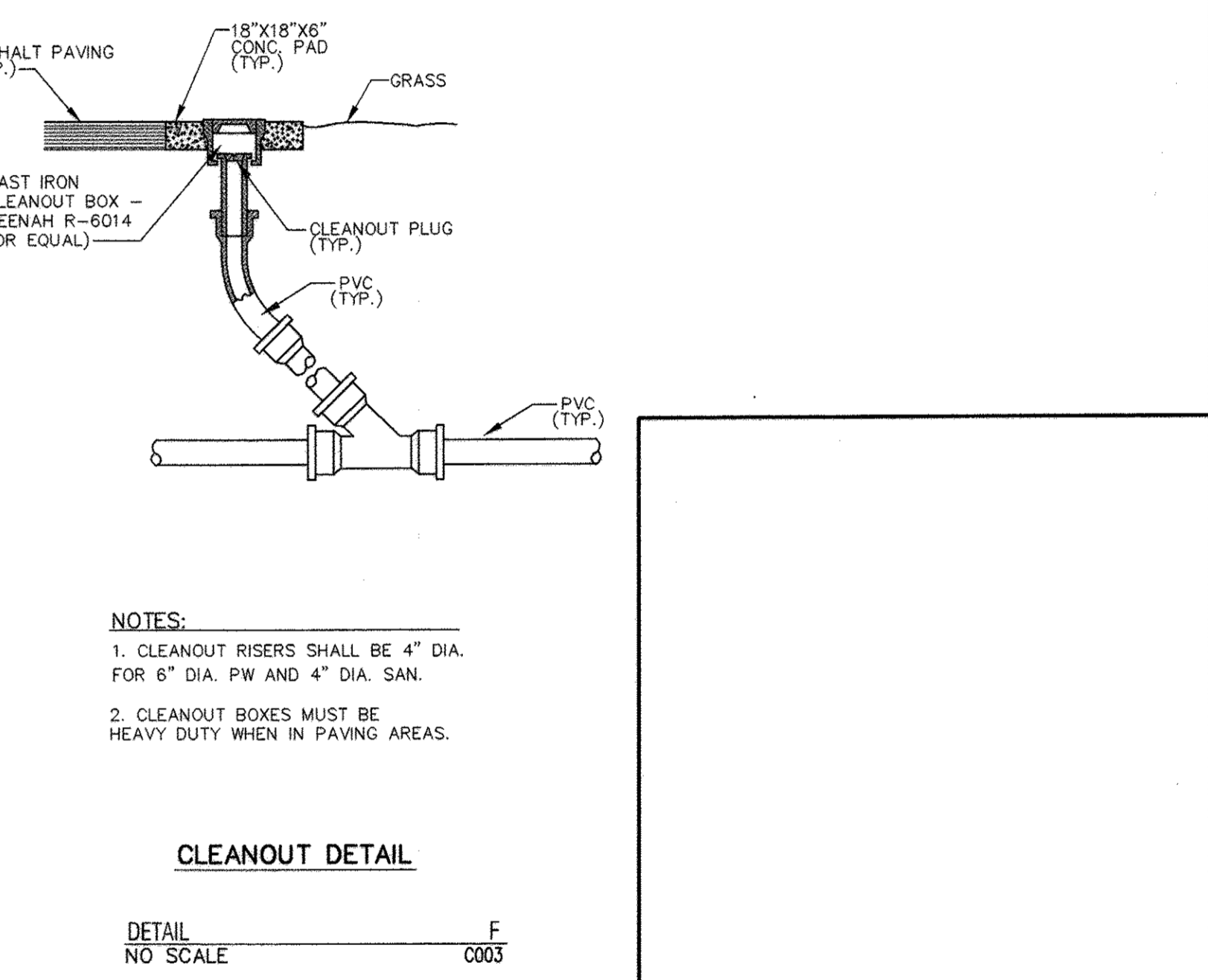
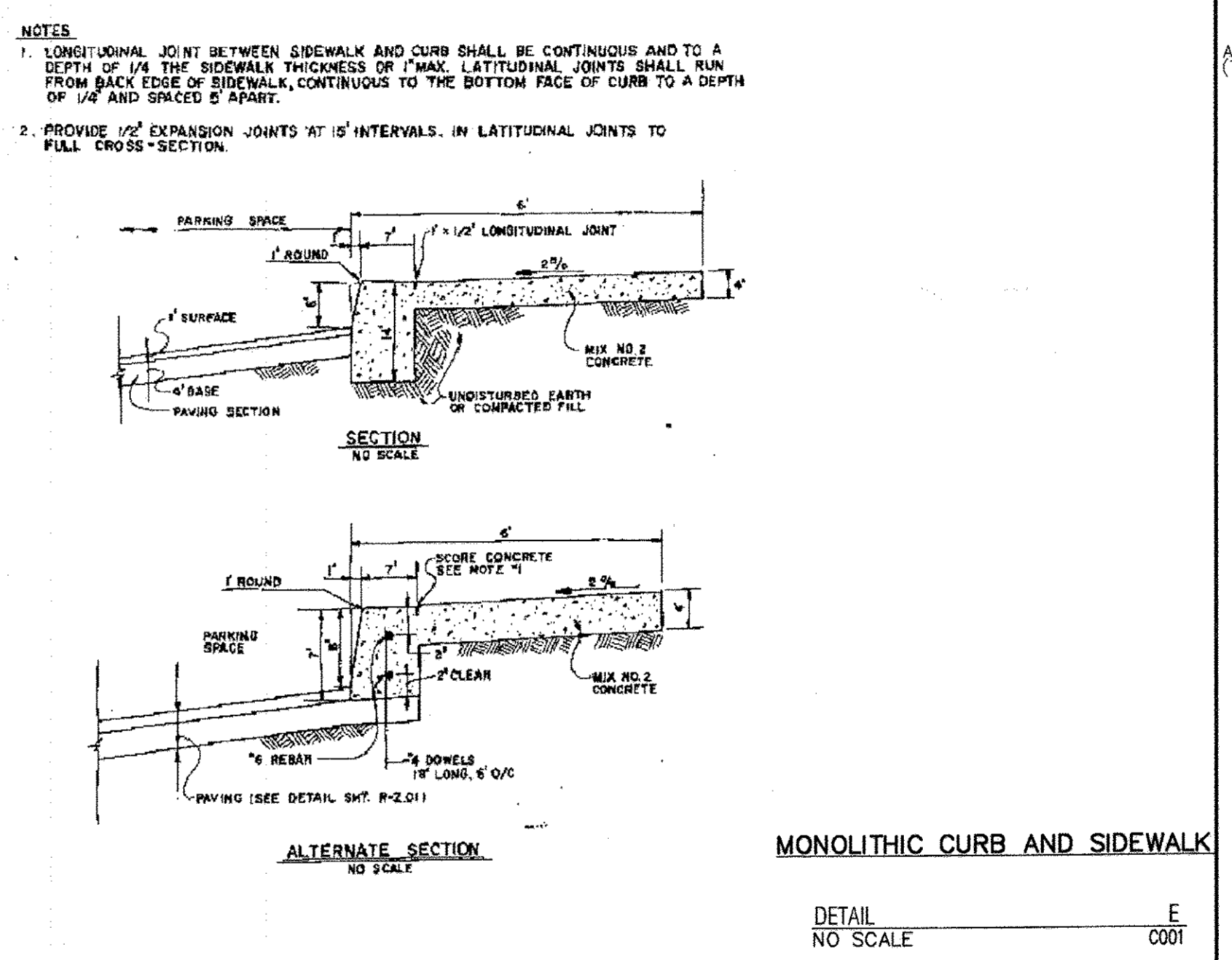
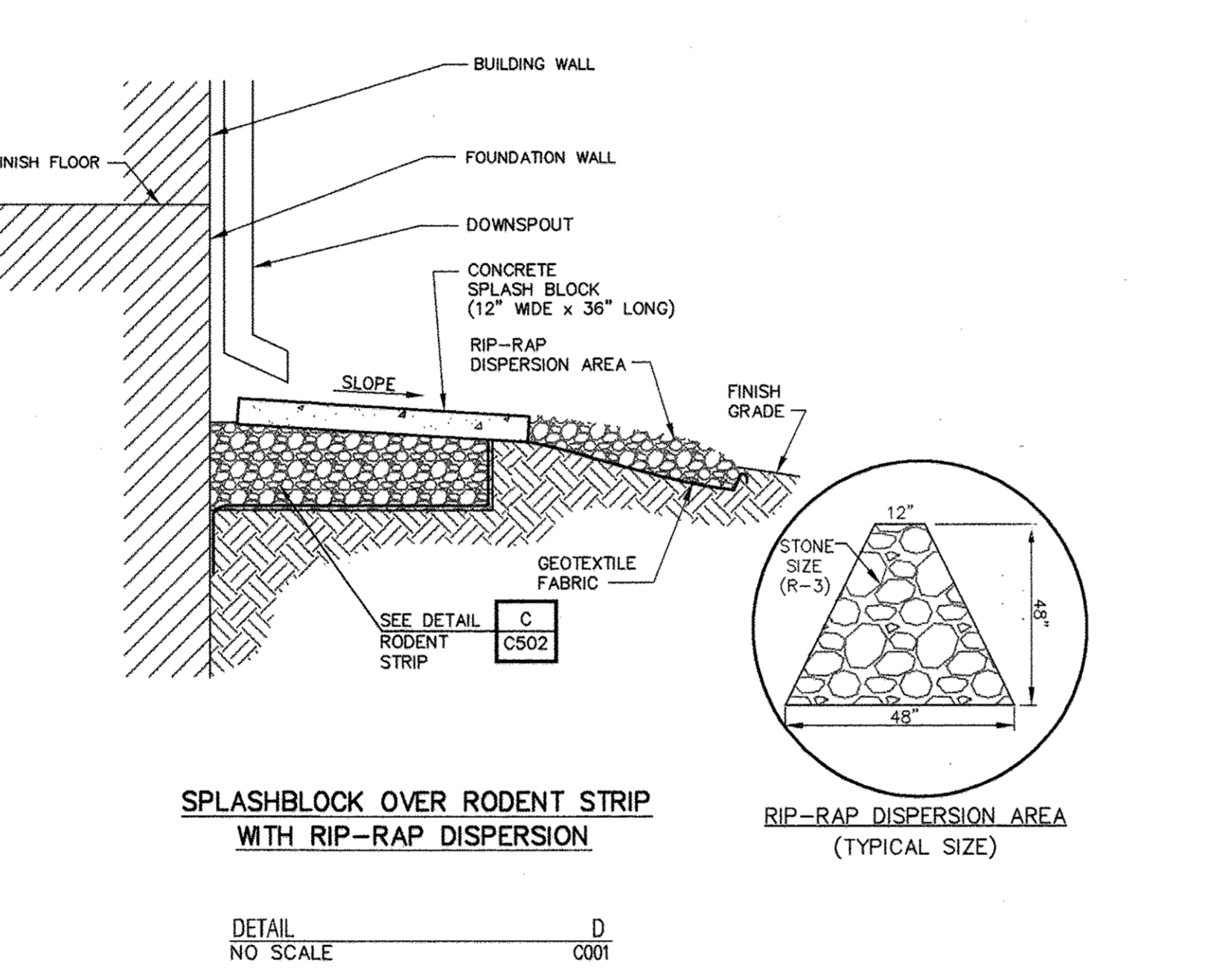
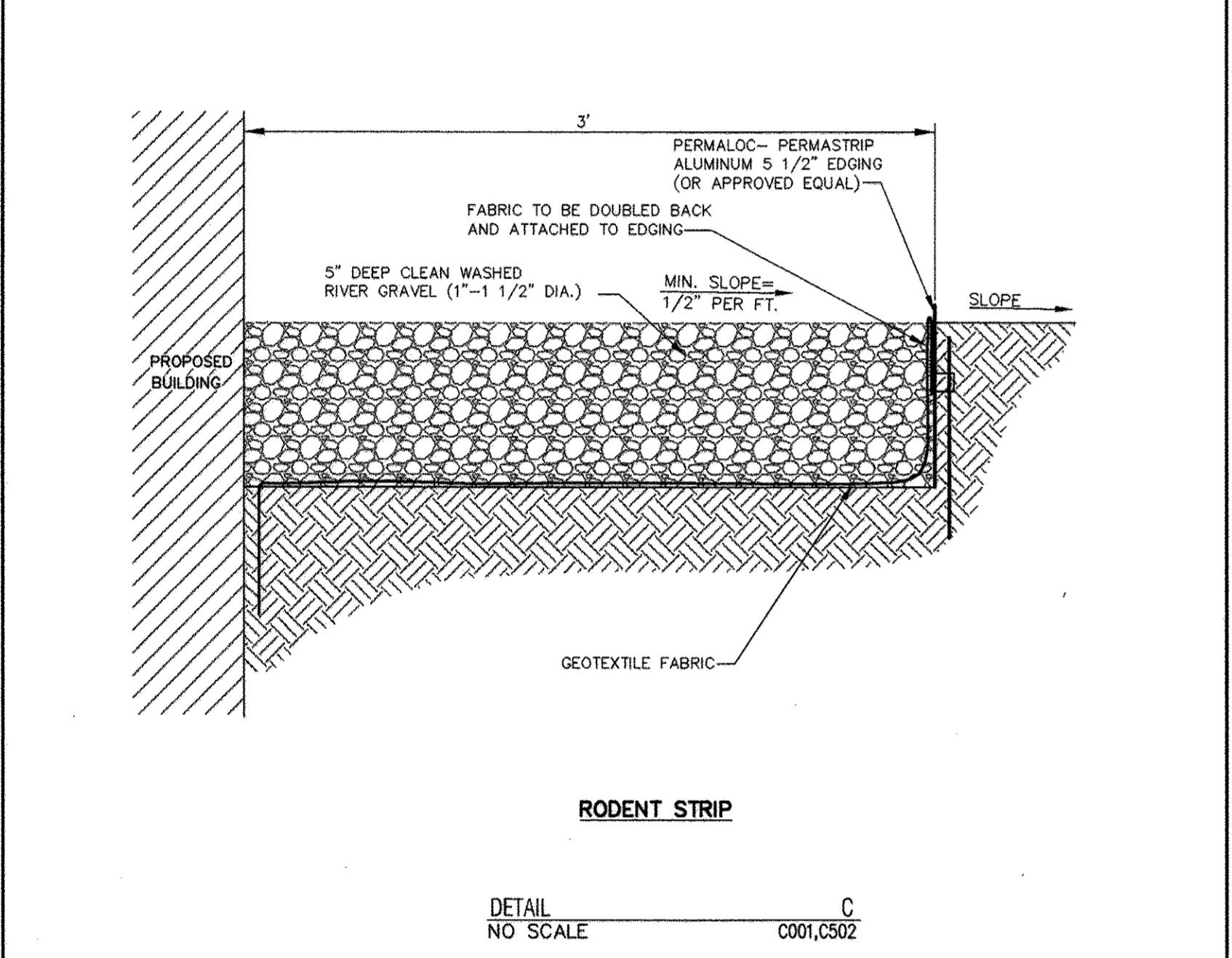
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 1. METRIC DIMENSIONS ARE NOMINAL EQUIVALENTS TO U.S. DIMENSIONS.
 2. SPECIFICATIONS SHOWN CAN BE CHANGED BY MASTER-HALCO ONLY.

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 1. METRIC DIMENSIONS ARE NOMINAL EQUIVALENTS TO U.S. DIMENSIONS.
 2. SPECIFICATIONS SHOWN CAN BE CHANGED BY MASTER-HALCO ONLY.

ANCHOR FENCE
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 6500 Eastern Avenue
 Baltimore, Maryland 21224

SINGLE CANTILEVERED SLIDING GATE ROUND POSTS, W/ BARBED WIRE
 DETAIL NO SCALE A C001

CHAINLINK FENCE-CORNER AND LINE SECTION
 DETAIL NO SCALE B C001



REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

USDA-Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

Howard Soil Conservation District

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division MK Date 4/11/02
 Chief, Division of Land Development Date 4/16/02
 Director Date 4/17/02

STATE OF MARYLAND
 DEPARTMENT OF PLANNING AND ZONING

APPROVED: *[Signature]* 4/17/02
 I hereby certify that these documents are prepared by me & I am duly certified as a Professional Engineer in the State of MD. Registration # 40733. Exp. date 8/20/16.

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
B-1	7940 TAR BAY DRIVE (GUARD HOUSE)
B-2	7950 TAR BAY DRIVE (BUILDING)

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	PARCEL #
Maryland Wholesale Food Center	Section 2 Block B	B-1 & B-2

PLAT #	BLOCK	ZONE	TAX /ZONE MAP	ELECTION DISTRICT	CENSUS TRACT
CMP-9196	20	M-2	43	No. 6	6069.01

WATER CODE: B02 SEWER CODE: 3170000

WS
WEBBER/SMITH Associates, Inc.
 DESIGN ENGINEERS
 DRAWN BY: B.L.E.
 CHECKED BY: B.L.E.
 STATUS: P - PRELIMINARY, F - FINAL
3894-C502 - D - F
 DRAWING NUMBER SIZE STATUS

1857 William Penn Way, Suite 200
 Lancaster, Pennsylvania 17601
 Phone (717)-291-2266
 Fax (717)-291-4401
 Email: info@webbersmith.com

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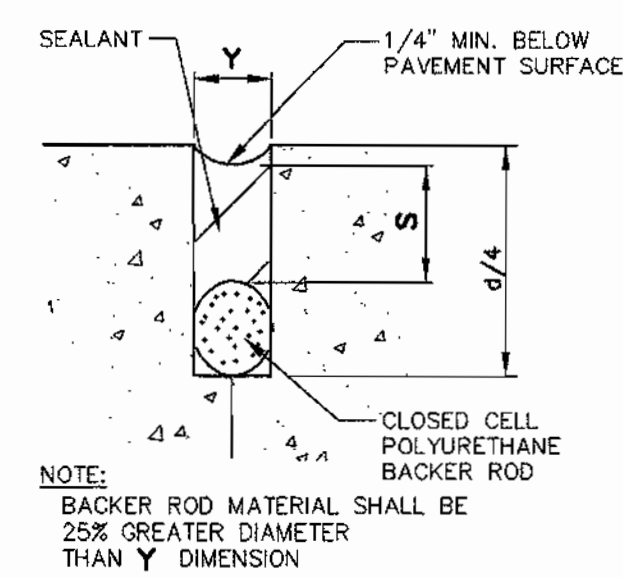
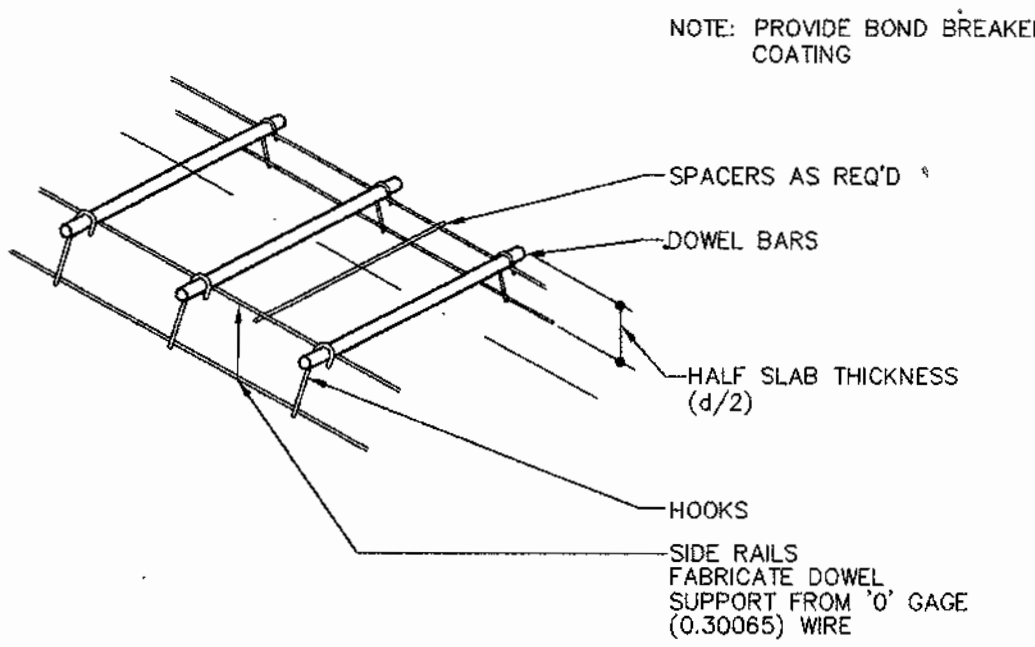
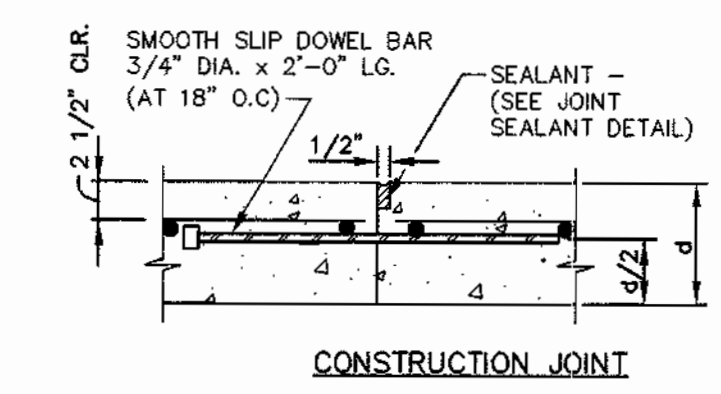
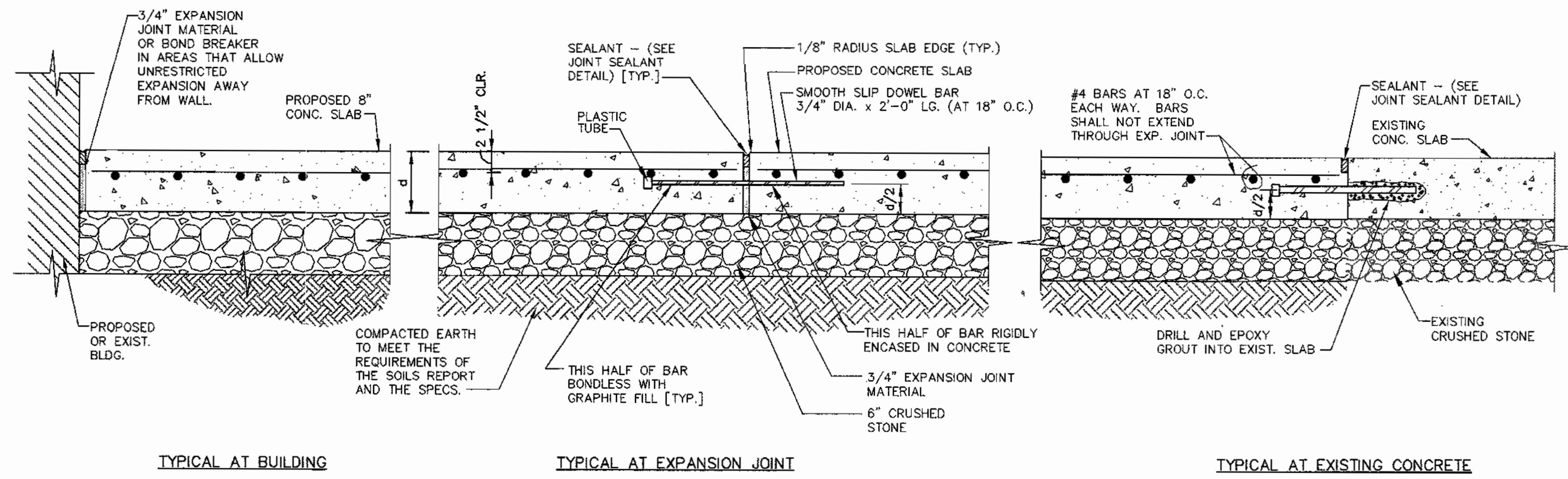
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mjca
 MARYLAND FOOD CENTER AUTHORITY

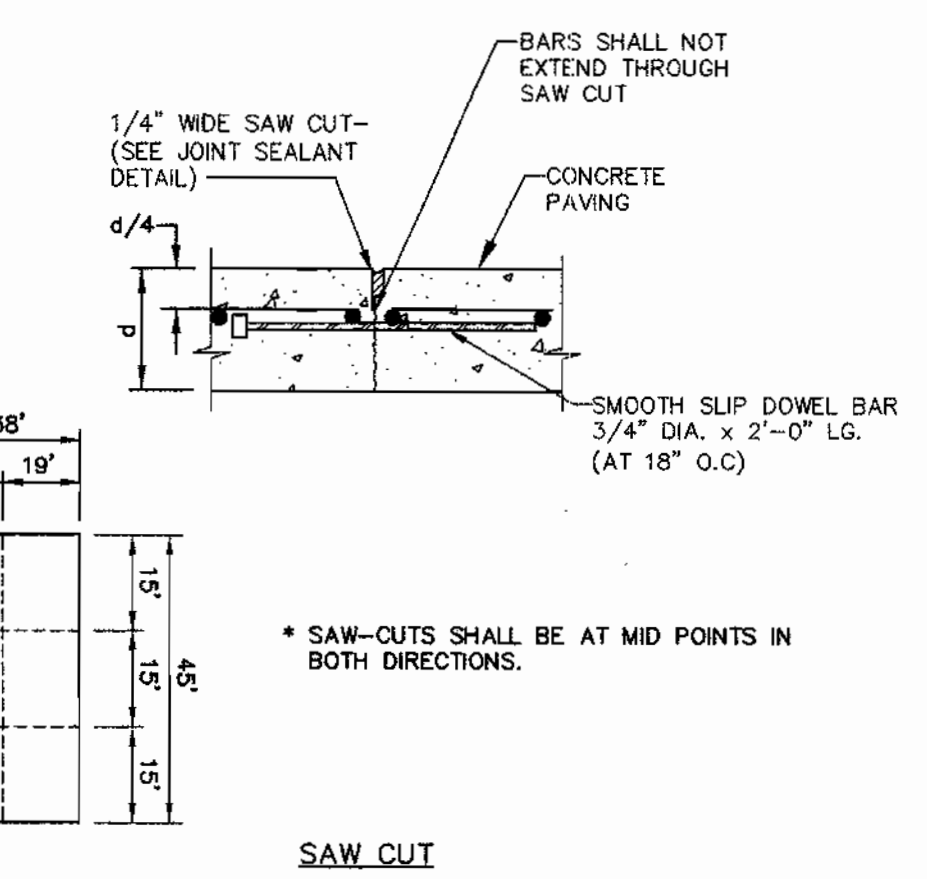
OWNER/DEVELOPER
MARYLAND FOOD CENTER AUTHORITY
 7801 OCEANO AVENUE
 JESSUP, MD 20794
 410-379-5760

SYMBOL	DATE	REVISION	DRAWN	CHECKED
△	10/1/01	Revised Per County Comments	AS	AS
△	11/7/01	REVISED PER COUNTY COMMENTS	B.L.E.	B.L.E.
△	9/11/01	REVISED PER COUNTY COMMENTS	B.L.E.	B.L.E.
△	6/22/01	SUBMITTED FOR SDP REVIEW	B.L.E.	B.L.E.

Site Details
MARYLAND FOOD CENTER AUTHORITY
CROSS DOCK/TRAILER PARKING
 BLOCK B, PARCEL B-1, B-2
 PREVIOUS FILE #: 3467, 6875, 9196, F-82-120, F-90-81, VP 82-32, VP 82-65, VP 86-117
 SDP-01-147
 SCALE: AS SHOWN
 DATE: JUNE 22, 2001
 ELECTION DISTRICT: 6
 HOWARD CO., MARYLAND
SHEET 13 OF 15



JOINT WIDTH (Y)	SEALANT DEPTH (S)
1/4"	1/4"
1/2"	1/2"
3/4"	1/2"



DETAIL NO SCALE A C001

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

USDA-Natural Resources Conservation Service _____ Date _____

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

Howard Soil Conservation District _____ Date _____

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chris DeLuca 4/1/02
Chief, Development Engineering Division MK Date

Cindy Hamilton 4/16/02
Chief, Division of Land Development Date

Frank J. Leight 4/12/02
Director Date

PARCEL NO.	STREET ADDRESS
B-1	7940 TAR BAY DRIVE (GUARD HOUSE)
B-2	7950 TAR BAY DRIVE (BUILDING)

PERMIT INFORMATION CHART				
SUBDIVISION NAME	SECTION/AREA	PARCEL #		
Maryland Wholesale Food Center	Section 2 Block B	B-1 & B-2		
PLAT #	BLOCK	ZONE	TAX /ZONE MAP	ELECTION DISTRICT
CMP-9196	20	N-2	43	No. 6
WATER CODE: B02				SEWER CODE: 3170000

WS
WEBBER/SMITH Associates, Inc.
DESIGN ENGINEERS

1857 William Penn Way, Suite 200
Lancaster, Pennsylvania 17601

Phone (717)-291-2266
Fax (717)-291-4401
Email: info@webbersmith.com

STATUS: P - PRELIMINARY, F - FINAL
3894-C503 - D - F

DRAWING NUMBER SIZE STATUS

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2/21/01

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REFERENCE FILES

3894C503.dwg 11/7/01 2:26:46 pm EST

mjca
MARYLAND FOOD CENTER AUTHORITY

OWNER/DEVELOPER
MARYLAND FOOD CENTER AUTHORITY

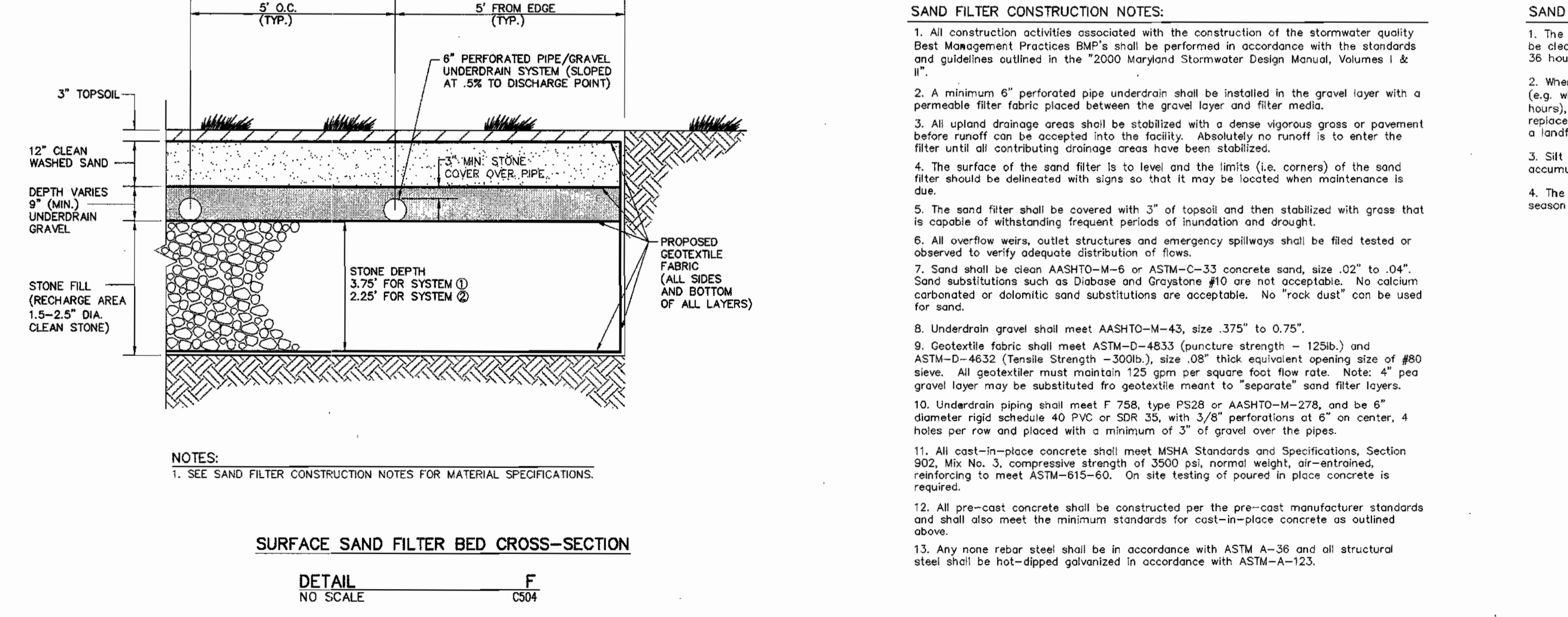
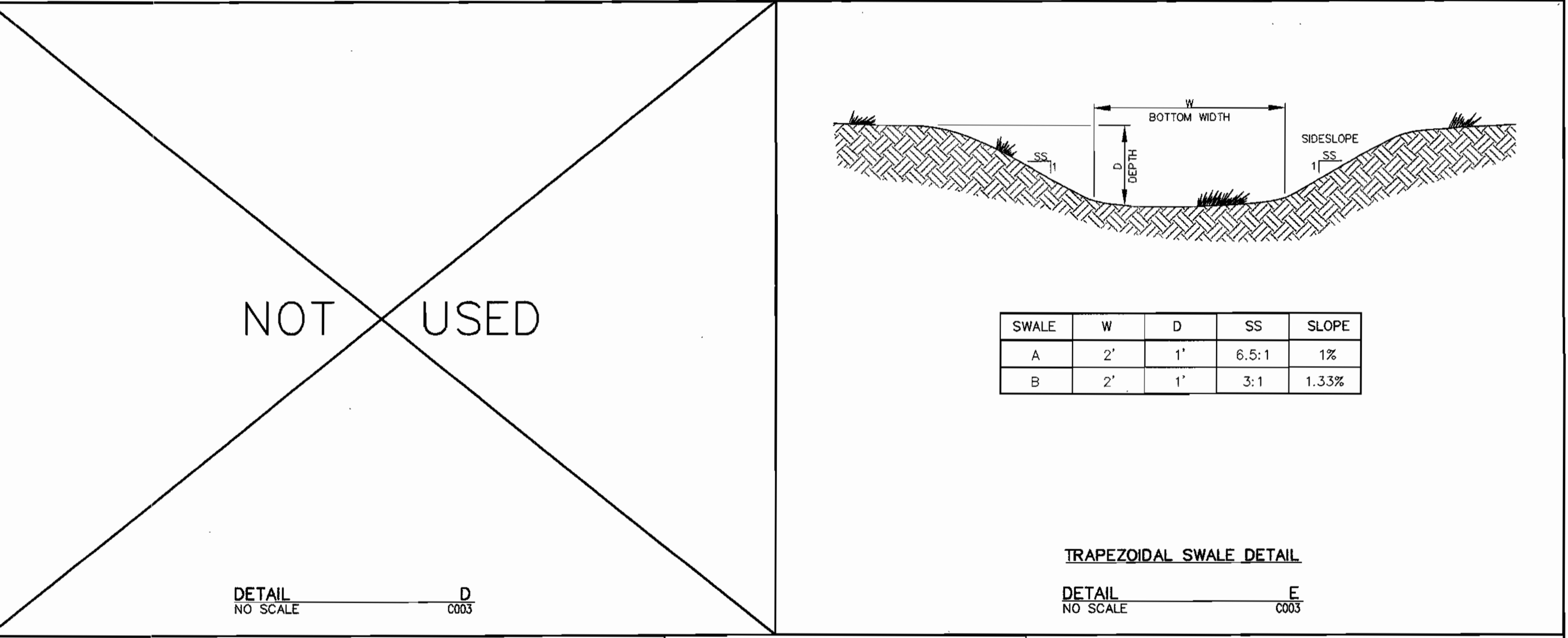
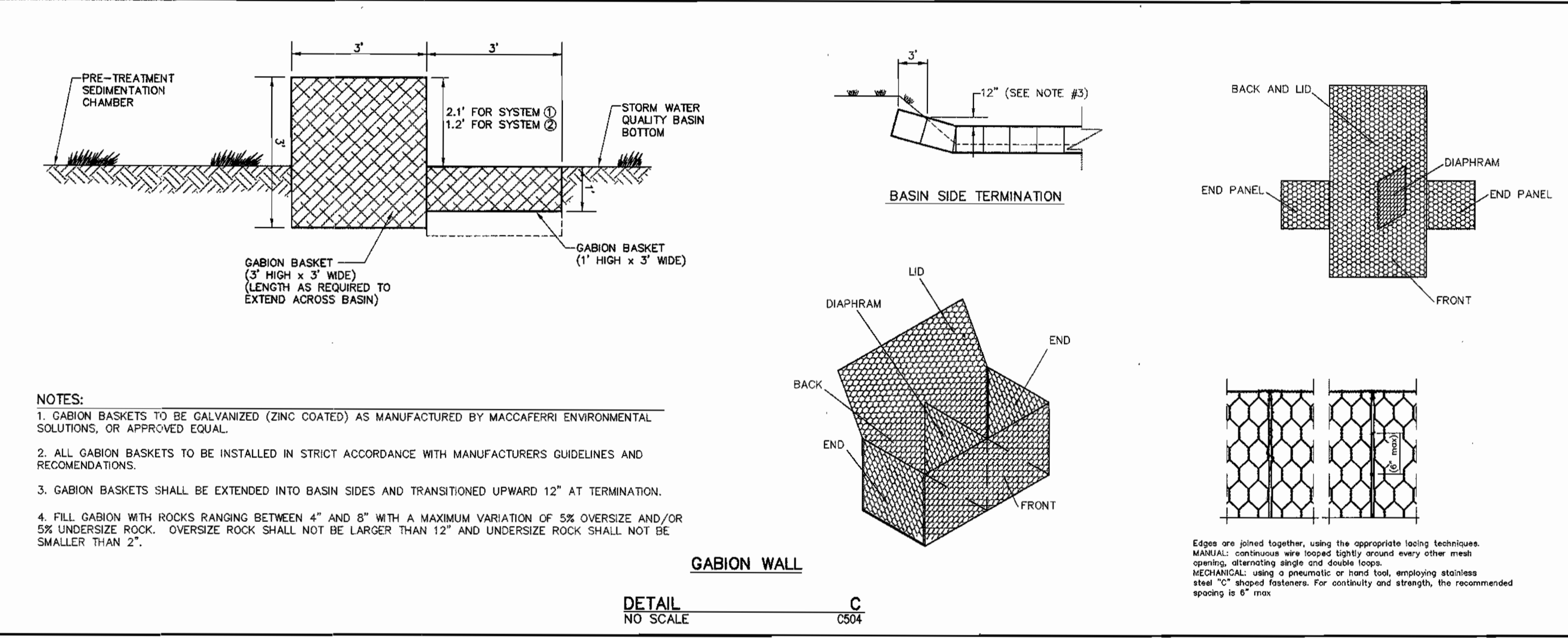
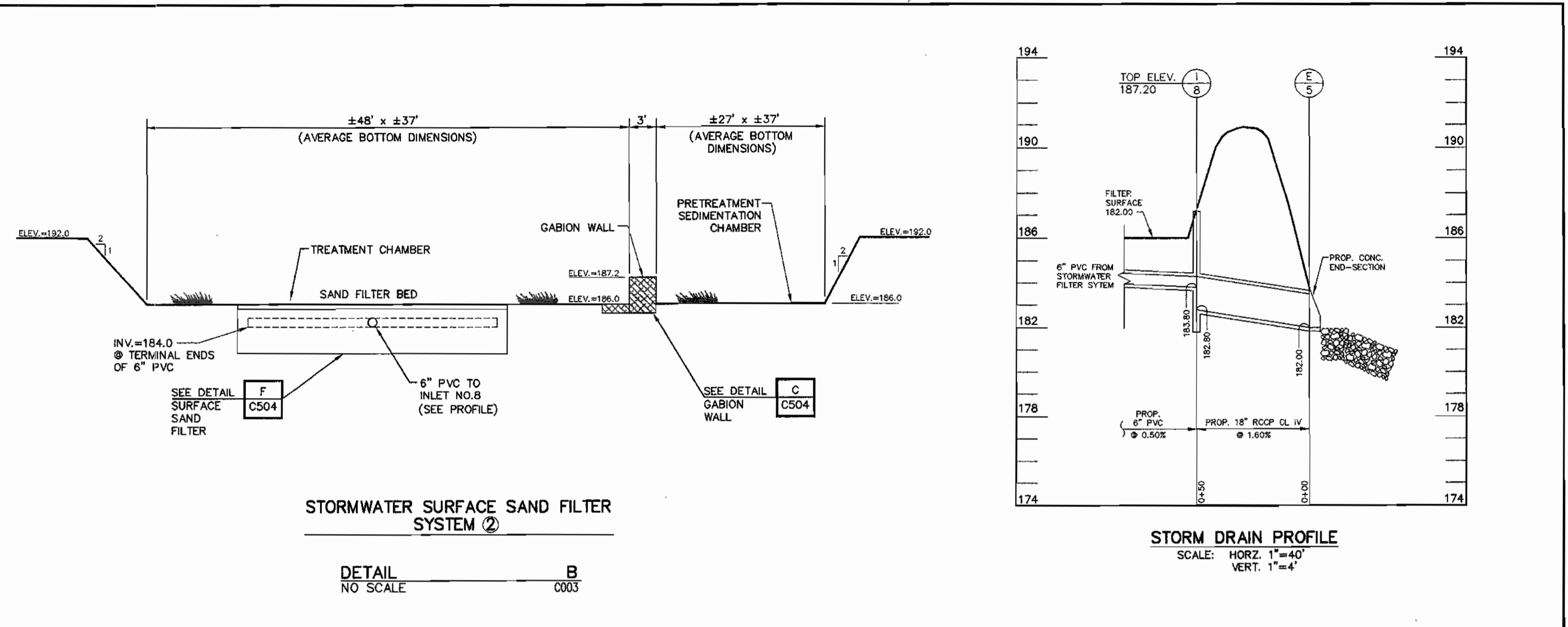
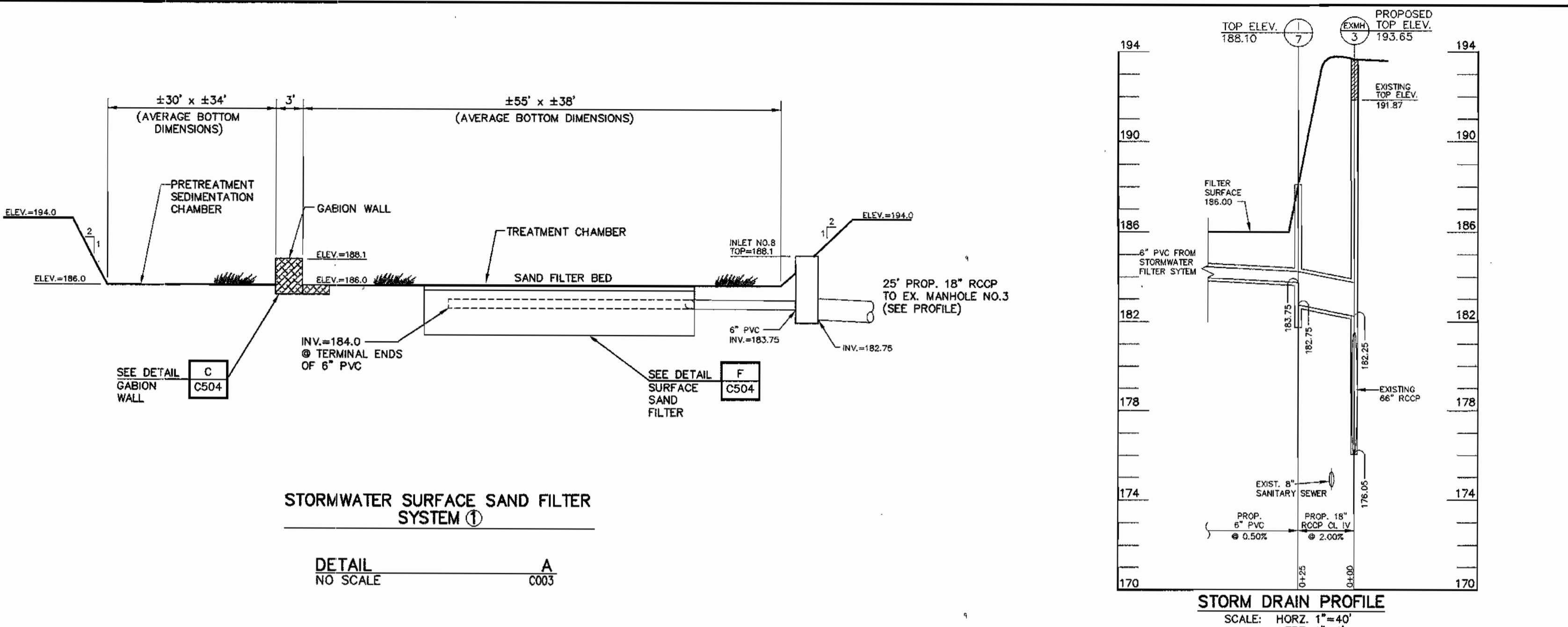
7801 OCEANO AVENUE
JESSUP, MD 20794
410-379-5760

SYMBOL	DATE	REVISION	DRAWN	CHECKED
△	11/7/01	REVISED PER COUNTY COMMENTS	B.L.E.	B.E.L.
△	9/11/01	REVISED PER COUNTY COMMENTS	B.L.E.	B.E.L.
△	6/22/01	SUBMITTED FOR SDP REVIEW	B.L.E.	B.E.L.

Site Details
MARYLAND FOOD CENTER AUTHORITY
CROSS DOCK/TRAILER PARKING
BLOCK B, PARCEL B-1, B-2

PREVIOUS FILE #s: 3467, 6875, 9196, F-82-120, F-90-81, VP B2-32, VP B2-65, VP B6-117
SDP-01-147

ELECTION DISTRICT: 6 SHEET 14 OF 15
HOWARD CO., MARYLAND DATE: JUNE 22, 2001



NOT USED

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

USDA Natural Resources Conservation Service Date: 4/3/02

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

Howard Soil Conservation District Date: 4/3/02

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division Date: 4/1/02

Chief, Division of Land Development Date: 4/16/02

Director Date: 7/12/02

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
B-1	7940 TAR BAY DRIVE (GUARD HOUSE)
B-2	7950 TAR BAY DRIVE (BUILDING)

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	PARCEL #
Maryland Food Center Authority	Section 2 Block B	B-1 & B-2

PLAT #	BLOCK	ZONE	TAX /ZONE MAP	ELECTION DISTRICT	CENSUS TRACT
CMP-9196	20	M-2	43	No. 6	6099.01

WATER CODE: B02 SEWER CODE: 3170000

WS WEBBER/SMITH Associates, Inc. DESIGN ENGINEERS

1857 William Penn Way, Suite 200
Lancaster, Pennsylvania 17601
Phone (717)-291-2266
Fax (717)-291-4401
Email: info@webbersmith.com

STATUS: P - PRELIMINARY, F - FINAL
3894-C504 - D - F

DRAWING NUMBER: 3894C504.dwg
DATE: 11/7/01 2:28:29 pm EST

THE INFORMATION CONTAINED ON THIS AND ANY RELATED DRAWING FILE SHALL NOT BE USED FOR ANY PURPOSE OTHER THAN THE CONVEYANCE OF INFORMATION FOR THE STATED CLIENT AND PROJECT WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ENGINEER/ARCHITECT.

REFERENCE FILES

mjca MARYLAND FOOD CENTER AUTHORITY

OWNER/DEVELOPER
MARYLAND FOOD CENTER AUTHORITY
7801 OCEANO AVENUE
JESSUP, MD 20794
410-379-5760

SYMBOL	DATE	REVISION	DRAWN	CHECKED
△	11/7/01	REVISED PER COUNTY COMMENTS	BLE	BEL
△	9/11/01	REVISED PER COUNTY COMMENTS	BLE	BEL
△	6/22/01	SUBMITTED FOR S.D.P. REVIEW	BLE	BEL

Storm Water Quality Details and Notes
MARYLAND FOOD CENTER AUTHORITY
CROSS DOCK/TRAILER PARKING
BLOCK B, PARCEL B-1, B-2
PREVIOUS FILE #s: 3467, 6575, 9196, F-82-120, F-90-81, VP-82-32, VP-82-65, VP-86-117
ELECTION DISTRICT: 6 HOWARD CO., MARYLAND SHEET 15 OF 15
SCALE: AS SHOWN DATE: JUNE 22, 2001
SDP-01-147
SDP-01-147