

GENERAL NOTES

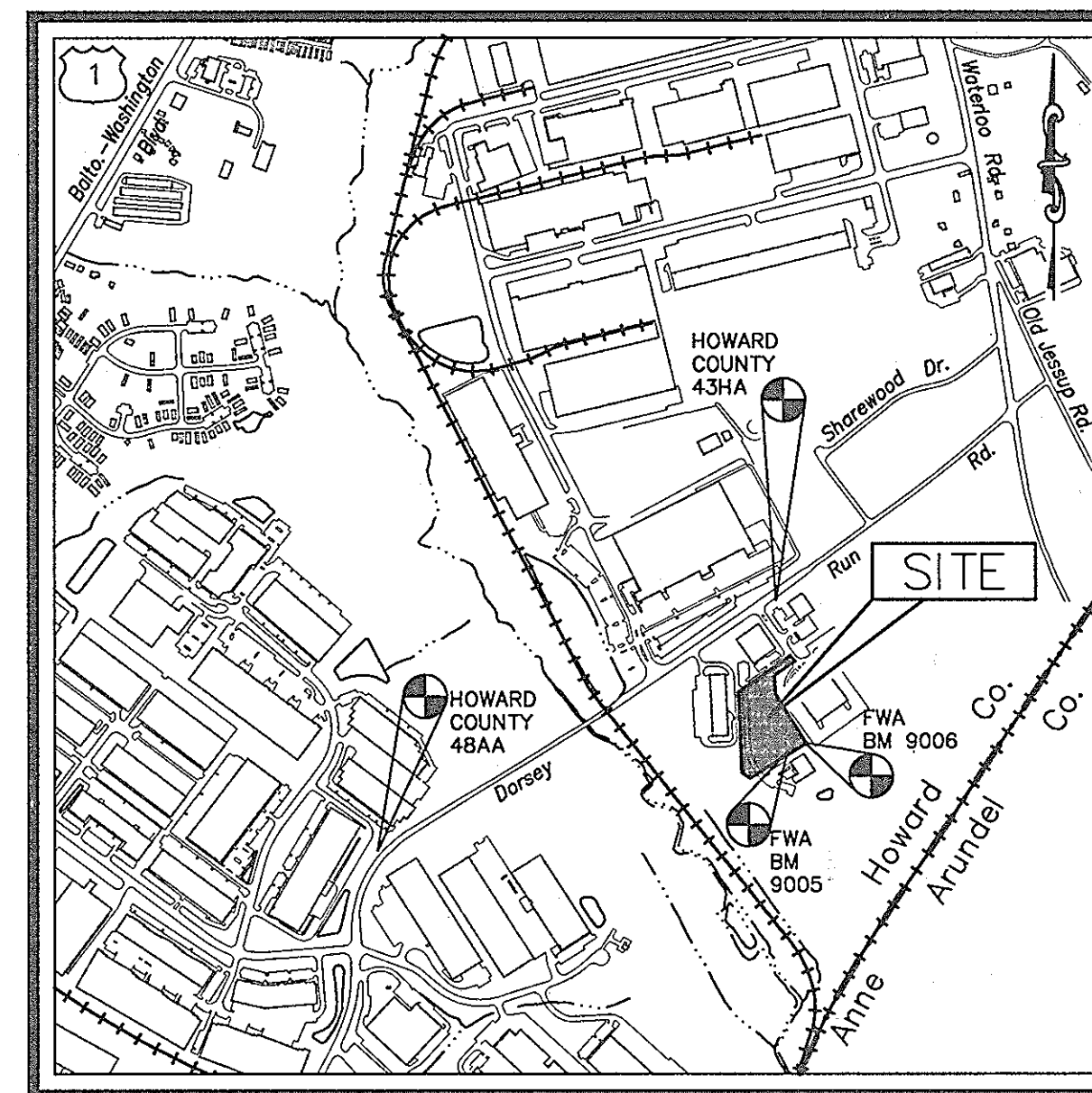
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE LOCATION AND ELEVATIONS OF THE EXISTING UTILITIES SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION, AND DEPTH OF EXISTING UTILITIES IN THE WORK AREA AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR NOTIFYING FREDERICK WARD ASSOC., INC. AT (410) 720-6900 IN THE EVENT OF ANY DISCREPANCIES ON THE PLAN OR IN THE RELATIONSHIP OF EXISTING GRADES WITH PROPOSED GRADES PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL NOTE THAT IN THE CASE OF A DISCREPANCY BETWEEN A SCALED DIMENSION AND A FIGURED DIMENSION SHOWN ON THE PLANS, THE FIGURED DIMENSION SHALL GOVERN.
- IT SHALL BE DISTINCTLY UNDERSTOOD THAT THE FAILURE TO MENTION SPECIFICALLY WORK THAT WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST 5 WORKING DAYS PRIOR TO BEGINNING WORK:
 HOWARD COUNTY CONSTRUCTION INSPECTION DIVISION (410) 313-1880
 MISS UTILITY (AT LEAST 48 HRS PRIOR TO ANY EXCAVATION): 1-800-257-7777
 C&P TELEPHONE CO 725-9976
 HOWARD COUNTY BUREAU OF UTILITIES 313-2388
 AT&T CABLE LOCATION DIVISION 393-3553
 BOKS 855-0123
 NOTIFY HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION AT LEAST 48 HOURS PRIOR TO START (313-1855)
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS, UNLESS STATED OTHERWISE.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THE PURPOSE OF THIS SITE DEVELOPMENT PLAN IS TO CONSTRUCT A WAREHOUSE/OFFICE AND RELATED SITE AMENITIES AND INFRASTRUCTURE.
- STORM WATER QUANTITY AND QUALITY IS PROVIDED FOR BY WAY OF AN ON-SITE FACILITY CONSTRUCTED UNDER SDP-01-126 AND UNDER THE OWNERSHIP AND MAINTENANCE RESPONSIBILITY OF W.F. UTZ CONSTRUCTION COMPANY.
- SECTION 404 OF THE MD DEPARTMENT OF NATURAL RESOURCES DOES NOT APPLY NOR ARE ANY WETLANDS PERMITS REQUIRED FOR THIS PROJECT.
- PUBLIC WATER AND SEWER WILL BE UTILIZED. A WATER METER SHALL BE LOCATED WITHIN THE BUILDING AND WILL MEET ALL HOWARD COUNTY STANDARDS.
- EXISTING WATER IS PUBLIC AND ARE SHOWN PER CONTRACT NO. 24-1885 D. EXISTING SEWER SHOWN ON SITE IS PUBLIC.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL SITE LIGHTING MUST BE DIRECTED AWAY FROM THE ADJACENT PUBLIC RIGHT-OF-WAY AND THE ADJACENT RESIDENTIAL PROPERTIES AND COMPLY WITH THE REQUIREMENTS OF ZONING SECTION 134.
- CONTRACTOR SHALL CONTACT THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING CONSTRUCTION INSPECTION DIVISION AT LEAST FIVE (5) WORKING DAYS IN ADVANCE OF THE COMMENCEMENT OF WORK @ (410) 313-1880.
- NO FLOODPLAIN IS LOCATED ON THE SITE.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM A FIELD RUN SURVEY WITH TWO FOOT CONTOUR INTERVALS PREPARED BY FREDERICK WARD ASSOCIATES, INC DATED APRIL, 2001.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATION SYSTEM. HOWARD COUNTY MONUMENTS NO. 2485 AND NO. 24AA WERE USED FOR THIS PROJECT.
- A TRAFFIC STUDY HAS BEEN PREPARED FOR THIS PROJECT.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$5,400.00.
- IN ACCORDANCE WITH SECTION 16.1200 OF THE HOWARD COUNTY CODE, THE FOREST CONSERVATION OBLIGATION OF 1.35 ACRES IS BEING ADDRESSED BY THE PAYMENT OF A FEE-IN-LIEU OF REFORESTATION.
- THIS PLAN IS GRANDFATHERED TO THE FOURTH EDITION OF THE SUBDIVISION REGULATIONS.

SITE INFORMATION:

- TOTAL SITE AREA: 150,020.64 S.F. = 3.444 AC.
- TOTAL NUMBER OF PARCELS: 1
(UNIT 1-B, PARCEL 5 IS A CONDOMINIUM UNIT AND NOT A FEE SIMPLE LOT).
- PRESENT ZONING: M-2 (MANUFACTURING HEAVY)
- ELECTION DISTRICT: 6
- TAX MAP 48, GRID 3, PARCEL 5, UNIT 1-B
- PARKING:
 A. REQUIRED (SECTION 133.D.5b):
 HYBRID INDUSTRIAL/OFFICE SPACE:
 2.5 SPACES PER 1000 S.F. = 50,040 S.F. / 2.5 = 126 SPACES
 B. TOTAL SPACES PROVIDED: 127 SPACES (INCLUDING 5 HANDICAP SPACES)
- PAVED AREA: EXISTING: 19,800 S.F. = 0.45 ACRES = 13%
 PROPOSED: 39,282.6 S.F. = 0.90 ACRES = 26%
 BUILDING COVERAGE: EXISTING: 0 S.F. = 0 ACRES = 0%
 PROPOSED: 50,040 S.F. = 1.15 ACRES = 33%
 TOTAL IMPERVIOUS AREA: EXISTING: 19,800 S.F. = 0.45 ACRES = 13%
 PROPOSED: 89,322.6 S.F. = 2.05 ACRES = 59%
- LANDSCAPE AREA: REQUIRED: 30,004 S.F. = 20%
 PROPOSED: 40,898 S.F. = 27%
- PROPOSED IMPROVEMENTS:
 CONSTRUCTION OF OFFICE/WAREHOUSE AND ASSOCIATED PARKING AND STORM DRAIN FACILITIES
- BUILDING USE: OFFICE/WAREHOUSE
- BUILDING COVERAGE: 50,040 S.F.
- OWNER AND LEASE HOLDER:
 WILLIAM F. UTZ CONSTRUCTION
 539 BENFIELD ROAD, SUITE 2
 SEVERNA PARK, MARYLAND 21146
 (410) 757-3258
 (ADJOINING UNITS ARE LABELED TO INDICATE THE LEASE HOLDER/OCCUPANT OF THOSE UNITS.)
- SITE ADDRESS:
 8017 DORSEY RUN ROAD
 JESSUP, MD 20794
- A FOREST CONSERVATION/DELINEATION PLAN HAS BEEN SUBMITTED AS PART OF THE SITE DEVELOPMENT PLAN SUBMITTAL.
- TOPOGRAPHIC SURVEY PERFORMED BY FREDERICK WARD ASSOC., INC. IN APRIL, 2001.
- UNITS WERE CREATED BY CONDOMINIUM PLAT: BOOK 80, PAGE 24 AND APPROVED AUGUST 24, 1988. BOUNDARY LINES SHOWN ON THIS PLAN ARE NOT ACTUAL LOT LINES.
- LIMIT OF DISTURBED AREA: 141,385.64 S.F.

SITE DEVELOPMENT PLAN DORSEY RUN PARK

BUILDING #5 UNIT 1-B
JESSUP, MD 20794



(SOURCE: HOWARD COUNTY TAX MAP NO. 48)

VICINITY MAP
SCALE: 1" = 1000'

BENCHMARKS

- FWA BENCHMARK #9006 REBAR W/TRaverse CAP SET N539,940.6770 E1,374,005.1740 ELEV. 205.60 (NGVD 1929')
- FWA BENCHMARK #9005 REBAR W/TRaverse CAP SET N539,889.7470 E1,373,902.3190 ELEV. 199.08 (NGVD 1929')

PRIMARY CONTROL

BENCHMARK #9101 (FWA)
STATION DESIGNATION HOWARD COUNTY #48AA

STATION IS LOCATED ALONG DORSEY RUN ROAD NEAR A FENCED LOT - CONTEL ASC SATELLITE DISHES. MONUMENT IS A TYPICAL HOWARD COUNTY CONTROL MONUMENT

NORTH 539,314.900'
EAST 1,371,539.251'
ELEVATION 240.809' (NGVD 1929)

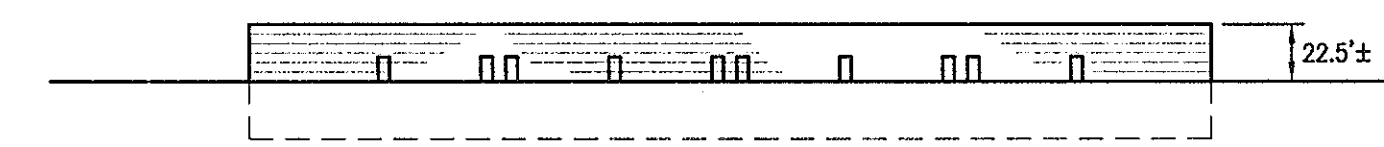
BENCHMARK #9100 (FWA)
STATION DESIGNATION HOWARD COUNTY #43HA

STATION IS LOCATED ALONG DORSEY HALL ROAD AT THE INTERSECTION OF DIVERSIFIED. MONUMENT IS A TYPICAL HOWARD COUNTY MONUMENT.

NORTH 540,761.716'
EAST 1,373,837.365'
ELEVATION 224.907' (NGVD 1929)

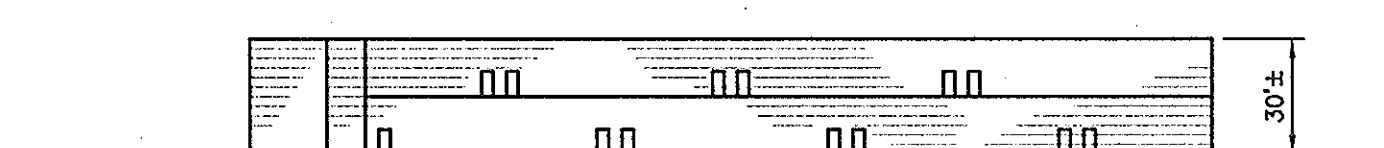
SHEET INDEX

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FOREST CONSERVATION PLAN	12 OF 12



PROPOSED BUILDING FRONT ELEVATION VIEW
SCALE: 1" = 200'

MEAN HEIGHT
 $\frac{22.5 + 30}{2} = 26.25'$



PROPOSED BUILDING REAR ELEVATION VIEW
SCALE: 1" = 200'

LEGEND

- GUY WIRE
- SIGN
- POWER POLE
- LIGHT POLE
- FIRE HYDRANT
- MONITOR WELL
- WATER VALVE
- GAS VALVE
- SANITARY SEWER
- TRAVERSE POINT
- SANITARY CLEAN OUT
- WELL
- MAILBOX
- DECIDUOUS TREE
- EVERGREEN TREE
- WATERLINE
- STORM DRAIN
- UNDERGROUND GAS
- UNDERGROUND ELECTRIC
- EXISTING TO REMAIN
- TO BE REMOVED

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

N/A

COUNTY HEALTH OFFICER _____ DATE _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 8/21/02
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 8/23/02
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 8/23/02
DIRECTOR DATE

ADDRESS CHART

LOT/PARCEL #	STREET ADDRESS
PARCEL #5 UNIT 1-B	8017 DORSEY RUN ROAD, JESSUP, MD 20794

PERMIT INFORMATION CHART

Condominium Sub. Name	Section/Area	Lot/Parcel No.
DORSEY RUN PARK	N/A	UNIT 1-B PARCEL 5
Plat # or L.P.	Grid #	Zoning
CMF BOOK 80, PAGE 24	3	M-2
Tax Map No.	Elect Dist	Census Tract
48	6	6084
Water Code	Sewer Code	
B02	302000	

For Revision #4 and
For Revision #5 only

Professional Engineer
State of Maryland
No. 22742
08/21/02

Robert L. Vassar, Inc.

DATE	NUMBER	REVISION DESCRIPTIONS
5-3-06	4	RELOCATE HC SPACES TO ACCOMMODATE NEW DOOR AND LOADING DOOR LOCATIONS
6-27-06	5	RELOCATE STORM DRAIN, ADJUST STONE DIAPHRAGM, ADJUST PARKING TO ACCOMMODATE NEW DOOR LOCATIONS & NEW LOADING BAY

TITLE SHEET

**DORSEY RUN PARK
BUILDING #5 UNIT 1-B**

TAX MAP 48 GRID 3
6TH ELECTION DISTRICT

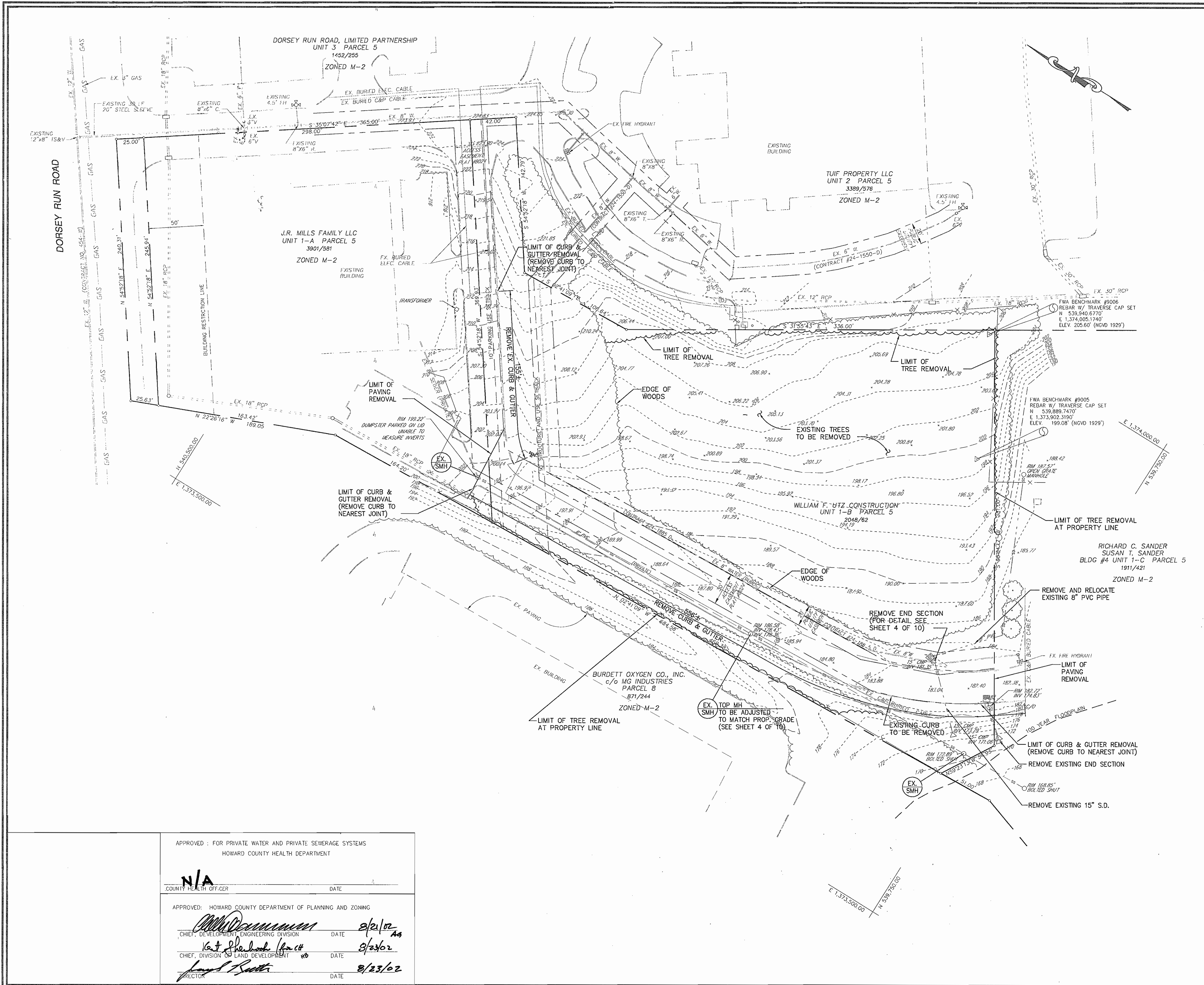
PARCEL 5 UNIT 1-B
HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
 ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
 ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226
 SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: TFW/MR
 DRAWN BY: KO
 CHECKED BY: MR
 DATE: DECEMBER, 2001
 SCALE: (AS SHOWN)
 W.O. NO.: 2017086.00

1 SHEET OF 12

MUHAMMAD M. RAZAVI, PE No. 22742



DEMOLITION NOTES:

1. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SITE AND VERIFY EXISTING SITE CONDITIONS TO HIS SATISFACTION.
2. CONTRACTOR TO MEET WITH DEVELOPER ON JOB SITE TO IDENTIFY EQUIPMENT, SIGNS AND ITEMS TO BE REMOVED OR RETAINED PRIOR TO THE START OF CONSTRUCTION.
3. CONTRACTOR MUST ADHERE TO ALL SAFETY REGULATIONS GIVEN BY D.S.H.A. AND HOWARD COUNTY.
4. ALL DEMOLISHED MATERIALS TO BE REMOVED TO AN APPROVED LOCATION.
5. ALL UTILITIES AND STRUCTURES WITHIN PUBLIC RIGHTS OF WAY SHALL REMAIN.
6. ALL UTILITIES DAMAGED DURING DEMOLITION AND CONSTRUCTION SHALL BE REPAIRED AND/OR REPLACED IN KIND BY THE CONTRACTOR AT HIS OWN EXPENSE.
7. TOPOGRAPHY SURVEY INFORMATION SHOWN ON THIS PLAN IS FROM A SURVEY PREPARED BY FREDERICK WARD ASSOC., INC. DATED 1/7/2000. THE BOUNDARY INFORMATION SHOWN ON THIS PLAN IS TAKEN FROM SUBDIVISION PLAT BY JOYCE ENGINEERING CORPORATION.
8. REFER TO DRAWING SHEET 4 OF 10 FOR GENERAL NOTES PERTAINING TO UTILITIES.
9. REFER TO SHEETS 5 AND 6 OF 10 FOR ALL REQUIRED SEDIMENT CONTROL MEASURES.

UTILITY NOTES:

UTILITIES AND OTHER OBSTRUCTIONS AS SHOWN HEREON HAVE BEEN LOCATED BY ACTUAL FIELD MEASUREMENT, SUPPLEMENTED BY INFORMATION OBTAINED FROM THE VARIOUS AGENCIES INVOLVED. HOWEVER, WE DO NOT GUARANTEE THE ACCURACY NOR THE COMPLETENESS OF THE INFORMATION RECEIVED. IF CONSTRUCTION ON THIS SITE TAKES PLACE, THE CONTRACTOR MUST VERIFY ALL SUCH INFORMATION TO HIS OWN SATISFACTION AND MUST NOTIFY THE COMPANIES INVOLVED PRIOR TO THE START OF CONSTRUCTION.

LOCATIONS OF INDIVIDUAL ELECTRIC, TELEPHONE, GAS, WATER AND SANITARY SLEWER SERVICE CONNECTIONS, AS SHOWN HEREON, ARE UNCERTAIN. THE LOCATIONS OF SAID CONNECTIONS SHOWN ARE BASED ON PROPOSED SITE PLANS OR AN ESTIMATION OF POSSIBLE LOCATION. SHOULD EXCAVATION BECOME NECESSARY FOR MAINTENANCE OR REPAIR OF THESE LINES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCURATELY DETERMINE THE LOCATION OF THESE LINES BEFORE COMMENCING WORK.

GENERAL NOTES:

1. THE BOUNDARY SHOWN HEREON IS FOR ORIENTATION PURPOSES ONLY, AND DOES NOT CONSTITUTE A BOUNDARY SURVEY.
2. CONTRACTOR SHALL MAINTAIN ACCESS TO DORSEY RUN ROAD FOR BUILDING #4, UNIT 1 AT ALL TIMES DURING CONSTRUCTION.

OWNER/DEVELOPER

WILLIAM F. UTZ CONSTRUCTION
539 BENFIELD ROAD, SUITE 2
SEVERNA PARK, MARYLAND 21146
(410) 757-3256

DATE	NUMBER	REVISION DESCRIPTIONS

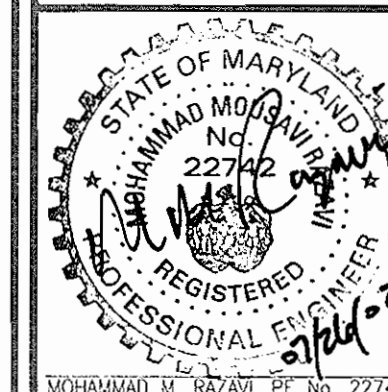
EXISTING CONDITIONS AND DEMOLITION PLAN

**DORSEY RUN PARK
BUILDING #5 UNIT 1-B**

TAX MAP 48 GRID 3 PARCEL 5 UNIT 1-B
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
7125 Riverwood Drive Columbia, Maryland 21046-2354
ENGINEERS ARCHITECTS SURVEYORS
Phone: 410-290-9550 Fax: 410-720-6226
Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: TFW/MR
DRAWN BY: KO
CHECKED BY: MR
DATE: DECEMBER, 2001
SCALE: 1" = 40'
W.O. NO.: 2017086.00

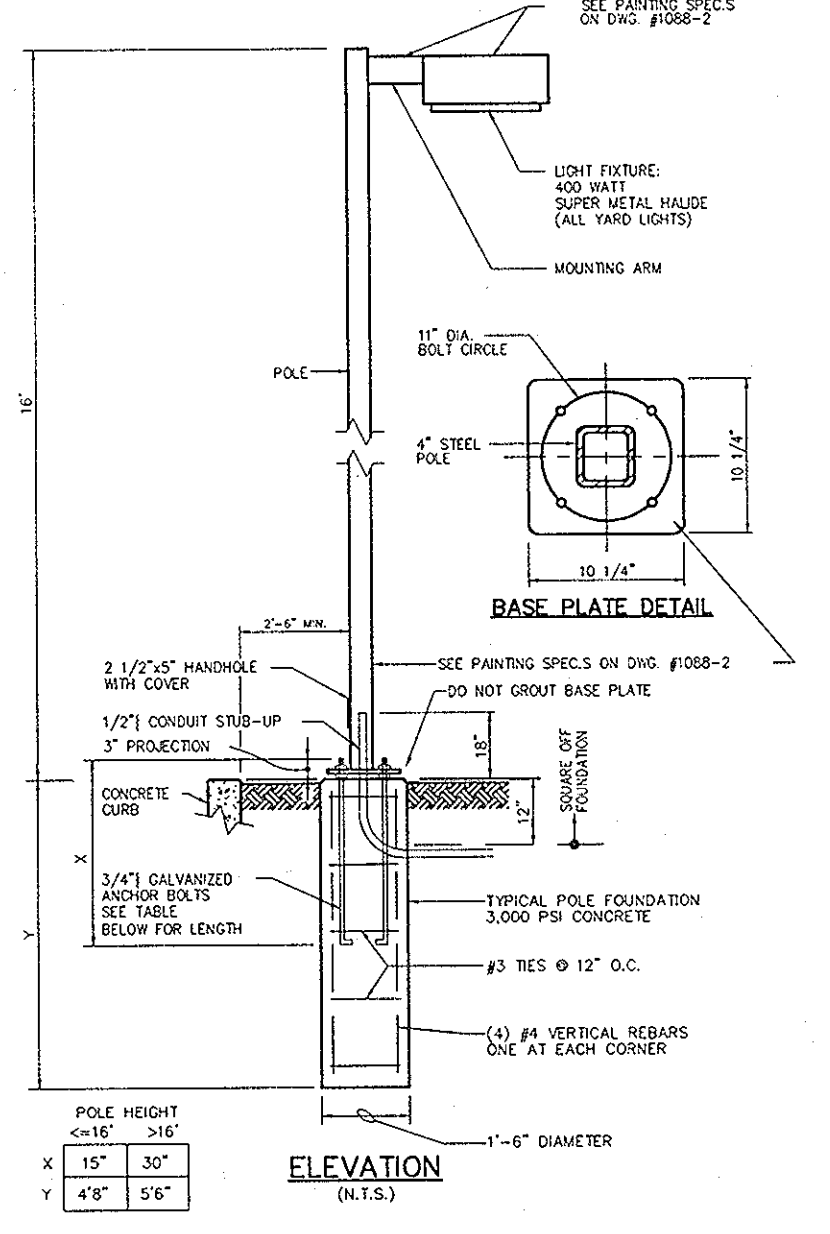
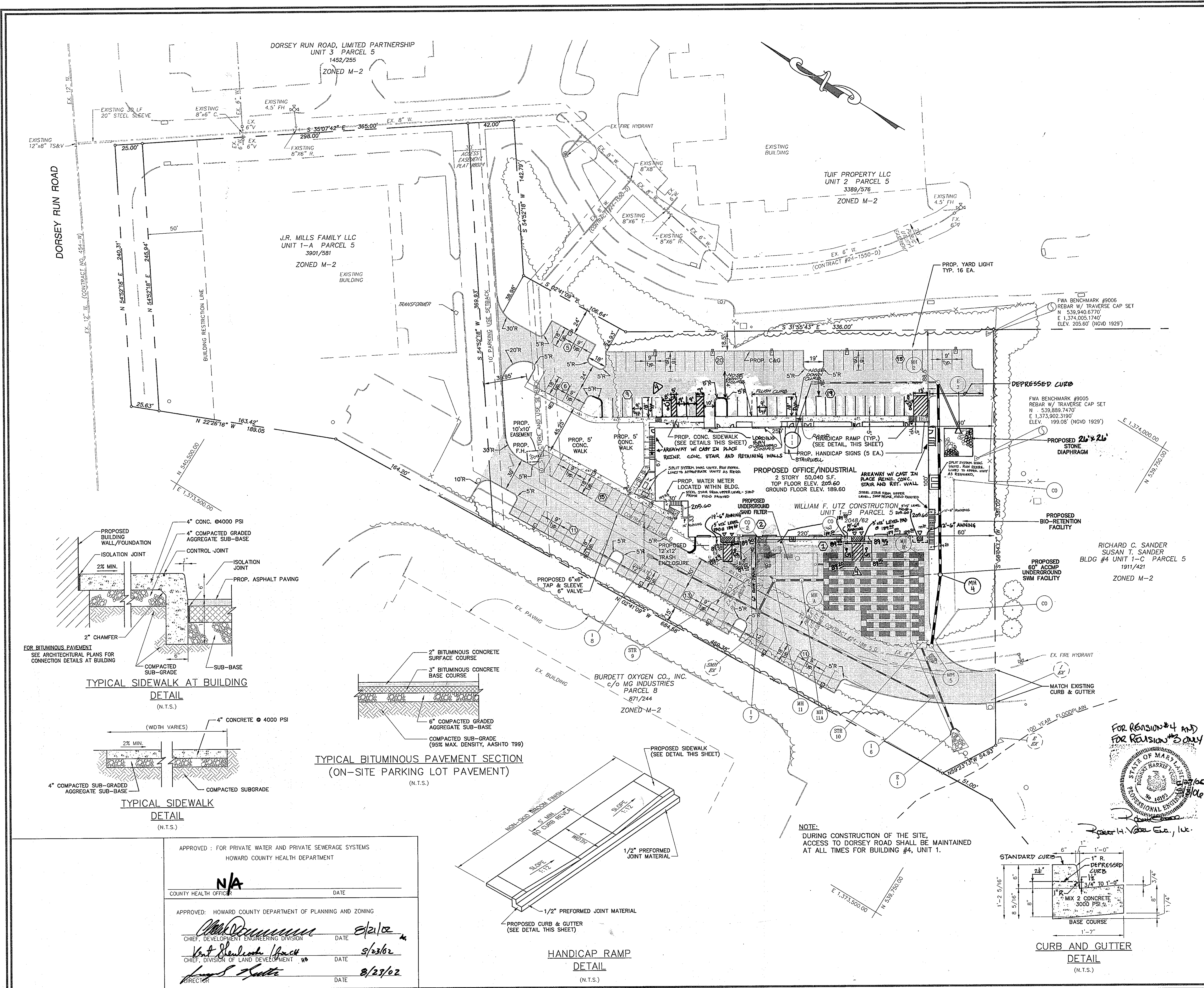


APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

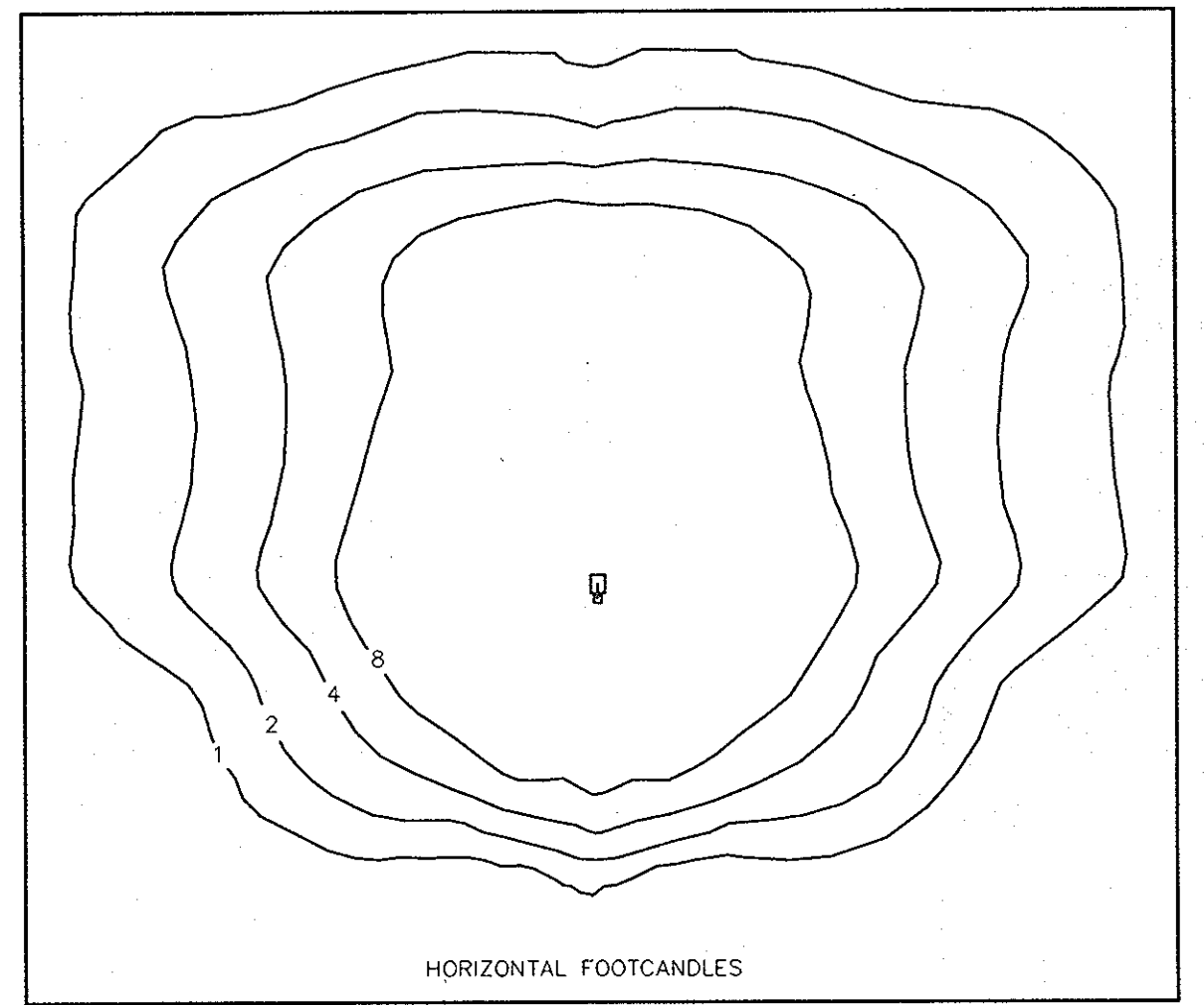
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 8/21/02
CHIEF, DIVISION OF LAND DEVELOPMENT DATE 8/23/02
DIRECTOR DATE 8/23/02



TYPICAL YARD LIGHT DETAIL
 LeSABRE III BY WHITEWAY
 FURNISHED BY OWNER, INSTALLED BY G.C. LIGHT FIXTURE, MOUNTING ARM, POLE, ANCHOR BOLTS, NUTS, AND WASHERS BY OWNER. ALL OTHER MATERIALS FURNISHED AND INSTALLED BY G.C.



STANDARD YARD LIGHT ON 22' POLE
 CITATION III BY WHITEWAY
 SCALE: 1" = 20'

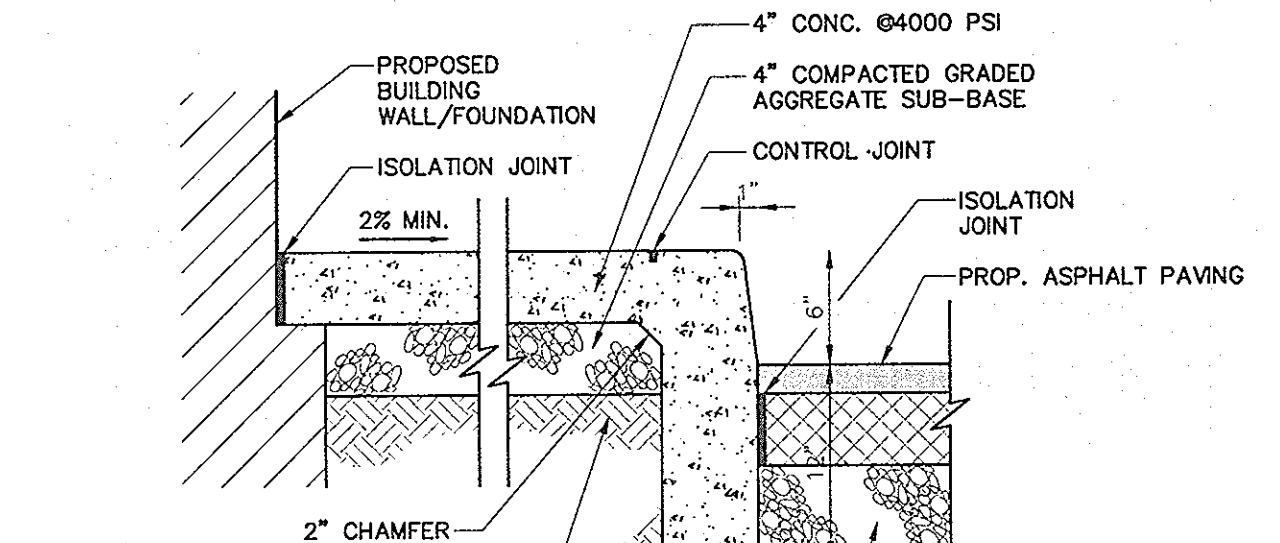
OWNER/DEVELOPER
 WILLIAM F. UTZ CONSTRUCTION
 530 BENFIELD ROAD, SUITE 2
 SEVERNA PARK, MARYLAND 21146

DATE	NUMBER	REVISION DESCRIPTIONS
3/21/2012	5	ADD OVERHEAD DOORS TO BUILDING, ADD STAIRWELL, ADD REAR SIDEWALK FROM BUILDING TO CURB
05-03-06	4	RELOCATE HC SPACES TO ACCOMMODATE NEW DOOR AND LOADING DOOR LOCATIONS
11-11-02	1	ADDITION OF ENTRANCES, PARKING, AREAWAYS, AWNINGS, AND ROOF DRAINS
8-26-03	2	RAISE TOP FLOOR ELEVATION TO 205.60, CHANGE HC AND PARKING LOT ELEVATIONS TO CONFORM WITH BUILDING
6-27-05	3	RELOCATE STORM DRAIN, RELOCATE STAIR STAIRWELL, ADD STAIR PLATFORM TO ACCOMMODATE NEW DOOR LOCATIONS & NEW LOADING DOOR

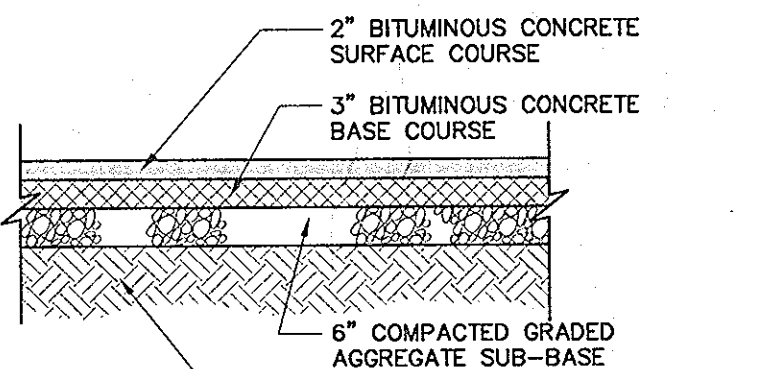
SITE LAYOUT PLAN
 DORSEY RUN PARK
 BUILDING #5 UNIT 1-B
 TAX MAP 48 GRID 3 PARCEL 5 UNIT 1-B
 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
 ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
 ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226
 SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

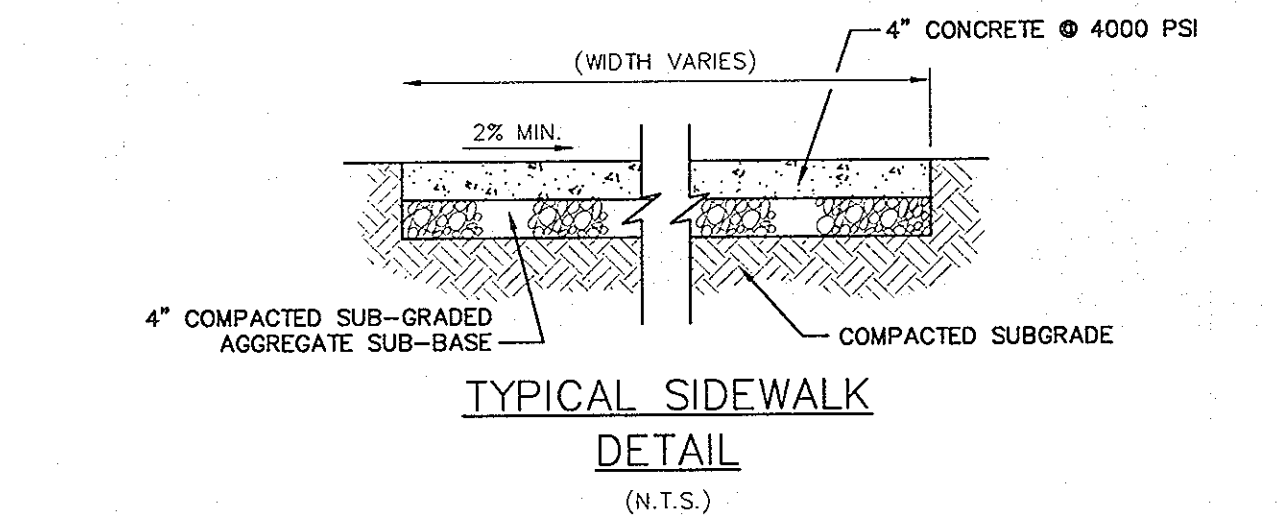
DESIGN BY: TEW/MR
 DRAWN BY: KD
 CHECKED BY: MR
 DATE: DECEMBER, 2001
 SCALE: 1" = 40'
 W.O. NO.: 2017086.00
 3 SHEET OF 12



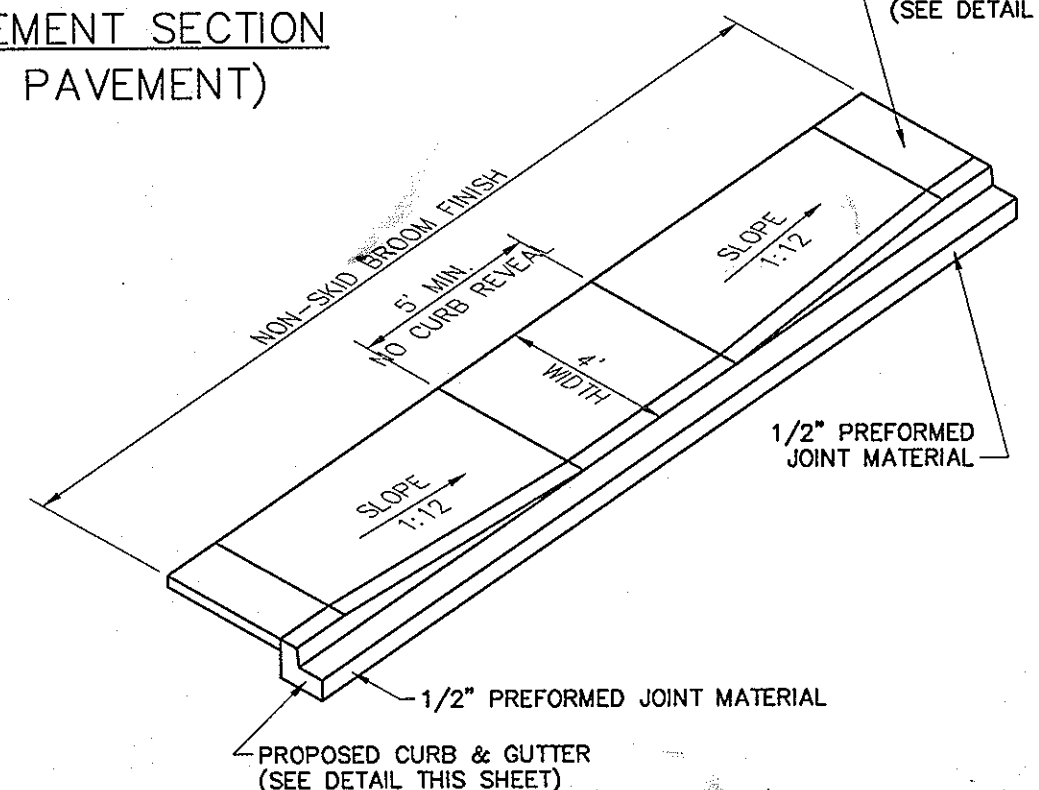
TYPICAL SIDEWALK AT BUILDING
 DETAIL
 (N.T.S.)



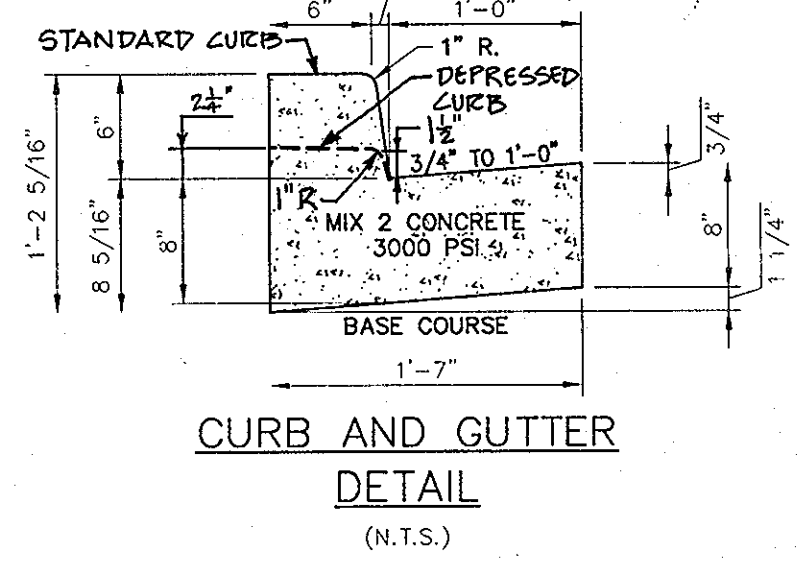
TYPICAL BITUMINOUS PAVEMENT SECTION
 (ON-SITE PARKING LOT PAVEMENT)
 (N.T.S.)



TYPICAL SIDEWALK
 DETAIL
 (N.T.S.)



HANDICAP RAMP
 DETAIL
 (N.T.S.)



CURB AND GUTTER
 DETAIL
 (N.T.S.)

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER: N/A DATE: _____
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION: [Signature] DATE: 8/21/02
 CHIEF, DIVISION OF LAND DEVELOPMENT: [Signature] DATE: 5/23/02
 DIRECTOR: [Signature] DATE: 8/23/02

NOTE:
 DURING CONSTRUCTION OF THE SITE,
 ACCESS TO DORSEY ROAD SHALL BE MAINTAINED
 AT ALL TIMES FOR BUILDING #4, UNIT 1.

FOR REVISION #4 AND
 FOR REVISION #3 ONLY
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF MARYLAND
 No. 10127
 10/27/05
 Robert H. Veeva, Inc.

H:\PROJECTS\2017086\ENGR\DWG\8021503.dwg Thu Jul 25 08:21:30 2002 CLV

SEQUENCE OF CONSTRUCTION

- OBTAIN HOWARD COUNTY GRADING PERMIT. (WEEK 1)
- NOTIFY HOWARD COUNTY AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION. (WEEK 1)
- CONDUCT A PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR PRIOR TO ANY LAND DISTURBANCE. (WEEK 1)
- INSTALL ALL SILT FENCE AS INDICATED ON PLANS. (WEEK 2)
- INSTALL STABILIZED CONSTRUCTION ENTRANCE WITH MOUNTABLE BERM. (WEEK 2)
- SEED AND STOCKPILE TOPSOIL. STABILIZE STOCKPILE WITH SEED AND MULCH. (WEEK 3)
- ROUGH GRADE SITE. (WEEK 3)
- INSTALL STORM DRAIN UTILITIES AND STORMWATER MANAGEMENT FACILITY. STABILIZE INLET WITH INLET PROTECTION, IMMEDIATELY UPON COMPLETION OF STORM DRAIN INSTALLATION. SUMP PITS ALONG WITH PUMPS, FOR DEWATERING, ARE TO BE USED DURING CONSTRUCTION OF 60" ACCMP UNDERGROUND STORMWATER DETENTION SYSTEM. (WEEK 4)
- COMPLETE INSTALLATION OF STORM DRAIN/SWM FACILITY SYSTEM AND REMAINING ON-SITE UTILITIES. SWM STORAGE PIPES SHALL BE BLOCKED TO PREVENT SEDIMENT FROM ENTERING THE SYSTEM. (WEEK 4)
- INSTALL CURB AND GUTTER. (WEEK 6)
- BEGIN BUILDING CONSTRUCTION. (WEEK 6)
- COMPLETE BUILDING CONSTRUCTION. (WEEK 26)
- INSTALL PAVING BASE COURSE. REMOVE INLET PROTECTION PER THE SEDIMENT CONTROL INSPECTOR AS WORK PROGRESSES. (WEEK 27)
- INSTALL PAVING SURFACE COURSE. (WEEK 28)
- FINE GRADE AND STABILIZE REMAINING SITE. INSTALL LANDSCAPING. (WEEK 29)
- CLEAN AND FLUSH OUT STORM DRAIN SYSTEM. DISPOSE OF SEDIMENT LADEN MATERIAL CLEANED OUT OF STORM DRAIN IN A MANNER APPROVED BY THE SEDIMENT CONTROL INSPECTOR. REMOVE STORAGE PIPES BLOCKAGE. (WEEK 30)
- REMOVE ALL SEDIMENT CONTROL MEASURES AFTER RECEIVING APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR. (WEEK 30)

ESTIMATE OF SEDIMENT CONTROL QUANTITIES

SUPER SILT FENCE:	1110 L.F.
SILT FENCE:	0 L.F.
STABILIZED CONSTRUCTION ENTRANCE:	2 EA.
INLET PROTECTION:	3 EA.

NOTE: THESE QUANTITIES ARE FOR SEDIMENT CONTROL USE ONLY. CONTRACTOR SHALL NOT RELY ON THESE QUANTITIES FOR ESTIMATING AND BIDDING PURPOSES.

SITE ANALYSIS DATA

- TOTAL SITE AREA: 150,020.64 SF. = 3.44 AC.±
- TOTAL DISTURBED AREA: 141,385.64 SF. = 3.24 AC.±
- TOTAL IMPERVIOUS AREA: 109,122.84 SF. = 2.50 AC.±
- AREA TO BE VEGETATIVELY STABILIZED: 40,898.57 SF. = 0.93 AC.±
- EARTH WORK:
 - CUT = 7990 CY±
 - FILL = 4279 CY±
 - TOPSOIL = 2340 CY±

NOTE: THESE QUANTITIES ARE FOR SEDIMENT CONTROL USE ONLY. CONTRACTOR SHALL NOT RELY ON THESE QUANTITIES FOR ESTIMATING AND BIDDING PURPOSES.

OWNER/DEVELOPER

WILLIAM F. UTZ CONSTRUCTION
539 BENFIELD ROAD, SUITE 2
SEVERNA PARK, MARYLAND 21146
(410) 757-3258

DATE	NUMBER	REVISION DESCRIPTIONS
05-03-06	4	RELOCATE WC STAGES TO ACCOMMODATE NEW DOOR AND LOADING DOOR LOCATIONS
11-11-02	1	ADDITION OF ENTRANCES, PARKING, AREAWAYS, AWNINGS, AND ROOF DRAINS
8-26-09	2	RAISE TOP FLOOR ELEVATION TO 205.60, CHANGE HC AND PARKING LOT ELEVATIONS TO CONFORM WITH BUILDING RELOCATIONS; ADJUST STONE DIAPHRAGM, ADJUST PARKING TO ACCOMMODATE NEW DOOR LOCATIONS & NEW LOADING BAY
6-24-05	3	

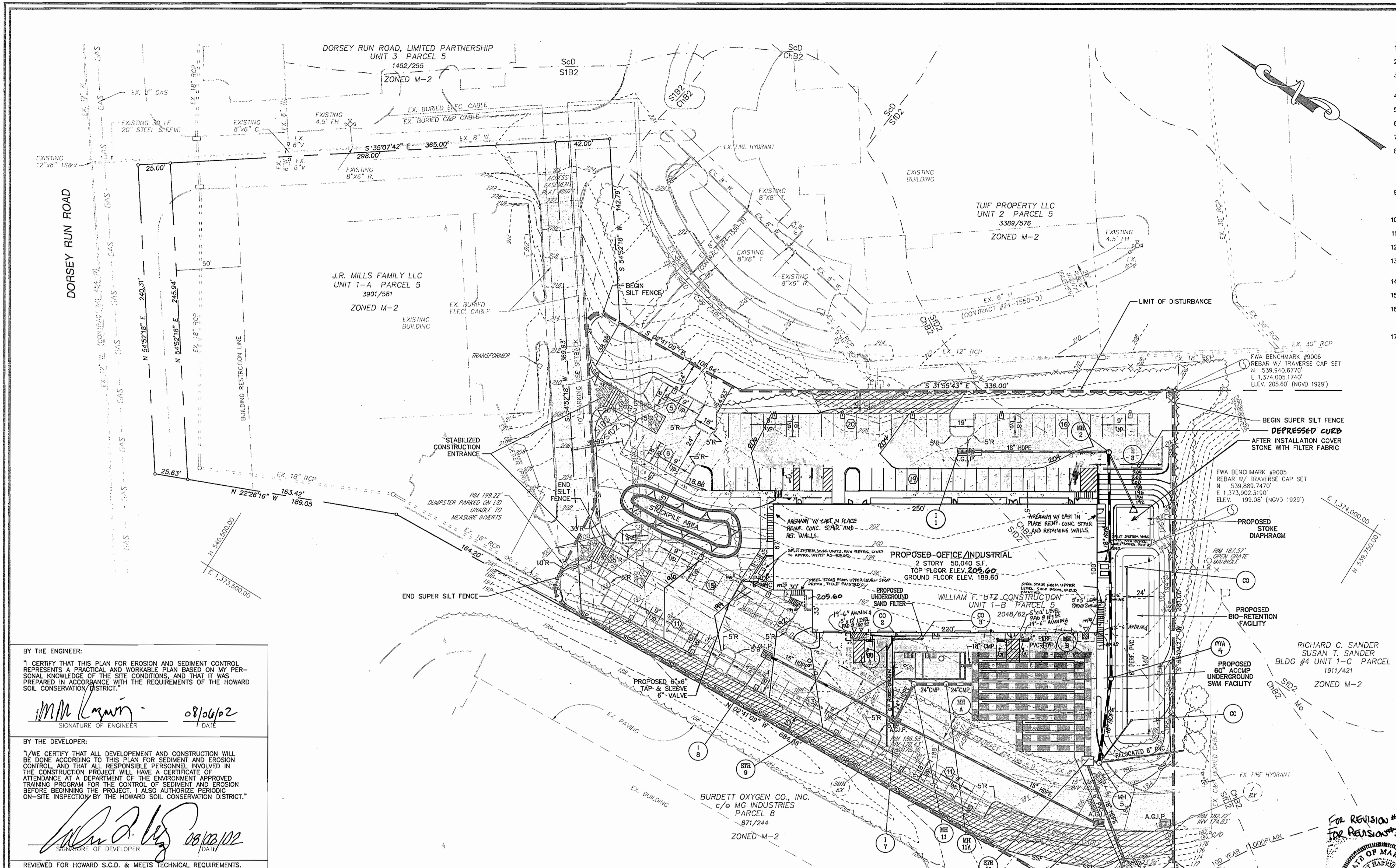
SEDIMENT AND EROSION CONTROL PLAN

DORSEY RUN PARK BUILDING #5 UNIT 1-B

TAX MAP 48 GRID 3 PARCEL 5 UNIT 1-B
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6228
SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: IFW/mr
DRAWN BY: KO
CHECKED BY: MR
DATE: DECEMBER, 2001
SCALE: 1" = 40'
W.O. NO.: 2017086.00



BY THE ENGINEER:
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
M.M. Logan 08/06/02
SIGNATURE OF ENGINEER DATE

BY THE DEVELOPER:
I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
William F. Utz 08/06/02
SIGNATURE OF DEVELOPER DATE

REVIEWED FOR HOWARD S.C.D. & MEETS TECHNICAL REQUIREMENTS.
Jim Myers 8/19/02
SUPERVISOR OF NATURAL RESOURCES & CONSERVATION SERVICES DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
John R. Robinson 8/19/02
HOWARD S.C.D. DATE

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
N/A
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Michael P. ... 08/21/02
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
Ken ... 8/23/02
CHIEF, DIVISION OF LAND DEVELOPMENT DATE
James ... 8/23/02
DIRECTOR DATE

NOTES:
1. ALL EXCAVATED MATERIAL SHALL BE DEPOSITED OFFSITE AT AN APPROVED LOCATION.
2. TIMES SHOWN ARE APPROXIMATE, AND FOR SEDIMENT CONTROL USE ONLY. THE SEQUENCE MAY BE MODIFIED AFTER RECEIVING PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, AND AS LONG AS THE INTENTION OF THIS PLAN IS NOT COMPROMISED. IT IS THE INTENTION OF THIS PLAN THAT CONSTRUCTION BE CARRIED OUT IN AN EXPEDITIOUS AND SAFE MANNER SUCH AS TO MINIMIZE DISRUPTION OF BUSINESS WHILE MAINTAINING PROPER SEDIMENT CONTROL MEASURES.

SOILS CLASSIFICATION

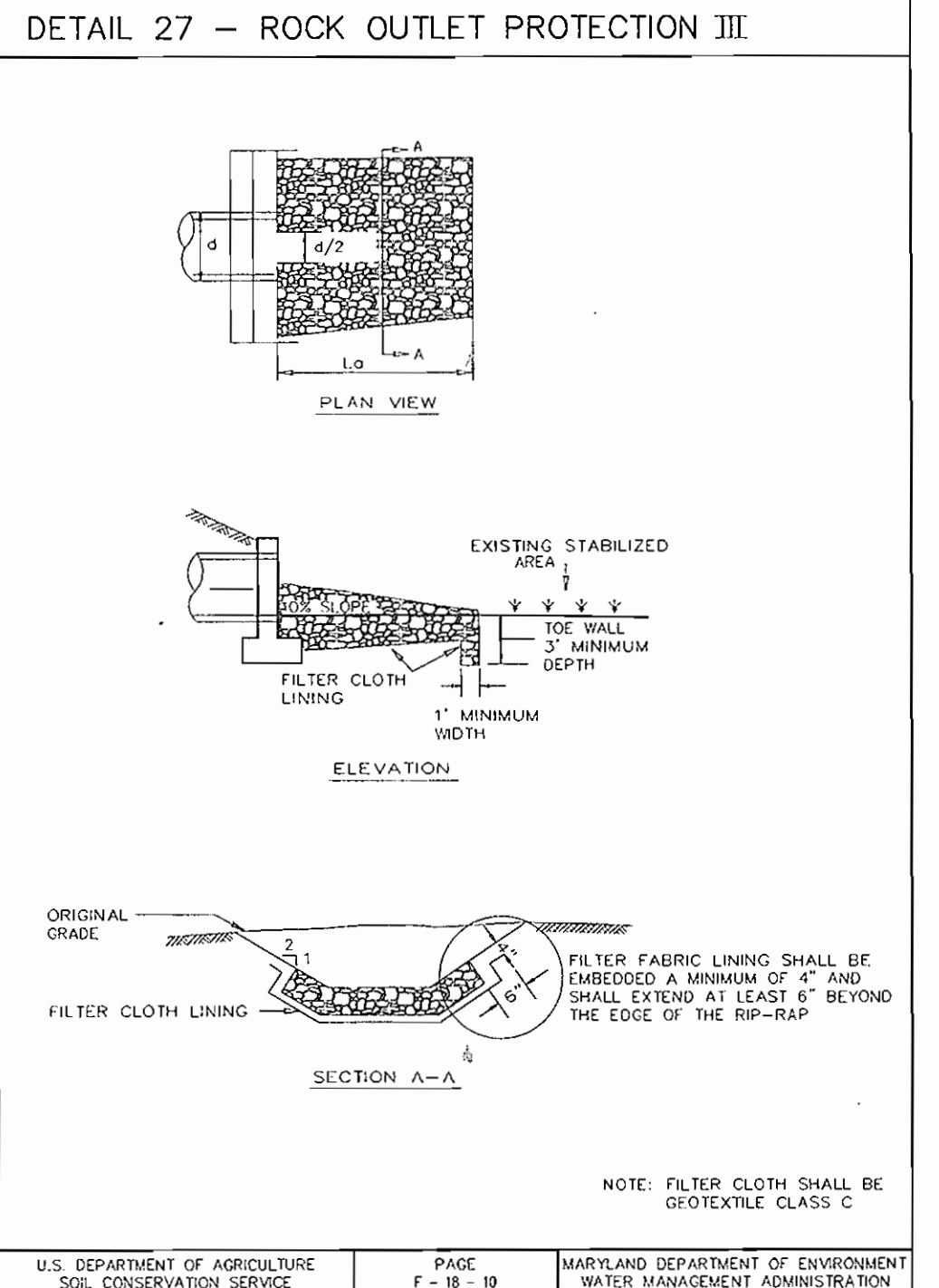
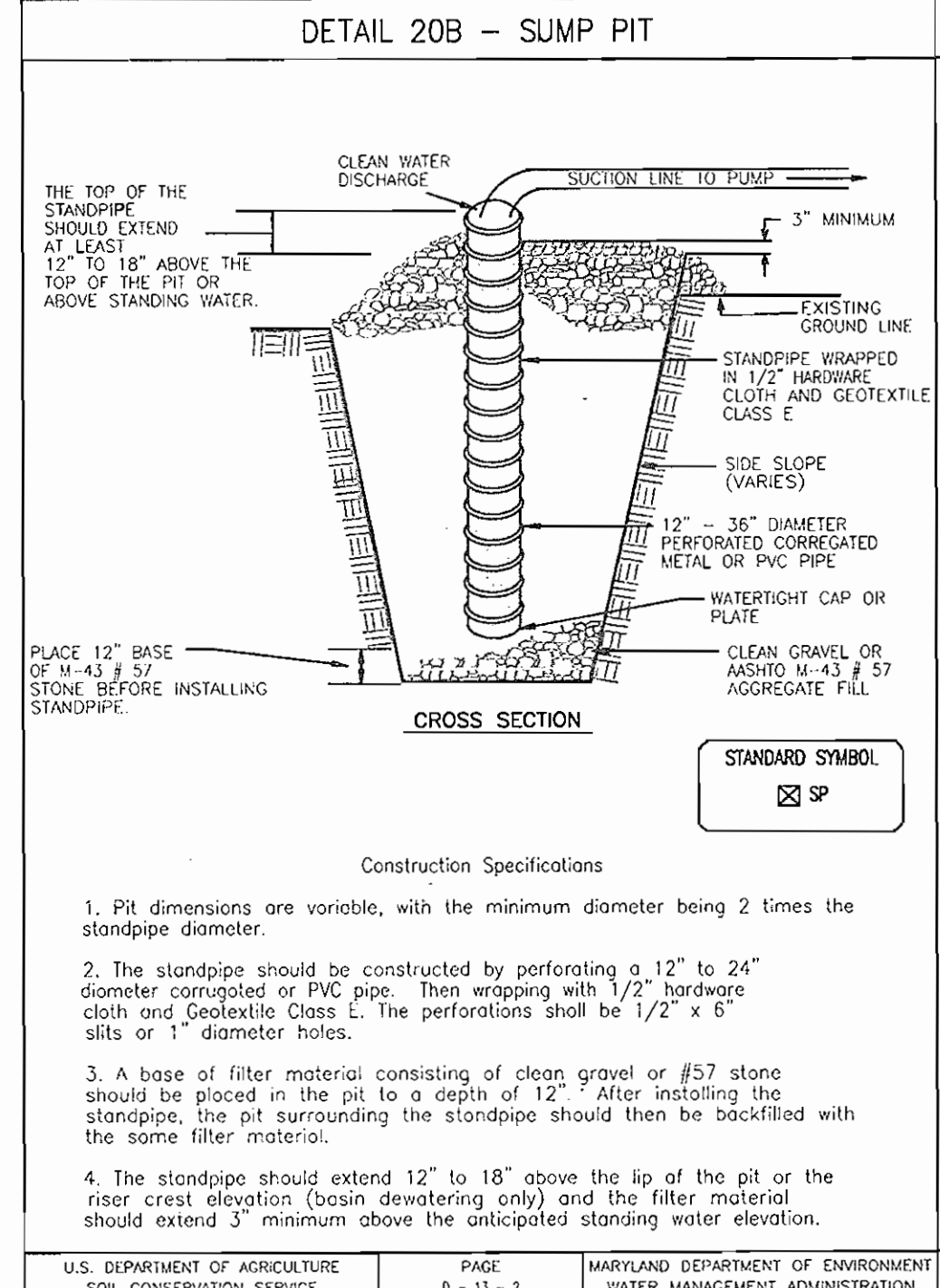
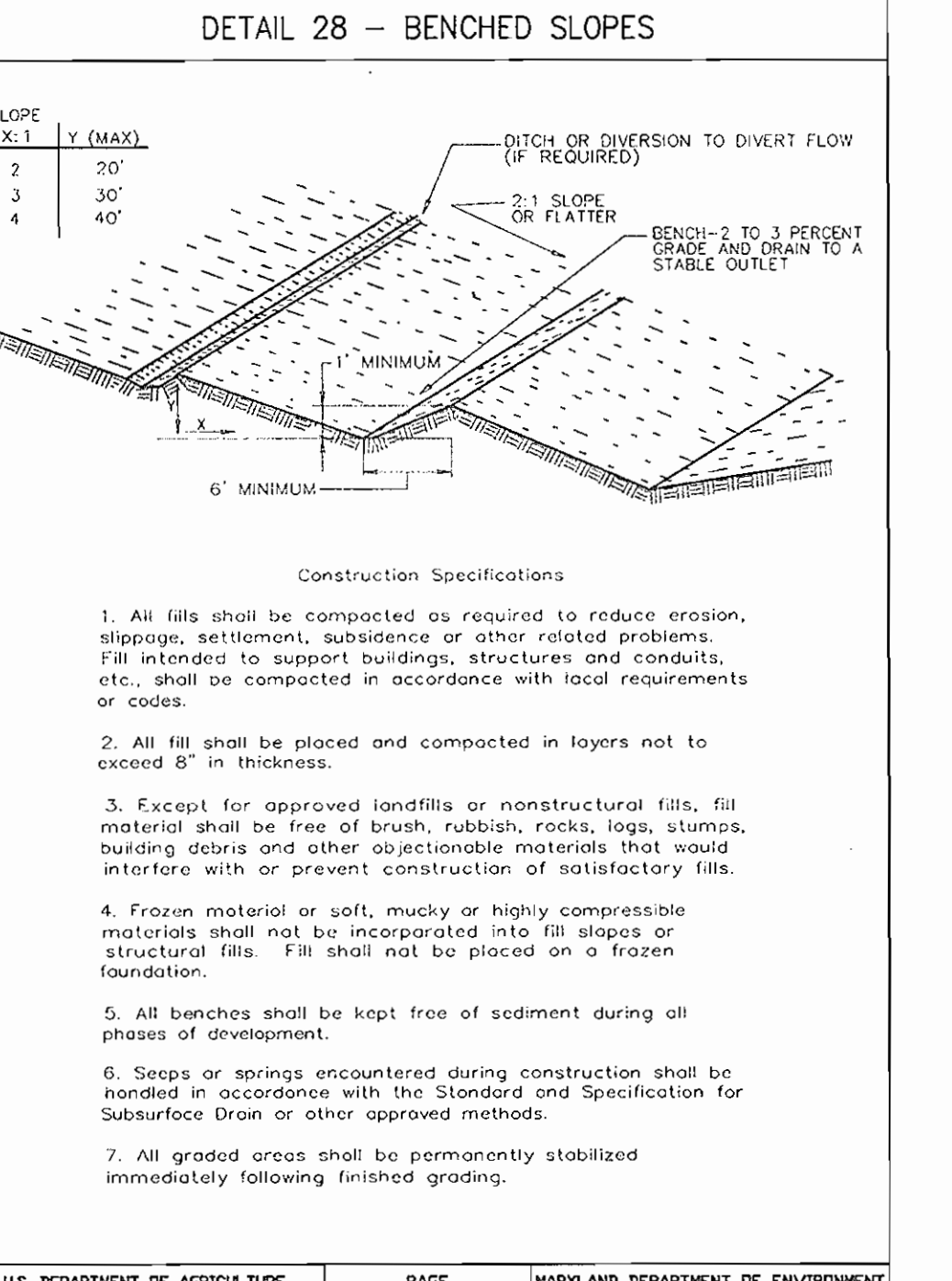
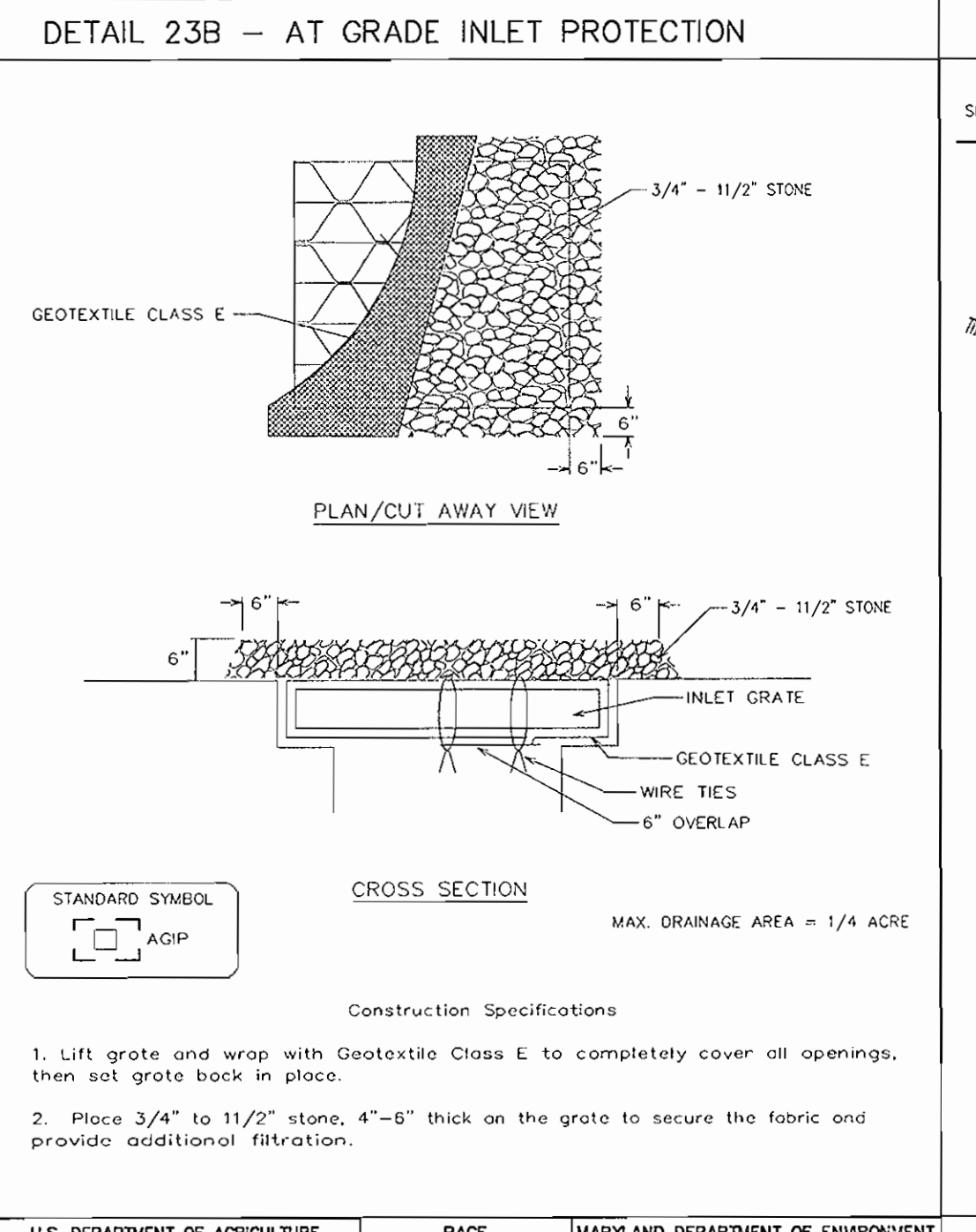
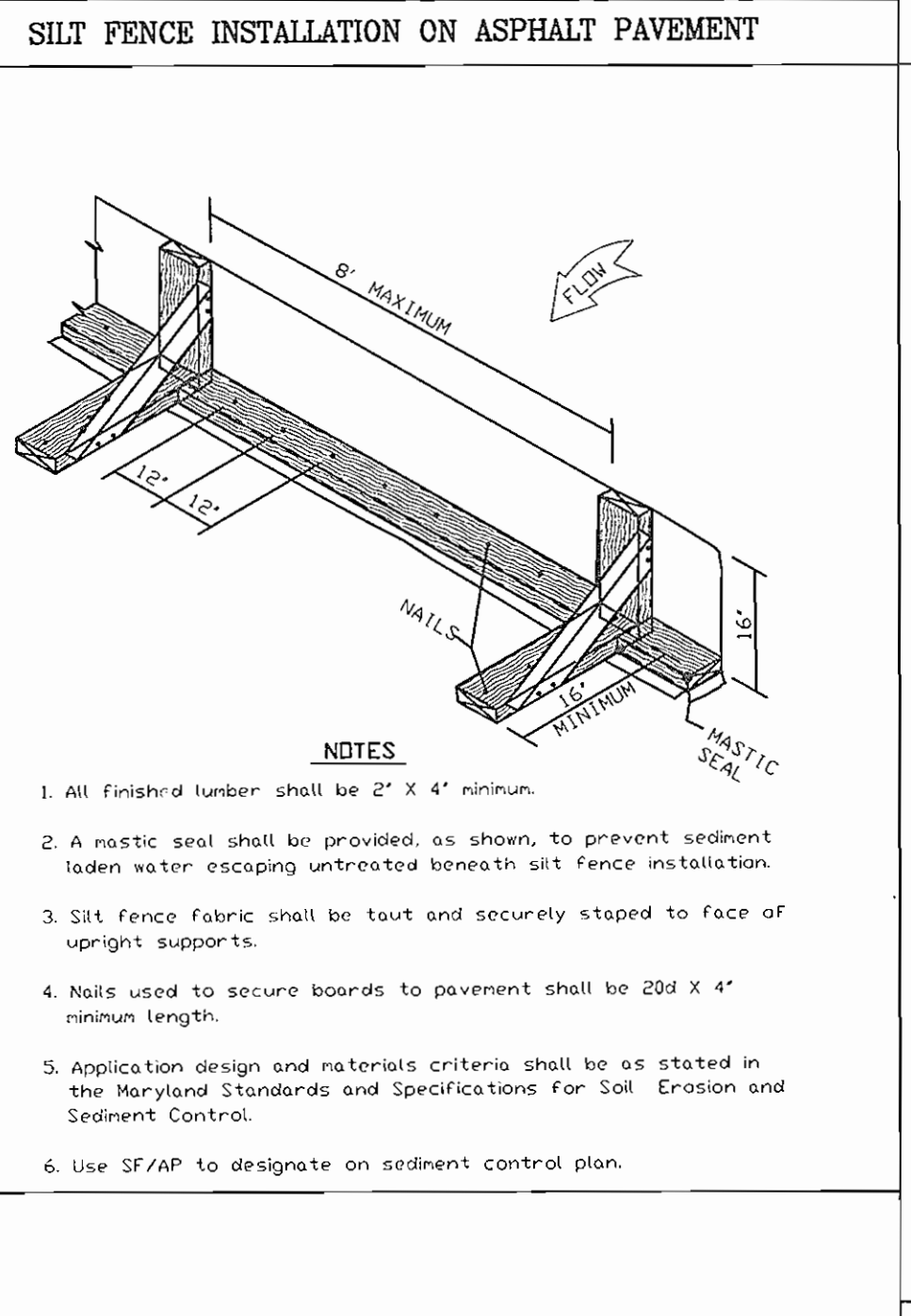
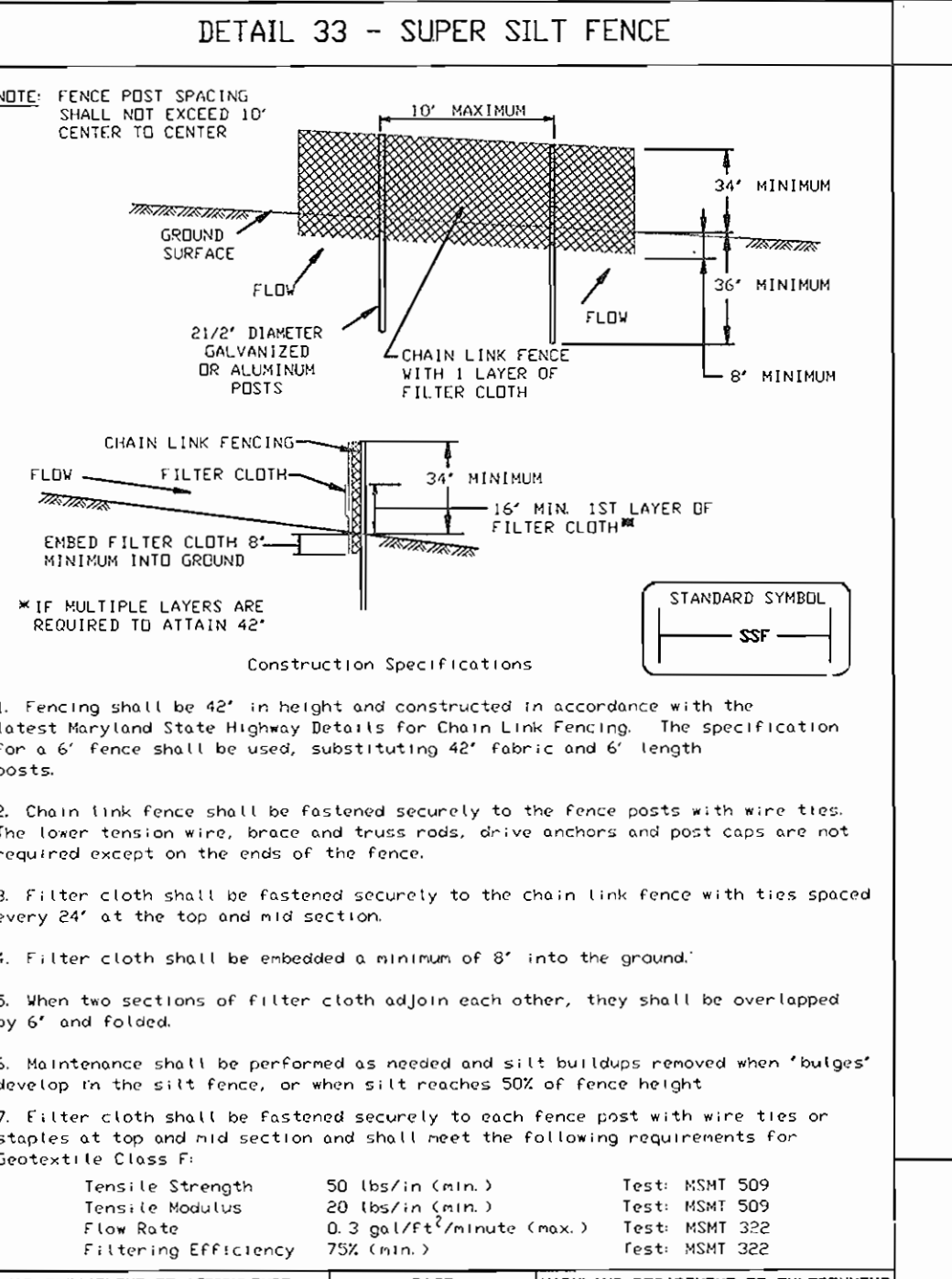
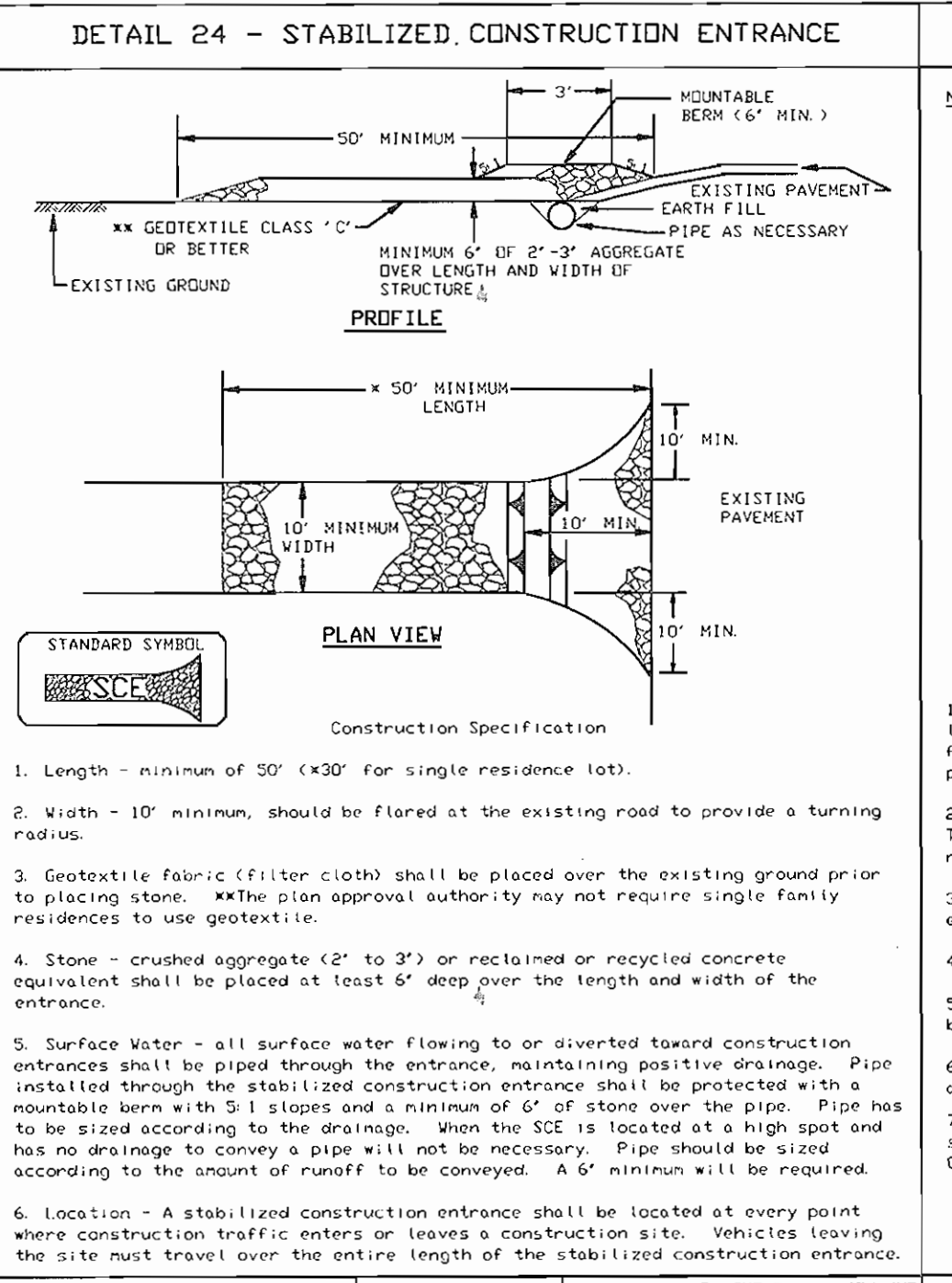
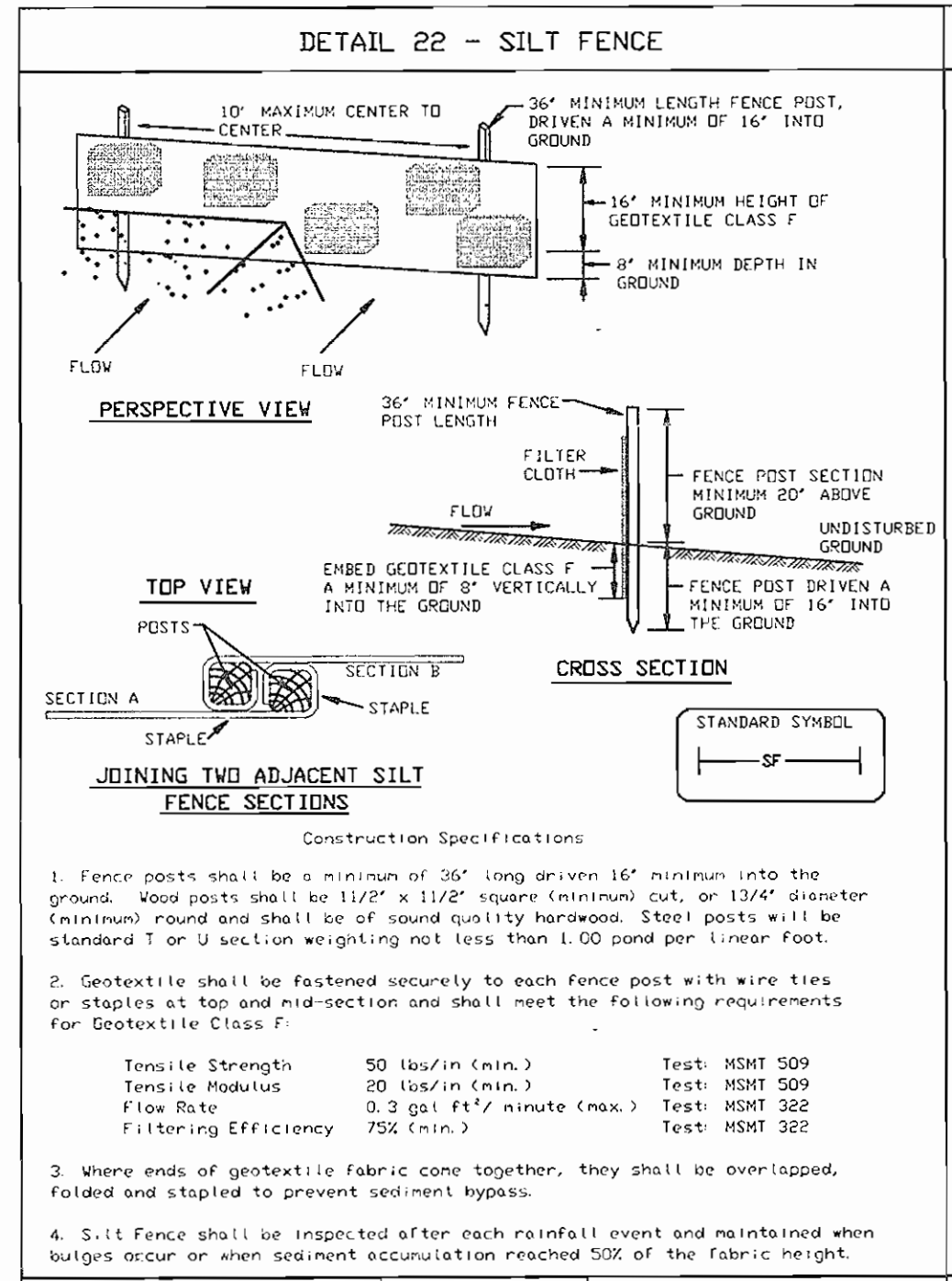
TYPE	DESCRIPTION	CLASS
ChB2	CHESTER SILT LOAM, 3%-8% SLOPES, MODERATELY ERODED	B
Mo	MIXED ALLUVIAL LOAM	B
S1B2	SASSAFRAS LOAM, 1%-5% SLOPES, MODERATELY ERODED	B
ScD	SANDY AND CLAYEY LOAM, MODERATELY SLOPING	B
SD2	SASSAFRAS GRAVELLY SANDY LOAM, 10%-15% SLOPES, MODERATELY ERODED	B

UTILITY NOTES
1. CONTRACTOR SHOULD OPEN THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWN SLOPE) THE TRENCH.
2. PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
3. ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.

NOTE:
PROPOSED LOCATION OF STABILIZED CONSTRUCTION ENTRANCE IS RECOMMENDED. THE LOCATION MAY BE MODIFIED AS THE CONTRACTOR SEES FIT, AFTER RECEIVING PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR.

LEGEND

- SF SILT FENCE
- SF/AP SILT FENCE/ASPHALT PAVING
- SSF SUPER SILT FENCE
- LIMIT OF DISTURBANCE
- STABILIZED CONSTRUCTION ENTRANCE W/ MOUNTABLE BERM
- EXISTING CONTOUR
- 172 PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- +182.53 PROPOSED SPOT ELEVATION
- PROPOSED ON-SITE ASPHALT
- PROPOSED CONCRETE PAVING
- SD2 EXISTING SOILS
- ChB2 EXISTING SOILS
- STEEP SLOPES 60%



TOPSOIL CONSTRUCTION AND MATERIAL SPECIFICATIONS

TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.

TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:

TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND, OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN DIAMETER.

TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.

WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.

FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:

PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

TOPSOIL APPLICATION

WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DICES, SLOPE, SILT FENCE AND SEDIMENT TRAPS AND BASINS.

GRADS ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBERT 4" - 6" HIGHER IN ELEVATION.

TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" - 6" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SOODING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OF WATER POCKETS.

TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDING PREPARATION.

THESE TOPSOIL SPECIFICATIONS HAVE BEEN REFERRED TO THE 1994 EROSION AND SEDIMENT CONTROL STANDARDS TO FIT THIS PROJECT. IT IS STILL THE INTENTION TO FOLLOW THE REFERENCED 1994 EROSION AND SEDIMENT CONTROL STANDARDS IN THEIR ENTIRETY.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDING PREPARATION: LOOSEN UPPER 3 INCHES OF SOIL BY RACKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENED).

SOILS AMENDMENTS: APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ FT.)

SEEDING: FOR PERIODS MARCH 1ST THROUGH APRIL 30TH AND FROM AUGUST 15TH THROUGH NOVEMBER 15TH, SEED WITH 2 1/2 BU. PER ACRE OF ANNUAL RYE (3.2 LBS./1000 SQ FT.) FOR THE PERIOD MAY 1ST THROUGH AUGUST 14TH, SEED WITH 3 LBS. PER ACRE OF WEEPING LOVEGRASS (0.7 LBS./1000 SQ FT.) FOR THE PERIOD NOVEMBER 16TH THROUGH FEBRUARY 28TH, PROJECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70-90 LBS./1000 SQ FT.) OF UNROTTED SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALS. PER ACRE (5 GALS./1000 SQ FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES, 8 FT OR HIGHER, USE 348 GALS. PER ACRE (8 GALS./1000 SQ FT.) FOR ANCHORING.

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREA NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDING PREPARATION: LOOSEN UPPER 3 INCHES OF SOIL BY RACKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENED).

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

- PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ FT.) AND 500 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL AT TIME OF SEEDING. APPLY 400 LBS. PER ACRE 3-0-0 UREAFORM FERTILIZER (9 LBS./1000 SQ FT.)
- ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23/1000 SQ FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL.

SEEDING: FOR THE PERIODS MARCH 1 THROUGH APRIL 30, AND AUGUST 1 THROUGH OCTOBER 15, SEED WITH 60 LBS. PER ACRE (1.4 LBS./1000 SQ FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THROUGH JULY 31, SEED WITH 60 LBS. KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS. PER ACRE (0.5 LBS./1000 SQ FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THROUGH FEBRUARY 28, PROJECT SITE BY OPTION (1) 2 TONS PER ACRE OF WELL-ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOD. OPTION (3) SEED WITH 60 LBS. PER ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ FT.) OF UNROTTED SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GALS./1000 SQ FT.) OF EMULSIFIED ASPHALT ON FLAT AREA, ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GALS./1000 SQ FT.) FOR ANCHORING.

MAINTENANCE: INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

STANDARDS AND SPECIFICATIONS FOR STABILIZATION WITH SOD

OWNER/DEVELOPER
WILLIAM F. UTZ CONSTRUCTION
530 BENFIELD ROAD, SUITE 2
SEVERNA PARK, MARYLAND 21146
(410) 757-3258

1. CLASS OF TURFGRASS SOD SHALL BE MARYLAND OR VIRGINIA STATE CERTIFIED, OR MARYLAND OR VIRGINIA STATE APPROVED SOD.

2. SOD SHALL BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF INCH, PLUS OR MINUS 25/64 INCH. AT THE TIME OF CUTTING, MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH.

3. STANDARD SIZE SECTIONS OF SOD SHALL BE THICK ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION.

4. INDIVIDUAL PIECES OF SOD SHALL BE CUT TO THE SUPPLIERS WIDTH AND LENGTH. MAXIMUM ALLOWABLE DEVIATION FROM STANDARD WIDTHS AND LENGTHS SHALL BE 5 PERCENT. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE.

5. SOD SHALL BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL.

6. SOD SHALL BE HARVESTED, DELIVERED AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPORTED WITHIN THIS PERIOD SHALL BE INSPECTED AND APPROVED PRIOR TO ITS INSTALLATION.

SITE PREPARATION

FERTILIZER AND LIME APPLICATION RATES SHALL BE DETERMINED BY SOIL TEST. UNDER USUAL CIRCUMSTANCES WHERE THERE IS INSUFFICIENT TIME FOR A COMPLETE SOIL TEST, FERTILIZER AND LIME MATERIALS MAY BE APPLIED IN AMOUNTS SHOWN IN TABLE B, BELOW.

A. PRIOR TO SOODING, THE SURFACE SHALL BE CLEARED OF ALL TRASH, DEBRIS, AND OF ALL ROOTS, BRUSH, WIRE, GRADE STAKES AND OTHER OBJECTS THAT WOULD INTERFERE WITH PLANTING, FERTILIZING OR SPREADAGE OPERATIONS.

B. WHERE THE SOIL IS ACID OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 2 TONS/ACRE OR 100 POUNDS PER 1,000 SQUARE FEET IN ALL SOILS, 100 POUNDS PER ACRE OR 25 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 FERTILIZER OR EQUIVALENT SHALL BE UNIFORMLY APPLIED AND MIXED INTO THE TOP 3 INCHES OF SOIL WITH THE REQUIRED LIME.

C. ALL AREAS RECEIVING SOD SHALL BE UNIFORMLY FINE GRADED. HARD-PACKED EARTH SHALL BE SCARIFIED PRIOR TO PLACEMENT OF SOD.

SOD INSTALLATION

A. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE THE SOIL SHALL BE LIGHTLY IRRIGATED IMMEDIATELY PRIOR TO LAYING THE SOD.

B. THE FIRST ROW OF SOD SHALL BE LAID IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO AND TIGHTLY WEDGED AGAINST EACH OTHER. LATERAL JOINTS SHALL BE STAGGERED TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. INSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR-DRYING OF THE ROOTS.

C. ON SLOPING AREAS WHERE EROSION MAY BE A PROBLEM, SOD SHALL BE LAID WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERED JOINTS. SECURE THE SOD BY TAMPING AND PEGGING OR OTHER APPROVED METHODS.

D. AS SOODING IS COMPLETED IN ANY ONE SECTION, THE ENTIRE AREA SHALL BE ROLLED OR TAMPED TO INSURE SOD CONTACT OF ROOTS WITH THE SOIL SURFACE. SOD SHALL BE WATERED IMMEDIATELY AFTER ROLLING OR TAMING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD SHALL BE COMPLETED WITHIN EIGHT HOURS.

SOD MAINTENANCE

A. IN THE ABSENCE OF ADEQUATE RAINFALL, WATERING SHALL BE PERFORMED DAILY OR AS OFTEN AS NECESSARY DURING THE FIRST WEEK AND IN SUFFICIENT QUANTITIES TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATERING SHOULD BE DONE DURING THE HEAT OF THE DAY TO PREVENT WILTING.

B. AFTER THE FIRST WEEK, SOD SHALL BE WATERED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE AND INSURE ESTABLISHMENT.

C. FIRST MOWING SHOULD NOT BE ATTEMPTED UNTIL SOD IS FIRMLY ROOTED, NO MORE THAN 1/3 OF THE GRASS LEAF SHALL BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. GRASS HEIGHT SHALL BE MAINTAINED BETWEEN 2 AND 3 INCHES UNLESS OTHERWISE SPECIFIED.

D. MAINTENANCE OF ESTABLISHED SOD SHOULD FOLLOW SPECIFICATIONS OUTLINED IN TABLE 54-1.

REVIEWED FOR HOWARD S.C.D. & MEETS TECHNICAL REQUIREMENTS.

Jim Myers 8/19/02
U.S. NATURAL RESOURCES SERVICE, SOIL CONSERVATION SERVICE, DATE

BY THE DEVELOPER:
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/WE ALSO AGREE TO PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

William F. Utz 08/16/02
SIGNATURE OF DEVELOPER, DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Robinson 8/19/02
HOWARD S.C.D., DATE

BY THE ENGINEER:
I/WE CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

MM Kwami 08/26/02
SIGNATURE OF ENGINEER, DATE

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

N/A
COUNTY HEALTH OFFICER, DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

MM Kwami 08/21/02
CHIEF, DEVELOPMENT ENGINEERING DIVISION, DATE

Kathleen Jones 08/21/02
CHIEF, DIVISION OF LAND DEVELOPMENT, DATE

James S. Smith 8/23/02
DIRECTOR, DATE

HOWARD SOIL CONSERVATION DISTRICT STANDARD SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTION, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION, PRIOR TO THE START OF ANY CONSTRUCTION. (313-1855)
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", AND REVISING THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN A 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DICES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1. (B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7 OF THE "HOWARD COUNTY DESIGN MANUAL", STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR PERMANENT SEEDING, SOD, TEMPORARY SEEDING, AND MULCHING (SEC C) TEMPORARY STABILIZATION WITH MULCH ALONE SHALL ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:
TOTAL AREA OF SITE = 3.44 ACRES±
AREA DISTURBED = 3.24 ACRES±
AREA TO BE ROOFED OR PAVED = 2.50 ACRES±
PERMETER SEDIMENT CONTROL STRUCTURES, DICES, PERMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1, 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
TOTAL CUT = 7950 CUBIC YARDS±
TOTAL FILL = 4278 CUBIC YARDS±
TOTAL TOPSOIL = 2340 CUBIC YARDS±
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED OR THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- IN THE EVENT OF THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

SEDIMENT AND EROSION CONTROL NOTES & DETAILS

DORSEY RUN PARK BUILDING #5 UNIT 1-B

TAX MAP 48 GRID 3 PARCEL 5 UNIT 1-B
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
ENGINEERS: 7125 Riverwood Drive Columbia, Maryland 21046-2354
ARCHITECTS: Phone: 410-290-9550 Fax: 410-720-6226
SURVEYORS: Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: TPW/MR
DRAWN BY: KO
CHECKED BY: MR
DATE: DECEMBER, 2001
SCALE: (AS SHOWN)
W.O. NO.: 2017085.00

6 SHEET OF 12

FLOW CONTROL STRUCTURE AND UG SWM FACILITY MAINTENANCE SCHEDULE

- THE FACILITY SHALL BE INSPECTED MONTHLY.
 - VISUAL INSPECTION OF ALL COMPONENTS.
 - PHYSICAL INSPECTION OF ANY MOVABLE PARTS, DRAINS, VALVES, ETC.
- THE FACILITY SHALL BE KEPT FREE OF TRASH, INCLUDING ALL AREAS DRAINING TO IT.
- ALL REQUIRED MAINTENANCE SHALL BE PERFORMED BY THE OWNER OR THE OWNER'S REPRESENTATIVE AT THE OWNER'S EXPENSE.
- DETERIORATION OR MALFUNCTION OF UNDERGROUND SWM FACILITY OR FLOW CONTROL STRUCTURE SHALL BE REPORTED IMMEDIATELY TO THE TOWN OF BEL AIR AT 410-636-4535 AS SOON AS DISCOVERED, AND PRIOR TO REPAIR.

INSPECTION SCHEDULE

PRIOR NOTIFICATION SHALL BE GIVEN TO THE TOWN OF BEL AIR (638-3127) AND TO FREDERICK WARD ASSOCIATES (410-879-2090) SO THAT INSPECTIONS MAY BE MADE AT THE FOLLOWING STAGES:

- UPON COMPLETION OF EXCAVATION TO SUB-FOUNDATION AND WHERE REQUIRED, INSTALLATION OF STRUCTURAL SUPPORTS OR REINFORCEMENT FOR STRUCTURES, INCLUDING BUT NOT LIMITED TO:
 - INLET-OUTLET STRUCTURES AND ANTI-SEEP STRUCTURES, WATERLOG CONNECTORS ON PIPES AND SUBDRAINS
- DURING PLACEMENT OF STRUCTURAL FILL, CONCRETE, AND INSTALLATION OF PIPING AND CATCH BASINS.
- DURING BACKFILL OF FOUNDATIONS AND TRENCHES.
- UPON COMPLETION OF FINAL GRADING AND ESTABLISHMENT OF PERMANENT STABILIZATION.

NO WORK SHALL PROCEED UNTIL DPW AND FREDERICK WARD ASSOCIATES INSPECTS AND APPROVES THE WORK PREVIOUSLY COMPLETED.

378 SMALL POND SPEC QUALIFIER

ALL SUBMITTER MANAGEMENT AND WATER QUALITY FACILITIES ARE TO BE BUILT TO THE SOIL CONSERVATION SERVICE STANDARDS AND SPECIFICATIONS FOR SMALL PONDS NO. 378 AND/OR THE MARYLAND DEPARTMENT OF NATURAL RESOURCES WATER RESOURCES ADMINISTRATION STANDARDS AND SPECIFICATIONS FOR INFILTRATION PRACTICES. LACK OF PRESENCE OF SPECIFIC DETAIL ON THIS PLAN DOES NOT MEAN THAT THE FULL REQUIREMENTS OF THE TWO ABOVE STATED STANDARDS DO NOT HAVE TO BE MET.

SWM POND DATA

- TYPE: UNDERGROUND PIPES (60" AL CSP)
- HAZARD CLASSIFICATION: "A"
- STRUCTURE CLASSIFICATION: RURAL (DESIGN BASED ON URBAN CRITERIA)
- TOP WIDTH: N/A
- SIDE SLOPES: N/A
- FREEDBOARD: N/A
- STORAGE-HEIGHT PRODUCT: N/A
- WATERSHED AREA: 3.73 AC +/-
- MANAGEMENT PROVIDED: 1 YEAR AND 2 YEAR

CONCRETE NOTES

- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE FOLLOWING PUBLICATIONS:
 - ACI 301-84, "SPECIFICATION FOR STRUCTURAL CONCRETE FOR BLDGS"
 - ACI 318-83, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"
 - ACI 347-78, "RECOMMENDED PRACTICE FOR CONCRETE FORMWORK"
 - ACI 308R-77, "RECOMMENDED PRACTICE FOR HOT WEATHER CONCRETING"
 - ACI 308R-78, "RECOMMENDED PRACTICE FOR COLD WEATHER CONCRETING"
- CONCRETE COVER OVER REINFORCEMENT SHALL BE THE FOLLOWING MINIMUM CLEAR DISTANCES:
 - CONCRETE CAST AGAINST SOIL: 3"
 - FORMED SURFACES IN CONTACT WITH SOIL: 2"
 - FORMED SURFACES NOT CONTACTING SOIL: 1 1/2"
 - TOP SLAB REINFORCING (TOP AND BOTTOM): 1 1/2"
- CONCRETE SHALL BE $f'_c = 4000$ PSI @ 28 DAYS FOR CAST-IN-PLACE, AND $f'_c = 5000$ PSI @ 28 DAYS FOR PRECAST STRUCTURES.
- ALL CONCRETE MIXES SHALL BE DESIGNED USING NORMAL WEIGHT, NATURAL STONE AGGREGATE, NATURAL SAND, PORTLAND CEMENT AND OTHER ADJUNCTS AS NECESSARY TO OBTAIN THE REQUIRED CONCRETE PROPERTIES.
- DEFORMED STEEL REINFORCING BARS SHALL CONFORM TO ASTM A 615, GRADE 60. LAP ALL SPICES 30 BAR DIAMETERS, MIN. (UNO).
- PROVIDE CHAIRS AND BOLSTERS AS REQUIRED TO SECURELY HOLD REINFORCING BARS AND WIRE MESH IN PLACE UNTIL CONCRETE HAS CURED.
- MOST CURE ALL FRESH CONCRETE FOR AT LEAST 7 DAYS AFTER PLACING.
- UNLESS NOTED OTHERWISE, CHAMFER ALL EXPOSED EDGES 3/4".
- AT CONTRACTOR'S OPTION, THE FLOW CONTROL STRUCTURE MAY BE PRECAST IN WHOLE OR IN PART, PROVIDED THAT PRECAST DRAWINGS ARE SUBMITTED TO AND APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
- MANHOLE COVERS SHALL BE PROVIDED WITH AN ADEQUATE LOCKING DEVICE.
- SILT AND DEBRIS SHALL NOT BE ALLOWED TO ENTER THE STRUCTURE UNTIL THE ENTIRE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED AND THE PARKING AREA OUTSIDE THE USION GRAVELED.
- OPENINGS TO THE FLOW CONTROL STRUCTURE SHALL BE PROTECTED DURING CONSTRUCTION PER SEDIMENT CONTROL PLAN (SEE DWG SH1 024).

UG-SWM FACILITY SPECIFICATIONS

These specifications are appropriate for construction of the UNDERGROUND SWM FACILITY. All references to ASTM and ASSHTO Specifications apply to the most recent version.

Pipe Conduits

Corrugated Metal Pipe-All of the following criteria shall apply for corrugated metal pipe:

- Materials - (Steel Pipe) - This pipe and its appurtenances shall be galvanized with inverts bituminous paved as shown and shall conform to the requirements of AASHTO Specification M-190 Type A with watertight coupling bands. Any bituminous coating damaged or otherwise removed shall be replaced with cold applied bituminous coating compound. Steel pipes with polymeric coatings shall have a minimum coating thickness of 0.01 inch (0.1 mil) on both sides of the pipe. The following coatings or an approved equal may be used: Nexon, Plast-i-Cote, Bloc-Klod, and Beth-Cu-Lay. Coated corrugated steel pipe shall meet the requirements of AASHTO M-245 and M-246.

Materials-(Aluminum Coated Steel Pipe)-This pipe and its appurtenances shall conform to the requirements of AASHTO Specification M-274 with watertight coupling bands or flanges. Any aluminum coating damaged or otherwise removed shall be replaced with cold applied bituminous coating compound.

- Coupling bands, anti-seep collars, end sections, etc., must be composed of the same material as the pipe. Metals must be insulated from dissimilar materials with use of rubber or plastic insulating materials of least 24 mils in thickness.
- Connections - All connections with pipes must be completely watertight. The drain pipe or barrel connection to the riser shall be welded all around when the pipe and riser are metal. Anti-seep collars shall be connected to the pipe in such a manner as to be completely watertight. Dimple bands are not considered to be watertight.
- Bedding - The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support. Granular bedding material shall be placed 8" thick below pipes, and up to 1/4 O.D. (See also SH1 029 - Pipe Bedding Detail).

Polyvinyl Chloride (PVC) Pipe - All of the following criteria shall apply for polyvinyl chloride (PVC) pipe:

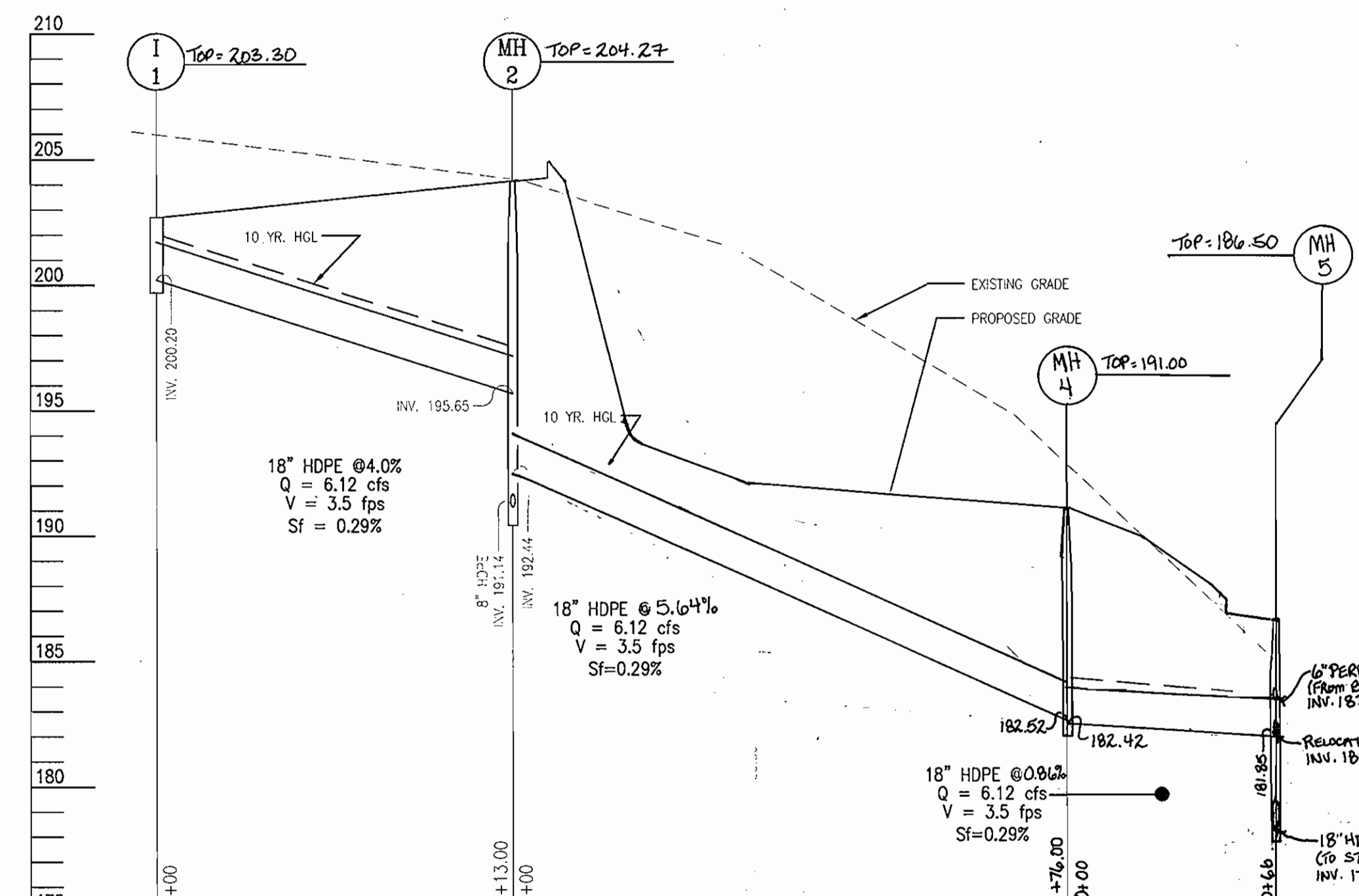
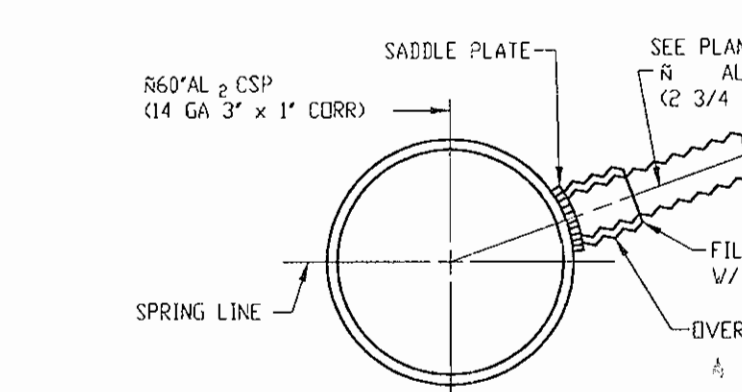
- Materials - PVC pipe shall be PVC-1120 or PVC-1220 conforming to ASTM D-1785 or ASTM D-2241.
- Joints and connections shall be completely watertight.

Care of Water During Construction

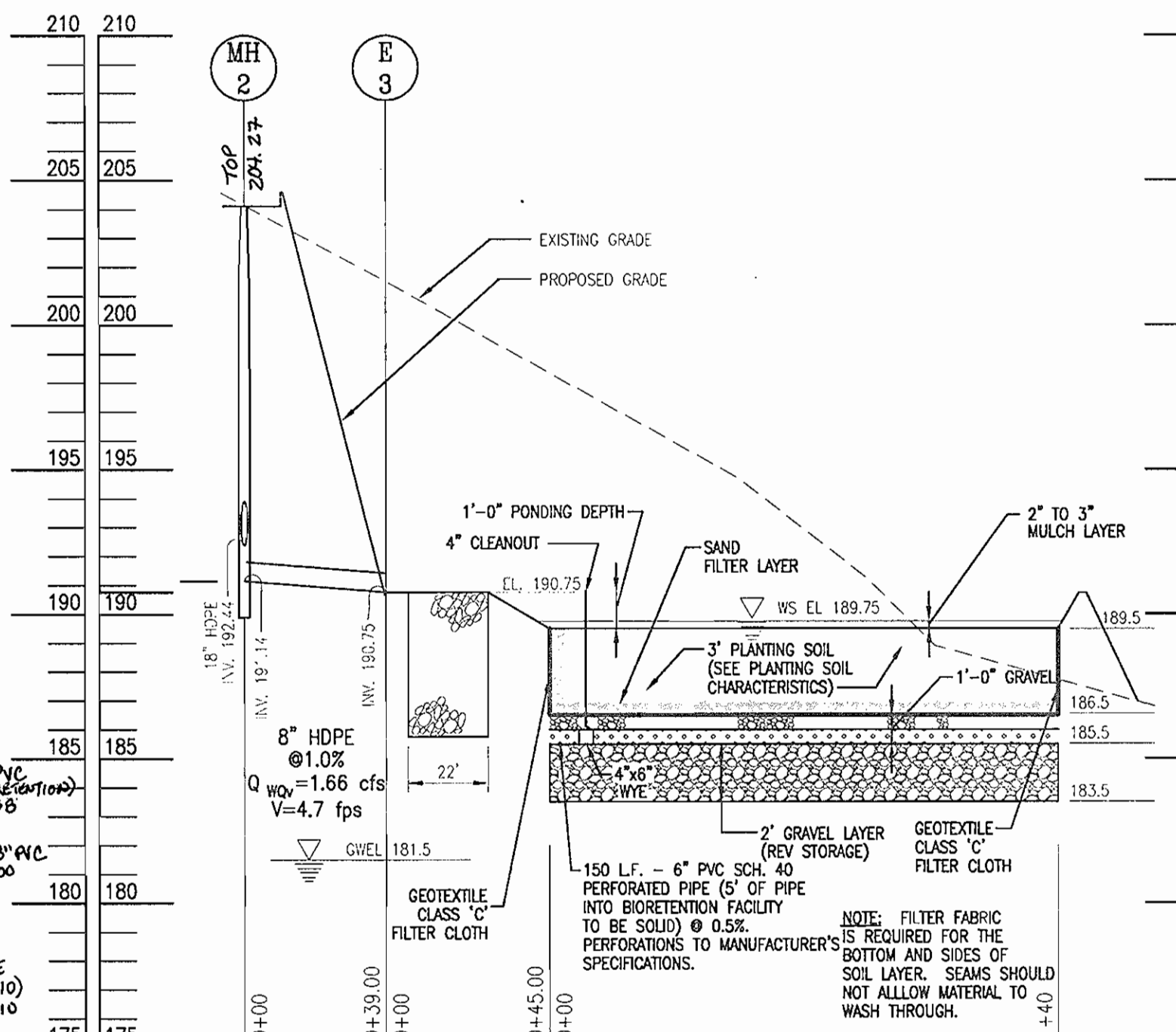
All work on permanent structures shall be carried out in areas free from water. The Contractor shall construct and maintain all temporary dikes, levees, cofferdams, drainage channels, and stream diversions necessary to protect the area to be occupied by the permanent works. The contractor shall also furnish, install, operate, and maintain all necessary pumping and other equipment required for removal of water from the various parts of the work and for maintaining the excavations, foundation, and other parts of the work free from water as required or directed by the engineer for constructing each part of the work. After having served their purpose, all temporary protective works shall be removed or leveled and graded to the extent required or prevent obstruction in any degree whatever of the flow of water to the spillway or outlet works and so as not to interfere in any way with the operation or maintenance of the structure. Stream diversions shall be maintained until the full flow can be passed through the permanent works. The removal of water from the required excavation and the foundation shall be accomplished in a manner and to the extent that will maintain stability of the excavated slopes and bottom of required excavations and will allow satisfactory performance of all construction operations. During the placing and compacting of material in required excavations, the water level at the locations being refilled shall be maintained below the bottom of the excavation at such locations which may require draining the water to sumps from which the water shall be pumped.

Erosion and Sediment Control

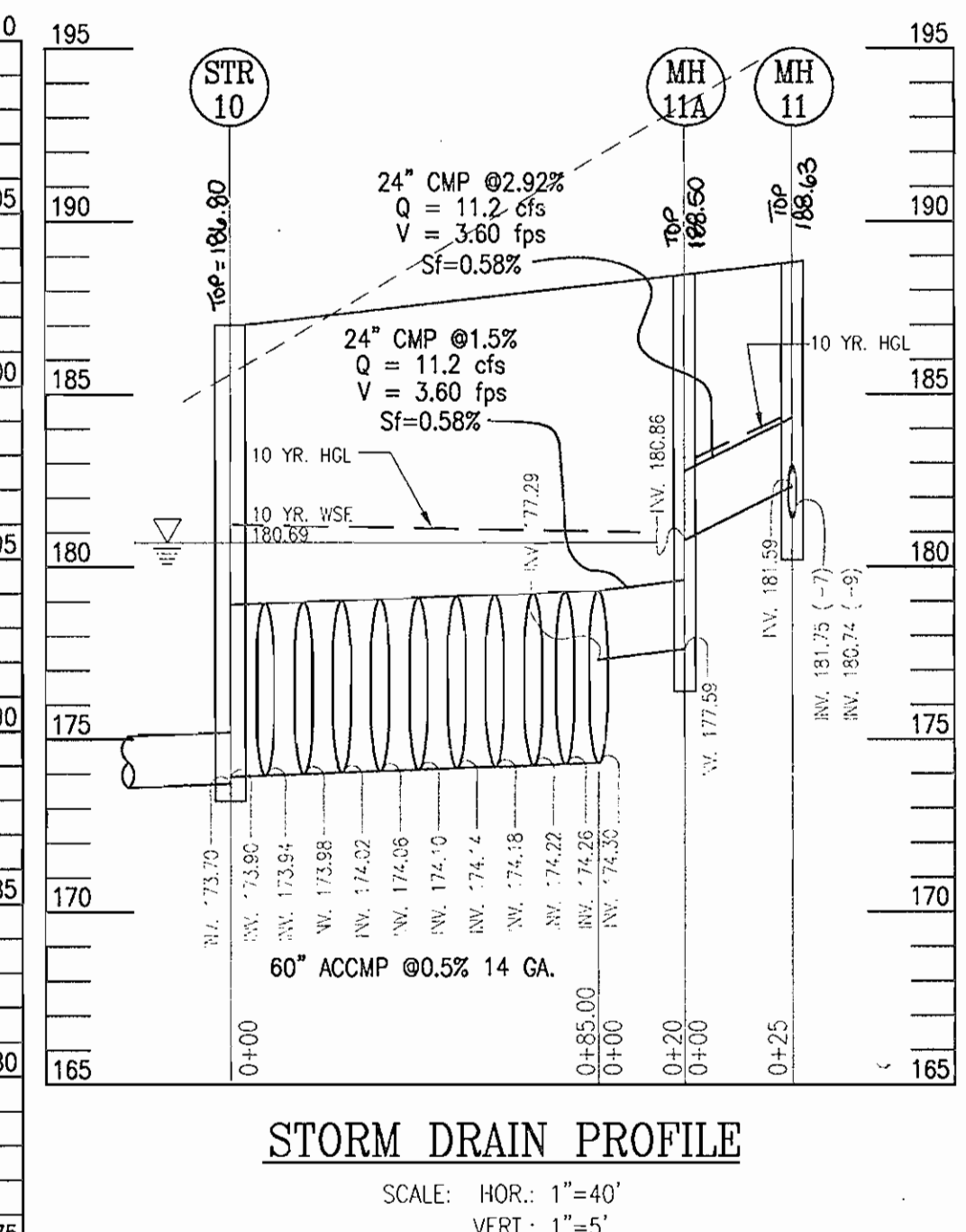
Construction operations will be carried out in such a manner that erosion will be controlled and water and air pollution minimized. State and local laws concerning pollution abatement will be followed. Construction plans shall detail erosion and sediment control measures to be employed during the construction process.



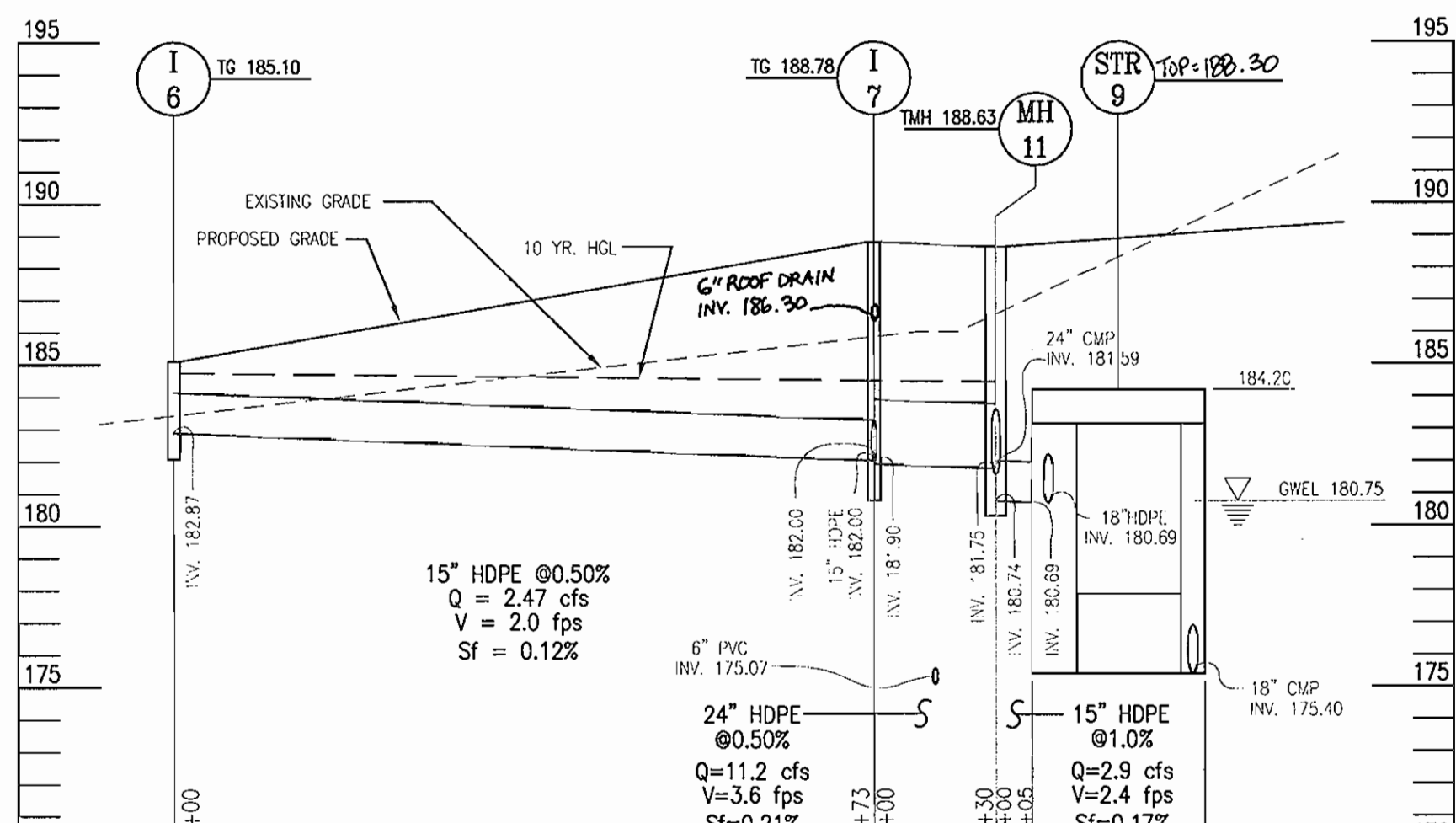
STORM DRAIN PROFILE
SCALE: HOR.: 1"=40'
VERT.: 1"=5'



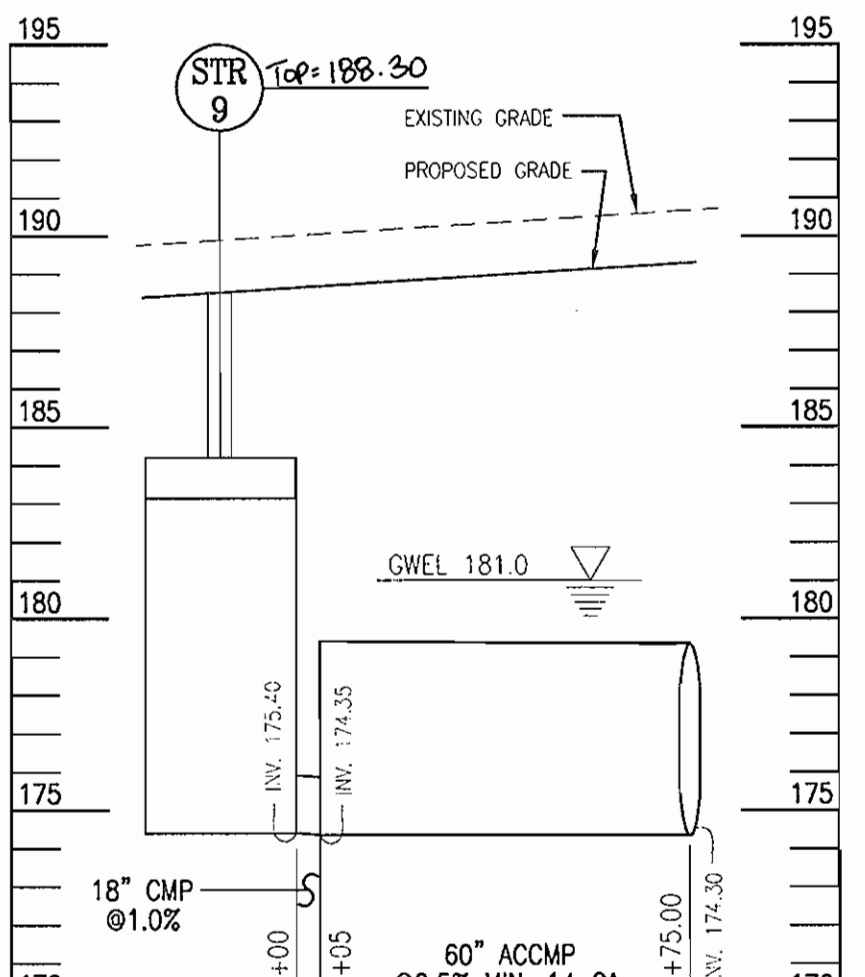
STORM DRAIN PROFILE
SCALE: HOR.: 1"=40'
VERT.: 1"=5'



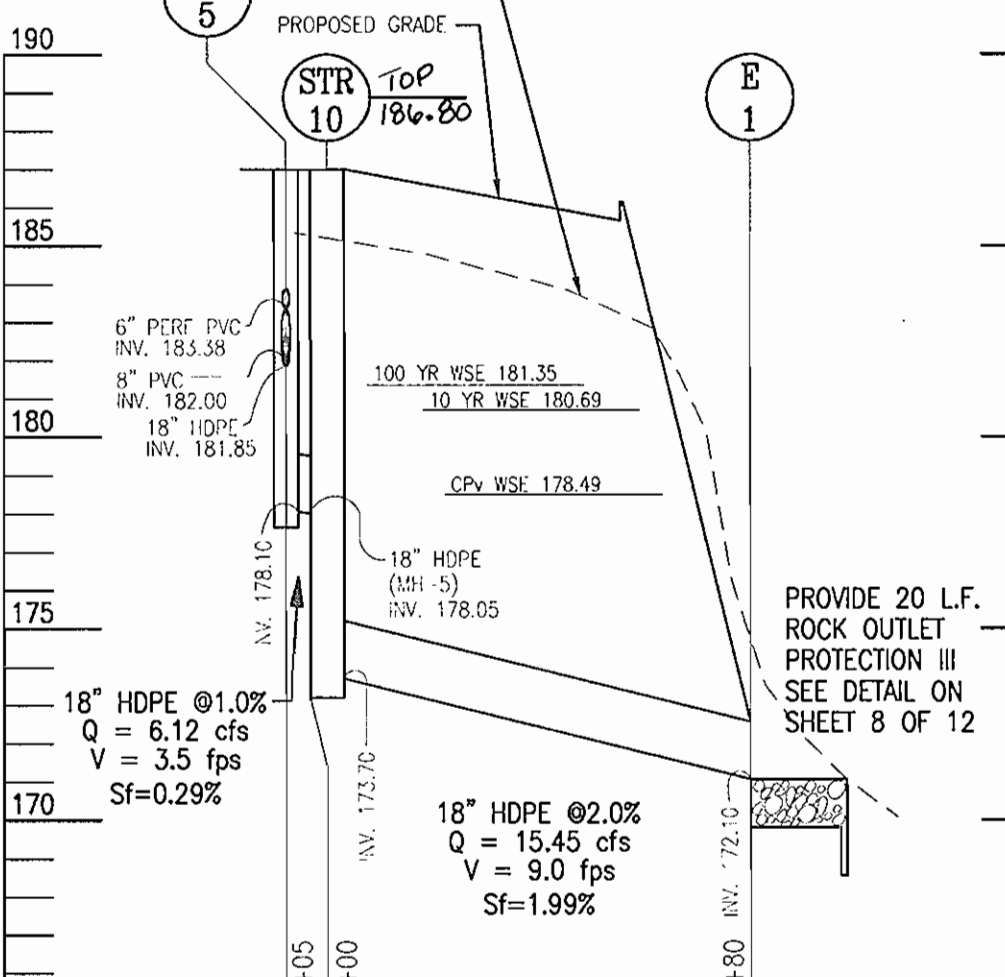
STORM DRAIN PROFILE
SCALE: HOR.: 1"=40'
VERT.: 1"=5'



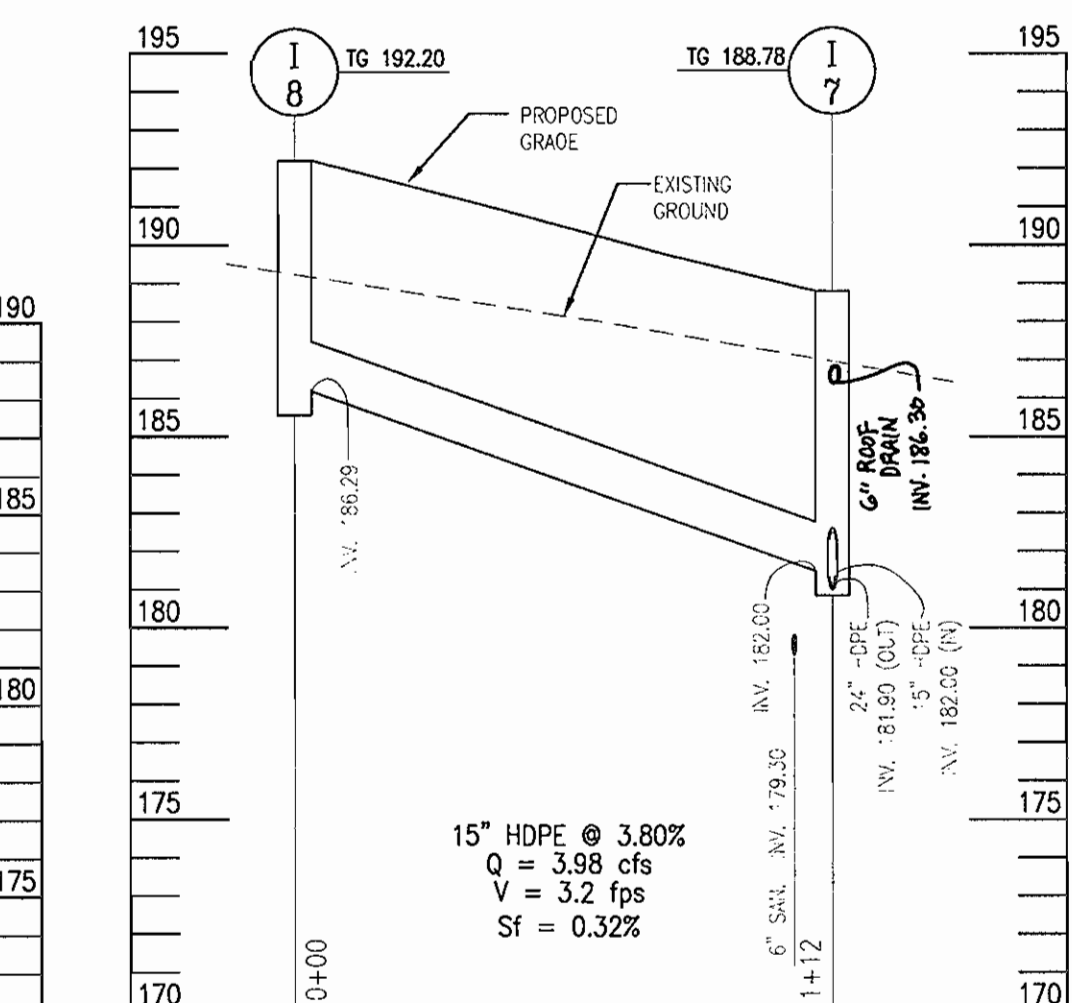
STORM DRAIN PROFILE
SCALE: HOR.: 1"=40'
VERT.: 1"=5'



STORM DRAIN PROFILE
SCALE: HOR.: 1"=40'
VERT.: 1"=5'

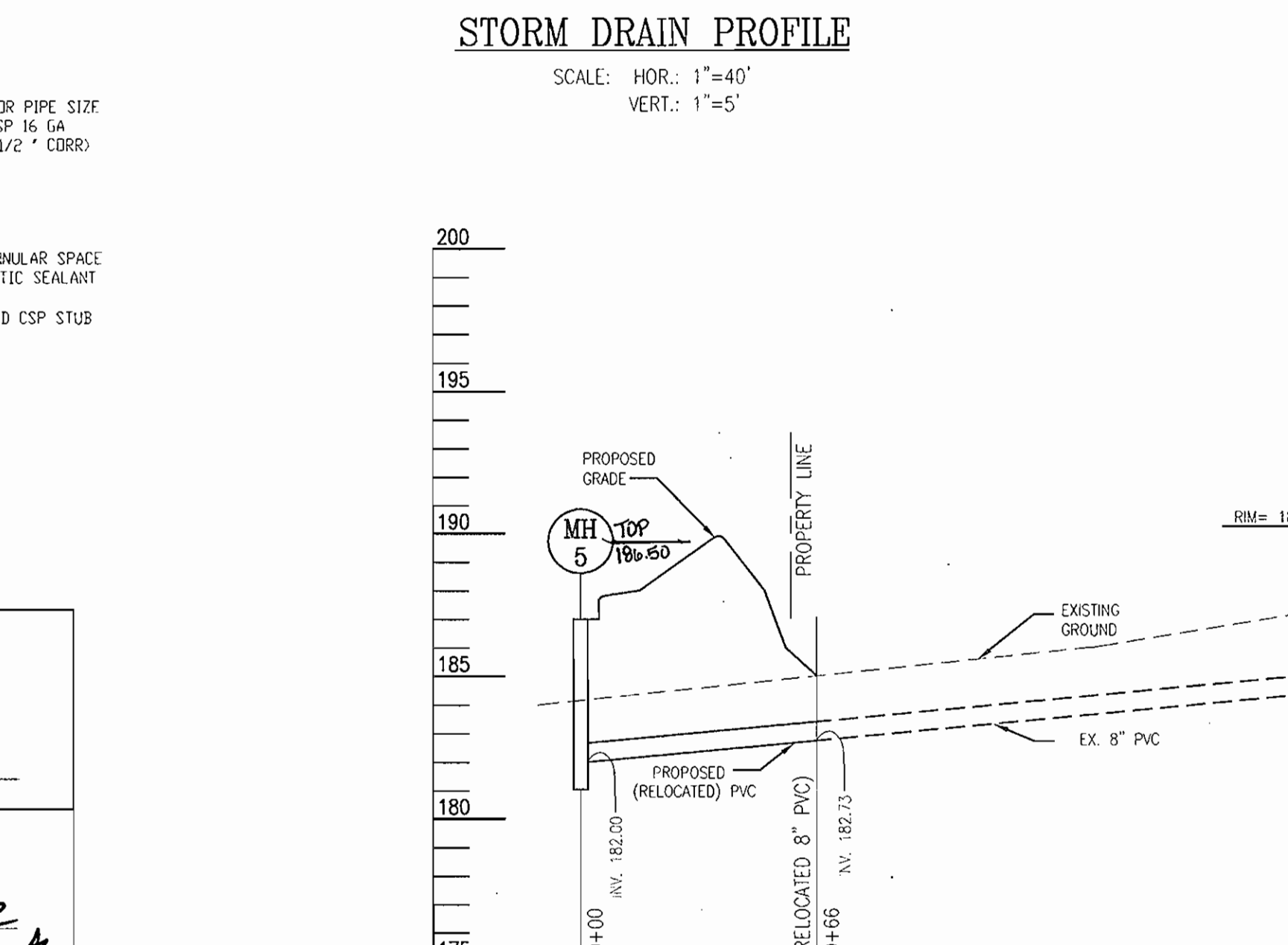


STORM DRAIN PROFILE
SCALE: HOR.: 1"=40'
VERT.: 1"=5'

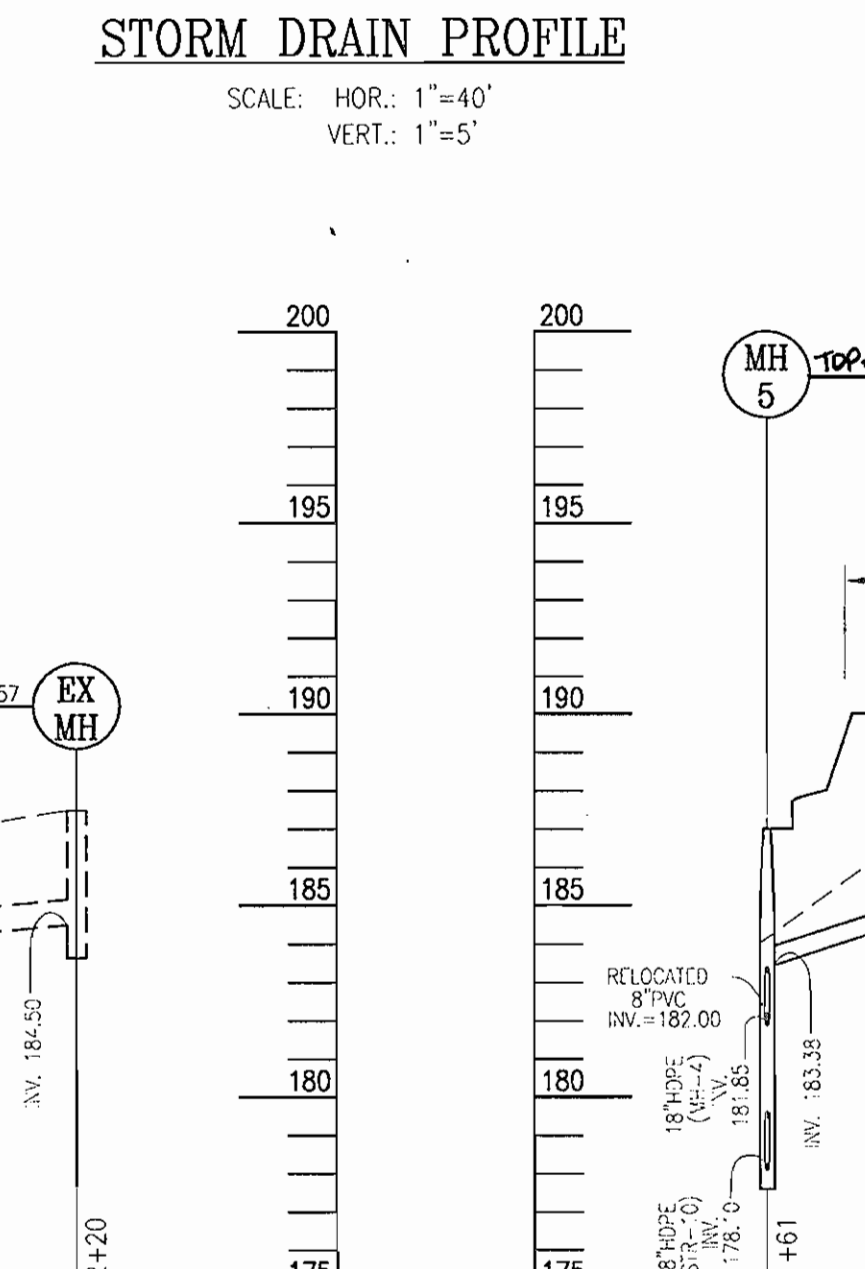


STORM DRAIN PROFILE
SCALE: HOR.: 1"=40'
VERT.: 1"=5'

OWNER/DEVELOPER
WILLIAM F. UTZ CONSTRUCTION
539 BENFIELD ROAD, SUITE 2
SEVERNA PARK, MARYLAND 21146
(410) 757-3258



RELOCATED 8" PVC
SCALE: HOR.: 1"=40'
VERT.: 1"=5'



STORM DRAIN PROFILE
SCALE: HOR.: 1"=40'
VERT.: 1"=5'

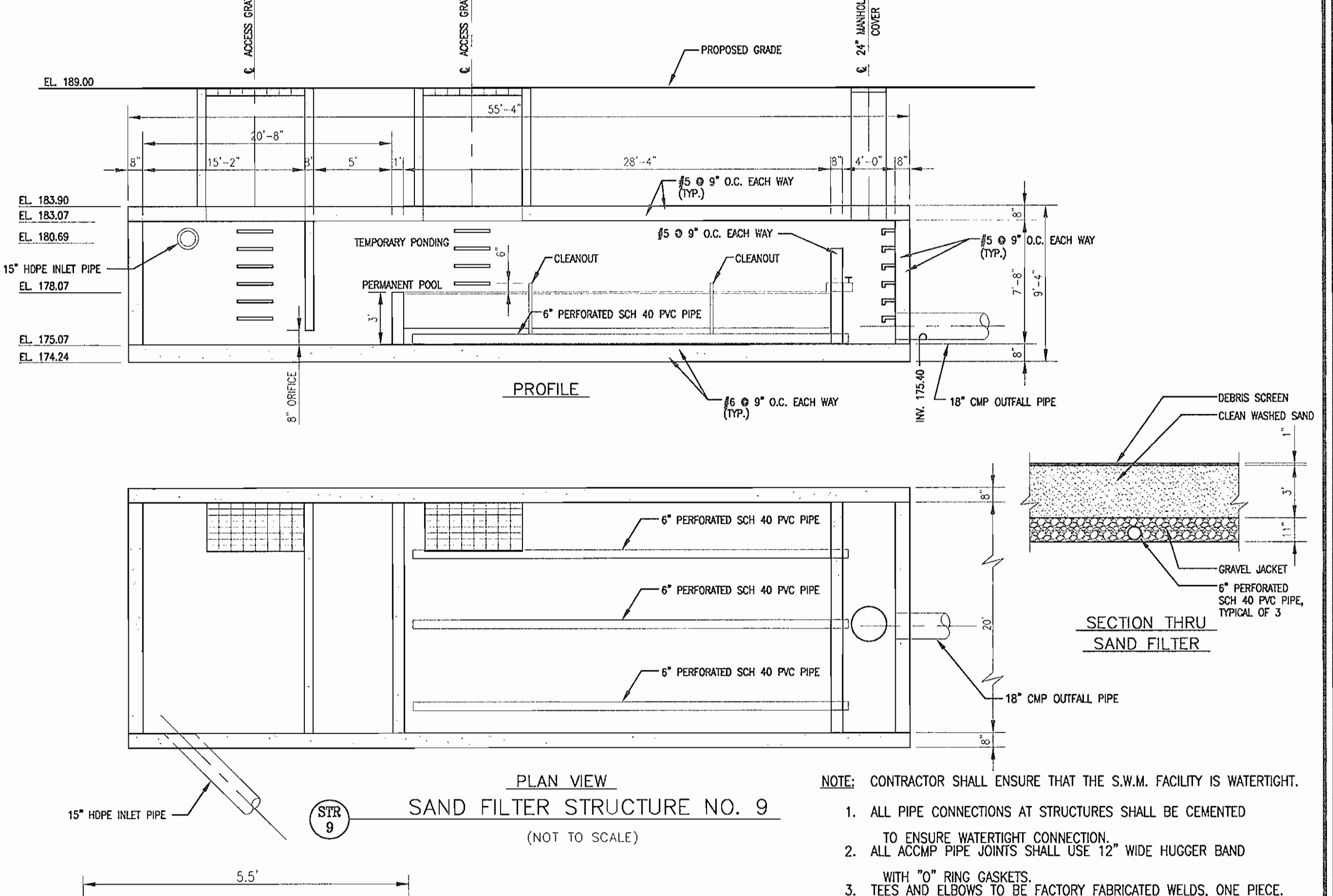
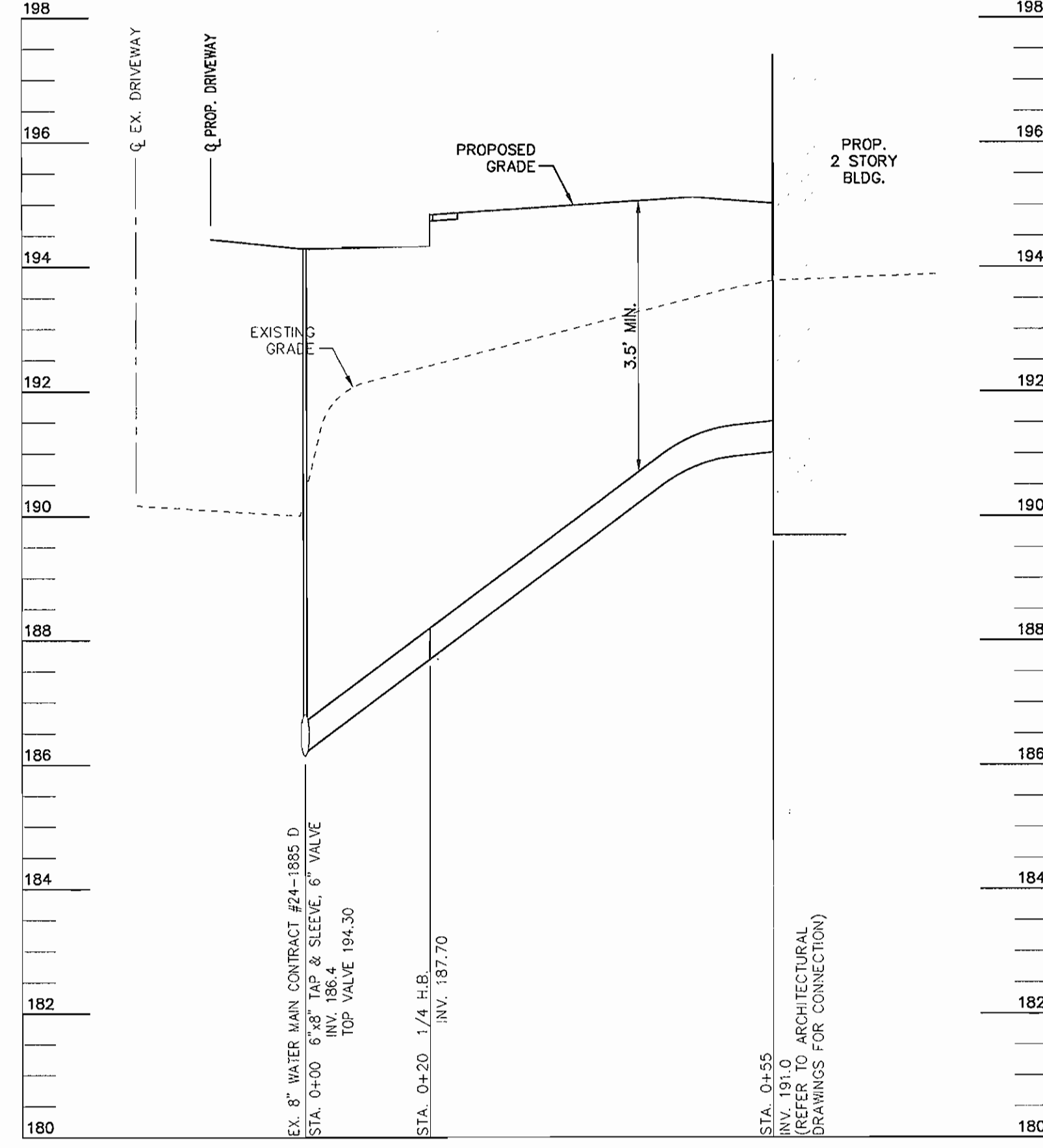
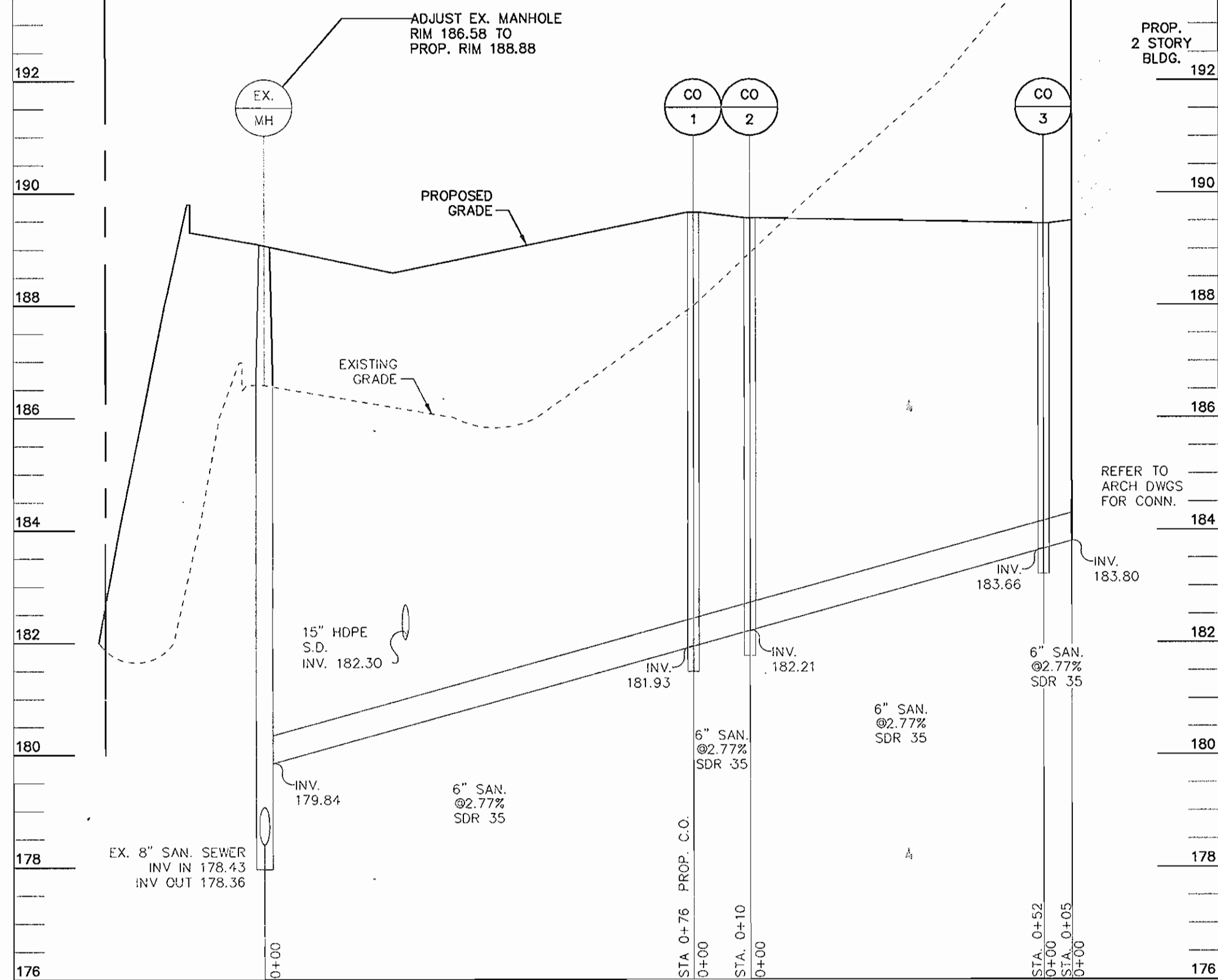
DATE	NUMBER	REVISION DESCRIPTIONS
11-11-02	1	ADDITION OF ENTRANCES, PARKING, AREAS, WALKWAYS, AND ROOF DRAINS
6-27-05	3	RELOCATE STORM DRAIN, ADJUST STONE CHANNEL, ADJUST PARKING TO ACCOMMODATE NEW DOOR LOCATIONS, & NEW LOADING DOCK

STORM DRAIN PROFILES AND DETAILS
DORSEY RUN PARK
BUILDING #5 UNIT 1-B
TAX MAP 48 GRID 3
6TH ELECTION DISTRICT
PARCEL 5 UNIT 1-B
HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
ARCHITECTS Phone: 410-290-9550 Fax: 410-720-8226
SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

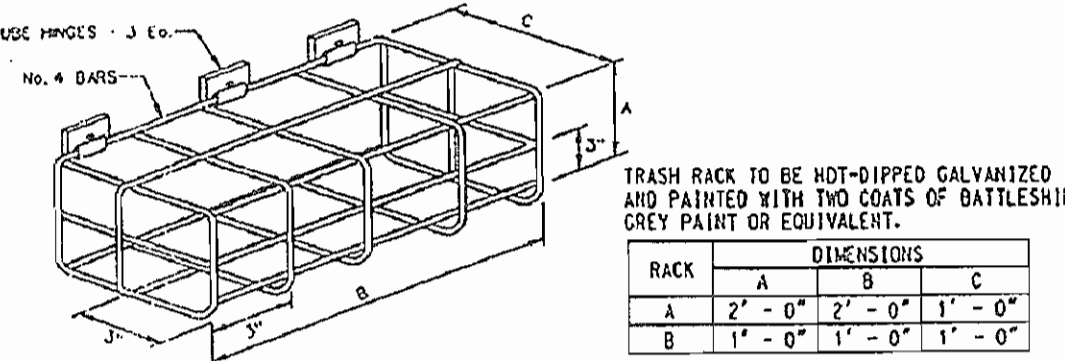
DESIGN BY: TFW/MR
DRAWN BY: KO
CHECKED BY: MR
DATE: DECEMBER, 2001
SCALE: (AS SHOWN)
W.D. NO.: 2017095.00

NO	DESCRIPTION	INV.	TOP EL.
CO 1	6" SANITARY CLEANOUT HO. CO. STD. S 2-2.22	181.93	189.65
CO 2	6" SANITARY CLEANOUT HO. CO. STD. S 2-2.22	182.21	189.55
CO 3	6" SANITARY CLEANOUT HO. CO. STD. S 2-2.22	183.66	189.45
EX MH		179.84	188.88



- NOTE: CONTRACTOR SHALL ENSURE THAT THE S.W.M. FACILITY IS WATERTIGHT.
1. ALL PIPE CONNECTIONS AT STRUCTURES SHALL BE CEMENTED TO ENSURE WATERTIGHT CONNECTION.
 2. ALL ACCMP PIPE JOINTS SHALL USE 12" WIDE HUGGER BAND WITH "O" RING GASKETS.
 3. TEES AND ELBOWS TO BE FACTORY FABRICATED WELDS, ONE PIECE.
 4. TRENCH BEDDING TO BE IN ACCORDANCE WITH RECOMMENDATIONS FROM THE GEOTECHNICAL ENGINEER IN THE FIELD.
 5. PROVIDE WATERTIGHT JOINTS AT ALL PIPE CONNECTIONS. (FOR REINFORCED CONCRETE PIPE, ASTM C-361, RUBBER GASKET PIPE).
- OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED UNDERGROUND STORMWATER FILTRATION SYSTEM (F-2)
1. THE SEDIMENT CHAMBER OUTLET DEVICES SHALL BE CLEANED AND/OR REPAIRED WHEN DRAW-DOWN TIMES WITHIN THE CHAMBER EXCEED 36 HOURS.
 2. DEBRIS AND LITTER SHALL BE REMOVED AS NECESSARY TO ENSURE PROPER OPERATION OF THE SYSTEM.
 3. SEDIMENT SHALL BE CLEANED OUT OF THE SEDIMENTATION CHAMBER WHEN IT ACCUMULATES TO A DEPTH OF 6 INCHES. VEGETATION WITHIN THE SEDIMENT CHAMBER SHALL BE LIMITED TO A HEIGHT OF 18 INCHES.
 4. WHEN WATER PONDS ON THE SURFACE OF THE FILTER BED FOR MORE THAN 72 HOURS, THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REPLACED WITH FRESH MATERIAL. PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID MUST BE FOLLOWED BY THE OWNER.
 5. A LOG BOOK SHALL BE MAINTAINED TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
 6. THE MAINTENANCE LOG BOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO ENSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.
 7. ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION SYSTEM HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.

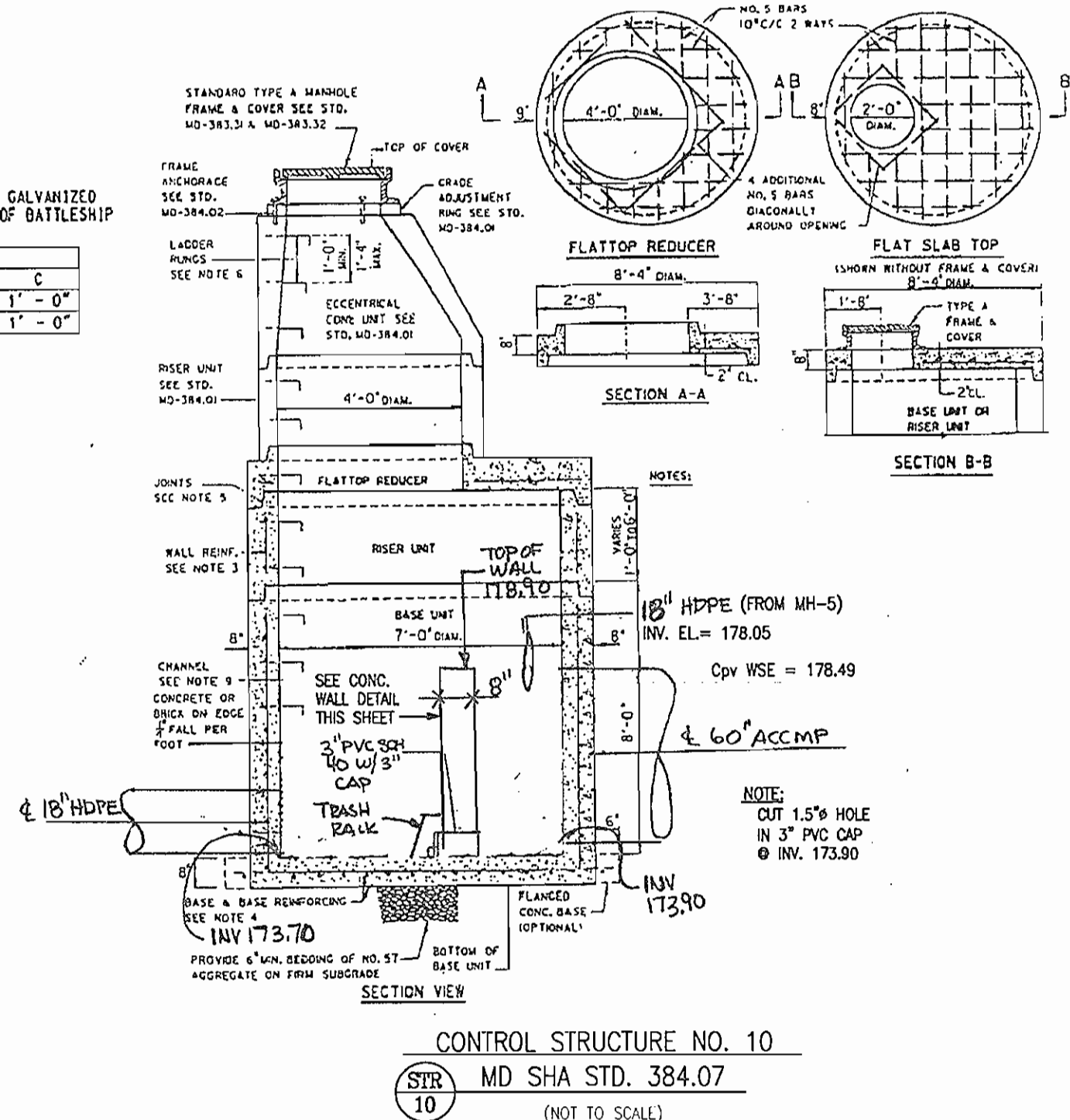
PROPOSED 6" SHC
SCALE: HOR.: 1"=20'
VERT.: 1"=2'



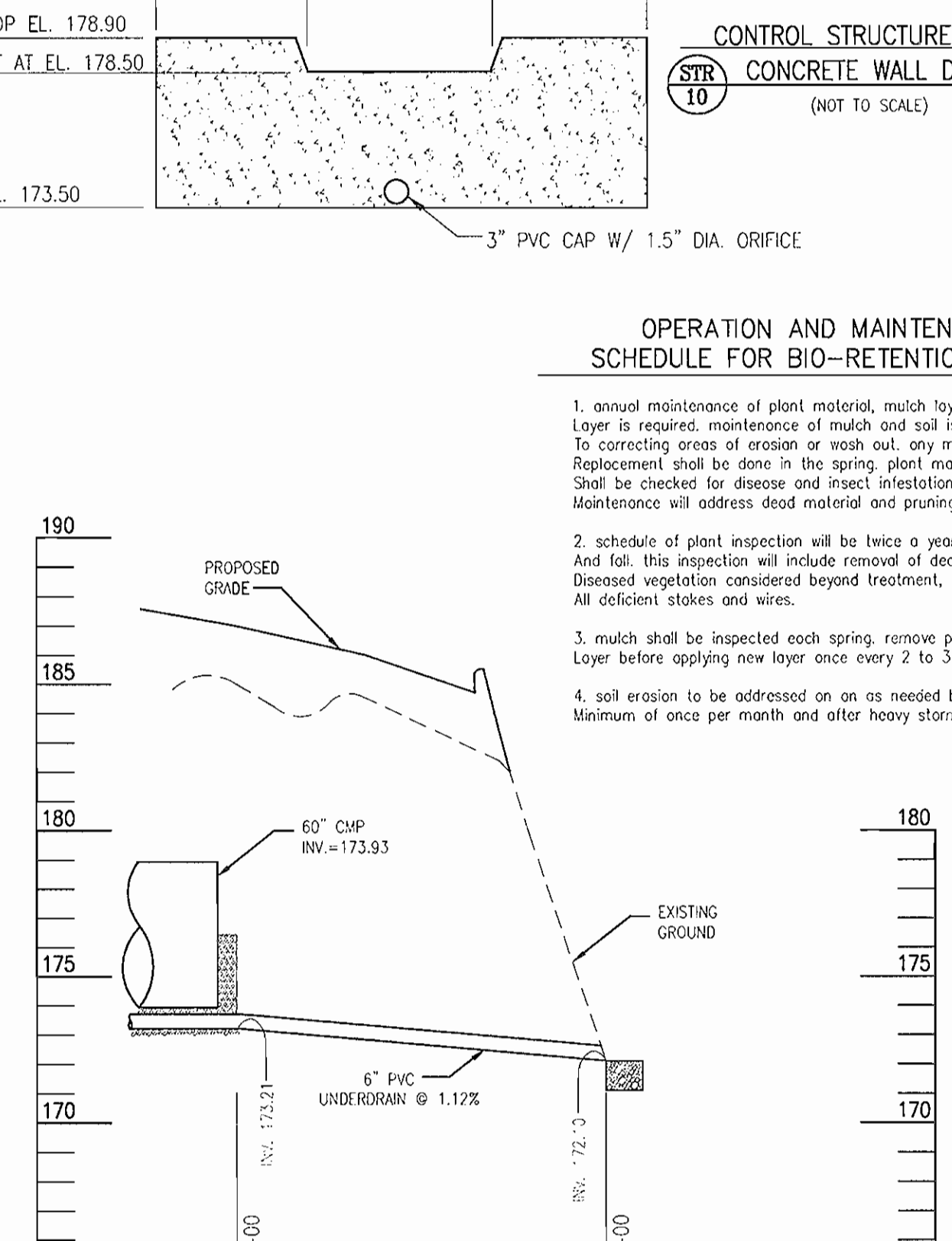
TRASH RACK ISOMETRIC
NOT TO SCALE

NO.	DESCRIPTION	INV. IN	INV. OUT	TOP ELEV.
I-1	DOUBLE 'S' INLET, HO. CO. STD. 4.23		200.20	202.70
MH-2	4'-0" STANDARD PRECAST MANHOLE, HOWARD CO. STD. DETAIL G-5.12	195.65	191.14	204.10
E-3	6" HDPE END SECTION		190.75	
MH-4	4'-0" STANDARD PRECAST MANHOLE, HOWARD CO. STD. DETAIL G-5.12	188.0	183.50	191.0
MH-5	4'-0" STANDARD PRECAST MANHOLE, HOWARD CO. STD. DETAIL G-5.12	181.85	178.10	187.0
I-6	DOUBLE 'S' INLET, HO. CO. STD. 4.73		182.87	185.10
I-7	DOUBLE 'S' INLET, HO. CO. STD. 4.73		182.00	188.78
I-8	DOUBLE 'S' INLET, HO. CO. STD. 4.73		186.29	192.20
STR-9	SAND FILTER (SEE DETAIL)	180.69	175.40	(VARIES)
STR-10	MD SHA STD. 384.07 (MODIFIED)	178.05	173.70	187.0
E-1	TYPE 'A' HEADWALL, HO. CO. STD. 5.11		172.10	
MH-11	4'-0" STANDARD PRECAST MANHOLE, HOWARD CO. STD. DETAIL G-5.12	181.75	181.59	188.63
MH-11A	4'-0" STANDARD PRECAST MANHOLE, HOWARD CO. STD. DETAIL G-5.12	180.88	177.85	188.30

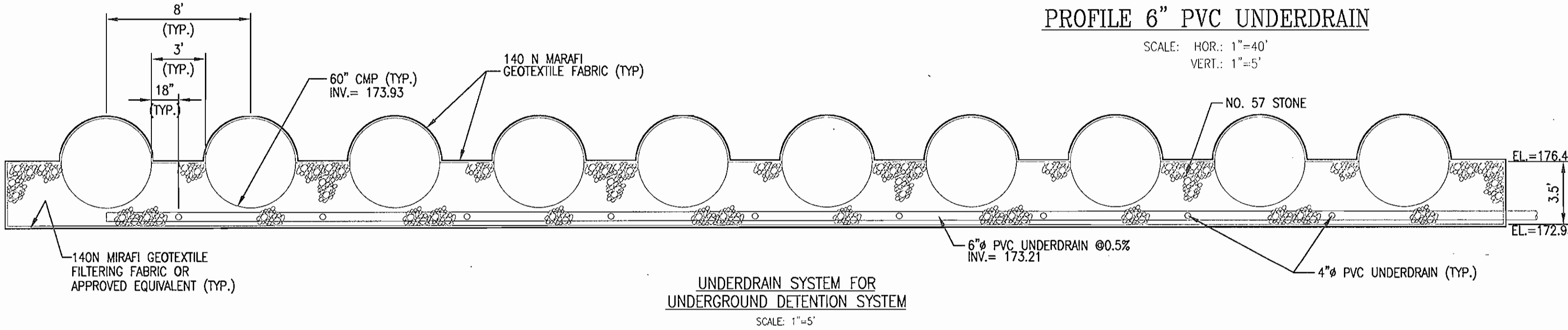
SIZE	TYPE	LENGTH
4"	PVC (UNDERDRAIN)	594 LF
6"	PVC (UNDERDRAIN)	166 LF
6"	PERF. PVC	154 LF
8"	HDPE	39 LF
8"	PVC	65 LF
15"	HDPE	290 LF
18"	HDPE	434 LF
18"	CMP	5 LF
21"	CMP	45 LF
24"	HDPE	30 LF
60"	ACCMP	845 LF



CONTROL STRUCTURE NO. 10
MD SHA STD. 384.07
(NOT TO SCALE)



PROFILE 6" PVC UNDERDRAIN
SCALE: HOR.: 1"=40'
VERT.: 1"=5'



UNDERDRAIN SYSTEM FOR UNDERGROUND DETENTION SYSTEM
SCALE: 1"=5'

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER: *N/A* DATE: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* DATE: *8/16/02*

CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: *8/23/02*

REGISTRAR: *[Signature]* DATE: *8/23/02*

OWNER/DEVELOPER
WILLIAM F. UTZ CONSTRUCTION
539 BENFIELD ROAD, SUITE 2
SEVERNA PARK, MARYLAND 21146
(410) 757-3258

DATE	NUMBER	REVISION DESCRIPTIONS

STORM DRAIN NOTES AND DETAILS AND UTILITY PROFILES
DORSEY RUN PARK BUILDING #5 UNIT 1-B

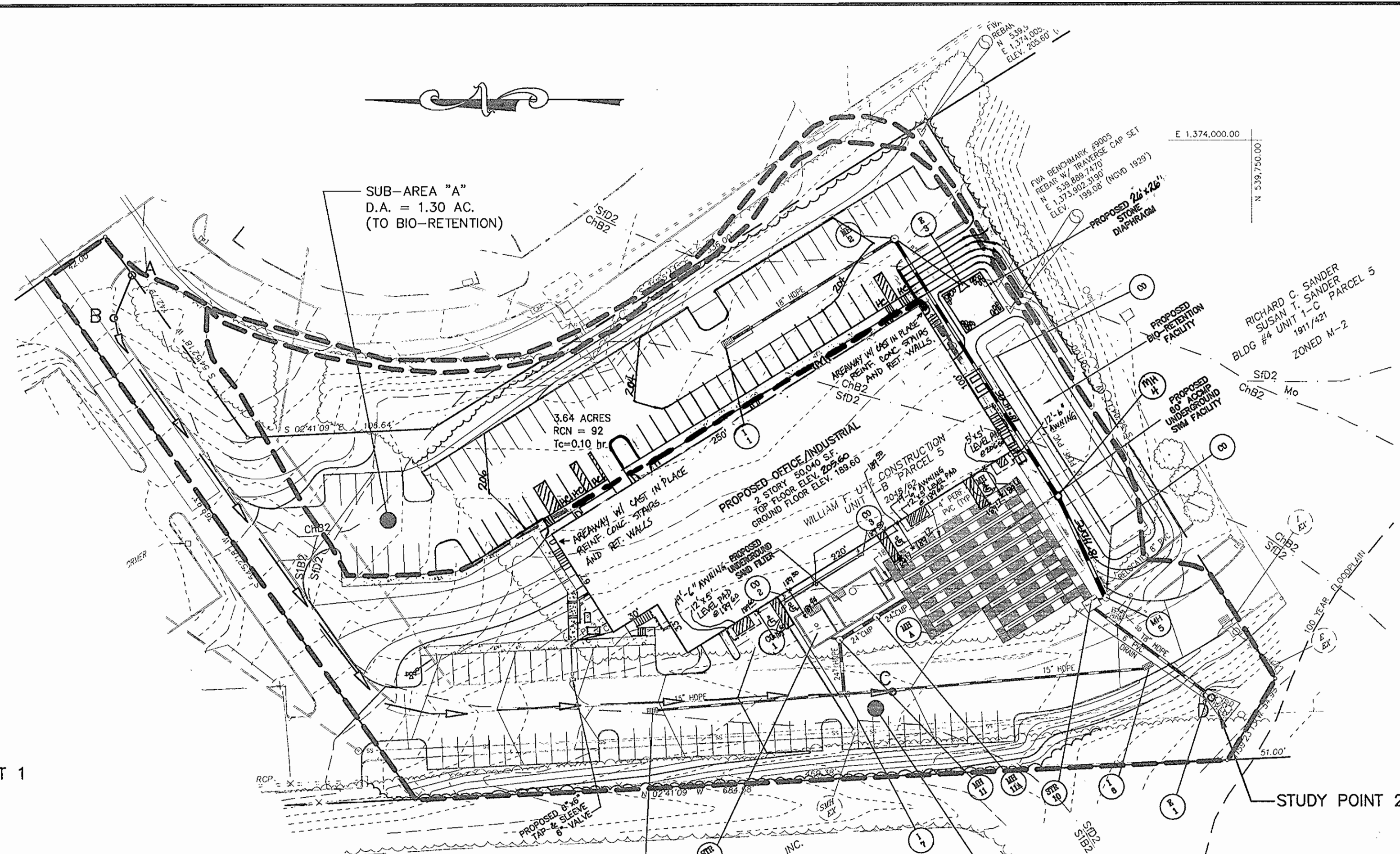
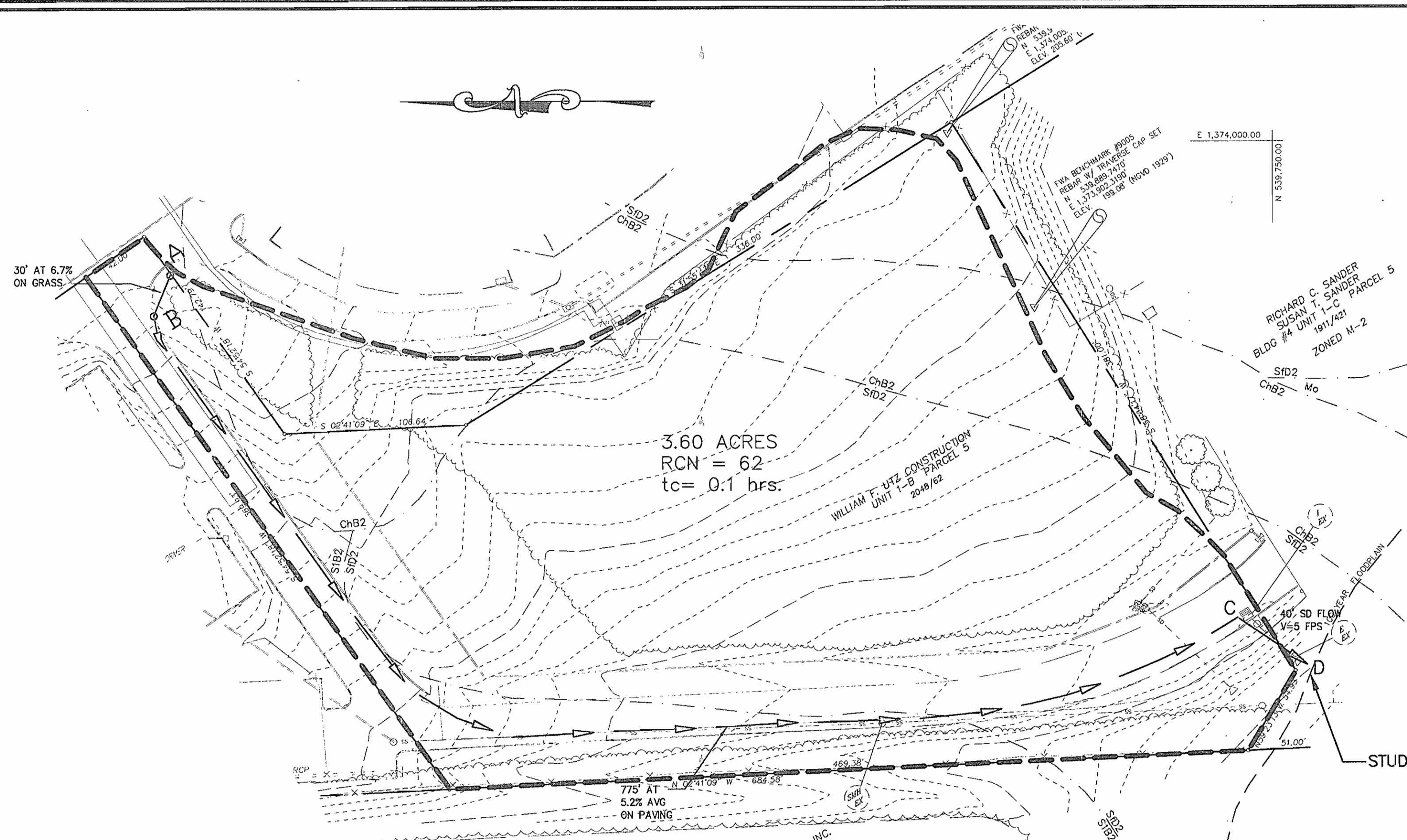
TAX MAP 48 GRID 3
6TH ELECTION DISTRICT

PARCEL 5 UNIT 1-B
HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
7125 Riverwood Drive Columbia, Maryland 21046-2354
Phone: 410-290-9550 Fax: 410-720-6226
Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: *TSW/MR*
DRAWN BY: *KO*
CHECKED BY: *MR*
DATE: *DECEMBER, 2001*
SCALE: *(AS SHOWN)*
W.O. NO.: *2017086.00*

8 SHEET OF 12



**STORMWATER MANAGEMENT
EXISTING CONDITIONS
DRAINAGE AREA MAP**
SCALE: 1"=50'

**STORMWATER MANAGEMENT
PROPOSED CONDITIONS
DRAINAGE AREA MAP**
SCALE: 1"=50'

STEP	REQUIREMENT	VOLUME REQUIREMENT	NOTES
1	WATER QUALITY VOLUME WQV	0.25 AC FT TOTAL 0.09 AC FT BIO-RETENTION 0.154 AC FT SAND FILTER	WATER QUALITY VOLUME PROVIDED IN TRENCH AND SAND FILTER
2	RECHARGE VOLUME	2787 CU FT TOTAL SITE	RECHARGE VOLUME PROVIDED IN TRENCH BELOW BIO-RETENTION
3	CHANNEL PROTECTION VOLUME Cpv	0.356 AC FT 15,507 CU FT	Cpv WILL BE PROVIDED IN PROPOSED UNDERGROUND PIPE
4	OVERHEAD FLOOD PROTECTION, Q10p	N/A	
5	EXTREME FLOOD VOLUME Q100p	N/A	

No.	TYPE	TOP ELEV.	INV. IN	INV. OUT	COMMENTS
I-1	DOUBLE TYPE 'S' INLET	205.20	205.20	205.20	HO. CO. STD. SD-4.23
I-6	DOUBLE TYPE 'S' INLET	185.10	182.87	182.87	HO. CO. STD. SD-4.23
I-7	DOUBLE TYPE 'S' INLET	188.78	182.88	181.90	HO. CO. STD. SD-4.23
I-8	DOUBLE TYPE 'S' INLET	192.20	182.89	182.89	HO. CO. STD. SD-4.23
MH-2	4" STANDARD PRECAST MANHOLE	204.27	191.14	191.14	HO. CO. STD. G-5.12
MH-4	4" STANDARD PRECAST MANHOLE	191.00	182.42	182.42	HO. CO. STD. G-5.12
MH-5	4" STANDARD PRECAST MANHOLE	186.50	182.42	178.10	HO. CO. STD. G-5.12
MH-11	4" STANDARD PRECAST MANHOLE	188.65	178.75	182.33	HO. CO. STD. G-5.12
MH-11A	4" STANDARD PRECAST MANHOLE	188.50	180.60	177.57	HO. CO. STD. G-5.12
SS-1	8" CORR. PRECAST MANHOLE	186.80	175.58	173.70	HO. CO. STD. SD-5.11
SS-2	TYPE 'A' HORIZONTAL	175.00	175.00	172.10	HO. CO. STD. SD-5.11
SS-2	CONCRETE END SECTION	181.42	190.75	190.75	HO. CO. STD. SD-5.52

OWNER/DEVELOPER
WILLIAM F. UTZ CONSTRUCTION
539 BENFIELD ROAD, SUITE 2
SEVERNA PARK, MARYLAND 21146
(410) 757-3258

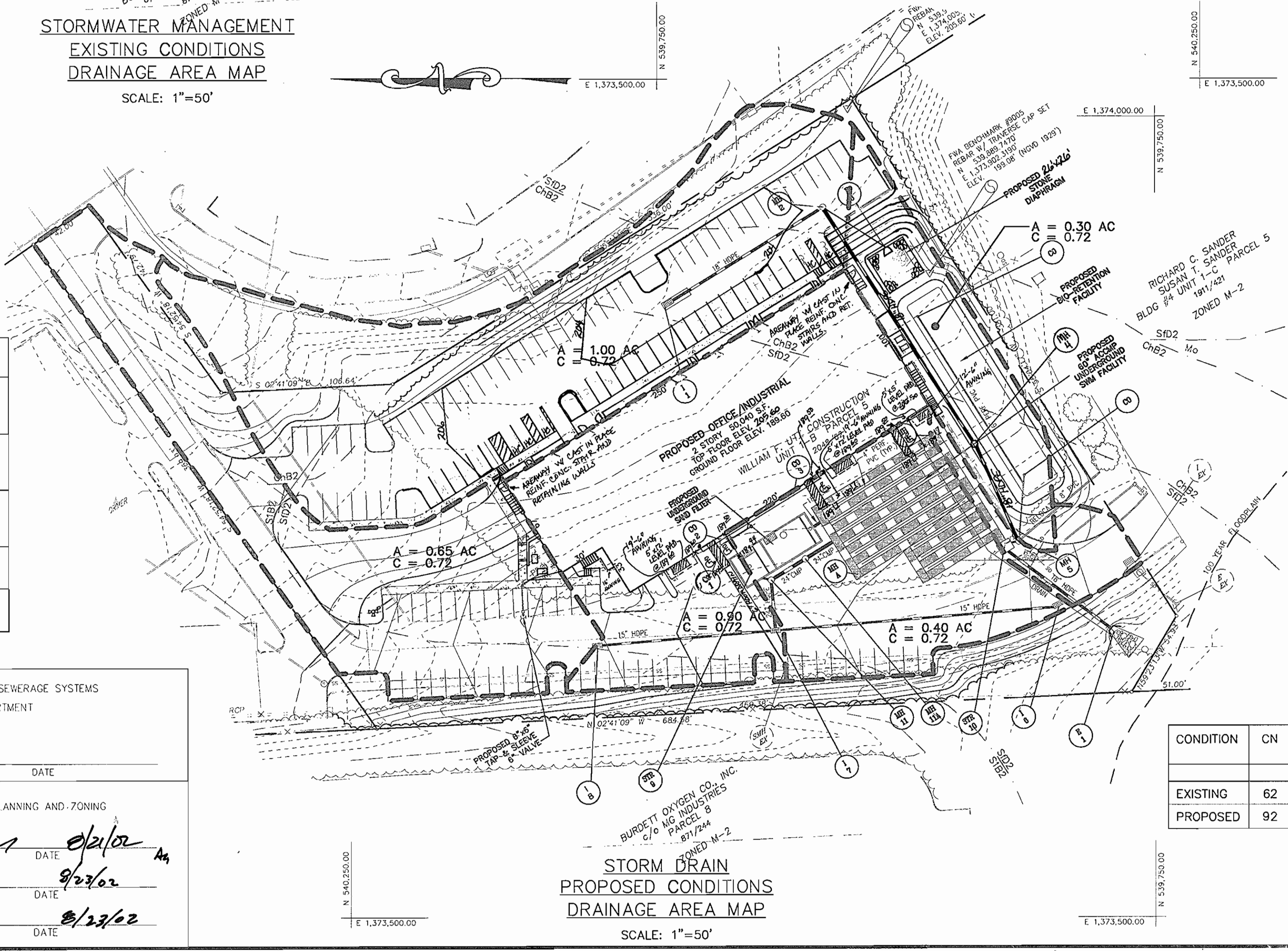
DATE	NUMBER	REVISION DESCRIPTIONS
11-11-02	1	ADDITION OF ENTRANCES, PARKING, AREAS, AVENUES, AND ROOF DRAINS
8-26-03	2	RAISE TOP FLOOR ELEVATION TO 205.00. CHANGE HC AND PARKING LOT ELEVATIONS TO CONFORM WITH BUILDING
6-27-05	3	RELOCATE STORM DRAINAGE TO NEW LOCATION; ADJUST PIPE TO ACCOMMODATE NEW PIPE LOCATIONS & NEW LOADING BAY

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

N/A
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] *[Signature]*
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 9/23/02
CHIEF, DIVISION OF LAND DEVELOPMENT DATE 9/23/02
DIRECTOR DATE 9/23/02



**STORM DRAIN
PROPOSED CONDITIONS
DRAINAGE AREA MAP**
SCALE: 1"=50'

CONDITION	CN	t _c	RUNOFF Q ₁ 1 YR STORM	Q 1 YR	Q 10 YR	Q 100 YR
		HR	INCHES	CFS	CFS	CFS
EXISTING	62	0.1	0.25	0.88	8.10	16.14
PROPOSED	92	0.1	1.78	10.15	23.90	35.60

FOR REVISION #3 ONLY

[Professional Seal]
FREDERICK WARD ASSOCIATES, INC.
REGISTERED PROFESSIONAL ENGINEER
No. 16109
Professional Engineering

[Signature]
R. W. Ward, Esq.

DRAINAGE AREA MAPS AND SWM DETAILS

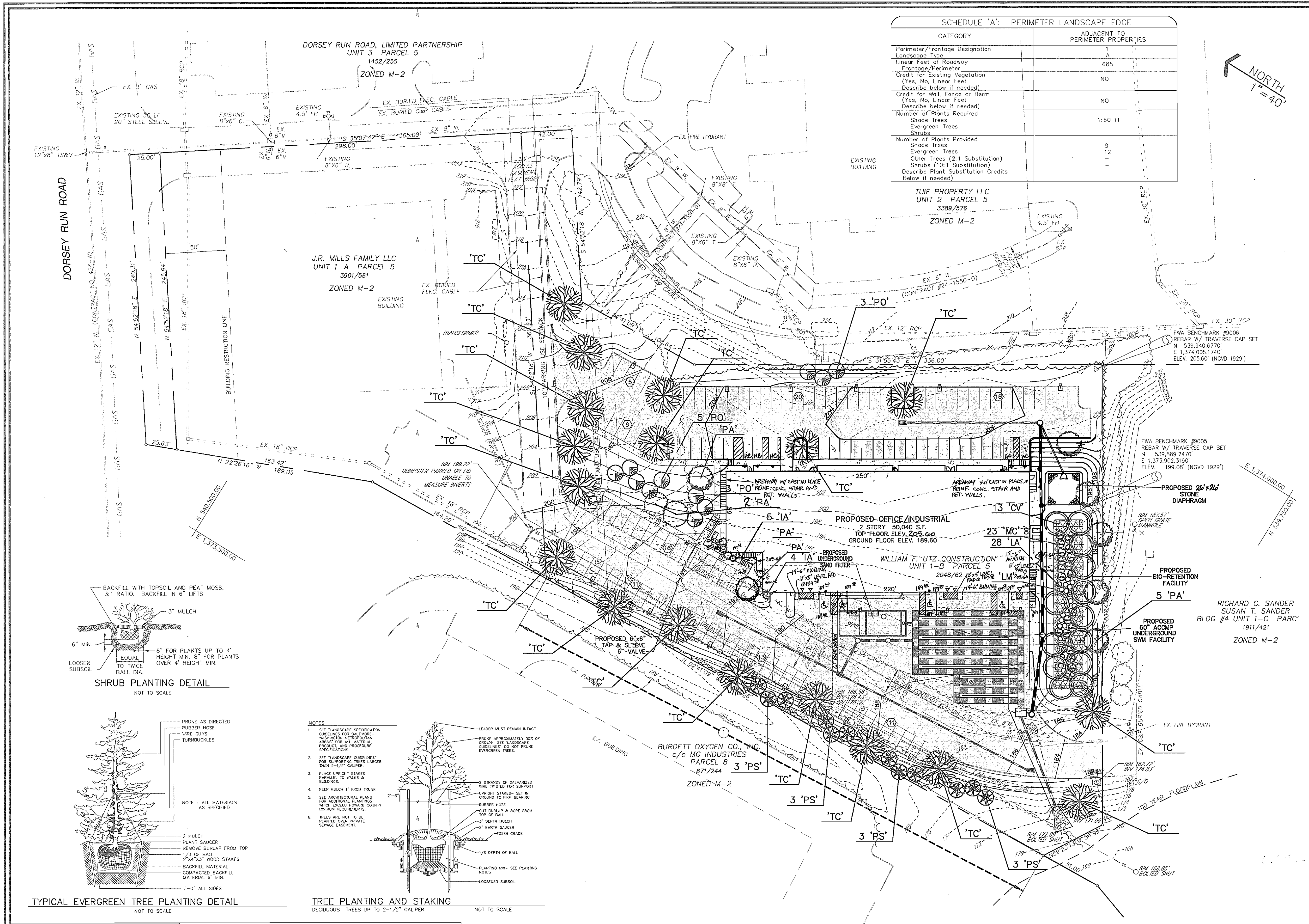
**DORSEY RUN PARK
BUILDING #5 UNIT 1-B**

TAX MAP 48 GRID 3 PARCEL 5 UNIT 1-B
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226
SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

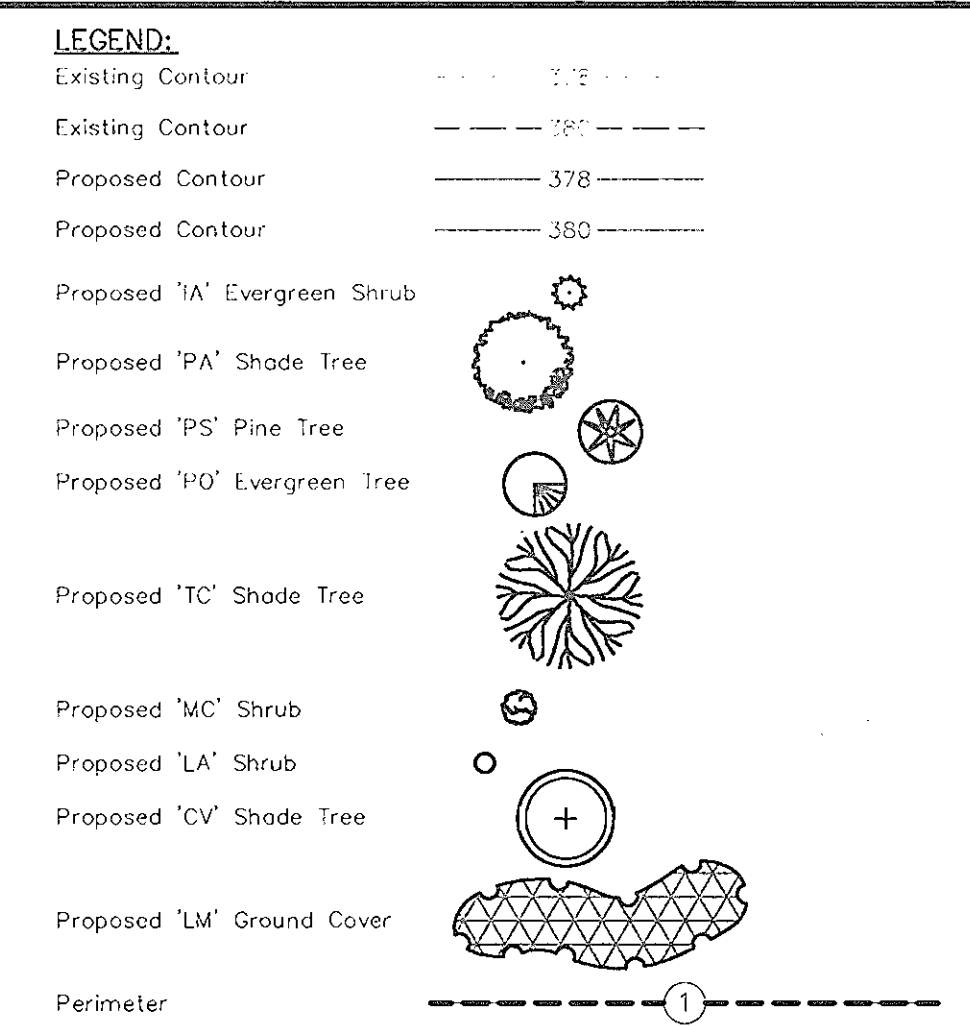
DESIGN BY: JHW/JWR
DRAWN BY: KO
CHECKED BY: MR
DATE: DECEMBER, 2001
SCALE: (AS SHOWN)
W.O. NO.: 2017086.00

9 SHEET OF 12



SCHEDULE 'A': PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO PERIMETER PROPERTIES
Perimeter/Frontage Designation	A
Landscaping Type	685
Linear Feet of Roadway	NO
Frontage/Perimeter	NO
Credit for Existing Vegetation (Yes, No, Linear Feet Describe below if needed)	NO
Credit for Wall, Fence or Berm (Yes, No, Linear Feet Describe below if needed)	NO
Number of Plants Required	1:60 11
Shade Trees	12
Evergreen Trees	1
Shrubs	1
Number of Plants Provided	8
Shade Trees	12
Evergreen Trees	1
Other Trees (2:1 Substitution)	1
Shrubs (10:1 Substitution)	1
Describe Plant Substitution Credits Below if needed)	



- GENERAL NOTES:**
- ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT AAS SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH LCMAY PLANTING SPECIFICATIONS OR THE HOWARD COUNTY LANDSCAPE MANUAL, WHICHEVER IS GREATER.
 - MAINTENANCE TO INCLUDE MONITORING AND HAND WATERING AS NEEDED FOR THE FIRST TWO GROWING SEASONS TO ESTABLISH WOODY PLANTS. SPECIALIZED PLANTING AREAS INCLUDING INTERIOR COURTYARDS AND ANNUAL BEDS MAY REQUIRE REGULAR HAND WATERING OR IRRIGATION.
 - CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
 - FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
 - CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.
 - THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. THE REQUIRED PARKING LANDSCAPING WILL BE BONDED PER THIS SUBMISSION.
 - FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$5,400.00 FOR THE REQUIRED 18 SHADE TREES.

SCHEDULE 'B': PARKING LOT INTERNAL LANDSCAPING

Number of parking spaces	130
Number of trees and parking lot islands required	7
Number of trees and parking lot islands provided	7
Shade Trees	7
Other Trees (2:1 Substitution)	0

LANDSCAPE SCHEDULE

KEY	QUAN.	BOTANICAL NAME	SIZE	REMARKS
IA	9	Ilex sp. 'Nellie Stevens' Holly	36" HT.	B & B of Container
PA	9	Phellodendron amurense 'Shademaster'	1 3/4"-2" cal.	B & B
PO	11	Picea canadensis 'Serpentine Spruce'	6" HT.	B & B
TC	18	Tilia cordata 'Greenspire'	2 1/2"-3" cal.	B & B
PS	12	Pinus strobus 'White Pine'	6" HT.	B & B
CV	13	Cotoneaster verticillata 'Winter King'	1 1/2"-2" cal.	B & B
LA	28	Leucothoe axillaris	18" HT.	B & B or Container
LM	100	Liriope muscari 'Big Blue'	2" Pot or Plug	18" O/C
MC	23	Myrica carifera	36" HT.	B & B or Container

OWNER/DEVELOPER
 WILLIAM F. UTZ CONSTRUCTION
 539 BENFIELD ROAD, SUITE 2
 SEVERNA PARK, MARYLAND 21146
 (410) 757-3258

DATE	NUMBER	REVISION DESCRIPTIONS
11-11-02	1	ADDITION OF ENTRANCES, PARKING, AREAWAYS, AWNINGS AND ROOF DRAINS
8-26-03	2	RAISE TOP FLOOR ELEVATION TO 205.60, CHANGE HC AND PARKING LOT ELEVATIONS TO CONFORM WITH BUILDING RELOCATE STORM DRAINS TO JUST ABOVE DIAPHRAGM; ADJUST PARKING TO ACCOMMODATE NEW DOOR LOCATIONS (AS SHOWN ON PLAN)
6-27-05	3	REVISION DESCRIPTIONS

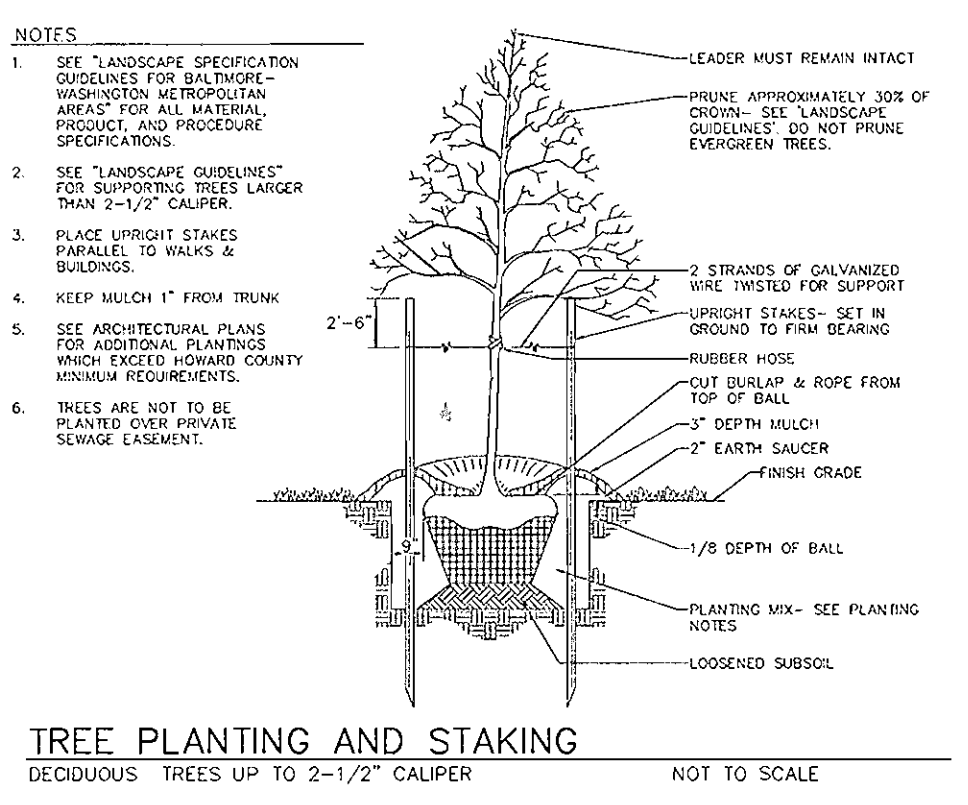
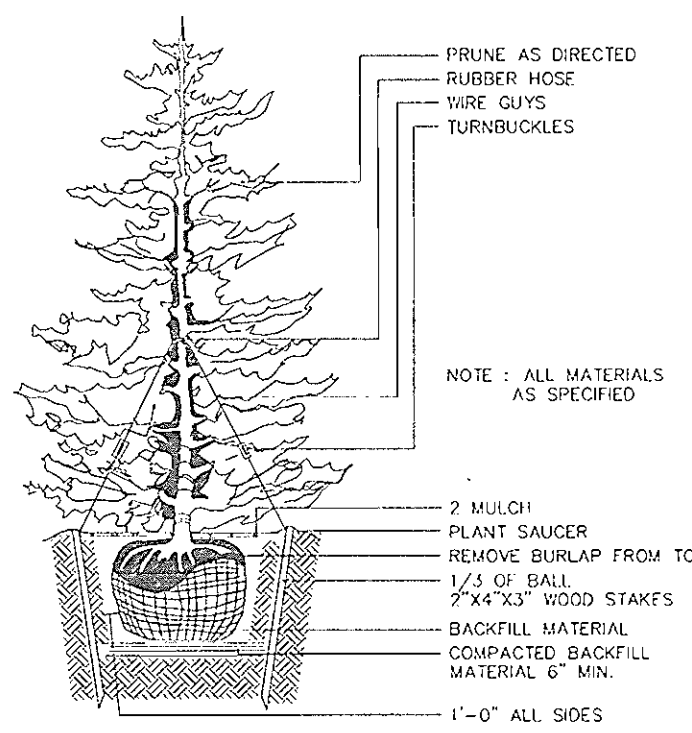
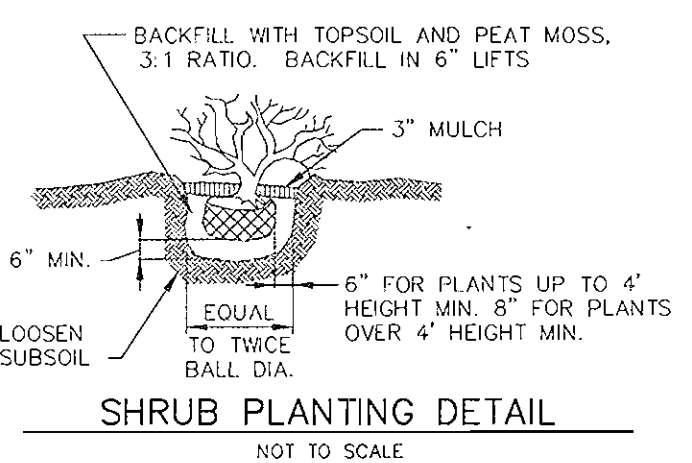
SITE LANDSCAPE PLAN
DORSEY RUN PARK
BUILDING #5 UNIT 1-B

TAX MAP 48 GRID 3 PARCEL 5 UNIT 1-B
 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
 ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
 ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6228
 SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: TFW/MR
 DRAWN BY: KO
 CHECKED BY: MR
 DATE: DECEMBER, 2001
 SCALE: 1" = 40'
 W.O. NO.: 2017088.00

10 SHEET OF 12



APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT

N/A
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 8/21/02
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE 8/23/02
 DIRECTOR DATE 8/23/02

DEVELOPER'S BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE(1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

SIGNATURE OF DEVELOPER DATE 08/26/02

FOR REVISION #3 ONLY



Robert O. ...
 Robert O. ...

SOIL CHART			
NAME	TYPE	HYDRIC	WATER TABLE (FEET)
ChB2	CHESTER SILT LOAM	----	>20
SFD2	SASSAFRAS GRAVELLY SANDY LOAM	----	>5
SIB2	SASSAFRAS LOAM	----	>5

AREA BREAKDOWN

R	0.54 AC
OA	0.76 AC
F1	1.91 AC
F2	0.23 AC
	3.44 AC

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division

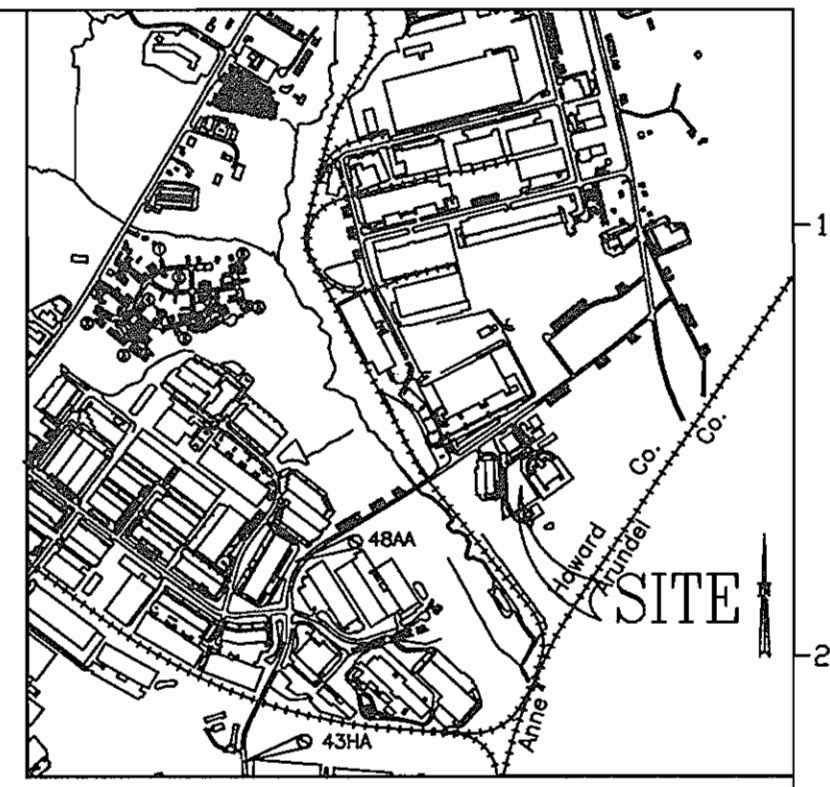
Chief, Division of Land Development

Director

Date

Date

Date



VICINITY MAP
1"=2000'

SITE DATA

TAX MAP: 48
PARCEL: 5 UNIT 1B
TOTAL SITE AREA: 3.44 AC
NET TRACT AREA: 3.44 AC
TOTAL FORESTED AREA: 2.14 AC
AFFORESTATION THRESHOLD (15%)
RETENTION THRESHOLD (15%)

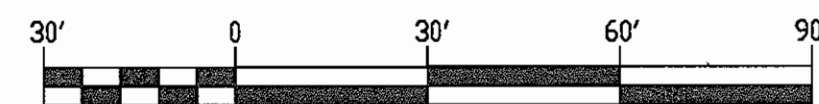
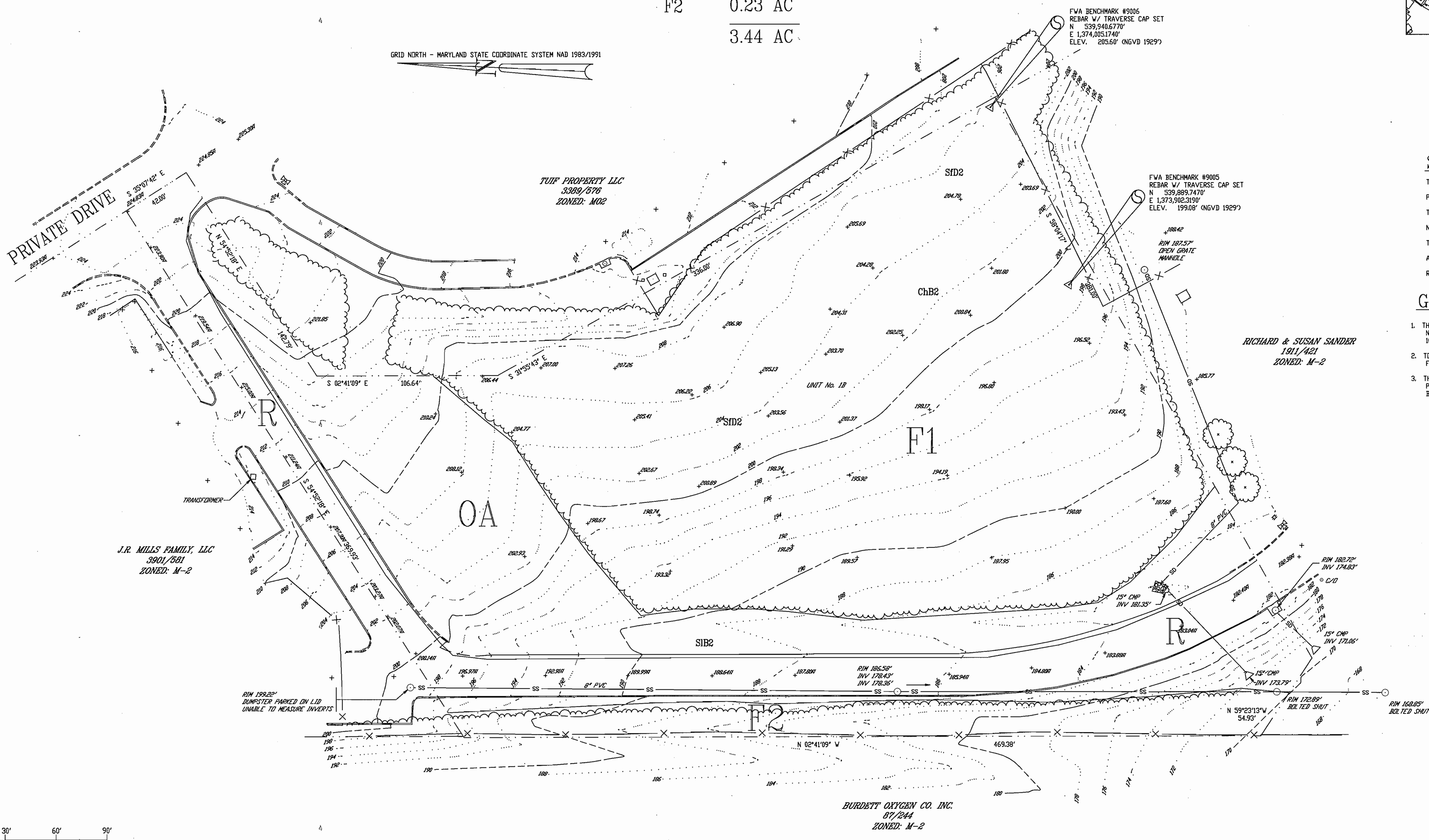
GENERAL NOTES

- THIS SITE CONTAINS NO SPECIMEN TREES, NON-TIDAL WETLAND, WATERS OF U.S. AND 100 YR FLOODPLAIN.
- TOPOGRAPHIC SURVEY PERFORMED BY FREDERICK WARD ASSOC. INC. MARCH 2001.
- THE BOUNDARY SHOWN HEREIN IS FOR ORIENTATION PURPOSES ONLY, AND DOES NOT CONSTITUTE A BOUNDARY SURVEY.

LEGEND

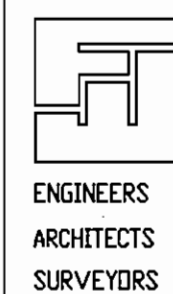
- PROPERTY LINE
- EX. CONTOURS
- EX. TREELINE
- SOILS BOUNDARY
- SLOPES 15 - 25%
- SLOPES >25%
- ON-SITE COMMUNITIES

GRID NORTH - MARYLAND STATE COORDINATE SYSTEM NAD 1983/1991



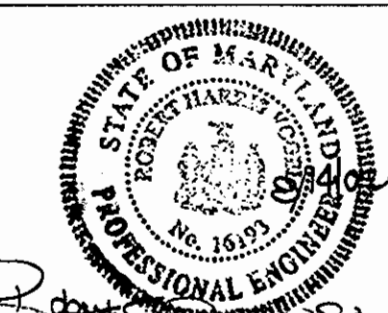
REVISIONS		
REV#	DATE	DESCRIPTION

OWNER/DEVELOPER
W.F. UTZ CONSTRUCTION CO.
539 BENFIELD ROAD SUITE 2
SEVERNA PARK, MD 21146



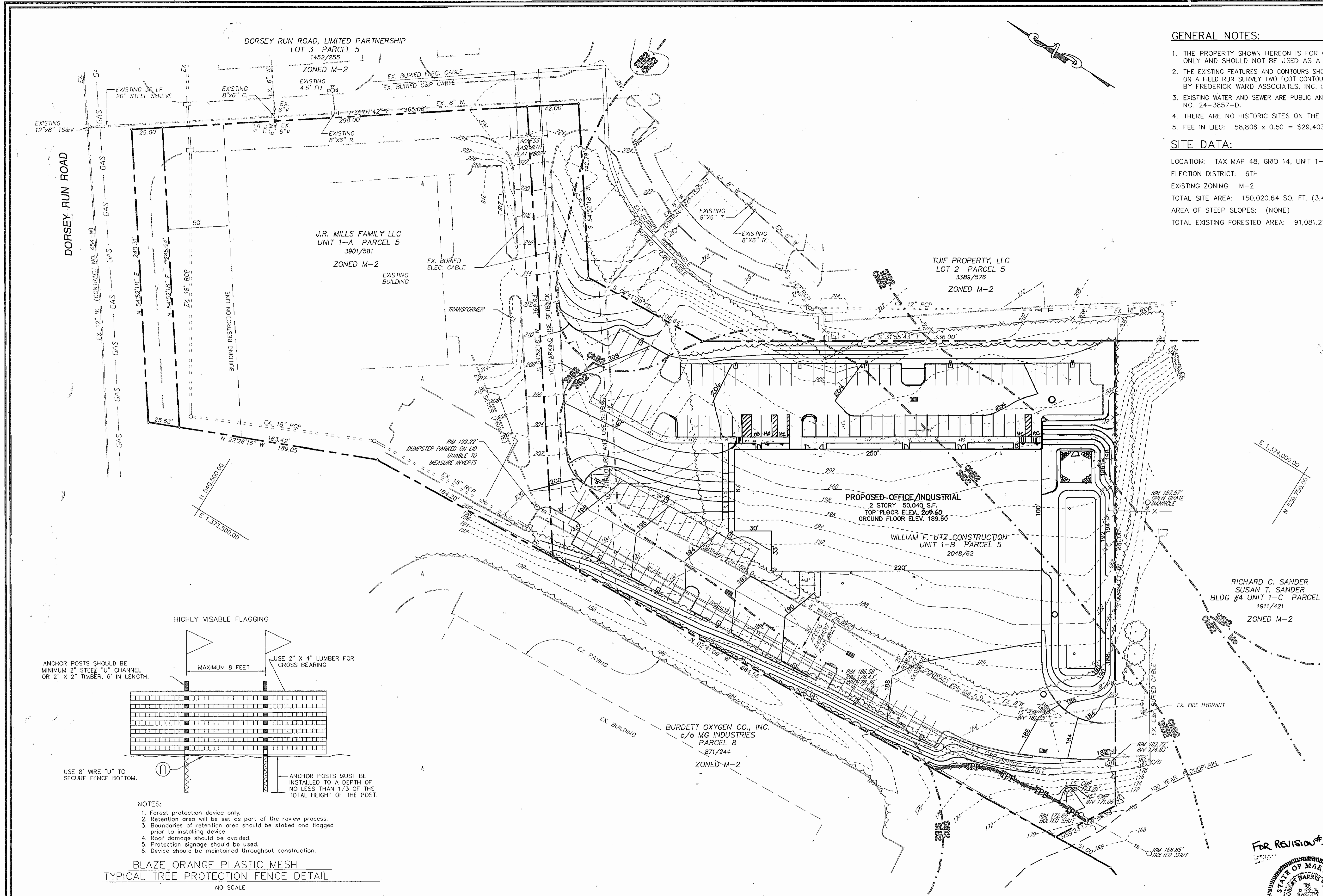
FREDERICK WARD ASSOCIATES INC.
7125 Riverwood Drive Columbia, Maryland 21046-2354
Phone: 410-290-9950 410-720-6226
Bel Air, Maryland Manassas, Virginia Warrenton, Virginia

FOREST STAND DELINEATION PLAN
UTZ PROPERTY



DATE: 4/19/01
SCALE: 1"= 30'
DESIGNED BY: ACS
DRAWN BY: JMC
FVA JOB NUMBER: 2017086.00
DRAWING NO.:
SHEET 11 OF 12

SDP-01-126

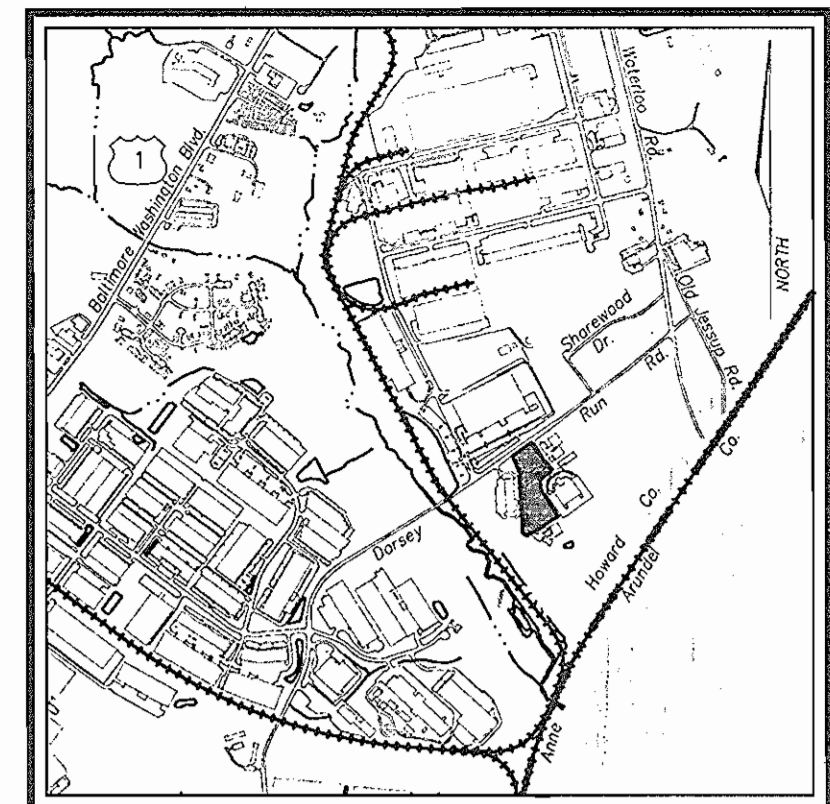


GENERAL NOTES:

1. THE PROPERTY SHOWN HEREON IS FOR ORIENTATION PURPOSES ONLY AND SHOULD NOT BE USED AS A BOUNDARY SURVEY.
2. THE EXISTING FEATURES AND CONTOURS SHOWN HEREON ARE BASED ON A FIELD RUN SURVEY TWO FOOT CONTOUR INTERVALS PREPARED BY FREDERICK WARD ASSOCIATES, INC. DATED APRIL, 2001.
3. EXISTING WATER AND SEWER ARE PUBLIC AND SHOWN PER CONTRACT NO. 24-3857-D.
4. THERE ARE NO HISTORIC SITES ON THE SUBJECT PARCEL.
5. FEE IN LIEU: 58,806 x 0.50 = \$29,403.00

SITE DATA:

LOCATION: TAX MAP 48, GRID 14, UNIT 1-B
 ELECTION DISTRICT: 6TH
 EXISTING ZONING: M-2
 TOTAL SITE AREA: 150,020.64 SQ. FT. (3.444 ACRES)
 AREA OF STEEP SLOPES: (NONE)
 TOTAL EXISTING FORESTED AREA: 91,081.21 SQ. FT. (2.09 ACRES)



VICINITY MAP
SCALE: 1"=2000'

FOREST CONSERVATION WORKSHEET:

NET TRACT AREA:

A. TOTAL TRACT AREA	3.44 AC
B. AREA WITHIN 100 YEAR FLOODPLAIN	0.00 AC
C. AREA TO REMAIN IN AGRICULTURAL PRODUCTION	0.00 AC
D. NET TRACT AREA	3.44 AC

LAND USE CATEGORY (FROM TABLE 3.2.1, PAGE 40, MANUAL)

INPUT THE NUMBER "1" UNDER THE APPROPRIATE LAND USE ZONING, AND LIMIT TO ONLY ONE ENTRY.

ARA	MDR	IDA	HDR	MPD	CIA
0	0	0	0	0	1

E. AFFOREST THRESHOLD 15% x D = 0.52 AC
F. CONSERVATION THRESHOLD 15% x D = 0.52 AC

EXISTING FOREST COVER:

G. EXISTING FOREST COVER (EXCLUDING FLOODPLAIN)	= 2.09 AC
H. AREA OF FOREST ABOVE AFFORESTATION THRESHOLD	= 1.57 AC
I. AREA OF FOREST ABOVE CONSERVATION THRESHOLD	= 1.57 AC

BREAK EVEN POINT: (0.2 x 1.57) + (0.52) = 0.83 AC

J. FOREST RETENTION WITH NO MITIGATION	= 0.83 AC
K. CLEARING PERMITTED WITHOUT MITIGATION	= 1.26 AC

PROPOSED FOREST CLEARING:

L. TOTAL AREA OF FOREST TO BE CLEARED	= 2.05 AC
M. TOTAL AREA OF FOREST TO BE RETAINED	= 0.04 AC

PLANTING REQUIREMENTS:

N. REFORESTATION FOR CLEARING ABOVE CONSERVATION THRESHOLD	= 0.39 AC
P. REFORESTATION FOR CLEARING BELOW CONSERVATION THRESHOLD	= 0.96 AC
Q. CREDIT FOR RETENTION ABOVE CONSERVATION THRESHOLD	= 0.00 AC
R. TOTAL REFORESTATION REQUIRED	= 1.35 AC
S. TOTAL AFFORESTATION REQUIRED	= 0.00 AC
T. TOTAL REFORESTATION AND AFFORESTATION REQUIRED	= 1.35 AC

OBLIGATION TO BE FULFILLED BY FEE-IN-LIEU OF REFORESTATION:

FEE-IN-LIEU	58,806 SF x 0.50	= \$29,403.00
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OWNER/DEVELOPER
 WILLIAM F. UTZ CONSTRUCTION
 539 BENFIELD ROAD, SUITE 2
 SEVERNA PARK, MARYLAND 21148
 (410) 757-3258

0-27-05	3	RELAYED STORM DRAIN; ADJUST STONE DRAINAGE; ADJUST PROPOSED PROTECTIVE MESH; ADJUST LOCATIONS & RISES FOR MESH; RAISE TOP FLOOR ELEVATION TO 205.60; CHANGE HC AND PARKING LOT ELEVATIONS TO CONFORM WITH BUILDING
8-26-03	2	

DATE	NUMBER	REVISION DESCRIPTIONS
------	--------	-----------------------

FOREST CONSERVATION PLAN

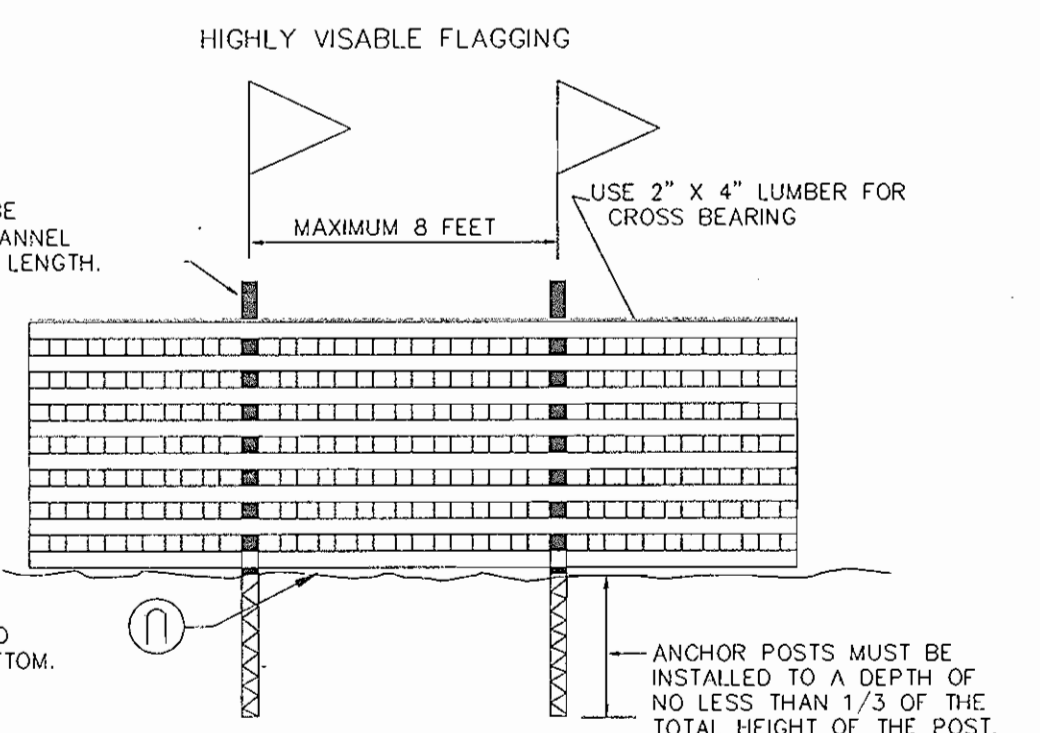
DORSEY RUN PARK
BUILDING #5 UNIT 1-B

TAX MAP 48 GRID 3 PARCEL 5 UNIT 1-B
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FREDERICK WARD ASSOCIATES, INC.
 ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
 ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226
 SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: ACS
 DRAWN BY: KD
 CHECKED BY: ACS
 DATE: DECEMBER, 2001
 SCALE: 1" = 40'
 W.O. NO.: 2017086.00

12 SHEET OF 12



NOTES:

1. Forest protection device only.
2. Retention area will be set as part of the review process.
3. Boundaries of retention area should be staked and flagged prior to installing device.
4. Roof damage should be avoided.
5. Protection signage should be used.
6. Device should be maintained throughout construction.

BLAZE ORANGE PLASTIC MESH
TYPICAL TREE PROTECTION FENCE DETAIL
 NO SCALE

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT

NA
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 8/12/02
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE 8/23/02
 DIRECTOR DATE 8/23/02

LEGEND

Existing Contour

Existing Trees

Specimen Trees

Soil Boundary

Property Line

Tree Protection Fence

