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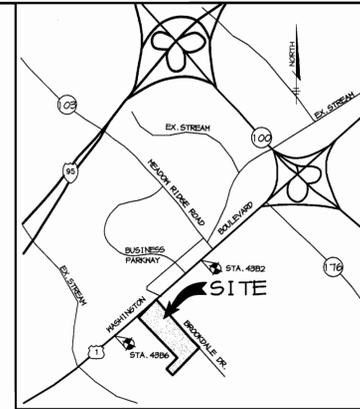
SITE DEVELOPMENT PLAN

CENTRAL TRANSPORT

BUILDING ADDITION

1st ELECTION DISTRICT

HOWARD COUNTY, MARYLAND



VICINITY MAP
SCALE: 1" = 2000'

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY RIEMER MUEGGE A DIVISION OF PHR&A DATED JANUARY, 2001.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 43B2 AND 43B6 WERE USED FOR THIS PROJECT.
- WATER IS PUBLIC. CONTRACT NO. 573 W&S
- SEWER IS PUBLIC. SEWER DRAINAGE AREA: PATAPSCO CONTRACT NO. 579-S
- THERE ARE NO NEW STORMWATER MANAGEMENT FACILITIES PROPOSED FOR THIS SITE AS THE EXISTING IMPERVIOUS AREA IS LESS THAN 85% OF THE SITE AND NO PROPOSED INCREASE IN IMPERVIOUS AREA IS PROPOSED.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- NO 100- YEAR FLOODPLAIN STUDY IS REQUIRED FOR THIS PROJECT.
- THE WETLANDS DELINEATION STUDY FOR THIS PROJECT WAS PREPARED BY RIEMER MUEGGE A DIVISION OF PHR&A DATED JANUARY, 2001.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, INC. DATED FEBRUARY, 2001.
- THE BOUNDARY SURVEY FOR THIS PROJECT WAS PREPARED BY RIEMER MUEGGE A DIVISION OF PHR&A DATED FEBRUARY, 2001.
- SUBJECT PROPERTY ZONED M-2 PER 10-18-93 COMPREHENSIVE ZONING PLAN.
- ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD.
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE.
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T180.
- THIS PROJECT IS CONDITIONALLY EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION WITH THE FILING OF A DECLARATION OF INTENT FOR CLEARING FOREST RESOURCES LESS THAN 40,000 S.F. CLEARED AMOUNT IS 5870 S.F.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE REQUIRED WETLANDS, STREAMS OR THEIR BUFFERS.

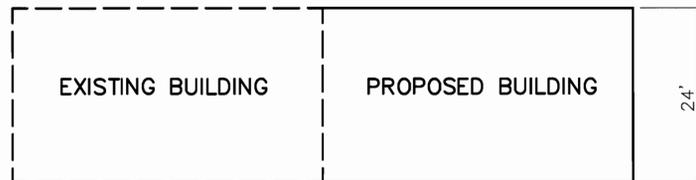
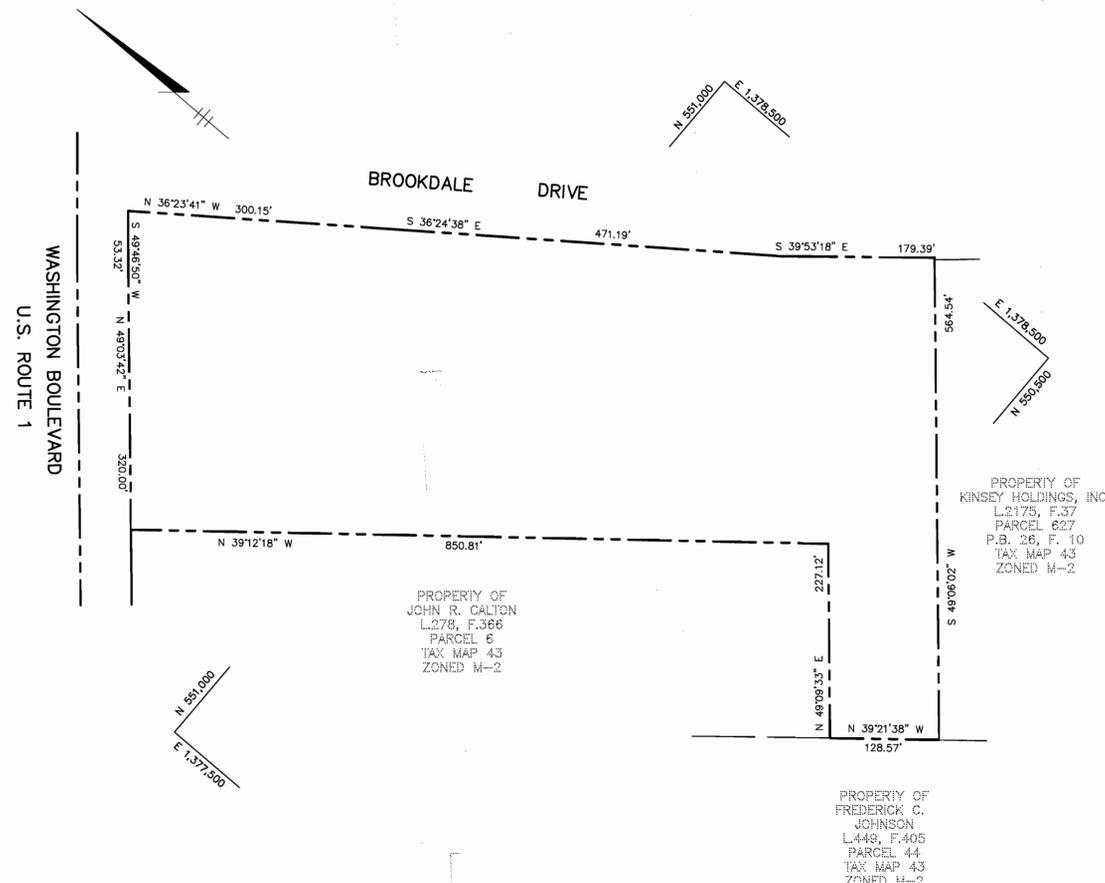
BENCHMARKS

HO. CO. SURVEY CONTROL STATION 43B6
N 550,601.59 E 1,376,866.05
ELEV. 210.61

HO. CO. SURVEY CONTROL STATION 43B2
N 551,655.01 E 1,378,176.94
ELEV. 209.67

SITE ANALYSIS

AREA OF PARCEL	8.3 ACRES 361,548 SF
DISTURBED AREA	1.55 ACRES 67,664 SF
PRESENT ZONING	M-2
PROPOSED USE	TRUCK TERMINAL
EXISTING BUILDING COVERAGE	17,374 SF (4.8% COVERAGE)
PROPOSED ADDITIONAL BUILDING COVERAGE	16,500 SF (4.6% COVERAGE)
TOTAL BUILDING COVERAGE	33,874 SF (9.4% COVERAGE)
FIRST FLOOR OFFICE AREA	3,101 SF
BASEMENT FLOOR OFFICE AREA	2,951 SF
TOTAL OFFICE AREA	6,052 SF
TOTAL TRUCK TERMINAL AREA	27,822 SF
# OF EXISTING PARKING SPACES	54 (INCLUDING 3 HC)
# OF PARKING SPACES REQUIRED @ 3.3 SP. / 1000 SF OFFICE	20 SPACES
# OF PARKING SPACES REQUIRED @ 0.5 SP. / 1000 SF TRUCK TERMINAL	14 SPACES
TOTAL SPACES REQUIRED	34 SPACES



APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.	
<i>Paul Rutter</i> DIRECTOR	1/10/02 DATE
<i>William M. ...</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	1/10/02 DATE
<i>Chris ...</i> CHIEF, DIVISION OF LAND DEVELOPMENT	1/11/02 DATE

DATE	NO.	REVISION
OWNER / DEVELOPER		
CROWN ENTERPRISES, INC. 6497 EAST TEN MILE ROAD CENTERLINE, MARYLAND 48015 810-939-7000		
PROJECT CENTRAL TRANSPORT PHASE I BUILDING ADDITION		
AREA TAX MAP 43 PARCEL 462 ZONED M-2 L. 349, F. 183 1st ELECTION DISTRICT, HOWARD COUNTY, MARYLAND		
TITLE TITLE SHEET		

Patton Harris Rust & Associates, pc
ENGINEERS • SURVEYORS • PLANNERS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SPECIALISTS
8818 Centre Park Drive, Columbia, MD 21045 • tel 410.997.8800 fax 410.997.9282

DATE 12.6.01	DESIGNED BY : C.J.R.
	DRAWN BY: MAD
<i>Christopher J. Reid</i> CHRISTOPHER J. REID #19949	PROJECT NO. 00364/ SDP1.dwg
	DATE : DECEMBER 6, 2001
	SCALE : AS SHOWN
	DRAWING NO. 1 OF 5

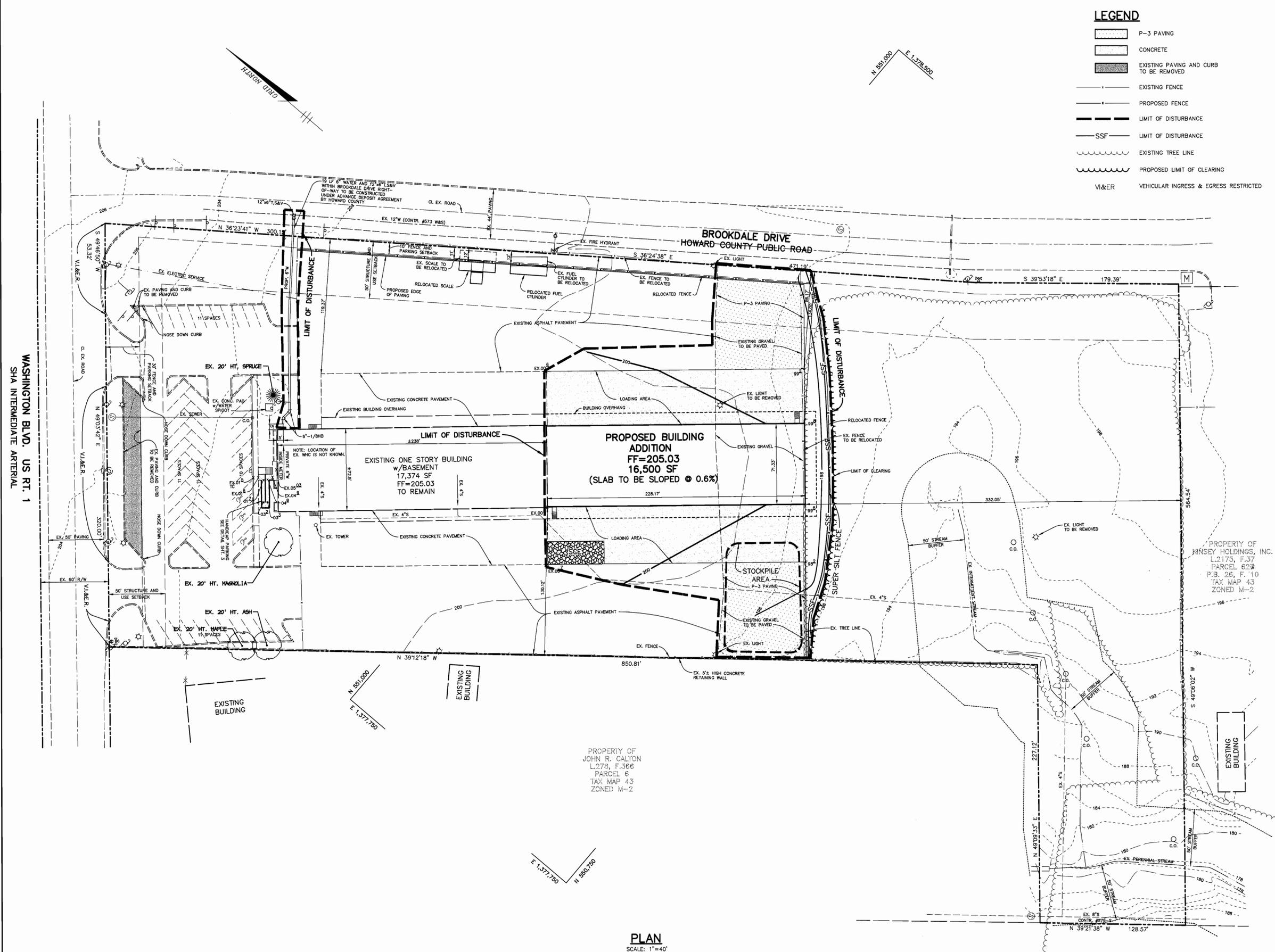
ADDRESS CHART	
PARCEL	STREET ADDRESS
462	7471 WASHINGTON BOULEVARD
SUBDIVISION NAME - CENTRAL TRANSPORT	
SECT./AREA - 462	
L/T - 349/183	BLOCK # - 4 & 5
ZONING - M-2	TAX MAP NO. - 43
ELECT. DIST. - 1st	CENSUS TRACT - 6012
WATER CODE - B01	SEWER CODE - 2350000

LEGEND

- P-3 PAVING
- CONCRETE
- EXISTING PAVING AND CURB TO BE REMOVED
- EXISTING FENCE
- PROPOSED FENCE
- LIMIT OF DISTURBANCE
- LIMIT OF DISTURBANCE
- EXISTING TREE LINE
- PROPOSED LIMIT OF CLEARING
- VI&ER VEHICULAR INGRESS & EGRESS RESTRICTED

NOTES:

1. ALL RADII ARE 5' UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO FACE OF CURB OR BUILDING UNLESS OTHERWISE NOTED.
3. ALL ON-SITE ROADS ARE PRIVATE.
4. ALL LIGHTING IS TO BE DIRECTED/REFLECTED AWAY FROM ADJACENT PUBLIC ROADS AND RESIDENTIALLY ZONED PROPERTIES, AND BE IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
5. NO ON-SITE DUMPSTER PROPOSED. TRASH HAULING WILL BE HANDLED BY PRIVATE TRASH SERVICE.



BY THE DEVELOPER :
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.
Dan P. Afer 12.7.01
 DEVELOPER DATE

BY THE ENGINEER :
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
Christopher J. Reid 12.6.01
 ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.
Jim Meyer 11/7/02
 NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
John R. Robertson 11/7/02
 HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
Joseph B. Smith 11/16/02
 DIRECTOR DATE
Chris Drummond 11/16/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MAJ DATE
Cindy Hamner 11/11/02
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE NO.	REVISION

OWNER / DEVELOPER
 CROWN ENTERPRISES, INC.
 6497 EAST TEN MILE ROAD
 CENTERLINE, MARYLAND 48015
 810-939-7000

PROJECT **CENTRAL TRANSPORT PHASE I BUILDING ADDITION**
 AREA TAX MAP 43 PARCEL 462 ZONED M-2
 L. 349, F. 183
 1st ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE **SITE DEVELOPMENT PLAN**

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 LANDSCAPE ARCHITECTS • ENVIRONMENTAL SPECIALISTS
 8818 Centre Park Drive, Columbia, MD 21045 • tel 410.997.8800 fax 410.997.8282

12.6.01 DATE	DESIGNED BY : C.J.R.
	DRAWN BY: MAD
	PROJECT NO : 00364/SDP2.dwg
	DATE : DECEMBER 6, 2001
	SCALE : AS SHOWN
	DRAWING NO. 2 OF 5

PLAN
 SCALE: 1"=40'

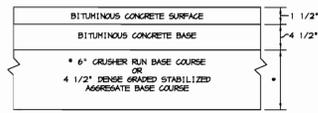
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STANDARD SEDIMENT CONTROL NOTES

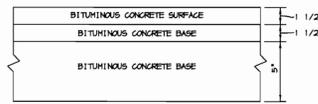
- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (319-1895).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1984 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THEREOF.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN A 7 CALIBER DAY FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES (DITCHES, PERIMETER SLOPES, AND SLOPES OTHER THAN 3:1), 30 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL DISTURBED AREAS MUST BE FENCED AND WARNING SIGNS POSTED AROUND THE PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1984 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING, SOIL, TEMPORARY SEEDING, AND MULCHING (SEC. 6.). TEMPORARY STABILIZATION WITH MULCH ALONE SHALL ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:

TOTAL AREA OF SITE	8.3 ACRES
AREA DISTURBED	1.35 ACRES
AREA TO BE ROOFED OR PAVED	1.23 ACRES
AREA TO BE VEGETATIVELY STABILIZED	0.32 ACRES
TOTAL CUT	110 CU. YARDS
TOTAL FILL	100 CU. YARDS

 OFFSITE WASTE AREA LOCATION TO HAVE ACTIVE GRADING PERMIT
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 3 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING, OTHER BUILDING OR GRADING. INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.
- SITE GRADING WILL BEGIN ONLY AFTER ALL PERIMETER SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED AND ARE IN A FUNCTIONING CONDITION.
- SEDIMENT WILL BE REMOVED FROM TRAPS WHEN ITS DEPTH REACHES CLEAN OUT ELEVATION SHOWN ON THE PLANS.
- CUT AND FILL QUANTITIES PROVIDED UNDER SITE ANALYSIS DO NOT REPRESENT BID QUANTITIES. THESE QUANTITIES DO NOT DISTINGUISH BETWEEN TOPSOIL, STRUCTURAL FILL OR EMBANKMENT MATERIAL, NOR DO THEY CONSIDER CONSIDERATION OF UNDERSETTLING OR REMOVAL OF UNSUITABLE MATERIAL. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE CONDITIONS WHICH MAY AFFECT THE WORK.



(ALTERNATE)



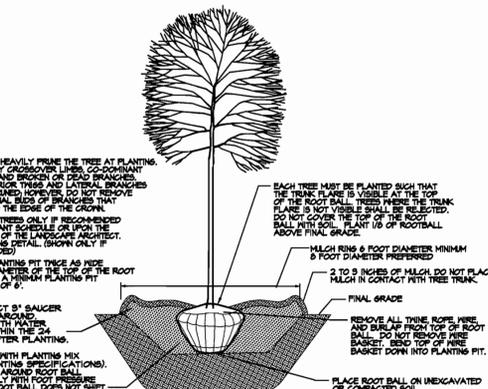
P-3 PAVING

NO SCALE

HOWARD COUNTY DESIGN MANUAL VOLUME IV - STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (DRAWING R-2.01)

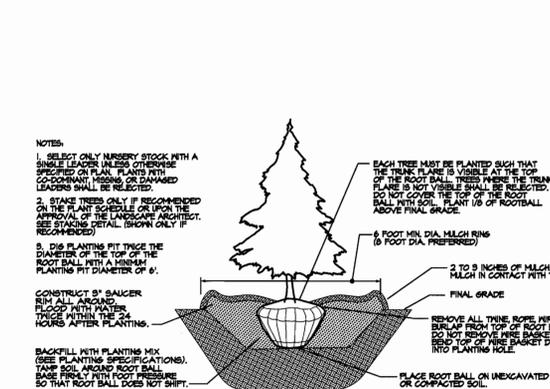
PLANTING SPECIFICATIONS

- Plants, related material, and operations shall meet the detailed description, as given on the plans and as described herein.
- All plant material, unless otherwise specified, that is not nursery grown, uniformly branched, does not have a vigorous root system, and does not conform to American Association of Nurserymen (AAN) Standards will be rejected. Plant material that is not healthy, vigorous, free from defects, decay, dieback, insect infestations, or objectionable dimensions of the bark, plant disease, insect pest eggs, borers and all forms of insect infestations or objectionable deformations will be rejected. Plant material that is weak or which has been cut back from larger grades to meet specified requirements will be rejected. Trees with forked leaders will be rejected. All B & B plants shall be freshly dug or headed-in plants or plants from cold storage will be accepted.
- Unless otherwise specified, all general conditions, planting operations, details and planting specifications shall conform to "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas," (hereinafter "Landscape Guidelines") approved by the Landscape Contractors Association of Metropolitan Washington and the Potomac Chapter of the American Society of Landscape Architects, latest edition, including all addenda.
- Contractor shall guarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section on the Landscape Guidelines. Contractor's attention is directed to the maintenance requirements found within the one year specifications including watering and replacement of specified plant material.
- Contractor shall be responsible for notifying all relevant and appropriate utility companies, utility contractors, and "Miss Utility" a minimum of 48 hours prior to the beginning of any work. Contractor may make minor adjustments in spacing and location of plant material to avoid conflicts with utilities. Major changes will require the approval of the landscape architect. Damage to existing structure and utilities shall be repaired at the expense of the Contractor.
- Protection of existing vegetation to remain shall be accomplished by the temporary installation of 4 foot high snow fence at the drip line, see detail.
- Contractor is responsible for installing all material in the proper planting season for each plant type. All planting is to be completed within growing season of completion of site construction. Do not plant Pinus strobus or Xcupressocyparis leylandii between November 15 and March 15. Landscape plants are not to be installed before site is graded to final grade.
- Contractor to regrade, fine grade, sod, hydroseed and straw mulch all areas disturbed by their work.
- Bid shall be based on actual site conditions. No extra payment shall be made for work arising from actual site conditions differing from those indicated on drawings and specifications.
- Plant quantities are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on plan and those shown on the plant list, the quantities on the plan take precedence. Where discrepancies on the plan exist between the symbols and the callout leader, the number of symbols take precedence.
- All shrubs and groundcover areas shall be planted in continuous planting beds, prepared as specified, unless otherwise indicated on plans. (See Specification 12). Beds to be mulched with minimum 2" and maximum 3" of composted, double-shredded hardwood mulch throughout.
- Positive drainage shall be maintained on planting beds (minimum 2 percent slope).
- Bed preparation shall be as follows: Till into a minimum depth of 6" 1 yard of Compro or Leafgro per 200 SF of planting bed, and 1 yard of topsoil per 100 SF of bed. Add 3 lbs of standard 5-10-5 fertilizer per cubic yard of planting mix and till. Encaseous plants (Azaleas, Rhododendrons, etc.) top dress after planting with iron sulfate or comparable product according to package directions. Taxus baccata 'Repandens' (English weeping yew) top dress after planting with 1/4 to 1/2 cup lime each.
- Planting mix: For trees not in a prepared bed, mix 50% Compro or Leafgro with 50% soil from tree hole to use as backfill, see tree planting detail.
- Head 4 insect control. Incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. For tree planting, apply a pre-emergent on top of soil and root ball before mulching. Caution: For areas to be planted with a ground cover, be sure to carefully check the chemical used to assure its adaptability to the specific groundcover to be treated. Maintain the mulch weed-free for the extent of the warranty period. Under no circumstances is a pesticide containing diazinon to be used as a means of pest control.
- Water: All plant material planted shall be watered thoroughly the day of planting. All plant material not yet planted shall be properly protected from drying out until planted. At a minimum, water unplanted plant material daily and as necessary to avoid desiccation.
- Pruning: Do not heavily prune trees and shrubs at planting. Prune only broken, dead, or diseased branches.
- All areas within contract limits disturbed during or prior to construction not designated to receive plants and mulch shall be fine graded, grass seed planted, and covered with straw mulch.



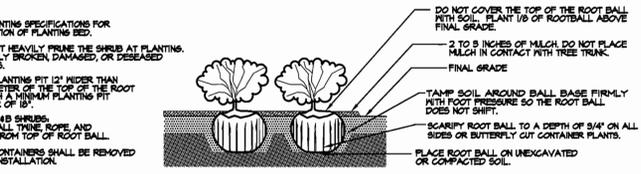
DECIDUOUS B & B TREE PLANTING DETAIL

NOT TO SCALE



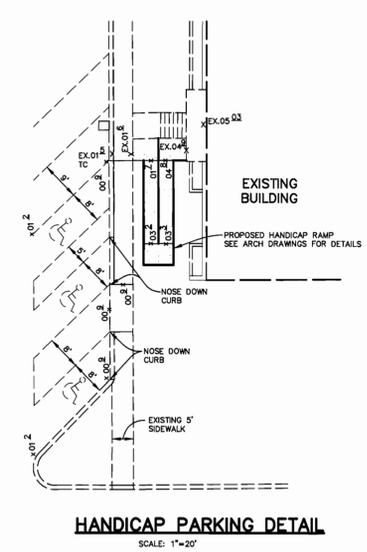
EVERGREEN B & B TREE PLANTING DETAIL

NOT TO SCALE



SHRUB BED PLANTING DETAIL - B & B AND CONTAINER SHRUBS

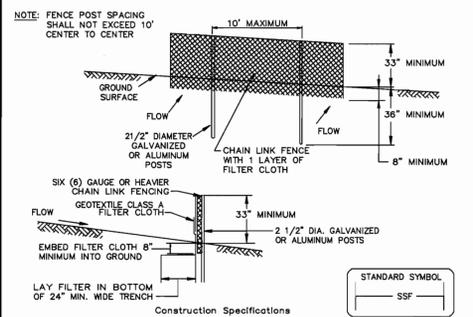
NOT TO SCALE



HANDICAP PARKING DETAIL

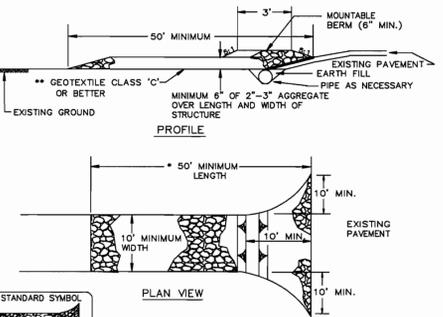
SCALE: 1"=20'

DETAIL 33 - SUPER SILT FENCE



- Fence post spacing shall not exceed 10' center to center.
- The posts do not need to be set in concrete.
- Chain link fence shall be fastened securely to the fence posts with wire ties or staples. The lower tension wire, braced and truss rods, drive anchors and post caps are not required except on the ends of the fence. The chain link fencing shall be at least (6) gauge or heavier.
- Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
- Filter cloth shall be embedded a minimum of 8" into the ground.
- When two sections of geotextile fabric adjoin each other, they shall be overlapped by 6" and folded.
- Maintenance shall be performed as needed and silt buildups removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



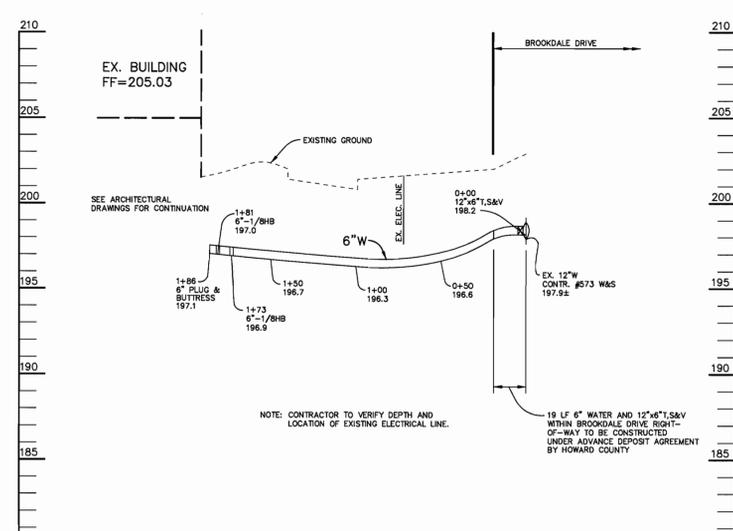
- Length - minimum of 50' (*30' for single residence lot).
- Width - 10' minimum, should be flared at the existing road to provide a turning radius.
- Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. The plan approval authority may not require single family residences to use geotextiles.
- Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
- Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mounded berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
- Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

SEQUENCE OF CONSTRUCTION

- OBTAIN A GRADING PERMIT.
- INSTALL SUPER SILT FENCE AND BEGIN DEMOLITION. (1 DAY)
- PERFORM GRADING AND BEGIN BUILDING CONSTRUCTION. (4 WEEKS)
- PAVE AND FINISH BUILDING CONSTRUCTION. (4 MONTHS)
- UPON PERMISSION OF THE DLP SEDIMENT CONTROL INSPECTOR, REMOVE SUPER SILT FENCE AND STABILIZE WITH THE PERMANENT SEEDING NOTES. (1 DAY)

PERMANENT SEEDING NOTES

- Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.
- Seeded preparation - Loosen upper three inches of soil by raking, discing or other acceptable means before seeding. If not previously loosened.
- Soil Amendments - In lieu of soil test recommendations, use one of the following schedules:
- Preferred - Apply 2 tons per acre dolomitic limestone (42 lbs. per 1000 sq.ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (4 lbs. per 1000 sq.ft.).
 - Acceptable - Apply 2 tons per acre dolomitic limestone (42 lbs. per 1000 sq.ft.) and 1000 lbs. per acre 10-10-10 fertilizer (28 lbs. per 1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil.
- Seeding - For the period March 1 thru April 30 and from August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs. per 1000 sq.ft.) of Kentucky 91 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 91 Tall Fescue per acre and 2 lbs. per acre (0.08 lbs. per 1000 sq.ft.) of meadow loamgrass. During the period October 16 thru February 28, protect site by one of the following options:
- 2 tons per acre of well-anchored mulch straw and seed as soon as possible in the spring.
 - Use sod.
 - Seed with 60 lbs. per acre Kentucky 91 Tall Fescue and mulch with 2 tons per acre well-anchored straw.
- Mulching - Apply 1/2 to 2 tons per acre (10 to 50 lbs. per 1000 sq.ft.) of unrotted small grain straw immediately after seeding. Another mulch immediately after application using mulch anchoring tool or 210 gal. per acre (5 gal. per 1000 sq.ft.) of emulsified asphalt on flat areas. On slopes, 8 ft. or higher, use 347 gal. per acre (8 gal. per 1000 sq.ft.) for anchoring.
- Maintenance - Inspect all seeded areas and make needed repairs, replacements and reseedings.



WATER PROFILE

SCALE: HOR - 1"=50' VERT - 1"=5'

BY THE DEVELOPER :

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

D. P. G. Jr. 12-7-01
DEVELOPER DATE

BY THE ENGINEER :

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Christopher J. Reid 12-6-01
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Jim Murray 1/7/02
NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Robertson 1/7/02
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

James R. Smith 1/10/02
DIRECTOR DATE

William J. ... 1/10/02
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Cindy Hamilton 1/10/02
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE	NO.	REVISION

OWNER / DEVELOPER

CROWN ENTERPRISES, INC.
6497 EAST TEN MILE ROAD
CENTERLINE, MARYLAND 48015
810-939-7000

PROJECT **CENTRAL TRANSPORT PHASE I BUILDING ADDITION**

AREA TAX MAP 43 PARCEL 462 ZONED M-2
L. 349, F. 183
1st ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE

PROFILES AND DETAILS

Patton Harris Rust & Associates, pc
ENGINEERS • SURVEYORS • PLANNERS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SPECIALISTS
8818 Centre Park Drive, Columbia, MD 21045 • tel 410.997.9800 fax 410.997.9822

DATE 12-6-01

DESIGNED BY : C.J.R.

DRAWN BY: MAD

PROJECT NO : 00364/
SDP-3.dwg
DATE : DECEMBER 6, 2001
SCALE : AS SHOWN
DRAWING NO. 3 OF 5

SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING

PARKING LOT	1
NUMBER OF PARKING SPACES	54
NUMBER OF SHADE TREES REQUIRED (1/20 SPACES)	3
NUMBER OF TREES PROVIDED	
SHADE TREES	2
OTHER TREES (2:1 SUBSTITUTION)	-
NUMBER OF ISLANDS PROVIDED	1

SCHEDULE 'B' NOTES:
 (1) EXISTING SOUTHERN MAGNOLIA IN GOOD CONDITION WAS CREDITED FOR (1) REQUIRED SHADE TREE.

PLANT LIST

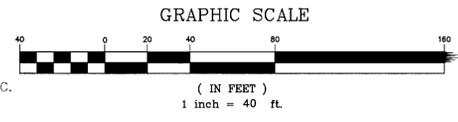
CATEGORY	SYMBOL	QTY.	SCIENTIFIC/COMMON NAME	SIZE	ROOT	REMARKS
SHADE TREES	AR	6	Acer rubrum 'Red Sunset' Red Sunset red maple	2 1/2"-3" cal.	B&B	Plant as shown
	ZS	5	Zelkova serrata 'Village Green' Village Green Japanese zelkova	2 1/2"-3" cal.	B&B	Plant as shown
	PC*	1	Prunus caroliniana 'Thundercloud' Thundercloud purple leaf plum	1 1/2"-2" cal.	B&B	Plant as shown
ORNAMENTAL TREES	CB	4	Cornus betulifolia 'Fastigiata' Upright European hornbeam	1 1/2"-2" cal.	B&B	Plant as shown
	PC*	1	Prunus caroliniana 'Thundercloud' Thundercloud purple leaf plum	1 1/2"-2" cal.	B&B	Plant as shown
	PA	3	Picea abies Norway spruce	6'-8' ht.	B&B	Plant as shown
EVERGREEN TREES	PS	3	Pinus strobus Eastern white pine	6'-8' ht.	B&B	Plant as shown
	EA	33	Euonymus alatus 'Compactus' Burning bush	24"-30" ht.	Cont.	Plant 4' o.c.
	JC	27	Juniperus chinensis 'Pfitzeriana Compacta' Compact Pfitzer juniper	24"-30" ht.	Cont.	Plant 4' o.c.

*Note: Not required by the Howard County Landscape Manual and therefore not included in the surety amount calculation.

- GENERAL NOTES:**
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
 - FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$15,500.
 11 SHADE TREES @ \$300 = \$3,300
 4 ORNAMENTAL TREES @ \$150 = \$600
 6 EVERGREEN TREES @ \$150 = \$900
 60 SHRUBS @ \$30 = \$1,800
 840 LF OF FENCE @ \$10 = \$8,400
 - THIS PLAN IS FOR LANDSCAPING PURPOSES ONLY.
 - CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
 - ALL MATERIAL SELECTED SHALL BE EQUAL TO OR BETTER THAN THE REQUIREMENTS OF THE "USA STANDARD FOR NURSERY STOCK", LATEST EDITION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 - ALL MATERIAL SHALL BE PLANTED IN ACCORDANCE WITH THE MINIMUM STANDARDS LISTED IN THE LATEST EDITION OF "LANDSCAPE SPECIFICATION GUIDELINES" PUBLISHED BY THE LANDSCAPE CONTRACTORS ASSOCIATION.
 - AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.

DEVELOPER'S/BUILDER'S CERTIFICATE:
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Signature: *D.P. O'Neil* DATE: 12-7-01



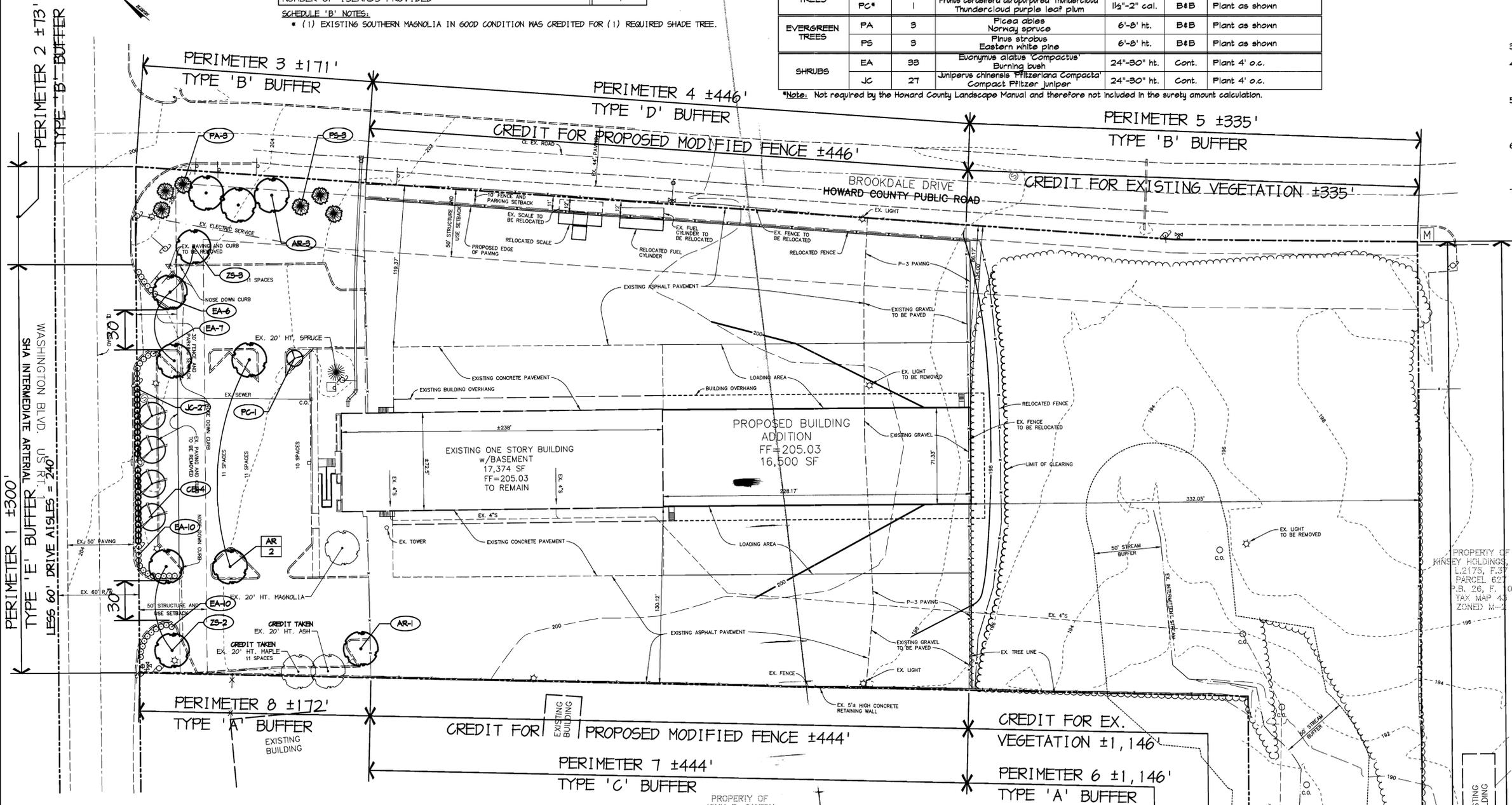
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
 Director: *James S. Bantz* DATE: 11/16/02
 Chief, Development Engineering Division: *Mark J. Mraz* DATE: 11/10/02
 Chief, Division of Land Development: *Carlynn Hammett* DATE: 11/16/02

DATE NO. REVISION
 OWNER / DEVELOPER
 CROWN ENTERPRISES, INC.
 6497 EAST TEN MILE ROAD
 CENTERLINE, MARYLAND 48015
 810-939-7000

PROJECT: CENTRAL TRANSPORT PHASE I BUILDING ADDITION
 AREA: TAX MAP 43 PARCEL 462 ZONED M-2
 1st ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 TITLE: LANDSCAPE PLAN

Patton Harris Rust & Associates, pc
 ENGINEERS • SURVEYORS • PLANNERS
 LANDSCAPE ARCHITECTS • ENVIRONMENTAL SPECIALISTS
 8818 Centre Park Drive, Columbia, MD 21046 • tel 410.997.8800 fax 410.997.9282

DATE: 12-7-01
 DESIGNED BY: D.M.D.
 DRAWN BY: G.T.H.
 PROJECT NO: 00364/LSCP.DWG
 DATE: DECEMBER 6, 2001
 SCALE: AS SHOWN
 DRAWING NO. 4 OF 5



SCHEDULE A - PERIMETER LANDSCAPE EDGE

PERIMETER	ADJACENT TO PERIMETER PROPERTIES			ADJACENT TO ROADWAYS				
	6	7	8	1	2	3	4	5
LANDSCAPE TYPE	A	C	A	E	B	B	D	B
LINEAR FEET OF ROADWAY FRONTAGE/ PERIMETER	±1,146'	±444'	±172'	±300'	±73'	±171'	±446'	±335'
CREDIT FOR EXISTING VEGETATION (YES/NO LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	YES ±1,146'	NO	NO	NO	NO	NO	NO	YES ±335'
CREDIT FOR MALL, FENCE, BERM OR DRIVE AISLE (YES/NO/LINEAR FEET)	NO	YES FENCE ±444'	NO	YES DRIVE ±60'	NO	NO	YES FENCE ±446'	NO
LINEAR FEET REMAINING	0	0	±172'	±240'	±73'	±171'	0	0
NUMBER OF PLANTS REQUIRED								
SHADE TREES	-	-	3	6	1	3	-	-
EVERGREEN TREES	-	-	-	-	2	4	-	-
SHRUBS	-	-	-	60	-	-	-	-
NUMBER OF PLANTS PROVIDED								
SHADE TREES	-	-	1***	4	1	3	-	-
EVERGREEN TREES	-	-	-	-	2	4	-	-
SMALL FLOWERING TREES	-	-	-	4*	-	1	-	-
SHRUBS	-	-	-	60	-	-	-	-

SCHEDULE 'A' NOTES:
 (4) ORNAMENTAL TREES WERE SUBSTITUTED FOR (2) REQUIRED SHADE TREES.
 PERIMETER 1: EXISTING 6" CHAIN LINK FENCE TO BE MODIFIED WITH PRIVACY STRIPS.
 PERIMETERS 4 AND 7: (2) EXISTING SHADE TREES (1 ASH AND 1 MAPLE) IN GOOD CONDITION WERE CREDITED FOR (2) REQUIRED SHADE TREES.
 PERIMETER 8:

PROPERTY OF JOHN R. CALTON L.278, F.386 PARCEL 6 TAX MAP 43 ZONED M-2

PLANTING LEGEND

PROP. SHADE TREE	
PROP. ORNAMENTAL TREE	
PROP. EVERGREEN TREE	
PROP. EVERGREEN SHRUB	
PROP. DECIDUOUS SHRUB	
EXISTING FENCE	
EXISTING SHADE TREE	
EXISTING EVERGREEN TREE	
EXISTING TREELINE	
PERIMETER PLANT	
PARKING LOT PLANT	

MEADOWRIDGE ROAD

WASHINGTON BLVD.

DORSEY ROAD

EXISTING STRIPING PLAN

SCALE : 1" = 50'

MEADOWRIDGE ROAD

WASHINGTON BLVD.

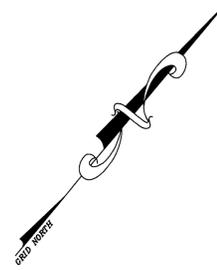
DORSEY ROAD

PROPOSED STRIPING PLAN

SCALE : 1" = 50'

NOTE: LANE CONTROL SIGNS WILL NEED TO BE MODIFIED TO COINCIDE WITH PROPOSED STRIPING.

NOTE: THIS APFO MITIGATION IS THE SAME AS THE ONE PROPOSED UNDER SDP-00-144, MEADOWRIDGE BUSINESS PARK PARCEL R-1 AND APPROVED BY HOWARD COUNTY. A MSHA ACCESS PERMIT HAS NOT YET BEEN OBTAINED.



APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

<i>Joseph Rust</i>	11/1/02
DIRECTOR	DATE
<i>Alan Drummen</i>	1/10/02
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
<i>Cindy Hamilton</i>	1/11/02
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE

DATE NO. REVISION

OWNER / DEVELOPER
CROWN ENTERPRISES, INC.
6497 EAST TEN MILE ROAD
CENTERLINE, MARYLAND 48015
810-939-7000

PROJECT CENTRAL TRANSPORT
PHASE I
BUILDING ADDITION

AREA TAX MAP 43 PARCEL 462 ZONED M-2
L. 349, F. 183
1st ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE
STRIPING PLAN

Patton Harris Rust & Associates, pc
ENGINEERS • SURVEYORS • PLANNERS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SPECIALISTS
8818 Centre Park Drive, Columbia, MD 21046 • tel 410.997.8900 fax 410.997.9282

12.6.01 DATE	DESIGNED BY : C.J.R.
	DRAWN BY: MAD
<i>Christopher J. Reid</i> CHRISTOPHER J. REID #19949	PROJECT NO : 00364/ SDP4.dwg
	DATE : DECEMBER 6, 2001
	SCALE : AS SHOWN
	DRAWING NO. 5 OF 5