

SITE DEVELOPMENT PLAN FOR Building Expansion 6301 Stevens Forest Road

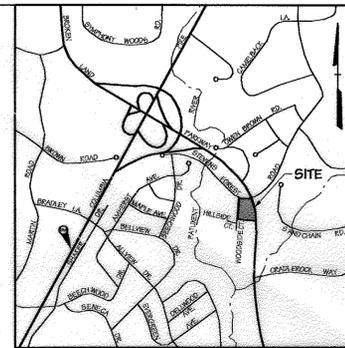
Village of Owen Brown
Section 5 Area 1 Parcel D-2
Howard County, Maryland

SHEET INDEX

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6	LANDSCAPE PLAN

General Notes

- All construction shall be performed in accordance with the latest standards and specifications of Howard County, plus MSHA standards and specifications if applicable or as specified.
- Approximate location of existing utilities are shown from best available information. The contractor shall take all necessary precautions to protect the existing utilities and maintain uninterrupted service. Any damage incurred due to contractor's operation shall be repaired immediately at the contractor's expense.
- Utility service for new building expansion shall come from existing building onsite. Sewer service shall connect into an extension of the existing onsite 6" S.
- The contractor shall notify Miss Utility at 1-800-257-7777 at least 48 hours prior to any excavation work being done, and shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection Division at (410) 313-1800 at least five (5) working days prior to the start of work.
- Traffic control devices, markings, and lighting shall be in accordance with the latest edition of the Manual of Uniform Traffic Control Devices (MUTCD). All streets and regulatory signs shall be in place prior to the placement of any asphalt.
- All plan dimensions are to face of curb unless otherwise noted.
- There is no floodplain on this site.
- There are no wetlands on this site.
- Storm Water Quantity and Quality Management are provided on-site by an existing private SWM Facility and Stormceptor (SDP 78-111 C and 89-46).
- The existing topography is taken from a field run survey with the two foot contour intervals prepared by Darl McCune Walker, Inc., dated March, 1998.
- Operating existing valves, switches, services or start up of new services shall be coordinated with the owner's representative.
- Required silt erosion and sediment controls shall be provided, installed and maintained.
- Where demolition is indicated on the drawings, it means to completely demolish features, clear area of all debris, and dispose of off-site at a legal dumpsite. Abandon means to leave in place and cut where required and bulled all cut ends with a plug or cap, or construct a 90 thick brick and mortar bulkhead conforming to existing utility materials.
- Public water per Contract No.44-3537-D, Public sewer per Contract No.44-1003-D.
- There are no known grave sites or cemeteries on this site.
- The courses and coordinates shown herein are based upon the Maryland coordinate system, NAD 83, and are derived from information shown on the plat entitled "Columbia, Village of Owen Brown, Section 5, Area 1, Parcel D-2, and E-2", which plat is recorded among the Land Records of Howard County, Maryland as Plat No. 6756.
- Traffic study is provided for this project by Lee Cunningham & Associates.
- See Architectural Plans for all building dimensions and building details.
- No additional outdoor lighting is proposed.
- LANDSCAPE SURETY IN THE AMOUNT OF \$1,200.00 FOR 4 SHADE TREES WILL BE INCLUDED IN THE GRADING PERMIT APPLICATION.
- WF-99-84, TO SEC. 16-156 (M)(2) TO REACTIVATE SDP-89-45, WAS APPROVED 4-22-99, SUBJECT TO PROVIDING RED-LINE REVISION & ADDITIONAL DEVELOPER AGREEMENT REQUIREMENT AS NEEDED.



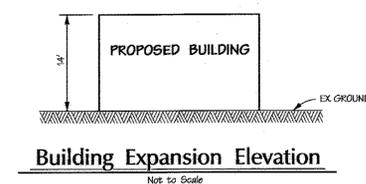
LOCATION MAP

SCALE: 1" = 200'

BENCHMARK

DESCRIPTION

CONCRETE MONUMENT STATION #2440008
LOCATED ON THE NORTH SIDE OF TIRE 23
1000' SOUTH OF BRADLEY LANE.
STATE PLANE COORD: N 49571331E 637912.73
ELEVATION = 406.465

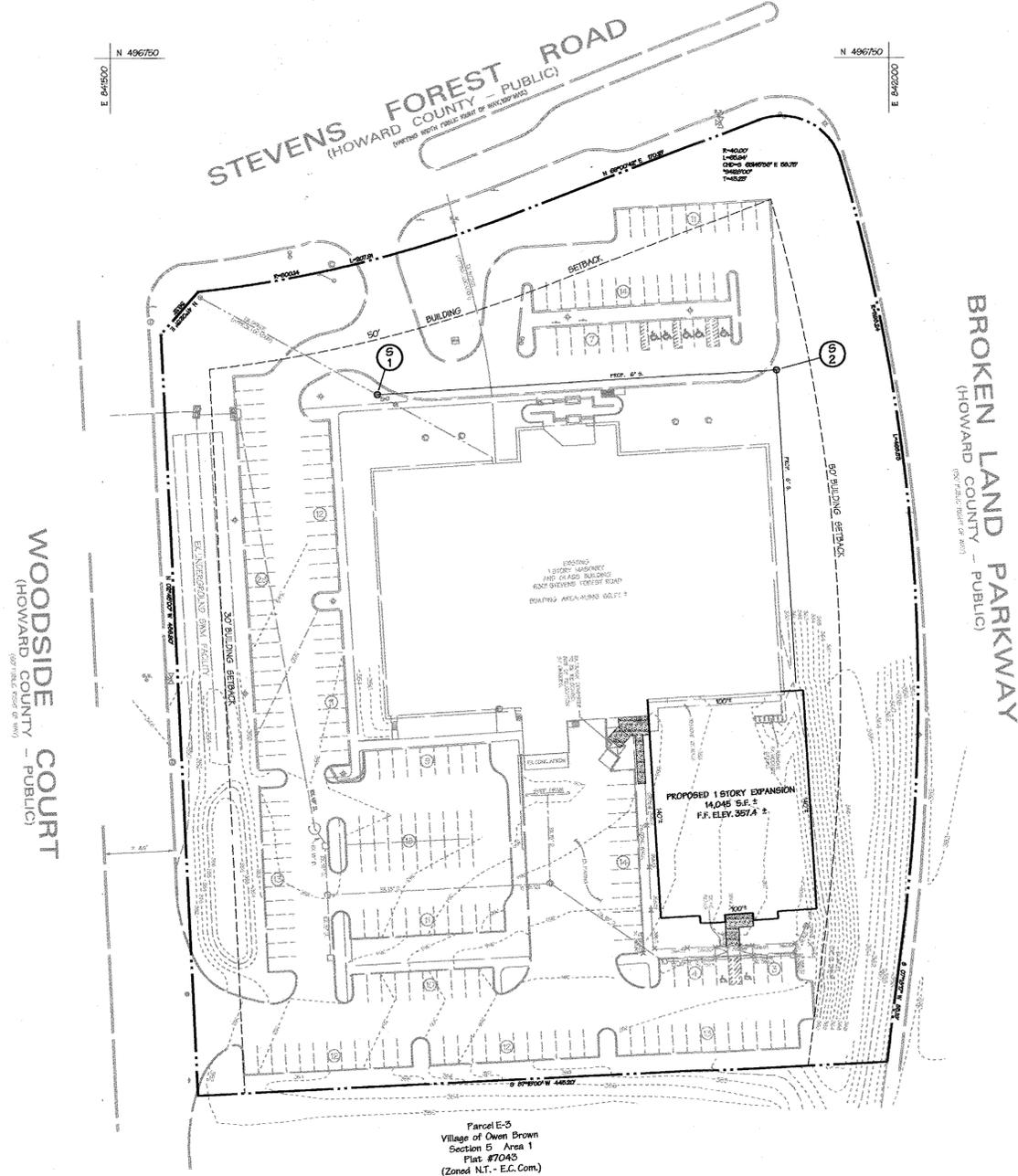


Address Chart

Building	Street Address
EX. & PROP.	6301 STEVENS FOREST ROAD

APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE 2.21.01

SITE ANALYSIS DATA CHART	
1. General Site Data	
a. Present Zoning:	EMPLOYMENT CENTER LAND USE AREA - COMMERCIAL
b. Applicable DPZ File Reference:	SDP 78-111 C, SDP 89-45, FDP 149-A-1, F&E-176, PLAT #6756, WF-99-84, WI Conditions of Approval *
c. Proposed Use of Site or Structure(s):	OFFICE BUILDING
d. Existing Water and Sewer Systems:	Public - Water & Sewer
e. Any Other Information Which May Be Relevant:	N/A
2. Area Tabulation	
a. Total Project Area:	5.913 [±] Acres (PARCEL D-2) (Indicate by Section and Area As Shown on Final Plat or As Shown on Docs)
b. Net Area of Site:	5.913 [±] Acres (Indicate by Section and Area As Shown on Final Plat)
c. Area of This Plan Submission:	5.913 [±] Acres
d. Limit of Disturbed Area:	0.45 Acres
e. Building Coverage of Site:	1.275 Acres (Total) and 22 % of Gross Area
4. Open Space Data	
a. Open Space Required on Site:	N/A Acres % of Gross Area of POR Area
b. Open Space Proposed:	N/A Acres % of POR Area
5. Parking Space Data	
a. Floor Spaces on Each Level per Building(s) per Use:	41,982 s.f. Office (Existing Building) + 14,045 s.f. Office (Prop. Extension) = 56,027 s.f. Total
b. Net Leasable Area:	53,000 s.f.
c. Number of Parking Spaces Required by FDP 149-A-1:	106 SPACES (53,000 x 2 sp./1000 s.f.)
d. Total Number of Parking Spaces Provided On-Site:	206 (INCLUDING 7 HANDICAPPED SPACES)
e. Number of Handicapped Parking Spaces Provided:	7
f. Existing Parking Spaces to Remain:	206 (INCLUDING 7 HANDICAPPED SPACES)

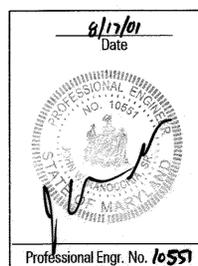


NOTE: CURRENT SITE CONDITIONS, AS OF SEPTEMBER 2010, CAN BE FOUND ON SHEET 7 OF SDP-78-111.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
[Signature] 9/5/01
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
[Signature] 7/27/01
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
[Signature] 10/1/01
 DIRECTOR DATE

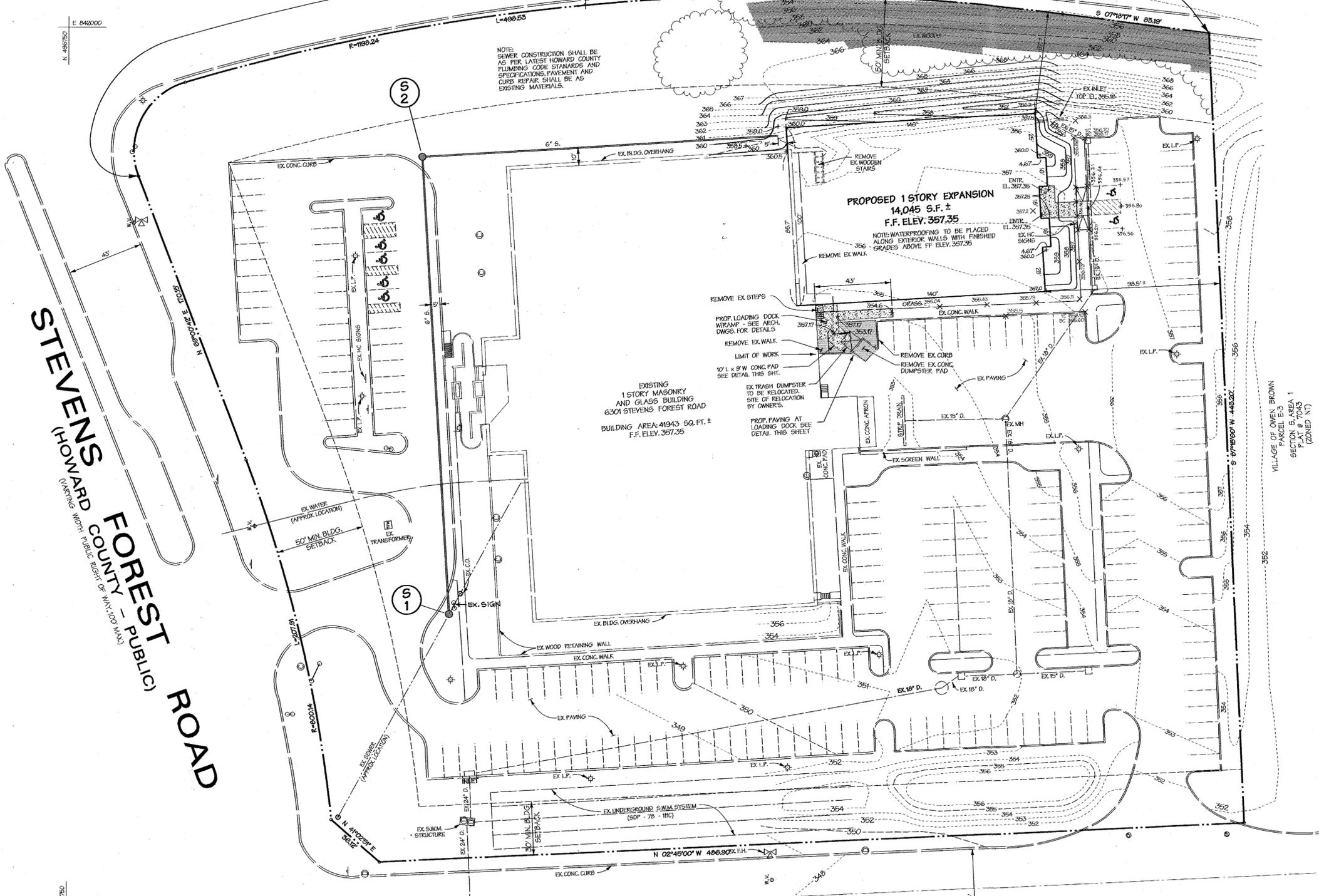
Building Expansion
6301 Stevens Forest Road, Parcel D-2
HOWARD COUNTY, MARYLAND
OWNER / DEVELOPER:
Horizon Ridge LLC / Mary Hoenes LLC
8480 Baltimore National Pike, Suite 415
Ellicott City, MD 21041

SUBVISION NAME	SECTION/AREA	DIVISION #	PARCEL #
VILLAGE OF OWEN BROWN	5/1		D-2
TRAP OR OF	TRAP #	TRAP IN	TRAP OUT
5725	14	COMM	6061.02
WATER CODE	E-13	SEWER CODE	5450000
TITLE SHEET			
Des By:	MAT	Scale	AS SHOWN
Proj. No.	98130 D		
Chk By:	TJR	Date	8-20-01
Approved			
Sheet 1 of 6			



BROKEN LAND PARKWAY (HOWARD COUNTY - PUBLIC)

(150' PUBLIC RIGHT OF WAY)
VEHICULAR INGRESS & EGRESS IS RESTRICTED



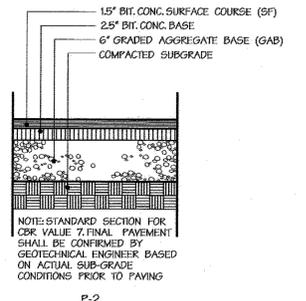
NOTE: SEWER CONSTRUCTION SHALL BE PER LATEST HOWARD COUNTY AS PER LATEST HOWARD COUNTY PLUMBING CODE STANDARDS AND SPECIFICATIONS. PAVEMENT AND CURB REPAIR SHALL BE AS EXISTING MATERIALS.

PROPOSED 1 STORY EXPANSION
14,045 S.F. ±
F.F. ELEV. 357.35

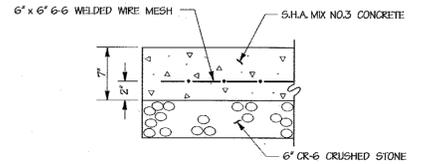
NOTE: WATERPROOFING TO BE PLACED ALONG EXTERIOR WALLS WITH FINISHED GRADES ABOVE FF ELEV. 357.35

EXISTING 1 STORY MASONRY AND GLASS BUILDING
6301 STEVENS FOREST ROAD
BUILDING AREA: 41943 SQ. FT. ±
F.F. ELEV. 357.35

NOTE: CURRENT SITE CONDITIONS AS OF SEPTEMBER 2016, CAN BE FOUND ON SHEET 7 OF SDP-78-111.



PAVING SECTION
NOT TO SCALE



CONCRETE PAD DETAIL
NOT TO SCALE

LEGEND

- PROPERTY LINE
- - - - - EXISTING CONTOURS
- — — — — PROPOSED CONTOURS
- — — — — EXISTING CURB
- — — — — EXISTING WOODS
- — — — — EXISTING UTILITIES
- — — — — EXISTING BUILDING
- — — — — PROPOSED BUILDING EXPANSION
- — — — — 25% SLOPES
- — — — — PROP. PAVING

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE 2.21.01

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	
<i>[Signature]</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	9/5/01 DATE
<i>[Signature]</i> CHIEF, DIVISION OF LAND DEVELOPMENT	9/27/01 DATE
<i>[Signature]</i> DIRECTOR	10/1/01 DATE

Date	No.

Building Expansion
6301 Stevens Forest Road, Parcel D-2
HOWARD COUNTY, MARYLAND

OWNER / DEVELOPER:
Horizon Ridge LLC / Mary Hoenes LLC
8480 Baltimore National Pike, Suite 415
Ellicott City, MD 21041

DMW
Dawn M. Walker, Inc.
200 East Pennsylvania Avenue
Towson, Maryland 21286
(410) 296-3355
Fax 296-4705

A Team of L&P Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

SUBDIVISION NAME VILLAGE OF OWEN BROWN	SECTION AREA 5.1	PARCEL # PARCEL D-2
PLAT OR REF. E-13	SECTION # 38	SECTION DISTRICT R-1B
DATE E-13	SEWER DISTRICT 5450000	SECTION TRACT 6061.02

TITLE
SITE DEVELOPMENT PLAN

Des By: MAT	Scale: 1" = 30'	Proj. No. 98130 D
Drn By: KJF	Date: 8-20-01	Sheet 2 of 6
Chk By: TJR	Approved	



WOODSIDE COURT (HOWARD COUNTY - PUBLIC)

(60' PUBLIC RIGHT OF WAY)

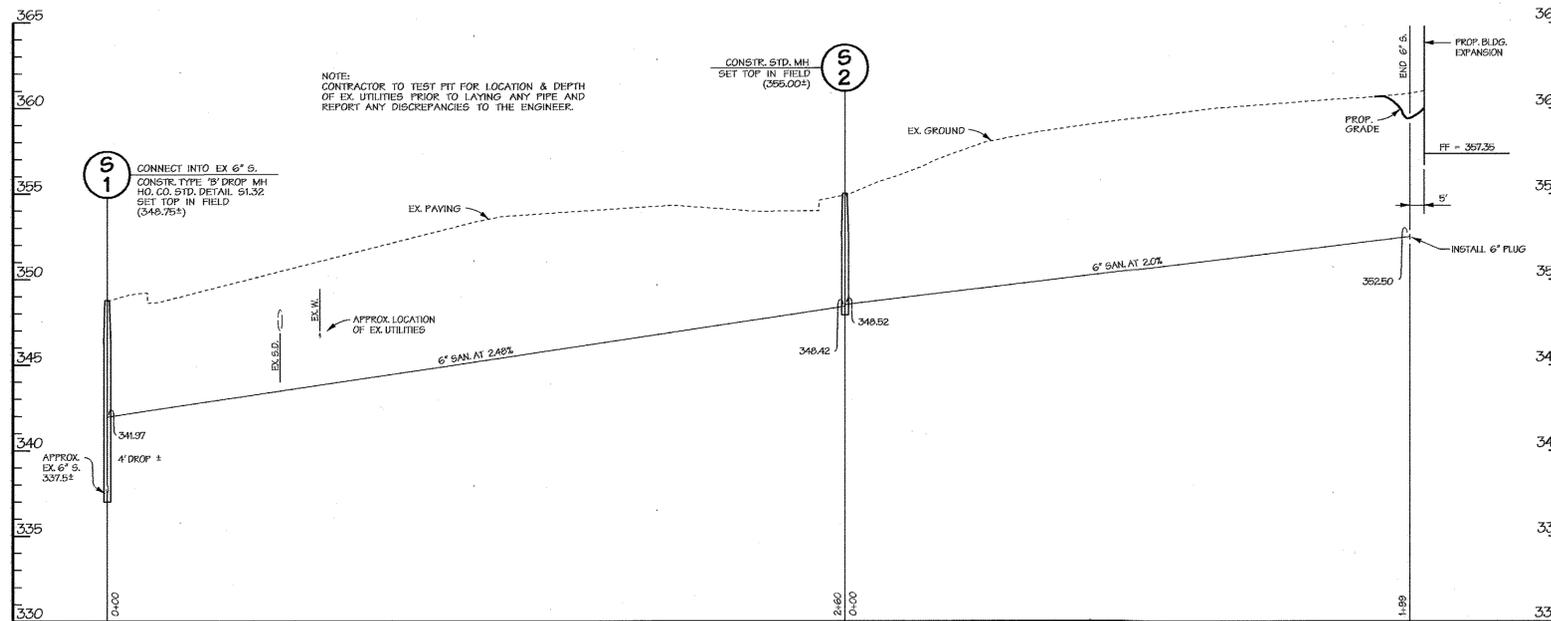
STEVENS FOREST ROAD (HOWARD COUNTY - PUBLIC)

(EXISTING WIDTH PUBLIC RIGHT OF WAY: 100' WIDE)

E 842000
N 486750

E 842000
N 486500

E 841500
N 486750



SEWER PROFILE

SCALE: HORIZ. 1"=30'
VERT. 1"=5'

APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE 11/21/01

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
[Signature] 9/5/01
 CHIEF, DEVELOPMENT ENGINEERING DIVISION 4 DATE
[Signature] 7/27/01
 CHIEF, DIVISION OF LAND DEVELOPMENT JA DATE
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 Daft McCune-Walker, Inc.
 200 East Pennsylvania Avenue
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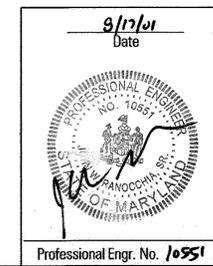
A Team of Land Planners,
 Landscape Architects,
 Engineers, Surveyors &
 Environmental Professionals

SUBDIVISION NAME	SECTION AREA	LOT/PARCEL #
VILLAGE OF OWEN BROWN	5.71	PARCEL D-2
TRAP CODE	TAXING MAP	TITLE NUMBER
5756	14 COMM	6th
WATER CODE	SEWER CODE	CORNER POINT
E-13	5450000	6061.02

TITLE
UTILITY PROFILE

Des By:	MAT	Scale	AS SHOWN	Proj. No.	98130 D
Dm By:	KMF	Date	6-29-01	Sheet 3 of 6	
Chk By:	TJR	Approved			

NOTE: CURRENT SITE CONDITIONS, AS OF SEPTEMBER 2010, CAN BE FOUND ON SHEET 7 OF SDP-18-111.



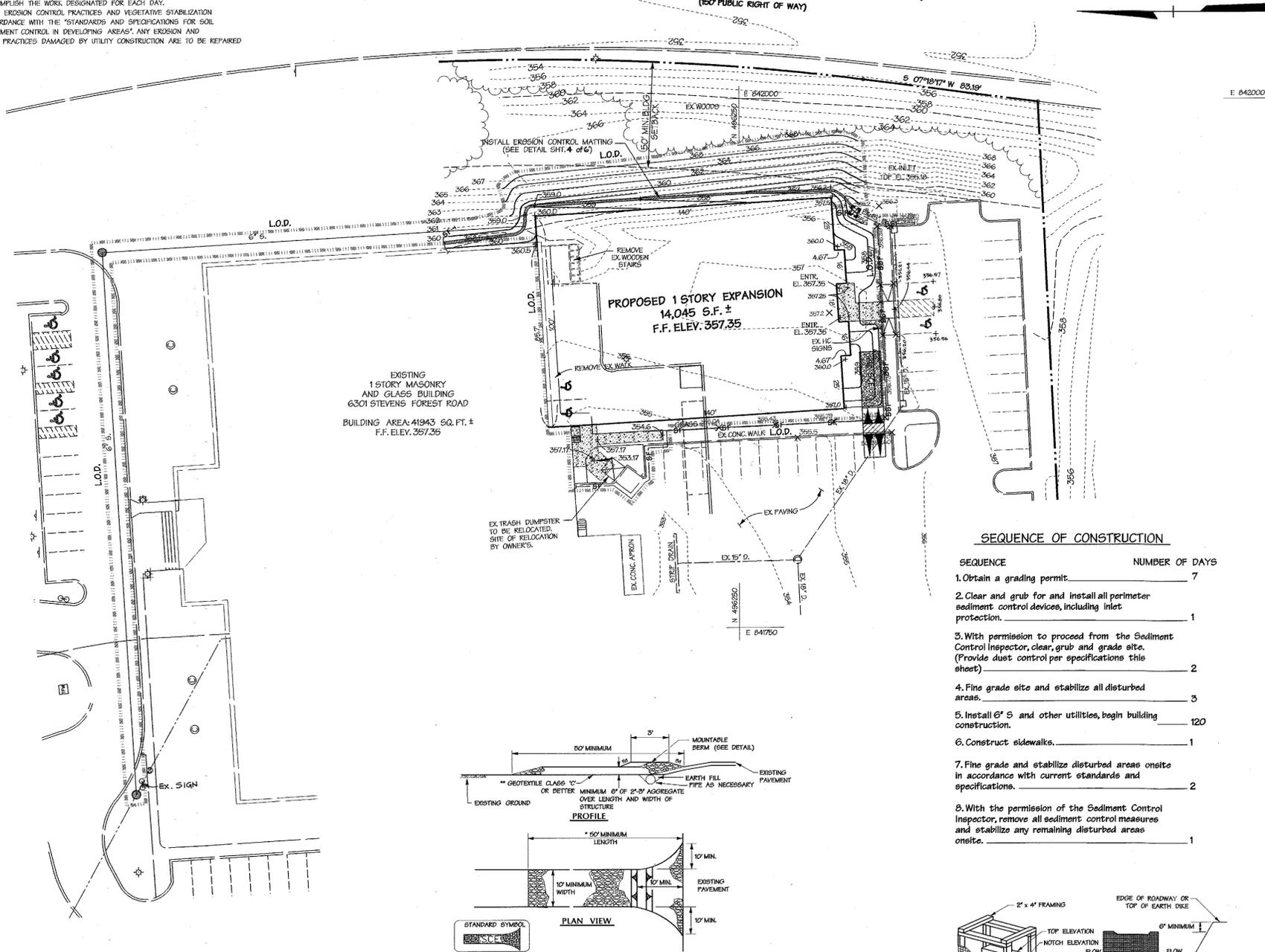
UTILITY CONSTRUCTION OUTSIDE SEDIMENT CONTROL PRACTICES

- EXCAVATED TRENCH MATERIAL SHALL BE PLACED ON UPSTREAM SIDE OF TRENCH.
- IMMEDIATELY FOLLOWING PIPE INSTALLATION, THE TRENCH SHALL BE BACKFILLED, COMPACTED AND IMMEDIATELY STABILIZED (MULCHED, SEEDED, AND/OR SODED MECHANICAL STABILIZATION) AT THE END OF EACH WORK DAY.
- SILT FENCE SHALL BE PLACED IMMEDIATELY DOWNSTREAM OF ANY DISTURBED AREA INTENDED TO REMAIN DISTURBED LONGER THAN ONE (1) WORKING DAY. (SILT FENCE AS PER 505 STANDARD DRAWING - E-49-3)
- THE CONTRACTOR SHALL DISTURB AND OPEN TRENCH TO THE MINIMUM PRACTICAL AREA REQUIRED TO ACCOMPLISH THE WORK DESIGNATED FOR EACH DAY.
- ALL SEDIMENT AND EROSION CONTROL PRACTICES AND VEGETATIVE STABILIZATION SHALL BE IN ACCORDANCE WITH THE "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS" ANY EROSION AND SEDIMENT CONTROL PRACTICES DAMAGED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.

BROKEN LAND PARKWAY

(HOWARD COUNTY - PUBLIC)

(60' PUBLIC RIGHT OF WAY)



21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

DEFINITION

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

PURPOSE

To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

CONDITIONS WHERE PRACTICE APPLIES

I. This practice is limited to areas having 2:1 or flatter slopes where:

- The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 - The original soil to be vegetated contains material toxic to plant growth.
 - The soil is so acidic that treatment with limestone is not feasible.
- II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

I. Topsoil salvages from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.

II. Topsoil Specifications - Soil to be used as topsoil must meet the following:

- Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1-1/2" in diameter.
- Topsoil must be free of plants or plant parts such as bermuda grass, quailgrass, Johnsongrass, nutgrass, poison ivy, thistle, or others as specified.

III. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be applied at the rate of 4-8 tons/acre (500-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedure.

II. For sites having disturbed areas under 5 acres:

I. On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:

- pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
- Organic content of topsoil shall be not less than 1.5 percent by weight.
- Topsoil having soluble salt content greater than 500 parts per million shall not be used.
- No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.

Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.

II. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

V. Topsoil Application

- When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
- Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4% - 8% higher in elevation.
- Topsoil shall be uniformly distributed in a 4% - 8% layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.

IV. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

VI. Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted eldage and amendments may be applied as specified below.

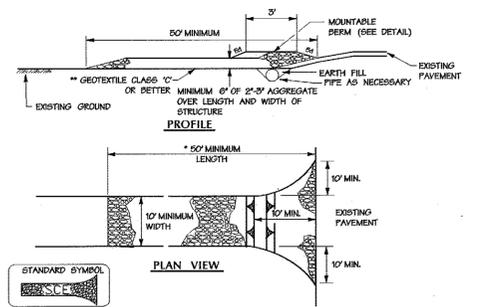
I. Composted Eludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:

- Composted eldage shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.
- Composted eldage shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
- Composted eldage shall be applied at a rate of 1 ton/1,000 square feet.
- Composted eldage shall be amended with a potassium fertilizer applied at a rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate.

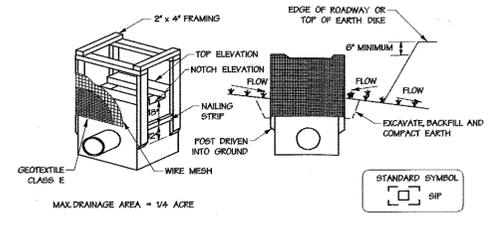
References: Guidelines Specifications, Soil Preparation and Seeding, MD-VIA, Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institute, Revised 1975.

SEQUENCE OF CONSTRUCTION

SEQUENCE	NUMBER OF DAYS
1. Obtain a grading permit.	7
2. Clear and grub for and install all perimeter sediment control devices, including inlet protection.	1
3. With permission to proceed from the Sediment Control Inspector, clear, grub and grade site. (Provide dust control per specifications this sheet)	2
4. Fine grade site and stabilize all disturbed areas.	3
5. Install 6' 5" and other utilities, begin building construction.	120
6. Construct sidewalks.	1
7. Fine grade and stabilize disturbed areas onsite in accordance with current standards and specifications.	2
8. With the permission of the Sediment Control Inspector, remove all sediment control measures and stabilize any remaining disturbed areas onsite.	1



- CONSTRUCTION SPECIFICATIONS**
- LENGTH - MINIMUM OF 50' (50' FOR SINGLE RESIDENCE LOT)
 - WIDTH - 10" MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
 - GEOTEXTILE FABRIC CLASS 6 (FILTER CLOTH) SHALL BE PLACED OVER THE EXISTING GROUND PRIOR TO PLACING STONE. THE PLAN APPROVAL AUTHORITY MAY NOT REQUIRE SINGLE FAMILY RESIDENCES TO USE GEOTEXTILE.
 - STONE - CRUSHED AGGREGATE (2" TO 3") OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT SHALL BE PLACED AT LEAST 6" DEEP OVER THE LENGTH AND WIDTH OF THE ENTRANCE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIRED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 24 SLOPES AND A MINIMUM OF 6" OF STONE OVER THE PIPE. PIPE HAS TO BE SIZED ACCORDING TO THE DRAINAGE WHEN THE SIZE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE WILL NOT BE NECESSARY; PIPE SHOULD BE SIZED ACCORDING TO THE AMOUNT OF RUNOFF TO BE CONVEYED. A 6" MINIMUM WILL BE REQUIRED.
 - LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE, VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE STABILIZED CONSTRUCTION ENTRANCE.



- CONSTRUCTION SPECIFICATIONS**
- EXCAVATE COMPLETELY AROUND THE INLET TO A DEPTH OF 18" BELOW THE NOTCH ELEVATION.
 - DRIVE THE 2' x 4' CONSTRUCTION GRADE LUMBER POSTS 1" INTO THE GROUND AT EACH CORNER OF THE INLET. PLACE NAIL STRIPS BETWEEN THE POSTS ON THE ENDS OF THE INLET. ASSEMBLE THE TOP PORTION OF THE 2' x 4' FRAME USING THE OVERLAP JOINT SHOWN ON DETAIL. THE TOP OF THE FRAME (WEIR) MUST BE 6" BELOW ADJACENT ROADWAYS WHERE FLOODING AND SAFETY ISSUES MAY ARISE.
 - STRETCH THE 3' x 3' WIRE MESH TIGHTLY AROUND THE FRAME AND FASTEN SECURELY. THE ENDS MUST MEET AND OVERLAP AT A POST.
 - STRETCH THE GEOTEXTILE CLASS 6 TIGHTLY OVER THE WIRE MESH WITH THE GEOTEXTILE EXTENDING FROM THE TOP OF THE FRAME TO 18" BELOW THE INLET NOTCH ELEVATION. FASTEN THE GEOTEXTILE FIRMLY TO THE FRAME. THE ENDS OF THE GEOTEXTILE MUST MEET AT A POST. BE OVERLAPPED AND FOLDED, THEN FASTENED DOWN.
 - BACKFILL AROUND THE INLET IN COMPACTED 6" LAYERS UNTIL THE LAYER OF EARTH IS LEVEL WITH THE NOTCH ELEVATION ON THE ENDS AND TOP ELEVATION ON THE SIDES.
 - IF THE INLET IS NOT IN A SIMPLY CONSTRUCT A COMPACTED EARTH DIKE ACROSS THE DITCH LINE DIRECTLY BELOW IT. THE TOP OF THE EARTH DIKE SHOULD BE AT LEAST 6" HIGHER THAN THE TOP OF THE FRAME.
 - THE STRUCTURE MUST BE INSPECTED PERIODICALLY AND AFTER EACH RAIN AND THE GEOTEXTILE REPLACED WHEN IT BECOMES CLOGGED.

Standard Inlet Protection

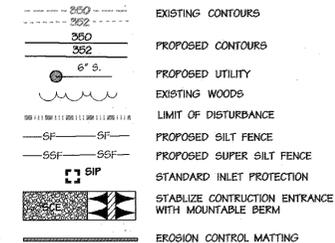
Sediment Control General Notes

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (30-1955).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - SEVEN CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1.
 - FOURTEEN DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL PERIMETER STABILIZATIONS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR SEDIMENT IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE "HOWARD COUNTY DESIGN MANUAL" STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR PERMANENT SEEDINGS (SEC. 5), SODS (SEC. 5A), TEMPORARY SEEDING (SEC. 5C), AND MULCHING (SEC. 5D). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:

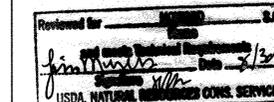
TOTAL AREA OR SITE	5.933+ ACRES
AREA DISTURBED	0.60 ACRES
AREA TO BE ROOFED OR PAVED	0.37 ACRES
AREA TO BE VEGETATIVELY STABILIZED	0.23 ACRES
TOTAL CUT	730 CUBIC YARDS +
TOTAL FILL	230 CUBIC YARDS

* EXCESS MATERIAL TO BE HAULED OFF-SITE TO AN APPROVED SITE WITH SEDIMENT CONTROL MEASURES INSTALLED.
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

LEGEND



APPROVED PLANNING BOARD OF HOWARD COUNTY
DATE 2/21/01



THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.
Approved: [Signature] Date: 2/21/01

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
[Signature] 9/5/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
[Signature] 7/27/01
CHIEF, DIVISION OF LAND DEVELOPMENT DATE
[Signature] 10/1/01
DIRECTOR DATE

Date	No.

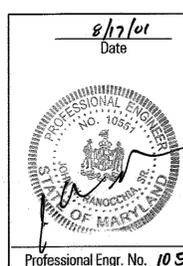
Building Expansion
6301 Stevens Forest Road, Parcel D-2
HOWARD COUNTY, MARYLAND

OWNER / DEVELOPER:
Horizon Ridge LLC / Mary Hoenes LLC
8480 Baltimore National Pike, Suite 415
Ellicott City, MD 21041

DMW Draft-McCune-Walker, Inc. 200 East Pennsylvania Avenue Towson, Maryland 21286 (410) 286-3333 Fax 286-4706		A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals	
SUBMITTER NAME VILLAGE OF OWEN BROWN	SECTION AREA 5/1	ENVIRONMENTAL #	PARCEL D-2
PLANNING CODE 6755	TAXING MAP 14 COMM	DATE RECEIVED 36	CRISIS INVOICE 606102
WATER CODE E-13	SEWER CODE 5450000		

SEDIMENT EROSION CONTROL PLAN & DETAILS

Des By: MAT Scale: 1" = 30' Proj. No. 98130 D
Dm By: KMF Date: 8-20-01
Chk By: TJR Approved: Sheet 4 of 6

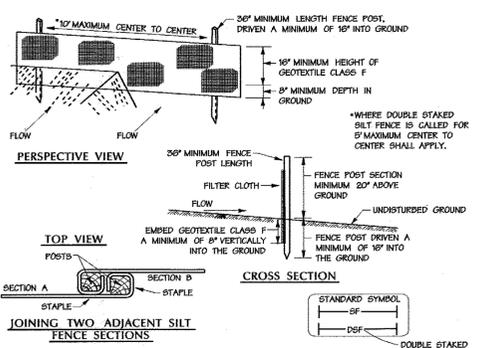


OWNER/DEVELOPERS CERTIFICATION - AIR QUALITY:
"I ACKNOWLEDGE THAT I AM RESPONSIBLE UNDER THE CODE OF MARYLAND REGULATIONS (26.10.06.03) TO PREVENT PARTICULATE MATTER FROM BECOMING AIRBORNE DUE TO GRADING, LAND CLEARING, EXCAVATION, CONSTRUCTION OR OTHER RELATED ACTIVITIES. I HAVE RECEIVED A COPY OF "GUIDELINES TO THE AIR POLLUTION REGULATIONS FOR CONTROLLING EXCESSIVE AIRBORNE DUST" ON ACTIVITY SITES WHICH INCLUDES A COPY OF COMAR 26.10.06.03. I WILL CONTACT THE WASTE MANAGEMENT AND AIR QUALITY SECTION (410-267-3775) AT LEAST THREE DAYS PRIOR TO BEGINNING WORK."
[Signature] 8/9/01
[Signature] 8/9/01
DATE TITLE

DEVELOPERS CERTIFICATE:
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.
I, THE HOWARD COUNTY CONSERVATION DISTRICT, ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD COUNTY CONSERVATION DISTRICT.
[Signature] 8/9/01
[Signature] 8/9/01
DATE DATE

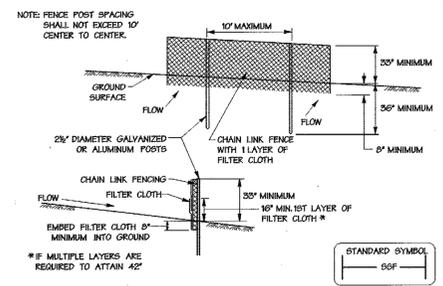
ENGINEERS CERTIFICATE:
I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENTATION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT.
[Signature] 8/17/01
[Signature] 8/17/01
SIGNATURE OF ENGINEER DATE
PRINT NAME BELOW SIGNATURE: John W. Retnow, Inc.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE E-10-5
MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
Not To Scale



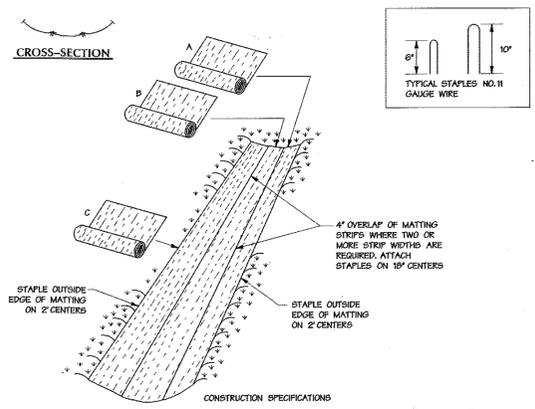
- CONSTRUCTION SPECIFICATIONS**
- FENCE POSTS SHALL BE A MINIMUM OF 24\"/>
- | | | |
|----------------------|----------------------|-----------------|
| TENSILE STRENGTH | 50 LB/SQ IN (MIN) | TEST METHOD 509 |
| TENSILE MODULUS | 20 LB/SQ IN (MIN) | TEST METHOD 509 |
| FLOW RATE | 0.5 GAL FT/MIN (MAX) | TEST METHOD 322 |
| FILTERING EFFICIENCY | 75% (MIN) | TEST METHOD 322 |
- WHERE ENDS OF GEOTEXTILE FABRIC COME TOGETHER, THEY SHALL BE OVERLAPPED, FOLDED AND STAPLED TO PREVENT SEEPAGE BYPASS.
 - SILT FENCE SHALL BE INSPECTED AFTER EACH RAINFALL EVENT AND MAINTAINED WHEN BULGES OCCUR OR WHEN SEDIMENT ACCUMULATION REACHED 50% OF THE FABRIC HEIGHT.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE **Silt Fence** Not To Scale



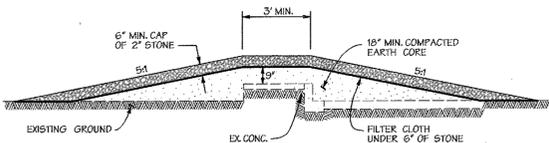
- CONSTRUCTION SPECIFICATIONS**
- FENCING SHALL BE 42 INCHES IN HEIGHT AND CONSTRUCTED IN ACCORDANCE WITH THE LATEST MARYLAND STATE HIGHWAY (BSH) DETAILS FOR CHAIN LINK FENCING. THE SPECIFICATION FOR A 4\"/>

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE **Super Silt Fence** Not To Scale



- CONSTRUCTION SPECIFICATIONS**
- KEY-IN THE MATTING BY PLACING THE TOP ENDS OF THE MATTING IN A NARROW TRENCH 6\"/>

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE **Erosion Control Matting** Not To Scale



Modified Movable Berm Detail
NOT TO SCALE

DEVELOPERS CERTIFICATE:
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.
By: *[Signatures]* 8/9/01
SIGNATURE OF DEVELOPER: **STEVEN K. BREWSTER MARY HOENES** DATE

ENGINEERS CERTIFICATE:
I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF MARYLAND.
[Signature] 8/17/01
SIGNATURE OF ENGINEER: **John W. Ranocchia, Jr.** DATE

NOTE: CURRENT SITE CONDITIONS AS OF SEPTEMBER 2010, CAN BE FOUND ON SHEET 7 OF SDP-78-111.



Reviewed for **HOWARD COUNTY** S.C.D.
[Signature] Date 8/13/01
USDA, NATURAL RESOURCES CONSERVATION SERVICE

APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE: 8-21-01

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
Approved: *[Signature]* Date 8/29/01
Howard S.C.D.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
Chief, Development Engineering Division: *[Signature]* 9/15/01
Chief, Division of Land Development: *[Signature]* 7/27/01
Director: *[Signature]* 10/16/01

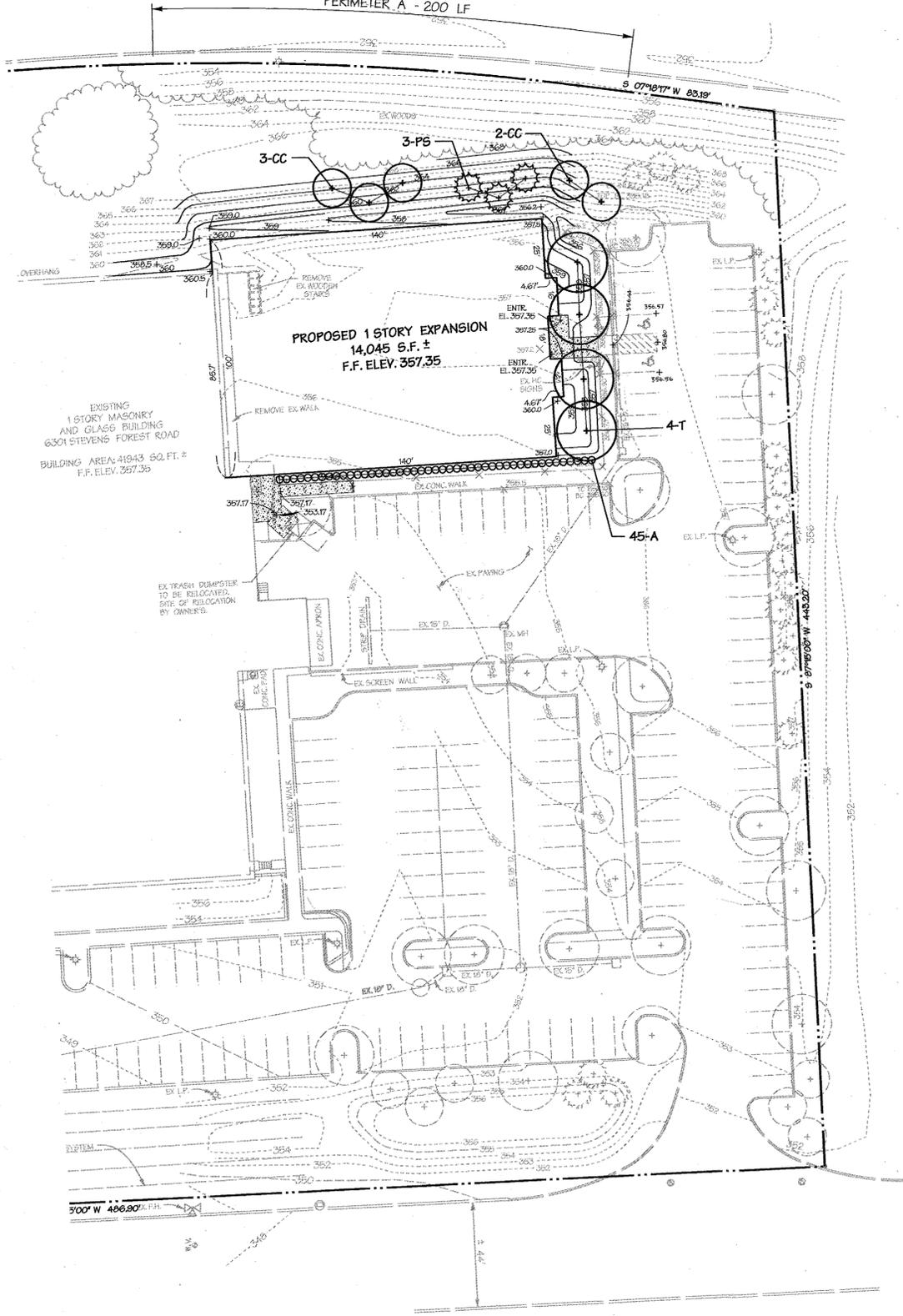
Building Expansion
6301 Stevens Forest Road, Parcel D-2
HOWARD COUNTY, MARYLAND
OWNER / DEVELOPER:
Horizon Ridge LLC / Mary Hoenes LLC
8480 Baltimore National Pike, Suite 415
Ellicott City, MD 21041

SUBDIVISION NAME: VILLAGE OF OWEN BROWN		SECTION AREA: 5.1	LOT/PARCEL #: PARCEL D-2
DATE OF MAP: 6/7/95	BLOCK # / TOWN #11: 14 / COMM	TAX MAP: 36	GRID: 6061.02
WATER CODE: E-13	SURV. CODE: 5450000		
TITLE: SEDIMENT EROSION CONTROL DETAILS			
Des By: MAT	Scale: AS SHOWN	Proj. No.:	98130 D
Dim By: KMF	Date: 8-20-01		
Chk By: TJR	Approved:	Sheet 5 of 6	

BROKEN LAND PARKWAY

(HOWARD COUNTY - PUBLIC)

PERIMETER A - 200 LF



PLANT LIST:

Key	Qty.	Botanical Name	Common Name	Size	Condition	Remarks
T	4	TILIA TOMENTOSA 'Princeton'	Princeton Linden	2 1/2" - 3" Cal.	B&B	Full Head
CC	5	CERCIS CANADENSIS	Eastern Redbud	8' - 10' Ht.	B&B	Full Head
PS	3	PINUS STROBUS	Eastern White Pine	6' - 8' Ht.	B&B	Unsheared
A	45	ABELIA X 'Edward Goucher'	Edward Goucher Abelia	24" - 30" epd.	CON.	3' O.C.

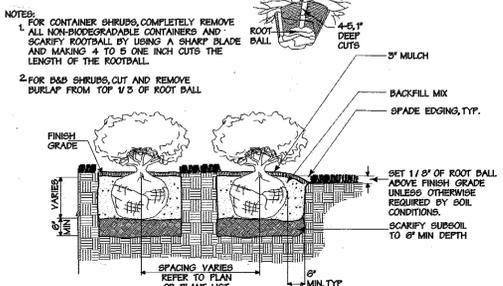
- General Planting Notes
- All plant material to meet A.A.N. Standards.
 - Landscape Contractor to follow landscape specification guidelines for Baltimore Washington Metro area approved by I.C.A.M.W.
 - No substitutions to be made without consent of Landscape Architect or Owner.
 - All beds to be topped with three inches of hardwood mulch.
 - Landscape Contractor to verify location of utilities with Owner before planting.
 - Landscape Architect/Owner shall select, verify and/or approve all plant material. At Owner's discretion, specimen and other plant material will be selected.
 - Landscape Contractor shall coordinate plant bed filling operations and plant material installation with General Contractor and Utilities Contractor. At the time of final inspection with acceptance, all electric, water, drainage, and fountain utilities, as well as all plant materials, shall remain undamaged. Likewise, Landscape Contractor and Utilities Contractor shall coordinate efforts to ensure that surface utilities are at the proper elevation relative to final grades.
 - Contractor shall notify Miss Utility 72 hours prior to construction.
 - The owner, tenant, and/or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.
 - This plan has been prepared in accordance with the provisions of Section 16.124 of the Ho.Co. code per the new town alternative compliance method. Financial surety is not required as the existing term fulfills the landscape requirements.
 - Developer's/Builder's Certificate

SCHEDULE A: PERIMETER LANDSCAPE EDGE

Category	Adjacent to Roadways
Landscape Type	B
Linear Feet of Roadway	200'
Frontage / Perimeter	
Credit for Existing Vegetation	
Credit for Wall, Fence or Berm	200 LF
Number of Plants Required	
Shade Trees	4
Evergreen Trees	0
Shrubs	0
Number of Plants Provided	
Shade Trees	
Evergreen Trees	3
Other Trees (2:1 Substitution)	5
Shrubs (10:1 Substitution)	
SURETY = \$1,200.00 WITH GRADING PERMIT APPLICATION.	

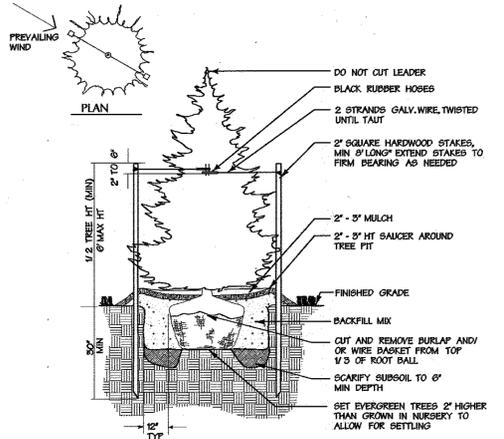
LEGEND

- Existing Contour
- Proposed Contour
- Existing Utilities
- Existing Building
- Proposed Building Expansion
- Existing Curb
- Existing Woods
- Existing Minor Deciduous Tree
- Existing Evergreen Tree
- Existing Major Deciduous Tree
- Proposed Minor Deciduous Tree
- Proposed Evergreen Tree
- Proposed Major Deciduous Tree



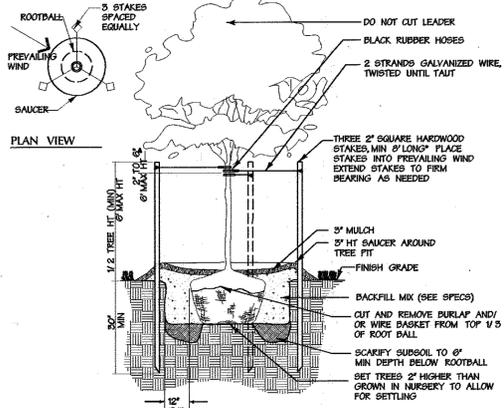
Shrub Bed Planting

Not To Scale



Evergreen Tree Planting

Not To Scale



Greater Than 3" Cal. Tree Planting

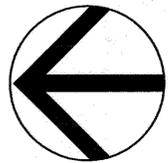
Not To Scale

WOODSIDE COURT

(HOWARD COUNTY - PUBLIC)

(60' PUBLIC RIGHT OF WAY)

NOTE: CURRENT SITE CONDITIONS AS OF SEPTEMBER 2010, CAN BE FOUND ON SHEET 7 OF SDP-78-111.



8-15-01
Date

Professional LA No. 551

APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE 2-21-01

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
William D. ... 9/5/01
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
Candy ... 9/23/04
 CHIEF, DIVISION OF LAND DEVELOPMENT JA DATE
... 10/16/01
 DIRECTOR DATE

Building Expansion
 6301 Stevens Forest Road, Parcel D-2
 HOWARD COUNTY, MARYLAND
 OWNER / DEVELOPER:
 Horizon Ridge LLC / Mary Hoenes LLC
 8480 Baltimore National Pike, Suite 415
 Ellicott City, MD 21041

DMW
 Day-McCune-Walker, Inc.
 200 East Pennsylvania Avenue
 Towson, Maryland 21286
 (410) 286-3333
 Fax 286-4705

A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

DATE	BY	SCALE	PROJECT NO.
8-15-01	MM	1" = 30'	98130 D
	KMF	8-20-01	Sheet 6 of 6
	TJR	Approved	