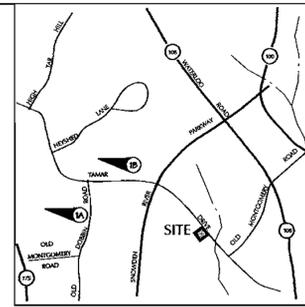


LEGEND

EX CURB & GUTTER	=====
EX MAJOR CONTOURS	----- 400
EX MINOR CONTOURS	----- 402
PROP. STORM DRAIN	===== 15" RCCP CL.V
PROP. SEWER	===== 6" S
PROP. WATER	===== 4" W
EX STORM DRAIN	===== EX 21" RCP
EX SEWER	===== EX 8" S
EX WATER	===== EX 8" W
PARKING COUNT LABELS	(10)
CONCRETE SIDEWALKS	=====
STANDARD CURB	=====
REVERSE CURB	=====
HANDICAP SYMBOLS	♿
HANDICAP RAMPS	=====
MANHOLE & INLET LABELS	(M 4)
EX MANHOLE & INLET LABELS	(EX 102)
PROP. LIGHT FIXTURE	⬇
FENCE	----- X
SOIL BORING LOCATION	⊙
EXISTING TREE	⊙



COPYRIGHT ADC - THE MAP PEOPLE, PERMITTED USE No. 2096388
LOCATION MAP
 SCALE: 1" = 200'

* Note: The Howard County Planning Board approved this SOP with the reduced setbacks for the parking spaces and the retaining wall on March 21, 2001

DATE 3-21-01
 KE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION MK	4/10/01
DATE	
CHIEF, DIVISION OF LAND DEVELOPMENT	4/10/01
DATE	
DIRECTOR KS	4/12/01
DATE	

Date	No.	Revision Description

The Young School, A Daycare Center
 at Village of Longreach Section 3, Area 2

OWNER The Howard Research and Development Corporation 10275 Little Patuxent Parkway Columbia, Maryland 21044	DEVELOPER The Fedder Company 514 North Crain Highway Glen Burnie, MD 21061 Pue: (410) 768-4100
---	--

DMW
 Daft · McCune · Walker, Inc.
 A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals
 200 East Pennsylvania Avenue
 Towson, Maryland 21286
 410 296 3333
 Fax 296 4705

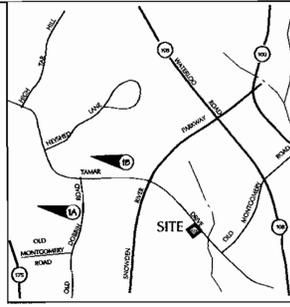
SUBDIVISION NAME Village of Long Reach	SECTION AREA Section 3, Area 2	LOTT/FACEL # PARCEL F
PLAT OR LIT. REF. # 8111	TAXZONE MAP 37	BLK/ST. DISTRICT 6
WATER CODE 7	SEWER CODE 6	CASAP TRACT 6066.02

TITLE
SITE PLAN

Drn By: BKC	Scale: 1"=20'	Proj. No. 99120.B
Des By: THR	Date: 2-20-01	2 of 9
Chk By: RBLW	Approved:	

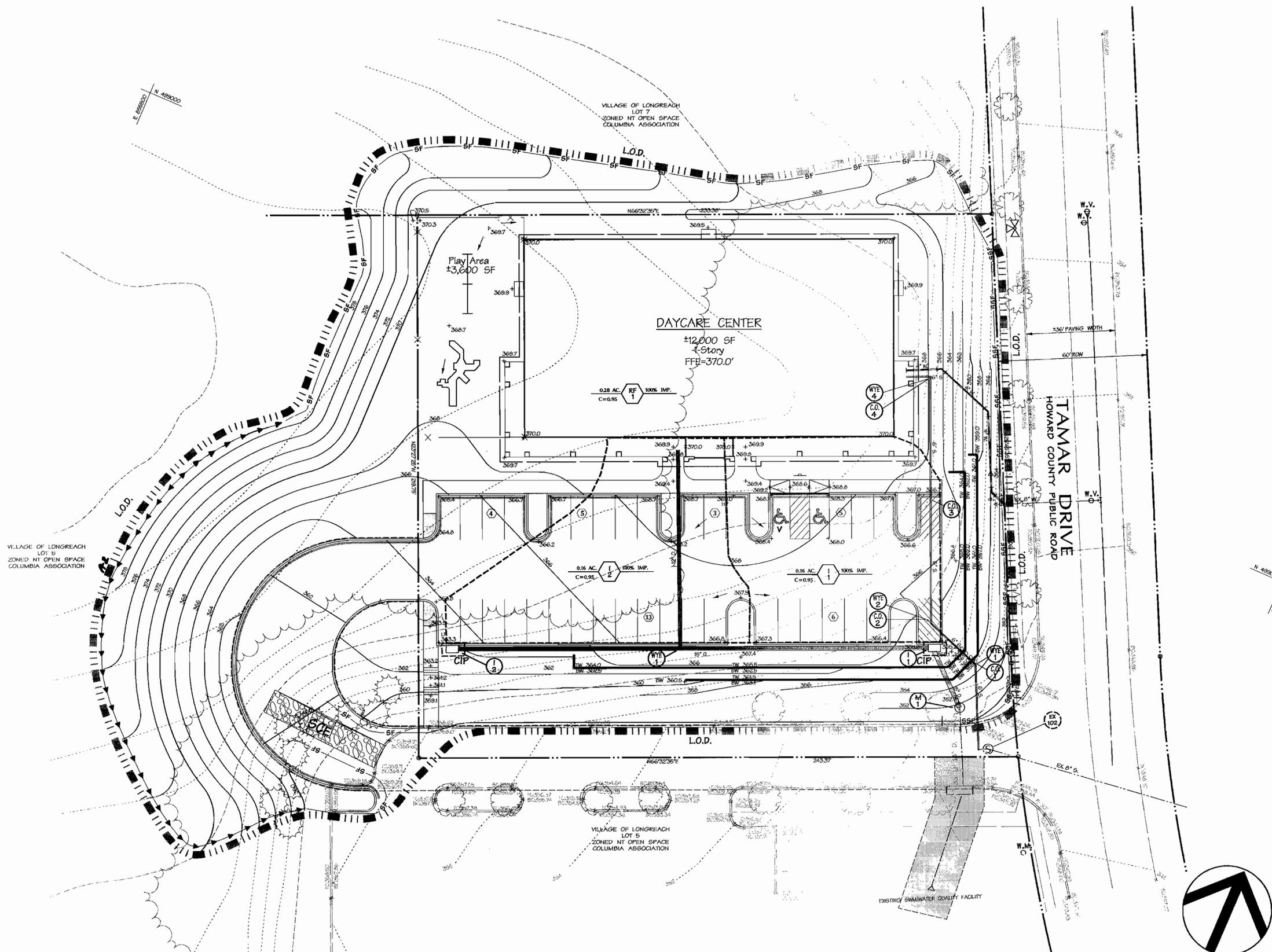
3/27/01
 Date

Professional Engr. No.



LOCATION MAP
SCALE: 1" = 2000'

- LEGEND**
- DRAINAGE AREA LINES: --- L.O.D. ---
 - LIMIT OF DISTURBANCE: [Symbol]
 - SUPER SILT FENCE: --- SSF ---
 - SILT FENCE: --- SF ---
 - CURB INLET PROTECTION: [Symbol]
 - DRAINAGE AREA LABELS: 0.28 AC. C=0.86, RD 100% IMP.
 - STABILIZED CONSTRUCTION ENTRANCE: [Symbol]
 - PERIMETER DIKE SWALE: [Symbol]



DATE: 3-21-01
[Signature]

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION [Signature] 4/10/01 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT [Signature] 4/10/01 DATE

DIRECTOR [Signature] 4/12/01 DATE

Date No. Revision Description

The Young School, A Daycare Center
at Village of Longreach Section 3, Area 2

OWNER: The Howard Research and Development Corporation, 10275 Little Patuxent Parkway, Columbia, Maryland 21044

DEVELOPER: The Fedler Company, 514 North Crain Highway, Glen Burnie, MD 21061, Bus: (410) 768-4100

DMW
Daft - McCune - Walker, Inc.
A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals
200 East Pennsylvania Avenue, Towson, Maryland 21286
410 296 3333
Fax 296 4705

SUBDIVISION NAME: Village of Longreach	SECTION AREA: Section 3, Area 2	LOT/PARCEL #:
PLAT OR OFFICIAL # OF ZONE: P111 7 NT-COM	PARCEL MAP: 37	PARCEL #:
WATER CODE:	SEWER CODE:	OWNER TRACT: 6066.02

SEDIMENT EROSION CONTROL & DRAINAGE AREA PLAN

Drn By: ADL Scale: 1"=20' Proj. No. 99120.B
Des By: THR Date: 2-20-01
Chk By: [Signature] Approved: [Signature] 4 of 9

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS.

[Signature] 4/19/01
U.S. SOIL CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN WAS PREPARED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 4/19/01
HOWARD S.C.D. DATE

CERTIFICATION BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

[Signature] 3/26/01
DATE

CERTIFICATION BY THE DEVELOPER:

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

[Signature] 3/26/01
DATE

3/27/01
Date



General Planting Notes

- All plant material to meet A.A.N. Standards.
- Landscape Contractor to follow landscape specification guidelines for Baltimore Washington Metro area approved by LCAMW.
- No substitutions to be made without consent of Landscape Architect or Owner.
- All beds to be topped with three inches of hardwood mulch.
- Landscape Contractor to verify location of utilities with Owner before planting.
- Landscape Architect/Owner shall select, verify and/or approve all plant material. At Owner's discretion, specimen and other plant material will be selected.
- Landscape Contractor shall coordinate plant bed filling operations and plant material installation with General Contractor and Utilities Contractor. At the time of final inspection with acceptance, all electric, water, drainage, and fountain utilities, as well as all plant materials, shall remain undamaged. Likewise, Landscape Contractor and Utilities Contractor shall coordinate efforts to ensure that surface utilities are at the proper elevation relative to final grades.
- Contractor shall notify Miss Utility 72 hours prior to construction.
- The owner, tenant, and/or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.
- This plan has been prepared in accordance with the provisions of Section 16.124 of the Ho.Co. code per the new town alternative compliance method. Financial surety for the required landscaping in the amount of \$3,660,000 must be posted as part of the GRADING PERMIT (3 shade, 3 evergreen, 27 shrubs)
- Developer's/Builder's Certificate

I/we certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County code and the Howard County Landscape Manual. I/we further certify that upon completion, a certification of landscape installation, accompanied by an executed one-year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

NAME: ROBERT G. POLLOKOFF
THE FEDDER COMPANY
DATE: 3/26/01

SCHEDULE A PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES	LANDSCAPE CALCULATIONS
LANDSCAPE TYPE: FRONTAGE/PERIMETER	PERIMETER 1 107 LF. OF LANDSCAPE TYPE 'B'		1 SHADE TREE @ 50' LF = 3 SHADE TREES 1 EVERGREEN @ 40' LF = 3 EVERGREENS
	PERIMETER 2 108 LF. OF LANDSCAPE TYPE 'E'		1 SHADE TREE @ 40' LF = 3 SHADE TREES 1 SHRUB @ 4' LF = 27 SHRUBS
CREDIT FOR EXISTING VEGETATION (DESCRIBE BELOW IF NEEDED)	N/A		
CREDIT FOR BERM (DESCRIBE BELOW IF NEEDED)	N/A		
NUMBER OF PLANTS REQUIRED SHADE TREES EVERGREEN TREES SHRUBS			6 3 27
NUMBER OF PLANTS PROVIDED SHADE TREES EVERGREEN TREES OTHER TREES (2:1 SUBSTITUTION) SHRUBS (DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)			1 10 3 27

* NOTE: 5 FLOWERING TREES AND 7 EVERGREEN TREES ARE SUBSTITUTED FOR 5 SHADE TREES

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	36
NUMBER OF TREES REQUIRED @ 1/20 PKG. SPACES	2
NUMBER OF TREES PROVIDED SHADE TREES OTHER TREES (2:1 SUBSTITUTION)	2
NUMBER OF ISLANDS REQUIRED @ 1 PER 20 PKG. SP.	2
NUMBER OF ISLANDS PROVIDED @ 1 PER 20 PKG. SP.	2

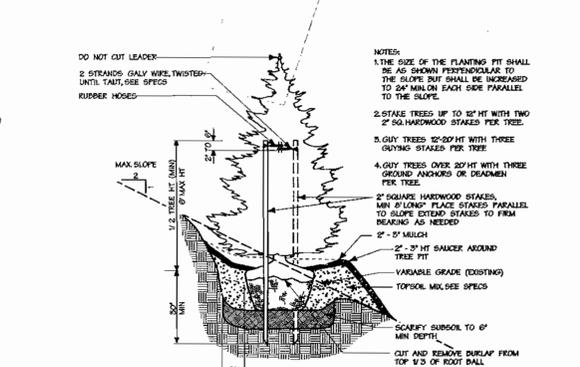
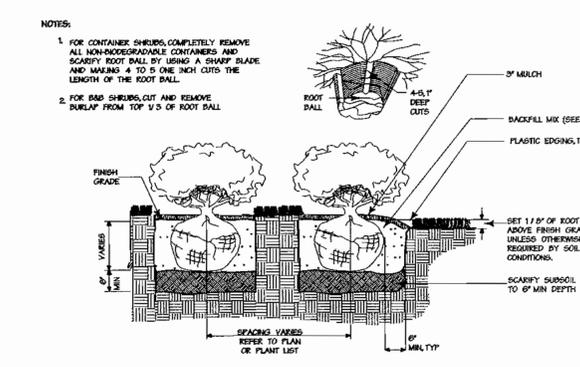
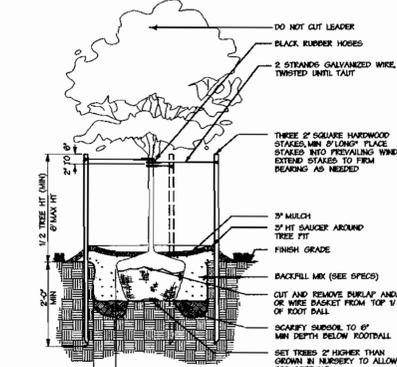
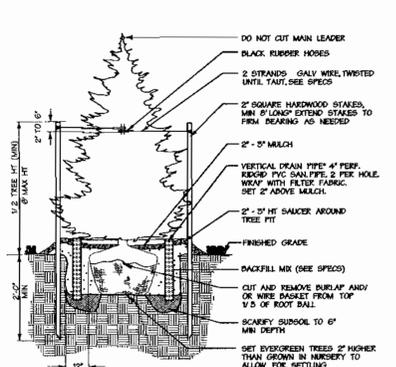
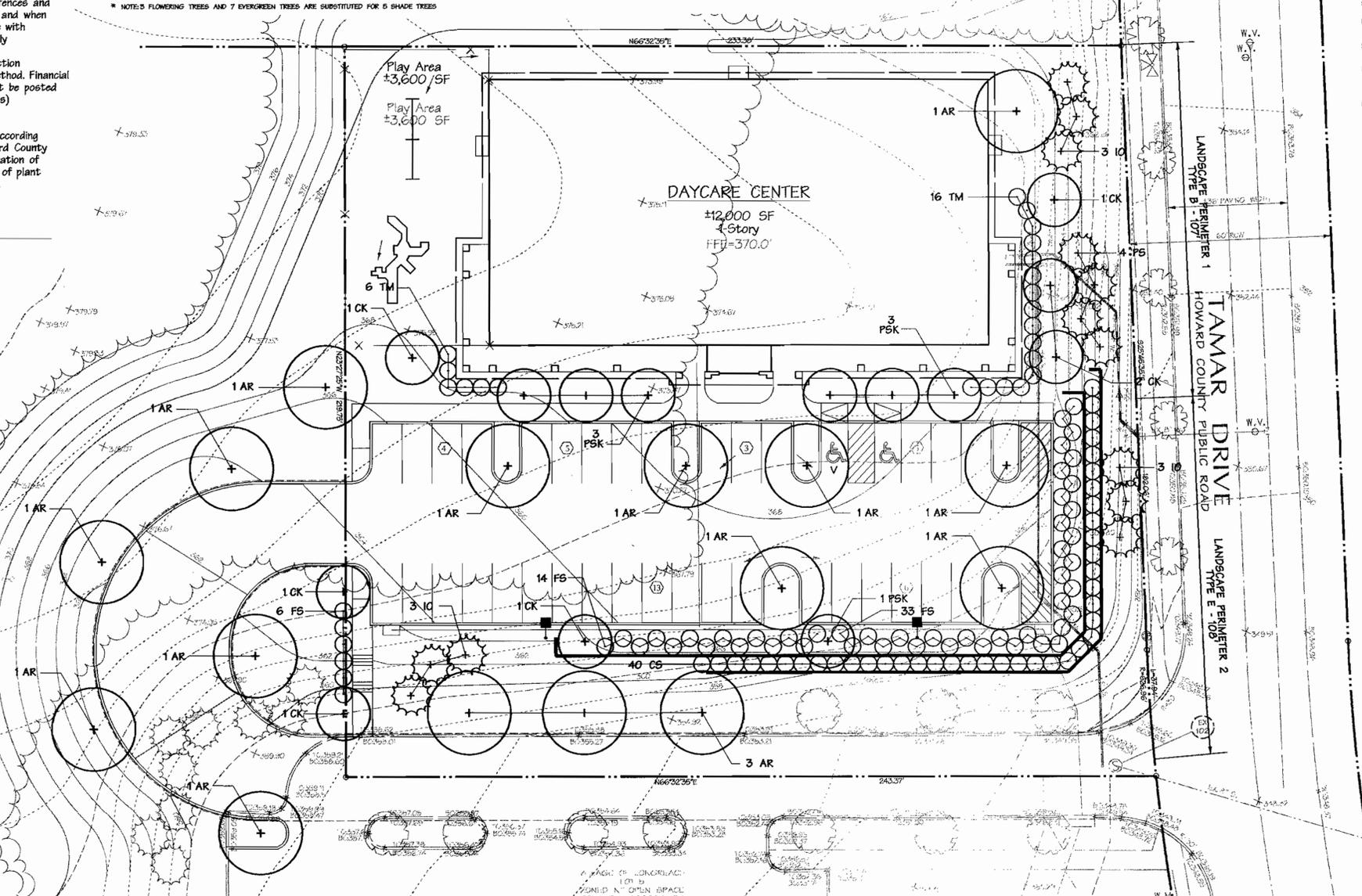
LEGEND

- EX CURB & GUTTER
- EX MAJOR CONTOURS
- EX MINOR CONTOURS
- PROP. STORM DRAIN
- PROP. SEWER
- PROP. WATER
- EX STORM DRAIN
- EX SEWER
- EX WATER
- PARKING COUNT LABELS
- CONCRETE SIDEWALKS
- STANDARD CURB
- HANDICAP SYMBOLS
- PROP. LIGHT FIXTURE
- FENCE
- EXISTING TREE

PLANT LIST

QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
LARGE TREES					
16	AR	Acer rubrum 'October Glory'	OCTOBER GLORY RED MAPLE	2 1/2" - 3" CAL. 12' - 14' HT.	B & B FULL HEAD
FLOWERING TREES					
7	CK	Cornus kousa	KOUSA DOGWOOD	8' - 10' HT.	B & B
7	PSK	Prunus serrulata 'Kawazana'	KWANZAN CHERRY	8' - 10' HT.	B & B
EVERGREEN TREES					
9	IO	Ilex opaca	AMERICAN HOLLY	6' - 8' HT.	B & B (ONE MALE)
4	FS	Pinus strobus	EASTERN WHITE PINE	6' - 8' HT.	B & B UNBHEARED
SHRUBS					
40	CS	Cotoneaster salicifolius 'Ereps'	WILLOWLEAF COTONEASTER	2 GAL.	CONT.
55	FS	Forsythia suspensa	WEeping FORSYTHIA	30" - 36" HT.	B & B
22	TM	Taxus x media 'Densiformis'	DENSE YEW	30" - 36" HT.	B & B

LOCATION MAP
SCALE: 1" = 200'



NOTES:

- FOR CONTAINER SHRUBS, COMPLETELY REMOVE ALL NON-DEGRADABLE CONTAINERS AND SCARIFY ROOT BALL BY USING A SHARP BLADE AND MAKING 4 TO 5 ONE INCH CUTS THE LENGTH OF THE ROOT BALL.
- FOR B&B SHRUBS, CUT AND REMOVE BURLAP FROM TOP 1/3 OF ROOT BALL.
- DO NOT CUT LEADER.
- BLACK RUBBER HOSES.
- 2 STRANDS GALV WIRE, TWISTED UNTIL TAUT.
- 2 STRANDS GALV WIRE, TWISTED UNTIL TAUT.
- 2 SQUARE HARDWOOD STAKES, MIN 2" LONG EXTEND STAKES TO FIRM BEARING AS NEEDED.
- 2" - 3" MULCH.
- VERTICAL DRAIN PIPE 4" FEET, RIGID PVC SHAFTS 3 FEET HOLE, WRAP WITH FILTER FABRIC, SET 2" ABOVE MULCH.
- 2" - 3" HT SAUCER AROUND TREE FT.
- FINISHED GRADE.
- BACKFILL MIX (SEE SPECS).
- CUT AND REMOVE BURLAP AND/OR WIRE BASKET FROM TOP 1/3 OF ROOT BALL.
- SCARIFY SUBSOIL TO 6" MIN DEPTH.
- SET EVERGREEN TREES 2" HIGHER THAN GROWN IN NURSERY TO ALLOW FOR SETTLING.
- DO NOT CUT LEADER.
- 2 STRANDS GALV WIRE, TWISTED UNTIL TAUT, SEE SPECS.
- RUBBER HOSES.
- 3" MULCH.
- BACKFILL MIX (SEE SPECS).
- PLASTIC EDGING, TYP.
- SET 1/2" OF ROOT BALL ABOVE FINISH GRADE UNLESS OTHERWISE REQUIRED BY SOIL CONDITIONS.
- SCARIFY SUBSOIL TO 6" MIN DEPTH.
- SPACING VARIES REFER TO PLAN OR PLANT LIST.
- DO NOT CUT LEADER.
- 2 STRANDS GALV WIRE, TWISTED UNTIL TAUT, SEE SPECS.
- RUBBER HOSES.
1. LINE SIZE OF THE PLANTING PIT SHALL BE AS SHOWN PERPENDICULAR TO THE SLOPE BUT SHALL BE INCREASED TO 24" MIN ON EACH SIDE PARALLEL TO THE SLOPE.
2. STAKE TREES UP TO 12" HT WITH TWO 2" SQUARE HARDWOOD STAKES PER TREE.
3. GUY TREES 12"-20" HT WITH THREE GUYING STAKES PER TREE.
4. GUY TREES OVER 20" HT WITH THREE GUYING ANKERS OR DEADEN PER TREE.
- 2" SQUARE HARDWOOD STAKES, MIN 2" LONG PLACE STAKES PARALLEL TO SLOPE EXTEND STAKES TO FIRM BEARING AS NEEDED.
- 2" - 3" MULCH.
- 2" - 3" HT SAUCER AROUND TREE FT.
- VARIABLE GRADE (EXISTING).
- TOPSOIL, MULCH, SEE SPECS.
- SCARIFY SUBSOIL TO 6" MIN DEPTH.
- CUT AND REMOVE BURLAP FROM TOP 1/3 OF ROOT BALL.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

DATE: 4/16/01

DATE: 4/16/01

DATE: 4/12/01

The Young School, A Daycare Center
at Village of Longreach Section 3, Area 2

OWNER: The Howard Research and Development Corporation
10275 Little Patuxent Parkway
Columbia, Maryland 21044

DEVELOPER: The Fedder Company
554 North Crain Highway
Glen Burnie, MD 21061
Buc: (410) 768-4100

DMW
Daft - McCune - Walker, Inc.
A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

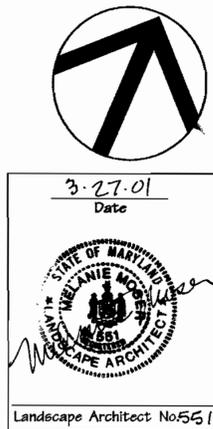
200 East Pennsylvania Avenue
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410 296 3333
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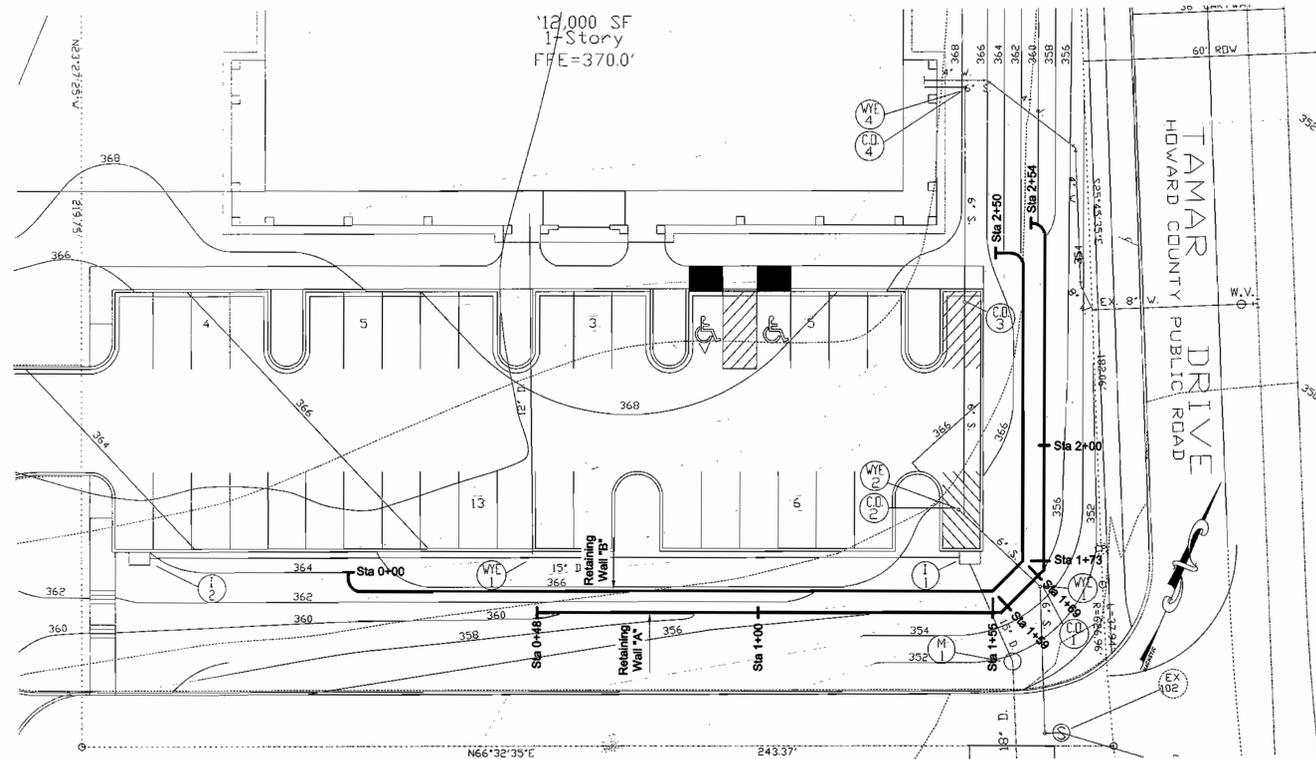
LANDSCAPE PLAN AND DETAILS

Drn By: BKC
Des By: THR
Chk By: BKC

Scale: 1"=20'
Date: 2-20-01
Approved:

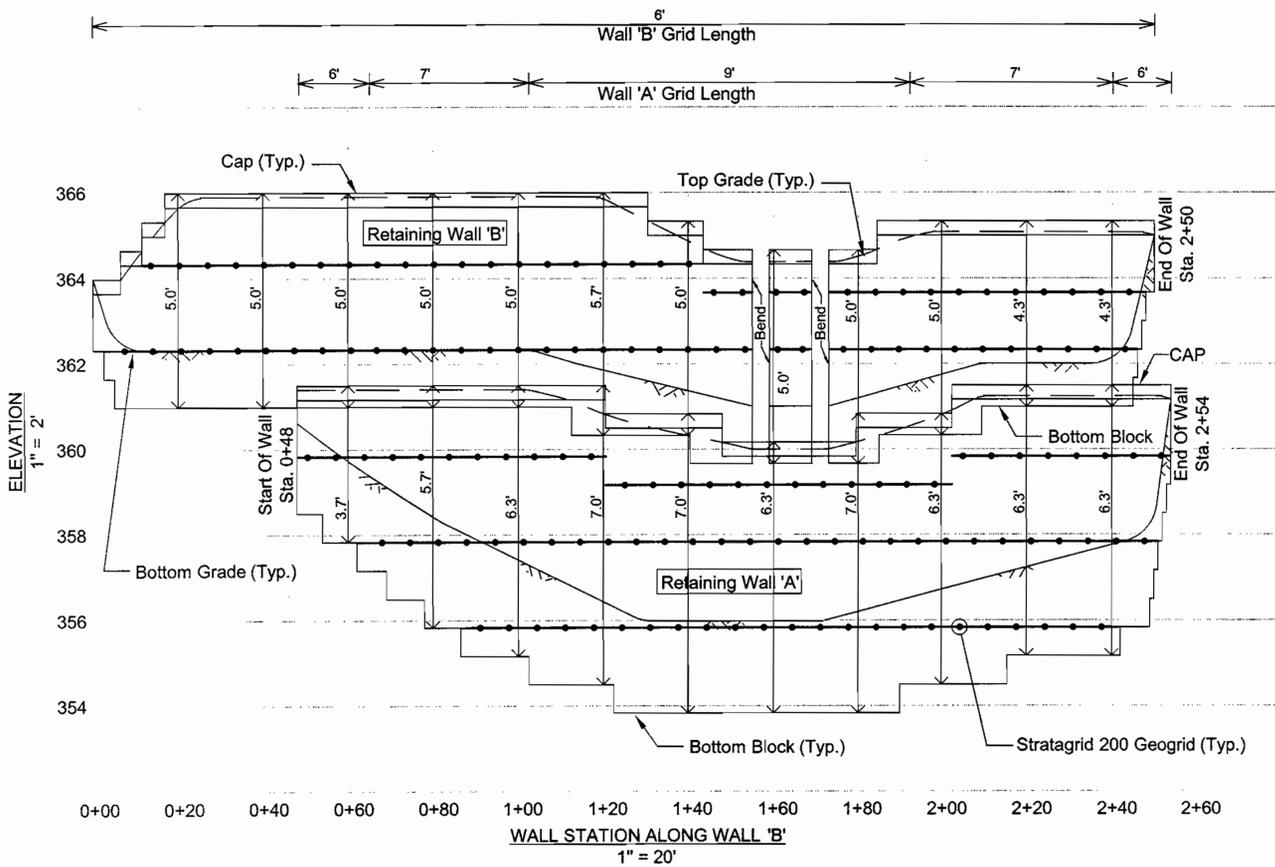
Proj. No. 99120.B
7 of 9





WALL LOCATION PLAN

1" = 20'



WALL ELEVATION

1" = 20'

SPECIFICATIONS
KEYSTONE MODULAR CONCRETE BLOCK RETAINING WALL

PART 1: GENERAL

1.01 Description

- A. Work shall consist of furnishing and construction of a KEYSTONE Retaining Wall System in accordance with these specifications and in reasonably close conformity with the lines, grades, design, and dimensions shown on the plans.
- B. Work includes preparing foundation soil, furnishing and installing leveling pad, unit drainage fill and backfill to the lines and grades shown on the construction drawings.
- C. Work includes furnishing and installing geogrid soil reinforcement of the type, size, location, and lengths designated on the construction drawings.

1.02 Delivery, Storage and Handling

- A. Contractor shall check all materials upon delivery to assure that the proper type, grade, color, and certification has been received.
- B. Contractor shall protect all materials from damage due to job site conditions and in accordance with manufacturer's recommendations. Damaged materials shall not be incorporated into the work.

PART 2: PRODUCTS

2.01 Modular Concrete Retaining Wall Units

- A. Modular concrete units shall conform to the following architectural requirements:
 - Face color - concrete gray - standard manufacturers' color may be specified by the Owner.
 - Face finish - sculptured rock face in angular tri-planer configuration. Other face finishes will be allowed with written approval of Owner.
 - Bond configuration - running with bonds nominally located at midpoint of vertically adjacent units, in both straight and curved alignments.
 - Exposed surfaces of units shall be free of chips, cracks or other imperfections when viewed from a distance of 10 feet under diffused lighting.
- B. Modular concrete materials shall conform to the requirements of ASTM C1372 - Standard Specifications for Segmental Retaining Wall Units.
- C. Modular concrete units shall conform to the following structural and geometric requirements measured in accordance with appropriate references:
 - Compressive strength = 3000 psi minimum;
 - Absorption = 8% maximum
 - Dimensional tolerances = ± 1/8" from nominal unit dimensions not including rough split unit dimensions, ± 1/16" unit height - top and bottom planes;
 - Unit size - As specified on plan.

- D. Modular concrete units shall conform to the following constructability requirements:
 - Vertical setback = 1/8"± per course (near vertical) or 1"± per course per the design;
 - Alignment and grid positioning mechanism - fiberglass pins, two per unit minimum;
 - Maximum gap between erected units shall be - 1/2 inch.

2.02 Shear Connectors

- A. Shear connectors shall be 1/2 inch diameter theroast isophthalic polyester resin-protuded fiberglass reinforcement rods or equivalent to provide connection between vertically and horizontally adjacent units. Strength of shear connectors between vertical adjacent units shall be applicable over a design temperature of 10 degrees F to + 100 degrees F.
- B. Shear connectors shall be capable of holding the geogrid in the proper design position during grid pre-tensioning and backfilling.

2.03 Base Leveling Pad Material

- A. Material shall consist of a compacted #57 crushed stone base as shown on the construction drawings.

2.04 Unit Drainage Fill

- A. Unit drainage fill shall consist of #57 crushed stone
- B. One cubic foot, minimum, of drainage fill shall be used for each square foot of wall face. Drainage fill shall be placed within cores of, between, and behind units to meet this requirement.

2.05 Reinforced Backfill

- A. Reinforced backfill shall be type SM, be free of debris and meet the following gradation tested in accordance with ASTM D-422 and meet other properties shown on the plan:

Sieve Size	Percent Passing
2 inch	100-75
3/4 inch	100-75
No. 40	0-50
No. 200	0-35

 Plasticity Index (PI) < 15 and Liquid Limit < 40 per ASTM D-4318.
- B. Material can be site excavated soils where the above requirements can be met. Unsuitable soils for backfill (high plastic clays or organic soils) shall not be used in the reinforced soil mass.

2.06 Geogrid Soil Reinforcement

- A. Geosynthetic reinforcement shall consist of geogrids manufactured specifically for soil reinforcement

applications and shall be manufactured from high tenacity polyester yarn, or HDPE material.

2.07 Drainage Pipe

- A. The drainage pipe shall be perforated corrugated HDPE pipe manufactured in accordance with ASTM D-1248.

PART 3: EXECUTION

3.01 Excavation

- A. Contractor shall excavate to the lines and grades shown on the construction drawings. Owner's representative shall be responsible for inspecting and approving the excavation prior to placement of leveling material or fill soils.

3.02 Base Leveling Pad

- A. Leveling pad material shall be placed to the lines and grades shown on the construction drawings, to a minimum thickness of 6 inches and extend laterally a minimum of 6" in front and behind the modular wall unit.
- B. Leveling pad shall be prepared to insure full contact to the base surface of the concrete units.

3.03 Modular Unit Excavation

- A. First course of units shall be placed on the leveling pad at the appropriate line and grade. Alignment and level shall be checked in all directions and insure that all units are in full contact with the base and properly seated.
- B. Place the front of units side-by-side. Do not leave gaps between adjacent units. Layout of corners and curves shall be in accordance with manufacturer's recommendations.
- C. Install shear/connecting devices per manufacturer's recommendations.
- D. Place and compact drainage fill within and behind wall units. Place and compact backfill soil behind drainage fill.
- E. Maximum stacked vertical height of wall units, prior to unit drainage fill and backfill placement and compaction, shall not exceed manufacturer's recommendations.

3.04 Structural Geogrid Installation

- A. Geogrid shall be oriented with the highest strength axis perpendicular to the wall alignment.
- B. Geogrid reinforcement shall be placed at the strengths, lengths, and elevations shown on the construction design drawings or as directed by the Engineer.
- C. The geogrid shall be laid horizontally on compacted backfill and attached to the modular wall units. Place the next course of modular concrete units over the geogrid. The geogrid shall be pulled taut, and anchored prior to backfill placement on the geogrid.

- D. Geogrid reinforcements shall be continuous throughout their embedment lengths and placed side-by-side to provide 100% coverage at each level. Spliced connections between shorter pieces of geogrid or gaps between adjacent pieces of geogrid are not permitted.

3.05 Reinforced Backfill Placement

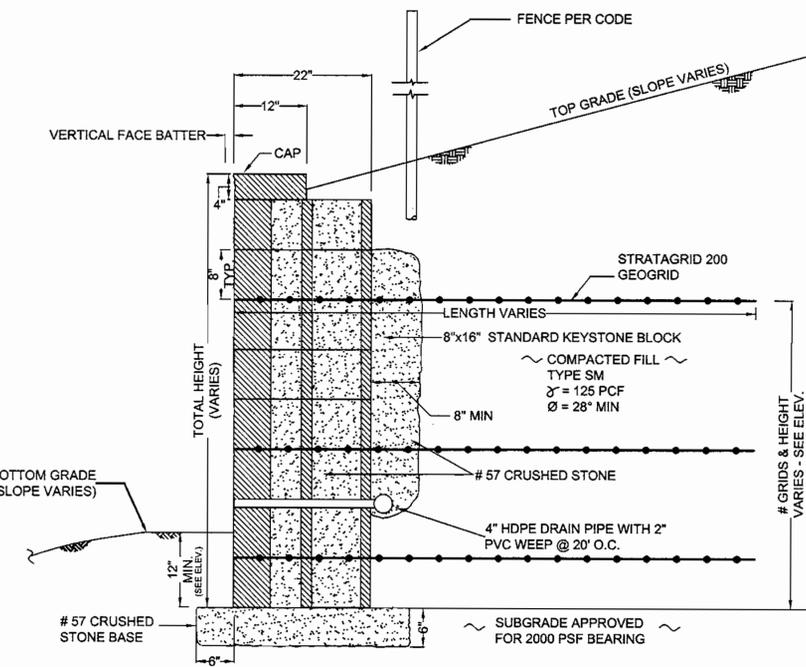
- A. Reinforced backfill shall be placed, spread, and compacted in such a manner that minimizes the development of slack in the geogrid and installation damage.
- B. Reinforced backfill shall be placed and compacted in lifts not to exceed 6 inches where hand compaction is used, or 8-10 inches where heavy compaction equipment is used. Lift thickness shall be decreased to achieve the required density as required.
- C. Reinforced backfill shall be compacted to 95% of the maximum density as determined by ASTM D698. The moisture content of the backfill material prior to and during compaction shall be uniformly distributed throughout each layer and shall be + 3% to - 3% of optimum.
- D. Only lightweight hand-operated equipment shall be allowed within 3 feet from the tail of the modular concrete unit.
- E. Tracked construction equipment shall not be operated directly upon the geogrid reinforcement. A minimum fill thickness of 6 inches is required prior to operation of tracked vehicles over the geogrid. Tracked vehicle turning should be kept to a minimum to prevent tracks from displacing the fill and damaging the geogrid.
- F. Rubber tired equipment may pass over geogrid reinforcement at slow speeds, less than 10 MPH. Sudden braking and sharp turning shall be avoided.
- G. At the end of each day's operation, the Contractor shall slope the last lift of reinforced backfill away from the wall units to direct runoff away from wall face. The Contractor shall not allow surface runoff from adjacent areas to enter the wall construction site.

3.06 Cap Installation

- A. Cap units shall be glued to underlying units with an all-weather adhesive recommended by the manufacturer.

3.07 Field Quality Control

- A. The Owner shall engage inspection and testing services, including independent laboratories, to provide quality assurance and testing services during construction.
- B. As a minimum, quality assurance testing should include foundation soil inspection, soil bearing and backfill testing, verification of design parameters, and observation of construction for general compliance with design drawings and specifications.



TYPICAL WALL PROFILE

N.T.S.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

4/16/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE
4/12/01
CHIEF, DIVISION OF LAND DEVELOPMENT DATE
4/12/01
DIRECTOR DATE

HILLIS-CARNES ENGINEERING ASSOCIATES, INC.

12011 Guilford Road - Suite 106
(410) 880-4788

Annapolis Junction, Maryland
Fax: (410)880-4098

JOB NUMBER: 98036-A
SCALE: AS SHOWN
DATE: 2/19/01
PAGE

DESIGNED BY: RWS
DRAWN BY: AM
APPROVED BY: RMH
REVISED DATE:

RETAINING WALL CONSTRUCTION DETAILS

9 of 9

THE YOUNG SCHOOL VILLAGE OF LONGREACH HOWARD COUNTY, MARYLAND

SDP-01-85

E 488000
N 488000

VILLAGE OF LONGREACH
LOT 7
ZONED NT OPEN SPACE
COLUMBIA ASSOCIATION

VILLAGE OF LONGREACH
LOT 5
ZONED NT OPEN SPACE
COLUMBIA ASSOCIATION

VILLAGE OF LONGREACH
LOT 5
KENDALL RIDGE COMMUNITY POOL
ZONED NT OPEN SPACE
COLUMBIA ASSOCIATION

SEE GENERAL NOTE 27
ON SHEET 1 OF 9

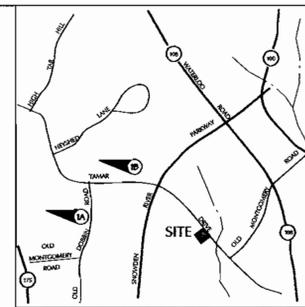
DAYCARE CENTER
±12,000 SF
1-Story

Play Area
±3,500 SF

TAMAR DRIVE
HOWARD COUNTY PUBLIC ROAD

LEGEND

EX CURB & GUTTER	---
EX MAJOR CONTOURS	---
EX MINOR CONTOURS	---
PROP. STORM DRAIN	---
PROP. SEWER	---
PROP. WATER	---
EX STORM DRAIN	---
EX SEWER	---
EX WATER	---
PARKING COUNT LABELS	10
CONCRETE SIDEWALKS	---
STANDARD CURB	---
REVERSE CURB	---
HANDICAP SYMBOLS	♿
HANDICAP RAMPS	---
MANHOLE & INLET LABELS	M 4
EX MANHOLE & INLET LABELS	EX 102
PROP. LIGHT FIXTURE	---
FENCE	---
SOIL BORING LOCATION	---
EXISTING TREE	---



COPYRIGHT ADC - THE MAP PEOPLE, PERMITTED USE No. 20996306
LOCATION MAP
SCALE: 1" = 2000'

* Note: The Howard County Planning Board approved this SDP with the reduced setbacks for the parking spaces and the retaining wall on March 21, 2001

DATE 3-21-01
KS

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

<i>[Signature]</i>	4/10/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK	DATE
<i>[Signature]</i>	4/10/01
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
<i>[Signature]</i>	4/12/01
DIRECTOR KS	DATE

6201	1	RAISE SITE 1'S APT. PLAN.
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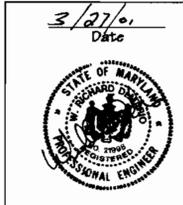
Date	No.	Revision Description
The Young School, A Daycare Center at Village of Longreach Section 3, Area 2		
OWNER The Howard Research and Development Corporation 10275 Little Patuxent Parkway Columbia, Maryland 21044		DEVELOPER The Fedder Company 514 North Crain Highway Glen Burnie, MD 21061 Bus: (410) 768-4100

DMW
Daft - McCune - Walker, Inc.
A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals
200 East Pennsylvania Avenue
Towson, Maryland 21286
410 296 3833
Fax 296 4705

SUBDIVISION NAME Village of Long Reach	SECTION AREA Section 3, Area 2	PARCEL #
PLAT OF LOTS, BLOCK & ZONE B11 7 NT-COM	TAXIDOM MAP 37	ELECT. DISTRICT 6 th
WATER CODE	SEWER CODE	UNIQUE IDENT 6066,02

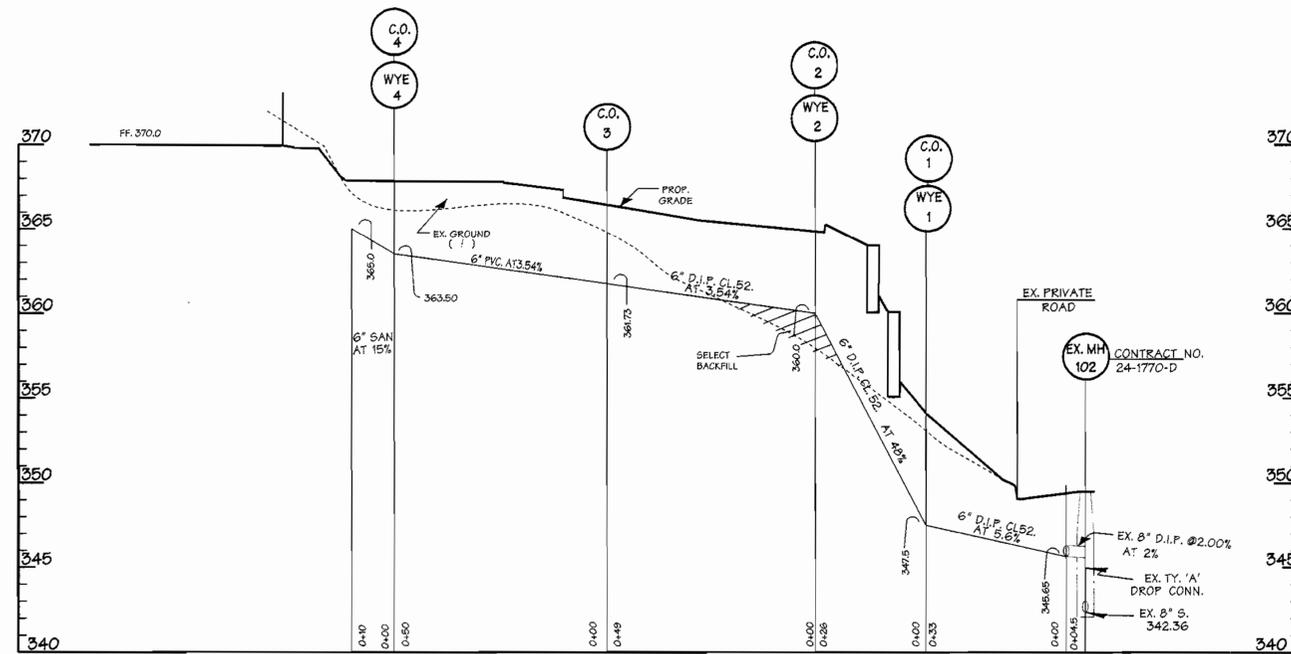
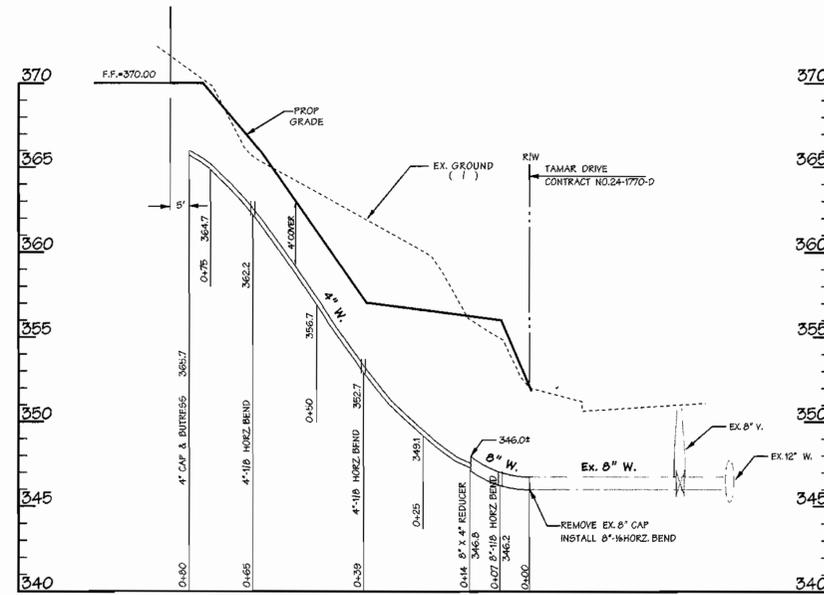
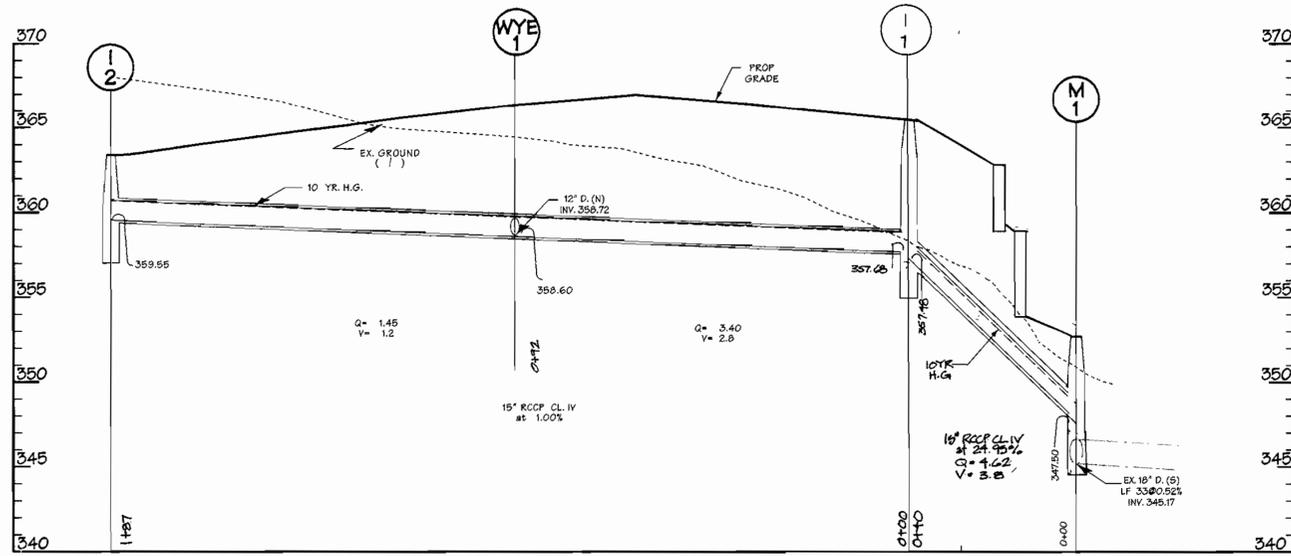
TITLE
SITE PLAN

Drn By: BKC	Scale: 1"=20'	Proj. No. 99120.B
Des By: THR	Date: 2-20-01	2 of 9
Chk By: RBW	Approved:	



Professional Engr. No.

SDP-01-85



STRUCTURE SCHEDULE

NO.	TYPE	INV. IN	INV. OUT	TOP ELEV.	REMARKS
I-1	A-5	357.68	357.48	347.0	HO CO STD.SD 4.01
I-2	A-5	359.55		364.3	HO CO STD.SD 4.01
M-1	STD MANHOLE, 4	347.5		352.7	HO CO STD.SD 5.12

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

CHIEF, DEVELOPMENT-ENGINEERING DIVISION MK 4/1/01 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT 4/12/01 DATE

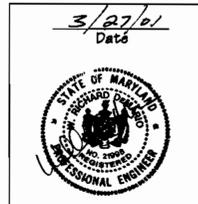
DIRECTOR 4/12/01 DATE

Date	No.	Revision Description

The Young School, A Daycare Center
at Village of Longreach Section 3, Area 2

OWNER: The Howard Research and Development Corporation
DEVELOPER: The Fodder Company

DMW
Daft · McCune · Walker, Inc.
A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals



SUBDIVISION NAME: Village of Longreach	SECTION AREA: Section 3, Area 2	LOT/PARCEL: PARCEL F
PLATS OR LAYOUT: 7	ZONE: NT-COM	CHUCK TRACT: 6066.02
WATER CODE: 7	SEWER CODE: 57	

TITLE: **UTILITY PROFILES**

Drn By: LL & ADL Scale: AS SHOWN Proj. No. 99120.B
Des By: THR Date: 2-20-01
Chk By: RBW Approved: 6 of 9

General Planting Notes

- All plant material to meet A.A.N. Standards.
- Landscape Contractor to follow landscape specification guidelines for Baltimore Washington Metro area approved by L.C.A.M.W.
- No substitutions to be made without consent of Landscape Architect or Owner.
- All beds to be topped with three inches of hardwood mulch.
- Landscape Contractor to verify location of utilities with Owner before planting.
- Landscape Architect/Owner shall select, verify and/or approve all plant material. At Owner's discretion, specimen and other plant material will be selected.
- Landscape Contractor shall coordinate plant bed filling operations and plant material installation with General Contractor and Utilities Contractor. At the time of final inspection with acceptance, all electric, water, drainage, and fountain utilities, as well as all plant materials, shall remain undamaged. Likewise, Landscape Contractor and Utilities Contractor shall coordinate efforts to ensure that surface utilities are at the proper elevation relative to final grades.
- Contractor shall notify Miss Utility 72 hours prior to construction.
- The owner, tenant, and/or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.
- This plan has been prepared in accordance with the provisions of Section 16.124 of the Ho.Co. code per the new town alternative compliance method. Financial surety for the required landscaping in the amount of \$3,660.00 must be posted as part of the GRADING PERMIT (8 shade, 3 evergreen, 27 shrubs)
- Developer's/Builder's Certificate

I/we certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County code and the Howard County Landscape Manual. I/we further certify that upon completion, a certification of landscape installation, accompanied by an executed one-year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

NAME: ROBERT G. POLLOCK, OF THE FEDDER COMPANY
 DATE: 3/26/01

SCHEDULE A PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES	LANDSCAPE CALCULATIONS
LANDSCAPE TYPE: FRONT/PERIMETER	PERIMETER 1 107 LF. OF LANDSCAPE TYPE 'D'		1 SHADE TREE @ 50' LF = 3 SHADE TREES 1 EVERGREEN @ 40' LF = 3 EVERGREENS
	PERIMETER 2 100 LF. OF LANDSCAPE TYPE 'E'		1 SHADE TREE @ 40' LF = 3 SHADE TREES 1 SHRUB @ 4' LF = 27 SHRUBS
CREDIT FOR EXISTING VEGETATION (DESCRIBE BELOW IF NEEDED)	N/A		
CREDIT FOR BERM (DESCRIBE BELOW IF NEEDED)	N/A		
NUMBER OF PLANTS REQUIRED SHADE TREES EVERGREEN TREES SHRUBS			6 3 27
NUMBER OF PLANTS PROVIDED SHADE TREES EVERGREEN TREES OTHER TREES (2:1 SUBSTITUTION) SHRUBS (DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)			1 0 3 27

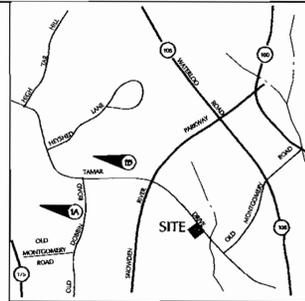
* NOTE: 5 FLOWERING TREES AND 7 EVERGREEN TREES ARE SUBSTITUTED FOR 5 SHADE TREES

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	36
NUMBER OF TREES REQUIRED @ 1/20 P.F.G. SPACES	2
NUMBER OF TREES PROVIDED SHADE TREES OTHER TREES (2:1 SUBSTITUTION)	2
NUMBER OF ISLANDS REQUIRED @ 1 PER 20 P.F.G. SP.	2
NUMBER OF ISLANDS PROVIDED @ 1 PER 20 P.F.G. SP.	2

LEGEND

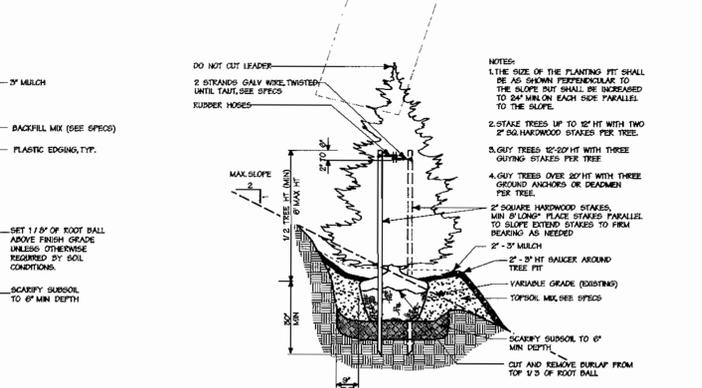
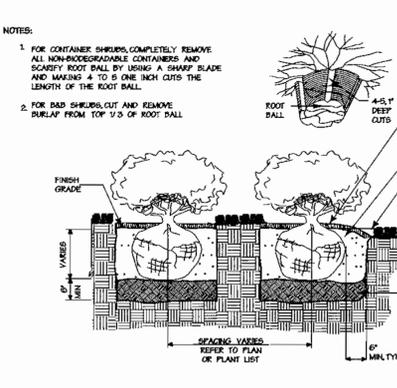
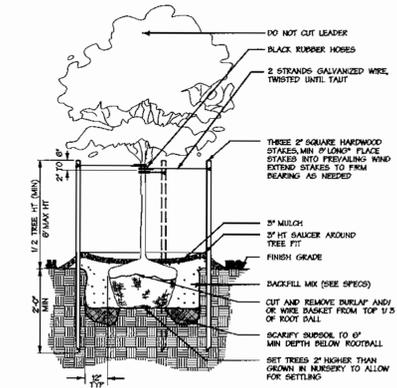
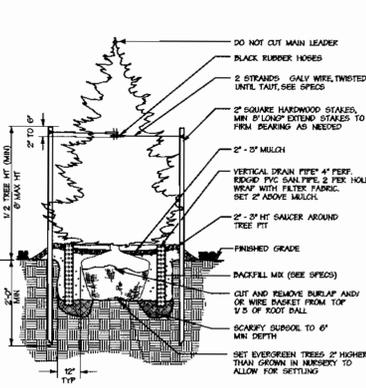
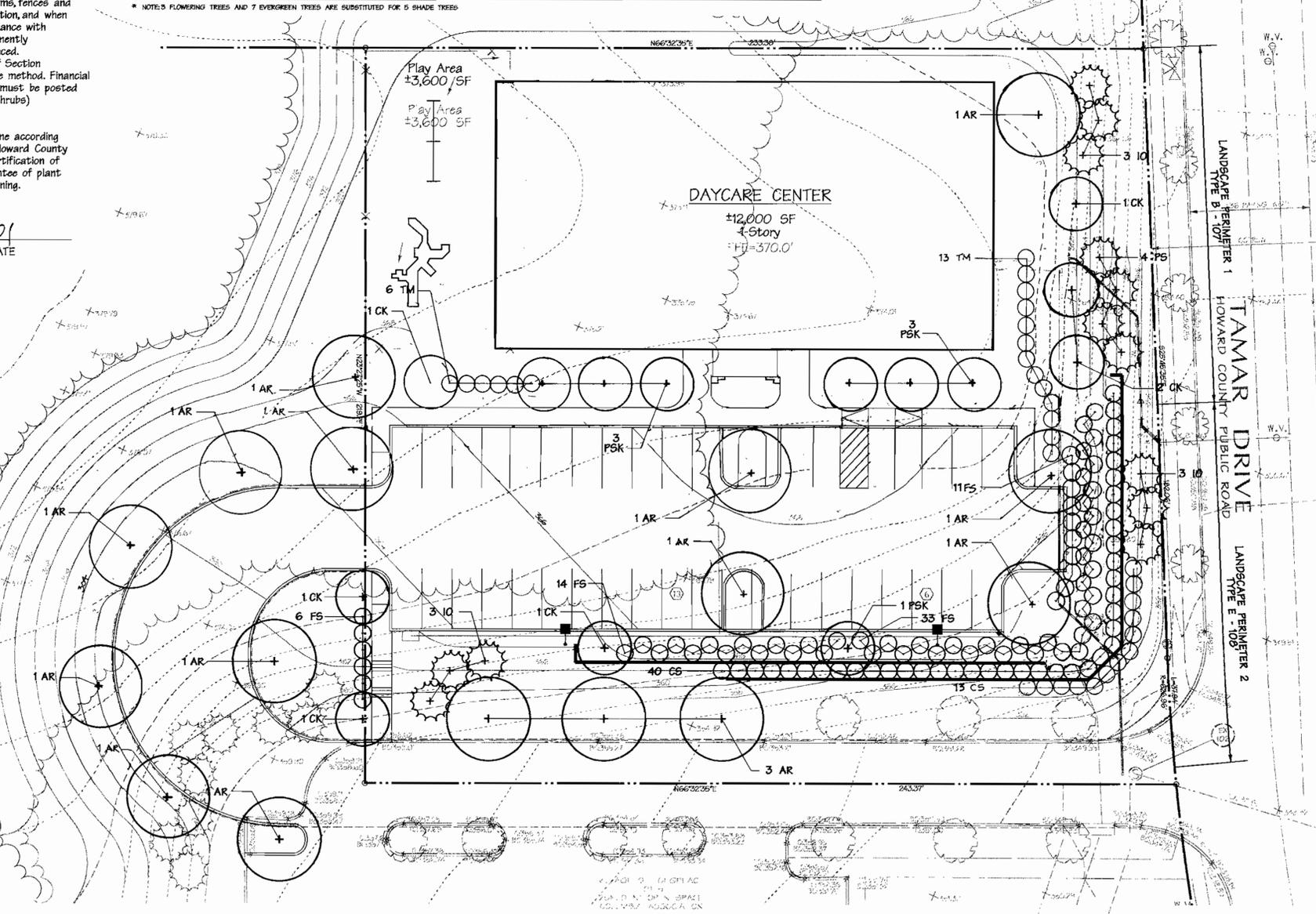
- EX. CURB & GUTTER
- EX. MAJOR CONTOURS
- EX. MINOR CONTOURS
- PROP. STORM DRAIN
- PROP. SEWER
- PROP. WATER
- EX. STORM DRAIN
- EX. SEWER
- EX. WATER
- PARKING COUNT LABELS
- CONCRETE SIDEWALKS
- STANDARD CURB
- HANDICAP SYMBOLS
- PROP. LIGHT FIXTURE
- FENCE
- EXISTING TREE



SCALE: 1" = 200'
 COPYRIGHT ADC - THE MAP PEOPLE, PERMITTED USE No. 2099366

PLANT LIST

QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
LARGE TREES					
16	AR	Acer rubrum 'October Glory'	OCTOBER GLORY RED MAPLE	2 1/2" - 3" CAL. 12' - 14' HT.	B & B FULL HEAD
FLOWERING TREES					
7	CK	Cornus kousa	KOUSA DOGWOOD	8' - 10' HT.	B & B
7	PSK	Prunus serrulata 'Kawazumi'	KWANZAN CHERRY	8' - 10' HT.	B & B
EVERGREEN TREES					
9	ID	Ilex opaca	AMERICAN HOLLY	6' - 8' HT.	B & B (ONE MALE)
4	FS	Pinus strobus	EASTERN WHITE PINE	6' - 8' HT.	B & B UNSHARED
SHRUBS					
53	CS	Cotoneaster salicifolius 'Repens'	WILLOWLEAF COTONEASTER	2 GAL.	CONT.
4	FS	Forsythia suspensa	WEEPING FORSYTHIA	30" - 36" HT.	B & B
17	TM	Taxus x media 'Densiformis'	DENSE YEW	30" - 36" HT.	B & B



NOTES:

- FOR CONTAINER SHRUBS, COMPLETELY REMOVE ALL NON-Biodegradable CONTAINERS AND SCARIFY ROOT BALL BY USING A SHARP BLADE AND MAKING 4 TO 5 ONE INCH CUTS THE LENGTH OF THE ROOT BALL.
- FOR BAR SHRUBS, CUT AND REMOVE BURLAP FROM TOP 1/3 OF ROOT BALL.
- DO NOT CUT LEADER.
- 2 STRANDS GALV. WIRE, TWISTED UNTIL TAUT, SEE SPEC.
- DO NOT CUT LEADER.
- 2 STRANDS GALV. WIRE, TWISTED UNTIL TAUT, SEE SPEC.
- 1 THE SIZE OF THE PLANTING PIT SHALL BE AS SHOWN PREFERABLY TO THE SLOPE BUT SHALL BE INCREASED TO 24" WIDE ON EACH SIDE PARALLEL TO THE SLOPE.
- 2 STAKE TREES UP TO 24" HT WITH TWO 2" SQ. HARDWOOD STAKES PER TREE.
- 3 GUY TREES 25'-20' HT WITH THREE GUYING STAKES PER TREE.
- 4 GUY TREES OVER 20' HT WITH THREE GROUND ANCHORS OR DEADMAN PER TREE.
- 2" SQUARE HARDWOOD STAKES, MIN 8" LONG PLACE STAKES PARALLEL TO SLOPE EXTEND STAKES TO FIRM BEARING AS NEEDED.
- 2" - 3" HT HAULER AROUND TREE FIT.
- VARIOUS GRADE (EXISTING)
- TORNSOL MIX, SEE SPEC.
- SCARIFY SUBSOIL TO 6" MIN DEPTH.
- CUT AND REMOVE BURLAP FROM TOP 1/3 OF ROOT BALL.

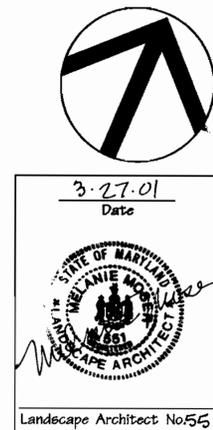
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DIRECTOR

627.01 RAISE SITE 1' & ADJ. PLAN

The Young School, A Daycare Center
 at Village of Longreach Section 3, Area 2

OWNER: The Howard Research and Development Corporation
 DEVELOPER: The Fedder Company
 ENGINEERS, SURVEYORS & ENVIRONMENTAL PROFESSIONALS: DMW Daft McCune Walker, Inc.

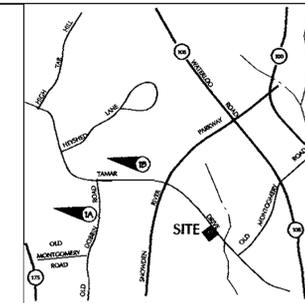
LANDSCAPE PLAN AND DETAILS
 Drn. By: BKC Scale: 1"=20' Proj. No. 99120.B
 Des. By: THR Date: 2-20-01
 Chk. By: RBW Approved: 7 of 9



SHEET INDEX

SHEET	DESCRIPTION
1	COVER SHEET
2	SITE PLAN
3	GRADING PLAN
4	SEDIMENT & EROSION CONTROL PLAN AND DRAINAGE AREA MAP
5	SEDIMENT & EROSION CONTROL DETAILS
6	UTILITY PROFILES
7	LANDSCAPE PLAN & DETAILS
8	SITE DETAILS
9	RETAINING WALL CONSTRUCTION DETAILS

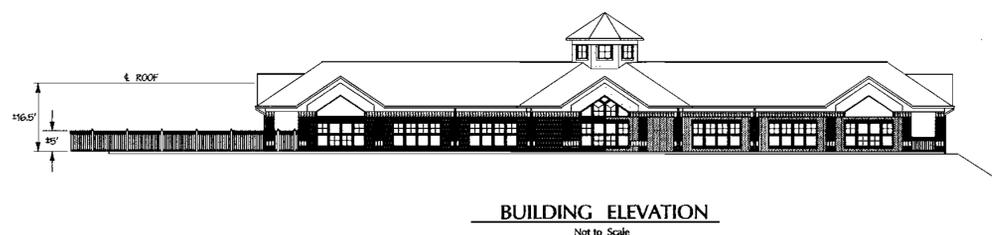
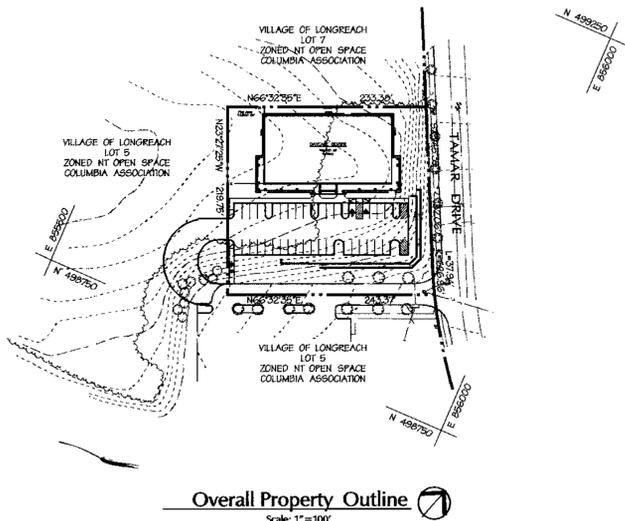
Site Development Plan for The Young School, A Daycare Center at Village of Longreach Section 3, Area 2, Parcel F



COPYRIGHT ADC - THE MAP PEOPLE, PERMITTED USE No. 20095388
LOCATION MAP
SCALE: 1" = 2000'

GENERAL NOTES

- All construction shall be performed in accordance with the latest standards and specifications of Howard County, plus MSHA standards and specifications if applicable or as specified.
- Approximate location of existing utilities are based solely on available records. Contractor shall verify the location of any utilities which may be impacted by the work. The contractor shall take all necessary precautions to protect the existing utilities and maintain uninterrupted service. Any damage incurred due to contractor's operation shall be repaired immediately at the contractor's expense.
- The contractor shall test pit existing utilities at least five (5) days before starting work shown on these drawings to verify their location and elevation. The contractor shall notify the engineer immediately if location of utilities is other than shown.
- The contractor shall notify 'Miss Utility' at 1-800-257-7777 at least 48 hours prior to any excavation work being done, and shall notify the Department of Public Works (Bureau of Engineering/Construction Inspection Division at (410) 313-1880 at least five (5) working days prior to the start of work.
- Any damage caused by the Contractor to existing public right-of-way, existing paving, existing curb and gutter, existing utilities, etc. shall be repaired at the Contractor's expense.
- Topography per field survey of Tamar Drive and utilities by DMW Inc. dated 11/00; SDP-94-65 for Kendall Ridge Community Pool; and supplemental site topography to Northwest from Howard County aerial dated 10/99
- Public water and sewer provided by contract No. 24-1770-D
- All fill areas shall be compacted to a minimum of 95% of the maximum dry density as determined and verified in accordance with AASHTO T-180.
- Regional stormwater management and water quality are provided in a retention facility located on SDP-94-65
- There are no wetlands, floodplain, streams, or related buffers on this site.
- Traffic Study produced by The Traffic Group, Inc. on January 3, 2001
- Operating existing valves, switches, services or start up of new services shall be coordinated with the owners representative.
- The building will be provided with a sprinkler system.
- Trench compaction for storm drains shall be in accordance with Howard County Design Manual IV, Std. No. G-2.01.
- Unless otherwise noted, dimensions from curb are measured at face of curb.
- Refer to architectural drawings for building dimensions.
- The Contractor shall coordinate the location of all water, sewer, and drain house connections with the mechanical drawings.
- The Contractor shall maintain 2.0 feet minimum cover over all utilities during construction.
- Unless otherwise noted, all utility connections shall be capped or plugged five feet from buildings.
- Electric, telephone, gas, cable, lighting, and retaining walls to be designed by others. Where these facilities are shown, they are for coordination purposes only.
- All Spot Elevations are to the bottom of curb unless otherwise noted
- There are no known cemeteries or burial grounds on this site. However, upon discovery of any evidence of burial or graves, the developer will be subject to Section 16.1305 of the Howard County Subdivision and Land Development Regulations.
- All exterior lighting fixtures shall be installed in compliance with Section 134 of the Zoning Regulations.
- Geotechnical Investigation by Robert T. Balter
- Boundary information shown hereon is based upon information obtained from available records only. It does not, therefore, reflect the results of a boundary survey.
- This project is exempt from the forest conservation requirements per Section 16.1202(b)(1)(iv) of Howard County Code because it is part of a planned unit development (New Town) with preliminary plan approval prior to 12/31/92
- SEE L 5918, F-0477, FOR RECORDED EASEMENT BETWEEN OWNER AND COLUMBIA ASSOCIATION RE: DRIVEWAY MAINTENANCE, GRADING DISTURBANCES AND DRAINAGE



SITE ANALYSIS DATA CHART

- General Site Data
 - Present Zoning: New Town Employment/Commercial
 - Applicable DPZ File References: FDP-197A-III, F-2&-71, FDP-197A-V, FDP-197-A-V, PART II
 - Proposed Use of Site or Structure(s): Daycare Facility (Max # Students 156)
 - Proposed Water and Sewer Systems: X Public Private
 - Any Other Information Which May be Relevant: N/A
- Area Tabulation
 - Total Project Area: 12 Acres
 - Area of This Plan Submission: +1.7 Acres
 - Limit of Disturbed Area: +1.7 Acres
 - Building Coverage of Site: 0.22 Acres and 23 % of Gross Area (Proposed)
- Parking Space Data
 - Floor Space on Each Level per Building(s) per Use: 12,000 SF
 - Maximum Number of Employees, Tenants On-Site per Use: N/A
 - Number of Parking Spaces Required by Zoning Regulations and Criteria: 26
12,000 SF X 3.0 SF/1000=36 SPACES
 - Total Number of Parking Spaces Provided On-Site: 37
Number of Handicapped Parking Spaces Provided: 2 (HC INCLUDED IN TOTAL)

BENCHMARK

DESCRIPTION	
1A: HO. CO. STATION 2542001	N 499,539.29 E 852,111.26 ELEV. 426.97
1B: HO. CO. STATION 2643006	N 500,984.48 E 853,503.75 ELEV. 385.66

ADDRESS CHART	
PARCEL NUMBERS	STREET ADDRESS
F	8251 TAMAR DRIVE

DATE: 3/21/01
KS

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION MK 4/1/01 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT 4/12/01 DATE

DIRECTOR KS 4/12/01 DATE

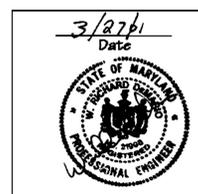
6.28.01	1	REVISE # OF SPACES AFTER RAISING SITE 1'
10.5.01	2	REVISE # OF STUDENTS

Date	No.	Revision Description

**The Young School,
A Daycare Center**
at Village of Longreach Section 3, Area 2

OWNER: The Howard Research and Development Corporation, 10275 Little Patuxent Parkway, Columbia, Maryland 21044

DEVELOPER: The Fecker Company, 514 North Crain Highway, Glen Burnie, MD 21061, Bus: (410) 768-4100



DMW
DaR • McCune • Walker, Inc.
A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

200 East Pennsylvania Avenue, Towson, Maryland 21286
410 286 3333
Fax 286 4705

SUBDIVISION NAME	SECTION AREA	LOT/PARCEL #
Village of Longreach	Section 3, Area 2	PARCEL F

PLAT OF LOT/BLOCK #	ZONE	TAXIDRAW MAP	ELECT. DISTRICT	CENSUS TRACT
B11	7	NT-COM	6 th	6066.02

TITLE	
COVER SHEET	

Drn By: BKC	Scale: AS SHOWN	Proj. No. 99120.B
Des By: THR	Date: 2-20-01	1 of 9
Chk By: FBW	Approved:	