

SHEET INDEX	
NO	DESCRIPTION
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3	SITE DEVELOPMENT PLAN
4	GRADINGS, SEDIMENT CONTROL PLAN AND DRAINAGE AREA MAP
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SITE DEVELOPMENT PLAN

ezStorage Columbia

PARCEL A-2

6th ELECTION DISTRICT

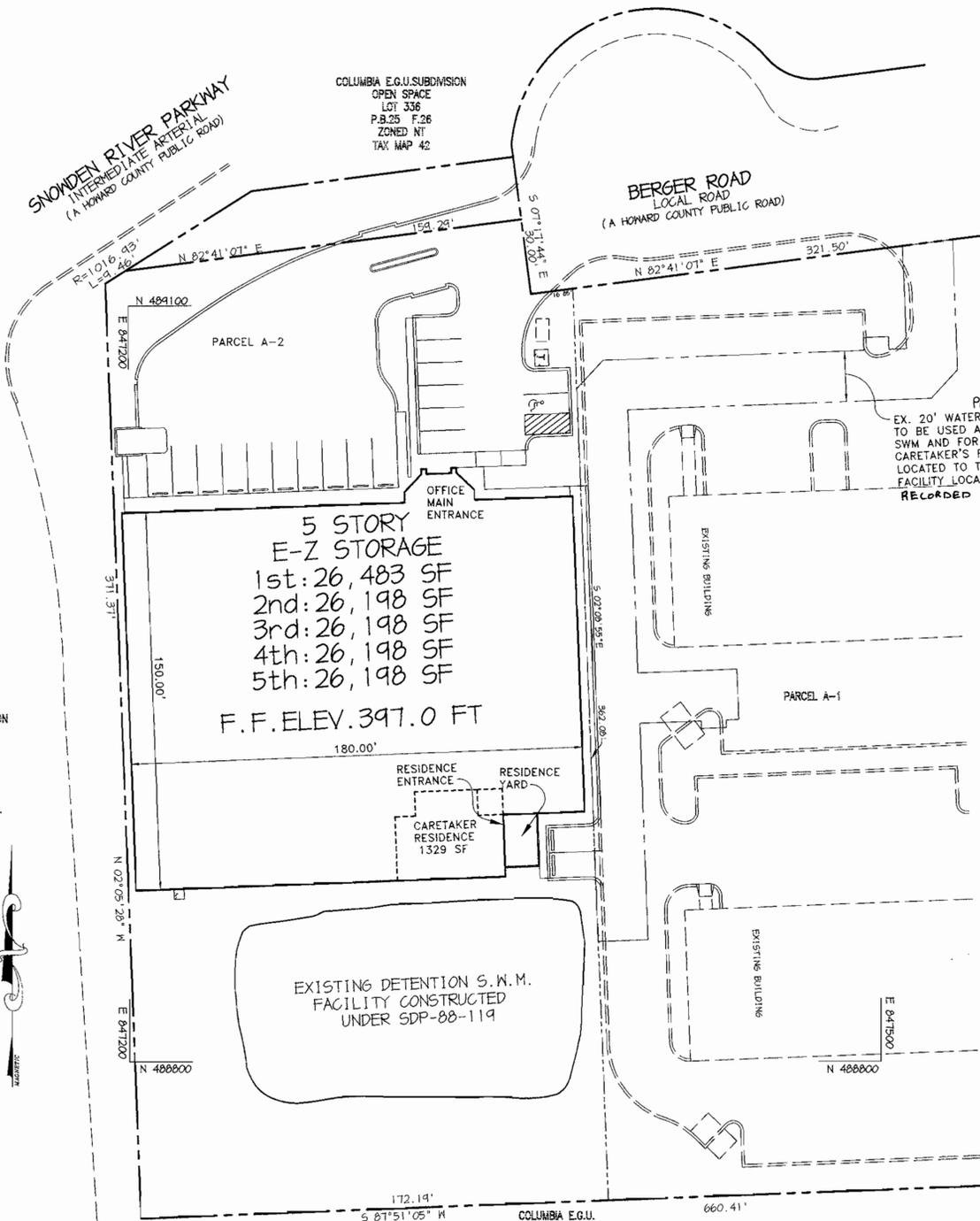
HOWARD COUNTY, MARYLAND

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS NEHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/ CONSTRUCTION INSPECTION DIVISION AT (410) 513-1860 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDINGS UNLESS OTHERWISE NOTED.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 4586 AND 4587 WERE USED FOR THIS PROJECT.
- WATER IS PUBLIC. CONTRACT NO. 24-1705-D
- SEWER IS PUBLIC. SEWER DRAINAGE AREA: PATUXENT CONTRACT NO. 24-1705-D
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- A 100-YEAR FLOODPLAIN STUDY IS NOT REQUIRED FOR THIS PROJECT.
- THERE ARE NO WETLANDS AFFECTING THIS PROJECT.
- AN APPROPRIATE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP DATED DECEMBER 2000.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- THE BOUNDARY FOR THIS PROJECT IS BASED ON PREVIOUSLY RECORDED PLAT NO. 7941.
- SUBJECT PROPERTY ZONED M-1 PER 10-18-93 COMPREHENSIVE ZONING PLAN.
- ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
- SEE DEPARTMENT OF PLANNING AND ZONING FILE NOS. SDP-88-119, SDP-84-70, F-84-228, WP-88-55, F-88-134 F-01-143
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD.
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE.
- ALL STORM DRAIN PIPE BEDDING SHALL BE CLASS 'C' AS SHOWN IN FIG. 11.4, VOLUME 1 OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE NOTED.
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- STORM DRAIN TRENCHES WITHIN ROAD RIGHT OF WAY SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.E., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, LATEST AMENDMENTS.
- PROFILES STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T180.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM AS-BUILT SURVEY PERFORMED BY RMA IN JUNE 1991 AND FROM SDP-84-270 WITH MAXIMUM TWO FOOT CONTOUR INTERVALS.
- A GEOTECHNICAL STUDY IS NOT REQUIRED FOR THIS PROJECT.
- STORMWATER QUALITY AND QUANTITY MANAGEMENT IS PROVIDED VIA AN EXISTING OIL/GRIT SEPARATOR AND DETENTION POND CONSTRUCTED UNDER SDP-88-119, AS WELL AS NEW PRIVATE STORMWATER QUALITY MANHOLE.
- THERE ARE NO CEMETARIES OR BURIAL GROUNDS ON THE SITE TO THE BEST OF OUR KNOWLEDGE.
- THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BECAUSE THE PROJECT HAS AN APPROVED SDP (SDP-84-70) PRIOR TO DECEMBER 31, 1992 AND THE LIMIT OF DISTURBANCE COVERED THE ENTIRE PARCEL.
- THE CARETAKER'S APARTMENT TO BE LOCATED WITHIN THE STORAGE FACILITY SHALL BE A SINGLE-FAMILY RESIDENCE ONLY. A RENTAL LICENSE FOR RENTAL OF THIS APARTMENT SHALL BE REQUIRED FROM THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS FOR HOWARD COUNTY, AS APPLICABLE.
- LANDSCAPING IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL SHALL BE PROVIDED AS SHOWN ON THE LANDSCAPE PLAN FOR THIS PROJECT. REQUIRED SURETY IN THE AMOUNT OF \$3,000.00 SHALL BE PROVIDED WITH THE DPW DEVELOPER'S AGREEMENT.

COLUMBIA E.G.U. SUBDIVISION
SECTION 1, AREA 1
P.B.21 F.92
ZONED NEW TOWN
EMPLOYMENT CENTER
INDUSTRIAL

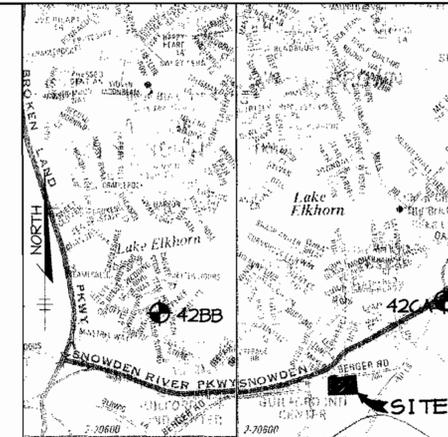
EASTERN PRODUCTS CORP.
471/627
471/655
PARCEL 319
TAX MAP 42



BENCHMARKS

HO. CO. SURVEY CONTROL STATION 42BB
N 440,645.20 E 843,221.10
ELEV. 306.68
LOCATED AT 37.8 FT SOUTH-EAST OF FIRE HYDRANT
AND 21.3 FT EAST OF SEWER MANHOLE COVER.

HO. CO. SURVEY CONTROL STATION 42CA
N 440,946.90 E 850,080.10
ELEV. 377.15
LOCATED AT 44.2 FT SOUTH OF *45 MILES
SPEED LIMIT* SIGN AND 5.5 FT EAST OF THE
EDGE OF PAVING AT SNOWDEN RIVER PKY.



VICINITY MAP

SCALE: 1" = 2000'
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PERMITTED USE No. 20694285

SITE ANALYSIS

AREA OF PARCEL A-2	1.63 ACRES (71,003 SF)
DISTURBED AREA	1.20 ACRES (52,272 SF)
PRESENT ZONING	M-1
EXISTING BUILDING COVERAGE	0.12 ACRES (5,012 SF)
PROPOSED BUILDING COVERAGE	0.61 ACRES (26,483 SF) (35% OF TOTAL PARCEL)
AREA OF FIRST FLOOR	26,483 SF
AREA OF SECOND FLOOR	26,198 SF
AREA OF THIRD FLOOR	26,198 SF
AREA OF FOURTH FLOOR	26,198 SF
AREA OF FIFTH FLOOR	26,198 SF
EXISTING BUILDING USE	CAR WASH, CAR CARE AND REPAIR
PROPOSED BUILDING USE	SELF-STORAGE FACILITY
# OF PARKING SPACES REQ'D:	
945 SF OFFICE @ 4 SP/1000 SF	4 SPACES
ON SITE RESIDENCE (1,385 SF)	2 SPACES
TOTAL # OF SPACES REQ'D	6 SPACES
# OF PARKING SPACES PROVIDED	10 SPACES (INCLUDING 1 HP)
# OF LOADING SPACES PROVIDED	10 SPACES

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING	
<i>Joseph S. Batts</i> DIRECTOR	6/16/01 DATE
<i>Orlando D. ...</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION MK	6/16/01 DATE
<i>Cindy ...</i> CHIEF, DIVISION OF LAND DEVELOPMENT	6/5/01 DATE

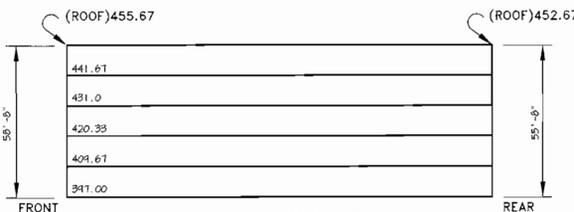
DATE NO.	REVISION
DEVELOPER/OWNER: CASC LIMITED PARTNERSHIP c/o SIENA CORPORATION 12011 GUILFORD ROAD, SUITE 101 ANNAPOLIS JUNCTION, MARYLAND 20701 410-792-8345	
PROJECT ezStorage, Columbia CONNELL PROPERTY, PARCEL A-2	
AREA TAX MAP 42 ZONED M-1 PARCEL A-2, PLAT NO. 14757 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND	
TITLE TITLE SHEET	

RIEMER MUEGGE
a division of:
Patton Harris Rust & Associates, pc
ENGINEERS • SURVEYORS • PLANNERS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SPECIALISTS
8818 Centre Park Drive, Columbia, MD 21045 • Tel: 410.997.8800 Fax: 410.997.8282

DESIGNED BY: C.J.R.
DRAWN BY: K.E.V.
CHECKED BY: C.J.R.
PROJECT NO: 00284/ SDP1.DWG
DATE: MAY 3, 2001
SCALE: AS SHOWN
DRAWING NO. 1 OF 8

ADDRESS CHART	
PARCEL	STREET ADDRESS
A-2	4265 BERGER ROAD

ADDITIONAL INFO: CONNELL PROPERTY	SECT. AREA: -	PARCEL: A-2
PLAT #: 14757	BLOCK #: 4 1 10	ZONING: M-1
TAX MAP NO.:	42	ELECT. DIST.:
6th	6061.03	
WORK CODE: E-06	SEWER CODE: 5202000	

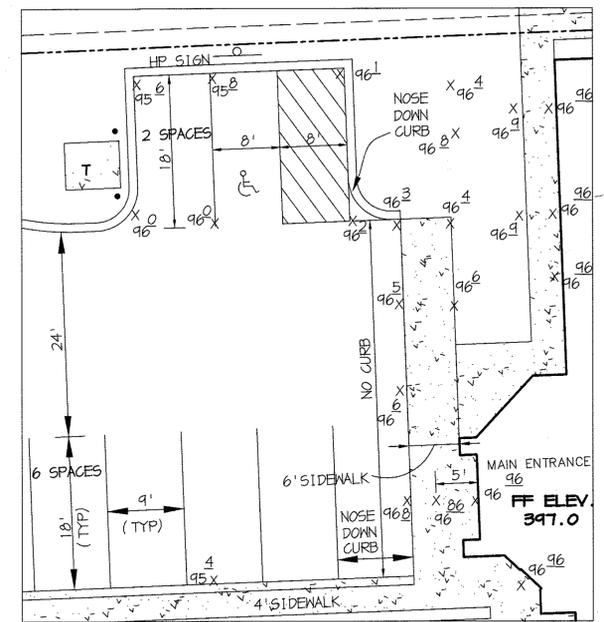
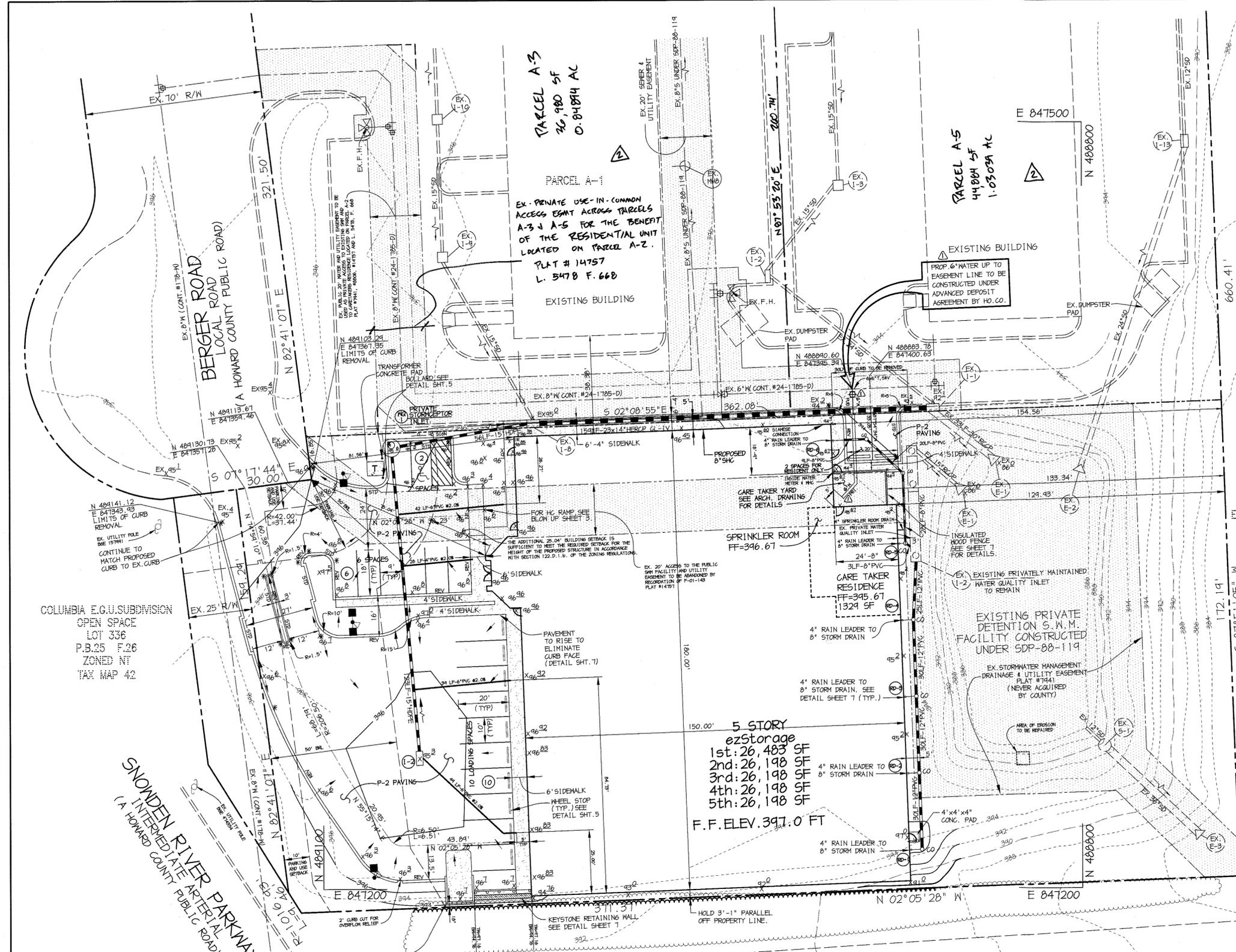


PLAN
SCALE: 1" = 30'

COLUMBIA E.G.U.
PARCEL L-1
P.B.30 F.88
ZONED NEW TOWN
EMPLOYMENT CENTER
INDUSTRIAL
TAX MAP 42

NOTE: AVERAGE GRADE IS 58'-8" + 55'-8" ÷ 2 = 57.2' THEREFORE AN ADDITIONAL SETBACK OF 14.4' IS NEEDED FOR THIS AVG. BLDG. HT. THE MINIMUM ADDITIONAL SETBACK PROVIDED IS 25.04' THEREFORE THE HT. IS ACCEPTABLE.

P:\project\00284\SDP3.dwg Wed May 25 15:17:37 2001 PIEMER MUEGGE - A DIVISION OF PHESA



COLUMBIA E.G.U. SUBDIVISION
OPEN SPACE LOT 336
P.B.25 F.26
ZONED NT
TAX MAP 42

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

<i>Paul R. Kutz</i>	6/6/01
DIRECTOR	DATE
<i>Walter Deussen</i>	6/4/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK	DATE
<i>Cindy Hamstra</i>	6/5/01
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE

9-6-16 2 SUBDIVISION
7-27-01 REV. B'W TO G'W

DATE NO.	REVISION

DEVELOPER/OWNER:
CASQ LIMITED PARTNERSHIP
C/O SIENA CORPORATION
12011 GUILDFORD ROAD, SUITE 101
ANNAPOLIS JUNCTION, MARYLAND 20701
410-192-8345

PROJECT
ezStorage, Columbia
CONNELL PROPERTY, PARCEL A-2

AREA
TAX MAP 42 ZONED M-1
PARCEL A-2, PLAT NO. 14757
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE
SITE DEVELOPMENT PLAN

RIEMER MUEGGE
a division of
Patton Harris Rust & Associates, pc
ENGINEERS • SURVEYORS • PLANNERS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SPECIALISTS
8818 Centre Park Drive, Columbia, MD 21045 • tel 410.997.8900 fax 410.997.9282

DESIGNED BY: C.J.R.
DRAWN BY: K.E.V.
CHECKED BY: C.J.R.
PROJECT NO: 00284/SDP3.DWG
DATE: MAY 3, 2001
SCALE: AS SHOWN
DRAWING NO. 3 OF 8

DATE
ARTHUR E. MUEGGE #8707

PLAN
SCALE: 1" = 20'

COLUMBIA E.G.U. SUBDIVISION
SECTION 1, AREA 1
P.B.21 F.32
ZONED NEW TOWN
EMPLOYMENT CENTER
INDUSTRIAL
EASTERN PRODUCTS CORP.
471/627
471/655
PARCEL 318
TAX MAP 42

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21714
EXPIRATION DATE: 11-10-17

SMM FACILITY REPAIR SUMMARY

- EXISTING TREES AND SHRUBS ON UPSTREAM AND DOWNSTREAM SLOPES OF DAM AND IN RESERVOIR SHALL BE REMOVED. IN ADDITION, REMOVE EXISTING LARGE TREE OVER 30" INLET PIPE LOCATED IN NORTHEASTERN PORTION OF SMM FACILITY AND REPAIR EXISTING PIPE, IF NECESSARY.
- FILL AND STABILIZE ERODED AREAS BY SODDING AND/OR EROSION NETTING.
- REMOVE TRASH (BOTTLES, CANS, PAPER, ETC.) FROM POND AND DISPOSE OF PROPERLY.

LEGEND

- P-2 PAVING (ALL PROPOSED PAVING)
- SITE LIGHT-SEE NOTE
- SPOT LIGHT AT BUILDING
- STANDARD PARKING LIGHT

NOTES:

- ALL LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF HOWARD COUNTY ZONING REGULATIONS SECTION 134. SEE DETAIL SHEET 5.
- ALL CURB RADIUS ARE 5' UNLESS OTHERWISE LABELED.
- ALL ON SITE ROADS ARE PRIVATE.
- ALL DIMENSIONS ARE TO FACE OF CURB OR BUILDING UNLESS OTHERWISE LABELED.
- * INDICATES TRANSITION FROM STANDARD 1" CURB & GUTTER TO REVERSE 1" CURB & GUTTER AND VICE-VERSA.

PARCEL A-3
36,700 SF
0.84894 AC

PARCEL A-5
44,804 SF
1.03051 AC

EX. PRIVATE USE-IN-COMM
ACCESS ESMT. ACROSS
PARCELS A-3 + A-5 FOR
THE BENEFIT OF THE
RESIDENTIAL UNIT LOCATED
ON PARCEL A-2.
PLAT # 14757
L. 5478 F. 668
EXISTING BUILDING

COLUMBIA E.G.U.
PARCEL L-1
P.B.30 F.88
ZONED NEW TOWN
EMPLOYMENT CENTER
INDUSTRIAL
TAX MAP 42

COLUMBIA E.G.U. SUBDIVISION
OPEN SPACE
LOT 336
P.B.25 F.26
ZONED NT
TAX MAP 42

SNOWDEN RIVER PARKWAY
(A HOWARD COUNTY PUBLIC ROAD)

BERGER ROAD
LOCAL ROAD
(A HOWARD COUNTY PUBLIC ROAD)

COLUMBIA E.G.U. SUBDIVISION
SECTION 1, AREA 1
P.B.21 F.82
ZONED NEW TOWN
EMPLOYMENT CENTER
INDUSTRIAL
EASTERN PRODUCTS CORP.
471/627
471/655
PARCEL 318
TAX MAP 42

PLAN
SCALE: 1" = 20'

LEGEND
[Symbol] PAVING TO BE REMOVED



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A QUALIFIED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 2174, EXPIRATION DATE: 11-10-17

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
 Director: *John R. Smith* DATE: 4/6/01
 Chief, Development Engineering Division: *Mark M. ...* DATE: 6/4/01
 Chief, Division of Land Development: *Cindy Hamada* DATE: 6/5/01

9-6-16 1 SUBMISSION
 DATE NO. REVISION
 DEVELOPER/OWNER:
 CASC LIMITED PARTNERSHIP
 c/o SIENA CORPORATION
 12011 GUILFORD ROAD, SUITE 101
 ANNAPOLIS JUNCTION, MARYLAND 20701
 410-742-8375

PROJECT
 ezStorage, Columbia
 CONNELL PROPERTY, PARCEL A-2

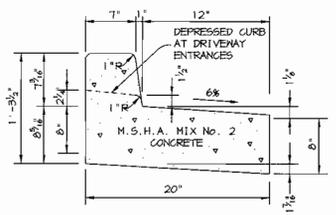
AREA
 TAX MAP 42 ZONED M-1
 PARCEL A-2, PLAT NO. 14757
 6th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

TITLE
 EXISTING CONDITIONS &
 DEMOLITION PLAN

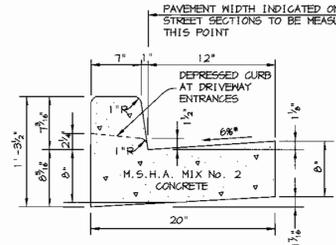
RIEMER MUEGGE
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 ENGINEERS • SURVEYORS • PLANNERS
 LANDSCAPE ARCHITECTS • ENVIRONMENTAL SPECIALISTS
 8818 Centre Park Drive, Columbia, MD 21045 • tel 410.997.8800 fax 410.997.9282

DATE: _____
 DESIGNED BY: C.J.R.
 DRAWN BY: K.E.V.
 CHECKED BY: C.J.R.
 PROJECT NO: 00284/
 SDP2.DWG
 DATE: MAY 3, 2001
 SCALE: AS SHOWN
 DRAWING NO. 2 OF 8

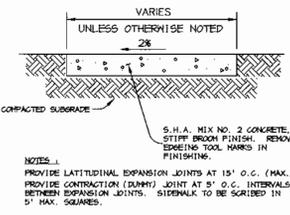




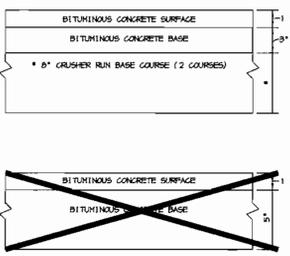
REVERSE 7" COMBINATION CURB AND GUTTER
NO SCALE



STANDARD 7" COMBINATION CURB AND GUTTER
NO SCALE



SIDEWALK DETAIL
NO SCALE



P-2 PAVING
NO SCALE



HANDICAP SIGN DETAIL
NO SCALE

CONTRACTOR INSTALLATION PROCEDURE FOR STORMCEPTOR

1. STAKE-OUT THE LOCATION OF THE INLET STORMCEPTOR AND EXCAVATE HOLE. EXCAVATE ADEQUATE SPACE TO CONNECT INLET AND OUTLET PIPES TO UNIT. INSTALL A 12" DEEP (OR AS REQUIRED) LAYER OF COMPACTED AGGREGATE SUBBASE AT BOTTOM OF EXCAVATION.
2. CHECK ELEVATION OF UNIT BY MEASURING ITS SECTIONS FROM THE BASE OF THE STORAGE CHAMBER (BOTTOM OF BASE SLAB) TO THE INVERT OF THE UNIT BYPASS CHAMBER OUTLET ELEVATION (FIBERGLASS INSERT). SUBTRACT THIS DISTANCE FROM DESIGN OUTLET ELEVATION TO DETERMINE TOP OF SUBBASE ELEVATION. CHECK ELEVATION OF INSTALLED SUBBASE AND ADJUST AS NEEDED.
3. SECURE INSPECTOR APPROVAL OF SUBBASE AND SUBGRADE.
4. INSTALL STORAGE CHAMBER. ATTACH CABLES OR CHAINS TO THE THREE PULLING IRONS ON THE BASE SLAB. USING LARUE EQUIPMENT OR GRANE, LIFT AND PLACE THE BASE SECTION OF THE STORAGE CHAMBER IN THE EXCAVATED HOLE ON THE SUBBASE. MAKE SURE THE BASE IS LEVEL. SPECIFIC ALIGNMENT OF THIS PART IS NOT REQUIRED. INSTALL RUBBER GASKET ON THE BASE UNIT AND APPLY LUBRICATING SOAP (PROVIDED IN SHIPMENT).
5. INSTALL BYPASS CHAMBER OF INLET STORMCEPTOR WITH FACTORY INSTALLED INSERT. LIFT BYPASS SECTION, LUBRICATE BELL, AND INSTALL WHILE CHECKING ALIGNMENT AND GRADE OF OUTLET DRAINAGE PIPE. CHECK AND MAKE SURE BYPASS CHAMBER IS SET FLUSH, LEVEL, AND IS AT THE PROPER ELEVATION. INSTALL RUBBER GASKET ON TOP OF BYPASS RISER AND LUBRICATE.
6. INSTALL INLET AND OUTLET STORM DRAIN PIPES. CONNECT PIPE WITH FLEXIBLE BOOTS (WHEN PROVIDED) AND WITH NON-SHRINKING GROUT WHEN FLEXIBLE BOOTS ARE NOT PROVIDED. THE INVERT OF THE OUTLET PIPE IS TO MATCH THE INVERT OF THE STORMCEPTOR INSERT. FLEXIBLE BOOT INSTALLATION PROCEDURES: CENTER THE PIPE IN THE BOOT OPENING. LUBRICATE THE OUTSIDE OF THE PIPE AND/OR THE INSIDE OF THE BOOT POSITIONING THE PIPE CLAMP IN THE GROVE OF THE BOOT WITH THE SCREW AT THE TOP. TIGHTEN THE PIPE CLAMP WHILE ENSURING EVEN CONTRACTION OF THE RUBBER.
7. INSTALL INLET DOWN PIPE WITH HANDLE AND 4" VENT PIPE ACCORDING TO INSTALLATION INSTRUCTIONS FOR INLET STORMCEPTOR MODEL STC-4501.
8. INSTALL RISER SECTION. ALIGN STEPS ABOVE INLET (12") DOWN PIPE. NOTE, FOR SHALLOW INSTALLATIONS THIS SECTION MAY NOT BE REQUIRED.
9. INSTALL FLATTOP WITH OPENING FOR STORMCEPTOR FRAME AND GRATE ORIENTED ABOVE THE STORMCEPTOR 12" INLET DOWN PIPE.
10. BACKFILL STORMCEPTOR WITH APPROVED BACKFILL MATERIAL (NO ORGANIC OR TOPSOIL IS TO BE USED FOR BACKFILL). BACKFILL AND COMPACT IN 8" LIFTS. BACKFILL SHOULD BE COMPACTED TO LOCAL/STATE REQUIREMENTS.
11. INSTALL AND SET GRADE ADJUSTING RINGS, AS NEEDED.
12. INSTALL AND SET FRAME AND GRATE.
13. THE STORMCEPTOR SHOULD BE PUMPED OUT WHEN SEDIMENT CONTROL MEASURES ARE REMOVED (SITE PERMANENTLY STABILIZED).
14. FINAL INSPECTION.

FOR TECHNICAL INFORMATION CALL CSR HYDRO CONDUIT AT (301) 698-7373 OR STORMCEPTOR CORPORATION AT 1-800-762-4709

OPERATION AND MAINTENANCE SCHEDULE FOR STORMCEPTOR

1. THE STORMCEPTOR WILL REQUIRE PERIODIC INSPECTION AND CLEANING TO MAINTAIN OPERATION AND EFFECTIVENESS. OWNERS WILL INSPECT THE UNIT YEARLY OR AS REQUIRED BY THE MUNICIPALITY, UTILIZING THE STORMCEPTOR INSPECTION/MONITORING FORM. INSPECTIONS CAN BE DONE BY USING A CLEAR FLEXIGLAS TUBE ("SLUDGE JUDGE") TO EXTRACT A WATER COLUMN SAMPLE. WHEN SEDIMENT DEPTHS EXCEED EIGHT (8) INCHES, CLEANING OF THE UNIT IS REQUIRED.
2. INLET AND OUTLET PIPES MUST BE CHECKED FOR ANY OBSTRUCTIONS AND IF ANY OBSTRUCTIONS ARE FOUND, THEY MUST BE REMOVED.
3. THE STORMCEPTOR MUST BE CHECKED AND CLEANED IMMEDIATELY AFTER PETROLEUM SPILLS. CONTACT APPROPRIATE REGULATORY AGENCIES.
4. MAINTENANCE OF THE STORMCEPTOR UNITS SHOULD BE PERFORMED BY A VACUUM TRUCK WHICH WILL REMOVE THE WATER, SEDIMENT, DEBRIS, FLOATING HYDROCARBONS, AND OTHER MATERIALS IN UNIT. THE PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID MUST BE FOLLOWED.
5. OWNER SHALL RETAIN AND MAKE THE STORMCEPTOR INSPECTION/MONITORING FORMS AVAILABLE TO MUNICIPALITY OFFICIALS UPON REQUEST.

Precast Concrete Order Request Form

CONTRACTOR INFORMATION

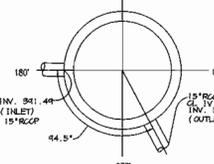
Name _____
Address _____
City _____
State _____
Zip Code _____
Contact _____
Phone _____
Fax _____

OWNER INFORMATION

Name **CASC LIMITED PARTNERSHIP**
Phone **(410) 752-0945**
Fax **(410) 880-0955**

IMPERVIOUS DRAINAGE AREA FOR THIS UNIT

Stormceptor Model	Insert Size	Inlet Number	No-1
4500	SINGLE INLET DISC	Inlet Elevation (ft)	345.6
900	MULTIPLE INLET DISC	Inlet Pipe Invert (ft)	341.48
1200		Outlet Pipe Invert (ft)	341.34
1800		Pipe Type RCP (INLET & OUTLET)	
2400		Inlet Pipe Inside Diameter (ID)	15"
		Inlet Pipe Outside Diameter (OD)	14.5"
		Outlet Pipe Inside Diameter (ID)	15"
		Outlet Pipe Outside Diameter (OD)	14.5"



Hydro Conduit
STC 600 Precast Concrete Stormceptor (600 US Gallon Capacity)

DR. BY: N. BALDWIN
CK. BY: _____
DATE: SEPT. 19, 2000
SCALE: N.T.S.
DWG#:

SECTION THRU CHAMBER

NOTE:
1. THE USE OF FLEXIBLE CONNECTIONS IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
2. THE COVER SHOULD BE POSITIONED OVER THE 24" OUTLET RISER PIPE AND THE 6" OIL PORT.
3. THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: #4985148, #5498331, #5725760, #5753115, #5849181.

REV.	DESCRIPTION	BY	DATE

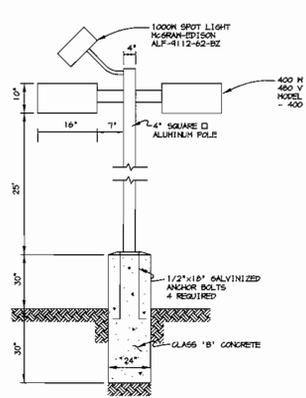
Project Name **E-7 STORAGE, COLUMBIA**
Approximate time frame of delivery (weeks) _____
Delivery Address: Street **4265 BEECHER ROAD**
City: **COLUMBIA** State: **MARYLAND** Zip Code: _____
Designer Company **RIEMER MUEGGE, A DIVISION OF PATTON, HARRIS, RUST & ASSOCIATES, PC**
Designer Contact **CHRIS REID, P.E.** Phone **(410) 941-8900** Fax **(410) 941-4262**

PLEASE FILL OUT COMPLETELY AND FAX TO: **CSR Hydro Conduit**
ATTN: JAMES TAYLOR FAX: (301) 698-5351, PHONE: (301) 698-7373
FOR TECHNICAL ASSISTANCE PLEASE CALL JAMES TAYLOR, PHONE (301) 698-7373 EXT 228

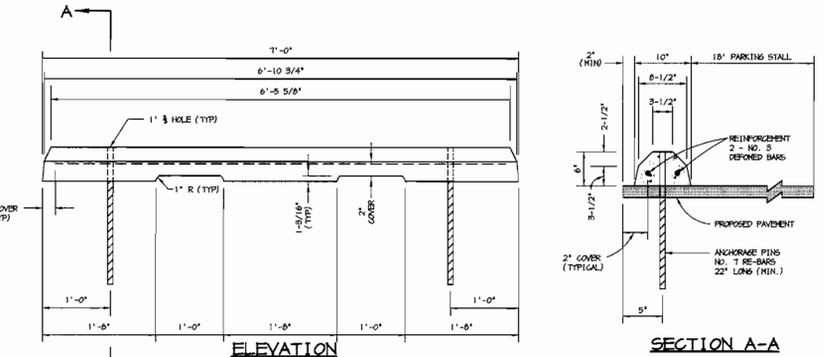
WATER QUALITY STRUCTURE NOTES

- MAINTENANCE NOTES**
1. Water Quality Structures will require periodic cleaning. Owners of these facilities will have to clean them as needed or as frequently that the County determines is appropriate. Owners of water quality structures will be notified by the County of the frequency of maintenance.
 2. Maintenance of these facilities will consist of cleaning out the separator and disposal of the muck and the repair of the facility as needed.
 3. The disposal of the liquid and solid matter should be as follows:
 - a. All liquid material in the separator inlet shall be pumped into a waterline tank truck and disposed of at an approved sanitary district discharge facility or be taken to an approved sewerage treatment plant for discharge.
 - b. The solid material shall be landfilled in an approved sanitary landfill.
 4. The inlet pipes, frame racks, grates and structural parts shall be repaired as needed.
- CONSTRUCTION NOTES**
1. Silt and debris shall not be allowed to enter the structures until contributing drainage areas have been permanently stabilized.
 2. All openings to structures shall be protected with the appropriate sediment control measures during construction.

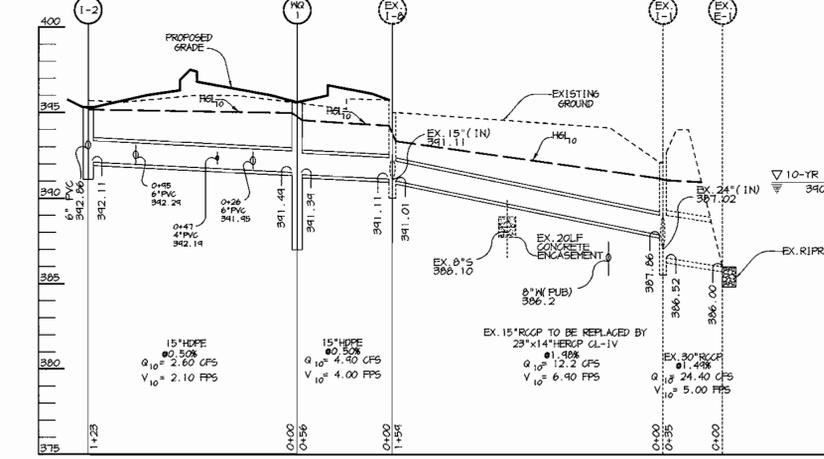
1. ALL LIGHT FIXTURES TO BE SINGLE LUMINAIRE 400 MATT METAL HALIDIDE TYPE WITH METAL PILES AND DIRECTED DOWNWARD
2. LOCATIONS OF LIGHT FIXTURES ARE ON THE PLAN AND ARE SHOWN THERE.
3. POLE AND FIXTURE TO HAVE BLACK POLYESTER ENAMEL FINISH.
4. POLE TO BE LOCATED 3' BACK FROM BACK OF CURB.



LIGHT POLE DETAIL
NO SCALE



ELEVATION and **SECTION A-A**

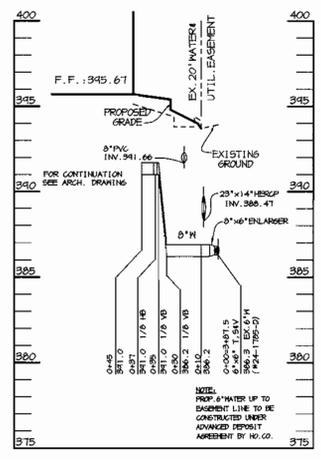


PROFILE
SCALE: HOR. - 1"=50' VERT. - 1"=5'

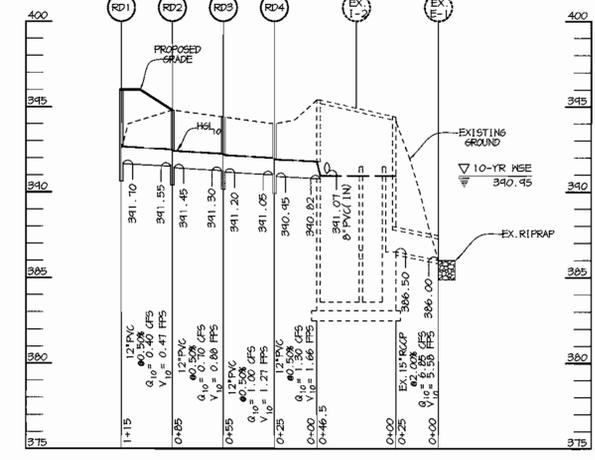
STRUCTURE SCHEDULE

STRUCTURE	TYPE	LOCATION	INV. IN	INV. OUT	TOP	REMARKS
NO-1	STORMCEPTOR	* N 484072.88 E 841737.98	341.44 (15')	341.34 (15')	345.6	SEE DETAILS THIS SHEET
I-2	DOUBLE	* N 484061.98 E 8417251.93	-	342.62 (12')	345.3	HOGO STD. DETAIL SD 4.23

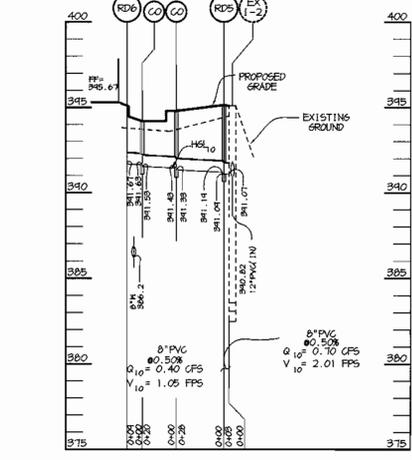
NOTES:
* LOCATION OF "S" & NO FACILITY INLETS AND MANHOLES IS AT CENTER OF TOP COVER.
FOR END SECTIONS AND HEADWALLS THE LOCATION IS CENTER OF THROAT OPENING AT FACE OF STRUCTURE. TOP ELEVATION IS TOP OF GRATE/RIM.



PROFILE
SCALE: HOR. - 1"=50' VERT. - 1"=5'



PROFILE
SCALE: HOR. - 1"=50' VERT. - 1"=5'



PROFILE
SCALE: HOR. - 1"=50' VERT. - 1"=5'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DIRECTOR: _____ DATE: 4/6/01

CHIEF, DEVELOPMENT ENGINEERING DIVISION: MK DATE: 10/4/01

CHIEF, DIVISION OF LAND DEVELOPMENT: _____ DATE: 6/5/01

DATE NO. REVISION

DEVELOPER/OWNER:
CASC LIMITED PARTNERSHIP
c/o SIENA CORPORATION
12011 GUILDFORD ROAD, SUITE 101
ANNAPOLIS JUNCTION, MARYLAND 20701
410-742-8345

PROJECT: **ezStorage, Columbia**
CONNELL PROPERTY, PARCEL A-2

AREA: TAX MAP 42 ZONED M-1
PARCEL A-2, PLAT NO. 14757
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE: **PROFILES AND DETAILS**

RIEMER MUEGGE
a division of:
Patton Harris Rust & Associates, pc
ENGINEERS • SURVEYORS • PLANNERS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SPECIALISTS
8818 Centre Park Drive, Columbia, MD 21046 • tel 410.967.8900 fax 410.967.9282

DESIGNED BY: C.J.R.
DRAWN BY: K.E.V.
CHECKED BY: C.J.R.
PROJECT NO: 00284/SDPS.DWG
DATE: MAY 3, 2001
SCALE: AS SHOWN
DRAWING NO. 5 OF 8

ARTHUR E. MUEGGE #8707

STANDARD SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1085).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERE TO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3:1; B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THE PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING, SOD, TEMPORARY SEEDINGS, AND MULCHING (SEC. 6.). TEMPORARY STABILIZATION WITH MULCH ALONE SHALL ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHED OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:

TOTAL AREA OF PARCEL A-2	1.63 ACRES
AREA DISTURBED	1.20 ACRES
AREA TO BE REEDED OR PAVED	1.08 ACRES
AREA TO BE VEGETATIVELY STABILIZED	0.17 ACRES
TOTAL CUT	100 CU. YARDS
TOTAL FILL	2600 CU. YARDS

 OFFSITE WASTE AREA LOCATION TO HAVE ACTIVE GRADING PERMIT
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.
- SITE GRADING WILL BEGIN ONLY AFTER ALL PERIMETER SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED AND ARE IN A FUNCTIONING CONDITION.
- SEDIMENT WILL BE REMOVED FROM TRAPS WHEN ITS DEPTH REACHES CLEAN OUT ELEVATION SHOWN ON THE PLANS.
- CUT AND FILL QUANTITIES PROVIDED UNDER SITE ANALYSIS DO NOT REPRESENT BID QUANTITIES. THESE QUANTITIES DO NOT DISTINGUISH BETWEEN TOPSOIL, STRUCTURAL FILL OR EMBANKMENT MATERIAL, NOR DO THEY REFLECT CONSIDERATION OF UNDERCUTTING OR REMOVAL OF UNSUITABLE MATERIAL. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE CONDITIONS WHICH MAY AFFECT THE WORK.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redistributed where a short-term vegetative cover is needed.

Seeded Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

Soil Amendments: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq. ft.).

Seeding: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2-1/2 bushels per acre of annual rye (3.2 lbs. per 1000 sq. ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (0.07 lbs. per 1000 sq. ft.). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs. per 1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 21g gal. per acre (5 gal. per 1000 sq. ft.) of emulsified asphalt on flat areas. On slopes, 5 ft. or higher, use 347 gal. per acre (8 gal. per 1000 sq. ft.) for anchoring.

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seeded Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:

- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs. per 1000 sq. ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq. ft.) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (4 lbs. per 1000 sq. ft.).
- Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs. per 1000 sq. ft.) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs. per 1000 sq. ft.) before seeding. Harrow or disc into upper three inches of soil.

Seeding: For the period March 1 thru April 30 and from August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs. per 1000 sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (0.05 lbs. per 1000 sq. ft.) of weeping lovegrass. During the period October 16 thru February 28, protect site by one of the following options:

- 2 tons per acre of well-anchored mulch straw and seed as soon as possible in the spring.
- Use sod.
- Seed with 60 lbs. per acre Kentucky 31 Tall Fescue and mulch with 2 tons per acre well anchored straw.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs. per 1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 21g gal. per acre (5 gal. per 1000 sq. ft.) of emulsified asphalt on flat areas. On slopes, 5 ft. or higher, use 347 gal. per acre (8 gal. per 1000 sq. ft.) for anchoring.

Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseeding.

21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

Definition: Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose: To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies:

- This practice is limited to areas having 2:1 or flatter slopes where:
 - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - The soil material is so shallow that the rooting zone is not deep enough to support plants or further contain supplies of moisture and plant nutrients.
 - The original soil to be vegetated contains material toxic to plant growth.
 - The soil is so acidic that treatment with limestone is not feasible.
- For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

- Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SGS in cooperation with Maryland Agricultural Experimentation Station.
- Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of clinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2" in diameter.
 - Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as specified.
 - Where subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
- For sites having disturbed areas under 5 acres:
 - Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.
- For sites having disturbed areas over 5 acres:
 - On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
 - pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
 - Organic content of topsoil shall be not less than 1.5 percent by weight.
 - Topsoil having soluble salt content greater than 500 parts per million shall not be used.
 - No seed or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.

Note: Topsoil substitutes to amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority may be used in lieu of natural topsoil.

- Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.

V. Topsoil Application

- When topsoiling, maintain needed erosion and sediment control practices such as diversions, grade stabilization structures, earth dikes, slope silt fence and sediment traps and basins.
- Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.
- Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
- Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

VI. Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:

- Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for site having disturbed areas under 5 acres shall conform to the following requirements:
 - Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.
 - Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
 - Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.
 - Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate.

References: Guideline Specifications, Soil Preparation and Sodding, MD-VIA, Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institutes. Revised 1978.

SEQUENCE OF CONSTRUCTION

- OBTAIN DEMOLITION AND GRADING PERMITS.
- INSTALL SUE SILT FENCE, SUPER SILT FENCE, AND INLET PROTECTION AS SHOWN ON THIS PLAN. (1 DAY)
- REMOVE EXISTING BUILDINGS, PAVINGS AND CURB AS NECESSARY (2 WEEKS).
- BEGIN NEW BUILDINGS CONSTRUCTION.
- AS SUBGRADE ELEVATIONS ARE REACHED REMOVE EX. 15" PIPE FROM EX. 1-1 TO EX. 1-8 AND REPLACE WITH 25"x14" HERCIP. INSTALL STORM DRAIN FROM EX. 1-8 TO 1-2. INSTALL WATER AND SEWER CONNECTIONS (2 WEEKS).
- INSTALL CURB AND GUTTER, THEN PAVE (1 WEEK).
- INSTALL FENCINGS, SIDEWALK AND LANDSCAPING (5 DAYS).
- STABILIZED ALL DISTURBED AREAS IN ACCORDANCE WITH THE PERMANENT SEEDING NOTES (1 DAY).
- COMPLETE BUILDING CONSTRUCTION (3 MONTHS).
- UPON APPROVAL OF HO. CO. DILP SEDIMENT CONTROL INSPECTOR REMOVE REMAINING SEDIMENT CONTROL DEVICES AND STABILIZE ALL DISTURBED AREAS IN ACCORDANCE WITH THE PERMANENT SEEDING NOTES.

BY THE DEVELOPER :

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Arthur E. Muegge 5-7-01
DEVELOPER DATE

BY THE ENGINEER :

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Arthur E. Muegge 5-7-01
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Jim Rogers/ea 5/29/01
NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John P. Auletta/ea 5/29/01
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Paul H. Hunt 6/6/01
DIRECTOR DATE

William Dammann 6/14/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Cindy Hanania 6/5/01
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE NO. REVISION

DEVELOPER/OWNER:
CASC LIMITED PARTNERSHIP
C/O SIENA CORPORATION
12011 GULLFORD ROAD, SUITE 101
ANNAPOLIS JUNCTION, MARYLAND 20701
410-742-8345

PROJECT
ezStorage, Columbia
CONNELL PROPERTY, PARCEL A-2

AREA TAX MAP 42 ZONED M-1
PARCEL A-2, FLAT NO. 14757
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE
SEDIMENT CONTROL NOTES & DETAILS

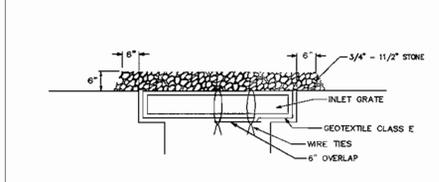
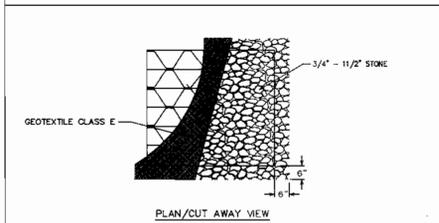
RIEMER MUEGGE
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8818 Centre Park Drive, Columbia, MD 21045 • 381-410-9780/800-414-1097-9282

DESIGNED BY : C.J.R.
DRAWN BY : K.E.V.

CHECKED BY : C.J.R.
PROJECT NO : 00284/
SDP6.DWG
DATE : MAY 3, 2001
SCALE : AS SHOWN
DRAWING NO. 6 OF 8

ARTHUR E. MUEGGE #8707

DETAIL 23B - AT GRADE INLET PROTECTION

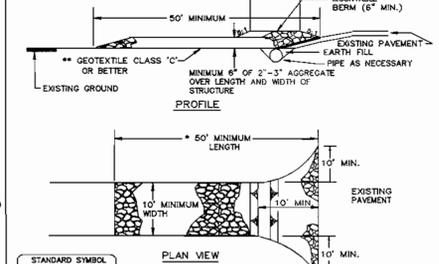


Construction Specifications

- Lift grate and wrap with Geotextile Class E to completely cover all openings, then set grate back in place.
- Place 3/4" x 1 1/2" stone, 4"-6" thick on the grate to secure the fabric and provide additional filtration.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 16-3A MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE

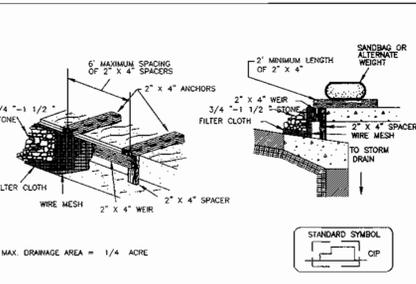


Construction Specifications

- Length - minimum of 50' (30' for single residence lot).
- Width - 10' minimum, should be flared at the existing road to provide a turning radius.
- Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. *The plan approval authority may not require single family residences to use geotextile.
- Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
- Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
- Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 17-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 23C - CURB INLET PROTECTION

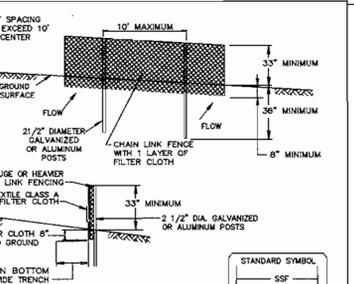


Construction Specifications

- Attach a continuous piece of wire mesh (30" minimum width by throat length plus 2") to the 2" x 4" wire (measuring throat length plus 2") as shown on the standard drawing.
- Place a continuous piece of Geotextile Class E the same dimensions as the wire mesh over the wire mesh and securely attach it to the 2" x 4" wire.
- Securely nail the 2" x 4" wire to a 9" long vertical spacer to be located between the wire and the inlet face (max. 4" apart).
- Place the assembly against the inlet throat and nail (minimum 2" lengths of 2" x 4" to the top of the weir at spacer locations). These 2" x 4" anchors shall extend across the inlet top and be held in place by sandbags or alternate weight.
- The assembly shall be placed so that the end spacers are a minimum 1" beyond both ends of the throat opening.
- Form the 1/2" x 1/2" wire mesh and the geotextile fabric to the concrete gutter and against the face of the curb on both sides of the inlet. Place clean 3/4" x 1 1/2" stone over the wire mesh and geotextile in such a manner to prevent water from entering the inlet under or around the geotextile.
- This type of protection must be inspected frequently and the filter cloth and stone replaced when clogged with sediment.
- Ensure that storm flow does not bypass the inlet by installing a temporary earth or asphalt dike to direct the flow to the inlet.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 16-5B MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 33 - SUPER SILT FENCE

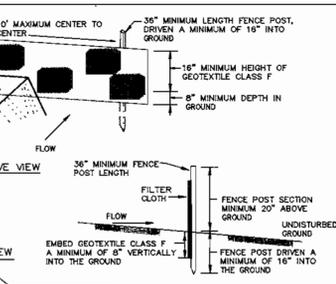


Construction Specifications

- Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway (SHA) Details for Chain Link Fencing. The SHA specifications for a 6 foot fence shall be used, substituting 42" fabric and 6 foot length posts.
- The posts do not need to be set in concrete.
- Chain link fence shall be fastened securely to the fence posts with wire ties or staples. The lower tension wire, breeze and brass rods, drive anchors and wire caps are not required except on the ends of the fence. The chain link fencing shall be 6(6) gauge or heavier.
- Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
- Filter cloth shall be embedded a minimum of 8" into the ground.
- When two sections of geotextile fabric adjoin each other, they shall be overlapped by 6" and folded.
- Maintenance shall be performed as needed and all bulldoze removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 16-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 22 - SILT FENCE

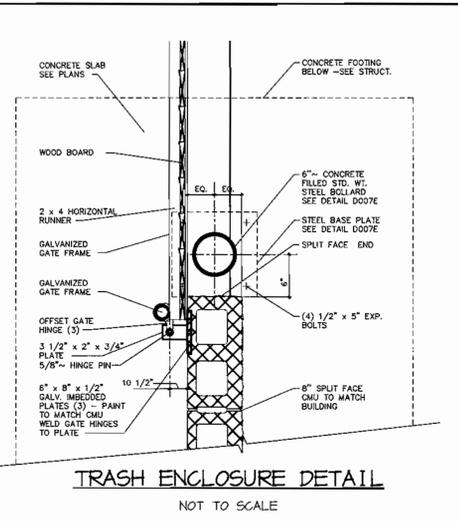
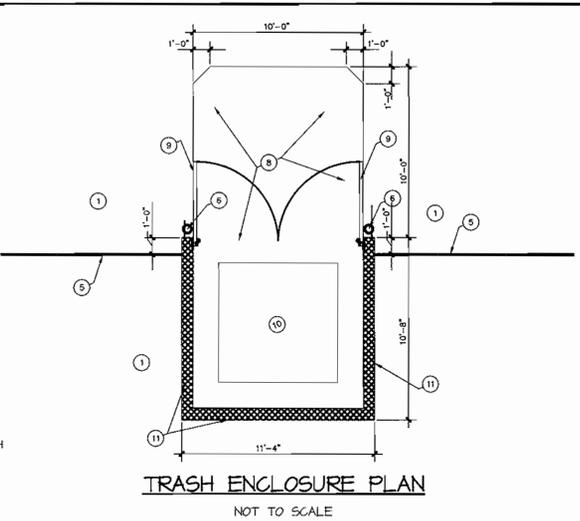
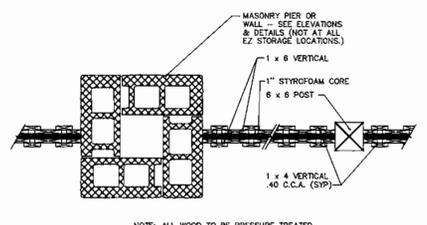
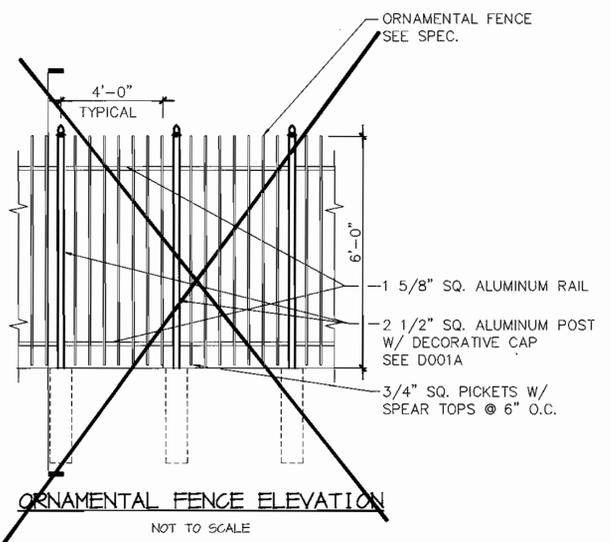
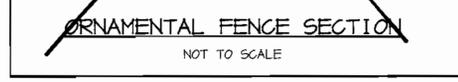
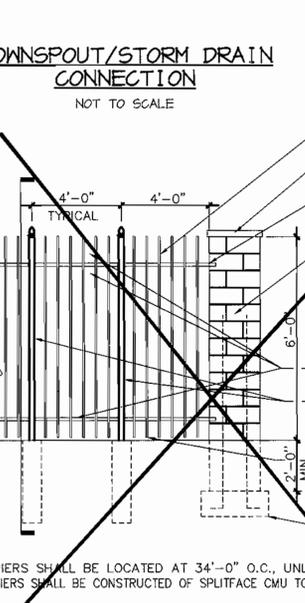
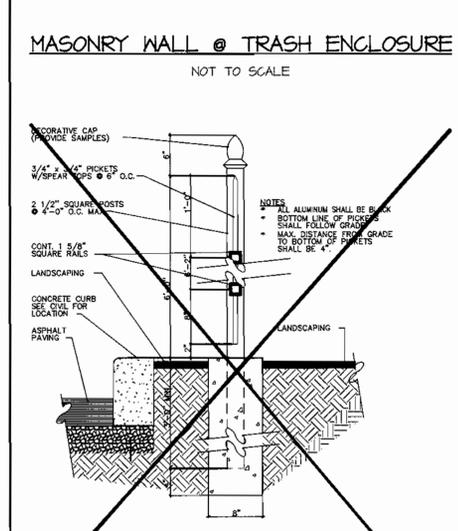
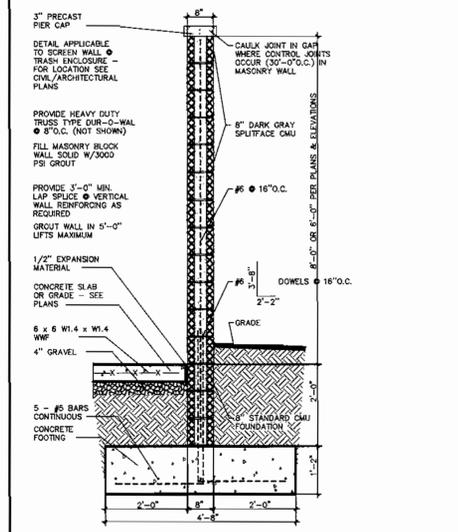
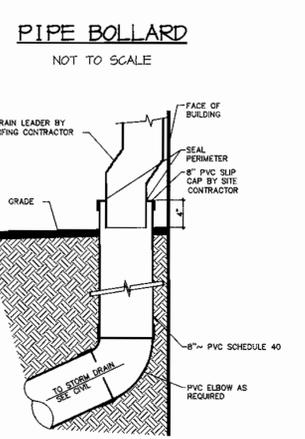
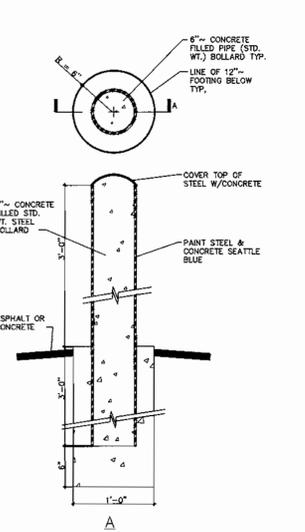
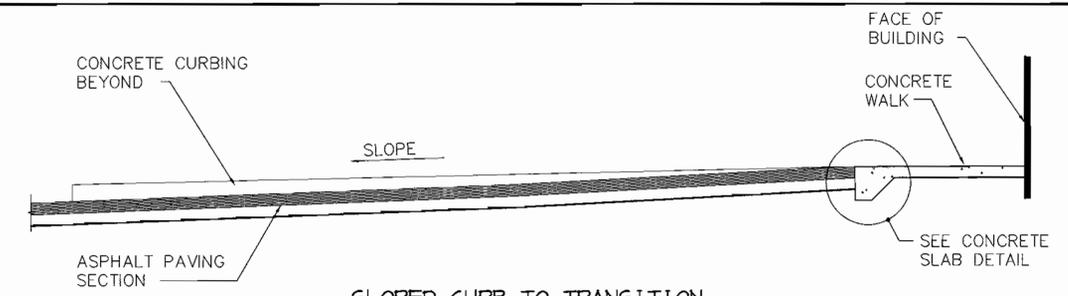
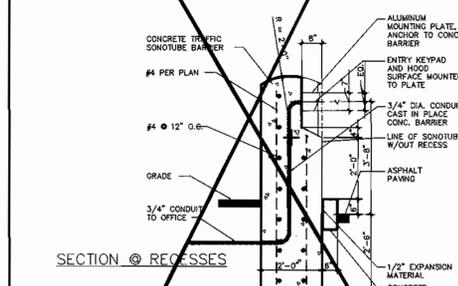
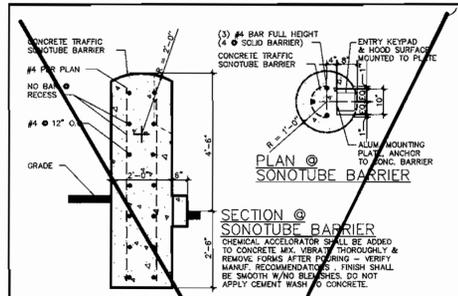


Construction Specifications

- Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighting not less than 1.00 pound per linear foot.
- Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:

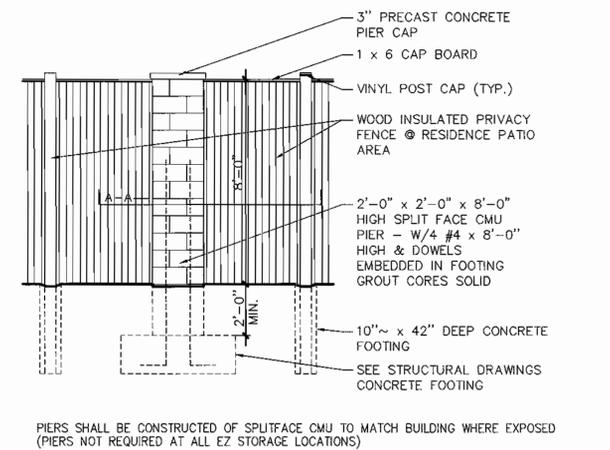
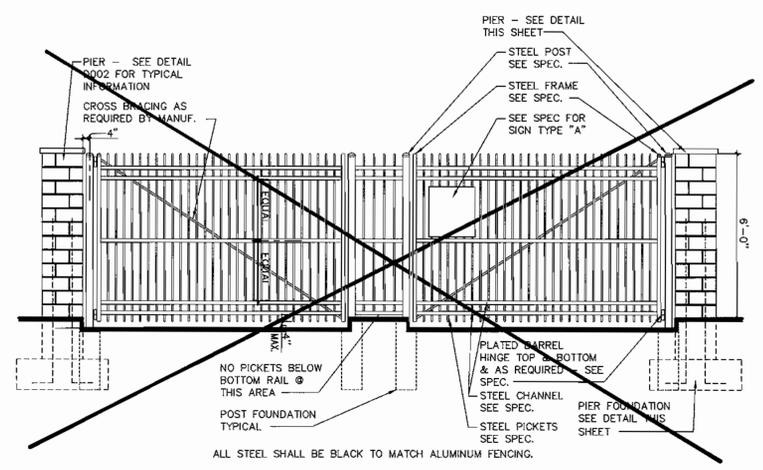
Tensile Strength	50 lbs/ft. (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in. (min.)	Test: MSMT 509
Flow Rate	0.3 gal ft ² /minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322
- Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
- Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 15-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



TRASH ENCLOSURE PLAN NOTES

- ① LANDSCAPE AREA
- ② CONCRETE CURB. SEE DETAIL FOR PAN TYPE WHERE APPLICABLE
- ③ 6" DIAM. CONCRETE FILLED STD. WT. STEEL BOLLARD 36" HIGH. SEE DETAIL FOR TYPICAL BOLLARD CONSTRUCTION (TYP) ON THIS SHEET.
- ④ 6" THICK CONCRETE SLAB W/ 6x6 W/ 4x1.4. SEE DETAIL THIS SHEET.
- ⑤ 8'-0" HIGH WOOD GATE-PROVIDE SHOP DRAWINGS.
- ⑥ TRASH DUMPSTER (N.I.C.)
- ⑦ 8" SPLITFACE CMU-SEE TRASH ENCLOSURE DETAIL THIS SHEET.



APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.	
<i>Leah Roth</i> DIRECTOR	6/6/01 DATE
<i>William Muegge</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	6/4/01 DATE
<i>Cindy Hamada</i> CHIEF, DIVISION OF LAND DEVELOPMENT	6/5/01 DATE

DATE	NO.	REVISION

DEVELOPER/OWNER:
 CASG LIMITED PARTNERSHIP
 c/o SIENA CORPORATION
 12011 GUILFORD ROAD, SUITE 101
 ANNAPOLIS JUNCTION, MARYLAND 20701
 410-742-8935

PROJECT	ezStorage, Columbia CONNELL PROPERTY, PARCEL A-2
AREA	TAX MAP 42 ZONED M-1 PARCEL A-2, PLAT NO. 14757 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TITLE	DETAILS

RIEMER MUEGGE
 a division of
Patton Harris Rust & Associates, pc
 ENGINEERS • SURVEYORS • PLANNERS
 LANDSCAPE ARCHITECTS • ENVIRONMENTAL SPECIALISTS
 8818 Centre Park Drive, Columbia, MD 21045 • tel 410.997.8900 fax 410.997.9282

DESIGNED BY : C.J.R.
 DRAWN BY : K.E.V.
 CHECKED BY : C.J.R.
 PROJECT NO : 00284/
 SDP7.0WG
 DATE : MAY 3, 2001
 SCALE : AS SHOWN
 DRAWING NO. 7 OF 8

DATE
 STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 ARTHUR E. MUEGGE #8707

PERIMETER	ADJACENT TO PERIMETER PROPERTIES			ADJACENT TO ROADWAYS		
	1	2*	6	3	4	5
LANDSCAPE TYPE	A	-	C	E	A	E
LINEAR FEET OF ROADWAY FRONTAGE/ PERIMETER	±150'	-	±91'	±47'	±52'	±115'
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	NO
CREDIT FOR WALL, FENCE, BERM OR DRIVE AISLE (YES/NO/LINEAR FEET)	NO	-	NO	±37' DRIVE	NO	NO
LINEAR FEET REMAINING	±150'	-	±91'	±10'	±52'	±115'
NUMBER OF PLANTS REQUIRED						
SHADE TREES	3	-	1	1	1	3
EVERGREEN TREES	-	-	1	-	-	24
SHRUBS	-	-	-	-	-	-
CREDIT TAKEN FOR EXISTING PLANTS						
SHADE TREES	-	-	-	1**	-	1**
EVERGREEN TREES	-	-	-	-	-	24**
SHRUBS	-	-	-	-	-	-
NUMBER OF PLANTS PROVIDED						
SHADE TREES	2**	-	0**	0**	-	1**
EVERGREEN TREES	2**	-	3**	2	10	15
SHRUBS	-	-	10**	-	-	-

SCHEDULE A NOTES:

* REGULATIONS DO NOT REQUIRE LANDSCAPE EDGES, BUFFERING, OR SCREENING BETWEEN INTERNAL LOTS OR PARCELS WITHIN THE SAME DEVELOPMENT. (PAGE 17 OF THE HO. CO. LANDSCAPE MANUAL)

** SUBSTITUTION NOTES & RELOCATION NOTES:

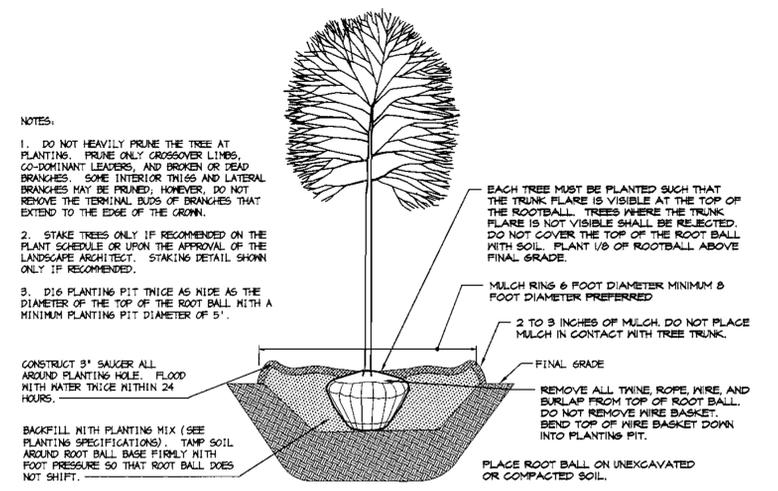
PERIMETER 1:
 (1) SHADE TREE RELOCATED TO PERIMETER 2
 (2) SHADE TREE RELOCATED TO PERIMETER 5
 (3) FLOWERING TREES SUBSTITUTED FOR (1) REQUIRED SHADE TREE.
 (4) FLOWERING TREES RELOCATED TO PERIMETER 5.
 (5) FLOWERING TREES RELOCATED TO PARKING LOT.
 CREDIT TAKEN FOR (1) EXISTING SHADE TREE FOR (1) REQUIRED SHADE TREE.

PERIMETER 2:
 (1) SHRUBS SUBSTITUTED FOR (1) REQUIRED SHADE TREE AND RELOCATED TO PERIMETER 5.

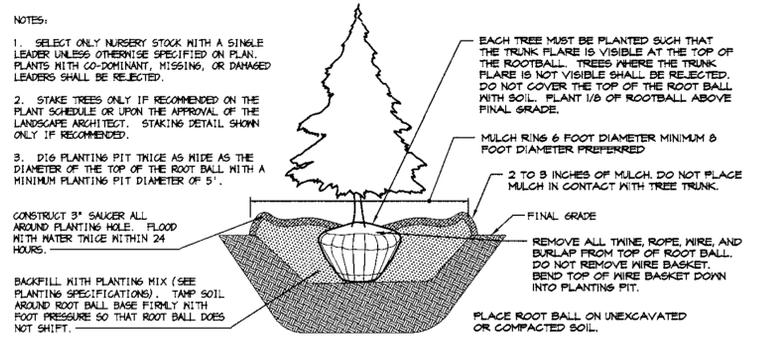
PERIMETER 4:
 (1) SHRUBS SUBSTITUTED FOR (1) REQUIRED SHADE TREE AND RELOCATED TO PERIMETER 5.

PERIMETER 5:
 CREDIT TAKEN FOR (1) EXISTING SHADE TREE FOR (1) REQUIRED SHADE TREE.
 CREDIT TAKEN FOR (24) EXISTING SHRUBS FOR (24) REQUIRED SHRUBS.
 (10) SHRUBS WERE SUBSTITUTED FOR (1) REQUIRED SHADE TREE AND RELOCATED TO PERIMETER 2.

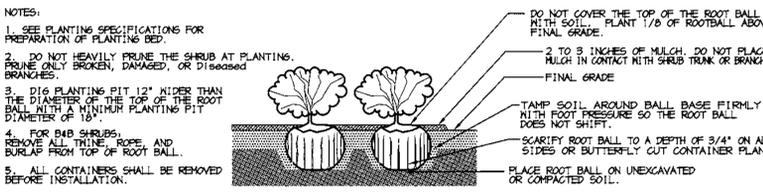
PERIMETER 6:
 (2) FLOWERING TREES WERE SUBSTITUTED FOR (1) REQUIRED SHADE TREE.
 (10) SHRUBS WERE SUBSTITUTED FOR (1) REQUIRED SHADE TREE AND RELOCATED TO THE PARKING LOT ISLAND.



DECIDUOUS B&B TREE PLANTING DETAIL
 NOT TO SCALE

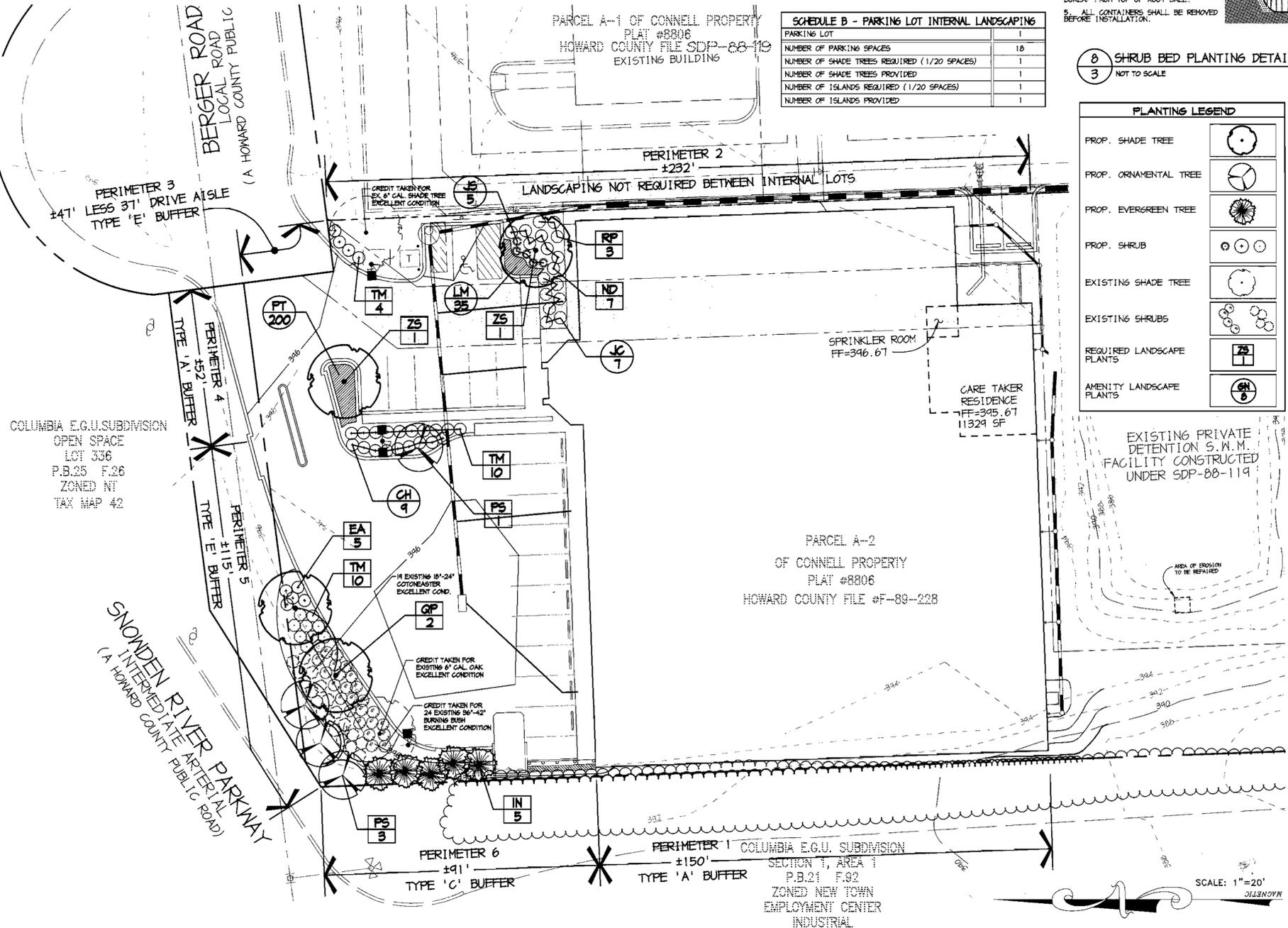


EVERGREEN B&B TREE PLANTING DETAIL
 NOT TO SCALE



SHRUB BED PLANTING DETAIL - B&B AND CONTAINER SHRUBS
 NOT TO SCALE

SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING	
PARKING LOT	1
NUMBER OF PARKING SPACES	18
NUMBER OF SHADE TREES REQUIRED (1/20 SPACES)	1
NUMBER OF SHADE TREES PROVIDED	1
NUMBER OF ISLANDS REQUIRED (1/20 SPACES)	1
NUMBER OF ISLANDS PROVIDED	1



PLANTING LEGEND	
PROP. SHADE TREE	(Symbol)
PROP. ORNAMENTAL TREE	(Symbol)
PROP. EVERGREEN TREE	(Symbol)
PROP. SHRUB	(Symbol)
EXISTING SHADE TREE	(Symbol)
EXISTING SHRUBS	(Symbol)
REQUIRED LANDSCAPE PLANTS	(Symbol)
AMENITY LANDSCAPE PLANTS	(Symbol)

PLANTING SPECIFICATIONS

- Plants, related material, and operations shall meet the detailed description, as given on the plans and as described herein. Where discrepancies exist between Standards & Guidelines referenced within these specifications and the Howard County Landscape Manual, the latter takes precedence.
- All plant material, unless otherwise specified, that is not nursery grown, uniformly branched, does not have a vigorous root system, and does not conform to the most recent edition of the American Association of Nurserymen (AAN) Standards will be rejected. Plant material that is not healthy, vigorous, free from defects, decay, disfiguring roots, sunscald injuries, abrasions of the bark, plant disease, insect pest eggs, larvae and all forms of insect infestations or objectionable disfigurements will be rejected. Plant material that is weak or which has been cut back from larger grades to meet specified requirements will be rejected. Trees with forked leaders shall be rejected. All B & B plants shall be freshly dug; no healed-in plants or plants from cold storage will be accepted.
- Unless otherwise specified, all general conditions, planting operations, details and planting specifications shall conform to the most recent edition of the "Landscape Specification Guidelines" by the Landscape Contractors Association of MD, DC, & VA", (hereinafter "Landscape Guidelines") approved by the Landscape Contractors Association of Metropolitan Washington and the Potomac Chapter of the American Society of Landscape Architects.
- Contractor shall guarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section on the Landscape Guidelines. Contractor's attention is directed to the maintenance requirements found within the one year specifications including watering and replacement of specified plant material.
- Contractor shall be responsible for notifying all relevant and appropriate utility companies, utility contractors, and "Miss Utility" a minimum of 48 hours prior to the beginning of any work. Contractor may make minor adjustments in spacing and location of plant material to avoid conflicts with utilities. Major changes will require the approval of the landscape architect. Damage to existing structure and utilities shall be repaired at the expense of the contractor.
- Protection of existing vegetation to remain shall be accomplished via the temporary installation of 4 foot high snow fence at the drip line, see detail.
- Contractor is responsible for installing all material in the proper planting season for each plant type. All planting is to be completed during the growing season of completion of site construction. Do not plant Pinus strobus or Kugienskyia (Leylandii) between November 15 and March 15. Landscape plants are not to be installed before site is graded to final grade.
- Contractor to regrade, fine grade, sod, hydroseed and straw mulch all areas disturbed by their work.
- Bid shall be based on actual site conditions. No extra payment shall be made for work arising from actual site conditions differing from those indicated on drawings and specifications.
- Plant quantities are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on plan and those shown on the plant list, the quantities on the plan take precedence. Where discrepancies on the plan exist between the symbols and the callout leader, the number of symbols take precedence.
- All shrubs and groundcover areas shall be planted in continuous planting beds, prepared as specified, unless otherwise indicated on plans. (See Specification 12). Beds to be mulched with minimum 2" and maximum 3" of composted, double-shredded hardwood mulch throughout.
- Positive drainage shall be maintained on planting beds (minimum 2 percent slope).
- Bed preparation shall be as follows: Till into a minimum depth of 6" 1 yard of Compro or Leafgro per 200 SF of planting bed, and 1 yard of topsoil per 100 SF of bed. Add 3 lbs of standard 5-10-5 fertilizer per cubic yard of planting mix and till. Ericaceous plants (Azaleas, Rhododendrons, etc.); top dress after planting with iron sulfate or comparable product according to package directions. Taxus baccata 'Repandens' (English weeping yew); Top dress after planting with 1/4 to 1/2 cup lime each.
- Planting mix: For trees not in a prepared bed, mix 50% Compro or Leafgro with 50% soil from tree hole to use as backfill, see tree planting detail.
- Use 4" insect control: Incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. For tree planting, apply a pre-emergent on top of soil and root ball before mulching. Caution: For areas to be planted with a ground cover, be sure to carefully check the chemical used to ensure its adaptability to the specific groundcover to be treated. Maintain the mulch weed-free for the extent of the warranty period. Under no circumstances is a pesticide containing glyphosate to be used as a means of pest control.
- Water: All plant material planted shall be watered thoroughly the day of planting. All plant material not yet planted shall be properly protected from drought until planted. At a minimum, water unplanted plant material daily and as necessary to avoid desiccation.
- Pruning: Do not heavily prune trees and shrubs at planting. Prune only broken, dead, or diseased branches.
- All areas within contract limits disturbed during or prior to construction not designated to receive plants and mulch shall be fine graded, grass seed planted, and covered with straw mulch.

PLANT LIST - REQUIRED BY HOWARD COUNTY					
KEY	QTY	BOTANICAL + COMMON NAME	SIZE	ROOT	SPACING
MAJOR DECIDUOUS TREES					
GP	2	Quercus palustris Pin oak	2 1/2"-3" Cal.	B & B	Plant as shown
ZS	2	Zelkova serrata 'Green Vase' Green Vase zelkova	2 1/2"-3" Cal.	B & B	Plant as shown
EVERGREEN TREES					
IN	5	Ilex x Nellore R. Stevens Nellore R. Stevens holly	6'-8' Ht.	cont. or B & B	Plant as shown
MINOR DECIDUOUS TREES					
PS	4	Prunus serotina 'Kwanan' Kwanan cherry	2" Cal.	B & B	Plant as shown
SHRUBS					
EA	5	Evonymus alatus 'Compacta' Dwarf Burning bush	30"-36" Ht.	cont. or B & B	Plant 35' o.c.
ND	7	Nandina domestica Heavenly bamboo	24"-30" Ht.	Cont.	Plant as shown
RP	3	Rhododendron calabrianense 'Anah Kruschke' Anah Kruschke rhododendron	30"-36" Ht.	Cont.	Plant as shown
TM	24	Taxus x media 'Densiformis' Densiformis yew	3'-4' Ht.	cont. or B & B	Plant 4' o.c.

PLANT LIST - AMENITY LANDSCAPE PLANTS					
KEY	QTY	BOTANICAL + COMMON NAME	SIZE	ROOT	SPACING
CH	9	Coloneaster horizontalis Rockspray cotoneaster	3 gal.	Cont.	Plant as shown
JC	7	Juniperus chinensis 'Sargentii' Sargent juniper	3 gal.	Cont.	Plant 8' o.c. (Adjust to ex. conditions)
JS	5	Juniperus squamata Blue Star juniper	3 gal.	Cont.	Plant as shown
LM	35	Liriodendron 'Silvery Sunroof' Silvery Sunroof liriodendron	1 gal.	Cont.	18' o/c
PT	200	Pachysandra terminalis Japanese spurge	Flat	Cont.	8' o/c

NOTES:

1) THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.04 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.

2) FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$ 3,420.
 3 SHADE TREES @ \$100.00 = \$300.00
 4 ORN. TREES @ \$50.00 = \$200.00
 5 EVERGREENS @ \$50.00 = \$250.00
 24 SHRUBS @ \$30.00 = \$720.00
 TOTAL SURETY \$1470.00

3) THIS PLAN IS FOR LANDSCAPING PURPOSES ONLY.

4) CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS AND PROGRAMS.

5) AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS LISTED AND APPROVED FOR THIS SITE SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN PENAL OR DELAY IN THE RECEIPT OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.

DEVELOPER/BUILDER'S CERTIFICATE:
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN SECTION 16.04 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
 DIRECTOR: [Signature] DATE: 6/6/01
 CHIEF, DEVELOPMENT ENGINEERING DIVISION: [Signature] DATE: 6/4/01
 CHIEF, DIVISION OF LAND DEVELOPMENT: [Signature] DATE: 6/5/01

DATE NO. REVISION

DEVELOPER/OWNER:
 CASC LIMITED PARTNERSHIP
 c/o SIENA CORPORATION
 12011 GUILDFORD ROAD, SUITE 101
 ANNAPOLIS JUNCTION, MARYLAND 20701
 410-742-8945

PROJECT:
 ezStorage, Columbia
 CONNELL PROPERTY, PARCEL A-2

AREA:
 TAX MAP 42 ZONED M-1
 PARCEL A-2, PLAT NO. 14757
 6TH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

TITLE:
LANDSCAPE PLAN

RIEMER MUEGGE
 a division of:
 Patton Harris Rust & Associates, pc
 ENGINEERS • SURVEYORS • PLANNERS
 LANDSCAPE ARCHITECTS • ENVIRONMENTAL SPECIALISTS
 8818 Centre Park Drive, Columbia, MD 21045 • tel 410.997.8000 fax 410.997.8282

DESIGNED BY: D.M.D.
 DRAWN BY: G.T.H.
 CHECKED BY: D.T.D.
 PROJECT NO: 00284/
 LSCP.DWG
 DATE: MAY 3, 2001
 SCALE: 1" = 20'
 DRAWING NO. 8 OF 8