

FONT HILL LOTS 10, 11 AND 12

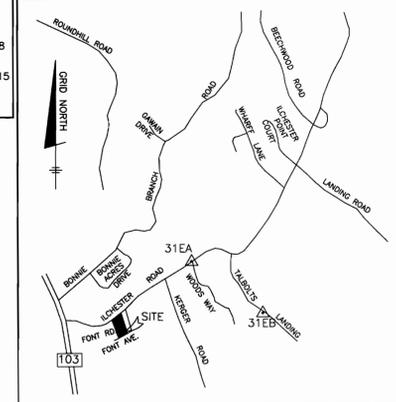
1st ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SITE DEVELOPMENT PLAN

BENCHMARKS NAD'83

HO. CO. STA. 31EA	EL. 469.628
N 569,641.149	E 1,374,816.064
HO. CO. STA. 31EB	EL. 453.415
N 568,731.012	E 1,376,273.622

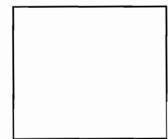
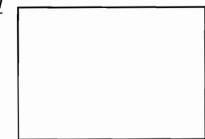
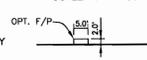
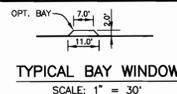
• SEE VICINITY MAP FOR LOCATIONS



VICINITY MAP
SCALE: 1" = 2000'

A HOUSE-TYPE REVISION (RESITE) IS REQUIRED WHEN THE FOLLOWING OCCURS:

1. A HOUSE TYPE IS ADDED OR DELETED.
2. A DRIVEWAY LOCATION IS CHANGED FROM A FRONT-LOADED TO A SIDE-LOADED GARAGE.
3. THE HOUSE IS "FLIPPED" SO THAT THE GARAGE AND DRIVEWAY ARE OPPOSITE TO THE APPROVED SDP.
4. A CHANGE IN THE ELEVATION OF HOUSE 1 (ONE) FOOT ±.
5. TO CHANGE THE GRADING FROM AN IN-GROUND BASEMENT TO A WALK-OUT BASEMENT.



"4" BOX
ALL HOUSES WITH ALL OPTIONS EXCEPT:
AUSTIN WESLEY WITH BOTH 3 CAR GARAGE AND WRAP AROUND PORCH

"6" BOX
ALL HOUSES WITH ALL OPTIONS EXCEPT:
ARMISTED II - IN LAW SUITE
AUSTIN WESLEY - 3 CAR GARAGE
SHERMAN - 3 CAR GARAGE

GENERIC BOXES

LEGEND

SOILS CLASSIFICATION

AbC1

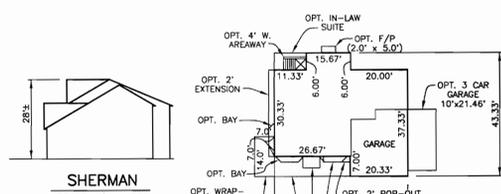
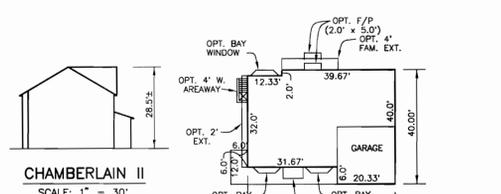
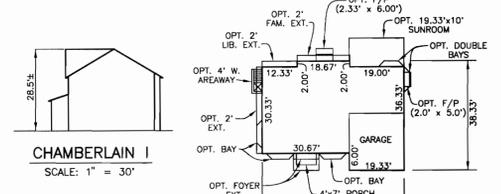
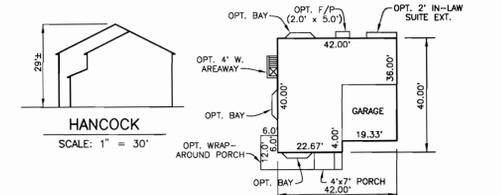
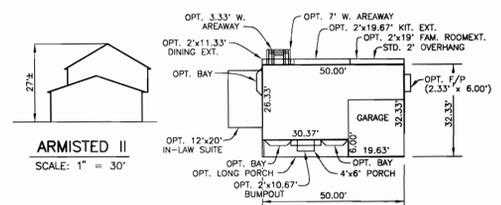
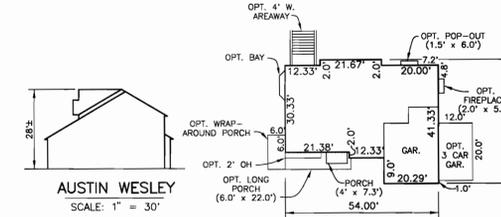
SOILS DELINEATION

EXISTING CONTOURS

PROPOSED CONTOURS

EXISTING STRUCTURE

PROPOSED STRUCTURE



SITE DATA TABULATION

- GENERAL SITE DATA**
- 1.) PRESENT ZONING: R-20
 - 2.) APPLICABLE DP2 FILE REFERENCES: F-99-12, F-99-13, F-99-54
 - 3.) PROPOSED USE OF SITE: SINGLE-FAMILY DETACHED
 - 4.) PROPOSED WATER IS PUBLIC
PROPOSED SEWER IS PUBLIC

AREA TABULATION

1.) TOTAL PROJECT AREA	1.28 AC±
2.) TOTAL NUMBER OF LOTS ALLOWED AS SHOWN ON FINAL PLAT	3
3.) TOTAL NUMBER OF RESIDENTIAL UNITS PROPOSED ON THIS SUBMISSION	3
4.) APPROXIMATE LIMIT OF DISTURBANCE	1.24 AC±
5.) AREA OF THIS PLAN SUBMISSION	1.28 AC±
6.) BUILDING COVERAGE OF SITE (PERMITTED)	N/A
7.) BUILDING COVERAGE OF SITE (PROPOSED)	N/A

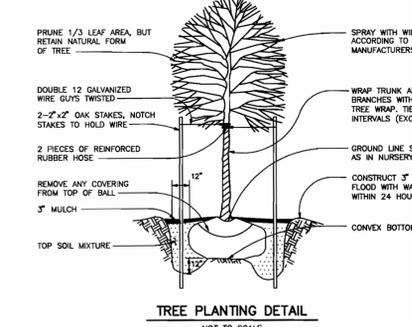
SCHEDULE A PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO ROADWAY	ADJACENT TO PERIMETER PROPERTIES	YES	NO	YES	NO
PERIMETER NO. / LANDSCAPE TYPE (FRONTAGE/PERIMETER)			1) N/A	2) A	3) N/A	4) B
CREDIT FOR EXISTING VEGETATION: NO OR YES (✓/LINEAR FEET) (DESCRIBE BELOW IF NEEDED)			NO	NO	NO	NO
CREDIT FOR WALL, FENCE OR BERM: NO OR YES (✓/LINEAR FEET) (DESCRIBE BELOW IF NEEDED)			NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED:						
SHADE TREES				8		3
EVERGREEN TREES						3
OTHER TREES (2:1 SUBSTITUTE)						
SHRUBS						
NUMBER OF PLANTS PROVIDED:						
SHADE TREES				8		3
EVERGREEN TREES						3
OTHER TREES (2:1 SUBSTITUTE)						
SHRUBS (10:1 SUBSTITUTE)						

PLANTING LIST

SYMBOL	QUANTITY	NAME	REMARKS
	11	ACER RUBRUM 'RED SUNSET' (RED SUNSET RED MAPLE)	2 1/2" MIN. CAL. 8 B B FULL HEAD
	3	PINUS STROBUS (EASTERN WHITE PINE)	5'- 6' HT. UNHEARD

- 1.) TREES MUST BE A MINIMUM OF FOUR (4) FEET FROM THE CURB OR SIDEWALK AND MUST BE A MINIMUM OF FIVE (5) FEET FROM ANY STORM DRAIN.
- 2.) A MINIMUM DISTANCE OF TWENTY (20) FEET MUST BE MAINTAINED BETWEEN ANY TREES LOCATED ALONG THE CURB LINE AND ANY STREET LIGHTS.
- 3.) THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 15.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
- 4.) FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING WILL BE POSTED WITH THE GRADING PERMITS FOR EACH INDIVIDUAL LOT TOTALING \$3,750 BY THE BUILDER. (LOT 10 - \$1,800; LOT 11 - \$1,550; LOT 12 - \$400)



GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY, PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
4. THE CONTOURS SHOWN HEREON HAVE BEEN TAKEN FROM A FIELD-RUN TOPOGRAPHIC SURVEY PREPARED BY MILDENBURG, BENDER & ASSOCIATES, INC., IN FEBRUARY, 1998.
5. COORDINATES SHOWN ARE BASED UPON HOWARD COUNTY NAD '83, CONTROL STATIONS No. 31EA & No. 31EB.
6. WATER AND SEWER FOR THIS PROJECT IS PUBLIC, CONTRACT Nos. 618-S AND 64W. DRAINAGE AREA IS IN THE PATAPSCO WATERSHED.
7. STORMWATER MANAGEMENT REQUIREMENTS FOR THIS SUBDIVISION WAS SATISFIED BY A PAYMENT OF FEE-IN-LIEU OF CONSTRUCTED STORM WATER MANAGEMENT FACILITY.
8. THERE ARE NO WETLANDS, WETLANDS BUFFERS, STREAMS, STREAM BUFFERS OR FLOODPLAIN ON-SITE.
9. EXISTING UTILITIES SHOWN WERE LOCATED FROM RECORD DRAWINGS.
10. THIS SUBDIVISION IS LOCATED IN THE METROPOLITAN DISTRICT.
11. NO BURIAL GROUNDS OR CEMETARIES EXIST ON-SITE.
12. NO ARE NO HISTORIC DISTRICTS ADJACENT TO THIS SITE.
13. OPEN SPACE REQUIREMENTS ARE SATISFIED VIA THE PAYMENT OF FEE-IN-LIEU OF OPEN SPACE FOR THE AMOUNT F \$4,500.00.
14. SECTION 12B OF THE ZONING REGULATIONS ALLOWS PORCHES OR DECKS, OPEN OR ENCLOSED, TO PROJECT NOT MORE THAN 10' FEET INTO THE REQUIRED FRONT OR REAR YARD SETBACKS; BAY WINDOWS, BALCONIES, CHIMNEYS AND EXTERIOR STAIRWAYS, NOT MORE THAN 16' FEET IN WIDTH, MAY PROJECT NOT MORE THAN 4' FEET INTO ANY REQUIRED SETBACK.
15. THE STAKING OF FOUNDATIONS PRIOR TO CONSTRUCTION TO ENSURE COMPLIANCE WITH REGULATORY BUILDING RESTRICTION LINES IS RECOMMENDED.
16. ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE BUILDERS EXPENSE.
17. BRL INDICATES BUILDING RESTRICTION LINE.
18. FOR LOT AREAS, EASEMENTS, OBLIGATIONS AND OTHER RELATED INFORMATION REFER TO PLAT No. 14427 AND ANY REVISION OR RESUBDIVISION PLANS OF THESE LOTS.
19. PREVIOUS HOWARD COUNTY FILE NUMBERS: F-99-12, F-99-13, F-99-54
20. FOREST CONSERVATION OBLIGATIONS FOR THIS SUBDIVISION, F-99-12, WERE MET BY A FEE-IN-LIEU PAYMENT OF \$4,051.00.
21. DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - A.) WIDTH - 12 FEET (14 FT. SERVING MORE THAN ONE RESIDENCE)
 - B.) SURFACE - 6 INCHES COMPACTED CRUSHER RUN BASE W/TAR & CHIP COATING
 - C.) GEOMETRY - 15% GRADE MAX.; 10% MAX. GRADE CHANGE; 45' FOOT MIN. TURNING RADIUS
 - D.) STRUCTURES (BRIDGES/CULVERTS) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOAD)
 - E.) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE
 - F.) STRUCTURE CLEARANCE - MINIMUM 12 FEET
 - G.) MAINTENANCE - SUFFICIENT TO ENSURE ALL-WEATHER USE
22. CONTRACTOR TO USE APRON DETAIL R-6.06 (DESIGN MANUAL, VOLUME IV) FOR RESIDENTIAL DRIVEWAY ENTRANCES.

SHEET INDEX

NO.	DESCRIPTION
1	SITE PLAN, DETAILS AND LANDSCAPE PLAN
2	SEDIMENT & EROSION CONTROL PLAN, NOTES AND DETAILS

SEWER HOUSE CONNECTION TABLE

LOT NO.	MINIMUM CELLAR ELEV.	INVERT OR R/W	EASEMENT
10	451.16	456.00	
11	453.00	448.18	
12	452.00	446.89	

ADDRESS CHART

LOT NO.	STREET ADDRESS
10	5207 FONT ROAD
11	5217 ILCHESTER ROAD
12	5215 ILCHESTER ROAD

NOTES: 1) CONTRACTOR SHALL CHECK SEWER HOUSE CONNECTION ELEVATION AT PROPERTY/EASEMENT LINE PRIOR TO CONSTRUCTION OF THE HOUSE TO ENSURE PROPER SLOPES CAN BE MAINTAINED.
2) CONTRACTOR IS TO VERIFY THAT AFTER GRADING THE EXISTING SHG THAT SERVES LOT 9 HAS PROPER COVER AND IS NOT DAMAGED. CONTRACTOR IS TO REPAIR AND/OR REPLACE AS NECESSARY.

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL #			
FONT HILL LOTS 9 THRU 12	N/A	LOTS 10, 11 AND 12			
PLAT No.	BLOCK No.	ZONE	TAX MAP	ELEC. DIST.	CENSUS
14427	15	R-20	31	1st	6012
WATER CODE	SEWER CODE				
G09	1255010				

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Michael M. McK 2/13/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

Cindy Bruster 2/15/01
CHIEF, DIVISION OF LAND DEVELOPMENT CB DATE

Joseph J. Sutter 2/20/01
DIRECTOR JS DATE

BENCHMARK ENGINEERING, INC.
ENGINEERS • LAND SURVEYORS • PLANNERS

8480 BALTIMORE NATIONAL PIKE • SUITE 418 • ELLICOTT CITY, MARYLAND 21043
PHONE: 410-465-6105 FAX: 410-465-6644

DESIGNER: JMC DRAFT: JMC / EDD

PROJECT: FONT HILL LOTS 10, 11 AND 12

LOCATION: TAX MAP 31 - BLOCK 15 - PARCEL 626
1st ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE: SITE PLAN, DETAILS AND LANDSCAPE PLAN

DATE: NOVEMBER, 2000 PROJECT NO. 1412
JANUARY, 2001

SCALE: 1" = 30' DRAWING 1 OF 2

PERMANENT SEEDING NOTES

Apply to graded or cleared area not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding. (If not previously loosened)

Soil Amendments: In lieu of soil test recommendations, use on the following schedules.

- 1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sf) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sf) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sf).
- 2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sf) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sf) before seeding. Harrow or disc into upper three inches of soil.

Seeding: For the periods March 1 through April 30 and August 1 through October 15, seed with 60 lbs per acre (1.4 lbs/1000 sf) of Kentucky 31 Tall Fescue. For the period May 1 through July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (0.05 lbs/1000 sf) of Weeping Lovegrass. During the period of October 16 through February 28, protect site by: Option 1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option 2) use sod. Option 3) seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sf) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sf) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sf) for anchoring.

Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding. (If not previously loosened)

Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sf).

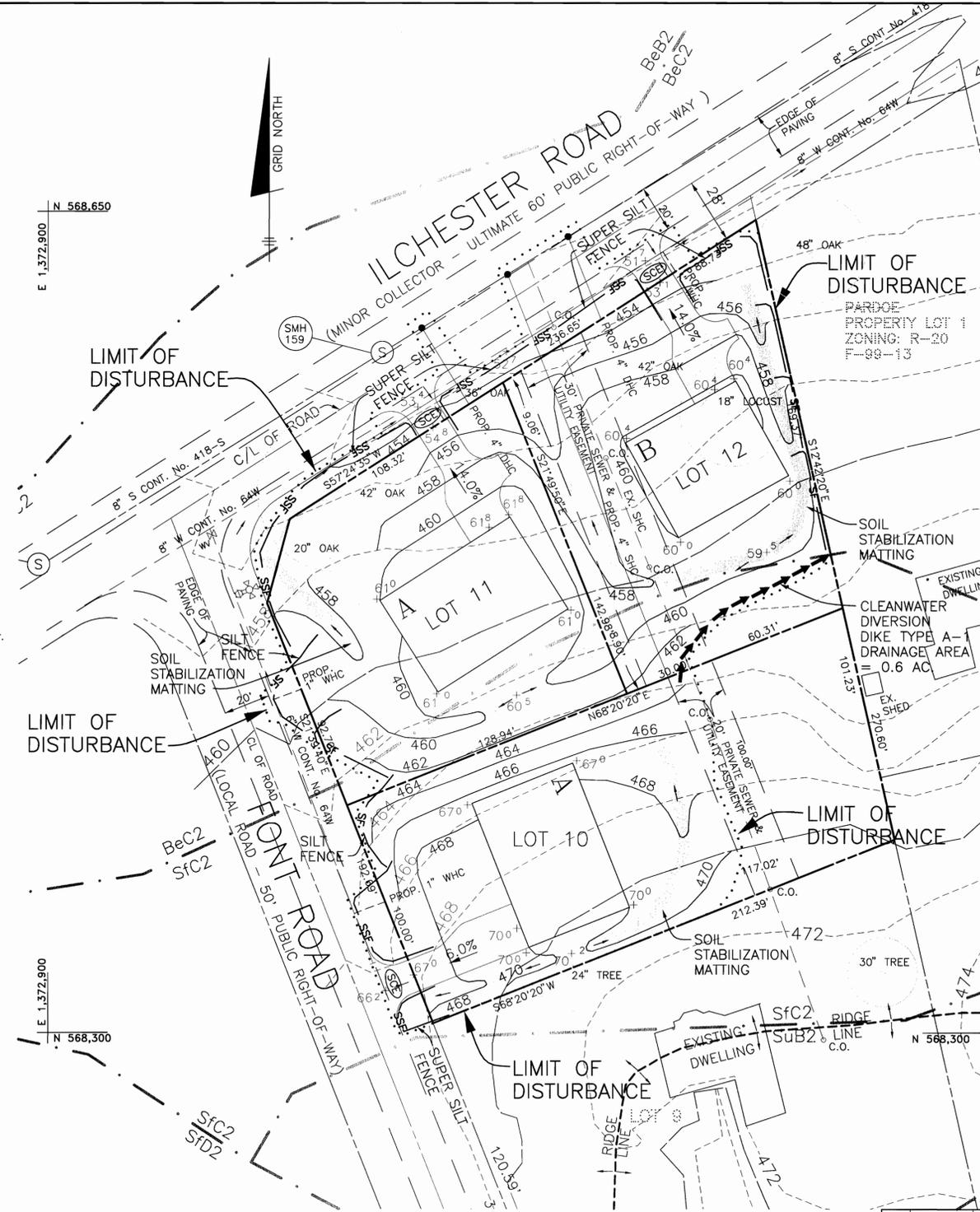
Seeding: For periods March 1 through April 30 and from August 15 through November 15, seed with 2-1/2 bushel per acre of annual rye (3.2 lbs/1000 sf). For the period May 1 through August 14, seed with 3 lbs per acre of Weeping Lovegrass (0.07 lbs/1000 sf). For the period November 16 through February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sf) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sf) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sf) for anchoring.

Refer to the 1994 Maryland Standards and Specifications for Soil Erosion and Sediment Control for rate and methods not covered.

SEDIMENT CONTROL NOTES

1. A minimum of 48 hours notice must be given to the Howard County Department of Inspections and Permits, Sediment Control Division prior to the start of any construction (410-313-1855).
2. All vegetative and structural practices are to be installed accordingly to the provisions of this plan and are to be in conformance with the most current "Maryland Standards and Specifications for Soil Erosion and Sediment Control", and revisions thereto.
3. Following initial soil disturbances or redisturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 calendar days as to all other disturbed or graded areas on the project site.
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the "Howard County Design Manual, Storm Drainage".
5. All disturbed areas must be stabilized within the time period specified above in accordance with the "1994 Maryland Standards and Specifications for Soil Erosion and Sediment Control" for Permanent Seedings (Sec. 51) Sod (Sec. 54), Temporary Seeding (Sec. 50) and Mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. Site Analysis:
Total Area of Site: 1.28± acres
Area to be Disturbed: 1.24± acre
Area to be roofed or paved: 0.14± acre
Area to be vegetatively stabilized: 1.10± acre
Total Cut: 1,387 C.Y.
Total Fill: (ADJUSTED) 1,415 C.Y.
Offsite Waste/Borrow Area Location: *
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment controls must be provided, if deemed necessary by the Howard County DPW Sediment Control Inspector.
10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
11. Trenches for the construction of utilities is limited to three pipe lengths or that which can be back filled and stabilized within one working day, whichever is shorter.
12. Quantities and estimates shown are for sediment control purposes only. Contractor shall prepare his/her own quantity estimates to his/her satisfaction. * It is the responsibility of the contractor to identify the spoil/borrow site and notify and gain approval from the sediment control inspector of the site and it's grading permit number at the time of construction.



SEQUENCE OF CONSTRUCTION

- NOTIFY SEDIMENT CONTROL DIVISION 48 HOURS PRIOR TO START OF CONSTRUCTION
- DAY 1 OBTAIN GRADING PERMIT.
 - DAY 2-8 INSTALL SEDIMENT CONTROLS THAT ARE NOTED TO BE INSTALLED UNDER THIS SDP.
 - DAY 9-12 EXCAVATE FOR FOUNDATIONS, ROUGH GRADE AND STABILIZE IN ACCORDANCE WITH TEMPORARY SEEDBED NOTES.
 - DAY 13-82 CONSTRUCT HOUSES, BACKFILL AND CONSTRUCT DRIVEWAYS.
 - DAY 83-87 FINAL GRADE AND STABILIZE IN ACCORDANCE WITH PERMANENT SEEDBED NOTES AND FLUSH STORM DRAIN SYSTEM.
 - DAY 88-91 WITH THE APPROVAL OF THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL DEVICES AND STABILIZE ANY REMAINING DISTURBED AREAS.
- NOTE: 1. SEDIMENT CONTROL LOCATION AND IMPLEMENTATION SHOWN ON THESE PLANS IS SUBJECT TO REVISION IN THE FIELD AT THE DISCRETION OF THE SEDIMENT CONTROL INSPECTOR.
2. EROSION CONTROL MATTING SHALL BE PLACED IN SWALES WHERE DEEMED NECESSARY UNTIL VEGETATION IS ESTABLISHED OR SOLID SOIL SHOULD BE USED.
3. THE DURATION OF EVENTS SHOWN IN THIS SEQUENCE ARE APPROXIMATE ONLY. THEY DO NOT REFLECT ACTUAL BUILDING TIMES AND WILL BE ADJUSTED DURING CONSTRUCTION BY THE BUILDER.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
James A. Halls 2/20/01 DATE
 CHIEF, DIVISION OF LAND DEVELOPMENT
Donald Mason 2/17/01 DATE
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 2/13/01 DATE

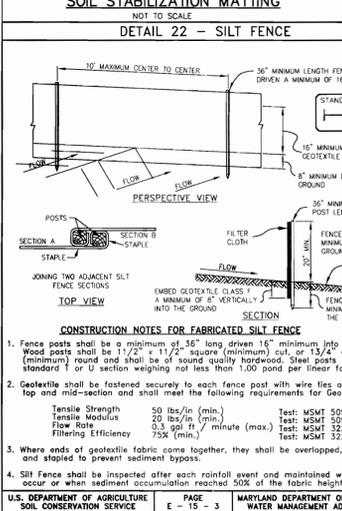
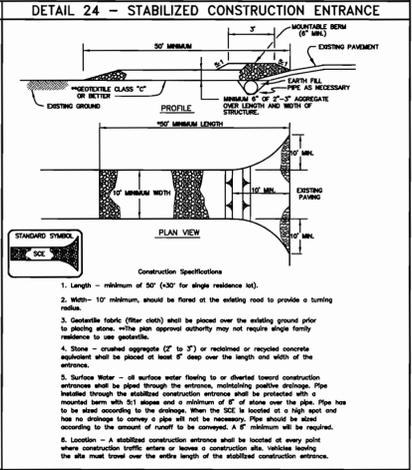
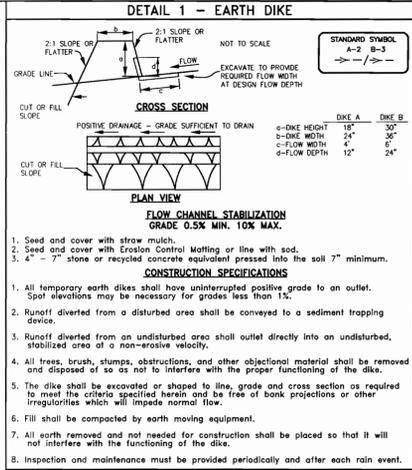
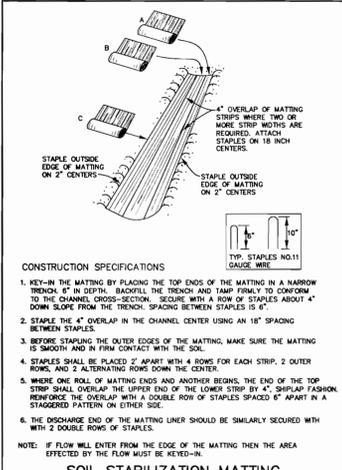
THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Jim Mayo 2/16/01 DATE
 NATURAL RESOURCES CONSERVATION SERVICE

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.
John Robertson 2/17/01 DATE
 NATURAL RESOURCES CONSERVATION SERVICE

ENGINEER'S CERTIFICATE
 I hereby certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Donald Mason 1/23/01 Date
 Signature of Developer

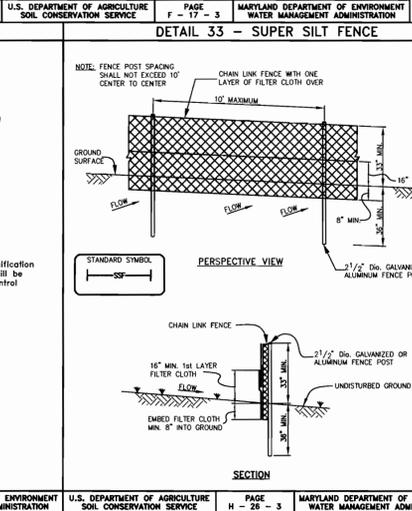
DEVELOPER'S CERTIFICATE
 I/we certify that all development and construction will be done in accordance with this plan of development and plan for erosion and sediment control and that all responsible personnel involved in the construction of this project will have a certificate of attendance at a Department of the Environment approved training program for the control of sediment and erosion before beginning the project. I also authorize periodic onsite inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.
Donald Mason 1-23-01 Date
 Signature of Developer



SILT FENCE DESIGN CRITERIA

Slope Steepness	(Maximum) Silt Fence Length	(Maximum) Silt Fence Length
Flatter than 50:1	unlimited	unlimited
50:1 to 10:1	125 feet	1,000 feet
10:1 to 5:1	100 feet	750 feet
5:1 to 3:1	60 feet	500 feet
3:1 to 2:1	40 feet	250 feet
2:1 and steeper	20 feet	125 feet

Note: In areas of less than 2% slope and sandy soils (USDA general classification system, soil class A) maximum slope length and silt fence length will be unlimited. In these areas a silt fence may be the only perimeter control required.



LEGEND

- SILT FENCE
- SUPER SILT FENCE
- SOIL STABILIZATION MATTING
- STABILIZED CONSTRUCTION ENTRANCE
- LIMIT OF DISTURBANCE
- CLEANWATER DIVERSION DIKE
- SOILS DELINEATION

CONSTRUCTION SPECIFICATIONS

1. Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway details for Chain Link Fencing. The specification for a 5' fence shall be used, substituting 42" fabric and 6" length posts.
2. Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and frass rods, drive anchors and post caps are not required except on the ends of the fence.
3. Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
4. Filter cloth shall be embedded a minimum of 8" into the ground.
5. When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
6. Maintenance shall be performed as needed and all bulges removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.
7. Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:
 Tensile Strength 50 lbs/in (min.) Test: MSMT 509
 Tensile Modulus 20 lbs/in (min.) Test: MSMT 508
 Flow Rate 0.5 gpm/ft²/minute (max.) Test: MSMT 522
 Filtering Efficiency 75% (min.) Test: MSMT 522

SUPER SILT FENCE DESIGN CRITERIA

Slope	Slope Steepness	Slope Length (Maximum)	Silt Fence Length (Maximum)
0 - 10%	0 - 10:1	Unlimited	Unlimited
10 - 20%	10:1 - 5:1	200 feet	1,500 feet
20 - 33%	5:1 - 3:1	100 feet	1,000 feet
33 - 50%	3:1 - 2:1	100 feet	500 feet
50% +	2:1 +	50 feet	250 feet

BENCHMARK ENGINEERING, INC.
 ENGINEERS • LAND SURVEYORS • PLANNERS
 8480 BALTIMORE NATIONAL PIKE & SUITE 418
 ELLICOTT CITY, MARYLAND 21043
 PHONE: 410-465-6105 • FAX: 410-465-6644

NO. DATE REVISION

BUILDER: DORSEY FAMILY HOMES
 9926 CYPRESSME DRIVE
 ELLICOTT CITY, MD 21043
 410-365-7679

PROJECT: FONT HILL
 LOTS 10, 11 AND 12

LOCATION: TAX MAP 31 - BLOCK 15 - PARCEL 62C
 1st ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

TITLE: SEDIMENT AND EROSION CONTROL NOTES AND DETAILS

DATE: NOVEMBER, 2000 PROJECT NO. 1412
 JANUARY, 2001

DESIGN: JMC **DRAFT:** JMC / EDD **SCALE:** 1" = 30' **DRAWING:** 2 OF 2

1/23/01

FONT HILL LOTS 10, 11 AND 12

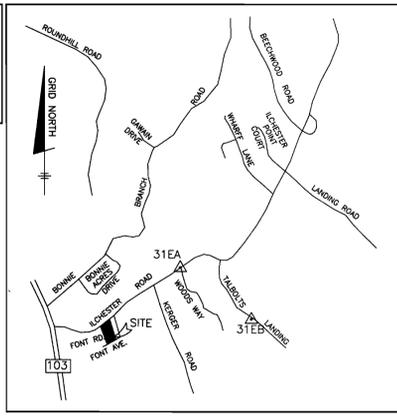
1st ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SITE DEVELOPMENT PLAN

BENCHMARKS NAD'83

HO. CO. STA. 31EA	EL. 469.628
N 569,641.149	E 1,374,816.064
HO. CO. STA. 31EB	EL. 453.415
N 568,731.012	E 1,376,273.622

* SEE VICINITY MAP FOR LOCATIONS

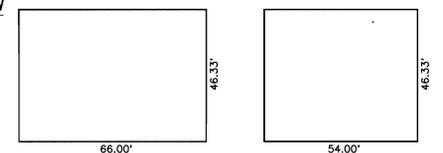


A HOUSE-TYPE REVISION (RESITE) IS REQUIRED WHEN THE FOLLOWING OCCURS:

1. A HOUSE TYPE IS ADDED OR DELETED.
2. A DRIVEWAY LOCATION IS CHANGED FROM A FRONT-LOADED TO A SIDE-LOADED GARAGE.
3. THE HOUSE IS "FLIPPED" SO THAT THE GARAGE AND DRIVEWAY ARE OPPOSITE TO THE APPROVED SDP.
4. A CHANGE IN THE ELEVATION OF HOUSE 1 (ONE) FOOT ±.
5. TO CHANGE THE GRADING FROM AN IN-GROUND BASEMENT TO A WALK-OUT BASEMENT.

TYPICAL BAY WINDOW
SCALE: 1" = 30'

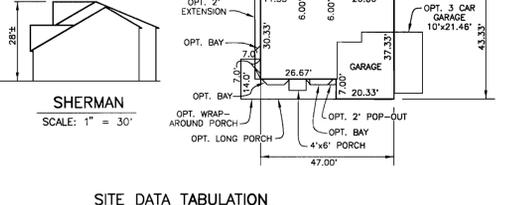
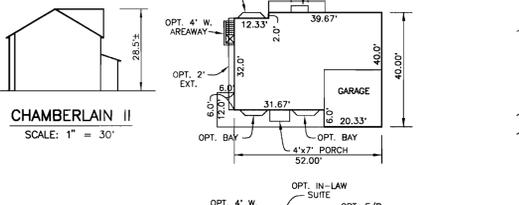
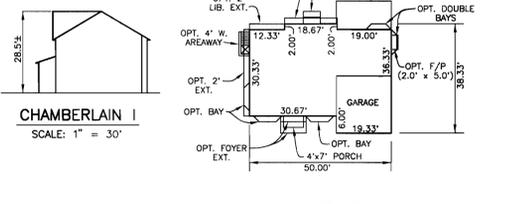
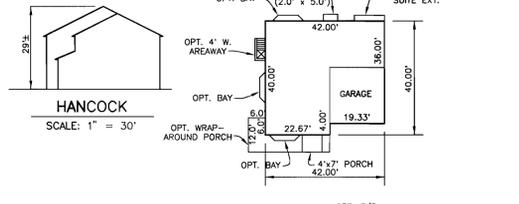
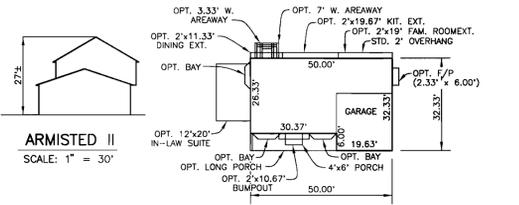
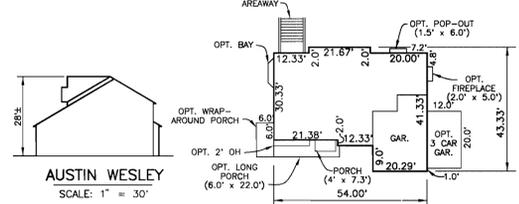
TYPICAL FIREPLACE
SCALE: 1" = 30'



GENERIC BOXES

LEGEND

- SOILS CLASSIFICATION: AbC1
- SOILS DELINEATION: 999
- EXISTING CONTOURS: 999
- PROPOSED CONTOURS: 999
- EXISTING STRUCTURE: [Symbol]
- PROPOSED STRUCTURE: [Symbol]



SITE DATA TABULATION

GENERAL SITE DATA

- 1.) PRESENT ZONING: R-20
- 2.) APPLICABLE DPZ FILE REFERENCES: F-99-12, F-99-13, F-99-54
- 3.) PROPOSED USE OF SITE: SINGLE-FAMILY DETACHED
- 4.) PROPOSED WATER IS PUBLIC
PROPOSED SEWER IS PUBLIC

AREA TABULATION

1.) TOTAL PROJECT AREA	1.28 AC.±
2.) TOTAL NUMBER OF LOTS ALLOWED AS SHOWN ON FINAL PLAT	3
3.) TOTAL NUMBER OF RESIDENTIAL UNITS PROPOSED ON THIS SUBMISSION	3
4.) APPROXIMATE LIMIT OF DISTURBANCE	1.24 AC.±
5.) AREA OF THIS PLAN SUBMISSION	1.28 AC.±
6.) BUILDING COVERAGE OF SITE (PERMITTED)	N/A
7.) BUILDING COVERAGE OF SITE (PROPOSED)	N/A

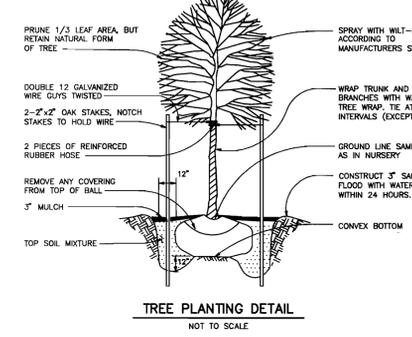
SCHEDULE A PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO ROADWAY	YES	NO	YES	NO
ADJACENT TO PERIMETER PROPERTIES		NO	YES	NO	NO
PERIMETER NO. / LANDSCAPE TYPE		① N/A	② A	③ N/A	④ B
LINEAR FEET OF ROADWAY (FRONTAGE/PERIMETER)		237	483	100	130
CREDIT FOR EXISTING VEGETATION: NO OR YES (#/LINEAR FEET) (DESCRIBE BELOW IF NEEDED)		NO	NO	NO	NO
CREDIT FOR PLANTS PROVIDED: NO OR YES (#/LINEAR FEET) (DESCRIBE BELOW IF NEEDED)		NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED:					
SHADE TREES		-	8	-	3
EVERGREEN TREES		-	-	-	-
OTHER TREES (2:1 SUBSTITUTE)		-	-	-	-
SHRUBS		-	-	-	-
NUMBER OF PLANTS PROVIDED:					
SHADE TREES		-	8	-	3
EVERGREEN TREES		-	-	-	-
OTHER TREES (2:1 SUBSTITUTE)		-	-	-	-
SHRUBS (10:1 SUBSTITUTE)		-	-	-	-

PLANTING LIST

SYMBOL	QUANTITY	NAME	REMARKS
[Symbol]	11	ACER RUBRUM 'RED SUNSET' (RED SUNSET RED MAPLE)	2 1/2" MIN. CAL. B & B FULL HEAD
[Symbol]	3	PINUS STROBUS (EASTERN WHITE PINE)	5'-6" HT. UNSHAGED

- 1.) TREES MUST BE A MINIMUM OF FOUR (4) FEET FROM THE CURB OR SIDEWALK AND MUST BE A MINIMUM OF FIVE (5) FEET FROM ANY STORM DRAIN.
- 2.) A MINIMUM DISTANCE OF TWENTY (20) FEET MUST BE MAINTAINED BETWEEN ANY TREES LOCATED ALONG THE CURB LINE AND ANY STREET LIGHTS.
- 3.) THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 18.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
- 4.) FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING WILL BE POSTED WITH THE GRADING PERMITS FOR EACH INDIVIDUAL LOT TOTALING \$5,750 BY THE BUILDER. (LOT 10 - \$1,800; LOT 11 - \$1,350; LOT 12 - \$600)



GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY, PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST FIVE(5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
4. THE CONTOURS SHOWN HEREON HAVE BEEN TAKEN FROM A FIELD-RUN TOPOGRAPHIC SURVEY PREPARED BY MILDENBURG, BOENDER & ASSOCIATES, INC., IN FEBRUARY, 1998.
5. COORDINATES SHOWN ARE BASED UPON HOWARD COUNTY NAD '83, CONTROL STATIONS No. 31EA & No. 31EB.
6. WATER AND SEWER FOR THIS PROJECT IS PUBLIC, CONTRACT Nos. 618-S AND 64W. DRAINAGE AREA IS IN THE PATAPSCO WATERSHED.
7. STORMWATER MANAGEMENT REQUIREMENTS FOR THIS SUBDIVISION WAS SATISFIED BY A PAYMENT OF FEE-IN-LIEU OF CONSTRUCTED STORM WATER MANAGEMENT FACILITY.
8. THERE ARE NO WETLANDS, WETLANDS BUFFERS, STREAMS, STREAM BUFFERS OR FLOODPLAIN ON-SITE.
9. EXISTING UTILITIES SHOWN WERE LOCATED FROM RECORD DRAWINGS.
10. THIS SUBDIVISION IS LOCATED IN THE METROPOLITAN DISTRICT.
11. NO BURIAL GROUNDS OR CEMETARIES EXIST ON-SITE.
12. NO ARE NO HISTORIC DISTRICTS ADJACENT TO THIS SITE.
13. OPEN SPACE REQUIREMENTS ARE SATISFIED VIA THE PAYMENT OF FEE-IN-LIEU OF OPEN SPACE FOR THE AMOUNT \$4,500.00.
14. SECTION 12B OF THE ZONING REGULATIONS ALLOWS PORCHES OR DECKS, OPEN OR ENCLOSED, TO PROJECT NOT MORE THAN 10' FEET INTO THE REQUIRED FRONT OR REAR YARD SETBACKS: BAY WINDOWS, BALCONIES, CHIMNEYS AND EXTERIOR STAIRWAYS, NOT MORE THAN 16' FEET IN WIDTH, MAY PROJECT NOT MORE THAN 4' FEET INTO ANY REQUIRED SETBACK.
15. THE STAKING OF FOUNDATIONS PRIOR TO CONSTRUCTION TO ENSURE COMPLIANCE WITH REGULATORY BUILDING RESTRICTION LINES IS RECOMMENDED.
16. ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE BUILDERS EXPENSE.
17. BRL INDICATES BUILDING RESTRICTION LINE.
18. FOR LOT AREAS, EASEMENTS, OBLIGATIONS AND OTHER RELATED INFORMATION REFER TO PLAT No. 14427 AND ANY REVISION OR RESUBDIVISION PLATS OF THESE LOTS.
19. PREVIOUS HOWARD COUNTY FILE NUMBERS: F-99-12, F-99-13, F-99-54
20. FOREST CONSERVATION OBLIGATIONS FOR THIS SUBDIVISION, F-99-12, WERE MET BY A FEE-IN-LIEU PAYMENT OF \$4,051.00.
21. DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - A.) WIDTH - 12 FEET (14 FT. SERVING MORE THAN ONE RESIDENCE)
 - B.) SURFACE - 6 INCHES COMPACTED CRUSHER RUN BASE W/TAR & CHIP COATING
 - C.) GEOMETRY - 15% GRADE MAX.; 10% MAX. GRADE CHANGE; 45 FOOT MIN. TURNING RADIUS
 - D.) STRUCTURES (BRIDGES/CULVERTS) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOAD)
 - E.) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE
 - F.) STRUCTURE CLEARANCE - MINIMUM 12 FEET
 - G.) MAINTENANCE - SUFFICIENT TO ENSURE ALL-WEATHER USE
22. CONTRACTOR TO USE APRON DETAIL R-6.06 (DESIGN MANUAL, VOLUME IV) FOR RESIDENTIAL DRIVEWAY ENTRANCES.

SHEET INDEX

NO.	DESCRIPTION
1	SITE PLAN, DETAILS AND LANDSCAPE PLAN
2	SEDIMENT & EROSION CONTROL PLAN, NOTES AND DETAILS

SEWER HOUSE CONNECTION TABLE

LOT NO.	MINIMUM CELLAR ELEV.	INVERT @ EASEMENT OR R/W
10	481.11	458.00
11	453.00	448.18
12	452.00	448.89

ADDRESS CHART

LOT NO.	STREET ADDRESS
10	5207 FONT ROAD
11	5203 FONT ROAD
12	5215 ILCHESTER ROAD

NOTES: 1) CONTRACTOR SHALL CHECK SEWER HOUSE CONNECTION ELEVATION AT PROPERTY/EASEMENT LINE PRIOR TO CONSTRUCTION OF THE HOUSE TO ENSURE PROPER SLOPES CAN BE MAINTAINED.
2) CONTRACTOR IS TO VERIFY THAT AFTER GRADING THE EXISTING SHC THAT SERVES LOT 9 HAS PROPER COVER AND IS NOT DAMAGED. CONTRACTOR IS TO REPAIR AND/OR REPLACE AS NECESSARY.

3-28-01 SHOW A CHAMBERLAIN II SIDELOAD GARAGE ON LOT 11

BENCHMARK ENGINEERING, INC.
ENGINEERS & LAND SURVEYORS PLANNERS
8480 BALTIMORE NATIONAL PIKE • SUITE 418 • ELLICOTT CITY, MARYLAND 21043
PHONE: 410-465-6105 FAX: 410-465-6644

Donald Moor

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL#			
FONT HILL LOTS 9 THRU 12	N/A	LOTS 10, 11 AND 12			
PLAT No.	BLOCK No.	ZONE	TAX MAP	ELEC. DIST.	CENSUS
14427	15	R-20	31	1st	6012
WATER CODE	SEWER CODE				
G09	1255010				

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Michael M. McK... 2/13/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

Cindy... 2/15/01
CHIEF, DIVISION OF LAND DEVELOPMENT 60 DATE

... 2/20/01
DIRECTOR DATE

BUILER: DORSEY FAMILY HOMES
9926 CYPRESSMEDE DRIVE
ELLICOTT CITY, MD 21043
PHONE: 410-365-7679

PROJECT: FONT HILL LOTS 10, 11 AND 12

LOCATION: TAX MAP 31 - BLOCK 15 - PARCEL 626
1st ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE: SITE PLAN, DETAILS AND LANDSCAPE PLAN

DATE: NOVEMBER, 2000 PROJECT NO. 1412
JANUARY, 2001

SCALE: 1" = 30' DRAWING 1 OF 2

Design: JMC Draft: JMC / EDD

