

No.	Revisions	Date
1	Rev. hse. & grad. lot 35, from 'A' Box to Southhill 2077 (Rev.)	6-18-01
2	Rev. hse. & grad. lot 39, from 'A' Box to Southhill 2077	6-18-01
3	Rev. hse. & grad. lot 38, from 'G' Box to Penhurst 8888 C-2	7-24-01

JETI PROPERTY
 PLAT NO. 11854
 LOT 2, F-95-86
 ZONED R-20

JETI PROPERTY
 PLAT NO. 11859
 LOT 5, F-95-30
 ZONED R-20

OPEN SPACE LOT 48
 DEDICATED TO HOWARD COUNTY, MARYLAND
 (DEPARTMENT OF RECREATION AND PARKS)
 (FOREST CONSERVATION EASEMENT D)
 ZONED R-20

NON-BUILDABLE
 PARCEL C
 ZONED R-20



USE-IN-COMMON DRIVE PAVING NOTES AND DETAILS FOR LOTS 34-37 AND 41-42

18. Driveway(s) shall be provided prior to residential occupancy to insure safe access for fire and emergency vehicles per the following minimum requirements:
 - a) Width - 12 feet (14 feet serving more than one residence).
 - b) Surface - 6 inches of compacted crusher run base with tar and chip coating.
 - c) Geometry - Maximum 15% grade, maximum 10% grade change and minimum of 45-foot turning radius.
 - d) Structures (culvert/bridges) - Capable of supporting 25 gross tons (425 loadings).
 - e) Drainage elements - Capable of safely passing 100-year flood with no more than 1 foot depth over driveway surface.
 - f) Structure clearances - minimum 12 feet.
 - g) Maintenance - Sufficient to insure all weather use.

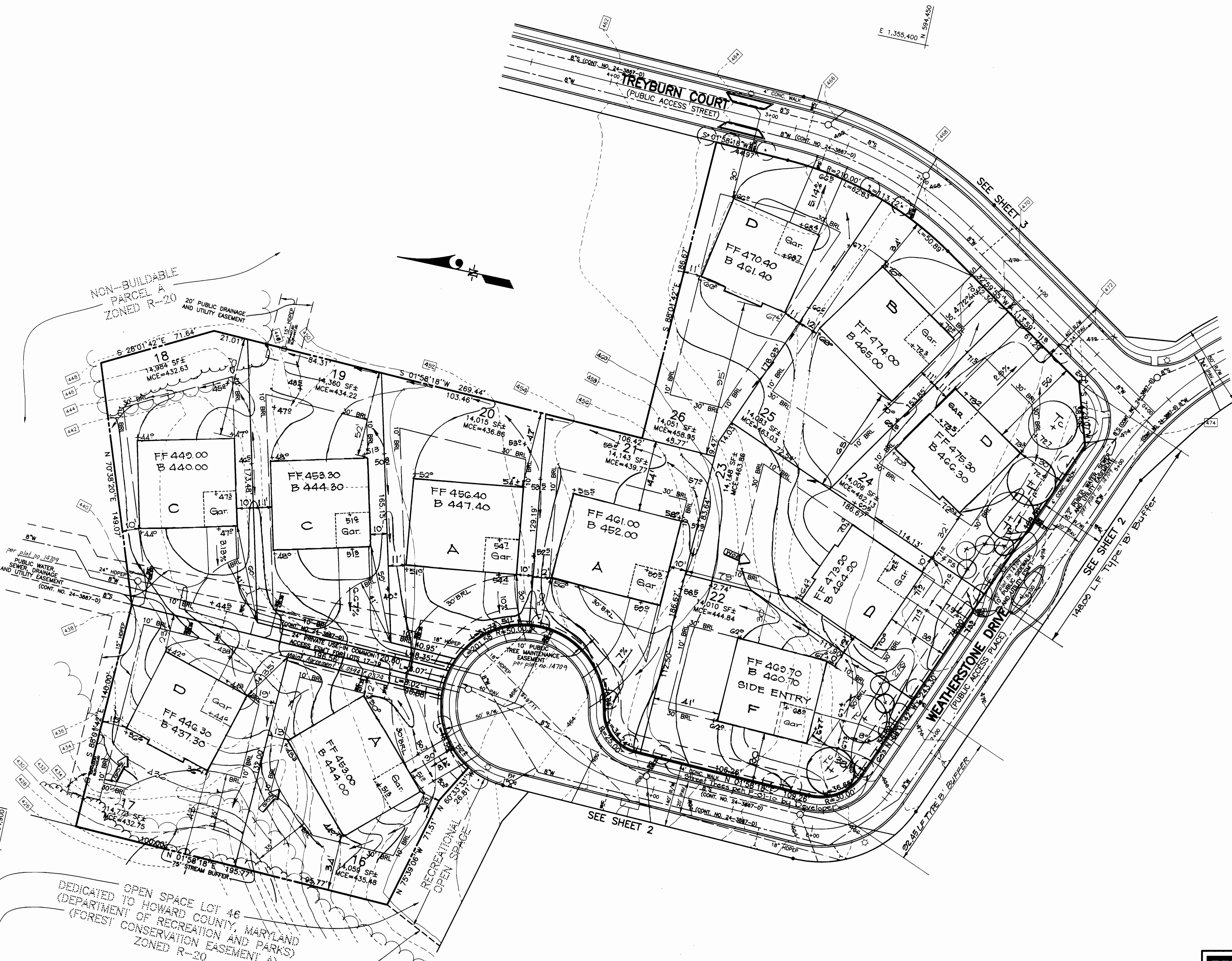


OWNER
 THE RYLAND GROUP, INC.
 7250 PARKWAY DRIVE, SUITE 520
 HANOVER, MARYLAND 21076

APPROVED: DEPARTMENT OF PLANNING & ZONING
 [Signature] 6/20/01
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 6/20/01
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 6/20/01
 DIRECTOR

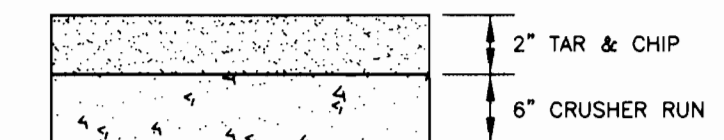
CLARK · FINEFROCK & SACKETT, INC. ENGINEERS · PLANNERS · SURVEYORS 7135 MINTREL WAY · COLUMBIA, MD 21045 · (410) 381-7500 BALT. · (301) 621-8100 WASH.		
DESIGNED DM/JME/DMT DRAWN KOL CHECKED DM DATE 6/20/01	SITE DEVELOPMENT PLAN LOTS 1 THRU 44 TREYBURN PHASE 1 SECOND (2nd) ELECTION DISTRICT HOWARD COUNTY, MARYLAND FOR: THE RYLAND GROUP, INC. 7250 PARKWAY DRIVE, SUITE 520 HANOVER, MARYLAND 21076	SCALE 1" = 30' DRAWING 3 of 8 JOB NO. 00-152 FILE NO. 00-152 X

SDP-01-70



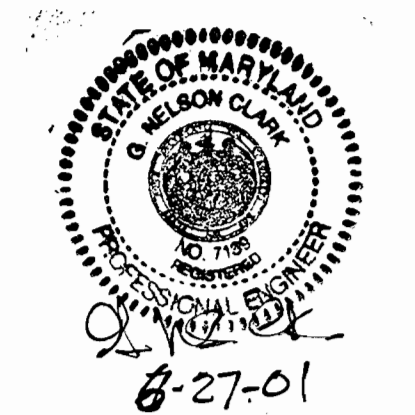
USE-IN-COMMON DRIVE PAVING NOTES AND DETAILS FOR LOTS 17-19

18. Driveway(s) shall be provided prior to residential occupancy to insure safe access for fire and emergency vehicles per the following minimum requirements:
 - a) Width- 12 feet (14 feet serving more than one residence).
 - b) Surface-6 inches of compacted crusher run base with tar and chip coating.
 - c) Geometry-Maximum 15% grade, maximum 10% grade change and minimum of 45-foot turning radius.
 - d) Structures (culvert/bridges)-Capable of supporting 25 gross tons (H25 loading).
 - e) Drainage elements-Capable of safely passing 100-year flood with no more than 1 foot depth over driveway surface.
 - f) Structure clearances-minimum 12 feet.
 - g) Maintenance-Sufficient to insure all weather use.



OWNER
 THE RYLAND GROUP, INC.
 7250 PARKWAY DRIVE, SUITE 520
 HANOVER, MARYLAND, 21076

APPROVED: DEPARTMENT OF PLANNING & ZONING
 [Signature] 6/28/01
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 6/28/01
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 6/29/01
 DIRECTOR



CLARK · FINEFROCK & SACKETT, INC. ENGINEERS · PLANNERS · SURVEYORS 7135 MINSTREL WAY · COLUMBIA, MD 21045 · (410) 381-7500 BALT. · (301) 621-8100 WASH.		
DESIGNED DM/JME/ DRAWN KQL CHECKED DM DATE 03-23-01	SITE DEVELOPMENT PLAN LOTS 1 THRU 44 <h2 style="text-align: center;">TREYBURN</h2> PHASE 1 SECOND (2nd) ELECTION DISTRICT HOWARD COUNTY, MARYLAND FOR: THE RYLAND GROUP, INC. 7250 PARKWAY DRIVE SUITE 520 HANOVER, MARYLAND 21076	SCALE 1" = 30' DRAWING 4 of 8 JOB NO. 00-152 FILE NO. 00-152 X

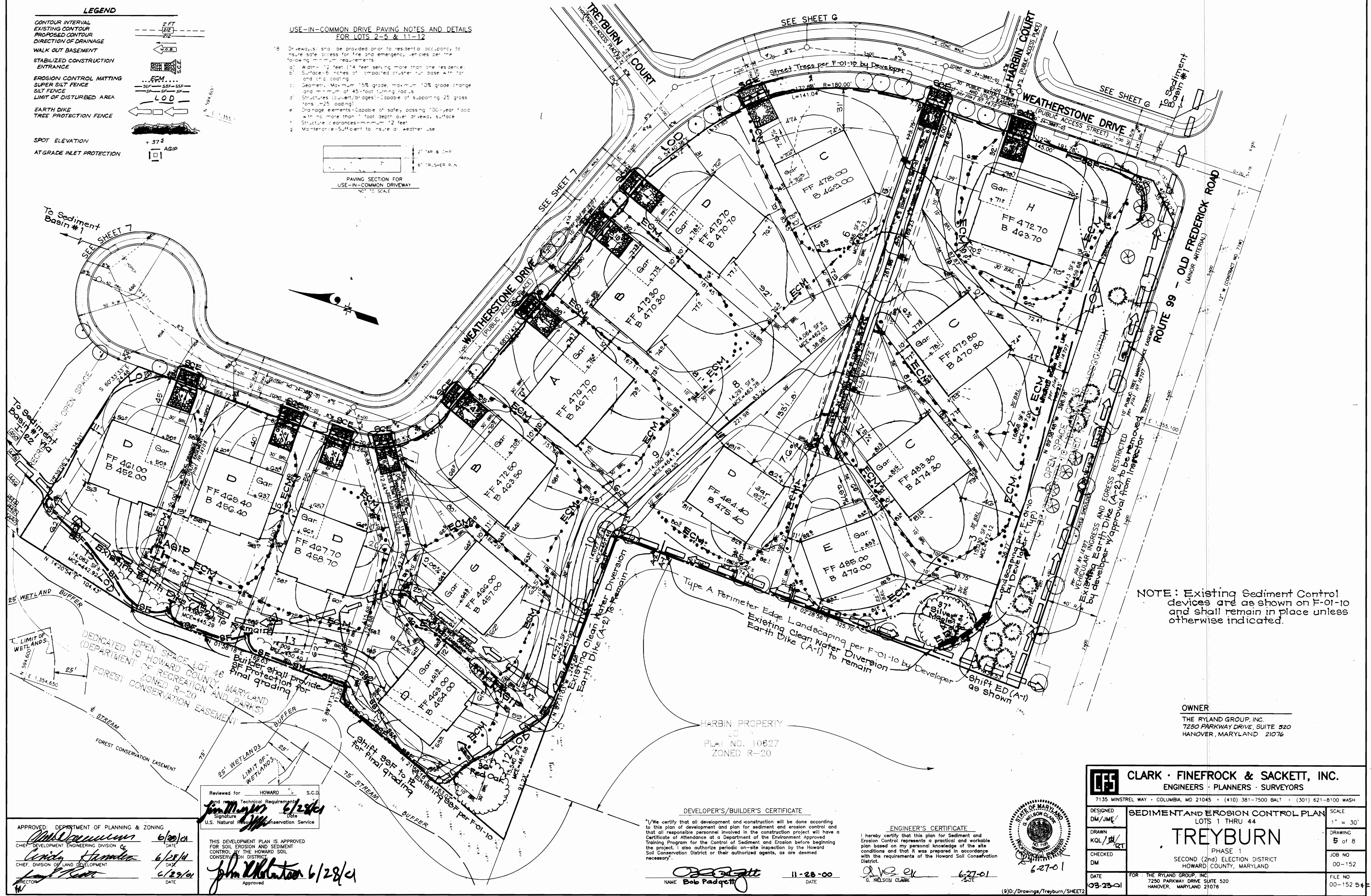
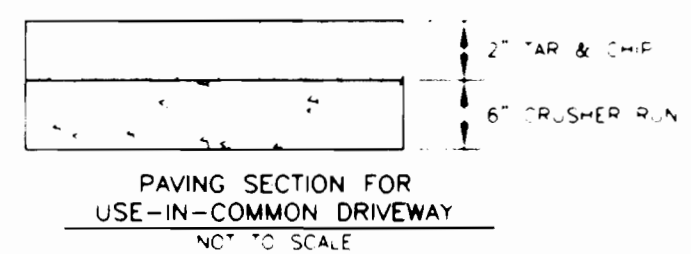
SDP-01-70

LEGEND

- CONTOUR INTERVAL 2 FT
- EXISTING CONTOUR
- PROPOSED CONTOUR
- DIRECTION OF DRAINAGE
- WALK OUT BASEMENT
- STABILIZED CONSTRUCTION ENTRANCE
- EROSION CONTROL MATTING
- SUPER SILT FENCE
- SILT FENCE
- LIMIT OF DISTURBED AREA
- EARTH DIKE
- TREE PROTECTION FENCE
- SPOT ELEVATION
- AT GRADE INLET PROTECTION

USE-IN-COMMON DRIVE PAVING NOTES AND DETAILS FOR LOTS 2-5 & 11-12

- a) Driveways shall be provided prior to residential occupancy to insure safe access for fire and emergency vehicles per the following minimum requirements:
 - 1) Width - 12 feet (14 feet serving more than one residence)
 - 2) Surface - 6 inches of compacted crusher run base with tar and chip coating
 - 3) Geometry - Maximum 1.5% grade, maximum 10% grade change and minimum of 45-foot turning radius
 - 4) Structures (culvert/bridges) - Capable of supporting 25 gross tons (25' loading)
 - 5) Drainage elements - Capable of safely passing 100-year flood with no more than 1 foot depth over driveway surface
 - 6) Structure clearances - minimum 12 feet
 - 7) Maintenance - Sufficient to insure all weather use



NOTE: Existing Sediment Control devices are as shown on F-01-10 and shall remain in place unless otherwise indicated.

OWNER
 THE RYLAND GROUP, INC.
 7250 PARKWAY DRIVE, SUITE 520
 HANOVER, MARYLAND 21076

APPROVED: DEPARTMENT OF PLANNING & ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 CHIEF, DIVISION OF LAND DEVELOPMENT

Reviewed for HOWARD S.C.D. and Technical Requirements
 Signature: *[Signature]* Date: 6/28/01
 U.S. Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 Signature: *[Signature]* Date: 6/28/01
 Approved

DEVELOPER'S/BUILDER'S CERTIFICATE

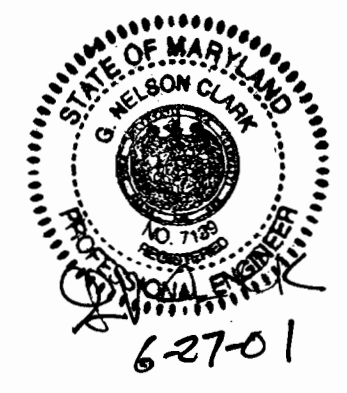
I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.

NAME: Bob Padgett DATE: 11-28-00

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

NAME: G. NELSON CLARK DATE: 6-27-01



CLARK · FINEFROCK & SACKETT, INC. ENGINEERS · PLANNERS · SURVEYORS 7135 WINSTREL WAY · COLUMBIA, MD 21045 · (410) 381-7500 BALT · (301) 621-8100 WASH	
DESIGNED: DM/JME	DRAWN: KQL/ST
CHECKED: DM	DATE: 03-23-01
SEDIMENT AND EROSION CONTROL PLAN LOTS 1 THRU 44 TREYBURN PHASE 1 SECOND (2nd) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	
SCALE: 1" = 30'	DRAWING: 5 of 8
JOB NO: 00-152	FILE NO: 00-152-94
FOR: THE RYLAND GROUP, INC. 7250 PARKWAY DRIVE SUITE 520 HANOVER, MARYLAND 21076	

JETT PROPERTY
 PLAT NO. 11854
 LOT 2, F-85-88
 ZONED R-20

JETT PROPERTY
 PLAT NO. 11859
 LOT 5, F-85-30
 ZONED R-20

LEGEND

- AT GRADE INLET PROTECTION
- CONTOUR INTERVAL
- EXISTING CONTOUR
- PROPOSED CONTOUR
- DIRECTION OF DRAINAGE
- WALK OUT BASEMENT
- SPOT ELEVATION
- STABILIZED CONSTRUCTION ENTRANCE
- EROSION CONTROL MATTING
- SUPER SILT FENCE
- SILT FENCE
- LIMIT OF DISTURBED AREA
- EARTH DIKE
- TREE PROTECTION FENCE

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

NAME Bob Padgett DATE 11-28-00

ENGINEER'S CERTIFICATE

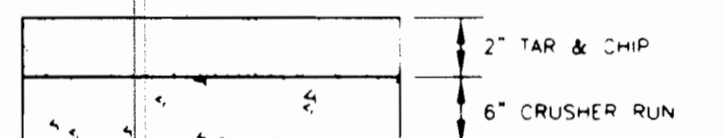
I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

G. NELSON CLARK DATE 6-27-01



USE-IN-COMMON DRIVE PAVING NOTES AND DETAILS FOR LOTS 34-37 AND 41-42

- 18 Driveway(s) shall be provided prior to residential occupancy to insure safe access for fire and emergency vehicles per the following minimum requirements:
 - a) Width- 12 feet (14 feet serving more than one residence).
 - b) Surface-6 inches of compacted crusher run base with tar and chip coating.
 - c) Geometry-Maximum 15% grade, maximum 10% grade change and minimum of 45-foot turning radius.
 - d) Structures (culvert/bridges)-Capable of supporting 25 gross tons (H25 loading).
 - e) Drainage elements-Capable of safely passing 100-year flood with no more than 1 foot depth over driveway surface.
 - f) Structure clearances-minimum 12 feet.
 - g) Maintenance-Sufficient to insure all weather use.



PAVING SECTION FOR USE-IN-COMMON DRIVEWAY NOT TO SCALE

OWNER

THE RYLAND GROUP, INC.
 7250 PARKWAY DRIVE, SUITE 520
 HANOVER, MARYLAND 21076

CLARK · FINEFROCK & SACKETT, INC. ENGINEERS · PLANNERS · SURVEYORS 7135 MINSTREL WAY · COLUMBIA, MD 21045 · (410) 381-7500 BALT · (301) 621-8100 WASH		
DESIGNED DM/JME	SEDIMENT AND EROSION CONTROL PLAN LOTS 1 THRU 44 TREYBURN PHASE 1 SECOND (2nd) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'
DRAWN KQL/RMT		DRAWING 6 of 8
CHECKED DM		JOB NO 00-152
DATE 03-23-01	FOR: THE RYLAND GROUP, INC. 7250 PARKWAY DRIVE SUITE 520 HANOVER, MARYLAND 21076	FILE NO 00-152-948

OPEN SPACE LOT 48
 DEDICATED TO HOWARD COUNTY, MARYLAND
 (DEPARTMENT OF RECREATION AND PARKS)
 (FOREST CONSERVATION EASEMENT D)
 ZONED R-20

NON-BUILDABLE
 PARCEL C
 ZONED R-20

With approval of Inspector the Developer shall remove POST #1 and install storm drain. Builder shall provide sediment protection as shown for Lots 40-42.

APPROVED, DEPARTMENT OF PLANNING & ZONING

Reviewed for HOWARD S.C.D. and meet Technical Requirements
 Signature John M. Miller Date 6/28/01
 U.S. Natural Resources Conservation Service

Signature John M. Miller Date 6/28/01
 Approved

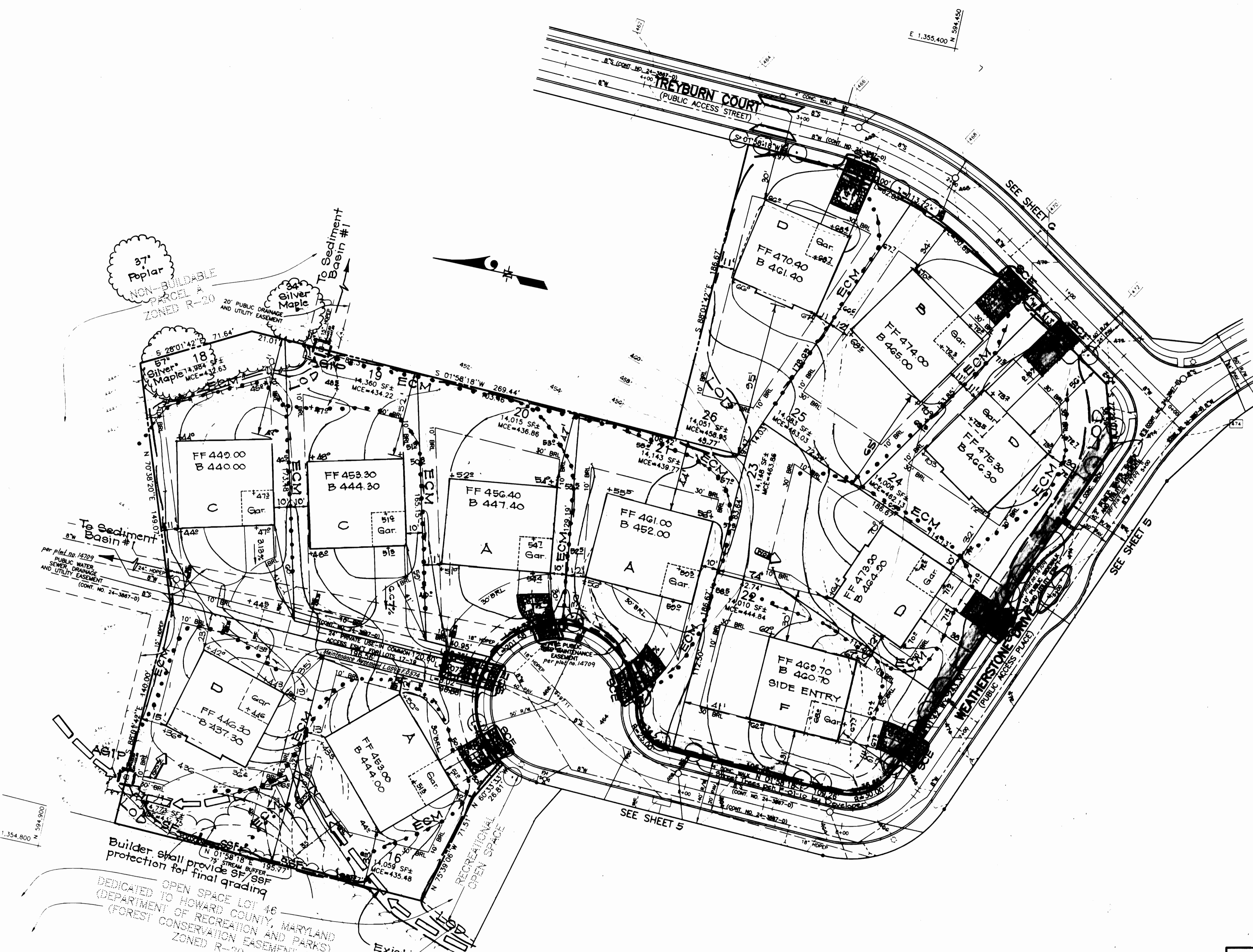
Signature Cindy Hernandez Date 6/28/01
 CHIEF DIVISION OF LAND DEVELOPMENT

Signature John M. Miller Date 6/28/01
 DIRECTOR

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

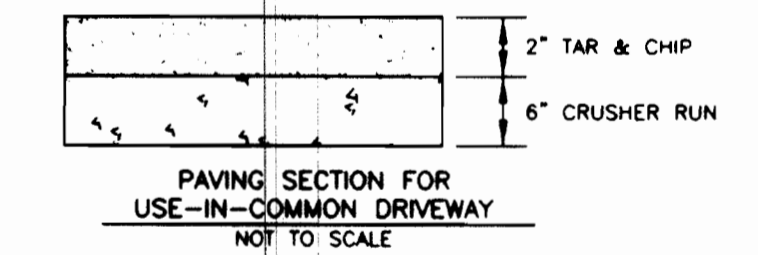
LEGEND

CONTOUR INTERVAL	2 FT.
EXISTING CONTOUR	---
PROPOSED CONTOUR	---
DIRECTION OF DRAINAGE	→
WALK OUT BASEMENT	←
SPOT ELEVATION	+ 57.5
STABILIZED CONSTRUCTION ENTRANCE	→
EROSION CONTROL MATTING	ECM
SUPER SILT FENCE	SSF
SILT FENCE	SF
LIMIT OF DISTURBED AREA	L.O.D.
EARTH DIKE	→
TREE PROTECTION FENCE	→
AT GRADE INLET PROTECTION	AGIP



USE-IN-COMMON DRIVE PAVING NOTES AND DETAILS FOR LOTS 17-19

18. Driveway(s) shall be provided prior to residential occupancy to insure safe access for fire and emergency vehicles per the following minimum requirements:
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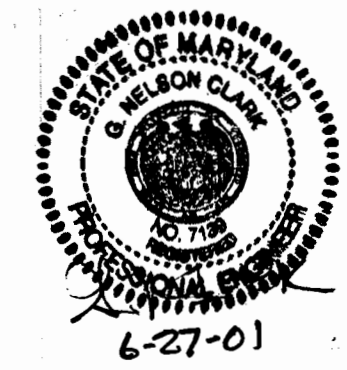
OWNER
THE RYLAND GROUP, INC.
7250 PARKWAY DRIVE SUITE 520
HANOVER, MARYLAND 21076

APPROVED, DEPARTMENT OF PLANNING & ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

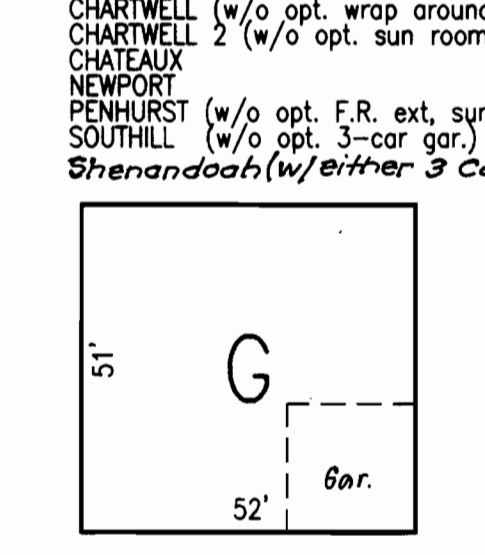
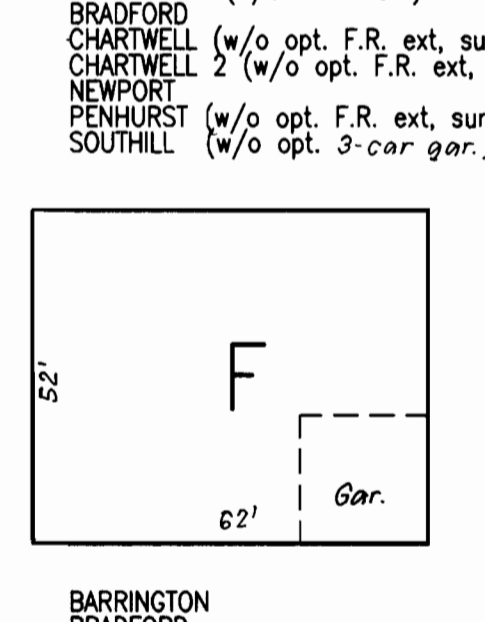
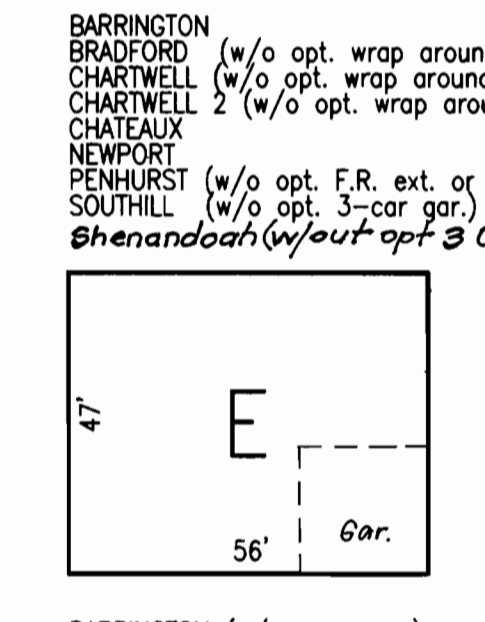
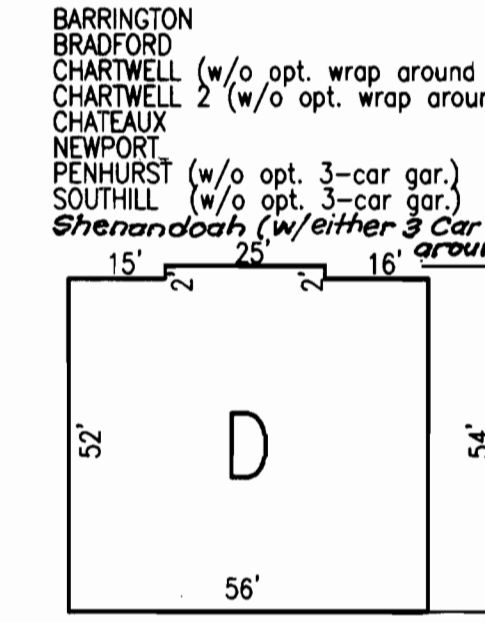
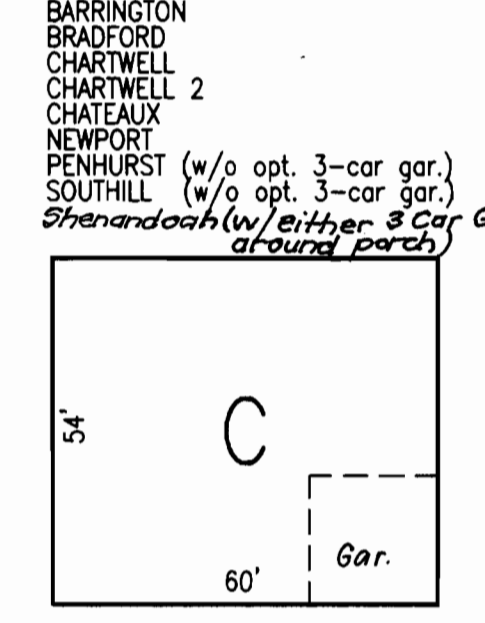
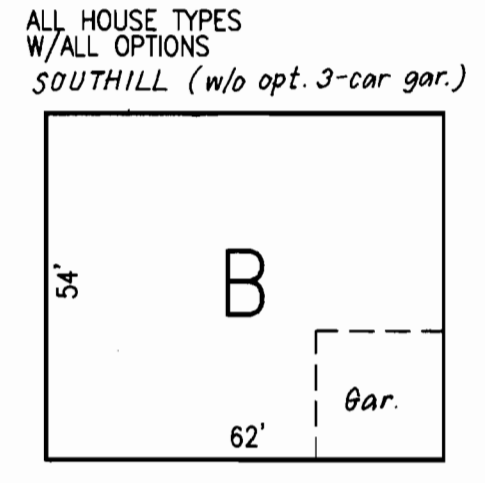
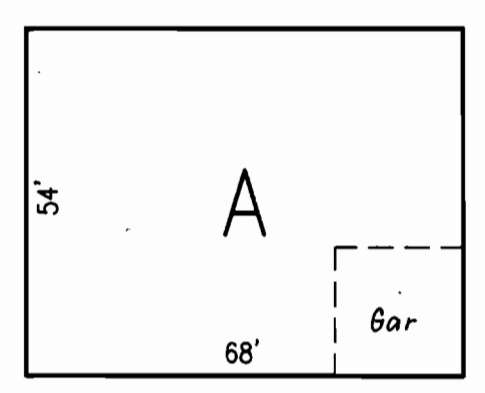
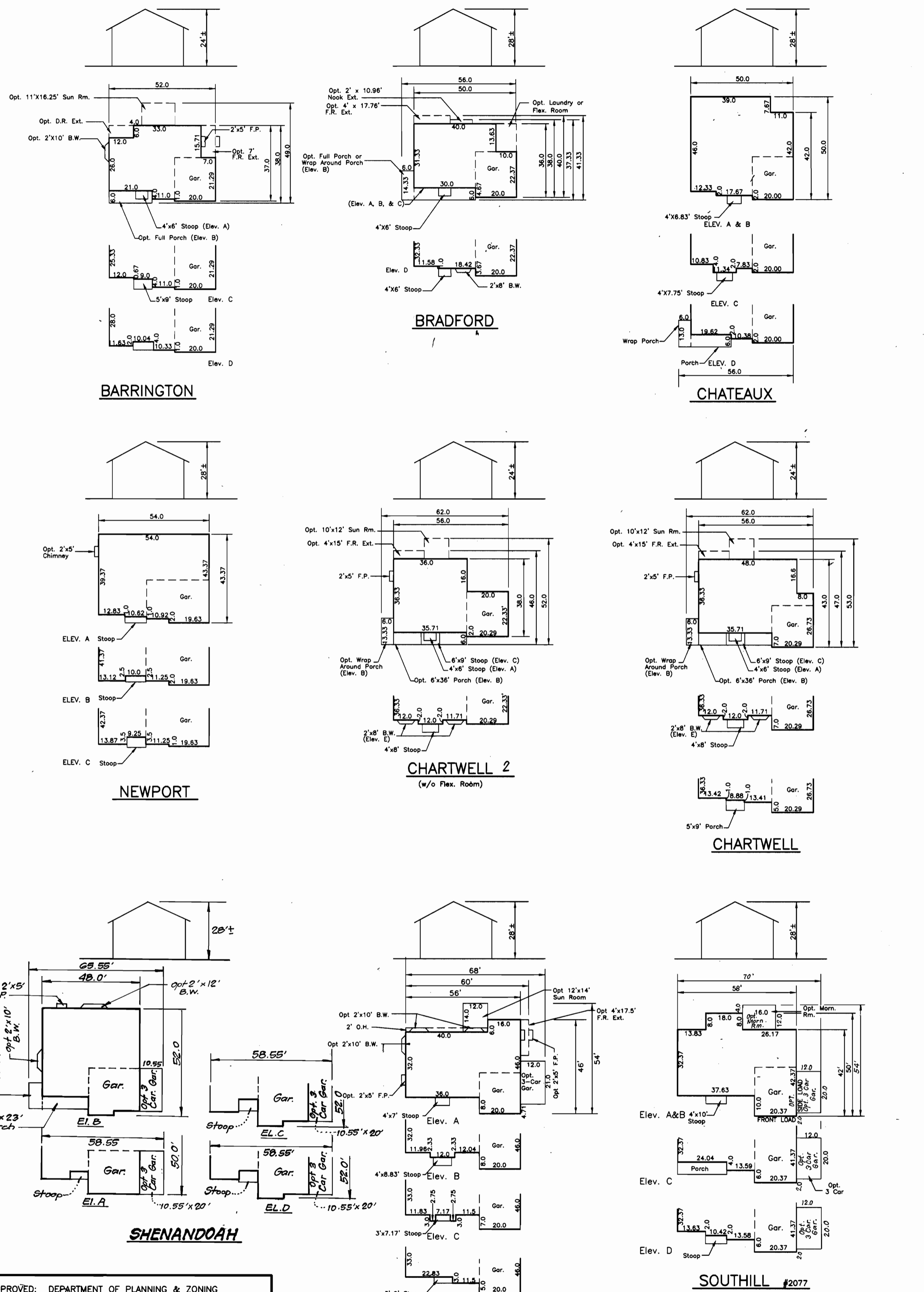
Reviewed for HOWARD S.C.D.
 and meet technical requirements
 U.S. Natural Resources Conservation Service
 Signature: *John M. ...*
 Date: 6/25/01
 Signature: *John ...*
 Date: 6/29/01

DEVELOPER'S/BUILDER'S CERTIFICATE
 "I/we certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."
 Signature: *Bob Padgett*
 Name: Bob Padgett
 Date: 11-28-00

ENGINEER'S CERTIFICATE
 I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature: *G. Nelson Clark*
 Name: G. NELSON CLARK
 Date: 6-27-01



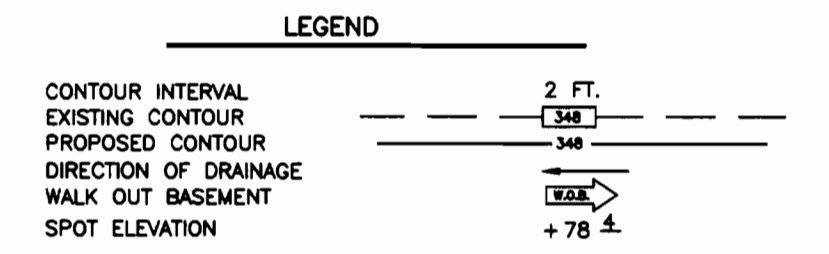
CLARK · FINEFROCK & SACKETT, INC. ENGINEERS · PLANNERS · SURVEYORS		7135 MINSTREL WAY · COLUMBIA, MD 21045 · (410) 381-7500 BALT. · (301) 621-8100 WASH.
DESIGNED DM/JME	SEDIMENT AND EROSION CONTROL PLAN	SCALE 1" = 30'
DRAWN KQL/QMT	LOTS 1 THRU 44	DRAWING 7 of 8
CHECKED DM	TREYBURN	JOB NO. 00-152
DATE 03-23-01	PHASE 1 SECOND (2nd) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	FILE NO. 00-152 S4
FOR: THE RYLAND GROUP, INC. 7250 PARKWAY DRIVE SUITE 520 HANOVER, MARYLAND 21076		



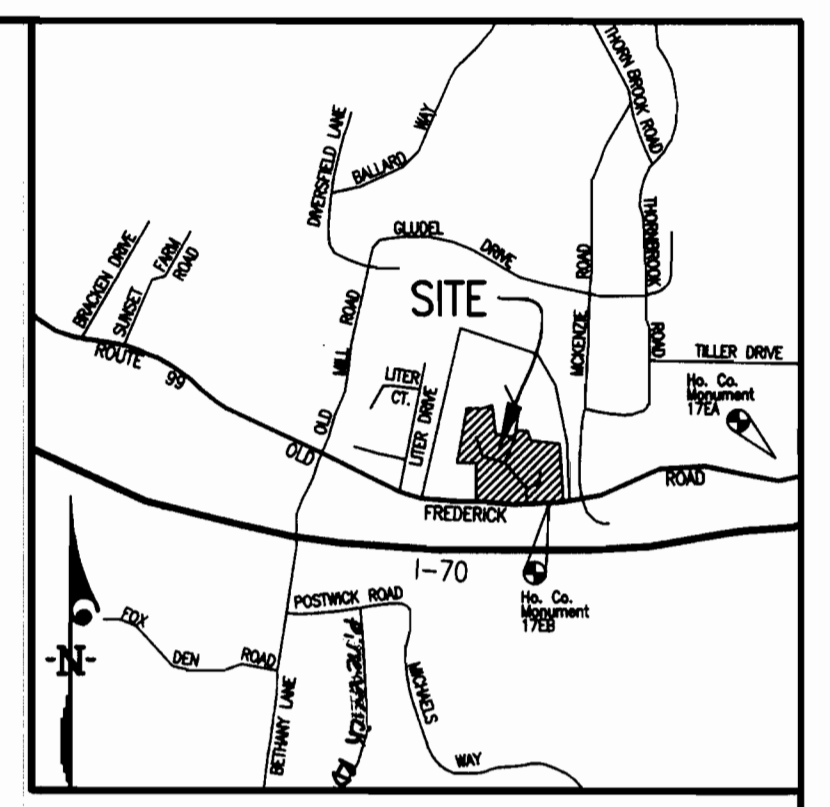
SHEET INDEX	
DESCRIPTION	SHEET NO.
COVER SHEET	1 of 8
SITE DEVELOPMENT PLANS	2 - 4 of 8
SEDIMENT & EROSION CONTROL PLANS	5 - 8 of 8

PLANT SCHEDULE				
KEY	PLANT NAME	SIZE	QUAN.	REMARK
(TC)	TILIA CORDATA 'GREENSPIRE'	2 1/2"-3" CAL.	11	B&B
(PS)	PINUS STROBUS	6'-8" HT.	13	B&B

ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
1	2701 WEATHERSTONE DRIVE
2	2705 WEATHERSTONE DRIVE
3	2709 WEATHERSTONE DRIVE
4	2713 WEATHERSTONE DRIVE
5	2717 WEATHERSTONE DRIVE
6	2721 WEATHERSTONE DRIVE
7	2725 WEATHERSTONE DRIVE
8	2729 WEATHERSTONE DRIVE
9	2733 WEATHERSTONE DRIVE
10	2737 WEATHERSTONE DRIVE
11	2741 WEATHERSTONE DRIVE
12	2745 WEATHERSTONE DRIVE
13	2749 WEATHERSTONE DRIVE
14	2753 WEATHERSTONE DRIVE
15	2757 WEATHERSTONE DRIVE
16	2761 WEATHERSTONE DRIVE
17	2765 WEATHERSTONE DRIVE
18	2769 WEATHERSTONE DRIVE
19	2773 WEATHERSTONE DRIVE
20	2777 WEATHERSTONE DRIVE
21	2781 WEATHERSTONE DRIVE
22	2785 WEATHERSTONE DRIVE
23	2789 WEATHERSTONE DRIVE
24	2793 WEATHERSTONE DRIVE
25	2797 WEATHERSTONE DRIVE
26	2801 WEATHERSTONE DRIVE
27	2805 WEATHERSTONE DRIVE
28	2809 WEATHERSTONE DRIVE
29	2813 WEATHERSTONE DRIVE
30	2817 WEATHERSTONE DRIVE
31	2821 WEATHERSTONE DRIVE
32	2825 WEATHERSTONE DRIVE
33	2829 WEATHERSTONE DRIVE
34	2833 WEATHERSTONE DRIVE
35	2837 WEATHERSTONE DRIVE
36	2841 WEATHERSTONE DRIVE
37	2845 WEATHERSTONE DRIVE
38	2849 WEATHERSTONE DRIVE
39	2853 WEATHERSTONE DRIVE
40	2857 WEATHERSTONE DRIVE
41	2861 WEATHERSTONE DRIVE
42	2865 WEATHERSTONE DRIVE
43	2869 WEATHERSTONE DRIVE
44	2873 WEATHERSTONE DRIVE

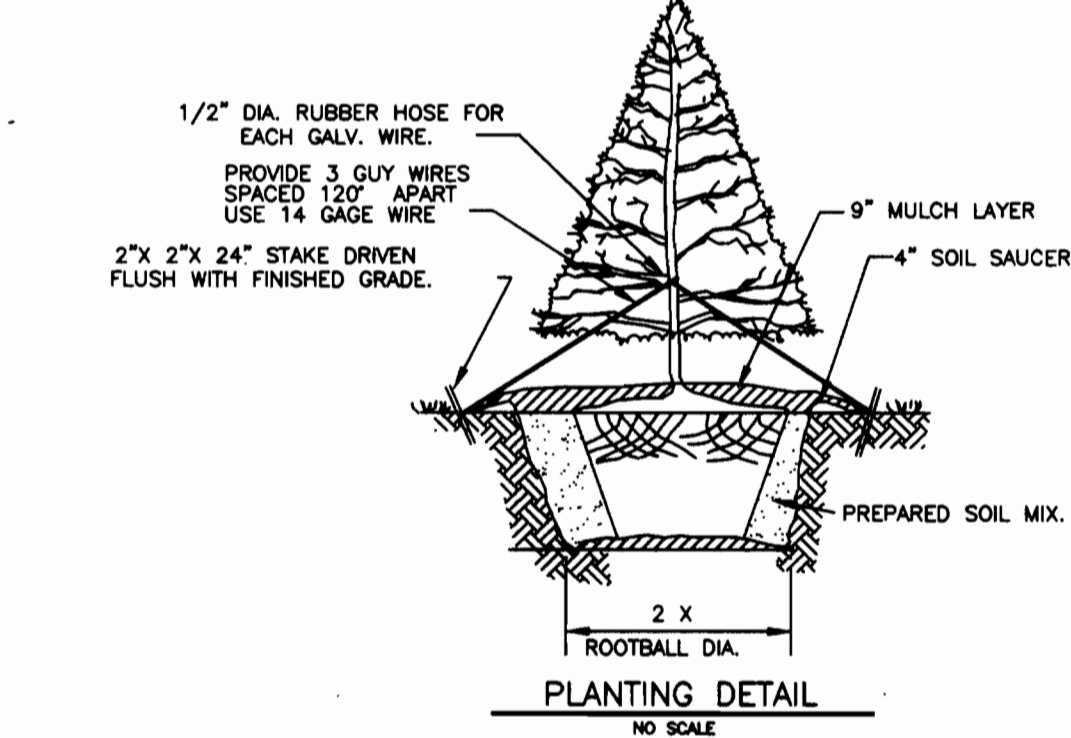
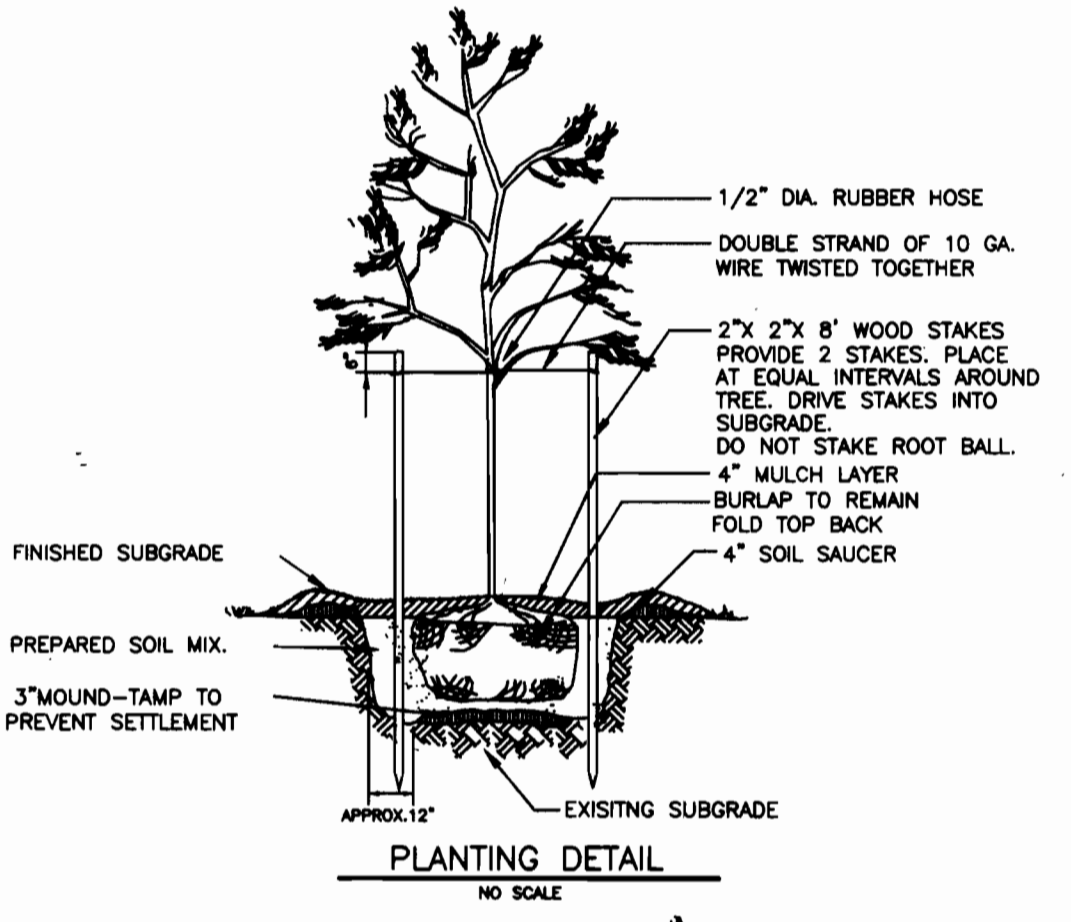


BENCHMARKS:
 Howard County Monument #17EA
 Elevation: 373.36
 Location: N 594,357.7264' E 1,357,519.3741'
 Howard County Monument #17EB
 Elevation: 348.10
 Location: N 593,814.0053' E 1,355,731.8846'



SCHEDULE A PERIMETER LANDSCAPE EDGE						
Category	Adjacent to Roadways	LOT 22	LOT 24	LOT 31	LOT 32	LOT 44
Landscaping Type		B	B	B	B	B
Frontage/Perimeter		92.45'	148.09'	127.36'	115.36'	78.55'
Number of Plants Required						
Shade Trees (1/50)		2	3	3	2	4
Evergreen Trees (1/40)		2	4	3	3	4
Shrubs						
Number of Plants Provided						
Shade Trees		2	4	3	3	4
Evergreen Trees		2	4	3	3	4
Surety Amounts		\$900	\$1500	\$1350	\$1050	\$1800

- NOTES:**
- All plant materials shall be full and heavy, be well formed and symmetrical and conform to the most current AASD specifications.
 - Contractor shall verify location of all underground utilities prior to digging.
 - Final location of plant material may need to vary to meet final field conditions. Trees shall not be planted in the bottom of drainage swales.



- GENERAL NOTES:**
- Subject property is zoned: R-20 per 10-18-93 Comprehensive Zoning Plan.
 - The total area included in this submission is: 14.82 Acres.
 - The total number of lots included in this submission is: 44
 - Improvement to property: Single Family Detached
 - Department of Planning and Zoning reference file numbers: F-01-10-5-99-15, and P-00-05.
 - Utilities shown as existing are taken from approved Water and Sewer plans Contract #24-3867-D and approved Road Construction plans F-00-10.
 - Any damage to county owned rights-of-way shall be corrected at the developer's expense.
 - All roadways are public and existing.
 - The existing topography was taken from Road Construction Plans prepared by Benchmark Engineering, Inc.
 - The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monuments Numbers: 17EA & 17EB
 - The contractor shall notify the Department of Public Works/Division of Construction Inspection at (410) 313-1880 at least twenty-four (24) hours prior to the start of work.
 - The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
 - For driveway entrance details, refer to Ho. Co. Design Manual Volume IV details R.6.03 & R.6.05.
 - In accordance with Section 128 of the Ho. Co. zoning regulations, bay windows, chimneys or exterior stairways not more than 16 feet in width may project not more than 4 feet into any setbacks, porches, or decks, open or enclosed may project not more than 10 feet into the front or rear yard setback.
 - Water quality and quantity treatment for the proposed roadways and lot is being provided by extended detention facility, this facility will be privately owned and maintained by the homeowners association.
 - The 65 dBA noise contour line drawn on this subdivision plan is advisory as required by the Howard County Design Manual, Chapter 5, revised February, 1992 and cannot be considered to exactly locate 65 dBA noise exposure. The 65 dBA noise line was established by Howard County to alert developers, builders and future residents that areas beyond this threshold may exceed generally accepted noise levels established by the U.S. Department of Housing and Urban Development. No portion of a dwelling unit shall be located within the Mitigation 65 dBA noise line on lots 1 and 44.
 - No clearing, grading or construction is permitted within the required wetland, stream buffers or forest conservation areas except for the work associated with the approved construction plans. All forest to remain within the areas shown as "Forest Conservation Easement" meet the minimum requirements of the forest conservation act. The forest conservation obligation was fulfilled under F-01-10.
 - No clearing, grading or construction is permitted within the forest conservation easement. However, forest management practices as defined in the deed of forest conservation are allowed.
 - SHC Elevations shown are at the property line.
 - This plan has been prepared in accordance with the provisions of section 16.124 of the Howard County Code and Landscape Manual. Financial Surety for the trees in schedule A in the amount of \$6600.00 shall be part of the Builders grading permit applications.

SPECIAL NOTES:
 This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-01-10 and/or approved Water and Sewer Plans Contract.

OWNER
 THE RYLAND GROUP, INC.
 7250 PARKWAY DRIVE, SUITE 520
 HANOVER, MARYLAND, 21076

SUBDIVISION NAME		SECTION/AREA		LOTS/PARCELS	
TREYBURN		PHASE 1		1 - 44	
PLAT NO. 14706-14711	BLOCK NO. 9	ZONE R-20	TAX MAP NO. 17	ELECTION DIST. 2nd	CENSUS TRACT 6021
WATER CODE 630-W			SEWER CODE		

CLARK · FINEFROCK & SACKETT, INC.
 ENGINEERS · PLANNERS · SURVEYORS
 7135 MINSTREL WAY · COLUMBIA, MD 21045 · (410) 381-7500 BALT. · (301) 621-8100 WASH.

DESIGNED DM/JME/BT	TREYBURN PHASE 1 SECOND (2nd) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'
DRAWN KQL		DRAWING 1 OF 8
CHECKED DM/BL		JOB NO. 00-152
DATE 3-21-01		FILE NO. 00-152-X

FOR: THE RYLAND GROUP, INC.
 7250 PARKWAY DRIVE, SUITE 520
 HANOVER, MARYLAND 21076

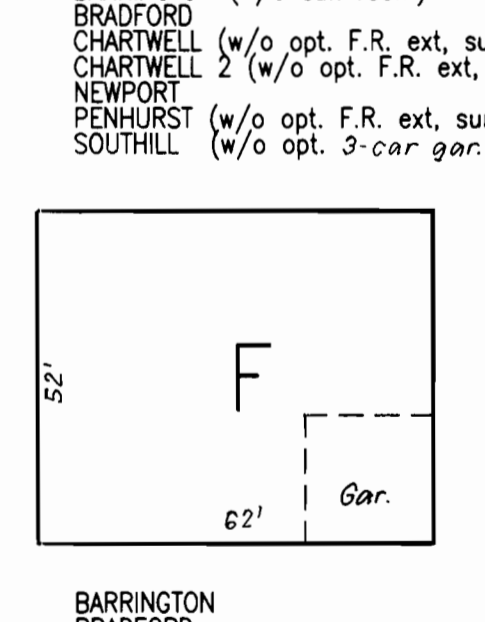
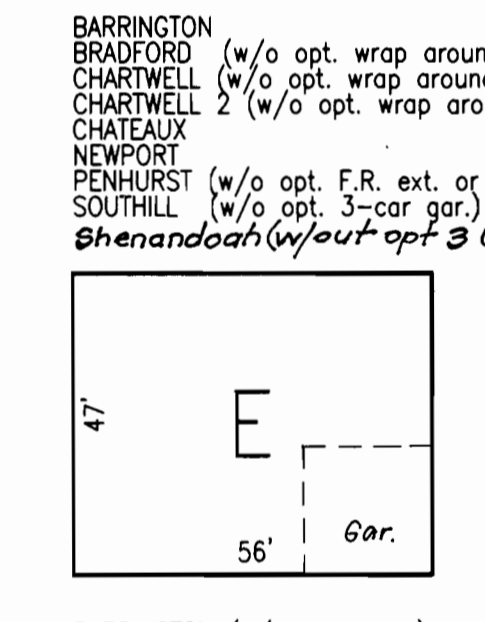
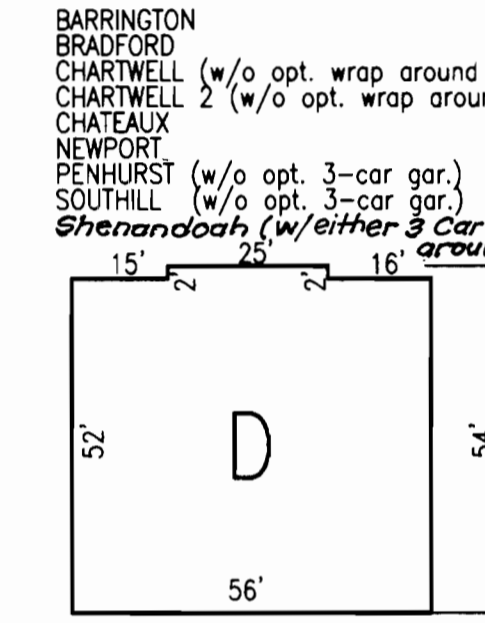
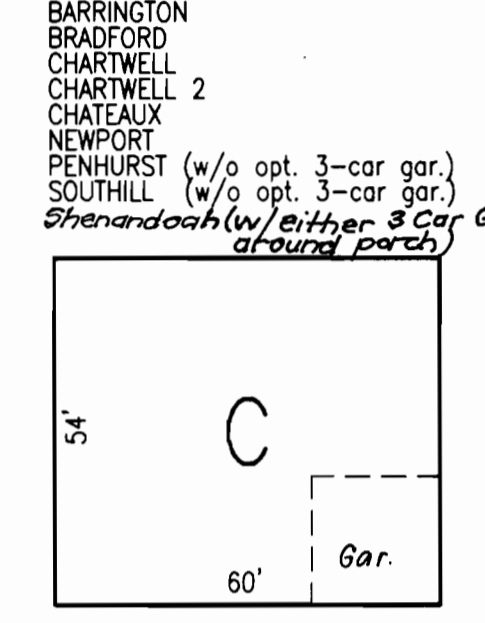
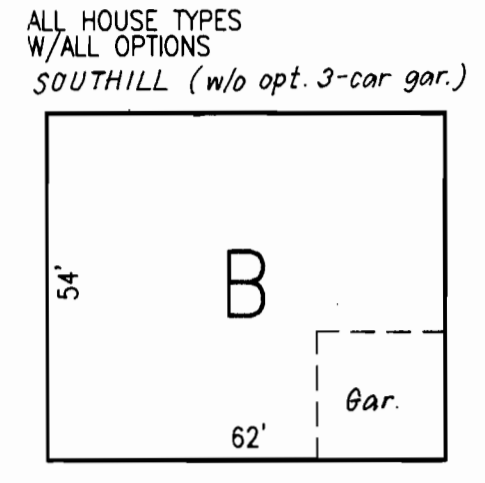
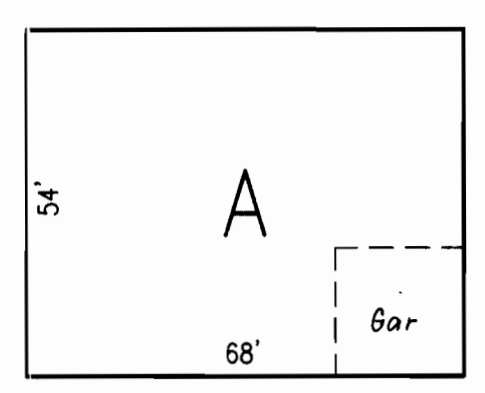
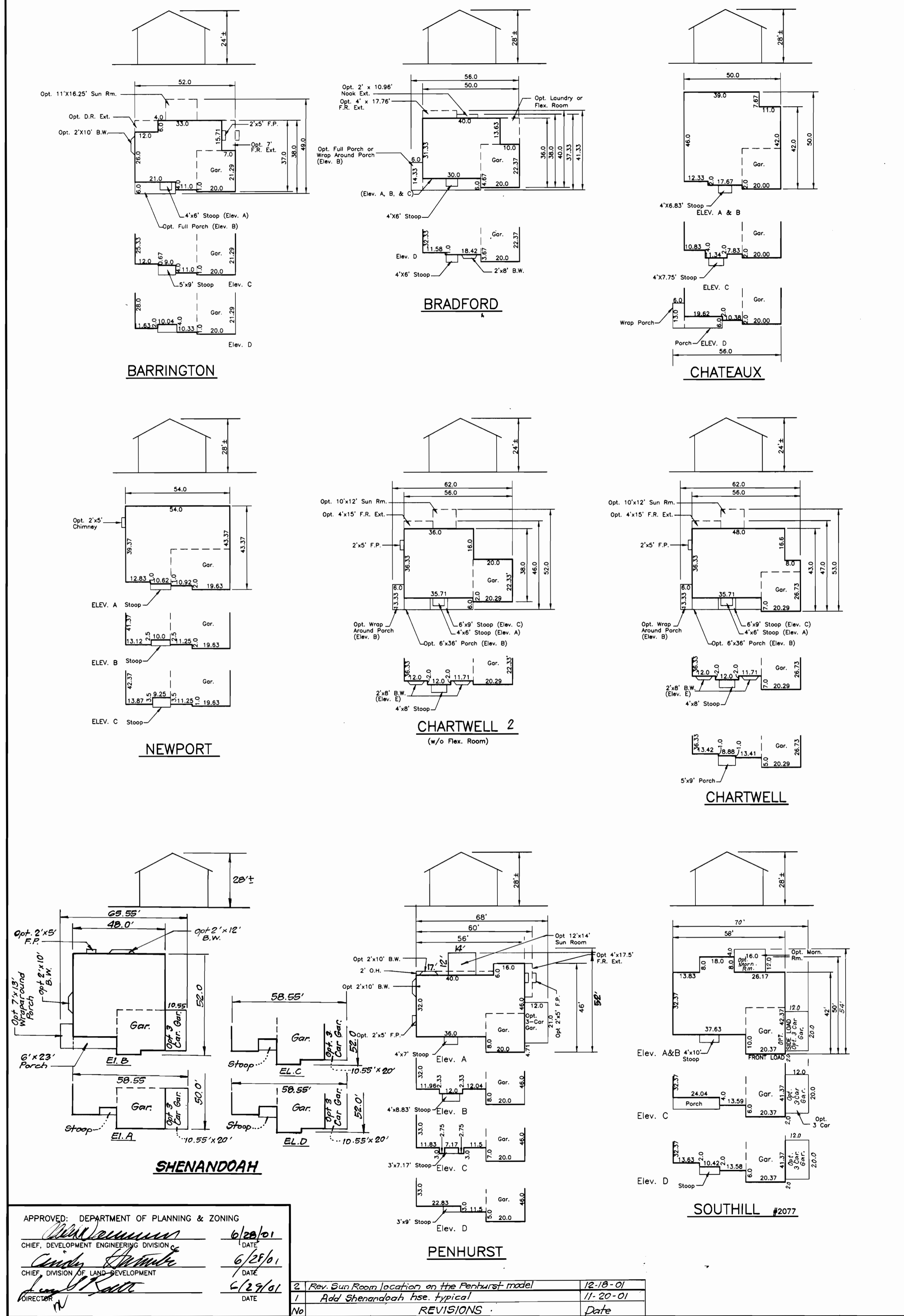
APPROVED: DEPARTMENT OF PLANNING & ZONING
 Chief, Development Engineering Division: 6/28/01
 Chief, Division of Land Development: 6/25/01
 Director: 6/29/01

1	2	3	4
ADD	REVISIONS	DATE	DATE
1	Add Shenandoah hse. typical	11-20-01	
No			

DEVELOPER'S/BUILDERS CERTIFICATE
 I/We certify that the landscaping shown on this plan will be done according to plan, section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certificate of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

NAME: [Signature] DATE: 2-21-01



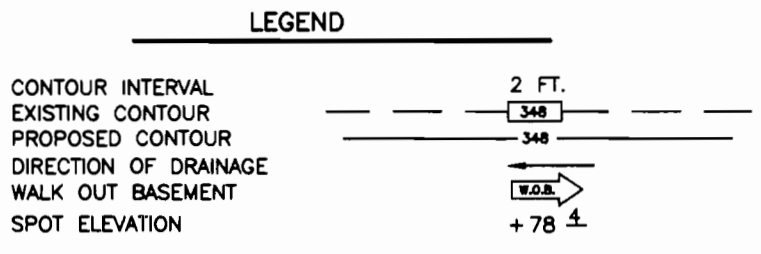


SHEET INDEX

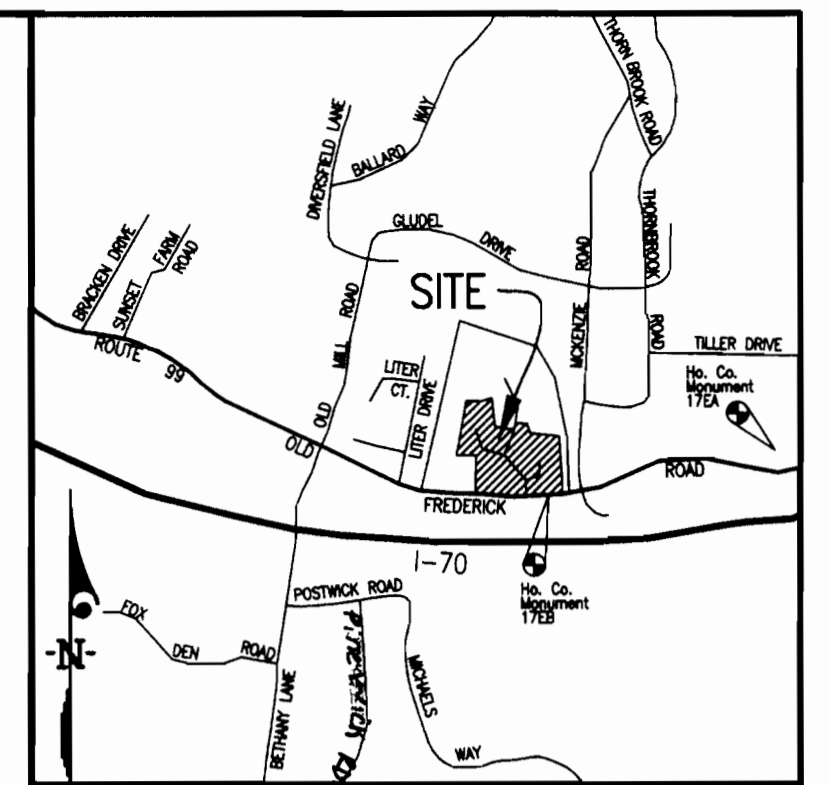
DESCRIPTION	SHEET NO.
COVER SHEET	1 of 8
SITE DEVELOPMENT PLANS	2 - 4 of 8
SEDIMENT & EROSION CONTROL PLANS	5 - 8 of 8

PLANT SCHEDULE

KEY	PLANT NAME	SIZE	QUAN.	REMARK
(TC)	TILIA CORDATA 'GREENSPIRE'	2 1/2"-3" CAL. 6'-8" HT.	11	B&B
(PS)	PINUS STROBUS WHITE PINE	6'-8" HT.	13	B&B



BENCHMARKS:
 Howard County Monument #17EA
 Elevation: 373.36
 Location: N 594,357.7264' E 1,357,519.3741'
 Howard County Monument #17EB
 Elevation: 348.10
 Location: N 593,814.0053' E 1,355,731.8846'



ADDRESS CHART

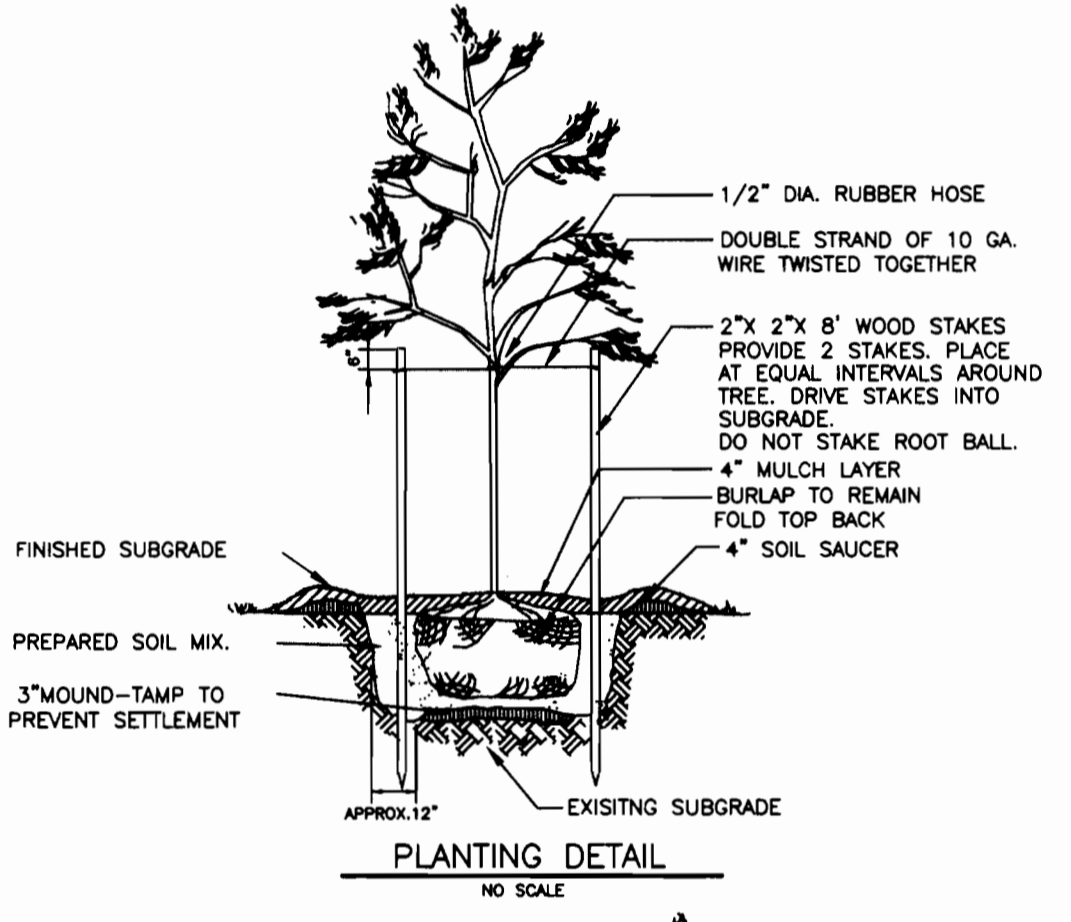
LOT NUMBER	STREET ADDRESS
1	2701 WEATHERSTONE DRIVE
2	2705 WEATHERSTONE DRIVE
3	2709 WEATHERSTONE DRIVE
4	2713 WEATHERSTONE DRIVE
5	2717 WEATHERSTONE DRIVE
6	2721 WEATHERSTONE DRIVE
7	2725 WEATHERSTONE DRIVE
8	2729 WEATHERSTONE DRIVE
9	2733 WEATHERSTONE DRIVE
10	2737 WEATHERSTONE DRIVE
11	2741 WEATHERSTONE DRIVE
12	2745 WEATHERSTONE DRIVE
13	2749 WEATHERSTONE DRIVE
14	2753 WEATHERSTONE DRIVE
15	2757 WEATHERSTONE DRIVE
16	2761 WEATHERSTONE DRIVE
17	2765 WEATHERSTONE DRIVE
18	2769 WEATHERSTONE DRIVE
19	2773 WEATHERSTONE DRIVE
20	2777 WEATHERSTONE DRIVE
21	2781 WEATHERSTONE DRIVE
22	2785 WEATHERSTONE DRIVE
23	2789 WEATHERSTONE DRIVE
24	9701 TREBYURN COURT
25	9705 TREBYURN COURT
26	9709 TREBYURN COURT
27	9713 TREBYURN COURT
28	9717 TREBYURN COURT
29	9721 TREBYURN COURT
30	9725 WEATHERSTONE DRIVE
31	2720 WEATHERSTONE DRIVE
32	9709 HARBIN COURT
33	9717 HARBIN COURT
34	9740 HARBIN COURT
35	9736 HARBIN COURT
36	9732 HARBIN COURT
37	9728 HARBIN COURT
38	9724 HARBIN COURT
39	9720 HARBIN COURT
40	9716 HARBIN COURT
41	9712 HARBIN COURT
42	9708 HARBIN COURT
43	9704 HARBIN COURT
44	9700 HARBIN COURT

SCHEDULE A PERIMETER LANDSCAPE EDGE

Category	Adjacent to Roadways	LOT 22	LOT 24	LOT 31	LOT 32	LOT 44
Landscape Type		B	B	B	B	B
Frontage/Perimeter		22.45	148.09	127.36	115.36	178.55
Number of Plants Required						
Shade Trees	(1/50)	2	3	3	2	4
Evergreen Trees	(1/40)	2	4	3	3	4
Shrubs						
Number of Plants Provided		2	3	3	2	4
Evergreen Trees		2	4	3	3	4
Surety Amounts		\$900	\$1500	\$1350	\$1050	\$1800

NOTES:

- All plant materials shall be full and heavy, be well formed and symmetrical and conform to the most current AAN specifications.
- Contractor shall verify location of all underground utilities prior to digging.
- Final location of plant material may need to vary to meet final field conditions. Trees shall not be planted in the bottom of drainage swales.



- GENERAL NOTES:**
- Subject property is zoned: R-20 per 10-18-93 Comprehensive Zoning Plan.
 - The total area included in this submission is: 14.82 Acres.
 - The total number of lots included in this submission is: 44.
 - Improvement to property: Single Family Detached.
 - Department of Planning and Zoning reference file numbers: F-01-10, S-99-15, and P-00-05.
 - Utilities shown as existing are taken from approved Water and Sewer plans Contract #24-3867-D and approved Road Construction plans F-00-10.
 - Any damage to county owned rights-of-way shall be corrected at the developer's expense.
 - All roadways are public and existing.
 - The existing topography was taken from Road Construction Plans prepared by Benchmark Engineering, Inc.
 - The coordinates shown herein are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monuments Numbers: 17EA & 17EB.
 - The contractor shall notify the Department of Public Works/Division of Construction Inspection at (410) 313-1880 at least twenty-four (24) hours prior to the start of work.
 - The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
 - For driveway entrance details, refer to Ho. Co. Design Manual Volume IV details R.6.03 & R.6.05.
 - In accordance with Section 128 of the Ho. Co. zoning regulations, bay windows, chimneys or exterior stairways not more than 16 feet in width may project not more than 4 feet into any setbacks, porches, or decks, open or enclosed may project not more than 10 feet into the front or rear yard setback.
 - Water quality and quantity treatment for the proposed roadways and lot is being provided by extended detention facility, this facility will be privately owned and maintained by the homeowners association.
 - The 65 dBA noise contour line drawn on this subdivision plan is as required by the Howard County Design Manual, Chapter 5, revised February, 1992 and cannot be considered to exactly locate 65 dBA noise exposure. The 65 dBA noise line was established by Howard County to alert developers, builders and future residents that areas beyond this threshold may exceed generally accepted noise levels established by the U.S. Department of Housing and Urban Development. No portion of a dwelling unit shall be located within the Mitigation 65 dBA noise line on lots 1 and 44.
 - No clearing, grading or construction is permitted within the required wetland, stream buffers or forest conservation areas except for the work associated with the approved construction plans. All forest to remain within the areas shown as "Forest Conservation Easement" meet the minimum requirements of the forest conservation act. The forest conservation obligation was fulfilled under F-01-10.
 - No clearing, grading or construction is permitted within the forest conservation easement. However, forest management practices as defined in the deed of forest conservation are allowed.
 - S.H.C. Elevations shown are at the property line.
 - This plan has been prepared in accordance with the provisions of section 16.124 of the Howard County Code and Landscape Manual. Financial Surety for the trees in schedule A in the amount of \$6600.00 shall be part of the Builders grading permit applications.

SPECIAL NOTES:
 This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-01-10 and/or approved Water and Sewer Plans Contract.

OWNER
 THE RYLAND GROUP, INC.
 7250 PARKWAY DRIVE, SUITE 520
 HANOVER, MARYLAND, 21076

SUBDIVISION NAME	SECTION/AREA	LOTS/PARCELS
TREBYURN	PHASE 1	1 - 44
PLAT NO. 14706-14711	BLOCK NO. 9	ZONE R-20
	TAX MAP NO. 17	ELECTION DIST. 2nd
		CENSUS TRACT 6021
WATER CODE 630-W	SEWER CODE	

CLARK · FINEFROCK & SACKETT, INC.
 ENGINEERS · PLANNERS · SURVEYORS
 7135 MINSTREL WAY · COLUMBIA, MD 21045 · (410) 381-7500 BALT. · (301) 621-8100 WASH.

DESIGNED DM/JME/BT	SITE DEVELOPMENT PLAN LOTS 1 THRU 44	SCALE 1" = 30'
DRAWN KQL		DRAWING 1 OF 8
CHECKED DM/BL	PHASE 1 SECOND (2nd) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	JOB NO. 00-152
DATE 3-21-01		FOR: THE RYLAND GROUP, INC. 7250 PARKWAY DRIVE, SUITE 520 HANOVER, MARYLAND 21076

DEVELOPER'S/BUILDERS CERTIFICATE
 I/We certify that the landscaping shown on this plan will be done according to plan, section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certificate of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

NAME: [Signature] DATE: 2-21-01



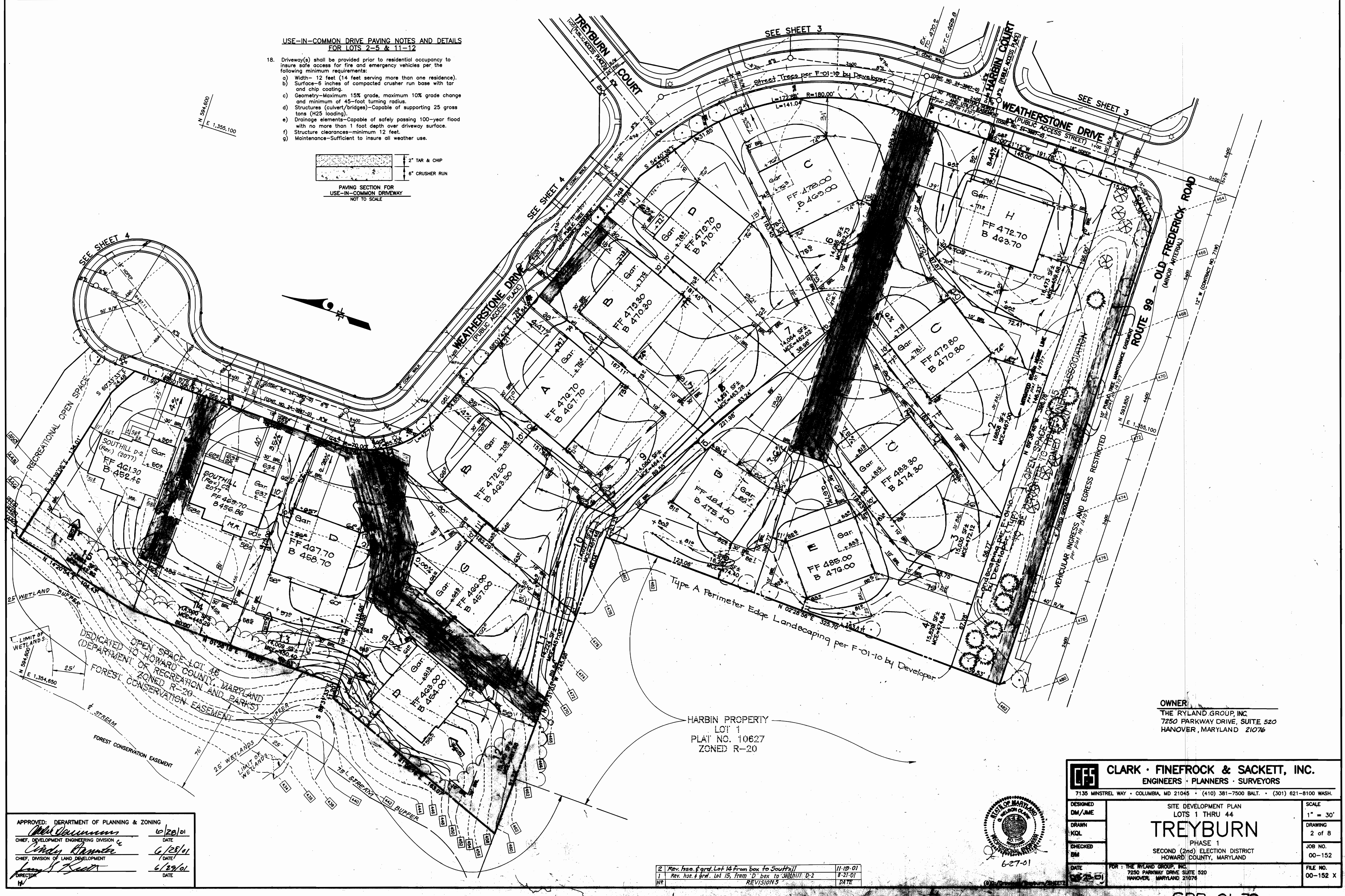
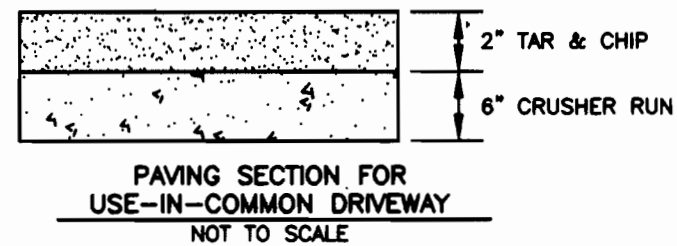
APPROVED: DEPARTMENT OF PLANNING & ZONING
 [Signature] 6/28/01
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 6/25/01
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 6/29/01
 DIRECTOR

REVISIONS

No	REVISIONS	Date
2	Rev. Sun Room location on the Penhurst model	12-10-01
1	Add Shenandoah hse. typical	11-20-01

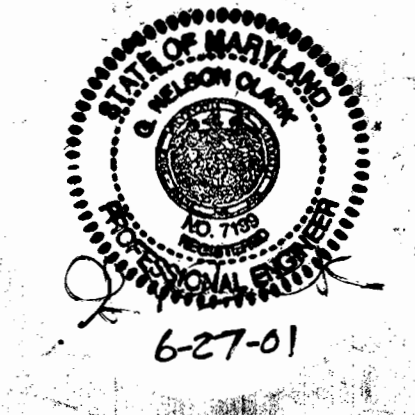
USE-IN-COMMON DRIVE PAVING NOTES AND DETAILS FOR LOTS 2-5 & 11-12

18. Driveway(s) shall be provided prior to residential occupancy to insure safe access for fire and emergency vehicles per the following minimum requirements:
 - a) Width- 12 feet (14 feet serving more than one residence).
 - b) Surface-6 inches of compacted crusher run base with tar and chip coating.
 - c) Geometry-Maximum 15% grade, maximum 10% grade change and minimum of 45-foot turning radius.
 - d) Structures (culvert/bridges)-Capable of supporting 25 gross tons (H25 loading).
 - e) Drainage elements-Capable of safely passing 100-year flood with no more than 1 foot depth over driveway surface.
 - f) Structure clearances-minimum 12 feet.
 - g) Maintenance-Sufficient to insure all weather use.



APPROVED: DEPARTMENT OF PLANNING & ZONING
 [Signature] 6/20/01
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 6/25/01
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 6/29/01
 DIRECTOR

NO.	REVISIONS	DATE
2	Rev. hse. & grad. Lot 14 from box to Southhill	11-19-01
1	Rev. hse. & grad. Lot 15, from 'D' box to Southhill D-2	8-27-01



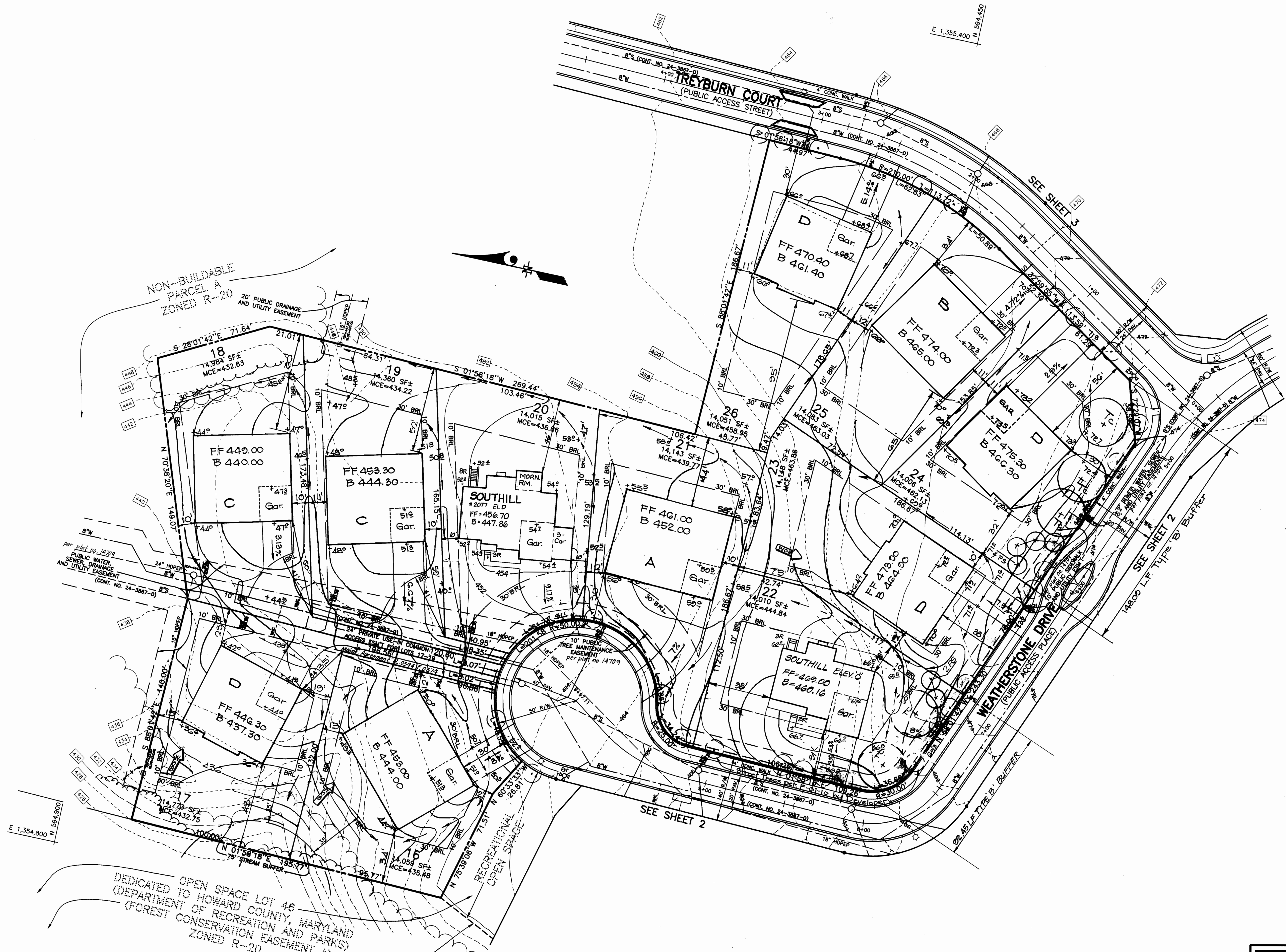
CLARK · FINEFROCK & SACKETT, INC.
 ENGINEERS · PLANNERS · SURVEYORS
 7135 MINSTREL WAY · COLUMBIA, MD 21045 · (410) 381-7500 BALT. · (301) 621-8100 WASH.

DESIGNED DM/JME	SITE DEVELOPMENT PLAN LOTS 1 THRU 44 TREYBURN PHASE 1 SECOND (2nd) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'
DRAWN KQL		DRAWING 2 of 8
CHECKED DM		JOB NO. 00-152
DATE 6/23/01		FILE NO. 00-152 X

FOR: THE RYLAND GROUP, INC.
 7250 PARKWAY DRIVE SUITE 520
 HANOVER, MARYLAND 21076

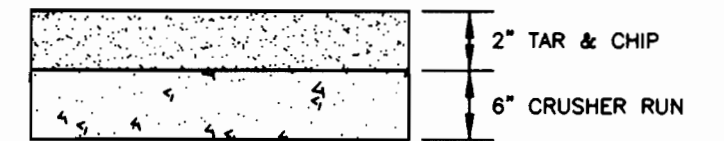
OWNER
 THE RYLAND GROUP, INC.
 7250 PARKWAY DRIVE, SUITE 520
 HANOVER, MARYLAND 21076

SDP-01-70




USE-IN-COMMON DRIVE PAVING NOTES AND DETAILS FOR LOTS 17-19

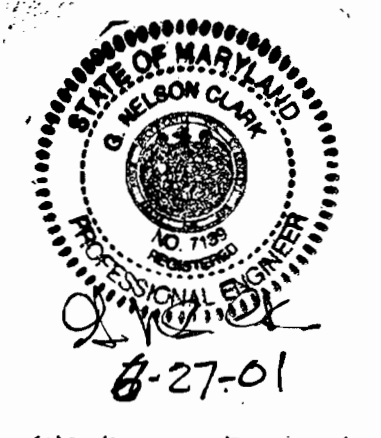
18. Driveway(s) shall be provided prior to residential occupancy to insure safe access for fire and emergency vehicles per the following minimum requirements:
 - a) Width- 12 feet (14 feet serving more than one residence).
 - b) Surface-6 inches of compacted crusher run base with tar and chip coating.
 - c) Geometry-Maximum 15% grade, maximum 10% grade change and minimum of 45-foot turning radius.
 - d) Structures (culvert/bridges)-Capable of supporting 25 gross tons (#25 loading).
 - e) Drainage elements-Capable of safely passing 100-year flood with no more than 1 foot depth over driveway surface.
 - f) Structure clearances-minimum 12 feet.
 - g) Maintenance-Sufficient to insure all weather use.



PAVING SECTION FOR USE-IN-COMMON DRIVEWAY NOT TO SCALE

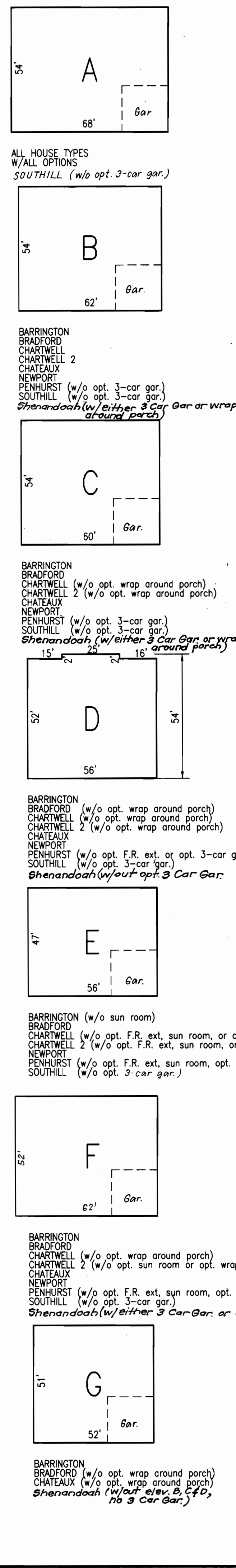
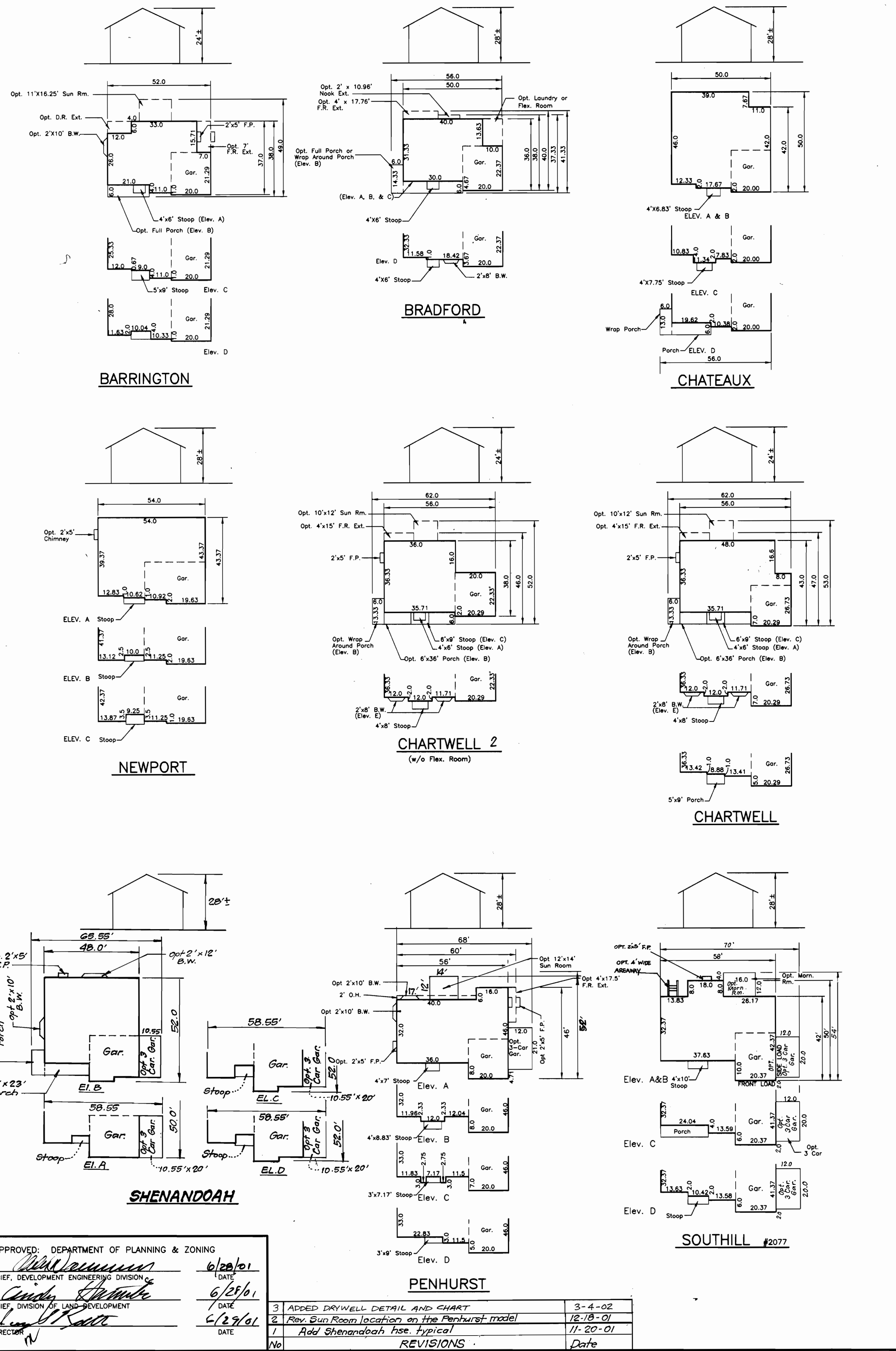
OWNER
 THE RYLAND GROUP, INC.
 7250 PARKWAY DRIVE, SUITE 520
 HANOVER, MARYLAND, 21076

 CLARK · FINEFROCK & SACKETT, INC. ENGINEERS · PLANNERS · SURVEYORS 7135 MINSTREL WAY · COLUMBIA, MD 21045 · (410) 381-7500 BALT. · (301) 621-8100 WASH.		
DESIGNED DM/JME DRAWN KQL CHECKED DM DATE 03-23-01	SITE DEVELOPMENT PLAN LOTS 1 THRU 44 TREYBURN PHASE 1 SECOND (2nd) ELECTION DISTRICT HOWARD COUNTY, MARYLAND FOR: THE RYLAND GROUP, INC. 7250 PARKWAY DRIVE SUITE 520 HANOVER, MARYLAND 21076	SCALE 1" = 30' DRAWING 4 of 8 JOB NO. 00-152 FILE NO. 00-152 X



(9)D:/Drawings/Treyburn/SHEETS3

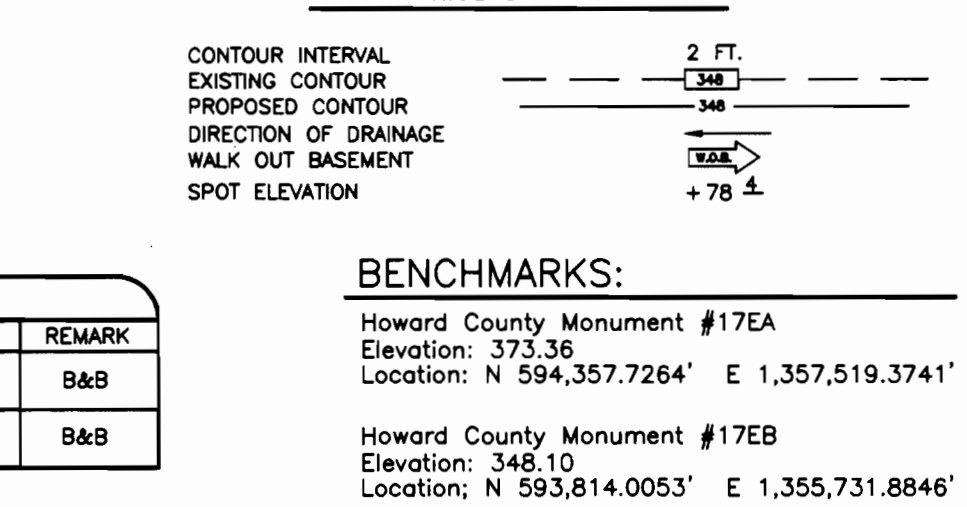
APPROVED: DEPARTMENT OF PLANNING & ZONING		
<i>[Signature]</i>	6/28/01	
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE	
<i>[Signature]</i>	6/28/01	
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE	
<i>[Signature]</i>	6/28/01	
DIRECTOR	DATE	
<i>[Signature]</i>		
REVISION	DATE	
1	Revised Has 8' Ord. lot 20 from 'A' Box to Southill Elev C	8-13-01
2	Revised Has 8' Ord. lot 22 from 'F' Box to Southill Elev C	8-28-01
1/2		



SHEET INDEX	
DESCRIPTION	SHEET NO.
COVER SHEET	1 of 8
SITE DEVELOPMENT PLANS	2 - 4 of 8
SEDIMENT & EROSION CONTROL PLANS	5 - 8 of 8

PLANT SCHEDULE				
KEY	PLANT NAME	SIZE	QUAN.	REMARK
(TC)	TILIA CORDATA 'GREENSPIRE'	2 1/2" - 3" CAL.	11	B&B
(PS)	PINUS STROBUS	6" - 8" HT.	13	B&B

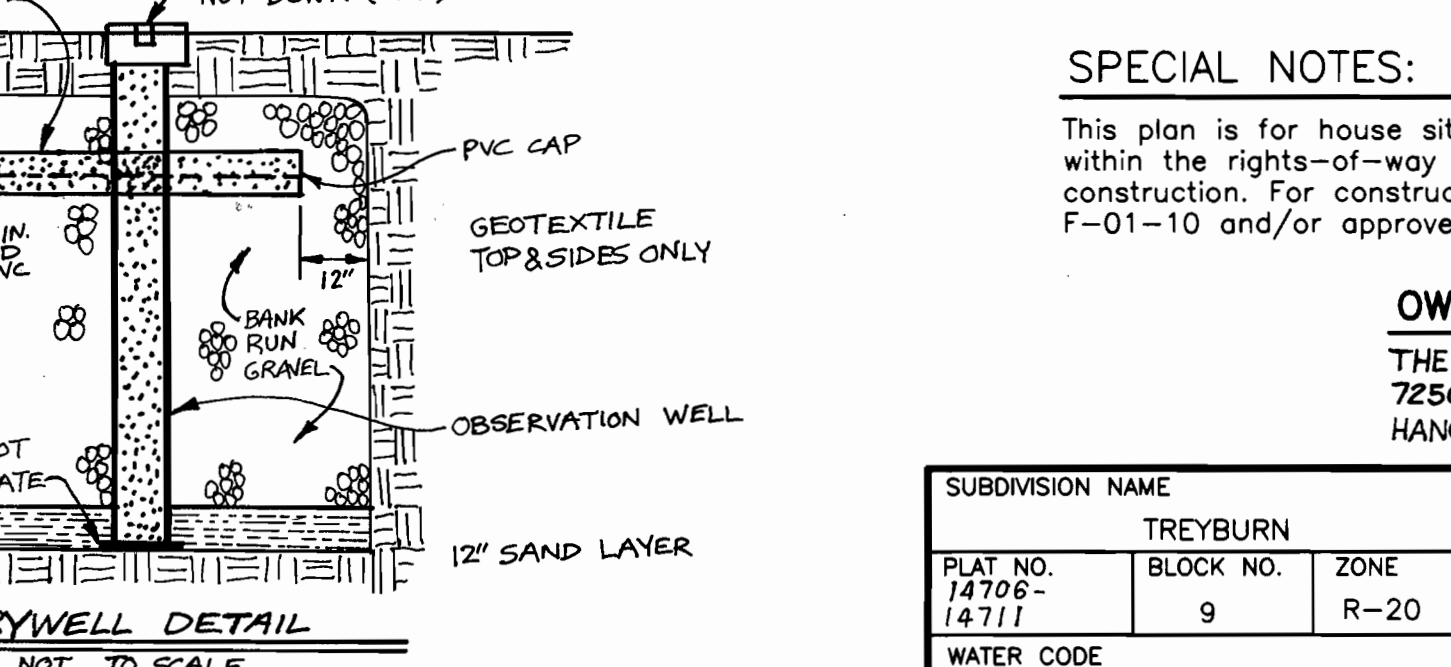
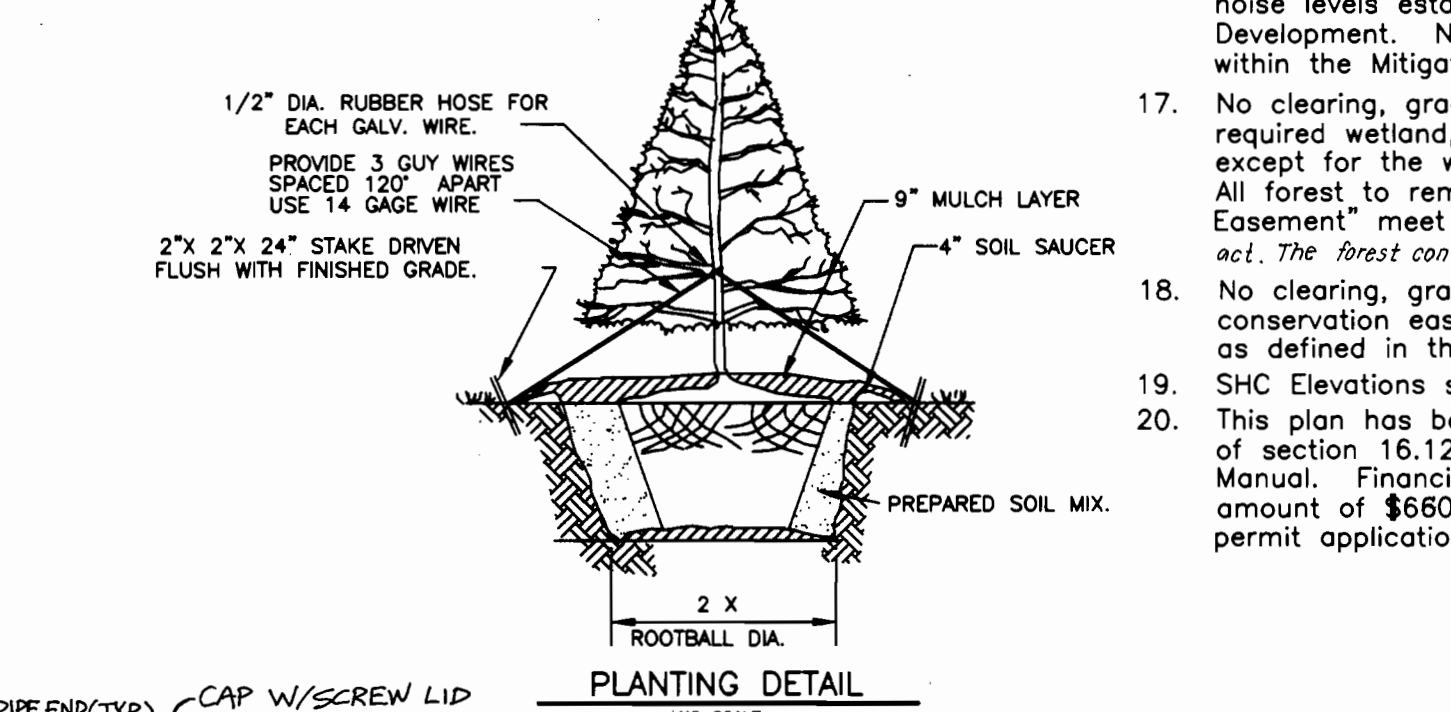
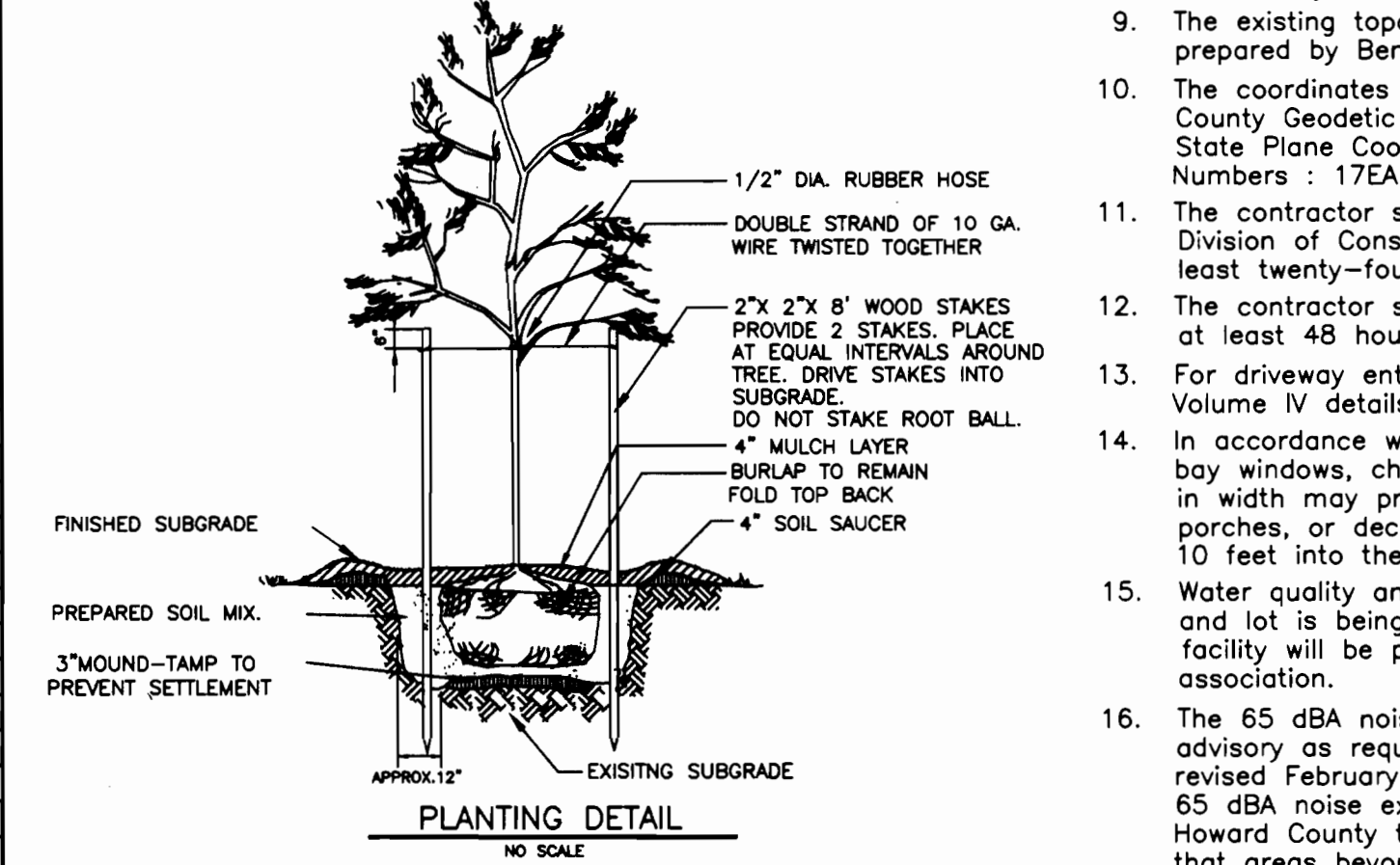
ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
1	2701 WEATHERSTONE DRIVE
2	2705 WEATHERSTONE DRIVE
3	2709 WEATHERSTONE DRIVE
4	2713 WEATHERSTONE DRIVE
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7	2725 WEATHERSTONE DRIVE
8	2729 WEATHERSTONE DRIVE
9	2733 WEATHERSTONE DRIVE
10	2737 WEATHERSTONE DRIVE
11	2741 WEATHERSTONE DRIVE
12	2745 WEATHERSTONE DRIVE
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25	2797 WEATHERSTONE DRIVE
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44	2873 WEATHERSTONE DRIVE



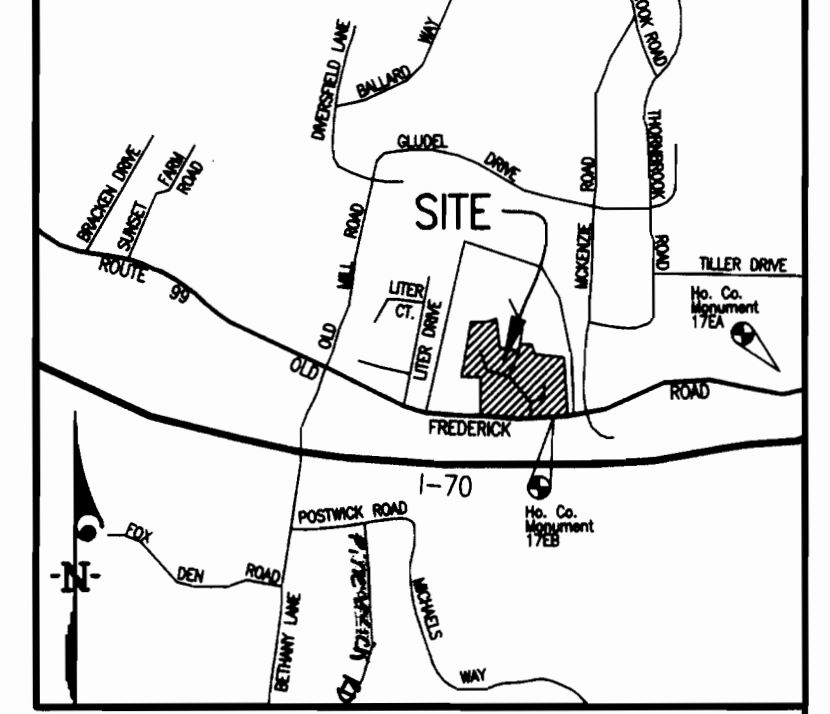
SCHEDULE A PERIMETER LANDSCAPE EDGE						
Category	Adjacent to Roadways	LOT 22	LOT 24	LOT 31	LOT 32	LOT 44
Landscape Type		B	B	B	B	B
Frontage/Perimeter		92.45	148.09	127.36	115.36	178.55
Number of Plants Required						
Shade Trees	(1/50)	2	3	3	2	4
Evergreen Trees	(1/40)	2	4	3	3	4
Strubs						
Number of Plants Provided						
Shade Trees		2	3	3	2	4
Evergreen Trees		2	4	3	3	4
Surety Amounts		\$900	\$1500	\$1350	\$1050	\$1800

GENERAL NOTES:

- Subject property is zoned: R-20 per 10-18-93 Comprehensive Zoning Plan.
- The total area included in this submission is: 14.82 Acres.
- The total number of lots included in this submission is: 44.
- Improvement to property: Single Family Detached.
- Department of Planning and Zoning reference file numbers: F-01-10-S-99-15, and P-00-05.
- Utilities shown as existing are taken from approved Water and Sewer plans Contract #24-3867-D and approved Road Construction plans F-00-10.
- Any damage to county owned rights-of-way shall be corrected at the developer's expense.
- All roadways are public and existing.
- The existing topography was taken from Road Construction Plans prepared by Benchmark Engineering, Inc.
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- For driveway entrance details, refer to Ho. Co. Design Manual Volume IV details R.6.03 & R.6.05.
- In accordance with Section 128 of the Ho. Co. zoning regulations, bay windows, chimneys or exterior stairways not more than 16 feet in width may project not more than 4 feet into any setbacks, porches, or decks, open or enclosed may project not more than 10 feet into the front or rear yard setback.
- Water quality and quantity treatment for the proposed roadways and lot is being provided by extended detention facility, this facility will be privately owned and maintained by the homeowners association.
- The 65 dBA noise contour line drawn on this subdivision plan is advisory as required by the Howard County Design Manual, Chapter 5, revised February, 1992 and cannot be considered to exactly locate 65 dBA noise exposure. The 65 dBA noise line was established by Howard County to alert developers, builders and future residents that areas beyond this threshold may exceed generally accepted noise levels established by the U.S. Department of Housing and Urban Development. No portion of a dwelling unit shall be located within the Mitigation 65 dBA noise line on lots 1 and 44.
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DRYWELL CHART				
LOT NO.	VOLUME REQUIRED	VOLUME PROVIDED	NO. OF WELLS	SIZE
12	250 CF	250 CF	2	5'x5'x5'
15	250 CF	250 CF	2	5'x5'x5'
16	125 CF	125 CF	1	5'x5'x5'



VICINITY MAP
Scale: 1"=2000'

SPECIAL NOTES:

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-01-10 and/or approved Water and Sewer Plans Contract.

OWNER
THE RYLAND GROUP, INC.
7250 PARKWAY DRIVE, SUITE 520
HANOVER, MARYLAND 21076

SUBDIVISION NAME	SECTION/AREA	LOTS/PARCELS
TREYBURN	PHASE 1	1 - 44

PLAT NO.	BLOCK NO.	ZONE	TAX MAP NO.	ELECTION DIST.	CENSUS TRACT
1476-14771	9	R-20	17	2nd	6021

WATER CODE: 630-W
SEWER CODE:

APPROVED: DEPARTMENT OF PLANNING & ZONING
 [Signature]
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature]
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature]

NO.	REVISIONS	DATE
3	ADDED DRYWELL DETAIL AND CHART	3-4-02
2	REV. Sun Room location on the Penhurst model	12-18-01
1	Add Shenandoah hse. typical	11-20-01

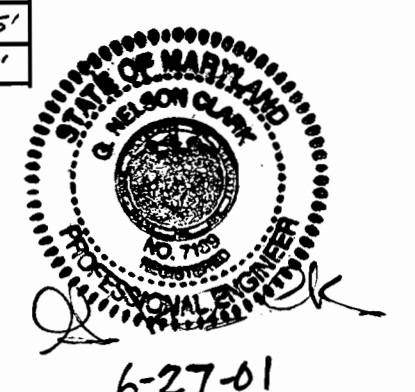
PENHURST

3'x9' Stoop Elev. D

DEVELOPER'S/BUILDERS CERTIFICATE

I/We certify that the landscaping shown on this plan will be done according to plan, section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certificate of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

[Signature] 2-21-01



CLARK · FINEFROCK & SACKETT, INC.
 ENGINEERS · PLANNERS · SURVEYORS
 7135 MINSTREL WAY · COLUMBIA, MD 21045 · (410) 381-7500 BALT. · (301) 621-8100 WASH.

SITE DEVELOPMENT PLAN
 LOTS 1 THRU 44
TREYBURN
 PHASE 1
 SECOND (2nd) ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

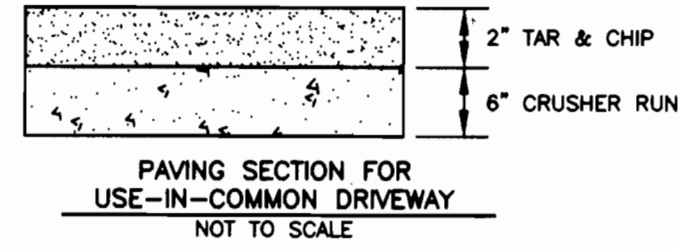
SCALE: 1" = 30'
 DRAWING: 1 OF 8
 JOB NO.: 00-152
 FILE NO.: 00-152-X

DESIGNED: DM/JME/BT
 DRAWN: KQWL
 CHECKED: DM/BL
 DATE: 3-21-01

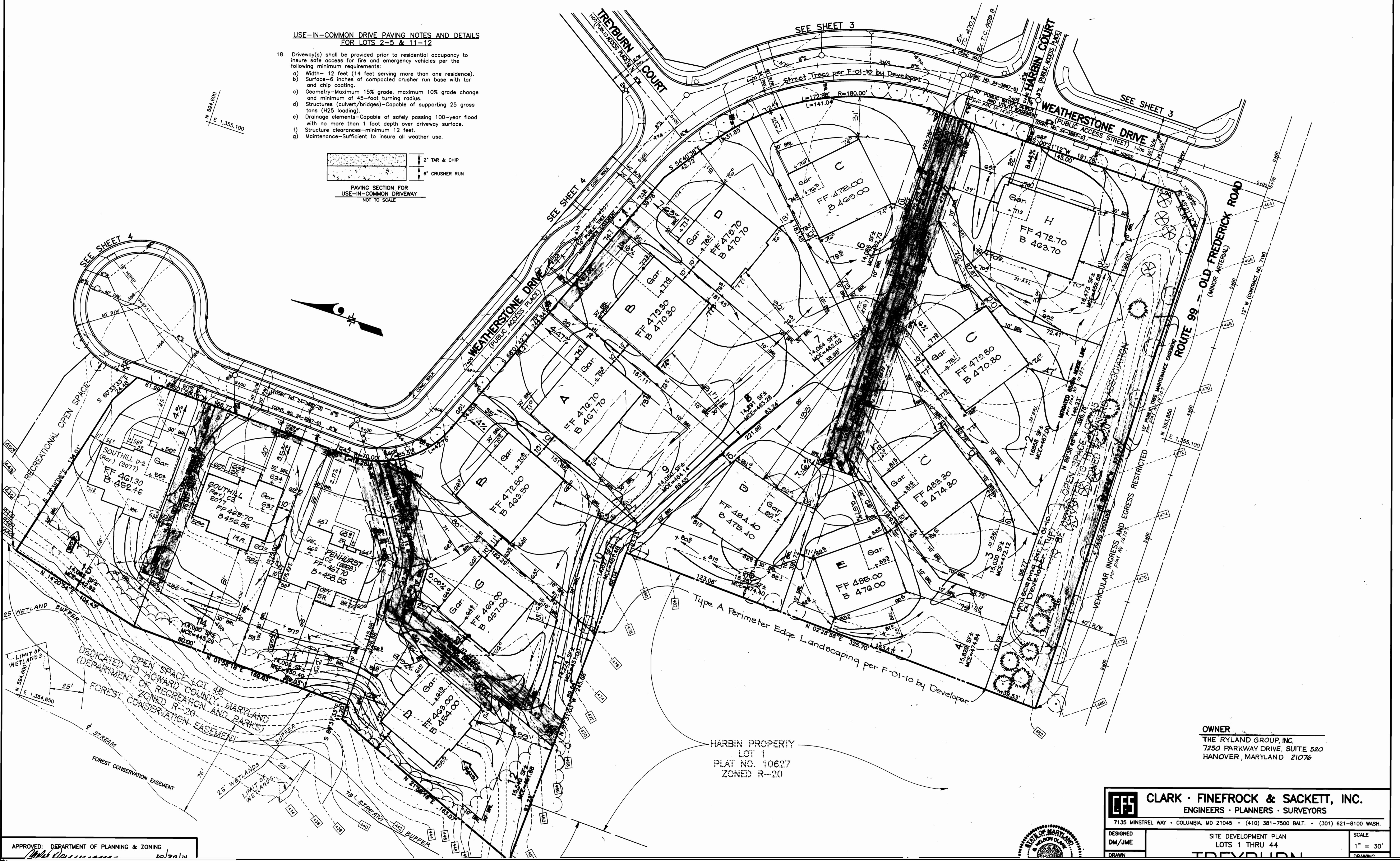
FOR: THE RYLAND GROUP, INC.
 7250 PARKWAY DRIVE, SUITE 520
 HANOVER, MARYLAND 21076

**USE-IN-COMMON DRIVE PAVING NOTES AND DETAILS
FOR LOTS 2-5 & 11-12**

18. Driveway(s) shall be provided prior to residential occupancy to insure safe access for fire and emergency vehicles per the following minimum requirements:
 - a) Width- 12 feet (14 feet serving more than one residence).
 - b) Surface- 6 inches of compacted crusher run base with tar and chip coating.
 - c) Geometry- Maximum 15% grade, maximum 10% grade change and minimum of 45-foot turning radius.
 - d) Structures (culvert/bridges)- Capable of supporting 25 gross tons (H25 loading).
 - e) Drainage elements- Capable of safely passing 100-year flood with no more than 1 foot depth over driveway surface.
 - f) Structure clearances- minimum 12 feet.
 - g) Maintenance- Sufficient to insure all weather use.



N 594.630
E 1,355.100



HARBIN PROPERTY
LOT 1
PLAT NO. 10627
ZONED R-20

OWNER
THE RYLAND GROUP, INC.
7250 PARKWAY DRIVE, SUITE 520
HANOVER, MARYLAND 21076

CLARK · FINEFROCK & SACKETT, INC.		ENGINEERS · PLANNERS · SURVEYORS	
7135 MINSTREL WAY · COLUMBIA, MD 21045 · (410) 381-7500 BALT. · (301) 621-8100 WASH.			
DESIGNED DM/JME	SITE DEVELOPMENT PLAN LOTS 1 THRU 44		SCALE 1" = 30'
DRAWN TREVBLIN			DRAWING

APPROVED: DEPARTMENT OF PLANNING & ZONING
12/20/14

NR.	Revisions	Date
1	Rev. hse. & grd. lot 33, from 'A' Box to Southhill 2077 (Rev.)	6-18-01
2	Rev. hse. & grd. lot 39, from 'A' Box to Southhill 2077	6-18-01
3	Rev. hse. & grd. lot 38, from 'G' Box to Penhurst 8888 C-2	7-24-01
4	Rev. hse. & grd. lot 35 from 'E' Box to Southhill	12-17-01

JETI PROPERTY
 PLAT NO. 11854
 LOT 2, F-95-86
 ZONED R-20

JETI PROPERTY
 PLAT NO. 11853
 LOT 5, F-95-30
 ZONED R-20

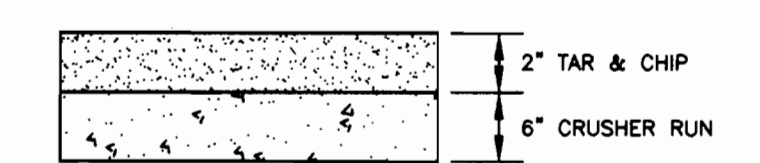
OPEN SPACE LOT 48
 DEDICATED TO HOWARD COUNTY, MARYLAND
 (DEPARTMENT OF RECREATION AND PARKS)
 (FOREST CONSERVATION EASEMENT D)
 ZONED R-20

NON-BUILDABLE
 PARCEL C
 ZONED R-20



USE-IN-COMMON DRIVE PAVING NOTES AND DETAILS FOR LOTS 34-37 AND 41-42

18. Driveway(s) shall be provided prior to residential occupancy to insure safe access for fire and emergency vehicles per the following minimum requirements:
 - a) Width-12 feet (14 feet serving more than one residence).
 - b) Surface-6 inches of compacted crusher run base with tar and chip coating.
 - c) Geometry-Maximum 15% grade, maximum 10% grade change and minimum of 45-foot turning radius.
 - d) Structures (culvert/bridges)-Capable of supporting 25 gross tons (H25 loading).
 - e) Drainage elements-Capable of safely passing 100-year flood with no more than 1 foot depth over driveway surface.
 - f) Structure clearances-minimum 12 feet.
 - g) Maintenance-Sufficient to insure all weather use.

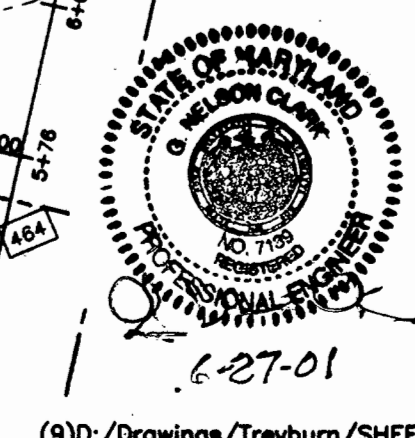


PAVING SECTION FOR USE-IN-COMMON DRIVEWAY NOT TO SCALE

OWNER
 THE RYLAND GROUP, INC.
 7250 PARKWAY DRIVE, SUITE 520
 HANOVER, MARYLAND 21076

APPROVED: DEPARTMENT OF PLANNING & ZONING
 [Signature] 6/28/01
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 6/28/01
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 6/28/01
 DIRECTOR

CLARK · FINEFROCK & SACKETT, INC. ENGINEERS · PLANNERS · SURVEYORS 7135 MINSTREL WAY · COLUMBIA, MD 21045 · (410) 381-7500 BALT. · (301) 621-8100 WASH.	
DESIGNED DM/JME/DMT DRAWN KQL CHECKED DM DATE 6-28-01	SCALE 1" = 30' DRAWING 3 of 8 JOB NO. 00-152 FILE NO. 00-152 X
SITE DEVELOPMENT PLAN LOTS 1 THRU 44 TREYBURN PHASE 1 SECOND (2nd) ELECTION DISTRICT HOWARD COUNTY, MARYLAND FOR: THE RYLAND GROUP, INC. 7250 PARKWAY DRIVE SUITE 520 HANOVER, MARYLAND 21076	



CLARK · FINEFROCK & SACKETT, INC.
 ENGINEERS · PLANNERS · SURVEYORS

7125 MINSTER WAY · COLUMBIA, MD 21046 · (410) 281-7500 BRLT. · (301) 821-8100 WASH.

DATE: 02-23-01
 FOR: THE RYLAND GROUP, INC.
 1750 PARKWAY DRIVE, SUITE 820
 HANOVER, MARYLAND 21076

FILE NO. 00-125 X

REVISION

1	REVISED THE ROAD LOT 25 FROM 'A' BOX TO SOUTHILL ELEV. C. 2.02
2	REVISED THE ROAD LOT 25 FROM 'A' BOX TO SOUTHILL ELEV. D. 5.13
3	SEE CHART. REV. AND ON LOT 17, REV. CHANGE TO ELEV. TO MATCH
4	APP. PAYMENT TO LOT 17, ROAD PRELIMINARY DETAIL TO SDR; SDR; SDR; SDR
5	REV. H&E & G&P ON LOT 16 FROM GEN. N° BOX TO SOUTHILL (REV. ELEV. 5)

DATE: 02/23/01

CHIEF, DIVISION OF LAND DEVELOPMENT

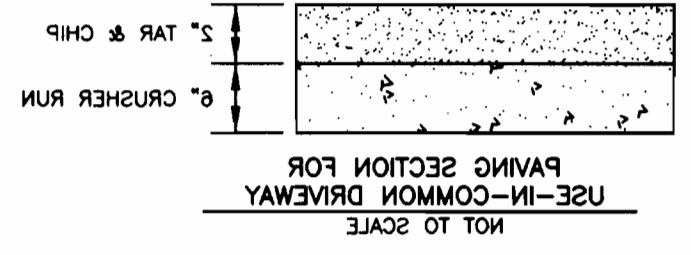
CHIEF, DEVELOPMENT ENGINEERING DIVISION

APPROVED: DEPARTMENT OF PLANNING & ZONING

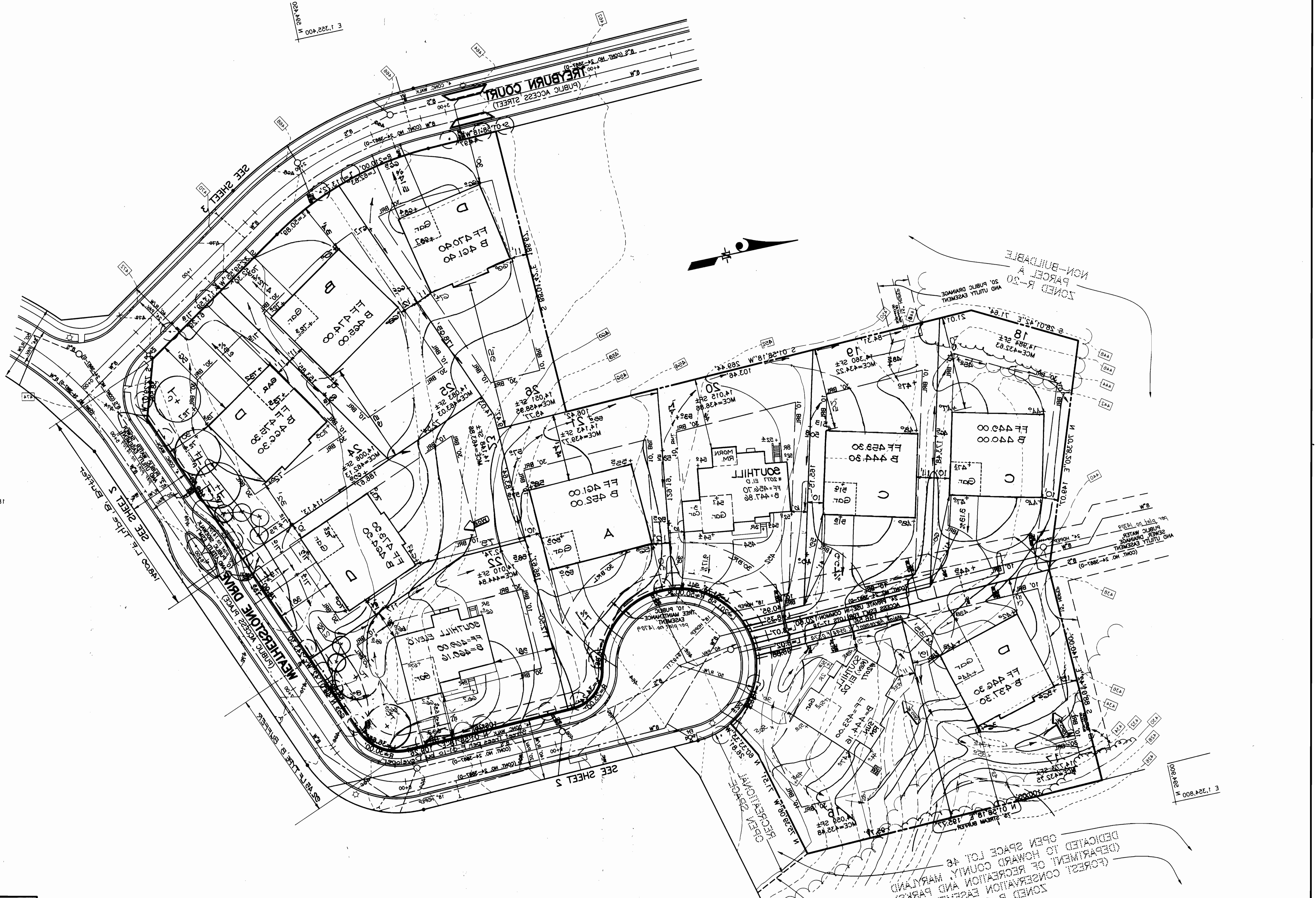


(e) Drawings/Treyburn/SHEETS

OWNER
 THE RYLAND GROUP, INC.
 1750 PARKWAY DRIVE, SUITE 820
 HANOVER, MARYLAND 21076



- USE-IN-COMMON DRIVE PAVING NOTES AND DETAILS FOR LOTS 17-19
- Maintenance—Sufficient to insure all weather use.
 - Structure clearances—minimum 12 feet.
 - With no more than 1 foot depth over driveway surface.
 - Driveway elements—Couples of stately basing 100-year flood zone (HSZ loading).
 - Structures (shelters)—Couples of adjoining 25 glass and minimum of 45-foot turning radius.
 - Geometry—Maximum 12% grade, maximum 10% grade change and curb coating.
 - Surface—6 inches of compacted crusher run base with tar and chip coating.
 - Width—12 feet (14 feet serving more than one residence).
 - 2 inches of compacted crusher run base with tar and chip coating.
 - Diveway(s) shall be provided prior to residential occupancy to insure safe access for fire and emergency vehicles per the following requirements:

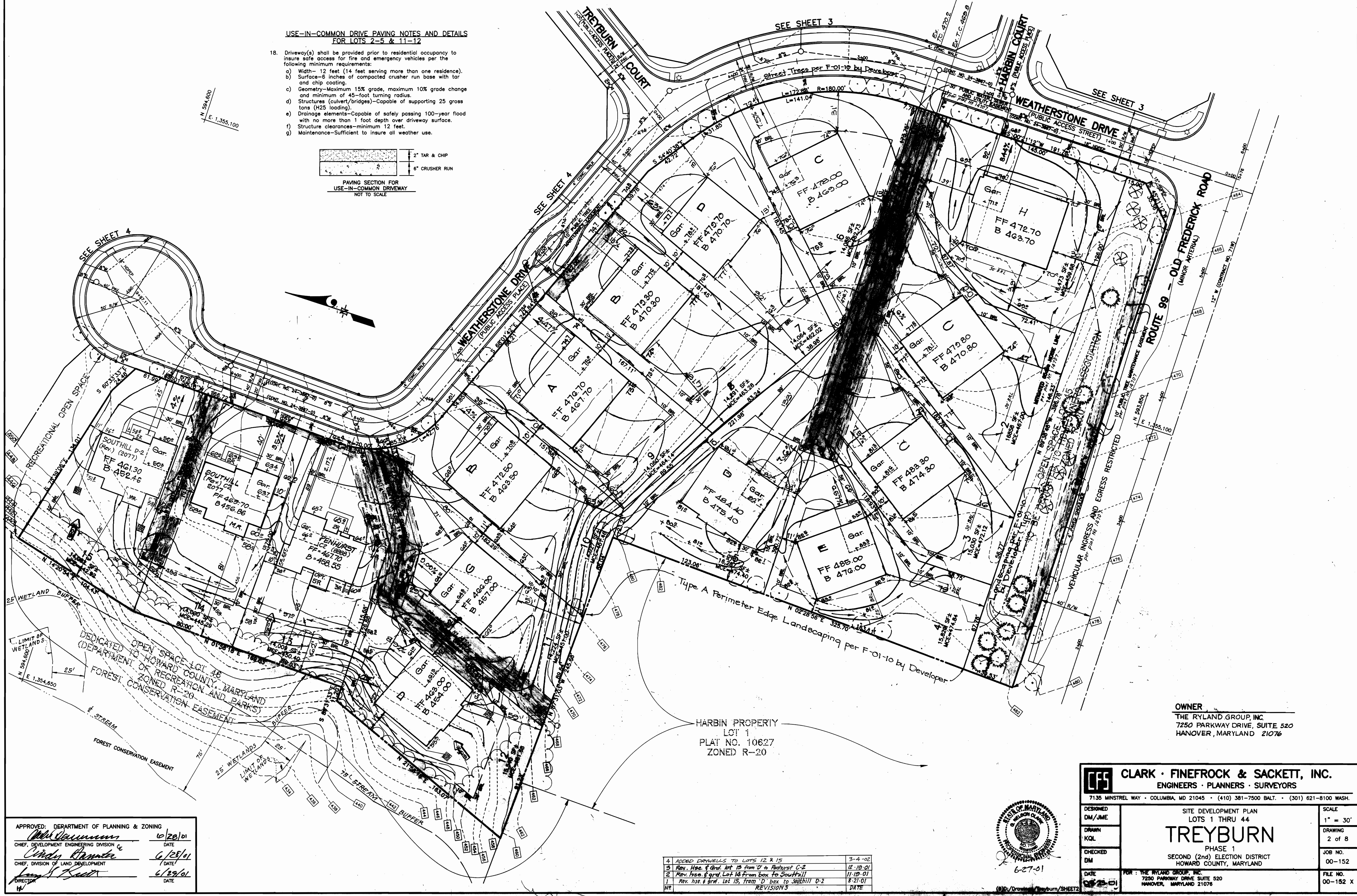


USE-IN-COMMON DRIVE PAVING NOTES AND DETAILS FOR LOTS 2-5 & 11-12

18. Driveway(s) shall be provided prior to residential occupancy to insure safe access for fire and emergency vehicles per the following minimum requirements:
 - a) Width-12 feet (14 feet serving more than one residence).
 - b) Surface-6 inches of compacted crusher run base with tar and chip coating.
 - c) Geometry-Maximum 15% grade, maximum 10% grade change and minimum of 45-foot turning radius.
 - d) Structures (culvert/bridges)-Capable of supporting 25 gross tons (H25 loading).
 - e) Drainage elements-Capable of safely passing 100-year flood with no more than 1 foot depth over driveway surface.
 - f) Structure clearances-minimum 12 feet.
 - g) Maintenance-Sufficient to insure all weather use.



PAVING SECTION FOR USE-IN-COMMON DRIVEWAY
NOT TO SCALE



APPROVED: DEPARTMENT OF PLANNING & ZONING
 [Signature] 10/20/01
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 6/28/01
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 6/29/01
 DIRECTOR

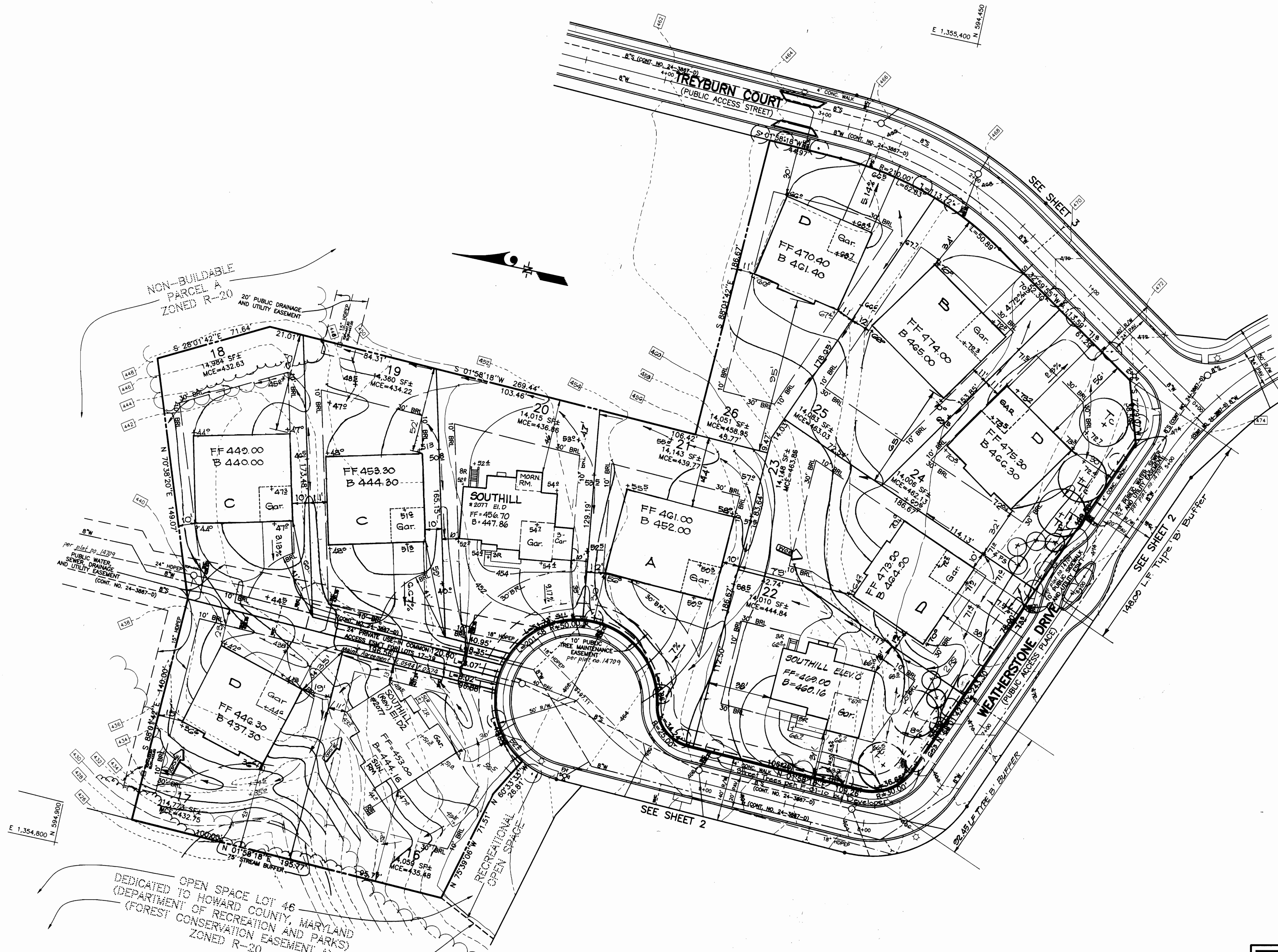
HARBIN PROPERTY
 LOT 1
 PLAT NO. 10627
 ZONED R-20

OWNER
 THE RYLAND GROUP, INC.
 7250 PARKWAY DRIVE, SUITE 520
 HANOVER, MARYLAND 21076

CLARK · FINEFROCK & SACKETT, INC. ENGINEERS · PLANNERS · SURVEYORS 7135 MINSTREL WAY · COLUMBIA, MD 21045 · (410) 381-7500 BALT. · (301) 621-8100 WASH.		
DESIGNED DM/JME	SITE DEVELOPMENT PLAN LOTS 1 THRU 44	SCALE 1" = 30'
DRAWN KQL	TREYBURN PHASE 1 SECOND (2nd) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	DRAWING 2 of 8
CHECKED DM		JOB NO. 00-152
DATE 6-29-01	FOR: THE RYLAND GROUP, INC. 7250 PARKWAY DRIVE SUITE 520 HANOVER, MARYLAND 21076	FILE NO. 00-152 X

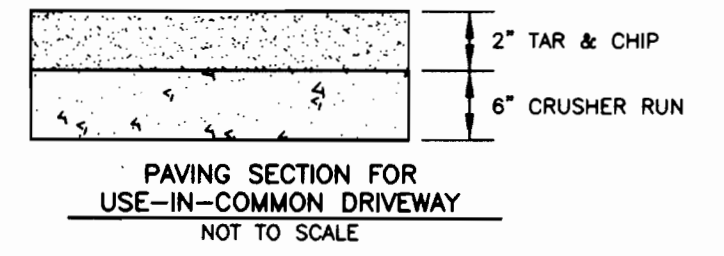
NO	REVISIONS	DATE
4	ADDED DRYWELLS TO LOTS 12, 13, 15	3-4-02
3	Rev. Hse. & Grd. lot 13 from D to Penhurst C-2	12-19-01
2	Rev. hse. & grd. Lot 14 from box to Southhill	11-19-01
1	Rev. hse. & grd. Lot 15, from 'D' box to Southhill D-2	8-21-01





USE-IN-COMMON DRIVE PAVING NOTES AND DETAILS FOR LOTS 17-19

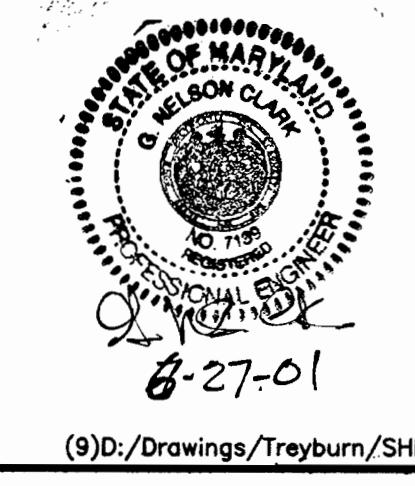
18. Driveway(s) shall be provided prior to residential occupancy to insure safe access for fire and emergency vehicles per the following minimum requirements:
 - a) Width- 12 feet (14 feet serving more than one residence).
 - b) Surface-6 inches of compacted crusher run base with tar and chip coating.
 - c) Geometry-Maximum 15% grade, maximum 10% grade change and minimum of 45-foot turning radius.
 - d) Structures (culvert/bridges)-Capable of supporting 25 gross tons (#25 loading).
 - e) Drainage elements-Capable of safely passing 100-year flood with no more than 1 foot depth over driveway surface.
 - f) Structure clearances-minimum 12 feet.
 - g) Maintenance-Sufficient to insure all weather use.



OWNER
 THE RYLAND GROUP, INC.
 7250 PARKWAY DRIVE, SUITE 520
 HANOVER, MARYLAND, 21076

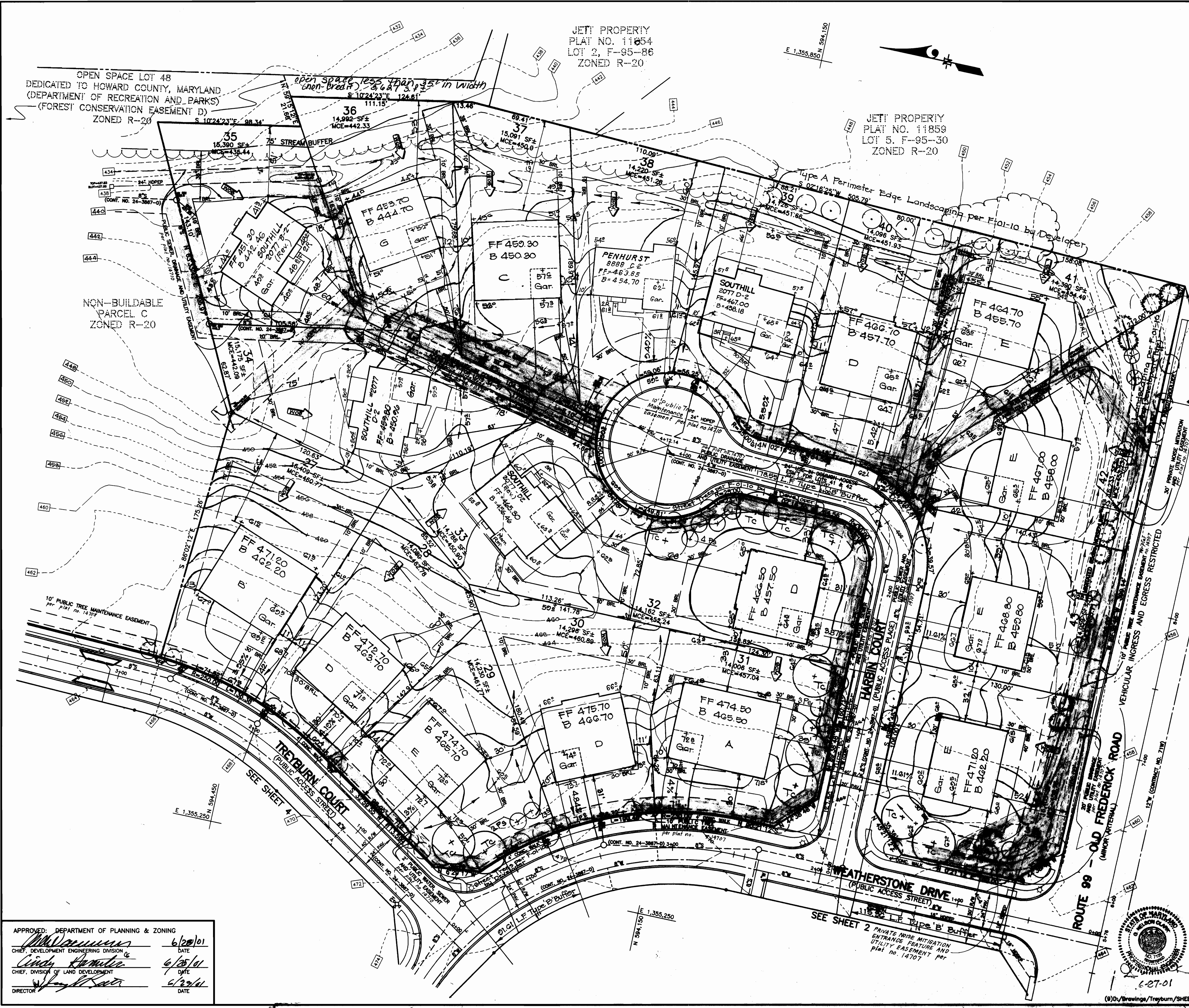
APPROVED: DEPARTMENT OF PLANNING & ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

NO.	REVISION	DATE
3	REV. HSE & GRD ON LOT 16, FROM GEN. 'A' BOX TO SOUTHILL (REV.) ELEV D2 ADD DRYWELL TO LOT 16; REDDED DRYWELL DETAIL TO SDP; ADDED DRYWELL PIE CHART, REV. GRD ON LOT 17; REV. SWALE TO FLOW TO INLET.	3-4-02
2	REVISED HSE & GRD, LOT 20 FROM 'A' BOX TO SOUTHILL ELEV. C	2-19-02
1	Revised HSE & GRD, lot 22 from 'F' Box to Southhill Elev. C	2-8-02



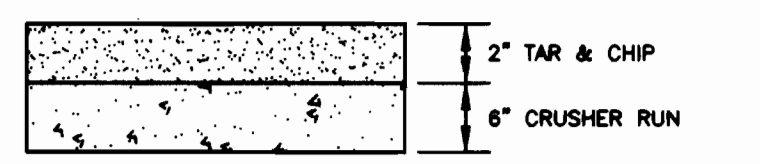
CLARK · FINEFROCK & SACKETT, INC. ENGINEERS · PLANNERS · SURVEYORS 7135 MINSTREL WAY · COLUMBIA, MD 21045 · (410) 381-7500 BALT. · (301) 621-8100 WASH.		
DESIGNED DM/JME DRAWN KQL CHECKED DM DATE 03-23-01	SITE DEVELOPMENT PLAN LOTS 1 THRU 44 TREYBURN PHASE 1 SECOND (2nd) ELECTION DISTRICT HOWARD COUNTY, MARYLAND FOR: THE RYLAND GROUP, INC. 7250 PARKWAY DRIVE SUITE 520 HANOVER, MARYLAND 21076	SCALE 1" = 30' DRAWING 4 of 8 JOB NO. 00-152 FILE NO. 00-152 X

No.	Revisions	Date
1	Rev. hse. & grd. lot 35, from 'A' Box to Southhill 2077 (Rev.)	6-18-01
2	Rev. hse. & grd. lot 39, from 'A' Box to Southhill 2077	6-18-01
3	Rev. hse. & grd. lot 38, from 'G' Box to Penhurst 8888 C-2	7-24-01
4	Rev. hse. & grd. lot 35 from 'E' Box to Southhill	12-17-01
5	Rev. hse. & grd. lot 34 from 'D' Box to Southhill	2-08-02



USE-IN-COMMON DRIVE PAVING NOTES AND DETAILS FOR LOTS 34-37 AND 41-42

18. Driveway(s) shall be provided prior to residential occupancy to insure safe access for fire and emergency vehicles per the following minimum requirements:
 - a) Width- 12 feet (14 feet serving more than one residence).
 - b) Surface- 6 inches of compacted crusher run base with tar and chip coating.
 - c) Geometry- Maximum 15% grade, maximum 10% grade change and minimum of 45-foot turning radius.
 - d) Structures (culvert/bridges)- Capable of supporting 25 gross tons (125 loading).
 - e) Drainage elements- Capable of safely passing 100-year flood with no more than 1 foot depth over driveway surface.
 - f) Structure clearances- minimum 12 feet.
 - g) Maintenance- Sufficient to insure all weather use.



OWNER
 THE RYLAND GROUP, INC.
 7250 PARKWAY DRIVE, SUITE 520
 HANOVER, MARYLAND 21076

APPROVED: DEPARTMENT OF PLANNING & ZONING
 [Signature] 6/20/01
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 6/25/01
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 6/22/01
 DIRECTOR

CLARK · FINEFROCK & SACKETT, INC. ENGINEERS · PLANNERS · SURVEYORS 7135 WINSTREL WAY · COLUMBIA, MD 21045 · (410) 381-7500 BALT. · (301) 821-8100 WASH.		
DESIGNED DM/JME/DMT	SITE DEVELOPMENT PLAN LOTS 1 THRU 44	SCALE 1" = 30'
DRAWN KQL	TREYBURN PHASE 1 SECOND (2nd) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	DRAWING 3 of 8
CHECKED DM		JOB NO. 00-152
DATE 6-27-01	FOR: THE RYLAND GROUP, INC. 7250 PARKWAY DRIVE, SUITE 520 HANOVER, MARYLAND 21076	FILE NO. 00-152 X