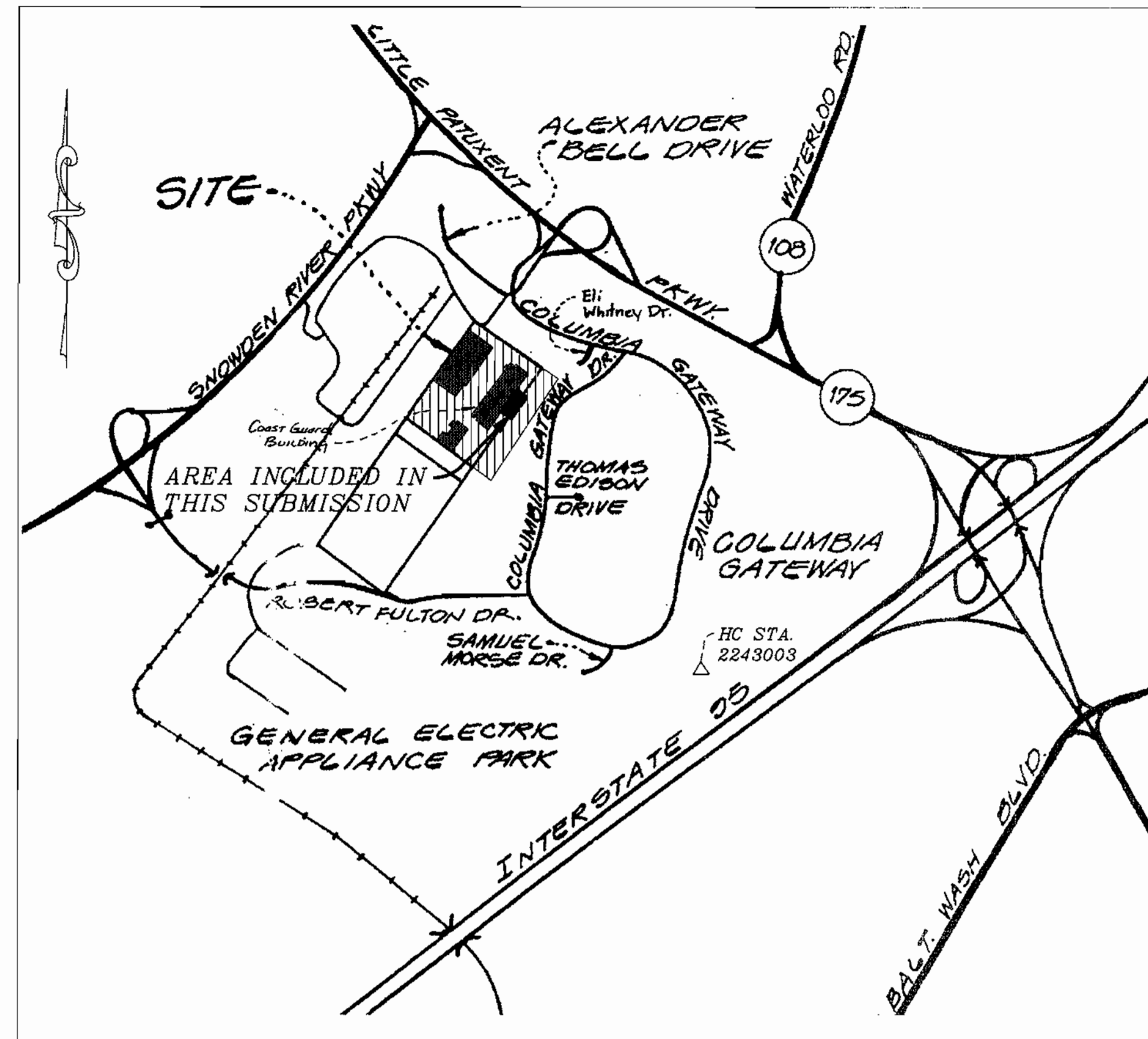


GATEWAY COMMERCE CENTER PARKING LOT ADDITION SITE DEVELOPMENT PLAN

GENERAL NOTES

1. THE PROPERTY IS LOCATED ON TAX MAP 42 AS PARCEL A-74.
2. THE LOCATION OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY THE EXISTING VERTICAL AND HORIZONTAL LOCATIONS. NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.
3. THE CONTRACTOR SHALL NOTE THAT IN CASE OF DISCREPANCY BETWEEN THE SCALED AND FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
4. ALL WATER AND SEWER SHOWN ON THIS SITE IS PART OF A PRIVATE SYSTEM. THIS PROJECT IS LOCATED WITHIN THE METROPOLITAN DISTRICT.
5. THERE ARE NO CONTIGUOUS SLOPES OF 25% OR GREATER WHICH ARE GREATER THAN 20,000 SQ. FT. IN THE AREA.
6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
7. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
8. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM.
9. STORMWATER MANAGEMENT AND WATER QUALITY FOR THE ENTIRE SITE ARE PROVIDED IN AN EXISTING STORMWATER MANAGEMENT POND CONSTRUCTED BY GENERAL ELECTRIC (GE) IN 1970. A REPORT CONFIRMING THE STORMWATER QUALITY/QUANTITY CAPABILITIES OF THE EX. FACILITY TO SERVE THE SITE, WAS PREPARED BY WHITMAN, REQUART, AND ASSOCIATES AND APPROVED BY HOWARD COUNTY IN 1995. LOIEDERMAN ASSOCIATES ADDITIONALLY COMPUTED CHANGES IN RCN TO SHOW THAT THERE IS NO IMPACT IN THE OVERALL DRAINAGE AREA. THE LETTER AND COMPS ARE SHOWN ON SHEET 4.
10. EXISTING ZONING IS M-1. PROPOSED USE IS A PARKING LOT ADDITION.
11. EXISTING TOPOGRAPHY AND PROPOSED TOPOGRAPHY SHOWN AT 2'-FOOT INTERVALS. TOPOGRAPHIC INFORMATION SUPPLIED BY MEANS OF FIELD VERIFICATION. FIELD VERIFICATION SURVEY PREPARED BY LOIEDERMAN ASSOCIATES, INC. SEPTEMBER, 2000.
12. THERE ARE NO 100-YEAR FLOODPLAINS OF RECORD WITHIN THE PROPOSED PARCEL.
13. THIS SITE IS EXEMPT FROM THE FOREST CONSERVATION ORDINANCE IN ACCORDANCE WITH 16.1202 (b) (4) A PLANNED OFFICE PARK.
15. THERE ARE NO WETLANDS, STREAMS, OR STREAM BUFFERS EXISTING ON-SITE.
16. ALL PAVING SHALL BE ASPHALT PAVING WITHOUT CURB AND GUTTER, EXCEPT AS NOTED. ALL CURB AND GUTTER IS TO HOWARD COUNTY STANDARDS.
17. THE APPROXIMATE BUILDING AGE IS 25 YEARS.
18. A TRAFFIC STUDY IS NOT REQUIRED FOR THIS PROPOSED SITE DEVELOPMENT.
20. ALL OUTDOOR LIGHTING SHALL COMPLY WITH ZONING SEC. 134. SEE SHEET 5 OF 5 FOR DETAILS.
21. SITE AREA 183.03 ACRES.
22. THE CONTRACTOR SHALL NOTIFY HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, BUREAU OF UTILITIES AT (410)-313-4900 AT LEAST FIVE WORKING DAYS PRIOR TO STARTING WORK.
23. ALL CURB RADII ARE 5' UNLESS OTHERWISE NOTED.
24. USE TRENCH BEDDING CLASS C FOR STORM DRAINS.
25. PAVED AREAS INDICATED ARE PRIVATE.
26. RECORDING REFERENCE, PART OF PARCEL A-74, PLAT 12587, 13189+13140 SEE DETAIL SHEET 2/5.
27. PROPOSED CURB RAMP SHALL BE IN ACCORDANCE WITH CURRENT A.D.A. STANDARDS. MAXIMUM SIDEWALK CROSS SLOPE SHALL BE (2%) TWO PERCENT.
28. THIS SDP RECEIVED APPROXIMATE TRAFFIC TEST ON 12-07-00.
29. THE CONTRACTOR OR DEVELOPER SHALL CONTACT THE CONSTRUCTION INSPECTOR DIVISION 24 HOURS IN ADVANCE OF COMMENCEMENT OF WORK AT 410-313-1880.



Vicinity Map

~~I CERTIFY THAT ALL DEVELOPMENT AND OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A COURSE OF THE ENVIRONMENT AND SEDIMENT CONTROL PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.~~

SIGNATURE OF DEVELOPER
DATE

DATE

HOWARD SOIL CONSERVATION DISTRICT

DATE

DATE

MADA - NATURAL RESOURCES CONSERVATION SERVICE

BENCH MARKS	
LOCATION	DESCRIPTION
NORTHWEST SIDE OF BLDG. 2 @ BUMP OUT IN BLDG.	B.M. #1 - " " CUT @ TIP OF CONC. WHEEL GUIDE. ELEVATION = 339.72
400' SOUTH OF MAIN PERIMETER ROAD ALONG FENCE LINE, WEST SIDE OF BLDG. 2.	B.M. #2 - B.B. FIRE HYDRANT #23 ELEVATION = 344.23
NORTHWEST SIDE OF BLDG. 270' SOUTH OF MAIN PERIMETER ROAD ALONG MAIN ROAD BETWEEN BLDGS 20 & 2.	B.M. #3 - TRAVERSE STATION 202 ELEVATION = 343.13

GLW CONTROL STATIONS	
LOCATION	DESCRIPTION
TARVERSE STA. 202	N. 492205.747, E. 853417.434
TARVERSE STA. 986	N. 491752.767, E. 852978.408
TARVERSE STA. 987	N. 492649.894, E. 853140.859
TARVERSE STA. 201	N. 491073.595, E. 852627.446
TARVERSE STA. 116	N. 491757.255, E. 855040.824

SITE ANALYSIS	
1. TOTAL PARCEL AREA	183.03 ACRES
2. LIMITS OF SUBMISSION / DISTURBANCE	0.63 ACRES
3. ZONED	M-1
4. PROPOSED USE	ADDITION OF 97 PARKING SPACES
5. EXISTING OPEN SPACE IN SUBMISSION AREA	38,680 S.F.
6. PROPOSED OPEN SPACE IN SUBMISSION AREA	9,373 S.F.
7. THE ADDITION OF THESE PARKING SPACES IS INTENDED TO RELIEVE OVERCROWDED CONDITIONS IN THE ADJOINING CORVIS PARKING LOT.	
8. THERE IS NO BUILDING CONSTRUCTION INCLUDED IN THIS SUBMISSION.	
9. PREVIOUS SDP APPROVAL	93-86
10. PARKING TABULATION:	
a. EXISTING STANDARD	291 (PER SDP 93-86)
b. EXISTING HANDICAP	9 (PER SDP 93-86)
EXISTING TOTAL	300 (7 H.C. REQUIRED PER ADA)
c. PROPOSED STANDARD	97
d. TOTAL PROPOSED STANDARD	388 (291+97)
e. HANDICAP REQUIRED	8
f. HANDICAP PROVIDED (EXISTING)	9
g. ADDITIONAL H.C. PROPOSED	NONE

PLAN INDEX:	
1.	COVER SHEET
2.	SITE DEVELOPMENT PLAN
3.	SEDIMENT CONTROL PLAN, DETAILS AND NOTES
4.	STORM DRAIN PROFILES
5.	LANDSCAPE PLAN, DETAILS AND NOTES

"MISS UTILITY" CALL
MISS UTILITY - TELEPHONE NUMBER 1-800-257-777 FOR EXISTING UTILITY LOCATIONS AT LEAST 48 HRS BEFORE BEGINNING CONSTRUCTION

OWNER	DEVELOPER
PARCEL A-40 ASSOCIATES, LLC 8330 BOONE BOULEVARD SUITE 460 VIENNA, VIRGINIA 22182 ATTN: MR. OLAV KOLLEVOLL JR. PHONE : (317)-636-1600	THE CORVIS CORPORATION C/O CHIP RANNO 255 PENNSYLVANIA AVE. SUITE 407 WASHINGTON, DC. 20037 PHONE : (202)-728-9800

ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
A-74	6751 ALEXANDER BELL DRIVE

PERMIT INFORMATION CHART				
SUBDIVISION NAME	DISTRICT/AREA	PARCEL #	PLAT OR L.P.P.	BLK/ZONE MAP
GATEWAY COMMERCE CENTER	N / A	A-74	10604	13131+40
			42	SIXTH (6TH)
				6067.03

APPROVED DEPARTMENT OF PLANNING AND ZONING

Date: 1/5/01

Date: 1/5/01

Date: 1/5/01

EXISTING SDP 93-86

MISS UTILITY NOTE

INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-257-777, 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

ELECTRONIC FILE DISCLAIMER

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COVER SHEET

PARKING LOT ADDITION BUILDING 2

GATEWAY COMMERCE CENTER

6751 ALEXANDER BELL DRIVE

6th ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

1" = AS SHOWN

SHEET 1 OF 5

PROJECT NO. 801-04

LOIEDERMAN ASSOCIATES, INC.

Civil Engineering Land Planning Land Surveying Environmental Studies

115 Alameda Drive, Suite 200, Annapolis, Maryland 20785 301-948-2750 Fax: 301-948-9067

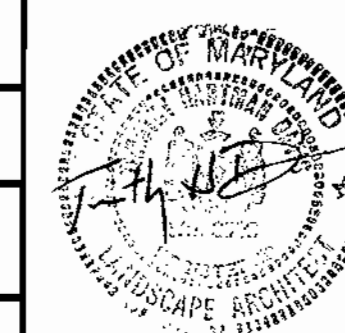
4401 Forbes Ave., Suite 200, Annapolis, Maryland 20706 301-794-7555 Fax: 301-794-7656

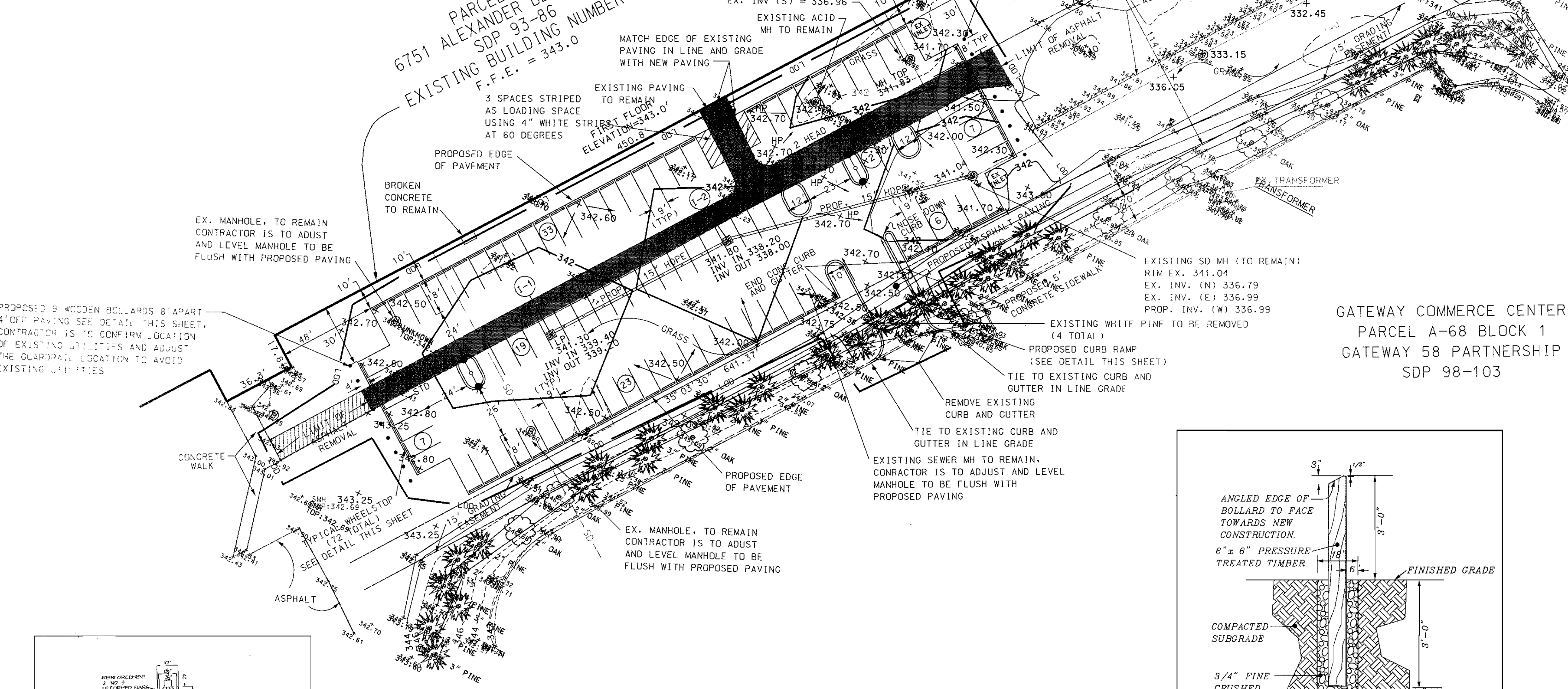
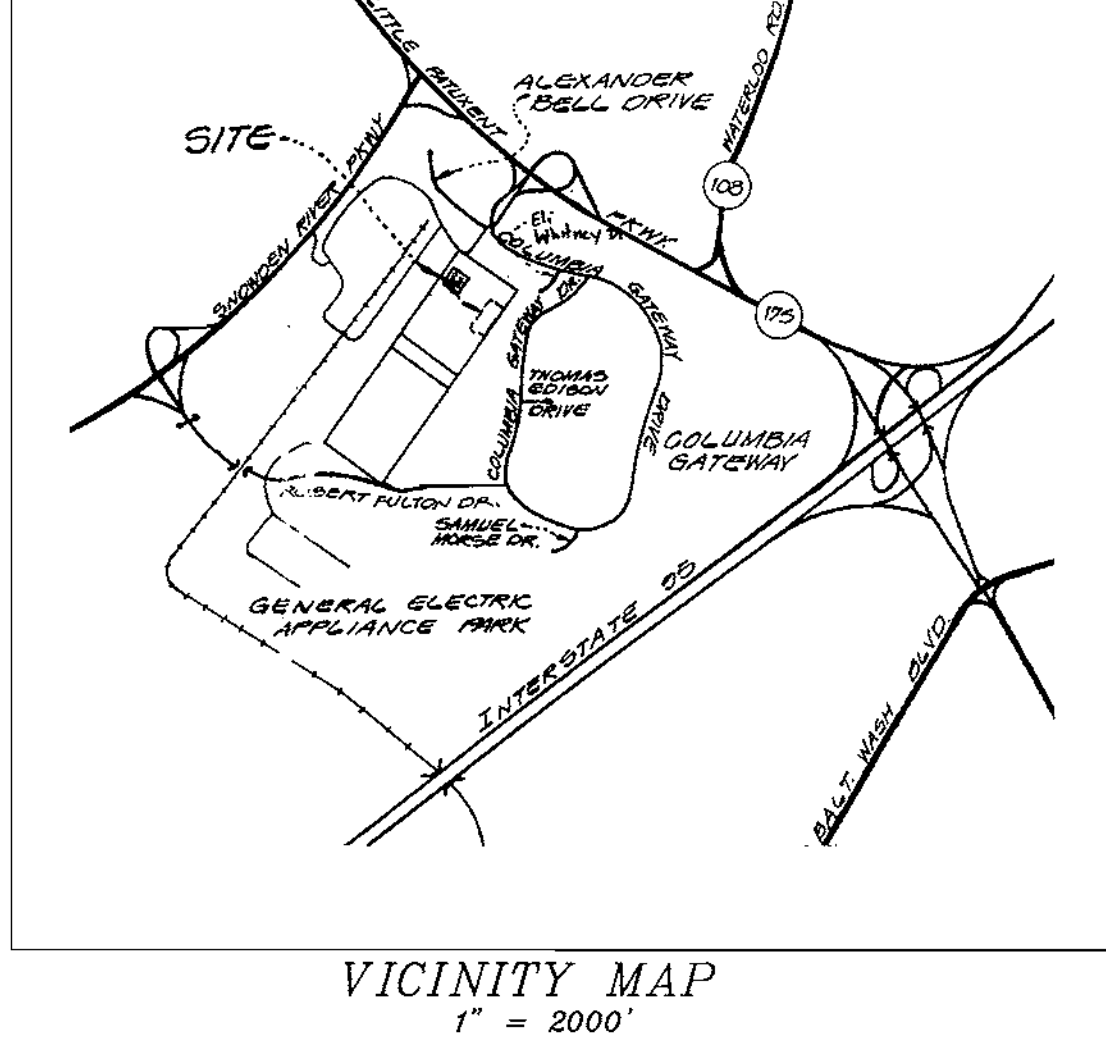
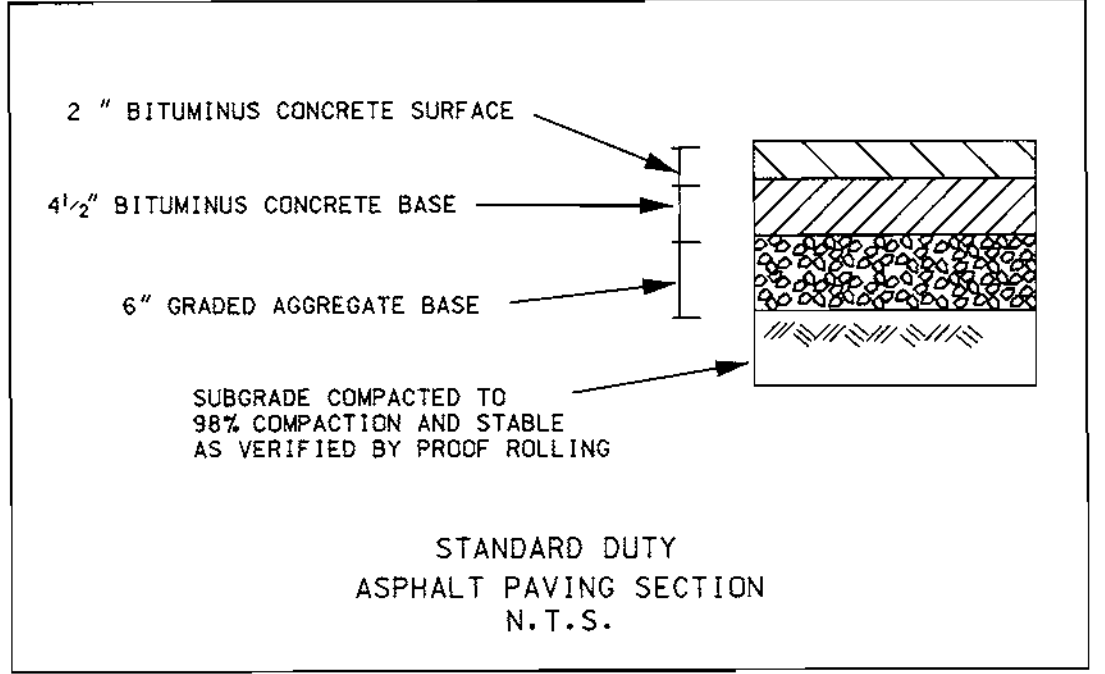
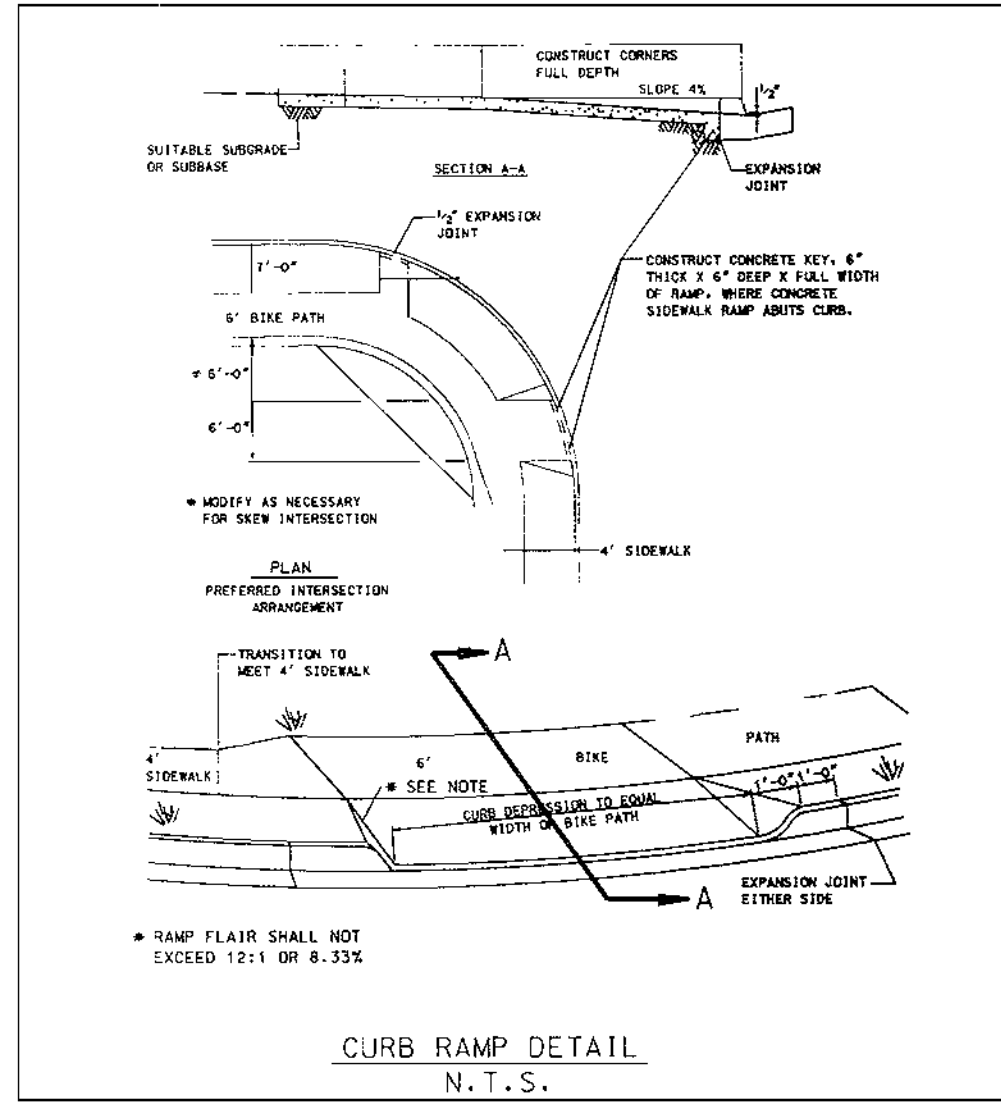
7 North Market Street, Suite 200, Annapolis, Maryland 21401 301-696-1240 Fax: 301-831-4865

60 Lucas Street, Suite 200, Annapolis, Maryland 20602 301-870-2166 Fax: 301-870-2884

Internet address: <http://www.loiederman.com>

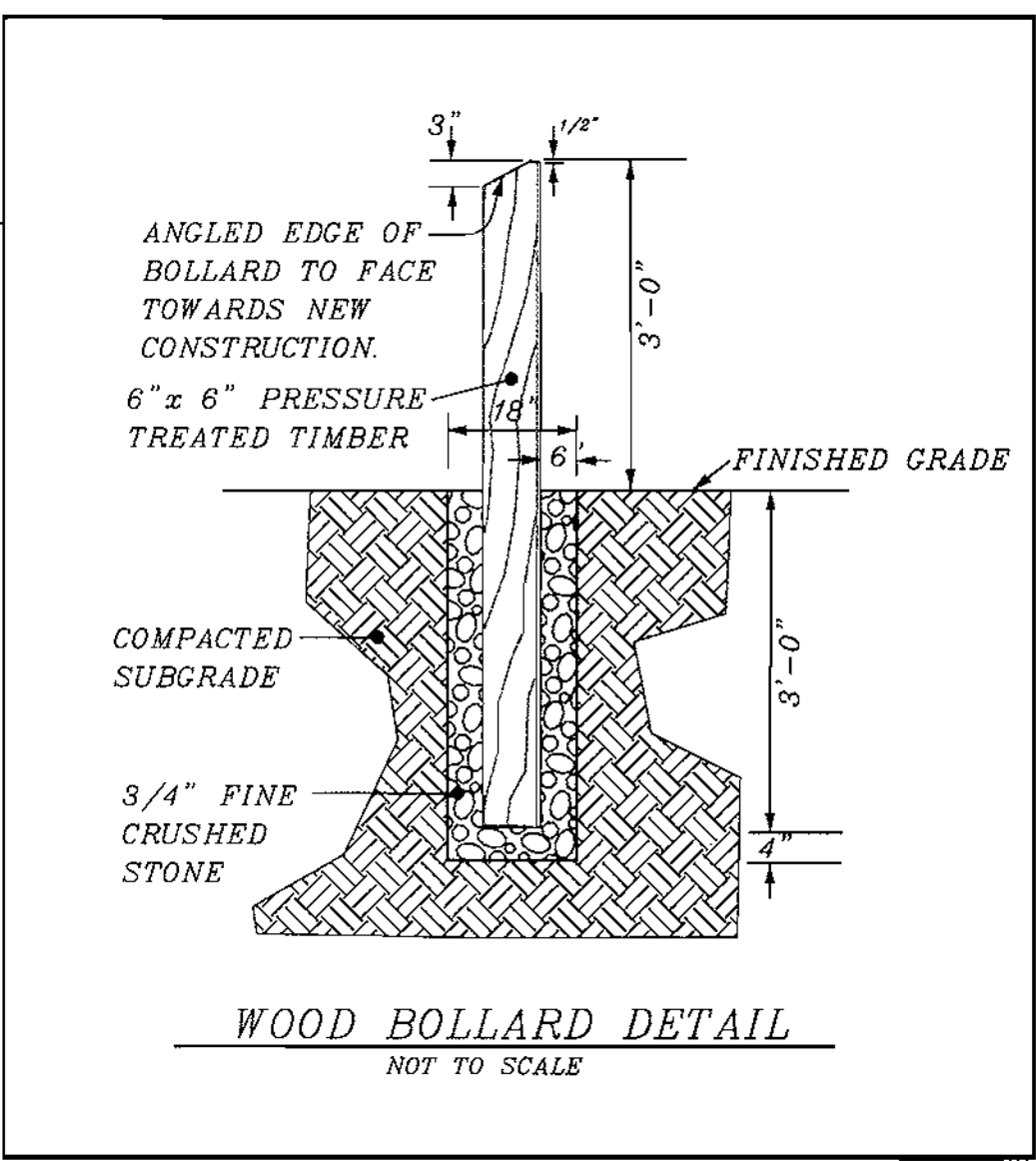
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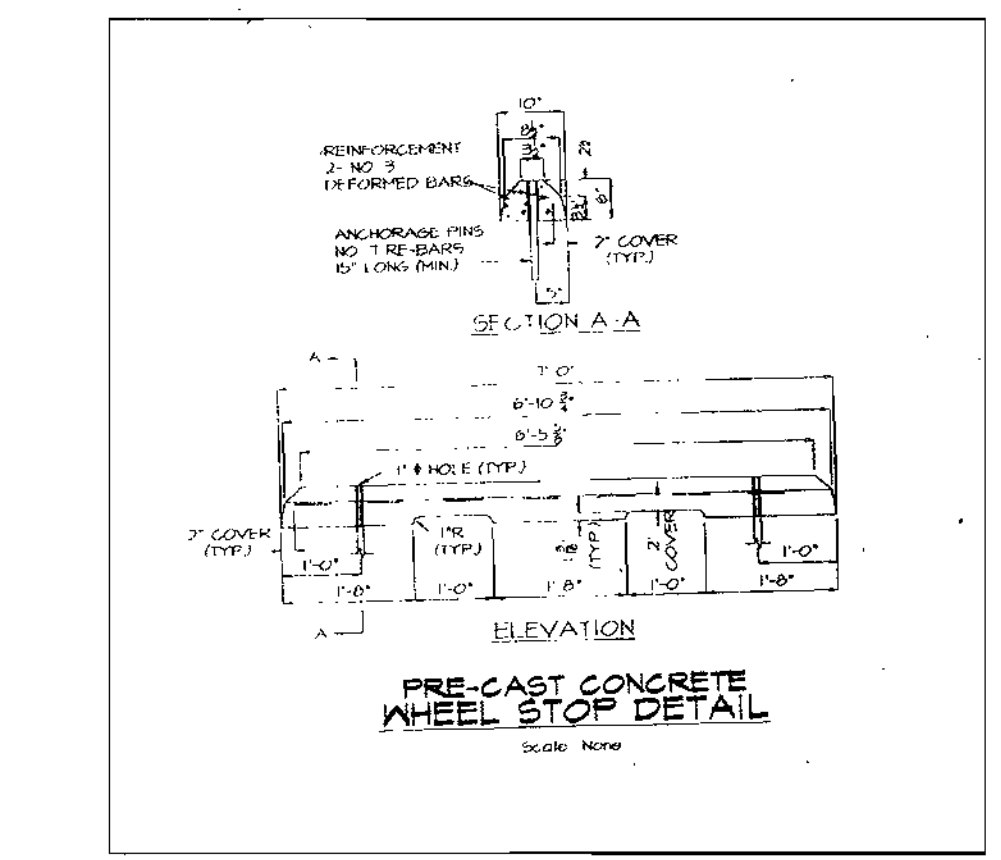
LEGEND

---100---	EXISTING CONTOUR
—100—	PROPOSED CONTOUR
— — —	PROPOSED CURB AND GUTTER
□ IP	INLET PROTECTION (SEE SHT 3)
—SD—	EX. STORM DRAIN LINE
—SF—	SILT FENCE
—LOD—	LIMITS OF DISTURBANCE
SCENE	STABILIZED CONSTRUCTION ENTRANCE (SEE SHT 3)
LP	LOW POINT
HP	HIGH POINT
■	AREAS OF ASPHALT TO BE REMOVED
●	2 HEAD LIGHT POLE
•	WOODEN BOLLARD



"MISS UTILITY"
CALL
MISS UTILITY - TELEPHONE
NUMBER 1-800-257-7777 FOR
EXISTING UTILITY LOCATIONS
AT LEAST 48 HRS BEFORE
BEGINNING CONSTRUCTION

OWNER / DEVELOPER
PARCEL A-74 ASSOCIATES LLC
C/O MR. OLAV KOLLEVOLL JR.
8330 BOONE BLVD. SUITE 460
PHONE: 317 636-1600
VEINNA VA. 22182



APPROVED: DEPARTMENT OF PLANNING AND ZONING
1/5/01
1/5/01
1/5/01

LOIEDERMAN ASSOCIATES, INC.
Civil Engineering Land Planning Land Surveying Environmental Studies
1390 Piccola Drive, Rockville, Maryland 20850 301-948-2750 Fax: 301-948-9067
4407 Forbes Belvoir, Lanham, Maryland 20706 301-794-7555 Fax: 301-794-7656
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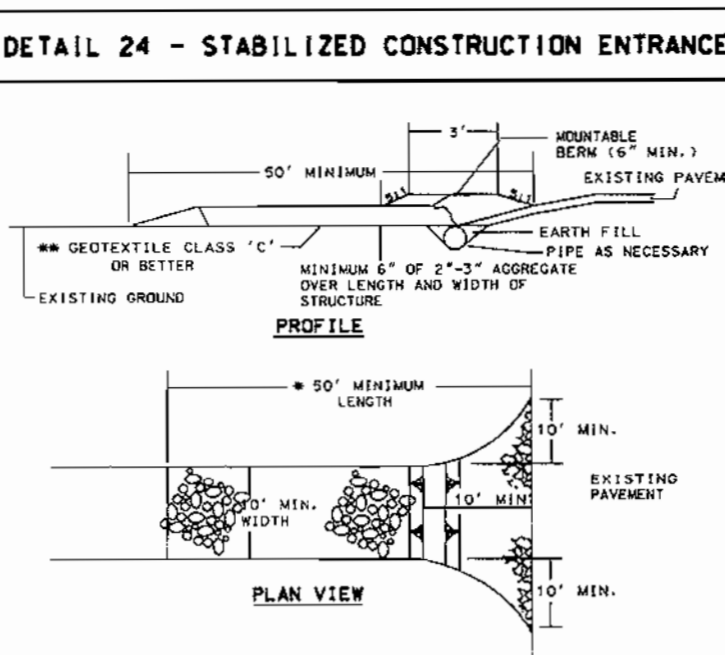
SITE DEVELOPMENT PLAN

PARKING LOT ADDITION BUILDING 2
GATEWAY COMMERCE CENTER
6751 ALEXANDER BELL DRIVE
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

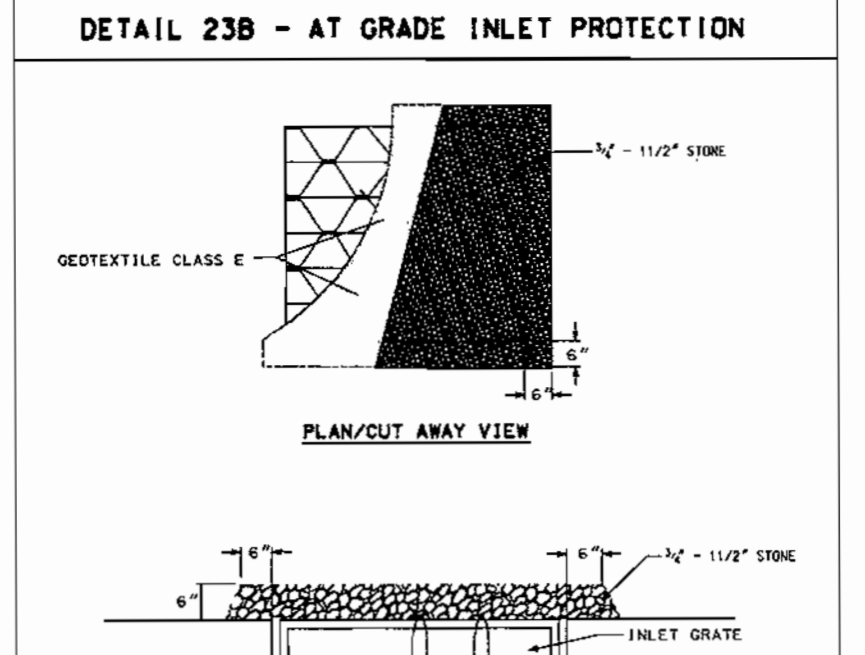
1" = 30'
SHEET 2 OF 5
PROJECT NO. 801-04

SEQUENCE OF CONSTRUCTION

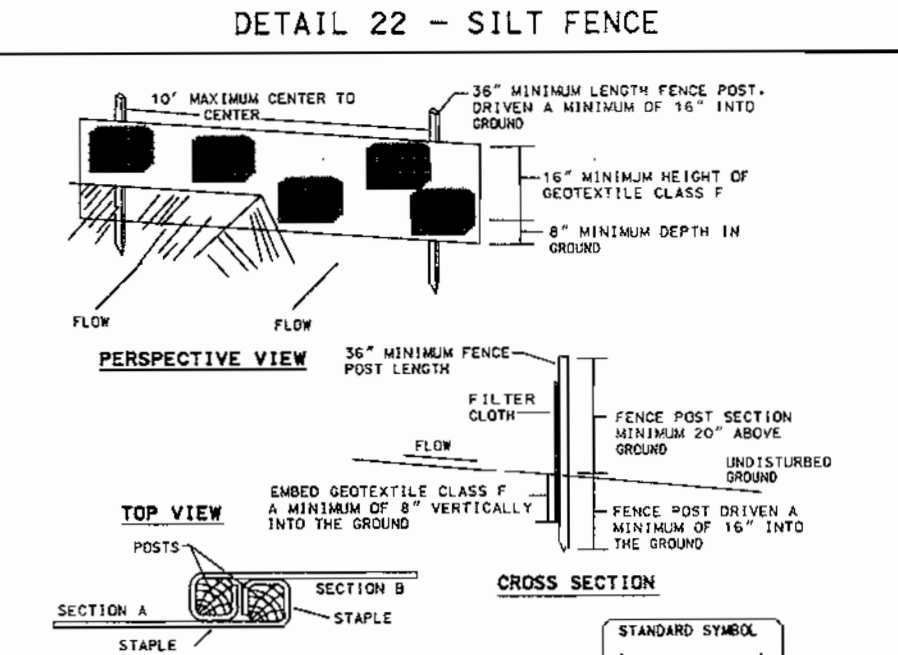
Notify the proper Howard County agencies 48 hours prior to the start of work and obtain a grading permit. (1 day)
Install the inlet protection devices around existing inlets and then install the Stabilized Construction Entrance (SCE).
Remove pavement as required, to install SCE. (2 days)
With approval of the Sediment Control inspector, complete installation of silt fence and begin removal of pavement to be demolished. (5 days)
Clear remainder of site within Limit of Disturbance. Protect existing facilities shown to remain. Remove curb and gutter to be removed. (5 days)
Once grading is complete, install storm drain system. (10 days)
Install curb and gutter as noted on the plan and install paving. (10 days)
With the permission of the Sediment Control inspector, remove the Sediment Control devices and stabilize those areas in accordance with the permanent seeding notes. (5 days)



- CONSTRUCTION SPECIFICATION
1. LENGTH - MINIMUM OF 50' (100' FOR SINGLE RESIDUCE LEFT)
2. WIDTH - 10' MINIMUM. SHOULD BE PLACED AT THE EXISTING ROAD TO PROVIDE A TURNING POINT...



- CONSTRUCTION SPECIFICATIONS
1. LIFT GRATE AND HEAD WERE GEOTEXTILE CLASS E TO COMPLETELY COVER ALL OPENINGS. THEN SET GRATE BACK IN PLACE.
2. PLACE 3/4" TO 1 1/2" STONE, 4"-6" THICK ON THE GRATE TO SECURE THE FABRIC AND PROVIDE ADDITIONAL FILTRATION.



- CONSTRUCTION SPECIFICATIONS
1. FENCE POSTS SHALL BE A MINIMUM OF 36" LONG (MINIMUM 16" MINIMUM INTO THE GROUND). POSTS SHALL BE 1 1/2" X 1 1/2" SQUARE (MINIMUM CUT OR 1 1/4" DIAMETER UNIFORM SOUND AND SHALL BE OF SOUND QUALITY HARDWOOD...)

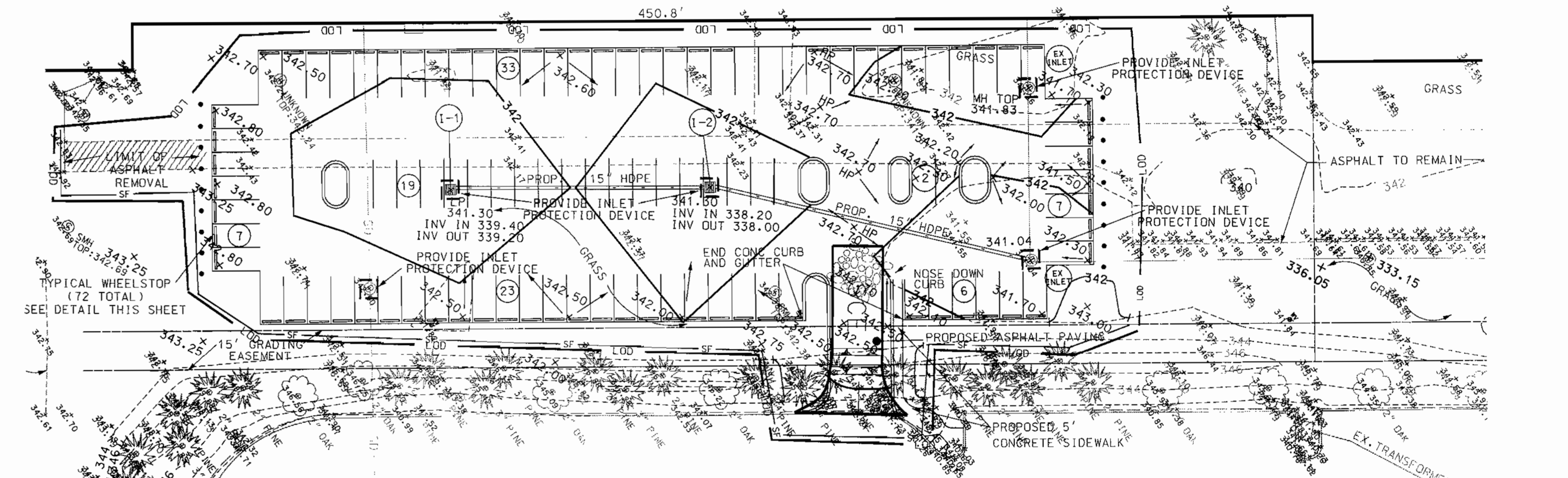
HOWARD SOIL CONSERVATION DISTRICT
PERMANENT SEEDING NOTES
APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE... SEEDING - FOR PERIODS MARCH 1 THROUGH APRIL 30 AND FROM AUGUST 15 THROUGH OCTOBER 15...

- TOPOSOIL SPECIFICATIONS
A. SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
1. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, OR LOAMY SAND...

EROSION AND SEDIMENT CONTROL NARRATIVE
THIS PROJECT IS LOCATED IN THE GATEWAY COMMERCIAL CENTER SUBDIVISION, ADJACENT TO ROBERT FULTON DRIVE AND IS BETTER DESCRIBED AS ROBERT FULTON DRIVE PARCEL A-48... THE SITE IS BOUNDED BY ROBERT FULTON DRIVE TO THE WEST AND EXISTING BUILDINGS WITHIN THE SUBDIVISION TO THE EAST...

VEGETATIVE STABILIZATION PERMANENT AND TEMPORARY SEEDING AND MULCHING SITE ANALYSIS table with columns for area, soil, and vegetation type.

- VI. ALTERNATIVE FOR PERMANENT SEEDING
A. INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW.



TEMPORARY SEEDING NOTES
APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE RESTORED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

VEGETATIVE STABILIZATION PERMANENT AND TEMPORARY SEEDING AND MULCHING
1. SITE PREPARATION
2. SEEDING PREPARATION AND SEED APPLICATION

VEGETATIVE STABILIZATION PERMANENT AND TEMPORARY SEEDING AND MULCHING
1. SITE PREPARATION
2. SEEDING PREPARATION AND SEED APPLICATION
3. MULCHING

TEMPORARY SEEDING NOTES (continued)
APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE RESTORED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

TEMPORARY SEEDING NOTES (continued)
SEEDING - FOR PERIODS MARCH 1 THROUGH APRIL 30 AND FROM AUGUST 15 THROUGH OCTOBER 15...

TEMPORARY SEEDING NOTES (continued)
MULCHING - APPLY 1.5 TO 2 TONS PER ACRE OF 3/4" TO 1 1/2" (100,000 SQ. FT.) OF UNWEIGHTED MULCH...

TEMPORARY SEEDING NOTES (continued)
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SEEDING - FOR PERIODS MARCH 1 THROUGH APRIL 30 AND FROM AUGUST 15 THROUGH OCTOBER 15...

TEMPORARY SEEDING NOTES (continued)
MULCHING - APPLY 1.5 TO 2 TONS PER ACRE OF 3/4" TO 1 1/2" (100,000 SQ. FT.) OF UNWEIGHTED MULCH...

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SEEDING - FOR PERIODS MARCH 1 THROUGH APRIL 30 AND FROM AUGUST 15 THROUGH OCTOBER 15...

ENGINEER CERTIFICATE
I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

DEVELOPER'S CERTIFICATE
I/we certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division, MK Date 1/31/01
Chief, Division of Land Development Date 1/31/01
Director Date 1/31/01

EXISTING SDP 93-86
MISS UTILITY NOTE
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"MISS UTILITY" CALL
MISS UTILITY - TELEPHONE NUMBER 1-800-257-7777 FOR EXISTING UTILITY LOCATIONS AT LEAST 48 HRS BEFORE BEGINNING CONSTRUCTION

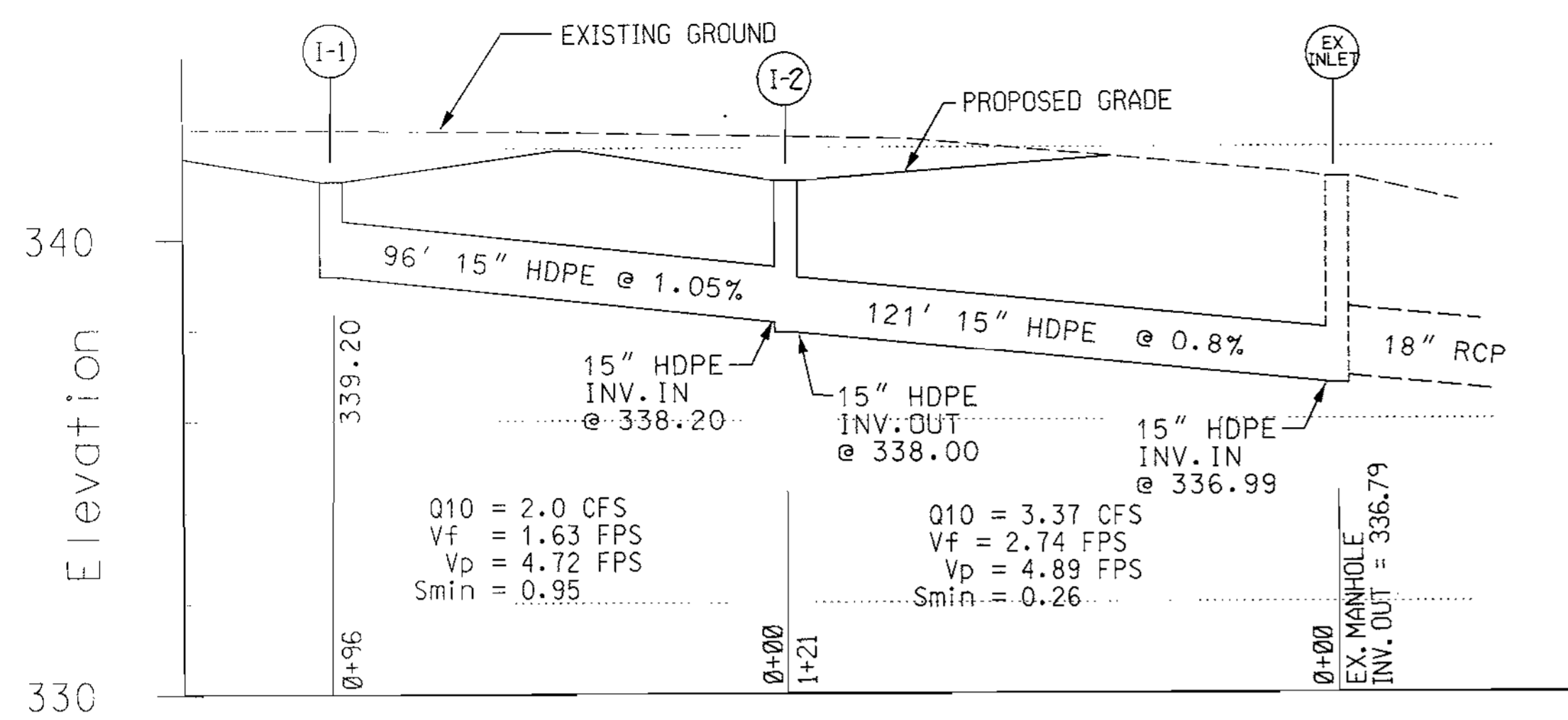
OWNER / DEVELOPER
PARCEL A-74 ASSOCIATES LLC
C/O MR. OLAV KOLLEVOELL JR.
8330 BOONE BLVD. SUITE 460
PHONE: 317 636-1600
VEINNA VA. 22182

LOIEDERMAN ASSOCIATES, INC.
Civil Engineering Land Planning Land Surveying Environmental Studies
380 Picoac Drive, Rockville, Maryland 20850 301-948-2750 Fax: 301-948-9067
4407 Forbes Boulevard, Lanham, Maryland 20706 301-794-7555 Fax: 301-794-7656

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NO. REVISIONS DATE
Date: CAD Standards Version:
Designed: Technician:

SEDIMENT CONTROL PLAN
DETAILS & NOTES
PARKING LOT ADDITION BUILDING 2
GATEWAY COMMERCE CENTER
6751 ALEXANDER BELL DRIVE
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

SHEET 3 of 5
PROJECT NO. 801-04
SDP 01-62



STRUCTURE SCHEDULE					
NO.	TYPE	TOP ELEV	INV IN	INV OUT	ST'D DETAIL
I-1	TYPE E INLET	341.30	339.40	339.20	HO CO. SD 4.2.1.
I-2	TYPE E INLET	341.30	338.20	338.00	HO CO. SD 4.2.1.
EX MH		341.04	336.99		

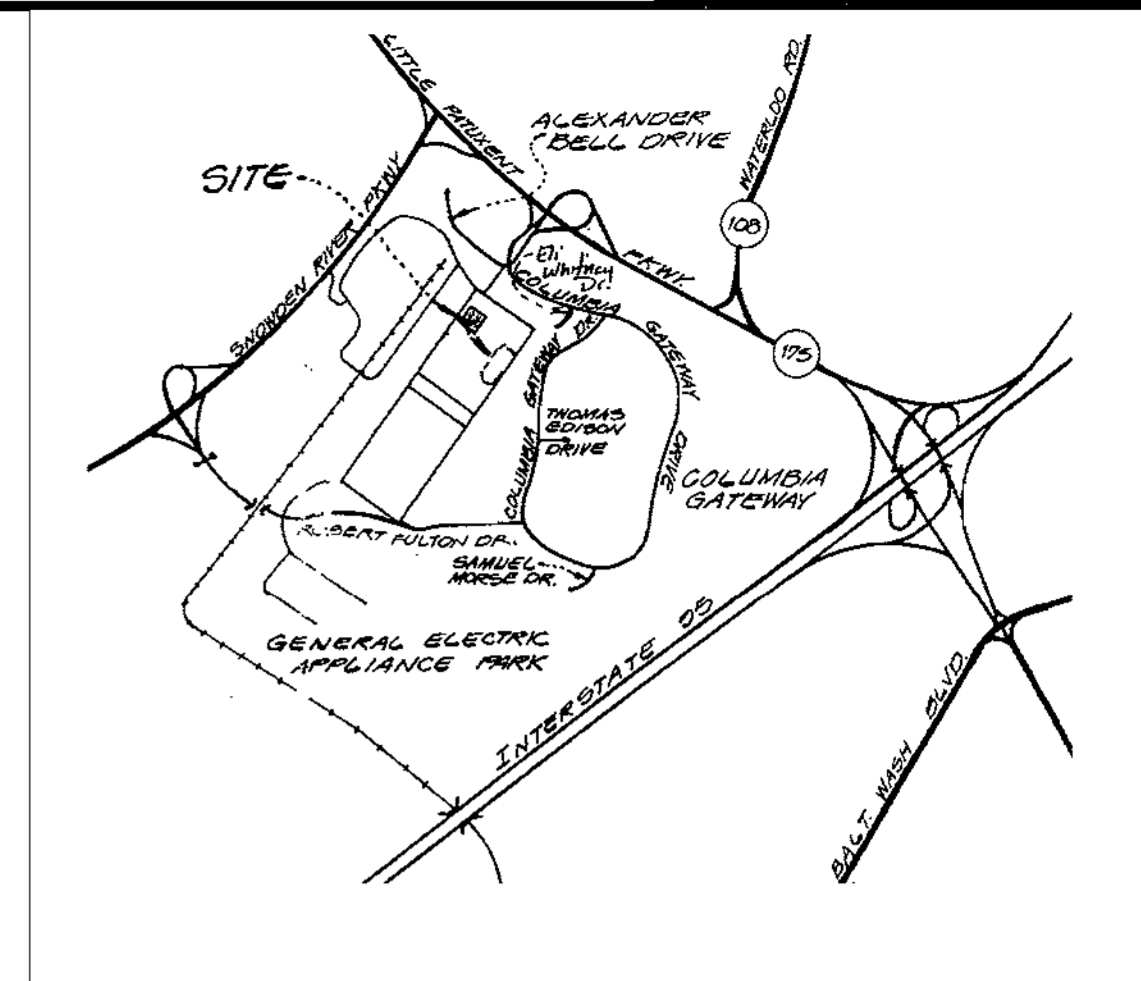
Q10 = 2.0 CFS
Vf = 1.63 FPS
Vp = 4.72 FPS
Smin = 0.95

Q10 = 3.37 CFS
Vf = 2.74 FPS
Vp = 4.89 FPS
Smin = 0.26

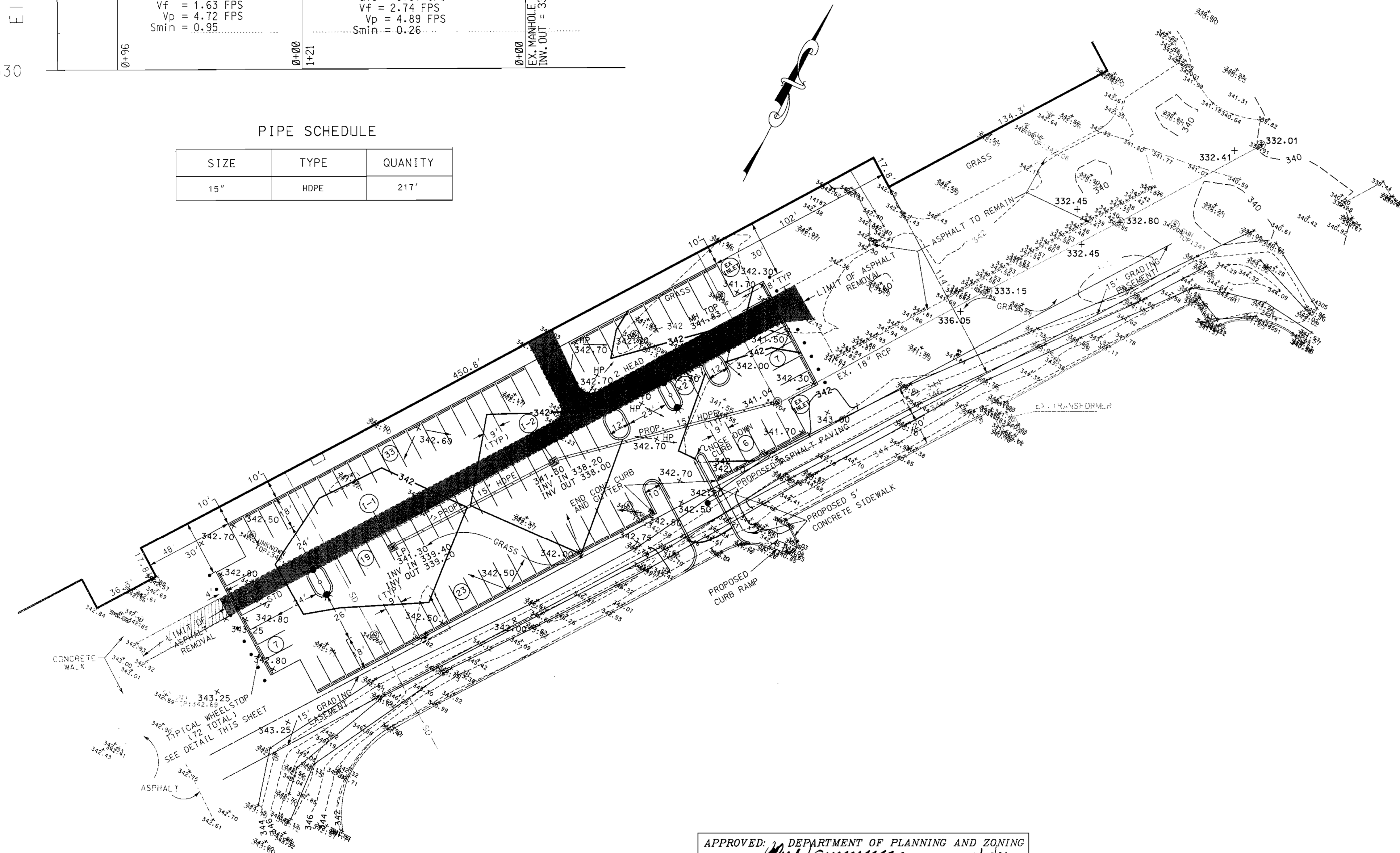
EX. MANHOLE
INV. OUT = 336.79

PIPE SCHEDULE

SIZE	TYPE	QUANTITY
15"	HDPE	217'



VICINITY MAP
1" = 2000'



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division MK Date 1/5/01
 Chief, Division of Land Development Date 1/5/01
 Director Date 1/5/00

OWNER / DEVELOPER
 PARCEL A-74 ASSOCIATES LLC
 C/O MR. OLAV KOLLEVOLL JR.
 8330 BOONE BLVD. SUITE 460
 PHONE: 317 636-1600
 VEINNA VA. 22182

EXISTING SDP 93-86

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STORM DRAIN PLAN AND PROFILE

PARKING LOT ADDITION BUILDING 2
GATEWAY COMMERCE CENTER
 6751 ALEXANDER BELL DRIVE
 6th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

SHEET 4 OF 5
 PROJECT NO. 801-04

LOIEDERMAN ASSOCIATES, INC.
 Civil Engineering Land Planning Land Surveying Environmental Studies
 7500 Piccadilly Drive, Rockville, Maryland 20850 301-948-2750 Fax: 301-948-9067
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Page: _____ Grid: _____
 Tax Map: _____ Zoning Category: _____

REVISIONS

NO.	REVISIONS	DATE

Designed: _____ Technician: _____
 Date: _____
 CAD Standards Version: _____

STATE OF MARYLAND
 REGISTERED PROFESSIONAL ENGINEER
 12/14/00

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Magnuform® III - RCS Series

Rectangular Cutoff Luminaire — 100-400 Watt HPS and 175-400 Watt MH
The Magnuform III Series offers a rectangular housing with sharp cutoff and a variety of distributions for many applications.

- Magnuform's clean appearance and wide range of wattages and outputs make it an excellent lighting solution for these applications:
- Shopping Centers
- Mail
- Commercial and Industrial complexes
- Roadway
- Any area where distinctive styling contributes to the overall environment.



For use in damp or wet locations.

Housing

Lightweight, rugged, one-piece formed and welded aluminum frame—smooth construction and weatherproof interior. The luminaire is pre-drilled for mounting to pole or wall.

Ballast

Ballast is factory mounted to a galvanized steel rod support which anchors to the arm for rigid 180° installation. 30°E, 40°E, 45°E, 60°E, 90°E, 120°E, 150°E, 180°E available.

Lens Door Frame

Extruded frame with right corner bracing and die cast zinc latch to permit tool-free entry for servicing. The door has high quality gasketing to seal against entry of insects, dirt, and moisture. Decorative silk screening provides for concealment of electrical compartment.

Lens

Flat, tempered and impact resistant glass.

Lektrocote® Finish

Two-way minimum of electrostatically applied powder coating, high temperature bonded to the surface for maximum adherence and finish hardness. Standard finishes include bronze, black, gray, and white.

Listings

Gasketed for all weather protection. UL 1572, suitable for wet locations. CSA-NRTL, certified for outdoor use. IP 54, suitable for damp locations.

Socket

Heavy duty mogul base porcelain with spring loaded center contact for positive grip and vibration resistance.

ORDERING INFORMATION

Catalog Number	Wattage	Distribution	EPA ft. lb.	Weight lb. kg
METAL HALIDE				
RCSA175H3P81	175W	8' / 18" 2	1.7 16 28 11.8	
RCSA175H3T81	175W	Forward Throw	1.7 16 27 12.2	
RCSA250H3P81	250W	8' / 18" 2	1.7 16 28 12.7	
RCSA250H3T81	250W	Forward Throw	1.7 16 28 13.2	
RCSA400H3P81	400W	8' / 18" 2	1.7 16 33 15.0	
RCSA400H3T81	400W	Forward Throw	1.7 16 33 15.0	
RCSA400H3S81	400W	Type V Square	1.7 16 33 15.0	
HIGH PRESSURE SODIUM				
RCSA100S3P81	100W	8' / 18" 2	1.7 16 28 11.8	
RCSA100S3T81	100W	Forward Throw	1.7 16 28 12.2	
RCSA150S3P81	150W	8' / 18" 2	1.7 16 28 12.7	
RCSA150S3T81	150W	Forward Throw	1.7 16 29 13.2	
RCSA250S3P81	250W	8' / 18" 2	1.7 16 35 15.9	
RCSA250S3T81	250W	Forward Throw	1.7 16 35 15.9	
RCSA250S3W81	250W	Type V Square	1.7 16 35 15.9	
RCSA400S3P81	400W	8' / 18" 2	1.7 16 42 19.1	
RCSA400S3T81	400W	Forward Throw	1.7 16 42 19.1	
RCSA400S3W81	400W	Type V Square	1.7 16 42 19.1	

Magnuform® III - RCS Series

Sample Catalog Number: **CATALOG LOGIC**

RCS	A	400 H	P	8	1	PCR1
175 H	175W Metal Halide	F1	120 Volt			
250 H	250W Metal Halide	F2	208 Volt			
100 S	100W High Pressure Sodium	F3	240 Volt			
150 S	150W High Pressure Sodium	F4	277 Volt			
250 S	250W High Pressure Sodium	F5	480 Volt			
400 S	400W High Pressure Sodium	F6	347 Volt			

LEKTROCOTE® FINISH

Finish	Color
1	Black
2	Bronze
3	Gray
4	White

Square Straight Steel Poles

SSP/SSC Series

1 pole or 2 pole single braced, as well as post top and Magna Series architectural luminaires.

Base Type	Material	Height	Top	Mounting	Options
P	Steel Plate	0	None, Tension only		
C	CSA Certified	2	RC, MSB, MSQ, MSI, MSV, DM, RA		
S	Slipfit (430/530 only)	4	DB Series / MSB Series		

ORDERING INFORMATION: SSP Series

Code	Pole Height	Wind Load Rating	Base	Top	Mounting	Options
SSP-100-20	10	20	P	0		
SSP-100-20	10	20	C	2		

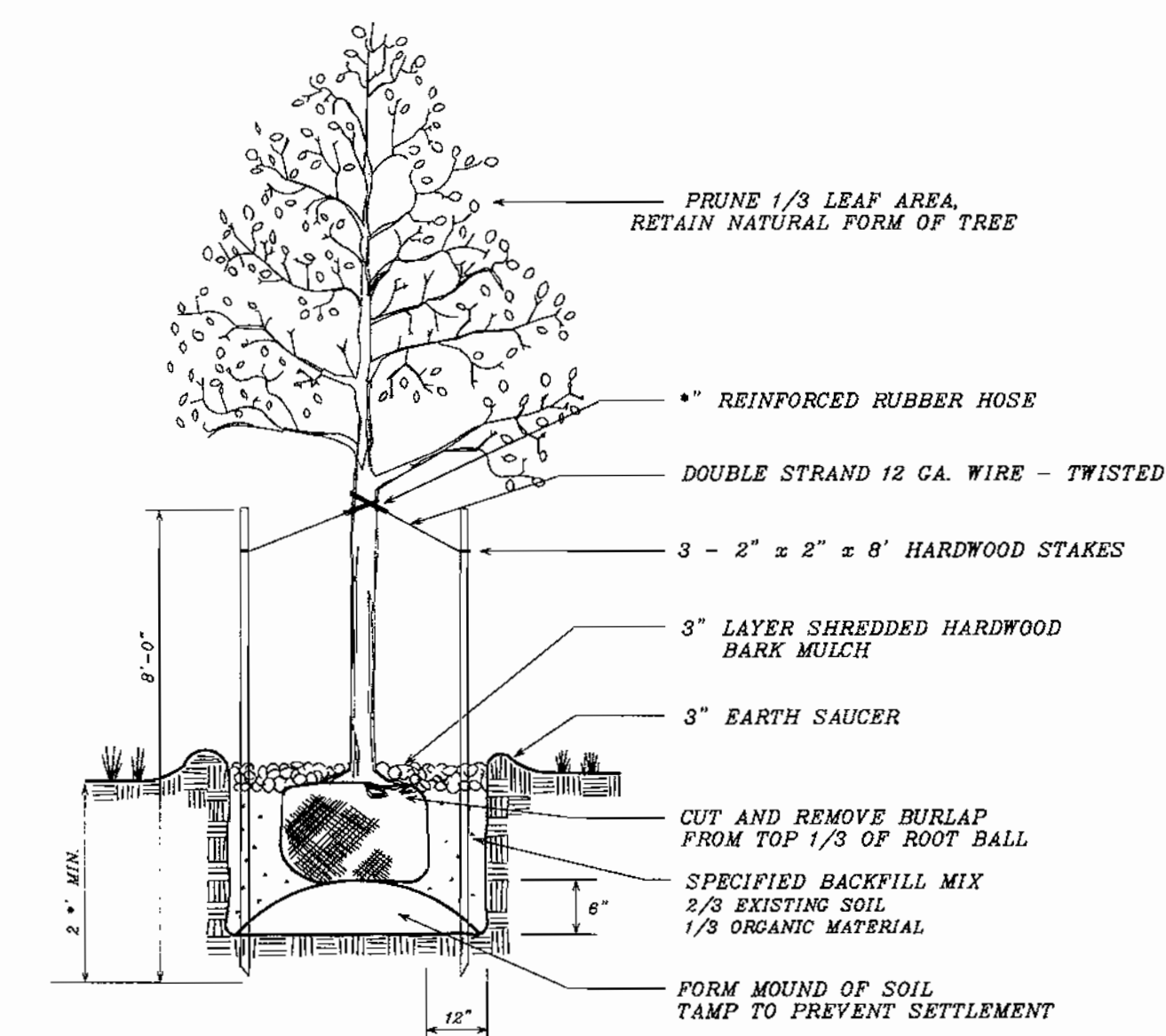
PROVIDE SEED AND MULCH BELOW TREES AS NOTED. ALL OTHER AREAS WITHIN DISTURBED AREA THAT ARE NOT NOTED PAVED, OR LANDSCAPED SHALL ALSO BE SEEDED AND MULCHED.

PLANTING SCHEDULE

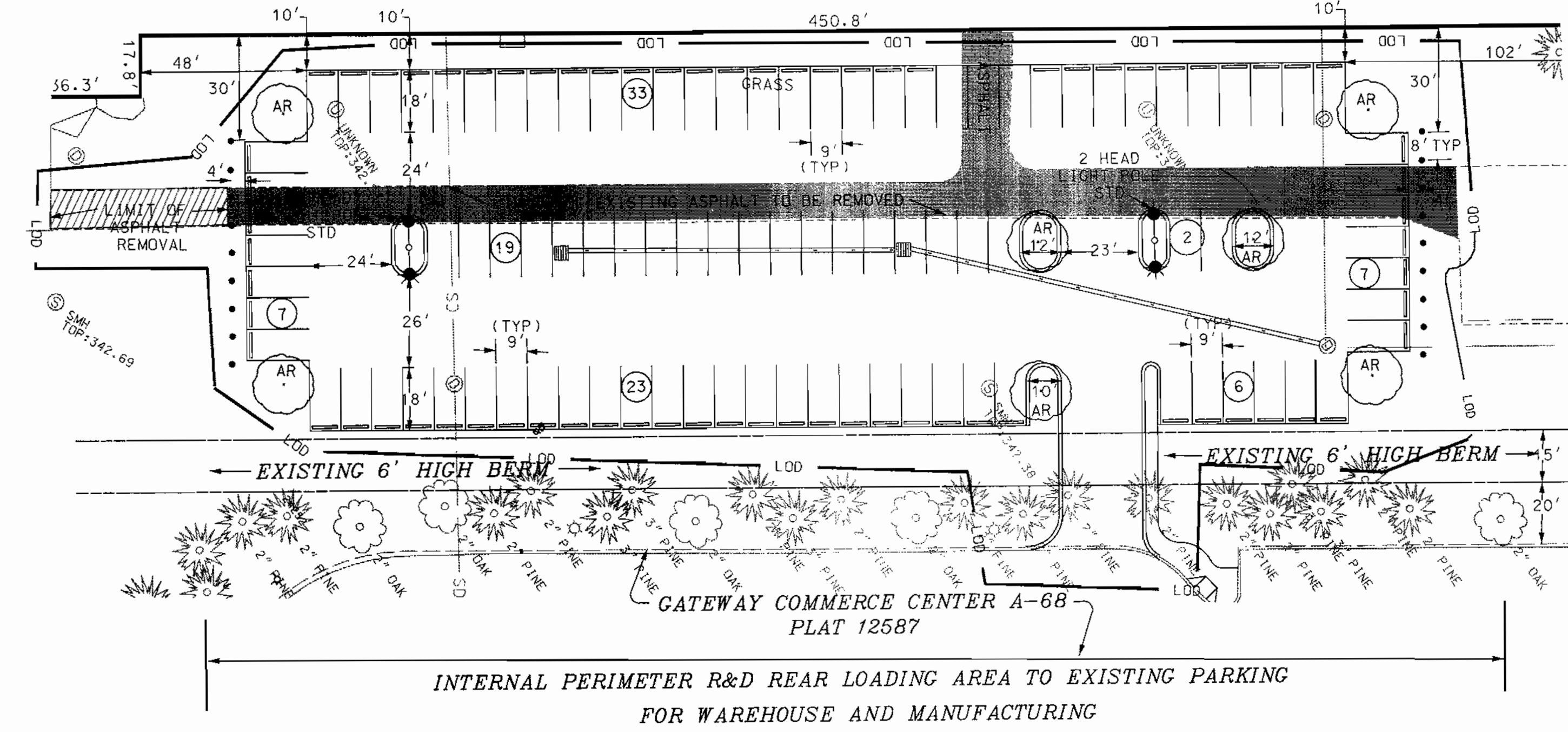
TOTAL	SYMBOL	COMMON NAME	SIZE	COMMENTS
7	AR	RED MAPLE	2.5-3.5" CAL	B&B

**SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING**

NUMBER OF SPACES	97
NUMBER OF TREES REQUIRED	5
NUMBER OF TREES PROVIDED	7



TREE PLANTING DETAIL—SHADE AND ORNAMENTAL TREES
NOT TO SCALE



PLAN VIEW
1" = 30'

NOTE :
A LANDSCAPE SURETY OF \$1,500.00 WILL BE POSTED WITH THE GRADING PERMIT APPLICATION.

CONTRACTOR SHALL ADJUST PLANTING BASED ON MISS UTILITY MARKINGS WITH APPROVAL OF THE LANDSCAPE ARCHITECT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
1/5/01
1/5/01
1/5/01

"MISS UTILITY"
CALL MISS UTILITY - TELEPHONE NUMBER 1-800-257-777 FOR EXISTING UTILITY LOCATIONS AT LEAST 48 HRS BEFORE BEGINNING CONSTRUCTION

OWNER / DEVELOPER
PARCEL A-74 ASSOCIATES LLC
C/O MR. OLAV KOLLEVOLL JR.
8330 BOONE BLVD. SUITE 460
PHONE: 371 636-1600
VEINNA VA. 22182

EXISTING SDP 93-86 FOR LANDSCAPING PURPOSES ONLY

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**LANDSCAPE PLAN
DETAILS AND NOTES**

PARKING LOT ADDITION BUILDING 2
GATEWAY COMMERCE CENTER

6751 ALEXANDER BELL DRIVE
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

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NO. REVISIONS BY DATE
Designed: _____ Technician: _____ Checked: _____

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