

# GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, "STANDARD SPECIFICATIONS AND SPECIFICATIONS FOR CONSTRUCTION LATEST EDITION" AND MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE LOCATION AND ELEVATIONS OF THE EXISTING UTILITIES SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION, AND DEPTH OF EXISTING UTILITIES IN THE WORK AREA AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR NOTIFYING FREDERICK WARD ASSOCIATES, INC. AT (410) 290-9550 IN THE EVENT OF ANY DISCREPANCIES ON THE PLAN OR THE RELATIONSHIP OF EXISTING GRADES WITH PROPOSED GRADES PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL NOTE THAT IN THE CASE OF A DISCREPANCY BETWEEN A SCALED DIMENSION AND A FIGURED DIMENSION SHOWN ON THE PLANS, THE FIGURED DIMENSION SHALL GOVERN.
- IT SHALL BE DISTINCTLY UNDERSTOOD THAT THE FAILURE TO MENTION SPECIFIC WORK THAT WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST 5 WORKING DAYS PRIOR TO BEGINNING WORK:  
 HOWARD COUNTY CONSTRUCTION INSPECTION DIVISION (410) 313-1880  
 MISSISSIPPI POWER CO. 1-800-257-7777  
 COB (FREDERICK) CO. 410-725-9976  
 HOWARD COUNTY BUREAU OF UTILITIES 410-313-2366  
 AT&T FACILITY LOCATION DIVISION 410-393-3553  
 BGE 410-685-0123  
 NOTIFY HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, STORMWATER CONTROL DIVISION AT LEAST 48 HOURS PRIOR TO START (410-313-1855)
- ALL PUBLIC UTILITIES SHOWN ARE INVERT ELEVATIONS, UNLESS STATED OTHERWISE.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THE PURPOSE OF THIS SITE DEVELOPMENT PLAN IS TO CONSTRUCT A GASOLINE STATION AND CONVENIENCE STORE.
- THE STORMWATER QUALITY AND QUANTITY MANAGEMENT WILL BE PROVIDED ON THE SITE BY A PRIVATE FACILITY.
- SECTION 404 OF THE MD DEPARTMENT OF NATURAL RESOURCES DOES NOT APPLY AND ARE ANY WETLANDS PERMITS REQUIRED FOR THIS PROJECT.
- ALL WASTE MATERIAL WHICH HAS BEEN GENERATED AS A RESULT OF THE CONVENIENCE STORE SHALL BE EITHER STORED ON SITE AND LATER SHIPPED FOR RECYCLING OR PROPERLY DISPOSED OF AT A COUNTY APPROVED LANDFILL.
- PUBLIC WATER AND SEWER WILL BE UTILIZED. A WATER METER SHALL BE LOCATED OUTSIDE OF THE MAIER ROAD RIGHT-OF-WAY LINE, AND WILL MEET ALL HOWARD COUNTY STANDARDS. ON-SITE WATER AND SEWER SHALL BE PRIVATE.
- ALL EXISTING WATER AND SEWER IS SHOWN PER CONTRACT NO. 382WAS
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL SITE LIGHTING MUST BE DIRECTED AWAY FROM THE ADJACENT PUBLIC RIGHT OF WAY AND COMPLY WITH THE REQUIREMENTS OF ZONING SECTION 114.
- THE CONTRACTOR OR DEVELOPER SHALL CONTACT THE CONSTRUCTION INSPECTION DIVISION 24 HOURS IN ADVANCE OF COMMENCEMENT OF WORK @ 410 313 1880
- ALL REFUSE SHALL BE STORED IN THE PROPOSED MASONRY TRASH ENCLOSURE IN ACCORDANCE WITH THE HOWARD COUNTY ORDINANCES & REGULATIONS FOR REFUSE COLLECTION.
- BOUNDARY PLAT FROM PLAT PREPARED BY JOYCE ENGINEERING ENTITLED "MAIER INDUSTRIAL PARK SECTION ONE PARCELS "A-1" AND "A-2" TOPOGRAPHY PREPARED BY FREDERICK WARD ASSOCIATES, INC. AUGUST, 2000.
- FLOOD PLAIN STUDY SUBMITTED BY JOYCE ENGINEERING AS PART OF PLAT ENTITLED "MAIER INDUSTRIAL PARK SECTION ONE PARCELS "A-1" AND "A-2"
- A FOREST CONSERVATION DECLARATION OF INTENT, SINGLE LOT, CLEARING LESS THAN 40,000 SQ FT OF FOREST (268,88 SQ FT OF FOREST) TO BE CLEARED HAS BEEN SUBMITTED TO DPZ.
- FOR A MAPS AND BOUNDS DESCRIPTION OF EASEMENTS AND THE 50' STREAM BUFFER ON LOT A-1 AND A-2 SEE PLAT F-00-144.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE SHOWN STREAM BUFFER AND/OR 100 YR FLOOD PLAIN WITHOUT PRIOR APPROVAL OF THE DPZ.

## SITE ANALYSIS

- AREA OF PARCELS: 60,572 SQ FT = 1,38643 AC  
DISTURBED AREA: 47,804 SQ FT = 1.08 AC
- ZONING: M-2  
AND USE: COMMERCIAL
- EXISTING USE: UNDEVELOPED PARCEL  
PROPOSED USES: GASOLINE SERVICE STATION WITH CONVENIENCE STORE
- FLOOR SPACE:  
a. CONVENIENCE STORE:  
GROSS AREA: 2,960 SQ FT (ONE STORY)
- MAXIMUM NUMBER OF EMPLOYEES: THREE (3)
- PARKING:  
a. REQUIRED: THREE FOR GASOLINE SERVICE STATION WITHOUT SERVICE BAY OR CAR WASH = 3 SPACES  
b. PER 1000 SQ FT OF CONVENIENCE STORE AREA:  
7 X 2960/1000 = 6 SPACES  
TOTAL REQUIRED: 9 SPACES  
c. PROVIDED: 21 SPACES (INCLUDING 1 HANDICAP SPACE)
- BUILDING COVERAGE:  
a. CONVENIENCE STORE: 2,960 SQ FT  
b. CANOPY: 3,600 FT  
TOTAL BUILDING COVERAGE: 6,560 SQ FT (10.8%)
- PROJECT BACKGROUND:  
SEE DEP. OF PLANNING & ZONING FILE NUMBER:  
PLAT F-00-144, F-01-153  
BOARD OF APPEALS 00-02 E&V

- WP-01-50 MAIER INDUSTRIAL PARK PARCEL A-2  
WAIVER GRANTED ON DECEMBER 8, 2000 FOR SECTION 16.119(F)(1) TO PERMIT A RIGHT IN ONLY ACCESS TO SITE FROM U.S. ROUTE 1. CONDITIONS TO APPROVAL:  
1. COMPLIANCE WITH MD SHA COMMENTS  
2. REVISION TO PLAT
- BA CASE # 00-02 E&V APPROVED JUNE 15, 2000  
REQUEST: 1. SPECIAL EXCEPTION FOR GASOLINE SERVICE STATION WITH A CONVENIENCE STORE.  
2. VARIANCES:  
a. REDUCE 50 FT STRUCTURE SETBACK ON EXTERNAL PUBLIC R/W TO 30' FOR TRASH RECEPTACLE ENCLOSURE.  
b. REDUCE THE 50 FT STRUCTURE SETBACK ON EXTERNAL PUBLIC R/W TO 25' FOR A TELEPHONE PAD.  
c. REDUCE THE 50 FT STRUCTURAL AND USE SETBACK FROM AN INTERNAL PUBLIC R/W TO 41.5 FT FOR THREE PUMP ISLANDS, TO 39.5 FT FOR A CANOPY AND TO 5 FT FOR AN AIR/VACUUM UNIT

ACTION: SPECIAL EXCEPTION AND VARIANCES APPROVED ON JUNE 15, 2000

### CONDITIONS:

- THAT THE VARIANCES SHALL APPLY ONLY TO THE CANOPY, FUEL DISPENSERS, AIR/VACUUM UNIT, PHONE PAD AREA AND TRASH RECEPTACLE ENCLOSURE BEING REQUESTED AND NOT ANY NEW STRUCTURES ON THE SUBJECT PROPERTY OR TO ANY ADDITIONS THERETO.
- THE SPECIAL EXCEPTION SHALL APPLY ONLY TO THE PROPOSED GASOLINE SERVICE STATION WITH CONVENIENCE STORE AS DESCRIBED IN THE PETITION, AND AS DEPICTED ON THE SPECIAL EXCEPTION PLAN FOR DALRYMPLE PROPERTY SUBMITTED ON FEBRUARY 18, 2000, OR AS MAY BE REVISED BY THE BOARD, AND NOT TO ANY OTHER ACTIVITIES, USES, OR STRUCTURES ON THE PROPERTY.
- THE PROPOSED OUTDOOR LIGHTING SHALL MEET OR EXCEED THE REQUIREMENTS OF SECTION 154 OF ZONING REGULATIONS SO THAT THIS LIGHTING IS SHIELDED AND DIRECTED SO THAT IT DOES NOT SHINE DIRECTLY ONTO ANY ADJACENT PROPERTIES, AND DOES NOT PRODUCE GLARE WHICH WOULD CAUSE A HAZARD FOR MOTOR VEHICLE OPERATORS IN THE VICINITY OF THE SITE.

# 7-ELEVEN

## MAIER INDUSTRIAL PARK PARCEL A-2

### SHEET INDEX

SHEET NUMBER	DRAWING TITLE
CD1	COVER SHEET
CD2	SITE LAYOUT PLAN
CD3	SITE GRADING AND SEDIMENT CONTROL PLAN
CD4	SEDIMENT AND EROSION CONTROL NOTES AND DETAILS
CD5	SITE UTILITY PLAN
CD6	STORM DRAIN PROFILES AND DETAILS
CD7	STORMWATER MANAGEMENT PLAN NOTES AND DETAILS
CD8	WATER AND SEWER PROFILES
CD9	BUILDING ELEVATIONS AND STORAGE PLAN
CD10	SITE LANDSCAPE PLAN
CD11	SHA ROAD AND WZTC PLAN
CD12	SHA AND HOWARD COUNTY STANDARD DETAILS

### PRIMARY CONTROL

STATION DESIGNATION 471C

A HOWARD COUNTY CONTROL STATION BEING A CONCRETE MONUMENT FLUSH WITH THE GROUND WITH AN ALUMINUM DISC ON THE NORTHWEST SIDE MD. RTE. 1 AT MAIER DR.

NORTH 532,036.878  
EAST 1,362,819.110  
ELEVATION 188.920 (NAVD 88)

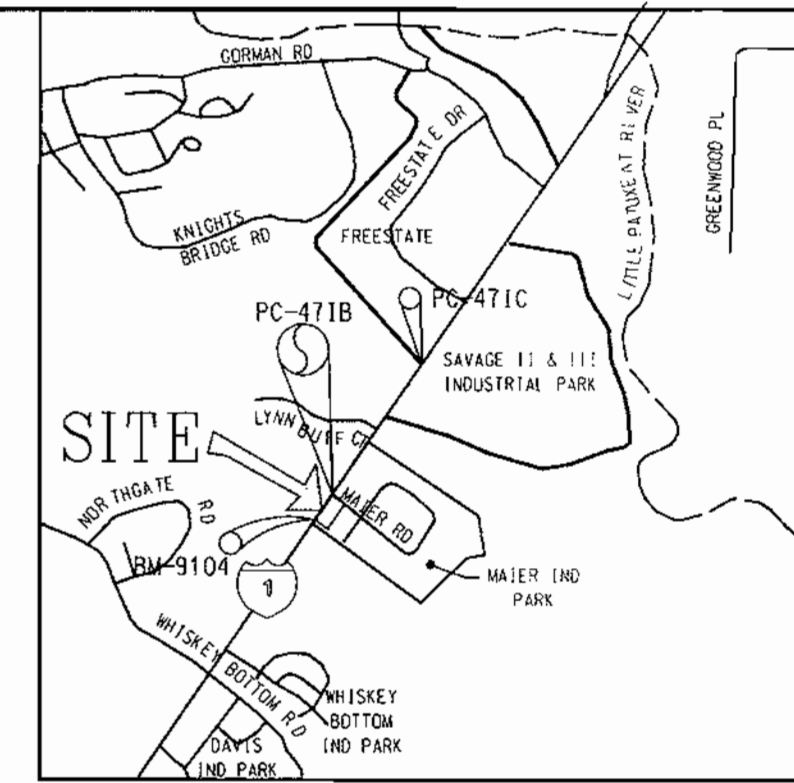
STATION DESIGNATION 471B

A HOWARD COUNTY CONTROL STATION BEING A CONCRETE MONUMENT FLUSH WITH THE GROUND WITH AN ALUMINUM DISC ON THE NORTHWEST SIDE MD. RTE. 1 AT MAIER DR.

NORTH 529,701.576  
EAST 1,361,469.811  
ELEVATION 180.586' (NAVD 88)

### BENCH MARKS

FWA TRAVERSE # 9104  
PIN W/ TRAVERSE CAP SET  
N = 529,519.600'  
E = 1,361,347.272'  
ELEVATION 180.52' (NAVD 88)



VICINITY MAP  
1"=2000'

HOWARD COUNTY ADC MAP  
PAGE NUMBER 20  
GRID NUMBER B-10

### DEMOLITION NOTES

- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SITE AND VERIFY EXISTING SITE CONDITIONS TO HIS SATISFACTION.
- CONTRACTOR TO MEET WITH DEVELOPER ON JOB SITE TO IDENTIFY EQUIPMENT, SIGNS AND ITEMS TO BE REMOVED OR RETAINED PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR MUST ADHERE TO ALL SAFETY REGULATIONS GIVEN BY O.S.H.A. AND HOWARD COUNTY.
- ALL DEMOLISHED MATERIALS TO BE REMOVED TO AN APPROVED LOCATION.
- ALL UTILITIES AND STRUCTURES WITHIN PUBLIC RIGHTS OF WAY SHALL REMAIN.
- ALL UTILITIES DAMAGED DURING DEMOLITION AND CONSTRUCTION SHALL BE REPAIRED AND / OR REPLACED IN KIND BY THE CONTRACTOR AT HIS OWN EXPENSE.
- TOPOGRAPHY SURVEY INFORMATION SHOWN ON THIS PLAN IS FROM A SURVEY PREPARED BY FREDERICK WARD ASSOCIATES, INC., DATED 1/7/2000. THE BOUNDARY INFORMATION SHOWN ON THIS PLAN IS TAKEN FROM SUBDIVISION PLAT BY JOYCE ENGINEERING CORPORATION.
- REFER TO DRAWING SHEET CDS FOR GENERAL NOTES PERTAINING TO UTILITIES.
- REFER TO DRAWING SHEET CDS & CD4 FOR ALL REQUIRED SEDIMENT CONTROL MEASURES.

### LEGEND

↓ GUY WIRE	△ TRAVERSE POINT
○ SIGN	TC TRAFFIC CONTROL DEVICE
○ POWER POLE	CC SANITARY CLEAN OUT
○ LIGHT POLE	W WELL
⊗ FIRE HYDRANT	M MAILBOX
○ MONITOR WELL	○ DECIDUOUS TREE
⊕ WATER VALVE	⊕ EVERGREEN TREE
⊕ GAS VALVE	— W WATERLINE
— G UNDERGROUND GAS	— SD STORM DRAIN
— OH OVERHEAD LINES	— E UNDERGROUND ELECTRIC
— SS SANITARY SEWER	(ETR) EXISTING TO REMAIN
(TYP) TYPICAL	(TBR) TO BE REMOVED
(PROP) PROPOSED	

SDP# 01-57

RELEASED FOR

- PRELIMINARY ONLY  
 BIDDING  
 PERMIT  
 CONSTRUCTION

DATE:

### WETLAND CERTIFICATION

THE SUBJECT PROPERTY LOCATED AT 9651 WASHINGTON BOULEVARD IN HOWARD COUNTY, MARYLAND DOES NOT CONTAIN ANY JURISDICTIONAL NONWATER WETLANDS. THIS SITE DOES HOWEVER CONTAIN JURISDICTIONAL WATERS OF THE UNITED STATES. THE U.S. ARMY CORPS OF ENGINEERS HAS NOT VERIFIED THESE BOUNDARIES, THROUGH THE JURISDICTIONAL DETERMINATION PROCESS.

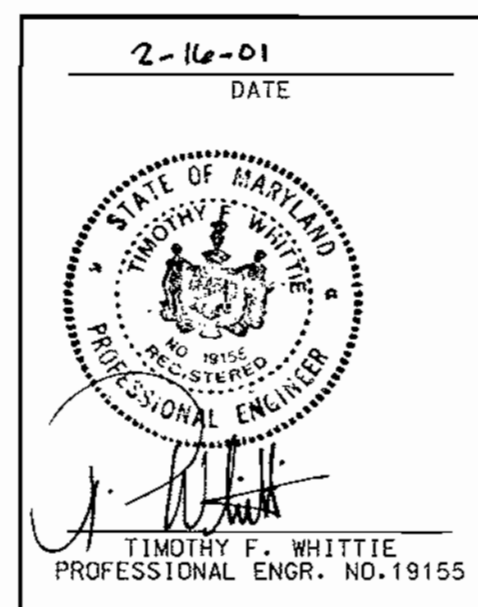
*David S. D...*  
DATE: 2-16-01

OWNER

ALVIN R. and BETTE L. MAIER  
4700 ANNAPOLIS ROAD  
BLADENSBURG, MD 20710

DEVELOPER

MAIER ROAD, LLC  
10422 GREEN MOUNTAIN CIRCLE  
COLUMBIA, MD 21044  
REX DALRYMPLE: 410-997-3071



**FREDERICK WARD ASSOCIATES, INC.**  
7125 Riverwood Drive Columbia, Maryland 21046-2954  
Phone: 410-290-9850 Fax: 410-720-5228  
Bel Air, Maryland Manassas, Virginia Warrenton, Virginia

BEFORE BEGINNING CONSTRUCTION CONTACT  
"MISS UTILITY"  
AT  
1-800-257-7777  
AT LEAST 48 HOURS PRIOR TO EXCAVATION

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
CHIEF-DEVELOPMENT ENGINEERING DIVISION  
CHIEF-DIVISION OF LAND DEVELOPMENT  
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.  
HOWARD COUNTY HEALTH DEPARTMENT

DATE	NUMBER	REVISION DESCRIPTIONS
2/14/01	1	REVISED PER COUNTY COMMENTS

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO.	
MAIER INDUSTRIAL PARK	SECTION 1	A - 2	
PLAT #	ZONING	TAX MAP NO. - ELECT DISTRICT	CENSUS TRACT
14743	M-2	47	6069.02
WATER CODE	SEWER CODE		
C - 04	7100800		

ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
A - 2	9651 WASHINGTON BOULEVARD

TITLE		
PROPOSED 7-ELEVEN STORE BALTIMORE WASHINGTON BLVD @ MAIER ROAD COVER SHEET		

DESIGN BY: TFW	SCALE: AS NOTED	PROJECT NO.: 99465
DRAWN BY: MIB	DATE: 2/14/01	DRAWING NUMBER
CHECKED BY: TFW	APPROVED: TFW	CD1 OF 12

SDP-01-57

**CONSTRUCTION NOTES**

1. SEVEN-ELEVEN STORE - REFER TO ARCH DWG
2. PROP ARCHITECT CABINETS - REFER TO ARCH DWG
3. 42" X 30" CANDY W/FEEL CONK. REFER TO ARCH DWG
4. FUE DISPENSER - (TYP OF 6) SEE DETAIL SHEET CD9
5. ELEC. CAB - (TYP OF 2) SEE DETAIL SHEET CD9
6. PROP 42" FUEL STORAGE TANKS - PER SEVEN-ELEVEN SPEC.
7. PROP PIPING & VAPOR RECOVERY SYS - PER SEVEN-ELEVEN SPEC.
8. VENT PIPES PER SEVEN-ELEVEN SPEC.
9. PROP CONC PAVING - SEE DETAIL BAL OF CONC @ PUMP ISLANDS.
10. 96" 8" CONC @ TANK PAD & 96" 4" CONC @ PUMP ISLANDS.
11. 10" DETAIL THIS SHEET
12. REMOVE EX CURB AT NEAREST CONSTRUCTION JOINT. MEET EX CURB FOR LINT AND GRADE.
13. BEGIN EX WALK REMOVAL AT NEAREST CONSTRUCTION JOINT
14. MEET EX WALK FOR LINT AND GRADE
15. PROP CONC WALK - HOWARD CD DPA STD 2-3.05
16. PROP H. C. RAMP - HOWARD CD DPA STD 2-4.01
17. SHA ENTRANCE - REFER TO SHA ENTRANCE PERMIT
18. SHA CONC CURB - REFER TO SHA ENTRANCE PERMIT
19. PROP ASPHALT RAMP - PER SEVEN-ELEVEN SPEC.
20. PROP CONC TELEPHONE PAD - PER SEVEN-ELEVEN SPEC.
21. CONCRETE CURB HOWARD CD. DPA STD 2-3.01
22. 10" TRANSITION FROM OFF-SITE CURB TO ON-SITE CURB
23. PROP CONC PAD FOR TRASH ENCLOSURE - SEE DETAIL THIS SHEET
24. PROP TRASH ENCLOSURE - REFER TO ARCH DWG.
25. PROP CONC WALK - SEE DETAIL THIS SHEET
26. PROP RAMP - SEE DETAIL THIS SHEET (SINGLE RAMP)
27. PROP RAMP - SEE DETAIL THIS SHEET (DOUBLE RAMP)
28. DO NOT ENTER SIGN - PER MD CD 21-101
29. DO NOT ENTER SIGN - PER MD CD 21-101
30. HANDICAP PARKING SIGN - ADA SPEC.
31. YARD LIGHT (TYP OF 10) - SEE DETAIL THIS SHEET
32. FREESTANDING SIGN - SEE DETAIL SHEET CD7
33. PARKING LOT PAINT STRIPING (TYP OF 14) WIDE WHITE
34. WALL WASH LIGHTING
35. WALL PACK LIGHTS (3 EA)
36. GROUND HYDRANT (HCS BIB)
37. DOWN SPOUTS (3 EA)
38. S.W.M. CONTROL STRUCTURE - SEE SHEET CD6 & CD7
39. 48" MANHOLE - SEE SHEET CD6 & CD7
40. TRENCH DRAIN - SEE SHEET CD6 & CD7
41. 4" PIPE VENT - SEE DETAIL SHEET 7
42. PROP SHA ROAD STRIPING
43. GREASE TRAP - PER HOWARD CD 2-3.05
44. SHA HANDICAP RAMP - PER HOWARD CD 2-3.05
45. 5" SIDEWALK HOWARD CD STD 3.05

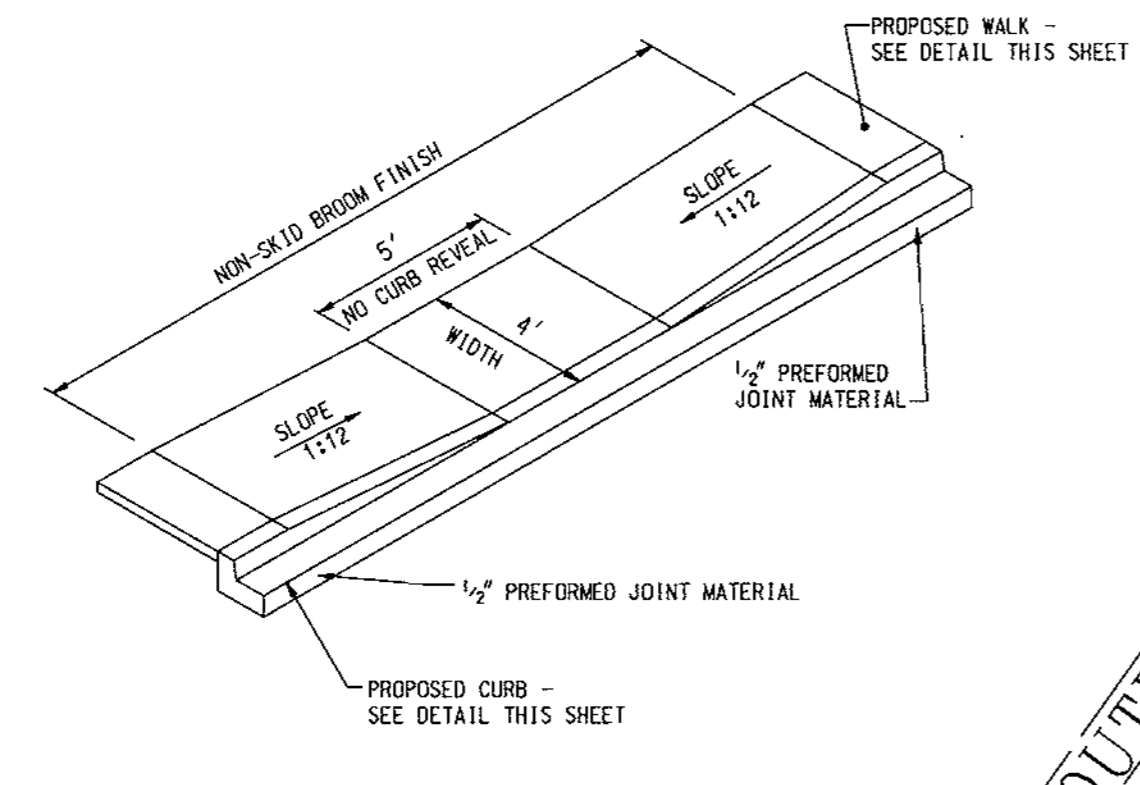
**\*NOTE**

1. WALL WASH LIGHTS ARE ALONG ENTIRE WALL FACING RTE 1 - BUT ONLY 8' SEGMENTS ON OTHER CORNERS REQUIRE MODIFICATION ON STD BLOCK BLDG 49" X 60".
2. UNLESS OTHERWISE NOTED - AREA LIGHTING TO BE SUPPLIED BY SEVEN-ELEVEN, INC AND INSTALLED BY G.C.

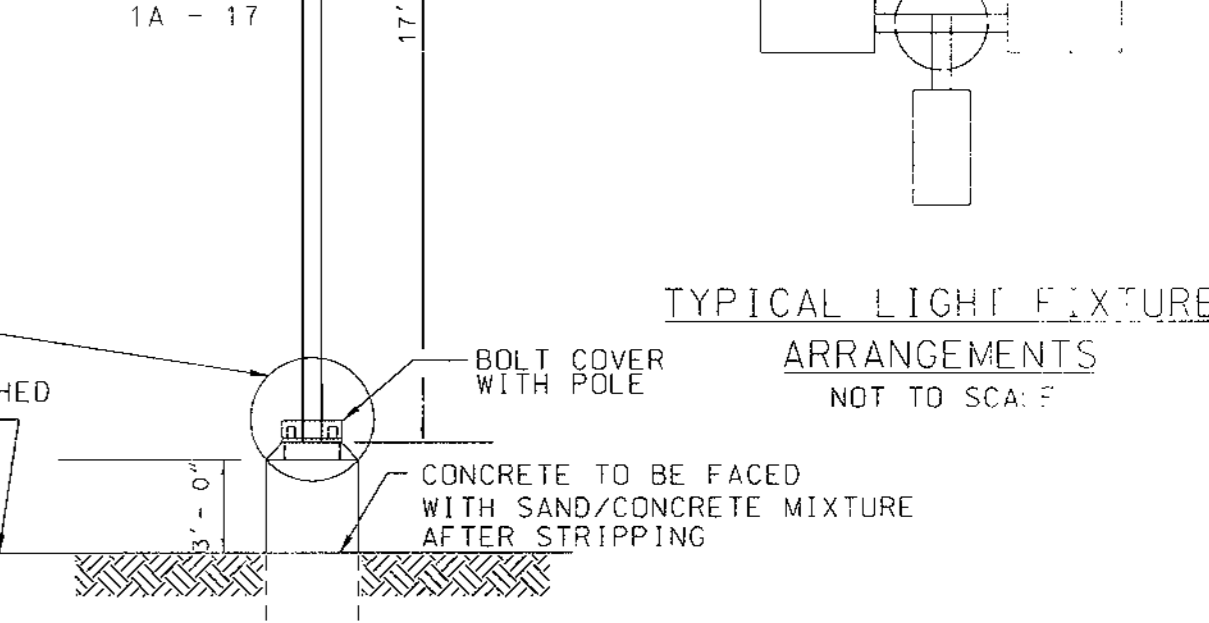
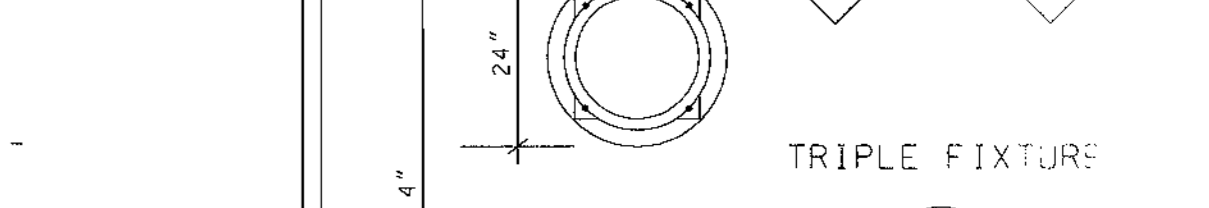
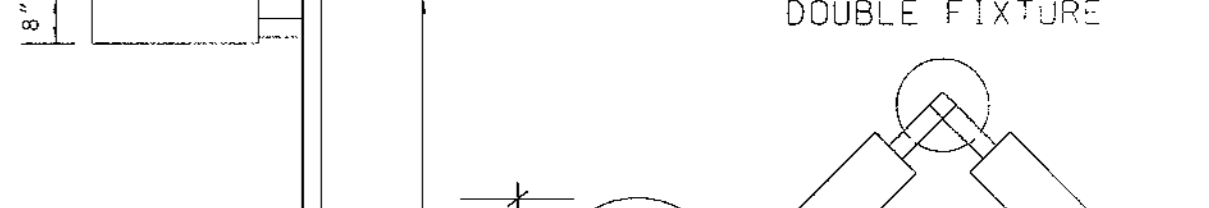
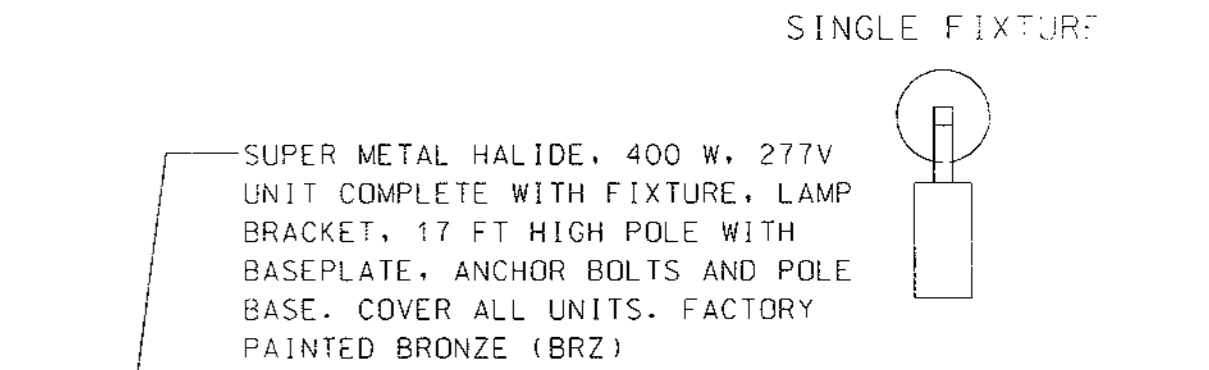
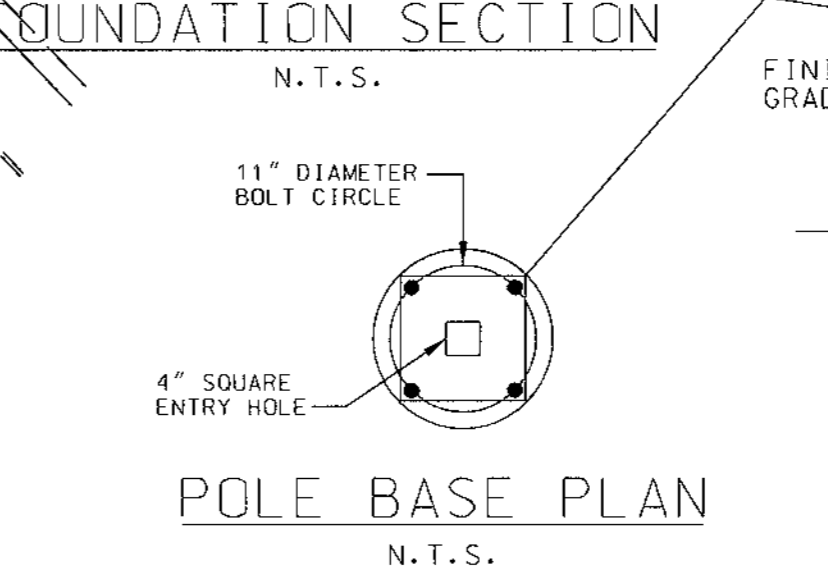
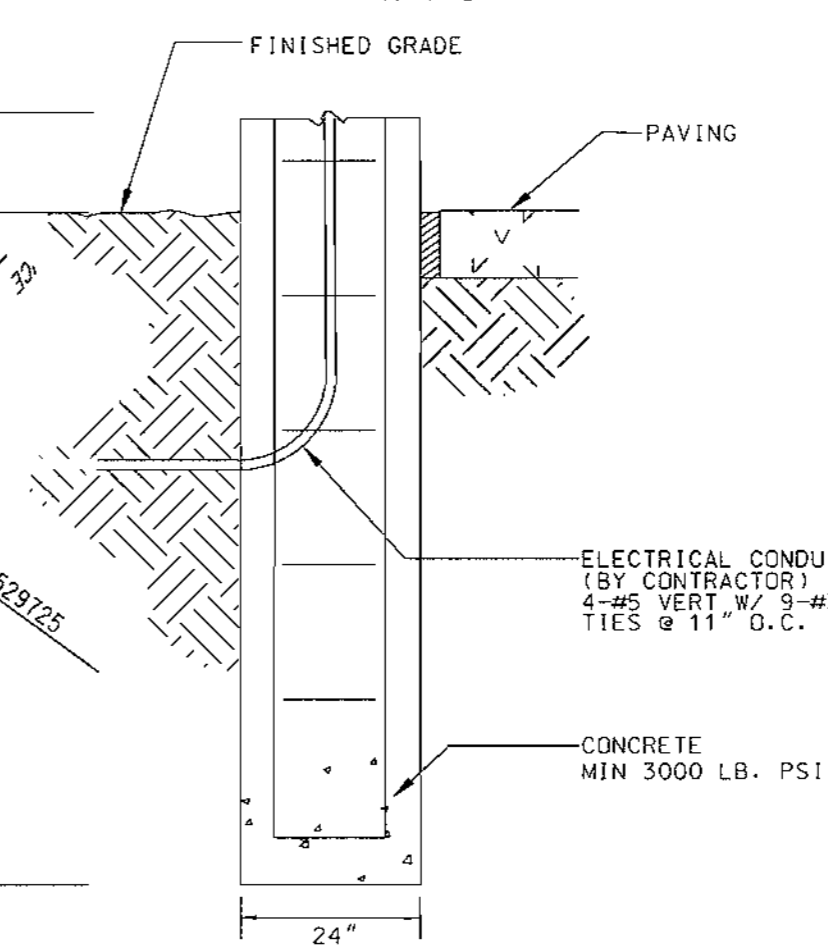
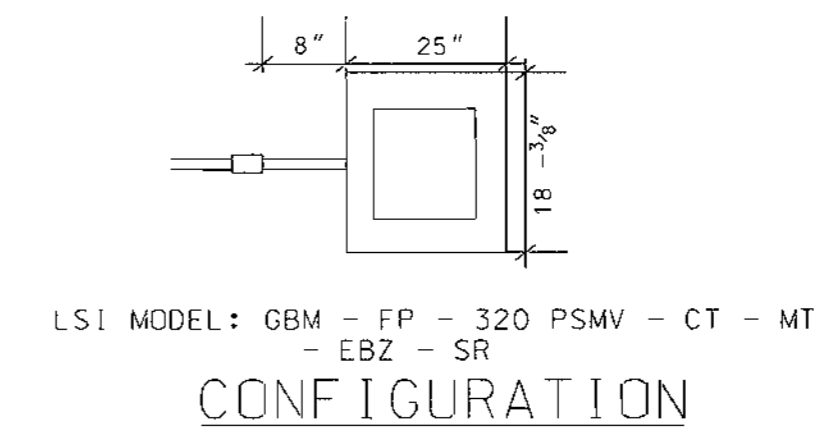
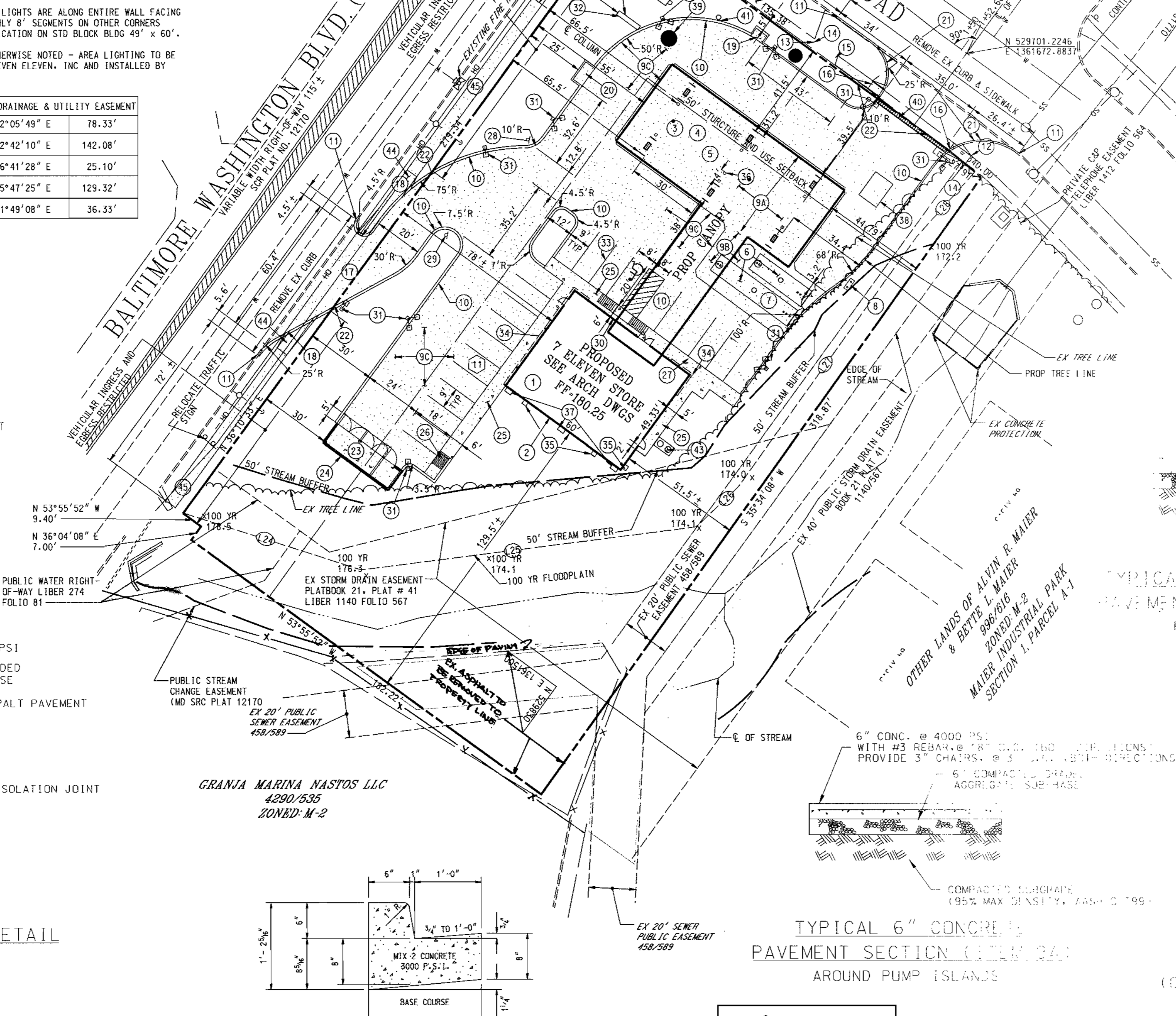
Lot	Dimensions	Area
L24	S 72°05'49" E 78.33'	78.33'
L25	N 82°42'10" E 142.08'	142.08'
L26	N 46°41'28" E 25.10'	25.10'
L27	N 35°47'25" E 129.32'	129.32'
L28	N 41°49'08" E 36.33'	36.33'

**LAYOUT NOTE**

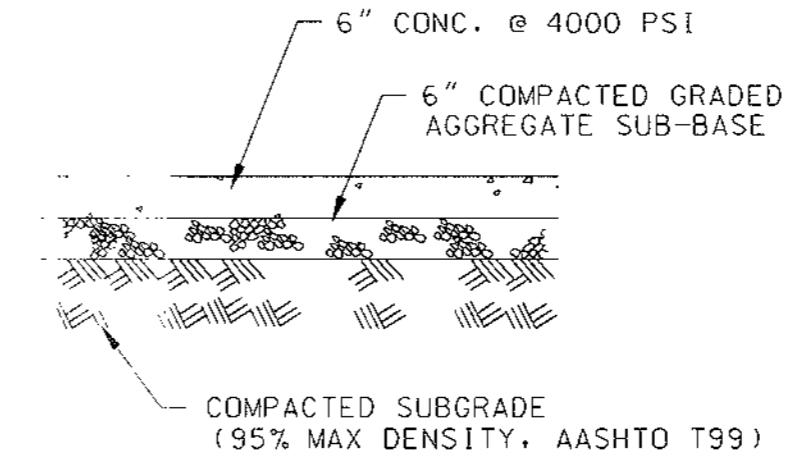
1. ALL DIMENSIONED DISTANCES SHALL BE SHOWN ON THE SCALED PLAN.
2. SEE SHEET CD3 FOR LAYOUT DIMENSIONS AND GRADING ELEVATIONS AT HANDICAP PARKING SIGN LOCATION.



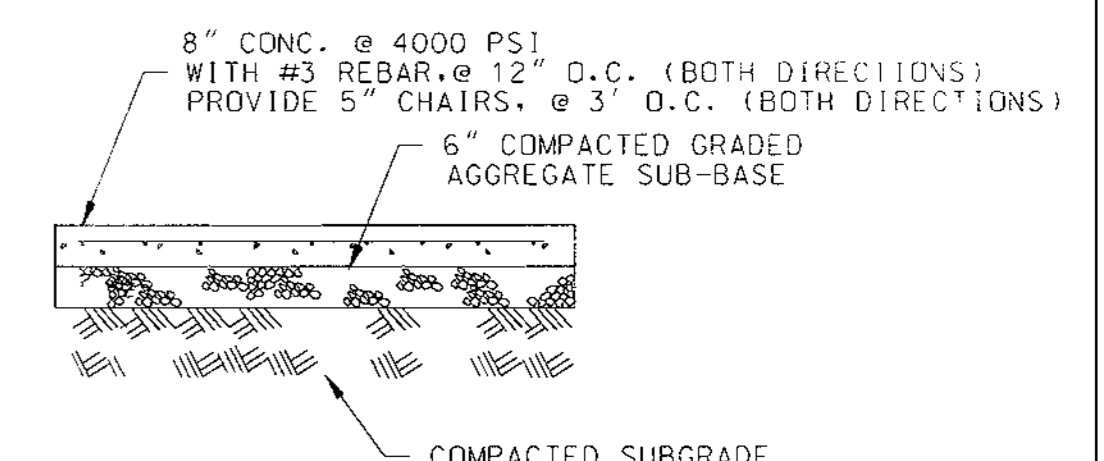
**DETAIL - TYPE 1 SIDEWALK RAMP**  
NOT TO SCALE



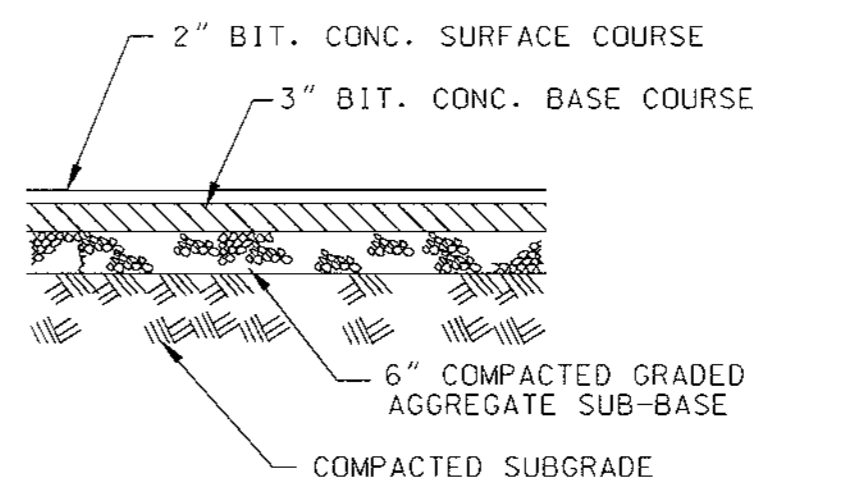
**ELEVATION LIGHT POLE**  
N.T.S. COLOR: BRONZE



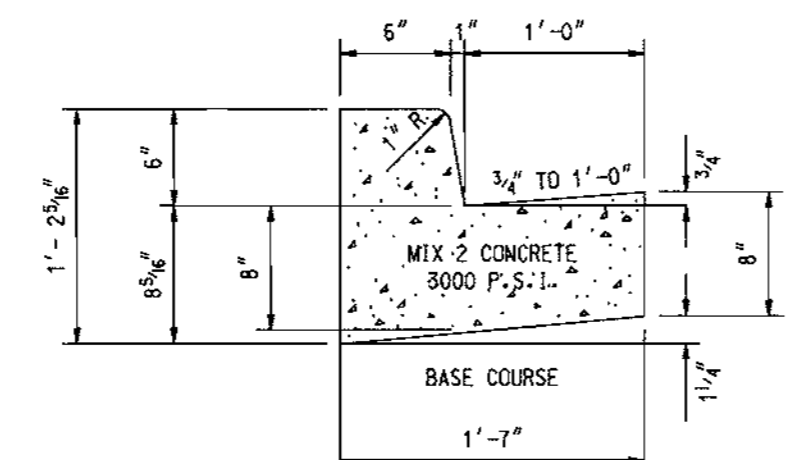
**TYPICAL 6\"/>**



**TYPICAL 8\"/>**



**TYPICAL BITUMINOUS PAVEMENT SECTION**  
(ON-SITE PARKING LOT PAVEMENT ALTERNATE)



**DETAIL - CURB AND GUTTER**  
NOT TO SCALE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF-DEVELOPMENT ENGINEERING DIVISION  
*Cindy Howard* 4/16/01 DATE

CHIEF-DIVISION OF LAND DEVELOPMENT  
*Joseph R. Smith* 4/16/01 DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.  
*Diana L. Mitchell* 4-12-01 DATE

**FREDERICK WARD & ASSOCIATES, INC.**  
ENGINEERS 7125 Rowwood Drive Columbia, Maryland 21046-2354  
ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226  
SURVEYORS Bel Air, Maryland Warrenton, Virginia

2-16-01 DATE

**TIMOTHY F. WHITTE**  
PROFESSIONAL ENGR. NO. 19155

OWNER: **ALVIN R. and BETTE L. MAIER**  
4700 ANNAPOLIS ROAD  
BLADENSBURG, MD 20710

DEVELOPER: **MAIER ROAD, LLC**  
10422 GREEN MOUNTAIN CIRCLE  
COLUMBIA, MD 21044  
REX DALRYMPLE: 410-997-3071

**SDP# 01-57**

RELEASED FOR:  
 PRELIMINARY ONLY  
 BIDDING  
 PERMIT  
 CONSTRUCTION

DATE: \_\_\_\_\_

DATE	NUMBER	REVISION DESCRIPTIONS
2/14/01	1	REVISED PER COUNTY COMMENTS

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO.	
MAIER INDUSTRIAL PARK	SECTION 1	A - 2	
PLAT#	BLOCK#	ZONING	TAX MAP NO. ELECT DISTR
14743	23	M-2	6
WATER CODE	C - 04	SEWER CODE	7100800

ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
A - 2	9651 WASHINGTON BOULEVARD

TITLE: **PROPOSED 7-ELEVEN STORE**  
**BALTIMORE WASHINGTON BLVD @ MAIER ROAD**  
**SITE LAYOUT PLAN**

DESIGN BY: TFW SCALE: 1" = 30' PROJECT NO.: 99465  
DRAWN BY: MIB DATE: 2/14/01 DRAWING NUMBER  
CHECKED BY: TFW APPROVED: TFW

**CD2 OF 12**  
SDP-01-57

# SEQUENCE OF CONSTRUCTION

- OBTAIN HOWARD COUNTY GRADING PERMIT.
- NOTIFY HOWARD COUNTY AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION.
- CONDUCT A PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR PRIOR TO ANY LAND DISTURBANCE.
- INSTALL ALL SILT FENCE AS INDICATED ON PLANS.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE WITH MOUNTABLE BERM.
- SEED AND STOCKPILE TOPSOIL. STABILIZE STOCKPILE WITH SEED AND MULCH.
- ROUGH GRADE SITE.
- INSTALL STORM DRAIN UTILITIES & STORMWATER MANAGEMENT FACILITY. STABILIZE INLET WITH INLET PROTECTION, IMMEDIATELY UPON COMPLETION OF STORM DRAIN INSTALLATION.
- COMPLETE INSTALLATION OF STORM DRAIN/SWM FACILITY SYSTEM AND REMAINING ON-SITE UTILITIES, INCLUDING UNDERGROUND FUEL STORAGE TANKS. SWM STORAGE PIPES SHALL BE BLOCKED TO PREVENT SEDIMENT FROM ENTERING THE SYSTEM.
- INSTALL CURB AND GUTTER.
- INSTALL CONVENIENCE STORE, PUMP ISLANDS, AND CANOPY.
- INSTALL PAVING BASE COURSE, REMOVE INLET PROTECTION PER THE SEDIMENT CONTROL INSPECTOR AS WORK PROGRESSES.
- INSTALL PAVING SURFACE COURSE.
- FINE GRADE AND STABILIZE REMAINING SITE. INSTALL LANDSCAPING.
- CLEAN AND FLUSH OUT STORM DRAIN SYSTEM. DISPOSE OF SEDIMENT LADEN MATERIAL CLEANED OUT OF THE STORM DRAIN IN A MANNER APPROVED BY THE SEDIMENT CONTROL INSPECTOR. REMOVE STORAGE PIPES BLOCKADE.
- REMOVE ALL SEDIMENT CONTROL MEASURES AFTER RECEIVING APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR.

# ESTIMATE OF SEDIMENT CONTROL QUANTITIES

SUPER SILT FENCE: 270 LF  
 SILT FENCE: 440 LF  
 STABILIZED CONSTRUCTION ENTRANCE: 1 EA  
 INLET PROTECTION: 1 EA

NOTE: THESE QUANTITIES ARE FOR SEDIMENT CONTROL USE ONLY. CONTRACTOR SHALL NOT RELY ON THESE QUANTITIES FOR ESTIMATING AND BIDDING PURPOSES.

# SITE ANALYSIS DATA

- TOTAL SITE AREA: 60,572 SF = 1.39 AC ±
- TOTAL DISTURBED AREA: 47,804 SF = 1.08 AC ±
- TOTAL IMPERVIOUS AREA: 30,492 SF = 0.7 AC ±
- AREA TO BE VEGETATIVELY STABILIZED: 16,553 SF = 0.38 AC ±
- EARTH WORK:  
 CUT - 800 CY  
 FILL - 1890 CY  
 TOPSOIL - 300 CY

NOTE: THESE QUANTITIES ARE FOR SEDIMENT CONTROL USE ONLY. CONTRACTOR SHALL NOT RELY ON THESE QUANTITIES FOR ESTIMATING AND BIDDING PURPOSES.

# LEGEND

- SF - SILT FENCE
- SSF - SUPER SILT FENCE
- LIMIT OF DISTURBANCE
- STABILIZED CONSTRUCTION ENTRANCE W/ MOUNTABLE BERM
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED ON-SITE ASPHALT
- PROPOSED CONCRETE PAVING
- AT GRADE INLET PROTECTION (AGIP)
- SOILS DIVISION LINE

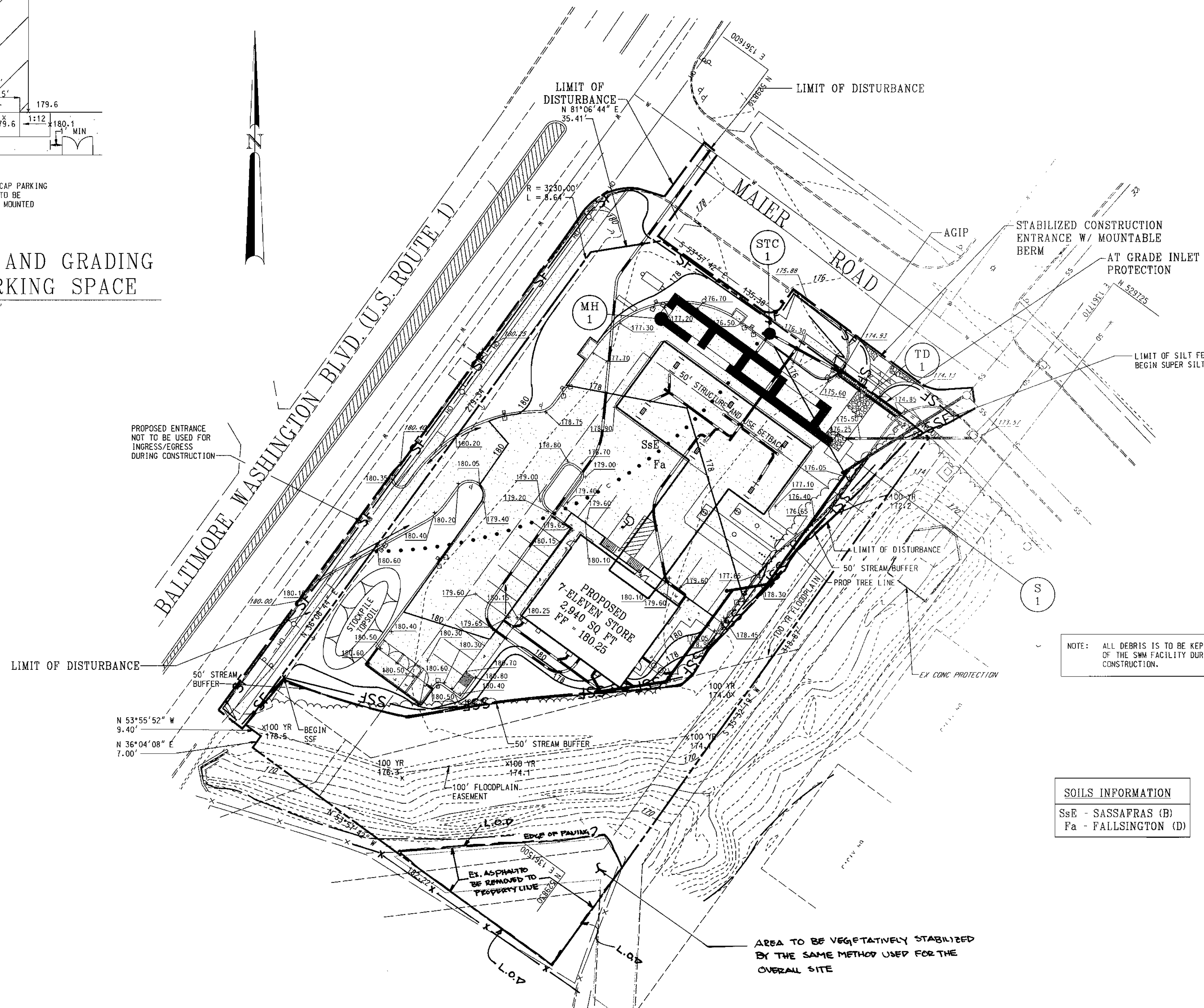
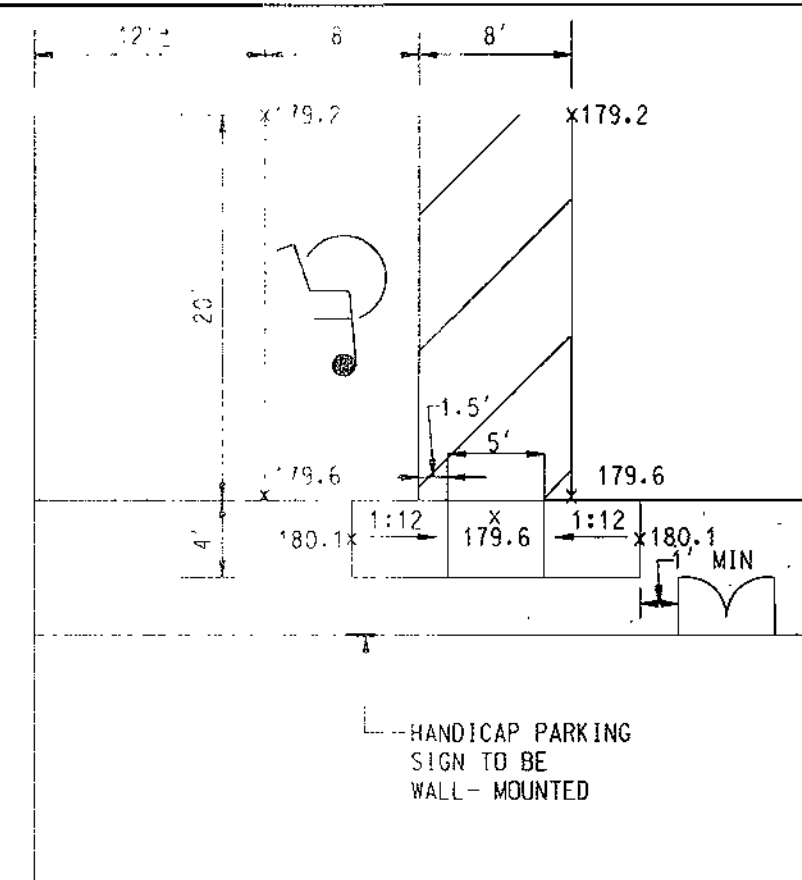
# SOILS INFORMATION

SsB - SASSAFRAS (B)  
 Fa - FALLSINGTON (D)

# UTILITY NOTE

- CONTRACTOR SHOULD OPEN THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWN SLOPE) THE TRENCH.
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.

# DETAIL: LAYOUT AND GRADING @ HANDICAP PARKING SPACE



Reviewed for HOWARD S.C.D.  
 Name  
 and meets Technical Requirements  
 Signature Date 4/5/01  
 USDA, NATURAL RESOURCES CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
 Approved [Signature] Date 4/5/01  
 Howard S.C.D.

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 CHIEF-DEVELOPMENT ENGINEERING DIVISION  
 [Signature] DATE 4/19/01  
 CHIEF-DIVISION OF LAND DEVELOPMENT  
 [Signature] DATE 4/19/01  
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
 COUNTY HEALTH OFFICER  
 HOWARD COUNTY HEALTH DEPARTMENT

**FREDERICK WARD ASSOCIATES, INC.**  
 ENGINEERS 7125 Ravenwood Drive Columbia, Maryland 21046-2354  
 ARCHITECTS Phone: 410-290-9560 Fax: 410-720-6226  
 SURVEYORS Bel Air, Maryland Manassas, Virginia Warrenton, Virginia

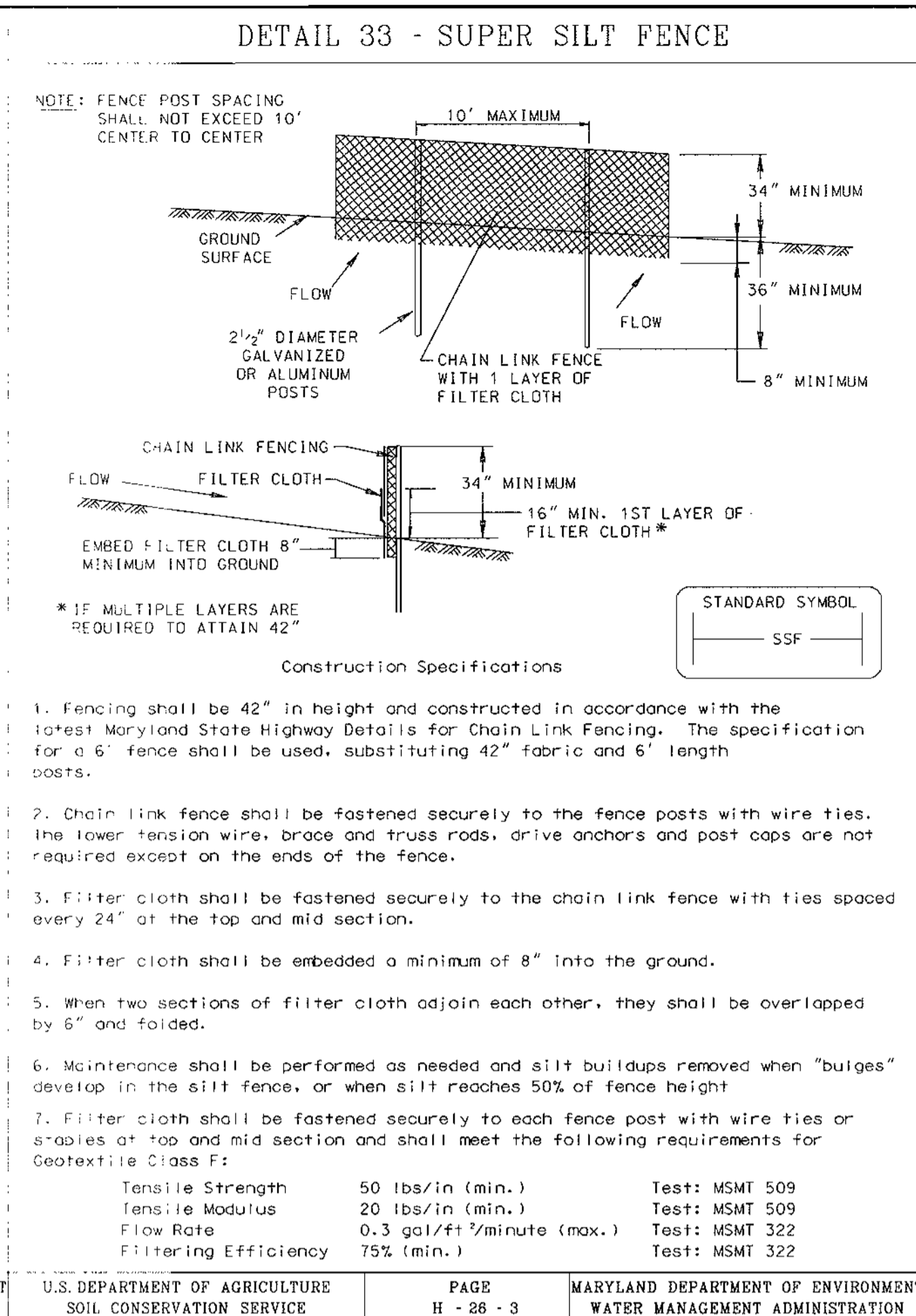
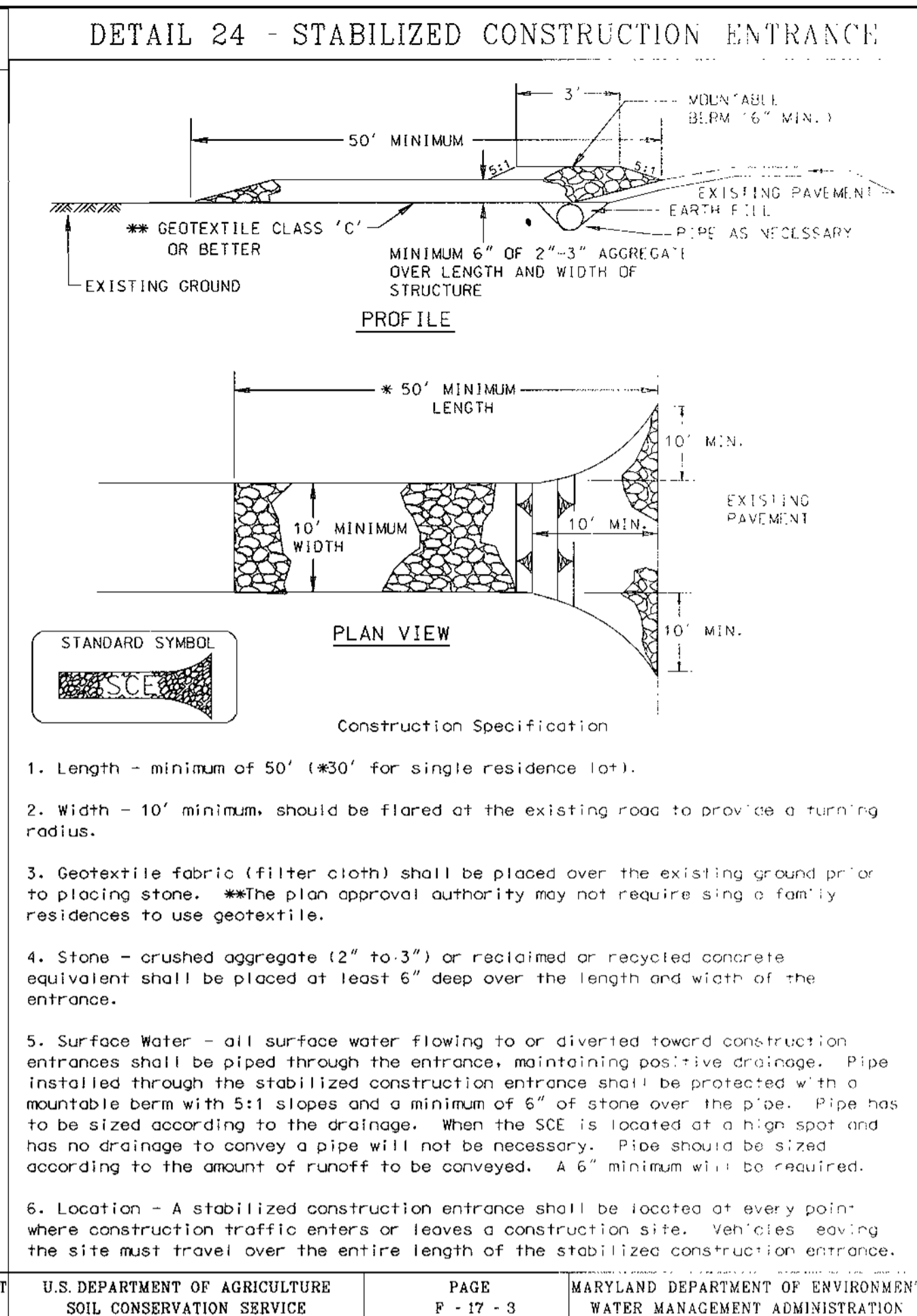
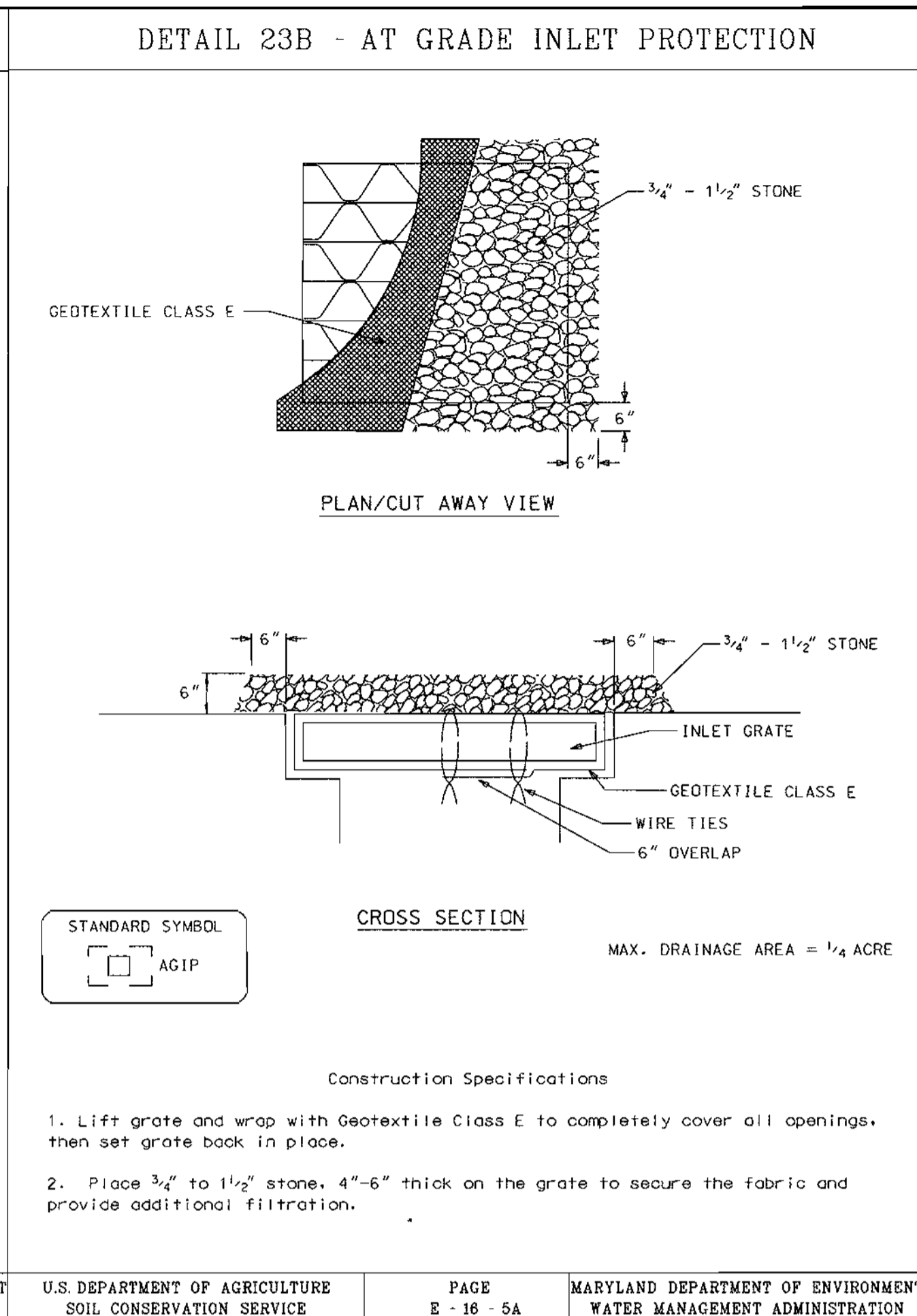
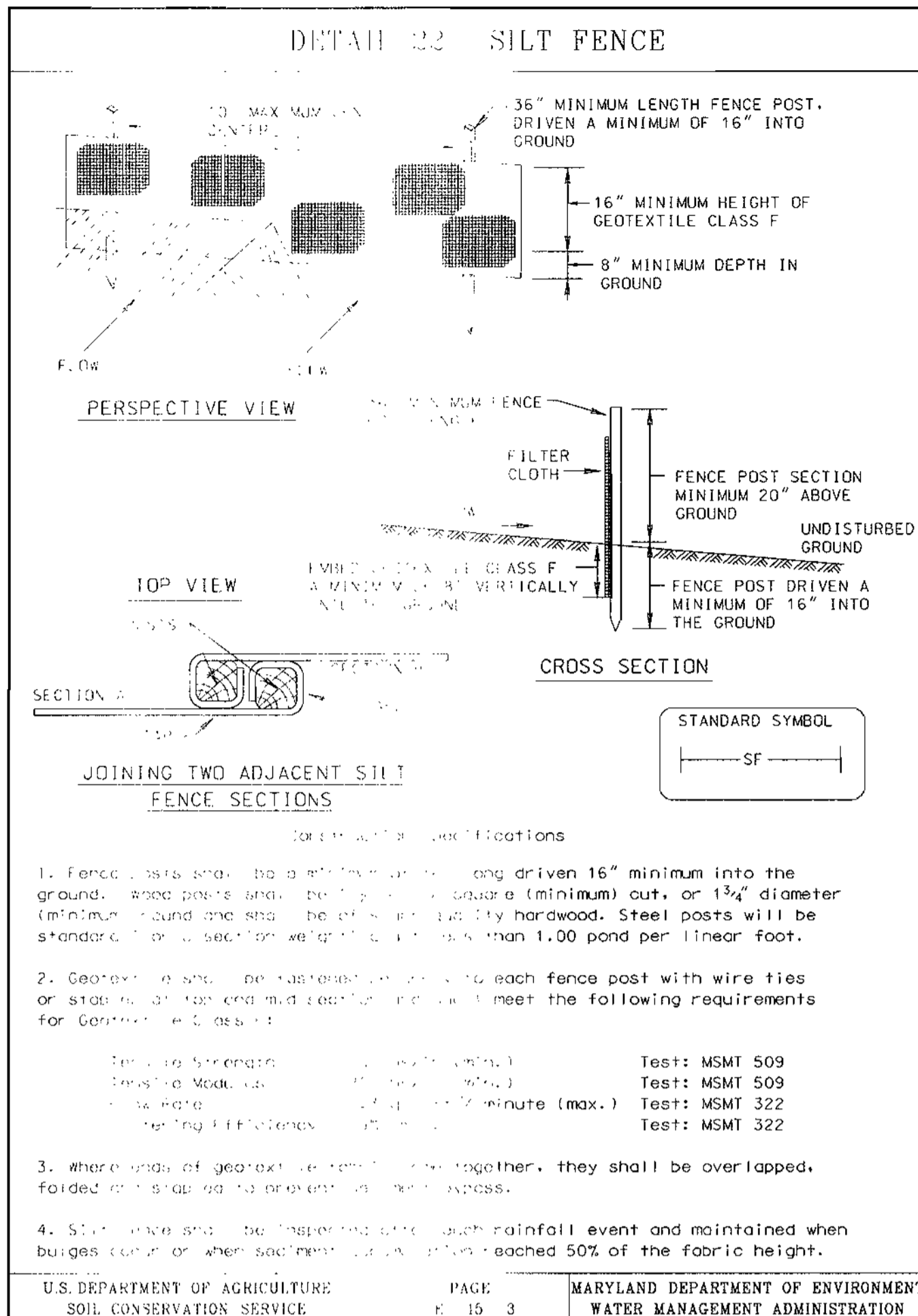
2-16-01 DATE  
 STATE OF MARYLAND  
 TIMOTHY F. WHITTE  
 PROFESSIONAL ENGR. NO. 19155

OWNER  
 ALVIN R. and BETTE L. MAIER  
 4700 ANNAPOLIS ROAD  
 BLADENSBURG, MD 20710  
 DEVELOPER  
 MAIER ROAD, LLC  
 10422 GREEN MOUNTAIN CIRCLE  
 COLUMBIA, MD 21044  
 REX DALRYMPLE: 410-997-3071

SDP# 01-57  
 RELEASED FOR  
 PRELIMINARY ONLY  
 BIDDING  
 PERMIT  
 CONSTRUCTION  
 DATE:

2/14/01	1	REVISED PER COUNTY COMMENTS
DATE	NUMBER	REVISION DESCRIPTIONS
PERMIT INFORMATION CHART		
SUBDIVISION NAME MAIER INDUSTRIAL PARK	SECTION/AREA SECTION 1	LOT/PARCEL NO. A - 2
PLAT# 14-743	BLOCK# 23	ZONING M-2
WATER CODE C - 04	TAX MAP NO. 47	ELECT DISTR 6
	SEWER CODE 7100800	CENSUS TRACT 6069.02
ADDRESS CHART		
LOT/PARCEL # A - 2	STREET ADDRESS 9651 WASHINGTON BOULEVARD	
TITLE PROPOSED 7-ELEVEN STORE BALTIMORE WASHINGTON BLVD @ MAIER ROAD SITE GRADING & SEDIMENT CONTROL PLAN		
DESIGN BY: TFW	SCALE: 1" = 30'	PROJECT NO.: 99465
DRAWN BY: MIB	DATE: 2/14/01	DRAWING NUMBER CD3 OF 12
CHECKED BY: TFW	APPROVED: TFW	

PWA FILE NO: W:\PROJECTS\99465\99465\99465.DWG 2/01



### STANDARDS AND SPECIFICATIONS FOR STABILIZATION WITH SOD

**SPECIFICATIONS**

- CLASS OF TURFGRASS SOD SHALL BE MARYLAND OR VIRGINIA STATE CERTIFIED, OR MARYLAND OR VIRGINIA STATE APPROVED SOD.
- SOD SHALL BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH, PLUS OR MINUS 1/8 INCH, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH.
- STANDARD SIZE SECTIONS OF SOD SHALL BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION.
- INDIVIDUAL PIECES OF SOD SHALL BE CUT TO THE SUPPLIERS WIDTH AND LENGTH. MAXIMUM ALLOWABLE DEVIATION FROM STANDARD WIDTHS AND LENGTHS SHALL BE 5 PERCENT. BROKEN PADS AND TOPS OF UNEVEN EDGES WILL NOT BE ACCEPTABLE.
- SOD SHALL NOT BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL.
- SOD SHALL BE HARVESTED, DELIVERED AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPORTED WITHIN THIS PERIOD SHALL BE INSPECTED AND APPROVED PRIOR TO ITS INSTALLATION.

**SITE PREPARATION**

FERTILIZER AND LIME APPLICATION RATES SHALL BE DETERMINED BY SOIL TEST. UNDER UNUSUAL CIRCUMSTANCES WHERE THERE IS INSUFFICIENT TIME FOR A COMPLETE SOIL TEST, FERTILIZER AND LIME MATERIALS MAY BE APPLIED IN AMOUNTS SHOWN UNDER B, BELOW.

A. PRIOR TO SODDING, THE SURFACE SHALL BE CLEARED OF ALL TRASH, DEBRIS, AND OF ALL ROOTS, BRUSH, WIRE, GRADE STAKES AND OTHER OBJECTS THAT WOULD INTERFERE WITH PLANTING, FERTILIZING OR MAINTENANCE OPERATIONS.

B. WHERE THE SOIL IS ACID OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE APPLIED AT THE RATE OF 2 TONS/ACRE OR 100 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 FERTILIZER OR EQUIVALENT SHALL BE UNIFORMLY APPLIED AND MIXED INTO THE TOP 3 INCHES OF SOIL WITH THE REQUIRED LIME.

C. ALL AREAS RECEIVING SOD SHALL BE UNIFORMLY FINE GRADED. HARD-PACKED EARTH SHALL BE SCARIFIED PRIOR TO PLACEMENT OF SOD.

**SOD INSTALLATION**

A. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE THE SOIL SHALL BE LIGHTLY IRRIGATED IMMEDIATELY PRIOR TO LAYING THE SOD.

B. THE FIRST ROW OF SOD SHALL BE LAID IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO AND TIGHTLY WEDGED AGAINST EACH OTHER. LATERAL JOINTS SHALL BE STAGGERED TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. INSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR-DRYING OF THE ROOTS.

C. ON SLOPING AREAS WHERE EROSION MAY BE A PROBLEM, SOD SHALL BE LAID WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERED JOINTS. SECURE THE SOD BY TAMPING AND PEGGING OR OTHER APPROVED METHODS.

D. AS SODDING IS COMPLETED IN ANY ONE SECTION, THE ENTIRE AREA SHALL BE ROLLED OR TAMPED TO INSURE SOLID CONTACT OF ROOTS WITH THE SOIL SURFACE. SOD SHALL BE WATERED IMMEDIATELY AFTER ROLLING OR TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD SHALL BE COMPLETED WITHIN EIGHT HOURS.

**SOD MAINTENANCE**

A. IN THE ABSENCE OF ADEQUATE RAINFALL, WATERING SHALL BE PERFORMED DAILY OR AS OFTEN AS NECESSARY DURING THE FIRST WEEK AND IN SUFFICIENT QUANTITIES TO MAINTAIN 1/2 INCH OF MOISTURE TO A DEPTH OF 4 INCHES. WATERING SHOULD BE DONE DURING THE HEAT OF THE DAY TO PREVENT WILTING.

B. AFTER THE FIRST WEEK, SOD SHALL BE WATERED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE AND INSURE ESTABLISHMENT.

C. FIRST MOWING SHOULD NOT BE ATTEMPTED UNTIL SOD IS FULLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF SHALL BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. GRASS HEIGHT SHALL BE MAINTAINED BETWEEN 2 AND 3 INCHES UNLESS OTHERWISE SPECIFIED.

D. MAINTENANCE OF ESTABLISHED SOD SHOULD FOLLOW SPECIFICATIONS OUTLINED IN TABLE 54-1.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE      PAGE 18-3      MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

### TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTRIBUTED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

**SEEDBED PREPARATION:** LOOSEN UPPER 3 INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENED).

**SOILS AMENDMENTS:** APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ FT)

**SEEDING:** FOR PERIODS MARCH 1st THROUGH APRIL 30th AND FROM AUGUST 15th THROUGH NOVEMBER 15th, SEED WITH 2 1/2 BU. PER ACRE OF ANNUAL RYE (3.2 LBS./1000 SQ FT). FOR THE PERIOD MAY 1st THROUGH AUGUST 14th, SEED WITH 3 LBS. PER ACRE OF WEEPING LOVEGRASS (0.7 LBS./1000 SQ FT). FOR THE PERIOD NOVEMBER 16th THROUGH FEBRUARY 28th, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

**MULCHING:** APPLY 1 1/2 TO 2 TONS PER ACRE (70-90 LBS./1000 SQ FT) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALS. PER ACRE (5 GALS./1000 SQ FT) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES, 8 FT OR HIGHER, USE 348 GALS. PER ACRE (8 GALS./1000 SQ FT) FOR ANCHORING.

BY THE ENGINEER:  
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."  
TIMOTHY F. WHITTE, P.E.      2-15-01      DATE

BY THE DEVELOPER:  
"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."  
REX DALRYMPLE      2-15-01      DATE

REVIEWED FOR HOWARD S.C.D. & MEETS TECHNICAL REQUIREMENTS.  
JIM MUGA      4/5/01      DATE  
USDA-NATURAL RESOURCES CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
J.R. ROBERTSON      4/5/01      DATE  
HOWARD S.C.D.

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
CHIEF-DEVELOPMENT ENGINEERING DIVISION      4/4/01      DATE  
CINDY HARPER      4/19/01      DATE  
CHIEF-DIVISION OF LAND DEVELOPMENT

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.  
SHERIDAN      4/19/01      DATE

COUNTY HEALTH OFFICER      DATE  
HOWARD COUNTY HEALTH DEPARTMENT

### TOPSOIL CONSTRUCTION AND MATERIAL SPECIFICATIONS

TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SSC IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.

TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:

TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN DIAMETER.

TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.

WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.

FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:  
PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

TOPSOIL APPLICATION  
WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.

GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBERT 4" - 8" HIGHER IN ELEVATION.

TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" - 8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SOODING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OF WATER POCKETS.

TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

THESE TOPSOIL SPECIFICATIONS HAVE BEEN EDITED FROM THE 1994 EROSION AND SEDIMENT CONTROL STANDARDS TO FIT THIS PROJECT. IT IS STILL THE INTENTION TO FOLLOW THE REFERENCED 1994 EROSION AND SEDIMENT CONTROL STANDARDS IN THEIR ENTIRETY.

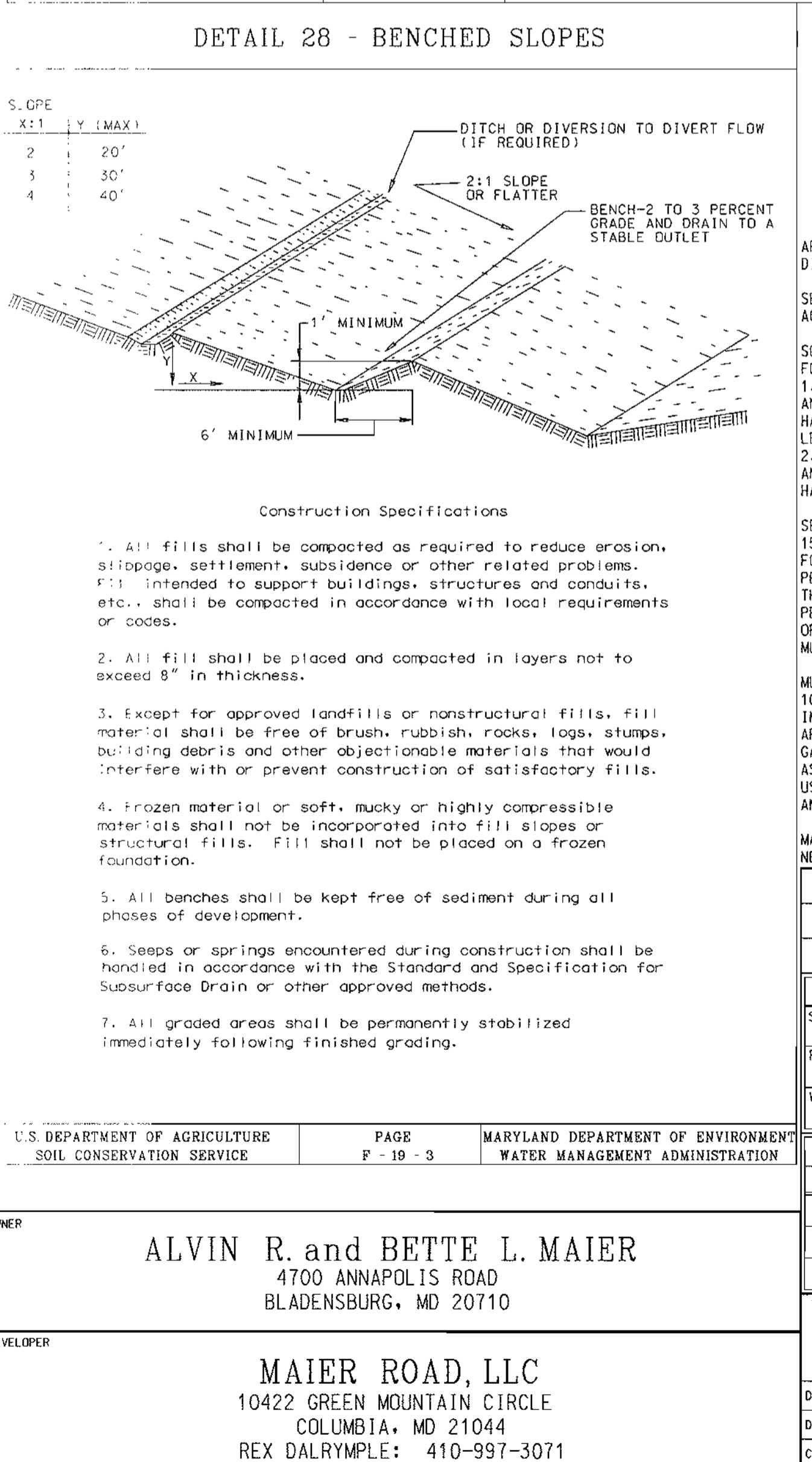
FREDERICK WARD ASSOCIATES, INC.  
7125 Rhenow Drive Columbia, Maryland 21046-2354  
Phone: 410-290-9550 Fax: 410-720-6226  
Bel Air, Maryland Manassas, Virginia Warrenton, Virginia

### HOWARD SOIL CONSERVATION DISTRICT STANDARD SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTION, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION, PRIOR TO THE START OF ANY CONSTRUCTION. (313-1855)
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1. 8) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7 OF THE "HOWARD COUNTY DESIGN MANUAL", STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR PERMANENT SEEDING, SOD, TEMPORARY SEEDING, AND MULCHING (SEC. G) TEMPORARY STABILIZATION WITH MULCH ALONE SHALL ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:  
TOTAL AREA OF SITE = 1.39 ACRES  
AREA DISTURBED = 1.08 ACRES ±  
AREA TO BE ROOFED OR PAVED = 0.70 ACRES ±  
AREA TO BE VEGETATIVELY STABILIZED = 0.38 ACRES ±  
TOTAL CUT = 800 CUBIC YARDS  
TOTAL FILL = 1890 CUBIC YARDS  
OFFSITE WASTE/BORROW LOCATION = 1090 BORROW
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED OR THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

2-16-01 DATE

TIMOTHY F. WHITTE  
PROFESSIONAL ENGINEER  
REGISTERED PROFESSIONAL ENGINEER  
NO. 19155



### PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREA NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

**SEEDBED PREPARATION:** LOOSEN UPPER 3 INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENED).

**SOIL AMENDMENTS:** IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:  
1. PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS / 1000 SQ FT) AND 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ FT) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS. PER ACRE 3-0-0 UREAFORM FERTILIZER (9 LBS./1000 SQ FT)  
2. ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ FT) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23 LBS./1000 SQ FT) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOILS.

**SEEDING:** FOR PERIODS MARCH 1 THROUGH APRIL 30, AND AUGUST 1 THROUGH OCTOBER 15, SEED WITH 60 LBS. PER ACRE (1.4 LBS./1000 SQ FT) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THROUGH JULY 31, SEED WITH 60 LBS. KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS. PER ACRE (.05 LBS./1000 SQ FT) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THROUGH FEBRUARY 28, PROTECT SITE BY: OPTION (1) 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOD. OPTION (3) SEED WITH 60 LBS PER ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ FT) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GALS./1000 SQ FT) OF EMULSIFIED ASPHALT ON FLAT AREA. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GALS./1000 SQ FT) FOR ANCHORING.

MAINTENANCE: INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.      DATE:

DATE	NUMBER	REVISION DESCRIPTIONS

PERMIT INFORMATION CHART

SUBDIVISION NAME	MAIER INDUSTRIAL PARK	SECTION/AREA	SECTION 1	LOT/PARCEL NO.	A-2
PLAT#	14743	BLOCK#	23	TAX MAP NO.	47
WATER CODE	C-04	SEWER CODE		CENSUS TRACT	6069.02
					7100800

ADDRESS CHART

LOT/PARCEL #	ADDRESS
A-2	9651 WASHINGTON BOULEVARD

TITLE: PROPOSED 7-ELEVEN STORE  
BALTIMORE WASHINGTON BLVD @ MAIER ROAD  
SEDIMENT AND EROSION CONTROL NOTES AND DETAILS

DESIGN BY: TFW	SCALE: AS NOTED	PROJECT NO.: 99465
DRAWN BY: MTB	DATE: 2/14/01	DRAWING NUMBER
CHECKED BY: TFW	APPROVED: TFW	CD4 OF 12

SDP-01-57

### GENERAL NOTES FOR STORM DRAIN CONSTRUCTION

1. MANHOLE LIDS AND INLET GRATES SHALL BE TRAFFIC BEARING AND BICYCLE SAFE.
2. ALL MANHOLE LIDS, INLET GRATES AND CLEANOUT TOPS TO BE ADJUSTED TO MATCH CROSS-PITCH AND SLOPE OF PROPOSED GRADES.
3. STORM DRAINPIPE TO BE PVC SCH 40, UNLESS OTHERWISE NOTED.
4. ALL STORM DRAINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE HOWARD COUNTY STANDARDS AND SPECIFICATIONS.
5. CANOPY DRAINS TO BE 4" PVC SCH 40 UNLESS OTHERWISE NOTED.
6. ALL DEBRIS IS TO BE KEPT OUT OF FACILITY DURING AND AFTER CONSTRUCTION.
7. ROOF DRAINS TO DISCHARGE ABOVE GRADE.

### GENERAL NOTES FOR TANK AND PIPING CONSTRUCTION

1. PRODUCT PIPING & ELECTRIC TO BE COORDINATED WITH INSTALLATION OF STORM DRAIN AND SANITARY SEWER FOR THE BUILDING AND CANOPY.

### GENERAL NOTES FOR UTILITY CONSTRUCTION

1. INFORMATION CONCERNING THE HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES WAS TAKEN FROM RECORDS PROVIDED BY UTILITY COMPANIES. SITE SURVEY PREPARED BY FRED WARD ASSOCIATES, INC. THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. FRED WARD ASSOCIATES, INC. MAKES NO GUARANTEE AS TO THE COMPLETENESS OR ACCURACY OF UTILITIES AND THEIR LOCATIONS, SHOWN OR NOT SHOWN, ON THESE DRAWINGS. SUCH INFORMATION PROVIDED ON THESE PLANS IS FOR THE CONVENIENCE OF THE CONTRACTOR. HOWEVER, THE CONTRACTOR SHALL VERIFY THE PRESENCE, ABSENCE, AND LOCATIONS OF ALL UTILITIES TO HIS SATISFACTION, PRIOR TO ANY WORK UNDER THIS CONTRACT.
2. THE CONTRACTOR IS TO NOTIFY MISS UTILITY AT LEAST 48 HOURS PRIOR TO ANY CONSTRUCTION AND EXCAVATION. PHONE 1-800-257-7777.
3. PRIOR TO ANY CONSTRUCTION UNDER THIS CONTRACT, CONTRACTOR SHALL TEST FIT TO VERIFY EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES WHERE UTILITY TIE-INS AND CROSSINGS WILL BE ENCOUNTERED. ANY DISCREPANCIES IN HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DRAWINGS, PARTICULARLY AT PROPOSED STORM DRAIN, SANITARY, AND WATER CONNECTIONS, SHALL BE IMMEDIATELY REPORTED TO FREDERICK WARD ASSOCIATES PRIOR TO ANY CONTINUATION OF WORK UNDER THIS CONTRACT. THIS IS FOR THE PURPOSE OF IDENTIFYING ANY CONFLICTS, WHICH MAY IMPACT THE PROPOSED DESIGN, AND RESOLUTION OF SAID CONFLICTS PRIOR TO CONTINUATION OF WORK.
4. ANY EXISTING UTILITIES AND AMENITIES, WHICH MAY BE DAMAGED DUE TO TEST PITTING AND UTILITY CONSTRUCTION, SHALL BE REPAIRED IN KIND AT THE SOLE EXPENSE OF THE CONTRACTOR.
5. ANY SEDIMENT CONTROL MEASURES REMOVED FOR THE PURPOSE OF UTILITY CONSTRUCTION SHALL BE REPLACED AT THE END OF THE DAY BY THE UTILITY CONTRACTOR.
6. ALL STORM DRAIN, WATER, SEWER, AND PRODUCT PIPING UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE HOWARD COUNTY STANDARDS AND SPECIFICATIONS FOR UTILITY CONSTRUCTION, AND SEVEN ELEVEN CORP SPECIFICATIONS.
7. LOCATION OF GAS AND ELECTRIC, AND TELEPHONE SERVICE TO BUILDING TO BE COORDINATED WITH RELEVANT UTILITY COMPANY BY THE GENERAL CONTRACTOR.

### GENERAL NOTES FOR WATER AND SEWER CONSTRUCTION

1. SANITARY CLEANOUT TOPS TO BE ADJUSTED TO MATCH CROSS-PITCH AND SLOPE OF PROPOSED GRADES. CLEANOUT TOPS TO BE IDENTIFIED AS SANITARY CLEANOUTS, THREADED AND CONTAIN COUNTERSUNK PLUGS.
2. UTILITIES SHALL MAINTAIN A MINIMUM 12-INCH CLEARANCE WHEN CROSSING EXISTING AND PROPOSED UTILITIES ON AND OFF SITE.
3. WATER SERVICES SHALL HAVE A MINIMUM 3.5-FOOT COVER OVER CROWN OF PIPE.
4. WATER SERVICE SHALL BE TYPE K COPPER TUBING. SANITARY SEWER PIPE SHALL BE SDR 35 PVC. CERTAIN SECTIONS OF THE SERVICES REQUIRE SPECIAL PIPE TYPES WHICH ARE NOTED ON THE PLAN.
5. WATER AND SEWER SERVICES SHALL BE COORDINATED WITH THE BUILDING CONTRACTOR FOR HORIZONTAL AND VERTICAL ALIGNMENT AND CONNECTION.

SDP# 01-57

RELEASED FOR

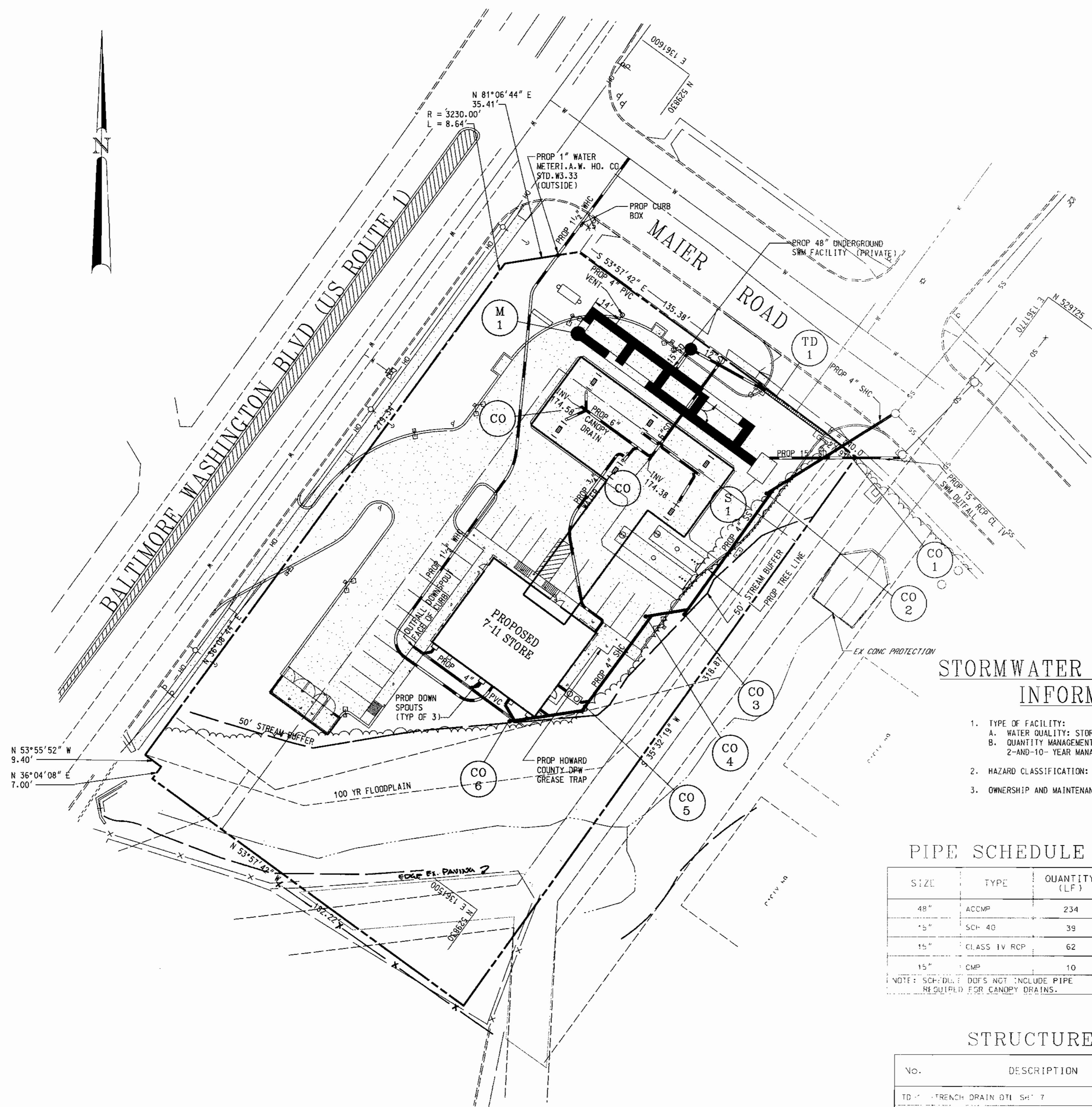
PRELIMINARY ONLY

BIDDING

PERMIT

CONSTRUCTION

DATE:



### STORMWATER MANAGEMENT INFORMATION

1. TYPE OF FACILITY:
  - A. WATER QUALITY: STORMCEPTOR
  - B. QUANTITY MANAGEMENT: UNDERGROUND STORAGE, 2-AND-10- YEAR MANAGEMENT.
2. HAZARD CLASSIFICATION: "0"
3. OWNERSHIP AND MAINTENANCE RESPONSIBILITY: PRIVATE

### PIPE SCHEDULE

SIZE	TYPE	QUANTITY (LF)
48"	ACCOMP	234
15"	SCH 40	39
15"	CLASS IV RCP	62
15"	CMP	10

NOTE: SCH-DUCT DIPS NOT INCLUDE PIPE REQUIRING FOR CANOPY DRAINS.

### STRUCTURE SCHEDULE

No.	DESCRIPTION	INV. IN	INV. OUT	TOP ELEV.
TD 1	FRENCH DRAIN DTL SHT 7	-	173.50	VARIABLE REFER TO GRADING PLAN
SIC 1	STORMCEPTOR DTL SHT 7	171.33	171.08	176.0
S-1	STORMWATER MANAGEMENT RELEASE STRUCTURE DTL SHT B	169.00	169.00	VARIABLE REFER TO GRADING PLAN
M 1	15" DI. PRECAST MANHOLE PER HO CO STD 05.11	169.3	169.30	177.50

2/14/01

1

REVISED PER COUNTY COMMENTS

DATE	NUMBER	REVISION DESCRIPTIONS

PERMIT INFORMATION CHART

SUBDIVISION NAME MAIER INDUSTRIAL PARK	SECTION/AREA SECTION 1	LOT/PARCEL NO. A - 2
PLAT# 14743	BLOCK# 23	ZONING M-2
TAX MAP NO. 47	ELECT DISTRICT 6	CENSUS TRACT 6069.02
WATER CODE C - 04	SEWER CODE 7100800	

ADDRESS CHART

LOT/PARCEL #	STREET ADDRESS
A - 2	9651 WASHINGTON BOULEVARD

TITLE  
PROPOSED 7-ELEVEN STORE  
BALTIMORE WASHINGTON BLVD @ MAIER ROAD  
SITE UTILITY PLAN

DESIGN BY: TFW  
SCALE: 1" = 30'  
DRAWN BY: MIB  
DATE: 2/14/01  
CHECKED BY: TFW  
APPROVED: TFW

PROJECT NO.: 99465  
DRAWING NUMBER  
CD5 OF 12

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF-DEVELOPMENT ENGINEERING DIVISION  
4/1/01

CHIEF-DIVISION OF LAND DEVELOPMENT  
4/19/01

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

COUNTY HEALTH OFFICER  
HOWARD COUNTY HEALTH DEPARTMENT

**FREDERICK WARD ASSOCIATES, INC.**

ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354  
 ARCHITECTS Phone: 410-290-6550 Fax: 410-720-6220  
 SURVEYORS Bel Air, Maryland Manassas, Virginia Warrenton, Virginia

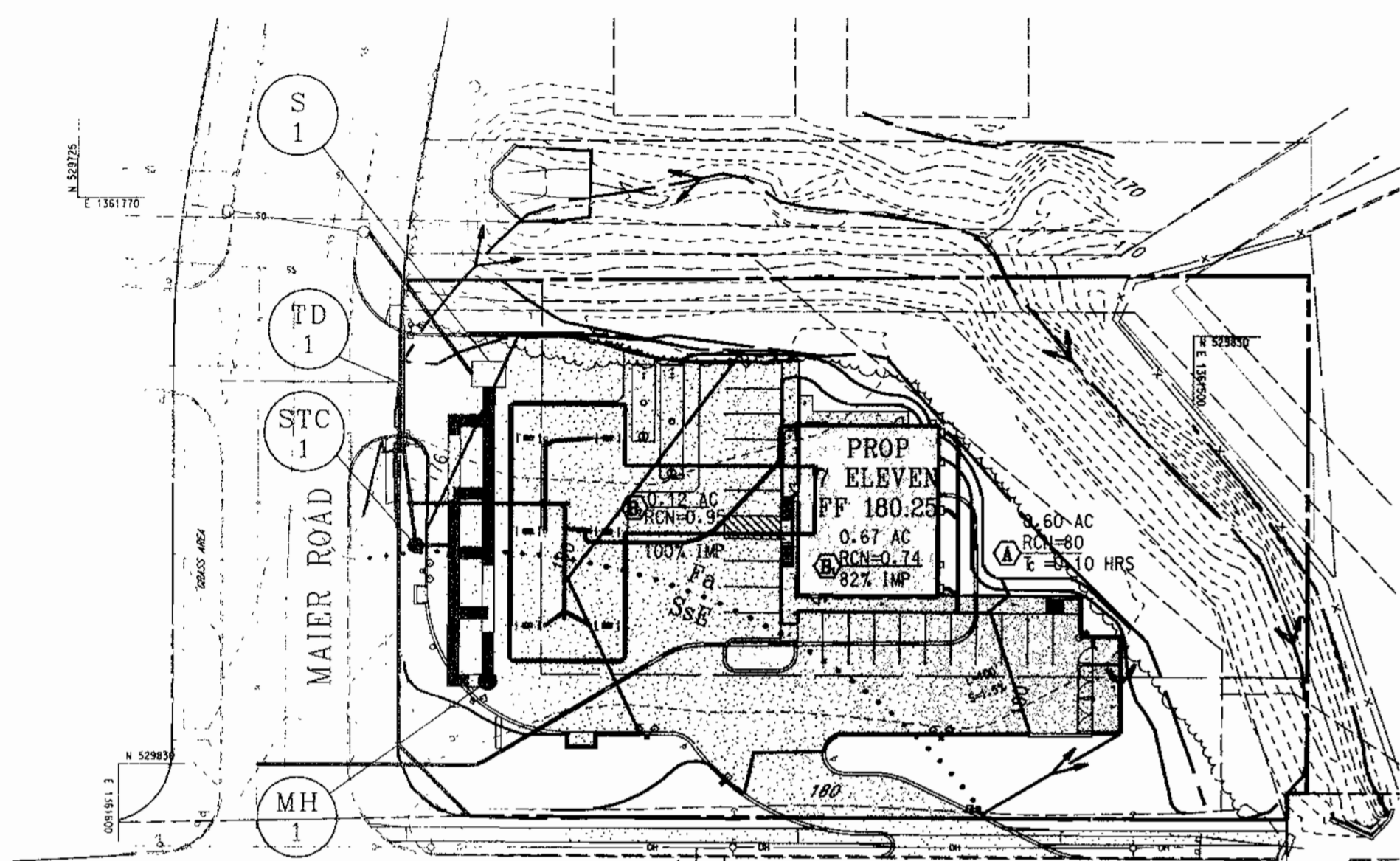
2-16-01  
DATE

STATE OF MARYLAND  
TIMOTHY E. WHITTE  
PROFESSIONAL ENGINEER  
NO. 19155

OWNER  
ALVIN R. and BETTE L. MAIER  
4700 ANNAPOLIS ROAD  
BLADENSBURG, MD 20710

DEVELOPER  
MAIER ROAD, LLC  
10422 GREEN MOUNTAIN CIRCLE  
COLUMBIA, MD 21044  
REX DALRYMPLE: 410-997-3071

PWA FILE NO.: MZ-PROJECTS/99465-ANGP/CD05.DGN 2/01



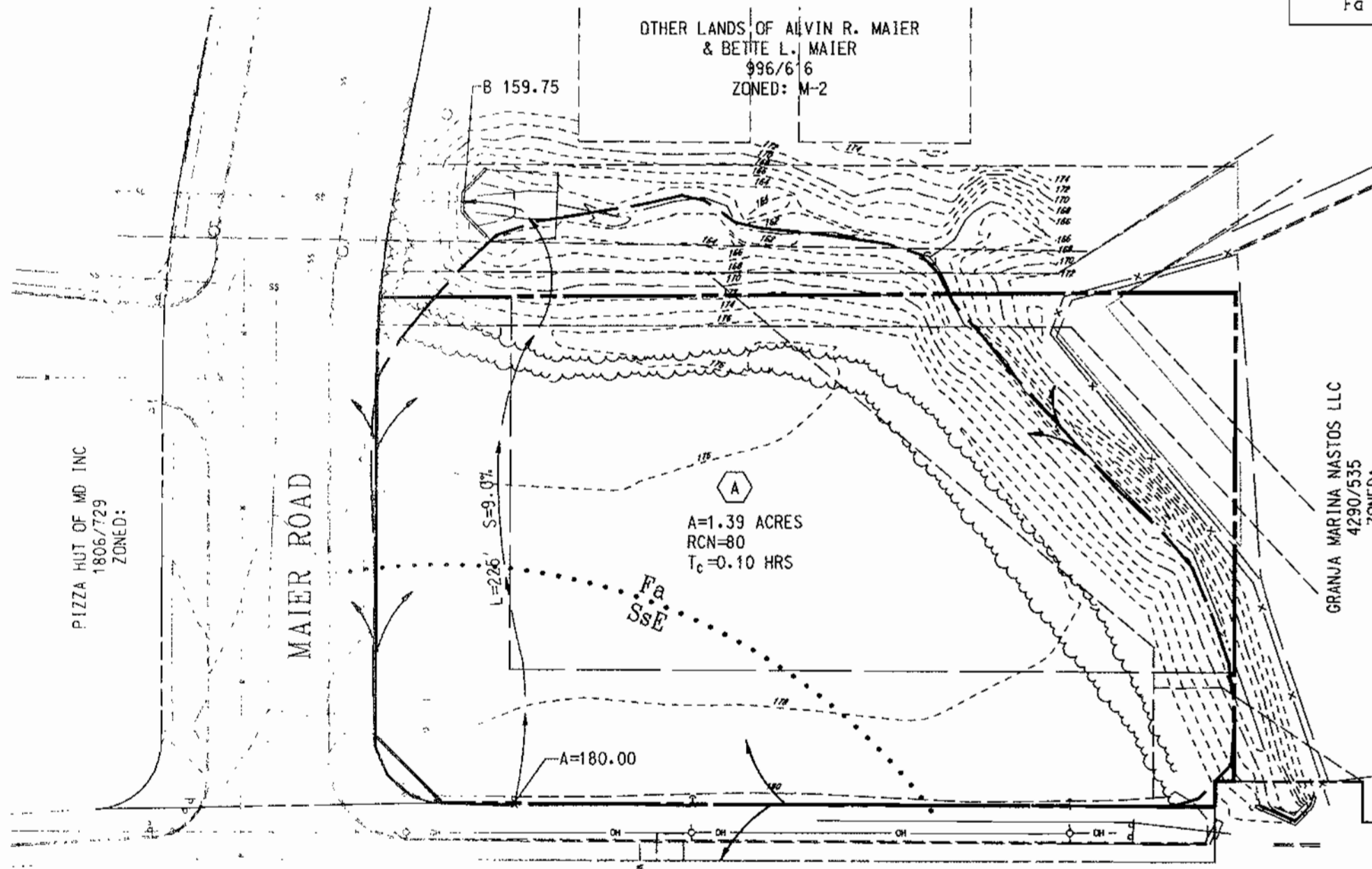
**LEGEND**

- DRAINAGE AREA
  - ▨ IMPERVIOUS AREA
  - ... SOILS DELINEATION
- D.A. A:  
 AREA = 0.60 AC  
 RCN = 80  
 Tc = 0.10 HRS
- D.A. B = D.A. A<sub>1</sub> + B<sub>2</sub>  
 AREA = 0.79 AC  
 RCN = 96  
 Tc = 0.10 HRS

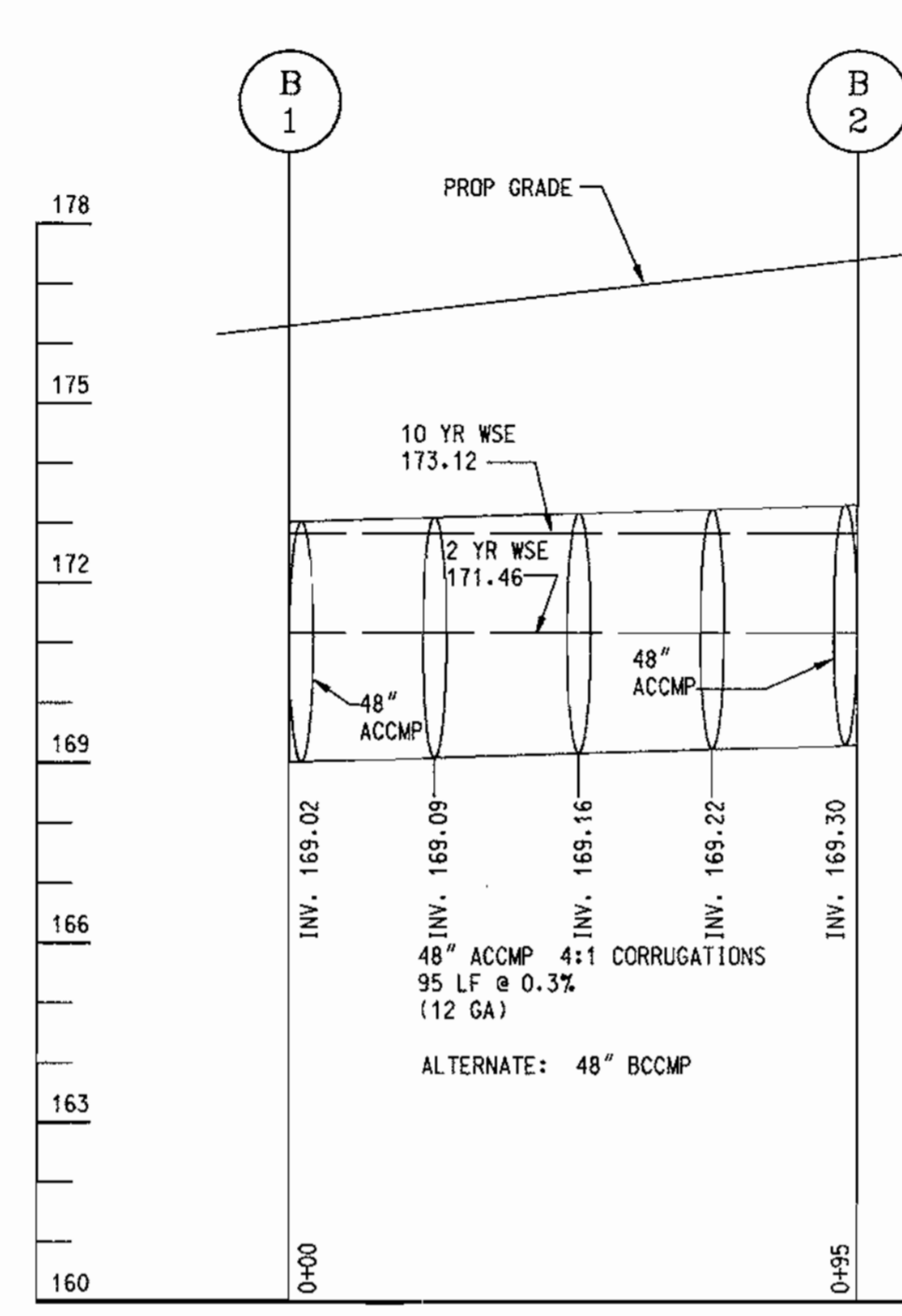
POST DEVELOPMENT STORM DRAIN AREA  
 SCALE: 1" = 50'

**SOILS INFORMATION**

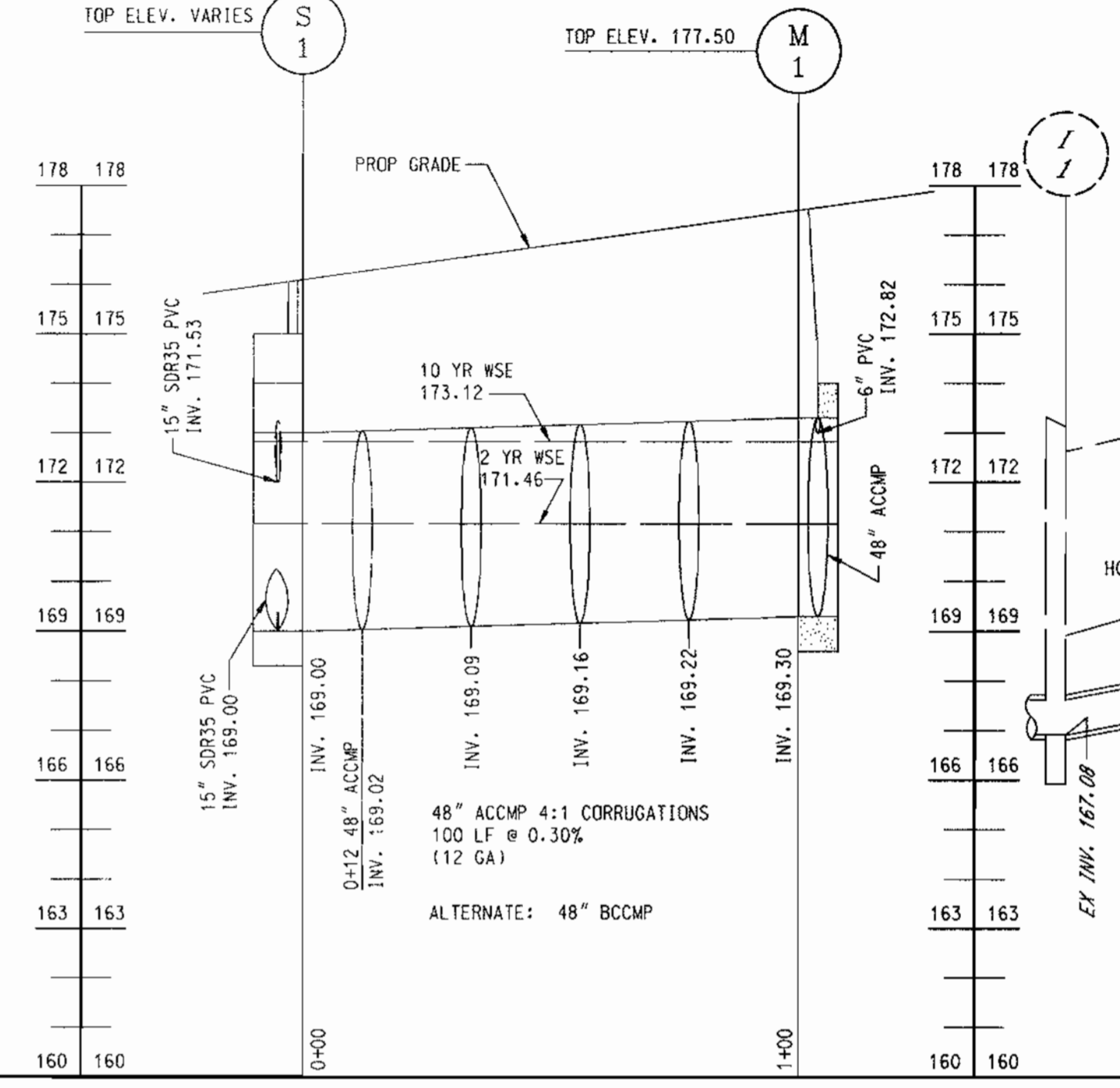
- SSE - SASSAFRAS (B)
- Fg - FALLSINGTON (D)



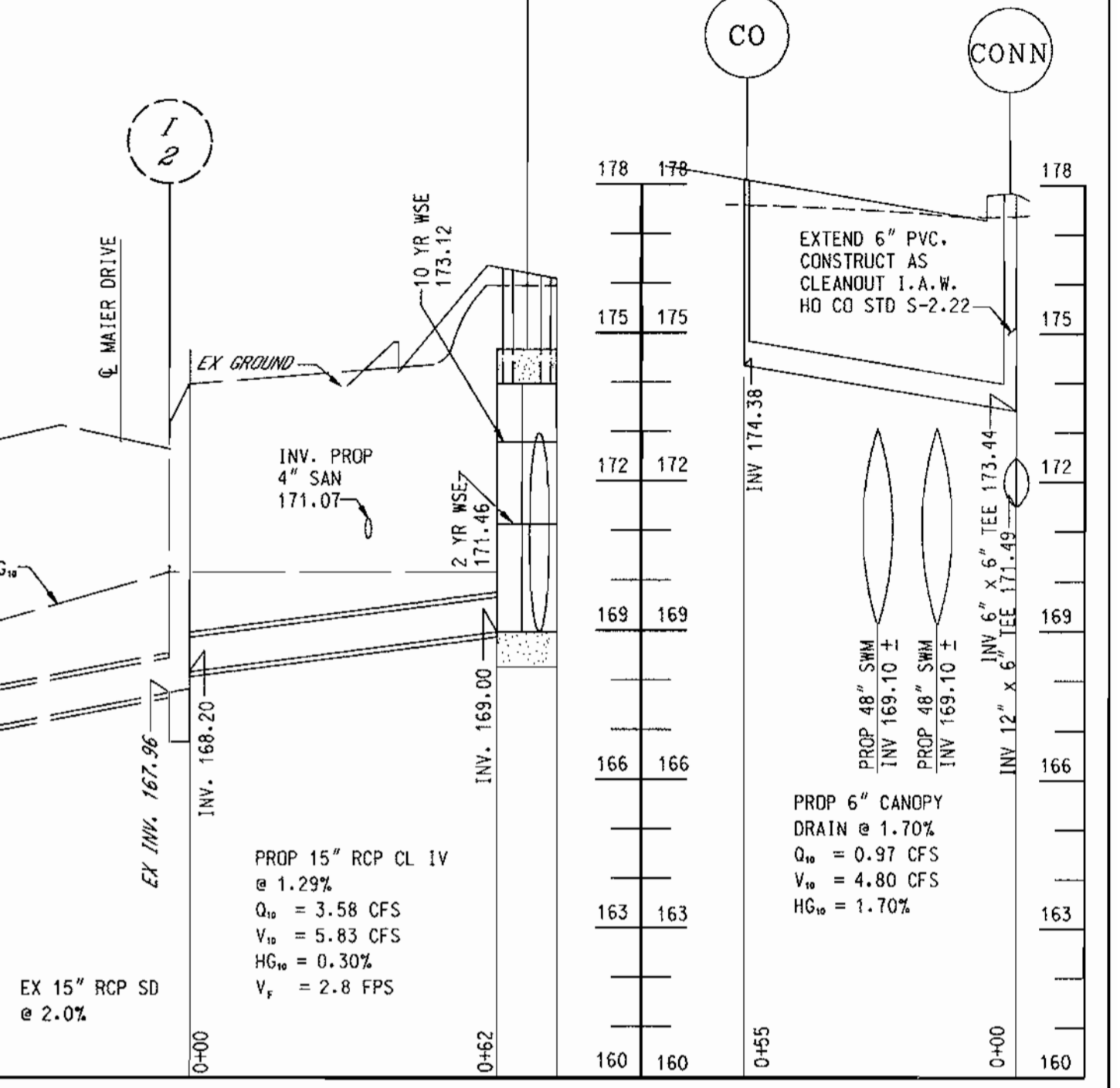
PRE-DEVELOPMENT DRAINAGE AREA  
 SCALE: 1" = 50'



STORMWATER MANAGEMENT STORAGE PROFILE  
 SCALE: HORZ: 1" = 30', VERT: 1" = 3'

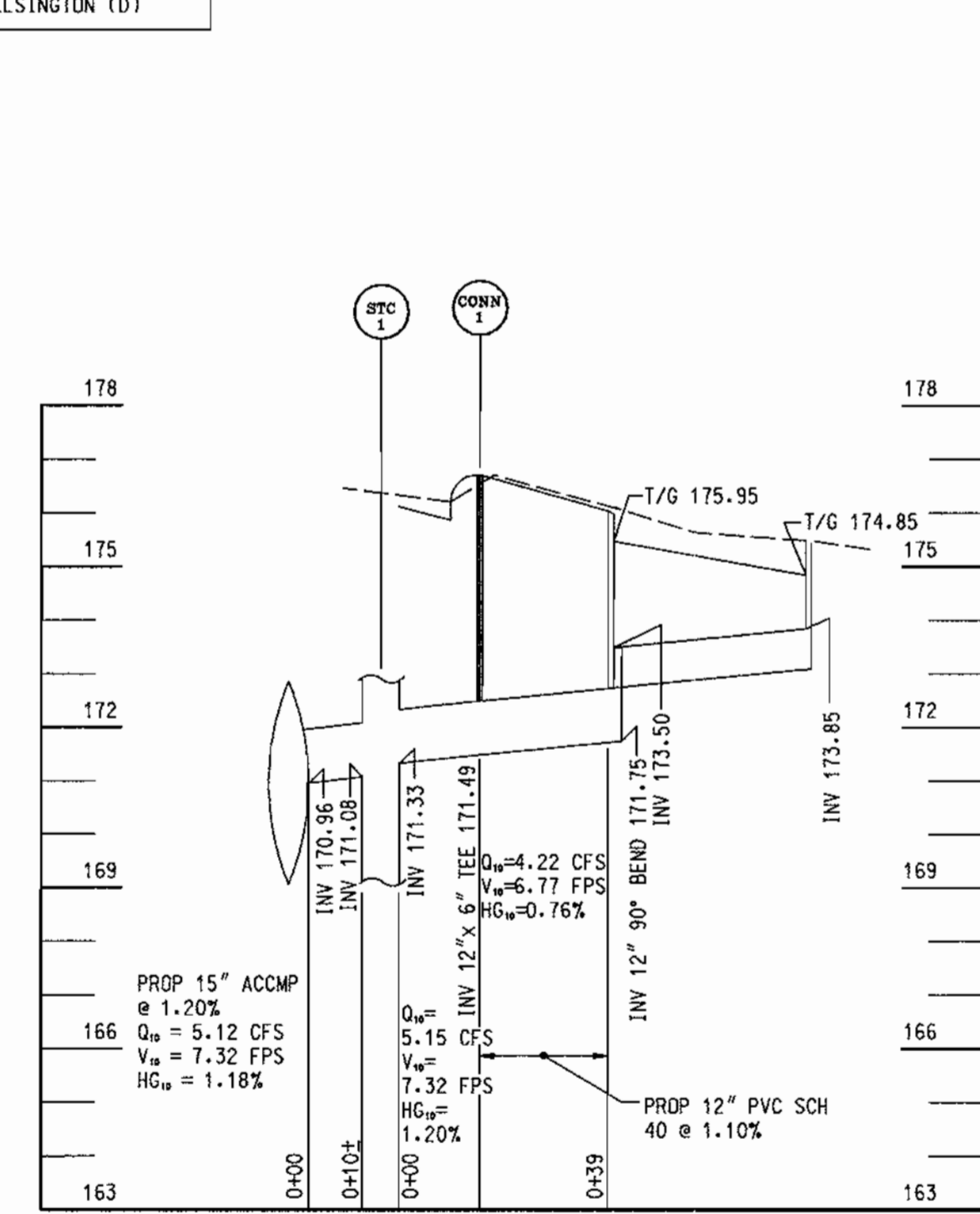


STORMWATER MANAGEMENT STORAGE PROFILE  
 SCALE: HORZ: 1" = 30', VERT: 1" = 3'

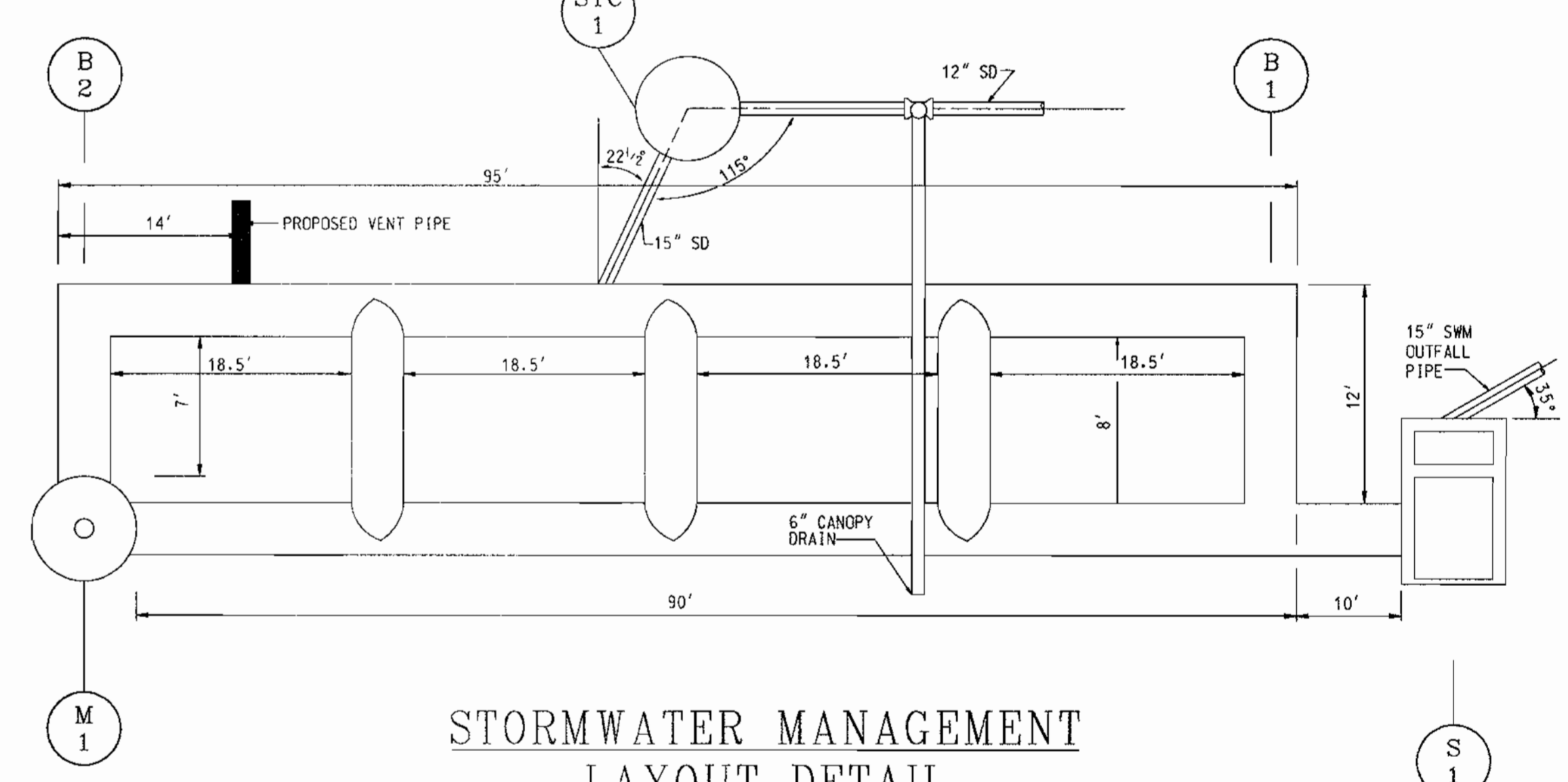


STORM DRAIN PROFILE  
 SCALE: HORZ: 1" = 30', VERT: 1" = 3'

CANOPY DRAIN PROFILE  
 SCALE: HORZ: 1" = 30', VERT: 1" = 3'



TRENCH DRAIN PROFILE  
 SCALE: HORZ: 1" = 30', VERT: 1" = 3'



STORMWATER MANAGEMENT LAYOUT DETAIL  
 SCALE: 1" = 10'

- NOTE: CONTRACTOR SHALL INSURE THAT THE S.W.M. FACILITY IS WATER TIGHT.
- ALL PIPE CONNECTIONS AT STRUCTURES SHALL BE CEMENTED TO INSURE WATER TIGHT CONNECTION
  - ALL ACCMP PIPE JOINTS SHALL BE USE OF 12" WIDE HUGGER BAND WITH 10" RING GASKETS.
  - TEES AND ELBOWS TO BE FACTORY FABRICATED WELDS, ONE PIECE.
  - TRENCH BEDDING TO BE IN ACCORDANCE WITH RECOMMENDATIONS FROM THE GEOTECHNICAL ENGINEER IN THE FIELD.
  - PROVIDE WATERTIGHT JOINTS AT ALL PIPE CONNECTIONS. (FOR REINFORCED CONCRETE PIPE, ASTM C-361, RUBBER GASKET PIPE).

SPD# 01-57
RELEASED FOR
<input type="checkbox"/> PRELIMINARY ONLY
<input type="checkbox"/> BIDDING
<input checked="" type="checkbox"/> PERMIT
<input type="checkbox"/> CONSTRUCTION
DATE:

2/14/01	1	REVISED PER COUNTY COMMENTS
DATE	NUMBER	REVISION DESCRIPTIONS
PERMIT INFORMATION CHART		
SUBDIVISION NAME MAIER INDUSTRIAL PARK	SECTION/AREA SECTION 1	LOT/PARCEL NO. A-2
PLAT# 14743	BLOCK# 23	ZONING M-2
TAX MAP NO. 47	ELECT DISTR 6	CENSUS TRACT 6069.02
WATER CODE C-04	SEWER CODE 7100800	
ADDRESS CHART		
LOT/PARCEL # A-2	STREET ADDRESS 9651 WASHINGTON BOULEVARD	
TITLE PROPOSED 7-ELEVEN STORE BALTIMORE WASHINGTON BLVD @ MAIER ROAD STORM DRAIN PROFILES AND DETAILS		
DESIGN BY: TFW	SCALE: AS SHOWN	PROJECT NO.: 99465
DRAWN BY: MIB	DATE: 2/14/01	DRAWING NUMBER CD6 OF 12
CHECKED BY: TFW	APPROVED: TFW	

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 CHIEF-DEVELOPMENT ENGINEERING DIVISION  
 CHIEF-DIVISION OF LAND DEVELOPMENT  
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS.  
 COUNTY HEALTH OFFICER  
 HOWARD COUNTY HEALTH DEPARTMENT

**FREDERICK WARD ASSOCIATES, INC.**  
 ENGINEERS  
 ARCHITECTS  
 SURVEYORS  
 7125 Riverwood Drive Columbia, Maryland 21046-2354  
 Phone: 410-290-8550 Fax: 410-720-6226  
 Bel Air, Maryland Manassas, Virginia Warrenton, Virginia

2-16-01  
 DATE  
 STATE OF MARYLAND  
 PROFESSIONAL ENGINEER  
 J. TIMOTHY F. WHITTE  
 PROFESSIONAL ENGR. NO. 19155

OWNER  
 ALVIN R. AND BETTE L. MAIER  
 4700 ANNAPOLIS ROAD  
 BLADENSBURG, MD 20710

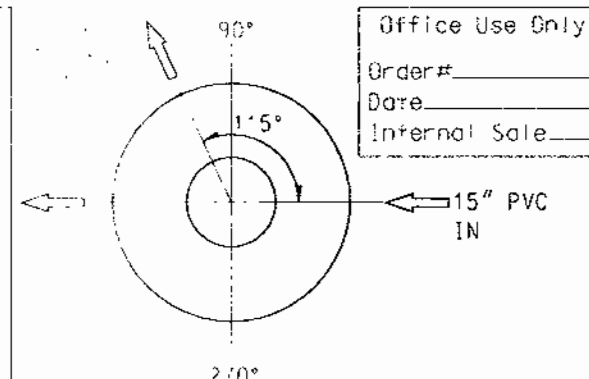
DEVELOPER  
 MAIER ROAD, LLC  
 10422 GREEN MOUNTAIN CIRCLE  
 COLUMBIA, MD 21044  
 RE: DALRYMPLE: 410-997-3071

FWA FILE NO.: MZ/PROJECTS/99465ENR/CD06.DWG, MIB 2/01

# Stormceptor Order Request Form

## Contractor Information

Name \_\_\_\_\_  
 Address \_\_\_\_\_  
 City \_\_\_\_\_  
 State \_\_\_\_\_  
 Zip Code \_\_\_\_\_  
 Contact \_\_\_\_\_  
 Phone \_\_\_\_\_  
 Fax \_\_\_\_\_



## Owner Information

Name: REX DALRYMPLE  
 Phone: (410) 991-3071  
 Fax: \_\_\_\_\_

## Stormceptor Model

Model	Capacity (Gallons)	Height (ft)	Width (ft)
900	1200	27"	36"
1200	1600	32"	42"
1800	2400	36"	48"
2400	3200	42"	54"

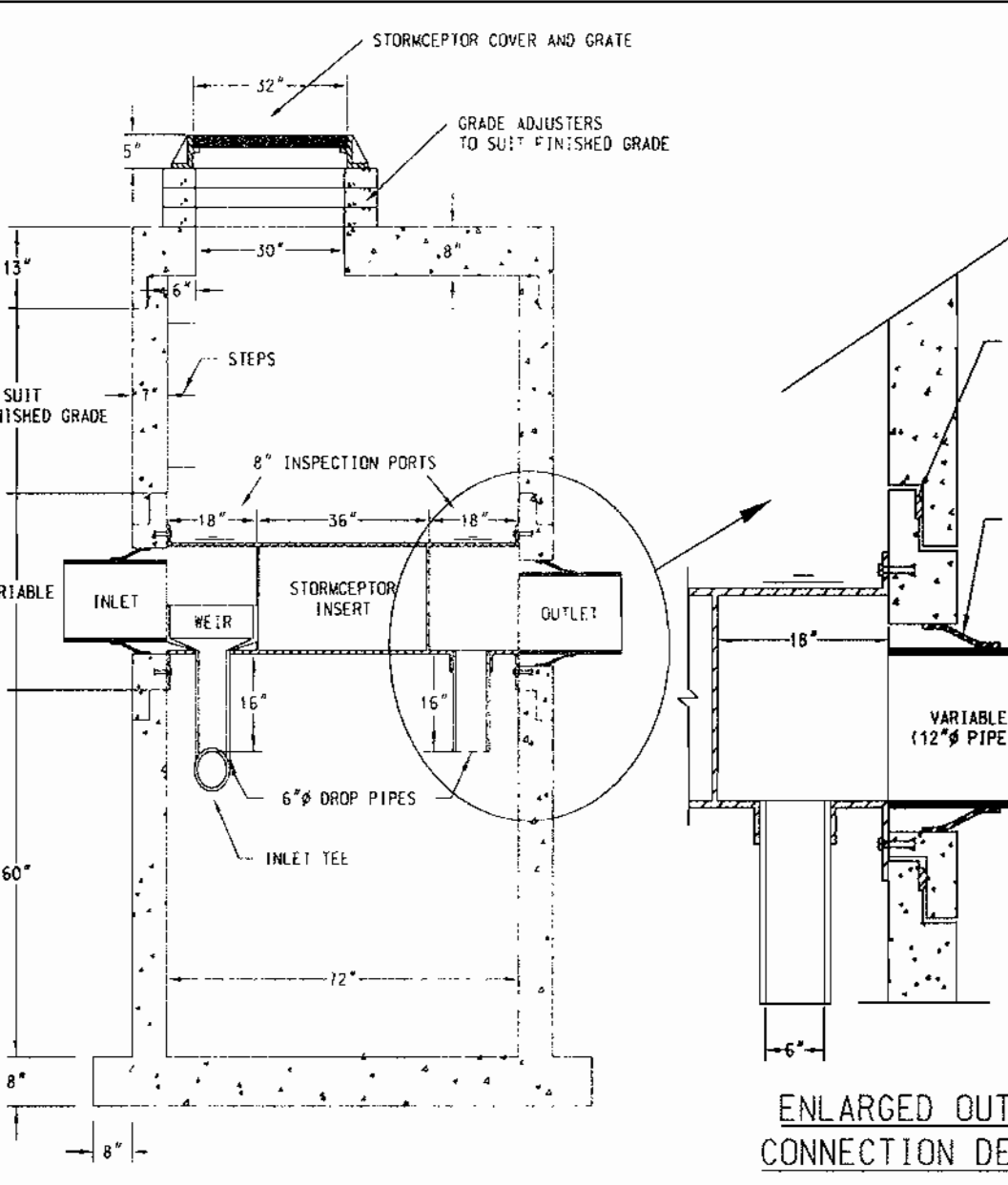
## Insert Size

Model	Capacity (Gallons)	Height (ft)	Width (ft)
900	1200	27"	36"
1200	1600	32"	42"
1800	2400	36"	48"
2400	3200	42"	54"

Project Name: MAIER DRIVE - DALRYMPLE  
 Approximate Start Date: \_\_\_\_\_  
 Delivery Address: Street: BALTIMORE WASHINGTON BLVD. & MAIER DR.  
 City: SAVAGE State: MARYLAND Zip Code: 20723  
 Designer: Company: FREDERICK WARD ASSOCIATES  
 Designer: Contact: TIM WHITTE Phone: (410) 720-6900 Fax: (410) 720-6226

Please fax this sheet back to Hydro Conduit/Virginia Precast at (804) 798-3426  
 Attn: Dave Brinser/Bryant Lowery (Phone: 1-800-999-2278)

For credit information applications contact Carole Broadus at (804) 798-6068  
 For Technical Assistance Please Call Stormceptor Corporation  
 at (301) 762-8361 or toll free at 1-800-762-4703



- NOTE: 1. NON-SMOOTH OUTSIDE WALL PIPE TO BE GROUDED IN PLACE AND NON-SEAL BOOTS
- 2. RISER SECTION ABOVE THE INSERT TO BE 72" FOR A MINIMUM OF 60" OR TO THE GRADE (WHICHEVER IS THE LESSER)
- 3. COVER TO BE LOCATED ADJACENT TO INLET INSPECTION PORT

DESIGN SPECIFICATIONS

REV.	D.B.	S.B.
DATE	SCALE	UNITS
08/16/95	NTS	U.S.

STC 1200 PRECAST CONCRETE STORMCEPTOR  
 1200 US GALLON CAPACITY

## REQUIRED PROCEDURES AND INSPECTIONS FOR INGROUND W/O FACILITY

- THE FOLLOWING INSPECTIONS ARE REQUIRED DURING CONSTRUCTION. ADDITIONAL INSPECTIONS MAY BE REQUIRED AND NOTED BY THE INSPECTOR.
- PRE-CONSTRUCTION MEETING AND ON-SITE VISIT TO REVIEW SITE PLANS, DISCUSS THE PURPOSE OF THE FACILITY AND TO ANSWER QUESTIONS REGARDING CONSTRUCTION AND INSPECTION PROCEDURES.
  - CONSTRUCTION INSPECTIONS TO BE MADE DURING THE CONSTRUCTION OF THE FACILITY TO ENSURE ACCORDANCE WITH THE PLANS. VISITS TO INSURE THAT THE BOTTOM OF THE PIPE WHILE TIGHTENING THE CLAMP TO ENSURE EVEN CONTRACTION OF THE RUBBER. MOVE THE PIPE HORIZONTALLY AND/OR VERTICALLY TO BRING IT TO GRADE.
  - FINAL CHECKS TO BE MADE TO CHECK DESIGN DIMENSIONS AT CONSTRUCTION AND AT FACTORY.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF-DEVELOPMENT ENGINEERING DIVISION \_\_\_\_\_ DATE: 4/19/01

CHIEF-DIVISION OF LAND DEVELOPMENT \_\_\_\_\_ DATE: 4/19/01

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

COUNTY HEALTH OFFICER \_\_\_\_\_ DATE: \_\_\_\_\_  
 HOWARD COUNTY HEALTH DEPARTMENT

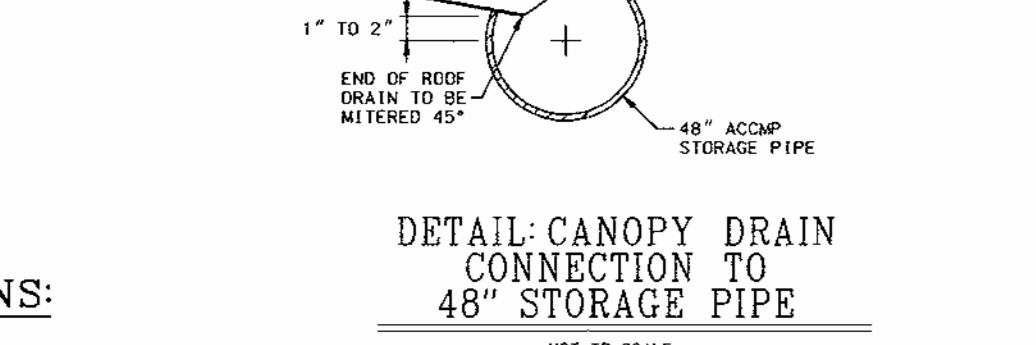
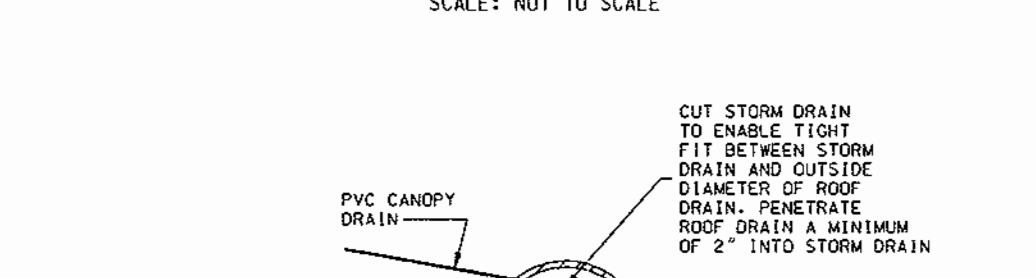
## GENERAL NOTES

- SILT AND DEBRIS SHALL NOT BE ALLOWED TO ENTER THE STRUCTURES UNTIL CONTRIBUTING DRAINAGE AREAS HAVE BEEN PERMANENTLY STABILIZED.
- ALL OPENINGS TO STRUCTURES SHALL BE PROTECTED WITH THE APPROPRIATE SEDIMENT CONTROL MEASURES DURING CONSTRUCTION.
- VARIOUS TYPES OF EQUIPMENT ARE AVAILABLE COMMERCIALY FOR THE CLEANOUT OF SYSTEMS. THE MOST COMMONLY USED EQUIPMENT AND TECHNIQUES USED FOR CLEANING SUBSURFACE SYSTEMS ARE VACUUM PUMP & WATERJET SPRAY. BOTH SYSTEMS ARE GENERALLY MOUNTED ON A SELF-CONTAINED VEHICLE AND CAN EFFECTIVELY REMOVE STONES, LEAVES, LITTER, AND SEDIMENT DEPOSITS FROM SUMPS AND CHAMBERS.

## STORMWATER MANAGEMENT AND WATER QUALITY MAINTENANCE NOTES (PRIVATE OWNERSHIP AND MAINTENANCE)

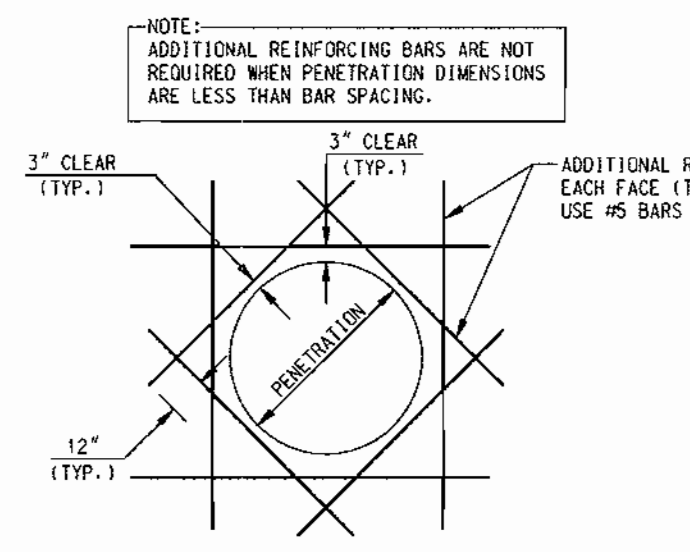
- INSPECT THE STORMCEPTOR ON A MONTHLY BASIS AND NOTE SEDIMENT AND OIL ACCUMULATIONS. MORE FREQUENT INSPECTIONS ARE APPROPRIATE WHERE OIL SPILLS OCCUR REGULARLY. STORMCEPTOR CANADA INC. CAN PROVIDE ADVICE ON SAMPLING EQUIPMENT.
- SEDIMENT SHOULD BE REMOVED ANNUALLY, OR WHENEVER THE ACCUMULATION REACHES 50% OF THE OPERATING DEPTH, FROM BASE TO DRAIN INVERT. IN AREAS OF NEW CONSTRUCTION, OR WHERE VEGETATION HAS NOT YET BEEN ESTABLISHED MORE FREQUENT REMOVAL MAY BE NECESSARY.
- VACUUM TRUCKS ARE USED TO REMOVE THE SEDIMENT AND OIL FROM THE STORMCEPTOR TREATMENT CHAMBER. OIL LEVELS GREATER THAN 2.5 CM SHOULD BE REMOVED IMMEDIATELY BY A LICENSED WASTE MANAGEMENT FIRM, AND SIGNIFICANT SPILLS MUST BE REPORTED TO THE APPROPRIATE REGULATORY AGENCY.
- THE PIPES AND STRUCTURAL PARTS SHALL BE CLEANED AND REPAIRED AS NEEDED.
- ALL MAINTENANCE SHALL BE PERFORMED BY THE OWNER OR BY THE OWNER'S REPRESENTATIVE AT THE OWNER'S EXPENSE.
- MINIMIZE SURFACE EROSION FROM PVIOUS SURFACES AT ALL TIMES! MAINTAIN GRASS, SOD, AND/OR MULCH COVERAGE UPON LANDSCAPINGS.
- REMOVE DEBRIS ON TOP OF INLET GRATES AFTER EVERY RAINFALL, AND OILS, SILTS AND AGGREGATES, AND DEBRIS FROM ALL INLETS AND STRUCTURES.
- THE DISPOSAL OF THE LIQUID AND SOLID MATTER SHOULD BE AS FOLLOWS:
  - ALL LIQUID MATERIAL IN THE SEPARATOR INLET SHALL BE PUMPED INTO A SUITABLE TANK TRUCK AND DISPOSED OF AT AN APPROVED SANITARY DISTRICT DISCHARGE MANHOLE OR BE TAKEN TO AN APPROVED SEWAGE TREATMENT PLANT FOR DISCHARGE.
  - THE SOLID MATERIAL SHALL BE LANDFILLED IN AN APPROVED SANITARY LANDFILL.

## THE PRECAST CONCRETE STORMCEPTOR (STC)

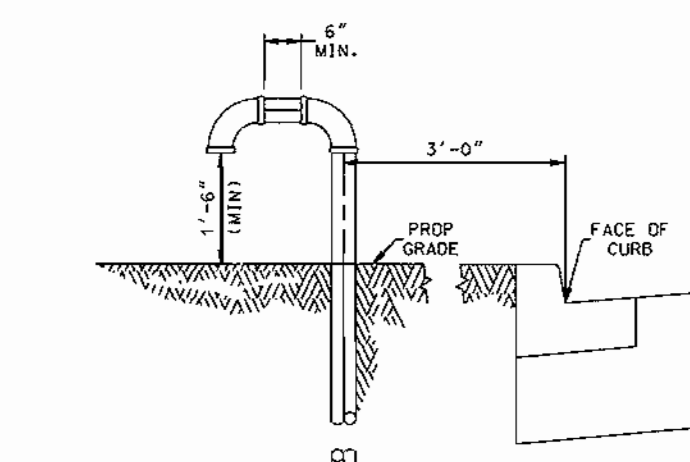


## CONTRACTOR INSTALLATION INSTRUCTIONS: PRECAST CONCRETE STORMCEPTOR

- STAKE-OUT THE LOCATION OF THE STORMCEPTOR AND EXCAVATE HOLE. EXCAVATE ADEQUATE SPACE TO CONNECT INLET AND OUTLET PIPES TO UNIT. INSTALL A 12" DEEP (OR AS REQUIRED) LAYER OF COMPACTED (95% STANDARD PROCTOR DENSITY) OR LOCAL AND STATE REQUIREMENTS, AS DIRECTED BY THE INSPECTOR) AGGREGATE SUBBASE AT BOTTOM OF EXCAVATION. INSTALL MULE OR SHORING, AS NEEDED.
- CHECK ELEVATION OF UNIT BY MEASURING ITS SECTIONS FROM BASE OF THE STORAGE CHAMBER (BOTTOM OF UNIT'S SLAB) TO THE INVERT OF STORMCEPTOR BYPASS CHAMBER INLET ELEVATION (FIBERGLASS INSERT). SUBTRACT THIS DISTANCE FROM DESIGN INVERT ELEVATION TO DETERMINE TOP OF SUBBASE ELEVATION. CHECK ELEVATION OF INSTALLED SUBBASE AND ADJUST AS NEEDED. SECURE INSPECTOR APPROVAL OF SUBBASE AND SUBBASE.
- INSTALL STORAGE CHAMBER. INSTALL SCREW INSERTS INTO BASE OF STORAGE CHAMBER. ATTACH CABLES OR CHAINS TO ALL 3 LIFTING LUGS ON THE BASE SLAB. USING LARGE EQUIPMENT OR CRANE LIFT AND PLACE THE BASE SECTION OF THE STORAGE CHAMBER IN THE EXCAVATED HOLE ON THE SUBBASE. MAKE SURE THAT THE BASE IS LEVEL. SPECIFIC ALIGNMENT OF THIS PART IS NOT REQUIRED. INSTALL RUBBER GASKET ON BASE UNIT AND COAT WITH LUBRICATING GREASE (PROVIDED IN SHIPMENT), IF NOT PRELUBRICATED. INSTALL ADDITIONAL STORAGE CHAMBER SECTIONS, AS REQUIRED (PROCEDURE IS SAME AS STEP 8.).
- INSTALL REDUCING SLAB. (STORMCEPTOR MODELS STC-2400, STC-3600, STC-4800, STC-6000 AND STC-7200) CHECK THAT SECTION IS SET FLUSH, LEVEL AND IS AT THE PROPER ELEVATION. INSTALL RUBBER GASKET ON THE TRANSITION SLAB SPIGOT AND COAT WITH LUBRICATING GREASE (PROVIDED IN SHIPMENT).
- INSTALL BYPASS CHAMBER OF STORMCEPTOR WITH FACTORY INSTALLED STORMCEPTOR INSERT. LIFT BYPASS SECTION AND INSTALL, WHILE CHECKING ALIGNMENT AND GRADE OF INLET AND OUTLET DRAINAGE PIPES. CHECK TO MAKE SURE THE BYPASS CHAMBER IS SET FLUSH, LEVEL AND IS AT THE PROPER ELEVATION. THE BYPASS CHAMBER MUST BE ORIENTED SUCH THAT INLET PIPE DISCHARGES INTO THE V-SHAPED FIBERGLASS WEIRS (INSIDE INSERT). INSTALL RUBBER GASKET ON TOP OF BYPASS SECTION AND COAT WITH LUBRICATING GREASE, IF NOT PRELUBRICATED.
- INSTALL STORMCEPTOR DROP PIPES ACCORDING TO STC PIPE INSTALLATION PROCEDURE.
- INSTALL RISER SECTION. LIFT RISER SECTION AND INSTALL, WHILE CHECKING THAT SECTION IS SET FLUSH AND IS AT PROPER ELEVATION AND THAT UNIT IS LEVEL. SPECIFIC ALIGNMENT OF THIS PART IS REQUIRED IF STEP(S) ARE INCLUDED. ALIGN STEPS ABOVE INLET INSPECTION PORT. NOTE: FOR SHALLOW INSTALLATIONS THIS SECTION MAY NOT BE REQUIRED.
- INSTALL TOP CAP WITH OPENING FOR STORMCEPTOR COVER. IF OPENING IS OFFSET (NOT CENTERED) THE TOP CAP OPENING SHOULD BE ORIENTED ABOVE THE STORMCEPTOR INLET INSPECTION PORT (PLUS), BACKFILL STORMCEPTOR WITH APPROVED BACKFILL MATERIAL (NO ORGANIC OR TOPSOIL IS TO BE USED FOR BACKFILL). BACKFILL AND COMPACT IN 8" INCH LIFTS. BACKFILL SHOULD BE COMPACTED TO 95% OF STANDARD PROCTOR DENSITY, OR LOCAL AND STATE REQUIREMENTS, AS DIRECTED BY THE INSPECTOR.
- INSTALL AND SET GRADE ADJUSTING RINGS, AS NEEDED.
- INSTALL AND SET STORMCEPTOR FRAME AND COVER.
- INSTALL INLET AND OUTLET STORM DRAIN PIPES. CONNECT INLET AND OUTLET STORM DRAIN PIPES WITH FLEXIBLE BOOTS (WHEN PROVIDED) AND WITH NON-SHRINK GROUT WHEN NO FLEXIBLE BOOTS ARE PROVIDED. THE INVERT OF THE INLET AND OUTLET PIPE IS TO MATCH WITH THE INVERT OF THE STORMCEPTOR INSERT. FLEXIBLE BOOT INSTALLATION PROCEDURES: CENTER THE PIPE IN THE BOOT OPENING. LUBRICATE THE OUTSIDE OF THE PIPE AND/OR THE INSIDE OF THE BOOT IF THE PIPE OUTSIDE DIAMETER IS THE SAME AS THE INSIDE DIAMETER OF THE BOOT. POSITION THE PIPE CLAMP IN THE GROOVE OF THE BOOT WITH THE SCREW AT THE TOP. TIGHTEN THE PIPE CLAMP SCREW TO 60 INCH POUNDS. IF THE PIPE IS MUCH SMALLER THAN THE BOOT, LIFT THE BOOT SUCH THAT IT CONTACTS THE BOTTOM OF THE PIPE WHILE TIGHTENING THE CLAMP TO ENSURE EVEN CONTRACTION OF THE RUBBER. MOVE THE PIPE HORIZONTALLY AND/OR VERTICALLY TO BRING IT TO GRADE.
- THE STORMCEPTOR SHOULD BE PUMPED OUT WHEN THE SEDIMENT CONTROL MEASURES ARE REMOVED (SITE PERMANENTLY STABILIZED).
- FINAL INSPECTION.



## TYPICAL REINFORCING DETAIL @ WALL & SLAB PENETRATION



## DETAIL: 4" VENT PIPE

- NOTES:
- THE STORMCEPTOR IS PROTECTED BY U.S. PATENT NO. 4,985-148
  - CAST IRON FRAME & COVER TO BE APPROVED BY STORMCEPTOR CORPORATION. \*STORMCEPTOR TO BE EMBOSSED ON COVER.
  - REDUCE BACKFILL AND GENERAL INSTALLATION REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE MANUFACTURER AND A PROFESSIONAL ENGINEER BASED ON SITE SPECIFIC SOILS CONDITIONS, SUBJECT TO THE APPROVAL OF THE REGULATORY AGENCIES.
  - SIZING OF THE STORMCEPTOR SHALL BE IN ACCORDANCE WITH THE GUIDELINES PROVIDED BY STORMCEPTOR CORPORATION, SUBJECT TO THE APPROVAL OF THE REGULATORY AGENCIES.
  - THE STORMCEPTOR SHOULD BE MAINTAINED ANNUALLY AND/OR IMMEDIATELY FOLLOWING ANY KNOWN SPILLS.
  - THE STORMCEPTOR CONFORMS TO ASTM C 478 DESIGN SPECIFICATIONS / STANDARDS.
  - THE 72" DIAMETER SECTION SHOULD EXTEND A MIN. OF 5' ABOVE THE INSERT OR TO THE SURFACE FOR ACCESS TO THE INSPECTION PORTS.
  - A MINIMUM OF 1" STEP IS TO BE USED IN THE ACCESS WAY.
  - COVER TO BE OFFSET 6" FROM ACCESS WALL ADJACENT TO INLET INSPECTION PORT.
  - NON-SMOOTH WALL O.D. PIPE TO BE GROUDED IN PLACE
  - MINIMUM OF 1" FALL FROM INLET TO OUTLET.
  - FURTHER TECHNICAL INFORMATION IS AVAILABLE FROM STORMCEPTOR CORPORATION (1-800) 762-4703

2-16-01 DATE

FREDERICK WARD ASSOCIATES, INC.  
 ENGINEERS  
 7125 Rivenwood Drive Columbia, Maryland 21046-2354  
 Phone: 410-250-6550 Fax: 410-720-6226  
 Bel Air, Maryland Manassas, Virginia Warrenton, Virginia

TIMOTHY E. WHITTE  
 PROFESSIONAL ENGR. NO. 19155

### DIMENSIONS\*

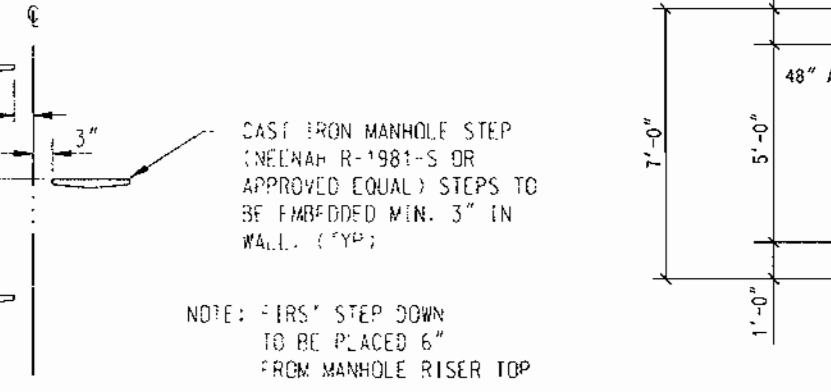
MODEL	DIAM. (in)	DEPTH (in)	HL (in)	L (in)	W (in)
STC 900	6	6	42	8	8
STC 1200	6	6	60	8	8
STC 1800	6	6	90	8	8
STC 2400	8	8	76	8	0
STC 3600	8	8	118	8	0
STC 4800	10	10	106	12	0
STC 6000	10	10	130	12	0
STC 7200	12	12	114	14	0

### FLows AND CAPACITIES\*

PIPE DIAMETER (in)	PIPE MATERIAL	MIN (in)	H (in)	L (in)
10	PVC	22	36	8
10	CONC / PE RIB	22	36	7
12	PVC / PE RIB	22	36	9
12	CONCRETE	22	42	11
15	PVC / PE RIB	22	42	9.5
15	CONCRETE	22	48	11.5
18	PVC / PE RIB	22	48	10
18	CONCRETE	32	48	11
21	PVC / PE RIB	32	48	9.5
21	CONCRETE	32	54	11.5
24	PVC	32	48	9
24	PE RIBBED	32	54	10
24	CONCRETE	32	54	11
27	PVC	32	54	8.5
27	CONCRETE	44	60	11.5
30	CONCRETE	44	60	12
33	CONCRETE	44	60	12.5
36	CONCRETE	44	60	13

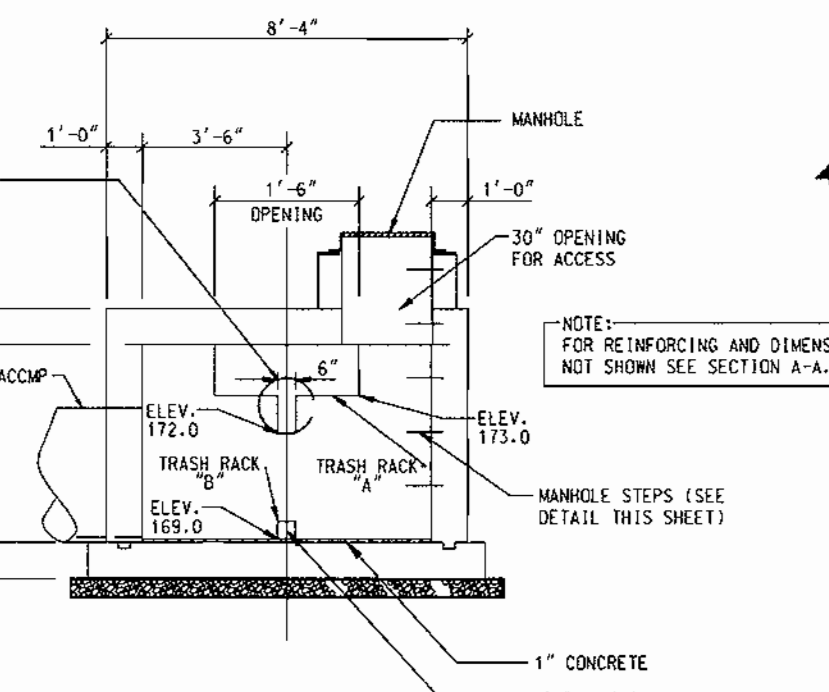
## GENERAL NOTES

- ALL STRUCTURES DETAILD ON THIS SHEET SHALL BE CAPABLE OF SUPPORTING A MINIMUM HS-20 LOADING, AND SHALL BE CONSTRUCTED IN FULL ACCORDANCE WITH ACI 318, LATEST EDITION.
- CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH  $f'_c \geq 3500$  PSI.
- ALL REINFORCING SHALL CONFORM TO ASTM A-615 GRADE 60.
- CONTRACTOR SHALL USE CAST STRUCTURES IN WHOLE OR IN PART SUBJECT TO THE PRIOR APPROVAL OF PRE-CAST SHOP DRAWING SUBMITTED TO HOWARD COUNTY BUREAU OF ENGINEERING PRIOR TO MANUFACTURING.
- SILT AND DEBRIS SHALL NOT BE ALLOWED TO ENTER THE STRUCTURES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN PERMANENTLY STABILIZED.
- ALL OPENINGS TO THE STRUCTURE SHALL BE PROTECTED WITH THE APPROPRIATE SEDIMENT CONTROL MEASURES DURING CONSTRUCTION.



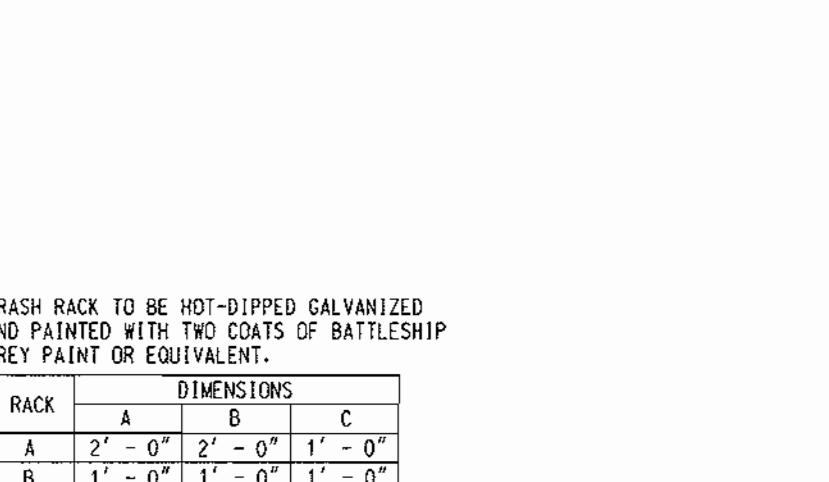
## MANHOLE STEP DETAIL

NOT TO SCALE



## SECTION B-B

NOT TO SCALE

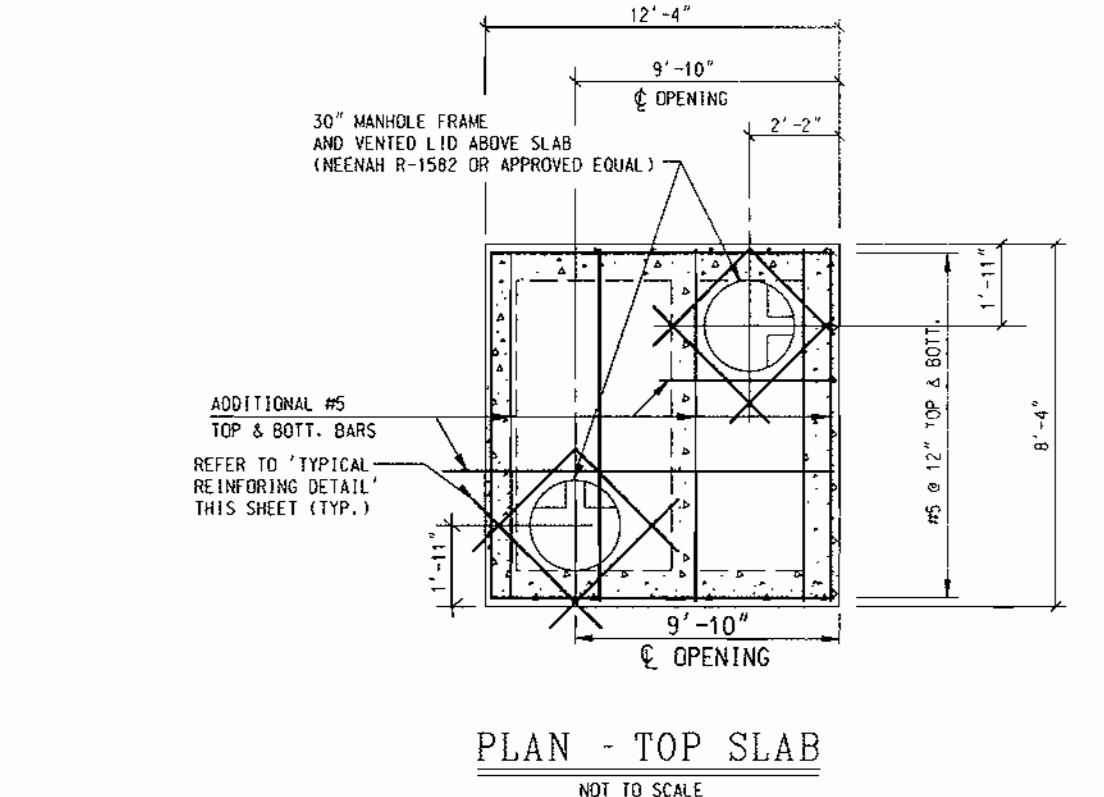


## TRASH RACK ISOMETRIC

NOT TO SCALE

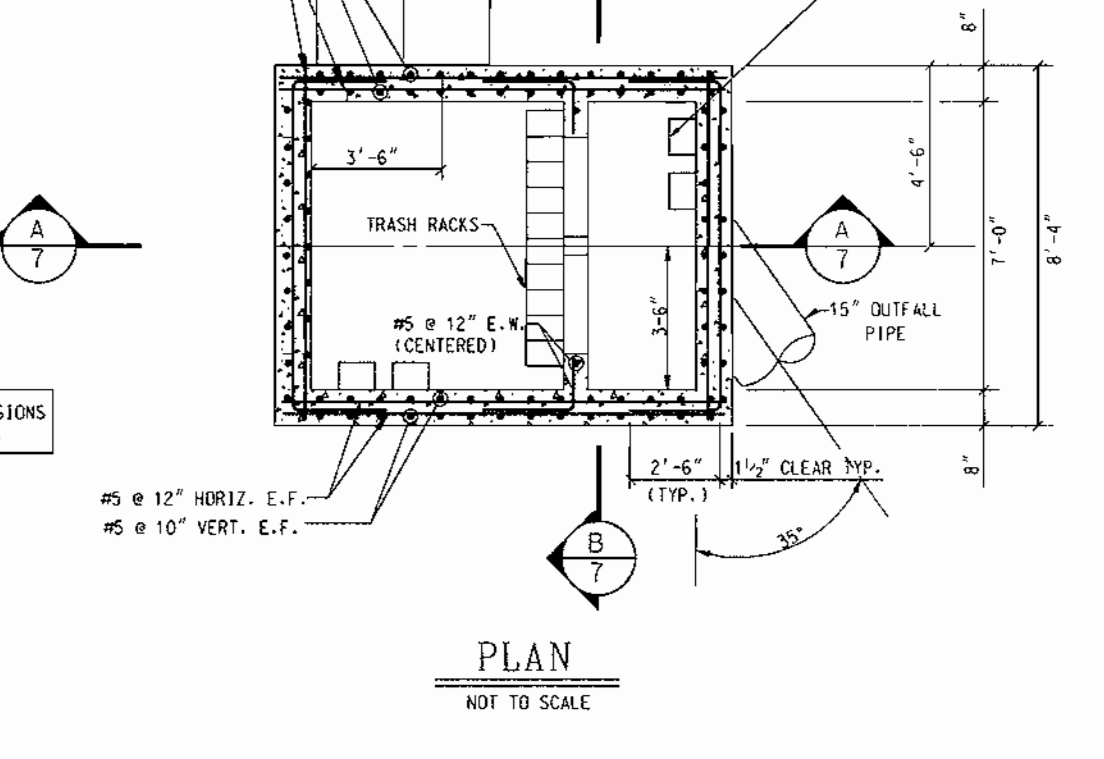
### DIMENSIONS

RACK	A	B	C
A	2' - 0"	2' - 0"	1' - 0"
B	1' - 0"	1' - 0"	1' - 0"



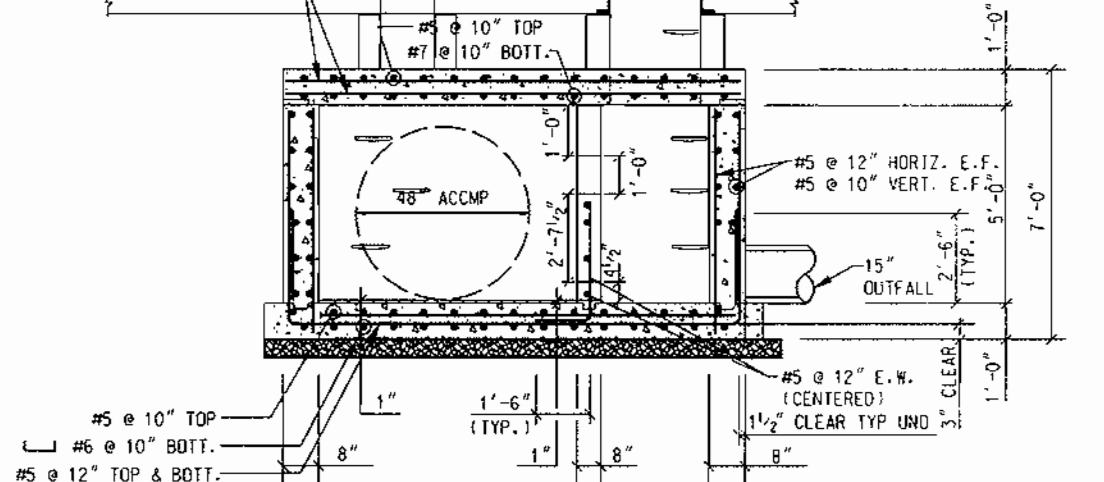
## PLAN - TOP SLAB

NOT TO SCALE



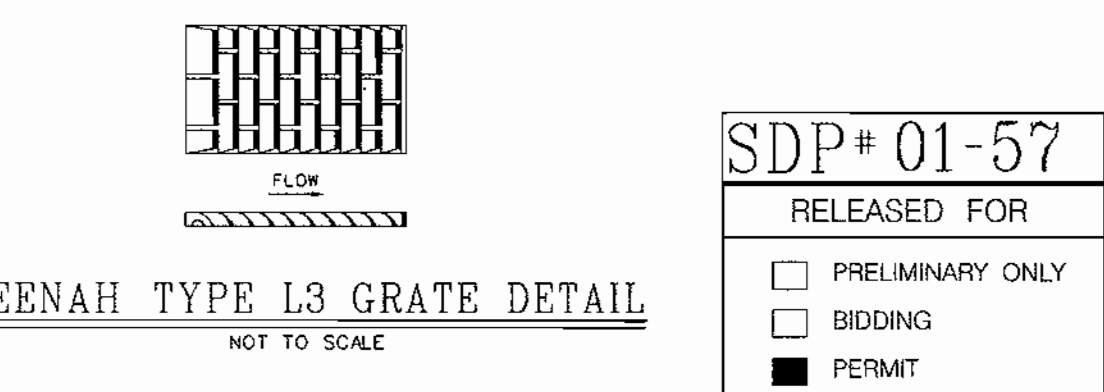
## PLAN

NOT TO SCALE



## SECTION A-A

NOT TO SCALE



## NEENAH TYPE L3 GRATE DETAIL

NOT TO SCALE

SDP# 01-57

RELEASED FOR

PRELIMINARY ONLY

BIDDING

PERMIT

CONSTRUCTION

DATE: \_\_\_\_\_

DATE	NUMBER	REVISION DESCRIPTIONS

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO.
MAIER INDUSTRIAL PARK	SECTION 1	A-2
PLAT#	ZONING	TAX MAP NO. ELECT DISTR
14743	M-2	47 6
WATER CODE	SEWER CODE	CENSUS TRACT
C-04	7100800	6069.02

ADDRESS CHART

LOT/PARCEL #	STREET ADDRESS
A-2	9651 WASHINGTON BOULEVARD

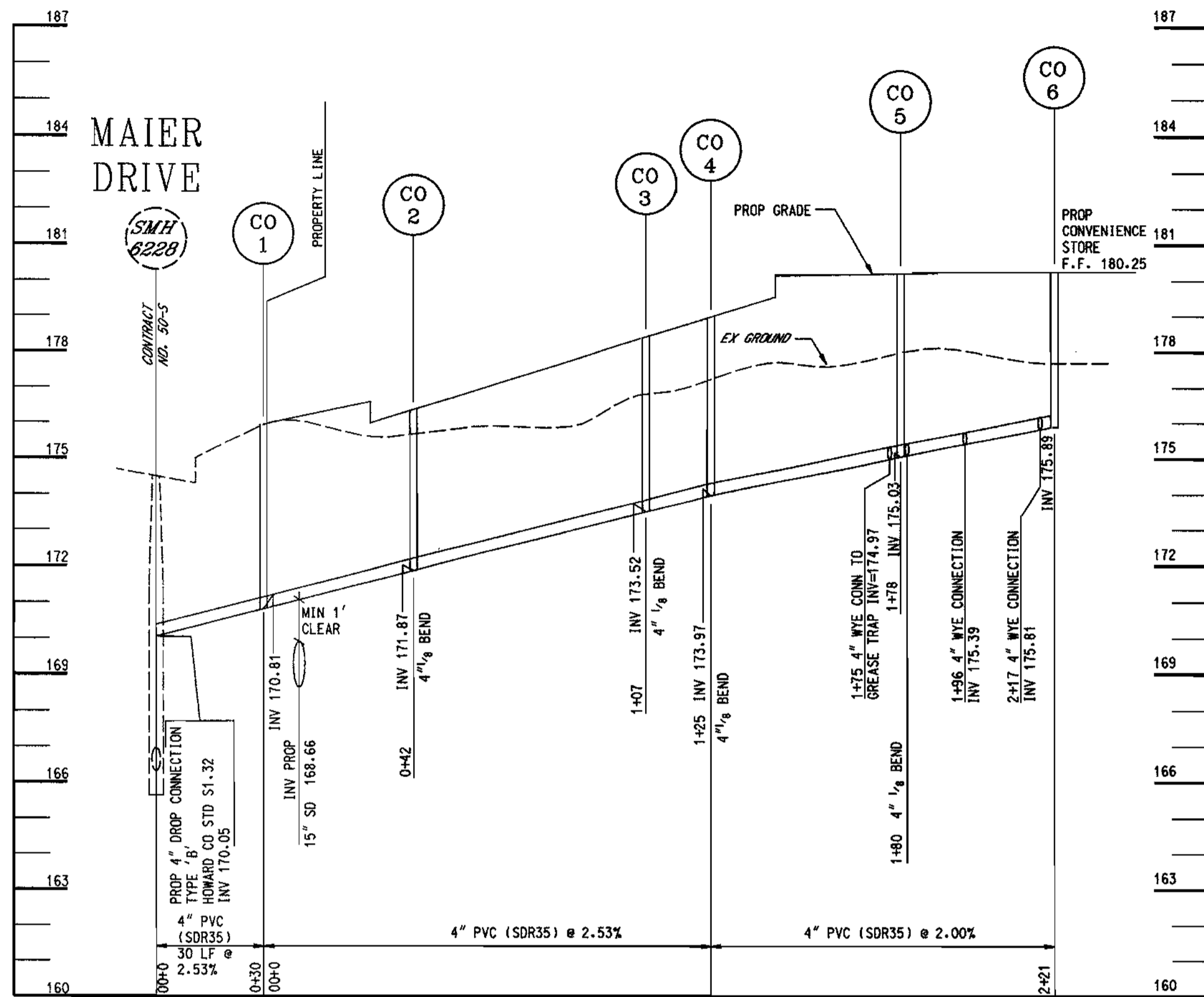
TITLE: PROPOSED 7-ELEVEN STORE  
 BALTIMORE WASHINGTON BLVD @ MAIER ROAD  
 STORMWATER MANAGEMENT PLAN NOTES & DETAILS

DESIGN BY: TFW SCALE: AS SHOWN PROJECT NO.: 99465  
 DRAWN BY: MIB DATE: 2/14/01 DRAWING NUMBER  
 CHECKED BY: TFW APPROVED: TFW CD7 OF 12

OWNER: ALVIN R. and BETTE L. MAIER  
 4700 ANNAPOLIS ROAD  
 BLADENSBURG, MD 20710

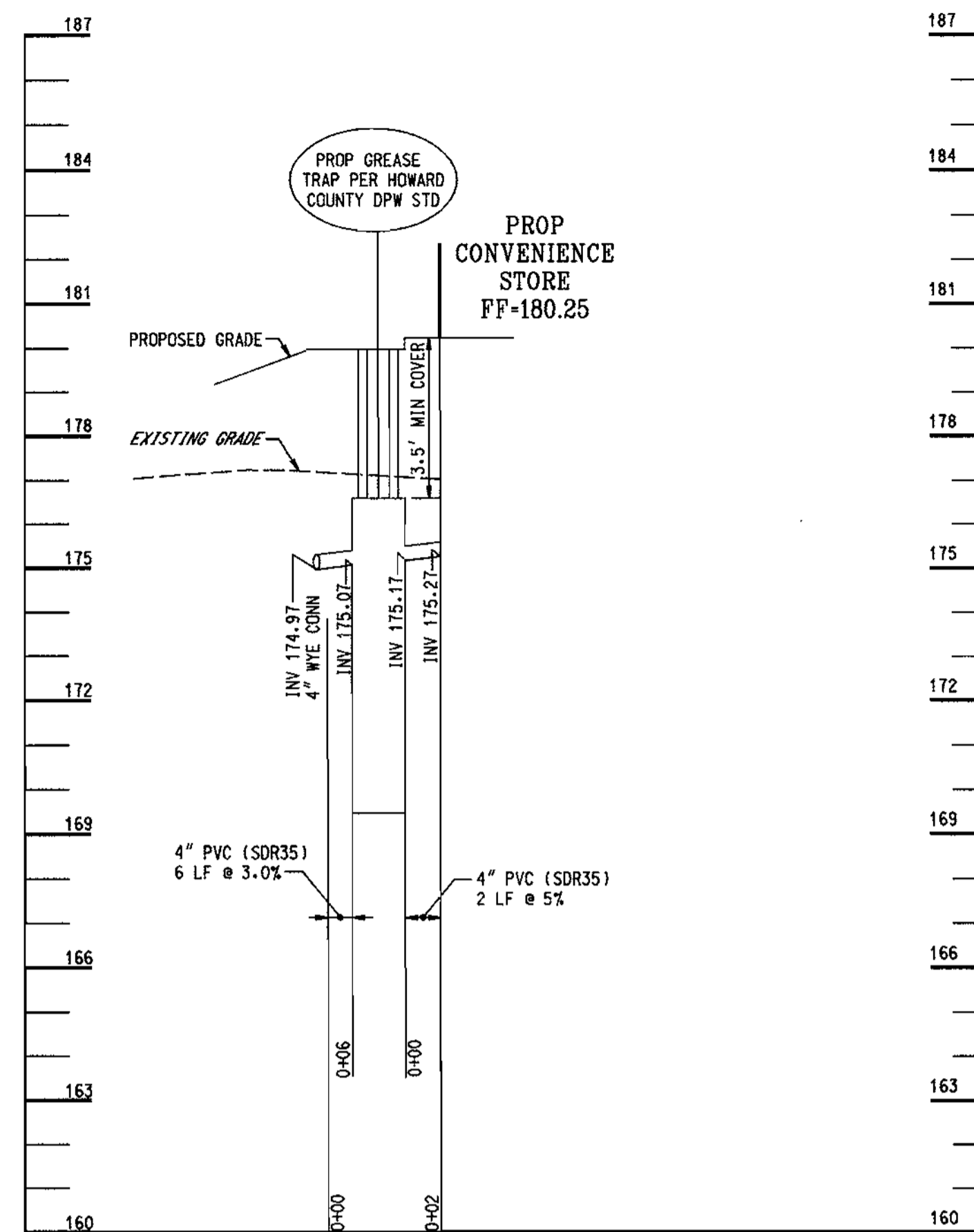
DEVELOPER: MAIER ROAD, LLC  
 10422 GREEN MOUNTAIN CIRCLE  
 COLUMBIA, MD 21044  
 REX DALRYMPLE: 410-997-3071

PWA FILE NO. M:\PROJECTS\99465\A007\A007.DWG 2/01



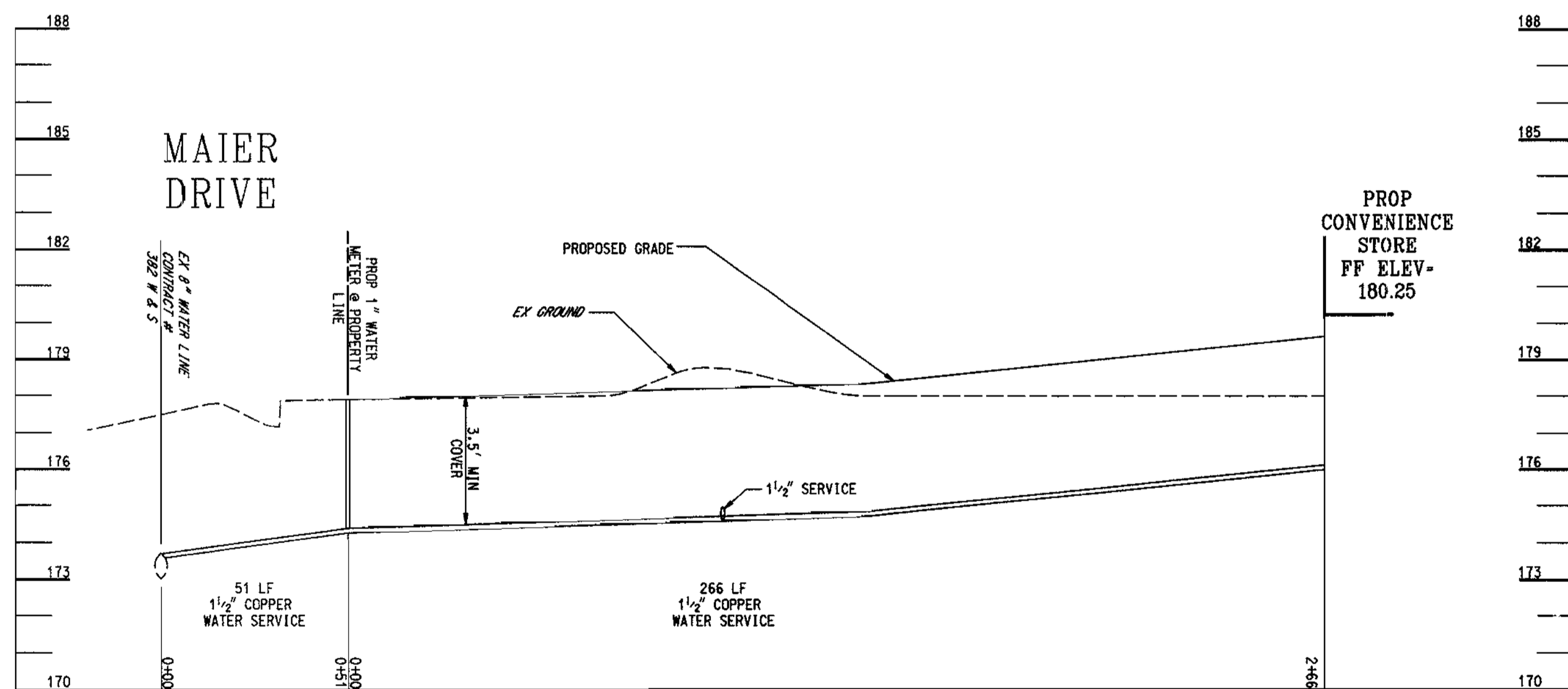
**SANITARY SEWER PROFILE**

SCALE: HORIZONTAL: 1" = 30'  
VERTICAL: 1" = 3'



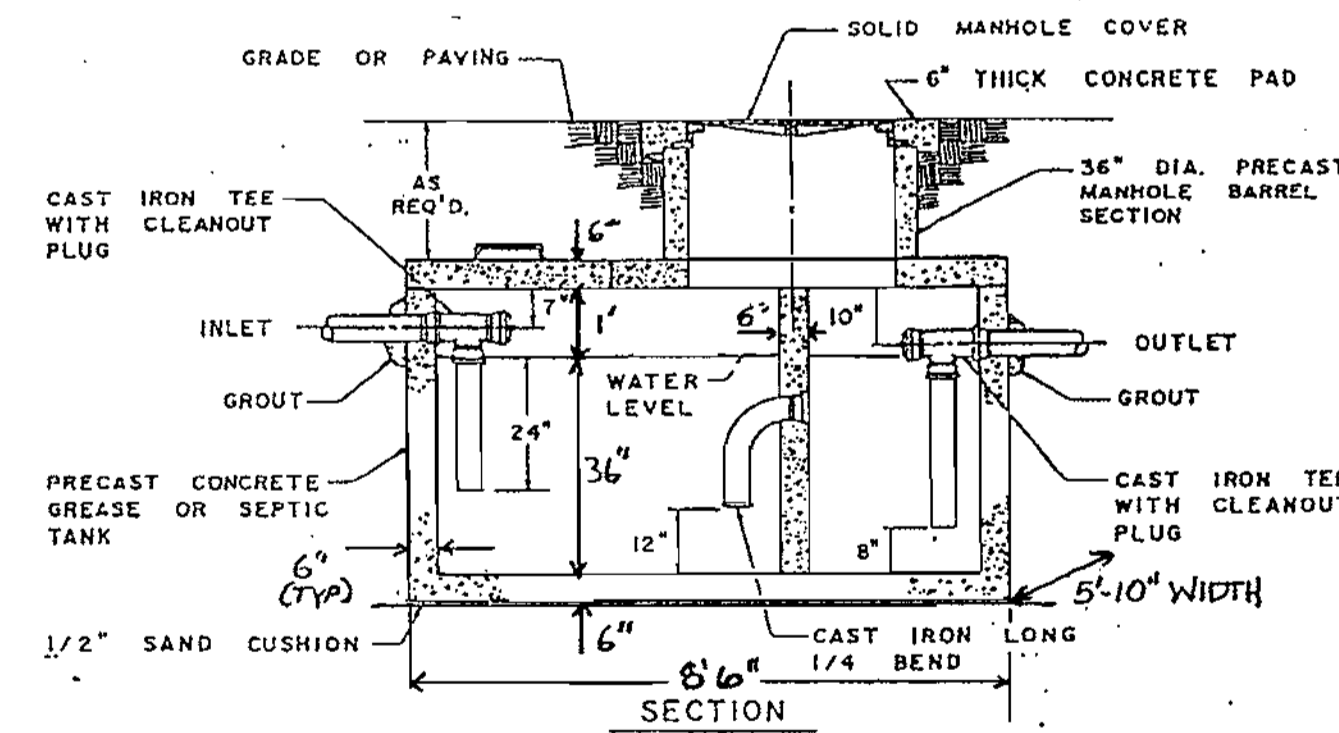
**SANITARY SEWER PROFILE**

SCALE: HORIZONTAL: 1" = 30'  
VERTICAL: 1" = 3'



**WATER SERVICE PROFILE**

SCALE: HORIZONTAL: 1" = 30'  
VERTICAL: 1" = 3'



**750 GALLON GREASE TRAP**  
NTS

SDP# 01-57

RELEASED FOR

- PRELIMINARY ONLY
- BIDDING
- PERMIT
- CONSTRUCTION

DATE:

DATE	NUMBER	REVISION DESCRIPTIONS
PERMIT INFORMATION CHART		
SUBDIVISION NAME MAIER INDUSTRIAL PARK	SECTION/AREA SECTION 1	LOT/PARCEL NO. A - 2
PLAT# 14743	BLOCK# 23	ZONING M-2
TAX MAP NO. 47	ELECT. DISTR. 6	CENSUS TRACT 6069.02
WATER CODE C - 04	SEWER CODE 7100800	
ADDRESS CHART		
LOT/PARCEL # A - 2	STREET ADDRESS 9651 WASHINGTON BOULEVARD	
TITLE		
PROPOSED 7-ELEVEN STORE BALTIMORE WASHINGTON BLVD @ MAIER ROAD WATER AND SEWER PROFILES		
DESIGN BY: TFW	SCALE: 1" = 30'	PROJECT NO.: 99465
DRAWN BY: MIB	DATE: 2/14/01	DRAWING NUMBER
CHECKED BY: TFW	APPROVED: TFW	<b>CDB OF 12</b>

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 CHIEF-DEVELOPMENT ENGINEERING DIVISION  
 CHIEF-DIVISION OF LAND-DEVELOPMENT  
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.  
 COUNTY HEALTH OFFICER  
 HOWARD COUNTY HEALTH DEPARTMENT

**FREDERICK WARD ASSOCIATES, INC.**  
 ENGINEERS: 7125 Riverwood Drive Columbia, Maryland 21046-2354  
 ARCHITECTS: Phone: 410-290-9550 Fax: 410-720-8226  
 SURVEYORS: Bel Air, Maryland Manassas, Virginia Warrenton, Virginia

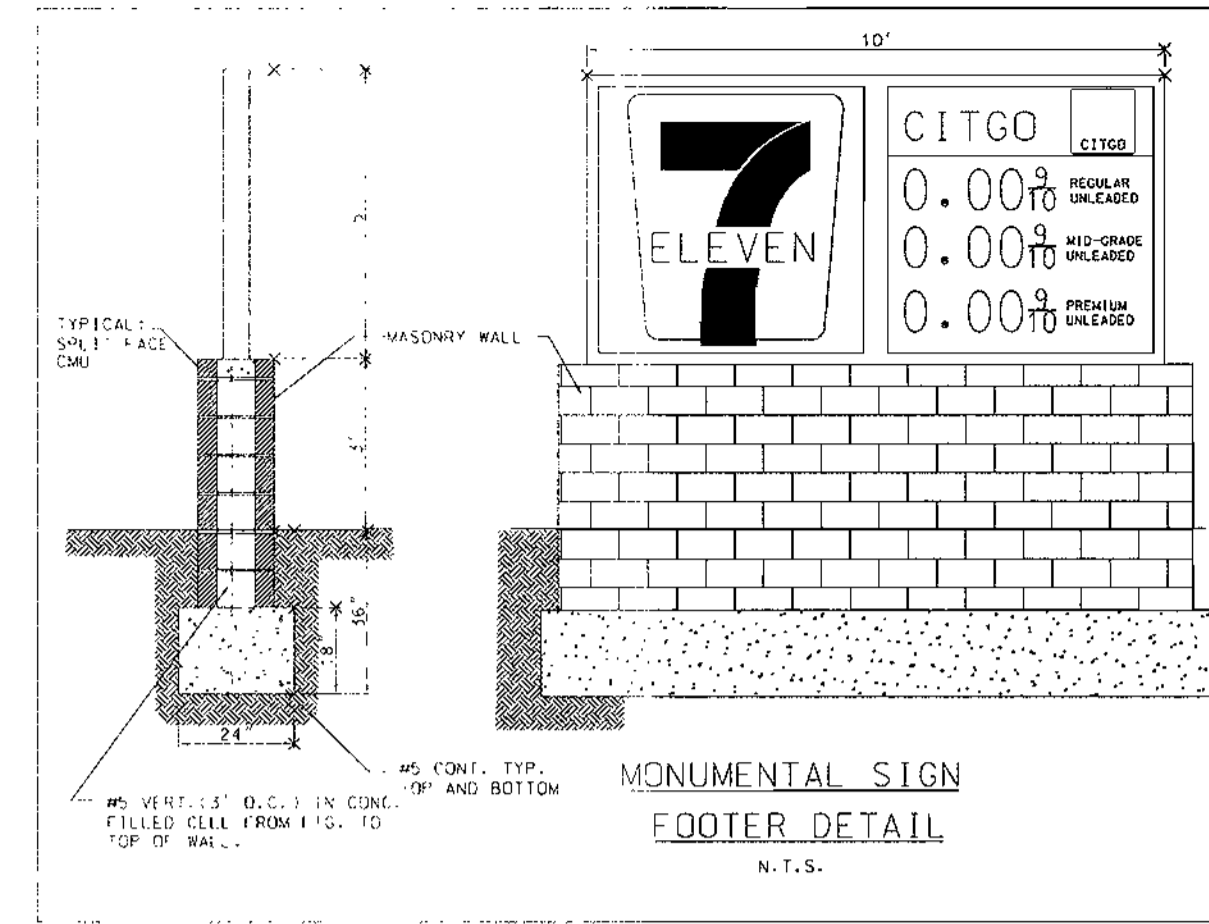
2-16-01  
 DATE  
 STATE OF MARYLAND  
 PROFESSIONAL ENGINEER  
 TIMOTHY F. WHITTE  
 PROFESSIONAL ENGR. NO. 19155

OWNER  
**ALVIN R. and BETTE L. MAIER**  
 4700 ANNAPOLIS ROAD  
 BLADENSBURG, MD 20710  
 DEVELOPER  
**MAIER ROAD, LLC**  
 10422 GREEN MOUNTAIN CIRCLE  
 COLUMBIA, MD 21044  
 REX DALRYMPLE: 410-997-3071

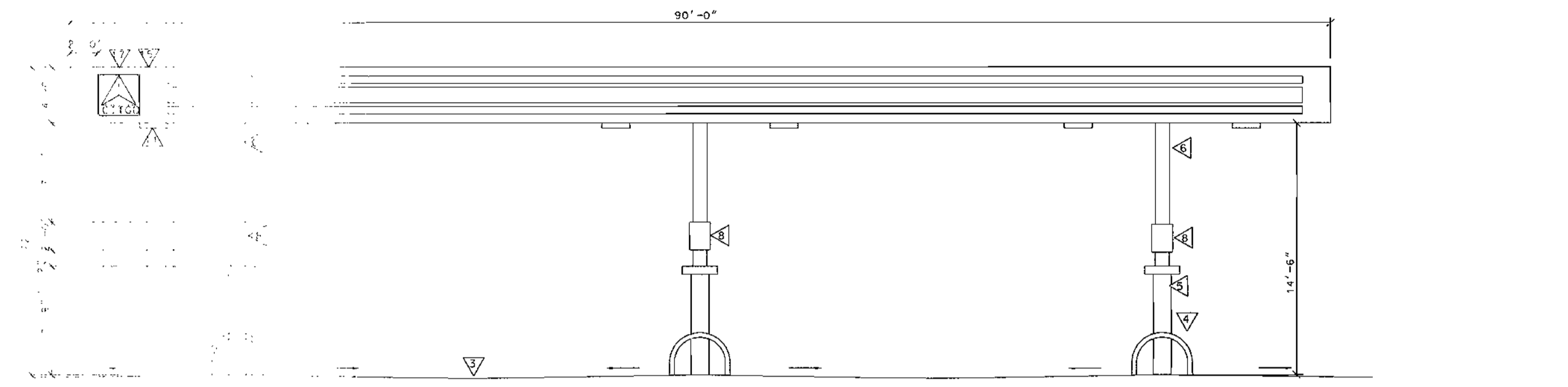


**TYPICAL FLAG NOTES**

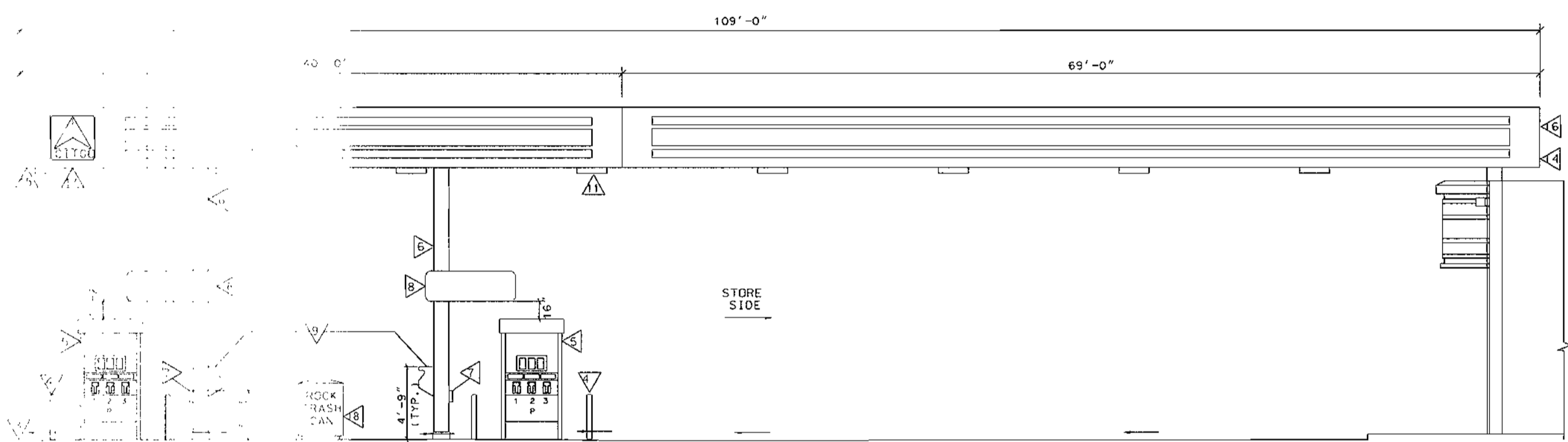
- ▲ 6" CONCRETE SLAB WITH #3 REINFORCING BARS @ 18" O.C. BOTH WAYS. (VERIFY PER LOCAL ORDINANCES AND SOIL CONDITIONS).
- ▲ 3 - #3 X 5'-0" @ 45° TO MAT. TYPICAL AT EACH CORNER
- ▲ TOP OF CONCRETE PAVING (SEE SPECIFICATIONS FOR FINISHING SLAB SURFACE AND RELATED DETAILS).
- ▲ 4" DIA. SCHEDULE 40 METAL U-SHAPE BOLLARD (PAINTED).
- ▲ MULTI-PRODUCT DISPENSER (MPD).
- ▲ CANOPY COLUMN (CITGO BRONZE).
- ▲ INTERCOM CALL BOX. MECHANICALLY FASTENED TO COLUMN FACING THE MPD. MOUNT AT 3'-3" (TOP OF BOX) ABOVE SLAB
- ▲ MERCHANDISE SPANDREL. (2' x 6') (PER MAT. GASOLINE). MOUNTING HEIGHT 8'-10" FROM CONCRETE PAVING TO BOTTOM OF SPANDREL
- ▲ WASH BUCKET MOUNT AT 4'-9" (TOP OF BUCKET) ABOVE SLAB.
- ▲ SEE SITE PLAN FOR THE LOCATION OF VENT PIPES.
- ▲ CANOPY LIGHT FIXTURE (STD. 250W S.M.H.-1. LST INDUSTRIES: No. SC-5-250-SMVP-PG-MT-WHT)
- ▲ LINE OF CANOPY ABOVE.
- ▲ SEE SHEET SP4 FOR DETAILS ON DOWN-SPOUT FROM CANOPY (INSIDE THE COLUMN).
- ▲ OVERFLOW PROTECTION AS REQUIRED. SEE CANOPY DRAWINGS & SPECIFICATIONS.
- ▲ GASOLINE CANOPY. SEE MANUFACTURER'S DRAWINGS & SPECIFICATIONS FOR DETAILS OF CONSTRUCTION.
- ▲ CANOPY FASCIA
- ▲ ILLUMINATED SIGN DECAL LOCATION (SEE SIGNAGE DRAWING: GR-1 FOR GUIDELINES ON THE PLACEMENT OF THE LOGO OR SIGN CAN).
- ▲ ROCK TRASH CAN SUPPLIED BY SOUTHLAND INSTALLED BY GAS CONTRACTOR. 1-PER DISPENSER
- ▲ EYEBROW LIGHTING ABOVE TOP OF CANOPY



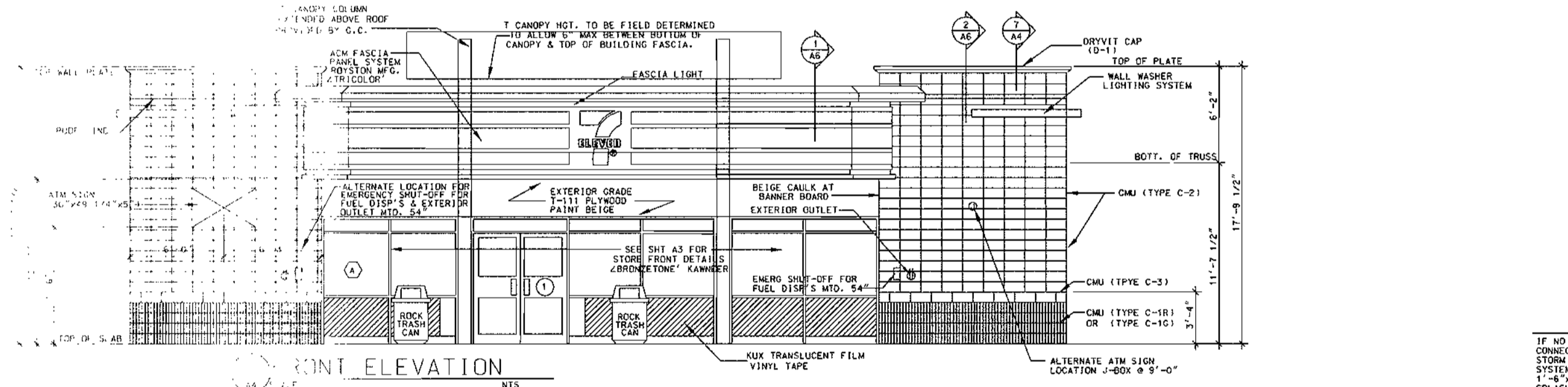
EXTERIOR MATERIALS			
NO.	SIZE	FINISH	MANUF./COLOR
C-1R	18"X8"X16"	86-R18 ROUGH	FEATHERLITE/GRANITE PINK-RED
C-1G	18"X8"X16"	86-R18 ROUGH	FEATHERLITE/LONESTAR GREY-GREY
C-2	18"X8"X16"	SPLIT-FACE	FEATHERLITE/APACHE BROWN-TAN
C-3	18"X8"X16"	BURNISHED	FEATHERLITE/LINESTONE-WHITE
D-1	11"-12"X3"	SMOOTH	DRYVIT/WHITE-MATCH C-3 COLOR
CHOU1			MATCH ADJOINING MATERIAL COLOR



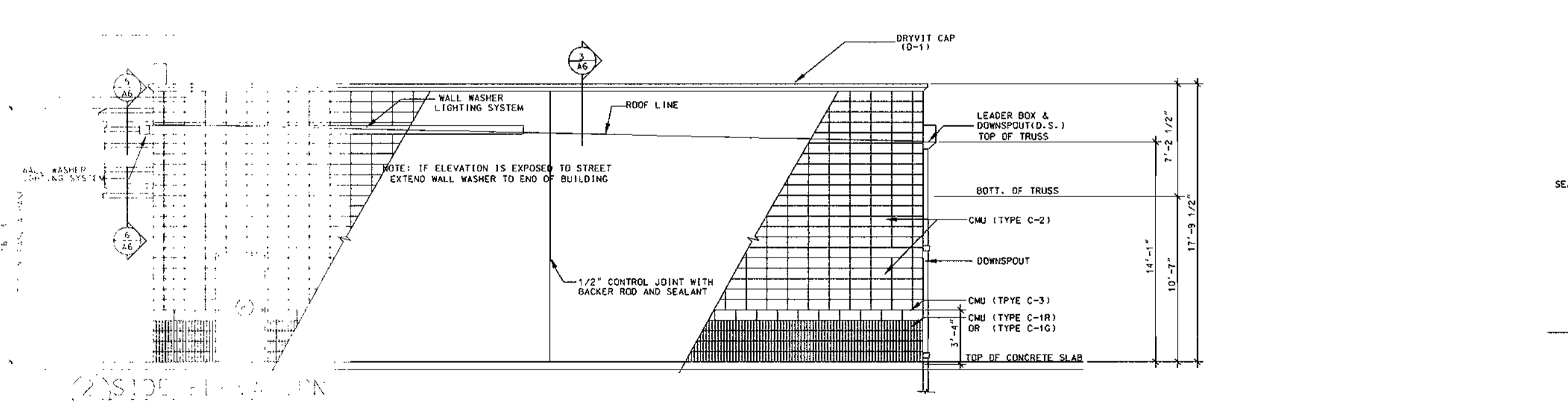
CANOPY REAR ELEVATION



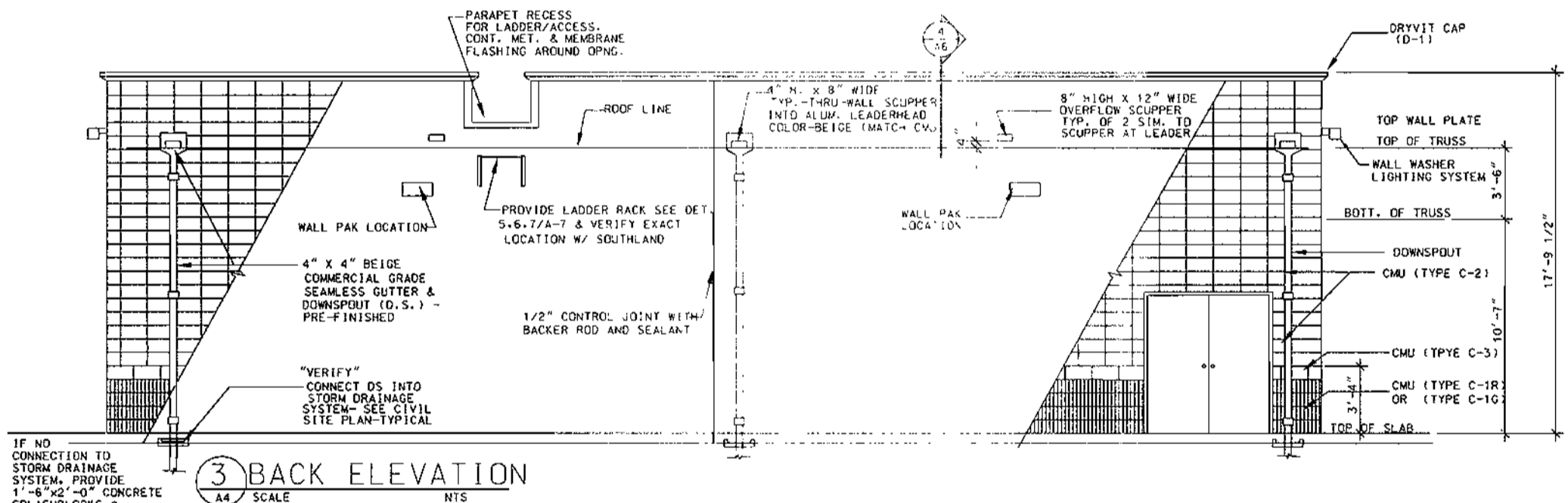
CANOPY STORE ELEVATION



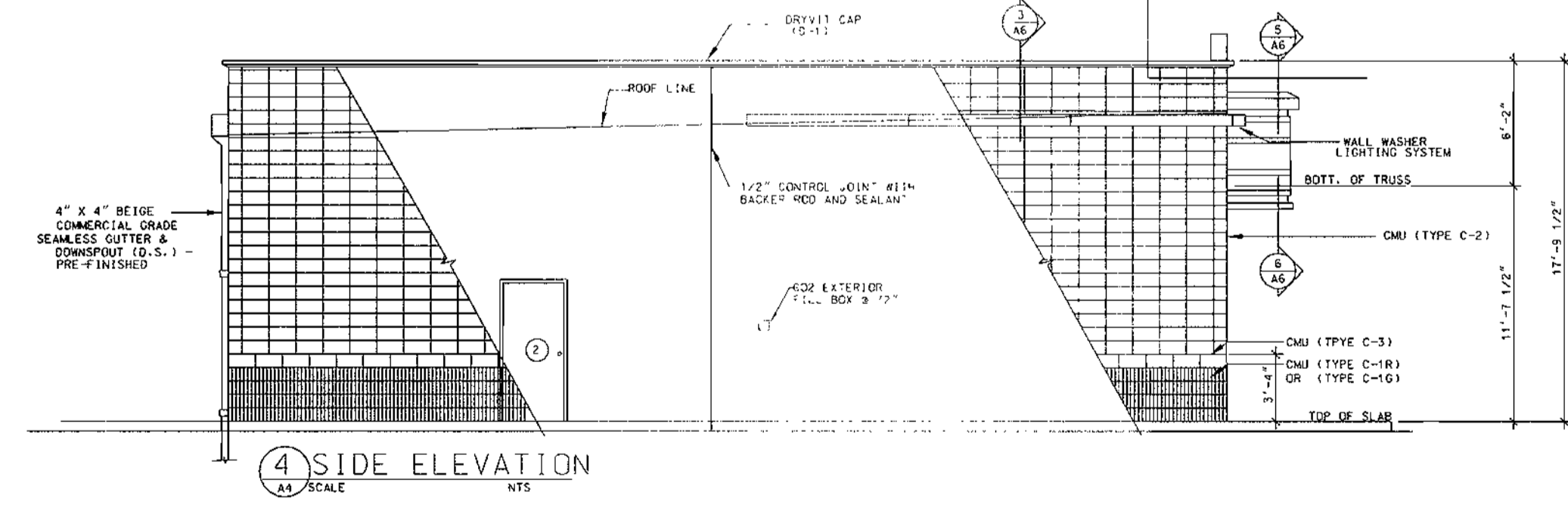
FRONT ELEVATION



SIDE ELEVATION



BACK ELEVATION



SIDE ELEVATION

**SIGNAGE CALCULATIONS**

1. FREESTANDING SIGN
  - A. PERMITTED: (SETBACK)
    - HEIGHT: ONE FOOT FOR EACH TWO FEET OF SETBACK  
8' x 2' = 16.0'
    - AREA: ONE SQ FT FOR EACH LF OF SETBACK  
1 x 25 = 25 SQ FT
  - B. PROPOSED:
    - HEIGHT: 8'-0"
    - AREA: 7-11 ID: = 25.00 SQ FT  
PRICE (32 SF ALLOWED) 25.00 SF = NA  
TOTAL = 25.00 SQ FT
2. BUILDING SIGNAGE
  - A. U.S. RTE. 1
    - 1) PERMITTED:
      - TWO SQ FT PER LINEAR FOOT OF BUILDING FRONTAGE  
2 x (49' - 3" C-STORE) = 98.50 SQ FT
    - 2) PROPOSED:
      - ONE CANOPY FASCIA SIGN = 9.00 SQ FT  
TOTAL: = 9.00 SQ FT
  - B. MAIER DRIVE
    - 1) PERMITTED:
      - ONE SQ FT PER LF OF BLDG FRONTAGE  
1 x (60' - 0" C-STORE) = 60.00 SQ FT
    - 2) PROPOSED:
      - ONE CANOPY FASCIA SIGN = 9.00 SQ FT  
ONE BLDG SIGN = 16.00 SQ FT  
TOTAL: = 25.00 SQ FT

SDP# 01-57

- RELEASED FOR
- PRELIMINARY ONLY
  - BIDDING
  - PERMIT
  - CONSTRUCTION

DATE:

DATE	NUMBER	REVISION DESCRIPTIONS
PERMIT INFORMATION CHART		
SUBDIVISION NAME	MAIER INDUSTRIAL PARK	SECTION/AREA
SECTION	SECTION 1	LOT/PARCEL NO.
PLAT#	14743	BLOCK#
ZONING	M-2	TAX MAP NO. ELECT DISTR
WATER CODE	C - 04	SEWER CODE
		7100800
ADDRESS CHART		
LOT/PARCEL #	STREET ADDRESS	
A - 2	9651 WASHINGTON BOULEVARD	
TITLE		
PROPOSED 7-ELEVEN STORE BALTIMORE WASHINGTON BLVD @ MAIER ROAD BUILDING ELEVATIONS AND SIGNAGE PLAN		
DESIGN BY: TFW	SCALE: AS NOTED	PROJECT NO.: 99465
DRAWN BY: MIB	DATE: 2/14/01	DRAWING NUMBER
CHECKED BY: TFW	APPROVED: TFW	CD9 OF 12

THIS SIGNAGE PLAN IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. SIGNS ARE NOT REVIEWED OR APPROVED ON SITE DEVELOPMENT PLANS.

OWNER: ALVIN R. and BETTE L. MAIER  
4700 ANNAPOLIS ROAD  
BLADENSBURG, MD 20710

DEVELOPER: MAIER ROAD, LLC  
10422 GREEN MOUNTAIN CIRCLE  
COLUMBIA, MD 21044  
REX DALRYMPLE: 410-997-3071

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF-DEVELOPMENT ENGINEERING DIVISION: *[Signature]* 4/1/01 DATE

CHIEF-DIVISION OF LAND DEVELOPMENT: *[Signature]* 4/19/01 DATE

DIRECTOR: *[Signature]* 4/18/01 DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

COUNTY HEALTH OFFICER: HOWARD COUNTY HEALTH DEPARTMENT

**FREDERICK WARD ASSOCIATES, INC.**

ENGINEERS: 7125 Riverwood Drive Columbia, Maryland 21046-2354  
ARCHITECTS: Phone: 410-290-9550 Fax: 410-720-9220  
SURVEYORS: Bel Air, Maryland Manassas, Virginia Warrenton, Virginia

2-16-01 DATE

PROFESSIONAL ENGINEER

TIMOTHY F. WHITTE  
PROFESSIONAL ENGR. NO. 19155

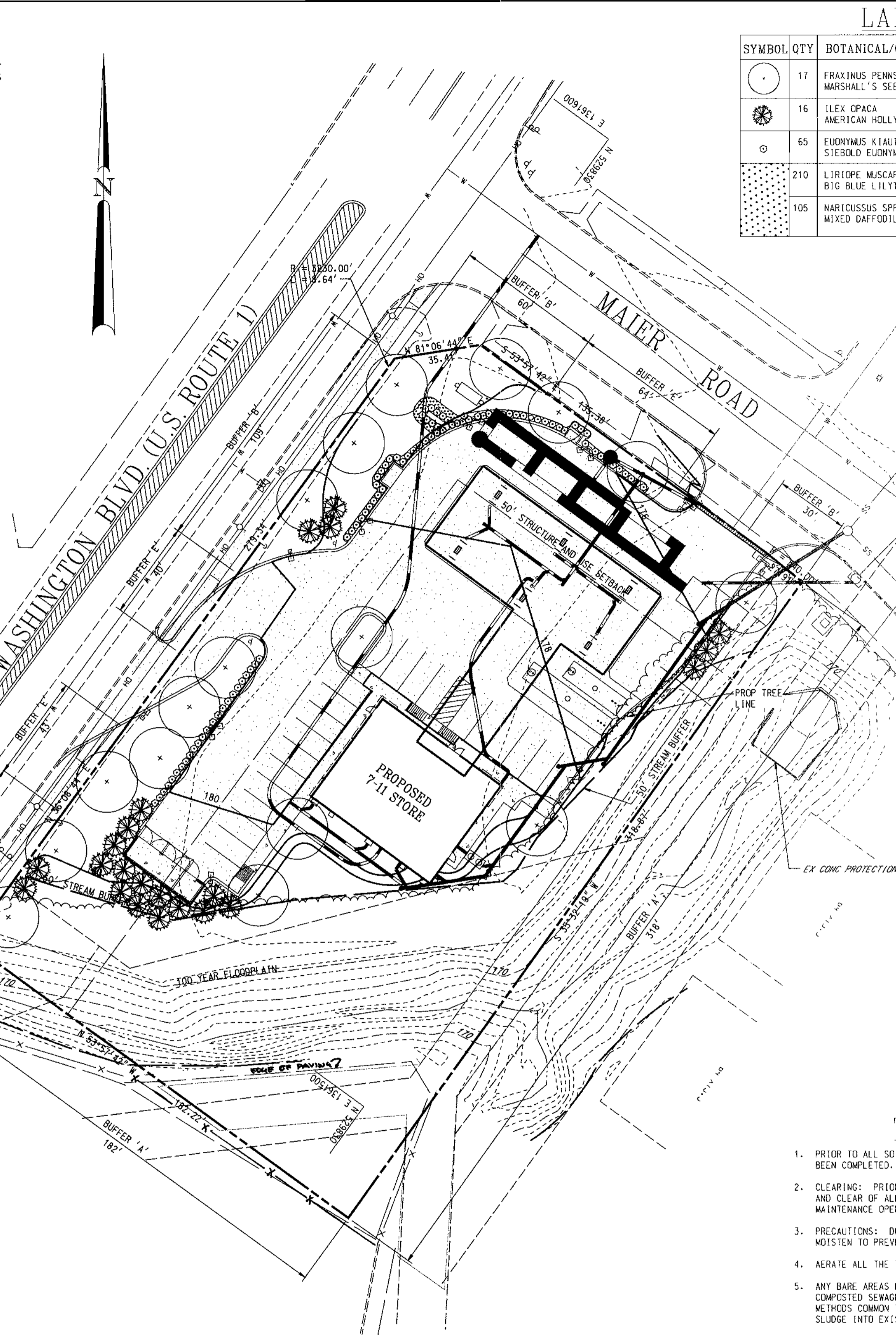
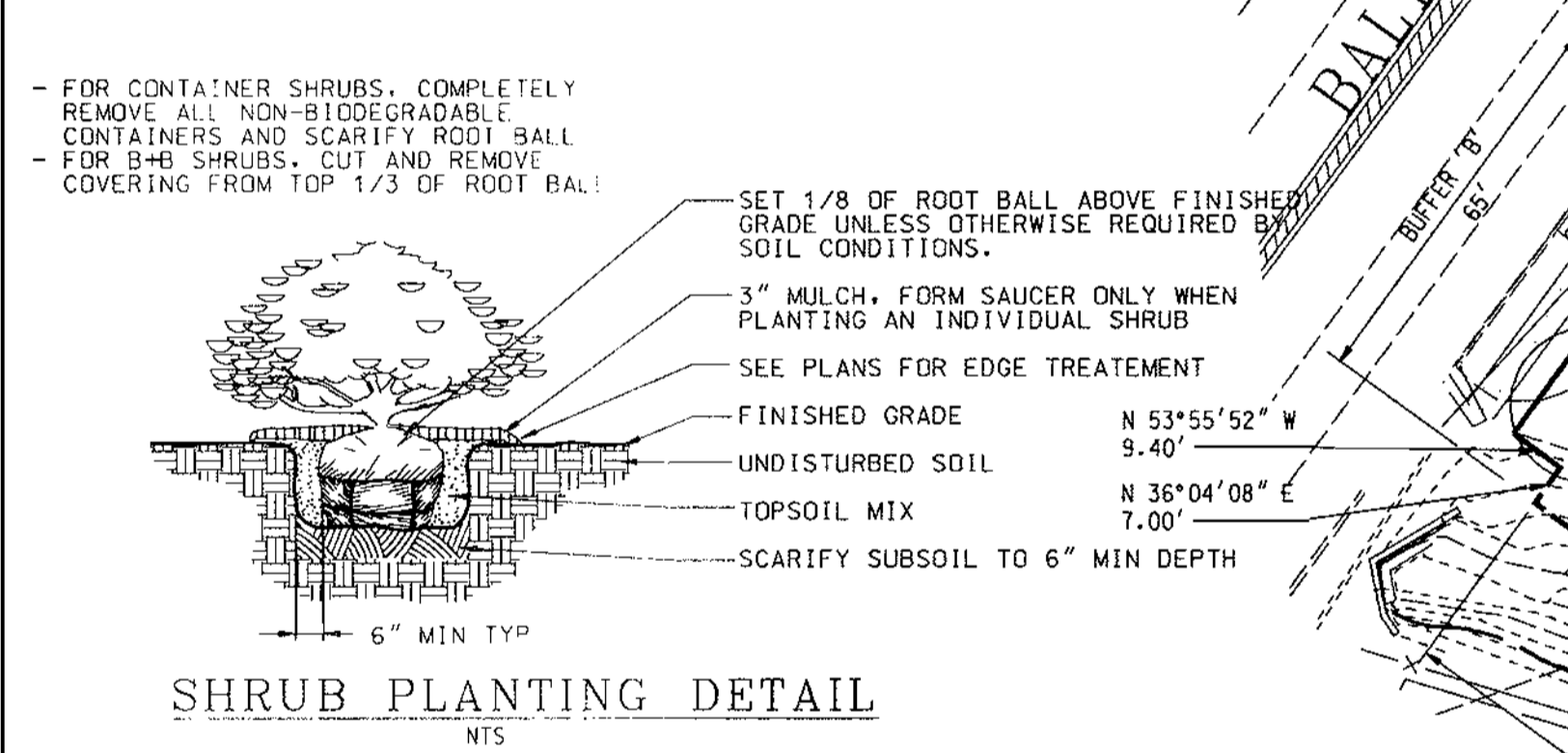
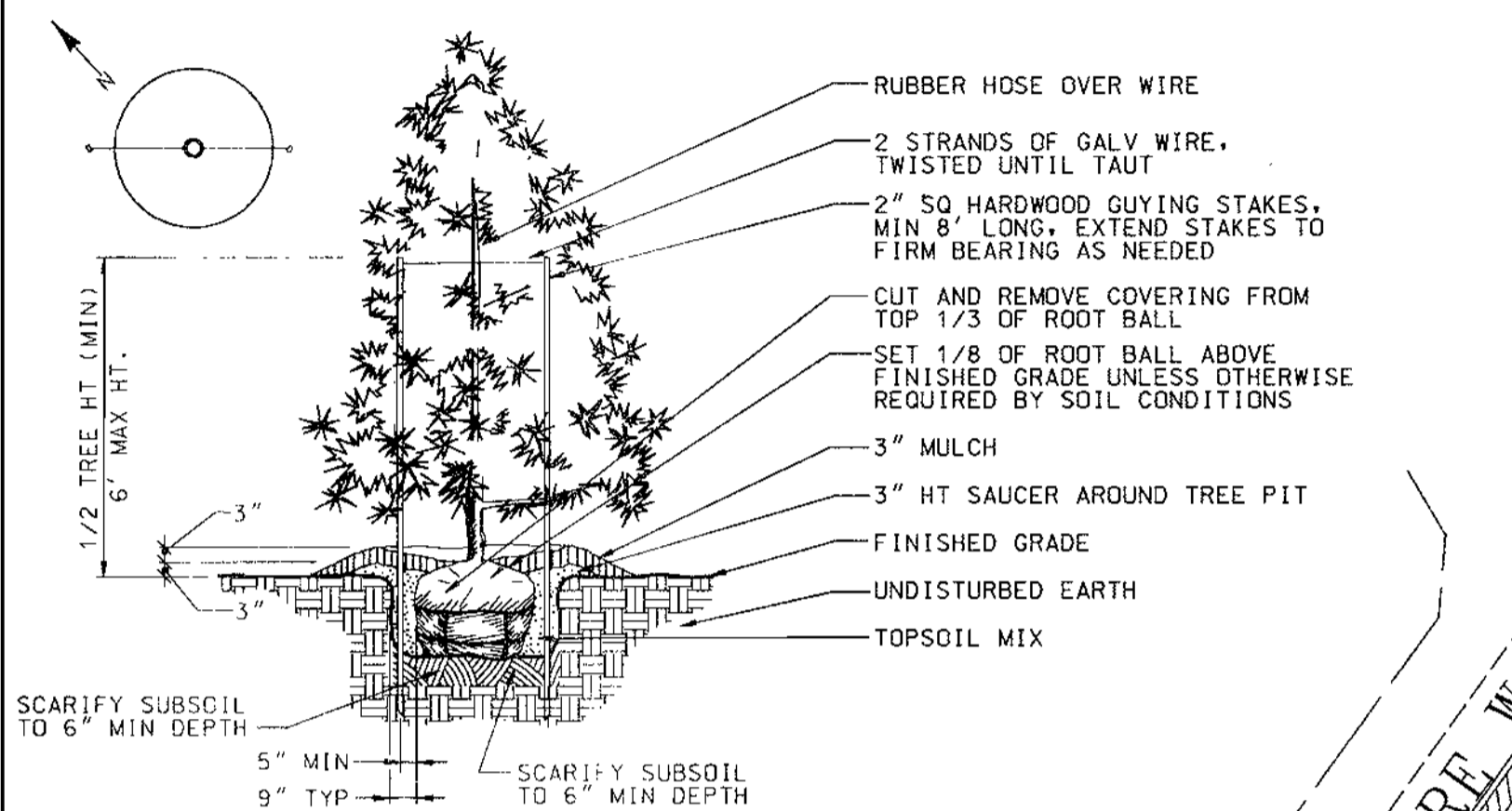
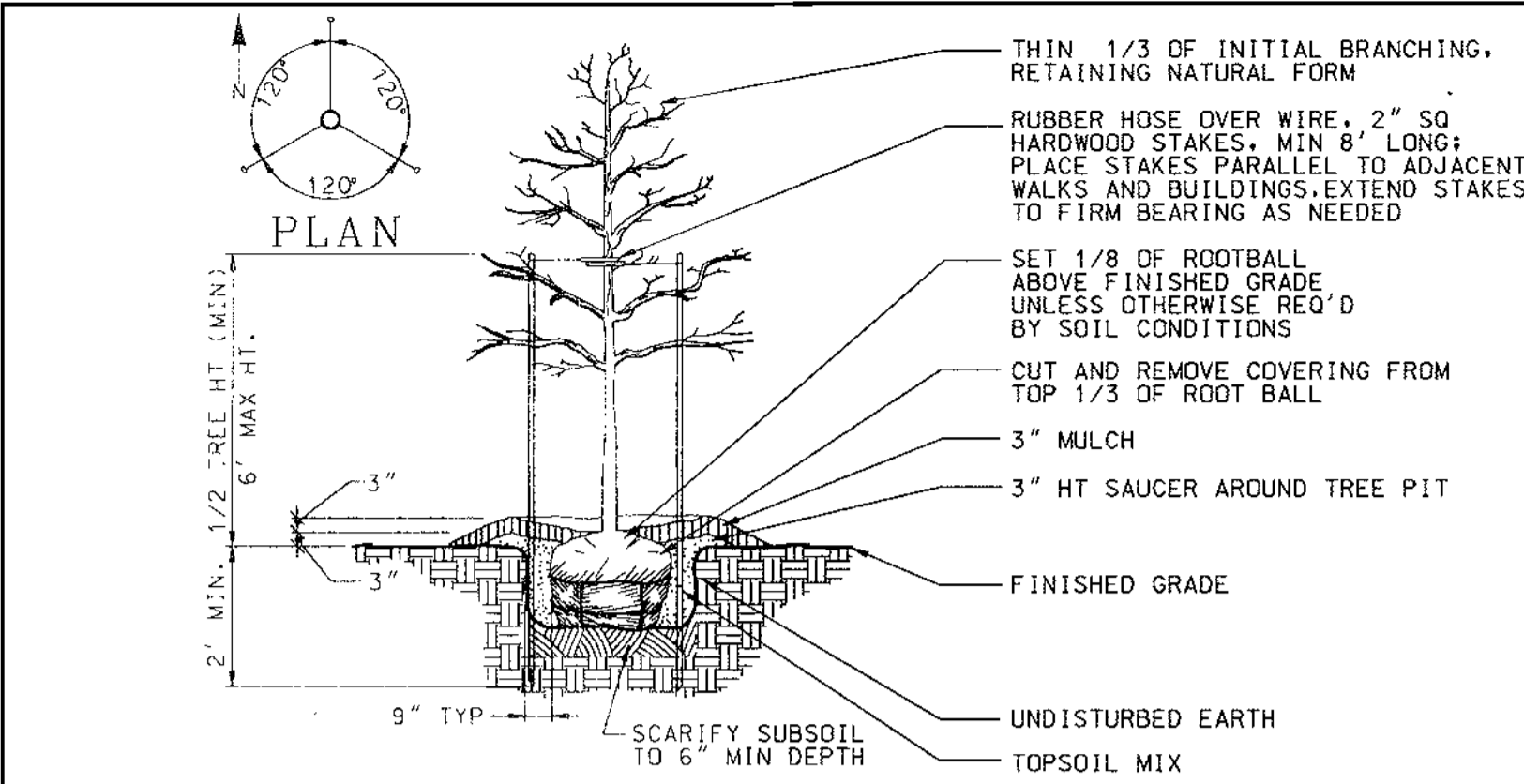
PWA FILE NO.: MZ-PROJECTS/99465-MIB/2009-DON MIB 2/01

### LANDSCAPE PLANTINGS

SYMBOL	QTY	BOTANICAL/Common NAME	SIZE	REMARKS
○	17	FRAXINUS PENNSYLVANICA 'MARSHALL'S SEEDLESS' MARSHALL'S SEEDLESS GREEN ASH	2 1/2" - 3" CAL	B&B FULL 35' OC
●	16	ILEX OPACA AMERICAN HOLLY (FEMALE)	5 - 6' HT	B&B FULL 9' OC
○	65	EUONYMUS KLAUSCHOVICUS 'SIEBOLDIANA' SIEBOLD EUONYMUS	2 1/2 - 3' HT 2 1/2 - 3' SPD.	B&B FULL 3' OC
○	210	LIRIOPE MUSCARI 'BIG BLUE' BIG BLUE LILYTURF	2 1/4" PP.	CONT. FULL 12" OC
○	105	NARCISSUS SPP MIXED DAFFODILS	TOP SIZE QUAL. BULBS	RANDOM SPACING

### GENERAL PLANTING NOTES

- ALL PLANT MATERIAL SHALL CONFORM TO THE SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE "USA STANDARD FOR NURSERY STOCK," LATEST EDITION.
- ALL PLANTING SHALL BE IN ACCORDANCE WITH STANDARD AMERICAN ASSOCIATION OF NURSERYMEN PROCEDURES AND SPECIFICATIONS.
- CONTRACTOR AND OWNER'S REPRESENTATIVE SHALL VERIFY THE CORRECT LOCATION OF ALL UNDERGROUND UTILITIES IN THE FIELD PRIOR TO INSTALLATION OF ANY PLANT MATERIAL.
- PLANT MATERIAL LOCATION TO BE STAKED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- ALL PLANT BEDS AND PLANTING AREAS TO BE MULCHED TO A DEPTH OF 3" SHREDDED HARDWOOD BARK UNLESS OTHERWISE NOTED ON DRAWINGS OR SPECIFICATIONS.
- ALL AREAS DISTURBED BY PLANTING OPERATIONS SHALL BE FINE GRADED AND SEEDDED.
- OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE BEFORE MAKING ANY SUBSTITUTIONS OR CHANGES.
- ALL PLANT BEDS SHALL BE CONTAINED WITH A SPADED EDGE UNLESS OTHERWISE NOTED ON DRAWINGS.
- QUANTITIES SHOWN ON PLANT LIST ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY AND ARE NOT GUARANTEED TO BE ACCURATE. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLAN AND QUANTITIES SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL APPLY.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- GENERAL CONTRACTOR IS TO PROVIDE ALL MATERIALS AND LABOR, INCLUDING PLANTS, PLANTER FILL MATERIALS, MULCHES, SOIL PREPARATION, DECORATIVE ITEMS, INSPECTION, TRANSPORTATION, WARRANTY, ETC.
- TOPSOIL TO A DEPTH OF 4" IN ALL AREAS TO BE SEEDDED OR SODDED.
- EACH PLANTING BED AREA IS TO RECEIVE A MINIMUM OF 6" OF PREPARED SOIL CULTIVATED TO A 12" DEPTH. PREPARED SOIL SHALL BE MIXED AS FOLLOWS: 2/3 SANDY LOAM TOPSOIL FREE OF ROOTS, ROCKS, WEEDS, AND OTHER DEBRIS AND 1/3 PEAT MOSS OR APPROVED ORGANIC MULCH.
- SOIL ADDITIVES TO BE GRANULAR FERTILIZER OF 1:2:1:1 RATIO. SOIL OUTSIDE RANGE OF 5.0 - 7.0 PH SHALL BE TREATED APPROPRIATELY TO CORRECT FOR HIGH ALKALINITY OR ACIDITY.
- THE USE OF ON-SITE TOPSOIL MUST BE APPROVED IN ADVANCE BY LANDSCAPE ARCHITECT.
- ALL BEDS TO BE TREATED WITH GRANULAR PREEMERGENT WEED CONTROL PER MANUFACTURER'S SPECIFICATIONS. USE TREFLAN OR EQUAL AS APPROVED BY LANDSCAPE ARCHITECT.
- SODDED AND SEEDDED AREAS SHALL BE PROPERLY PREPARED, FINISH GRADED AND HAND ROLLED PRIOR TO SOD PLACEMENT OR SEEDING. SEEDDED AREAS SHALL BE RE-SEEDDED AS NECESSARY TO PROVIDE AN EVEN STAND OF GRASS.
- PROVIDE A WARRANTY ON ALL WORK FOR A MINIMUM OF ONE YEAR INCLUDING ONE CONTINUOUS GROWING SEASON. COMMENCE WARRANTY ON THE DATE IDENTIFIED IN THE CERTIFICATE OF SUBSTANTIAL COMPLETION. WARRANTY TO INCLUDE COVERAGE OF PLANTS FROM DEATH OR UNHEALTHY CONDITIONS. REPLACEMENT PLANTS SHALL BE THE SAME SIZE AND SPECIES SPECIFIED, PLANTED IN THE NEXT GROWING SEASON WITH A NEW WARRANTY COMMENCING WITH THE DATE OF THE REPLACEMENT.
- MAINTAIN PLANT LIFE IMMEDIATELY AFTER PLACEMENT AND CONTINUE MAINTENANCE UNTIL TERMINATION OF WARRANTY. MAINTENANCE TO INCLUDE WEEDING, APPLICATIONS OF PESTICIDES, WATERING, TRIMMING AND PRUNING, DISEASE CONTROL, AND MAINTENANCE OF PLANT BRACING EQUIPMENT.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$6,810.00 FOR 12 SHADE TREES, 14 EVERGREEN TREES AND 37 SHRUBS.



### SCHEDULE A PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES	DUMPSTER ENCLOSURE	PARKING
LANDSCAPE TYPE	B	A	D	E
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	264'	500.00'	65'	147'
CREDIT FOR EXISTING VEGETATION	NO	YES 500.00'	NO	NO
CREDIT FOR WALL, FENCE OR BERM	NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED				
SHADE TREES	5	0	1	4
EVERGREEN TREES	7	0	7	0
SHRUBS	0	0	0	37
NUMBER OF PLANTS PROVIDED				
SHADE TREES	8	0	1	4
EVERGREEN TREES	7	0	8	0
OTHER TREES (2:1 SUBSTITUTION)	0	0	0	0
SHRUBS (10:1 SUBSTITUTION)	44	0	0	40

### SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	21
NUMBER OF TREES AND ISLANDS REQUIRED	2
NUMBER OF TREES AND ISLANDS PROVIDED	(2) ISLAND
SHADE TREES	1
EVERGREEN TREES	3
SHRUBS	

### TOP DRESSING NOTES

- PRIOR TO ALL SOIL PREPARATION WORK, ALL CONSTRUCTION AND PLANTING IN THE AREA SHALL HAVE BEEN COMPLETED.
- CLEARING: PRIOR TO APPLICATION OF TOP DRESS MATERIAL, THE GROUND SURFACE SHALL BE WELL DRAINED AND CLEAR OF ALL DEBRIS OR ANY OTHER MATERIAL WHICH MAY HINDER THE PROPER APPLICATION OF SUBSEQUENT MAINTENANCE OPERATIONS.
- PRECAUTIONS: DO NOT WORK SOIL WHILE FROZEN OR WET. DO NOT WORK SOIL IN A DUSTY CONDITION, BUT MOISTEN TO PREVENT A DUST NUISANCE.
- AERATE ALL THE TOP DRESSED AREAS, USING A CORE REMOVING AERATOR.
- ANY BARE AREAS LARGER THAN 1 SQ FT SHOULD BE RESTORED TO FINISHED GRADE WITH SCREENED COMPOSTED SEWAGE SLUDGE OR FINE GRADE TOPSOIL (SUBMIT SAMPLE FOR APPROVAL). USE EQUIPMENT AND METHODS COMMON TO SUCH WORK AND TILL SOIL TO THOROUGHLY INCORPORATE THE SCREENED COMPOSTED SLUDGE INTO EXISTING SOIL.
- SCREENED COMPOSTED SLUDGE: UNIFORMLY APPLY SCREENED COMPOSTED SLUDGE OVER AREAS TO BE TOP DRESSED AT THE RATE OF 1/2 CUBIC YARDS PER 1000 SQ FT. NO COMPOSTED SLUDGE WHICH IS SO WET THAT IT WILL CLOD OR CAKE SHALL BE SPREAD.
- FERTILIZER: FOLLOWING THE AERATION PROCESS, APPLY A STARTER FERTILIZER EVENLY AT THE RATE OF 1 CY/1000 SQ FT INTO THE TOP 2 INCHES OF SOIL BY CROSS DISKING OR OTHER APPROPRIATE METHOD.
- SOW SEED ONLY AFTER THE SCREENED SOIL AMENDMENT AND FERTILIZER HAVE BEEN APPLIED AND THOROUGHLY SETTLED BY RAINFALL OR WATERING. OVERSEED LAWN AREAS EVENLY AT A RATE OF 2 LBS/1000 SQ FT. SEED WITH EQUIPMENT THAT PROVIDES A MULTI-DIRECTIONAL SEEDING PATTERN TO ENSURE PROPER SEEDING RATE AND UNIFORMITY OF SEEDING.
- MULCHING: AFTER SEEDING, COVER BARE AREAS THAT HAVE BEEN REPAIRED WITH CLEAN WHEAT STRAW. A MINIMUM OF 50% OF THE SOIL SURFACE SHALL BE COVERED UNTIL GERMINATION HAS OCCURRED.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF-DEVELOPMENT ENGINEERING DIVISION  
DATE: 4/14/01

CHIEF-DIVISION OF LAND DEVELOPMENT  
DATE: 4/19/01

DIRECTOR  
DATE: 4/19/01

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

COUNTY HEALTH OFFICER  
HOWARD COUNTY HEALTH DEPARTMENT

**FREDERICK WARD ASSOCIATES, INC.**

ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354  
ARCHITECTS Phone: 410-294-9550 Fax: 410-720-9228  
SURVEYORS Bal Air, Maryland Manassas, Virginia Warrenton, Virginia

2-16-01  
DATE

STATE OF MARYLAND  
TIMOTHY F. WHITTE  
PROFESSIONAL ENGINEER  
NO. 19155

OWNER  
**ALVIN R. and BETTE L. MAIER**  
4700 ANNAPOLIS ROAD  
BLADENSBURG, MD 20710

DEVELOPER  
**MAIER ROAD, LLC**  
10422 GREEN MOUNTAIN CIRCLE  
COLUMBIA, MD 21044  
REX DALRYMPLE: 410-997-3071

SPD# 01-57

RELEASED FOR

PRELIMINARY ONLY  
 BIDDING  
 PERMIT  
 CONSTRUCTION

DATE:

2/14/01  
DATE

REVISION DESCRIPTIONS

PERMIT INFORMATION CHART

SUBDIVISION NAME: MAIER INDUSTRIAL PARK SECTION/AREA: SECTION 1 A-2 LOT/PARCEL NO.: A-2

PLAT#: 14-143 BLOCK#: 23 ZONING: M-2 TAX MAP NO.: 47 ELECT. DISTR.: 6 CENSUS TRACT: 6069.02

WATER CODE: C-04 SEWER CODE: 7100800

ADDRESS CHART

LOT/PARCEL #: A-2 STREET ADDRESS: 9651 WASHINGTON BOULEVARD

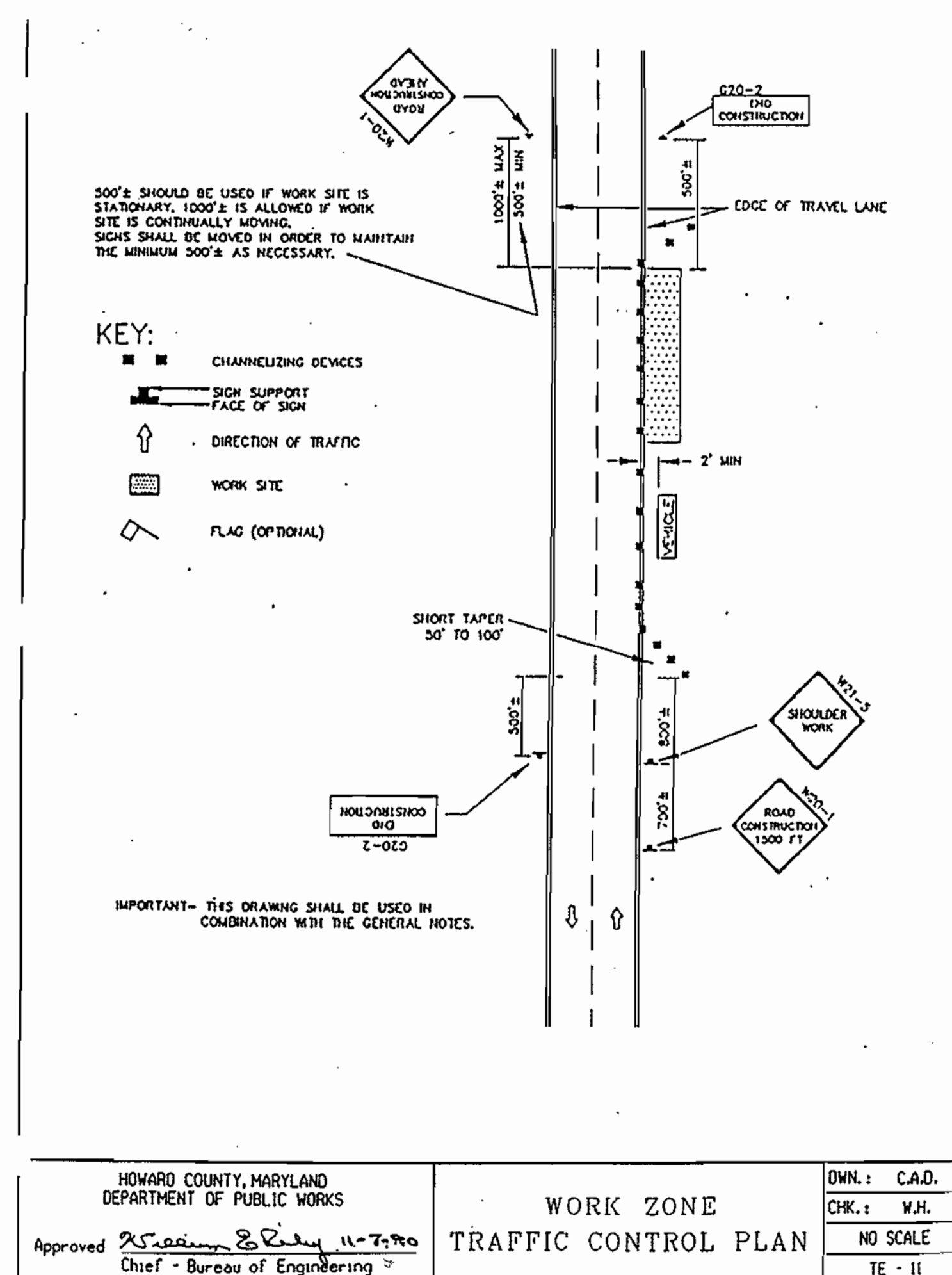
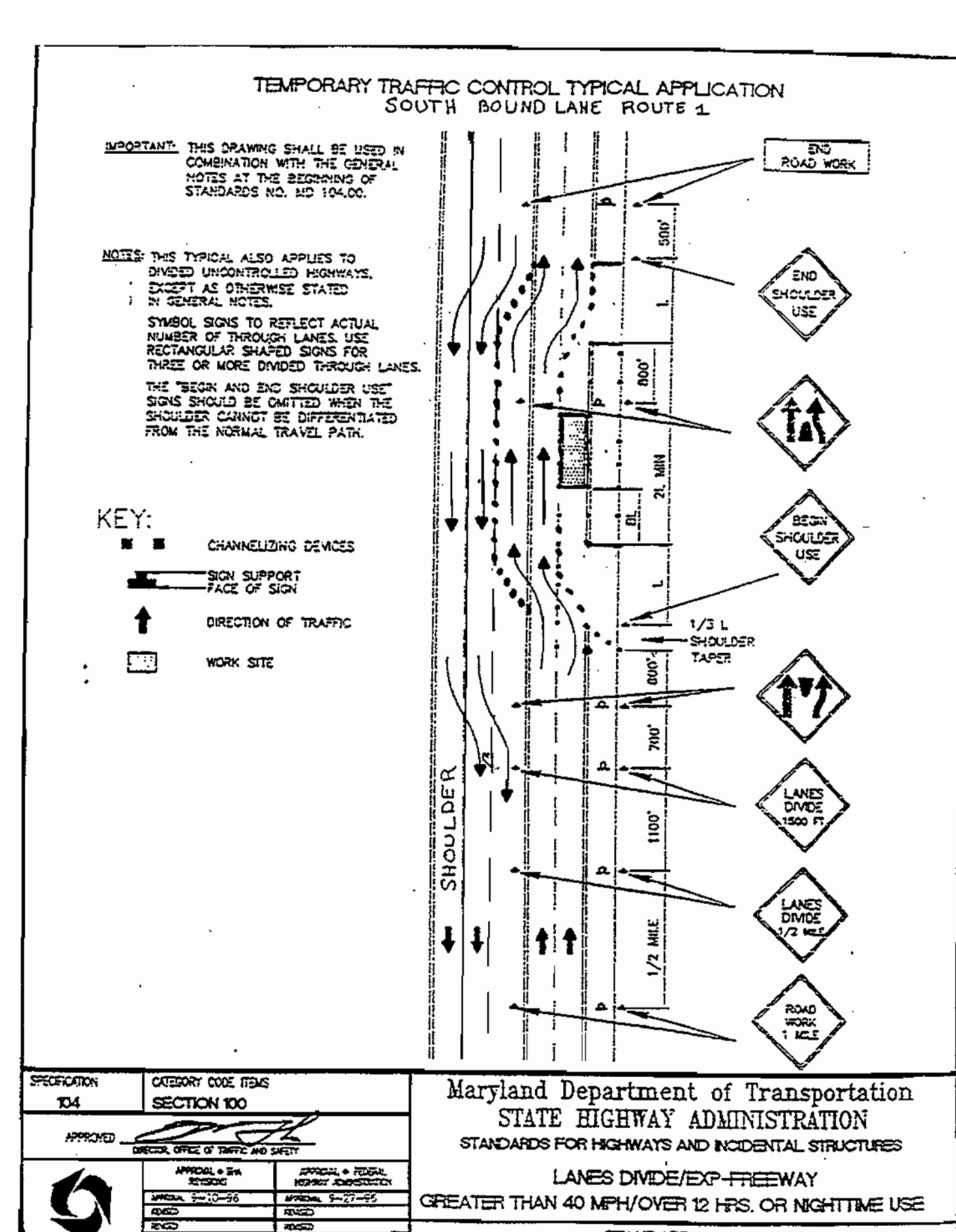
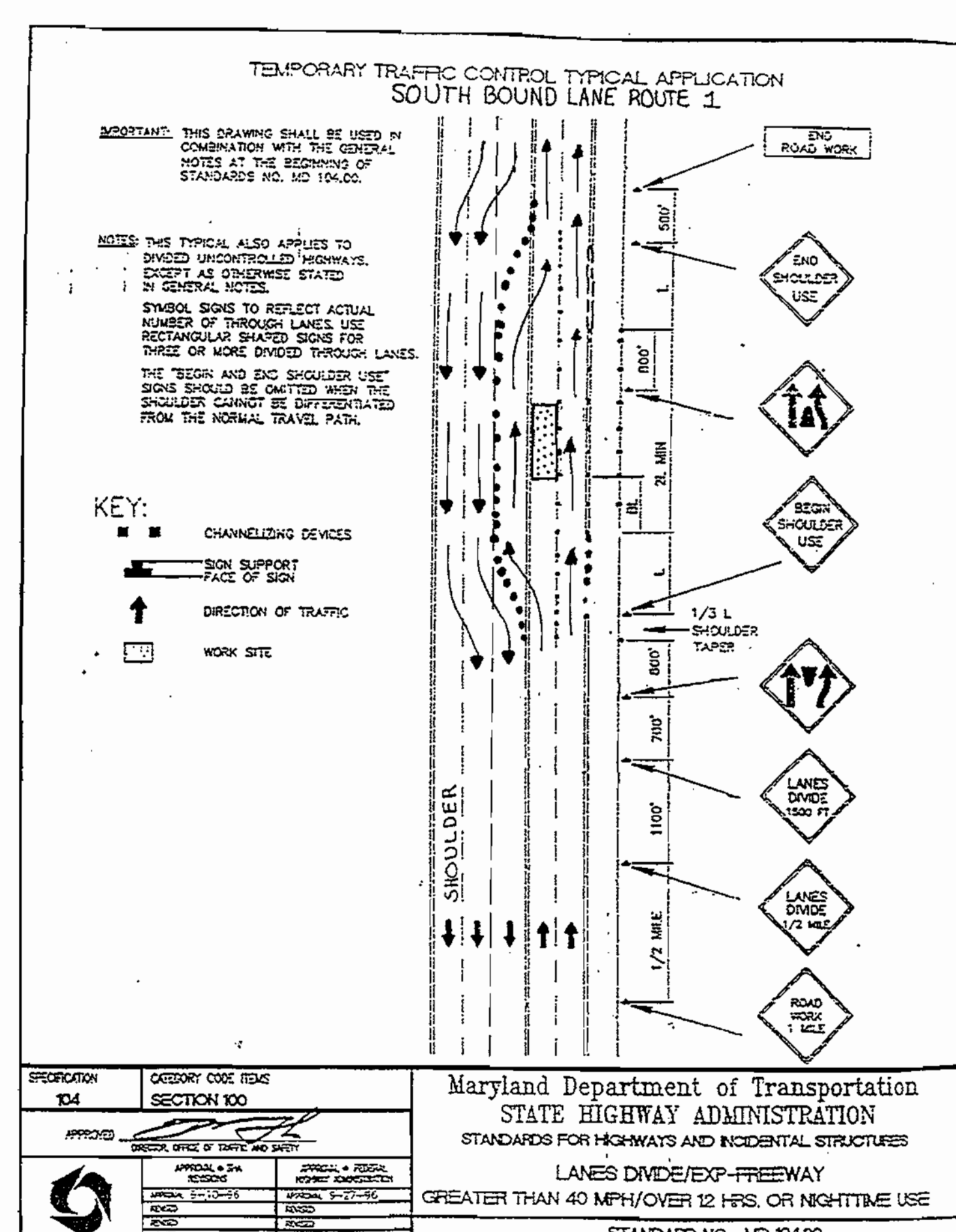
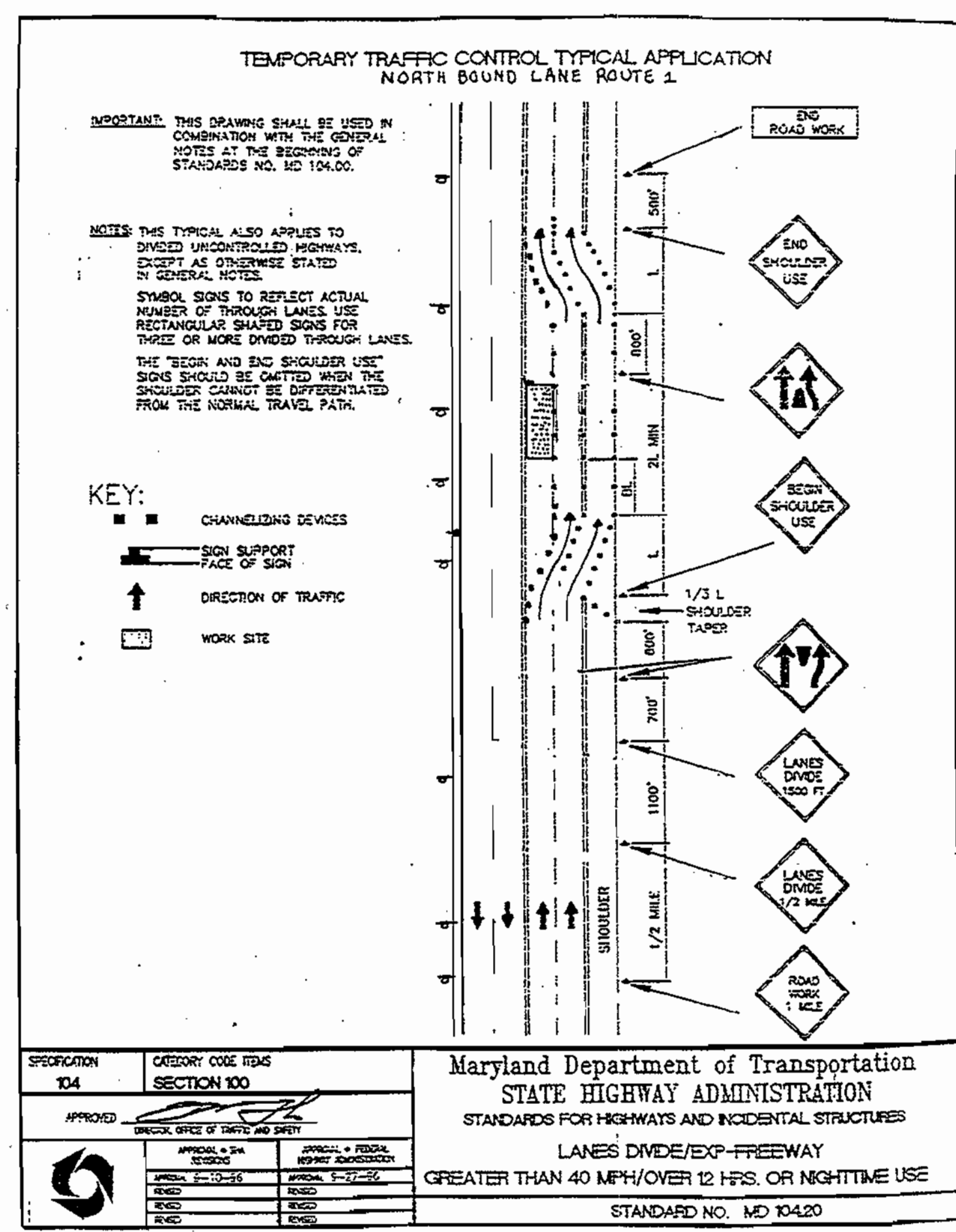
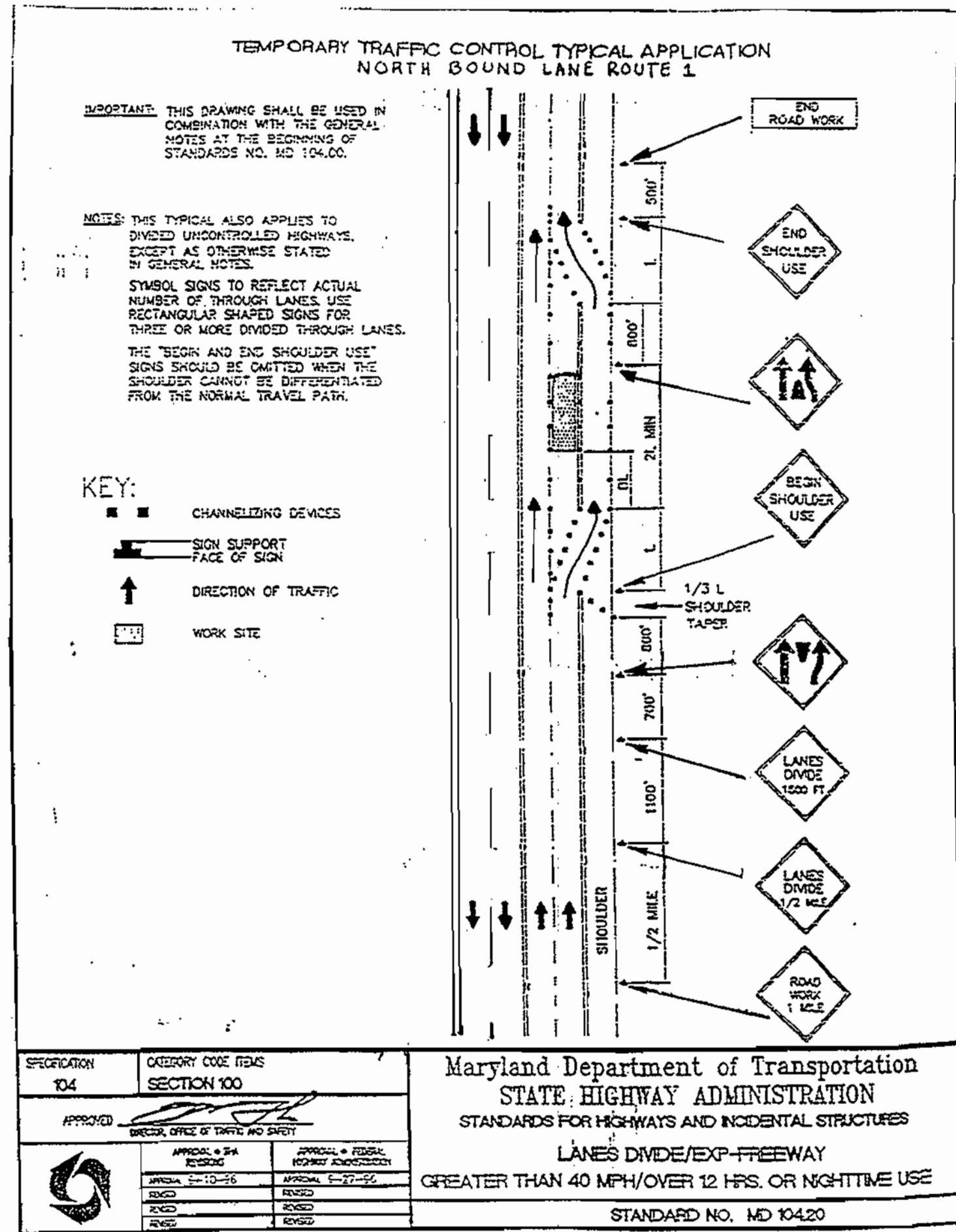
TITLE: PROPOSED 7-ELEVEN STORE BALTIMORE WASHINGTON BLVD @ MAIER ROAD SITE LANDSCAPE PLAN

DESIGN BY: TFW SCALE: 1" = 30' PROJECT NO.: 99465  
DRAWN BY: MIB DATE: 2/14/01 DRAWING NUMBER  
CHECKED BY: TFW APPROVED: TFW

CD10 OF 12

SOP-01-57





APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF-DEVELOPMENT ENGINEERING DIVISION  
DATE: 4/10/01

CHIEF-DIVISION OF LAND DEVELOPMENT  
DATE: 4/10/01

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

COUNTY HEALTH OFFICER  
HOWARD COUNTY HEALTH DEPARTMENT

**FREDERICK WARD ASSOCIATES, INC.**  
ENGINEERS ARCHITECTS SURVEYORS  
7125 Riverwood Drive Columbia, Maryland 21046-2354  
Phone: 410-290-9550 Fax: 410-720-8226  
Bel Air, Maryland Manassas, Virginia Warrenton, Virginia

02-16-01  
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STATE OF MARYLAND  
TIMOTHY F. WHITTE  
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REX DALRYMPLE: 410-997-3071

SDP# 01-57  
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 PERMIT  
 CONSTRUCTION  
DATE:

DATE	NUMBER	REVISION DESCRIPTIONS
PERMIT INFORMATION CHART		
SUBDIVISION NAME MAIER INDUSTRIAL PARK		SECTION/AREA SECTION 1
PLAT# 1474-3		LOT/PARCEL NO. A-2
BLOCK# 23	ZONING M-2	TAX MAP NO. ELECT DISTRICT 47 6
WATER CODE C-04		CENSUS TRACT 6069.02
SEWER CODE 7100800		
ADDRESS CHART		
LOT/PARCEL # A-2	STREET ADDRESS 9651 WASHINGTON BOULEVARD	
TITLE PROPOSED 7-ELEVEN STORE BALTIMORE WASHINGTON BLVD & MAIER ROAD SHA AND HOWARD STANDARD DETAILS		
DESIGN BY: TFW	SCALE: AS NOTED	PROJECT NO.: 99465
DRAWN BY: MIB	DATE: 2/14/01	DRAWING NUMBER CD12 OF 12
CHECKED BY: TFW	APPROVED: TFW	SDP-01-57