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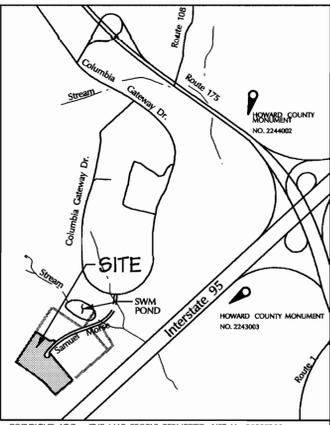
# SITE DEVELOPMENT PLAN

for

## Gateway Commerce Center

### Columbia Gateway, Parcel Q4

#### Howard County, Maryland



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LOCATION MAP

SCALE: 1" = 2000'

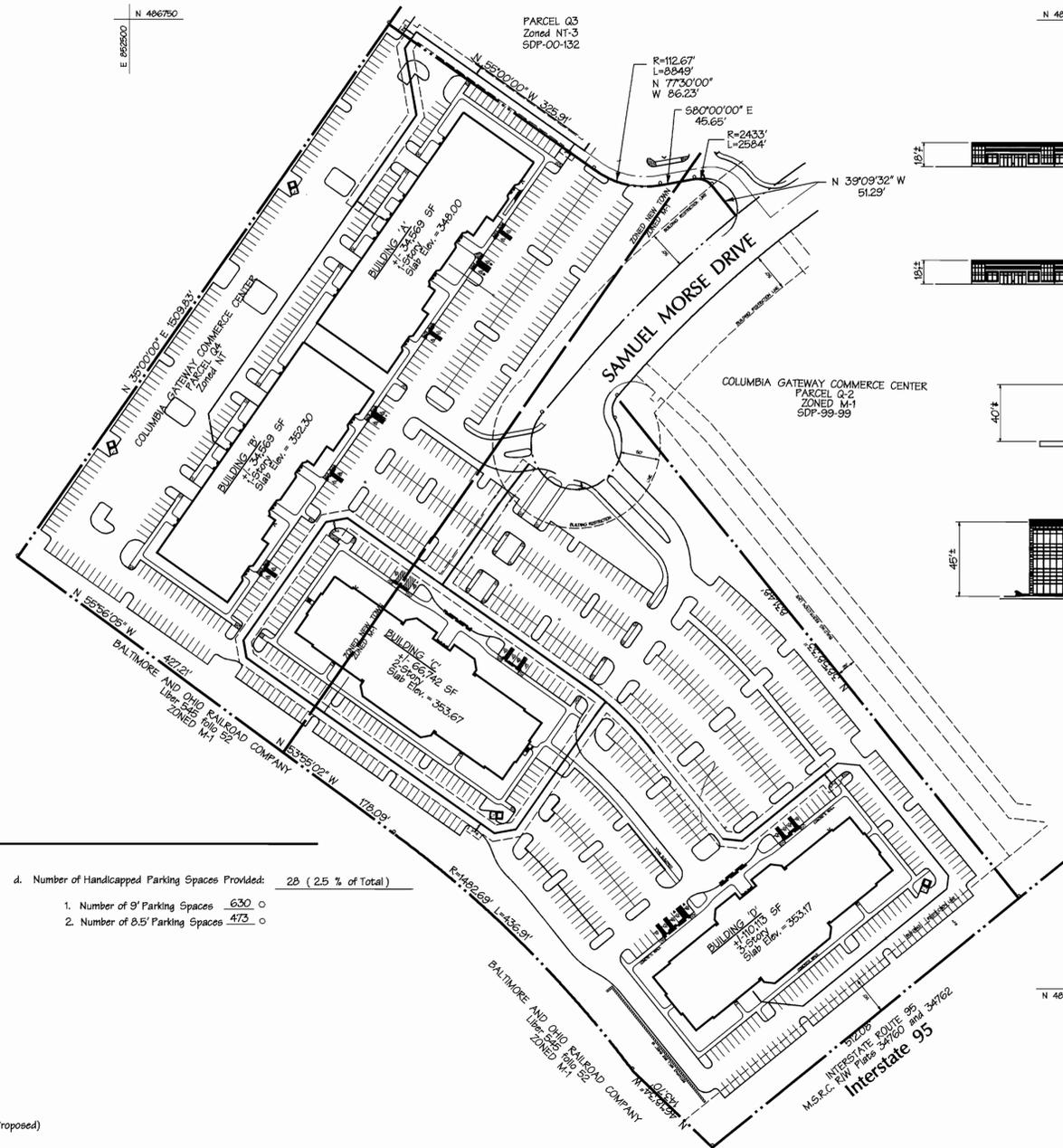
BENCHMARK

DESCRIPTION

NO. 2244002 - HOWARD COUNTY MONUMENT  
NO. 2245005 - HOWARD COUNTY MONUMENT

General Notes

- All construction shall be performed in accordance with the latest standards and specifications of Howard County, plus MSHA standards and specifications if applicable or as specified.
- Approximate location of existing utilities are based solely on available records. Contractor shall verify the location of any utilities which may be impacted by the work. The contractor shall take all necessary precautions to protect the existing utilities and maintain uninterrupted service. Any damage incurred due to contractor's operation shall be repaired immediately at the contractor's expense.
- The contractor shall test pits existing utilities at least five (5) days before starting work shown on these drawings to verify their location and elevation. The contractor shall notify the engineer immediately if location of utilities is other than shown.
- The contractor shall notify 'Miss Utility' at 1-800-257-7777 at least 48 hours prior to any excavation work being done, and shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection Division at (410) 310-1800 at least five (5) working days prior to the start of work.
- Traffic control devices, markings, and signing shall be in accordance with the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
- Any damage caused by the Contractor to existing public right-of-way, existing paving, existing curb and gutter, existing utilities, etc. shall be repaired at the Contractor's expense.
- The existing topography inside property line per mass grading as shown on GP-99-15
- All hydraulic data is for the 10-year storm unless otherwise noted.
- All fill areas shall be compacted to a minimum of 95% of the maximum dry density as determined and verified in accordance with AASHTO T-180.
- All plan dimensions are to face of curb unless otherwise noted. Numerically written dimensions take precedence over scaled dimensions.
- The coordinates shown hereon are based upon the Howard County geodetic control which is based upon the Maryland State plane coordinate system. Howard County monument nos. 2245005 and 2244002 were used for this project.
- Stormwater management quantity and quality control in a regional facility on Parcel A-77 under contract F-97-95
- Public water (Contract # 24-39320) and Public sewer (Contract # 24-39320) to service the site.
- There are no 100 year floodplain or wetlands on this site.
- There are no known cemeteries or burial grounds on this site.
- A traffic report update has been prepared by Wells & Associates, dated May, 2000.
- Exterior Lighting will be in conformance with Section 134, Zoning Regulations
- Electric, gas, cable and telephone lines designed by others.
- This Site is exempt from Forest Conservation Ordinance in accordance with Section 16.1202(b)(1)(v).



Site Analysis Data Chart

- General Site Data
  - Present Zoning: M-1 & NT-EMPLOYMENT
  - Applicable DPZ File References: GP-99-15, F-99-34, F-01-02, P-86-22, S-84-44, S-85-28, F-86-127, F-86-182, WF-98-150, WF-01-08
  - Proposed Use of Site or Structure(s): Buildings A & B - Office Buildings; Buildings C & D - Office Buildings
  - Proposed Water: Public - 24-39320; Proposed Sewer: Private - 24-39320; Water and contract number
- Area Tabulation
  - Total Project Area: 19.1± A.C.
  - Net Area of Site: 19.1± A.C. (Indicate by Section and Area As Shown on Final Plat) Acres
  - Area of This Plan Submission: 19.1± A.C. Acres
  - Limit of Disturbed Area: 18.8± A.C.
  - Building Coverage of Site: 3.2± A.C. Acres and 16.7 % of Gross Area (Proposed)
- Open Space Data: N / A
- Parking Space Data
  - Floor Space per floor of proposed use on site: Bldg. A 34569 s.f.; Bldg. B 34569 s.f.; Bldg. C 66742 s.f.; 1st floor 33,371 s.f.; 2nd floor 33,371 s.f.; Bldg. D 110,113 s.f.; 1st floor 36,704 s.f.; 2nd floor 36,704 s.f.; 3rd floor 36,704 s.f. Total: 245,993 s.f.  
Building 'A' floor 1: 34,569 s.f. Office Building 'B' floor 1: 34,569 s.f. Office  
Building 'C' floor 1: 33,371 s.f. Office, floor 2: 33,371 s.f.  
Building 'D' floor 1: 36,704 s.f. Office, floor 2: 36,704 s.f., floor 3: 36,704 s.f.
  - Number of Parking Spaces Required by Zoning Regulations: 813 (245,993 @ 3.3 per 1000)
  - Total Number of Parking Spaces Provided On-Site: 1103

- Number of Handicapped Parking Spaces Provided: 28 (2.5 % of Total)
  - Number of 9' Parking Spaces 630
  - Number of 8.5' Parking Spaces 473

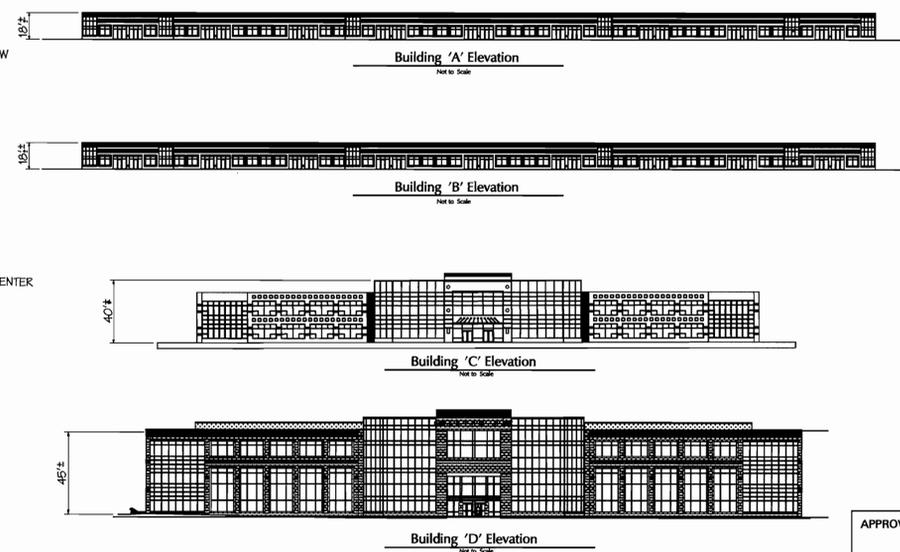
Overall Property Outline

Scale: 1" = 100'



Address Chart

Bldg.	Street Address
A	7090 Samuel Morse Drive
B	7100 Samuel Morse Drive
C	7110 Samuel Morse Drive
D	7120 Samuel Morse Drive



APPROVED  
PLANNING  
of HOWARD COUNTY  
DATE March 8, 2001

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 [Signature] 5/21/01 DATE  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK  
 [Signature] 5/30/01 DATE  
 CHIEF, DIVISION OF LAND DEVELOPMENT JB  
 [Signature] 6/1/01 DATE  
 DIRECTOR

Date	No.	Revision Description

**Columbia Gateway Parcel Q4**

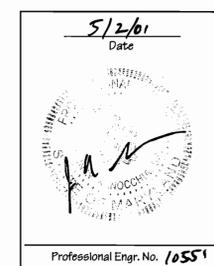
OWNER: The Howard Research and Development Corporation  
300 East Pennsylvania Avenue  
12270 Little Patuxent Parkway  
Columbia, Maryland 21044

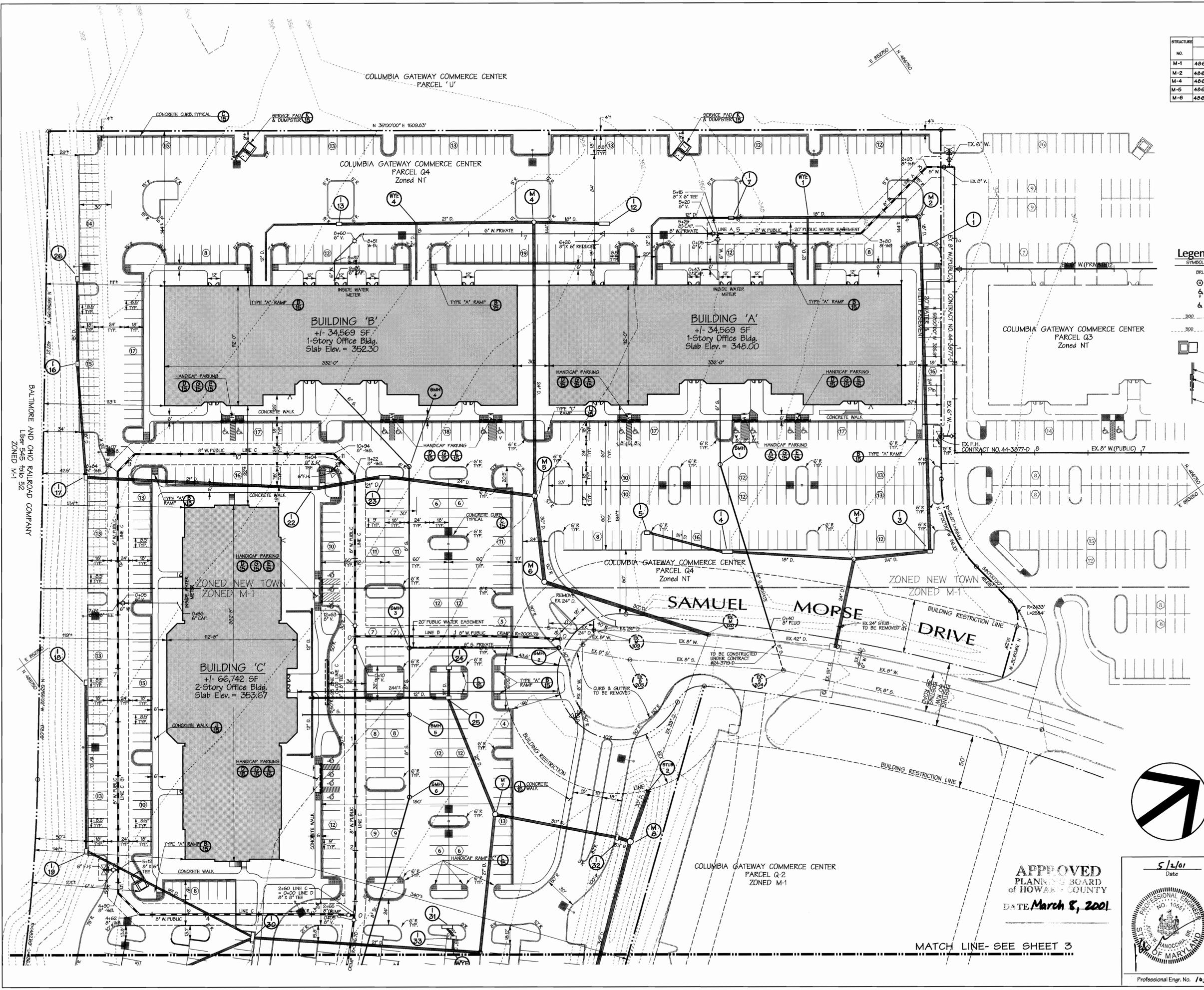
DEVELOPER: AAK IV, LLC  
8005 COLUMBIA 100 PKWY  
SUITE 101  
COLUMBIA, MD 21045

**DMW**  
Darr McCaule-Walker, Inc.  
300 East Pennsylvania Avenue  
Towson, Maryland 21286  
Phone: (410) 296-3333  
Fax: 296-4705

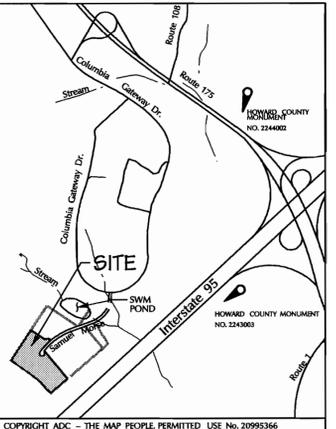
A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

SUBDIVISION NAME: COLUMBIA GATEWAY	SECTION: NA	LOT/PARCEL #: Q4
PLAT OR L.P. # 787	BLOCK # 12 & 7	ZONE NT&M-42-43
WATER EDGE E06	SEWER CODE 4900000	GENUS TRACT 6067.03
TITLE: Cover Sheet		
Des By MM	Scale 1" = 100'	Proj. No. 00089
Drn By ADL & BKC	Date 4-12-01	
Chk By	Approved	1 OF 19





STRUCTURE NO.	COORDINATES	
	NORTH	EAST
M-1	496446.70	853118.1
M-2	486880.50	852891.7
M-4	486880.7	852887.5
M-5	486244.8	852882.2
M-6	486195.7	852969.0



**LOCATION MAP**

SCALE: 1" = 200'

**Legend**

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
— BRL	BUILDING RESTRICTION LINE	⊙ M 18	STORM DRAIN STRUCTURE LABEL
⊙	PARKING COUNT	---	EXISTING SEWER
♿	VAN HANDICAPPED PARKING	---	EXISTING STORM DRAIN
♿	HANDICAPPED PARKING	---	EXISTING WATER
---	EXISTING 10' CONTOUR	---	PROPOSED STORM DRAIN
---	EXISTING 2' CONTOUR	---	PROPOSED SEWER
⊠	SERVICE PAD & DUMPSTER BIN	---	PROPOSED WATER
---	REVERSE CURB & GUTTER	⬤	PROPOSED LIGHT
---	DEPRESSED CURB		
---	STANDARD CURB & GUTTER		

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
*John DeWitt* CHIEF, DEVELOPMENT ENGINEERING DIVISION MK 5/21/01  
*Linda Romo* CHIEF, DIVISION OF LAND DEVELOPMENT 5/21/01  
*Scott Huth* DIRECTOR 6/1/01

Date	No.	Revision Description

**Columbia Gateway Parcel Q4**

**OWNER:**  
 The Howard Research and Development Corporation  
 10275 Lipse Fatsouri Parkway  
 Columbia, Maryland 21044

**DEVELOPER:**  
 AAK, IV, LLC  
 8805 COLUMBIA 100 PKWY  
 SUITE 101  
 COLUMBIA, MD 21045

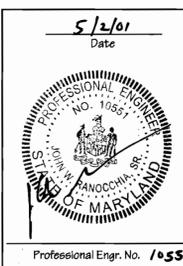
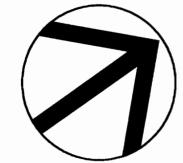
**DMW**  
 Darl McChesney, Inc.  
 200 East Pennsylvania Avenue  
 Towson, Maryland 21286  
 (410) 296-3553  
 Fax: 296-4708

A Team of Land Planners, Landscape Architects, Engineers, Surveyors, & Environmental Professionals

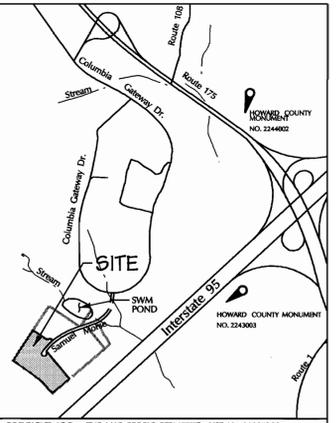
SUBDIVISION NAME	SECTION/BLK	TAXONE MAP	ELECT. DISTRICT	LOT/PARCEL #
COLUMBIA GATEWAY	NA	12 & 7 INTAMA	6	Q4
PLAT OR L.P.	BLOCK	ZONE		CENSUS TRACT
4/7/89				6067.03
WATER CODE	SEWER CODE			
E06	4900000			

TITLE		
<b>Site Plan</b>		
Des By RBW	Scale 1"=40'	Proj. No. 00089
Dm By ADL	Date 4-12-01	
Chk By	Approved	2 OF 19

APPROVED  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 DATE March 5, 2001



MATCH LINE- SEE SHEET 3



LOCATION MAP  
SCALE: 1" = 200'

**Legend**

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
---	BRL BUILDING RESTRICTION LINE	(M)	STORM DRAIN STRUCTURE LABEL
(P)	PARKING COUNT	---	EXISTING SEWER
(H)	VAN HANDICAPPED PARKING	---	EXISTING STORM DRAIN
(A)	HANDICAPPED PARKING	---	EXISTING WATER
---	EXISTING 10' CONTOUR	---	PROPOSED STORM DRAIN
---	EXISTING 2' CONTOURS	---	PROPOSED SEWER
(S)	SERVICE PAD & DUMPSTER BIN	---	PROPOSED WATER
(C)	REVERSE CURB & GUTTER	(L)	PROPOSED LIGHT
(D)	DEPRESSED CURB		
(G)	STANDARD CURB & GUTTER		



**APPROVED**  
PLANNING BOARD  
of HOWARD COUNTY  
DATE **March 8, 2001**

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*[Signature]* 5/21/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION MJK DATE

*[Signature]* 5/30/01  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 6/1/01  
DIRECTOR DATE

Date	No.	Revision Description

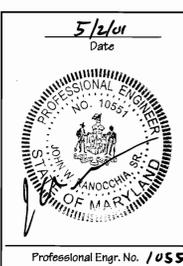
**Columbia Gateway Parcel Q4**

**OWNER:**  
The Howard Research and Development Corporation  
10275 Little Patuxent Parkway  
Columbia, Maryland 21044

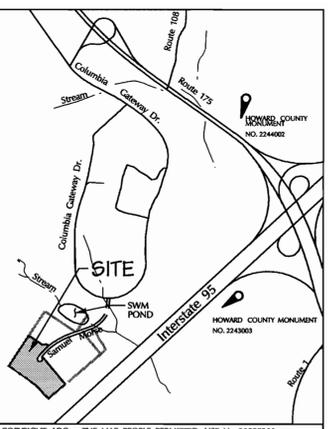
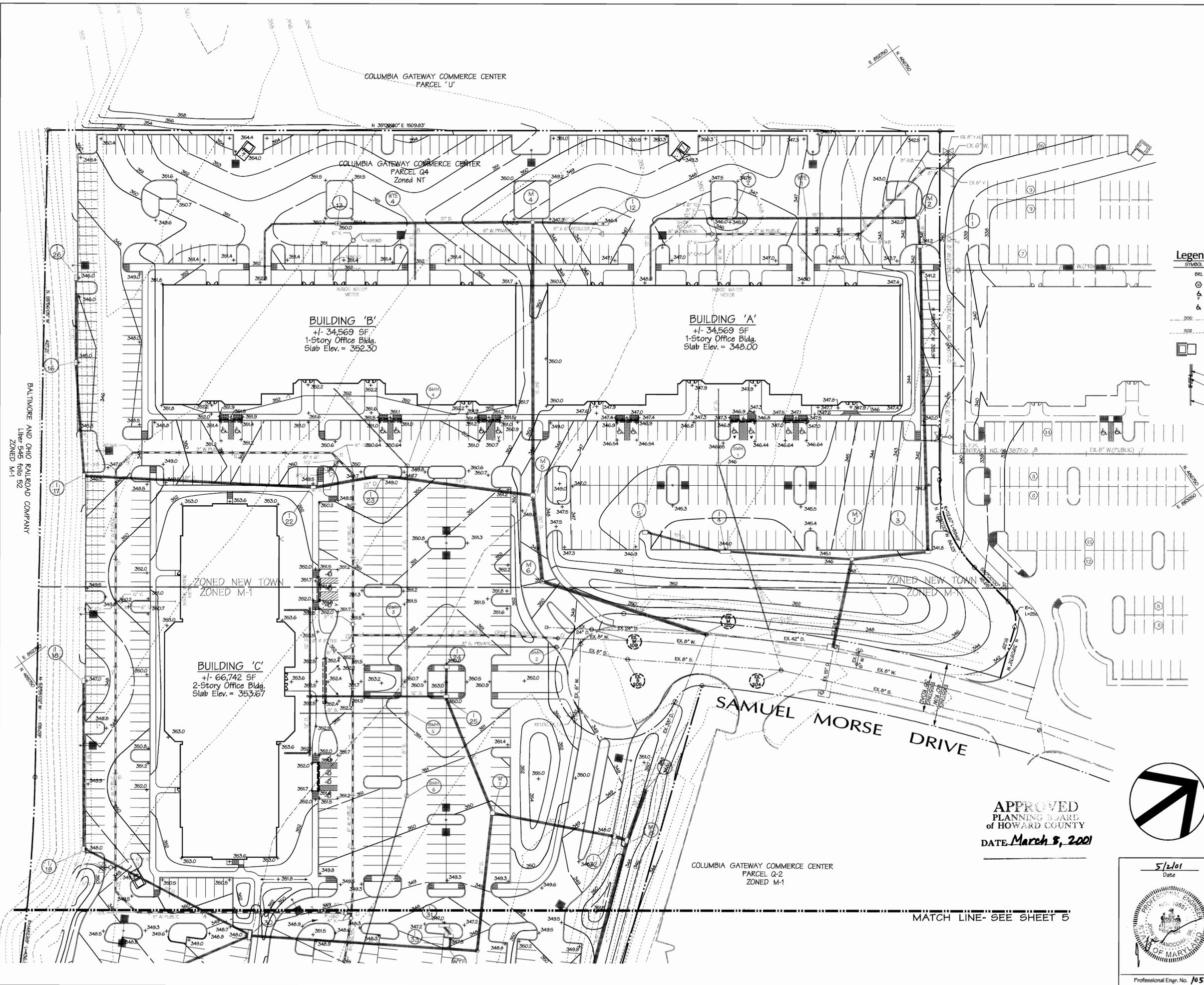
**DEVELOPER:**  
AAK IV, LLC  
8805 COLUMBIA 100 PKWY  
SUITE 101  
COLUMBIA, MD 21045

**DMW**  
Dan McCune-Walker, Inc.  
200 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 296-3353  
Fax 296-4705

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SUBMISSION NAME		SECTIONARY	LOT/PARCEL #
COLUMBIA GATEWAY		NA	Q4
PLAT OR L.P. #	BLOCK #	TAXZONE MAP	ELECT. DISTRICT
14759	12 & 7	42-43	6
WATER CODE	SEWER CODE	GENUS TRACT	
E06	4900000	6067.03	
TITLE			
<b>Site Plan</b>			
Des By	Scale	Proj. No.	
RBW	1"=40'	00089	
Dm By	Date	3 OF 19	
ADL	4-12-01		
Chk By	Approved		



LOCATION MAP  
SCALE: 1" = 2000'

**Legend**

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
---	BRL BUILDING RESTRICTION LINE	⊙	STORM DRAIN STRUCTURE LABEL
⊙	PARKING COUNT	---	EXISTING SEWER
♿	VAN HANDICAPPED PARKING	---	EXISTING STORM DRAIN
♿	HANDICAPPED PARKING	---	EXISTING WATER
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⊠	SERVICE PAD & DUMPSTER BIN	---	PROPOSED WATER
---	REVERSE CURB & GUTTER	⊕	PROPOSED LIGHT
---	DEPRESSED CURB		
---	STANDARD CURB & GUTTER		

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*Michael Dammann* 5/21/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

*Cindy Hamrick* 5/20/01  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Jeff Smith* 6/1/01  
DIRECTOR DATE

Date	No.	Revision Description

**Columbia Gateway Parcel Q4**

**OWNER:**  
The Howard Research and Development Corporation  
12275 Little Patuxent Parkway  
Columbia, Maryland 21044

**DEVELOPER:**  
AAK, IV, LLC  
8800 COLUMBIA 100 PKWY  
COLUMBIA, MD 21045

**DMW**  
Duff-McCune-Walker, Inc.  
280 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 296-3333  
Fax: 296-4705

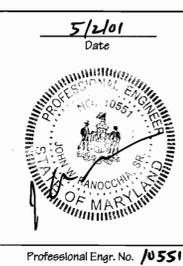
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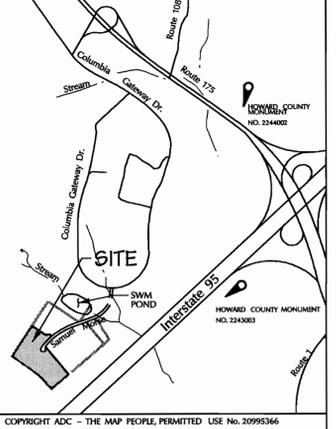
SUBDIVISION NAME	COLUMBIA GATEWAY	SECTION/AREA	NA	LOT/PARCEL #	Q4
PLAT/ OR L.P.	14-787	BLOCK #	12 & 7	ELECT. DISTRICT	6
WATER CODE	ED6	SEWER CODE	4900000	DENISE TRACT	6067.03

**Grading Plan**

Des By	Scale 1" = 40'	Proj. No. 00089
Drn By BKC	Date 4-12-01	
Chk By	Approved	4 OF 19

APPROVED  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE March 5, 2001





LOCATION MAP  
SCALE: 1" = 200'

**Legend**

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
(---)	BUILDING RESTRICTION LINE	(M)	STORM DRAIN STRUCTURE LABEL
(P)	PARKING COUNT	(---)	EXISTING SEWER
(P)	VAN HANDICAPPED PARKING	(---)	EXISTING STORM DRAIN
(P)	HANDICAPPED PARKING	(---)	EXISTING WATER
(---)	EXISTING 10' CONTOUR	(---)	PROPOSED STORM DRAIN
(---)	EXISTING 2' CONTOURS	(---)	PROPOSED SEWER
(□)	SERVICE PAD & DUMPSTER BIN	(---)	PROPOSED WATER
(---)	REVERSE CURB & GUTTER	(L)	PROPOSED LIGHT
(---)	DEPRESSED CURB		
(---)	STANDARD CURB & GUTTER		

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*Mark Danowski* 5/21/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

*Linda Brantley* 5/24/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Joseph J. Smith* 6/1/01  
 DIRECTOR DATE

APPROVED  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 DATE March 8, 2001

Date	No.	Revision Description

**Columbia Gateway Parcel Q4**

**OWNER:**  
 The Howard Research and Development Corporation  
 10275 Little Fallsview Parkway  
 Columbia, Maryland 21044

**DEVELOPER:**  
 AAK IV, LLC  
 8805 COLUMBIA 100 PKWY  
 SUITE 101  
 COLUMBIA, MD 21045

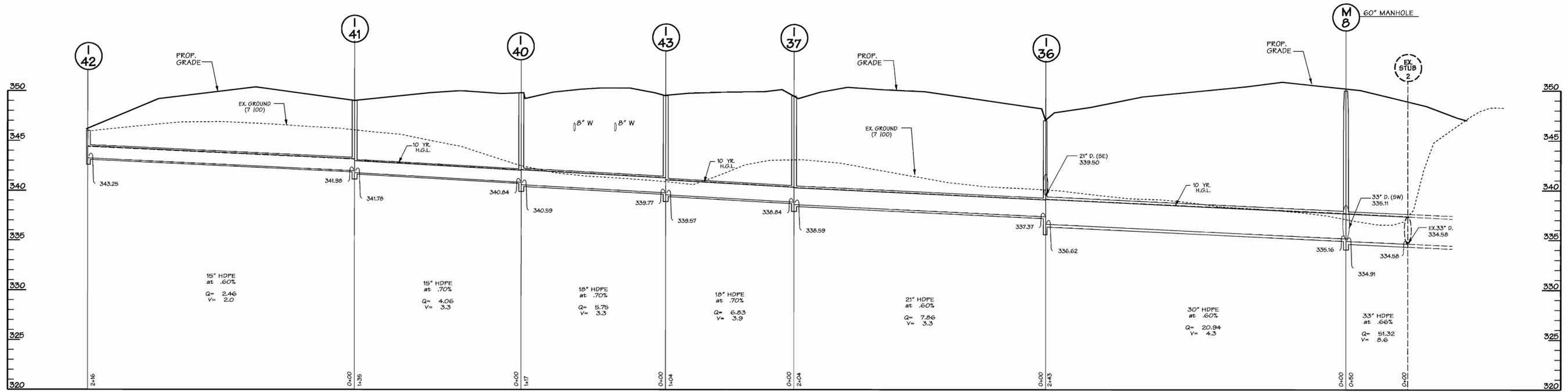
**DMW**  
 Dawn McCune-Walkers, Inc.  
 2900 East Pennsylvania Avenue  
 Towson, Maryland 21286  
 (410) 296-3339  
 Fax: 296-4706

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 Engineers, Surveyors &  
 Environmental Professionals



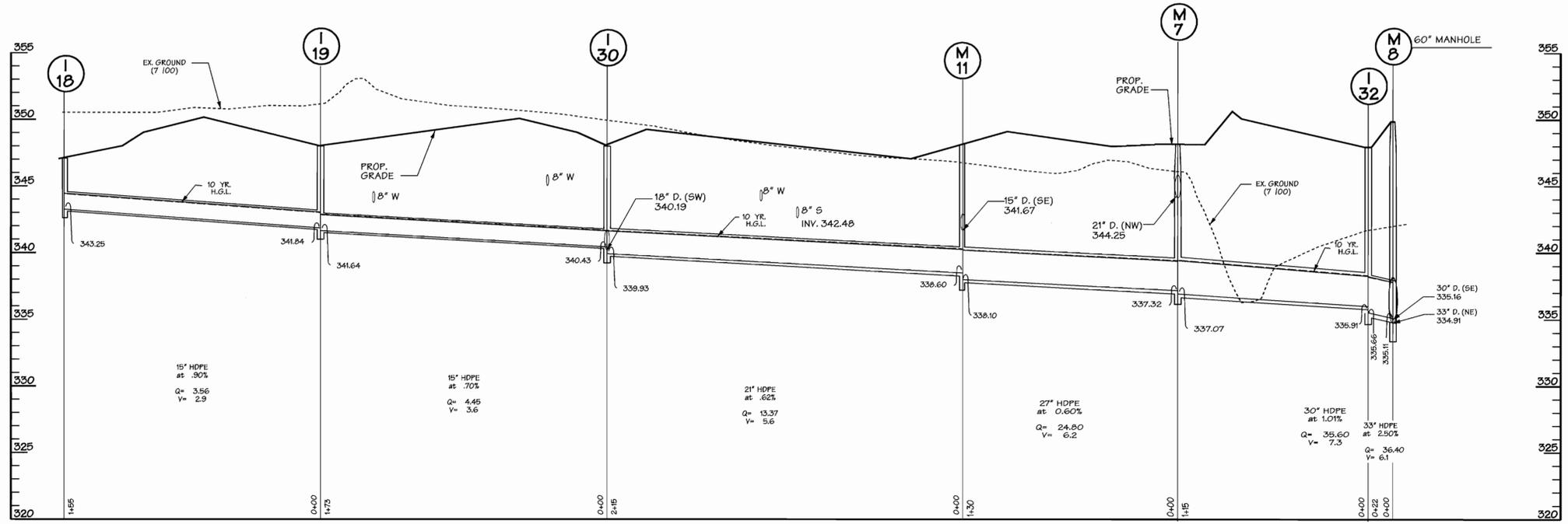
SUBMISSION NAME	SECTION/AREA	LOT/PARCEL #
COLUMBIA GATEWAY	NA	Q4
PLAT # OR L.P. #	BLOCK #	ZONE
14-751	12 & 7	INTBAM-43-43
WATER CODE	ELECT. DISTRICT	CENSUS TRACT
E06	G	6067.03
TITLE	POWER CODE	
	4900000	

Grading Plan		
Des By	Scale 1"=40'	Proj. No. 00089
Drn By BKC	Date 4-12-01	
Chk By	Approved	5 OF 19



Storm Drain Profile

Scale: Horz: 1"=40'  
Vert. 1"=5'

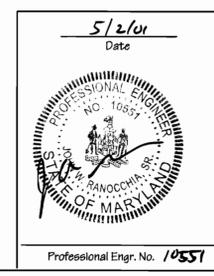


Storm Drain Profile

Scale: Horz: 1"=40'  
Vert. 1"=5'

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MKK DATE 5/21/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE 5/30/01  
 DIRECTOR DATE 6/16/01

APPROVED  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 DATE March 8, 2001



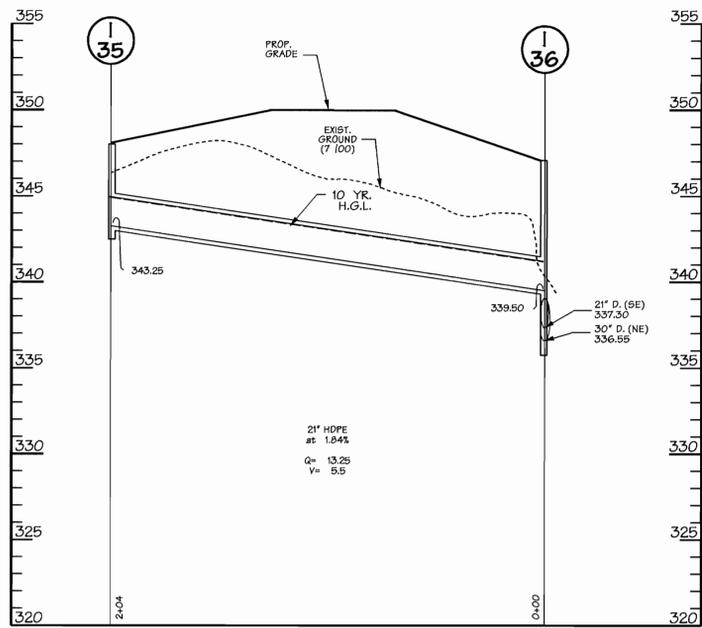
Columbia Gateway Parcel Q4

OWNER: The Howard Research and Development Corporation  
 DEVELOPER: AAK IV, LLC

DMW  
 DaR McCune-Walker, Inc.  
 200 East Pennsylvania Avenue  
 Towson, Maryland 21286  
 (410) 286-3833  
 Fax 286-4708  
 A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

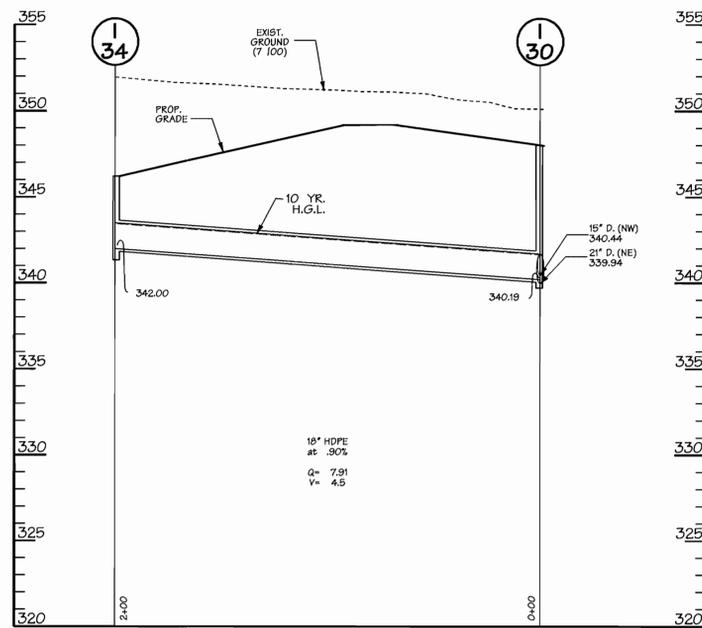
SUBMISSION NAME: COLUMBIA GATEWAY	SECTIONARY: NA	LOT/PARCEL #: Q4
PLAY OR LE: 147-97	BLOCK #: 12 & 7	ZONE: INTAM-42-43
WATER CODE: E06	SEWER CODE: 4900000	ELECT. DISTRICT: 6
GENUS TRACT: 6067.03		

TITLE: Storm Drain Profile		
Des By: LL	Scale: AS SHOWN	Proj. No. 00089
Dim By: ADL	Date: 4-12-01	
Chk By: Approved		6 OF 19



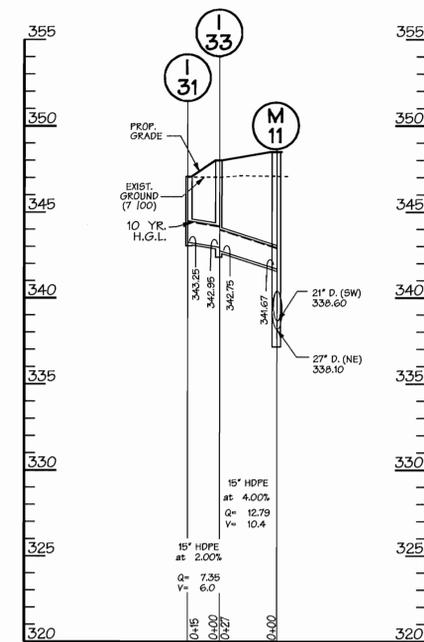
Storm Drain Profile

Scale: Horz: 1"=40'  
Vert: 1"=5'



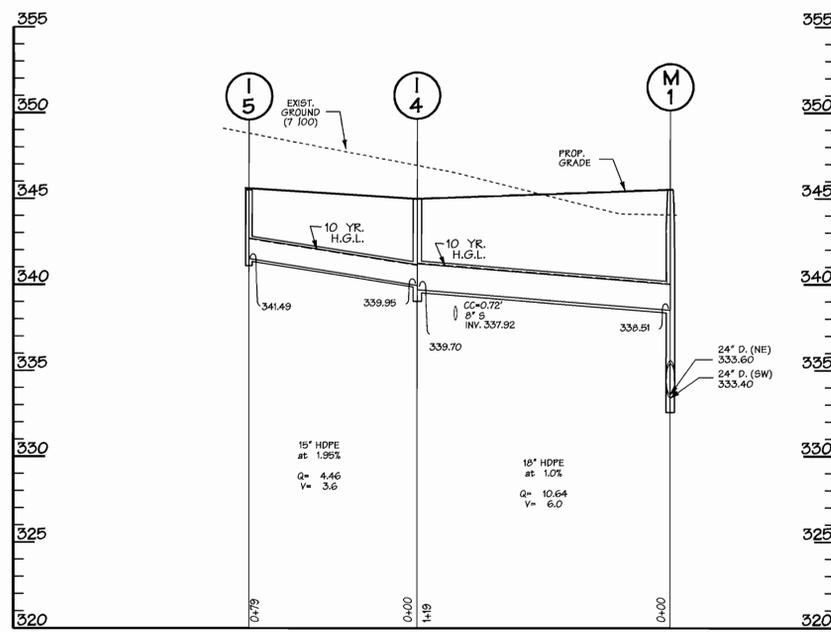
Storm Drain Profile

Scale: Horz: 1"=40'  
Vert: 1"=5'



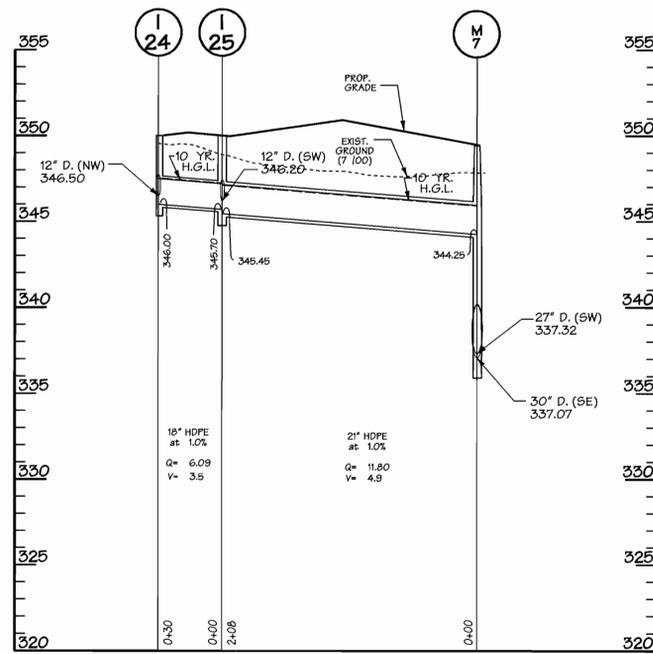
Storm Drain Profile

Scale: Horz: 1"=40'  
Vert: 1"=5'



Storm Drain Profile

Scale: Horz: 1"=40'  
Vert: 1"=5'



Storm Drain Profile

Scale: Horz: 1"=40'  
Vert: 1"=5'

APPROVED  
PLANNING BOARD  
of HOWARD COUNTY  
DATE March 8, 2001

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 Chief, Development Engineering Division MK 5/21/01  
 Chief, Division of Land Development 5/30/01  
 Director 6/1/01

Date	No.	Revision Description

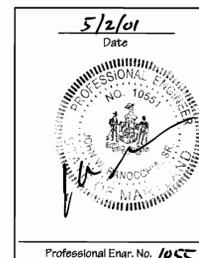
Columbia Gateway  
Parcel Q4

OWNER: The Howard Research and Development Corporation  
 10275 Little Patuxent Parkway  
 Columbia, Maryland 21044

DEVELOPER: AAK IV, LLC  
 8808 COLUMBIA 100 PKWY  
 SUITE 101  
 COLUMBIA, MD 21045

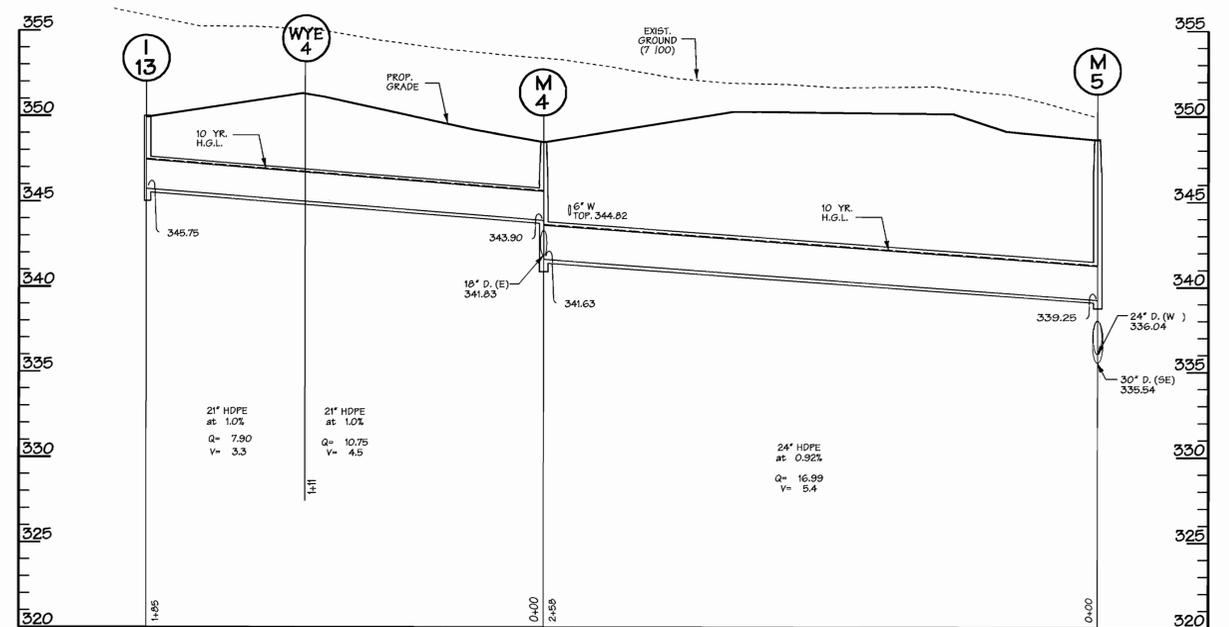
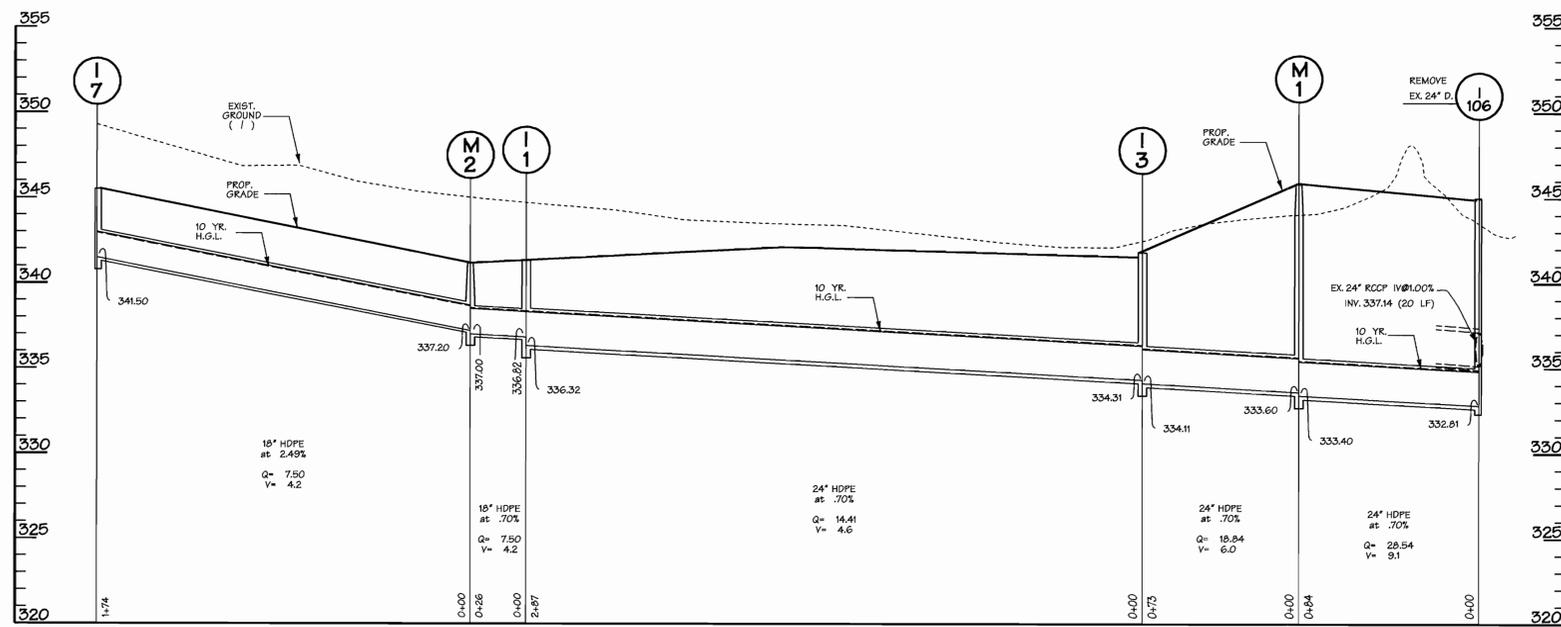
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 200 East Pennsylvania Avenue  
 Towson, Maryland 21286  
 (410) 296-3333  
 Fax 296-4705

A Team of Land Planners,  
 Landscape Architects,  
 Engineers, Surveyors &  
 Environmental Professionals



SUBDIVISION NAME	SECTION AREA	LOT/FACILITY #
COLUMBIA GATEWAY	NA	Q4
PLAT OR REF.	BLOCK OF ZONE	TAXING MAP
14759	12 & 7	42-43
WATER CODE	SEWER CODE	ELECT DISTRICT
E08	4900000	6
CENSUS TRACT		
		6067.03

TITLE		
Storm Drain Profile		
Des By LL	Scale AS SHOWN	Proj. No. 00089
Drn By ADL	Date 4-12-01	
Chk By	Approved	7 OF 19



Storm Drain Profile

Scale: Horz: 1"=40'  
Vert: 1"=5'

STRUCTURE SCHEDULE

INLET NO.	INLET TYPE	INV. IN	INV. OUT	TOP ELEV.	REMARKS
I-1	A-5	336.82	336.32	342.00	HO CO STD.BD 4.01
I-3	A-5	334.31	334.11	342.50	HO CO STD.BD 4.01
I-4	A-10	339.95	339.70	344.50	HO CO STD.BD 4.02
I-5	A-5	341.75	341.50	346.00	HO CO STD.BD 4.01
I-7	A-5	341.50	341.50	346.50	HO CO STD.BD 4.01
M-2	STD MANHOLE 48"	337.20	337.00	341.50	HO CO STD. G. 5.12
M-1	STD MANHOLE 48"	333.60	333.40	345.80	HO CO STD. G. 5.12

STRUCTURE SCHEDULE

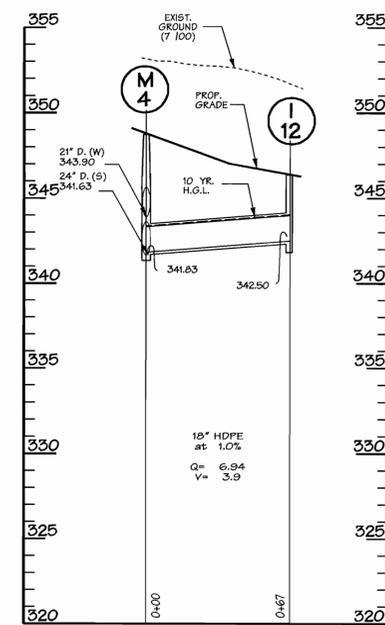
INLET NO.	INLET TYPE	INV. IN	INV. OUT	TOP ELEV.	REMARKS
I-30	A-10	340.44	339.94	348.50	HO CO STD.BD 4.01
I-31	A-10	338.65	338.15	347.50	HO CO STD.BD 4.02
I-32	A-5	336.82	336.72	348.50	HO CO STD.BD 4.01
I-33	A-5	343.75	343.00	348.00	HO CO STD.BD 4.01
I-34	DOUBLE S	342.00	346.50	348.00	HO CO STD.BD 4.25
I-35	A-10	343.25	343.00	348.00	HO CO STD.BD 4.02
I-36	A-5	337.37	336.82	347.50	HO CO STD.BD 4.01
I-37	A-5	338.84	338.59	349.80	HO CO STD.BD 4.01
I-40	A-5	340.84	340.59	350.20	HO CO STD.BD 4.01
I-41	A-5	341.86	341.78	349.70	HO CO STD.BD 4.01
I-42	A-5	343.25	343.00	347.50	HO CO STD.BD 4.01
I-43	A-5	339.77	339.57	350.30	HO CO STD.BD 4.01
I-18	A-5	343.25	343.00	347.50	HO CO STD.BD 4.01
I-19	A-5	341.86	341.66	348.50	HO CO STD.BD 4.01
I-24	A-5	346.00	346.00	350.50	HO CO STD.BD 4.01
I-25	A-5	346.70	346.45	350.50	HO CO STD.BD 4.01
M-8	STD MANHOLE 72"	335.09	334.84	350.00	HO CO STD. G. 5.11
M-10	STD MANHOLE 60"	343.37	343.00	349.00	HO CO STD. G. 5.11
M-7	STD MANHOLE 60"	337.32	337.07	348.00	HO CO STD. G. 5.12
M-11	STD MANHOLE 48"	338.80	338.10	348.50	HO CO STD. G. 5.12

PIPE SCHEDULE

Size	Category	Length
18	HDPE	881
18	HDPE	842
21	HDPE	1086
24	HDPE	824
27	HDPE	395
30	HDPE	502
36	HDPE	0

STRUCTURE SCHEDULE

INLET NO.	INLET TYPE	INV. IN	INV. OUT	TOP ELEV.	REMARKS
I-12	A-10		342.50	346.40	HO CO STD.BD 4.02
I-15	"S"		345.75	350.00	HO CO STD.BD 4.22
I-16	A-5	341.25	341.00	345.50	HO CO STD.BD 4.01
I-17	A-5	340.15	339.90	347.00	HO CO STD.BD 4.01
I-22	A-5	338.17	337.97	350.00	HO CO STD.BD 4.01
I-23	A-10	337.43	337.18	349.50	HO CO STD.BD 4.02
I-28	A-5	342.25	342.50	346.50	HO CO STD.BD 4.01
M-5	STD MANHOLE 60"	336.04	335.54	348.50	HO CO STD. G. 5.12
M-6	STD MANHOLE 60"	334.74	334.54	350.00	HO CO STD. G. 5.12
M-4	STD MANHOLE 48"	343.90	341.83	348.40	HO CO STD. G. 5.12



Storm Drain Profile

Scale: Horz: 1"=40'  
Vert: 1"=5'

Storm Drain Profile

Scale: Horz: 1"=40'  
Vert: 1"=5'

APPROVED  
PLANNING BOARD  
of HOWARD COUNTY  
DATE: March 8, 2001

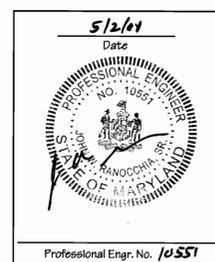
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
*[Signature]* 5/21/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE  
*[Signature]* 5/28/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
*[Signature]* 6/1/01  
 DIRECTOR DATE

Date	No.	Revision Description

Columbia Gateway Parcel Q4

OWNER: The Howard Research and Development Corporation  
 10275 Little Patuxent Parkway  
 Columbia, Maryland 21044  
 DEVELOPER: AAK IV, LLC  
 8805 COLUMBIA 100 FWY  
 SUITE 01  
 COLUMBIA, MD 21045

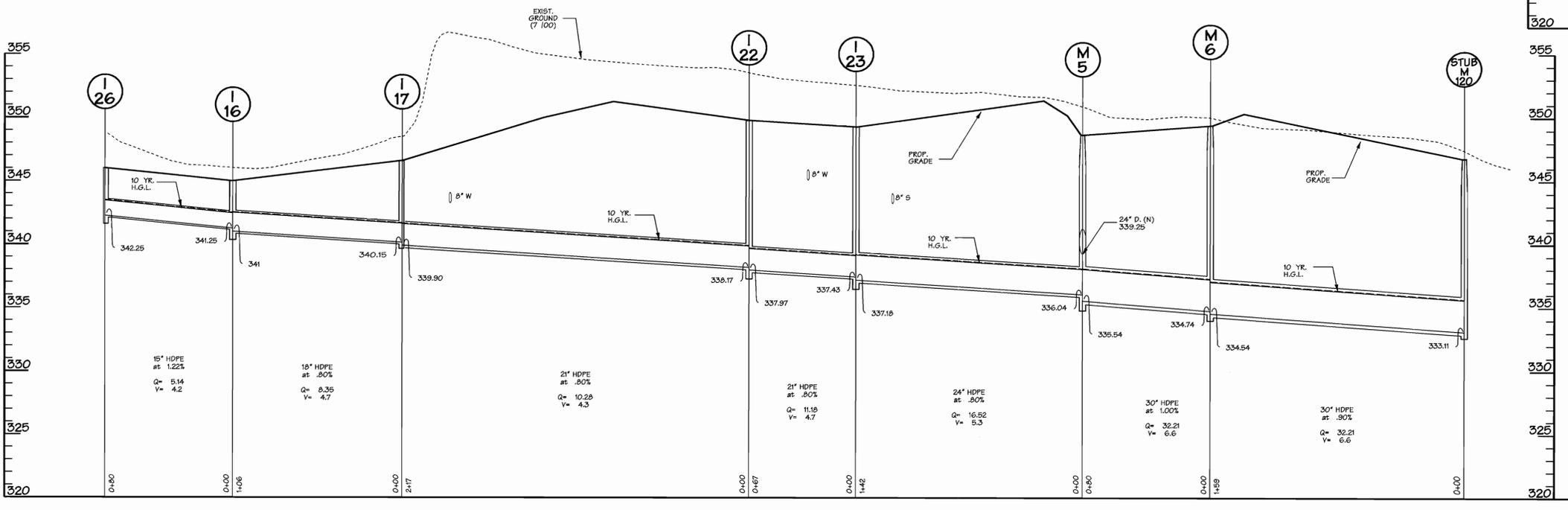
**DMW**  
 Duff McCune Walker, Inc.  
 200 East Pennsylvania Avenue  
 Towson, Maryland 21286  
 Fax: 396-4705  
 A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

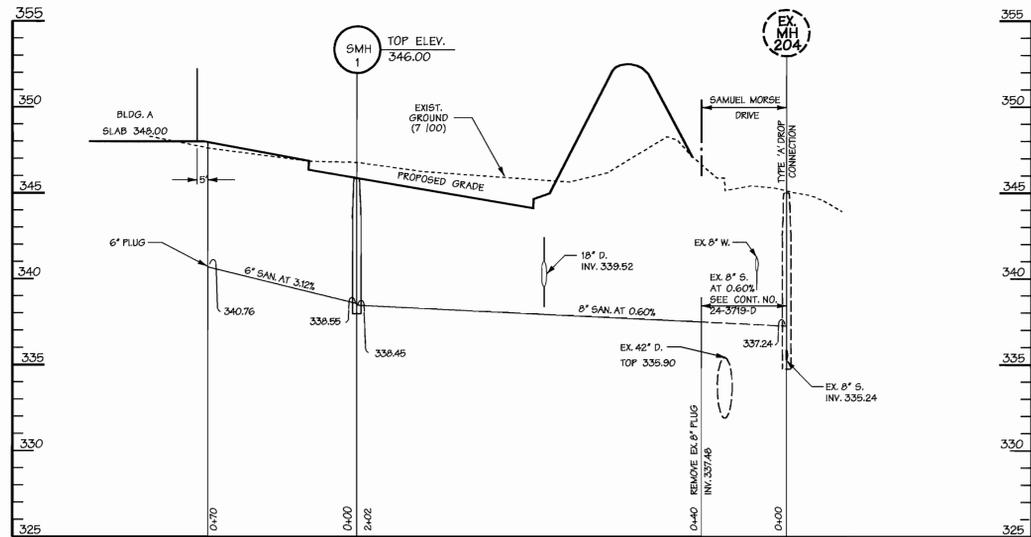


SUBDIVISION NAME	SECTION AREA	LOT/PARCEL #
COLUMBIA GATEWAY	NA	Q4

Storm Drain Profile

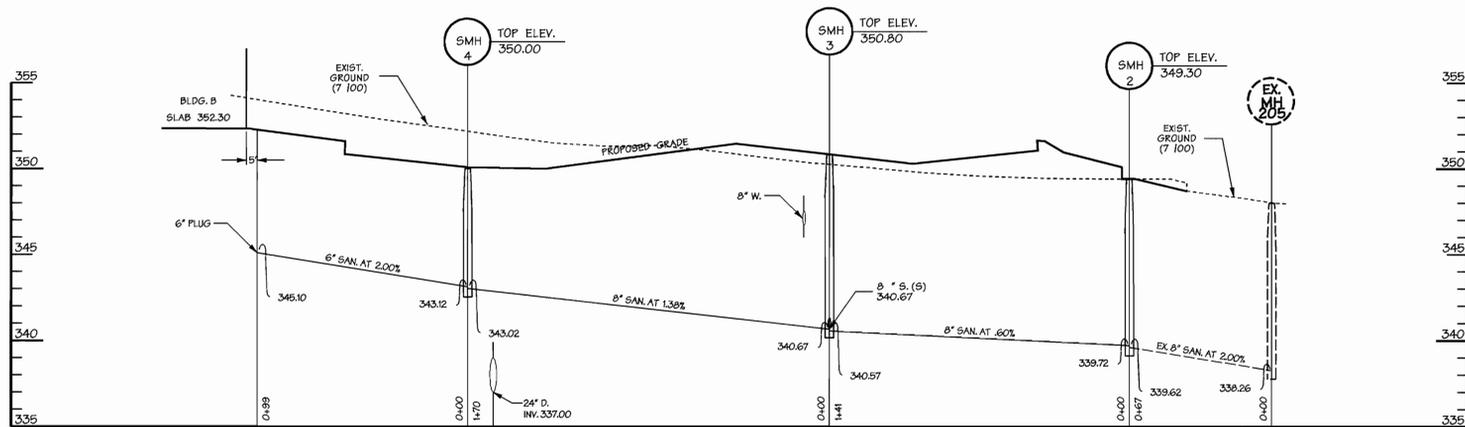
Des By LL	Scale AS SHOWN	Proj. No. 00089
Drn By ADL	Date 4-12-01	8 OF 19
Chk By	Approved	





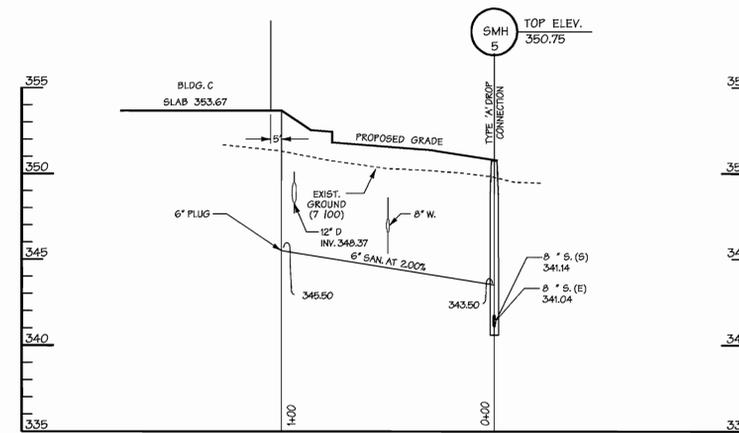
Private San Sewer Profile- Building - A

Scale: Horz: 1"=40'  
Vert: 1"=5'



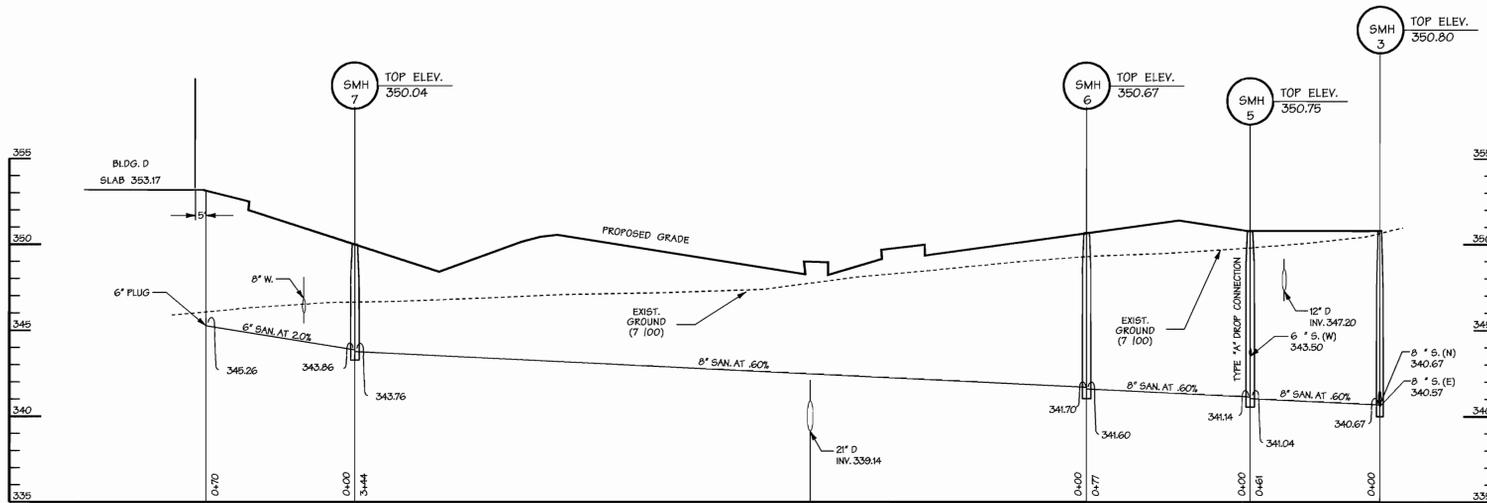
Private San Sewer Profile- Building - B

Scale: Horz: 1"=40'  
Vert: 1"=5'



Private San Sewer Profile- Building - C

Scale: Horz: 1"=40'  
Vert: 1"=5'



Private San Sewer Profile- Building - D

Scale: Horz: 1"=40'  
Vert: 1"=5'

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*Chris Dammann* 6/21/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MKK DATE  
*Andy Hamata* 5/30/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
*James L. Smith* 6/16/01  
 DIRECTOR DATE

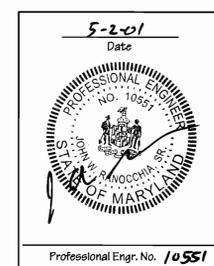
Date	No.	Revision Description

**Columbia Gateway Parcel Q4**

OWNER: The Howard Research and Development Corporation  
 10275 Linds Parkwood Parkway  
 Columbia, Maryland 21044

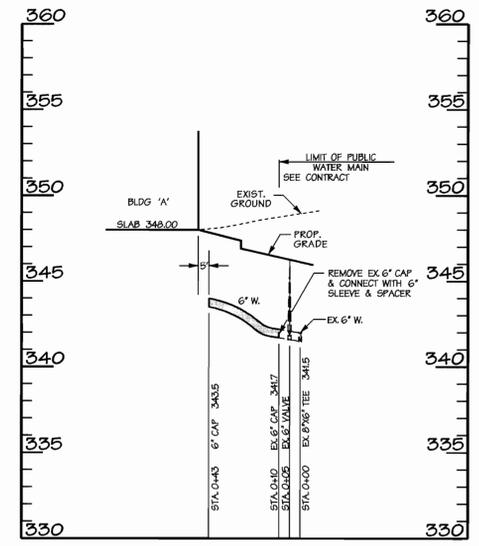
DEVELOPER: AAK IV, LLC  
 8805 COLUMBIA 100 PKWY  
 SUITE 101  
 COLUMBIA, MD 21045

**APPROVED**  
 PLANNING BOARD  
 of HOWARD COUNTY  
 DATE March 8, 2001



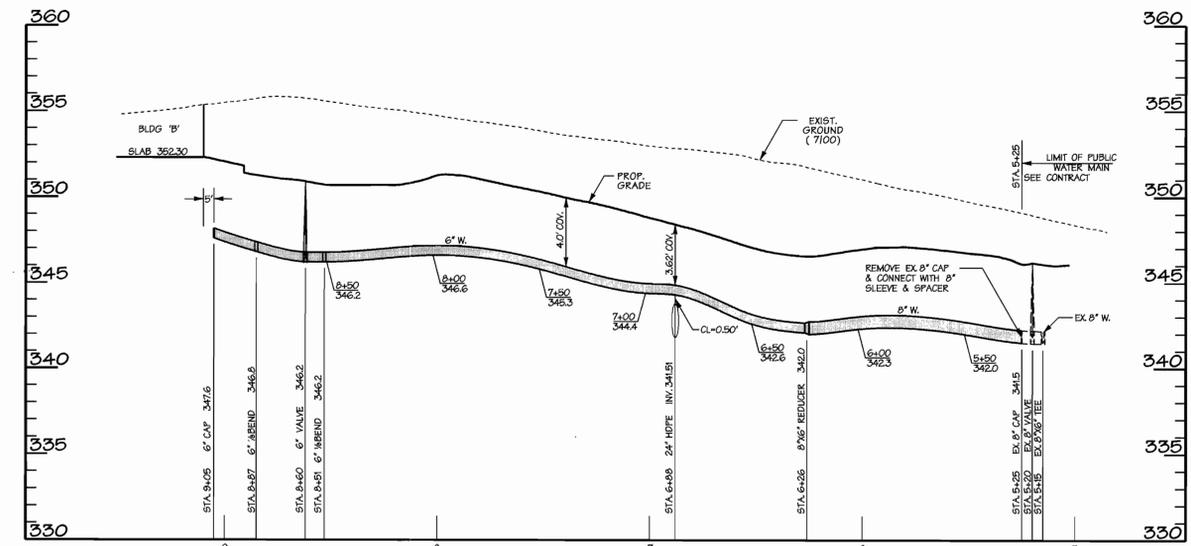
SUBMISSION NAME: COLUMBIA GATEWAY		SECTION: NA	LOSPARCEL #: Q4
PLAT OR LF: 14-799	BLOCK #: 12 & 7	TAXZONE MAP: 42-43	ELECT. DISTRICT: G
WATER CODE: E08	SEWER CODE: 4900000	GENSIS TRACT: 6067.03	

TITLE: <b>Utility Profile Plan</b>		
Des By: DFM	Scale: AS SHOWN	Proj. No. 00089
Dm By: ADL	Date: 4-12-01	9 OF 19
Chk By:	Approved	



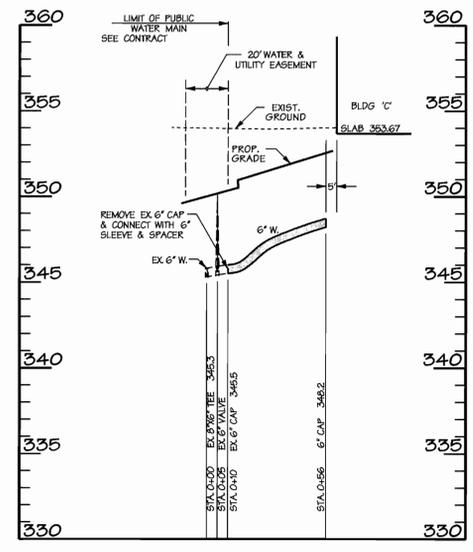
PRIVATE WATER PROFILE TO BUILDING 'A'

SCALE: HORIZ. 1" = 40'  
VERT. 1" = 5'



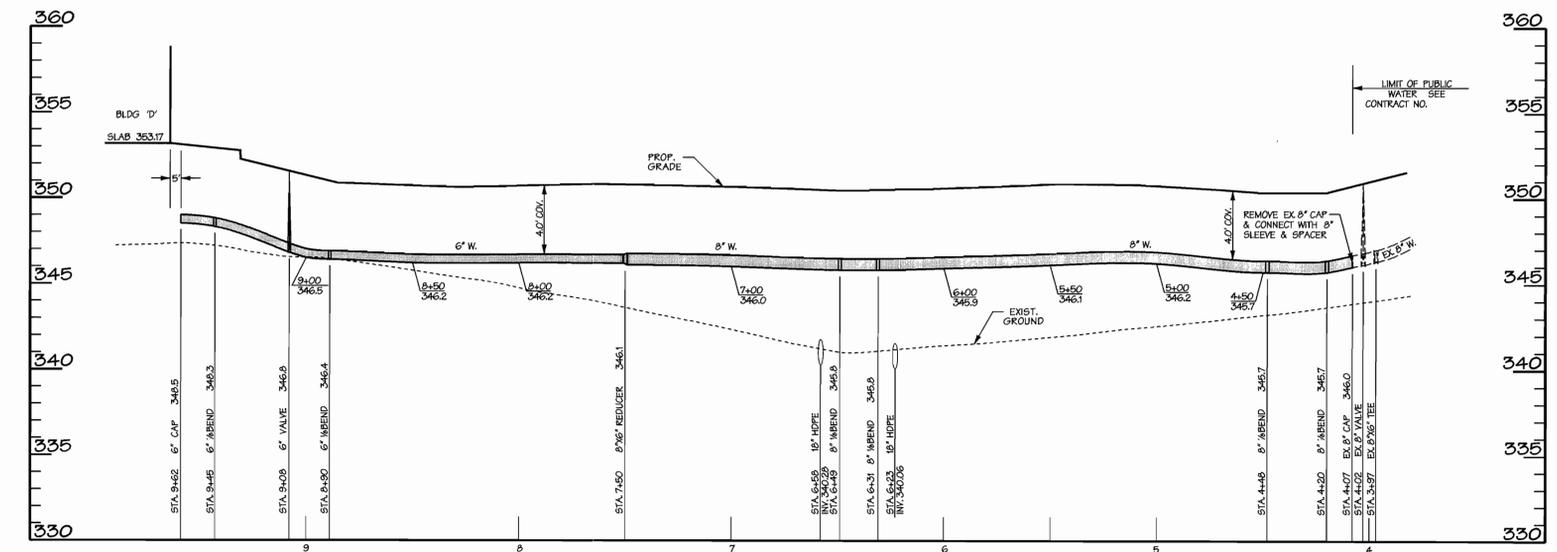
PRIVATE WATER PROFILE TO BUILDING 'B'

SCALE: HORIZ. 1" = 40'  
VERT. 1" = 5'



PRIVATE WATER PROFILE TO BUILDING 'C'

SCALE: HORIZ. 1" = 40'  
VERT. 1" = 5'



PRIVATE WATER PROFILE TO BUILDING 'D'

SCALE: HORIZ. 1" = 40'  
VERT. 1" = 5'

APPROVED  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE March 8, 2001

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION M-K DATE 5/21/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE 5/20/01  
 DIRECTOR DATE 6/1/01

Date	No.	Revision Description

## Columbia Gateway Parcel Q4

OWNER: The Howard Research and Development Corporation  
 10275 Little Patuxent Parkway  
 Columbia, Maryland 21044

DEVELOPER: AAK III, LLC  
 2806 COLUMBIA 100 PKWY  
 SUITE 101  
 COLUMBIA, MD 21045

**DMW**  
 Daft-McCune-Walker, Inc.  
 200 East Pennsylvania Avenue  
 Towson, Maryland 21286  
 (410) 296-3333  
 Fax 296-4706

A Team of Land Planners,  
 Landscape Architects,  
 Engineers, Surveyors &  
 Environmental Professionals

SUBDIVISION NAME COLUMBIA GATEWAY	SECTION/AREA BLOCK # 7	LOSPARCEL # Q3
PLAT OR REF 17797	TAXING MAP 42-43	GENRES TRACT 6067.03
WATER CODE E06	SEWER CODE 4900000	

TITLE <b>Private Water Profile Plan</b>		
Des By DFM	Scale AS SHOWN	Proj. No. 00089
Drn By ADL	Date 10-04-00	
Chk By 	Approved	10 OF 19



**DEVELOPERS CERTIFICATE:**

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John M. De*  
 SIGNATURE OF DEVELOPER  
 PRINT NAME BELOW SIGNATURE

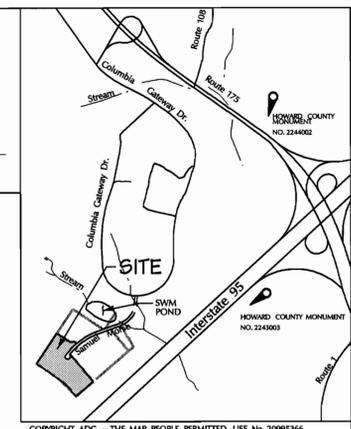
5/2/01  
 DATE

**ENGINEERS CERTIFICATE:**

I HEREBY CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

*John W. Ramocchia Sr.*  
 SIGNATURE OF ENGINEER  
 PRINT NAME BELOW SIGNATURE

5-2-01  
 DATE

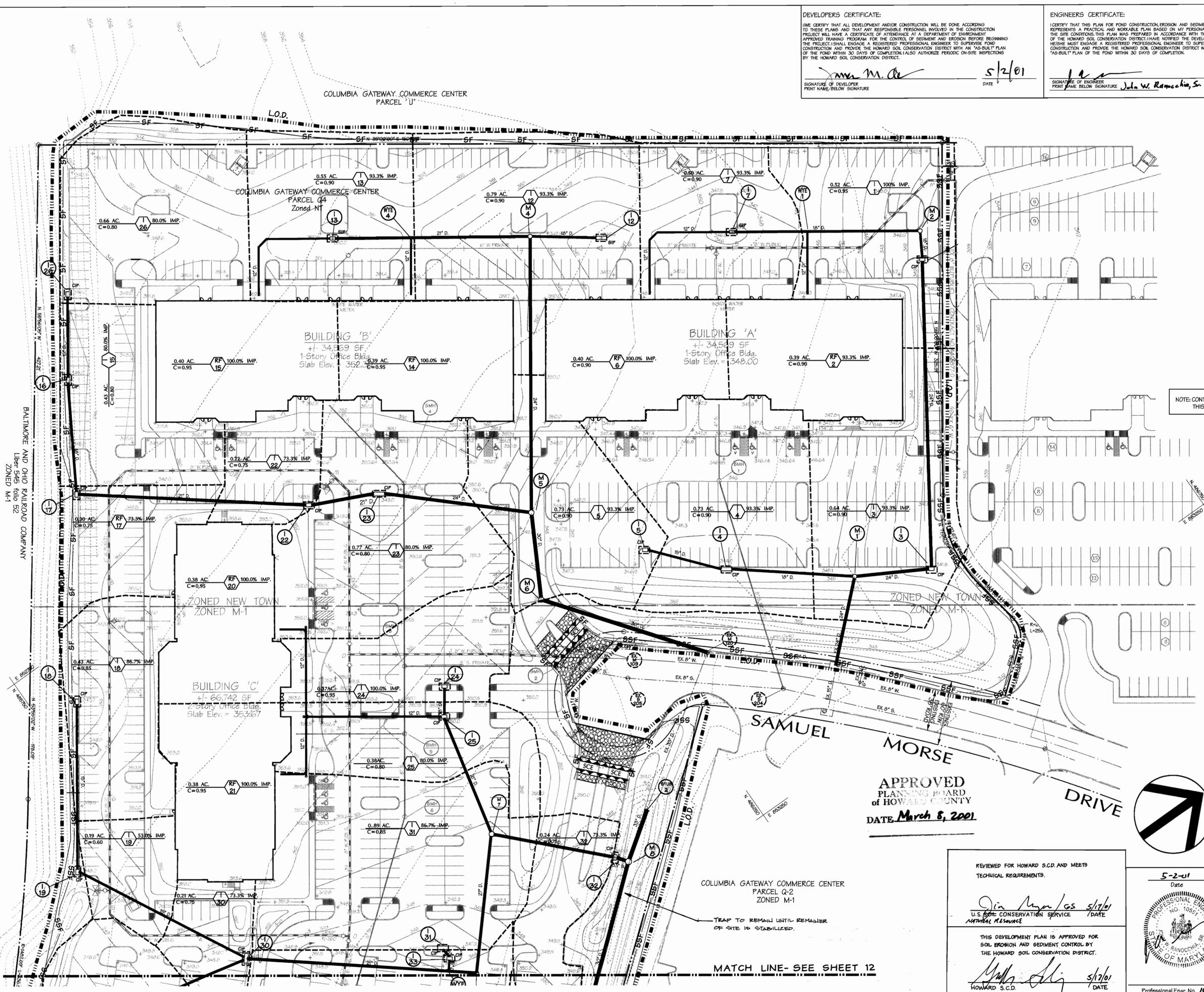


**LOCATION MAP**  
 SCALE: 1" = 2000'

**LEGEND**

- DRAINAGE AREA LINES --- L.O.D.
- LIMIT OF DISTURBANCE - - - - - L.O.D.
- SUPER SILT FENCE --- SSF --- SSF
- SILT FENCE --- SF --- SF
- STANDARD INLET PROTECTION SIP
- DRAINAGE AREA LABELS 0.28 AC. C=0.86 (RD) 100% IMP.
- STABILIZED CONSTRUCTION ENTRANCE SCE

NOTE: CONTRACTOR IS RESPONSIBLE FOR CLEANING ANY AND ALL SEDIMENT ATTRIBUTED TO THIS PLAN FROM THE RECEIVING STORMWATER POND.



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*Chris Dammann* 5/21/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

*Wade Hinkle* 5/30/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Paul R. Smith* 6/1/01  
 DIRECTOR DATE

Date	No.	Revision Description

**Columbia Gateway Parcel Q4**

**OWNER:**  
 The Howard Research and Development Corporation  
 2227 Little Patuxent Parkway  
 Columbia, Maryland 21044

**DEVELOPER:**  
 AAE IV, LLC  
 8905 HOWARD 100 PKWY  
 COLUMBIA, MD 21045

**DMW**  
 Darr-McCune-Walker, Inc.  
 200 East Pennsylvania Avenue  
 Towson, Maryland 21286  
 (410) 396-3533  
 Fax: 396-4706

A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

SUBDIVISION NAME COLUMBIA GATEWAY	SECTION/AREA NA	LOT/PARCEL # Q4
PLAT OR L.P. 1/75/91	TAXING MAP 12 & 7 INTAM	ELECT. DISTRICT 6
WATER CODE E06	REVENUE CODE 4900000	CENSUS TRACT 6067.03

**Drainage Area Map & Sediment Erosion Control**

Des By RBW	Scale 1" = 40'	Proj. No. 00089
Drn By ADL	Date 4-12-01	11 OF 19
Chk By	Approved	

APPROVED  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 DATE **March 8, 2001**

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS.

*Dina Nguyen/GS* 5/17/01  
 U.S. SOIL CONSERVATION SERVICE / DATE  
 NATURAL RESOURCE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John S. C. D.* 5/17/01  
 HOWARD S.C.D. / DATE



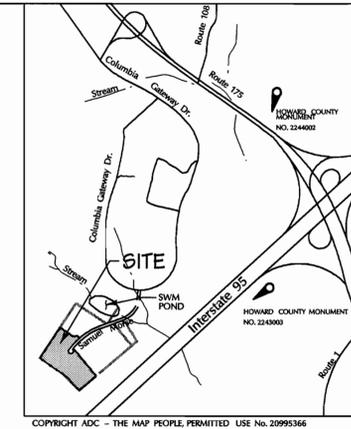
5-2-01  
 Date

PROFESSIONAL ENGINEER  
 JOHN W. RAMOCCHIA SR.  
 STATE OF MARYLAND  
 No. 10551

Professional Engr. No. 10551

MATCH LINE- SEE SHEET 12

BALTIMORE AND OHIO RAILROAD COMPANY  
 Liber 545 folio 52  
 ZONED M-1



LOCATION MAP  
SCALE: 1" = 2000'

- LEGEND**
- DRAINAGE AREA LINES
  - L.O.D. LIMIT OF DISTURBANCE
  - SSF SUPER SILT FENCE
  - SF SILT FENCE
  - SIP STANDARD INLET PROTECTION
  - RD 100% IMP. DRAINAGE AREA LABELS (0.28 AC, C=0.86)
  - SCE STABILIZED CONSTRUCTION ENTRANCE

NOTE: CONTRACTOR IS RESPONSIBLE FOR CLEANING ANY AND ALL SEDIMENT ATTRIBUTED TO THIS PLAN FROM THE RECEIVING STORMWATER POND.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*Michael P. ...* 5/21/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

*Linda ...* 5/30/01  
CHIEF, DIVISION OF LAND DEVELOPMENT

*Paul ...* 6/1/01  
DIRECTOR

APPROVED  
PLANNING BOARD  
of HOWARD COUNTY  
DATE March 8, 2001

Date	No.	Revision Description

**Columbia Gateway Parcel Q4**

OWNER: The Howard Research and Development Corporation  
10275 Little Patuxent Parkway  
Columbia, Maryland 21044

DEVELOPER: AAX, IV, LLC  
8805 COLUMBIA 100 FWY  
SUITE 101  
COLUMBIA, MD 21045

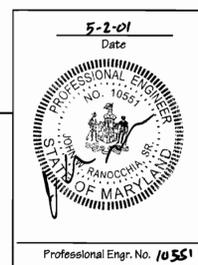
**DMW**  
Duff-McCune-Walker, Inc.  
200 East Pennsylvania Avenue  
Thousand Oaks, Maryland 21286  
(410) 296-3333  
Fax 296-4706

A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

SUBDIVISION NAME COLUMBIA GATEWAY	SECTION/MAP NA	LOSPARCEL # Q4
PLAT OR REF 14759	BLOCK # 12 & 7	TRACT # INT&M
TAXING MAP 42-43	ELECT DISTRICT 6	CENSUS TRACT 6067.03
WATER CODE E06	SEWER CODE 4900000	

**Drainage Area Map & Sediment Erosion Control**

Des By RBW	Scale 1" = 40'	Proj. No. 00089
Drn By ADL	Date 4-12-01	
Chk By Approved		12 OF 19



**DEVELOPERS CERTIFICATE:**

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/WE SHALL EMPLOY A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I/WE ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

*James M. Adams* 5/2/01  
SIGNATURE OF DEVELOPER  
PRINT NAME BELOW SIGNATURE **JAMES M. ADAMS** DATE

**ENGINEERS CERTIFICATE:**

I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHOULD ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

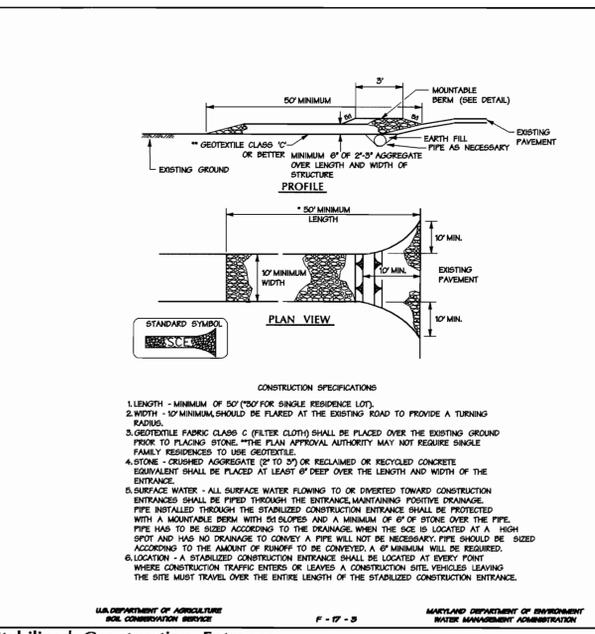
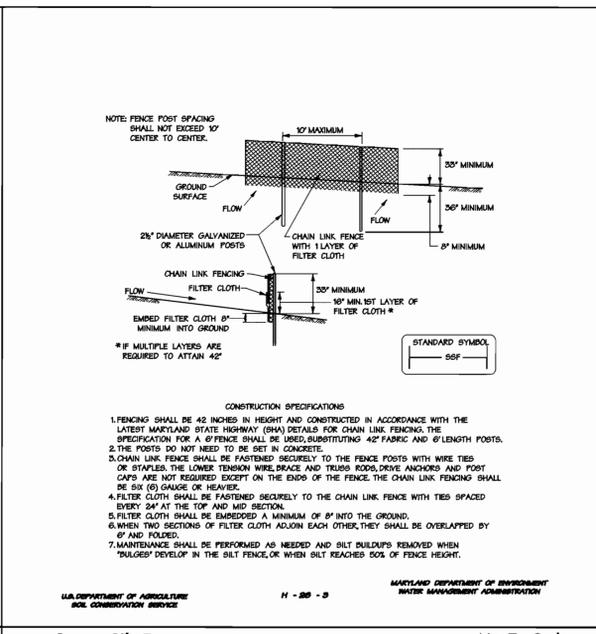
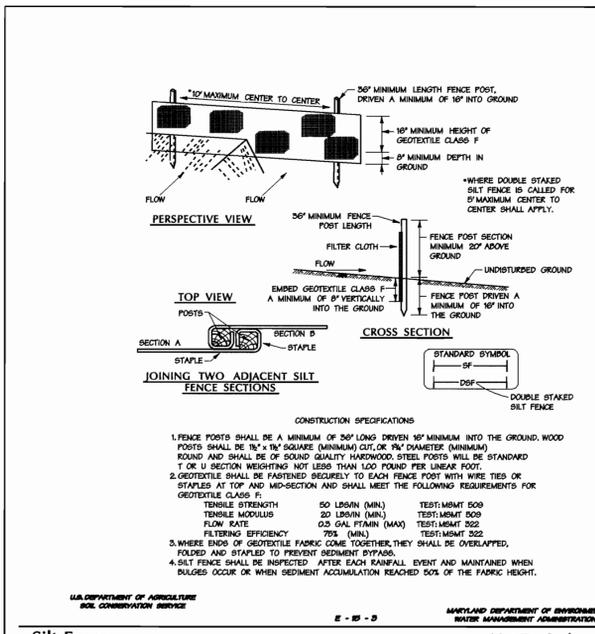
*John W. Rancucha, Sr.* 5-2-01  
SIGNATURE OF ENGINEER  
PRINT NAME BELOW SIGNATURE **John W. Rancucha, Sr.** DATE

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS.

*Jim ...* 5/17/01  
U.S. SOIL CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Paul ...* 5/17/01  
HOWARD S.C.D. DATE



**Silt Fence** Not To Scale

**DUST CONTROL SPECIFICATIONS**

**TEMPORARY METHODS:**

- MULCHES - SEE STANDARDS FOR VEGETATIVE STABILIZATION WITH MULCHES. ONLY MULCH SHOULD BE CRIMPED OR TACKED TO PREVENT BLOWING.
- VEGETATIVE COVER - SEE STANDARDS FOR VEGETATIVE COVER.
- TILLAGE - TO ROUGHEN SURFACE AND BRING CLUDS TO THE SURFACE. THIS IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN FLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
- IRRIGATION - THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED. AT NO TIME SHOULD THE SITE BE IRRIGATED TO THE POINT THE RUNOFF BEGINS TO FLOW.
- BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 10 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING SOIL BLOWING.
- CALCIUM CHLORIDE - APPLY AT A RATE THAT WILL KEEP SURFACE MOIST. MAY NEED RETREATMENT.

**PERMANENT METHODS:**

- PERMANENT VEGETATION - SEE STANDARDS FOR PERMANENT VEGETATIVE COVER, AND PERMANENT STABILIZATION WITH SOIL, EXISTING TREES OR LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE.
- TOPSOILING - COVERING WITH LESS EROSION SOIL MATERIALS. SEE STANDARDS FOR TOPSOILING.
- STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL AFTER RECEIVING PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR.

**STANDARD SYMBOL**  
SIF

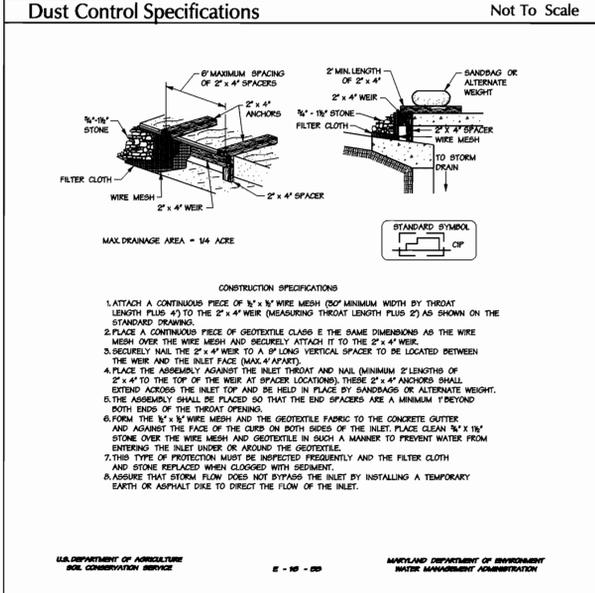
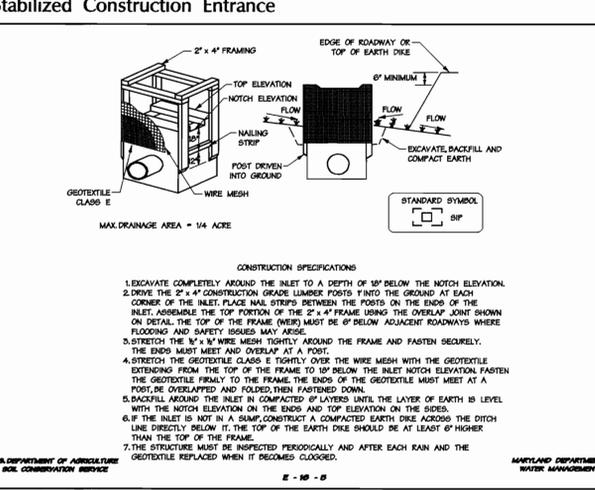
**Super Silt Fence** Not To Scale

**CONSTRUCTION SPECIFICATIONS**

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (303-1059).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THEREOF.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
  - SEVEN CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DICES, FORMER SLOPES AND ALL SLOPES STEEPER THAN 3:1.
  - FOURTEEN DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRANSFERING SHOWS MUST BE FENCED AND WASHING BENS FORCED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOLUME CHAPTER 52 OF THE "HOWARD COUNTY DESIGN MANUAL", STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS (SEC. 50, 5009 (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MAINTENANCE (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:
 

TOTAL AREA OF SITE	10.1 ACRES
AREA DISTURBED	10.8 ACRES
AREA TO BE ROOFED OR PAVED	5700 SQUARE FEET
AREA TO BE VEGETATIVELY STABILIZED	3.00 ACRES
TOTAL DIRT	250000 CUBIC YARDS
TOTAL FILL	25000 CUBIC YARDS
OFF-SITE WASTEWATER/SEWER AREA LOCATION WASTE	NA
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR TEMPORARY SEEDING (SEC. 50) AND MAINTENANCE (SEC. 52) SHALL BE REPAIRED OR REPLACED WITHIN THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE FEET LENGTHS OR SHORTER WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

**STANDARD SYMBOL**  
SIF



**Sediment Control General Notes** Not To Scale

**SEQUENCE OF CONSTRUCTION**

SEQUENCE	NUMBER OF DAYS
1. OBTAIN A GRADING PERMIT.	7
2. INSTALL SEDIMENT AND EROSION CONTROL DEVICES.	7
3. UPON PERMISSION FROM THE INSPECTOR, ROUGH GRADE SITE.	14
4. CONSTRUCT WATER, SEWER AND STORM DRAIN AND INSTALL INLET PROTECTION EXCEPT ON 1-36-2102. THIS WILL BE COMPLETE WHEN SITE IS STABILIZED.	30
5. BEGIN BUILDING CONSTRUCTION.	180
6. FINE GRADE SITE.	5
7. INSTALL CURB & GUTTER, PAVING AND SIDE WALKS.	7
8. STABILIZE ALL AREAS IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS.	30
9. UPON APPROVAL OF THE SEDIMENT AND EROSION CONTROL INSPECTION REMOVE ALL EROSION CONTROL MEASURES AND STABILIZE.	10

**Standard Inlet Protection** Not To Scale

**CONSTRUCTION SPECIFICATIONS**

- EXCAVATE COMPLETELY AROUND THE INLET TO A DEPTH OF 18" BELOW THE NOTCH ELEVATION.
- DRIVE THE 2" x 4" CONSTRUCTION GRADE LAMBER POSTS INTO THE GROUND AT EACH CORNER OF THE INLET. PLACE NAIL STRIPS BETWEEN THE POSTS ON THE ENDS OF THE INLET. ASSEMBLE THE TOP PORTION OF THE 2" x 4" FRAME USING THE OVERLAP JOINT SHOWN ON DETAIL. THE TOP OF THE FRAME (WEIR) MUST BE 6" BELOW ADJACENT ROADWAYS WHERE FLOODING AND SAFETY ISSUES MAY ARISE.
- STRETCH THE 1/2" x 1/2" WIRE MESH TIGHTLY AROUND THE FRAME AND FASTEN SECURELY. THE ENDS MUST MEET AND OVERLAP AT A POST.
- STRETCH THE GEOTEXTILE CLASS E TIGHTLY OVER THE WIRE MESH WITH THE GEOTEXTILE EXTENDING FROM THE TOP OF THE FRAME TO 18" BELOW THE INLET NOTCH ELEVATION. FASTEN THE GEOTEXTILE FIRMLY TO THE FRAME. THE ENDS OF THE GEOTEXTILE MUST MEET AT A POST. OVERLAP AND FOLD, THEN FASTENED DOWN.
- BACKFILL AROUND THE INLET IN COMPACTED 6" LAYERS UNTIL THE LAYER OF EARTH IS LEVEL WITH THE NOTCH ELEVATION ON THE ENDS AND TOP ELEVATION ON THE SIDES.
- IF THE INLET IS NOT IN A SWAMP, CONSTRUCT A COMPACTED EARTH DISE ACROSS THE DITCH LINE DIRECTLY BELOW IT. THE TOP OF THE EARTH DISE SHOULD BE AT LEAST 6" HIGHER THAN THE TOP OF THE FRAME.
- THE STRUCTURE MUST BE INSPECTED PERIODICALLY AND AFTER EACH RAIN AND THE GEOTEXTILE REPLACED WHEN IT BECOMES CLOGGED.

**STANDARD SYMBOL**  
SIF

**Curb Inlet Protection (COG or COS Inlets)** Not To Scale

**DEVELOPERS CERTIFICATE:**

WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY PERSONNEL RESPONSIBLE FOR THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF DEVELOPER: *James M. Adams* DATE: 5/2/01

**ENGINEERS CERTIFICATE:**

I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL, REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT THESE PLANS ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

SIGNATURE OF ENGINEER: *John W. Ranocchi* DATE: 5-2-01

**REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS:**

*Jim Myers/CS* 5/17/01  
U.S. SOIL CONSERVATION SERVICE DATE

**THIS DEVELOPMENT PLAN IS BASED ON SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.**

*John W. Ranocchi* 5/16/01  
HOWARD S.C.D. DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*John W. Ranocchi* 5/2/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION MKK DATE

*John W. Ranocchi* 5/17/01  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*John W. Ranocchi* 5/16/01  
DIRECTOR DATE

APPROVED PLANNING BOARD of HOWARD COUNTY  
DATE: March 8, 2001

Date	No.	Revision Description

**Columbia Gateway Parcel Q4**

**OWNER:** The Howard Research and Development Corporation  
10275 Little Patuxent Parkway  
Columbia, Maryland 21044

**DEVELOPER:** AAK, IV, LLC  
8005 COLUMBIA 100 PKWY  
SUITE 101  
COLUMBIA, MD 21045

**DMW**  
Dan McCune-Walker, Inc.  
300 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 296-3333  
Fax 296-4706

**A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals**

5-2-01 Date

**PROFESSIONAL ENGINEER**  
NO. 10557  
JOHN W. RANOCCHI  
STATE OF MARYLAND

SUBDIVISION NAME	SECTION NAME	LOT/PARCEL #
COLUMBIA GATEWAY	NA	Q4

PLAT OR LE	BLOCK #	ZONE	TAXMAP #	ELECT. DISTRICT	CENSUS TRACT
17759	12 & 7	INTAM	42-43	6	6067.03

TITLE	SCALE	PROJ. NO.
Sediment & Erosion Control Detail	1"=40'	00089

Des By	Scale	Proj. No.
RBW	1"=40'	00089

Drn By	Date	13 OF 19
ADL	4-12-01	13 OF 19

Chk By	Approved	13 OF 19
ADL	Approved	13 OF 19

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*John W. Ranocchi* 5/2/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION MKK DATE

*John W. Ranocchi* 5/17/01  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*John W. Ranocchi* 5/16/01  
DIRECTOR DATE

APPROVED PLANNING BOARD of HOWARD COUNTY  
DATE: March 8, 2001

**Columbia Gateway Parcel Q4**

**OWNER:** The Howard Research and Development Corporation  
10275 Little Patuxent Parkway  
Columbia, Maryland 21044

**DEVELOPER:** AAK, IV, LLC  
8005 COLUMBIA 100 PKWY  
SUITE 101  
COLUMBIA, MD 21045

**DMW**  
Dan McCune-Walker, Inc.  
300 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 296-3333  
Fax 296-4706

**A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals**

5-2-01 Date

**PROFESSIONAL ENGINEER**  
NO. 10557  
JOHN W. RANOCCHI  
STATE OF MARYLAND

SUBDIVISION NAME	SECTION NAME	LOT/PARCEL #
COLUMBIA GATEWAY	NA	Q4

PLAT OR LE	BLOCK #	ZONE	TAXMAP #	ELECT. DISTRICT	CENSUS TRACT
17759	12 & 7	INTAM	42-43	6	6067.03

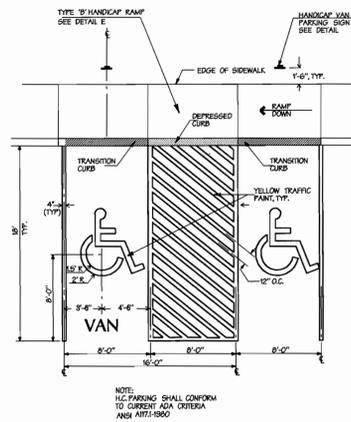
TITLE	SCALE	PROJ. NO.
Sediment & Erosion Control Detail	1"=40'	00089

Des By	Scale	Proj. No.
RBW	1"=40'	00089

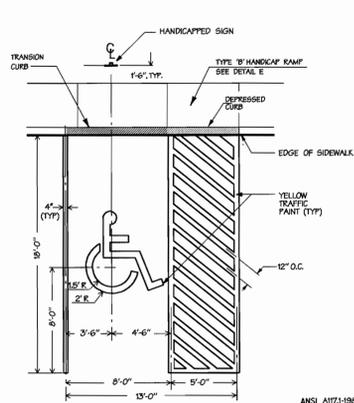
Drn By	Date	13 OF 19
ADL	4-12-01	13 OF 19

Chk By	Approved	13 OF 19
ADL	Approved	13 OF 19

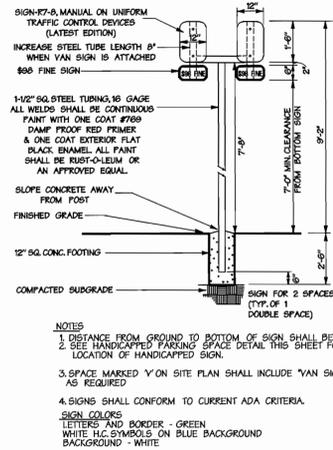




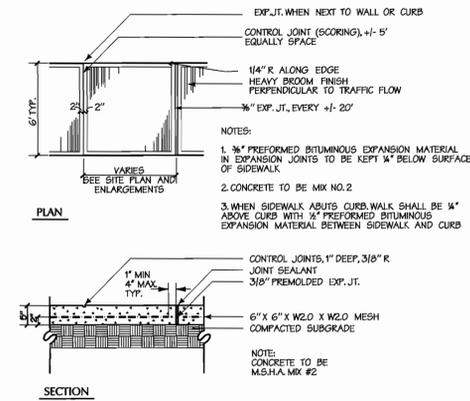
**A** Handicap Parking: Van & Standard  
Not To Scale



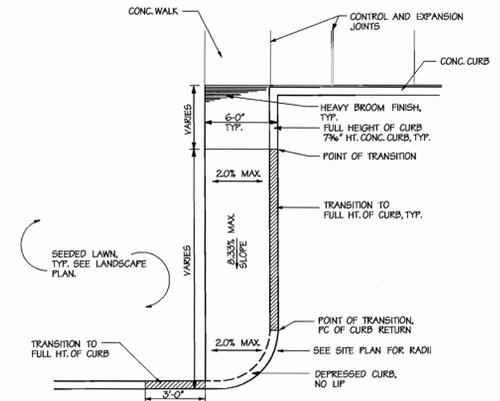
**D** Handicap Parking Space  
Not To Scale



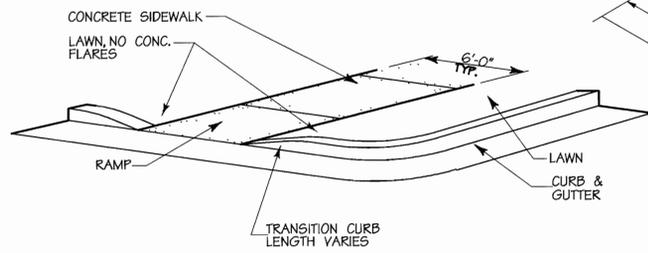
**G** Handicap Parking Signs  
Not To Scale



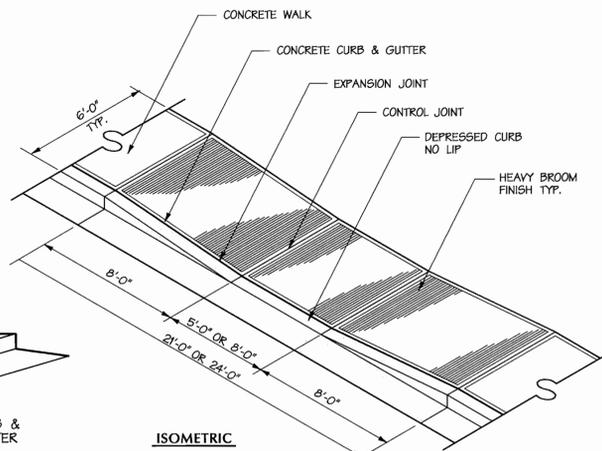
**J** Concrete Walk  
Not To Scale



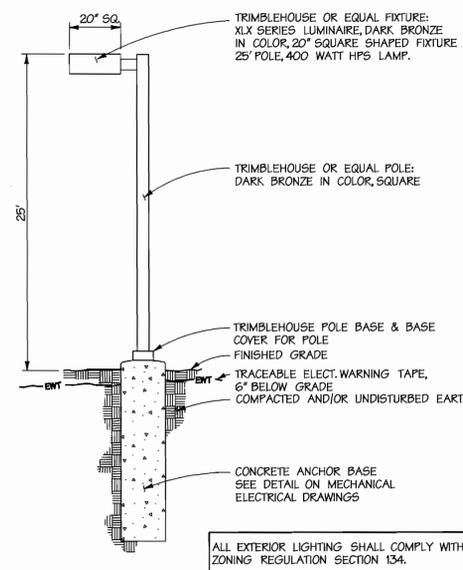
**L** Handicap Ramp -C  
Not To Scale



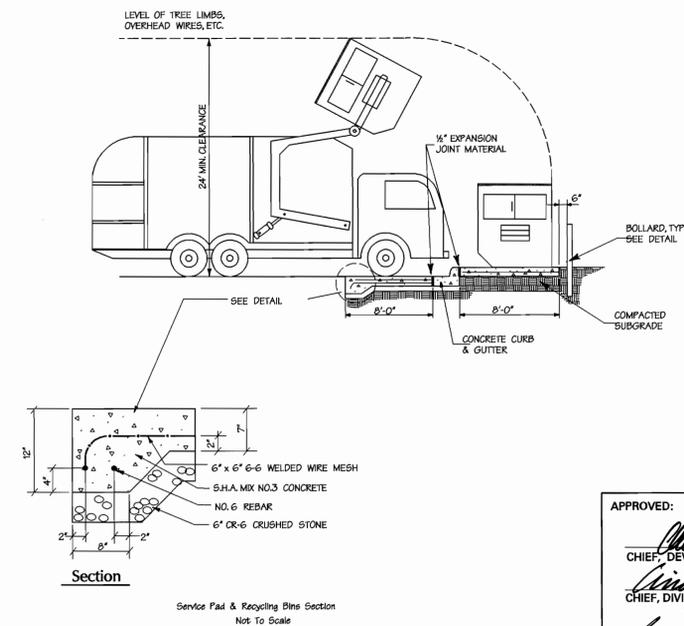
**B** Type "A" Sidewalk Ramp  
Not To Scale



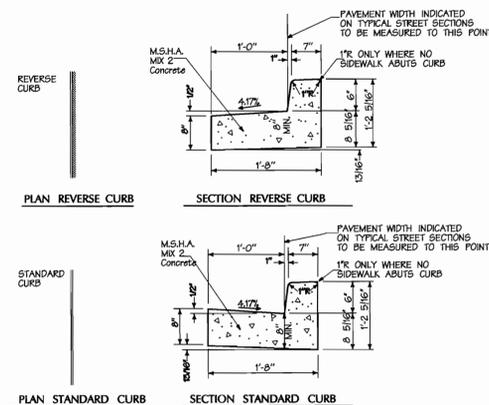
**E** Type "B" Handicap Ramp  
Not To Scale



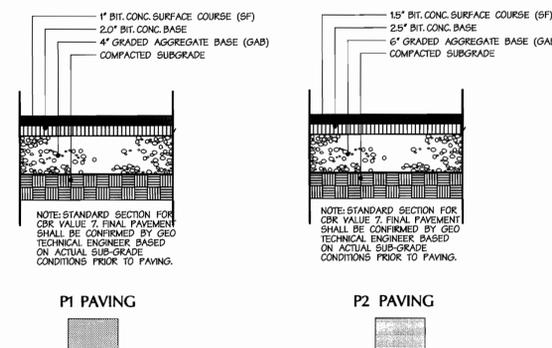
**H** Sharp Cutoff Area Light  
Not To Scale



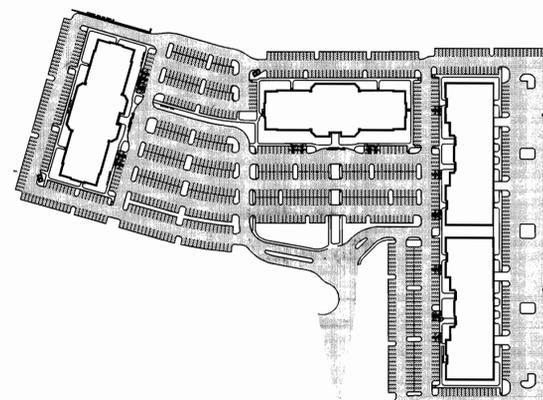
**K** Service Pad & Dumpster Bin  
Not To Scale



**C** Concrete Curb, Typical  
Not To Scale



**F** Paving  
Not To Scale



**I** Paving Plan  
Not To Scale

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MKJ 5/21/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT 5/21/01  
 DIRECTOR 6/1/01

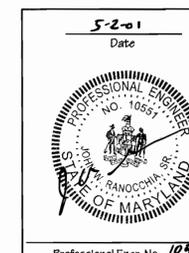
APPROVED  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 DATE March 8, 2001

Date	No.	Revision Description

**Columbia Gateway Parcel Q4**

OWNER: The Howard Research and Development Corporation  
 DEVELOPER: AAK, IV, LLC

**DMW**  
 Darr McCreary-Walker, Inc.  
 200 East Pennsylvania Avenue  
 Towson, Maryland 21286  
 (410) 286-2523  
 Fax: 286-4706

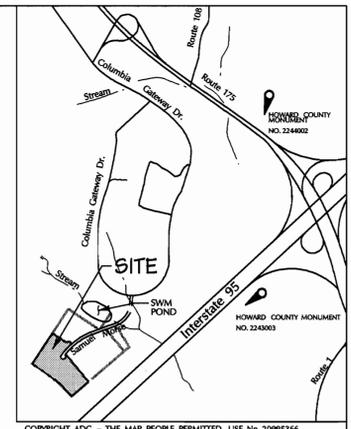
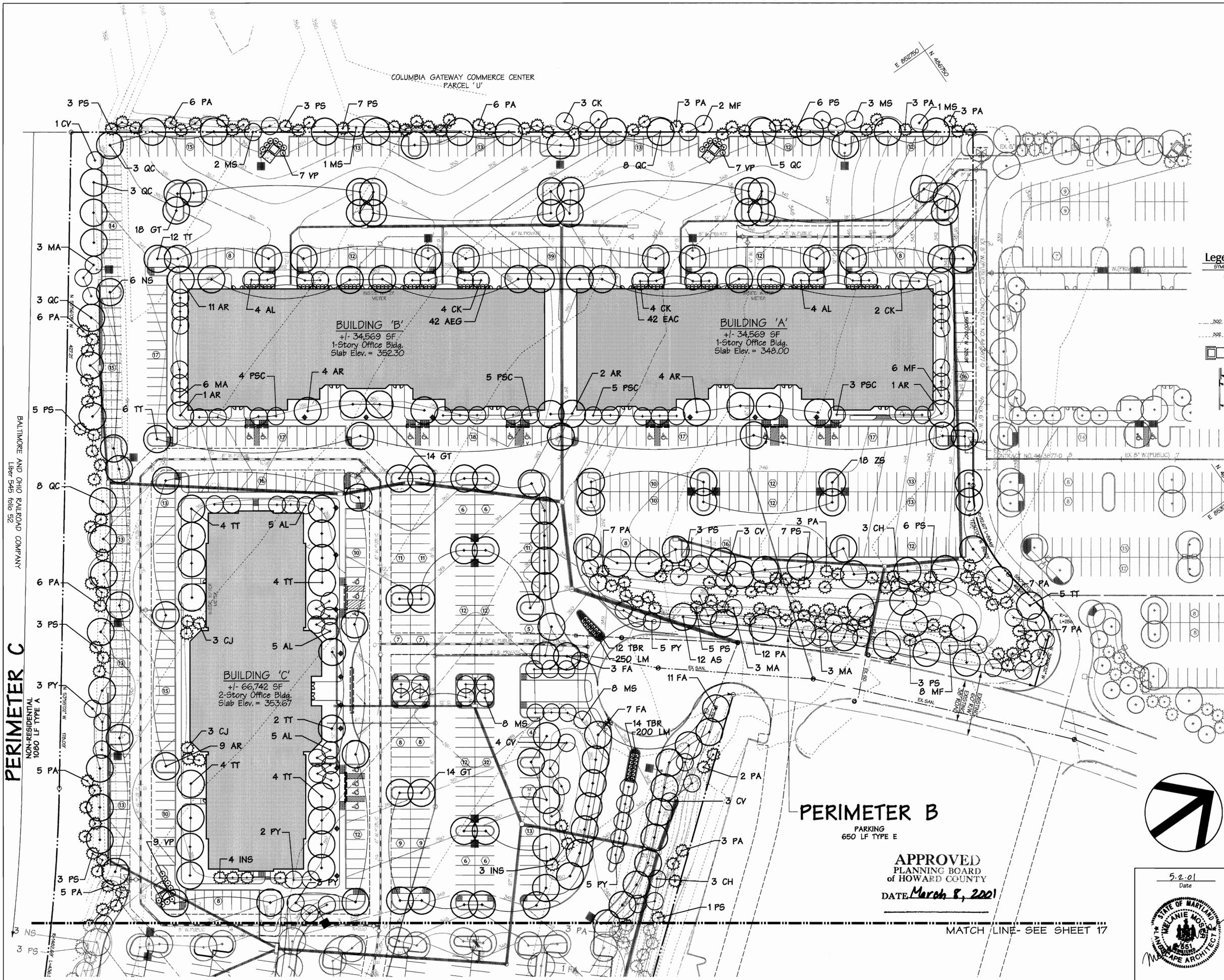


SUBDIVISION NAME	SECTION/NA	LOT/PARCEL #
COLUMBIA GATEWAY	NA	Q4

PLAT FOR LIP	BLOCK	ZONE	TAXZONE MAP	ELECT. DISTRICT	CENSUS TRACT
14-779-1	12 & 7	NTM-4	42-43	6	6067.03

WATER CODE	POWER CODE
E06	4900000

Des By	Scale	Proj. No.
ADL	AS SHOWN	00089



**Legend**

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
---	BUILDING RESTRICTION LINE	---	EXISTING SEWER
○	PARKING COUNT	---	EXISTING STORM DRAIN
♿	VAN HANDICAPPED PARKING	---	EXISTING WATER
♿	HANDICAPPED PARKING	---	PROPOSED STORM DRAIN
---	EXISTING 10' CONTOUR	---	PROPOSED SEWER
---	EXISTING 2' CONTOURS	---	PROPOSED WATER
□	SERVICE PAD & DUMPSTER BIN	○	PROPOSED LIGHT
---	REVERSE CURB & GUTTER	○	PROPOSED PLANTING
---	DEPRESSED CURB	○	EXISTING PLANTING
---	STANDARD CURB & GUTTER	◆	PROPOSED PATH LIGHT (SEE DETAIL SHEET 18)

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*W. D. ...* 5/2/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

*...* 5/2/01  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*...* 6/1/01  
DIRECTOR DATE

Date	No.	Revision Description

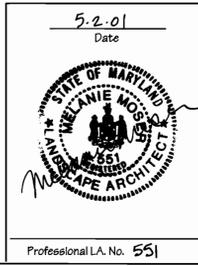
**Columbia Gateway Parcel Q4**

**OWNER:**  
The Howard Research and Development Corporation  
10275 Little Patuxent Parkway  
Columbia, Maryland 21044

**DEVELOPER:**  
AAK IV, LLC  
8808 COLUMBIA 100 PKWY  
SUITE 101  
COLUMBIA, MD 21045

**DMW**  
Duff-McCune-Walker, Inc.  
300 East Pennsylvania Avenue  
Potosi, Maryland 21286  
(410) 296-3333  
Fax 296-4705

A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

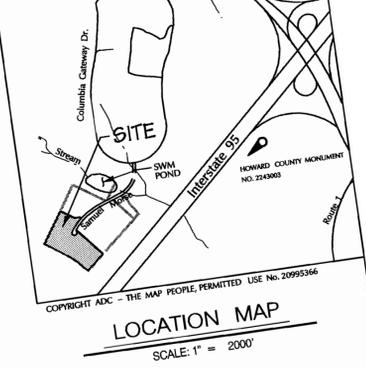
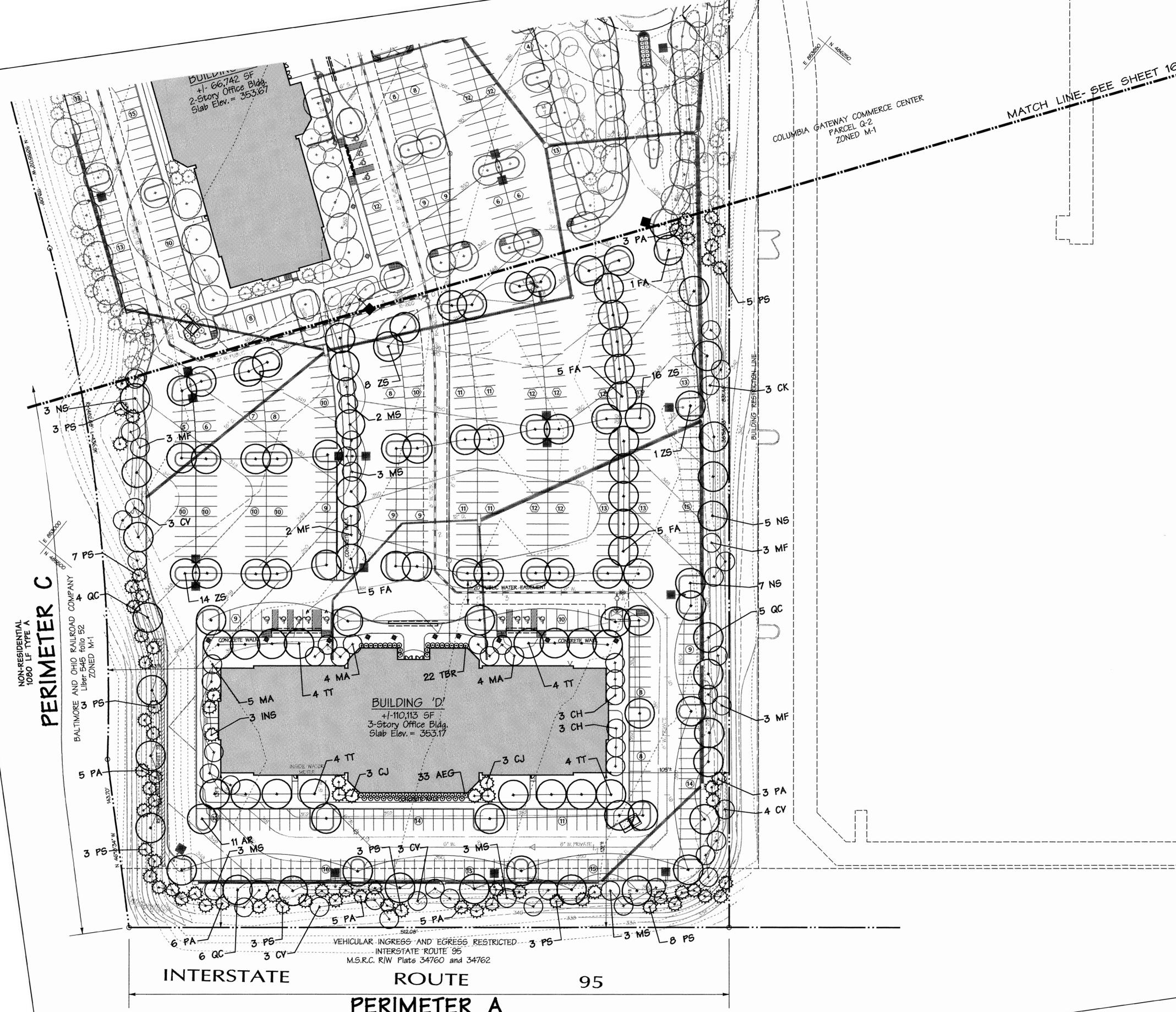


TITLE	Landscape Plan		
Des By	FWK	Scale	1" = 40'
Drn By	FWK	Date	4-12-01
Chk By	MM	Approved	16 OF 19

SECTION NAME	COLUMBIA GATEWAY	SECTION AREA	NA	LOTPARCEL #	Q4
PLAT OR LF	14759	BLOCK #	ZONE	TAXING MAP	ELECT. DISTRICT
WATER CODE	ED6	SEWER CODE	4900000	CENSUS TRACT	6067.03

APPROVED  
PLANNING BOARD  
of HOWARD COUNTY  
DATE March 8, 2001

MATCH LINE - SEE SHEET 17



**APPROVED**  
 PLANNING BOARD  
 of HOWARD COUNTY  
 DATE March 8, 2001

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION MK 5/21/01  
 DATE

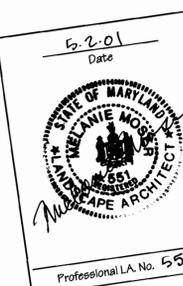
CHIEF, DIVISION OF LAND DEVELOPMENT 5/30/01  
 DATE

DIRECTOR 4/1/01  
 DATE

**Columbia Gateway Parcel Q4**

OWNER: The Howard Research and Development Corporation  
 10275 Little Patuxent Parkway  
 Columbia, Maryland 21044

DEVELOPER: AAK IV, LLC  
 8802 COLUMBIA 100 PKWY  
 SUITE 101  
 COLUMBIA, MD 21045



Date	No.	Revision Description

**DMW**  
 Dean McCune-Walken, Inc.  
 200 East Pennsylvania Avenue  
 Towson, Maryland 21286  
 (410) 296-3333  
 Fax 296-4705

A Team of Land Planners  
 Landscape Architects  
 Engineers, Surveyors &  
 Environmental Professionals

PROJECT NAME: COLUMBIA GATEWAY  
 PLAT OR LOT: 12 & 7  
 BLOCK # ZONE: 12 & 7  
 INTERSECTION: N/A  
 TOWNSHIP MAP: 42-43  
 ELECT. DISTRICT: 6  
 SEWER CODE: 4900000  
 WATER CODE: E06

TITLE: **Landscape Plan**

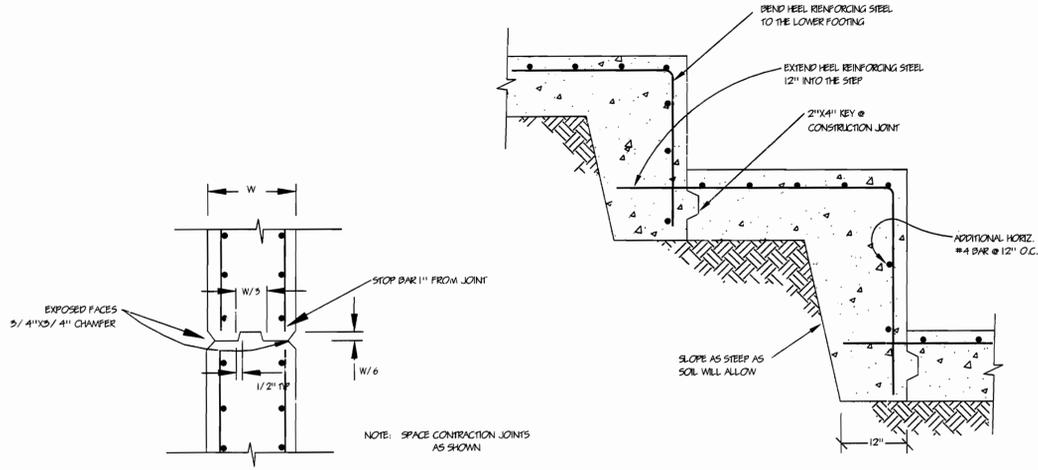
Des By: FWK  
 Dwn By: FWK  
 Chk By: MM

Scale: 1" = 40'  
 Date: 4-12-01  
 Approved: [Signature]

Proj. No. 0007  
 17 OF

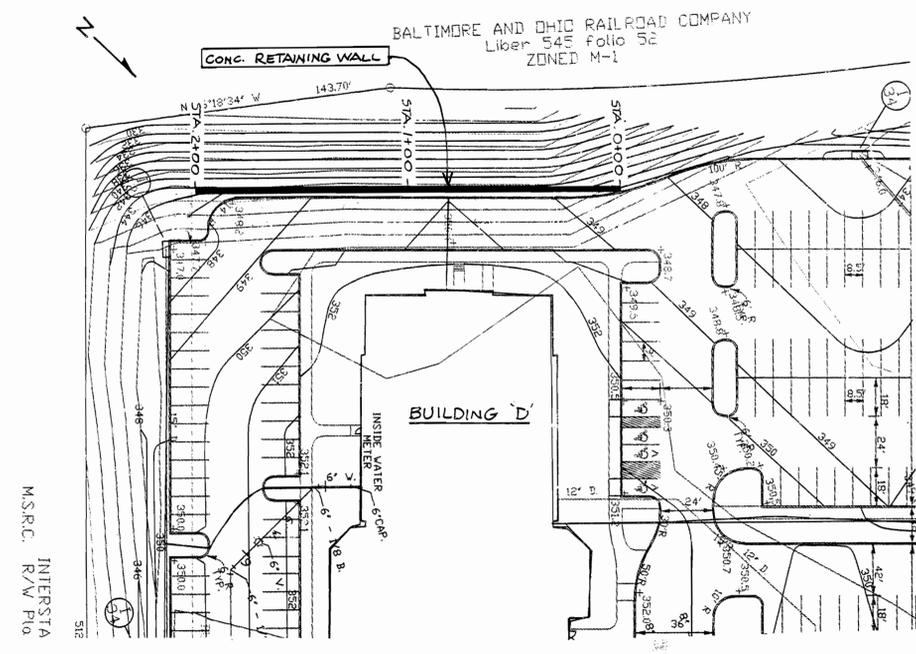
Professional L.A. No. 551



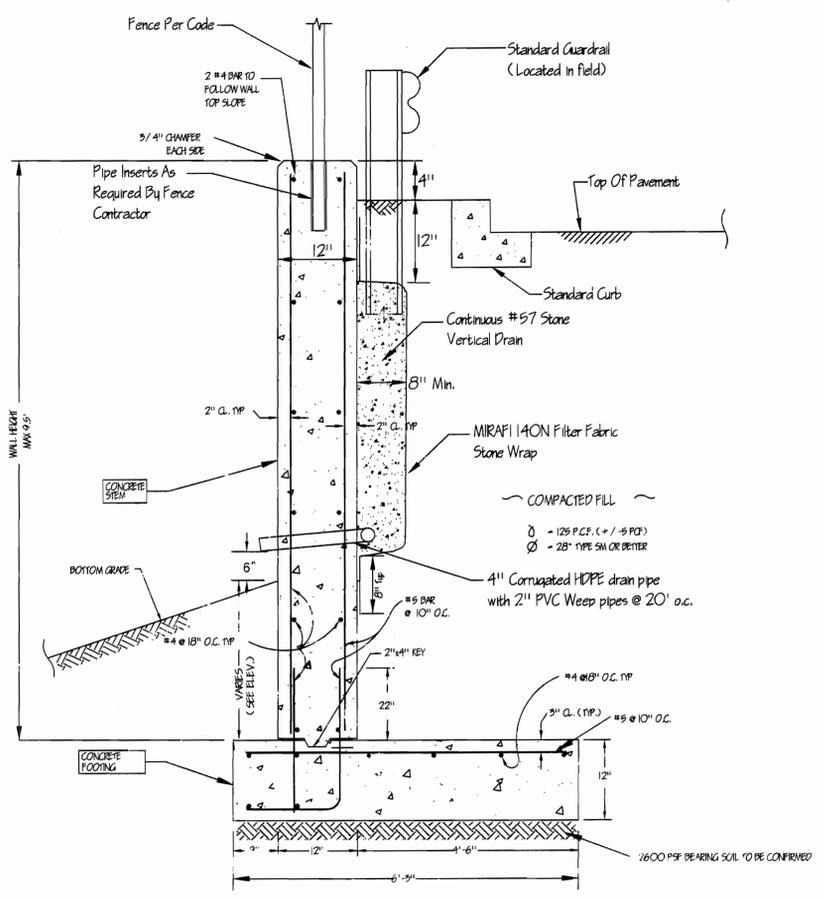


**WALL STEM VERTICAL CONTRACTION JOINT C.J. DETAIL**  
NOT TO SCALE

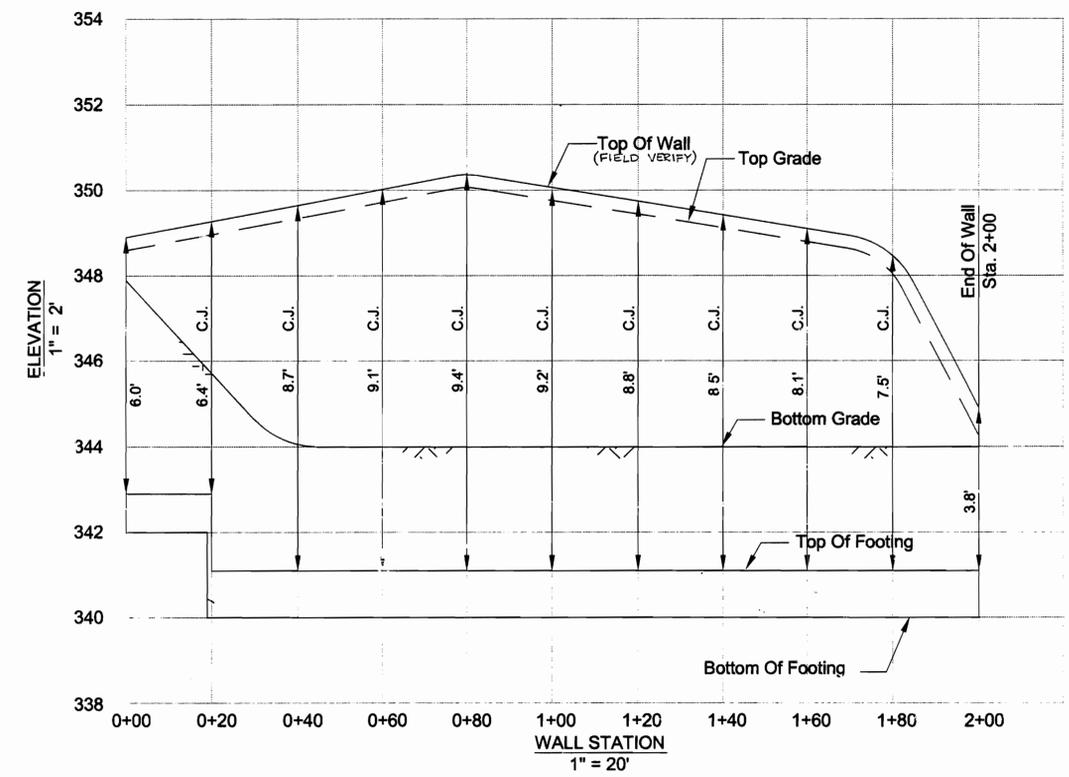
**WALL STEP DETAIL**  
NOT TO SCALE



**WALL LOCATION PLAN**  
1" = 40'



**WALL SECTION**  
NOT TO SCALE



**WALL ELEVATION**  
1" = 20'

- NOTES:**
- 1.) ALL RETAINING WALL CONCRETE SHALL BE 4000 PSI WITH AIR ENTRAINMENT.
  - 2.) REINFORCING STEEL SHALL CONFORM TO ASTM A-615 GRADE 60.
  - 3.) WALL BACKFILL SHALL BE COMPACTED TO 95% OF T-99.
  - 4.) CONCRETE WORK SHALL COMPLY WITH THE LATEST ACI 318 BUILDING CODE FOR CONCRETE STRUCTURES.
  - 5.) ALL REBAR SPLICES NOT SHOWN SHALL BE A MINIMUM 40 BAR DIAM.
  - 6.) ALL WALL EXPOSED SURFACES SHALL BE MORTAR PATCHED AND SACK-RUBBED FINISHED WITH GROUT AND BURLAP.

**APPROVED**  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE March 8, 2001

Approved:	Howard County Department of Planning & Zoning	Date	5/21/01
Chief, Development Engineering Division	MK	Date	5/21/01
Chief, Development of Land Development	7/Date	Date	6/1/01
Director	7/Date	Date	

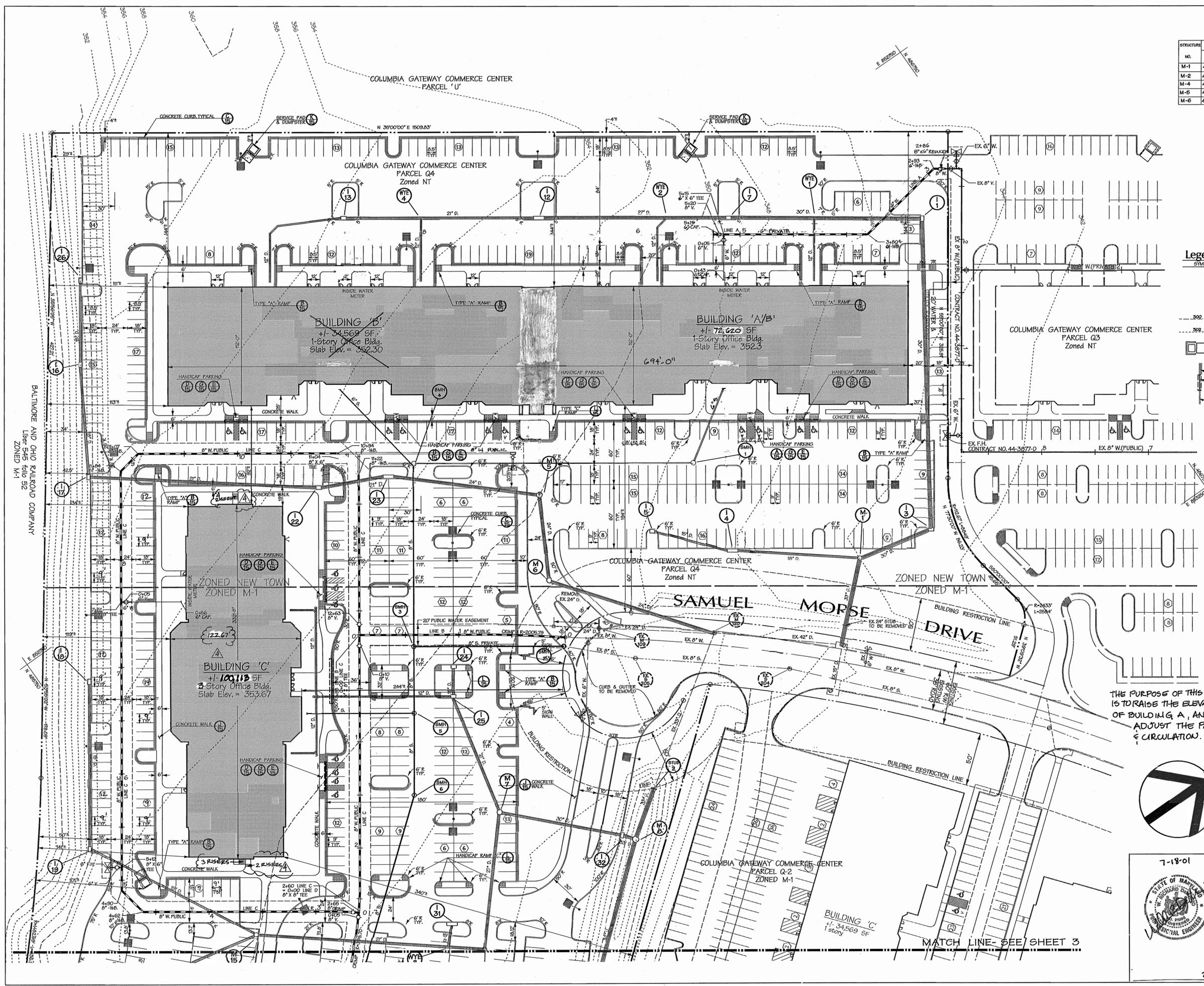
Date No. Revision Description  
**COLUMBIA GATEWAY PARCEL Q4**  
OWNER: DEVELOPER  
The Howard Research and Development Corporation, 8805 Columbia 100 Pkwy, Suite 101, Little Paxson, Pkwy, Columbia, Maryland 21044

**RETAINING WALL DETAILS**  
**Daft, McCune & Walker, Inc.**  
200 East Pennsylvania Avenue  
Towson, MD 21286  
**Hillis-Carnes Engineering Associates, Inc.**  
12011 Guilford Road Suite 106  
Annapolis Junction, Maryland 20701

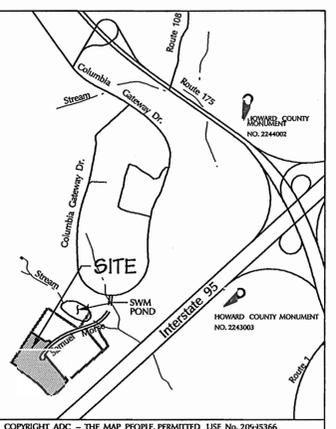
Date	10/13/00	Design By	RWS
Project #	00440-A	Drawn By	AM
File Name	J/cad/hcea/00440-A	Checked By	RMH

DIVISION NAME	COLUMBIA GATEWAY	SECTION AREA	NA	LIT/PARCEL#	Q4
PLAN OR LP	NA	BLK/BLK #	NA	ELECT DISTRICT	G
DATE	12/8/00	INTERVAL	10'-0"	CENSUS TRACT	6067.03
WATER CODE	ED6	SEWER CODE	4900000		





STRUCTURE NO.	COORDINATES	
	NORTH	EAST
M-1	486446.70	853119.1
M-2	486680.30	852891.7
M-4	486580.7	852897.5
M-5	486244.8	852892.2
M-6	486198.7	852909.0



LOCATION MAP  
SCALE: 1" = 2000'

**Legend**

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
—	BUILDING RESTRICTION LINE	⊙	STORM DRAIN STRUCTURE LABEL
⊙	PARKING COUNT	---	EXISTING SEWER
♿	VAN HANDICAPPED PARKING	---	EXISTING STORM DRAIN
♿	HANDICAPPED PARKING	---	EXISTING WATER
---	EXISTING 10' CONTOUR	---	PROPOSED STORM DRAIN
---	EXISTING 2' CONTOURS	---	PROPOSED SEWER
□	SERVICE PAD & DUMPSTER BIN	---	PROPOSED WATER
⊙	REVERSE CURB & GUTTER	⊙	PROPOSED LIGHT
---	DEPRESSED CURB		
---	STANDARD CURB & GUTTER		

**APPROVED**  
PLANNING BOARD  
of HOWARD COUNTY  
DATE: March 8, 2001

The revisions indicated were determined by the DPE to be minor and do not require re-approval by the Planning Board.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	
<i>Chad DeWitt</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	7/3/01 DATE
<i>Cindy Gardner</i> CHIEF, DIVISION OF LAND DEVELOPMENT	8/2/01 DATE
<i>Paul Ruth</i> DIRECTOR	8/2/01 DATE

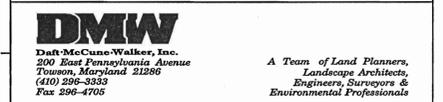
Date	No.	Revision Description
7-20-01	1	SUBSTITUTION SHEET
8-6-01	2	RAISED BLDG. ELEVATION "A" AND ADJUSTED PARKING AND CIRCULATION
9-29-03	3	MERGE BLDGS A&B TO BLDG. C
6-6-05	4	EDIT BLDG 'C' DIMENSION STAIR DETAILS

THE PURPOSE OF THIS REVISION IS TO RAISE THE ELEVATION OF BUILDING A, AND TO ADJUST THE PARKING & CIRCULATION.

**Columbia Gateway Parcel Q4**

OWNER: The Howard Research and Development Corporation  
10275 LINDSEY PARKWAY  
COLUMBIA, MARYLAND 21044

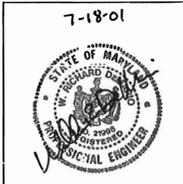
DEVELOPER: AAK, IV, LLC  
8825 COLUMBIA 100 PKWY  
COLUMBIA, MD 21045



SUBDIVISION NAME: COLUMBIA GATEWAY	SECTION: NA	LOT/PARCEL #: Q4
PLAT OR REF: 136617	BLOCK # ZONE: 12 & 7 INTAM	TAXPONE MAP: 42-43
WATER CODE: E06	SEWER CODE: 4900000	CENSUS TRACT: 6067.03

TITLE: Revised Site Plan

Des By: RBW	Scale: 1"=40'	Proj. No.: 00089
Drn By: ADL	Date: 6-12-01	
Chk By: Approved		2 OF 19



Sheet Index

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1	Cover Sheet
2	Site Plan
3	Site Plan
4	Grading Plan
5	Grading Plan
6	Storm Drain Profiles
7	Storm Drain Profiles
8	Storm Drain Profiles
9	Utility Profiles
10	Utility Profiles
11	Drainage Area Map & Sediment Control Plan
12	Drainage Area Map & Sediment Control Plan
13	Erosion & sediment Control Details
14	Erosion & sediment Control Details
15	Site Details
16	Landscape Plan
17	Landscape Plan
18	Landscape Notes & Details
19	Retaining Wall Details

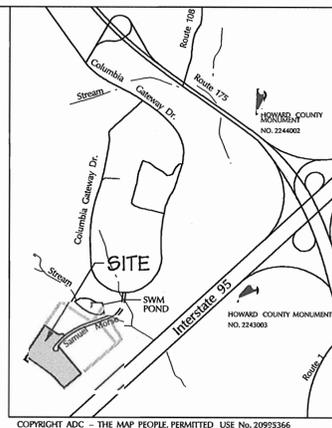
# SITE DEVELOPMENT PLAN

for

## Gateway Commerce Center

### Columbia Gateway, Parcel Q4

#### Howard County, Maryland



LOCATION MAP

SCALE: 1" = 2000'

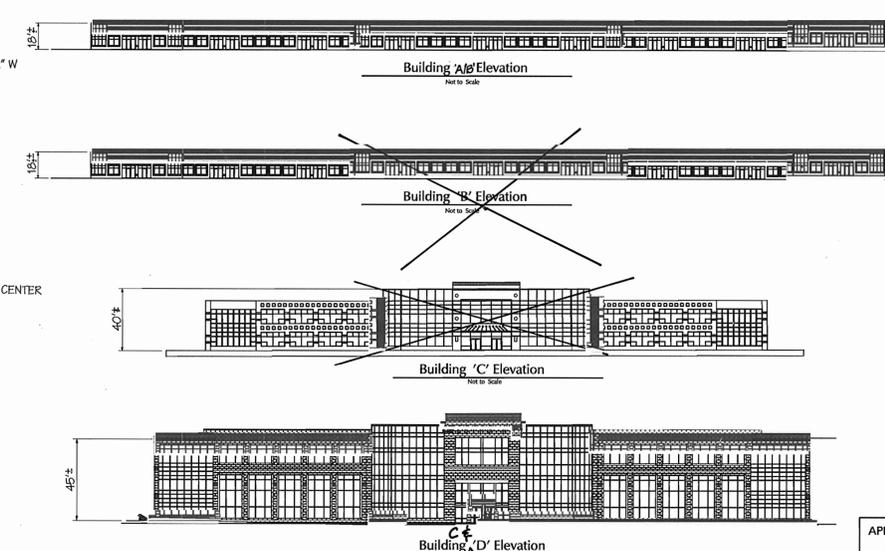
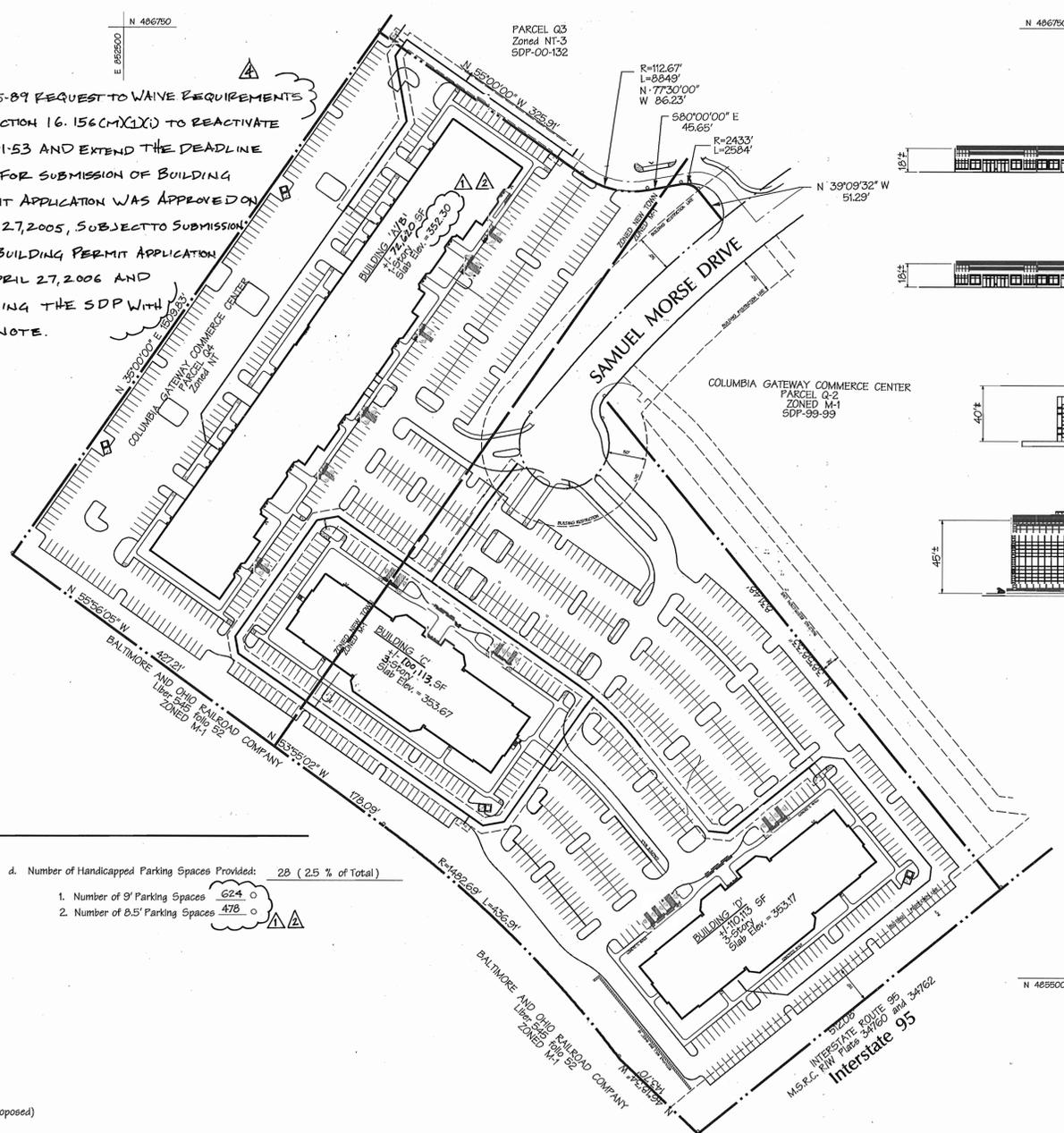
**BENCHMARK**

DESCRIPTION
NO. 2244002 - HOWARD COUNTY MONUMENT
NO. 2243005 - HOWARD COUNTY MONUMENT

**General Notes**

- All construction shall be performed in accordance with the latest standards and specifications of Howard County, plus MSHA standards and specifications if applicable or as specified.
- Approximate location of existing utilities are based solely on available records. Contractor shall verify the location of any utilities which may be impacted by the work. The contractor shall take all necessary precautions to protect the existing utilities and maintain uninterrupted service. Any damage incurred due to contractor's operation shall be repaired immediately at the contractor's expense.
- The contractor shall test pit existing utilities at least five (5) days before starting work shown on these drawings to verify their location and elevation. The contractor shall notify the engineer immediately if location of utilities is other than shown.
- The contractor shall notify 'Miss Utility' at 1-800-257-7777 at least 48 hours prior to any excavation work being done, and shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection Division at (410) 313-1800 at least five (5) working days prior to the start of work.
- Traffic control devices, markings, and signing shall be in accordance with the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
- Any damage caused by the Contractor to existing public right-of-way, existing paving, existing curb and gutter, existing utilities, etc., shall be repaired at the Contractor's expense.
- The existing topography inside property line per mass grading as shown on GP-99-15
- All hydraulic data is for the 10-year storm unless otherwise noted.
- All fill areas shall be compacted to a minimum of 95% of the maximum dry density as determined and verified in accordance with AASHTO T-100.
- All plan dimensions are to face of curb unless otherwise noted. Numerically written dimensions take precedence over scaled dimensions.
- The coordinates shown herein are based upon the Howard County geodetic control which is based upon the Maryland State plane coordinate system. Howard County monument nos. 2243003 and 2244002 were used for this project.
- Stormwater management quantity and quality control in a regional facility on Parcel A-77 under contract F-97-98
- Public water (Contract # 24-39320) and Public sewer (Contract # 24-39320) to service the site.
- There are no 100 year floodplain or wetlands on this site.
- There are no known cemeteries or burial grounds on this site.
- A traffic report update has been prepared by Wells & Associates, dated May, 2000.
- Exterior Lighting will be in conformance with Section 134, Zoning Regulations
- Electric, gas, cable and telephone lines designed by others.
- This Site is exempt from Forest Conservation Ordinance in accordance with Section 16.1202(h)(1)(v).
- REF. WP-04-03 REQUEST WAIVER OF SECTION 16.156.M.1.(i) TO REACTIVATE SDP 01-53 AND EXTEND THE DEADLINE DATE FOR SUBMISSION OF BUILDING PERMIT APPLICATIONS. APPROVED 8-15-03, SUBJECT TO SUBMISSION OF BUILDING PERMITS FOR BLDG. C & D BY 8-15-04, AND REVISING THE SDP WITH THIS NOTE.

21. WP-05-09 REQUEST TO WAIVE REQUIREMENTS OF SECTION 16.156(M)(IX) TO REACTIVATE SDP-01-53 AND EXTEND THE DEADLINE DATE FOR SUBMISSION OF BUILDING PERMIT APPLICATION WAS APPROVED ON APRIL 27, 2005, SUBJECT TO SUBMISSION OF A BUILDING PERMIT APPLICATION BY APRIL 27, 2006 AND REVISING THE SDP WITH THIS NOTE.



**Address Chart**

Bldg.	Street Address
A/B	7090 Samuel Morse Drive
B	7100 Samuel Morse Drive
C	7110 Samuel Morse Drive
D	7120 Samuel Morse Drive

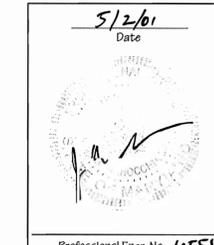
**Site Analysis Data Chart**

- General Site Data
  - Present Zoning: M-1 & NT-EMPLOYMENT
  - Applicable DPZ File References: GP-99-15, F-99-34, F-01-02, WP-04-03, F-99-22, S-94-44, S-95-29, F-96-127, F-96-182, WP-98-130, WP-01-08
  - Proposed Use of Site or Structure(s): Buildings A, B, C & D - Office Buildings
  - Proposed Water: Public - 24-39320 Proposed Sewer: Private - 24-39320
- Area Tabulation
  - Total Project Area: 191± A.C.
  - Net Area of Site: 191± A.C. (Indicate by Section and Area As Shown on Final Plat) Acres
  - Area of This Plan Submission: 191± A.C. Acres
  - Limit of Disturbed Area: 18.8± A.C.
  - Building Coverage of Site: 3.5± A.C. Acres and 17.5 % of Gross Area (Proposed)
- Open Space Data: N/A
- Parking Space Data
  - Floor Space per floor of proposed use on site: Bldg. A/B 72,620 SF; Bldg. C 34,660 SF; Bldg. D 110,113 SF. 1st floor 33,371 sf, 2nd floor 33,371 sf, 3rd floor 33,371 sf. Total: 245,933 sf. Building A/B floor 1: 72,620 SF; Building C floor 1: 33,371 sf, floor 2: 33,371 sf; Building D floor 1: 36,704 sf, floor 2: 36,704 sf, floor 3: 36,704 sf.
  - Number of Parking Spaces Required by Zoning Regulations: 934 (232,840 SF / 3.3 per 1000)
  - Total Number of Parking Spaces Provided On-Site: 1095
- Number of Handicapped Parking Spaces Provided: 28 (2.5 % of Total)
  - Number of 9' Parking Spaces: 624
  - Number of 8.5' Parking Spaces: 478

**Overall Property Outline**

Scale: 1"=100'

March 8, 2001



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

Chief, Development Engineering Division MK	5/2/01
Chief, Division of Land Development HB	5/20/01
Director	6/1/01

Date	No.	Revision Description
6-25-01	1	RAISE SLAB EL. OF BLDG. A.
8-6-01	2	MERGE BLDGS. A & B TO A/B
9-29-03	3	ADD 3RD FLOOR TO BLDG. C
6-6-05	4	ADD WAIVER PETITION NOTE

**Columbia Gateway Parcel Q4**

<b>OWNER:</b> The Howard Research and Development Corporation 10275 Little Patuxent Parkway Columbia, Maryland 21044	<b>DEVELOPER:</b> AAK IV, LLC 8005 COLUMBIA 100 PKWY SUITE 101 COLUMBIA, MD 21045
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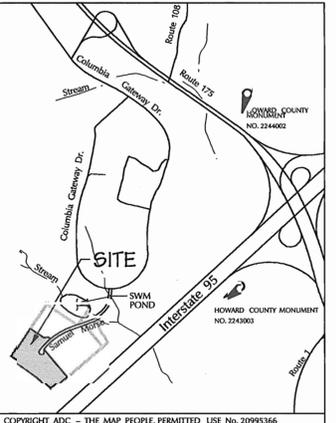
**DMW**  
Daft McCune-Walker, Inc.  
200 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 396-3333  
Fax 296-4705

A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

SUBDIVISION NAME: COLUMBIA GATEWAY	SECTION: NA	LOT/PARCEL #: Q4
PLAT OR MAP NO.: 17/91	BLOCK & TRACT: 12 & 7 NT&M-6	ELECT. DISTRICT: 6
WATER CODE: E06	SEWER CODE: 4900000	GENUS TRACT: 6067.03

**Cover Sheet**

Des By: MM	Scale: 1"=100'	Proj. No.: 00089
Drn By: ADL & BKC	Date: 4-12-01	
Chk By:	Approved:	1 OF 19

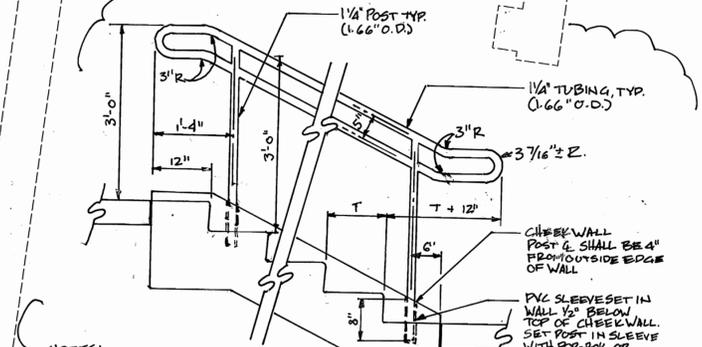


STRUCTURE NO.	COORDINATED NORTH	COORDINATED EAST
M-7	480253.7	882142.0
M-8	480122.60	885212.80
M-10	480197.20	885181.80
M-11	486947.4	882281.1

LOCATION MAP  
SCALE: 1" = 200'

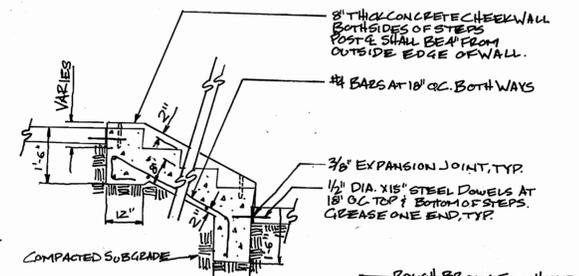
**Legend**

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
---	BUILDING RESTRICTION LINE	(15)	STORM DRAIN STRUCTURE LABEL
(P)	PARKING COUNT	---	EXISTING SEWER
(V)	VAN HANDICAPPED PARKING	---	EXISTING STORM DRAIN
(H)	HANDICAPPED PARKING	---	EXISTING WATER
---	EXISTING 10' CONTOUR	---	PROPOSED STORM DRAIN
---	EXISTING 2' CONTOURS	---	PROPOSED SEWER
[ ]	SERVICE PAD & DUMPSTER BIN	---	PROPOSED WATER
[ ]	REVERSE CURB & GUTTER	(C)	PROPOSED LIGHT
[ ]	DEPRESSED CURB		
[ ]	STANDARD CURB & GUTTER		

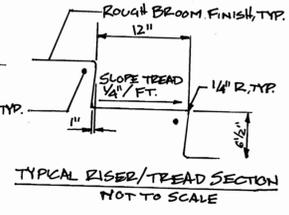


NOTES:  
 1. RAILING SHALL BE PRIMED & PAINTED BLACK CARBON STEEL TUBING ASTM-A53 TYPE 5. GRADE A, 2" HEADS 40, NPS SIZE DESIGNATION.  
 2. ALL WELDS SHALL BE FULL SECTION, GROUND SMOOTH.  
 3. RADEAL SPACING: 2'-6" O.C. MIN, 4' O.C. MAX.  
 4. RAILING SHALL COMPLY WITH 1970 BOCA CODE, SECTIONS 822.0 & 1109.8

**RAILING**  
NOT TO SCALE



NOTE:  
ALL STEPS SHALL BE 5' WIDE.



**CONCRETE STEPS**  
NOT TO SCALE



BALTIMORE AND OHIO RAILROAD COMPANY  
LIBER 545 FOLIO B2  
ZONED M-1

INTERSTATE ROUTE 95  
VEHICULAR INGRESS AND EGRESS RESTRICTED  
INTERSTATE ROUTE 95  
M.S.R.C. R/W Plats 34760 and 34762

INTERSTATE ROUTE 95  
M.S.R.C. R/W Plats 34760 and 34762

APPROVED  
DATE: March 8, 2001

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 Chief, Development Engineering Division MK  
 Chief, Division of Land Development  
 Director

Date	No.	Revision Description
6/6/01	7	ADD STAIR RAILING DETAILS.

**Columbia Gateway Parcel Q4**

OWNER: The Howard Research and Development Corporation  
 DEVELOPER: AAK IV, LLC

**DMW**  
 Darl McCune-Walker, Inc.  
 200 East Pennsylvania Avenue  
 Poolesville, Maryland 21780  
 (410) 296-3333  
 Fax 296-4705

SUBDIVISION NAME	SECTION	LOT/PARCEL #
COLUMBIA GATEWAY	NA	Q4

**Site Plan**

Des By	RBW	Scale	1" = 40'	Proj. No.	00089
Drn By	ADL	Date	4-12-01	Chk By	Approved
			3 OF 19		

