

SHEET INDEX	
No.	DESCRIPTION
1	TITLE SHEET
2	EXISTING CONDITIONS/DEMOLITION PLAN
3	SITE DEVELOPMENT PLAN
4	GRADING, SEDIMENT CONTROL & DRAINAGE AREA MAP
5	PROFILES AND DETAILS
6	DETAILS AND NOTES
7	LANDSCAPE PLAN

SITE DEVELOPMENT PLAN

THE SHOPPES AT DOBBIN WAY

COLUMBIA AUTO PARK

SECTION 1, AREA 1 PARCEL L-3

6th ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY RIEMER MUEGGE & ASSOCIATES DATED JUNE 2000.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 36CR07 AND 36BR02 WERE USED FOR THIS PROJECT.
- WATER IS PUBLIC. CONTRACT NO. 24-1317-D
- SEWER IS PUBLIC. SEWER DRAINAGE AREA: PATUXENT CONTRACT NO. 24-1317-D
- STORMWATER MANAGEMENT FOR THIS SITE IS PROVIDED BY THE EXISTING 5 INFILTRATION TRENCHES CONSTRUCTED UNDER SDP-85-56C. THE IMPERVIOUS AREA PROPOSED AS A RESULT OF THIS DEVELOPMENT WILL BE LESS THAN THE EXISTING IMPERVIOUS AREAS CONSTRUCTED UNDER SDP-85-56C.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- NO 100-YEAR FLOODPLAIN IMPACTS THIS PROJECT.
- NO WETLANDS IMPACT THIS PROJECT.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY LEE CUNNINGHAM & ASSOC. DATED WITH ADDENDUM DATED AND WAS APPROVED ON BY THE DEVELOPMENT ENGINEERING DIVISION.
- NO NOISE STUDY IS REQUIRED.
- NO GEOTECHNICAL STUDY FOR STORMWATER MANAGEMENT IS NEEDED FOR THIS PROJECT.
- THE BOUNDARY SURVEY FOR THIS PROJECT IS BASED ON RECORD PLAT 6558.
- SUBJECT PROPERTY ZONED NT PER 10-18-93 COMPREHENSIVE ZONING PLAN.
- ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
- SEE DEPARTMENT OF PLANNING AND ZONING FILE NO'S. SDP-85-56C, F-79-51C, F-01-86.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD.
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE.
- ALL STORM DRAIN PIPE BEDDING SHALL BE CLASS "C" AS SHOWN IN FIG. 11.4, VOLUME 1 OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE NOTED.
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- STORM DRAIN TRENCHES WITHIN ROAD RIGHT OF WAY SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.E., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, LATEST AMENDMENTS.
- PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T180.

REVISION 3 DEVELOPER
AUTOZONE, INC.
 123 SOUTH FRONT ST.
 MEMPHIS, TN 38103
 901-495-6944

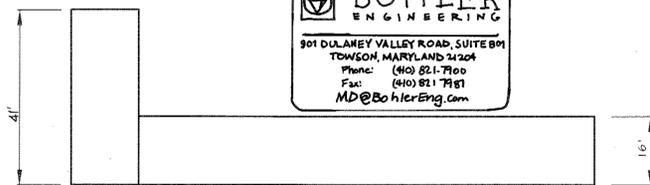
OPERATION AND MAINTENANCE SCHEDULE FOR STORMCEPTOR WATER QUALITY DEVICE

- Stormceptor water quality structures will require periodic inspection and cleaning to maintain operation and function. Owners will have the Stormceptor unit inspected yearly or as required by Howard County, utilizing the Stormceptor Inspection/Monitoring Form. Inspections can be done by using a clear Plexiglas tube ("sludge judge") to extract a water column sample. When sediment depths exceed the specified level (Table 6 of Technical Manual) then cleaning of the unit is required.
- Stormceptor water quality structures must be checked and cleaned immediately after petroleum spills. Contact appropriate regulatory agencies.
- Maintenance of Stormceptor units should be done by a vacuum truck which will remove the water, sediment, debris, floating hydrocarbons, and other materials in the unit. The proper cleaning and disposal of the removed materials and liquid must be followed.
- Inlet and outlet pipes must be checked for any obstructions and if any obstructions are found they must be removed. Structural parts of the Stormceptor will be repaired as needed.
- Owner shall retain and make Stormceptor Inspection/Monitoring Forms available to Howard County officials upon their request.

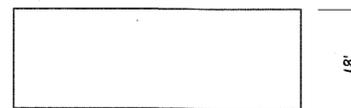
OPERATION AND MAINTENANCE SCHEDULE FOR INFILTRATION TRENCHES

- THE MONITORING WELLS AND STRUCTURES SHALL BE INSPECTED ON A QUARTERLY BASIS AND AFTER EVERY LARGE STORM EVENT.
- WATER LEVELS AND SEDIMENT BUILD UP IN THE MONITORING WELLS SHALL BE RECORDED OVER A PERIOD OF SEVERAL DAYS TO INSURE DRY WELL DRAINAGE.
- A LOG BOOK SHALL BE MAINTAINED TO DETERMINE THE RATE AT WHICH THE FACILITY DEWATERS.
- WHEN THE FACILITY BECOMES CLOGGED SO THAT IT DOES NOT DRAIN DOWN WITHIN THE 72 HOUR TIME PERIOD, CORRECTIVE ACTION SHALL BE TAKEN.
- THE MAINTENANCE LOG BOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.
- ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION FACILITY HAVE BEEN VARIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.

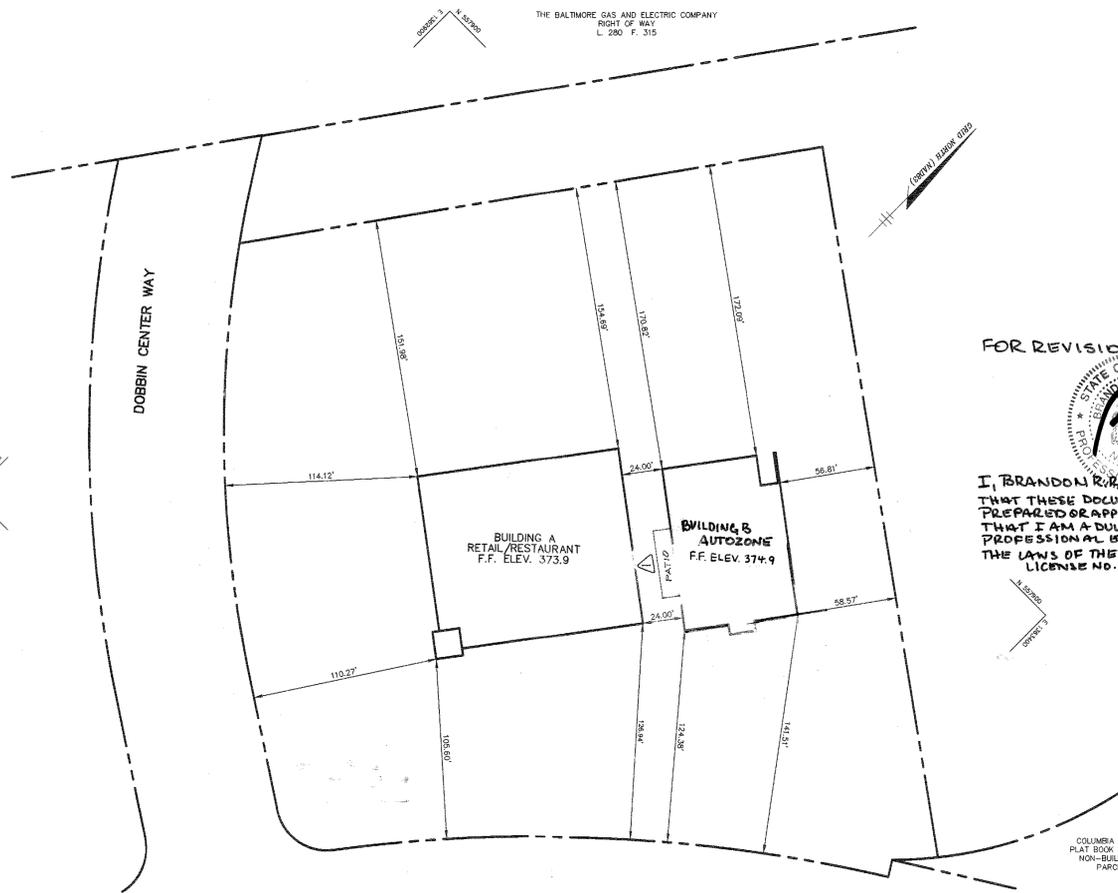
FOR REVISION 3 ONLY
BOHLER ENGINEERING
 901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21286
 Phone: (410) 821-7100
 Fax: (410) 821-7181
 MD@BohlerEng.com



BUILDING A ELEVATION
SCALE: 1"=20'



BUILDING B ELEVATION
SCALE: 1"=20'



PLAN
SCALE: 1"=50'

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE: 12/14/00

FOR REVISION 3 ONLY

I, BRANDON R. RICHARDS, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 40808 EXP. DATE 7/31/07



APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE: 12/14/00

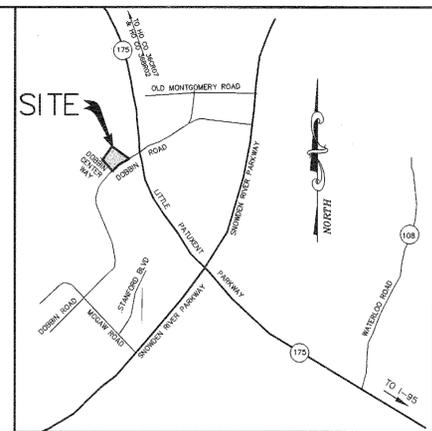
ADDRESS CHART

BUILDING	STREET ADDRESS
A	6490 DOBBIN CENTER WAY
B	6486 DOBBIN CENTER WAY

SUBDIVISION NAME:	COLUMBIA AUTO PARK	SECT./AREA:	1/1	PARCEL:	L-3
PLAT #:	14643	BLOCK #:	17	ZONE:	NT
TAX MAP NO.:	36	ELECT. DIST.:	6th	CENSUS TRACT.:	6066.02
WATER CODE:	E 06	SEWER CODE:	5333400		

BENCHMARKS

- BM #1 ELEV. 375.16
FIRE HYDRANT FLANGE NUT
LOCATED 160' NORTH OF DOBBIN
CENTER WAY ALONG DOBBIN ROAD
- BM #2 ELEV. 377.99
FIRE HYDRANT TOP NUT
LOCATED ON THE NORTHEAST
SIDE OF EXISTING RESTAURANT
- BM #3 ELEV. 371.66
FIRE HYDRANT TOP NUT
LOCATED ON THE NORTHWEST
SIDE OF EXISTING RESTAURANT



VICINITY MAP
SCALE: 1" = 2000'

SITE ANALYSIS DATA CHART

TOTAL AREA	3.34 AC. (145,474 SF)
LIMIT OF DISTURBED AREA	1.78 AC. (77,664 SF); REV 3, 0.11 AC (4,917 SF)
CURRENT ZONING	NT - EMPLOYMENT CENTER - COMMERCIAL, FDP-132-A-III
PROPOSED USE	A RETAIL STORE/RESTAURANT BUILDING (A) RETAIL STORE BUILDING (B)
BUILDING A BUILDING B TOTAL FLOOR AREA	12,537 SQ. FT. 7,800 SQ. FT. (440 SQ. FT. PATIO) 20,337 SQ. FT.
BUILDING COVERAGE OF SITE	0.47 AC 14% OF GROSS AREA
REQUIRED PARKING	5 SPACES PER/1000 SF = 97 SPACES
PROPOSED PARKING	141 SPACES (INCLUDES 6 HC SPACES)

* PER FINAL DEVELOPMENT PLAN PHASE 132-A-III

APPLICABLE REFERENCES: SDP-85-56C

NOTE: PLANNING BOARD APPROVAL FOR REVISION 3 IS NOT REQUIRED SINCE L.O.D. IS LESS THAN 5,000 SQ. FT.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

David H. Montgomery 2/13/01
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

James H. Harte 2/22/01
 DIRECTOR

William J. ... 2/2/01
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

Conrad ... 2/21/01
 CHIEF, DIVISION OF LAND DEVELOPMENT

ADD BUILDING ADDITION AND MINOR CORRECTIONS

DATE NO. REVISION

DEVELOPER
 GLENBROOK PROPERTIES I LLC
 6508 OLD FARM COURT
 ROCKVILLE, MARYLAND 20852
 301-468-8008

OWNER
COLUMBIA DOBBIN CENTER LLC
 1945 OLD GALLOWAY RD. SUITE 300
 VIENNA, VA 22182
 703-893-5141

PROJECT
 THE SHOPPES AT DOBBIN WAY
COLUMBIA AUTO PARK
 SECTION 1, AREA 1 PARCEL L-3
 RETAIL/RESTAURANT BUILDINGS

AREA
 TAX MAP 36 ZONED NT
 PARCEL L-3 BLOCK 17
 6th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

TITLE
TITLE SHEET

RIEMER MUEGGE
 a division of
Patton Harris Rust & Associates, pc
 ENGINEERS • SURVEYORS • PLANNERS
 LANDSCAPE ARCHITECTS • ENVIRONMENTAL SPECIALISTS
 8818 Centre Park Drive, Columbia, MD 21045 • tel 410.997.8900 fax 410.997.9282

DESIGNED BY: C.J.R.
 DRAWN BY: DAM
 CHECKED BY: C.J.R.
 PROJECT NO: 00142
 DATE: JANUARY 29, 2001
 SCALE: AS SHOWN
 DRAWING NO. 1 OF 7



ARTHUR E. MUEGGE #8707

LEGEND

-  SIDEWALK TO BE REMOVED
-  PAVING TO BE REMOVED
-  GIC2
 GIB2 SOIL LINES
-  EX. TREES (SIZE VARIES)
-  EX. LIGHT POLES
-  EX. SIGNS
-  EX. WATER & UTILITY EASEMENT TO BE ABANDONED

THE BALTIMORE GAS AND ELECTRIC COMPANY
RIGHT OF WAY
L. 280, F.315

COLUMBIA AUTO PARK
PARCELS L-2 & L-3
PLAT No. 4176

COLUMBIA AUTO PARK
SECTION 1 AREA 1
PLAT No. 4176
PARCEL L-2

DOBBIN CENTER WAY

DOBBIN ROAD

FOR REVISION 3 ONLY



I, BRANDON R. GALLOWAY, REGISTERED PROFESSIONAL ENGINEER UNDER THESE DOCUMENTS WERE PREPARED AND APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40806, EXPIRATION DATE, 7/10/2017

APPROVED : FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS	
<i>David M. ...</i> COUNTY HEALTH OFFICER HOWARD COUNTY DEPARTMENT	2/21/01 DATE
APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.	
<i>James R. ...</i> DIRECTOR	2/21/01 DATE
<i>Arthur E. Muegge</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	2/21/01 DATE
<i>Andy Hamilla</i> CHIEF, DIVISION OF LAND DEVELOPMENT	2/21/01 DATE
41816 ADD BUILDING ADDITION AND MINOR CURB ADJUSTMENT	
DATE NO.	REVISION
DEVELOPER	GLENBROOK PROPERTIES I LLC 6508 OLD FARM COURT ROCKVILLE, MARYLAND 20852 301-468-8008
OWNER	COLUMBIA DOBBIN CENTER LLC 1945 OLD GALLONS RD, SUITE 300 VIENNA, VA 22182 703-993-5141

REVISION 3 DEVELOPER
AUTOZONING
123 SOUTH FRONT ST.
MEMPHIS, TN 38103
901-495-6994

PROJECT	THE SHOPPES AT DOBBIN WAY COLUMBIA AUTO PARK SECTION 1, AREA 1 PARCEL L-3 RETAIL/RESTAURANT BUILDINGS
AREA	TAX MAP 36 ZONED NT PARCEL L-3 BLOCK 17 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TITLE	EXISTING CONDITIONS / DEMOLITION PLAN

RIEMER MUEGGE
a division of
Patton Harris Rust & Associates, pc
ENGINEERS • SURVEYORS • PLANNERS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SPECIALISTS
8818 Centre Park Drive, Columbia, MD 21045 • tel 410.997.8800 fax 410.997.9282

DESIGNED BY : C.J.R.
DRAWN BY : DAM
CHECKED BY : C.J.R.
PROJECT NO : 00142
SDP2.DWG
DATE : JANUARY 29, 2001
SCALE : 1" = 30'
DRAWING NO. 2 OF 7

DATE
STATE OF MARYLAND
ARTHUR E. MUEGGE #8707
PROFESSIONAL ENGINEER

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE 12/14/00

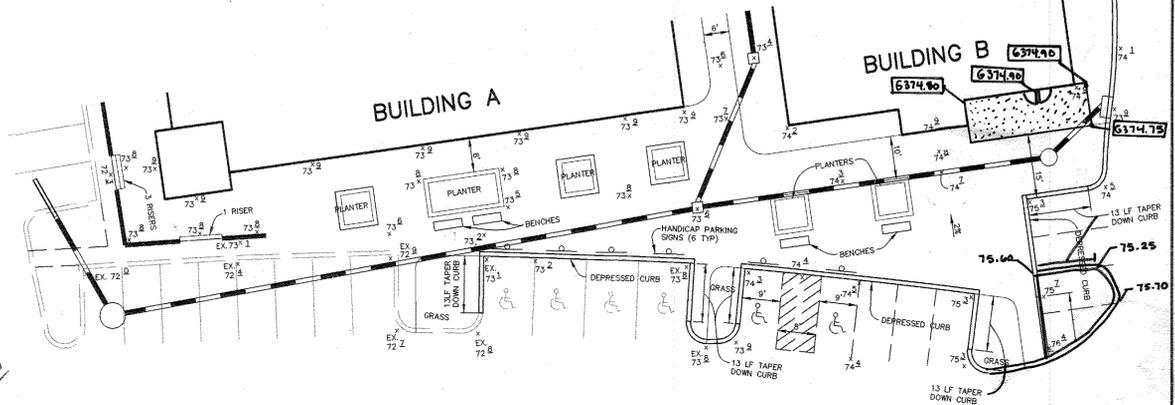
FOR REVIEW ONLY



I, BRANDON K. MUEGGE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40808, EXPIRATION DATE: 7/31/2017

THE BALTIMORE GAS AND ELECTRIC COMPANY
RIGHT OF WAY
L 280, F.315

009291.3
N 557900

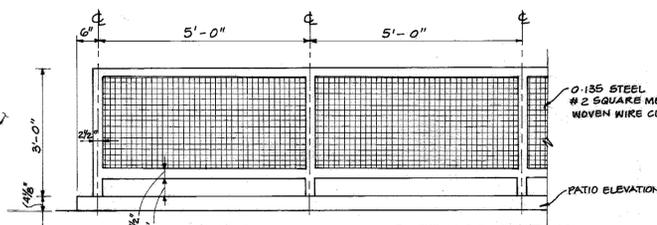


ENLARGEMENT OF HANDICAP RAMPS

SCALE: 1"=20'

NOTES:

1. ALL LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF ZONING SECTION 134.
2. ALL CURB RADII ARE 5' UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE OF CURB OR BUILDING UNLESS OTHERWISE NOTED.
4. * - INDICATES TRANSITION FROM STANDARD 7" CURB AND GUTTER TO BARRIER CURB.
5. ALL ON-SITE ROADS ARE PRIVATE.
6. CONTRACTOR TO INSTALL UTILITIES PER H.O.CO.STD. SPEC'S AND DETAILS FOR CONSTRUCTION VOLUME IV ARTICLE 10, UTILITY CONSTRUCTION, SECTION 1000
7. EXISTING ON-SITE PAVING TO BE MILLED AND RESURFACED TO MATCH NEW PAVING.
8. DELIVERIES TO AUTOZONE WILL BE MADE DURING OFF PEAK HOURS PER DIRECTION FROM THE DEVELOPER. DELIVERY TRUCK WILL REQUIRE ENCROACHMENT INTO PARKING SPACES.

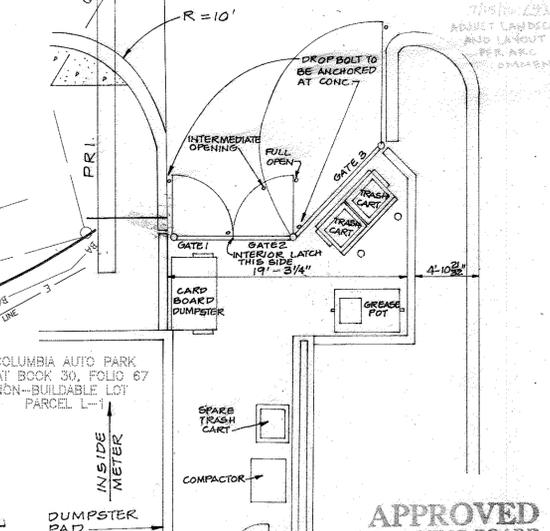


PATIO ELEVATION & FENCE DETAIL

NO SCALE

LEGEND

- P - 2 PAVING
- CONCRETE SIDEWALK
- SINGLE HEAD EXTERIOR LIGHT
- CO CLEANOUT
- EX. WATER & UTILITY EASEMENT TO BE ABANDONED

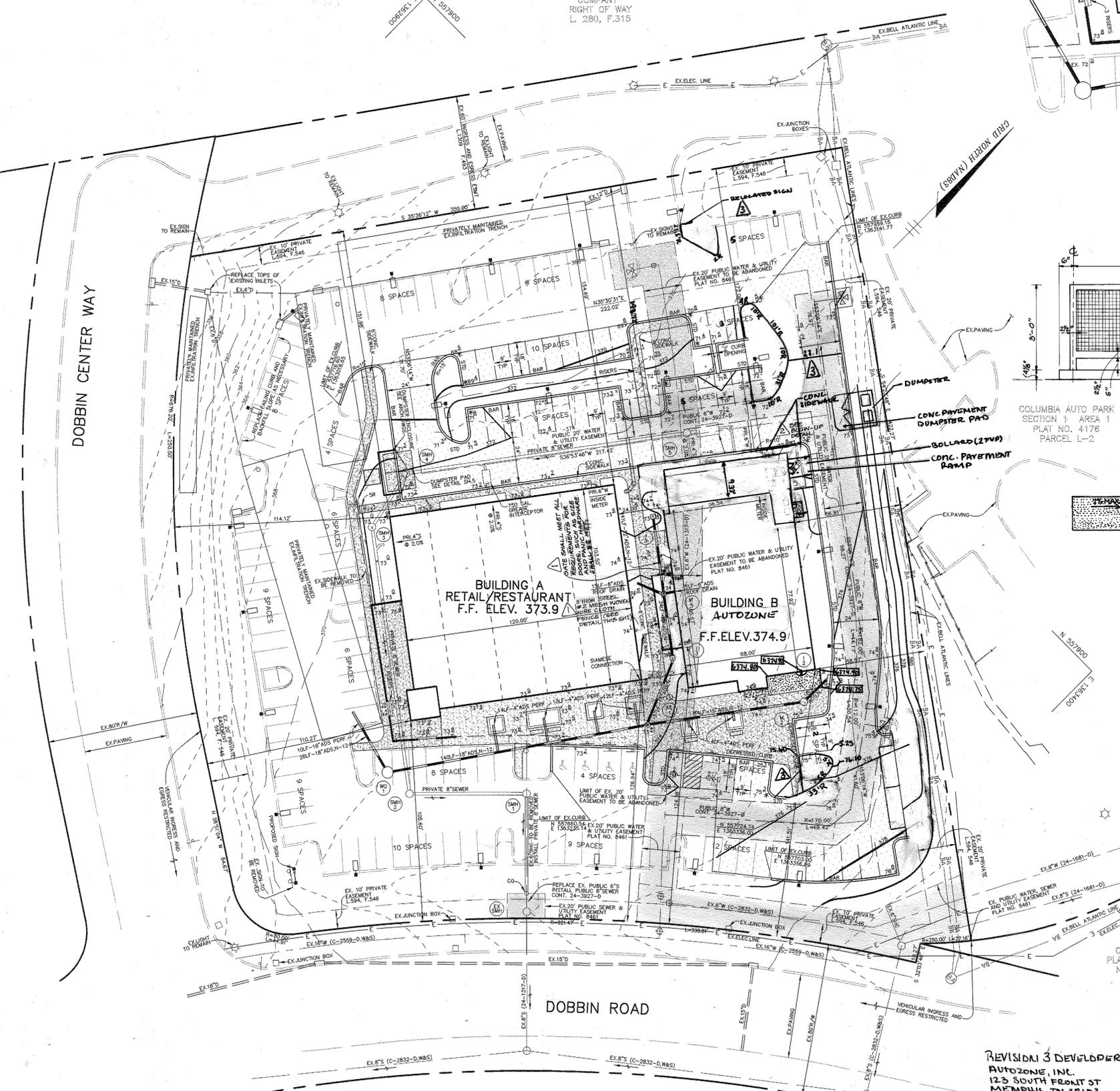


BLOW-UP DETAIL OF EXPANDED TRASH CORRAL

NO SCALE

COLUMBIA COLUMBIA AUTO PARK PARCELS L-2 & L-3 PLAT No. 4176

DOBBIN CENTER WAY



BUILDING A
RETAIL/RESTAURANT
F.F. ELEV. 373.9

BUILDING B
AUTOZONE
F.F. ELEV. 374.9

DOBBIN ROAD

REVISION 3 DEVELOPER
AUTOZONE, INC.
123 SOUTH FRONT ST
MEMPHIS, TN 38103
901.495.8994

APPROVED
PLANNING BOARD
OF HOWARD COUNTY

DATE 12/14/00

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

County Health Officer: Howard County Health Department

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DATE	2-13-01
DIRECTOR	2/22/01
DATE	2/20/01
DATE	2/1/01
DATE	4/18/00
DATE	7-10-02
DATE	8-1-01
DATE	NO.
REVISION	

DEVELOPER: GLENBROOK PROPERTIES I LLC, 6508 OLD FARM COURT, ROCKVILLE, MARYLAND 20852, 301-468-8008

OWNER: COLUMBIA DOBBIN CENTER LLC, 1945 OLD GALLOWAY RD SUITE 300, VIENNA, VA 22182, 703-893-5141

PROJECT: THE SHOPS AT DOBBIN WAY, COLUMBIA AUTO PARK, SECTION 1, AREA 1, PARCEL L-3, RETAIL/RESTAURANT BUILDINGS

AREA: TAX MAP 36 ZONED NT, PARCEL L-3, BLOCK 17, 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE: SITE DEVELOPMENT PLAN

RIEMER MUEGGE
a division of
Patton Harris Rust & Associates, pc
ENGINEERS • SURVEYORS • PLANNERS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SPECIALISTS
8818 Centre Park Drive, Columbia, MD 21045 • tel 410.997.8900 fax 410.997.8922

DATE	DESIGNED BY: C.J.R.
DATE	DRAWN BY: DAM
DATE	CHECKED BY: C.J.R.
DATE	PROJECT NO.: 00142
DATE	DATE: JANUARY 29, 2001
DATE	SCALE: 1" = 30'
DATE	DRAWING NO.: 3 OF 7

SDP-01-47

LEGEND

- LIMIT OF DISTURBANCE
- DRAINAGE AREA DIVIDE
- SSS SUPER SILT FENCE
- SF SILT FENCE
- C.I.P. CURB INLET PROTECTION

SEQUENCE OF CONSTRUCTION

1. OBTAIN GRADING PERMIT.
2. INSTALL INLET PROTECTION. (1 DAY)
3. REMOVE EX. STRUCTURE AND PAVING PER DEMOLITION PLAN. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND SILT FENCE. (3 DAYS)
4. WITH PERMISSION OF HOWARD COUNTY DILP SEDIMENT CONTROL INSPECTOR, BEGIN ROUGH GRADING AND BUILDING CONSTRUCTION.
5. AS SUBGRADE ELEVATIONS ARE ESTABLISHED, INSTALL UTILITIES, INCLUDING SEWER, WATER AND ROOF DRAINS. CONTRACTOR TO INSTALL PERFORATED STORM DRAIN PIPE A MINIMUM OF 10LF INTO INFILTRATION TRENCH AND CONNECT WITH ANY EXISTING PIPE WITHIN TRENCH.(3 WEEKS)
6. INSTALL CURB AND GUTTER, LIGHT POLES, THEN PAVE. (2 WEEKS)
7. APPLY TOPSOIL AND STABILIZE DISTURBED AREAS AS NECESSARY IN ACCORDANCE WITH PERMANENT SEEDING NOTES. (3 DAYS)
8. INSTALL LANDSCAPING AND SIDEWALKS AND COMPLETE CONSTRUCTION. (3 MONTHS)
9. UPON APPROVAL OF HOWARD COUNTY DILP SEDIMENT CONTROL INSPECTOR, REMOVE ALL REMAINING SEDIMENT CONTROL DEVICES AND STABILIZE REMAINING DISTURBED AREAS IN ACCORDANCE WITH PERMANENT SEEDING NOTES. (2 DAYS)

NOTE:
APPLY DUST CONTROL MEASURES AS NECESSARY.
SEE SHEET 6 FOR NOTES.

DRAINAGE AREA CHART

INLET	D.A.	'C'	% IMP
1-2	0.31 AC	0.40	29
1-3	0.10 AC	0.54	50
1-5	0.04 AC	0.54	50

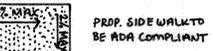


FOR REVISION ONLY

PROFESSIONAL CERTIFICATION
I, BRANDON R. DOWDY, ENGINEER, CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40808 EXPIRATION DATE: 7/31/2017

FOR REVISION ONLY

REVISION 3 DEVELOPER
AUTOZONE INC.
123 SOUTH FRONT STREET
MEMPHIS, TN 38103
901-445-8994



APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: 12/14/00

BY THE DEVELOPER :
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.
Michael Muegge 1-29-01
DEVELOPER DATE

BY THE ENGINEER :
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
Michael Muegge 1-29-01
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.
Jim Muegge 2/2/01
NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
John Robertson 2/2/01
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED : FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

COUNTY HEALTH OFFICER DATE
HOWARD COUNTY HEALTH DEPARTMENT

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Greg S. Rutter 2/22/01
DIRECTOR DATE

William Dammann 2/2/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Wanda Hamilton 2/2/01
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

4/18/16 ADD BUILDING ADDITION AND MAIN CURB ADJUSTMENT
8-1-01 ADDED PATIO & FENCE, MODIFIED DRAINAGE DIVIDES

DATE NO. REVISION
DEVELOPER
GLENBROOK PROPERTIES I LLC
6508 OLD FARM COURT
ROCKVILLE, MARYLAND 20852
301-468-8008

OWNER
COLUMBIA DOBBIN CENTER LLC
1945 OLD GALLOWS ROAD, SUITE 300
VERMONT, VA 22152
703-898-5141

PROJECT THE SHOPPES AT DOBBIN WAY
COLUMBIA AUTO PARK
SECTION 1, AREA 1 PARCEL L-3
RETAIL/RESTAURANT BUILDINGS

AREA TAX MAP 36 ZONED NT
PARCEL L-3 BLOCK 17
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE GRADING, SEDIMENT CONTROL
AND DRAINAGE AREA MAP

RIEMER MUEGGE
a division of:
Patton Harris Rust & Associates, pc
ENGINEERS • SURVEYORS • PLANNERS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SPECIALISTS
8818 Centre Park Drive, Columbia, MD 21046 • Tel 410.997.8800 Fax 410.997.5622

DATE DESIGNED BY : C.J.R.
DRAWN BY : DAM
CHECKED BY : C.J.R.
PROJECT NO : 00142
SDP4.DWG
DATE : JANUARY 29, 2001
SCALE : 1" = 30'
DRAWING NO. 4 OF 7

SDP-01-47

COLUMBIA
COLUMBIA AUTO PARK
PARCELS L-2 & L-3
PLAT No. 4176

COLUMBIA AUTO PARK
SECTION 1 AREA 1
PLAT NO. 4176
PARCEL L-2

COLUMBIA AUTO PARK
PLAT BOOK 30, FOLIO 67
NON-BUILDABLE LOT
PARCEL L-1

STANDARD SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1999).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THEREOF.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN A 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3:1. 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THE PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING, SOD, TEMPORARY SEEDING, AND MULCHING (SEC. 6.). TEMPORARY STABILIZATION WITH MULCH ALONE SHALL ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHED OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:**
 TOTAL AREA OF SITE: 3.3 ACRES
 AREA DISTURBED: 1.7 ACRES
 AREA TO BE ROOFED OR PAVED: 1.3 ACRES
 AREA TO BE VEGETATIVELY STABILIZED: 0.4 ACRES
 TOTAL CUT: 493 CU. YARDS
 TOTAL FILL: 1404 CU. YARDS
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADINGS ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADINGS. OTHER BUILDING OR GRADINGS INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.
- SITE GRADINGS WILL BEGIN ONLY AFTER ALL PERIMETER SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED AND ARE IN A FUNCTIONING CONDITION.
- SEDIMENT WILL BE REMOVED FROM TRAPS WHEN ITS DEPTH REACHES CLEAN OUT ELEVATION SHOWN ON THE PLANS.
- CUT AND FILL QUANTITIES PROVIDED UNDER SITE ANALYSIS DO NOT REPRESENT BID QUANTITIES. THESE QUANTITIES DO NOT DISTINGUISH BETWEEN TOPSOIL, STRUCTURAL FILL OR EMBANKMENT MATERIAL, NOR DO THEY REFLECT CONSIDERATION OF UNDERCUTTING OR REMOVAL OF UNSUITABLE MATERIAL. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE CONDITIONS WHICH MAY AFFECT THE WORK.

21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

Definition
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose
To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies

- This practice is limited to areas having 2:1 or flatter slopes where:
 - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 - The original soil to be vegetated contains material toxic to plant growth.
 - The soil is so acidic that treatment with limestone is not feasible.
- For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

- Topsoil salvaged from the existing site may be provided, provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimentation Station.
- Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate authority. Regardless, topsoil shall not be a mixture of contacting textured substrata and shall contain less than 5% by volume of clinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2" in diameter.
 - Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, Johnsongrass, nutgrass, poison ivy, thistle, or other as specified.
 - Where subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4.9 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
- For sites having disturbed areas under 5 acres:
 - Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.
- For sites having disturbed areas over 5 acres:
 - On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
 - pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
 - Organic content of topsoil shall be not less than 1.5 percent by weight.
 - Topsoil having soluble salt content greater than 500 parts per million shall not be used.
 - No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.

Note: Topsoil substitutes to amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority may be used in lieu of natural topsoil.

- Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.

V. Topsoil Application

- When topsoiling, maintain needed erosion and sediment control practices such as diversions, grade stabilization structures, earth dikes, slope silt fence and sediment traps and basins.
- Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.
- Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
- Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

VI. Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:

- Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for site having disturbed areas under 5 acres shall conform to the following requirements:
 - Composted sludge shall be supplied by, or originate from, a person or persons that are permitted at the time of acquisition of the compost by the Maryland Department of the Environment under COMAR 26.04.06.
 - Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
 - Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.
 - Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lbs/1,000 square feet, and 1/3 the normal lime application rate.

References: Guideline Specifications, Soil Preparation and Sodding, MD-VA, Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institutes. Revised 1973.

FOR REVISION 3 ONLY

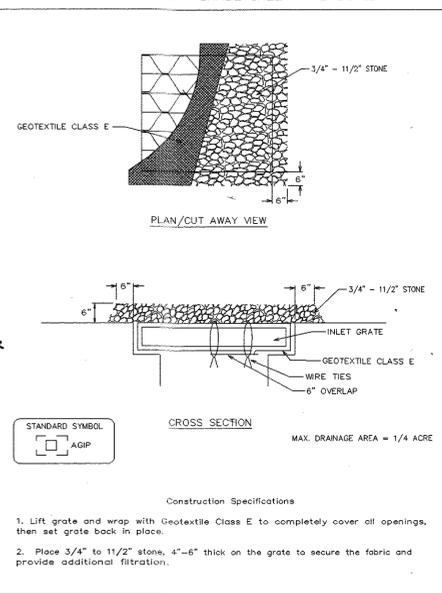
PROFESSIONAL CERTIFICATION

I, **BEANON ROSS, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO 40808, EXPIRATION DATE: 7/3/2017**

REVISION 3 DEVELOPER

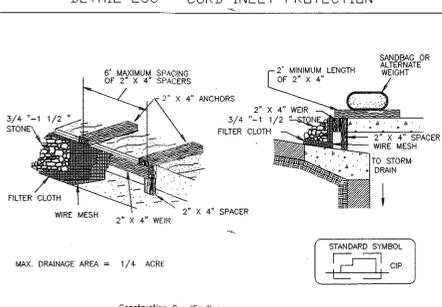
AUTOZONE, INC.
123 SOUTH FRONT ST.
MEMPHIS, TN 38103
901-445-8944

DETAIL 23B - AT GRADE INLET PROTECTION



U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-18-5A MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 23C - CURB INLET PROTECTION



U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-18-5B MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

30.0 - DUST CONTROL

DEFINITION
CONTROLLING DUST BLOWING AND MOVEMENT ON CONSTRUCTION SITES AND ROADS.

BURDEN
TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCE ON AND OFF-SITE DAMAGE, HEALTH HAZARDS, AND IMPROVE TRAFFIC SAFETY.

CONDITIONS WHERE PRACTICE APPLIES
THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT.

SPECIFICATIONS

TEMPORARY METHODS

- MULCHES - SEE STANDARDS FOR VEGETATIVE STABILIZATION WITH MULCHES ONLY. MULCH SHOULD BE CRIMPED OR TACKED TO PREVENT BLOWING.
- VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER.
- TILLAGE - TO ROUGHEN SURFACE AND BRING GLOBS TO THE SURFACE, THIS IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN FLOWING ON HOWARD COUNTY SITE. CASES - TYPICAL PLOTS SPACED ABOUT 12' APART. SPRING-TIPPED HARROWS, AND SIMILAR PLOTS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
- IRRIGATION - THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SOIL IS MOST WET. REPEAT AS NEEDED, AT NO TIME SHOULD THE SITE BE IRRIGATED TO THE POINT THAT RUNOFF BEGINS TO FLOW.
- BARRENS - SOLID BOARD FENCES, SILT FENCES, SHOW FENCES, BURLAP FENCES, STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRENS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 10 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING SOIL BLOWING.
- CALCIUM CHLORIDE - APPLY AT RATES THAT WILL KEEP SURFACE MOIST. MAY NEED RETREATMENT.

PERMANENT METHODS

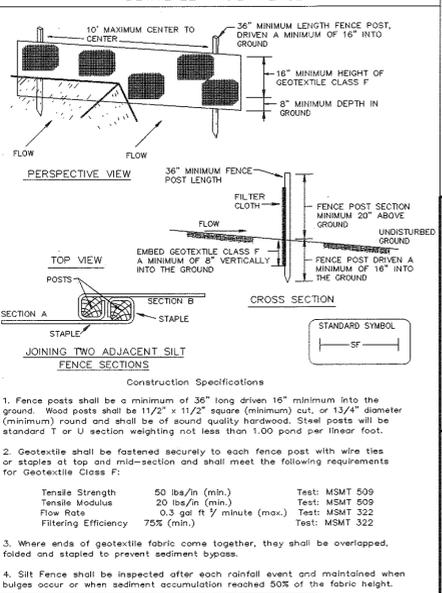
- PERMANENT VEGETATION - SEE STANDARDS FOR PERMANENT VEGETATIVE COVER, AND PERMANENT STABILIZATION WITH SOIL. EXISTING TREES OR LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE.
- TOPSOILING - COVERING WITH LESS EROSION SOIL MATERIALS. SEE STANDARDS FOR TOPSOILING.
- STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

REFERENCES

- AGRICULTURE HANDBOOK 346, WIND EROSION FORCES IN THE UNITED STATES AND THEIR USES IN PREDICTING SOIL LOSS.
- AGRICULTURE INFORMATION BULLETIN 354, HOW TO CONTROL WIND EROSION, USDA-ARS.

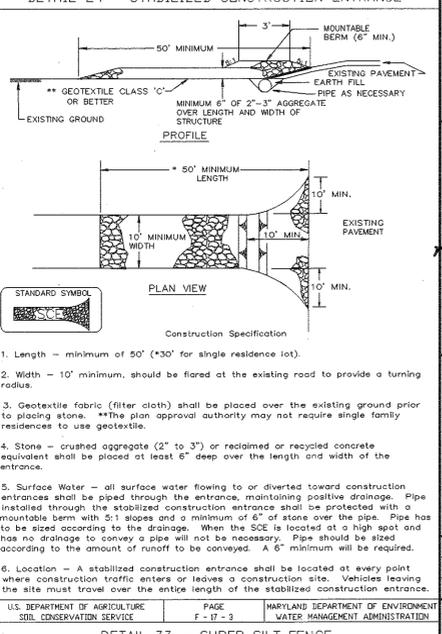
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-18-5C MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 22 - SILT FENCE



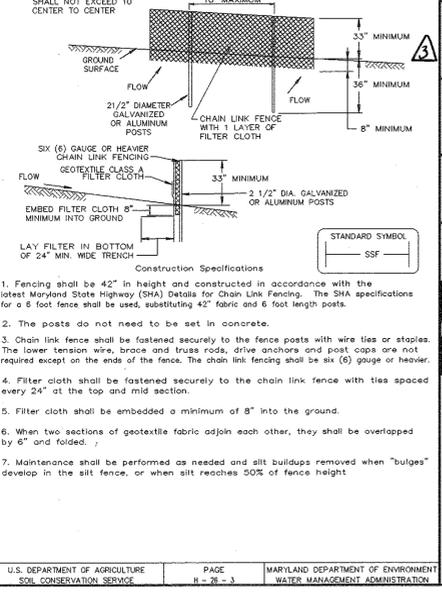
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-19-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE F-17-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 33 - SUPER SILT FENCE



U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE F-18-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

APPROVED PLANNING BOARD OF HOWARD COUNTY
DATE: 12/14/00

BY THE DEVELOPER:
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Michael Brown
DEVELOPER 1/29/01 DATE

BY THE ENGINEER:
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Paul Muegge
ENGINEER 1/29/01 DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Jim Meyer
NATURAL RESOURCES CONSERVATION SERVICE 2/2/01 DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John Robertson
HOWARD SOIL CONSERVATION DISTRICT 2/8/01 DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

John Robertson
COUNTY HEALTH OFFICER 2/8/01 DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

John Robertson
HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING 2/8/01 DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

John Robertson
DIRECTOR 2/8/01 DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

John Robertson
CHIEF, DEVELOPMENT ENGINEERING DIVISION 2/8/01 DATE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

John Robertson
CHIEF, DIVISION OF LAND DEVELOPMENT 2/8/01 DATE

DEVELOPER
GLENBROOK PROPERTIES I LLC
6508 OLD FARM COURT
ROCKVILLE, MARYLAND 20852
301-468-8008

OWNER
COLUMBIA DOBBIN CENTER LLC
1945 OLD GRANADA BLVD, SUITE 200
VIENNA, VA 22182
703-893-5111

PROJECT
THE SHOPPES AT DOBBIN WAY
COLUMBIA AUTO PARK
SECTION 1, AREA 1 PARCEL L-3
RETAIL/RESTAURANT BUILDINGS

AREA
TAX MAP 36 ZONED NT
PARCEL L-3 BLOCK 17
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE
DETAILS AND NOTES

RIEMER MUEGGE
Patton Harris Rust & Associates, pc
ENGINEERS • SURVEYORS • PLANNERS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SPECIALISTS
6818 Centre Park Drive, Columbia, MD 21046 • tel: 410.997.8800 fax: 410.997.9282

DATE: 12/14/00
DESIGNED BY: C.J.R.
DRAWN BY: DAM
CHECKED BY: C.J.R.
PROJECT NO: 00142 SDP6.DWG
DATE: JANUARY 29, 2001
SCALE: AS SHOWN
DRAWING NO. 6 OF 7

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

Seedbed Preparation - Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

Soil Amendments - Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq.ft.).

Seeding - For periods March 1 thru April 30 and from August 15 thru November 15 seed with 2-1/2 bushels per acre of annual ryegrass (3.2 lbs. per 1000 sq.ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre of creeping lovegrass (0.07 lbs. per 1000 sq.ft.). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching - Apply 1-1/2 to 2 tons per acre (70 to 90 lbs. per 1000 sq.ft.) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2lb. gal. per acre (5 gal. per 1000 sq.ft.) of emulsified asphalt on flat areas. On slopes, 8 ft. or higher, use 347 gal. per acre (8 gal. per 1000 sq.ft.) for anchoring.

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seedbed Preparation - Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

Soil Amendments - In lieu of soil test recommendations, use one of the following schedules:

- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs. per 1000 sq.ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs. per 1000 sq.ft.).
- Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs. per 1000 sq.ft.) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs. per 1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil.

Seeding - For the period March 1 thru April 30 and from August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs. per 1000 sq.ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (0.05 lbs. per 1000 sq.ft.) of creeping lovegrass. During the period October 16 thru February 28, protect site by one of the following options:

- 2 tons per acre of well-anchored mulch straw and seed as soon as possible in the spring.
- Use sod.
- Seed with 60 lbs. per acre Kentucky 31 Tall Fescue and mulch with 2 tons per acre well anchored straw.

Mulching - Apply 1-1/2 to 2 tons per acre (70 to 90 lbs. per 1000 sq.ft.) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2lb. gal. per acre (5 gal. per 1000 sq.ft.) of emulsified asphalt on flat areas. On slopes, 8 ft. or higher, use 347 gal. per acre (8 gal. per 1000 sq.ft.) for anchoring.

Maintenance - Inspect all seeded areas and make needed repairs, replacements and re-seedings.

Precast Concrete Order Request Form

CONTRACTOR INFORMATION

Name: _____
Address: _____
City: _____
State: _____
Zip Code: _____
Contact: _____
Phone: _____
Fax: _____

OWNER INFORMATION

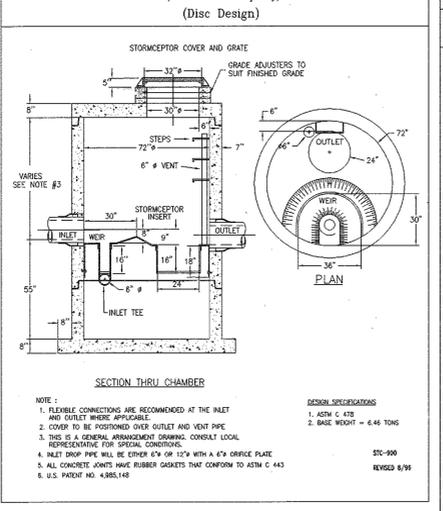
Name: GLENBROOK PROPERTIES
Phone: 301-468-8008
Fax: (410) _____

IMPERVIOUS DRAINAGE AREA FOR THIS UNIT

Stormceptor® Model	Insert Size	Manhole Number	Top Elevation (ft)	Inlet Pipe Invert (ft)	Outlet Pipe Invert (ft)	Outlet Pipe Inside Diameter (ID)	Outlet Pipe Outside Diameter (OD)
4500	3600	IND-1	372.1	365.19	365.09	18"	21.2"
900	4800	IND-2	372.1	365.19	365.09	18"	21.2"
1200	6000	IND-3	372.1	365.19	365.09	18"	21.2"
1800	8000	IND-4	372.1	365.19	365.09	18"	21.2"
2400	7200	IND-5	372.1	365.19	365.09	18"	21.2"

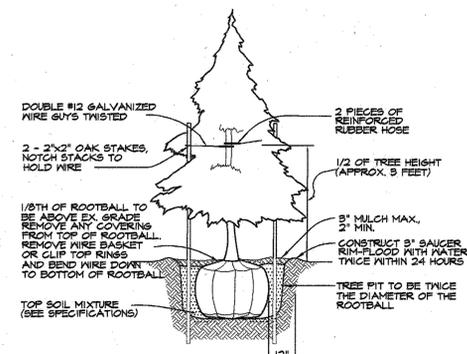
Project Name: THE SHOPPES AT DOBBIN WAY, COLUMBIA AUTO PARK
Approximate time frame of delivery (weeks): _____
Delivery Address: Street: DOBBIN CENTER HWY
City: COLUMBIA **State:** MARYLAND **Zip Code:** _____
Designer: RIEEMER MUEGGE, A DIVISION OF PATTON, HARRIS, RUST & ASSOCIATES, PC
Designer Contact: GREG REID, P.E. Phone: (410) 947-8400 Fax: (410) 947-4282

STC 900 Precast Concrete Stormceptor® (900 US Gallon Capacity) (Disc Design)

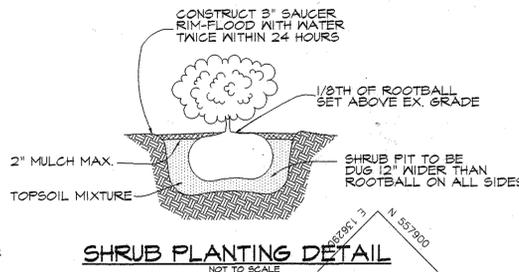


PLEASE FILL OUT COMPLETELY AND FAX TO: **CSR Hydro Conduit**
ATTN: JAMES TAYLOR FAX: (301) 698-5351, PHONE: (301) 698-7373
FOR TECHNICAL ASSISTANCE PLEASE CALL JAMES TAYLOR, PHONE (301) 698-7373 EXT 228

FOR OPERATION AND MAINTENANCE SCHEDULE FOR STORMCEPTORS AND INFILTRATION TRENCHES SEE SHEET 1.



EVERGREEN PLANTING DETAIL
NOT TO SCALE



SHRUB PLANTING DETAIL
NOT TO SCALE

SCHEDULE A - PERIMETER LANDSCAPE EDGE		
	DUMPSTER AREA	
PERIMETER	1	2
LANDSCAPE TYPE	D	D
LINEAR FEET OF DUMPSTER AREA	± 30'	± 25'
NUMBER OF PLANTS REQUIRED		
SHADE TREES (Ø 1 ST / 60')	1	0
EVERGREEN TREES (Ø 1 ET / 10')	3	0
NUMBER OF PLANTS PROVIDED		
SHADE TREES	1	0
EVERGREEN TREES	4	0

SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING		
PARKING LOT	* 1	
NUMBER OF PARKING SPACES	20	
NUMBER OF SHADE TREES REQUIRED (1/20 SPACES)	1	
NUMBER OF TREES PROVIDED		
SHADE TREES	1	
OTHER TREES (2:1 SUBSTITUTION)	-	
NUMBER OF ISLANDS REQUIRED (200 SF. AREA / ISLAND)	1	
NUMBER OF ISLANDS PROVIDED	1	

SCHEDULE 'B' NOTES:
EXPANSION OF PARKING LOTS BY LESS THAN 50% SHALL BE REQUIRED TO PROVIDE LANDSCAPING FOR THE ADDITIONAL DEVELOPMENT ONLY.
(PAGE 3 OF THE HO. CO. LANDSCAPE MANUAL)

LANDSCAPE LEGEND	
PROP. SHADE TREE (LARGE & SMALL)	
PROP. EVERGREEN TREE	
PROP. SHRUBS	
PROP. GROUND COVER	

PLANT LIST					
SYMBOL	QTY.	SCIENTIFIC / COMMON NAME	SIZE	ROOT	SPACING
SHRUBS					
EA	41	Evonymus alatus 'Compacta' Dwarf winged euonymus	30"-36" HT	Cont.	PLANT 4' O.C.
IMA	68	Ilex xmeserveae 'Blue Angle' Blue Angel holly	24"-30" HT	Cont.	PLANT 3' O.C.
PL	20	Prunus laurocerasus 'Otto Lubken' Otto Lubken cherry laurel	24"-30" HT	B&B	PLANT 4.5' O.C.
TM	212	Taxus media 'Densiformis' Densiformis yew	30"-36" HT	B&B	PLANT 4' O.C.
TREES					
AR	22	Acer rubrum 'Red Sunset' Red Sunset red maple	25"-3" CAL.	B&B	PLANT AS SHOWN
CB	2	Carpinus betulus 'Fatigiata' Upright European hornbeam	2"-2.5" CAL.	B&B	PLANT AS SHOWN
CL	16	Cupressocyparis leylandi Leyland cypress	6"-8" HT.	B&B	PLANT AS SHOWN
INS	9	Ilex x'Nellie Stevens' Nellie Stevens holly	6"-8" HT.	B&B	PLANT AS SHOWN
LI	3	Lagerstroemia x'Natchez' Natchez crape myrtle	6"-8" HT.	CONT.	PLANT AS SHOWN
SJ	1	Styrax japonica Japanese snowbell	1.5"-2" CAL.	B&B	PLANT AS SHOWN
ZS	6	Zelkova serrata 'Green Vase' Green Vase zelkova	2.5"-3" CAL.	B&B	PLANT AS SHOWN
GROUND COVER					
PT	600	Pachysandra terminalis Japanese spurge	3" HT.	FLAT	PLANT 8" O.C.

FOR REVIEW ONLY
STATE OF MARYLAND
BRANDON E. ROWE
PROFESSIONAL ENGINEER
No. 50808
1/21/01

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE 12/14/00

ALTERNATE COMPLIANCE REQUIRED		
HRD TREE REQUIREMENTS		
ZONING NEW TOWN, 3.30 ACRES		
24 SHADE TREES PER GROSS ACRE - (UNWOODED)		
3.30 ACRES x 24 SHADE TREES/ACRE = 79.2		
(HRD REQUIRED SHADE TREE EQUIVALENTS) = 14.2		
PROVIDED:	PLANTED	S.T.E.
Each Shade Tree = 1 S.T.E.	(31)	31
Each Evergreen Tree = 0.5 S.T.E.	(25)	12.5
Each Flowering Tree = 0.5 S.T.E.	(10)	5
Each Shrub = 0.1 S.T.E.	(299)	30
SUBTOTAL S.T.E.		78.5
EXISTING:		
Credit for existing trees	(86)	86.0
TOTAL		164.5

- GENERAL NOTES:
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE NEW TOWN ALTERNATIVE COMPLIANCE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
 - FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DFM DEVELOPER AGREEMENT IN THE AMOUNT OF \$1,500.00.
 - THIS PLAN IS FOR LANDSCAPING PURPOSES ONLY.
 - CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.

DEVELOPER'S/BUILDER'S CERTIFICATE:
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
DATE 1/29/01
SIGNATURE [Signature] DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT
DATE
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
DIRECTOR [Signature] DATE 2/22/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION [Signature] DATE 2/2/01
CHIEF, DIVISION OF LAND DEVELOPMENT [Signature] DATE 2/21/01

DEVELOPER
GLENBROOK PROPERTIES I LLC
6508 OLD FARM COURT
ROCKVILLE, MARYLAND 20852
301-468-8008
OWNER
COLUMBIA DOBBIN CENTER LLC
1945 OLD GALLONS RD, SUITE 300
VIENNA, VA 22182
703-643-5141
PROJECT THE SHOPPES AT DOBBIN WAY
COLUMBIA AUTO PARK
SECTION 1, AREA 1 PARCEL L-3
RETAIL/RESTAURANT BUILDINGS
AREA TAX MAP 36 ZONED NT
PARCEL L-3 BLOCK 17
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE
PRELIMINARY LANDSCAPE PLAN
RIEMER MUEGGE
a division of:
Patton Harris Rust & Associates, pc
ENGINEERS • SURVEYORS • PLANNERS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SPECIALISTS
8819 Centre Park Drive, Columbia, MD 21045 • tel 410.997.8900 fax 410.997.9282
DATE 1/29/2001
DESIGNED BY: A.J.L.
DRAWN BY: A.J.L.
CHECKED BY: D.T.D.
PROJECT NO: 00142
LSCP.DWG
DATE: JANUARY 29, 2001
SCALE: 1" = 30'
DRAWING NO. 7 OF 7