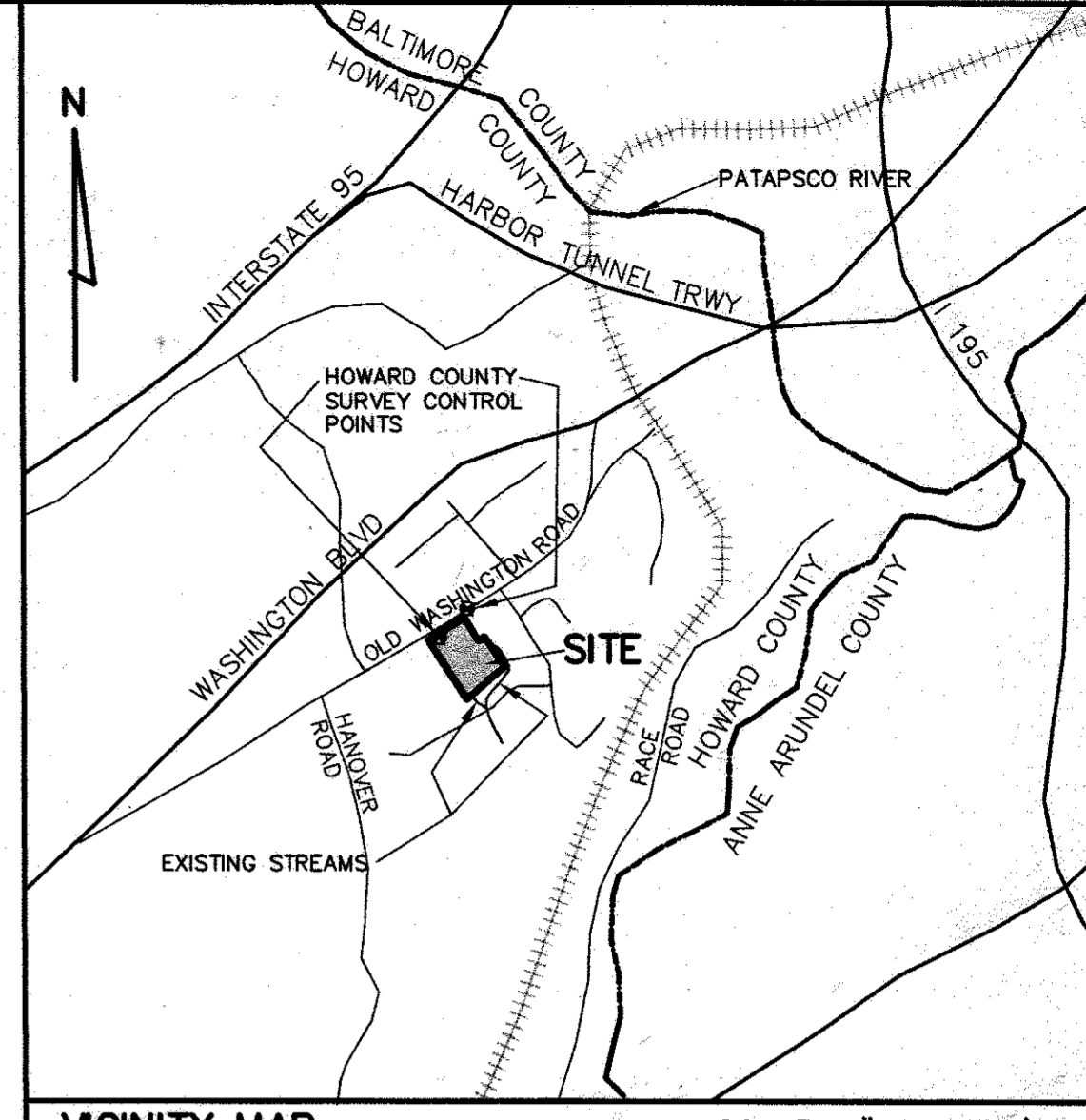


- ### GENERAL NOTES
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
 - THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
 - THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
 - TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT ON ANY ASPHALT.
 - ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY KENNETH J. WELLS INC. DATED NOVEMBER 9, 2000.
 - THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED ON MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY SURVEY CONTROL POINTS 38B73 AND 5-384-6 WERE USED FOR THIS PROJECT.
 - VERTICAL DATUM FOR THE PROJECT IS HOWARD COUNTY SURVEY CONTROL POINT NO. 38B73, A 3/4" REBAR 9" EAST OF THE CONCRETE WALK ON THE NORTHEAST SIDE OF OLD WASHINGTON BOULEVARD AND 36.6' FROM BGE POLE NUMBER 217297/C&P NUMBER 52. ELEVATION 183.90
 - THIS SITE IS CURRENTLY SERVED BY EXISTING PUBLIC WATER AND SEWER. A NEW FIRE HYDRANT AND PRIVATE WATER CONNECTION WILL BE CONSTRUCTED UNDER ADD REQUEST. THE NEW METER WILL BE LOCATED INSIDE THE BUILDING AND A NEW SPRINKLER SYSTEM IS PROPOSED. EXISTING SANITARY SEWER CONNECTION WILL BE MAINTAINED.
 - THERE WILL BE A REDUCTION IN HARD SURFACE AS A RESULT OF THIS PROJECT. STORMWATER MANAGEMENT IS NOT REQUIRED.
 - ALL ON-SITE STORM DRAINS PROPOSED UNDER THIS PLAN ARE PRIVATE.
 - EXISTING UTILITIES SHOWN HEREON WERE DERIVED FROM AVAILABLE PUBLIC RECORDS. THE CONTRACTOR MUST TEST PIT AT ALL CROSSING AND CONNECTION POINTS TO VERIFY EXACT LOCATIONS.
 - THERE ARE NO DEFINED FLOODPLAINS ON THIS SITE.
 - THERE ARE NO WETLANDS ON THIS SITE.
 - THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP DATED 12-15-2000.
 - SUBSURFACE EXPLORATION AND GEOTECHNICAL EVALUATION BY ROBERT BALTER, DATED 12-15-2000
 - THERE ARE NOT KNOWN BURIAL GROUNDS OR CEMETERY SITES ON THESE PREMISES AS VERIFIED BY THE CEMETERY INVENTORY LIST AND MAPS AND VISUAL INSPECTION.
 - THERE ARE NO EXISTING COUNTY PARKS, SCHOOLS OR OTHER PUBLIC FACILITIES AT THE SITE.
 - THERE ARE NOT OTHER STREETS OR RIGHTS OF WAY WITHIN 200' OF THE SITE OTHER THAN THE 30' PRIVATE RIGHT OF WAY ON THE NORTHWEST SIDE OF THE SITE.
 - ENTIRE SITE AND SURROUNDING AREA IS ZONED R-12
 - SITE IS NOT ON SCENIC ROAD INVENTORY LIST.
 - THERE IS NO COMMERCIAL KITCHEN OR FOOD SERVICE ESTABLISHMENT INCLUDED WITH THIS PROJECT.
 - THE SUBJECT PROPERTY IS ZONED R-12 PER THE 10/18/93 COMPREHENSIVE ZONING PLAN.
 - NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN WETLANDS, STREAMS OR THEIR BUFFERS.
 - THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION WITH THE FILING OF A DECLARATION OF INTENT (DOI) FOR A SINGLE LOT CLEARING LESS THAN 40,000 SQUARE FEET OF FOREST.
 - ALL EXTERIOR LIGHT FIXTURES SHALL BE ORIENTED TO DIRECT LIGHT INWARDS AND DOWNWARDS ON-SITE AWAY FROM ALL ADJOINING RESIDENTIAL PROPERTIES AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY REGULATIONS. *See Sheet 15*
 - THE PROPOSED GRADING AND DISTURBANCE TO THE EXISTING 25% OR GREATER STEEP SLOPE AREA LOCATED IN THE REAR OF THE SCHOOL SITE FOR THE STAIRWAY MODIFICATIONS AND THE NEW DRIVEWAY IMPROVEMENTS WERE DETERMINED TO BE ESSENTIAL DISTURBANCES BY DPZ IN ACCORDANCE WITH SECTION 16.116(C) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.



VICINITY MAP

SCALE: 1" = 2,000'

SITE ANALYSIS DATA CHART

TOTAL PROJECT AREA: 367,947 SF / 8.4469 ACRES

AREA OF PLAN SUBMISSION: ENTIRE SITE

LIMIT OF DISTURBANCE AREA: 2.07 ACRES

PRESENT ZONING DESIGNATION: R-12

PROPOSED USE: PRIVATE SCHOOL

FLOOR SPACE:	EXISTING	PROPOSED
LEVEL 1	21,252 SF	-
LEVEL 2	14,932 SF	1,840 SF
LEVEL 3	11,697 SF	1,840 SF
GROSS TOTAL	51,561 SF	-

MAXIMUM NUMBER OF STUDENTS: 500

PRESENT NUMBER OF EMPLOYEES = 30 FOR 150 STUDENTS

PARKING REQUIRED:

ELEMENTARY SCHOOL	1/6 * 300 = 50
HIGH SCHOOL	1/3 * 75 = 25
TOTAL	75

NURSERY/CHILD CARE TOTAL = 10

PARKING PROVIDED:

ON-SITE	82 (EXISTING & PROPOSED)
ON-STREET	9 (EXISTING)
TOTAL	91*

*INCLUDES 4 HANDICAPPED SPACES

OPEN SPACE ON SITE = 5.96 ACRES (70% OF SITE)

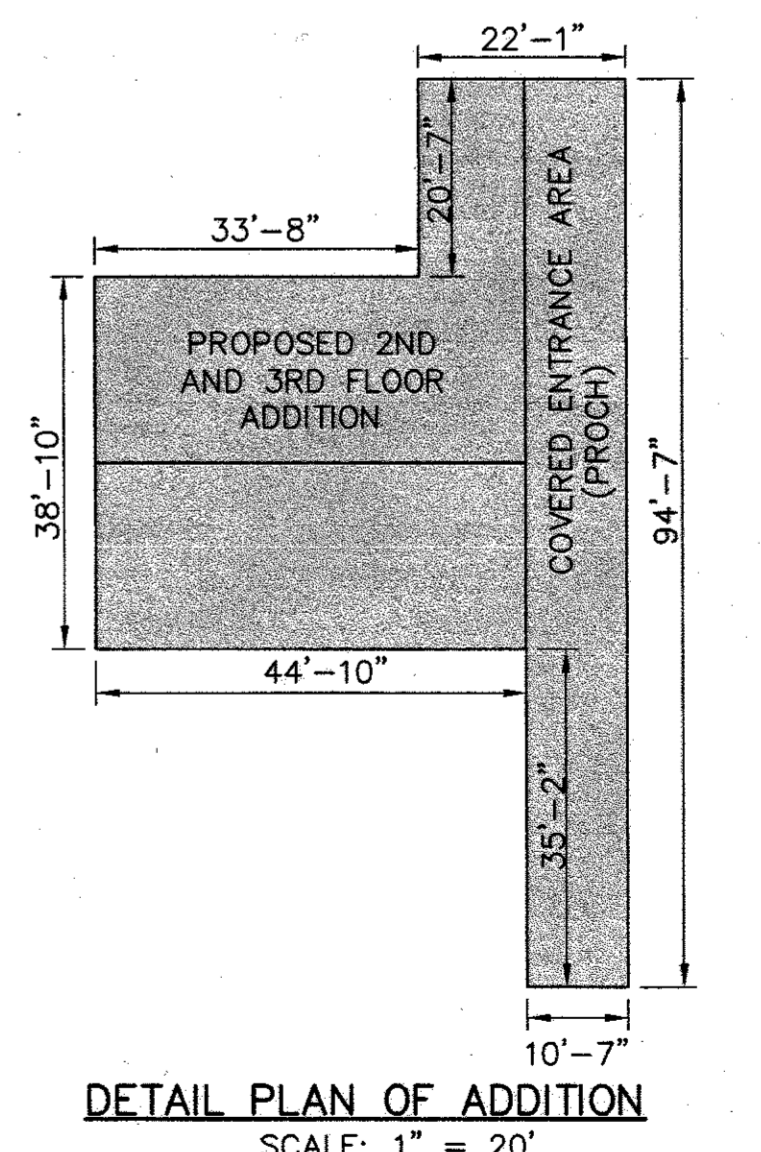
BUILDING COVERAGE = 0.49 ACRES (5.8% OF SITE)

APPLICABLE P&Z FILE REFERENCE: BA00-15E. SPECIAL EXCEPTION GRANTED FOR A NURSERY SCHOOL AND CHILD CARE CENTER AND A PRIVATE ACADEMIC SUBJECT TO:

- THE SITE SHALL BE DEVELOPED IN ACCORDANCE WITH THE REVISED SPECIAL EXCEPTION PLAN SUBMITTED TO THE BOARD ON JULY 11, 2000, AND TO NO OTHER STRUCTURES AND/OR USES.
- ANY BUILDING PERMITS FOR PHASE II MUST BE OBTAINED BY JANUARY 1, 2004, AND SUBSTANTIAL CONSTRUCTION COMPLETED BY JANUARY 1, 2007.
- A SIX FOOT TALL BOARD-ON-BOARD PRIVACY FENCE SHALL BE INSTALLED ALONG THE SOUTHWEST SIDE OF THE ENTRANCE DRIVEWAY, BEGINNING AT A POINT EQUAL TO THE FRONT FACADE OF THE BUILDING AND EXTENDING BEYOND THE DROP OFF LANE BEHIND THE BUILDING OR A PLAN FOR LANDSCAPE SCREENING SUFFICIENT TO BUFFER THE ADJOINING RESIDENCE SHALL BE PROVIDED.

BA 15-019C SPECIAL EXCEPTION GRANTED FOR A CHILD CARE AND NURSERY SCHOOL AND A PRIVATE ACADEMIC SCHOOL WAS GRANTED 7-02-03 SUBJECT TO:

- PROVIDE A CHAIN LINK FENCE AROUND THE OUTSIDE PLAY AREA.
- COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND COUNTY LAWS AND REGULATIONS.



REVISIONS

NO.	REVISION	DATE
1	ADD 4' CONC. WALK AROUND N.E. CORNER OF BLDG	9-19-16

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *[Signature]* Date: 3/2/01

Chief, Division of Land Development: *[Signature]* Date: 3/8/01

Director: *[Signature]* Date: 3/9/01

MARYLAND INTERNATIONAL SCHOOL

OWNER / DEVELOPER

SHANGRI-LA ENTERPRISES
4465 MONTGOMERY ROAD
ELLCOTT CITY, MD. 21043-6007
410-461-2190

GOWER THOMPSON INC.
CIVIL ENGINEERING - SITE PLANNING

429 E. Lake Avenue
Baltimore, Maryland 21212
Phone 410-532-0101
Fax 410-532-0104
Email GOWERTHOMP@AOL.COM

OWNER/DEVELOPER:

NORBEL PROPERTIES, INC.

7310 PARK HEIGHTS AVENUE
BALTIMORE, MARYLAND 21208
DR. ERIC ISSELHARDT
PHONE 410-358-1233
FAX 410-358-3209
EMAIL WWW.NORBELSCHOOL.COM

6135 OLD WASHINGTON ROAD

NORBEL SCHOOL

PRIVATE SCHOOL RENOVATION/ADDITION

OWNER: NORBEL PROPERTIES, INC.

DEED REFERENCED: 133/533

ELECTION DISTRICT NO. 1

TAX MAP: 38 GRID: 9 PARCEL: 820

SCALE: 1" = 40'

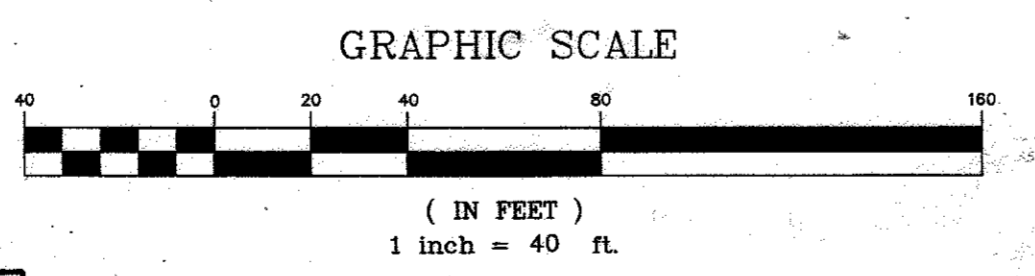
TITLE SHEET - OVERALL SITE PLAN

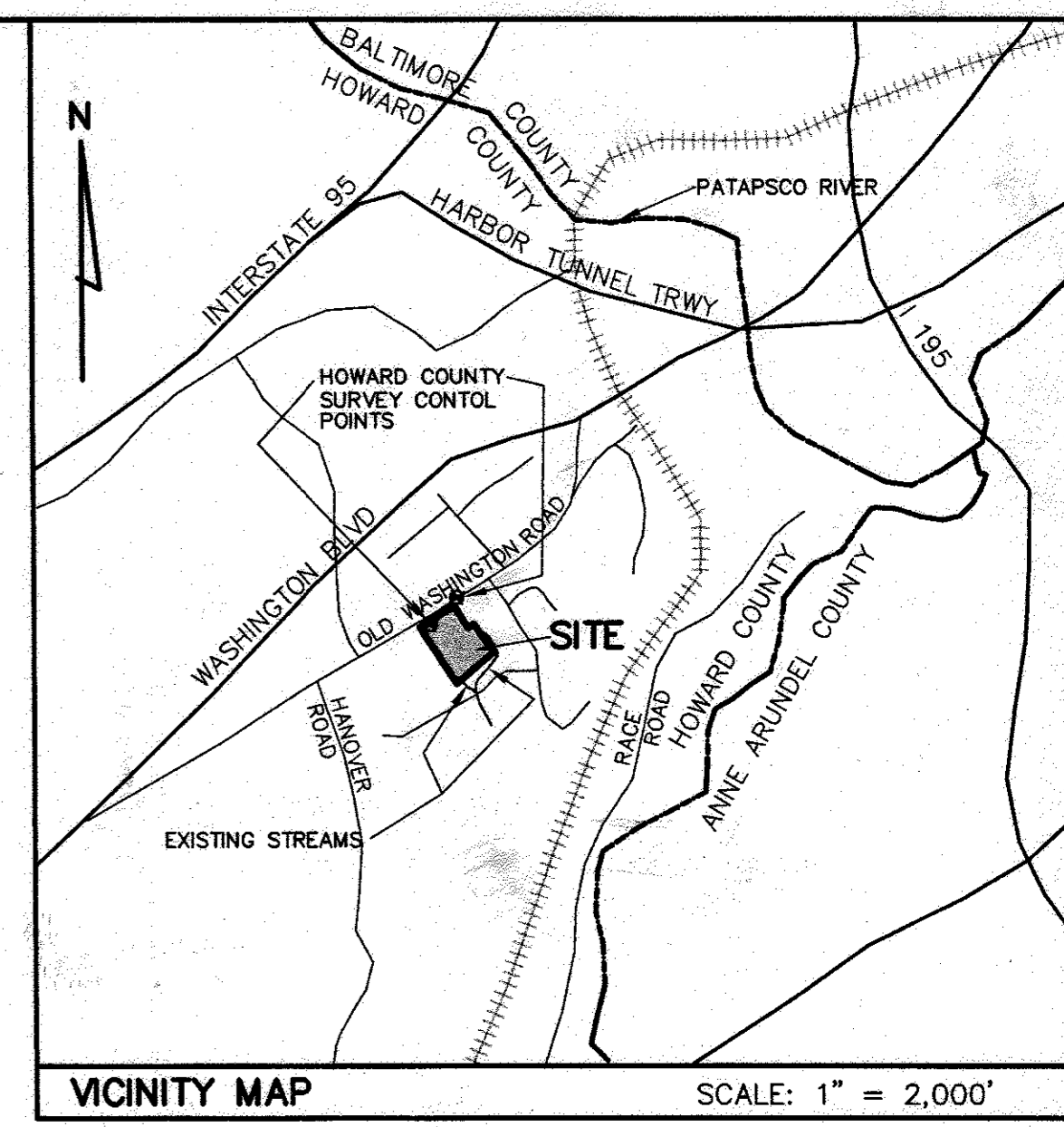
REV. 2: FEB. 26, 2001
REV. 1: SEPTEMBER 11, 2000
REV.: JAN. 26, 2001

SHEET 1 OF 17

SHEET INDEX

TITLE SHEET - OVERALL SITE PLAN	1 OF 17
EXISTING CONDITIONS PLAN	2 OF 17
GEOMETRIC & PAVING PLAN	3 OF 17
GRADING & UTILITY PLAN	4 OF 17
DETAILED SITE PLAN	5 OF 17
DETAILED SITE PLAN	6 OF 17
LANDSCAPE PLAN	7 OF 17
OVERALL EROSION & SEDIMENT CONTROL PLAN	8 OF 17
DETAILED SEDIMENT CONTROL PLAN	9 OF 17
EROSION & SEDIMENT CONTROL DETAILS	10 OF 17
EROSION & SEDIMENT CONTROL DETAILS	11 OF 17
UTILITY PROFILES	12 OF 17
SITE DETAILS	13 OF 17
SITE DETAILS	14 OF 17
SITE LIGHTING PLAN	15 OF 17
BUILDING ELEVATIONS	16 OF 17
DRAINAGE AREA MAP	17 OF 17





NOTE:

THERE ARE NO DEFINED FLOODPLAINS OR OBSERVED NON-TIDAL WETLANDS OBSERVED ON THE SITE.

THERE ARE NOT KNOWN BURIAL GROUNDS OR CEMETERY SITES ON THESE PREMISES AS VERIFIED BY THE CEMETERY INVENTORY LIST AND MAPS AND VISUAL INSPECTION.

TOPOGRAPHIC SURVEY BY K.J. WELLS INC. NOVEMBER 9, 2000

ALL OFF-SITE WORK SHALL BE COMPLETED BASED ON PHYSICAL FEATURES. NO WORK IS BASED ON COORDINATES. NO HOWARD COUNTY SURVEY CONTROL WERE USED, ARE AFFECTED OR ARE NEEDED.

THERE ARE NO EXISTING COUNTY PARKS, SCHOOLS OR OTHER PUBLIC FACILITIES AT THE SITE.

THERE ARE NOT OTHER STREETS OR RIGHTS OR WAY WITHIN 200' OF THE SITE OTHER THAN THE 30' PRIVATE RIGHT OF WAY ON THE NORTHWEST SIDE OF THE SITE.

BENCHMARK: HOWARD COUNTY SURVEY CONTROL POINT NO. 38BT3, 3/4" REBAR 9" EAST OF THE CONCRETE WALK ON THE NORTHEAST SIDE OF OLD WASHINGTON BLVD AND 36.6' FROM BG&E POLE NUMBER 217287/C&P NUMBER 52

ENTIRE SITE AND SURROUNDING AREA IS ZONED R-12

SITE IS NOT ON SCENIC ROAD INVENTORY LIST.

LEGEND	
	EXISTING 999 CONTOURS
	CURB & GUTTER/ EDGE OF PAVING
	ELECTRIC
	PROPERTY LINES
	SANITARY SEWER
	STORM DRAIN
	WATER
	BUILDINGS
	SLOPE AREAS > 25%
	SLOPE AREAS > 15% TO 25%
	SOILS DIVIDE LINE
	TREE LINE
	STREAM BUFFER
	WATER OF THE U.S.
	WETLAND

No.	REVISION	DATE
1	REVISE OWNER/DEVELOPER	7-28-2010

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *[Signature]* Date: 3/10/11

Chief, Division of Land Development: *[Signature]* Date: 3/15/11

Director: *[Signature]* Date: 3/15/11

MARYLAND INTERNATIONAL SCHOOL

OWNER / DEVELOPER
 SHANGRI-LA ENTERPRISES
 4465 MONTGOMERY ROAD
 ELLICOTT CITY, MD. 21043-6007
 410-461-2190

GOWER THOMPSON INC.
 CIVIL ENGINEERING - SITE PLANNING

429 E. Lake Avenue
 Baltimore, Maryland 21212
 Phone 410-532-0101
 Fax 410-532-0104
 Email: GOWERTHOMP@AOL.COM

SEAL:

OWNER/DEVELOPER:
NORBEL PROPERTIES, INC.
 7310 PARK HEIGHTS AVENUE
 BALTIMORE, MARYLAND 21208
 DR. ERIC ISSELHARDT
 PHONE 410-358-1233
 FAX 410-358-3209
 EMAIL WWW.NORBELSCHOOL.COM

6135 OLD WASHINGTON ROAD
NORBEL SCHOOL
 PRIVATE SCHOOL RENOVATION/ADDITION

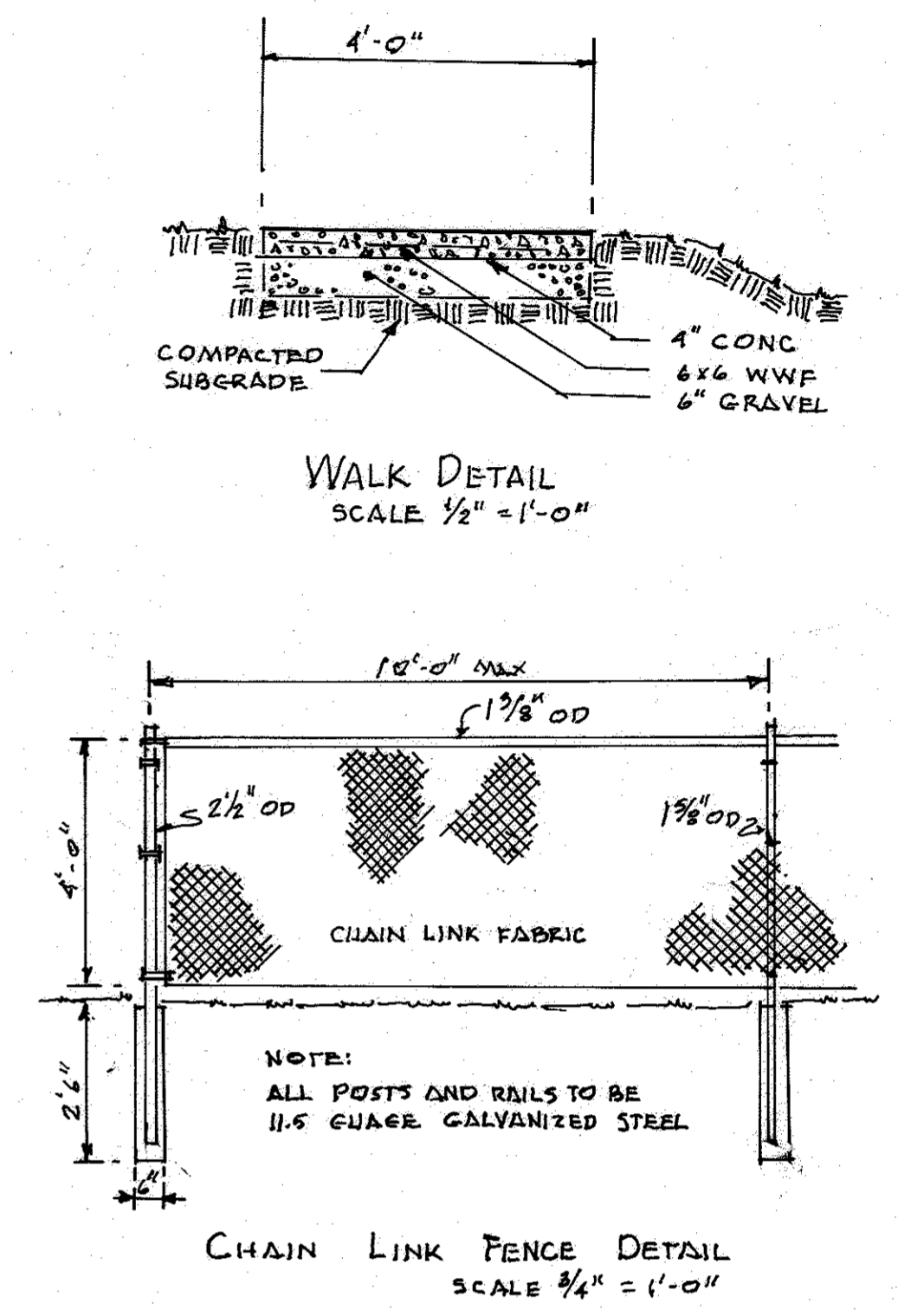
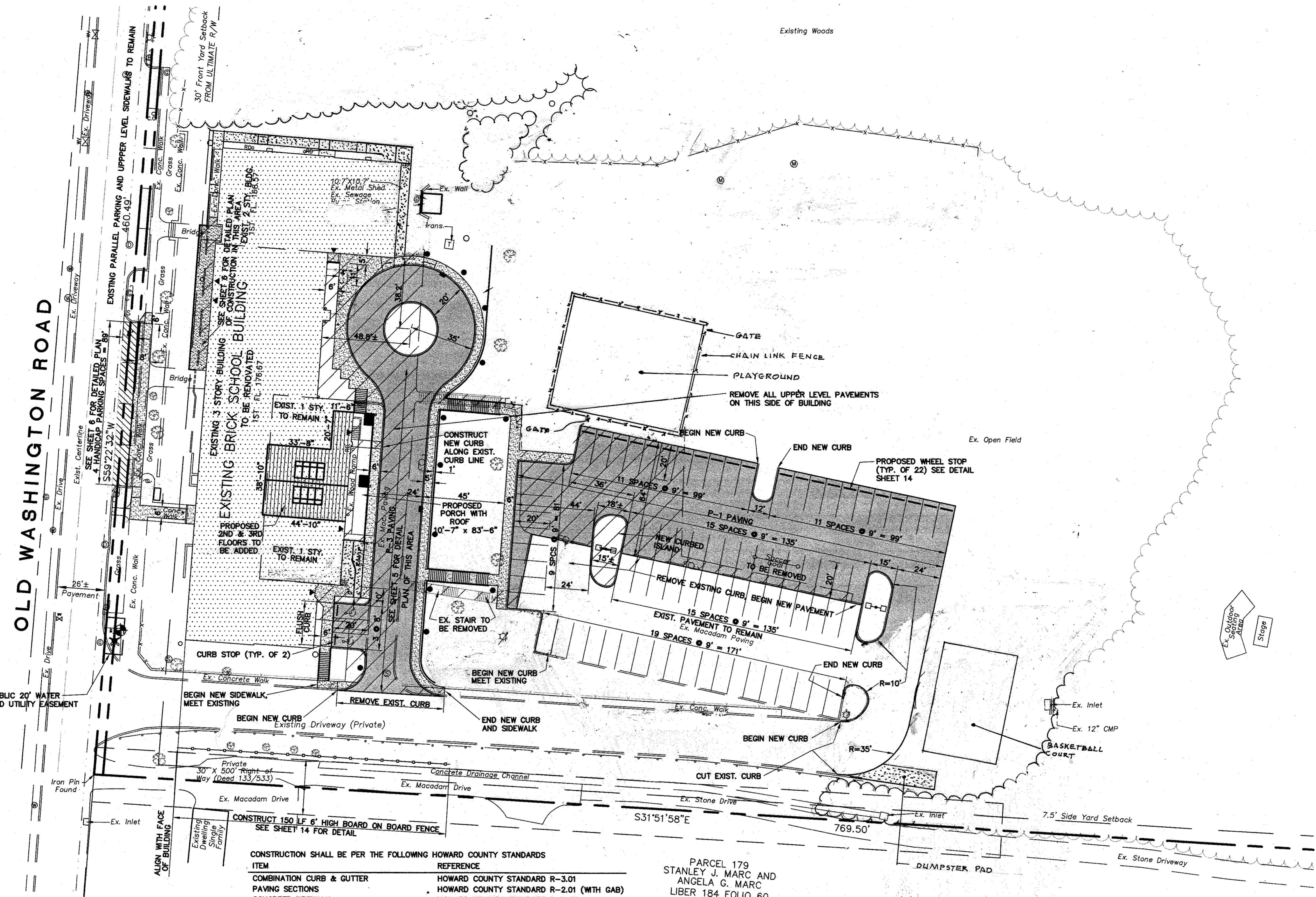
OWNER: NORBEL PROPERTIES, INC.
 DEED REFERENCED: 133/533
 ELECTION DISTRICT NO. 1
 TAX MAP: 38 GRID: 9 PARCEL: 820
 SCALE: 1" = 40'

EXISTING CONDITIONS PLAN

REV 2: FEB 24, 2001
 DATE: SEPTEMBER 11, 2000
 REV.: JAN. 11, 2001
 SHEET 2 OF 17

SDP-01-45

OLD WASHINGTON ROAD



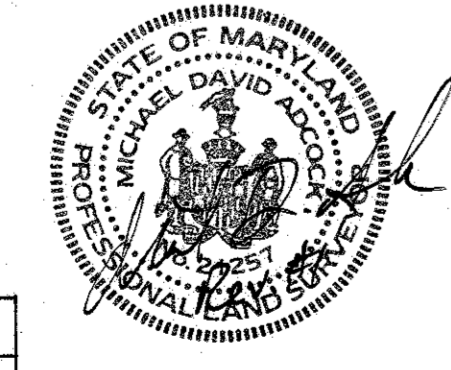
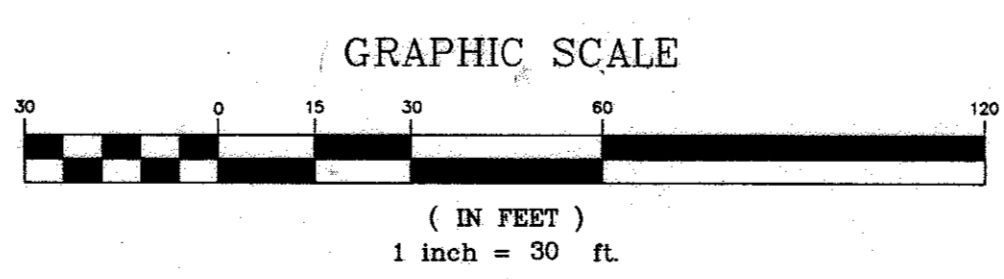
CONSTRUCTION SHALL BE PER THE FOLLOWING HOWARD COUNTY STANDARDS

ITEM	REFERENCE
COMBINATION CURB & GUTTER	HOWARD COUNTY STANDARD R-3.01
PAVING SECTIONS	HOWARD COUNTY STANDARD R-2.01 (WITH GAB)
CONCRETE SIDEWALK	HOWARD COUNTY STANDARD R-3.05
CONCRETE STAIRS	HOWARD COUNTY STANDARD G-7.01
PIPE RAILING FOR CONCRETE STAIRS	HOWARD COUNTY STANDARD G-7.02

PARCEL 179
 STANLEY J. MARC AND
 ANGELA G. MARC
 LIBER 184 FOLIO 60
 TAX ACCOUNT 01172778
 R-12 ZONING

LEGEND

EXISTING	PROPOSED



NO.	REVISION	DATE
1	ADD 4' CONC. WALK AROUND NE. CORNER OF BLDG.	9-19-14

APPROVED: *[Signature]*
 DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division Date: 3/2/01
 Chief, Division of Land Development Date: 3/18/01
 Director Date: 3/19/01

MARYLAND INTERNATIONAL SCHOOL
 OWNER/DEVELOPER
 SHANGRI-LA ENTERPRISES
 4465 MONTGOMERY ROAD
 ELLICOTT CITY, MD. 21043-6007
 410-461-2190

GT
 GOWER THOMPSON INC.
 CIVIL ENGINEERING - SITE PLANNING
 429 E. Lake Avenue
 Baltimore, Maryland 21212
 Phone 410-532-0101
 Fax 410-532-0104
 Email GOWERTHOPI@AOL.COM

SEAL: *[Signature]*

OWNER/DEVELOPER:
NORBEL PROPERTIES, INC.
 7310 PARK HEIGHTS AVENUE
 BALTIMORE, MARYLAND 21208
 DR. ERIC ISSELHARDT
 PHONE 410-358-1233
 FAX 410-358-3209
 EMAIL WWW.NORBELSCHOOL.COM

6135 OLD WASHINGTON ROAD
NORBEL SCHOOL
 PRIVATE SCHOOL RENOVATION/ADDITION
 OWNER: NORBEL PROPERTIES, INC.
 DEED REFERENCED: 133/533
 ELECTION DISTRICT NO. 1
 TAX MAP: 38 GRID: 9 PARCEL: 820
 SCALE: 1" = 30'
 GEOMETRIC & PAVING PLAN

REV. 2: FEB, 26, 2001
 DATE: SEPTEMBER 11, 2000
 REV.: JAN. 26, 2001
 SHEET 3 OF 17

OLD WASHINGTON ROAD

SEE SHEET 6 DETAIL PLAN AND SPOT ELEVATIONS AT HANDICAP SPACES AND ACCESS

SEE SHEET 5 FOR SPOT ELEVATIONS ALONG RETAINING WALL, STEPS DOWN, AND AT BUILDING/DROPOFF

EXISTING WATER SERVICE TO BE ABANDONED

PUBLIC 20' WATER AND UTILITY EASEMENT

CONSTRUCT 12" x 8" TAPPING SLEEVE AND VALVE WITH SMALL SECTIONAL VAULT (W-3.63)

CONSTRUCT 8" x 6" TEE, 6" VALVE IN ADJUSTABLE ROADWAY VALVE BOX AND FIRE HYDRANT (W-1.11)

WATER LINE CONSTRUCTION FROM EXISTING MAIN TO END OF 10' x 20' EASEMENT TO BE CONSTRUCTED UNDER ADO REQUEST

EXISTING R/W
ULTIMATE R/W

UTILITY NOTES

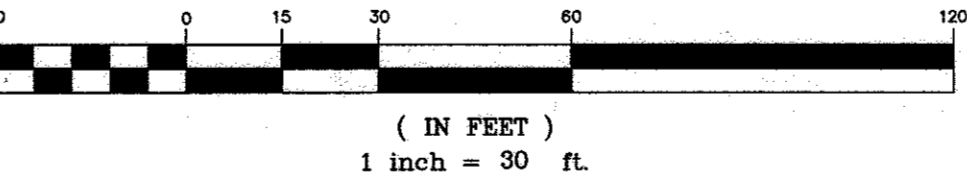
- EXISTING WATER SERVICE TO BE REPLACED BY NEW SERVICE WITH INTERNAL WATER METER.
- EXISTING SANITARY SEWER SERVICE TO REMAIN. EXISTING PUMPS TO BE REPLACED.
- PRIVATE SEWER IS THE EXISTING ON SITE SANITARY WHICH SERVES THE SCHOOL.



SEE DETAIL GRADING PLAN FOR DETAILS OF GRADING ALONG NEW DROP OFF ROAD

PARCEL 179
STANLEY J. MARC AND
ANGELA G. MARC
LIBER 184 FOLIO 60
TAX ACCOUNT 01172778
R-12 ZONING

GRAPHIC SCALE



LEGEND

EXISTING		PROPOSED
	CONTOURS	
	CURB & GUTTER/EDGE OF PAVING	
	ELECTRIC	
	PROPERTY LINES	
	SANITARY SEWER	
	STORM DRAIN	
	WATER	
	BUILDINGS	
	BITUMINOUS CONCRETE PAVEMENT	
	BITUMINOUS CONCRETE OVERLAY	
	CONCRETE SIDEWALK	
	TREE LINE	
	STREAM BUFFER	
	WATER OF THE U.S. (INTERMITTENT STREAM)	
	LIGHTS	

APPROVED: *[Signature]* DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division Date: 3/7/01
 Chief, Division of Land Development Date: 3/8/01
 Director Date: 3/9/01

MARYLAND INTERNATIONAL SCHOOL
 OWNER/DEVELOPER
 SHANGRI-LA ENTERPRISES
 4465 MONTGOMERY ROAD
 BELLEHART CITY, MD 21045-6007

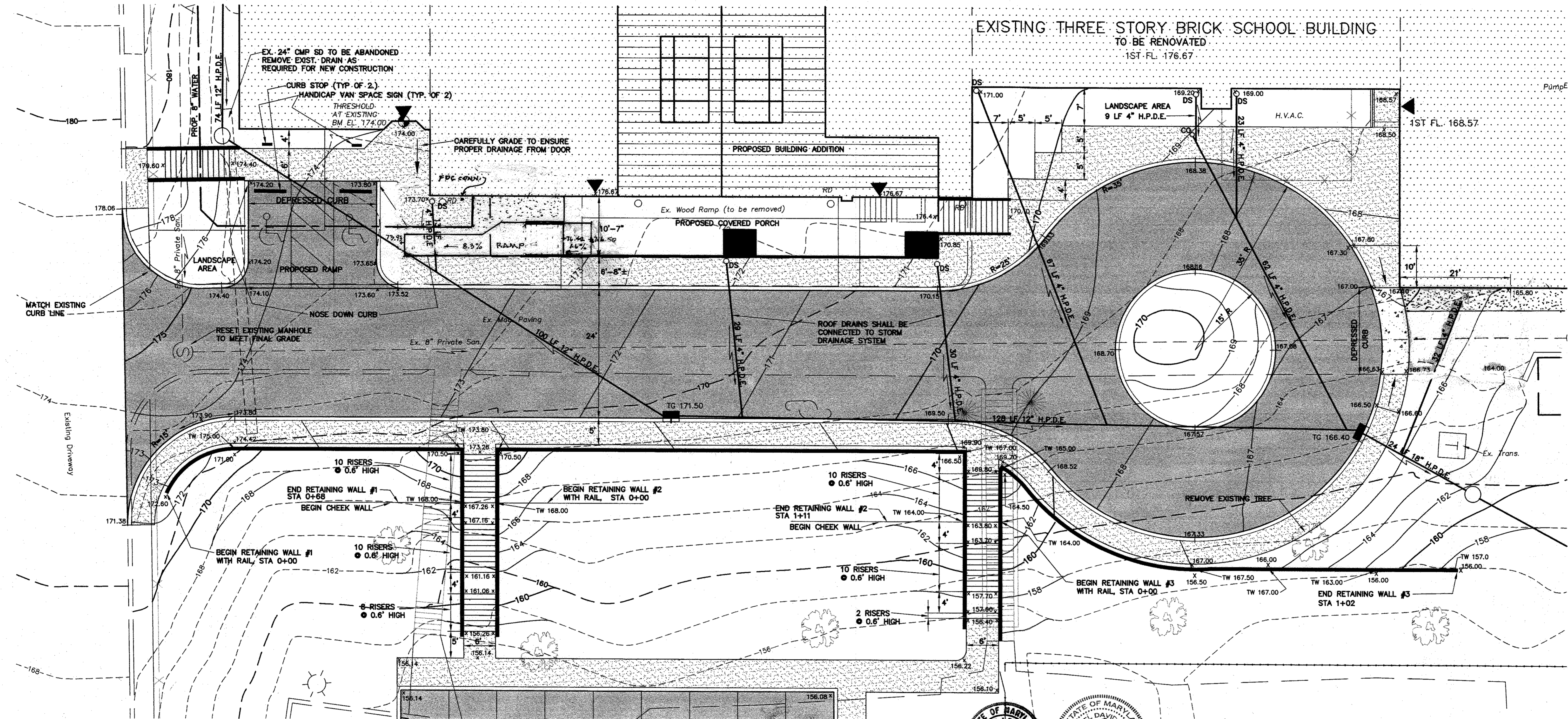
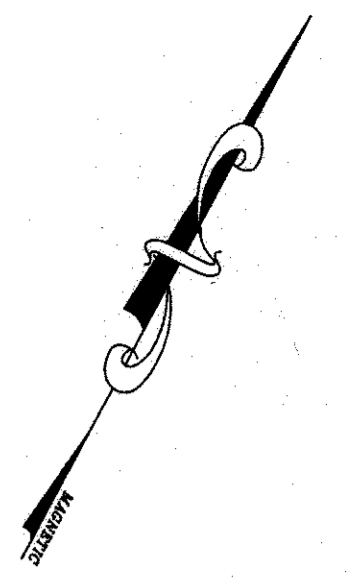
OWER THOMPSON INC.
 CIVIL ENGINEERING - SITE PLANNING
 429 E. Lake Avenue
 Baltimore, Maryland 21212
 Phone 410-532-0101
 Fax 410-532-0104
 Email GOWER@GTHOMP.COM

SEAL:

OWNER/DEVELOPER:
NORBEL PROPERTIES, INC.
 7310 PARK HEIGHTS AVENUE
 BALTIMORE, MARYLAND 21208
 DR. ERIC ISSELHARDT
 PHONE 410-358-1233
 FAX 410-358-3209
 EMAIL WWW.NORBELSCHOOL.COM

6135 OLD WASHINGTON ROAD
NORBEL SCHOOL
 PRIVATE SCHOOL RENOVATION/ADDITION
 OWNER: NORBEL PROPERTIES, INC.
 DEED REFERENCED: 133/533
 ELECTION DISTRICT NO. 1
 TAX MAP: 38 GRID: 9 PARCEL: 820
 SCALE: 1" = 30'
 DATE: SEPTEMBER 11, 2000
 REV.: JAN. 26, 2001
GRADING & UTILITY PLAN
 SHEET 4 OF 17

LEGEND	
EXISTING	PROPOSED
- - - - - 999	CONTOURS
=====	CURB & GUTTER/ EDGE OF PAVING
---	ELECTRIC
----	PROPERTY LINES
----	SANITARY SEWER
----	STORM DRAIN
----	WATER
[Pattern]	BUILDINGS
[Pattern]	BITUMINOUS CONCRETE PAVEMENT
[Pattern]	CONCRETE SIDEWALK



NO.	REVISION	DATE
1	ADD CONC. RAMP AT ENTRANCE & CONC WALK AROUND NORTH END OF BUILDING	9-19-16

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *[Signature]* Date: 3/2/01

Chief, Division of Land Development: *[Signature]* Date: 3/2/01

Director: *[Signature]* Date: 3/2/01

MARYLAND INTERNATIONAL SCHOOL

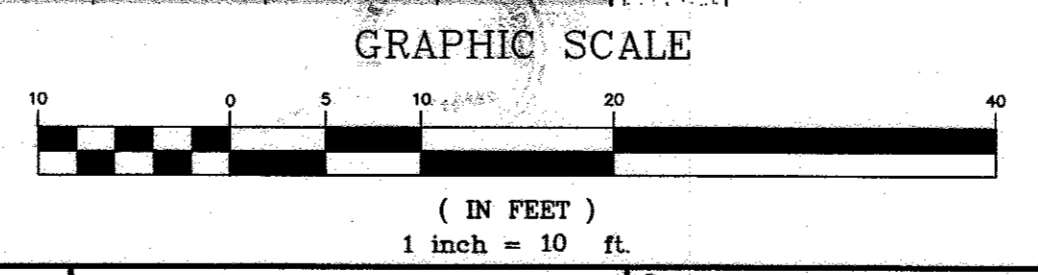
OWNER/DEVELOPER
SHANGRI-LA ENTERPRISES
4465 MONTGOMERY ROAD
ELLICOTT CITY, MD. 21043-6007
410-461-2190

GT
GOWER THOMPSON INC.
CIVIL ENGINEERING - SITE PLANNING

429 E. Lake Avenue
Baltimore, Maryland 21212
Phone 410-532-0101
Fax 410-532-0104
Email GOWERTHOMP@AOL.COM

SEAL: *[Seal]*

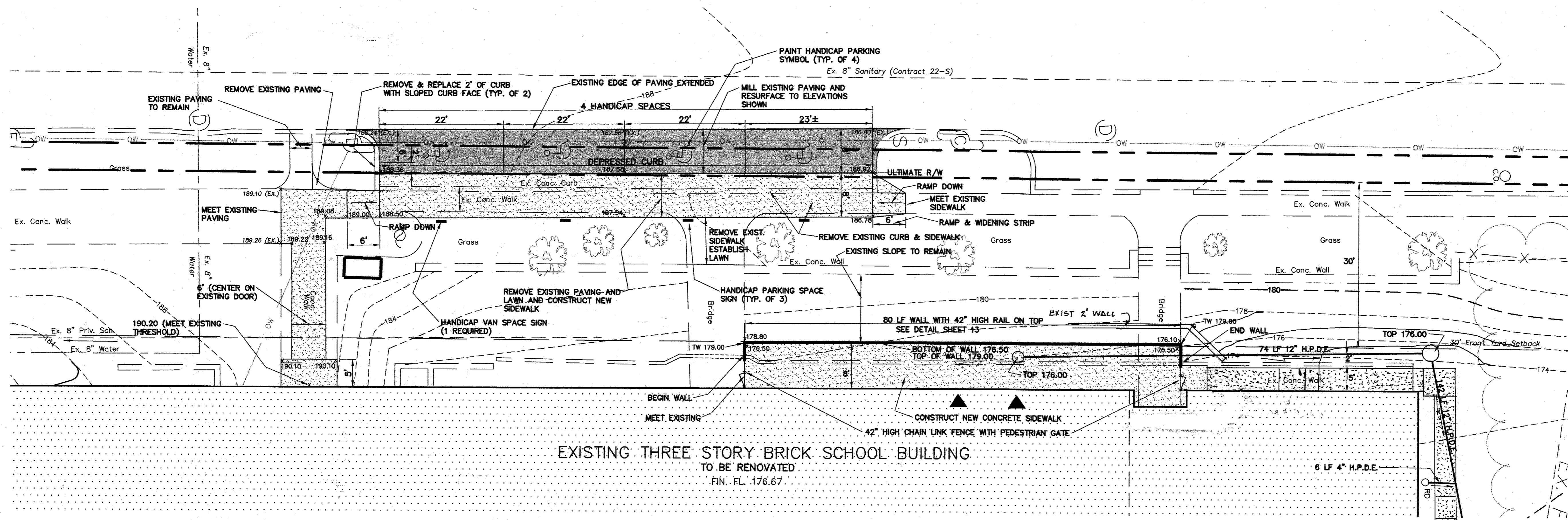
OWNER/DEVELOPER:
NORBEL PROPERTIES, INC.
7310 PARK HEIGHTS AVENUE
BALTIMORE, MARYLAND 21208
DR. ERIC ISSELHARDT
PHONE 410-358-1233
FAX 410-358-3209
EMAIL WWW.NORBELSCHOOL.COM



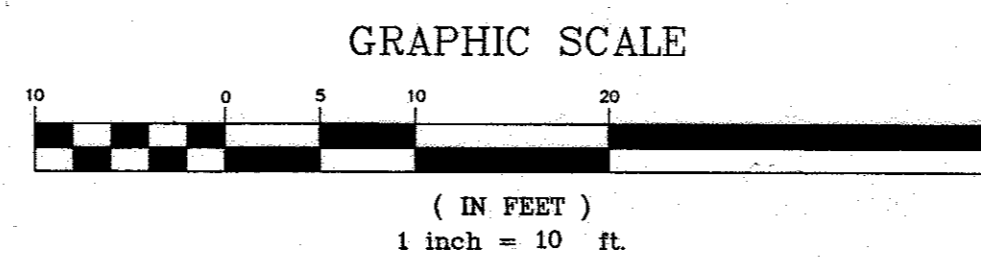
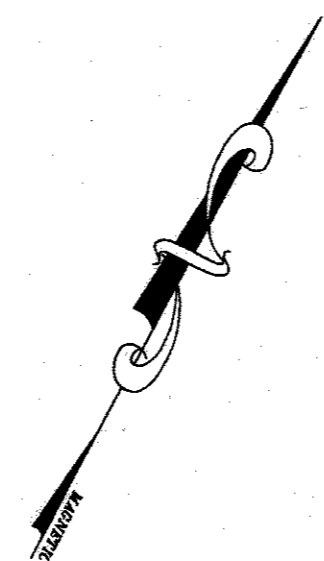
STATE OF MARYLAND
MICHAEL DAVID LOGG
No. 21251
INTERNATIONAL LAND SURVEYORS
[Signature] Rev. #1

6135 OLD WASHINGTON ROAD
NORBEL SCHOOL
PRIVATE SCHOOL RENOVATION/ADDITION

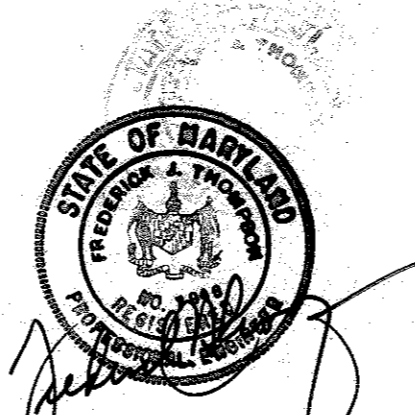
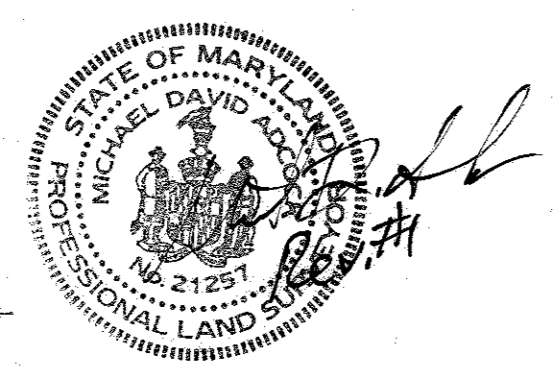
OWNER: NORBEL PROPERTIES, INC.
DEED REFERENCED: 133/533
ELECTION DISTRICT NO. 1
TAX MAP: 38 GRID: 9 PARCEL: 820
SCALE: 1" = 10'
DATE: SEPTEMBER 11, 2000
REV.: JAN. 11, 2001
SHEET 5 OF 17
SDP-01-45



EXISTING THREE STORY BRICK SCHOOL BUILDING
TO BE RENOVATED
FIN. FL. 176.67



EXISTING	LEGEND	PROPOSED
--- 999 ---	CONTOURS	--- 999 ---
---	CURB & GUTTER/ EDGE OF PAVING	---
---	ELECTRIC	---
---	PROPERTY LINES	---
---	SANITARY SEWER	---
---	STORM DRAIN	---
---	WATER	---
[Pattern]	BUILDINGS	[Pattern]
[Pattern]	BITUMINOUS CONCRETE OVERLAY	[Pattern]
[Pattern]	CONCRETE SIDEWALK	[Pattern]



NO	REVISION	DATE
1	ADD 4" CONC. WALK AROUND N.E. CORNER OF BLDG.	9-19-16

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division: *[Signature]* Date: 3/2/01
 Chief, Division of Land Development: *[Signature]* Date: 3/8/01
 Director: *[Signature]* Date: 3/9/01

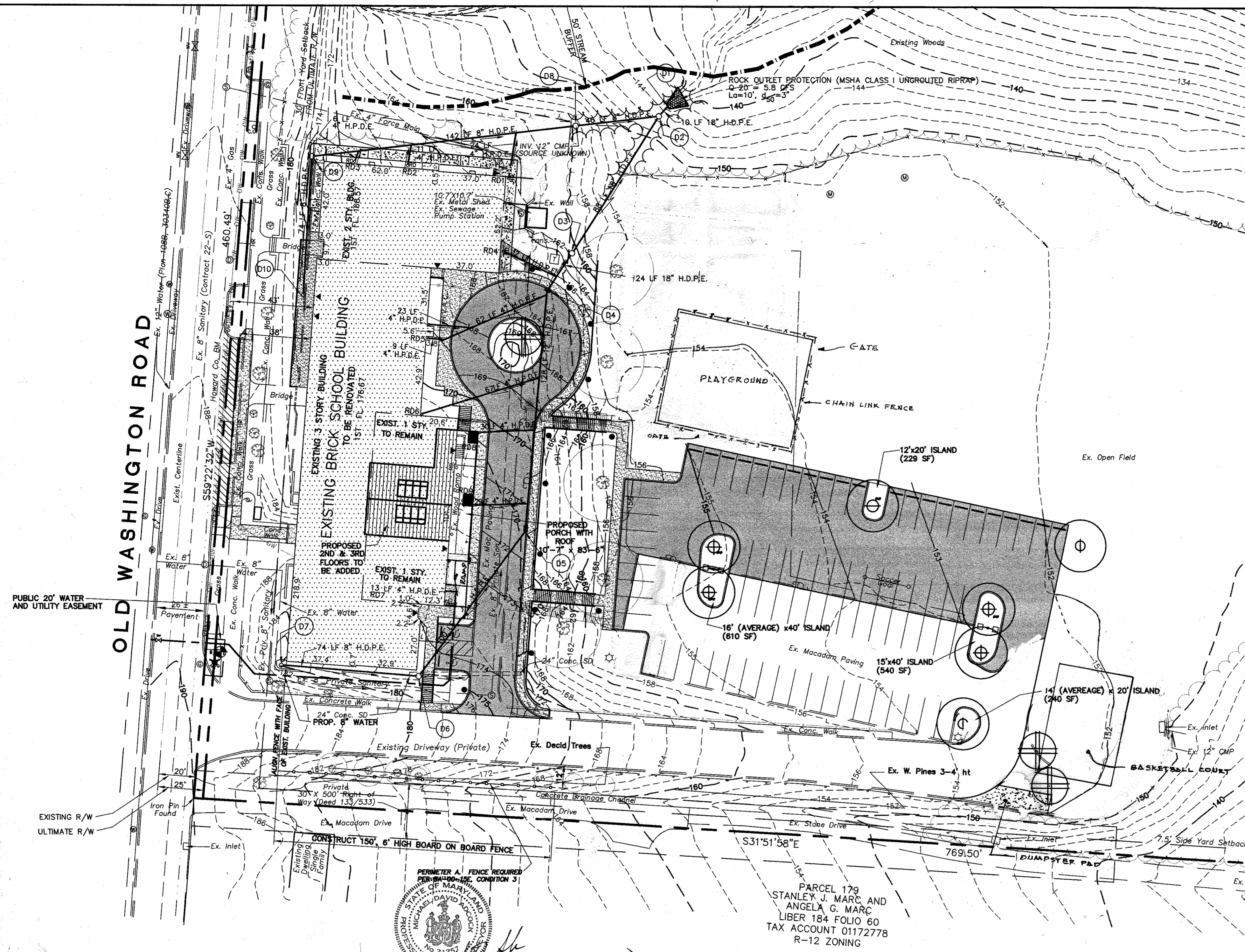
MARYLAND INTERNATIONAL SCHOOL
 OWNER / DEVELOPER
 SHANGRI-LA ENTERPRISES
 4465 MONTGOMERY ROAD
 BELLEHART CITY, MD. 21043-6007
 410-461-2190

GT
 GOWER THOMPSON INC.
 CIVIL ENGINEERING - SITE PLANNING
 429 E. Lake Avenue
 Baltimore, Maryland 21212
 Phone 410-532-0101
 Fax 410-532-0104
 Email GOWERTHOMP@AOL.COM

SEAL:
 STATE OF MARYLAND
 PROFESSIONAL ENGINEER
[Signature]

OWNER/DEVELOPER:
NORBEL PROPERTIES, INC.
 7310 PARK HEIGHTS AVENUE
 BALTIMORE, MARYLAND 21208
 DR. ERIC ISSELHARDT
 PHONE 410-358-1233
 FAX 410-358-3209
 EMAIL WWW.NORBELSCHOOL.COM

6135 OLD WASHINGTON ROAD
NORBEL SCHOOL
 PRIVATE SCHOOL RENOVATION/ADDITION
 OWNER: NORBEL PROPERTIES, INC.
 DEED REFERENCED: 133/533
 ELECTION DISTRICT NO. 1
 TAX MAP: 38 GRID: 9 PARCEL: 820
 SCALE: 1" = 10'
 DETAILED SITE PLAN
 DATE: SEPTEMBER 11, 2000
 REV.: JAN. 11, 2001
 SHEET 6 OF 17



SCHEDULE A - PERIMETER LANDSCAPE EDGE

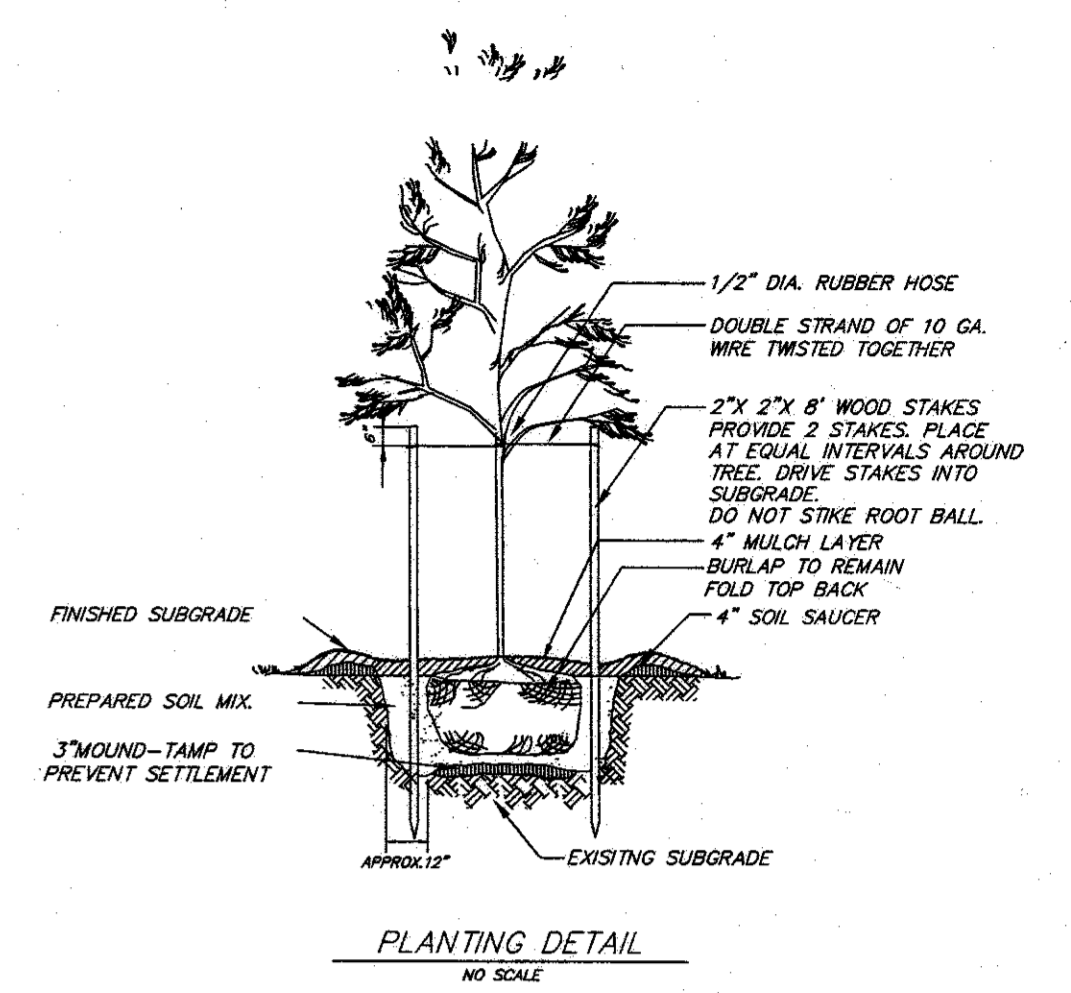
Category	Adjacent to Roadways	Perimeter Properties	Total Plants
Parameter Number A	N/A **	N/A **	
Landscape Type			
Linear Feet of Frontage			
Parking to Roadway			
Perimeter Properties			
Credit			
For Existing Vegetation			
Required Plantings:	N/A **	N/A **	N/A **
Shade Trees			
Evergreen Trees			
Shrubs			
Provided Plantings:	N/A **	N/A **	N/A **
Shade Trees			
Evergreen Trees			
Flowering Trees (Credit/2)			
Shrubs			

N/A ** All improvements are internal and do not impact the perimeter, except for screen fence requirement of BA-00-15E, Condition 3

SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING

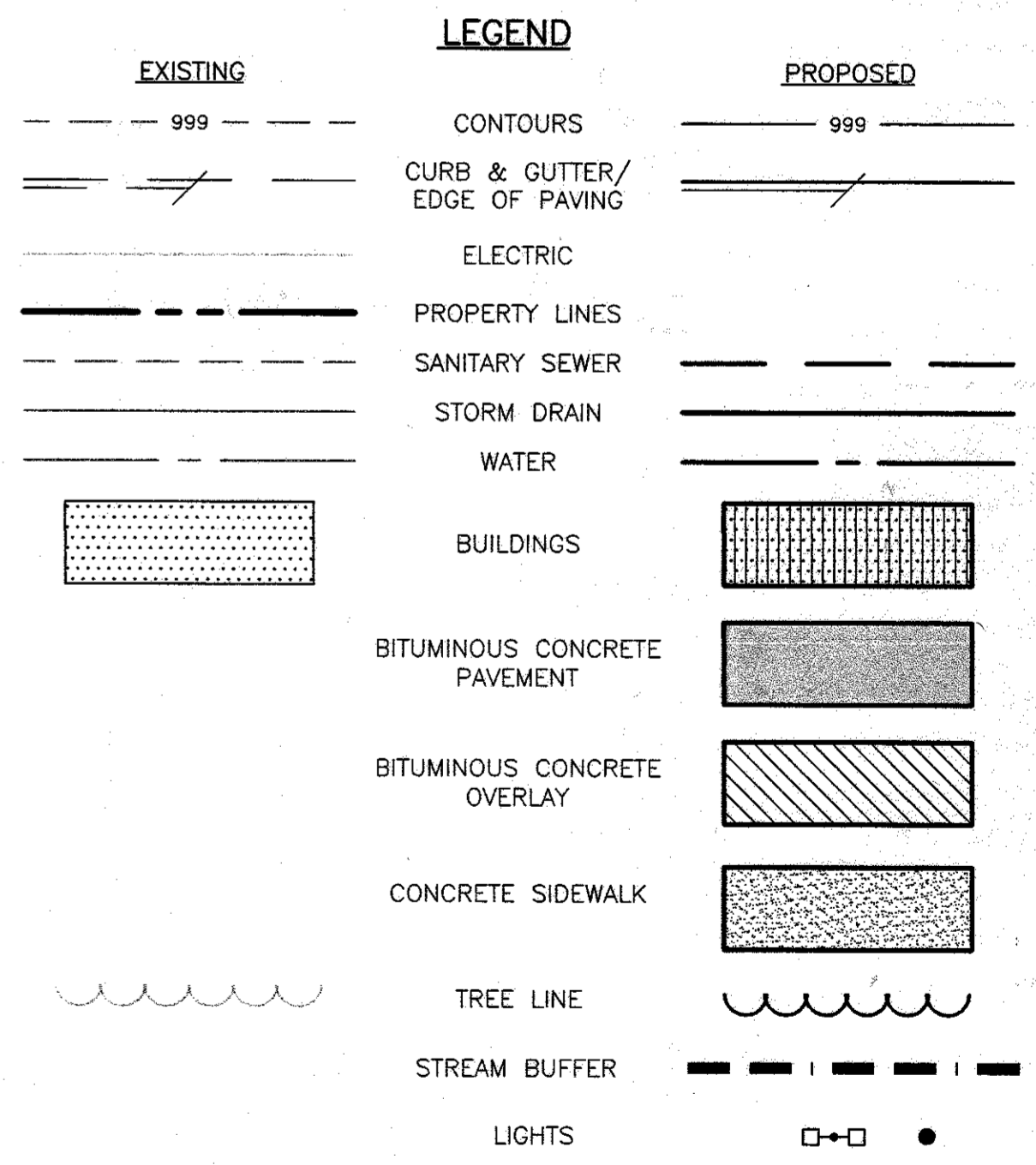
TOTAL NUMBER OF PARKING SPACES PROVIDED (expansion exceeds 50%)	80
Parking Lot Islands Required: 1@200sf/20 spaces= 4 (800sf)	
Parking Lot Islands Provided	4 (1,619sf)
NUMBER OF TREES REQUIRED (1/20spaces)	4 **
NUMBER OF TREES PROVIDED	4

** trees indicated thus (**) are required under surety, all others may be provided at owner's option



PLANT SCHEDULE

Symbol	Quantity	Scientific Name	Common Name	Planting Size
⊕	3	Quercus phellos	Willow Oak	2 1/2"-3" cal. 12-14' ht
⊕	4	Acer rubrum 'Red Sunset'	Red Sunset Maple	2 1/2"-3" cal. 12-14' ht
⊕	4	Prunus yedoensis	Yoshino Flowering Cherry	2-2 1/2"-Cal, 8-10' ht



BONDING NOTE:
THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.

FINANCIAL SURETY IN THE AMOUNT OF \$2,700.00 FOR THE REQUIRED PLANTINGS (4 SHADE TREES AND 150 LF 6" HIGH BOARD ON BOARD FENCE) IS PART OF THE BUILDERS GRADING PERMIT APPLICATION.

- NOTES:**
- All plant materials shall be full and heavy, be well formed and symmetrical, and conform to the most current AAN specifications.
 - Contractor shall verify location of all underground utilities prior to digging.
 - Final location of plant material may need to vary to meet final field conditions.

DEVELOPER'S/OWNER'S CERTIFICATE
I CERTIFY THAT THE LANDSCAPING ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Eric Issehardt
SIGNATURE
DR. ERIC ISSELHARDT 12/11/2000
PRINT NAME DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division Date 3/2/01
Chief, Division of Land Development Date 3/8/01
Director Date 3/9/01

MARYLAND INTERNATIONAL SCHOOL
OWNER/DEVELOPER
SHANGRI-LA ENTERPRISES
4425 MONTEOMERY ROAD
ELLCOTT CITY, MD. 21043-6007
410-461-2190

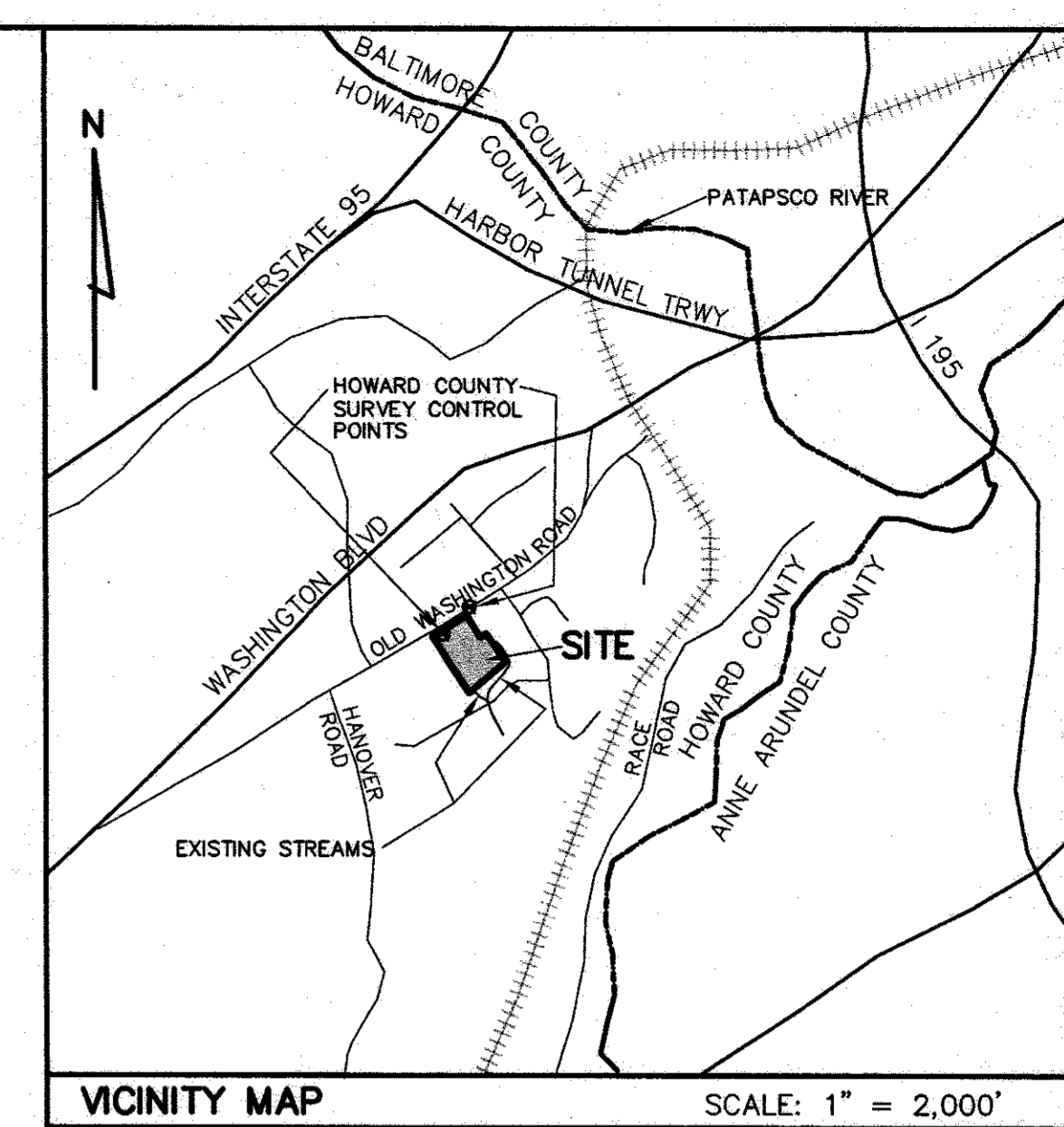
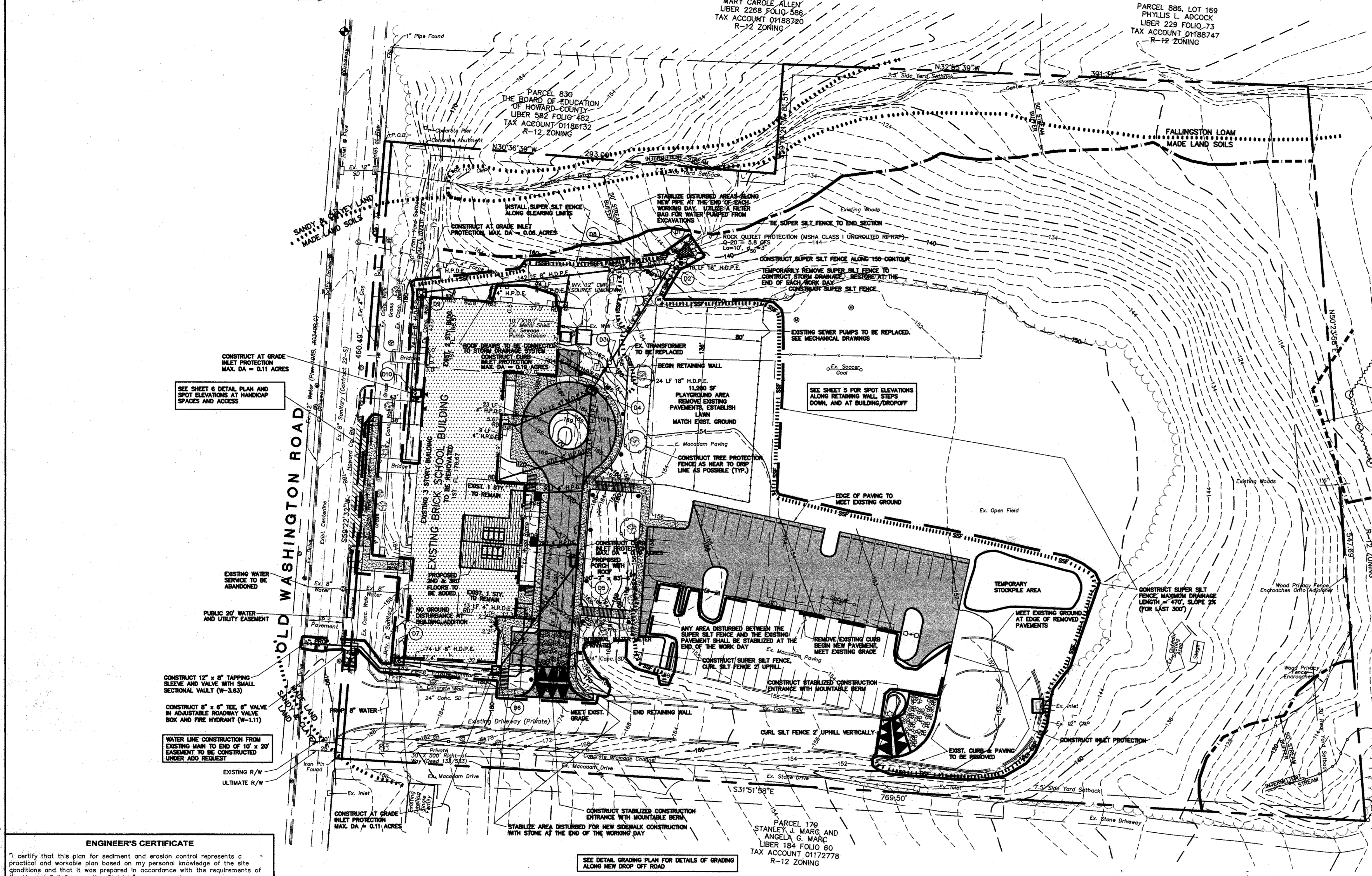
GOWER THOMPSON INC.
CIVIL ENGINEERING - SITE PLANNING
429 E. Lake Avenue
Baltimore, Maryland 21212
Phone 410-532-0101
Fax 410-532-0104
Email GOWERTHOMP@AOL.COM

SEAL:

OWNER/DEVELOPER:
NORBEL PROPERTIES, INC.
7310 PARK HEIGHTS AVENUE
BALTIMORE, MARYLAND 21208
DR. ERIC ISSELHARDT
PHONE 410-358-1233
FAX 410-358-3209
EMAIL WWW.NORBELSCHOOL.COM

6135 OLD WASHINGTON ROAD
NORBEL SCHOOL
PRIVATE SCHOOL RENOVATION/ADDITION
OWNER: NORBEL PROPERTIES, INC.
DEED REFERENCED: 133/533
ELECTION DISTRICT NO. 1
TAX MAP: 38 GRID: 9 PARCEL: 820
SCALE: 1" = 30'
DATE: SEPTEMBER 11, 2000
REV.: JAN. 26, 2001
LANDSCAPE PLAN
REV. FEB. 26, 2001
SHEET 7 OF 17

No.	REVISION	DATE
1	REVISE OWNER/DEVELOPER	7-28-2016

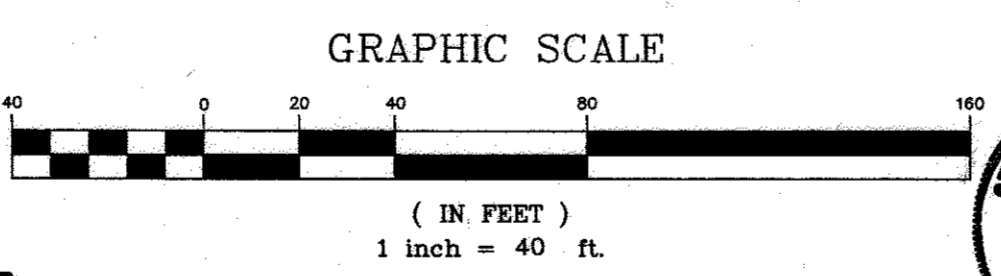


- OVERALL PLAN NOTES**
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
 - NO PORTION OF THE SITE IS SUBJECT TO A DEFINED FLOOD PLAN. THERE ARE NO WETLANDS ON SITE.
 - PROJECT AREA = 8.45 ACRES
 - LIMIT OF DISTURBANCE: 90,350 SF OR 2.07 AC.
 - CUT = 200* CY FILL = 1,000* CY BORROW EXCAVATION SHALL BE OBTAINED FROM A SITE HAVING AN APPROVED SEDIMENT CONTROL PLAN.
 - THERE ARE NO EXISTING OR PROPOSED PERMANENT PONDS WITHIN 200' OF THIS SITE.
 - NO OFF-SITE EASEMENTS OR RIGHTS OF WAY ARE REQUIRED TO SUPPORT THIS PROJECT.
- * FOR PERMITTING PURPOSES ONLY. CONTRACTOR SHALL NOT USE THESE FIGURES FOR BIDDING PURPOSES

LEGEND	
EXISTING	PROPOSED
999 - - - - -	999 - - - - -
--- ---	--- ---
---	---
----	----
---	---
---	---
---	---
---	---
---	---
---	---
---	---
---	---
---	---
---	---
---	---
---	---
---	---
---	---
---	---
---	---

EROSION AND SEDIMENT CONTROL LEGEND

SUPER SILT FENCE	SSF
STABILIZED CONSTRUCTION ENTRANCE WITH MOUNTABLE BERM	
INLET PROTECTION	
LIMIT OF DISTURBANCE	
TREE PROTECTION FENCE	



ENGINEER'S CERTIFICATE
 I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature of Engineer (print name below signature) Date
 Frederick J. Thompson 12/11/00

DEVELOPER'S CERTIFICATE
 I certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
 Signature of Developer (print name below signature) Date
 Dr. Eric Issehardt 12/11/00

Reviewed for Howard SCD and meets Technical Requirements
 Signature of Developer (print name below signature) Date
 Eric Issehardt 3/5/01

Signature of Developer (print name below signature) Date
 Eric Issehardt 3/5/01

APPROVED DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division Date 3/2/01
 Chief, Division of Land Development Date 3/5/01
 Director Date 3/9/01

MARYLAND INTERNATIONAL SCHOOL
 OWNER/DEVELOPER
 SHANGRI-LA ENTERPRISES
 465 MONTGOMERY ROAD
 ELLICOTT CITY, MD. 21043-6007
 410-461-2190

GOWER THOMPSON INC.
 CIVIL ENGINEERING - SITE PLANNING
 429 E. Lake Avenue
 Baltimore, Maryland 21212
 Phone 410-532-0101
 Fax 410-532-0104
 Email GOWERTHOMP@AOL.COM

SEAL:

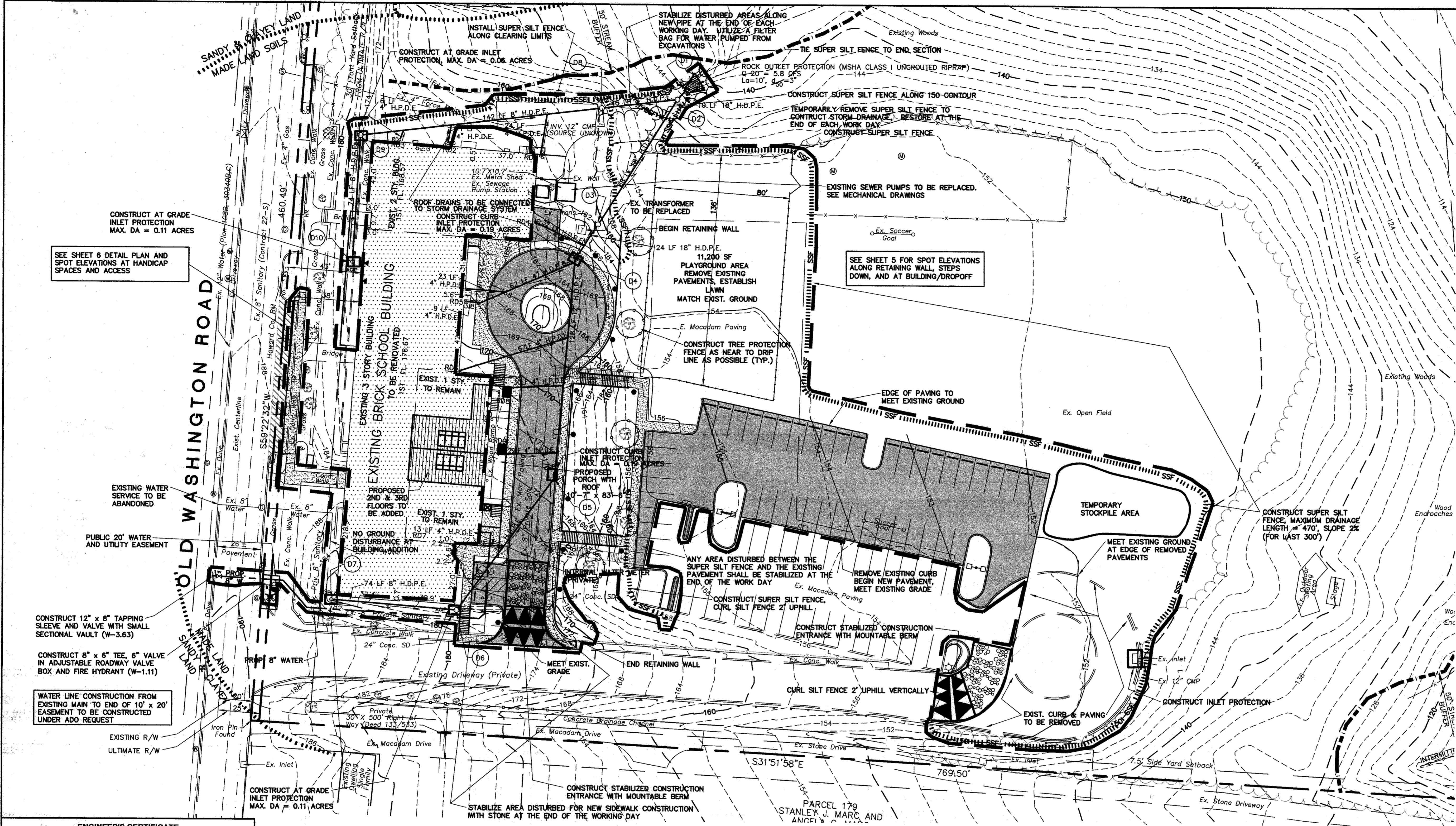
OWNER/DEVELOPER:
NORBEL PROPERTIES, INC.
 7310 PARK HEIGHTS AVENUE
 BALTIMORE, MARYLAND 21208
 DR. ERIC ISSELHARDT
 PHONE 410-358-1233
 FAX 410-358-3209
 EMAIL WWW.NORBELSCHOOL.COM

**6135 OLD WASHINGTON ROAD
 NORBEL SCHOOL
 PRIVATE SCHOOL RENOVATION/ADDITION**

OWNER: NORBEL PROPERTIES, INC.
 DEED REFERENCED: 133/533
 ELECTION DISTRICT NO. 1
 TAX MAP: 38 GRID: 9 PARCEL: 820
 SCALE: 1" = 30'
 OVERALL EROSION & SEDIMENT CONTROL PLAN

REV. 2: FEB. 26, 2001
 DATE: SEPTEMBER 11, 2000
 REV.: JAN. 26, 2001
 SHEET 8 OF 17

No.	REVISION	DATE
1	REVISE OWNER/DEVELOPER	7-28-2010



LEGEND	
EXISTING	PROPOSED
--- 999 ---	--- 999 ---
- - - - -	- - - - -
---	---
- - - - -	- - - - -
---	---
---	---
---	---
---	---
---	---
---	---
---	---
---	---
---	---
---	---
---	---
---	---
---	---

ENGINEER'S CERTIFICATE
 I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
FREDERICK J. THOMPSON
 Signature of Engineer (print name below signature) Date: 12/11/10

DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
DR. ERIC ISSELHARDT
 Signature of Developer (print name below signature) Date: 12/11/10

Reviewed for Howard SCD and meets Technical Requirements
Dina Adams 3/5/01
 USDA Natural Resources Conservation Service Date
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
M. L. [Signature] 3/5/01
 Howard SCD Date

APPROVED: **DEPARTMENT OF PLANNING AND ZONING**
 Chief, Development Engineering Division: 4 Date: 3/2/01
 Chief, Division of Land Development: Date: 3/5/01
 Director: Date: 3/5/01

MARYLAND INTERNATIONAL SCHOOL
 OWNER / DEVELOPER
 SHANGRI-LA ENTERPRISES
 4465 MONTGOMERY ROAD
 ELICOTT CITY, MD. 21043-6007
 410-461-2190

SEE OVERALL EROSION AND SEDIMENT CONTROL PLAN, SHEET 8, FOR OVERALL PROPERTY BOUNDARIES AND ADJACENT PROPERTY OWNERS

GRAPHIC SCALE
 (IN FEET)
 1 inch = 30 ft

EROSION AND SEDIMENT CONTROL LEGEND
 SUPER SILT FENCE
 STABILIZED CONSTRUCTION ENTRANCE WITH MOUNTABLE BERM
 INLET PROTECTION
 LIMIT OF DISTURBANCE
 TREE PROTECTION FENCE

SEAL:
 STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 FREDERICK J. THOMPSON
 No. 11303
 Exp. 12/31/11

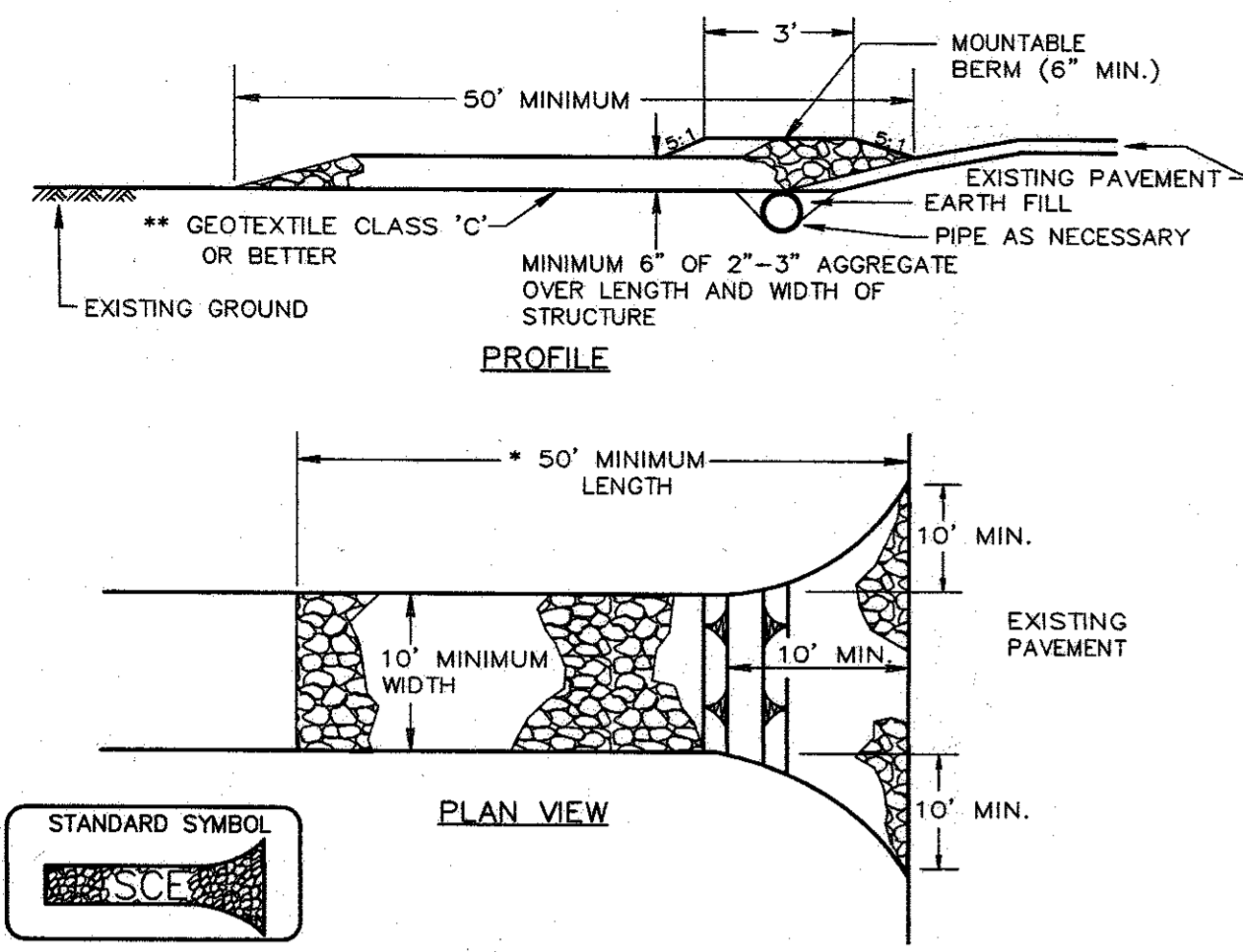
OWNER/DEVELOPER:
NORBEL PROPERTIES, INC.
 7310 PARK HEIGHTS AVENUE
 BALTIMORE, MARYLAND 21208
 DR. ERIC ISSELHARDT
 PHONE 410-358-1233
 FAX 410-358-3209
 EMAIL WWW.NORBELSCHOOL.COM

6135 OLD WASHINGTON ROAD
NORBEL SCHOOL
PRIVATE SCHOOL RENOVATION/ADDITION

OWNER: NORBEL PROPERTIES, INC.
 DEED REFERENCED: 133/533
 ELECTION DISTRICT NO. 1
 TAX MAP: 38 GRID: 9 PARCEL: 820
 SCALE: 1" = 30'
EROSION & SEDIMENT CONTROL PLAN

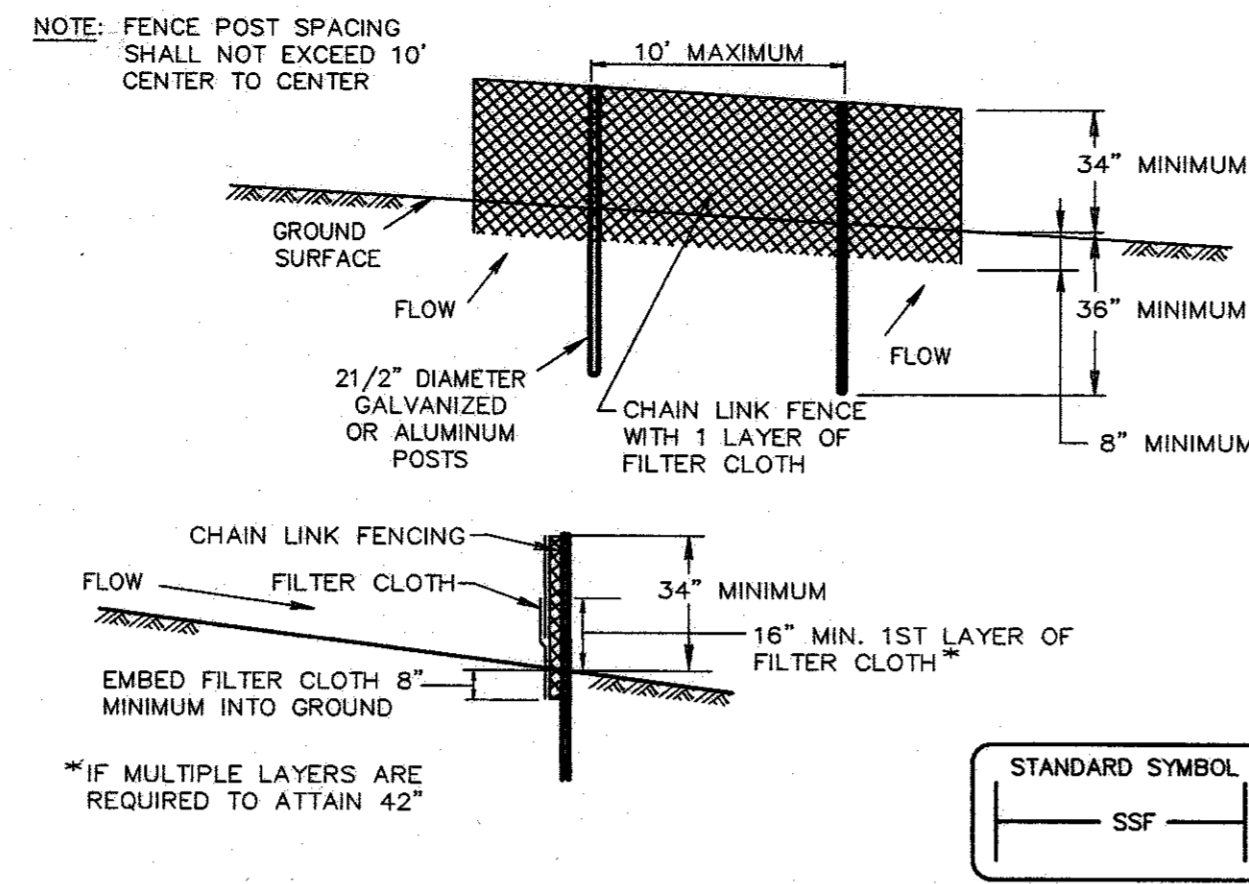
DATE: SEPTEMBER 11, 2000
 REV.: JAN. 26, 2001
 SHEET 9 OF 17

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



- CONSTRUCTION SPECIFICATIONS**
- LENGTH - MINIMUM OF 50' (* 30' FOR SINGLE RESIDENCE LOT).
 - WIDTH - 10' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
 - GEOTEXTILE FABRIC (FILTER CLOTH) SHALL BE PLACED OVER THE EXISTING GROUND PRIOR TO PLACING STONE. ** THE PLAN APPROVAL AUTHORITY MAY NOT REQUIRE SINGLE FAMILY RESIDENCES TO USE GEOTEXTILE.
 - STONE - CRUSHED AGGREGATE (2" TO 3") OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT SHALL BE PLACED AT LEAST 6" DEEP OVER THE LENGTH AND WIDTH OF THE ENTRANCE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 6" OF STONE OVER THE PIPE. PIPE HAS TO BE SIZED ACCORDING TO THE DRAINAGE. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE WILL NOT BE NECESSARY. PIPE SHOULD BE SIZED ACCORDING TO THE AMOUNT OF RUNOFF TO BE CONVEYED. A 6" MINIMUM WILL BE REQUIRED.
 - LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE STABILIZED CONSTRUCTION ENTRANCE.

DETAIL 33 - SUPER SILT FENCE



- CONSTRUCTION SPECIFICATIONS**
- Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6" fence shall be used, substituting 42" fabric and 6" length posts.
 - Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence.
 - Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
 - Filter cloth shall be embedded a minimum of 8" into the ground.
 - When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
 - Maintenance shall be performed as needed and silt buildups removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.
 - Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:
- | | | |
|----------------------|--|----------------|
| Tensile Strength | 50 lbs/in (min.) | Test: MSMT 509 |
| Tensile Modulus | 20 lbs/in (min.) | Test: MSMT 509 |
| Flow Rate | 0.3 gal/ft ² /minute (max.) | Test: MSMT 322 |
| Filtering Efficiency | 75% (min.) | Test: MSMT 322 |

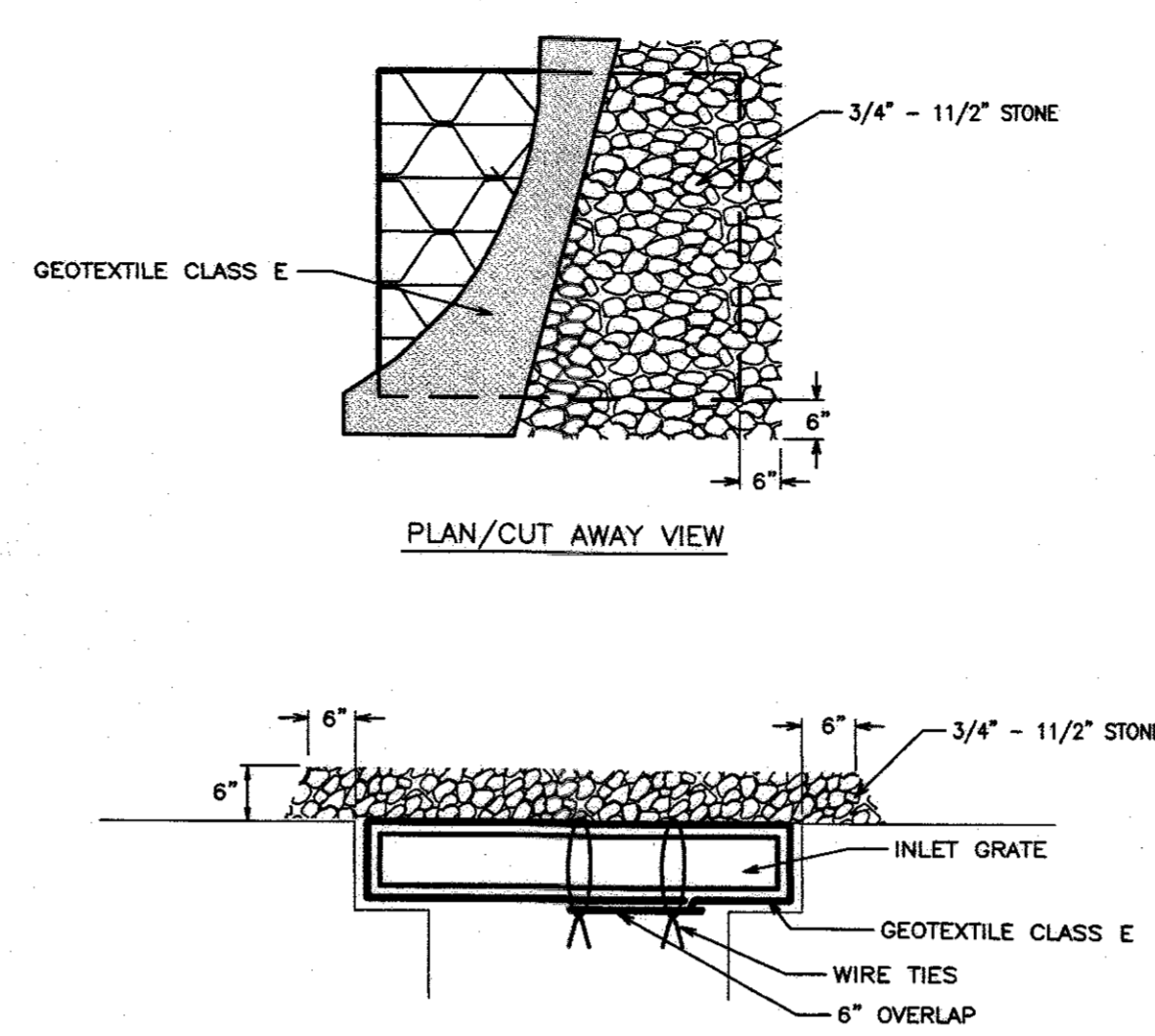
DESIGN CRITERIA

Slope	Slope Steepness	Slope Length (maximum)	Silt Fence Length (maximum)
0 - 10%	0 - 10:1	Unlimited	Unlimited
10 - 20%	10:1 - 5:1	200 feet	1,500 feet
20 - 33%	5:1 - 3:1	100 feet	1,000 feet
33 - 50%	3:1 - 2:1	100 feet	500 feet
50% +	2:1 +	50 feet	250 feet

SEQUENCE OF CONSTRUCTION

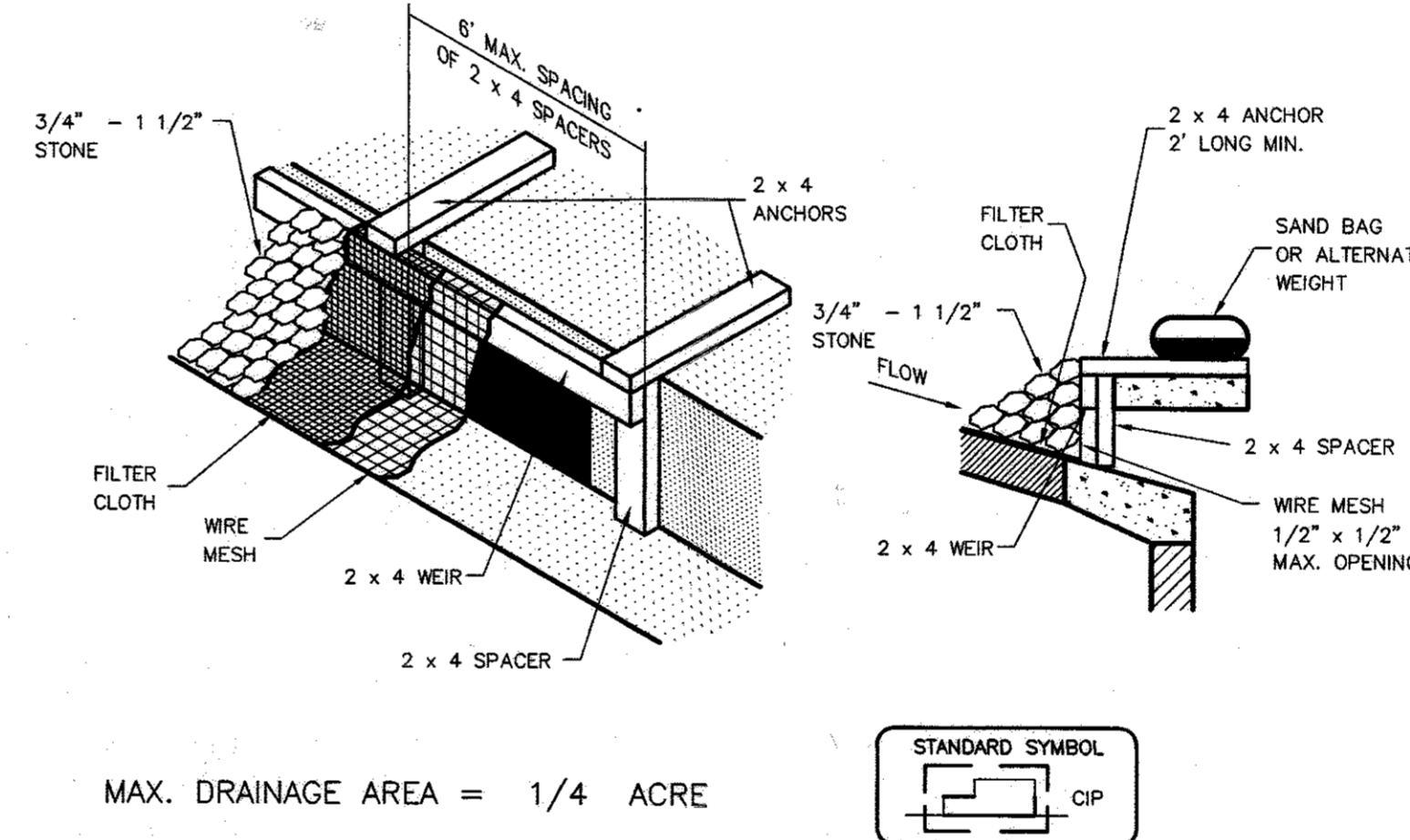
- OBTAIN A GRADING PERMIT
- INSTALL SEDIMENT CONTROLS INCLUDING STABILIZED CONSTRUCTION ENTRANCES (2), AND SUPER SILT FENCES (1 WEEK)
- OBTAIN APPROVAL OF SAME FROM SEDIMENT CONTROL INSPECTOR (1 DAY)
- BEGIN REMOVALS AND ROUGH GRADING (2 WEEKS)
- OFF-SITE BORROW MATERIAL SHALL BE OBTAINED FROM A SOURCE HAVING AN APPROVED SEDIMENT CONTROL PLAN
- INSTALL DRAINAGE AS GRADING PROCEEDS. (2 WEEKS)
- INSTALL AT GRADE INLET PROTECTION AS INLETS ARE COMPLETED
- CONSTRUCT BUILDING ADDITION, PAVEMENTS, AND UTILITIES. (6 MONTHS)
- PERMANENTLY STABILIZE LANDSCAPE AREAS (1 WEEK)
- CLEAN ANY ACCUMULATED SILTS FROM THE STORMCEPTOR (1 DAY)
- AFTER THE SITE IS PERMANENTLY STABILIZED AND PERMISSION IS GRANTED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROLS AND STABILIZE ANY REMAINING DISTURBED AREA. (1 WEEK)

DETAIL 23B - AT GRADE INLET PROTECTION



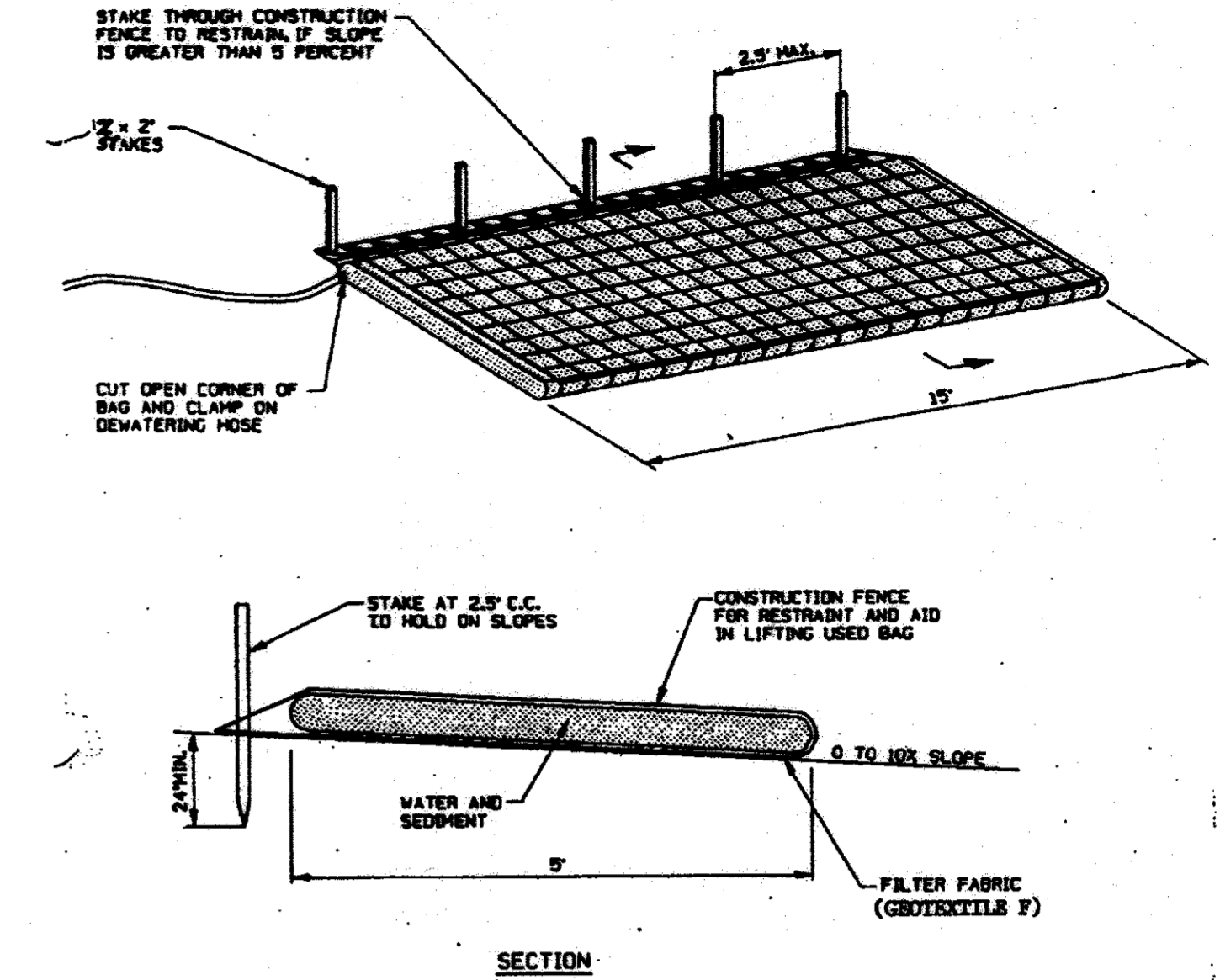
- CONSTRUCTION SPECIFICATIONS**
- Lift grate and wrap with Geotextile Class E to completely cover all openings, then set grate back in place.
 - Place 3/4" to 1 1/2" stone, 4"-6" thick on the grate to secure the fabric and provide additional filtration.

DETAIL 23C - CURB INLET PROTECTION (COG OR COS INLETS)



CONSTRUCTION SPECIFICATIONS

- ATTACH A CONTINUOUS PIECE OF WIRE MESH (30" MINIMUM WIDTH BY THROAT LENGTH PLUS 4") TO THE 2x4 WEIR (MEASURING THROAT LENGTH PLUS 2") AS SHOWN ON THE STANDARD DRAWING.
- PLACE A CONTINUOUS PIECE OF GEOTEXTILE CLASS E THE SAME DIMENSIONS AS THE WIRE MESH OVER THE WIRE MESH AND SECURELY ATTACH IT TO THE 2x4 WEIR.
- SECURELY NAIL THE 2x4 WEIR TO A 9" LONG VERTICAL SPACER TO BE LOCATED BETWEEN THE WEIR AND THE INLET FACE (MAX. 4" APART).
- PLACE THE ASSEMBLY AGAINST THE INLET THROAT AND NAIL (MINIMUM 2' LENGTHS OF 2x4 TO THE TOP OF THE WEIR AT SPACER LOCATIONS). THESE 2x4 ANCHORS SHALL EXTEND ACROSS THE INLET TOP AND BE HELD IN PLACE BY SANDBAGS OR ALTERNATE WEIGHT.
- THE ASSEMBLY SHALL BE PLACED SO THAT THE END SPACERS ARE A MINIMUM 1' BEYOND BOTH ENDS OF THE THROAT OPENING.
- FORM THE 1/2"x1/2" WIRE MESH AND THE GEOTEXTILE FABRIC TO THE CONCRETE GUTTER AGAINST THE FACE OF THE CURB ON BOTH SIDES OF THE INLET. PLACE CLEAN 3/4"x1 1/2" STONE OVER THE WIRE MESH AND GEOTEXTILE IN SUCH A MANNER TO PREVENT WATER FROM ENTERING THE INLET UNDER OR AROUND THE GEOTEXTILE.
- THIS TYPE OF PROTECTION MUST BE INSPECTED FREQUENTLY AND THE FILTER CLOTH AND STONE REPLACED WHEN CLOGGED WITH SEDIMENT.
- ASSURE THAT STORM FLOW DOES NOT BYPASS THE INLET BY INSTALLING A TEMPORARY EARTH OR ASPHALT DIKE TO DIRECT THE FLOW TO THE INLET.



- NOTES:**
- FILTER BAG SHALL BE PLACED ON A SLOPING OR LEVEL, WELL GRADED VEGETATED SITE SUCH THAT WATER WILL FLOW AWAY FROM DEVICE AND ANY WORK AREAS.
 - WIDTH AND LENGTH SHALL BE AS SHOWN
 - THE FILTER BAG MUST BE STAKED IN PLACE AND SECURED TO THE PUMP DISCHARGE LINE.
 - FILTER BAG SHALL NOT BE USED FOR DISCHARGE FLOWS GREATER THAN 300 GPM.
 - DEVICE SHALL BE REMOVED AND DISPOSED OF AFTER BAG IS FILLED WITH SEDIMENT. SEDIMENT FROM BAG SHALL BE SPREAD IN AN UPLAND AREA.
 - FILTER FABRIC SHALL MEET THE FOLLOWING REQUIREMENTS FOR GEOTEXTILE CLASS F:
- | | | |
|----------------------|--|----------------|
| Tensile Strength | 50 lbs/in (min.) | Test: MSMT 509 |
| Tensile Modulus | 20 lbs/in (min.) | Test: MSMT 509 |
| Flow Rate | 0.3 gal/ft ² /minute (max.) | Test: MSMT 322 |
| Filtering Efficiency | 75% (min.) | Test: MSMT 322 |

FILTER BAG (FB) TEMPORARY EROSION CONTROL MEASURE

STANDARD SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1855)
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12 OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SECTION 51), SOD (SECTION 54), TEMPORARY SEEDING (SECTION 50) AND MULCHING (SECTION 52). TEMPORARY STABILIZATION WITH MULCH ALONG CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES TO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:
TOTAL AREA OF SITE: 8.45 ACRES
AREA DISTURBED: 2.07 ACRES
AREA TO BE ROOFED OR PAVED: 0.77 ACRES
AREA TO BE VEGETATIVELY STABILIZED: 1.30 ACRES
TOTAL CUT: 200 CY
TOTAL FILL: 100 CY
OFFSITE WASTE/BORROW AREA LOCATION: TBD
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORK DAY, WHICHEVER IS SHORTER.

Reviewed for Howard SCD and meets Technical Requirements
 Date: 3/5/01
 Signature: [Signature]
 Date: 3/5/01
 Signature: [Signature]

ENGINEER'S CERTIFICATE
 I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Date: 12/11/00
 Signature of Engineer (print name below signature): [Signature]

DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
 Date: 12/11/00
 Signature of Developer (print name below signature): [Signature]

No.	REVISION	DATE
1	REVISE OWNER/DEVELOPER	7-28-2010

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division: [Signature] Date: 3/1/01
 Chief, Division of Land Development: [Signature] Date: 3/5/01
 Director: [Signature] Date: 3/5/01

MARYLAND INTERNATIONAL SCHOOL
 OWNER/DEVELOPER
 SHANGRI-LA ENTERPRISES
 4465 MONTGOMERY ROAD
 ELLICOTT CITY, MD. 21043-6007
 410-401-2190

STATE OF MARYLAND
 DEPARTMENT OF THE ENVIRONMENT
 SEDIMENT CONTROL DIVISION
 [Signature]
 SEAL: [Seal]
 GOWER THOMPSON INC.
 CIVIL ENGINEERING - SITE PLANNING
 429 E. Lake Avenue
 Baltimore, Maryland 21212
 Phone 410-532-0101
 Fax 410-532-0104
 Email GOWERTHOMP@AOL.COM

OWNER/DEVELOPER:
NORBEL PROPERTIES, INC.
 7310 PARK HEIGHTS AVENUE
 BALTIMORE, MARYLAND 21208
 DR. ERIC ISSELHARDT
 PHONE 410-358-1233
 FAX 410-358-3209
 EMAIL WWW.NORBELSCHOOL.COM

6135 OLD WASHINGTON ROAD
NORBEL SCHOOL
 PRIVATE SCHOOL RENOVATION/ADDITION
 OWNER: NORBEL PROPERTIES, INC.
 DEED REFERENCED: 133/533
 ELECTION DISTRICT NO. 1
 TAX MAP: 38 GRID: 9 PARCEL: 820
 SCALE: NTS
 EROSION & SEDIMENT CONTROL DETAILS
 SHEET 10 OF 17

SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS

- A. SITE PREPARATION
i. INSTALL NEEDED EROSION AND SEDIMENT CONTROL STRUCTURES...
ii. PERFORM ALL GRADING OPERATIONS AT RIGHT ANGLES TO THE SLOPE...
iii. SCHEDULE REQUIRED SOILS TESTS TO DETERMINE SOIL AMENDMENT COMPOSITION AND APPLICATION RATES...

- B. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)
i. SOIL TESTS SHALL BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES...
ii. FERTILIZERS SHALL BE UNIFORM IN COMPOSITION, FREE FLOWING, AND SUITABLE FOR ACCURATE APPLICATION...
iii. LIME MATERIALS SHALL BE GROUND LIMESTONE (HYDRATED OR BURNT LIME...)

- C. SEEDBED PREPARATION
i. TEMPORARY SEEDING
A. SEEDBED PREPARATION SHALL CONSIST OF LOOSENING SOIL TO A DEPTH OF 3" TO 5" BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT...
ii. PERMANENT SEEDING
A. MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATION ESTABLISHMENT
1. SOIL PH SHALL BE BETWEEN 6.0 AND 7.0.

- 2. SOLUBLE SALTS SHALL BE LESS THAN 500 PARTS PER MILLION (PPM).
3. THE SOIL SHALL CONTAIN LESS THAN 40% CLAY BUT ENOUGH FINE GRAINED MATERIAL (OVER 30% SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD AT LEAST A MODERATE AMOUNT OF MOISTURE...
B. AREAS PREVIOUSLY GRADED IN CONFORMANCE WITH THE DRAWINGS SHALL BE MAINTAINED IN A TRUE AND EVEN GRADE, THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 - 5" TO PERMIT BONDING OF THE TOPSOIL TO THE SURFACE AREA AND TO CREATE HORIZONTAL EROSION CHECK SLOTS TO PREVENT TOPSOIL FROM SLIDING DOWN A SLOPE.

- C. APPLY SOIL AMENDMENTS AS PER SOIL TEXT OR AS INCLUDED ON THE PLANS.
D. MIX SOIL AMENDMENTS INTO THE TOP 3-5" OF TOPSOIL BY DISKING OR OTHER SUITABLE MEANS. LAWN AREAS SHOULD BE RAKED TO SMOOTH THE SURFACE, REMOVE LARGE OBJECTS LIKE STONES AND BRANCHES, AND READY THE AREA FOR SEED APPLICATION. WHERE SITE CONDITIONS WILL NOT PERMIT NORMAL SEEDBED PREPARATION, LOOSEN SURFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHEN THE SURFACE...
E. SEED SPECIFICATIONS
i. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED SHALL BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY...

- ii. INOCULANT - THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURE SHALL BE A PURE CULTURE OF NITROGEN-FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES. INOCULANTS SHALL NOT BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER. ADD FRESH INOCULANT AS DIRECTED ON PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE: IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED. TEMPERATURES ABOVE 75-80° F. CAN WEAKEN BACTERIA AND MAKE THE INOCULANT LESS EFFECTIVE.

- E. METHODS OF SEEDING
i. HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED AND FERTILIZER), BROADCAST OR DROP SEEDER, OR A CULTIPACKER SEEDER.
A. IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES AMOUNTS WILL NOT EXCEED THE FOLLOWING: NITROGEN; MAXIMUM OF 100 LBS PER ACRE TOTAL OF SOLUBLE NITROGEN; P205 (PHOSPHOROUS): 200 LBS/AC.; K2O (POTASSIUM): 200 LBS/AC.
B. LIME - USE ONLY GROUND AGRICULTURE LIMESTONE, (UP TO 3 TONS PER ACRE MAY BE APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATED LIME WHEN HYDROSEEDING.
C. SEED AND FERTILIZER SHALL BE MIXED ON SITE AND SEEDING SHALL BE DONE IMMEDIATELY AND WITHOUT INTERRUPTION.

- ii. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS.
A. SEED SPREAD DRY SHALL BE INCORPORATED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON THE TEMPORARY SEEDING OR PERMANENT SEEDING SUMMARIES OF TABLES 25 OR 26. THE SEEDED AREA SHALL THEN BE ROLLED WITH A WEIGHTED ROLLER TO PROVIDE A GOOD SEED TO SOIL CONTACT.
B. WHEN PRACTICAL, SEED SHOULD BE APPLIED IN TWO DIRECTIONS PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION.

- iii. DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL.
A. CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING. SEEDBED MUST BE FIRM AFTER PLANTING.
B. WHERE PRACTICAL, SEED SHOULD BE APPLIED IN TWO DIRECTIONS PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION.
F. MULCH SPECIFICATIONS (IN ORDER OF PREFERENCE)
i. STRAW SHALL CONSIST OF THOROUGHLY THRESHED WHEAT, RYE OR OAT STRAW, REASONABLY BRIGHT IN COLOR, AND SHALL NOT BE MUSTY, MOLEY, CAKED, DECAYED, OR EXCESSIVELY DUSTY AND SHALL BE FREE OF NOXIOUS WEED SEEDS AS SPECIFIED IN THE MARYLAND SEED LAW.
ii. WOOD CELLULOSE FIBER MULCH (WCFM)
A. WCWM SHALL CONSIST OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STATE.
B. WCWM SHALL BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE THAT WILL PROVIDE AN APPROPRIATE COLOR TO FACILITATE VISUAL INSPECTION OF THE UNIFORMLY SPREAD SLURRY.
C. WCWM, INCLUDING DYE, SHALL CONTAIN NO GERMINATION OR GROWTH INHIBITING FACTORS.
D. WCWM MATERIALS SHALL BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH SEED, FERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE MULCH MATERIAL SHALL FORM A BLOTTER-LIKE GROUND COVER, ON APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES AND SHALL COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS.
E. WCWM MATERIAL SHALL CONTAIN NO ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL BE PHYTO-TOXIC.
F. WCWM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER LENGTH TO APPROXIMATELY 10 MM., DIAMETER APPROXIMATELY 1 MM., pH RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6% MAXIMUM AND WATER HOLDING CAPACITY OF 90% MAXIMUM.
NOTE: ONLY STERILE STRAW MULCH SHOULD BE USED IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED.

- G. MULCHING SEEDED AREAS - MULCH SHALL BE APPLIED TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING.
i. IF GRADING IS COMPLETE OUTSIDE OF THE SEEDING SEASON, MULCH ALONE SHALL BE APPLIED AS PRESCRIBED IN THIS SECTION AND MAINTAINED UNTIL THE SEEDING SEASON RETURNS AND SEEDING CAN BE PERFORMED IN ACCORDANCE WITH THESE SPECIFICATIONS.
ii. WHEN STRAW MULCH IS USED, IT SHALL BE SPREAD OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS/ACRE. MULCH SHALL BE APPLIED TO A UNIFORM LOOSE DEPTH OF BETWEEN 1" AND 2". MULCH APPLIED SHALL ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL SURFACE IS NOT EXPOSED. IF A MULCH ANCHORING TOOL IS TO BE USED, THE RATE SHOULD BE INCREASED TO 2.5 TONS/ACRE.
iii. WOOD CELLULOSE FIBER USED AS A MULCH SHALL BE APPLIED AT A NET DRY WEIGHT OF 1,500 LBS. PER ACRE. THE WOOD CELLULOSE FIBER SHALL BE MIXED WITH WATER, AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LBS. OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.
H. SECURING STRAW MULCH (MULCH ANCHORING): MULCH ANCHORING SHALL BE PERFORMED IMMEDIATELY FOLLOWING MULCH APPLICATION TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE), DEPENDING UPON SIZE OF AREA AND EROSION HAZARD:
i. A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF TWO (2) INCHES. THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS, BUT IS LIMITED TO FLATTER SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND, THIS PRACTICE SHOULD BE USED ON THE CONTOUR IF POSSIBLE.
ii. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. THE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 POUNDS/ACRE. THE WOOD CELLULOSE FIBER SHALL BE MIXED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.
iii. APPLICATION OF LIQUID BINDERS SHOULD BE HEAVIER AT THE EDGES WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF BANKS. THE REMAINDER OF AREA SHOULD BE APPEAR UNIFORM AFTER BINDER APPLICATION. SYNTHETIC BINDERS - SUCH AS ACRYLIC DRL (AGRO-TACK), DCA-70, PETROSET, TERRA TAX II, TERRA TACK OR OTHER APPROVED EQUAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH.
LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. NETTING IS USUALLY AVAILABLE IN ROLLS 4' TO 15' WIDE AND 300 TO 3,000 FEET LONG.

SECTION II - TEMPORARY SEEDING
VEGETATION - ANNUAL GRASS OR GRAIN USED TO PROVIDE COVER ON DISTURBED AREAS FOR UP TO 12 MONTHS. FOR LONGER DURATION OF VEGETATION, PERMANENT SEEDING IS REQUIRED.

- A. SEED MIXTURES - TEMPORARY SEEDING
i. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE 26 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE 5) AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY BELOW, ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS. IF THIS SUMMARY IS NOT PUT ON THE PLANS AND COMPLETED, THEN TABLE 26 MUST BE PUT ON THE PLANS.
ii. FOR SITES HAVING SOIL TESTS PERFORMED, THE RATES SHOWN ON THIS TABLE SHALL BE DELETED AND THE RATES RECOMMENDED BY THE TESTING AGENCY SHALL BE WRITTEN IN. SOIL TESTS AREA NOT REQUIRED FOR TEMPORARY SEEDING.

TEMPORARY SEEDING SUMMARY table with columns: NO., SPECIES, APPLICATION RATE (LB/AC), SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE (10-10-10), LIME RATE. Includes rows for RYE, BARLEY OR RYE PLUS, and ANNUAL RYEGRASS.

- SECTION III - PERMANENT SEEDING
SEEDING GRASS AND LEGUMES TO ESTABLISH GROUND COVER FOR A MINIMUM OF ONE YEAR ON DISTURBED AREAS GENERALLY RECEIVING LOW MAINTENANCE.
A. SEED MIXTURES - PERMANENT SEEDING
i. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE 25 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE 5) AND ENTER THEM IN THE PERMANENT SEEDING SUMMARY BELOW, ALONG WITH APPLICATION RATES AND SEEDING DATES. SEEDING DEPTHS CAN BE ESTIMATED USING TABLE 26. IF THIS SUMMARY IS NOT PUT ON THE CONSTRUCTION PLANS AND COMPLETED, THEN TABLE 25 MUST BE PUT ON THE PLANS. ADDITIONALLY PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAMBANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-SCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 - CRITICAL AREA PLANTING. FOR SPECIAL LAWN MAINTENANCE AREA, SEE SECTIONS IV SOD AND TURFGRASS.
ii. FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, THE RATES SHOWN ON THIS TABLE SHALL BE DELETED AND THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY SHALL BE WRITTEN IN.
iii. FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREAFORM FERTILIZER (46-0-0) AT 3 1/2 LBS/1000 SQ. FT. (150 LBS/AC), IN ADDITION TO THE ABOVE SOIL AMENDMENTS SHOWN IN THE TABLE BELOW, TO BE PERFORMED AT THE TIME OF SEEDING.

PERMANENT SEEDING SUMMARY table with columns: NO., SPECIES, APPLICATION RATE (LB/AC), SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE (10-20-20), LIME RATE. Includes rows for TALL FESCUE (85%), PERR. RYE (10%), KENT. RYE (5%), TALL FESCUE (85%), PERR. RYE (10%), CROWN VETCH OR FLAT PEA, and TALL FESCUE (80%), HARD FESCUE (20%).

SECTION IV - SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).

- A. GENERAL SPECIFICATIONS
i. CLASS OF TURFGRASS SOD SHALL BE MARYLAND OR VIRGINIA STATE CERTIFIED OR APPROVED. SOD LABELS SHALL BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR.
ii. SOD SHALL BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4", PLUS OR MINUS 1/4", AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. INDIVIDUAL PIECES OF SOD SHALL BE CUT TO THE SUPPLIER'S WIDTH AND LENGTH. MAXIMUM ALLOWABLE DEVIATION FROM STANDARD WIDTHS AND LENGTHS SHALL BE 5 PERCENT. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE.
iii. STANDARD SIZE SECTIONS OF SOD SHALL BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION.
iv. SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL.
v. SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPLANTED WITHIN THIS PERIOD SHALL BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.
B. SOD INSTALLATION
i. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, THE SUBSOIL SHALL BE LIGHTLY IRRIGATED IMMEDIATELY PRIOR TO LAYING THE SOD.
ii. THE FIRST ROW OF SOD SHALL BE LAID IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO AND TIGHTLY WEDGED AGAINST EACH OTHER. LATERAL JOINTS SHALL BE STAGGERED TO PROMOTE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS.
iii. WHEREVER POSSIBLE, SOD SHALL BE LAID WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERED JOINTS. SOD SHALL BE ROLLED AND TAMPED, PEGGED OR OTHERWISE SECURED TO PREVENT SLIPPAGE ON SLOPES AND TO ENSURE SOLID CONTACT BETWEEN SOD ROOTS AND THE UNDERLYING SOIL SURFACE.
iv. SOD SHALL BE WATERED IMMEDIATELY FOLLOWING ROLLING OR TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND THE SURFACE BELOW THE SOD ARE THOROUGHLY WET. THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD SHALL BE COMPLETED WITHIN EIGHT HOURS.

- B. SOD MAINTENANCE
i. IN THE ABSENCE OF ADEQUATE RAINFALL, WATERING SHALL BE PERFORMED DAILY OR AS OFTEN AS NECESSARY DURING THE FIRST WEEK AND IN SUFFICIENT QUANTITIES TO MAINTAIN MOIST SOIL TO A DEPTH OF 4". WATERING SHOULD BE DONE DURING THE HEAT OF THE DAY TO PREVENT WILTING.
ii. AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT.
iii. THE FIRST MOWING OF SOD SHOULD NOT BE ATTEMPTED UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF SHALL BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. GRASS HEIGHT SHALL BE MAINTAINED BETWEEN 2" AND 3" UNLESS OTHERWISE SPECIFIED.

TOPSOIL
DEFINITION: PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.
PURPOSE: TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

- CONDITIONS WHERE PRACTICE APPLIES
i. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
a. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH;
b. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IN NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS;
c. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH;
d. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.
ii. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE APPROPRIATE STABILIZATION. (NOT APPLICABLE TO THIS PROJECT)

CONSTRUCTION AND MATERIAL SPECIFICATIONS
i. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FROM A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURE EXPERIMENTAL STATION.

- ii. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
i. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAM SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CINDEES, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN DIAMETER.
ii. TOPSOIL SHALL BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
iii. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200 - 400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.

- ii. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:
i. PLACE TOPSOIL AND APPLY SOIL AMENDMENTS AS SPECIFIED IN VEGETATIVE STABILIZATION METHODS AND MATERIALS.
TOPSOIL APPLICATION
i. WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.
ii. GRADE ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBERT 4" - 8" HIGHER IN ELEVATION.

- iii. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN 4" - 8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
iv. TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE TOPSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division Date: 3/2/01
Chief, Division of Land Development Date: 3/5/01
Director Date: 3/5/01

MARYLAND INTERNATIONAL SCHOOL
OWNER/DEVELOPER
SHANGRI-LA ENTERPRISES
4465 MONTGOMERY ROAD
ELLCOTT CITY, MD. 21043-6007
410-461-2190

GOWER THOMPSON INC.
CIVIL ENGINEERING - SITE PLANNING
429 E. Lake Avenue
Baltimore, Maryland 21212
Phone 410-532-0101
Fax 410-532-0109
Email GOWERTHOMP@AOL.COM

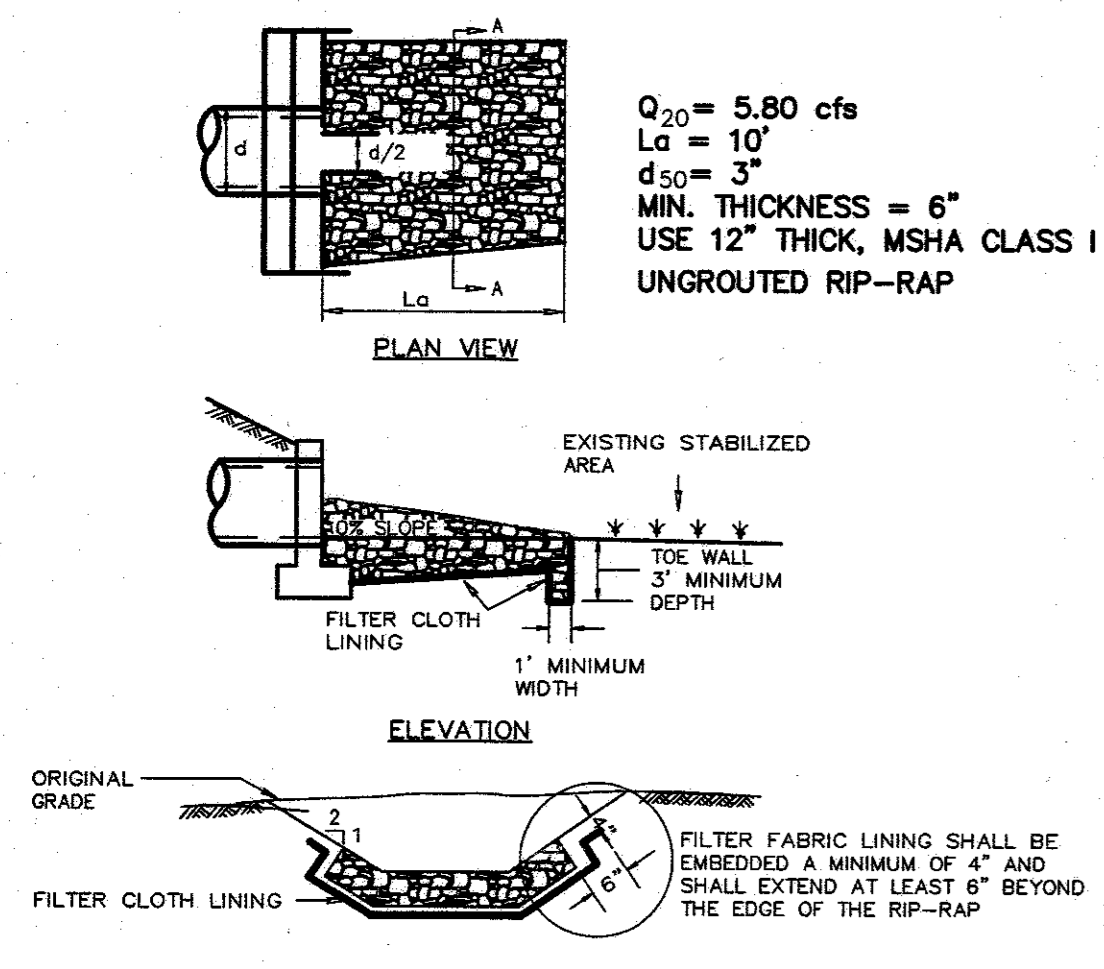
SEAL:
STATE OF MARYLAND
Professional Engineer
Howard SCD

OWNER/DEVELOPER:
NORBEL PROPERTIES, INC.
7310 PARK HEIGHTS AVENUE
BALTIMORE, MARYLAND 21208
DR. ERIC ISSELHARDT
PHONE 410-358-1233
FAX 410-358-3209
EMAIL WWW.NORBELSCHOOL.COM

ENGINEER'S CERTIFICATE
I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Signature of Engineer (print name below signature) Date
Eric Issehardt 12/11/00
DEVELOPER'S CERTIFICATE
I/we certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
Signature of Developer (print name below signature) Date
Eric Issehardt 12/11/00

Revision table with columns: No., REVISION, DATE. Row 1: 1. REVISE OWNER/DEVELOPER 7-28-2011

6135 OLD WASHINGTON ROAD
NORBEL SCHOOL
PRIVATE SCHOOL RENOVATION/ADDITION
OWNER: NORBEL PROPERTIES, INC.
DEED REFERENCED: 133/533
ELECTION DISTRICT NO. 1
TAX MAP: 38 GRID: 9 PARCEL: 820
SCALE: NTS
EROSION & SEDIMENT CONTROL DETAILS SHEET 11 OF 17



$Q_{20} = 5.80$ cfs
 $L_a = 10'$
 $d_{50} = 3"$
 MIN. THICKNESS = 6"
 USE 12" THICK, MSHA CLASS 1
 UNGROUTED RIP-RAP

NOTE: FILTER CLOTH SHALL BE
 GEOTEXTILE CLASS C

DETAIL 27 - ROCK OUTLET PROTECTION III

CONSTRUCTION SPECIFICATIONS

1. THE SUBGRADE FOR THE FILTER, RIP-RAP, OR GABION SHALL BE PREPARED TO THE REQUIRED LINES AND GRADES. ANY FILL REQUIRED IN THE SUBGRADE SHALL BE COMPACTED TO A DENSITY OF APPROXIMATELY THAT OF THE SURROUNDING UNDISTURBED MATERIAL.
2. THE ROCK OR GRAVEL SHALL CONFORM TO THE SPECIFIED GRADING LIMITS WHEN INSTALLED RESPECTIVELY IN THE RIP-RAP OR FILTER.
3. GEOTEXTILE SHALL BE PROTECTED FROM PUNCHING, CUTTING, OR TEARING. ANY DAMAGE OTHER THAN OCCASIONAL SMALL HOLES SHALL BE REPAIRED BY PLACING ANOTHER PIECE OF GEOTEXTILE OVER THE DAMAGED PART OR BY COMPLETELY REPLACING THE GEOTEXTILE. ALL OVERLAPS WHETHER FOR REPAIRS OR FOR JOINING TWO PIECES OF GEOTEXTILE SHALL BE A MINIMUM OF ONE FOOT.
4. STONE FOR THE RIP-RAP OR GABION OUTLETS MAY BE PLACED BY EQUIPMENT. THEY SHALL BE CONSTRUCTED TO THE FULL COURSE THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO AVOID DISPLACEMENT OF UNDERLYING MATERIALS. THE STONE FOR RIP-RAP OR GABION OUTLETS SHALL BE DELIVERED AND PLACED IN A MANNER THAT WILL ENSURE THAT IT IS REASONABLY HOMOGENEOUS WITH THE SMALLER STONES AND SPALLS FILING THE VOIDS BETWEEN THE LARGER STONES. RIP-RAP SHALL BE PLACED IN A MANNER TO PREVENT DAMAGE TO THE FILTER BLANKET OR GEOTEXTILE. HAND PLACEMENT WILL BE REQUIRED TO THE EXTENT NECESSARY TO PREVENT DAMAGE TO THE PERMANENT WORKS.
5. THE STONE SHALL BE PLACED SO THAT IT BLENDS IN WITH THE EXISTING GROUND. IF THE STONE IS PLACED TO HIGH THEN THE FLOW WILL BE FORCED OUT OF THE CHANNEL AND SCOUR ADJACENT TO THE STONE WILL OCCUR.

STORM DRAIN STRUCTURE SCHEDULE					
NUMBER	TYPE	TOP ELEV.	INVT. IN	INVT. OUT	COMMENTS
D1	FLARED END SECTION	-	-	137.00	SEE DETAIL SHEET 13
D2	STANDARD MANHOLE	145.5±	141.80	137.20	HOWARD CO. STD. G 5.12
D3	STANDARD MANHOLE	159.5±	152.86	152.76	HOWARD CO. STD. G 5.12
D4	DOUBLE "S" COMB.	166.40	160.72	153.34	HOWARD CO. STD. SD 4.34*
D5	DOUBLE "S" COMB.	171.50	168.50	168.40	HOWARD CO. STD. SD 4.34*
D6	12 INCH INLINE DRAIN	174.00	170.50	170.40	**
D7	12 INCH INLINE DRAIN	179.50	-	176.05	**
D8	STANDARD MANHOLE	159.50	154.00	148.02	HOWARD CO. STD. G 5.12
D9	12 INCH INLINE DRAIN	176.00	168.30	168.20	**
D10	12 INCH INLINE DRAIN	176.00	-	172.85	**

* MODIFY STANDARD DETAIL TO ACCEPT INCOMING PIPES SHOWN ON PLAN, SEE SHEET 13
 ** 12" H.P.D.E. IN LINE DRAIN AS MANUFACTURED BY ADS (ADVANCED DRAINAGE SYSTEMS, INC.), OR APPROVED EQUAL

DOWNSPOUT NOTE:

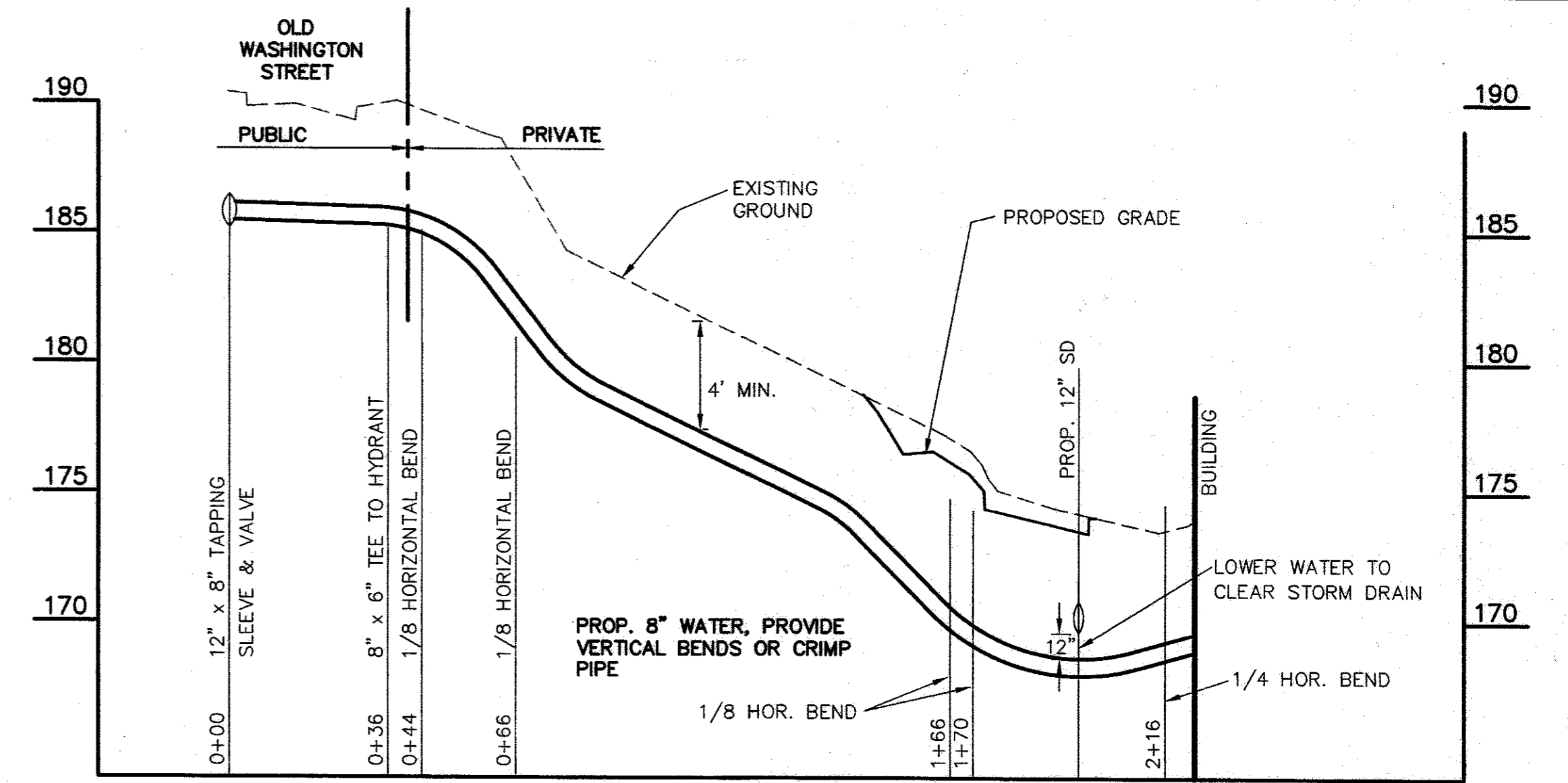
ALL DOWNSPOUTS SHALL BE CONNECTED TO STORM DRAINS WITH WYE EXTENSIONS WITH 4" H.P.D.E. TO DOWNSPOUT BOOTS. COORDINATE WITH ARCHITECTURAL PLANS.

STORM DRAIN PIPE SCHEDULE			
SIZE	TYPE	QUANTITY (LF)	COMMENT
18"	H.D.P.E.	122	
12"	H.D.P.E.	228	
8"	H.D.P.E.	336	
4"	H.D.P.E.	306	DOWNSPOUT CONNECTIONS SHOWN ON GRADING PLAN

NOTE:

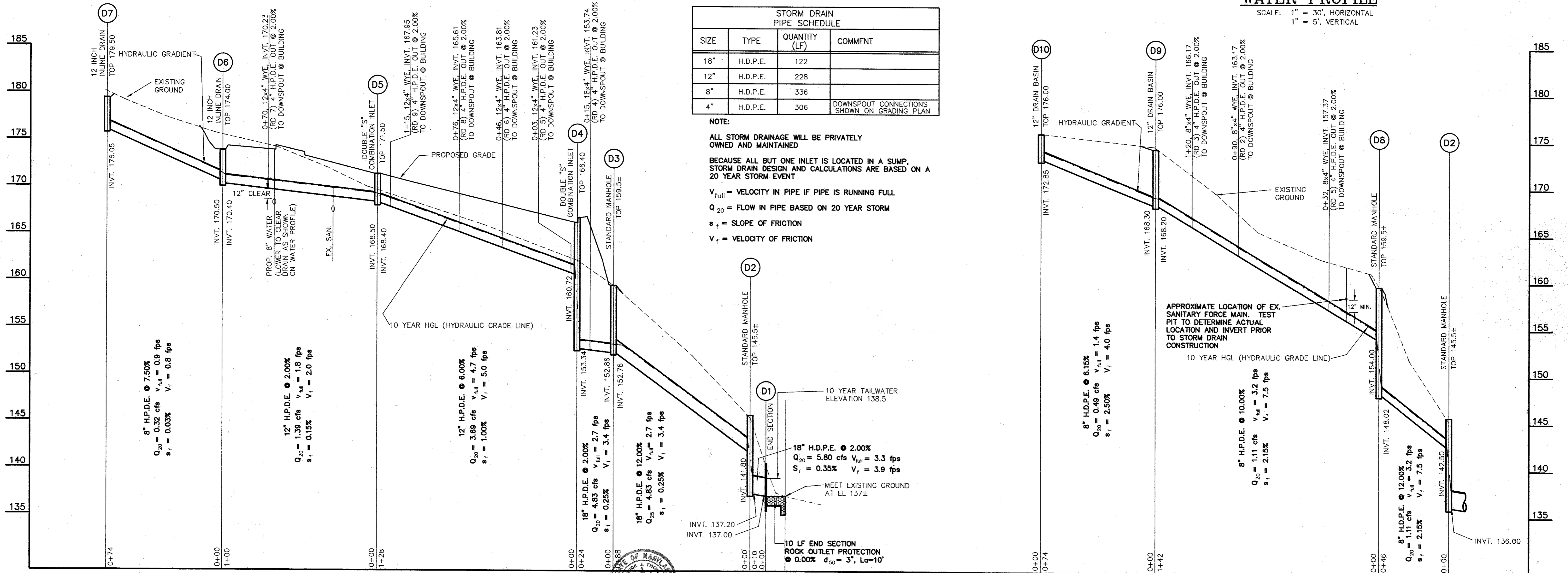
ALL STORM DRAINAGE WILL BE PRIVATELY OWNED AND MAINTAINED
 BECAUSE ALL BUT ONE INLET IS LOCATED IN A SUMP, STORM DRAIN DESIGN AND CALCULATIONS ARE BASED ON A 20 YEAR STORM EVENT

V_{full} = VELOCITY IN PIPE IF PIPE IS RUNNING FULL
 Q_{20} = FLOW IN PIPE BASED ON 20 YEAR STORM
 s_f = SLOPE OF FRICTION
 V_f = VELOCITY OF FRICTION



WATER PROFILE

SCALE: 1" = 30', HORIZONTAL
 1" = 5', VERTICAL



STORM DRAIN PROFILE

SCALE: 1" = 30', HORIZONTAL
 1" = 5', VERTICAL

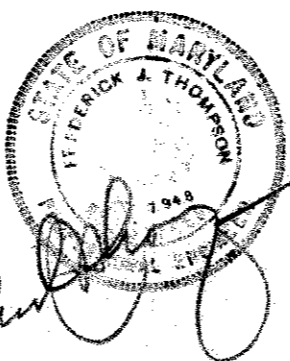
APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Department Engineering Division
 Chief, Division of Land Development
 Director

MARYLAND INTERNATIONAL SCHOOL

OWNER/DEVELOPER
 SHANGRI-LA ENTERPRISES
 4465 MONTGOMERY ROAD
 ELLICOTT CITY, MD. 21043-6007
 410-461-2190

GOWER THOMPSON INC.
 CIVIL ENGINEERING - SITE PLANNING
 429 E. Lake Avenue
 Baltimore, Maryland 21212
 Phone 410-532-0101
 Fax 410-532-0104
 Email GOWERTHOMP@AOL.COM

SEAL:



OWNER/DEVELOPER:

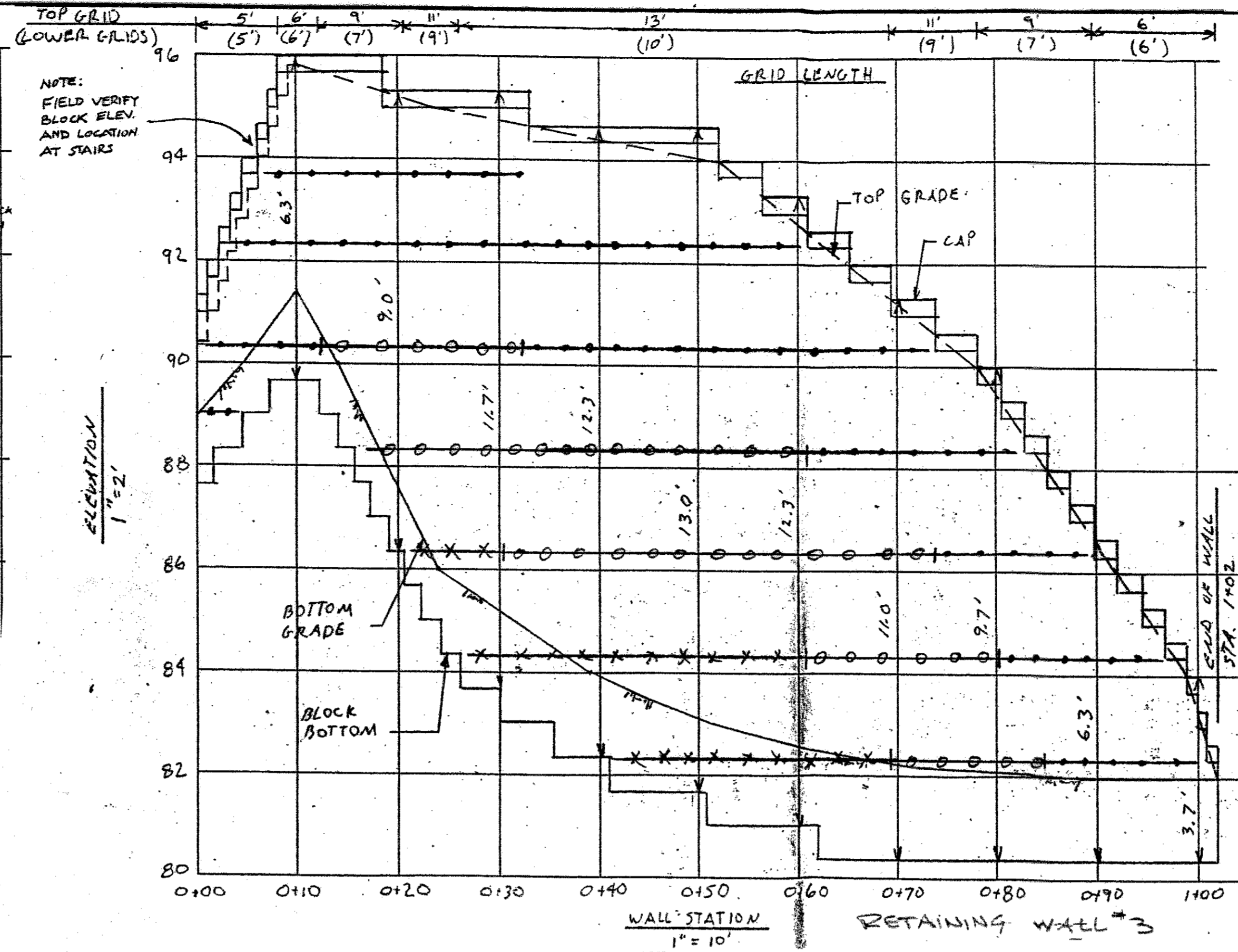
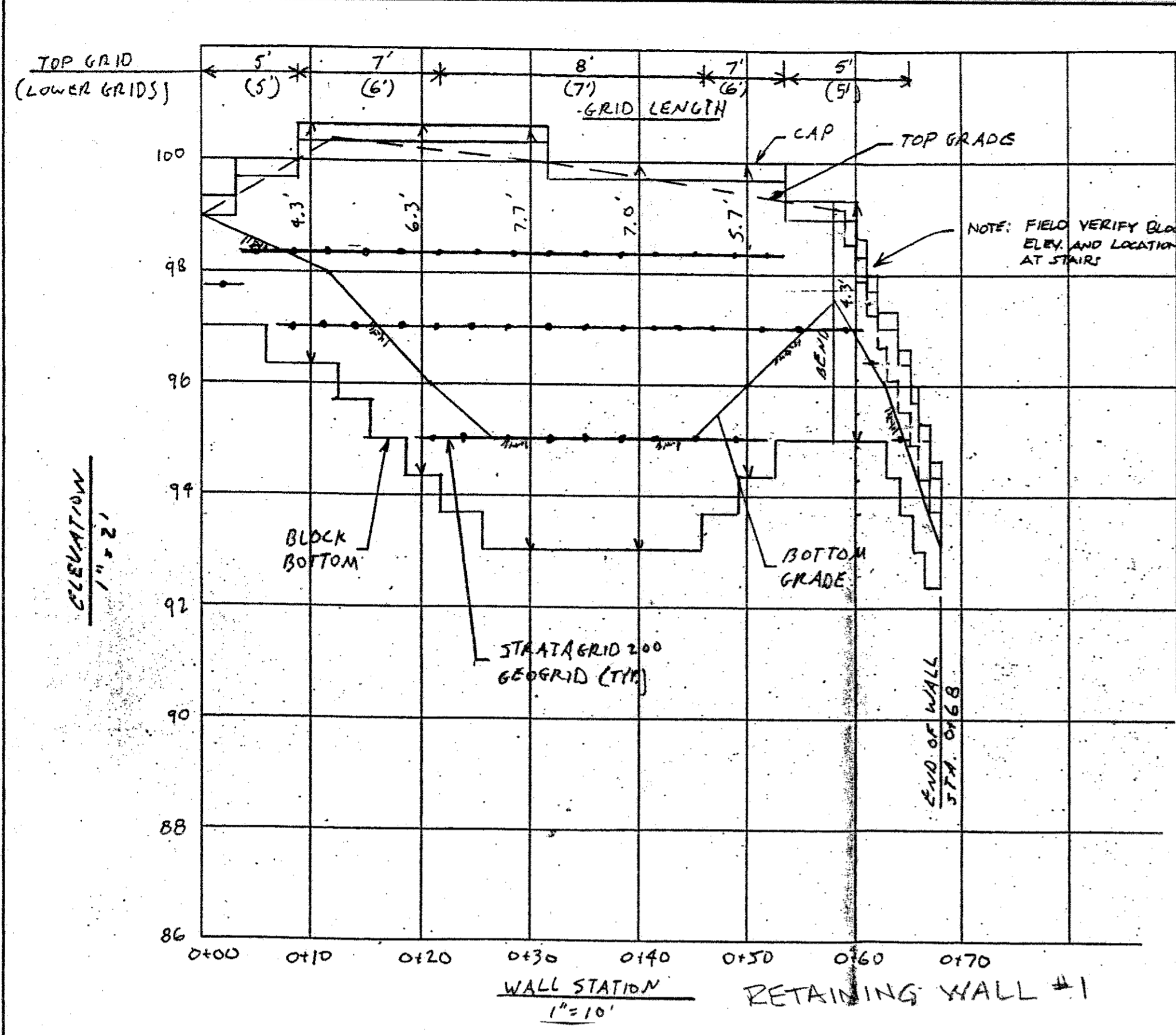
NORBEL PROPERTIES, INC.
 7310 PARK HEIGHTS AVENUE
 BALTIMORE, MARYLAND 21208
 DR. ERIC ISSELHARDT
 PHONE 410-358-1233
 FAX 410-358-3209
 EMAIL WWW.NORBELSCHOOL.COM



6135 OLD WASHINGTON ROAD
 NORBEL SCHOOL
 PRIVATE SCHOOL RENOVATION/ADDITION

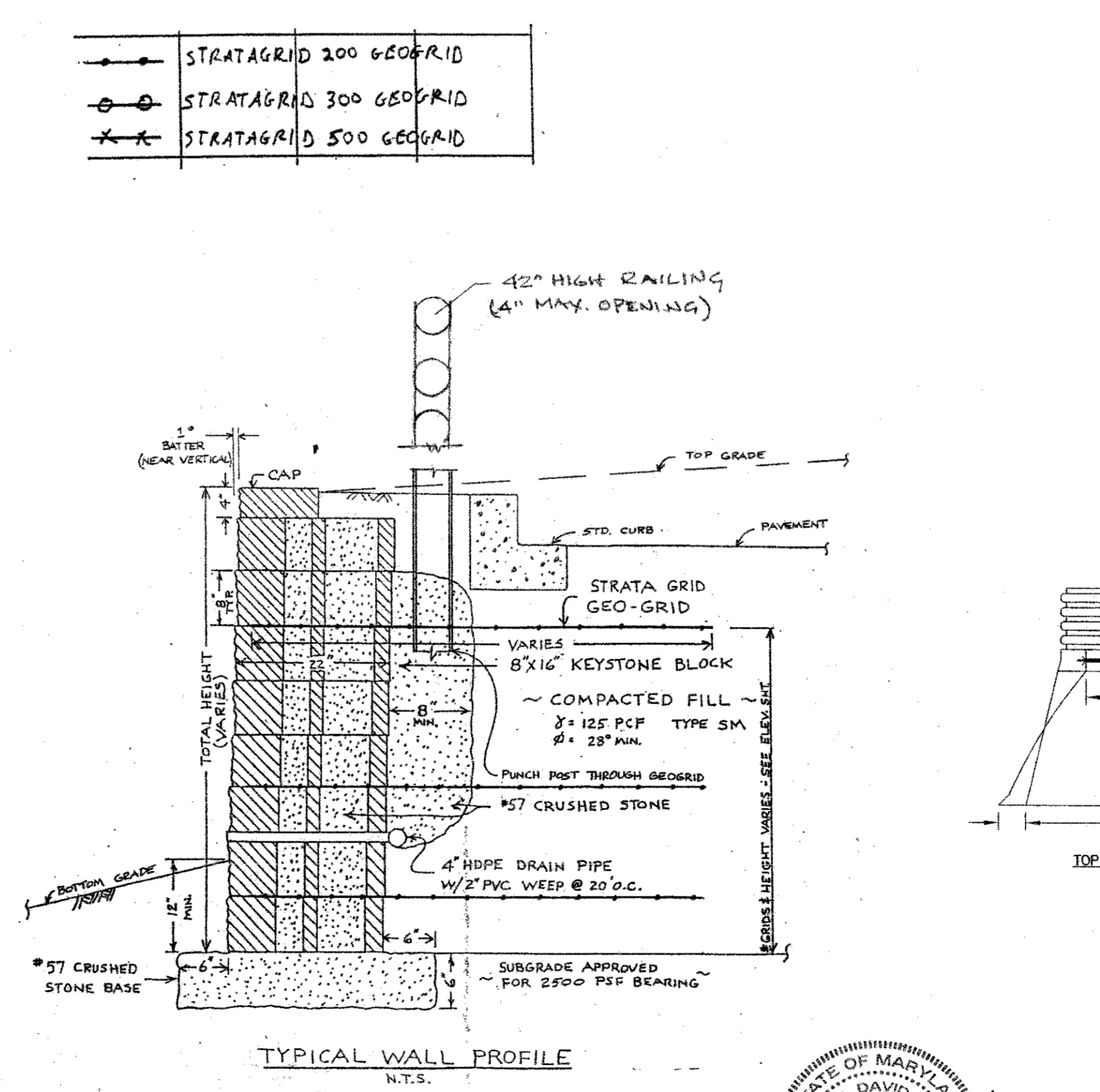
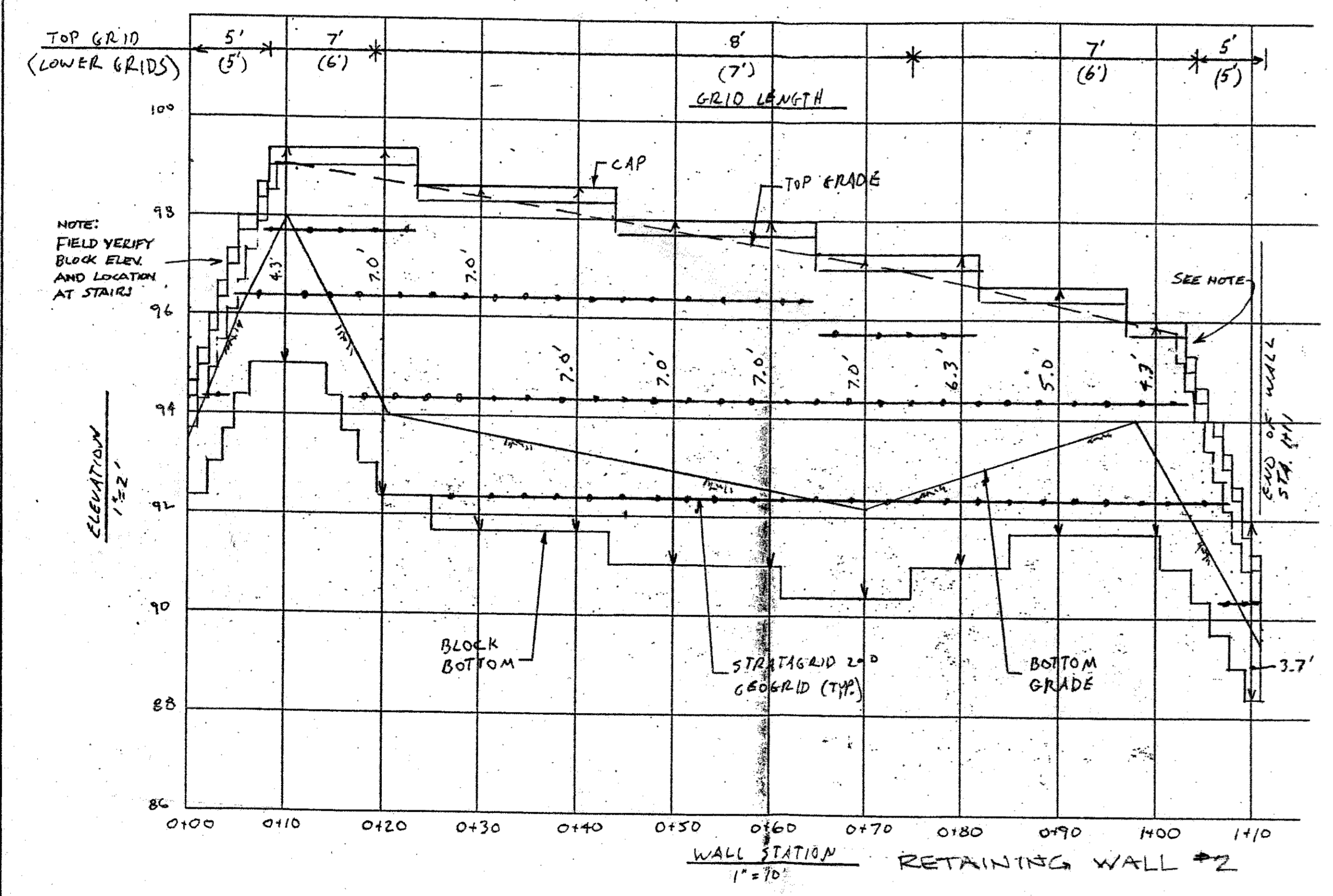
OWNER: NORBEL PROPERTIES, INC.
 DEED REFERENCED: 133/533
 ELECTION DISTRICT NO. 1
 TAX MAP: 38 GRID: 9 PARCEL: 820
 SCALE: AS SHOWN
 UTILITY PROFILES

REV. 2: FEB. 26, 2001
 DATE: SEPTEMBER 11, 2000
 REV.: JAN. 26, 2001
 SHEET 12 OF 17



**SPECIFICATION GUIDELINES
KEYSTONE CONCRETE MODULAR RETAINING WALL**

- 1.01 GENERAL**
- Work includes furnishing and installing modular retaining wall, including foundation, soil reinforcement, and backfill.
 - Work includes preparing foundation soil, furnishing and installing retaining wall, and backfilling.
 - Furnishing and installing all appropriate materials required for the construction of the retaining wall as shown on the construction drawings.
- 1.02 RELATED WORK**
- Section 0275 - Grouted Soil Reinforcement.
 - Section 0275 - Grouted Soil Reinforcement.
 - Section 0275 - Grouted Soil Reinforcement.
 - Section 0275 - Grouted Soil Reinforcement.
- 1.03 REFERENCE STANDARDS**
- ASTM C93 - 85. Mortar Load Bearing Masonry Units.
 - ASTM C110 - 75. Sampling and Testing Concrete Masonry Units.
 - ASTM C114 - 85. Solid Lead Bearing Concrete Masonry Units.
- 1.04 DELIVERY, STORAGE AND HANDLING**
- Contractor shall check the materials upon delivery to ensure that proper materials have been received.
 - Contractor shall prevent excessive mud, wet cement, spew, or the materials which may affect materials, from coming in contact with the materials.
 - Contractor shall protect the materials from damage. Damaged material shall not be incorporated into the retaining wall structure.
 - Contractor shall protect the materials from damage. Damaged material shall not be incorporated into the retaining wall structure.
- 1.05 QUALITY ASSURANCE**
- Soil testing and inspection services for quality control during earthwork operations will be supplied by the owner.
 - Soil testing and inspection services for quality control during earthwork operations will be supplied by the owner.
- 1.06 SUBMITTALS**
- Submit all products used to the work of this section.
 - Submit all products used to the work of this section.
- 1.07 CONCRETE UNITS**
- Masonry units shall be Keystone® Retaining Wall Units as manufactured by Hillis-Carnes Engineering Associates, Inc.
 - Concrete wall units shall have a minimum net dry compressive strength of 3000 psi. The concrete shall have a maximum modulus of rupture of 8.5 (psi).
 - Exterior dimensions may vary in accordance with ASTM C93 - 85. Grouted and Composite Units shall have a minimum of square face area each. Most units shall have a minimum of 12 square foot face area each.
 - Refrigerated blocks shall provide a minimum of 150 sq ft of wall face area. Fill which is contained within the dimension of the units may be considered as 80% effective weight.
- 1.08 BACKFILL**
- Materials shall be tested when approved by the engineer. Unless otherwise specified in the drawings, backfill shall be tested for density, moisture, and strength. Backfill shall be tested in the presence of the contractor and the engineer. Backfill shall be tested in the presence of the contractor and the engineer.
 - When additional fill is required, contractor shall submit samples and qualifications to the engineer for his approval.
- 1.09 FOUNDATION SOIL PREPARATION**
- Foundation soil shall be excavated as required for footing dimensions shown on the construction drawings, or as directed by the Engineer.
- 1.10 GEORGRID SOIL REINFORCEMENT**
- Foundation soil shall be excavated by the Engineer to ensure that the actual foundation soil strength meets or exceeds assumed design strength. Backfill shall be placed in 12 inch lifts and compacted to the required density. Backfill shall be placed in 12 inch lifts and compacted to the required density.
 - Foundation soil shall be excavated by the Engineer to ensure that the actual foundation soil strength meets or exceeds assumed design strength. Backfill shall be placed in 12 inch lifts and compacted to the required density. Backfill shall be placed in 12 inch lifts and compacted to the required density.



HILLIS-CARNES ENGINEERING ASSOCIATES, INC.
12011 DULFORD ROAD, ANNAPOLIS JUNCTION, MARYLAND 20701 880-4758 WASH AREA 470-4239

WALL CONSTRUCTION SPECIFICATIONS
NORBEL SCHOOL
GRIFFITH BROTHERS LANDSCAPE CO.

SHEET 7 OF 7 DATE 12/15/00 SCALE 9/3241-A

NOTES:

- FOUNDATION SOIL SHALL BE EXAMINED BY A SOILS ENGINEER TO ASSURE THAT THE ACTUAL FOUNDATION SOIL STRENGTH MEETS OR EXCEEDS ASSUMED DESIGN STRENGTH.
- THE PROPOSED CONSTRUCTION OF ALL RETAINING WALLS SHALL BE PERFORMED UNDER THE OBSERVATION OF A MARYLAND REGISTERED PROFESSIONAL ENGINEER.

NO.	REVISE OWNER/DEVELOPER	DATE
1	REVISION	7-28-2010

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division Date 3/7/01

Chief, Division of Land Development Date 3/8/01

Director Date 3/9/01

MARYLAND INTERNATIONAL SCHOOL

OWNER/DEVELOPER
SHANGRI-LA ENTERPRISES
4465 MONTGOMERY ROAD
ELLICOTT CITY, MD. 21043-6007
410-461-2190

GOWER THOMPSON INC.
CIVIL ENGINEERING - SITE PLANNING

429 E. Lake Avenue
Baltimore, Maryland 21212
Phone 410-532-0101
Fax 410-532-0104
Email GOWERTHOMP@AOL.COM

SEAL: [Professional Engineer Seal]

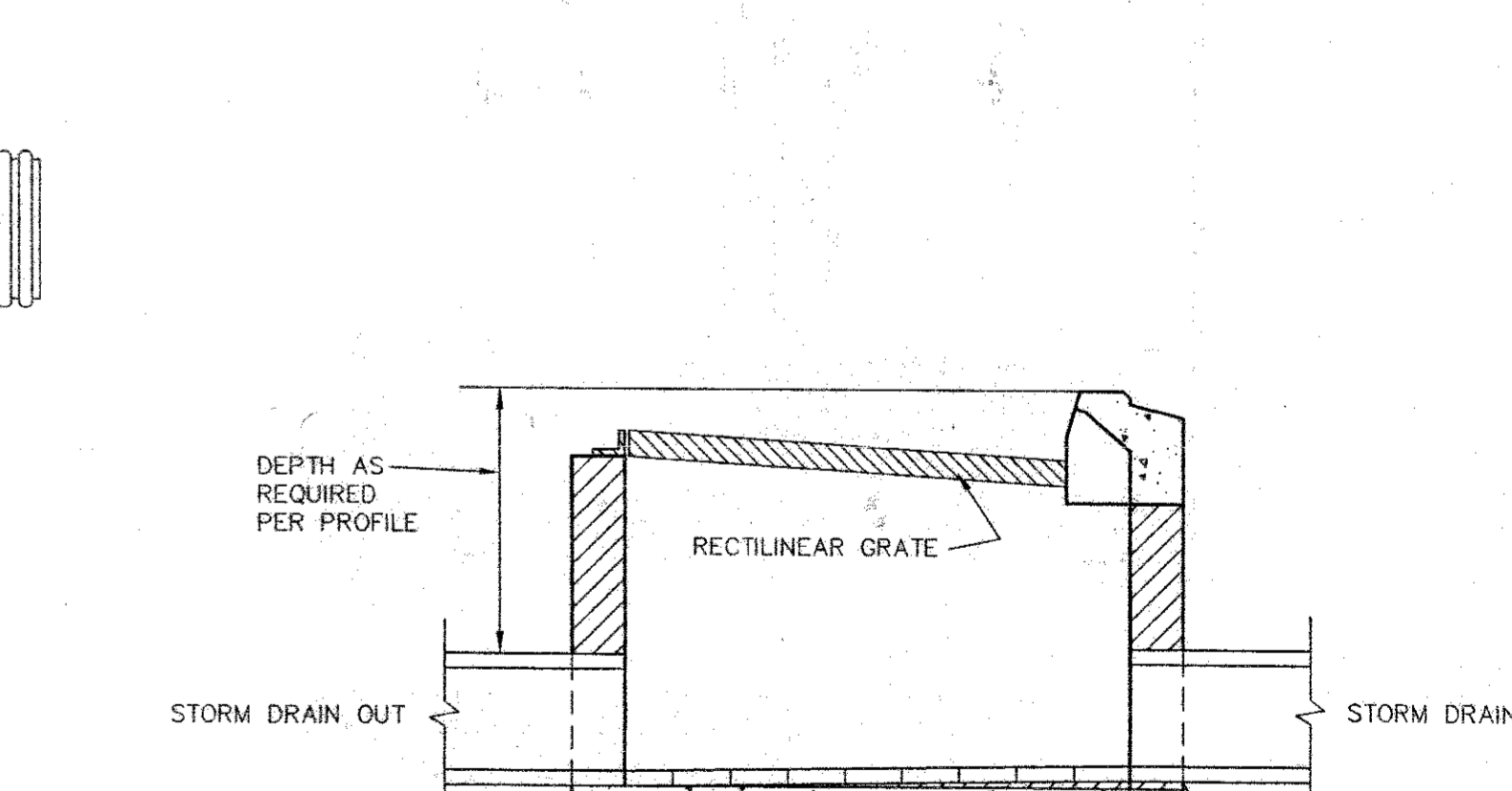
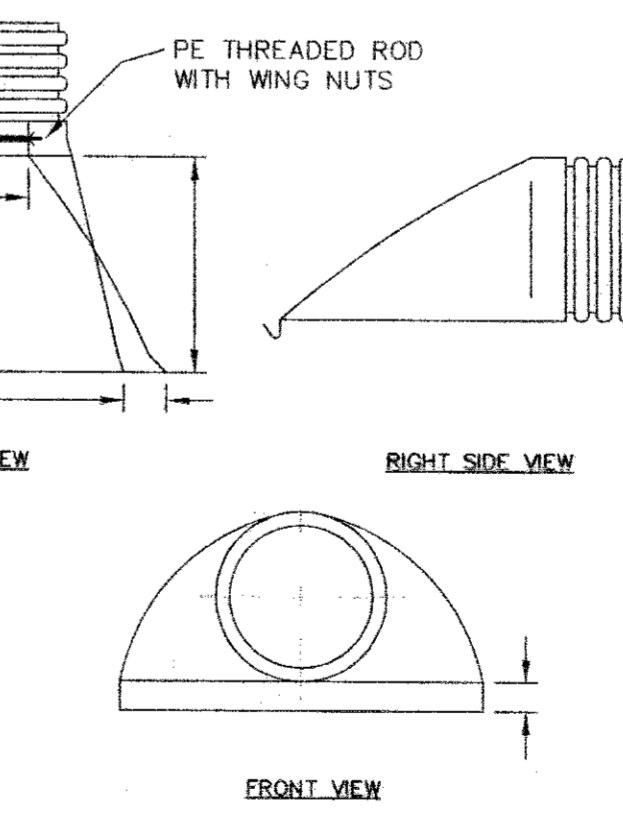
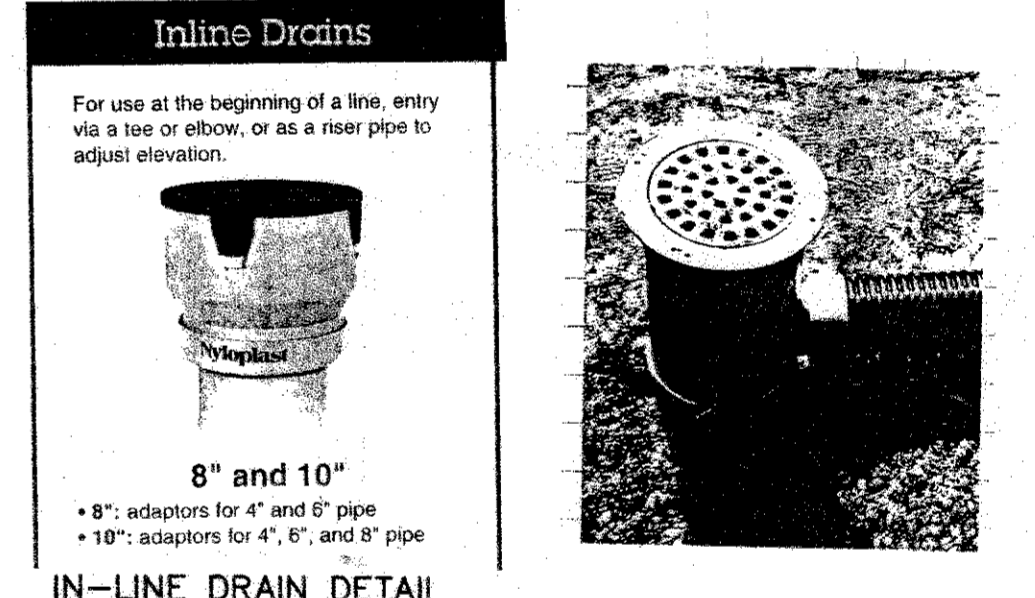
OWNER/DEVELOPER:
NORBEL PROPERTIES, INC.
7310 PARK HEIGHTS AVENUE
BALTIMORE, MARYLAND 21208
DR. ERIC ISSELHARDT
PHONE 410-358-1233
FAX 410-358-3209
EMAIL WWW.NORBELSCHOOL.COM

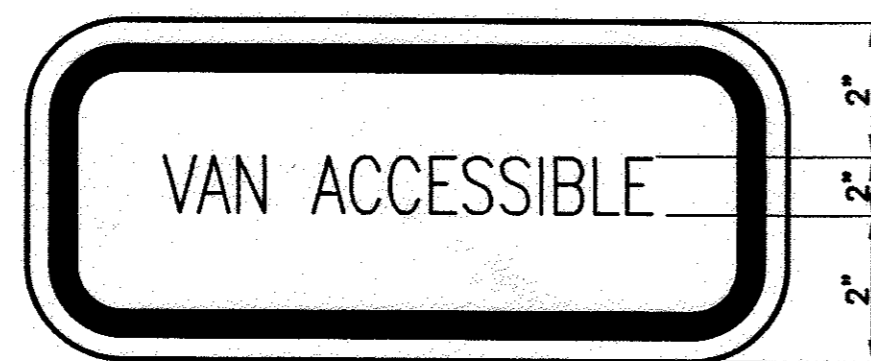
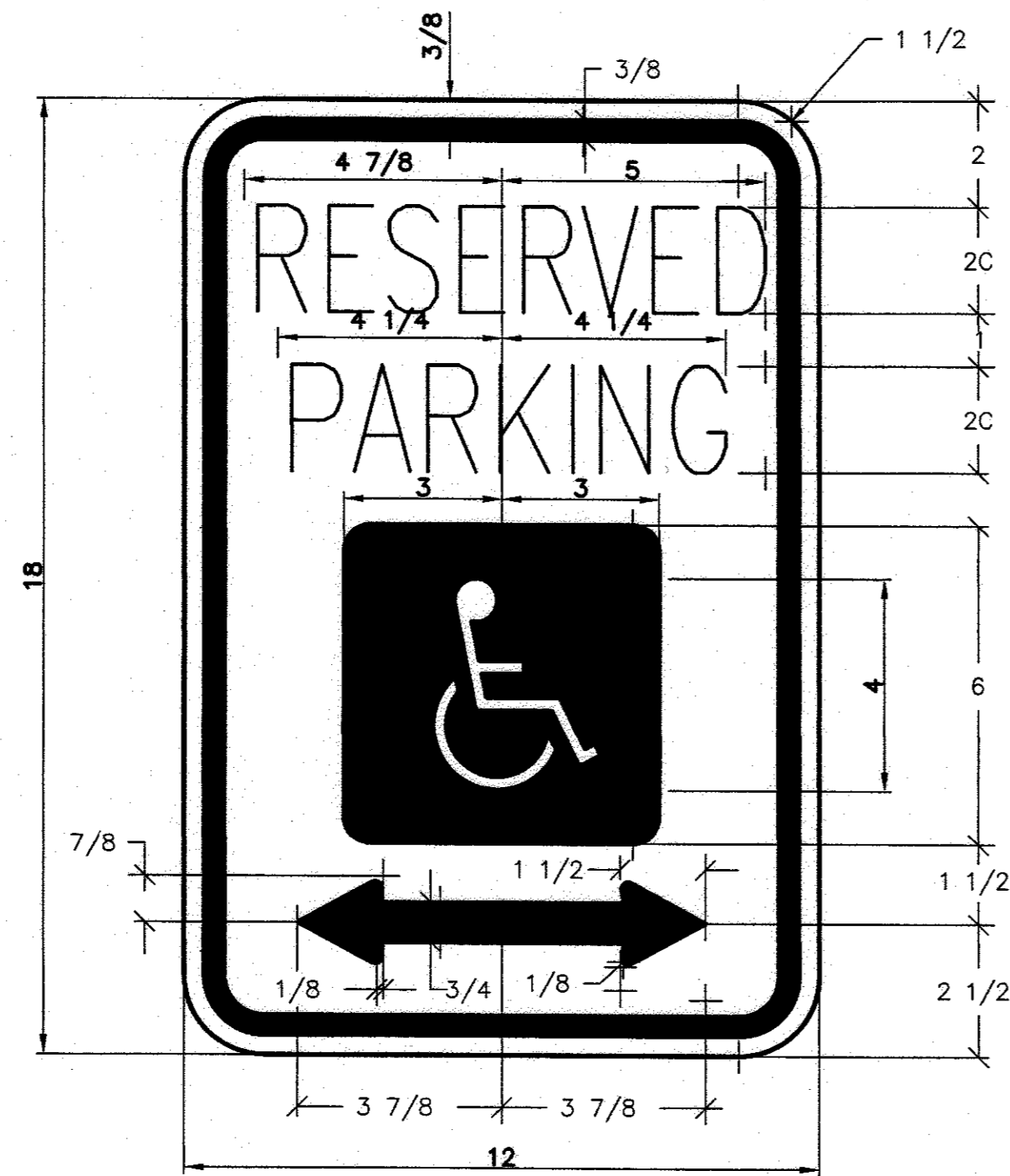
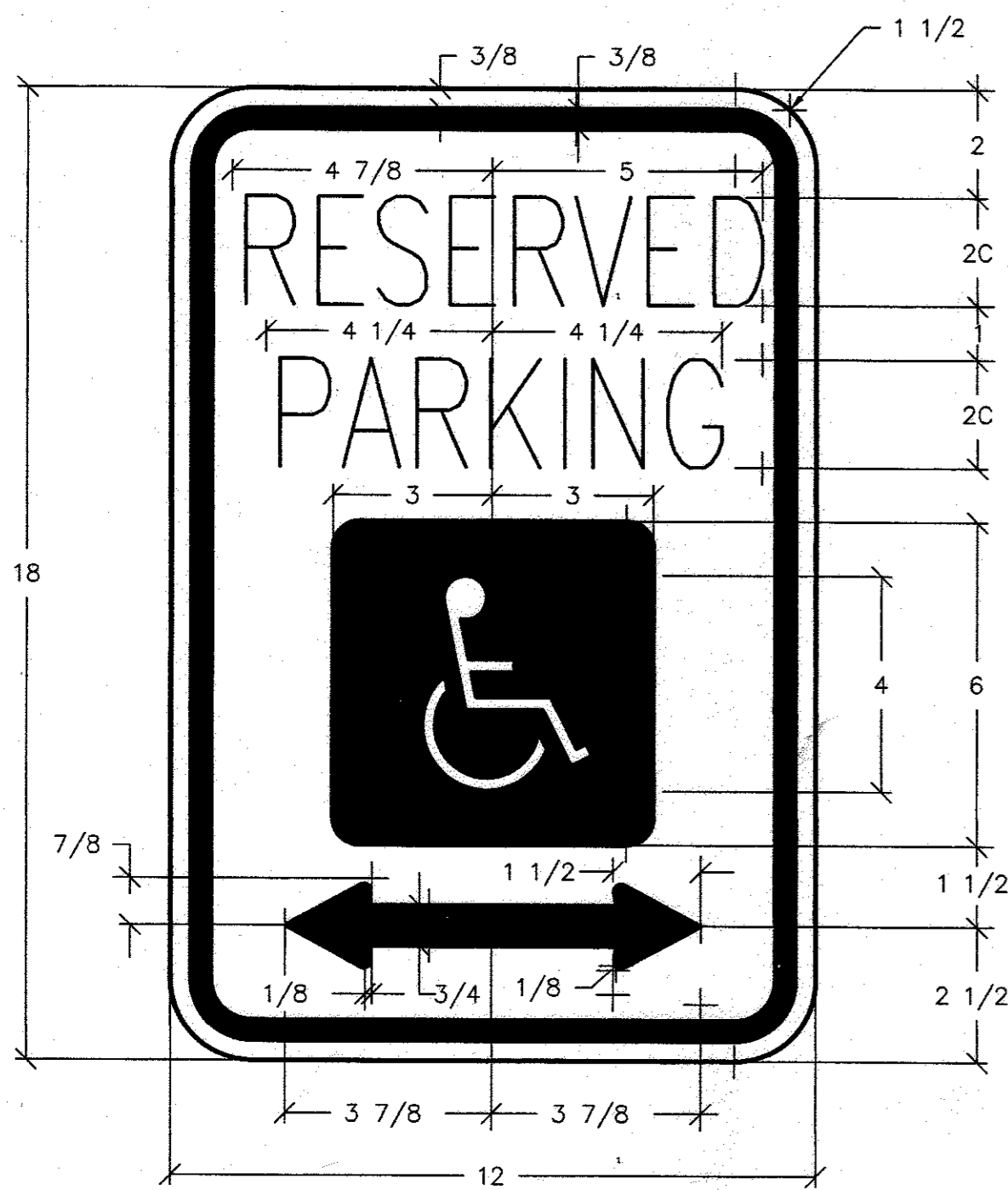
6135 OLD WASHINGTON ROAD
NORBEL SCHOOL
PRIVATE SCHOOL RENOVATION/ADDITION

OWNER: NORBEL PROPERTIES, INC.
DEED REFERENCED: 133/533
ELECTION DISTRICT NO. 1
TAX MAP: 38 GRID: 9 PARCEL: 820
SCALE: AS SHOWN

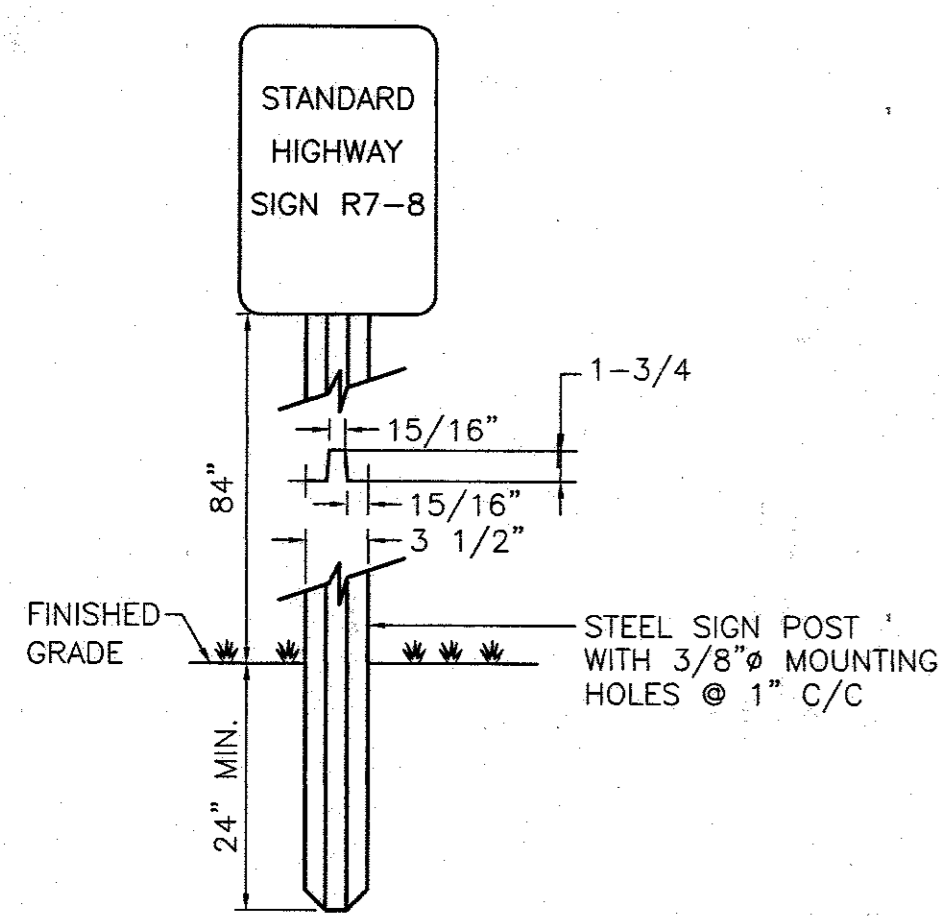
SITE DETAILS

REV. 2: FEB 26, 2001
DATE: SEPTEMBER 11, 2000
REV. JAN. 11, 2001
SHEET 13 OF 17

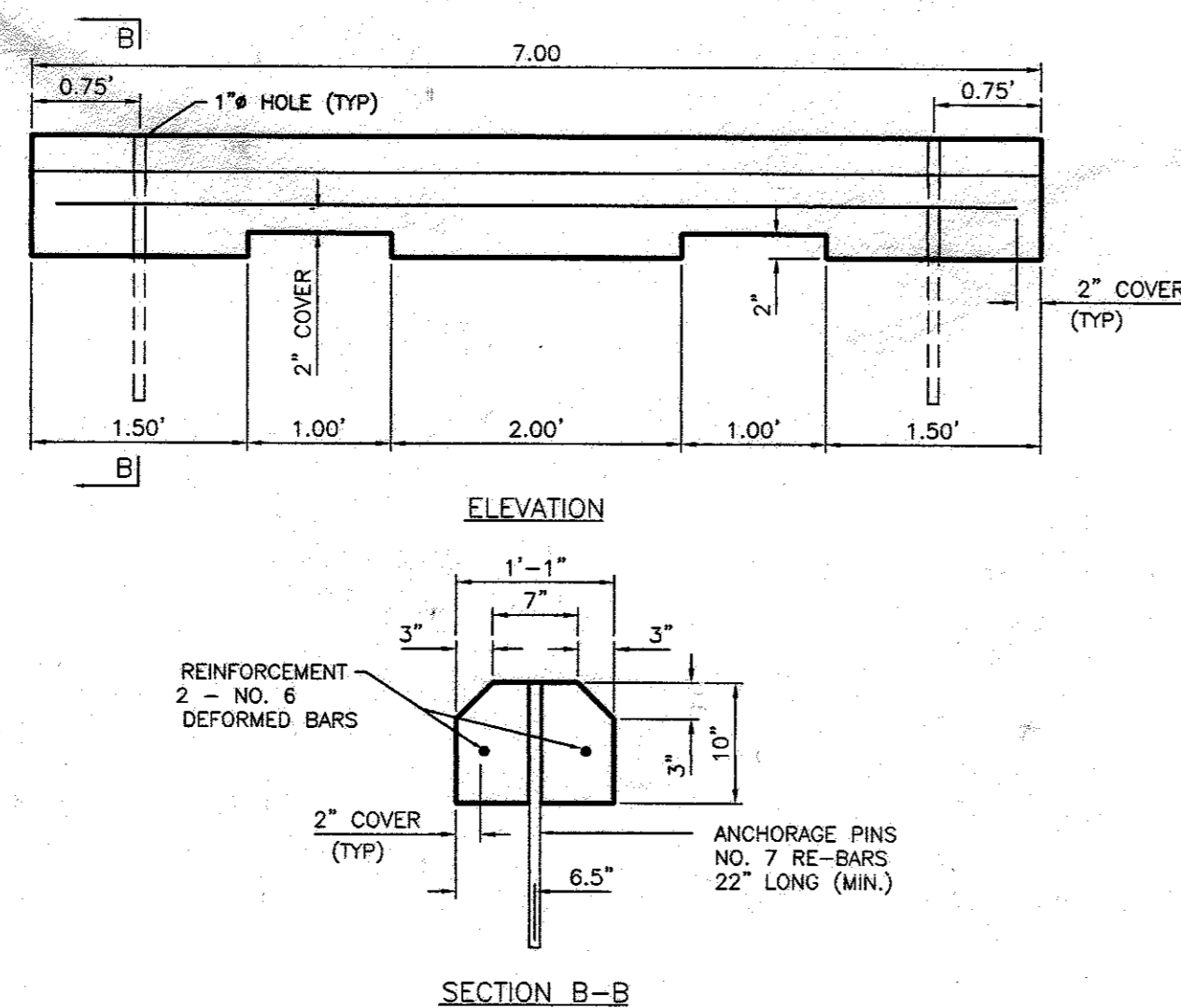




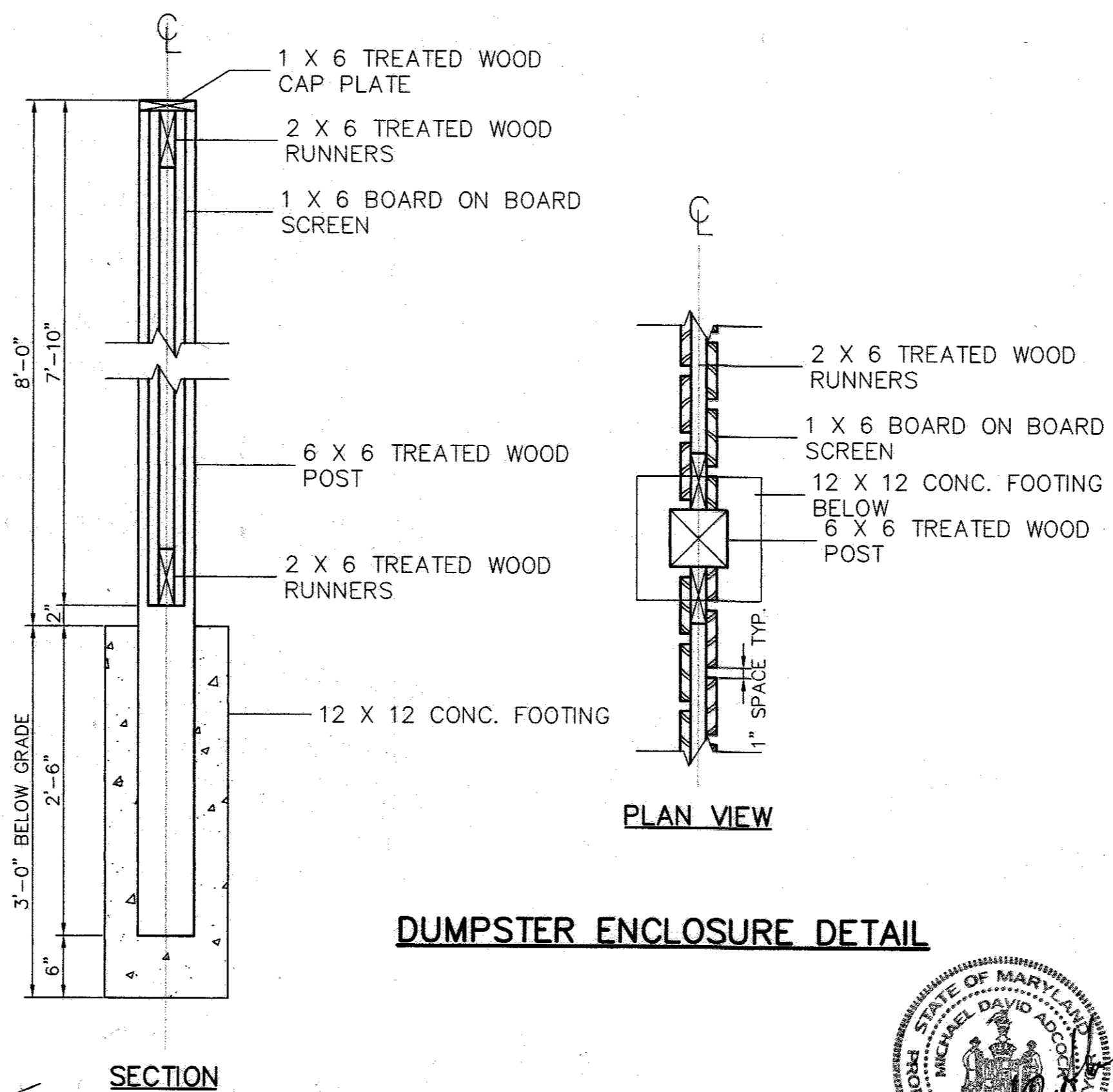
HANDICAP PARKING SPACE SIGNS



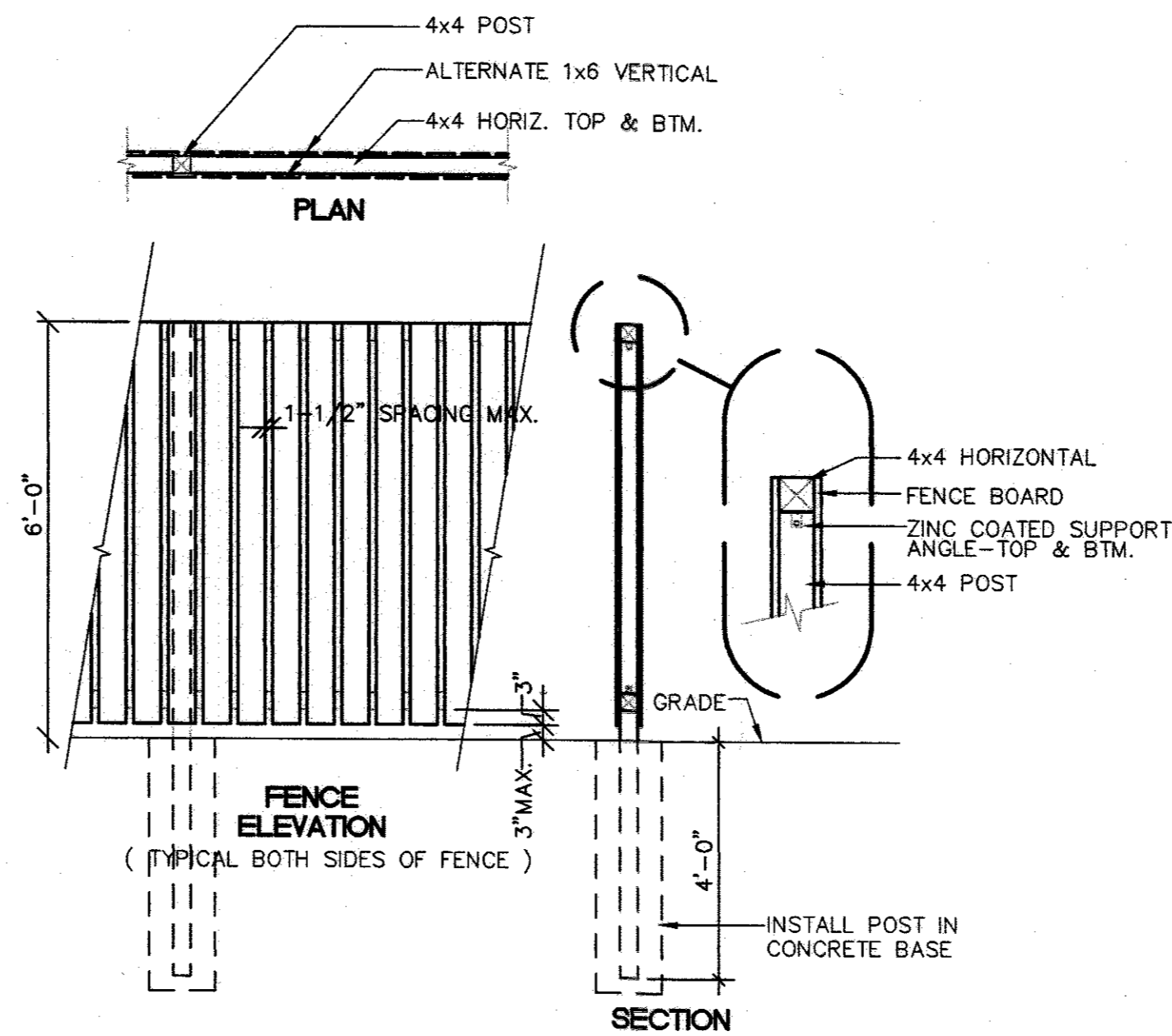
STANDARD HANDICAP SIGN POST



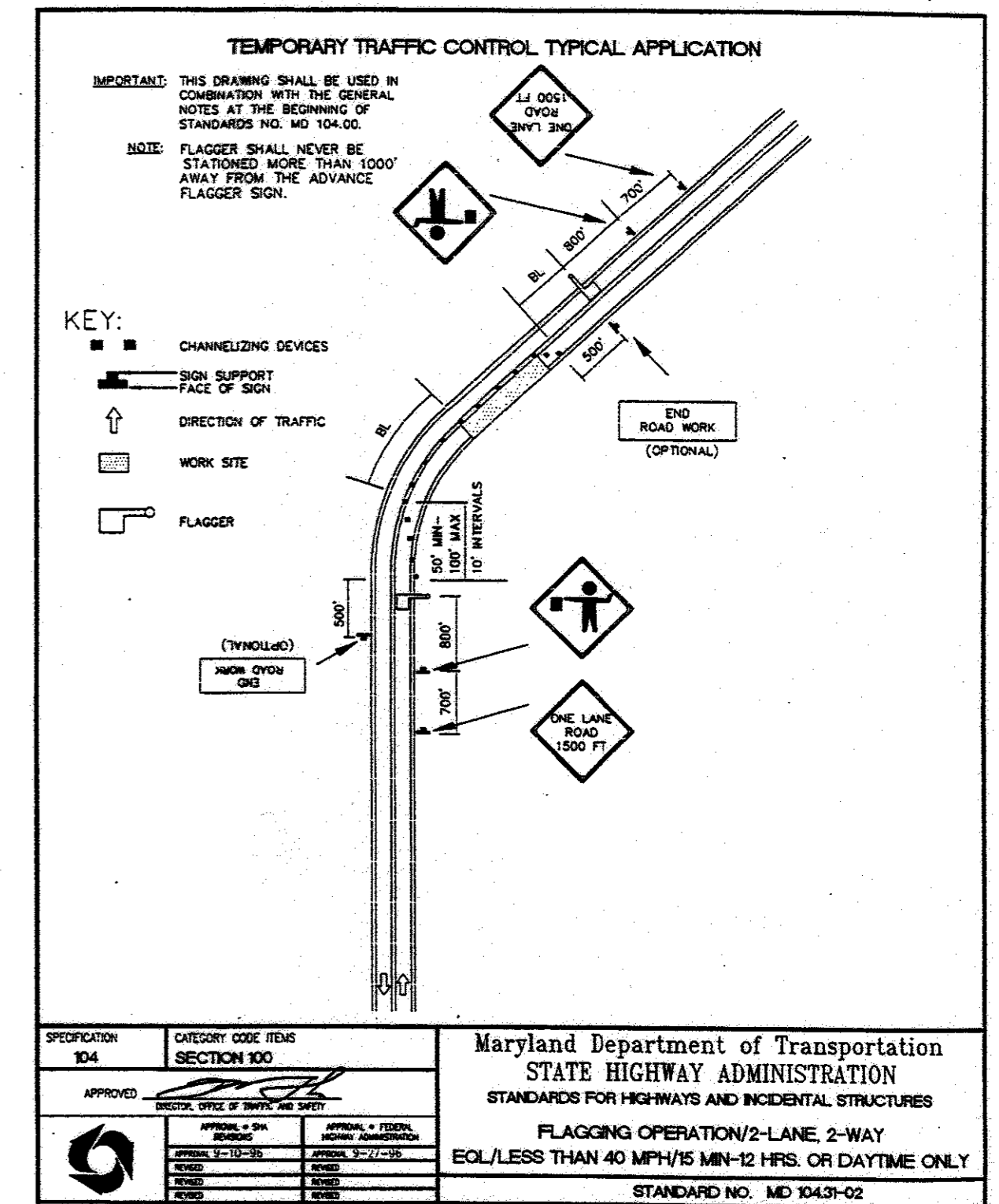
PRECAST CONCRETE WHEELSTOP



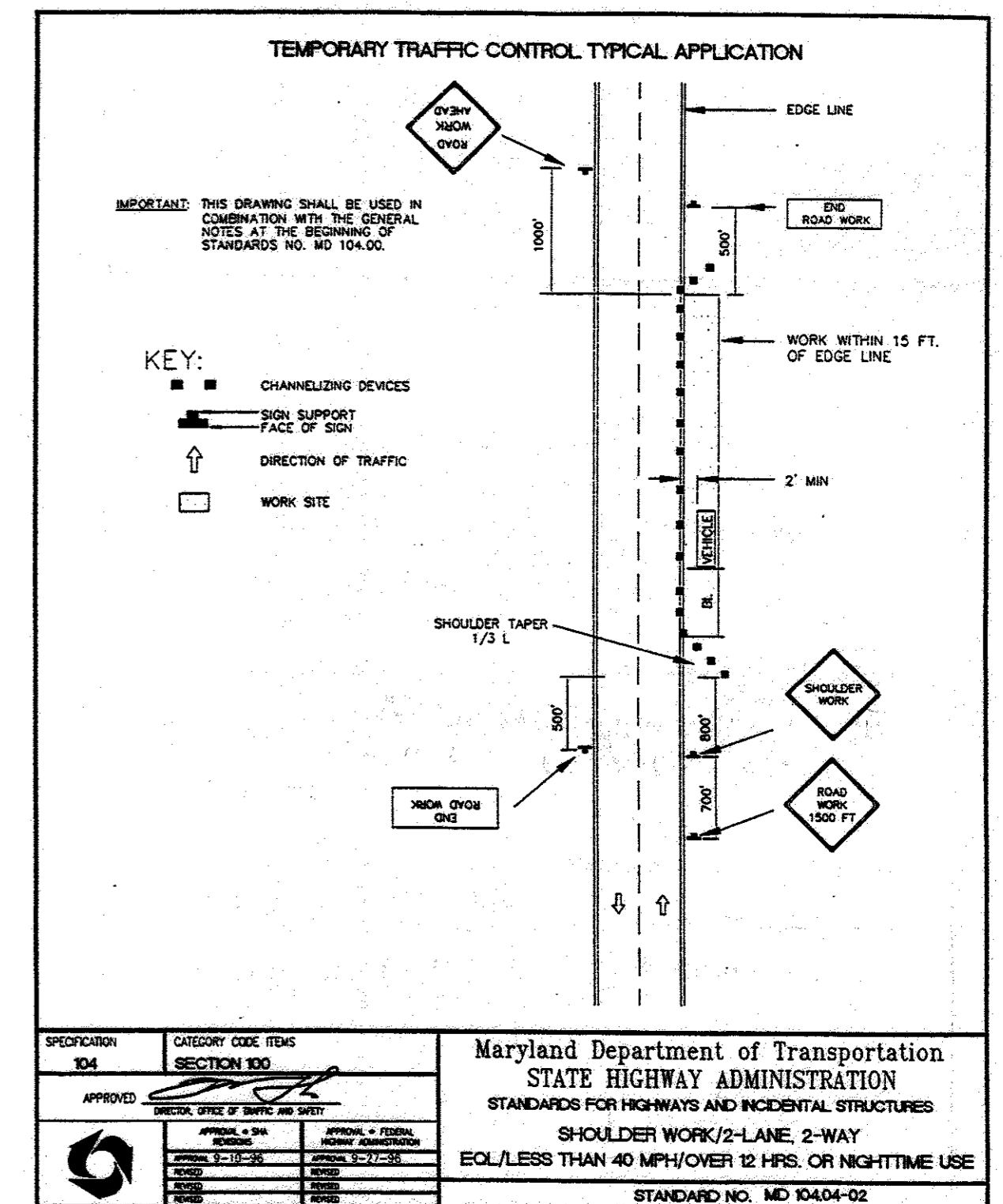
DUMPSTER ENCLOSURE DETAIL



BOARD ON BOARD FENCE DETAIL
3/8" = 1'-0"



SPECIFICATION 104	CATEGORY CODE ITEMS SECTION 100	Maryland Department of Transportation STATE HIGHWAY ADMINISTRATION STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES
APPROVED	APPROVED	FLAGGING OPERATION/2-LANE, 2-WAY EOL/LESS THAN 40 MPH/15 MIN-12 HRS. OR DAYTIME ONLY
DATE	DATE	STANDARD NO. MD 10431-02



SPECIFICATION 104	CATEGORY CODE ITEMS SECTION 100	Maryland Department of Transportation STATE HIGHWAY ADMINISTRATION STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES
APPROVED	APPROVED	SHOULDER WORK/2-LANE, 2-WAY EOL/LESS THAN 40 MPH/OVER 12 HRS. OR NIGHTTIME USE
DATE	DATE	STANDARD NO. MD 10404-02

MAINTENANCE OF TRAFFIC DETAILS
(OLD WASHINGTON ROAD)

1.	REVISE OWNER/DEVELOPER	7-28-2010
No.	REVISION	DATE
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
Chief, Development Engineering Division	Date	3/7/01
Chief, Division of Land Development	Date	3/8/01
Director	Date	3/8/01

MARYLAND INTERNATIONAL SCHOOL
OWNER/DEVELOPER
SHANGRI-LA ENTERPRISES
4465 MONTGOMERY ROAD
ELLICOTT CITY, MD. 21043-6007
410-461-2190

GT
GOWER THOMPSON INC.
CIVIL ENGINEERING - SITE PLANNING
429 E. Lake Avenue
Baltimore, Maryland 21212
Phone 410-532-0101
Fax 410-532-0104
Email GOWERTHOMP@AOL.COM

SEAL:

STATE OF MARYLAND
FREDERICK & THOMSON
MICHAEL DAVID APOSTOLU
PROFESSIONAL LAND SURVEYOR
No. 11477

OWNER/DEVELOPER:

NORBEL PROPERTIES, INC.
7310 PARK HEIGHTS AVENUE
BALTIMORE, MARYLAND 21208
DR. ERIC ISSELHARDT
PHONE 410-358-1233
FAX 410-358-3209
EMAIL WWW.NORBELSCHOOL.COM

6135 OLD WASHINGTON ROAD
NORBEL SCHOOL
PRIVATE SCHOOL RENOVATION/ADDITION

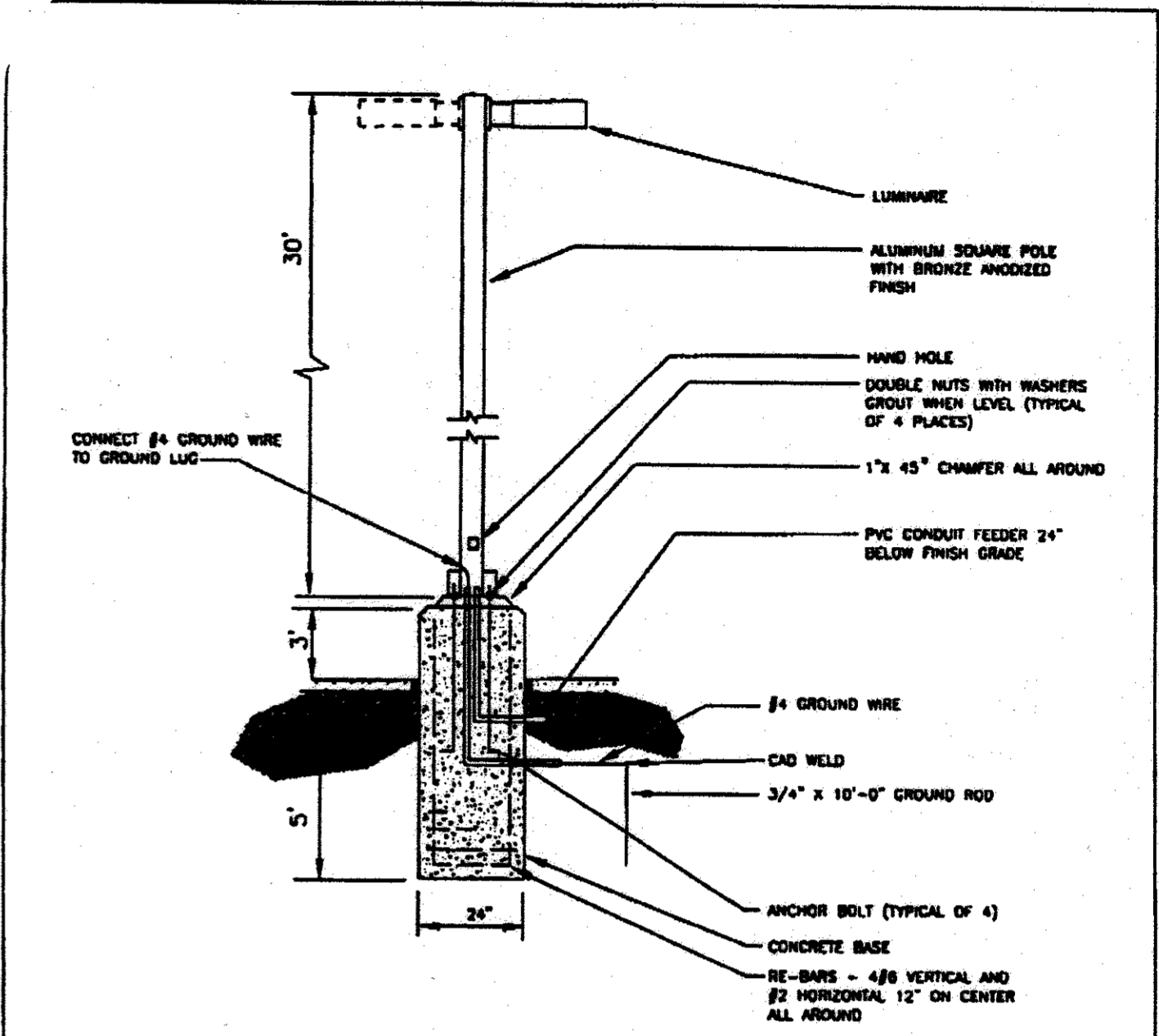
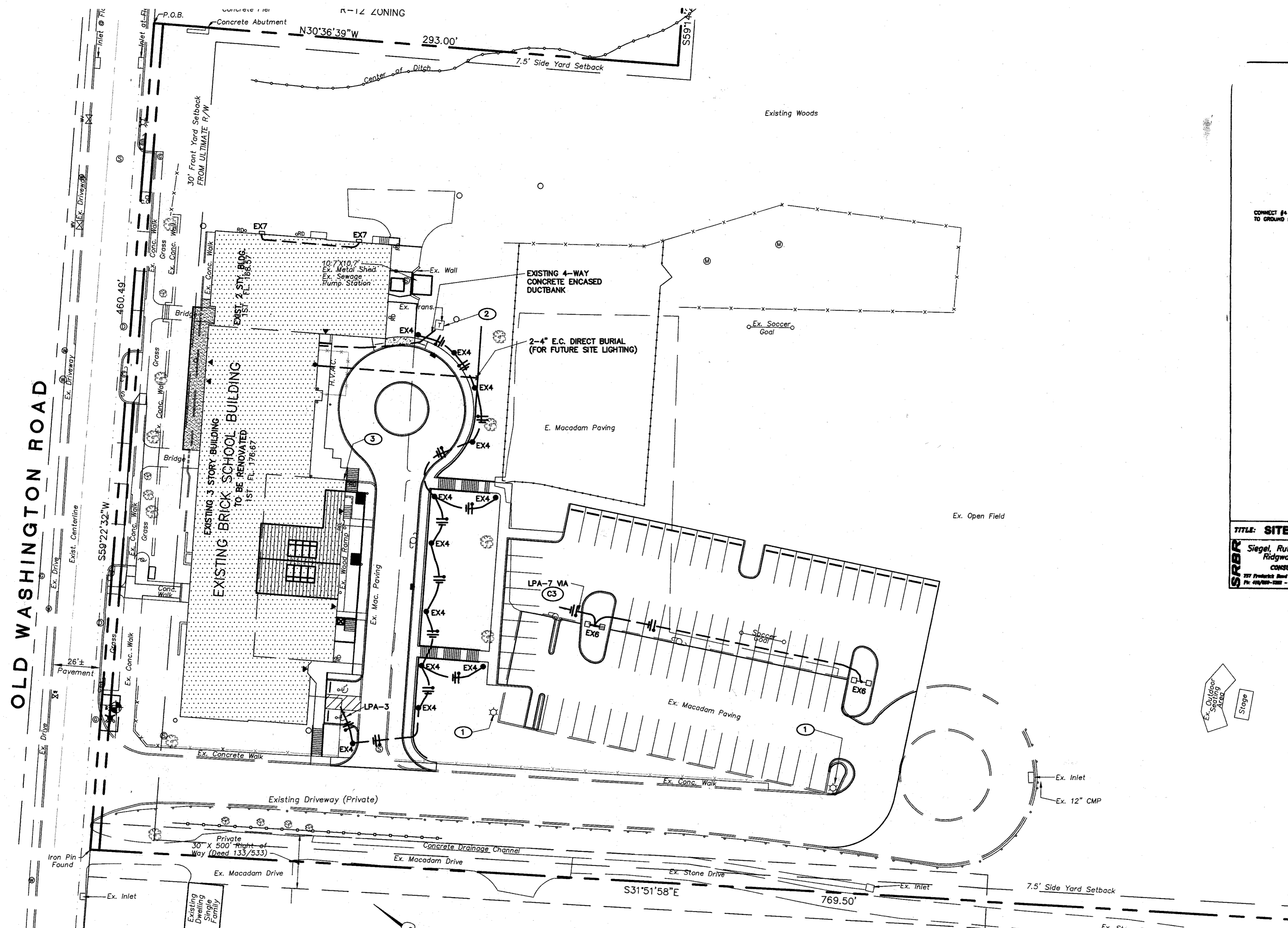
OWNER: NORBEL PROPERTIES, INC.
DEED REFERENCED: 133/533
ELECTION DISTRICT NO. 1
TAX MAP: 38 GRID: 9 PARCEL: 820
SCALE: NTS

SITE DETAILS

REV. 2: FEB 26, 2001
DATE: SEPTEMBER 11, 2000
REV.: JAN. 26, 2001

SHEET 14 OF 17

SDP-01-45



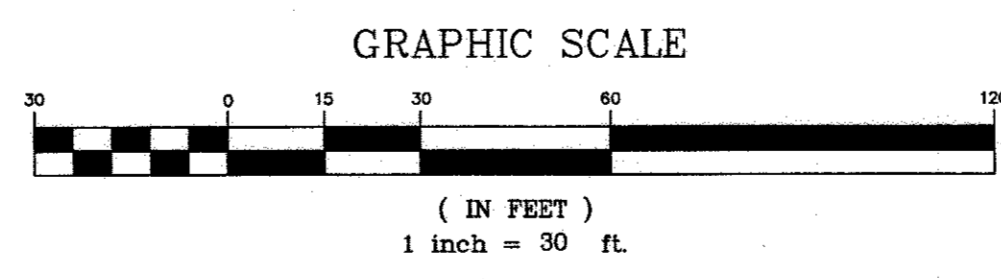
POLE BASE DETAIL (FIXTURE TYPES X5 & X6)
NO SCALE

TITLE: SITE PLAN - ELECTRICAL (E11)		DATE: 12/13/00
Siegel, Rutherford, Bradstock, Ridgway, Incorporated CONSULTING ENGINEERS		SRBR # 00167
NORBEL SCHOOL ELEKTRIDGE, MARYLAND		ESK-11-5

- DESCRIPTION FOR THE EXTERIOR LIGHT FIXTURES ARE AS FOLLOWS:
- EX4 - 100 W METAL HALIDE 42" HIGH BOLLARD LITHONIA #BR8-100M-277
 - EX6 - 400 W METAL HALIDE TWIN LUMINAIRE MTD. ON A 30' POLE EMCO #ECA1820H400MH277BRP
 - EX7 - 175 W METAL HALIDE WALL PACK LITHONIA #TWP175M277

ALL EXTERIOR LIGHT FIXTURES SHALL BE ORIENTED TO DIRECT LIGHT INWARDS AND DOWNWARDS ON-SITE AWAY FROM ALL ADJOINING RESIDENTIAL PROPERTIES AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.

- SITE PLAN NOTES:**
- EXISTING POLE LIGHT TO BE REMOVED ALONG WITH ALL ASSOCIATED BRANCH CIRCUITING. (NO EXISTING LIGHTS ARE TO REMAIN)
 - CONTRACTOR SHALL COORDINATE THE REPLACEMENT OF THE EXISTING 120/208V, 3 ϕ , 4W TRANSFORMER WITH A NEW 277/480V, 3 ϕ , 4W PAD MOUNTED TRANSFORMER. EXISTING CONCRETE ENCASED 4-WAY DUCTBANK TO REMAIN.
 - REMOVE EXISTING SERVICE HEAD AND EXPOSED CONDUIT FROM BUILDING EXTERIOR.



No.	REVISE OWNER/DEVELOPER	DATE
1.		7-28-2010
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
Chief, Development Engineering Division	Date	5/7/01
Chief, Division of Land Development	Date	2/1/01
Director	Date	1/9/01

MARYLAND INTERNATIONAL SCHOOL

OWNER / DEVELOPER
SHANGRI-LA ENTERPRISES
4465 MONTGOMERY ROAD
ELLCOTT CITY, MD, 21043-6007
410-461-2190

GT
GOWER THOMPSON INC.
CIVIL ENGINEERING - SITE PLANNING

429 E. Lake Avenue
Baltimore, Maryland 21212
Phone 410-532-0101
Fax 410-532-0104
Email GOWERTHOMP@AOL.COM

SEAL:

OWNER/DEVELOPER:
NORBEL PROPERTIES, INC.
7310 PARK HEIGHTS AVENUE
BALTIMORE, MARYLAND 21208
DR. ERIC ISSELHARDT
PHONE 410-358-1233
FAX 410-358-3209
EMAIL WWW.NORBELSCHOOL.COM

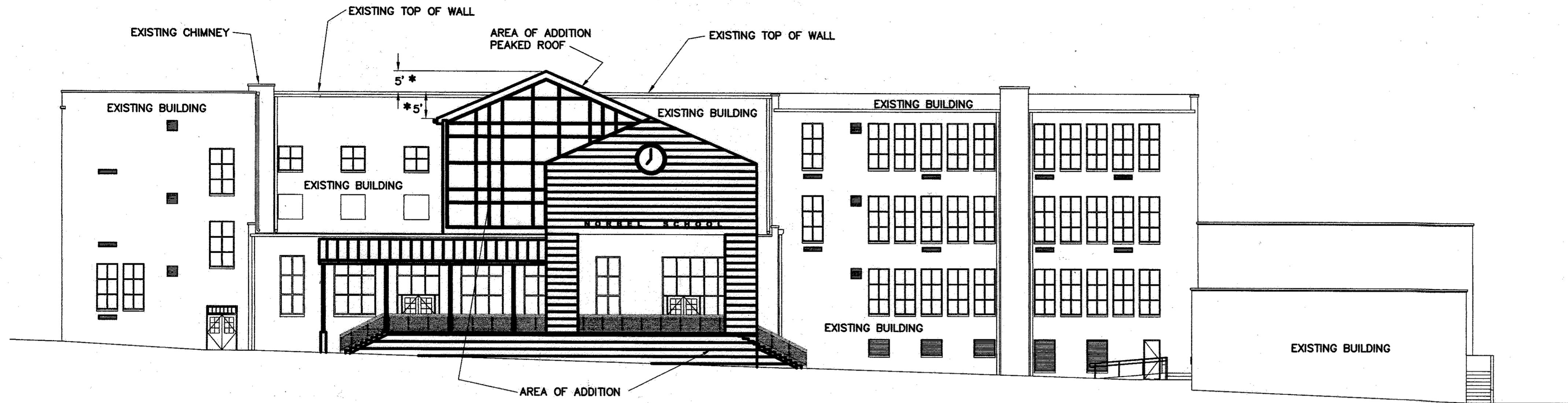
6135 OLD WASHINGTON ROAD
NORBEL SCHOOL
PRIVATE SCHOOL RENOVATION/ADDITION

OWNER: NORBEL PROPERTIES, INC.
DEED REFERENCED: 133/533
ELECTION DISTRICT NO. 1
TAX MAP: 38 GRID: 9 PARCEL: 820
SCALE: 1" = 30'

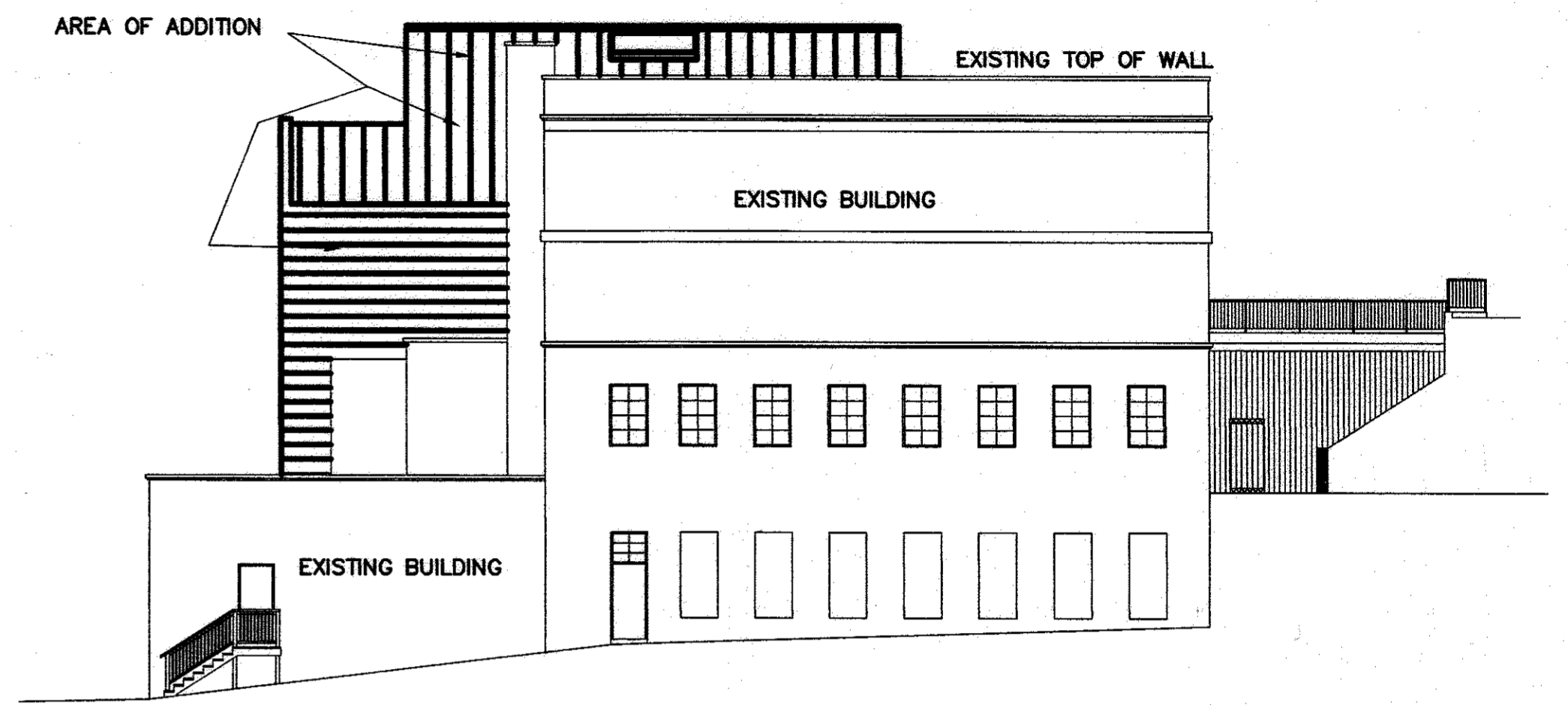
SITE LIGHTING PLAN

DATE: SEPTEMBER 11, 2000
REV.: JAN. 26, 2001
SHEET 15 OF 17

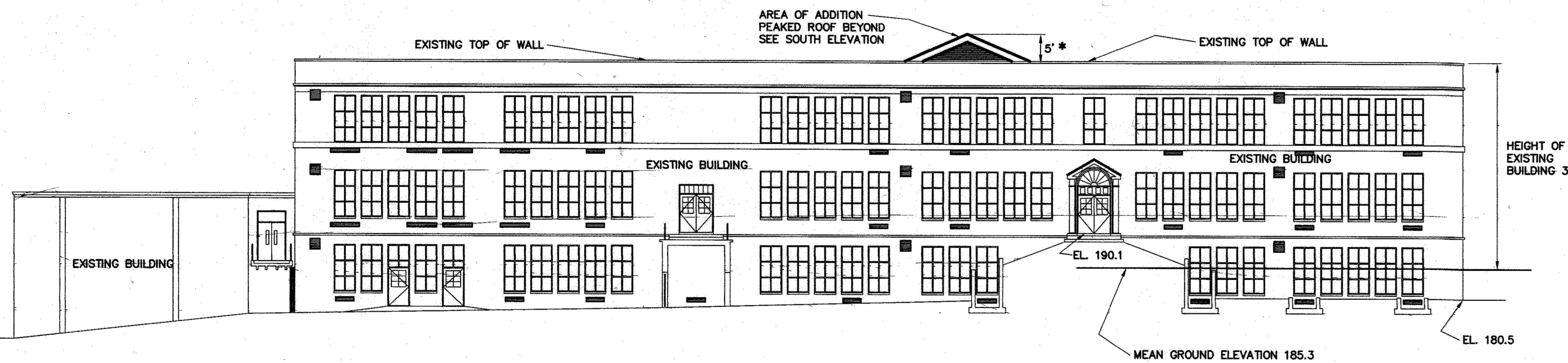
* NOTE: AVERAGE HEIGHT OF NEW PEAKED ROOF IS EQUAL TO HEIGHT OF EXISTING ROOF



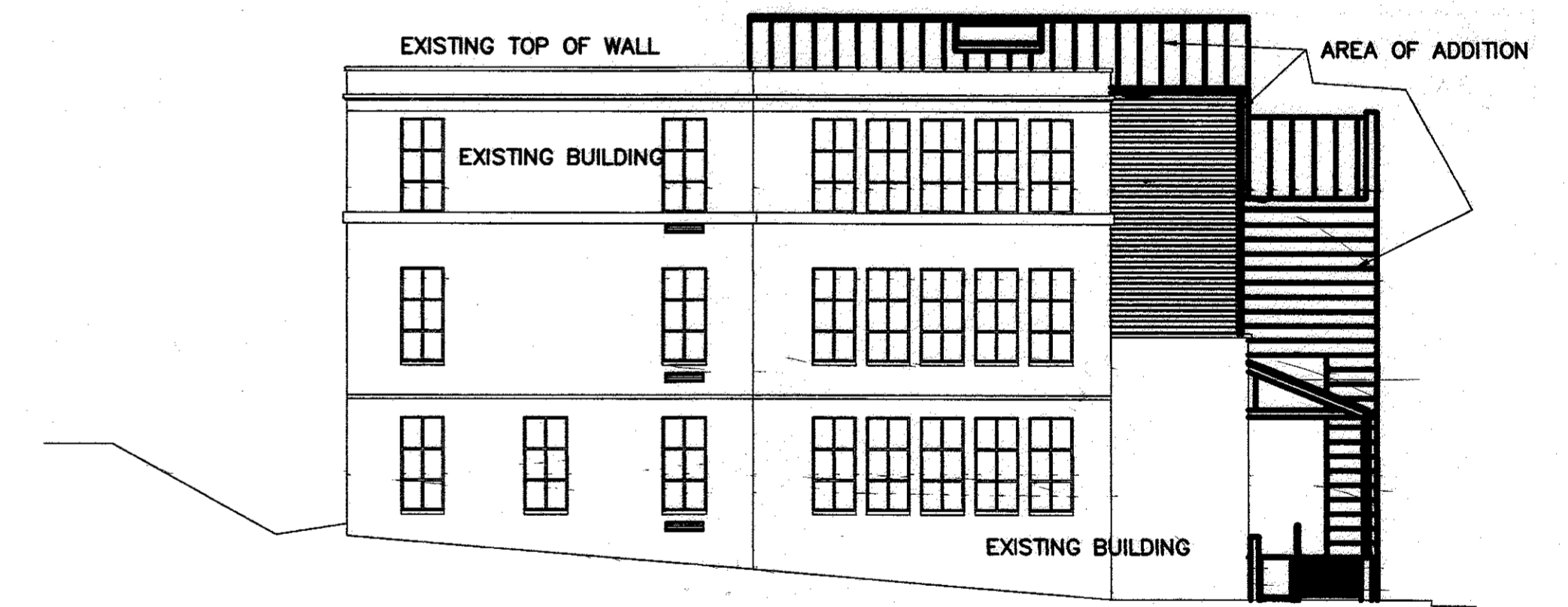
SOUTH ELEVATIONS



EAST ELEVATIONS



NORTH ELEVATIONS



WEST ELEVATIONS

NO.	REVISE OWNER/DEVELOPER	DATE
1.	REVISE OWNER/DEVELOPER	7-28-2016

NO.	REVISION	DATE
1.	REVISION	DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division Date: 3/8/01
 Chief, Division of Land Development Date: 3/9/01
 Director Date: 3/9/01

MARYLAND INTERNATIONAL SCHOOL

OWNER/DEVELOPER
 SHANGRI-LA ENTERPRISES
 4465 MONTGOMERY ROAD
 ELLICOTT CITY, MD. 21043-6007
 410-461-2190

GT
 GOWER THOMPSON INC.
 CIVIL ENGINEERING - SITE PLANNING

429 E. Lake Avenue
 Baltimore, Maryland 21212
 Phone 410-532-0101
 Fax 410-532-0104
 Email GOWERTHOMP@AOL.COM

SEAL: [Professional Engineer Seal]

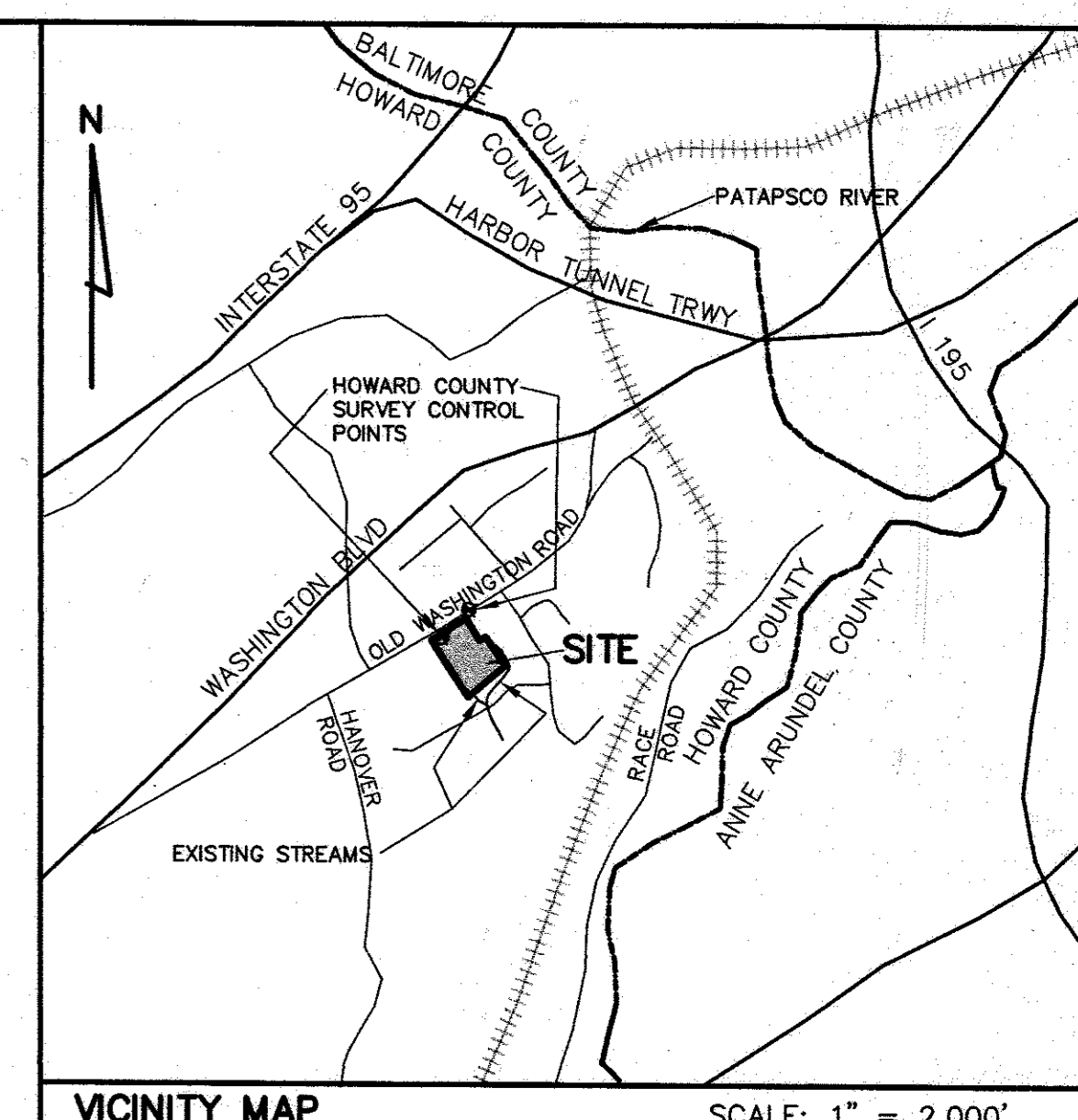
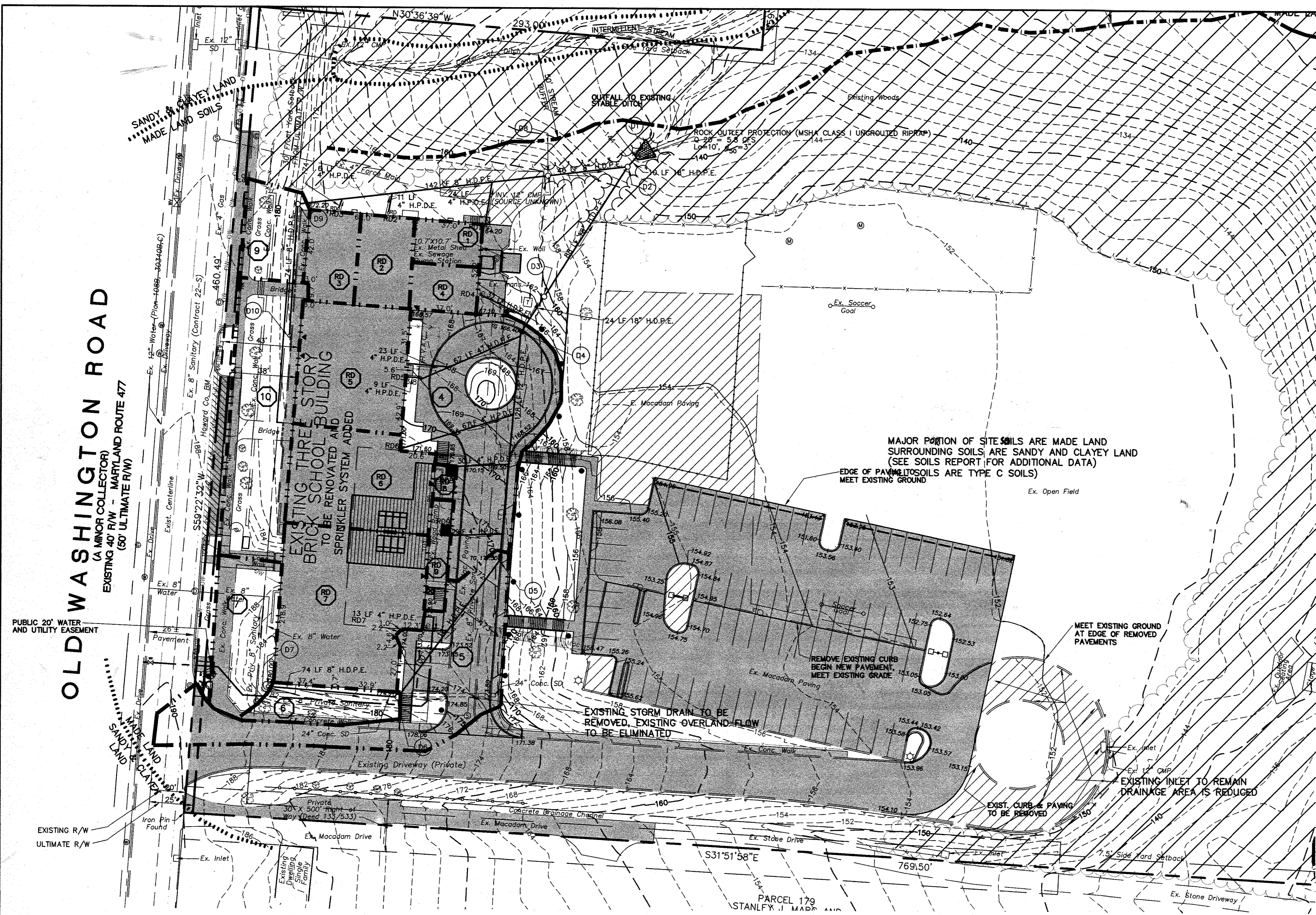
OWNER/DEVELOPER:
NORBEL PROPERTIES, INC.
 7310 PARK HEIGHTS AVENUE
 BALTIMORE, MARYLAND 21208
 DR. ERIC ISSELHARDT
 PHONE 410-358-1233
 FAX 410-358-3209
 EMAIL WWW.NORBELSCHOOL.COM

6135 OLD WASHINGTON ROAD
NORBEL SCHOOL
 PRIVATE SCHOOL RENOVATION/ADDITION

OWNER: NORBEL PROPERTIES, INC.
 DEED REFERENCED: 133/533
 ELECTION DISTRICT NO. 1
 TAX MAP: 38 GRID: 9 PARCEL: 820
 SCALE: NOT TO SCALE

BUILDING ELEVATIONS

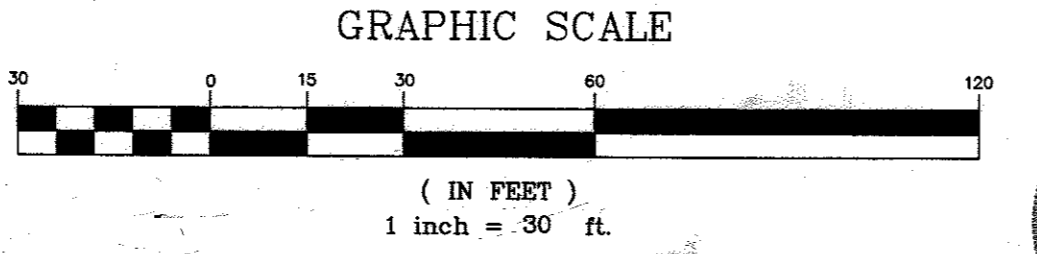
REV 2: FEB 26, 2001
 DATE: SEPTEMBER 11, 2000
 REV.: JAN. 26, 2001
 SHEET 16 OF 17



STORM DRAINAGE AREA COMPUTATIONS SUMMARY TABLE					
INLET #/ DRAINAGE AREA#	TOTAL AREA (AC.)	IMPERVIOUS AREA (AC.)	PERVIOUS AREA (AC.)	% IMPERVIOUS COVER	"C" FACTOR
RD 1	0.02	0.02	0.0	100	0.86
RD 2	0.04	0.04	0.0	100	0.86
RD 3	0.03	0.03	0.0	100	0.86
RD 4	0.02	0.02	0.0	100	0.86
RD 5	0.10	0.10	0.0	100	0.86
RD 6	0.10	0.10	0.0	100	0.86
RD 7	0.16	0.16	0.0	100	0.86
RD 8	0.01	0.01	0.0	100	0.86
RD 9	0.02	0.02	0.0	100	0.86
4	0.40	0.17	0.03	85	0.77
5	0.17	0.15	0.02	88	0.80
6	0.04	0.01	0.03	25	0.40
7	0.07	0.03	0.04	43	0.51
9	0.05	0.02	0.03	40	0.49
10	0.13	0.06	0.07	46	0.53

LEGEND

	EXISTING	CONTOURS
	999	CURB & GUTTER/ EDGE OF PAVING
		ELECTRIC
		PROPERTY LINES
		SANITARY SEWER
		STORM DRAIN
		WATER
		BUILDINGS
		SOILS DIVIDE LINE
		DRAINAGE DIVIDE LINE
		TREE LINE
		STREAM BUFFER



No.	REVISION	DATE
1.	REVISE OWNER/DEVELOPER	7-26-2016

APPROVED DEPARTMENT OF PLANNING AND ZONING		
Chief, Development Engineering Division	Date	3/7/01
Chief, Division of Land Development	Date	3/16/01
Director	Date	3/29/01

MARYLAND INTERNATIONAL SCHOOL
 OWNER/DEVELOPER
 SHANGRI-LA ENTERPRISES
 4465 MONTGOMERY ROAD
 ELLICOTT CITY, MD. 21043-6007
 410-461-2190

G
GOWER THOMPSON INC.
 CIVIL ENGINEERING - SITE PLANNING
 429 E. Lake Avenue
 Baltimore, Maryland 21212
 Phone 410-532-0101
 Fax 410-532-0104
 Email GOWERTHOMP@AOL.COM

SEAL:

ALL SOILS IN AREA OF STRUCTURED STORM DRAINAGE SYSTEM DRAINAGE AREA ARE TYPE "C" SOILS

OWNER/DEVELOPER:
NORBEL PROPERTIES, INC.
 7310 PARK HEIGHTS AVENUE
 BALTIMORE, MARYLAND 21208
 DR. ERIC ISSELHARDT
 PHONE 410-358-1233
 FAX 410-358-3209
 EMAIL WWW.NORBELSCHOOL.COM

6135 OLD WASHINGTON ROAD
NORBEL SCHOOL
 PRIVATE SCHOOL RENOVATION/ADDITION

OWNER: NORBEL PROPERTIES, INC.
 DEED REFERENCED: 133/533
 ELECTION DISTRICT NO. 1
 TAX MAP: 38 GRID: 9 PARCEL: 820
 SCALE: 1" = 30'

REV. 2: FEB 26, 2001
 DATE: SEPTEMBER 11, 2000
 REV.: JAN. 26, 2001
 SHEET 17 OF 17