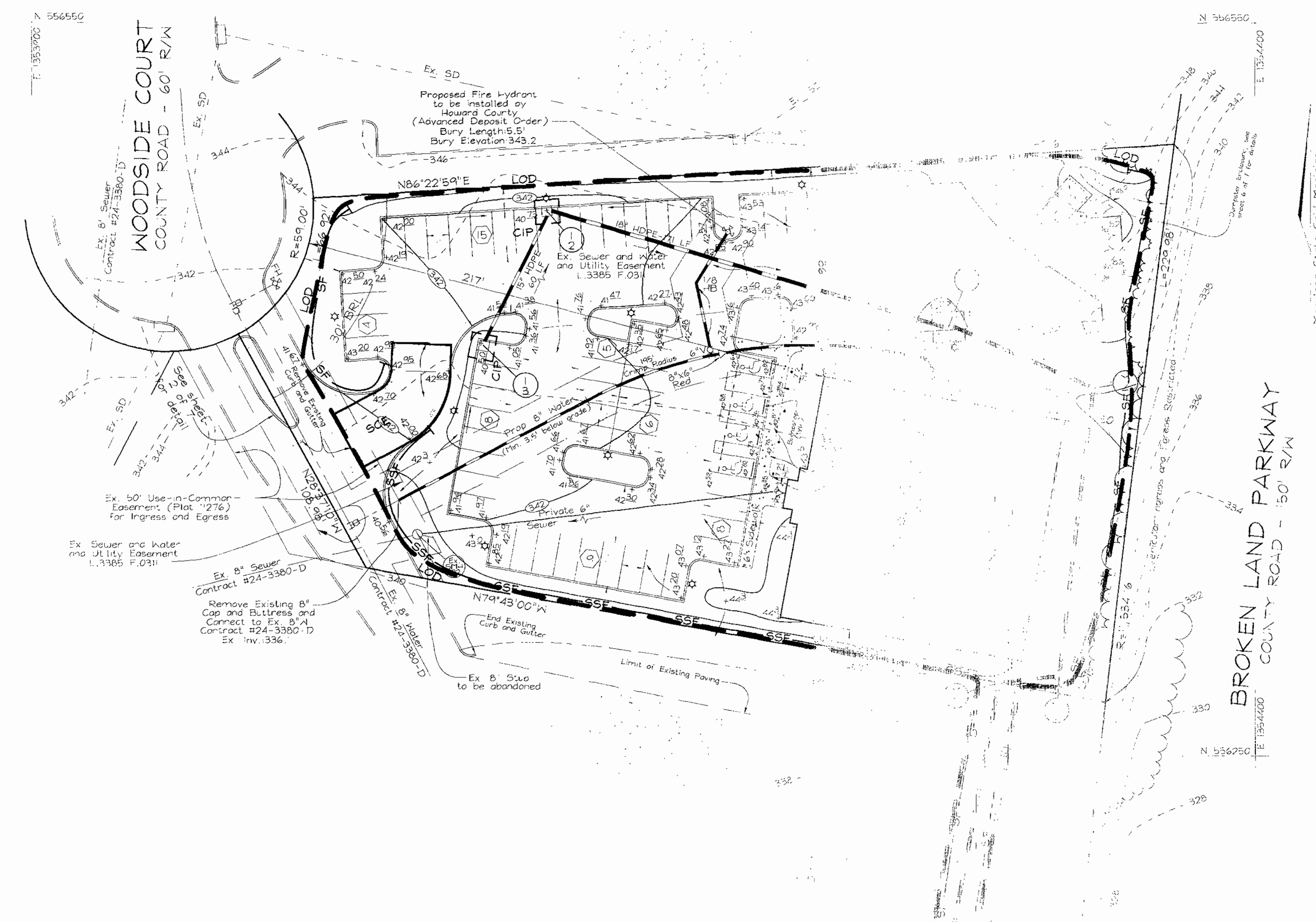


LEGEND

- Existing Contour
- Proposed Contour
- Existing Spot Elevation
- Proposed Spot Elevation
- Direction of Flow
- Existing Trees to Remain
- Spot Notes
- Qualified Constructor
- Setbacks
- Lot Lines
- Limit of Disturbance
- Final Site Protection



APPROVED
PLANNING BOARD
of HOWARD COUNTY
 DATE September 21, 2000

Robert Vogel
 Cindy Hamilton
 J. G. Wapold

PLANNING AND ZONING

11/6/00
 11/9/00
 11/9/00

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL, REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT

Robert Vogel
 SIGNATURE OF ENGINEER
 ROBERT F. VOGEL

10/17/00
 DATE

DEVELOPER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT

J. G. Wapold
 SIGNATURE OF DEVELOPER

10-10-00
 DATE

PERMITS

J. G. Wapold / *W. J. ...*
 11/2/00
 11/2/00

OWNER

Woodside Court, LLC
 P.O. Box 516, 75 Frederick Street
 Hanover, PA 17333
 717.632.5300

DEVELOPER

Holland Properties
 P.O. Box 516, 75 Frederick Street
 Hanover, PA 17333
 717.632.5300

REV/SIGN

SEDIMENT AND EROSION CONTROL PLAN
HOLLAND OFFICE BUILDING
 VILLAGE OF OWEN BROWN
 SECTION 5 AREA
 TAX MAP #36 BLOCK 14 PARCELS 1-11
 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

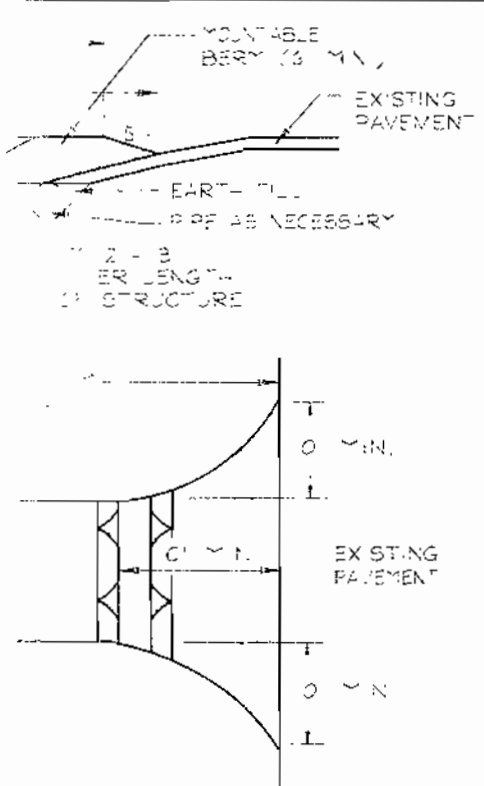
VOGEL & ASSOCIATES
 ENGINEERS & ARCHITECTS

3601 Park Avenue, Suite 101 • Ellicott City, Maryland 21033
 Tel 410.461.5808 Fax 410.435.3966

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 10/17/00

DESIGN BY: PS
 DRAWN BY: PS
 CHECKED BY: PS
 DATE: Oct. 09, 2000
 SCALE: 1"=30'
 A.D. NO.: 00-047

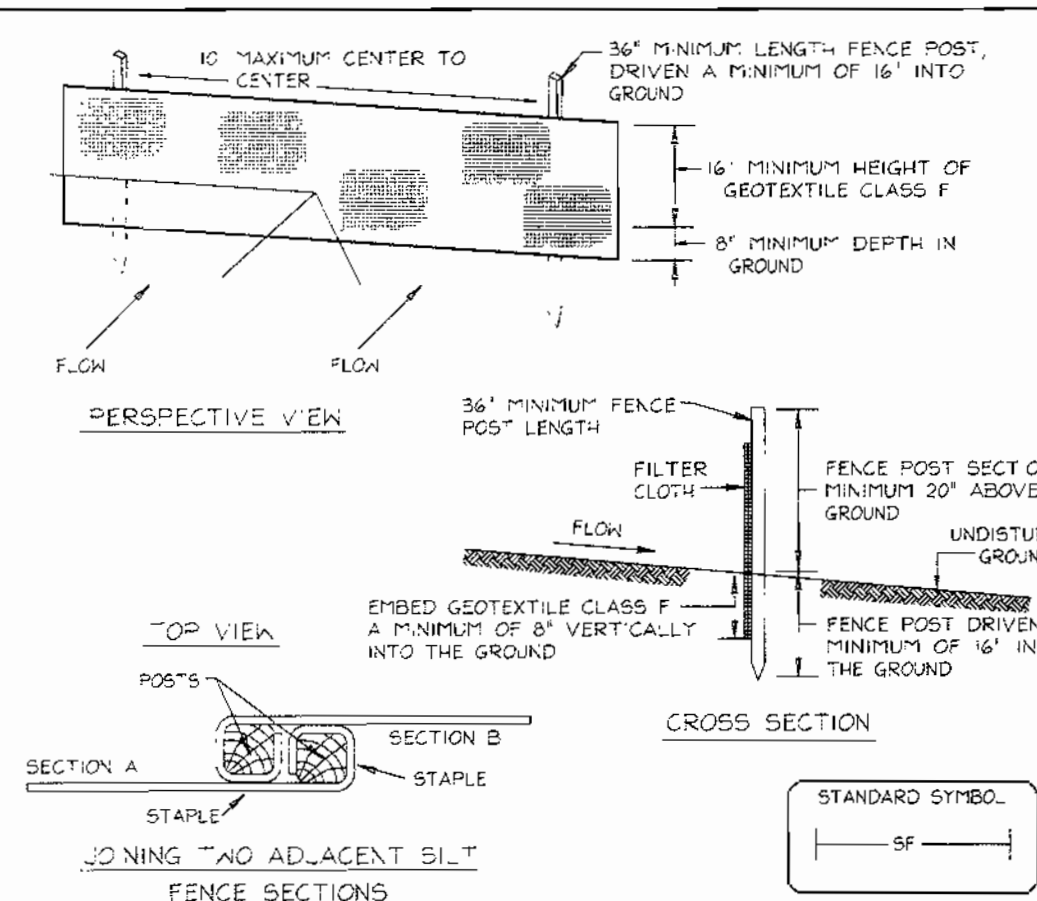
SECTION ON ENTRANCE



- 1. Existing ground surface to be prepared.
- 2. Existing driveway or pavement to be repaired.
- 3. Existing fence to be removed.
- 4. Existing concrete to be removed.
- 5. Existing concrete to be repaired.
- 6. Existing concrete to be replaced.
- 7. Existing concrete to be finished.
- 8. Existing concrete to be painted.
- 9. Existing concrete to be sealed.
- 10. Existing concrete to be stained.

MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 22 - SILT FENCE



- Construction Specifications**
- Fence posts shall be a minimum of 36" long, driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighing not less than 100 pounds per linear foot.
 - Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:
 - Tensile Strength: 50 lbs/in (min.) Test: MSMT 509
 - Tensile Modulus: 20 lbs/in (min.) Test: MSMT 509
 - Flow Rate: 0.3 gal/ft²/minute (max.) Test: MSMT 322
 - Filtering Efficiency: 75% (min.)
 - Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
 - Silt Fence shall be inspected after each rainfall event and maintained when bugs occur or when sediment accumulation reaches 50% of the fabric height.

MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

TEMPORARY SEEDING NOTES

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq.ft.)

SEEDING: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushel per acre of annual rye (5.2 lbs/1000 sq.ft.) For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (0.7 lbs/1000 sq.ft.). For the period November 15 thru February 28, protect site by applying 2 tons per acre of well processed straw mulch and seed as soon as possible in the spring, or use sod.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq.ft.) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2 1/2 gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 6 feet or higher, use 348 gallons per acre (8 gal/1000 sq.ft.) for anchoring.

REFER TO THE '94 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules:

- Preferred—Apply 2 tons per acre dolomitic limestone (92 lbs/100 sq.ft.) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq.ft.) before seeding. Harrow or disk into upper three inches of soil. At the time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (4 lbs/1000 sq.ft.)
- Acceptable—Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq.ft.) and apply 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq.ft.) before seeding. Harrow or disk into upper three inches of soil.

SEEDING: For the period March 1 thru April 30 and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq.ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq.ft.) of weeping lovegrass. During the period of October 1 thru February 28, protect site by Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq.ft.) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2 1/2 gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 6 feet or higher, use 348 gallons per acre (8 gal/1000 sq.ft.) for anchoring.

MAINTENANCE: Inspect all seeded areas and make needed repairs, replacements and reseedings.

WORDS AND SPECIFICATIONS

For sites having disturbed areas over 5 acres or so meeting erosion specifications, additional sediment control measures shall be required to bring the site into compliance with the following: a. The topsoil shall be between 6" and 7.5" deep. b. The topsoil shall be between 6" and 7.5" deep. c. The topsoil shall be between 6" and 7.5" deep. d. The topsoil shall be between 6" and 7.5" deep. e. The topsoil shall be between 6" and 7.5" deep. f. The topsoil shall be between 6" and 7.5" deep. g. The topsoil shall be between 6" and 7.5" deep. h. The topsoil shall be between 6" and 7.5" deep. i. The topsoil shall be between 6" and 7.5" deep. j. The topsoil shall be between 6" and 7.5" deep. k. The topsoil shall be between 6" and 7.5" deep. l. The topsoil shall be between 6" and 7.5" deep. m. The topsoil shall be between 6" and 7.5" deep. n. The topsoil shall be between 6" and 7.5" deep. o. The topsoil shall be between 6" and 7.5" deep. p. The topsoil shall be between 6" and 7.5" deep. q. The topsoil shall be between 6" and 7.5" deep. r. The topsoil shall be between 6" and 7.5" deep. s. The topsoil shall be between 6" and 7.5" deep. t. The topsoil shall be between 6" and 7.5" deep. u. The topsoil shall be between 6" and 7.5" deep. v. The topsoil shall be between 6" and 7.5" deep. w. The topsoil shall be between 6" and 7.5" deep. x. The topsoil shall be between 6" and 7.5" deep. y. The topsoil shall be between 6" and 7.5" deep. z. The topsoil shall be between 6" and 7.5" deep.

SEDIMENT CONTROL NOTES

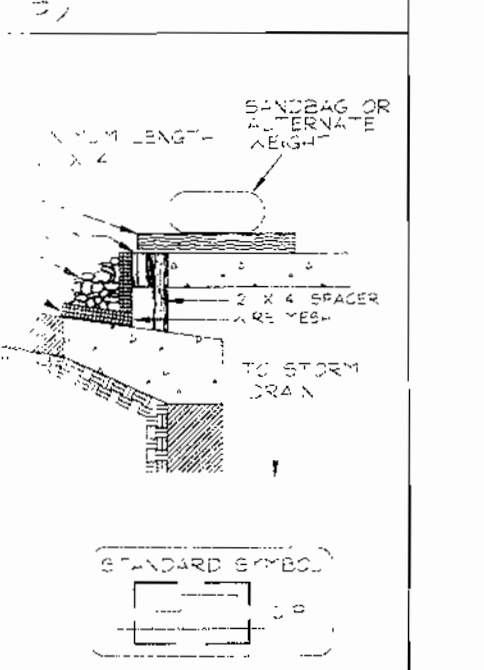
1. A minimum of 4" topsoil must be given to the Howard County Department of Inspection, Design and Permitting, Sediment Control Division for all construction (13-155).
2. All vegetative or structural practices are to be installed according to the standards and specifications for soil erosion and sediment control and related practices.
3. Following final soil disturbance or re-disturbance, permanent or temporary sediment control structures shall be installed within 72 hours of the disturbance. Sediment control structures shall be permanent structures and shall be installed within 72 hours of the disturbance or graded areas or other project site.
4. All sediment structures shall be fenced and warning signs shall be placed around the perimeter in accordance with Vol. 1, Chapter 7, HOWARD COUNTY DESIGN MANUAL Storm Drainage.
5. All disturbed areas shall be stabilized within the time period specified in the standards and specifications for soil erosion and sediment control and related practices and mulching. Sediment control structures shall be installed within 72 hours of the disturbance or graded areas or other project site.
6. All sediment control structures are to remain in place and are to be maintained in good condition until permanent vegetation has been established. Sediment control structures shall be maintained in good condition until permanent vegetation has been established. Sediment control structures shall be maintained in good condition until permanent vegetation has been established.
7. Site analysis:

Total Area	48 Acres
Area Disturbed	40 Acres
Area to be graded or cleared	0.91 Acres
Area to be vegetatively stabilized	0.28 Acres
Total Gr	24800
Total S	7800
Other waste/erosion area	0
8. Any sediment control practice which is disturbed by grading activity, the placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment control practices must be provided if deemed necessary by the Howard County Sediment Control Inspector.
10. On all sites with disturbed areas in excess of 2 acres, approval of the Howard County Department of Inspection, Design and Permitting, Sediment Control Division is required before proceeding with any other earth disturbing activity. Other grading or grading inspection approvals may not be required until the written approval of the inspection agency is made.
11. Fences for the construction of utilities shall be installed within the working day of the utility work and shall be maintained in good condition.
12. To be determined by contractor with pre-approval of the Sediment Control Inspector and approved active grading permit.

SEQUENCE OF CONSTRUCTION

1. Obtain grading permit.
 2. Notify Howard County Bureau of Inspection and Permits at (410)338-880 on or before 24 hours before starting any work.
 3. Install Silt Fence Construction Entrance and Silt Fence (5 days).
 4. Rough grade site (1 week).
 5. Construct Silt Fence and Storm Drain, and install Inlet Protection (4-6 days).
 6. Begin active construction (2 days - 8 hrs).
 7. As active construction continues the grade site (4 days).
 8. Install silt fence and other grading and stabilization (2 days).
 9. Final landscaping (1 week).
 10. Stop all active grading (1 week).
- With permission of the Inspector remove all Sediment Control from the site within 24 hours of completion of construction. If the Inspector determines that the contractor has not complied with the requirements of this plan, the Inspector may require the contractor to re-construct or temporarily maintain the site until it is in compliance with the requirements of this plan.
11. Following final soil disturbance or re-disturbance, permanent or temporary sediment control structures shall be installed within 72 hours of the disturbance or graded areas or other project site.

SECTION ON ENTRANCE



- 1. Existing ground surface to be prepared.
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- 10. Existing concrete to be stained.

MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE September 21, 2000

PLANNING AND ZONING
11/6/00
11/9/00
11/9/00

ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
10/10/00
SIGNATURE OF ENGINEER
ROBERT H. VOGEL

DEVELOPER'S CERTIFICATE
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
10-10-00
SIGNATURE OF DEVELOPER
DATE

REVISIONS
11/2/00
11/2/00
11/2/00

OWNER
Alcocks County, LLC
P.O. Box 516, 75 Frederick Street
Haverhill, PA 17331
717.632.5300
DEVELOPER
Holland Properties
P.O. Box 516, 751 Frederick Street
Haverhill, PA 17331
717.632.5300

SEDIMENT AND EROSION CONTROL DETAILS
HOLLAND OFFICE BUILDING
VILLAGE OF OWEN BROWN
SECTION 5 AREA 1
TAX MAP #36 BLOCK 14 PARCEL E-7
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

VOGEL & ASSOCIATES
ENGINEERS/ARCHITECTS/PLANNERS
3681 Park Avenue, Suite 101 • Elliott City, Maryland 21043
Tel 410.461.5828 Fax 410.465.3966

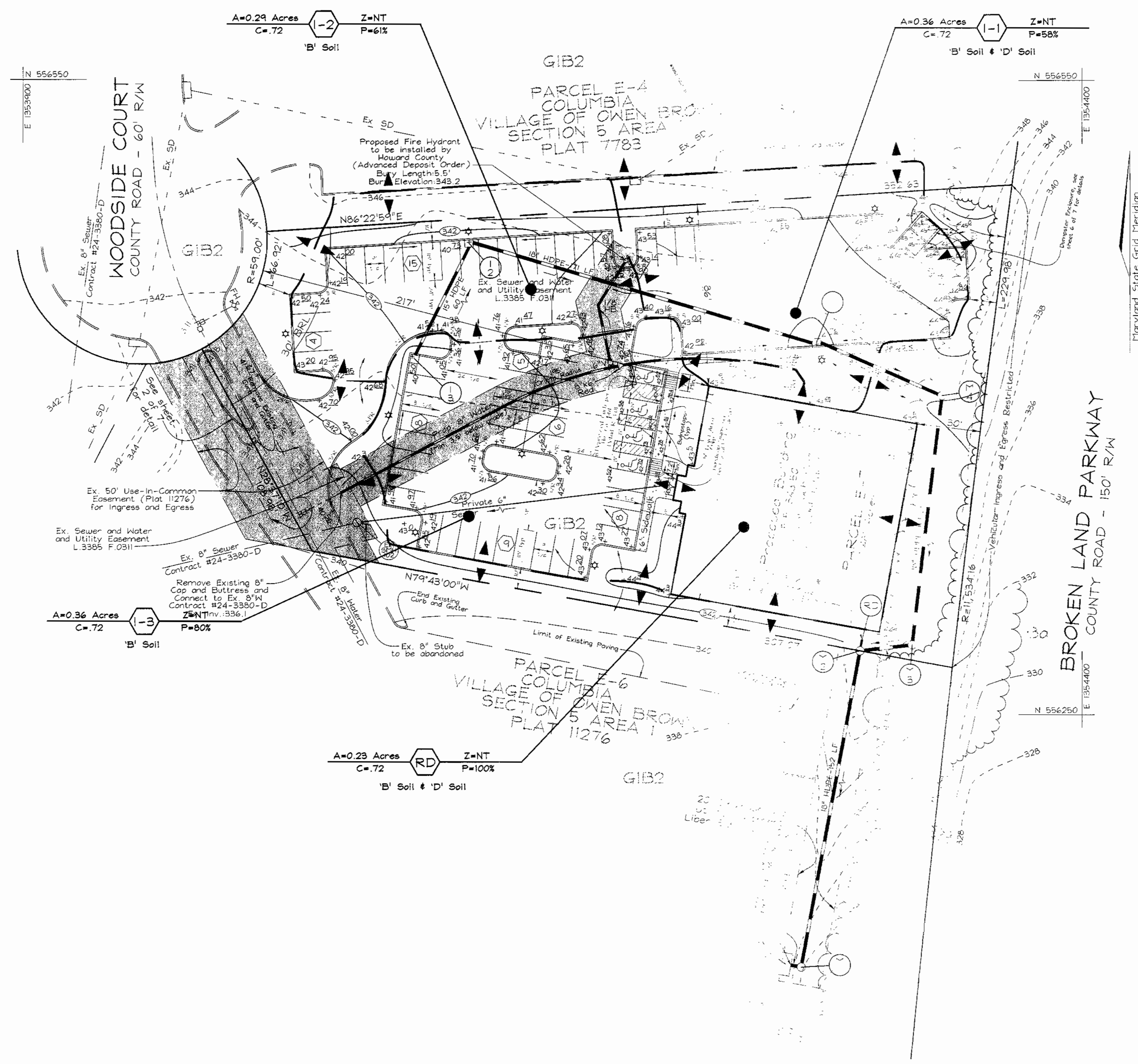
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DRAWN BY: RS
CHECKED BY: RS
DATE: Oct 09, 2000
SCALE: As Shown
NO. 00-047

4 7

SOIL GROUP	SYMBOL
D	(Symbol)
B	(Symbol)

LEGEND

Existing Contour	(Symbol)
Proposed Contour	(Symbol)
Existing Spot Elevation	(Symbol)
Proposed Spot Elevation	(Symbol)
Direction of Flow	(Symbol)
Existing Trees to Remove	(Symbol)
Light Poles	(Symbol)
Soils Divide	(Symbol)
Proposed Drainage Divide	(Symbol)



APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE SEPTEMBER 21, 2000

PLANNING AND ZONING

Christina... 11/10/00
Cindy... 11/9/00
Joy... 11/9/00

OWNER
Woodside Court, LLC
P.O. Box 516, 751 Frederick Street
Hanover, PA 17331
717.632.5300

DEVELOPER
Holland Properties
P.O. Box 516, 751 Frederick Street
Hanover, PA 17331
717.632.5300

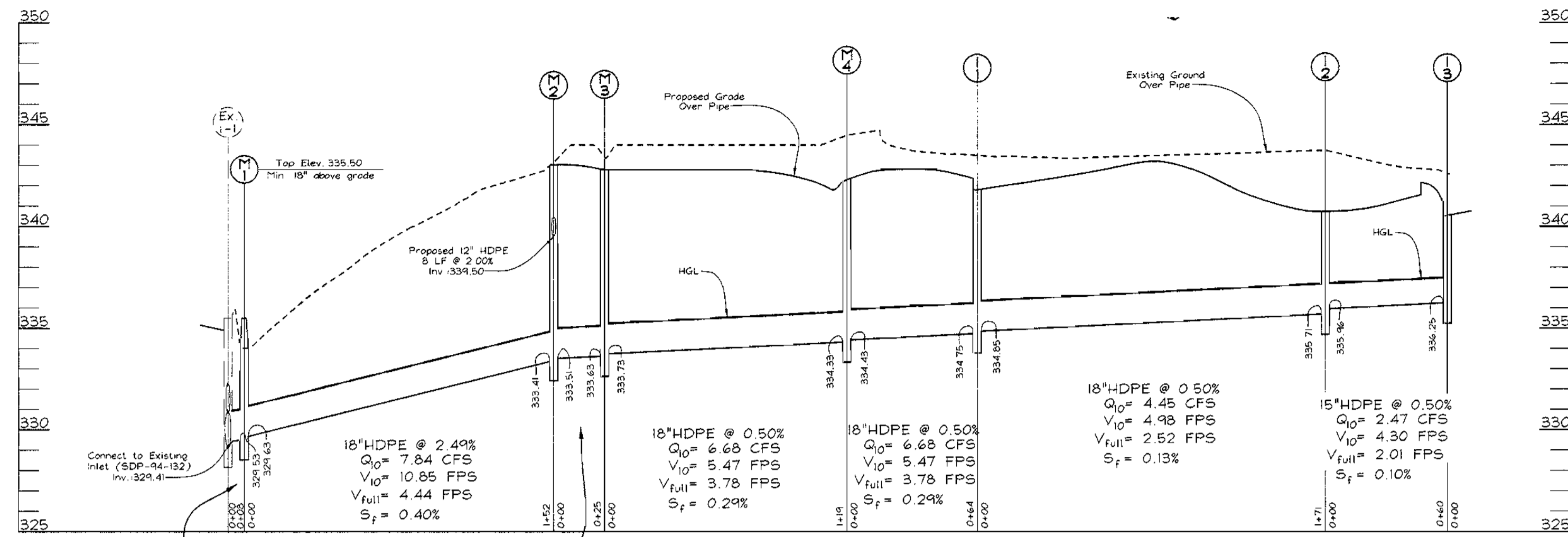
NO.	REVISION	DATE

**STORM DRAINAGE
DRAINAGE AREA MAP
HOLLAND OFFICE BUILDING**
VILLAGE OF OWEN BROWN
SECTION 5 AREA 1
TAX MAP #36 BLOCK 14 PARCEL E-7
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

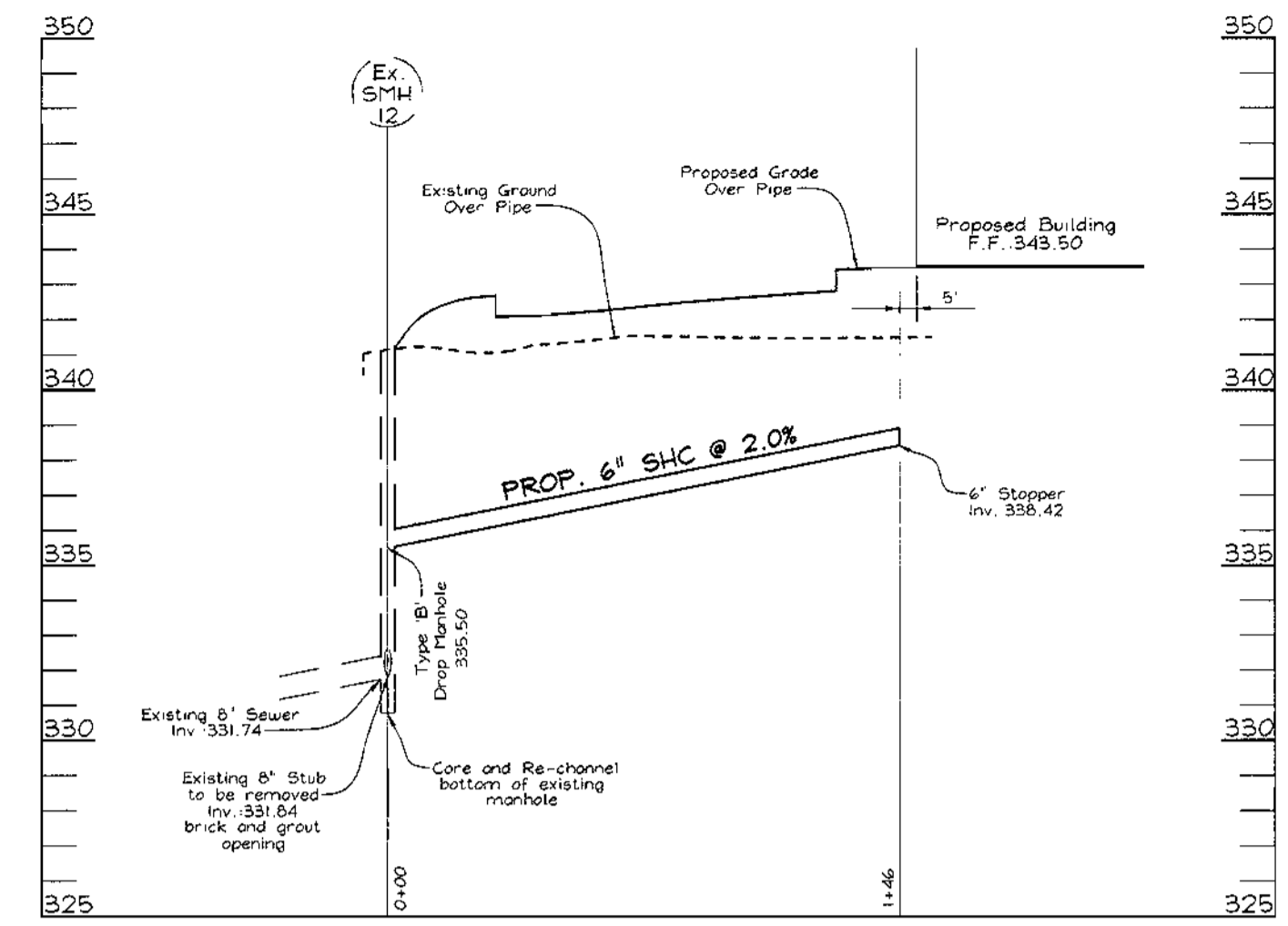
VOGEL & ASSOCIATES
ENGINEERS SURVEYORS PLANNERS
3591 Park Avenue, Suite 101 • Ellicott City, Maryland 21043
Tel 410.461.5828 Fax 410.465.3966

DESIGN BY: PS
DRAWN BY: PS
CHECKED BY: RHV
DATE: Oct. 09, 2000
SCALE: 1"=30'
W.O. NO.: 00-047

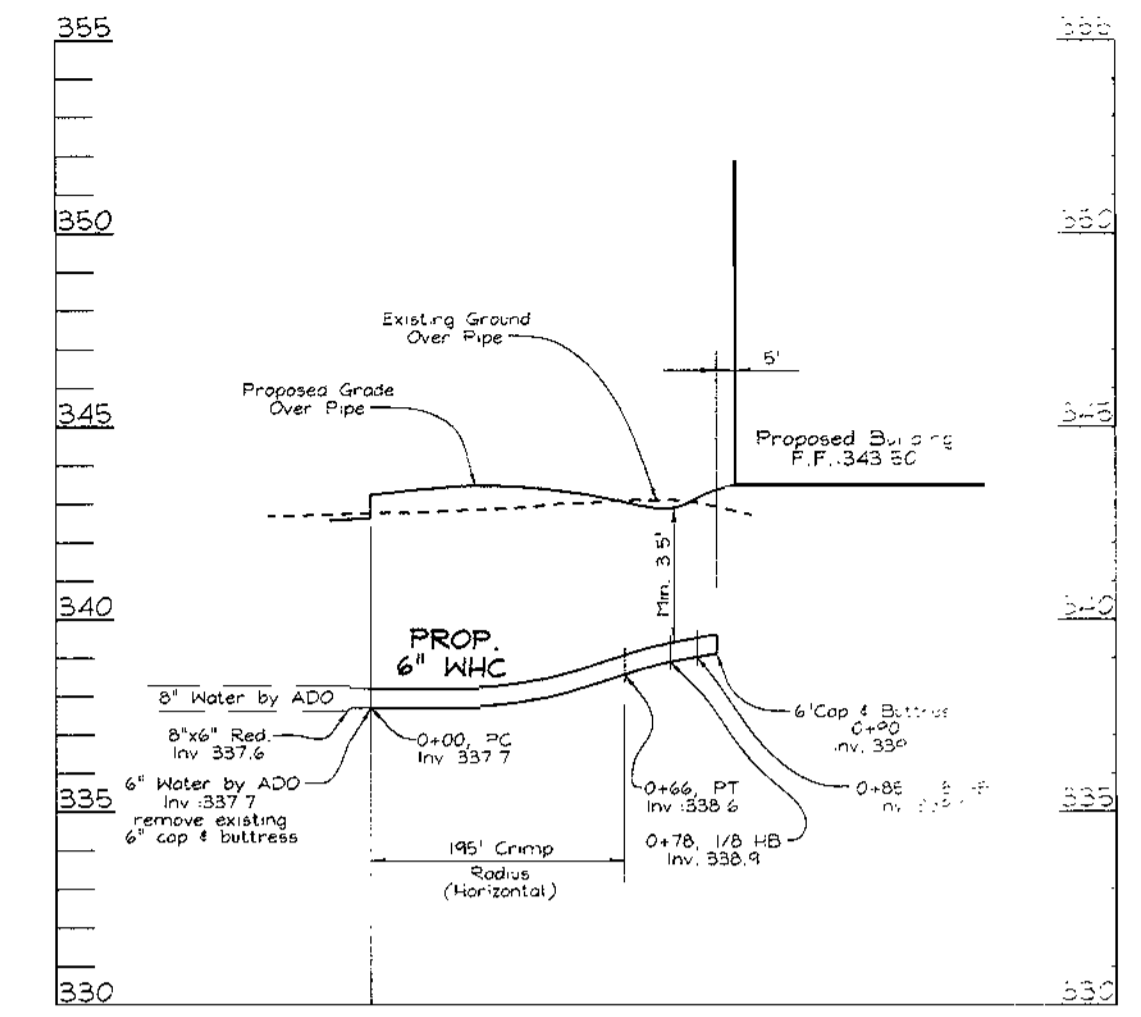
5 OF 7



STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'

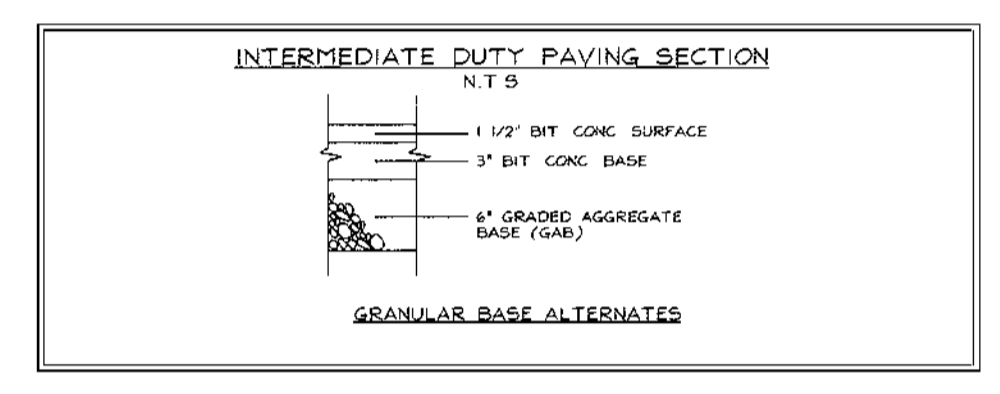


SEWER PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



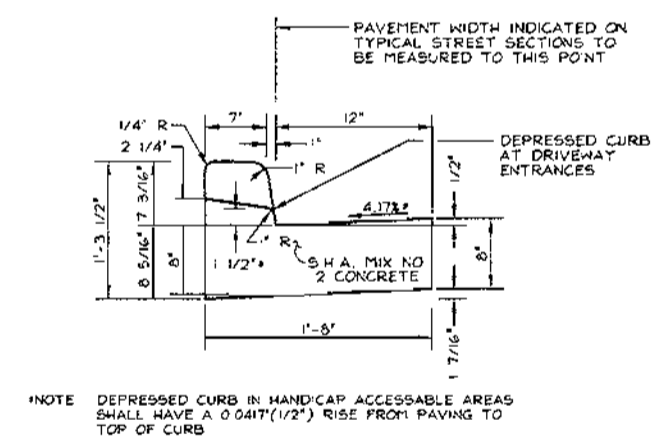
WATER PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'

PIPE SCHEDULE		
SIZE	TYPE	LENGTH
12"	HDPE	8 LF
15"	HDPE	60 LF
18"	HDPE	539 LF



STRUCTURE SCHEDULE						
NO.	TYPE	LOCATION	TOP ELEV.	INV. IN	INV. OUT	REMARKS
I-1	Double Type 'S' Combination Inlet	N 556,425 E 1,354,267	341.42	334.85	334.73	SD 4.34
I-2	Double Type 'S' Combination Inlet	N 556,473 E 1,354,111	340.83	335.96	335.71	SD 4.34
-3	Double Type 'S' Combination Inlet	N 556,416 E 1,354,090	340.67	-	336.25	SD 4.34
M-1	Precast Manhole (4')	N 556,131 E 1,354,268	335.50	329.63	329.53	G 5.12
M-2	Precast Manhole (4')	N 556,280 E 1,354,295	343.00	339.50	333.41	G 5.12
M-3	Precast Manhole (4')	N 556,283 E 1,354,320	343.00	333.73	333.63	G 5.12
M-4	Precast Manhole (4')	N 556,401 E 1,354,334	342.30	334.43	334.33	G 5.12

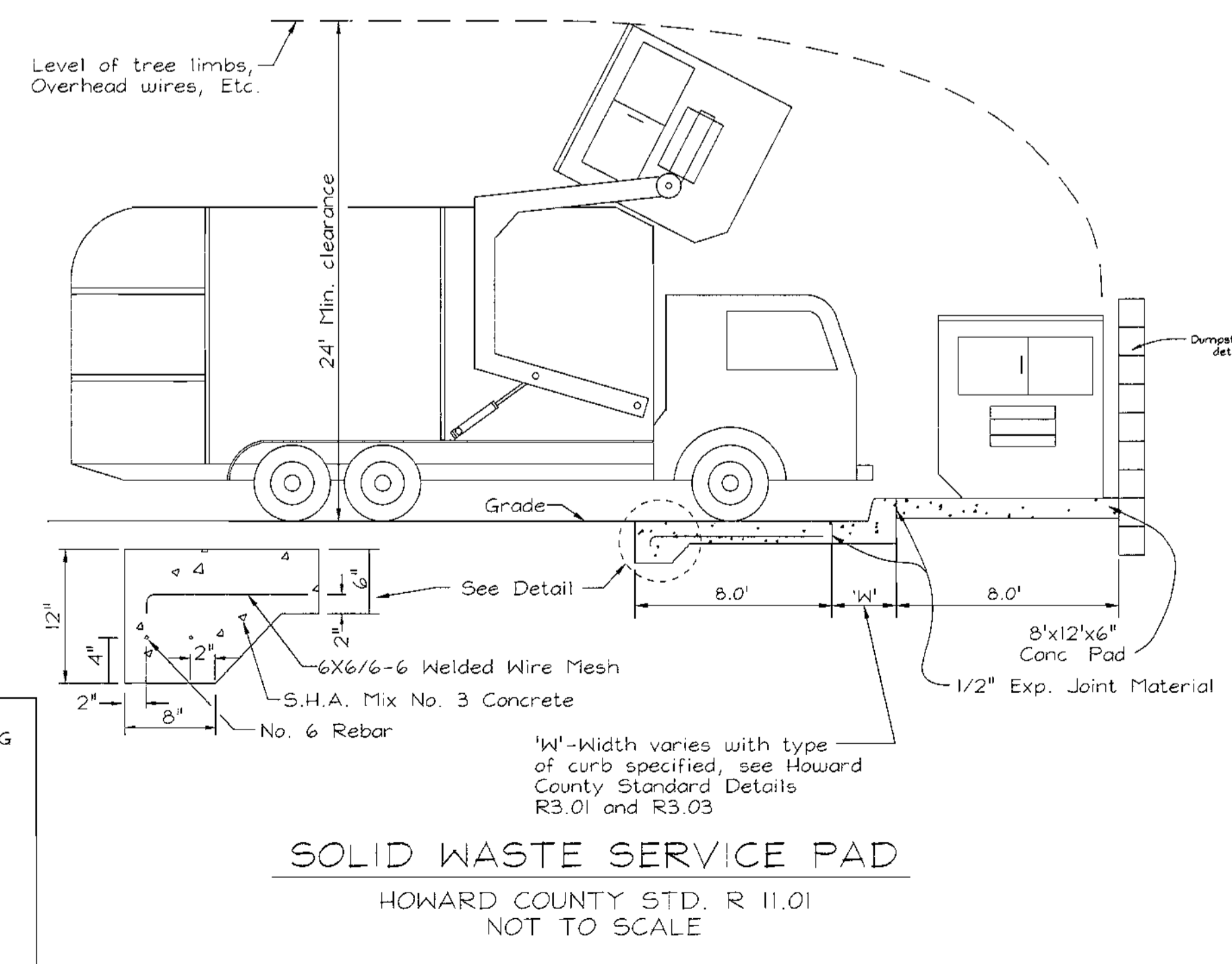
NOTE: 1. Top elevations are to the center of the structure at top of curb for Double Type 'S' Comb. Inlets, center top of grate for Double Type 'S' Inlet and top of Manhole cover for Precast Manholes.
2. For top slab slopes see grading plan.
3. See Architectural plans for roof drain details.
4. See SDP-94-132 for existing storm drain information.



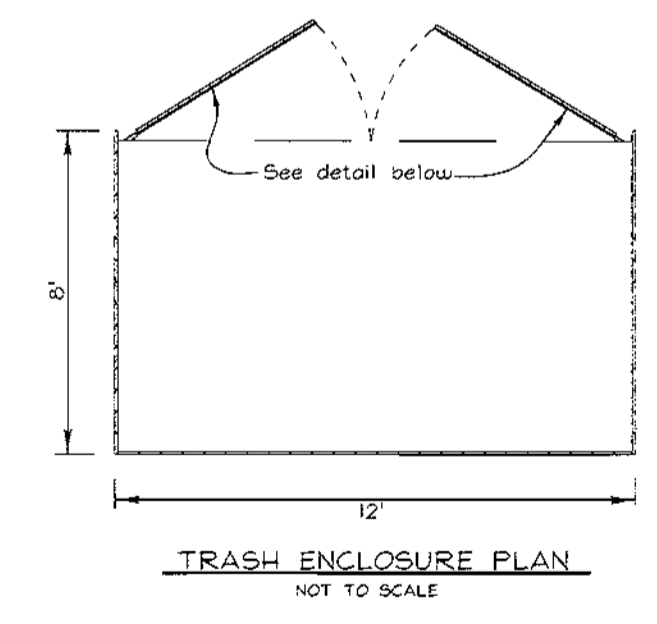
STANDARD COMBINATION CURB AND GUTTER
HOWARD COUNTY STANDARD R-3.0'
NOT TO SCALE

APPROVED PLANNING BOARD of HOWARD COUNTY
DATE: SEPTEMBER 21, 2000

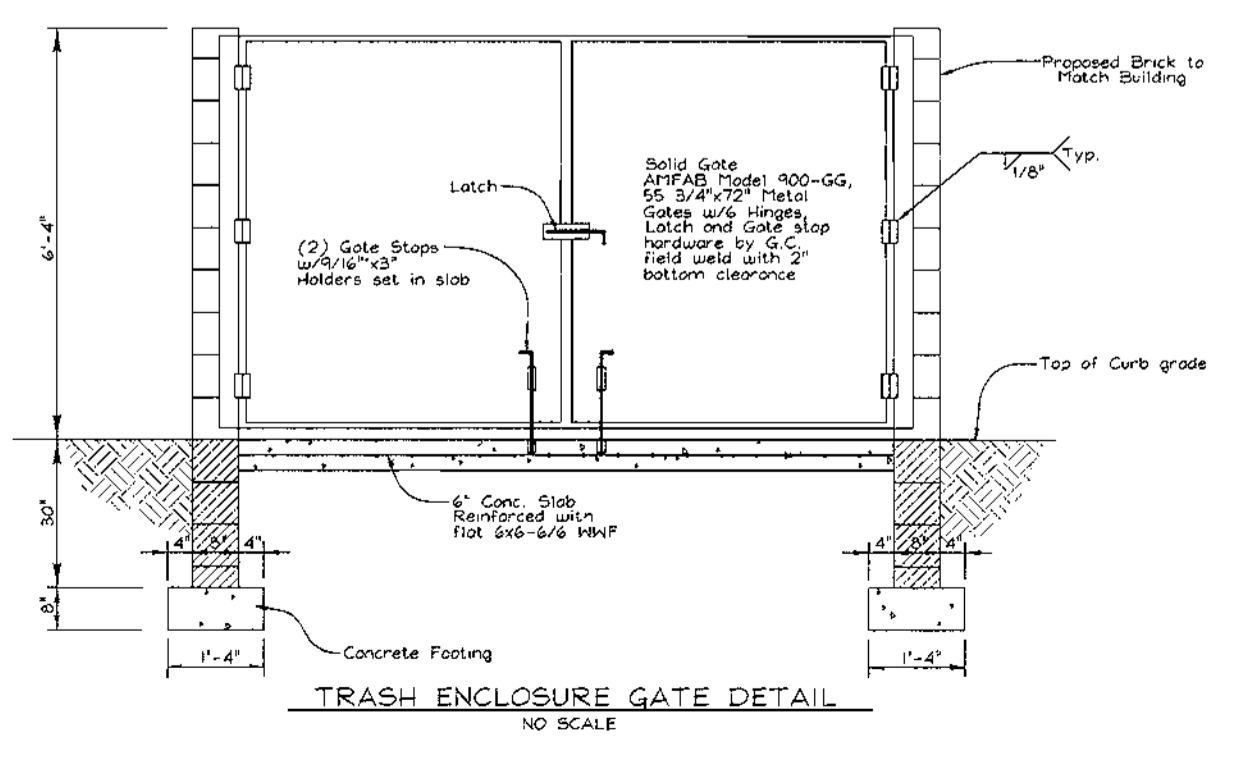
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chris DeWitt
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
Crista Howard
 CHIEF, DIVISION OF LAND DEVELOPMENT
James R. Smith
 DIRECTOR



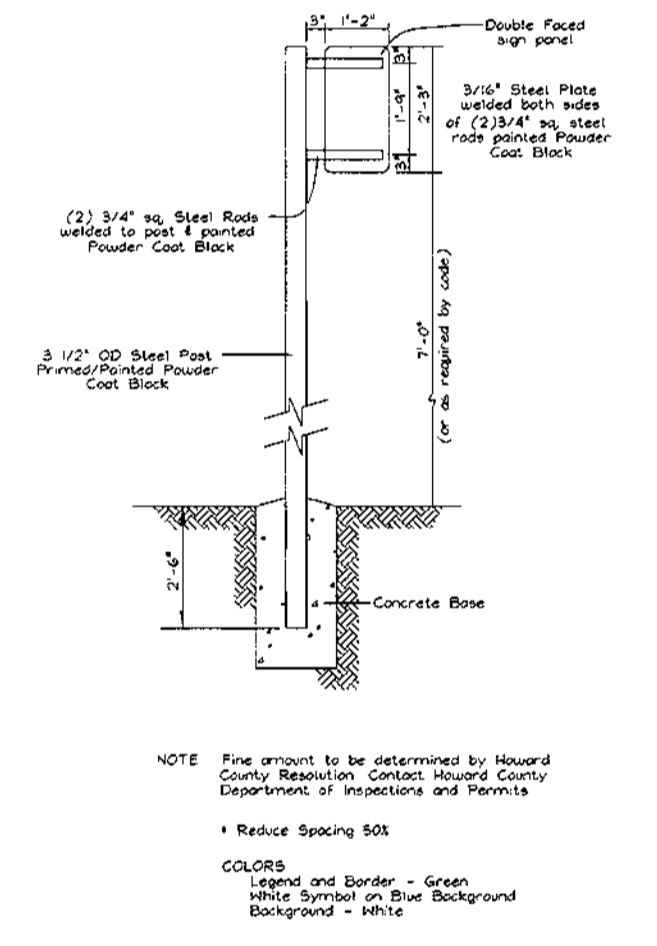
SOLID WASTE SERVICE PAD
HOWARD COUNTY STD. R II.01
NOT TO SCALE



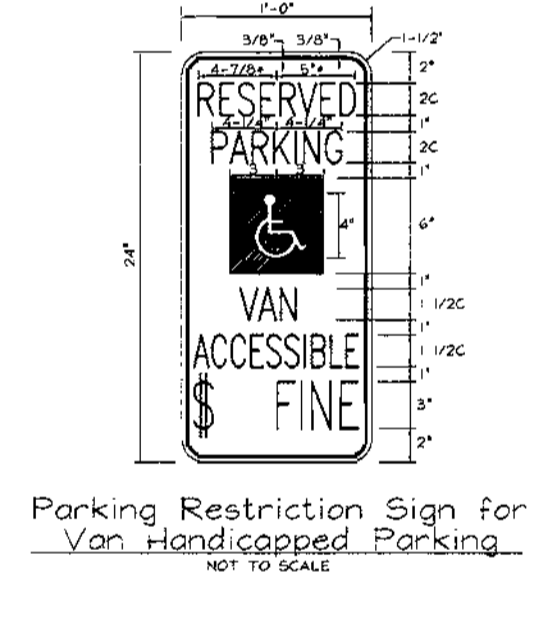
TRASH ENCLOSURE PLAN
NOT TO SCALE



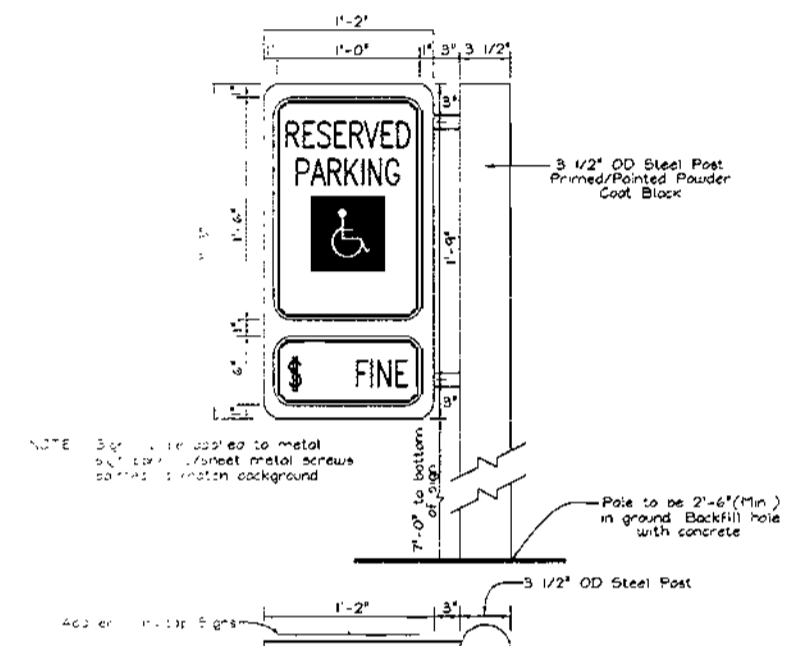
TRASH ENCLOSURE GATE DETAIL
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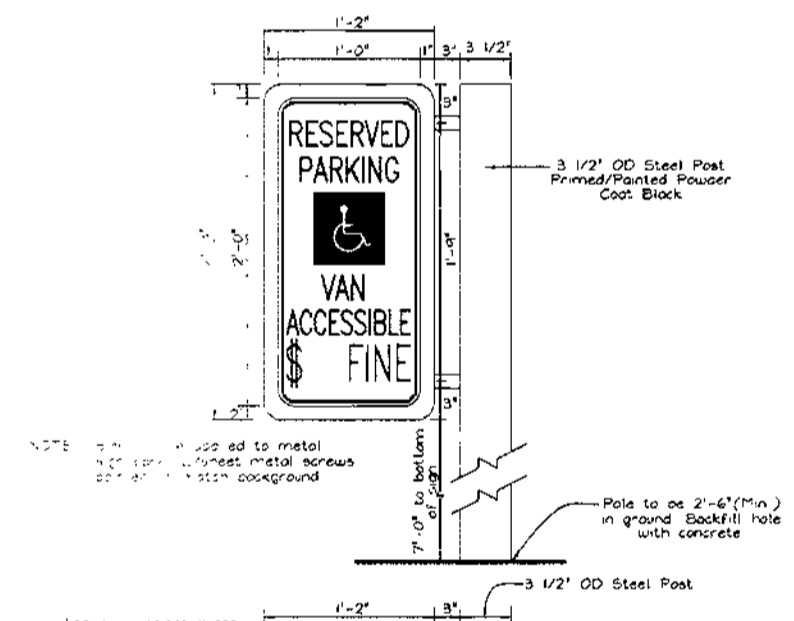
Parking Restriction Sign for Handicapped Parking
NOT TO SCALE



Parking Restriction Sign for Van Handicapped Parking
NOT TO SCALE



Mounting Detail for Parking Restriction Sign
NOT TO SCALE



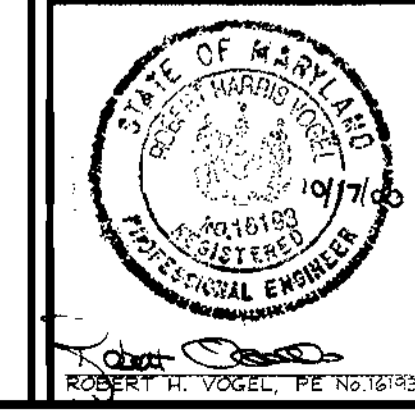
Mounting Detail for Parking Restriction Sign
NOT TO SCALE

HANDICAP PARKING SIGNS
NOT TO SCALE

STORM DRAIN AND SEWER PROFILES AND MISCELLANEOUS DETAILS
HOLLAND OFFICE BUILDING
 VILLAGE OF OWEN BROWN
 SECTION 5 AREA 1
 TAX MAP #36 BLOCK 14 PARCEL E-7
 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

VOGEL & ASSOCIATES
 ENGINEERS-SURVEYORS-PLANNERS
 3681 Park Avenue, Suite 101 • Ellicott City, Maryland 21043
 Tel 410.461.5828 Fax 410.465.3966

OWNER: Woodside Court, LLC, P.O. Box 516, 751 Frederick Street, Hanover, PA 17331, 717.632.5300
 DEVELOPER: Holland Properties, P.O. Box 516, 751 Frederick Street, Hanover, PA 17331, 717.632.5300
 DESIGN BY: PS
 DRAWN BY: PS
 CHECKED BY: RHV
 DATE: Oct. 09, 2000
 SCALE: 1"=30'
 A.D. NO.: 00-047



LEGEND

Existing Contour -382
Proposed Contour 482.52
Spot Elevation 482.52
Direction of Flow

Existing Trees to Remain

Light Poles Post Top Overhead

Shade Trees

Evergreen Trees 2PS

Shrubs 5IC

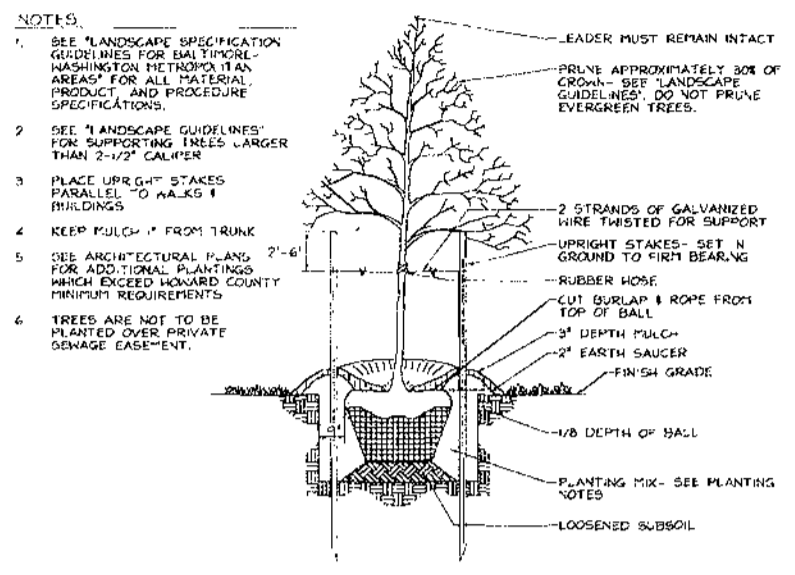
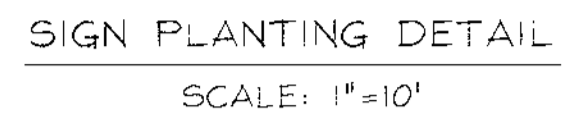
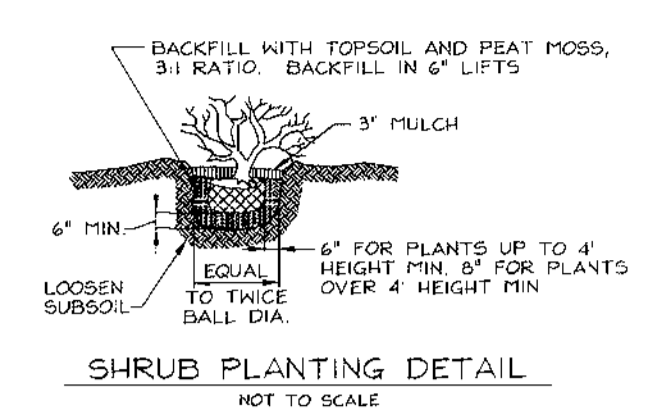
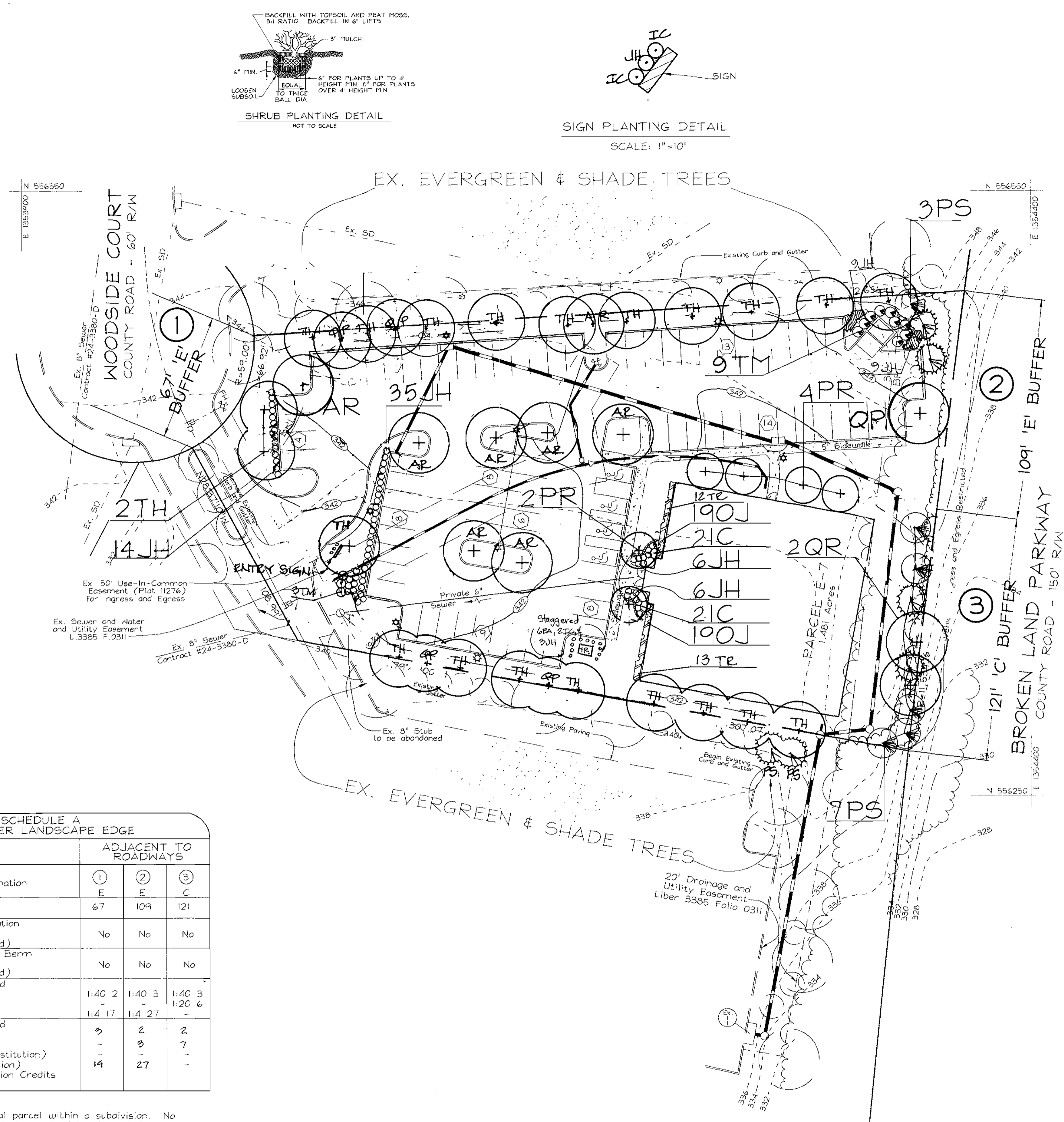
Flowering Trees PR

Perimeter Landscape Edge 2

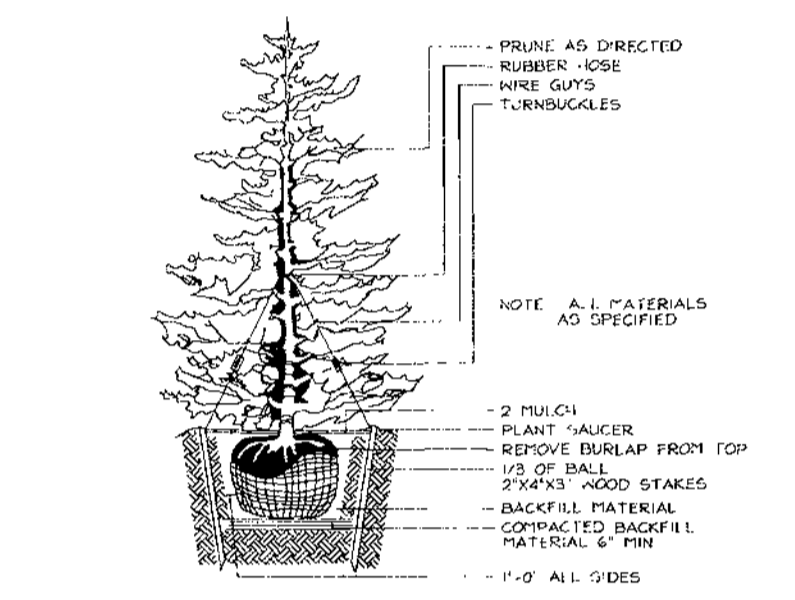
LANDSCAPE SCHEDULE

KEY	QUAN	BOTANICAL NAME	SIZE	REM
AR	8	Acer platanoides Norway Maple	2 1/2" - 3" Cal.	B & B
C	8	Ilex cornuta 'Rotunda' Dwarf Chinese Holly	24" - 30" Ht.	Cont.
JH	66	Juniperus horizontalis 'Plumosa' Amargosa Juniper	24" - 30" Spd.	Cont.
OJ	38	Opuntia japonicus Monop Grass	2 1/4" Pat	" ac
PR	6	Prunus serrulata 'Amanogawa' Amanogawa Flowering Cherry	1 3/4" - 2" Pat	B & B
PS	12	Pinus Strobus Eastern White Pine	6" - 8" Ht.	B & B
QP	7	Quercus prinus Willow Oak	2 1/2" - 3" Cal.	B & B
TR	12	Taxus x media 'Hatfieldii' Hatfield Yew	30" - 36" Ht.	B & B
EA	6	Euonymus alatus	30" - 36" Ht.	B+B or cont.
TH	21	Thornless Honeylocust	2 1/2" - 3" Cal.	B+B
TR	25	Repandens Yews	18" Ht.	B+B or cont.

- GENERAL NOTES**
- This plan has been prepared in accordance with the New Town Alternative Comanche provisions of Section 16.124 of the Howard County code and the Landscape Manual. The required parking and perimeter landscaping will be bonded per this submission.
 - Financial Surety for the required landscaping must be posted as part of the Grading Permit in the amount of \$5,820.00 for the required 12 shade trees, 6 evergreen trees and 44 shrubs.
 - Light poles to be 25' black fiberglass. Lights to be Kim Entablature Rectilinear Luminaire with 250 Watt fixtures.
 - This parcel is an internal parcel within a subdivision. No screening between parcels is required by Howard County.



TYPICAL EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



TYPICAL EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

**SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING**

DESCRIPTION	QUANTITY
Number of parking spaces	82
Number of trees & plants required	4
Number of trees & plants provided	4
Shade Trees	-
Other Trees (2:1 Substitution)	-

**SCHEDULE A
PERIMETER LANDSCAPE EDGE**

CATEGORY	ADJACENT TO ROADWAYS		
	①	②	③
Perimeter/Frontage Designation	E	E	C
Linear Feet of Roadway Frontage/Perimeter	67	109	121
Credit for Existing Vegetation (Yes, No, Linear Feet Describe below if needed)	No	No	No
Credit for Wall, Fence or Berm (Yes, No, Linear Feet Describe below if needed)	No	No	No
Number of Plants Required			
Shade Trees	1:40 2	1:40 3	1:40 3
Evergreen Trees	-	-	1:20 6
Shrubs	1:4 17	1:4 27	-
Number of Plants Provided			
Shade Trees	9	2	2
Evergreen Trees	-	9	7
Other Trees (2:1 Substitution)	-	-	-
Shrubs (10:1 Substitution)	14	27	-
Describe Plant Substitution Credits Below if needed)			

This parcel is an internal parcel within a subdivision. No screening between parcels is required by Howard County.

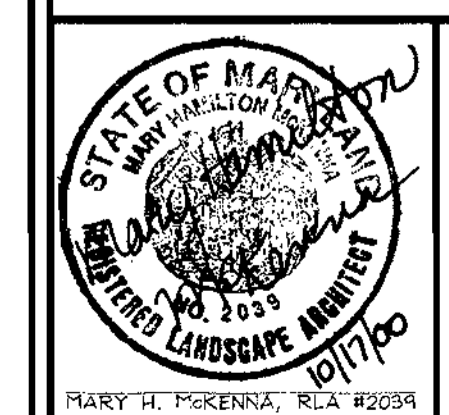
APPROVED PLANNING BOARD of HOWARD COUNTY
DATE: September 21, 2000

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] 11/6/00
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 11/6/00
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 11/9/00
 DIRECTOR

DEVELOPER'S/BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE(1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
 [Signature] 10-10-00
 SIGNATURE OF DEVELOPER DATE

OWNER
 Woodside Court, LLC
 P.O. Box 516, 751 Frederick Street
 Hanover, PA 17331
 717.632.5300

DEVELOPER
 Holland Properties
 P.O. Box 516, 751 Frederick Street
 Hanover, PA 17331
 717.632.5300



DESIGN BY: [Signature]
 DRAWN BY: PS/MM
 CHECKED BY: RLV
 DATE: October 9, 2000
 SCALE: 1"=30'
 A.O. NO.: 00-047
 7 SHEET OF 7

AS-BUILT 2/28/02

**LANDSCAPE PLAN
HOLLAND OFFICE BUILDING**
 VILLAGE OF OWEN BROWN
 SECTION 5 AREA 1
 TAX MAP #36 BLOCK 14 PARCEL E-7
 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

VOGEL & ASSOCIATES
 ENGINEERS/SURVEYORS/PLANNERS

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