

PARCEL F SITE DATA

Gross Site Area	7.99 Ac.
Area of Submission/Limit of Disturbance - Bldg E	0.41 Ac.
Deed Reference	4467/590 Plat 7170
Tax Account Number	04-0000-322649
Councilmanic District	4
Zoning	B-2
Exist. Use	Vacant Lot/Ex. Shopping Center
Proposed Use	Bank
Open Space Provided	1.36 Ac./7.99 Ac. = 17%
Building Coverage	1.19 Ac./7.99 Ac. = 15%
DPZ File References	F 87-64.SDP 87-194, SDP 88-173, SDP 94-22, SDP 97-161

PARCEL F PARKING TABULATION

Ex. Building 'A'	= 14,593 S.F. (11,500 S.F. - Food/Retail) - 1 SP/150 S.F.	77
Ex. Building 'B'	= 15,565 S.F. (General Retail) - 5 SP/1000 S.F.	78
Ex. Building 'C'	= 6900 S.F. (General Retail) - 5 SP/1000 S.F.	35
	= 2400 S.F. (High's Store) - 2 SP/1000 S.F.	5
	(Gas)	3
Ex. Building 'D'	= 3531 S.F. (Restaurant) - 48 Seats; 12 Employees	18
	1 SP/4 Seats; 1 SP/2 Empl.	14
Prop. Building 'E'	= 2618 S.F. (Bank) - 5 SP/1000 S.F.	14
Ex. Building 'F'	= 2851 S.F. (Restaurant) - 50 Seats; 7 Employees	21
	1 SP/3 Seats; 1 SP/2 Empl.	21
Ice Cream Stand	= 162 S.F. (Fast Food) - 14 SP/1000 S.F.	3
TOTAL PARKING REQUIRED FOR ALL BUILDINGS		254 P.S.
TOTAL PARKING PROVIDED		340 P.S.

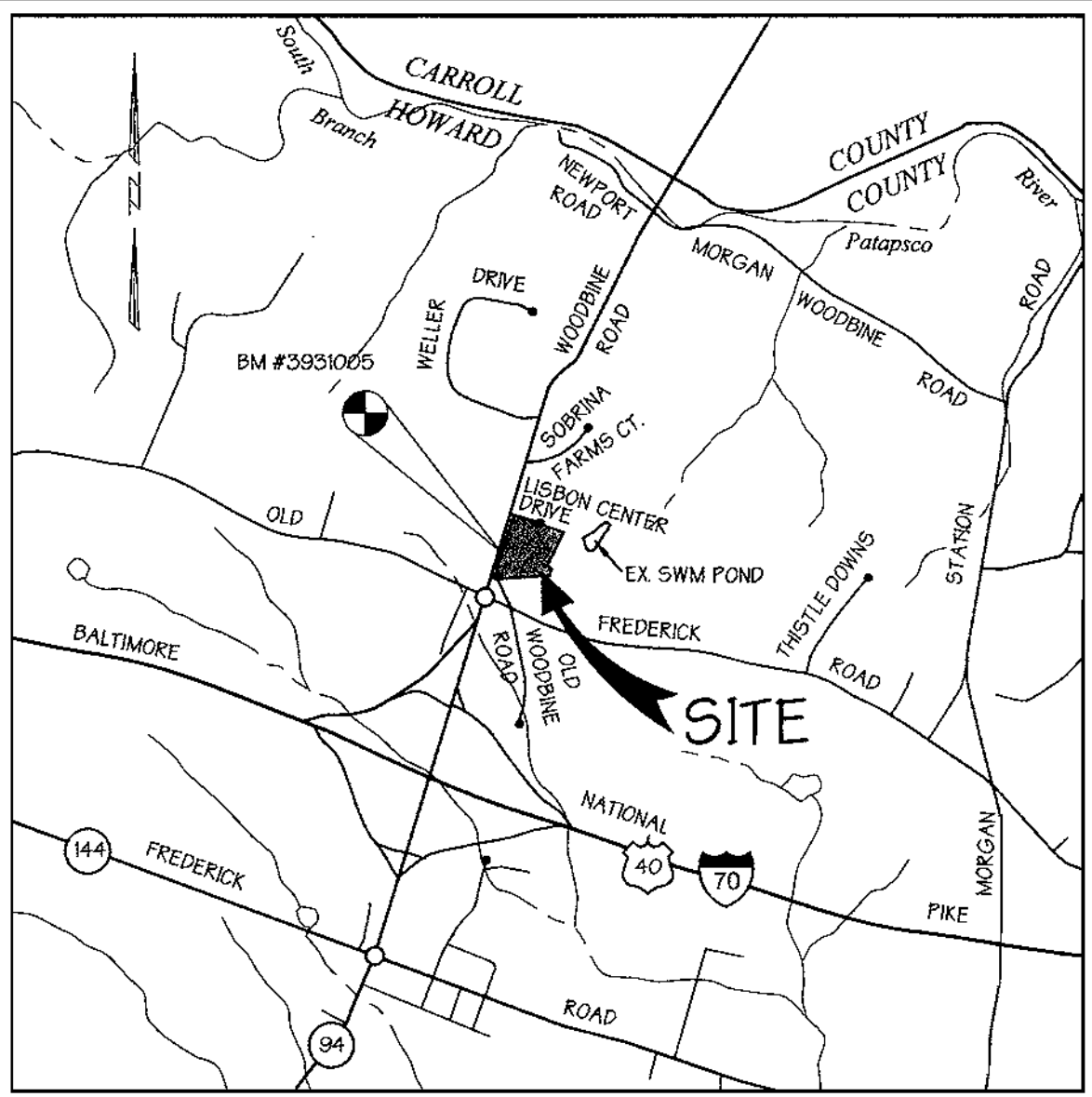
(Includes 14 Handicap Spaces, 8 Required)
(Standard Parking Spaces are 9' x 18')

SOILS LEGEND

(From the Howard County Soil Survey, Map 2)

ChB2	Chester silt loam	3-8% slopes	moderately eroded
CuB	Comus silt loam	3-8% slopes	moderately eroded
G1B2	Glencig loam	3-8% slopes	moderately eroded
G1C3	Glencig loam	8-15% slopes	severely eroded
M1C3	Manor loam	8-15% slopes	severely eroded

- GENERAL NOTES**
- All work shall be performed in accordance with the Howard County Design Manual Volume V, i.e. Standard Specifications and Details for Construction and/or as shown on these plans.
 - The contractor shall notify the Department of Public Works, Construction Inspection Division at (410-313-1880) at least 24 hours prior to the start of work.
 - The contractor shall notify Miss Utility at (800-257-7777) at least 48 hours prior to any excavation.
 - The contractor shall test pit existing utilities at least five (5) days before starting work shown on these drawings to verify their location and elevation.
 - The contractor shall notify the engineer immediately if location of utilities is other than shown.
 - Any damage to public rights-of-way and/or adjacent properties shall be repaired immediately at the contractor's expense.
 - All areas not being paved or receiving any building coverage shall be stabilized in accordance with the plans approved by the Howard Soil Conservation District.
 - All slopes shall be 2:1 or flatter.
 - The contractor shall maintain at least a 2' level bench behind all curb and gutter receiving fill areas.
 - The contractor shall remove all existing paving, curb and gutter, etc. that may interfere with proposed construction.
 - All utilities installed under paving shall receive full trench compaction.
 - All water main tees, bends, caps, etc. shall be buttressed in accordance with the Howard County design requirements.
 - All water lines shall have a minimum 4' cover.
 - All plan dimensions are to face of curb unless otherwise noted.
 - For details of ramps and signs for the handicapped and aged as shown hereon, see Sheet 1.
 - Traffic control devices, markings and signing shall be in accordance with the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement.
 - Water is PRIVATE (well) and sewer is PRIVATE (septic field). The existing McDonald's septic field has an excess capacity of 1344 gpd (out of 4000 gpd); of which 400 gpd can be used for the Bank in Proposed Building E.
 - Storm Water quantity and quality management is PRIVATE and provided in the existing infiltration basin on Lot 1, reference F 87-64 and GP 87-66.
 - Fire protection provided by an existing 40,000 gal. dry hydrant and tank as shown on SDP 88-173.
 - This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual.
 - Financial security for the required 6 shade trees, 7 evergreen trees and 15 shrubs in the amount of \$ 3,300 is part of the builders grading permit application for Building E.
 - This project is exempt from the requirements of Section 16.1200 of the Howard County Code for forest conservation because the subdivision was approved prior December 31, 1992 and no existing forest is affected by this subdivision.
 - The subject property is zoned B2 per the comprehensive zoning plan.
 - Topography furnished by Survey Services, LLC May, 2000.
 - All exterior lighting shall comply with Zoning Regulations, Section 13-1.
 - There are no known cemeteries or burial grounds on this site, however upon discovery of any evidence of burial or graves, the Developer will be subject to Section 16.1305 of the Howard County Subdivision and Land Development Regulations.
 - Traffic study prepared by Lee Cunningham & Assoc., Inc. completed June, 2000 and approved with this site development plan.
 - There are no wetlands present on this site.
 - There is no floodplain on this site.
 - There is no proposed dumpster proposed with this site development plan; Building E will use existing onsite dumpsters. Trash collection for the existing dumpsters is PRIVATE.

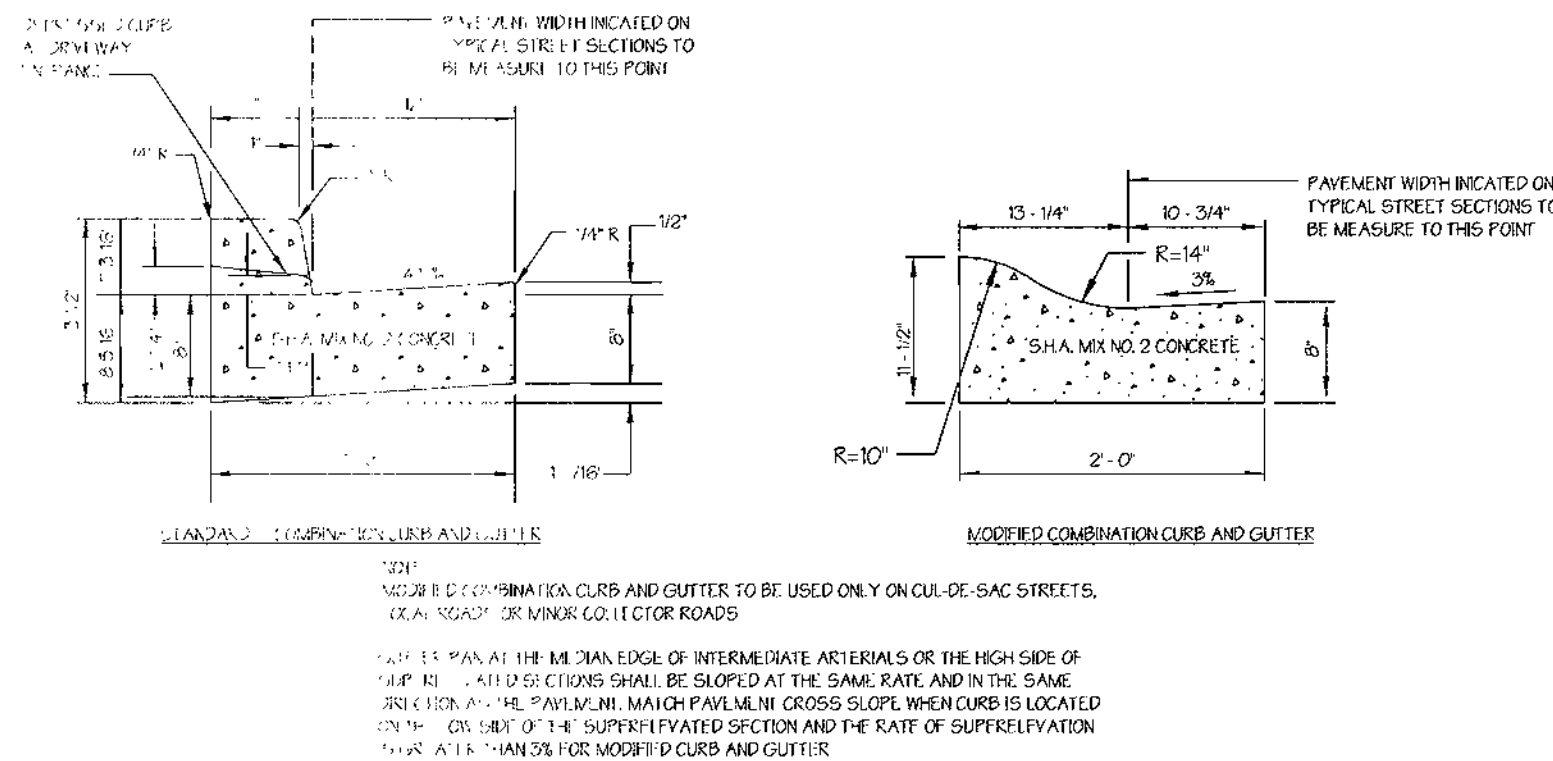


VICINITY MAP

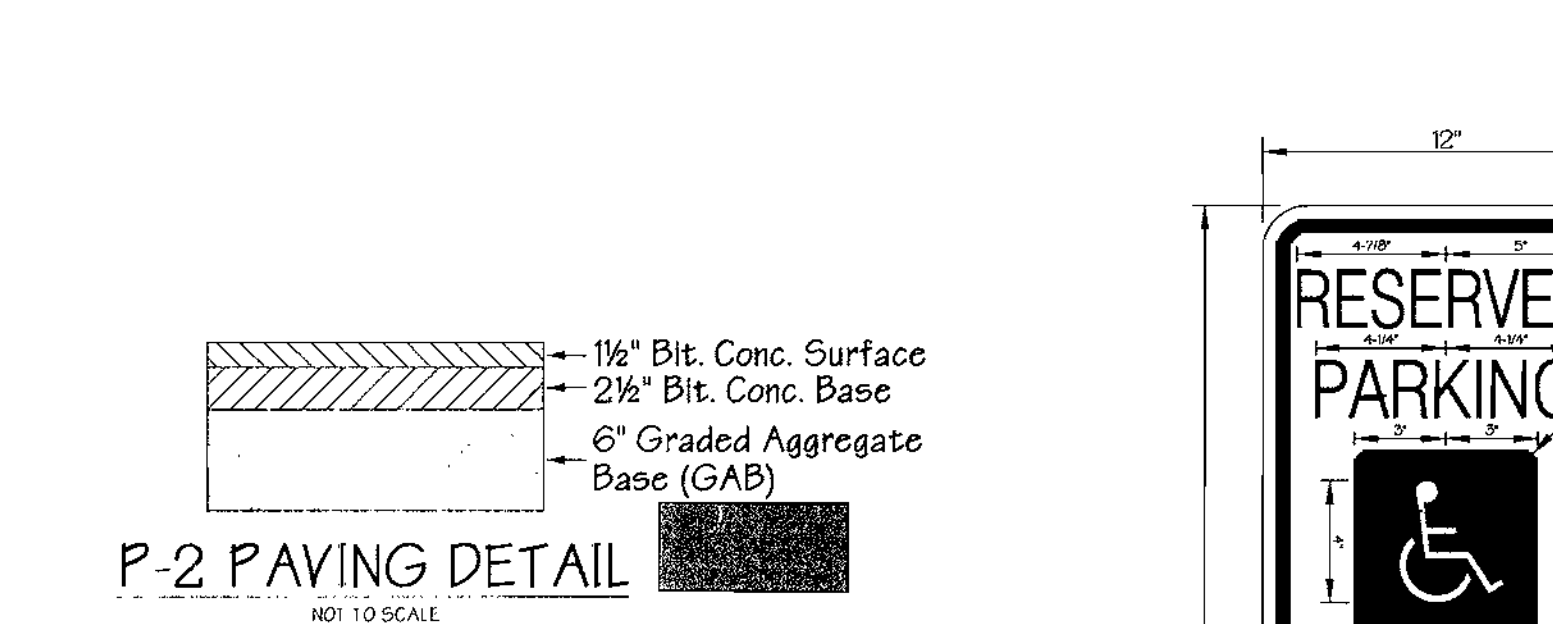
SCALE: 1" = 2000'
 HOWARD COUNTY BENCHMARK SCALE: 1" = 2000' ELEV. 634.96
 3/4" Reinforcing rod 0.5' below surface, 285' north of Route 99 along side Woodbine Road (Horizontal control based on NAD 27, vertical control based on NAD 29 - this is consistent with the plans and record plat for the subdivision.)

SHEET INDEX

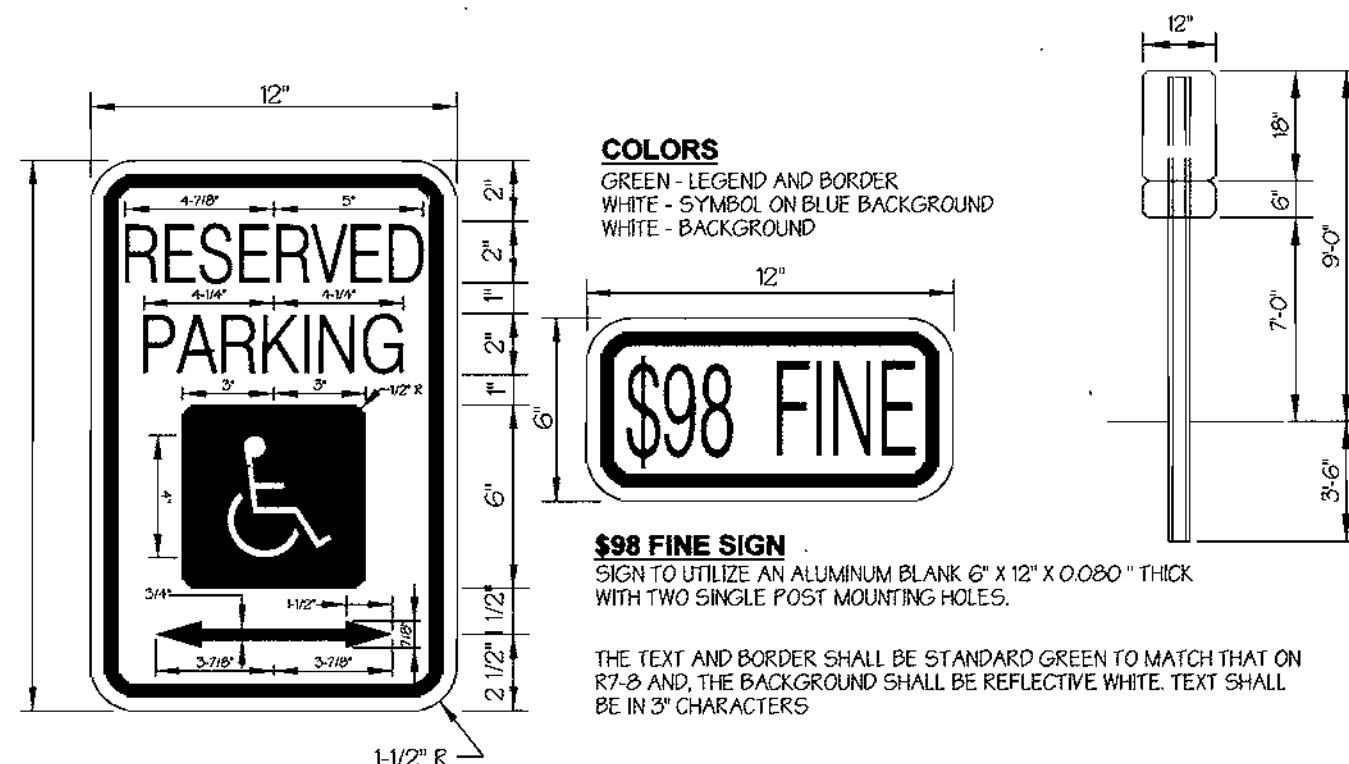
1	Gross Area Site Plan
2	Site Plan
3	Sediment Control Plan
4	Sediment Control Notes & Details
5	Landscape Plan
6	Profiles & Details



HOWARD COUNTY CURB AND GUTTER DETAIL
NOT TO SCALE



P-2 PAVING DETAIL
NOT TO SCALE

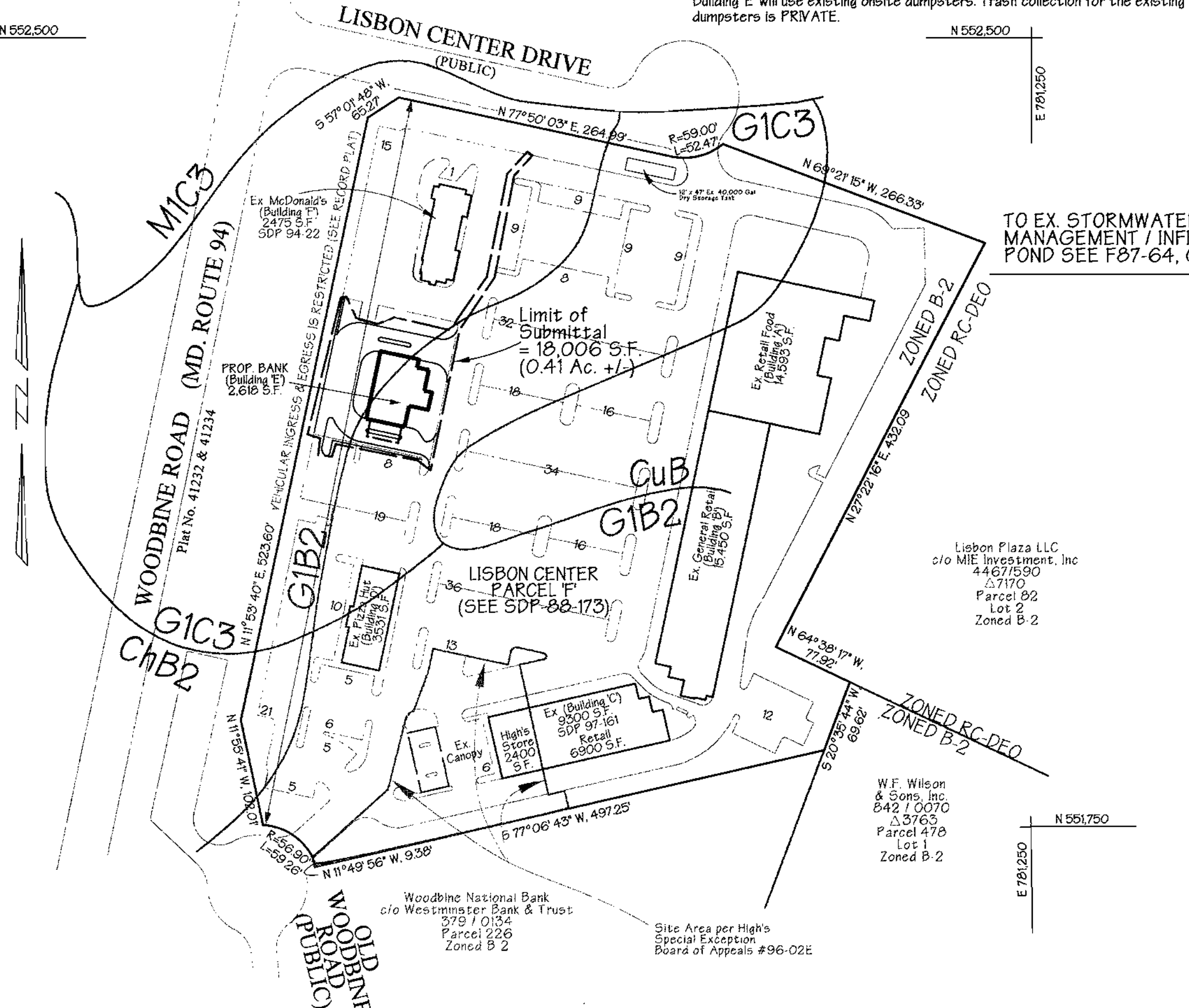


STANDARD R7-8 RESERVED PARKING SIGN

\$98 FINE SIGN

THE TEXT AND BORDER SHALL BE STANDARD GREEN TO MATCH THAT ON R7-8 AND THE BACKGROUND SHALL BE REFLECTIVE WHITE. TEXT SHALL BE IN 3" CHARACTERS.

Handicapped Parking Sign Detail
NOT TO SCALE



LOCATION MAP

SCALE: 1" = 100'

Approved: For private water and private sewerage systems.
 Howard County Health Department.
 Date: 12/19/00

Reviewed for the Howard Conservation District and meets technical requirements.
 Date: 11/28/00

APPROVED: HOWARD SOIL CONSERVATION DISTRICT
 Date: 11/28/00

APPROVED: Department of Planning and Zoning
 Date: 1/27/00

CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 1/27/00

ADDRESS CHART
 PARCEL NO. STREET ADDRESS
 p/o Parcel 82-F Building E - 704 Lisbon Center Drive

SUBDIVISION NAME	SECTION NAME	PARCEL #
Route 94 Business Center	N/A	p/o Parcel 82-F
PLAT #	BLOCK #	ZONE
7170	24	B-2
TAX MAP	ELECT. DIST.	CENSUS TRACT
4	4	6040
WATER CODE	N/A	SEWER CODE N/A

Gross Area Site Plan
ROUTE 94 BUSINESS CENTER
LISBON CENTER
 BUILDING 'E' 704 LISBON CENTER DRIVE
 Election District #4
 Tax Map 2, Grid 24, Parcel 82-F
 Scale: As Shown
 Howard County, Maryland
 September 15, 2000
 Sheet 1 of 6

NOT: The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection or shall include a standard muffle and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge, regulate non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related inter or waste lines. The above statement shall apply to all initial and future occupants or tenants.

Matis Warfield
 consulting engineers
 10540 York Road Suite M
 Hunt Valley, Maryland 21030
 phone 410-883-7004
 facsimile 410-883-1798
 www.matiswarfield.com

ENGINEER CERTIFICATION:
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Engineers: [Signature] Date: 9/15/00
 Name: Nicholas J. Brader, III PE # 18558

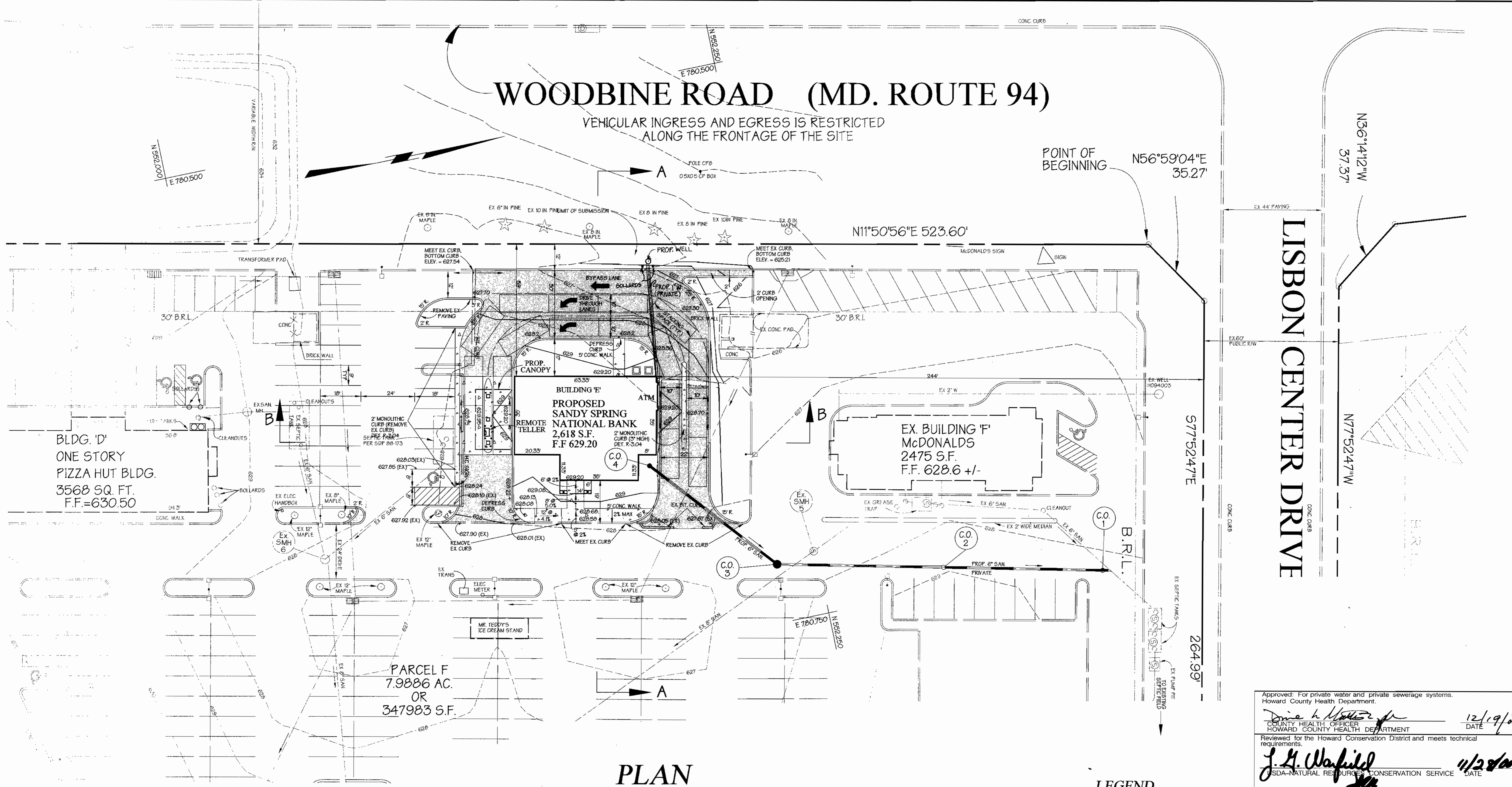
OWNER/DEVELOPER
Lisbon Plaza, LLC
 c/o MIE Properties, Inc.
 5720 Executive Drive
 Baltimore, Maryland 21228
 (410) 788-0100

DEVELOPER CERTIFICATION:
 I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
 Developer: [Signature] Date: 9/15/00
 Name: Edward St. John

P.N. 2000041
 SDP 01-08

WOODBINE ROAD (MD. ROUTE 94)

VEHICULAR INGRESS AND EGRESS IS RESTRICTED
ALONG THE FRONTAGE OF THE SITE



PLAN
SCALE: 1" = 20'

LEGEND

PROPERTY LINE	---
EXISTING CONTOURS	--- 270 ---
PROPOSED CONTOURS	--- 270 ---
EXISTING WATER	---
EXISTING STORM DRAIN	---
EXISTING SANITARY	---
PROPOSED STORM DRAIN	---
PROPOSED SANITARY	---
PROPOSED WATER	---
EXISTING CURB AND GUTTER	---
PROPOSED CURB AND GUTTER	---
EX DOUBLE PARKING LOT LIGHT	□
EX SINGLE PARKING LOT LIGHT	□
BG & E POLE	○
BUILDING RESTRICTION LINE	---

NOTE: THE ONLY PROPOSED LIGHTING IS UNDERNEATH THE CANOPY SEE SHEET I FOR DETAIL

NOTE:
tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connects or shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connect on. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.

Approved: For private water and private sewerage systems.
Howard County Health Department.

Eric H. Miller 12/19/00
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT DATE

Reviewed for the Howard Conservation District and meets technical requirements.

J. A. Warfield 11/28/00
USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

John R. Robertson 11/28/00
APPROVED: HOWARD SOIL CONSERVATION DISTRICT

APPROVED: Department of Planning and Zoning

William D. ... 11/28/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Cindy ... 12/22/00
DIVISION OF LAND DEVELOPMENT DATE

John ... 12/27/00
DIRECTOR DATE

Matis Warfield
consulting engineers

10540 York Road, Suite M
Hunt Valley, Maryland 21030
phone 410-883-7004
facsimile 410-883-1798
www.matiswarfield.com

ENGINEER CERTIFICATION:

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Engineer: *Nicholas J. Brader, III* Date: 9/15/00
Name: Nicholas J. Brader, III PE # 12558

OWNER/DEVELOPER

Lisbon Plaza, LLC
c/o MIE Properties, Inc.
5720 Executive Drive
Baltimore, Maryland 21228
(410) 788-0100

DEVELOPER CERTIFICATION:

We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Developer: *Edward St. John* Date: 9/15/00
Name: Edward St. John

Site Plan

ROUTE 94 BUSINESS CENTER

LISBON CENTER

BUILDING 'E' 704 LISBON CENTER DRIVE

Election District #4
Tax Map 2, Grid 24, Parcel 82-F
Scale: 1" = 20'

Howard County, Maryland
September 15, 2000
Sheet 2 of 6

P.N. 2000C41

WOODBINE ROAD (MD. ROUTE 94)

VEHICULAR INGRESS AND EGRESS IS RESTRICTED
ALONG THE FRONTAGE OF THE SITE

POINT OF BEGINNING
N56°59'04"E
35.27'

N56°14'12"W
37.37'

N11°50'56"E 523.60'

LISBON CENTER DRIVE

LEGEND

- PROPERTY LINE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING WATER
- EXISTING STORM DRAIN
- EXISTING SANITARY
- PROPOSED STORM DRAIN
- PROPOSED SANITARY
- PROPOSED WATER
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EX DOUBLE PARKING LOT LIGHT
- EX SINGLE PARKING LOT LIGHT
- BO & E POLE
- SILT FENCE
- LIMIT OF DISTURBANCE

BLDG. D
ONE STORY
PIZZA HUT BLDG.
3568 SQ. FT.
F.F. = 630.50

PROPOSED
SANDY SPRING
NATIONAL BANK
2,618 S.F.
F.F. 629.20

EX. BUILDING 'F'
McDONALDS
2475 S.F.
F.F. 628.6 +/-

PARCEL F
7.9886 AC.
OR
347983 S.F.

PLAN

SCALE: 1" = 20'

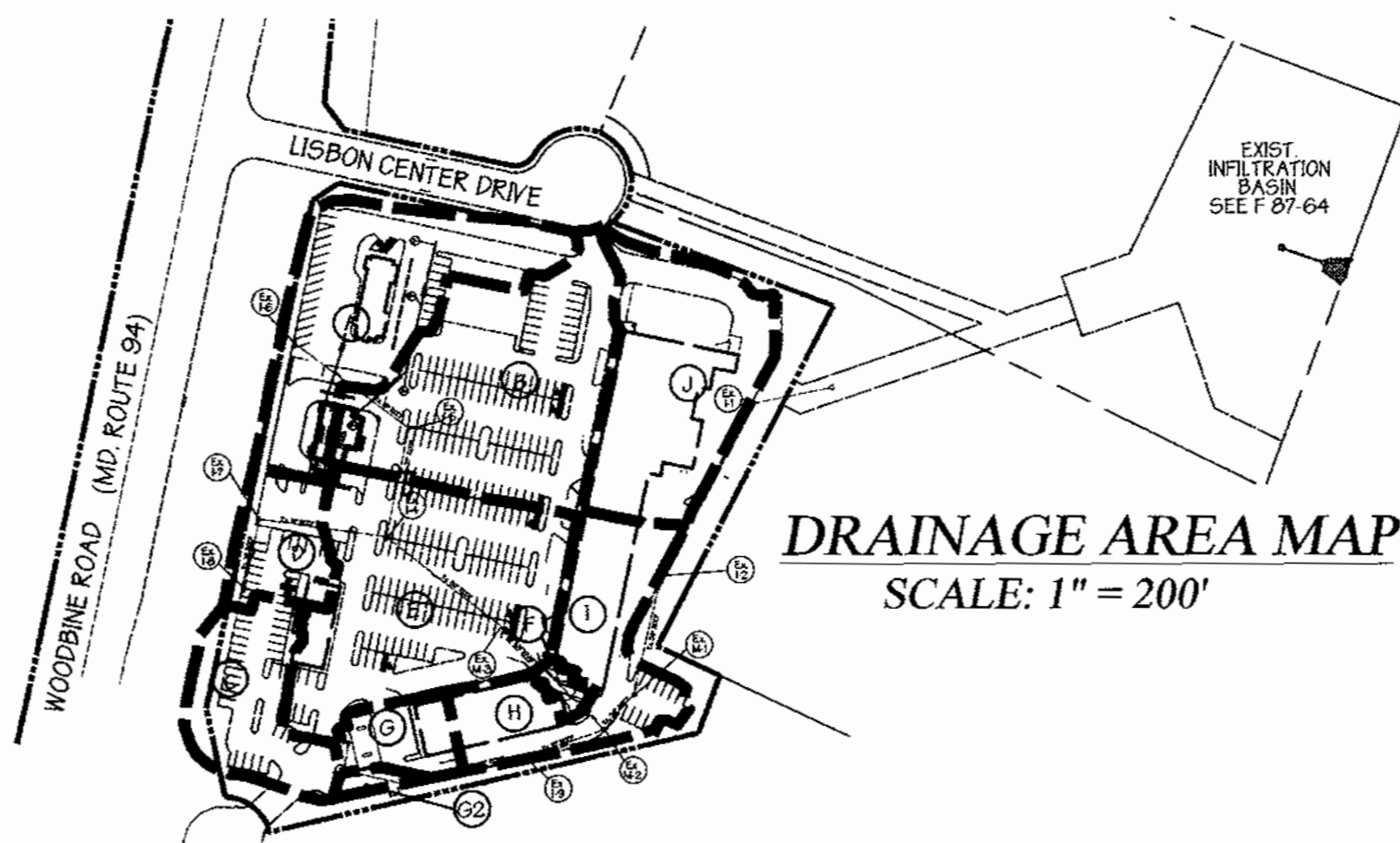
AREA	ACRES	C FACTOR
A	1.20	0.88
B	1.42	0.93
C	0.61	0.84
D	0.31	0.75
E	1.51	0.92
F	0.06	0.66
G1	0.18	0.88
G2	0.10	0.88
H	0.29	0.86
I	0.55	0.91
J	1.08	0.93

DRAINAGE AREAS CONFORM TO
ORIGINAL DESIGN SEE SDP 88-173

NOTES:

tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.

HOWARD COUNTY BENCHMARK
3/4" Reinforcing rod 0.5' below surface, 285' north of Route 99 along side Woodbine Road
ELEV. 634.96



DRAINAGE AREA MAP

SCALE: 1" = 200'

SEQUENCE OF CONSTRUCTION

- OBTAIN GRADING PERMIT.
- NOTIFY THE HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES 48 HOURS PRIOR TO BEGINNING WORK.
- INSTALL SILT FENCE AND STABILIZED CONSTRUCTION ENTRANCE. (1 DAY).
- FINE GRADE, INSTALL UTILITIES, BEGIN BUILDING CONSTRUCTION. (5 WEEKS).
- INSTALL CURB AND GUTTER. (1 DAY).
- BEGIN PAVING OPERATIONS (2 DAYS).
- WITH PERMISSION OF THE SEDIMENT CONTROL INSPECTOR REMOVE REMAINING SEDIMENT CONTROL DEVICES AND STABILIZE WITH PERMANENT SEEDING. (1 DAY).

ALL WORK IN EXISTING PAVED AREAS IS TO BE STABILIZED WITH STONE AT THE END OF EACH WORKING DAY.

THE CONTRACTOR IS RESPONSIBLE FOR CLEANING THE EXISTING SWM POND FOR ANY SEDIMENT ATTRIBUTED TO THIS PLAN.

Approved: For private water and private sewerage systems.
Howard County Health Department.

Doris L. Matlock
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT
DATE: 12/18/00

Reviewed for the Howard Conservation District and meets technical requirements.

J. A. Warfield
JSDA-NATURAL RESOURCES CONSERVATION SERVICE
DATE: 11/28/00

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

John R. Brantwood
APPROVED: HOWARD SOIL CONSERVATION DISTRICT
DATE: 01/28/01

APPROVED: Department of Planning and Zoning

Cheryl Dammann
CHIEF DEVELOPMENT ENGINEERING DIVISION
DATE: 11/21/00

Cindy Hamilton
DIVISION OF LAND DEVELOPMENT
DATE: 1/2/01

Joseph Brantwood
DIRECTOR
DATE: 1/2/01

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10540 York Road, Suite 100
hunt valley, maryland 21039
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ENGINEER CERTIFICATION:
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Engineer: *Nicholas J. Brader, III* Date: 9/15/00
Name: Nicholas J. Brader, III PE # 10558

OWNER/DEVELOPER
Lisbon Plaza, LLC
c/o MIE Properties, Inc.
5720 Executive Drive
Baltimore, Maryland 21228
(410) 788-0100

DEVELOPER CERTIFICATION:
We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
Developer: *Edward St. John* Date: 9/15/00
Name: Edward St. John

P.N.2000041

Sediment Control Plan
ROUTE 94 BUSINESS CENTER
LISBON CENTER
BUILDING 'E' 704 LISBON CENTER DRIVE
Election District #4
Tax Map 2, Grid 24, Parcel 82-F
Scale: 1"=20'
Howard County, Maryland
September 15, 2000
Sheet 3 of 6

WOODBINE ROAD (MD. ROUTE 94)

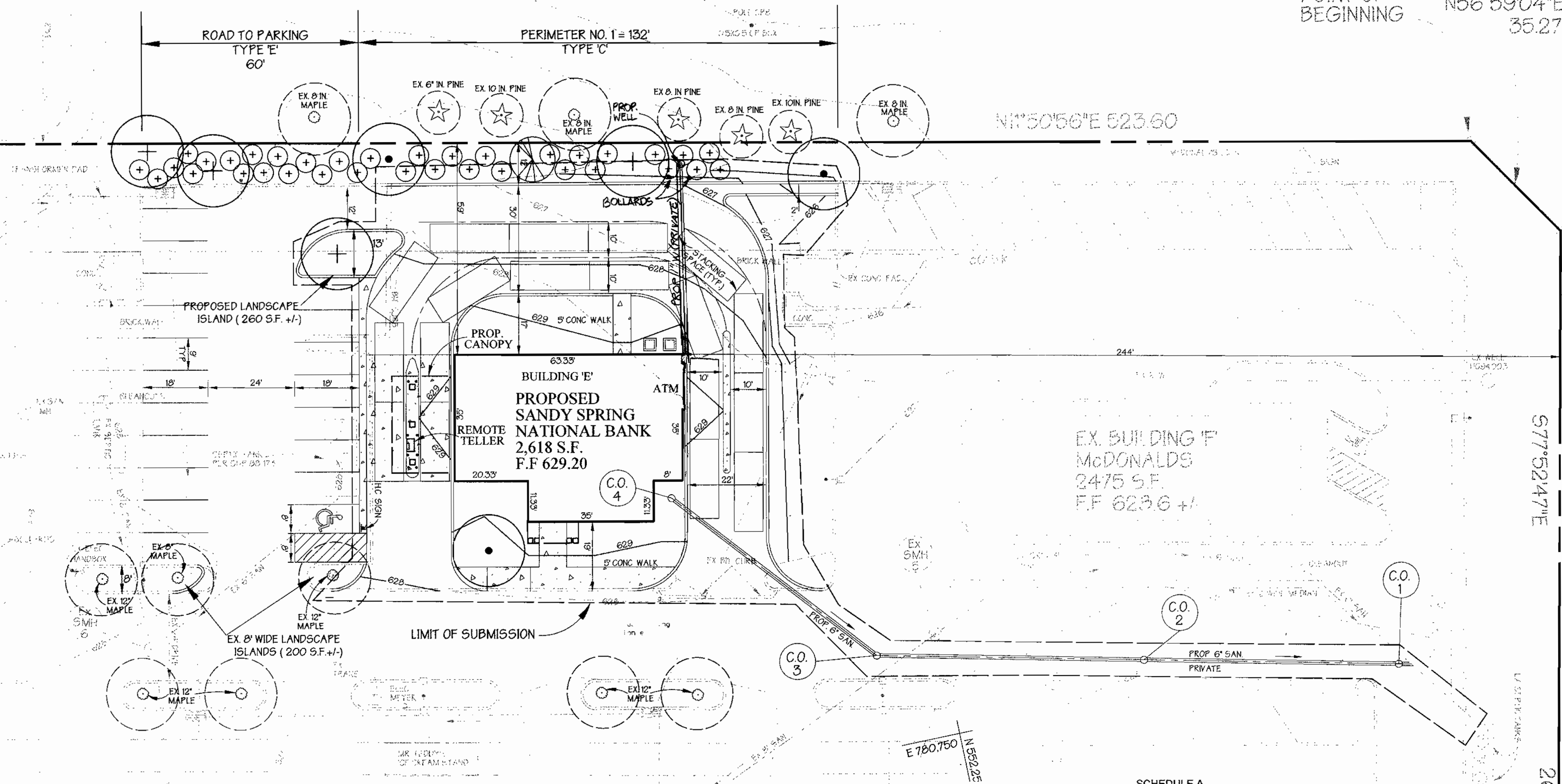
VEHICULAR INGRESS AND EGRESS IS RESTRICTED
ALONG THE FRONTAGE OF THE SITE

POINT OF BEGINNING N56°59'04"E 35.27'

LISBON CENTER DRIVE

FOR APPROVED OVERALL LANDSCAPE PLAN,
SEE SDP 88-173

N 552.000
E 780.500



PARCEL F
7.9886 AC.
OR
347983 S.F.

PLAN

SCALE: 1" = 20'

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

Number of Parking Spaces = 19
Number of trees Required : 1/10 Spaces = 2
Number of Trees Provided
Shade Trees *2
Other trees (2:1 Substitution) .. 0

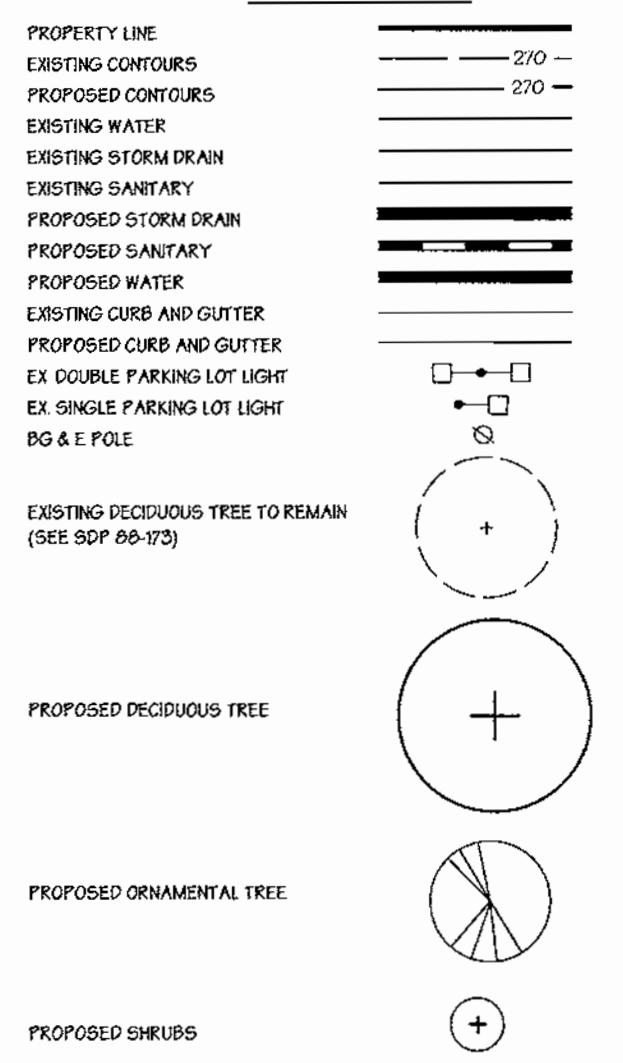
Comments: * TAKING CREDIT FOR TWO EXISTING MAPLES (8" & 12" CAL.)
NUMBER OF LANDSCAPE ISLANDS REQUIRED @ 1/10 SPACES = 2
@ MIN 200 S.F. EACH = 400 S.F.; LANDSCAPE ISLANDS PROVIDED: 3
(2 UNDERSIZED) / TOTAL 460 S.F.

SCHEDULE A PERIMETER LANDSCAPE EDGE

Category	Adjacent to Roadways	Adjacent to Perimeter Properties
Landscape Type PERIMETER NO. 1	C	E (parking)
Linear Feet of Roadway Frontage/Perimeter	132'	60'
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	NO	
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	NO	
Number of Plants Required		
Shade Trees	140/3	140/2
Evergreen Trees	120/7	
Shrubs		14/15
Number of Plants Provided		
Shade Trees	5	2
Evergreen Trees	0	0
Other Trees (2:1 substitution)	1	0
Shrubs (10:1 substitution)	20	15
(Describe plant substitution credits below if needed)		

Comments: Substitutions for perimeter Evergreens have been made because of adequate existing off-site Evergreen Tree plantings. (2) substituted Shade Trees * have been placed in interior areas due to lack of space along the perimeter and because they are more beneficial in these locations.
Substitutions for (7) Evergreen trees (Edge Type C):
(1) Shade Trees @ 2:1 = 4
(1) Ornamental Tree @ 1:1 = 1
(2) Shrubs @ 10:1 = 2
Total = 7

LEGEND



THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.

LANDSCAPE SURETY NOTE:
FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING IS PART OF THE BUILDERS GRADING PERMIT APPLICATION IN THE AMOUNT OF:

(6) SHADE TREES @ \$ 300 EACH	= \$ 1,800
(7) EVERGREEN TREES @ \$ 150 EACH	= \$ 1,050
(15) SHRUBS @ \$ 30 EACH	= \$ 450
TOTAL	= \$ 3,300

HUMAN & ROHDE, INC.
LANDSCAPE ARCHITECTS
512 Virginia Avenue
Towson, Maryland 21286
410 825 3885

THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES & WALLS. ALL PLANT MATERIAL SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

DEVELOPER'S / BUILDER'S CERTIFICATE
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
NAME: Edward St. John

Matis Warfield
consulting engineers
10540 York Road, Suite M
Hunt Valley, Maryland 21030
phone 410-683-7004
facsimile 410-683-1798
www.matiswarfield.com

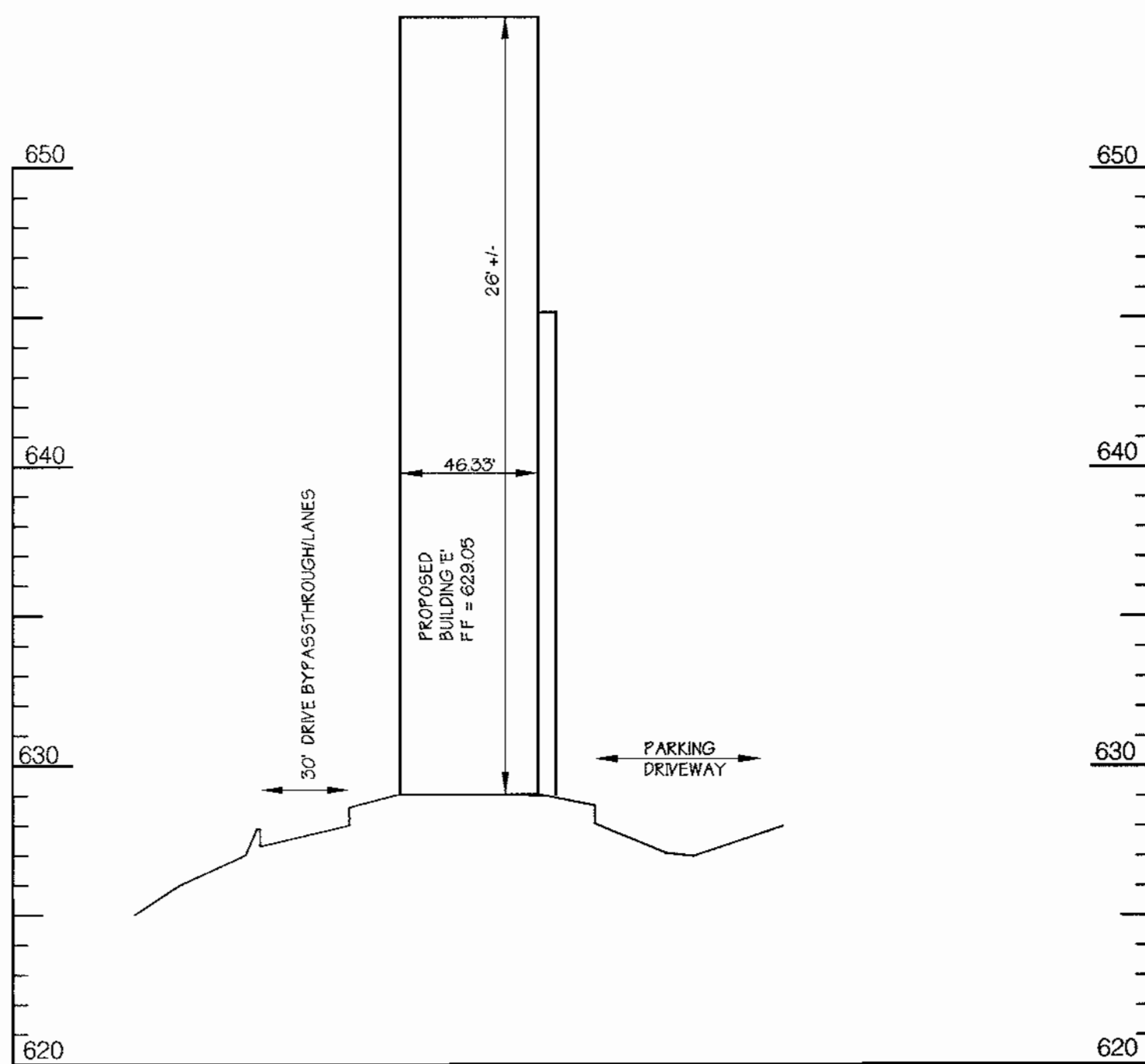
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Engineer: *NJR* Date: 9/15/00
Name: Nicholas J. Brader, III PE # 12558

OWNER/DEVELOPER
Lisbon Plaza, LLC
c/o MIE Properties, Inc.
5720 Executive Drive
Baltimore, Maryland 21228
(410) 788-0100

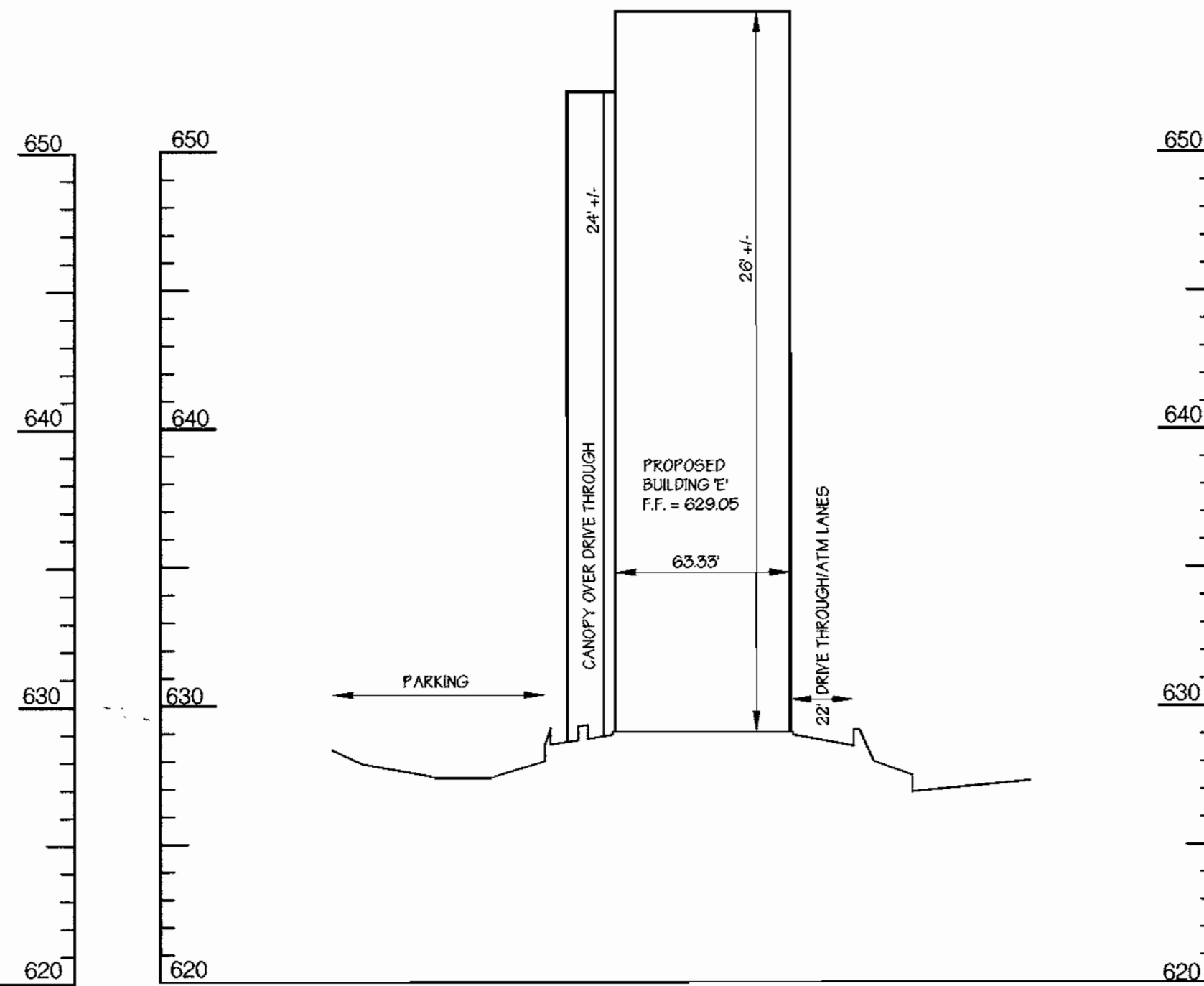
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Developer: *Edward St. John* Date: 9/15/00
Name: Edward St. John

Approved: For private water and private sewerage systems.
Howard County Health Department.
Domick Watson 12/19/00
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT
APPROVED: Department of Planning and Zoning
David R. ... 11/25/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION
Andy ... 12/22/00
DIVISION OF LAND DEVELOPMENT
... 12/27/00
DIRECTOR

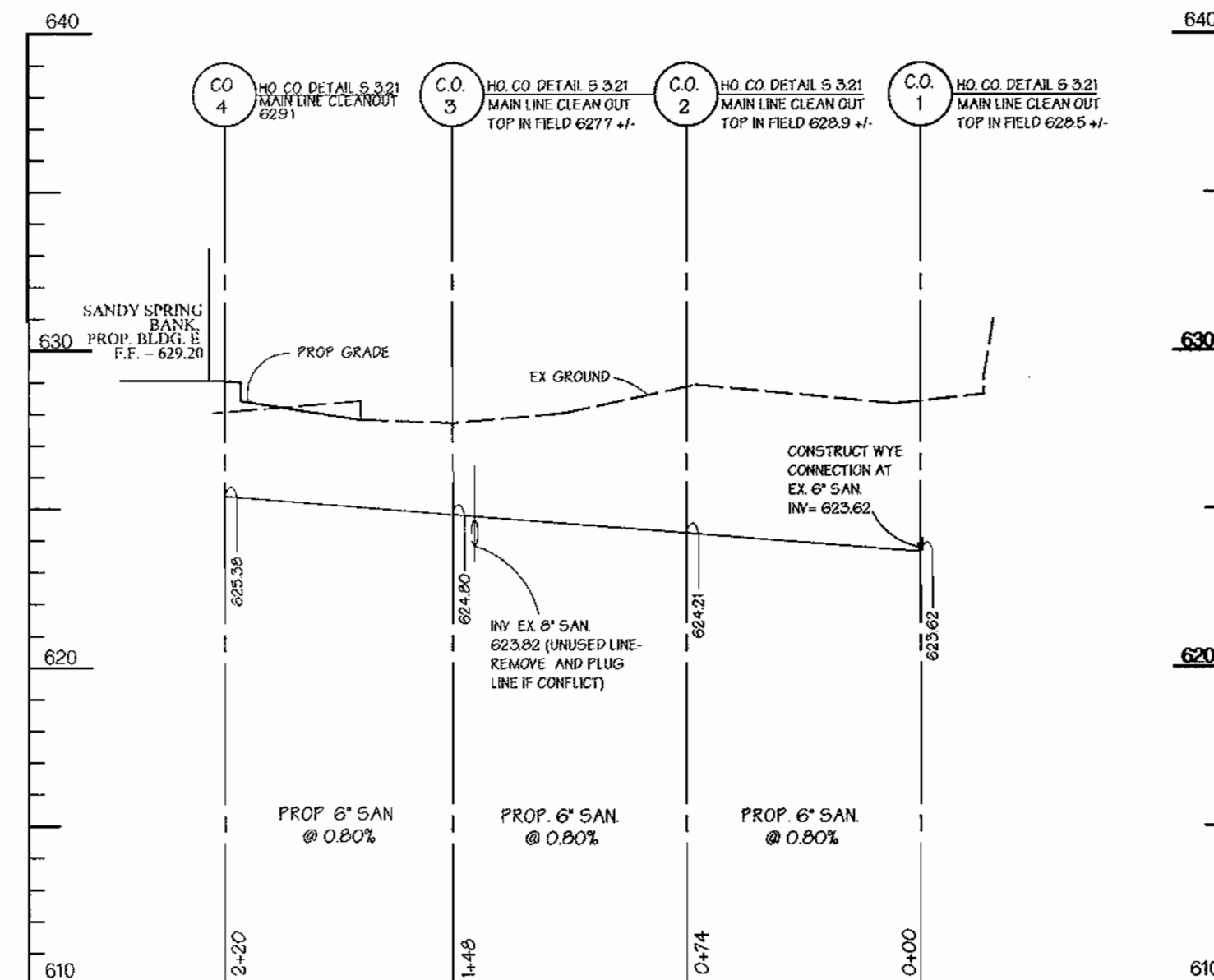
Landscape Plan
ROUTE 94 BUSINESS CENTER
LISBON CENTER
BUILDING 'E' 704 LISBON CENTER DRIVE
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Scale: 1"=20'
Howard County, Maryland
September 15, 2000
Sheet 5 of 6
P.N. 2000041



SECTION A-A
SCALE: HORZ - 1" = 50'
VERT. - 1" = 5'



SECTION B-B
SCALE: HORZ - 1" = 50'
VERT. - 1" = 5'



SANITARY SEWER PROFILE
SCALE: HORZ - 1" = 20'
VERT. - 1" = 5'

PLANTING NOTES

PLANT LOCATIONS SHALL BE FIELD ADJUSTED TO AVOID UTILITIES. CONTRACTOR IS RESPONSIBLE FOR LOCATING UTILITIES PRIOR TO START OF WORK. ALL TREES AND SHRUBS SHALL BE MULCHED TO A MINIMUM OF 18" BEYOND THE EDGE OF THE ROOT BALL. SHRUBS/MASSES SHALL BE PLANTED IN CONTINUOUS MULCH BEDS. ALL WIRE, PLASTIC AND TWINE TIES SHALL BE REMOVED FROM TOP OF THE ROOT BALL.

PLANT STANDARDS

ALL NURSERY STOCK SHALL BE TOP QUALITY AND IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., "AMERICAN STANDARDS FOR NURSERY STOCK", LATEST EDITION. INFERIOR NURSERY STOCK WILL BE SUBJECT TO REJECTION BY THE LANDSCAPE ARCHITECT. BARE ROOT SHALL NOT BE ALLOWED FOR ANY TREE DEFINED AS MAJOR DECIDUOUS, MINOR DECIDUOUS OR EVERGREEN.

CHANGES MAY IMPACT REQUIRED CERTIFICATION

PLANT TYPES (DECIDUOUS TREES, EVERGREEN, ETC.), QUANTITIES, SPACING, LOCATION, AND SPECIES SHOWN ON THE APPROVED LANDSCAPE PLAN ARE BASED ON REQUIREMENTS STATED IN THE LATEST HOWARD COUNTY LANDSCAPE MANUAL. ANY CHANGE IN THE SITE ITEMS MAY AFFECT THE REQUIRED APPROVAL AND CERTIFICATION OF THE INSTALLED PLANTING. OWNER IS REQUIRED TO ARRANGE AND PAY FOR CERTIFICATION BY LANDSCAPE ARCHITECT.

LANDSCAPE SPECIFICATIONS

LANDSCAPE SPECIFICATION SHALL CONFORM TO LCA LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREA, INCLUDING PLANTING PROCEDURES AND SOIL PREPARATION FOR SHRUBS AND PERENNIAL BEDS. A ONE-YEAR WARRANTY PERIOD SHALL BE REQUIRED. MAINTENANCE REQUIRED TO HONOR THE ONE-YEAR WARRANTY SHALL BE PERFORMED AS PART OF THIS CONTRACT.

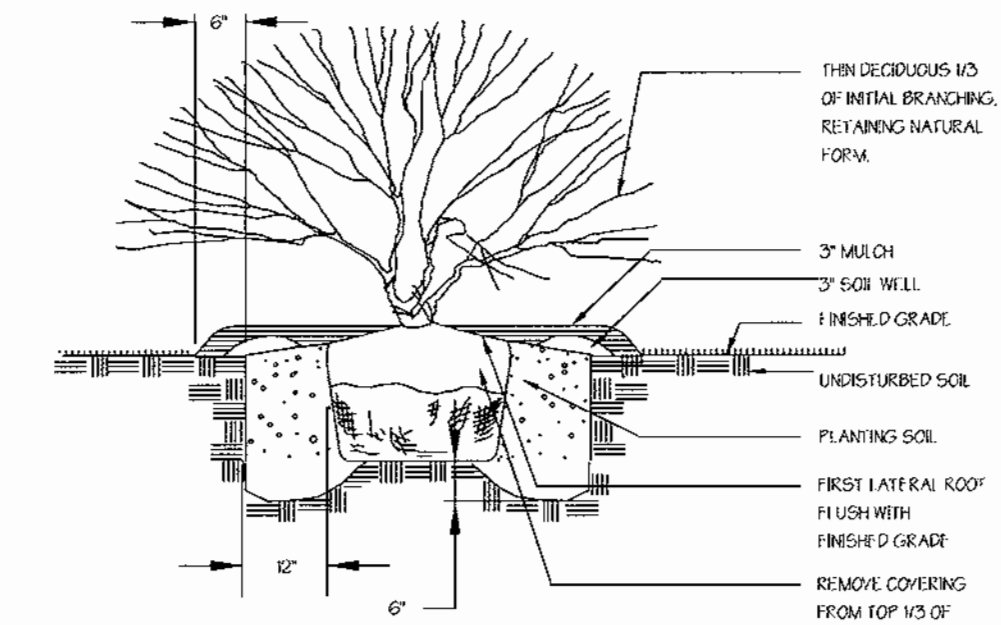
SPECIAL PROVISIONS TO LCA STANDARD SPECIFICATIONS

CONTRACTOR IS ENCOURAGED TO PERFORM SOIL TESTING. TEST RESULTS SHALL BE SUBMITTED 30 DAYS BEFORE PLANTING. FAILURE TO PERFORM TESTING WILL NOT VOID GUARANTEE PROVISIONS.

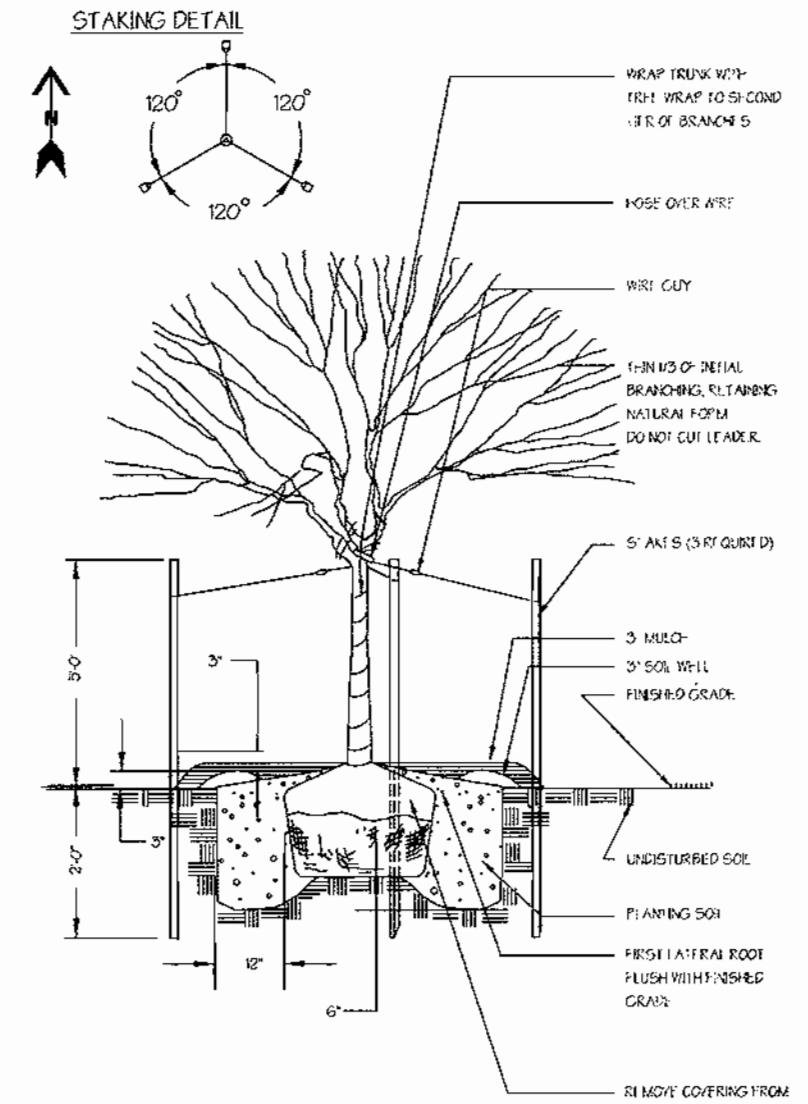
CONTRACTOR SHALL REVIEW AND TEST SUBSOIL DRAINAGE CHARACTERISTICS 30 DAYS PRIOR TO PLANTING AND NOTIFY THE OWNER OF UNACCEPTABLE CONDITIONS.

NO EXCEPTIONS TO THE GUARANTEE PROVISIONS ARE ALLOWED UNLESS AGREED TO IN WRITING PRIOR TO PLANTING.

- "THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL."
- "FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$. . ."



Shrub Planting Detail
NOT TO SCALE



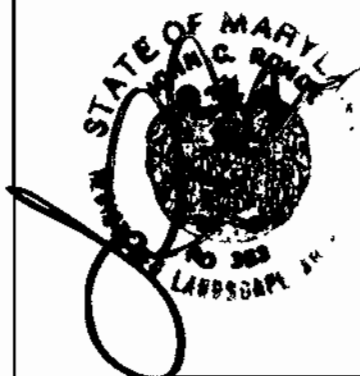
Tree Planting Detail
NOT TO SCALE

Planting Schedule

KEY	QUANTITY	BOTANICAL NAME/COMMON NAME	SIZE & CONDITION / SPACING	REMARKS
TREES				
•	3	Acer rubrum Red Sunset/Red Sunset Maple	2 1/2 - 3" Cal/B&B / As Shown	Full Crown
+	4	Quercus rubrum/Northern Red Oak	2 1/2 - 3" Cal/B&B / As Shown	Full Crown
⊗	1	Malus zumi/Calocarpa/ Zumi Crab	2 - 2 1/2" Cal/B&B / As Shown	Full Heavy Specimen
SHRUBS				
⊙	35	Viburnum plicatum tomentosum 'Summer Snowflake'	2 1/2 - 3" Ht. Cal/B&B / 6' O.C. staggered	24 - 30" HT. CONTAINER

NOTE:

tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.



ENGINEER CERTIFICATION:

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Engineer: *NJP* Date: 9/15/00
Name: Nicholas J. Prader, III PE # 10558

OWNER/DEVELOPER

Route 94 Limited Partnership
c/o MIE Properties, Inc.
5720 Executive Drive
Baltimore, Maryland 21228
(410) 788-0100

DEVELOPER CERTIFICATION:

We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion, before beginning the project. I also authorize periodic on-site inspections by the Howard Soil Conservation District.

Developer: *ESJ* Date: 9/15/00
Name: Edward St. John

Approved: For private water and private sewerage systems.
Howard County Health Department.

Doris M. Miller COUNTY HEALTH OFFICER DATE: 12/19/00
HOWARD COUNTY HEALTH DEPARTMENT

Reviewed for the Howard Conservation District and meets technical requirements.

J. H. Wayfield NADA NATURAL RESOURCES CONSERVATION SERVICE DATE: 11/28/00

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

John K. Khutson APPROVED: HOWARD SOIL CONSERVATION DISTRICT DATE: 11/28/00

APPROVED: Department of Planning and Zoning

David P. ... CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 11/28/00

Cindy ... DIVISION OF LAND DEVELOPMENT DATE: 12/29/00

James S. ... DIRECTOR DATE: 12/27/00

Matis Warfield
consulting engineers
10540 York Road, Suite M
Hunt Valley, Maryland 21030
phone 410-683-7004
facsimile 410-683-1798
www.matiswarfield.com



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Name: Edward St. John

Profiles & Details
ROUTE 94 BUSINESS CENTER
LISBON CENTER
BUILDING 'E' 704 LISBON CENTER DRIVE
Election District #4
Tax Map 2, Grid 24, Parcel 82-F
Scale: As Shown
Howard County, Maryland
September 15, 2000
Sheet 6 of 6