

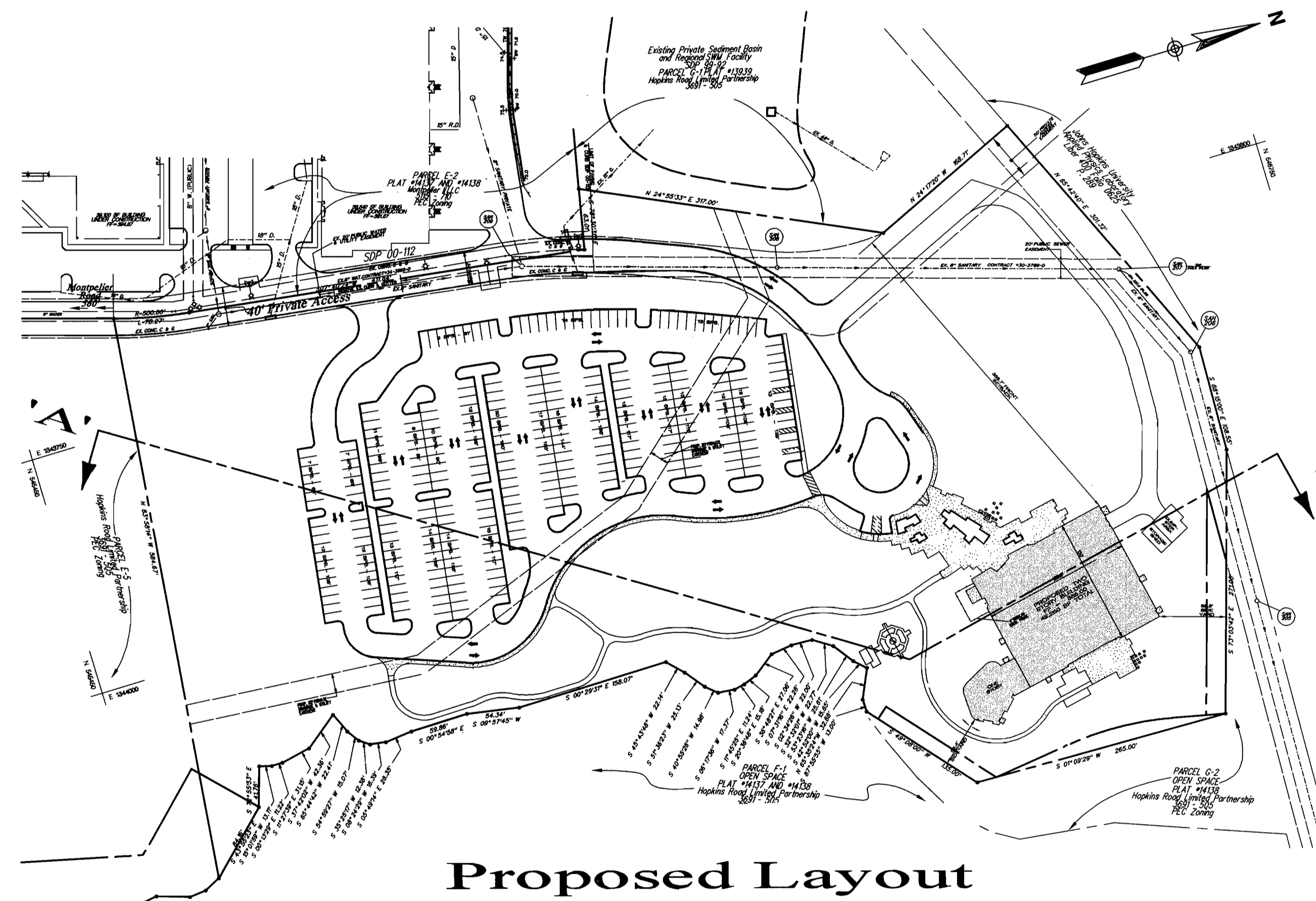
General Notes

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY, PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE OR AS SPECIFIED.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE BASED SOLELY ON AVAILABLE RECORDS. CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITIES WHICH MAY BE IMPACTED BY THE WORK. MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTORS OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
- THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE AND SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK. ANY DAMAGE CAUSED BY THE CONTRACTOR TO EXISTING PUBLIC RIGHT-OF-WAY, EXISTING PAVING, EXISTING CURB AND GUTTER, EXISTING UTILITIES, ETC. SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM A FIELD RUN SURVEY WITH MAXIMUM OF 2' CONTOUR INTERVALS PREPARED BY DUBAI & ASSOCIATES, P.A. DATED MAY 2000.
- EXISTING PUBLIC WATER PROVIDED BY CONTRACT NUMBER 34-3885-D, EXISTING PUBLIC SEWER PROVIDED BY CONTRACT NUMBER 30-3789-D, PROPOSED PUBLIC WATER AND SEWER PROVIDED BY CONTRACT NUMBER EXISTING DRAINAGE AREA FOR SEWER: LITTLE PATUXENT WATER RECLAMATION PLANT, SAVAGE, HOWARD COUNTY.
- THE SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING ANALYSIS FOR THIS PROJECT WAS MADE BY HILLIS CARNES, INC. IN JUNE 2000.
- ALL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE THE MAXIMUM DRY DENSITY AS DETERMINED AND VERIFIED IN ACCORDANCE WITH ASHTO T-180, OR AS SPECIFIED BY GEOTECHNICAL ENGINEER.
- REGIONAL STORMWATER MANAGEMENT AND WATER QUALITY ARE PROVIDED IN A WETLAND POND SYSTEM LOCATED ON PARCEL G1, APPROVED PER SDP 99-92.
- FOREST CONSERVATION REQUIREMENTS ARE PROVIDED PER SDP 98-11, F98-45, SDP 99-92, F 99-191.
- THERE ARE NO WETLANDS, FLOODPLAIN, OR STREAMS ON THIS SITE.
- OPERATING EXISTING VALVES, SWITCHES, SERVICES OR START UP OF NEW SERVICES SHALL BE COORDINATED WITH THE OWNERS REPRESENTATIVE. THE BUILDING WILL BE PROVIDED WITH A SPRINKLER SYSTEM.
- TRENCH COMPACTION FOR STORM DRAINS WITHIN THE ROAD OR STREET RIGHT OF WAY UNITS SHALL BE IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL IV, STD. NO. G-2.01.
- UNLESS OTHERWISE NOTED, DIMENSIONS FROM CURB ARE MEASURED FROM FACE.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.
- THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL WATER, SEWER, AND DRAIN HOUSE CONNECTIONS WITH THE MECHANICAL DRAWINGS.
- THE CONTRACTOR SHALL MAINTAIN 2.0 FEET MINIMUM PROTECTIVE COVER OVER ALL UTILITIES DURING CONSTRUCTION.
- THERE ARE NO KNOWN CEMETARIES OR BURIAL GROUNDS ON THIS SITE. HOWEVER, UPON DISCOVERY OF ANY EVIDENCE OF BURIAL OR GRAVES, THE DEVELOPER WILL BE SUBJECT TO SECTION 16.1305 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- ALL SLOPES 3:1 OR GREATER, EXCEPT THOSE ASSOCIATED WITH LANDSCAPE BERMING, SHALL BE MONITORED DURING PLACEMENT BY THE PROJECT GEOTECHNICAL ENGINEER.
- PAVING MARKINGS TO BE "TRAFFIC WHITE"
- CONTRACTOR SHALL MAINTAIN A MINIMUM 2 FOOT BENCH BEHIND CURB AND GUTTER IN FILL AREAS.
- ALL FIRE LINE PIPING SHALL MEET THE REQUIREMENTS OF THE NFPA PIPE SHALL BE UL LISTED, FM APPROVED AND MEET THE AWWA STANDARDS FOR FIRE PROTECTION USE. FITTINGS SHALL HAVE PRESSURE CLASS RATINGS COMPATIBLE WITH WITH THE PIPE USED.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4 FEET OF COVER OVER THE PRIVATE WATER MAIN SHOWN HEREON UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE ALL CRIMPS OR VERTICAL BENDS NECESSARY TO MAINTAIN CLEARANCES WITH OTHER UTILITIES.
- THE CONTRACTOR SHALL INSPECT THE SITE TO DETERMINE IF ANY TREES, PAVING OR STRUCTURES ARE TO BE REMOVED, PRIOR TO PLACING A BID ON THOSE ITEMS THE CONTRACTOR SHALL CLEAR THE CONSTRUCTION AREA OF ALL EXISTING TREES, PAVING, STRUCTURES, ETC., UNLESS NOTED ON PLAN.
- THE SUBJECT PROPERTY IS ZONED PEC PER 10-18-83 COMPREHENSIVE ZONING PLAN
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM(S) OR THEIR BUFFERS AND FOREST CONSERVATION EASEMENT AREAS.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$ 13,590.00.
- THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY VIRTUE OF BEING THE SUBJECT OF AN APPROVED FOREST CONSERVATION PLAN AS PART OF THE APPROVED SUBDIVISION FOR MONTEPELIER RESEARCH PARK. SEE NOTE 10.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLAN COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 0020 AND 4113 WERE USED FOR THIS PROJECT.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY LEE CUNNINGHAM AND ASSOCIATES, DATED DECEMBER 1997, AND WAS MOST RECENTLY APPROVED JULY 6, 2000. SEE SUBSEQUENT LETTER DATED JULY 10, 2000 FROM LEE CUNNINGHAM TO HOWARD COUNTY P&Z CONFIRMING TRIP GENERATION FOR THIS PARTICULAR PROJECT.
- ALL EXTERIOR LIGHTING SHALL BE SHALL COMPLY WITH SECTION 134 OF THE ZONING REGULATIONS

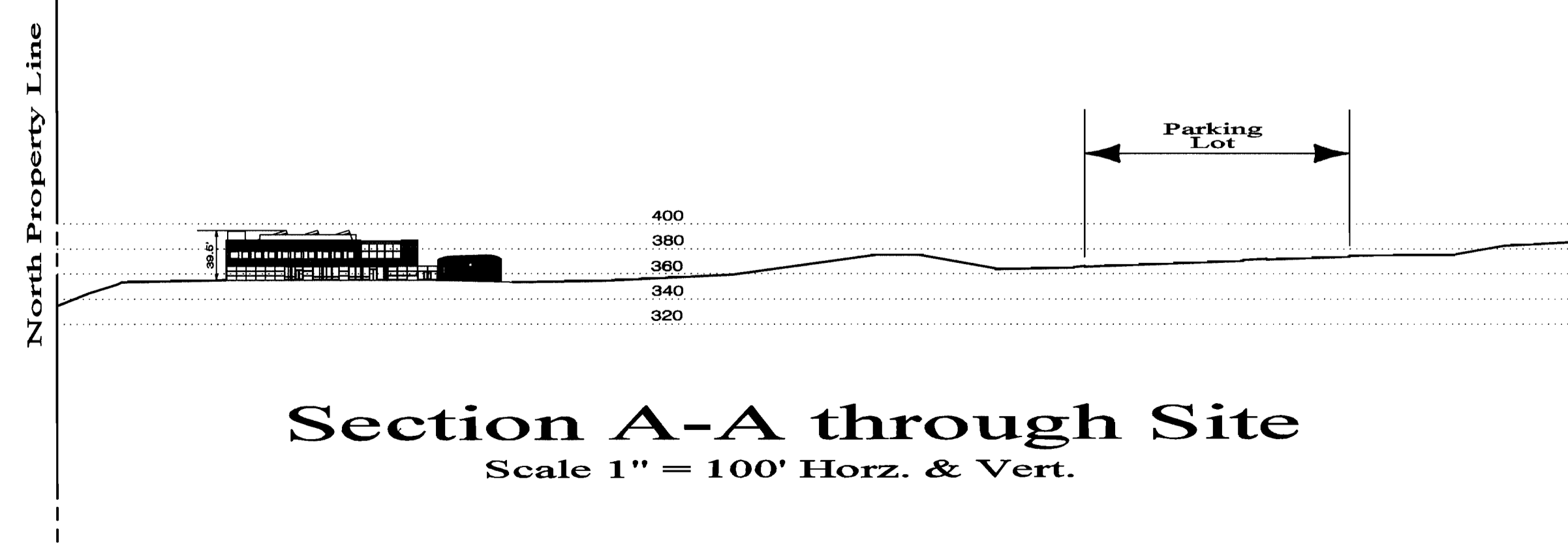
Site Development Plans for Traditional Acupuncture Institute



Parcel E-4 Montpelier Research Park Howard County, Maryland



Proposed Layout
Scale 1" = 100'

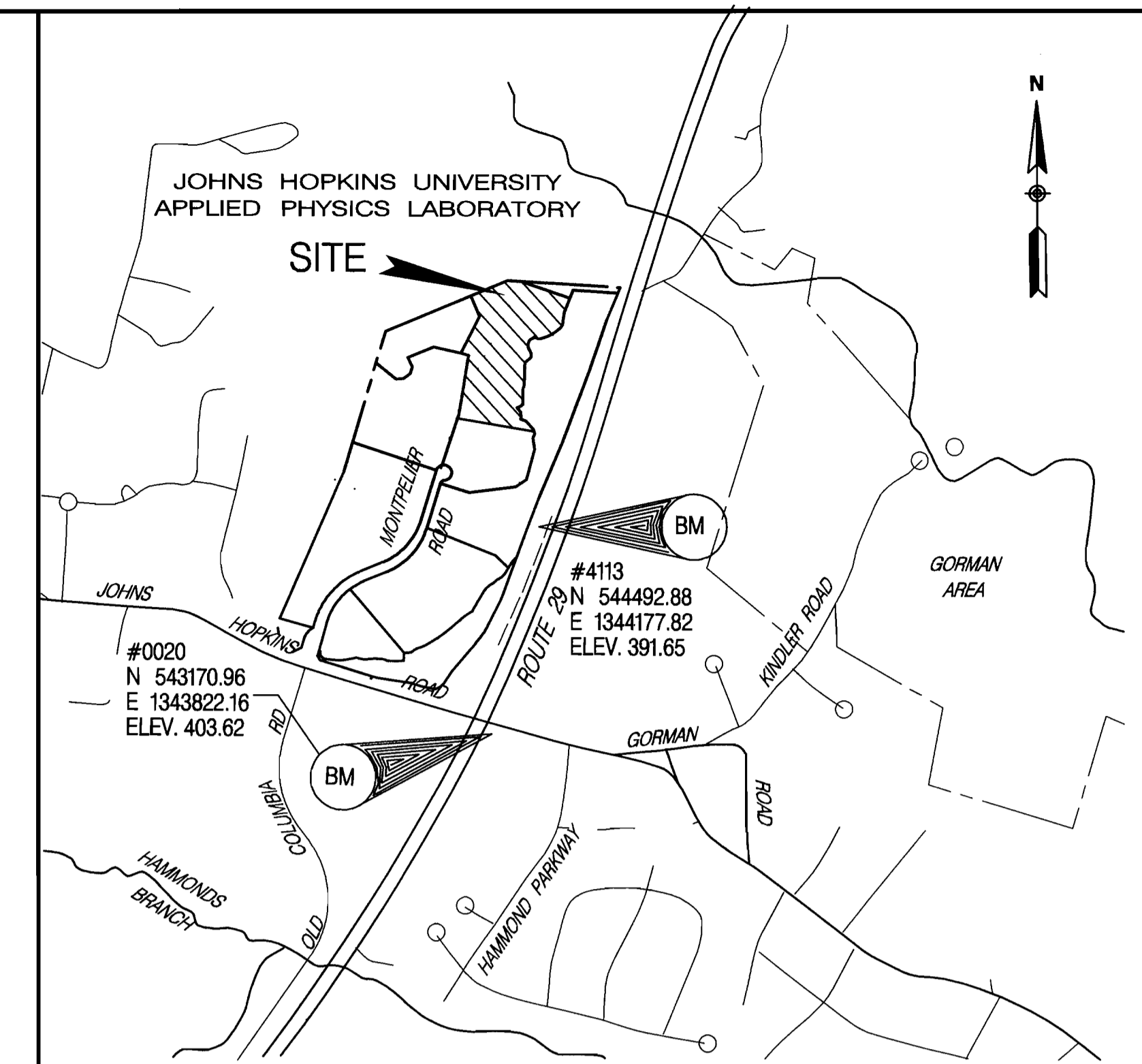
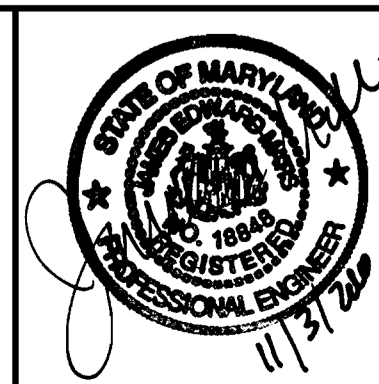


Section A-A through Site
Scale 1" = 100' Horz. & Vert.

Legal Owner (current): Hopkins Road Limited Partnership
9030 Red Branch Road
Suite 200
Columbia, Maryland 21045
Phone 410-997-7222
Fax 410-997-6453

Developer and Contract Purchaser: Traditional Acupuncture Institute, Inc.
American Cities Building
10227 Wincopin Circle
Suite 100
Columbia, Maryland 21044-3422
Phone 410-997-4888

Matis Warfield
consulting engineers
10540 York Road, Suite 100
Hunt Valley, Maryland 21030
Phone 410-883-7004
Facsimile 410-883-7006
www.matiswarfield.com



Location Map
SCALE: 1" = 1,000'

COORDINATES AND BEARING ARE REFERRED TO THE SYSTEM OF COORDINATES ESTABLISHED IN THE MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS: NAD 83. ELEVATIONS SHOWN HEREON ARE REFERRED TO THE NORTH AMERICAN VERTICAL DATUM-NVD 29 AND ARE BASED ON THE FOLLOWING HOWARD COUNTY SURVEY CONTROL STATIONS: (TRANSLATED METERS TO FEET)
#4113-CONCRETE MONUMENT 4' WEST OF TOP OF BANK OFF SOUTH BOUND MARYLAND ROUTE 29 AT SURFACE.
#0020-STANDARD MBOS SURVEY DISC SET ON CONCRETE MONUMENT, FLUSH WITH THE GROUND.

Site Analysis Data Chart

1. GENERAL SITE DATA	14412
CURRENT PLAT REFERENCE	PEC
APPLICABLE DPZ FILE REFERENCES:	BA 96-31E, PB 190, VP 86-64, WP 91-63, ZB 802 & 767, S 86-47, FDP #1, SDP 88-197, SDP 88-88, F 98-45, SDP 99-92, F 99-191, SDP 98-11, F 00-49, WP 97-21 AND WP 98-37, F 00-166
PROPOSED USE:	INSTITUTIONAL - TWO STORY 42,250 SF PRIVATE SCHOOL (22,240 sf ground floor)
NO. OF OCCUPANTS:	225 STUDENTS /70 FACULTY-SUPPORT
PROPOSED WATER:	PUBLIC
PROPOSED SEWER:	PRIVATE ONSITE LINE TIES TO PUBLIC SYSTEM
WATER AND SEWER CONTRACT NUMBER	34-3888D
2. AREA TABULATION	
TOTAL PROJECT AREA:	12.463 ACRES
AREA OF THIS PLAN SUBMISSION:	12.463 ACRES
TOTAL DISTURBED AREA:	10.9 ACRES
FLOOR AREA RATIO:	42,250 SF GROSS FLOOR AREA = 0.08 12.463 ACRES
BUILDING COVERAGE TO SITE:	22,240 SF GROUND FLOOR AREA (0.51 acres) = 4% of gross area 12.463 ACRES
3. OPEN SPACE DATA: NA OPEN SPACE PROVIDED AS PART OF APPROVED SUBDIVISION	
4. PARKING SPACE DATA	
PARKING REQUIRED: PRIVATE SCHOOL FOR 225 STUDENTS	
@ 1 PARKING SPACES PER 3 STUDENTS	75 SPACES REQUIRED
PARKING PROVIDED:	315 SPACES PROVIDED
TOTAL INCLUDES	
305 STANDARD SPACES @ 9' X 18'	
8 STANDARD HANDICAP SPACES @ 21' X 18' TWO SIDE BY SIDE	
2 VAN ACCESSIBLE HANDICAP SPACES @ 24' X 18' TWO SIDE BY SIDE	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

William J. ... Chief, Development Engineering Division Date: 11/21/01
Cathy ... Chief, Land Development Division Date: 1/8/01
Joseph ... Director Date: 1/9/01

ADDRESS CHART	
Lot/Parcel No.	Street Address
E-4	7750 MONTEPELIER ROAD

PERMIT INFORMATION CHART					
Subdivision Name	Section /Area	Lot/Parcel No.			
Montpelier	E-4	E-4			
Plat or Liber/Folio	Grid #	Zoning	Tax Map No.	Election District	Census Tract
139930 + 14597	17	PEC	41	5th	6051.02
Water Code	Sewer Code				
E. 21	6440000				

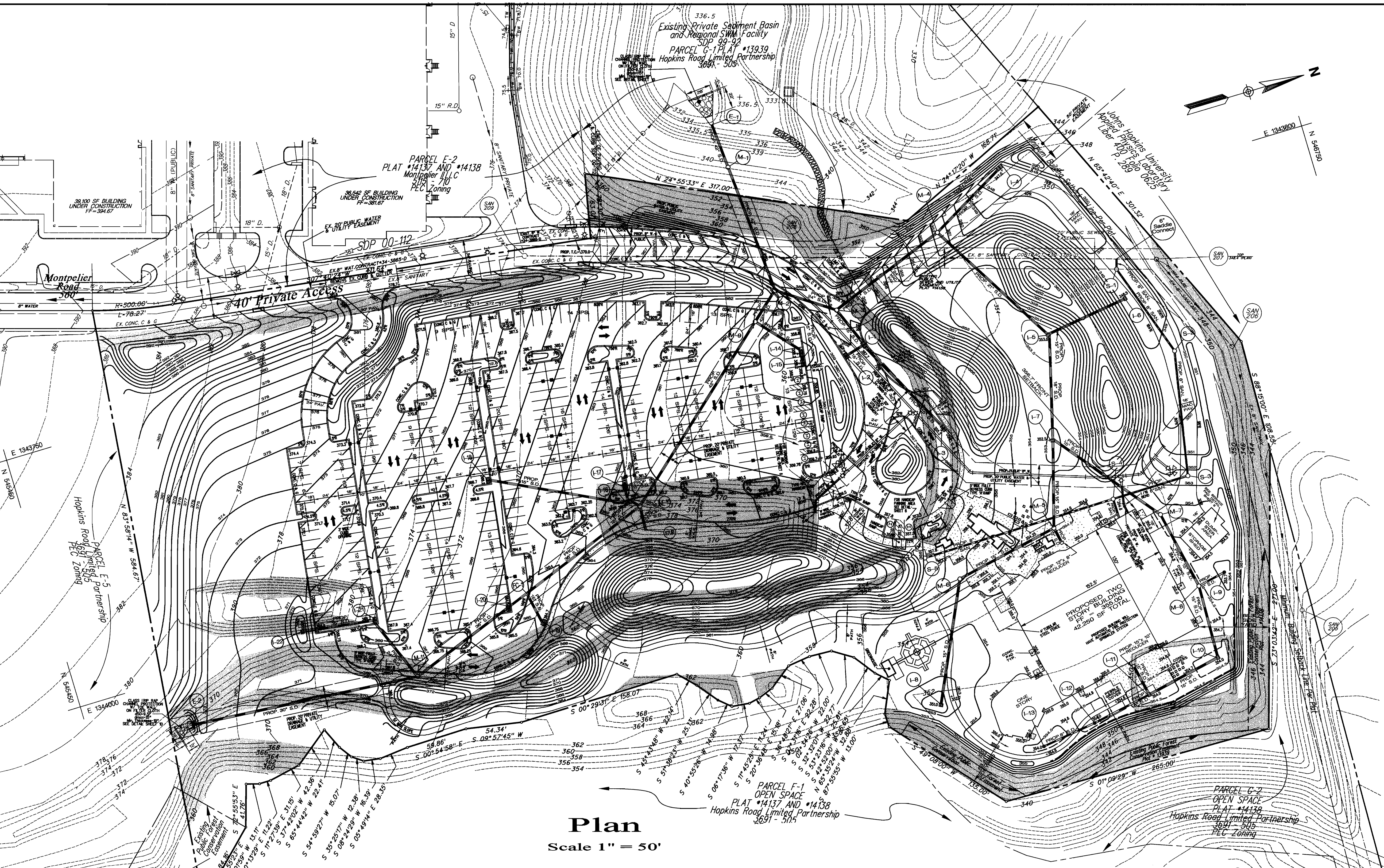
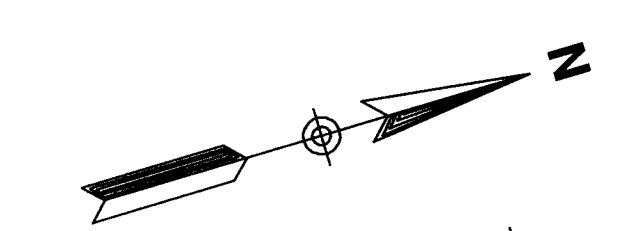
SHEET INDEX	
NO.	SHEET TITLE
1	COVER SHEET
2	SITE PLAN- 50 SCALE
3	SITE PLAN - NORTH 30 SCALE
4	SITE PLAN - SOUTH 30 SCALE
5	DRAINAGE AREA MAP
6	DETAILS
7	UTILITY PROFILES AND DETAILS
8	UTILITY PROFILES AND DETAILS
9	EROSION & SEDIMENT CONTROL PLAN
10	EROSION & SEDIMENT CONTROL DETAILS
11	LANDSCAPE PLAN

Cover Sheet
Traditional Acupuncture Institute
Parcel E-4
Montpelier Research Park

SDP-01-05

Legend

- Existing Contours
 - Proposed Grades
 - Existing Water
 - Proposed Private Water
 - Proposed Public Water
 - Existing Sanitary
 - Proposed Private Sanitary
 - Existing Storm Drain
 - Proposed Private Storm Drain
 - Existing Curb and Gutter
 - Proposed Curb and Gutter
 - Proposed Light Fixture
-
- Proposed Concrete Paving
 - Handicap Parking Space
 - Slopes > 25%



Plan
Scale 1" = 50'

ENGINEER'S CERTIFICATE
 I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
James E. Matie 11/3/2000
 James E. Matie, P.E. M.D. 18848 Date

DEVELOPER'S CERTIFICATE
 We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
W. Harry Schwarz 11-3-00
 For Traditional Acupuncture Institute, Inc. By: W. Harry Schwarz, CFO Date

Reviewed for Howard SCD and meets Technical Requirements
J.G. Waples /cs 11/17/00
 USDA Natural Resources Conservation Service Date
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT
J.R. Ralston /cs 11/17/00
 Howard SCD Date

APPROVED: FOR PUBLIC (OR PRIVATE) WATER AND PUBLIC (OR PRIVATE) SEWERAGE SYSTEMS:
 County Health Officer Howard County Health Department Date
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Mark D. ... 11/21/00
 Chief, Development Engineering Division Date
... 11/16/01
 Chief, Land Development Division Date
... 11/16/00
 Director Date

ADDRESS CHART

Lot/Parcel No.	Street Address

PERMIT INFORMATION CHART

Subdivision Name	Section /Area	Lot /Parcel No.
Montpelier	E-4	E-4
Plat or Liber/Folio	Grid #	Zoning
13939 r14697	17	PEC
Water Code	Tax Map No.	Election District
E 21	41	5th
Sewer Code	Census Tract	
6440000	0051.02	

Note: For Paving Plan Detail, See Sheets 3 & 4.

Legal Owner (current):
 Hopkins Road Limited Partnership
 9030 Red Branch Road
 Suite 200
 Columbia, Maryland 21045
 Phone 410-997-7222
 Fax 410-997-6453

Developer and Contract Purchaser
 Traditional Acupuncture Institute, Inc.
 American Cities Building
 10227 Wincopin Circle
 Suite 100
 Columbia, Maryland 21044-3422
 Phone 410-997-4888

Matis Warfield
consulting engineers

10540 York Road Suite 200
 Hunt Valley, Maryland 21030
 Phone 410-997-7004
 facsimile 410-683-1798
 www.matiswarfield.com

Lighting Data

Symbol	Qty	Lumens	Description
■	36	36000	400W AREA SQUARE GALLERIA

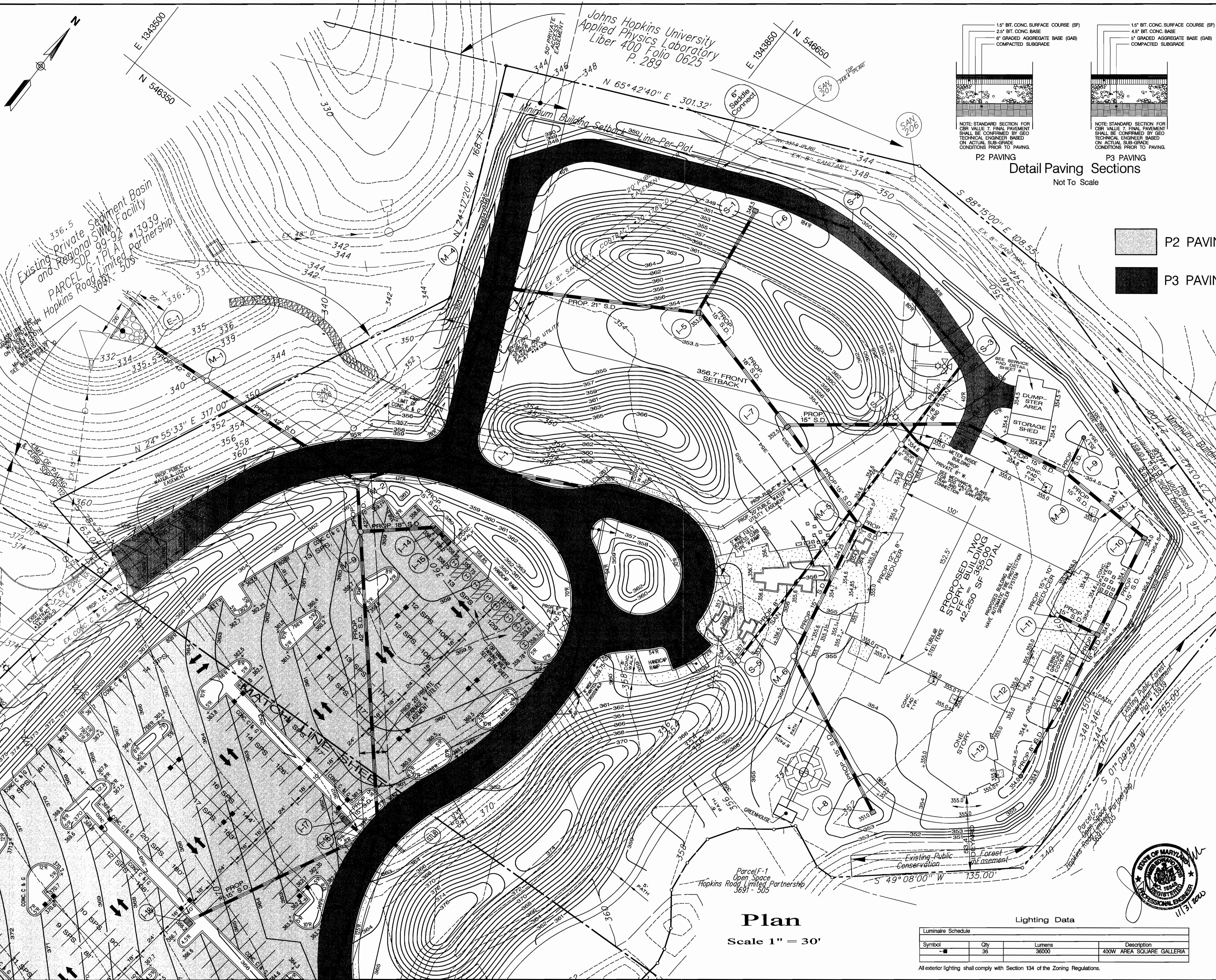
All exterior lighting shall comply with Section 134 of the Zoning Regulations.

Site Development Plan
Traditional Acupuncture Institute
Parcel E-4
Montpelier Research Park

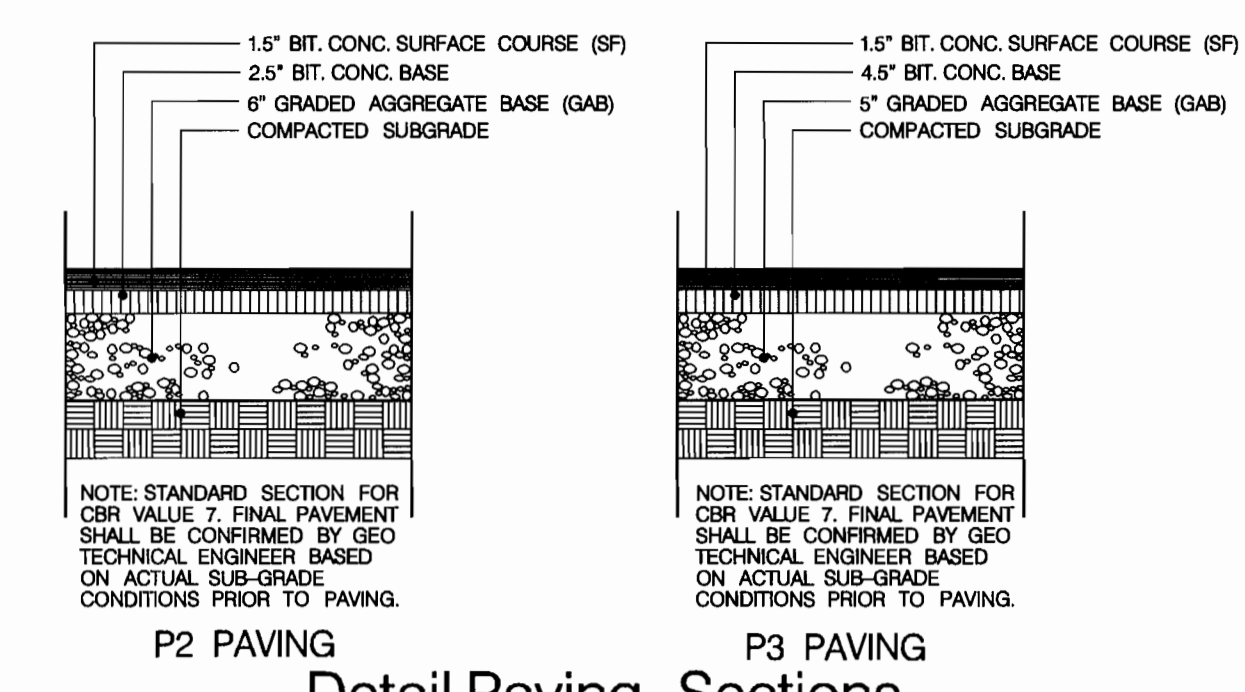
Howard County, Maryland
 Scale: As Shown

Sheet 2 of 11
 November 3, 2000 SDP 01-05

SDP-01-05



Johns Hopkins University
Applied Physics Laboratory
Liber 400 Folio 0625
P. 289



Detail Paving Sections
Not To Scale

Legend

Existing Contours	---
Proposed Grades	---
Existing Water	---
Proposed Private Water	---
Proposed Public Water	---
Existing Sanitary	---
Proposed Private Sanitary	---
Existing Storm Drain	---
Proposed Private Storm Drain	---
Existing Curb and Gutter	---
Proposed Curb and Gutter	---
Proposed Light Fixture	---
Proposed Concrete Paving	---
Handicap Parking Space	(H)

■ P2 PAVING
■ P3 PAVING

Note: For Conc. Curb & Gutter, Conc. Walk and Handicap Ramp Details, See Sheet 6.

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www.matiswarfield.com

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Howard County
Chief, Development Engineering Division 11/21/00
Chris Stovall
Chief, Land Development Division 11/19/00
Lyndi Smith
Director 11/9/00

PERMIT INFORMATION CHART

Subdivision Name	Section / Area	Lot / Parcel No.
Montpelier		E-4
Plat or Liber/Folio	Grid #	Zoning
13939 #14517	17	PEC
Water Code	Tax Map No.	Election District
E 21	6440000	8th
	Sewer Code	Census Tract
	6440000	6051.02

30 Scale Plan - North
Traditional Acupuncture Institute
Parcel E-4
Montpelier Research Park

Howard County, Maryland
Scale: As Shown

Sheet 3 of 11
November 3, 2000 SDP 01-05

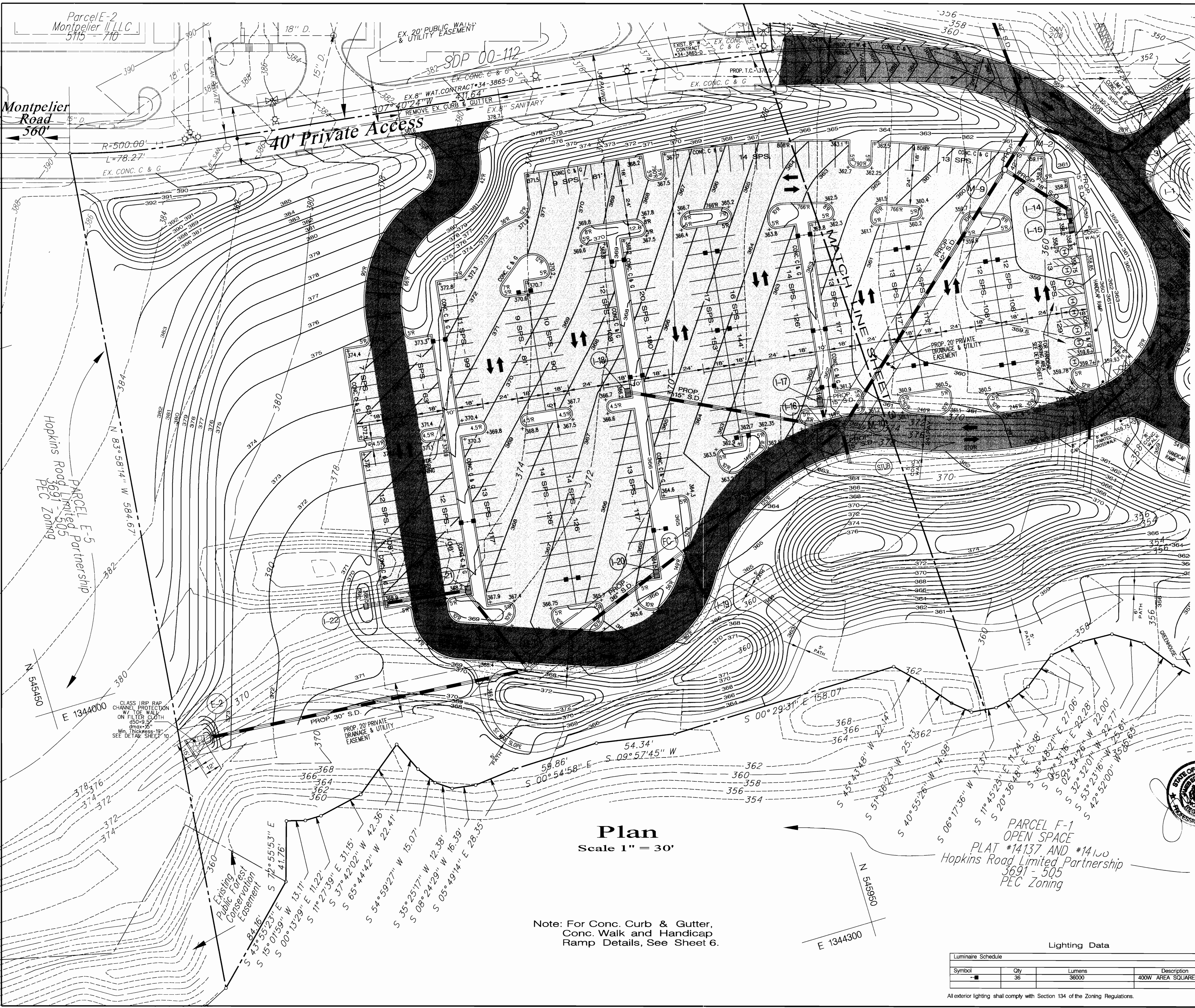
Plan
Scale 1" = 30'

Lighting Data

Symbol	Qty	Lumens	Description
■	36	36000	400W AREA SQUARE GALLERIA

All exterior lighting shall comply with Section 134 of the Zoning Regulations.

SDP 01-05

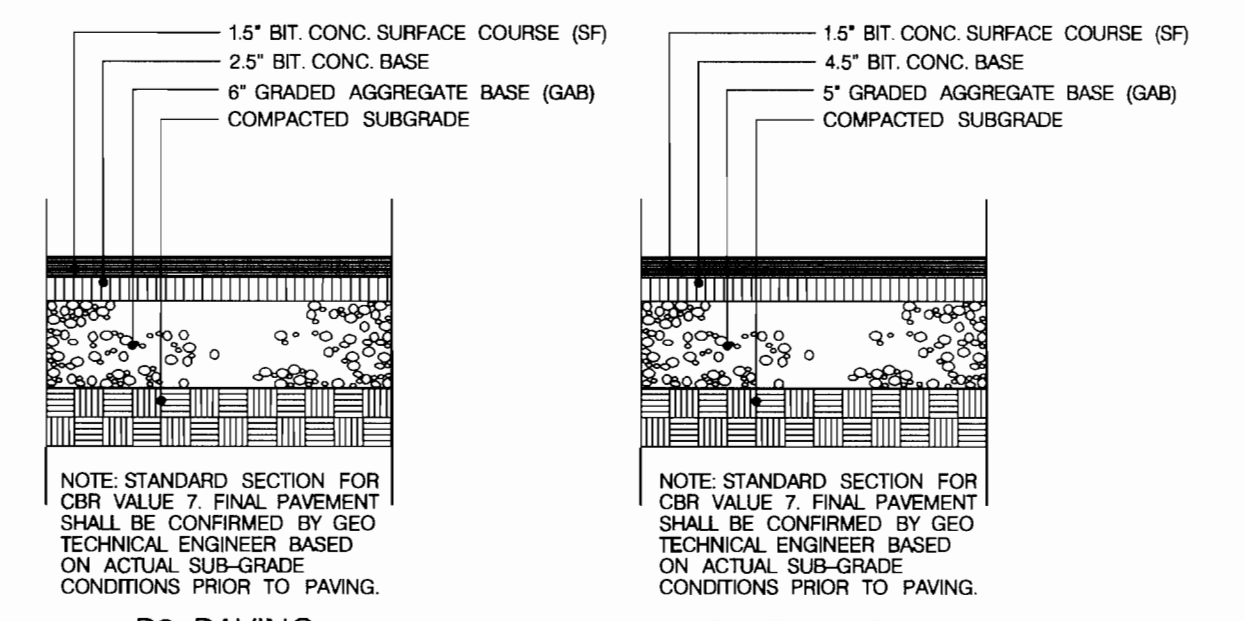
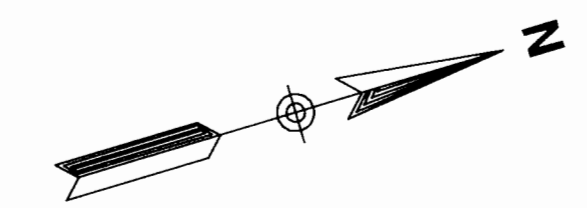


Legend

- Existing Contours
- Proposed Grades
- Existing Water
- Proposed Private Water
- Proposed Public Water
- Existing Sanitary
- Proposed Private Sanitary
- Existing Storm Drain
- Proposed Private Storm Drain
- Existing Curb and Gutter
- Proposed Curb and Gutter
- Proposed Light Fixture

Proposed Concrete Paving

Handicap Parking Space



Detail Paving Sections
Not To Scale

- P2 PAVING
- P3 PAVING

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Hunt Valley, Maryland 21086
Phone 410-683-7604
Facsimile 410-683-1798
www.matiswarfield.com

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chris Hamula 11/21/00
Chief, Development Engineering Division

Chris Hamula 11/5/01
Chief, Land Development Division

Joseph T. Scott 11/9/01
Director

PERMIT INFORMATION CHART

Subdivision Name Montpelier	Section /Area 41	Lot /Parcel No. E-4
Plat or Liber/Folio 13939 +/4597	Grid # 17	Zoning PEC
Water Code E 21	Tax Map No. 41	Election District 5th
	Sewer Code 6440000	Census Tract 6051.02

30 Scale Plan - South
Traditional Acupuncture Institute
Parcel E-4
Montpelier Research Park

Plan
Scale 1" = 30'

Note: For Conc. Curb & Gutter, Conc. Walk and Handicap Ramp Details, See Sheet 6.

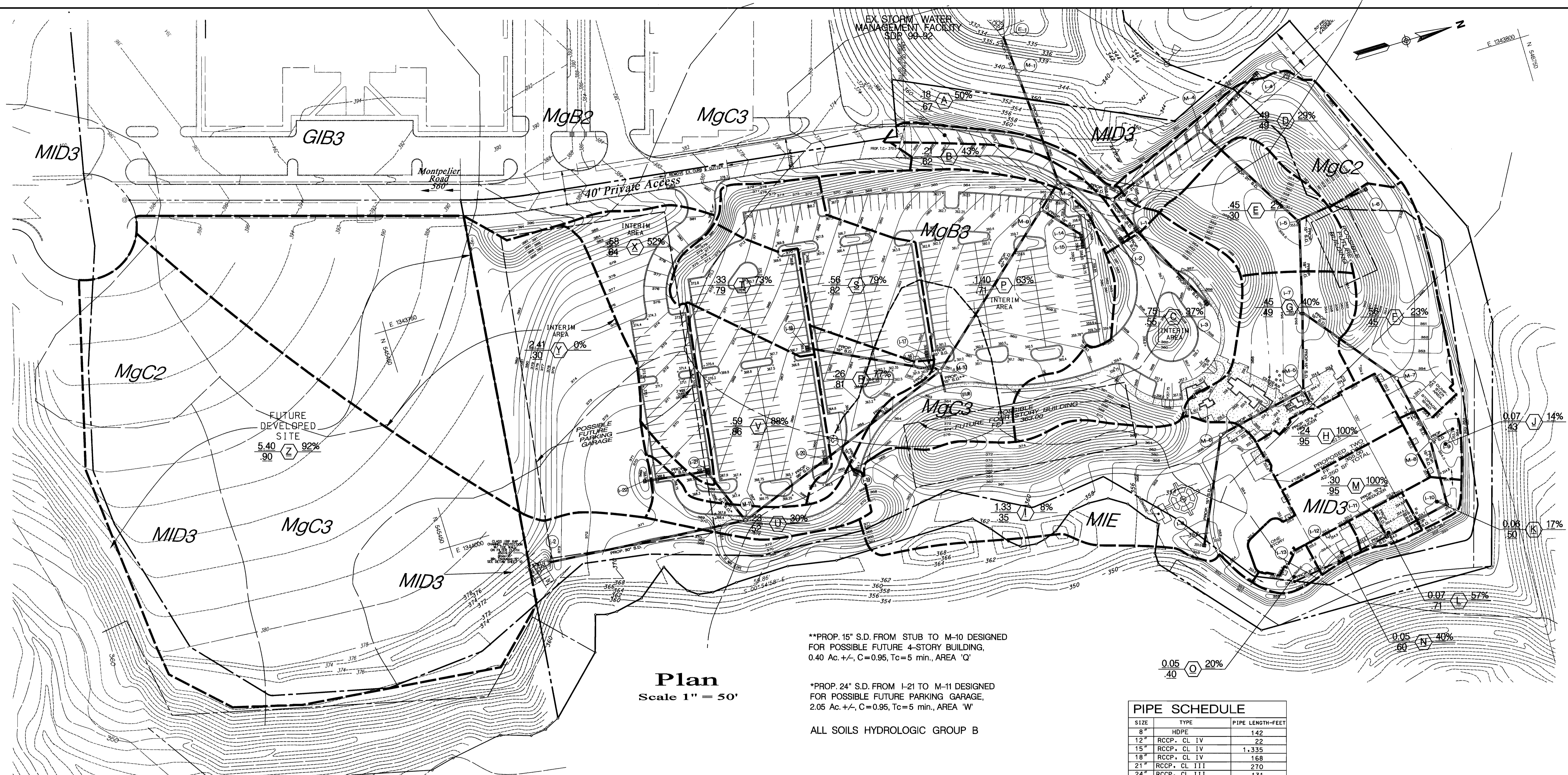
Lighting Data

Symbol	Qty	Lumens	Description
	36	36000	400W AREA SQUARE GALLERIA

All exterior lighting shall comply with Section 134 of the Zoning Regulations.



PARCEL F-1
OPEN SPACE
PLAT #14137 AND #14100
Hopkins Road Limited Partnership
3691 - 505
PEC Zoning



Plan
Scale 1" = 50'

**PROP. 15" S.D. FROM STUB TO M-10 DESIGNED FOR POSSIBLE FUTURE 4-STORY BUILDING, 0.40 Ac. +/-, C=0.95, Tc=5 min., AREA 'Q'

*PROP. 24" S.D. FROM I-21 TO M-11 DESIGNED FOR POSSIBLE FUTURE PARKING GARAGE, 2.05 Ac. +/-, C=0.95, Tc=5 min., AREA 'W'

ALL SOILS HYDROLOGIC GROUP B

STORM DRAIN INLET SCHEDULE

NO.	TYPE	INV. IN	INV. OUT	TOP ELEV.	REMARKS
** I-1	DBL. 'S' COMB.	349.88	349.68	358.30(TC)	STD. DTL. SD 4.34
I-2	DBL. 'S' COMB.	-	353.10	358.30(TC)	STD. DTL. SD 4.34
I-3	DBL. 'S' COMB.	-	351.83	355.80(TC)	STD. DTL. SD 4.34
I-4	DBL. 'S'	-	344.00	347.00(TG)	STD. DTL. SD 4.23
** I-5	TYPE 'S'	345.64	345.39	353.00(TG)	STD. DTL. SD 4.22
I-6	TYPE 'D'	-	346.30	349.33(TS)*	STD. DTL. SD 4.11 WEIR EL. 348.50
** I-7	TYPE 'D'	346.88	346.63	353.33(TS)*	STD. DTL. SD 4.11 WEIR EL. 348.50
I-8	TYPE 'D'	-	348.84	351.83(TS)*	STD. DTL. SD 4.11 WEIR EL. 351.00
I-9	YARD INLET	-	350.16	353.70(TG)	STD. DTL. SD 4.14
** I-10	TYPE 'S'	348.83	348.66	354.00(TG)	STD. DTL. SD 4.22
** I-11	TYPE 'S'	349.38	349.21	354.00(TG)	STD. DTL. SD 4.22
I-12	YARD INLET	350.19	350.02	354.00(TG)	STD. DTL. SD 4.14
I-13	YARD INLET	-	350.46	354.00(TG)	STD. DTL. SD 4.14
** I-14	DBL. 'S' COMB.	354.97	354.72	358.80(TC)	STD. DTL. SD 4.34
I-15	DBL. 'S' COMB.	-	355.02	358.80(TC)	STD. DTL. SD 4.34
** I-16	DBL. 'S' COMB.	357.92	357.67	362.20(TC)	STD. DTL. SD 4.34
I-17	DBL. 'S' COMB.	-	358.40	362.20(TC)	STD. DTL. SD 4.34
I-18	DBL. 'S' COMB.	-	361.11	366.80(TC)	STD. DTL. SD 4.34
I-19	DBL. 'S' COMB.	-	361.53	365.30(TC)	STD. DTL. SD 4.34
** I-20	DBL. 'S' COMB.	359.27	359.07	365.10(TC)	STD. DTL. SD 4.34
** I-21	DBL. 'S' COMB.	364.29	363.54	368.80(TC)	STD. DTL. SD 4.34
I-22	TYPE 'D'	-	366.02	369.33(TS)*	STD. DTL. SD 4.11 WEIR EL. 368.50

(TC)-TOP CURB
(TG)-TOP GRATE
(TS)-TOP SLAB
*WEIR OPENING ALL 4 SIDES
**MODIFIED. SEE DETAILS SHT. 6

STORM DRAIN STRUCTURE SCHEDULE

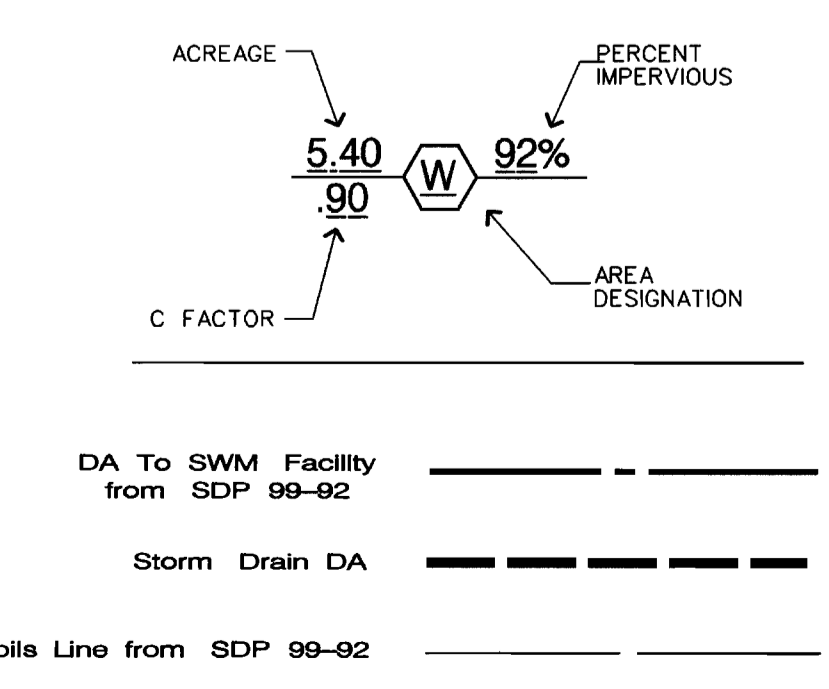
NO.	TYPE	INV. IN	INV. OUT	TOP ELEV.	REMARKS
M-1	6" MANHOLE	332.72	332.52	342.00	STD. DTL. G 5.03
M-2	6" MANHOLE*	338.62	337.12	360.00	STD. DTL. G 5.03
M-3	4" MANHOLE*	339.19	338.94	358.40	STD. DTL. G 5.12
M-4	4" MANHOLE	343.07	339.81	351.70	STD. DTL. G 5.12
M-5	4" MANHOLE	347.50	347.30	354.45	STD. DTL. G 5.12
M-6	4" MANHOLE	348.22	348.02	356.10	STD. DTL. G 5.12
M-7	4" MANHOLE	347.71	347.51	354.40	STD. DTL. G 5.12
M-8	4" MANHOLE	348.30	348.10	354.60	STD. DTL. G 5.12
M-9	6" MANHOLE	349.43	345.93	359.60	STD. DTL. G 5.03
M-10	6" MANHOLE	353.77	353.27	361.60	STD. DTL. G 5.03
M-11	5" MANHOLE	360.32	359.82	367.65	STD. DTL. G 5.05
FC-1	36"x15" FIELD CONN.	359.20	358.32	-	STD. DTL. SD 2.01
E-1	42" CONC. END SECT.	332.08	332.00	-	STD. DTL. SD 5.51
E-2	30" CONC. END SECT.	367.99	367.78	-	STD. DTL. SD 5.51

* WITH INTERMEDIATE LANDINGS PER STANDARD DETAIL G-5.15

PIPE SCHEDULE

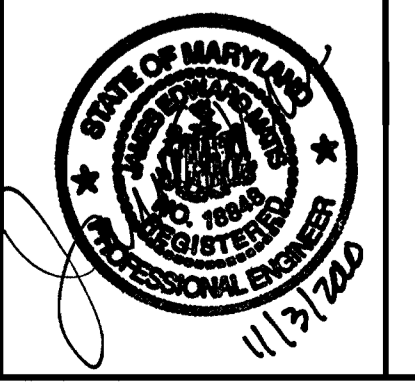
SIZE	TYPE	PIPE LENGTH- FEET
8"	HDPE	142
12"	RCCP, CL IV	22
15"	RCCP, CL IV	1,335
18"	RCCP, CL IV	168
21"	RCCP, CL III	270
24"	RCCP, CL III	131
30"	RCCP, CL III	222
36"	RCCP, CL III	272
42"	RCCP, CL III	211
42"	RCCP CL III C-176	208

Legend



Legal Owner (current):
Hopkins Road Limited Partnership
9030 Red Branch Road
Suite 200
Columbia, Maryland 21045
Phone 410-997-7222
Fax 410-997-6453

Developer and Contract Purchaser
Traditional Acupuncture Institute, Inc.
American Cities Building
10227 Wincopin Circle
Suite 100
Columbia, Maryland 21044-3422
Phone 410-997-4888



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

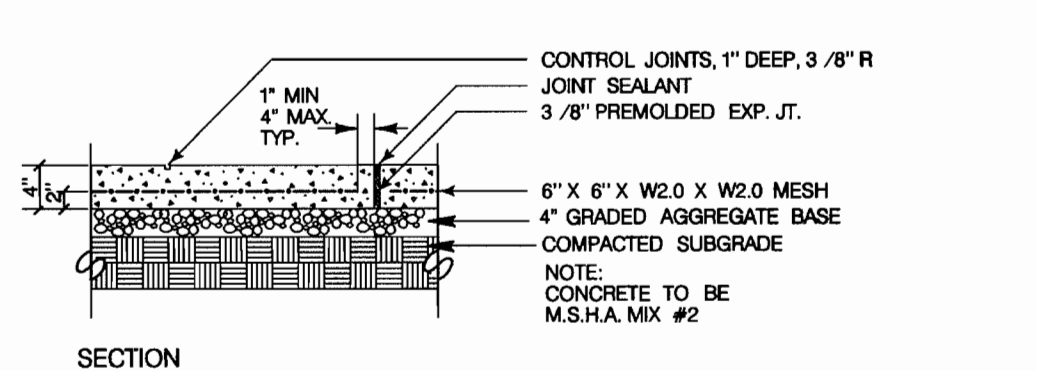
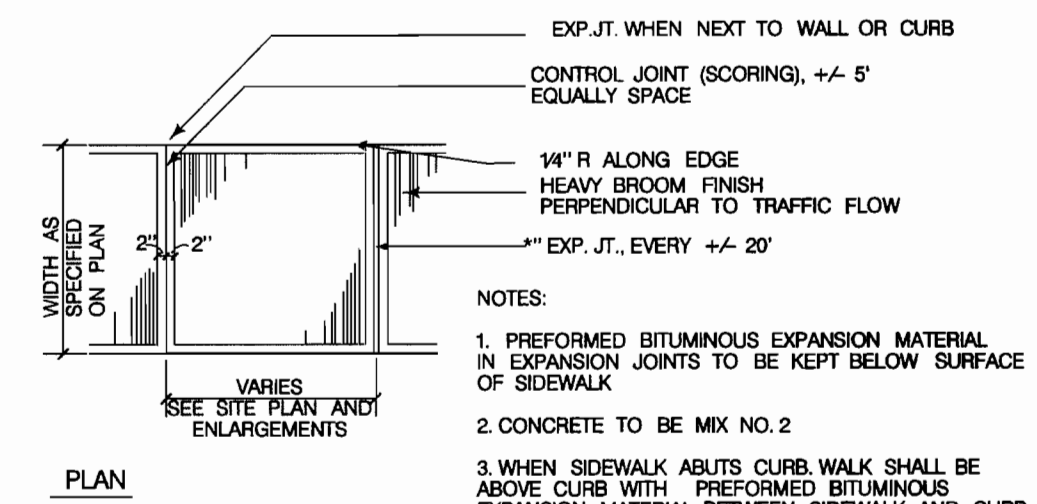
M. D. ... 11/21/00
Chief, Development Engineering Division
... 11/15/01
Chief, Land Development Division
... 11/30/01
Director

PERMIT INFORMATION CHART

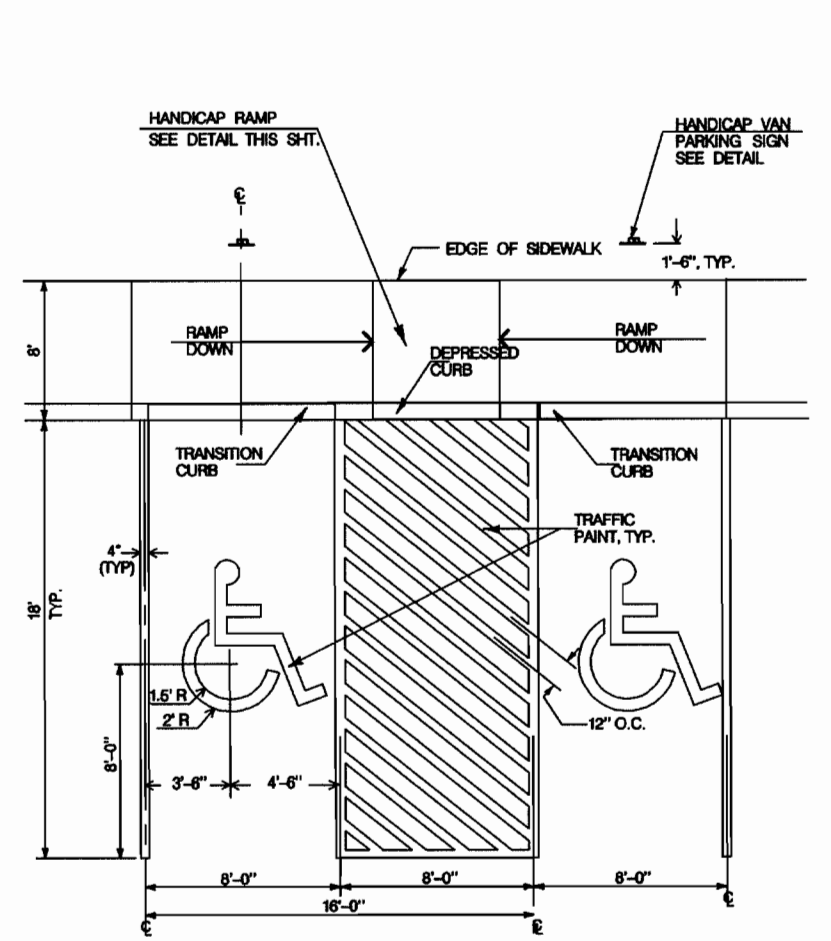
Subdivision Name Montpelier	Section /Area	Lot /Parcel No. E-4
Plat or Liber/Folio 13939 P 14517	Grid # 17	Zoning PEC
Tax Map No. 41	Election District 5th	Census Tract 6051.02
Water Code E 21	Sewer Code 6440000	

Storm Drainage Area Map
Traditional Acupuncture Institute
Parcel E-4
Montpelier Research Park

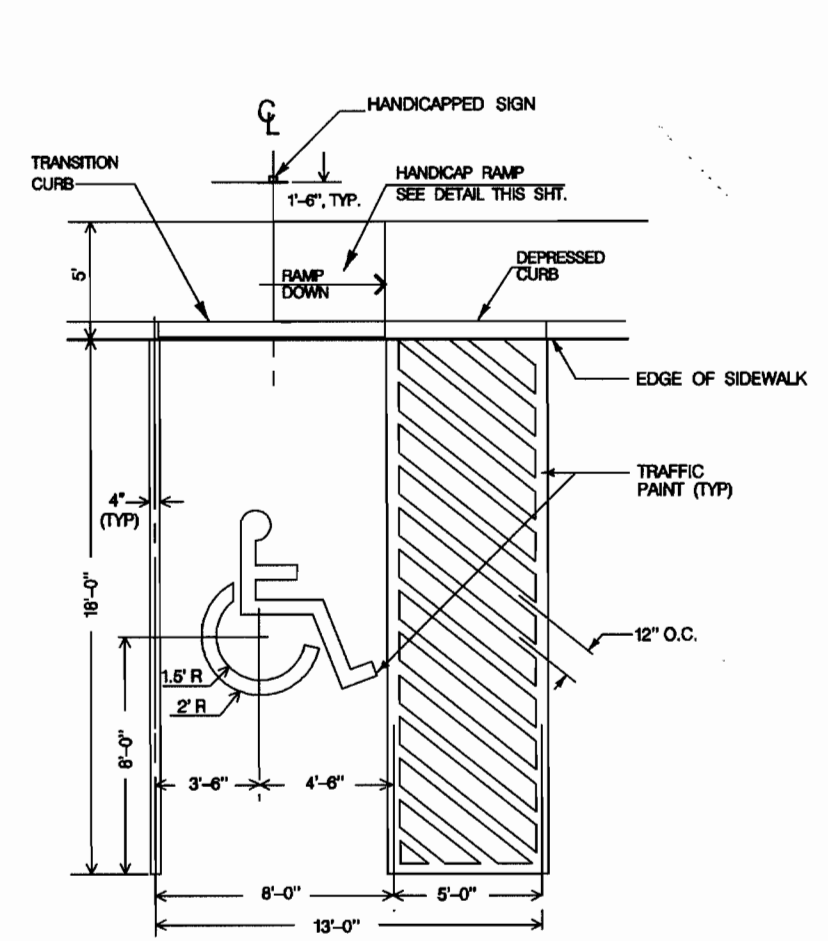
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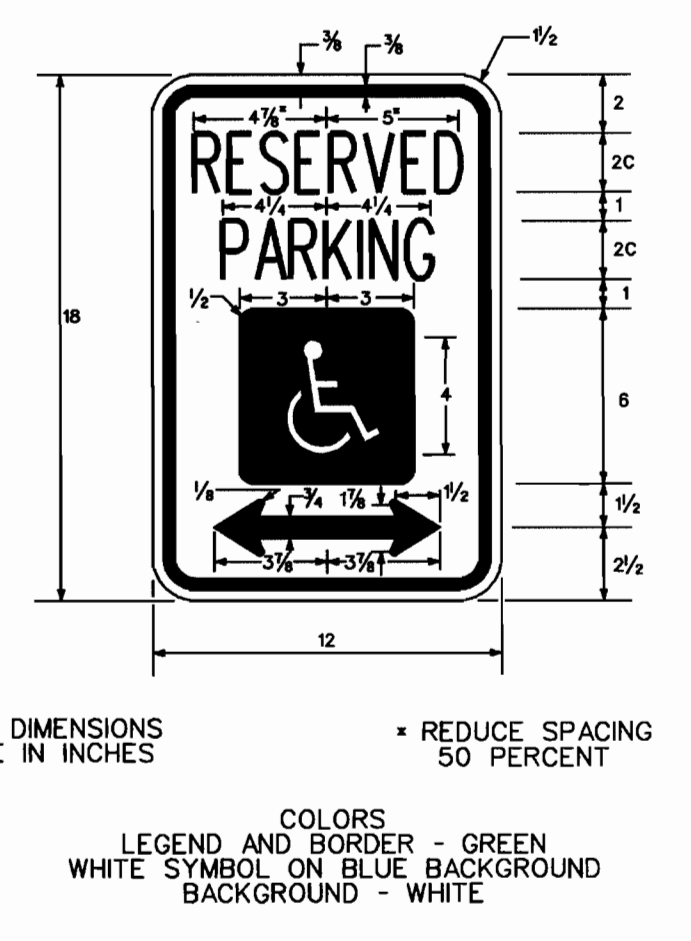
Detail Concrete Walk
Not To Scale



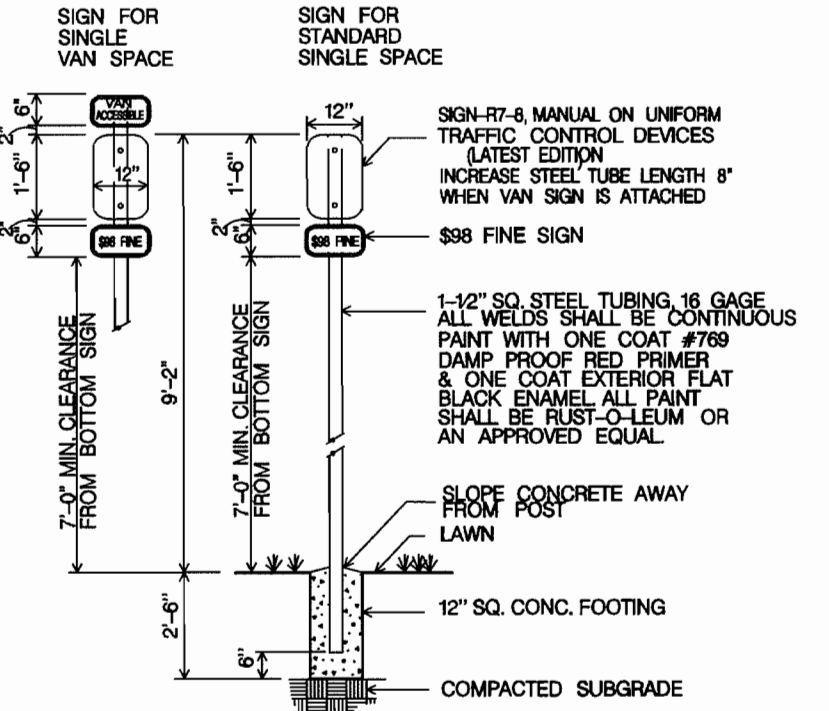
Detail Van Accessible Handicap Parking Spaces
Not To Scale



Detail Handicap Parking Space
Not To Scale



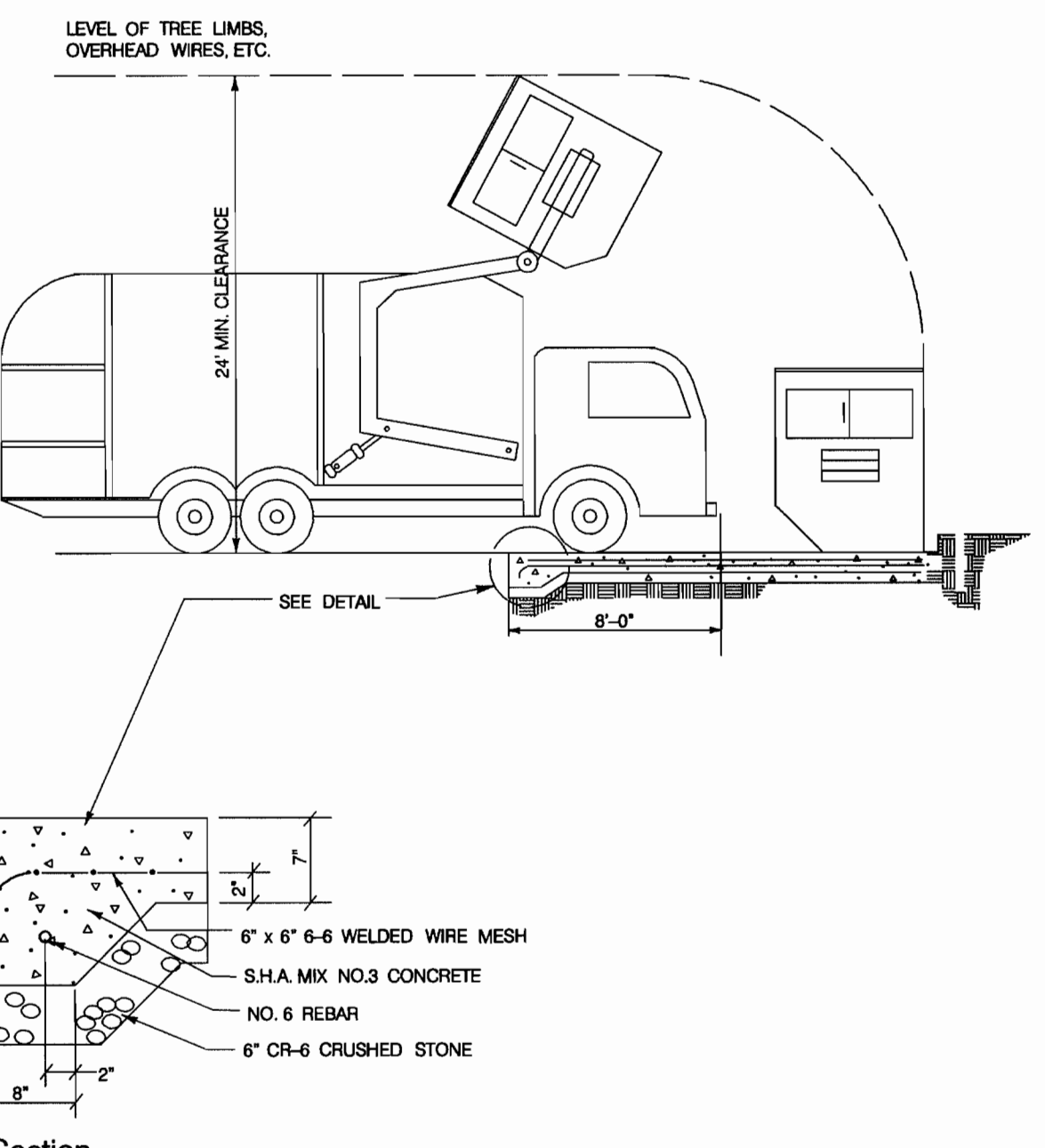
Detail Handicap Parking Sign & Post
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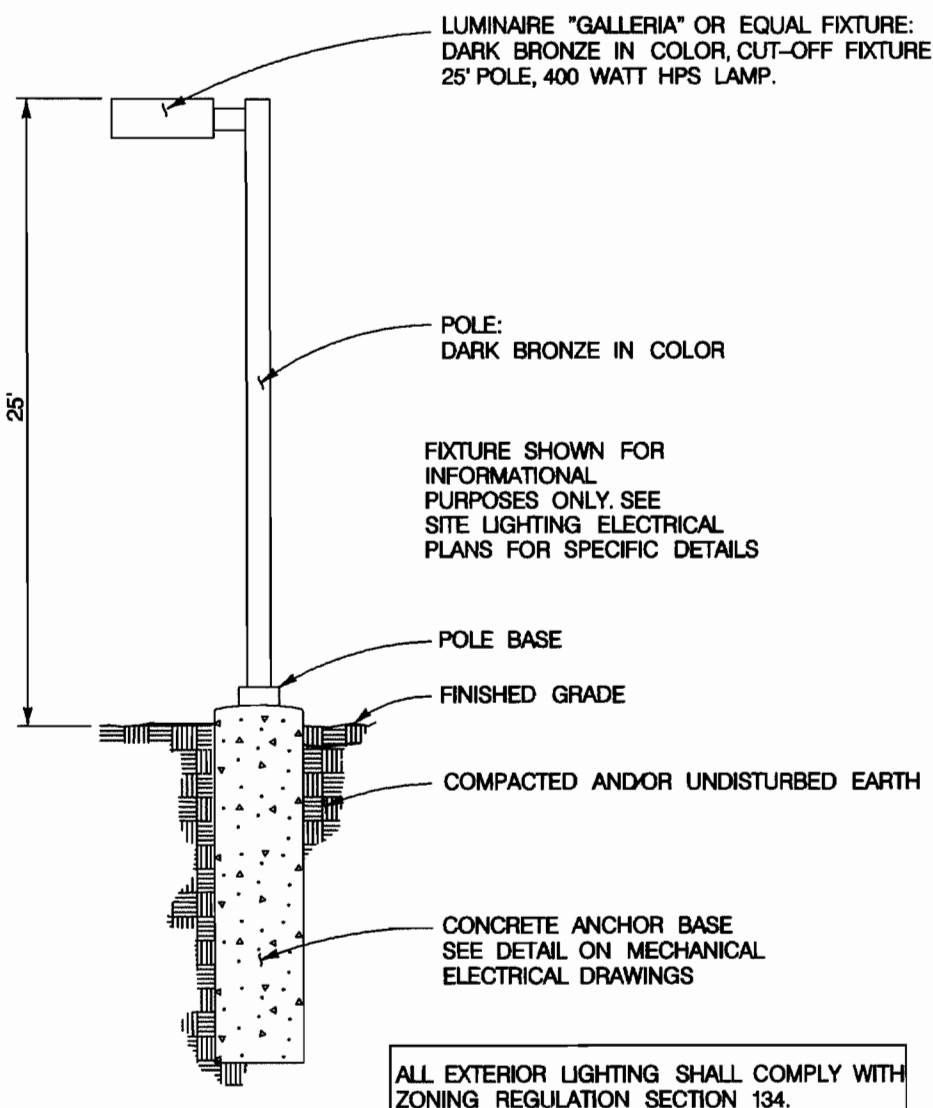
- NOTES:
- DISTANCE FROM GROUND TO BOTTOM OF SIGN SHALL BE 7'
 - SEE HANDICAPPED PARKING SPACE DETAIL THIS SHEET FOR LOCATION OF HANDICAPPED SIGN
 - VAN ACCESSIBLE SPACES SHALL INCLUDE "VAN SIGN" AS REQUIRED
 - SIGNS SHALL CONFORM TO CURRENT ADA CRITERIA



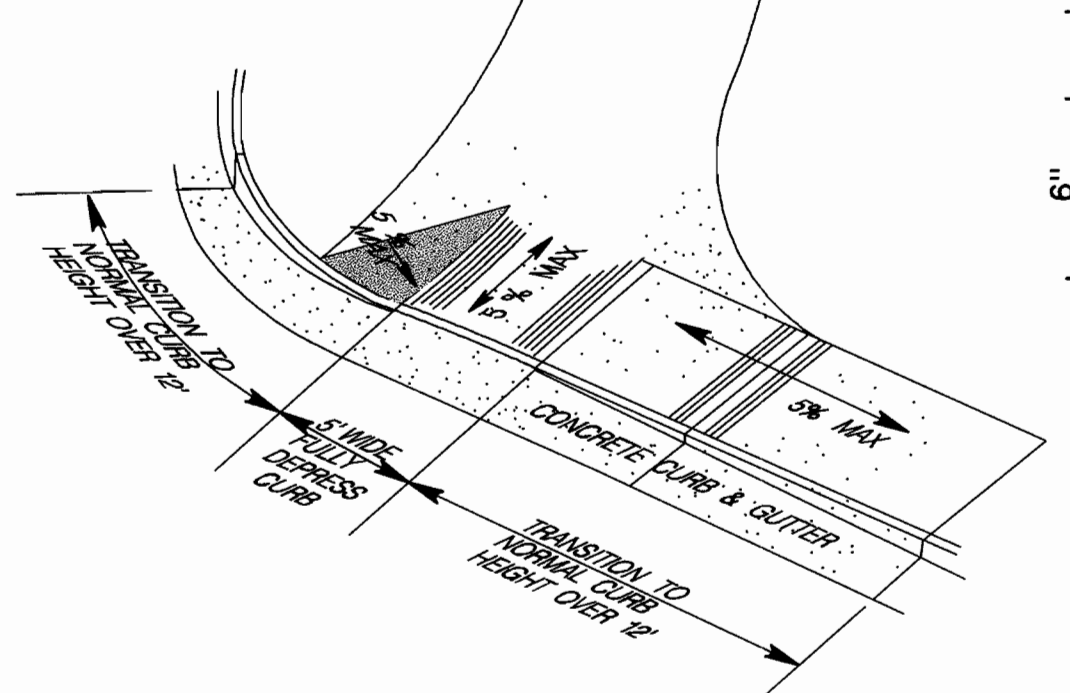
Detail Handicap Parking Signs
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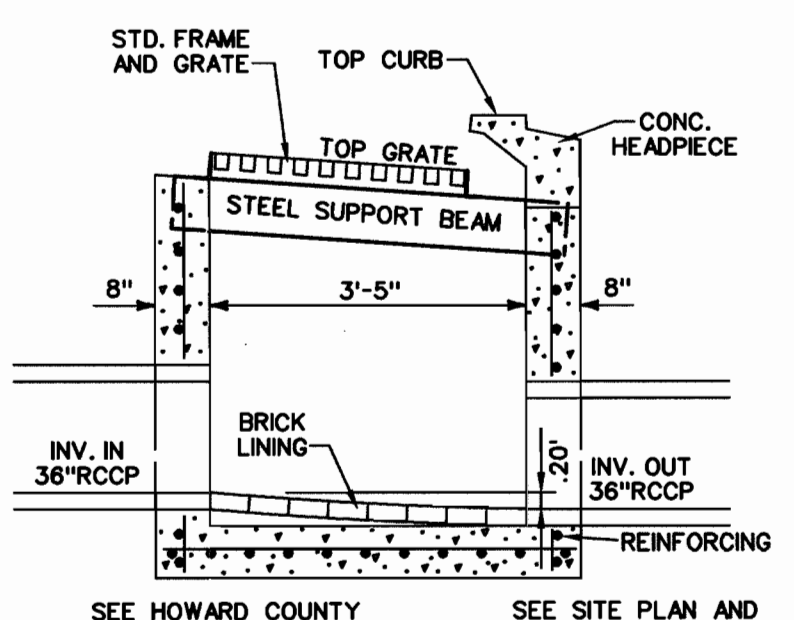
Refer to Howard County Standard Plate R -3.01
Detail Solid Waste Service Pad
Not To Scale



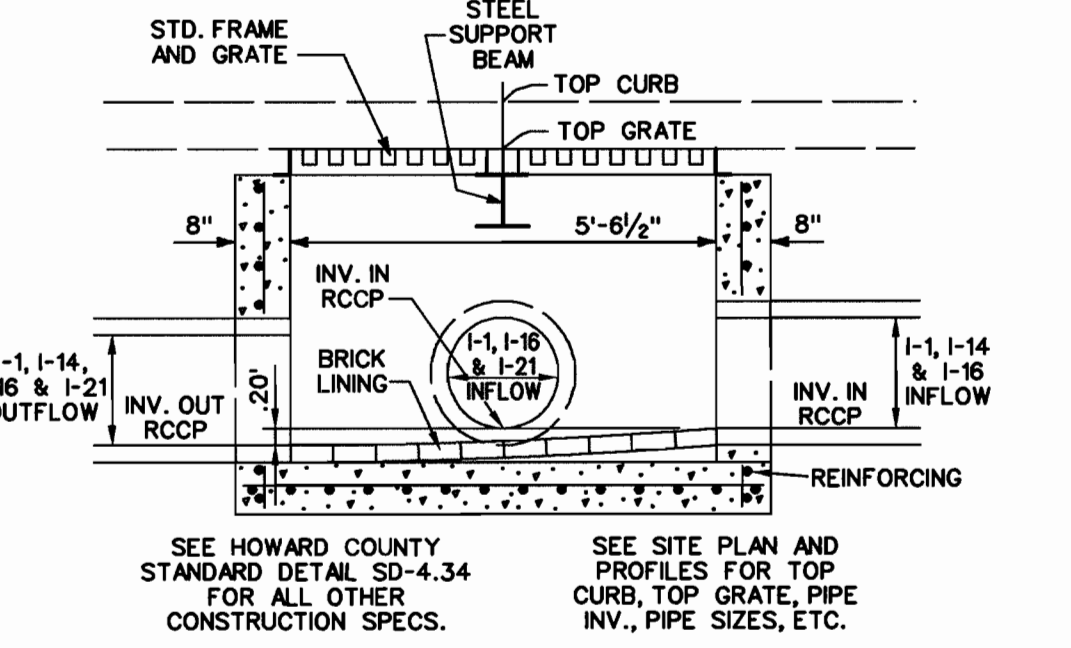
Detail Sharp Cutoff Area Light
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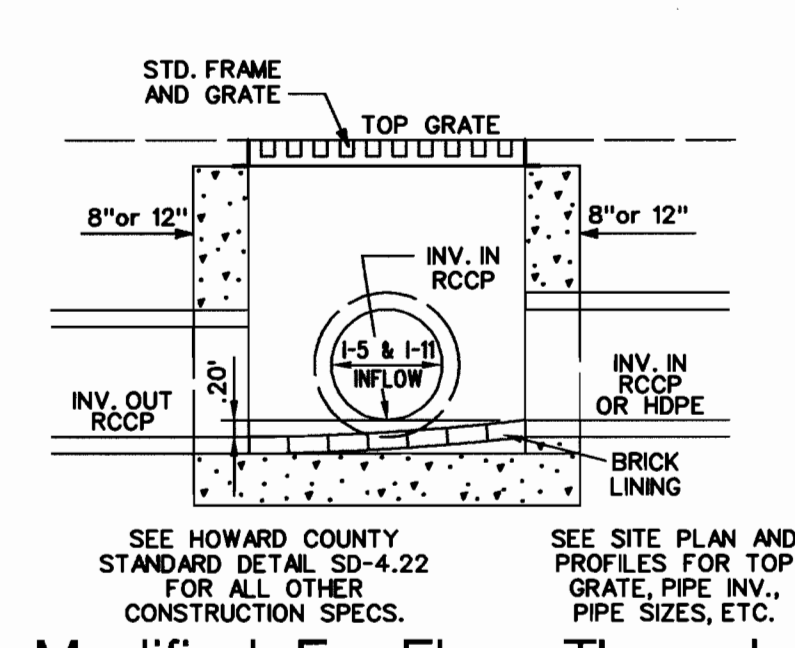
Type 'C' Handicap Ramp
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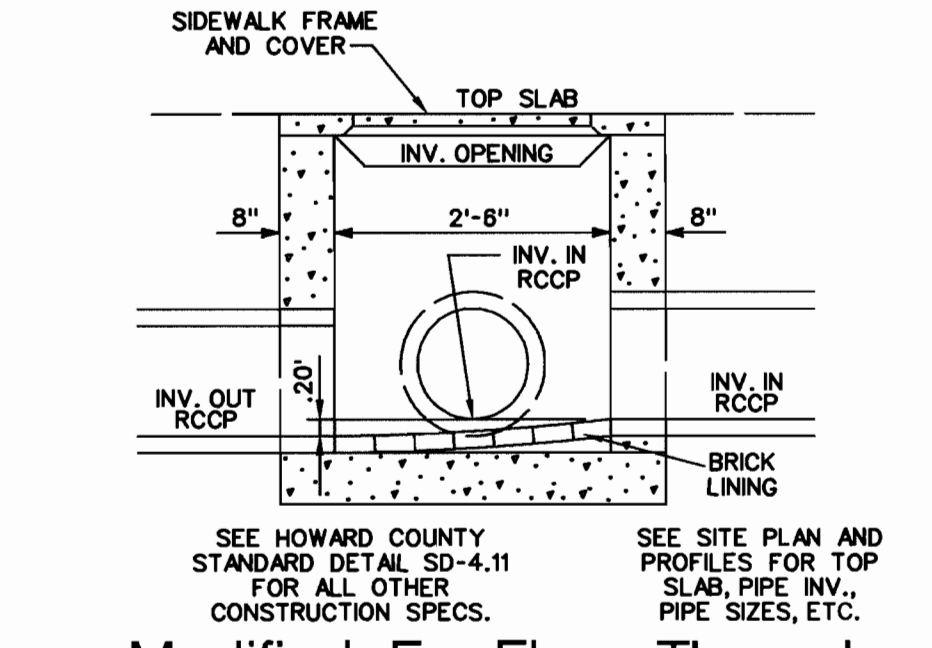
Modified For Flow Through Double Type 'S' Comb. Inlet (I-20)
Not To Scale



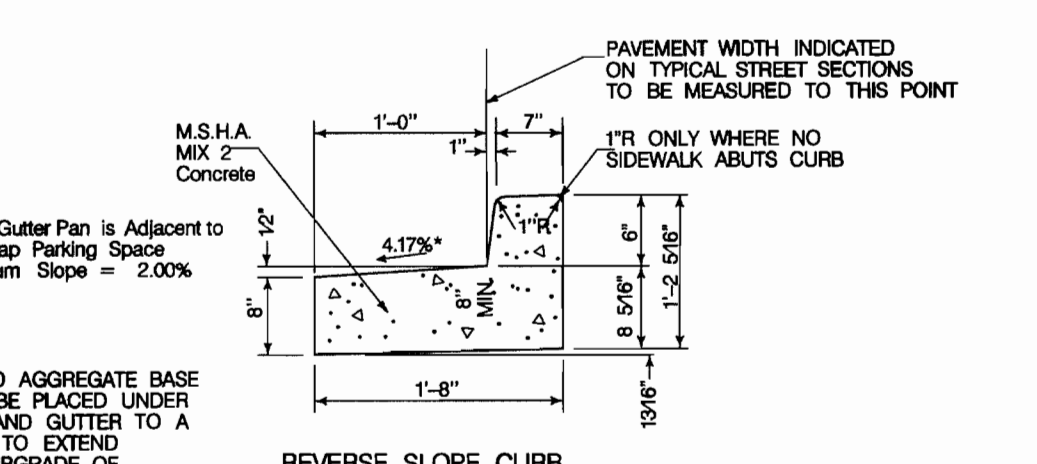
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Not To Scale



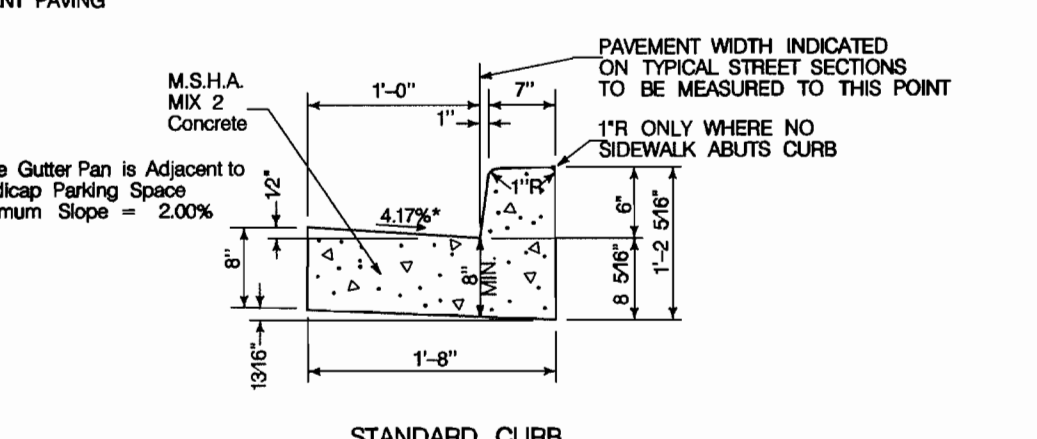
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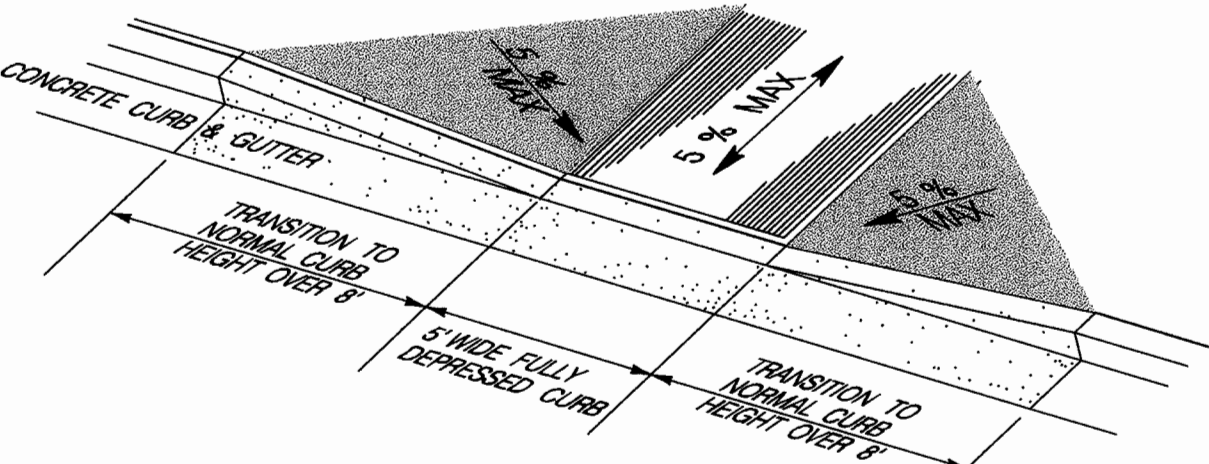
Modified For Flow Through Type 'D' Inlet Grate (I-7)
Not To Scale



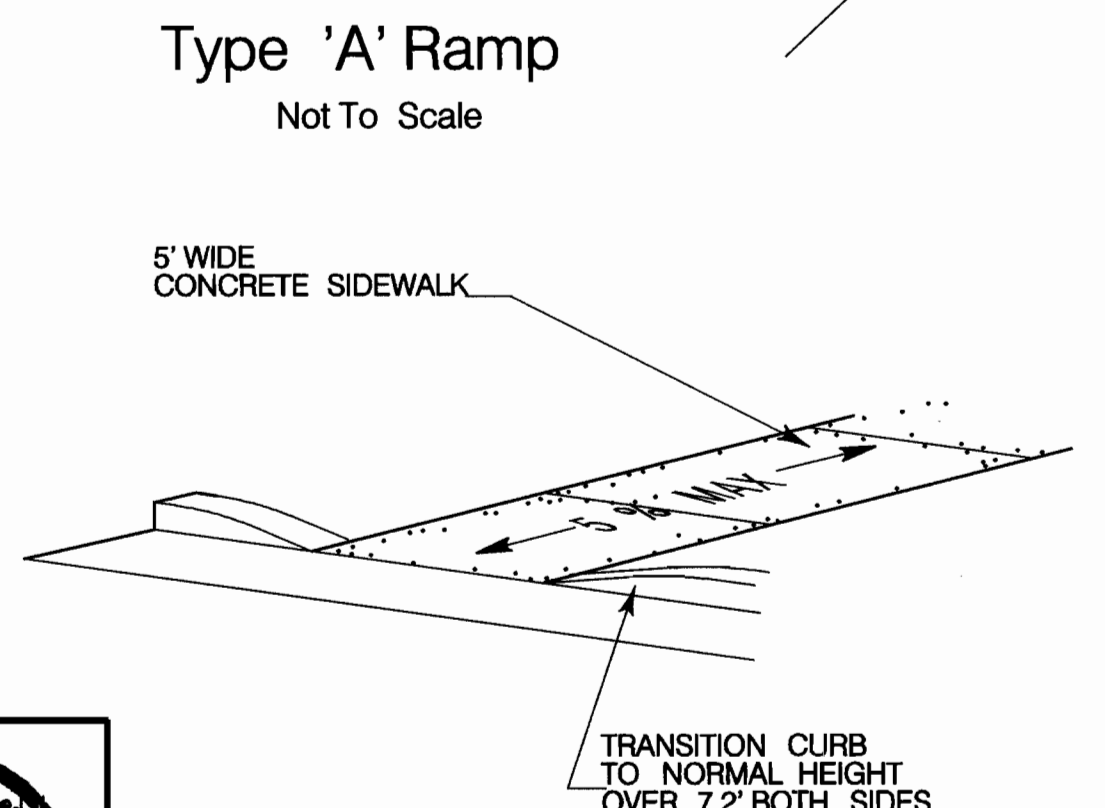
Reverse Slope Curb



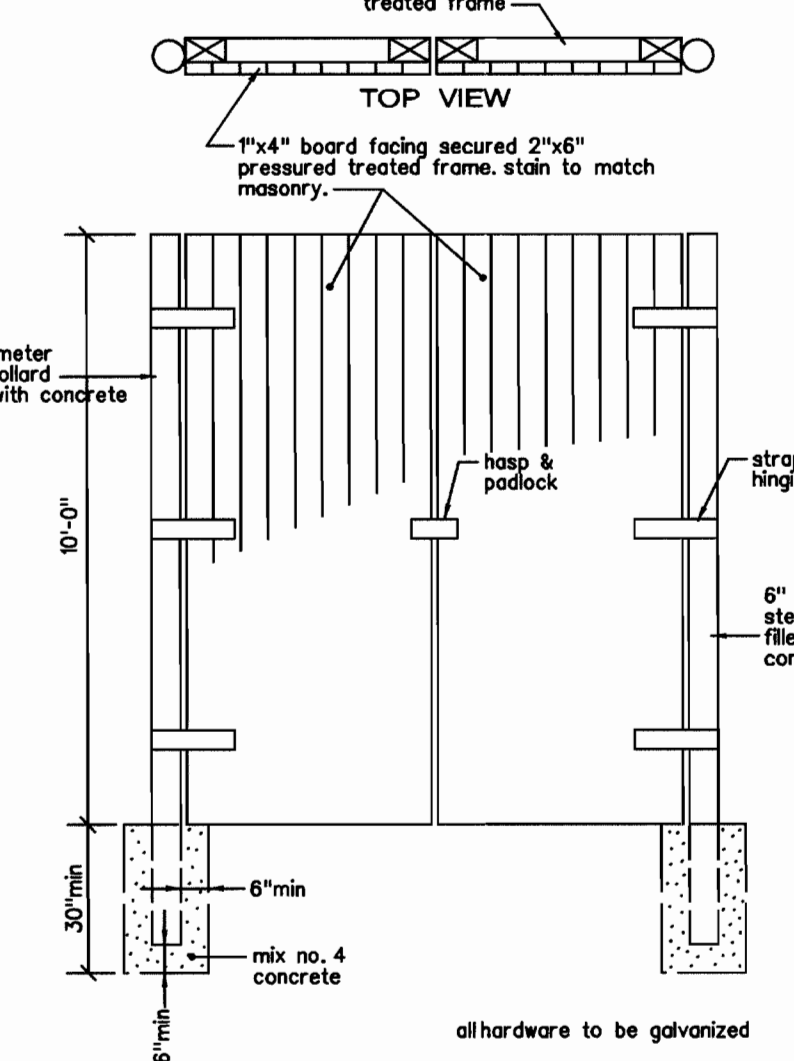
Standard Curb



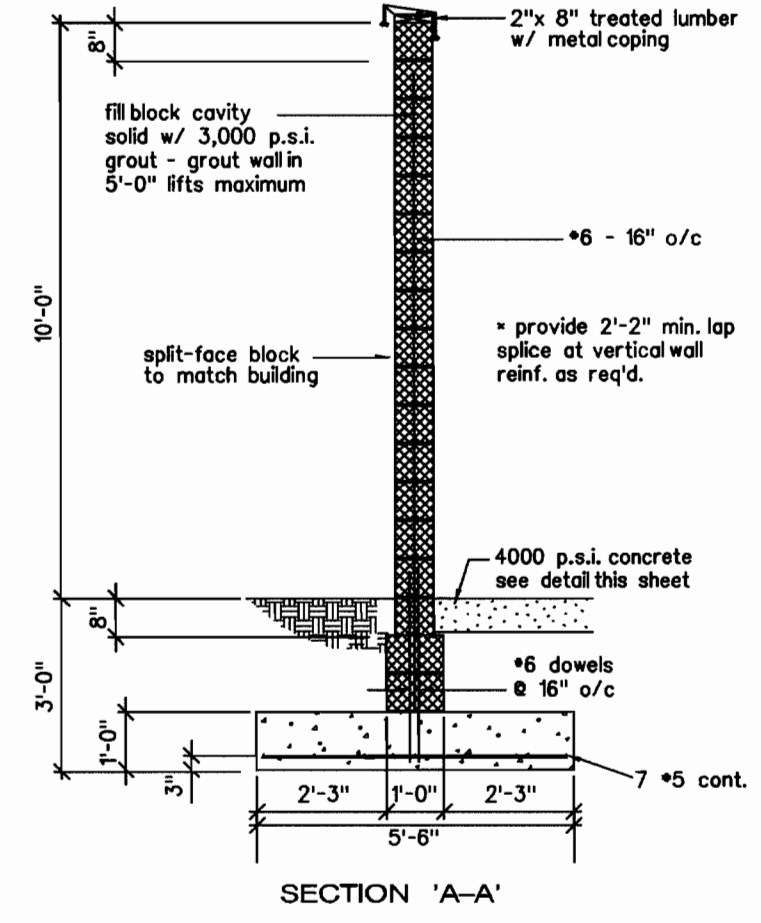
Type 'A' Ramp
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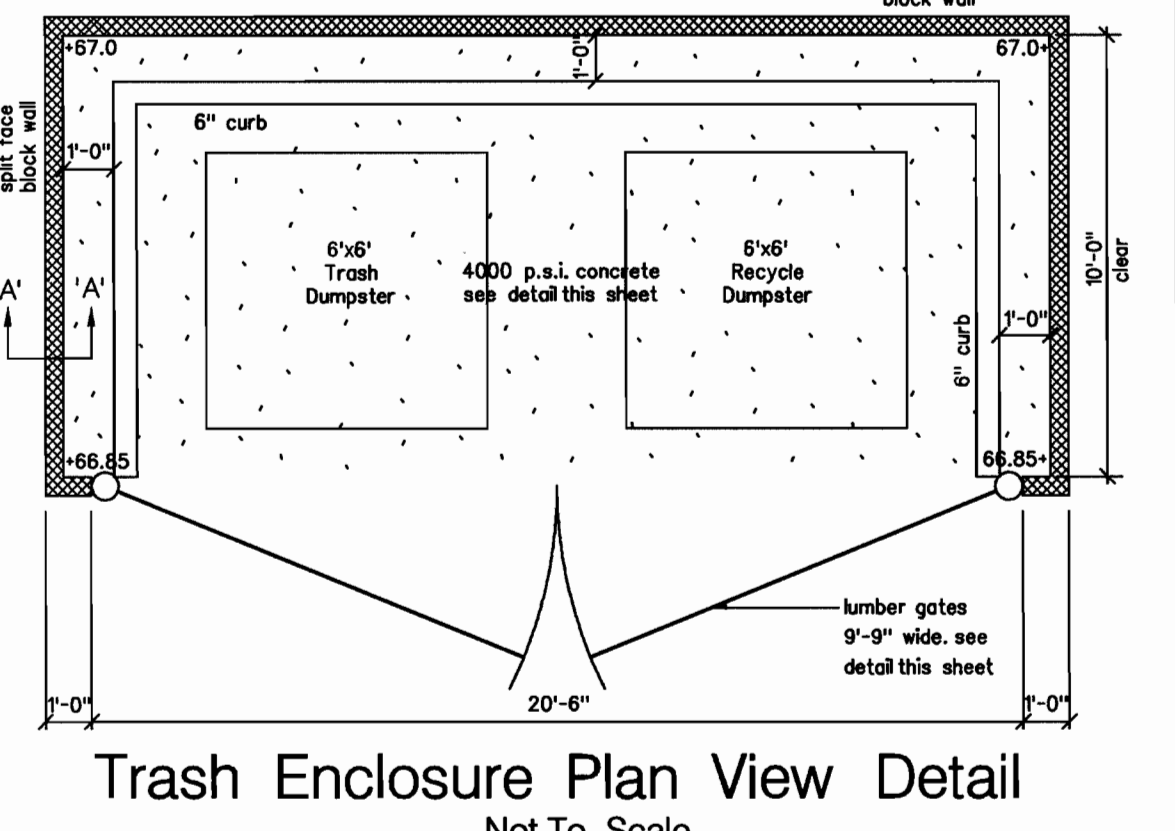
Type 'B' Handicap Ramp
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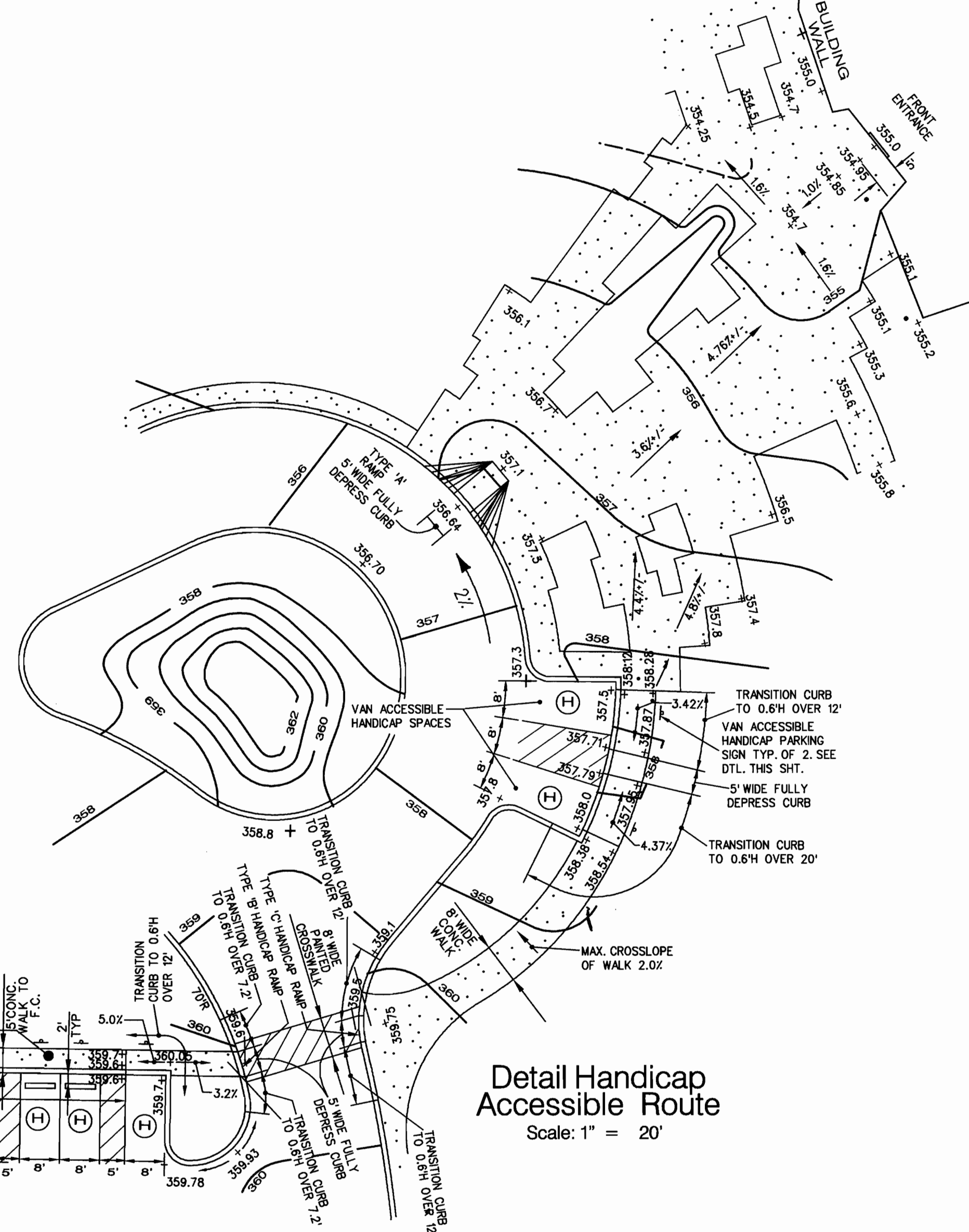
Trash Enclosure Gate Detail
Not To Scale



Trash Enclosure Wall Section Detail
Not To Scale



Trash Enclosure Plan View Detail
Not To Scale



Detail Handicap Accessible Route
Scale: 1" = 20'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *[Signature]* 11/24/00 Date

Chief, Land Development Division: *[Signature]* 11/15/00 Date

Director: *[Signature]* 11/9/00 Date

PERMIT INFORMATION CHART

Subdivision Name	Section /Area	Lot /Parcel No.
Montpeller		E-4
Plat or Liber/Folio	Grid #	Zoning
13930 + 14597	17	PEC
Water Code	Tax Map No.	Election District
E 21	41	5th
	Sewer Code	Census Tract
	6440000	6051.02

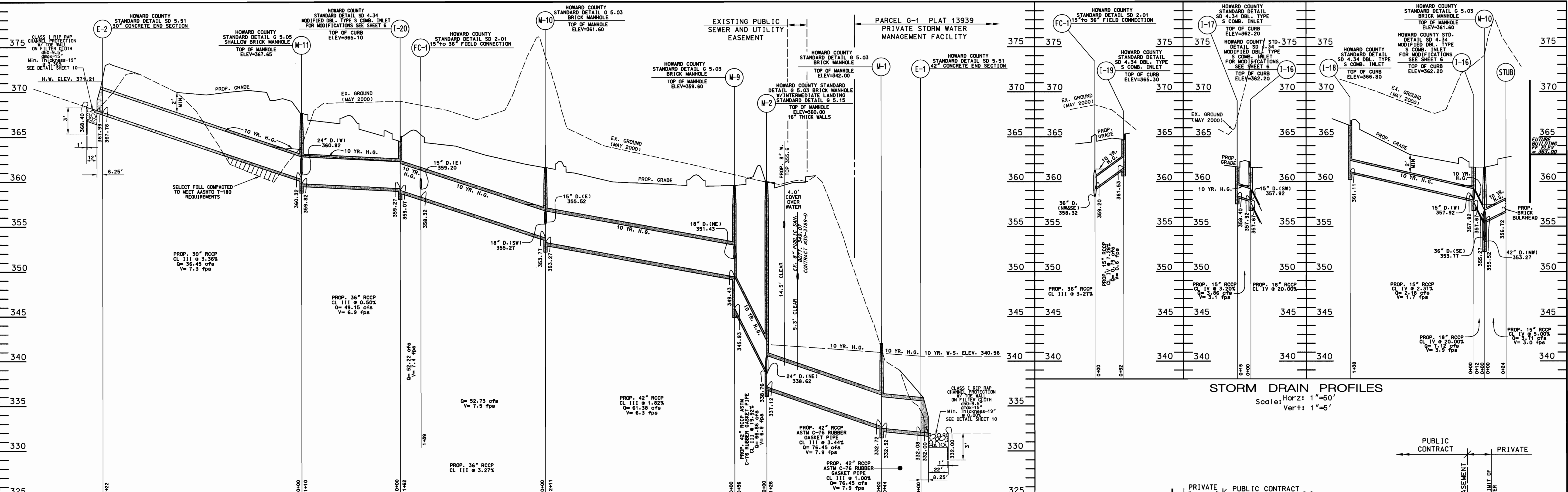
Details
Traditional Acupuncture Institute
Parcel E-4
Montpelier Research Park

Matis Warfield
consulting engineers

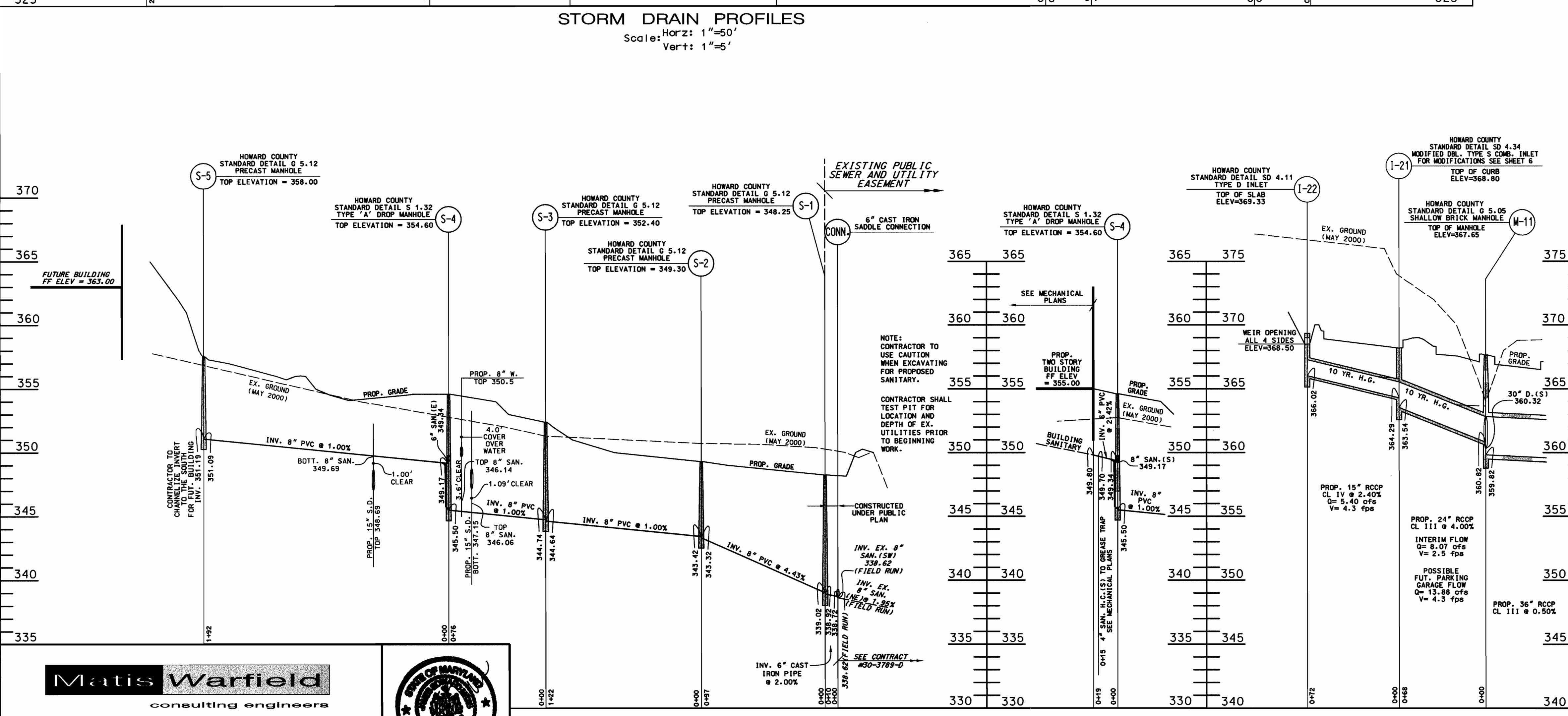
10540 York Road, Suite M
Hunt Valley, Maryland 21038
Phone 410-883-7034
Facsimile 410-883-1798
www.matiswarfield.com



SDP01-05

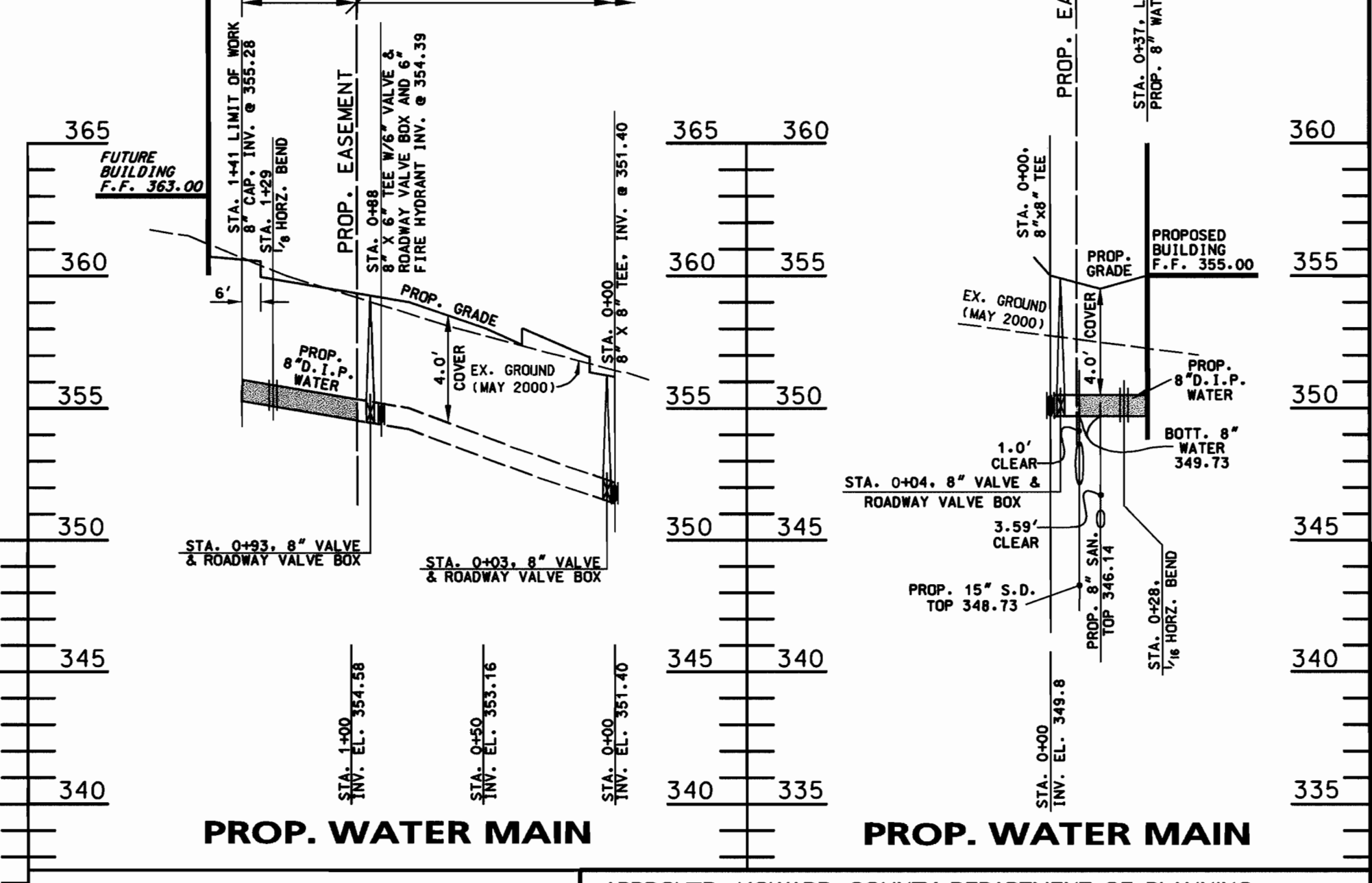


STORM DRAIN PROFILES
Scale: Horz: 1"=50'
Vert: 1"=5'



STORM DRAIN PROFILES
Scale: Horz: 1"=50'
Vert: 1"=5'

SANITARY SEWER PROFILES
Scale: Horz: 1"=50'
Vert: 1"=5'



PROP. WATER MAIN
Scale: Horz: 1"=50'
Vert: 1"=5'

PROP. WATER MAIN

WATER PROFILES
Scale: Horz: 1"=50'
Vert: 1"=5'

Note: For Modified Inlets, See Details Sheet 6.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Land Development Division
 Director

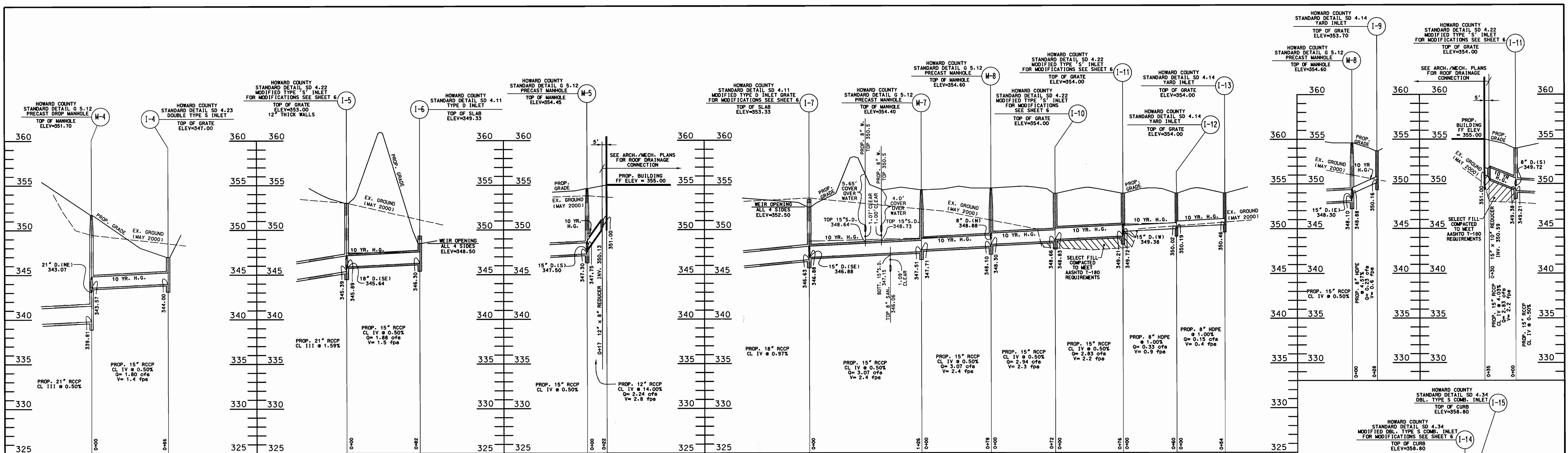
PERMIT INFORMATION CHART			
Subdivision Name Montpelier	Section / Area	Lot / Parcel No. E-4	
Plat or Liber/ Folio 13939 r 14597	Grid # 17	Zoning PEC	Tax Map No. 41
Water Code E 21	Sewer Code 6440000	Election District 6th	Census Tract 6051.02

Utility Profiles and Details
 Traditional Acupuncture Institute
 Parcel E-4
 Montpelier Research Park

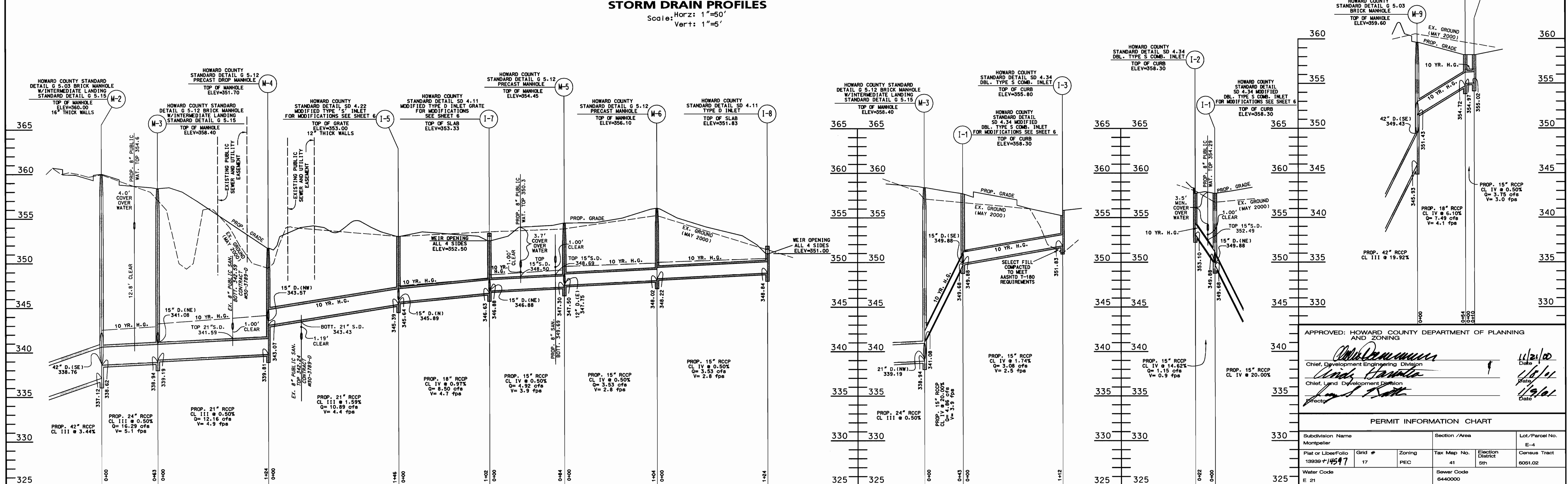
Howard County, Maryland
 Scale: As Shown
 Sheet 7 of 11
 November 3, 2000
 SDP 01-05

Matis Warfield
 consulting engineers
 10540 York Road, Suite 100
 Hunt Valley, Maryland 21086
 Phone: 410-885-7004
 Facsimile: 410-885-7008
 www.matiswarfield.com





STORM DRAIN PROFILES
Scale: Horiz: 1"=50'
Vert: 1"=5'



STORM DRAIN PROFILES
Scale: Horiz: 1"=50'
Vert: 1"=5'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature]
Chief, Development Engineering Division
Date: 11/21/00

[Signature]
Chief, Land Development Division
Date: 11/21/00

PERMIT INFORMATION CHART

Subdivision Name Montpelier	Section /Area 17	Lot/Parcel No. E-4
Plat or Liber/Folio 19939 + 14597	Grid # PEC	Tax Map No. 41
Water Code E 21	Election District 5th	Census Tract 6051.02
	Sanwer Code 6440000	

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Hunt Valley, Maryland
Phone: 410-883-7004
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Utility Profiles and Details
Traditional Acupuncture Institute

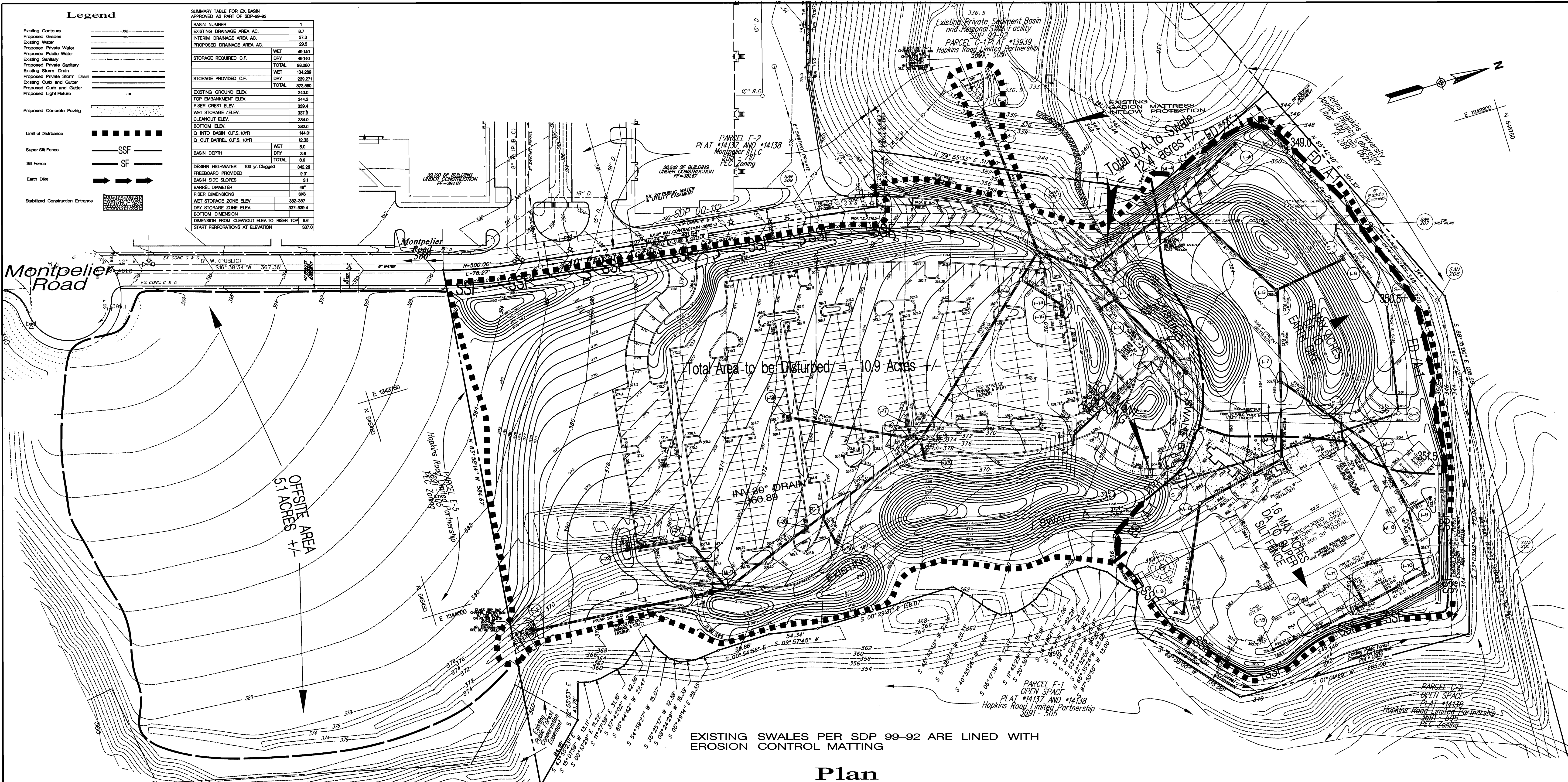
Parcel E-4
Montpelier Research Park

Howard County, Maryland
Scale: As Shown

Sheet 8 of 11
November 3, 2000
SDP 01-05

Note: For Modified Inlets, See Details Sheet 6.

SDP-01-05



Legend

- Existing Contours
- Proposed Grades
- Existing Water
- Existing Private Water
- Proposed Public Water
- Existing Sanitary
- Proposed Private Sanitary
- Existing Storm Drain
- Proposed Private Storm Drain
- Existing Curb and Gutter
- Proposed Curb and Gutter
- Proposed Light Fixture
- Proposed Concrete Paving
- Limit of Disturbance
- Super Silt Fence
- Silt Fence
- Earth Dike
- Stabilized Construction Entrance

SUMMARY TABLE FOR EX BASIN APPROVED AS PART OF SDP-01-02

BASIN NUMBER	1
EXISTING DRAINAGE AREA AC.	8.7
INTERIM DRAINAGE AREA AC.	27.3
PROPOSED DRAINAGE AREA AC.	26.5
STORAGE REQUIRED C.F.	WET 48,140
TOTAL	98,280
STORAGE PROVIDED C.F.	WET 134,289
TOTAL	239,271
EXISTING GROUND ELEV.	373,950
TOP EMBANKMENT ELEV.	342.0
RISER CREST ELEV.	338.4
WET STORAGE /ELEV.	337.0
CLEANOUT ELEV.	334.0
BOTTOM ELEV.	332.0
Q INTO BASIN C.F.S. 10YR	144.01
Q OUT BARREL C.F.S. 10YR	12.33
BASIN DEPTH	WET 5.0
DRY	3.8
DESIGN HIGHWATER 100 yr. Clogged	342.28
FREEBOARD PROVIDED	2.0'
BASIN SIDE SLOPES	3:1
BARREL DIAMETER	48"
RISER DIMENSIONS	6'x6'
WET STORAGE ZONE ELEV.	332-337
DRY STORAGE ZONE ELEV.	337-338.4
BOTTOM DIMENSION	
DIMENSION FROM CLEANOUT ELEV. TO RISER TOP	8.6'
START PERFORATIONS AT ELEVATION	337.0

ENGINEER'S CERTIFICATE

I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

James E. Matts
James E. Matts, P.E. MD 18848
Date: 11/3/00

DEVELOPER'S CERTIFICATE

We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

W. Harry Schwarz
For Traditional Acupuncture Institute, Inc. By: W. Harry Schwarz, CFO
Date: 11-3-00



SEDIMENT CONTROL STANDARD GENERAL NOTES

- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (SDP-01-05).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL".
- FOLLOWING INITIAL SOIL DISTURBANCE OR RESTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - A. SEVEN CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, Dikes, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1.
 - B. FOURTEEN DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE.
 - C. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE "HOWARD COUNTY MANUAL," STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR PERMANENT SEEDINGS, SOCS, TEMPORARY SEEDING AND MULCHING SECTION C. TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
7. SITE ANALYSIS:
 - TOTAL AREA OR SITE: +/- 12,463 ACRES
 - AREA TO BE ROOFED OR PAVED: +/- 4.5 ACRES
 - AREA TO BE VEGETATIVELY STABILIZED: +/- 8.4 ACRES
 - TOTAL CUT: +/- 35,000 CUBIC YARDS
 - TOTAL FILL: +/- 35,000 CUBIC YARDS
 - OFF-SITE WASTE/BORROW AREA LOCATION WASTE - N/A
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DRY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- REMARKS FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE (3) FEET LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE (1) DAY, WHICHEVER IS SHORTER.

SEDIMENT CONTROL SEQUENCE OF OPERATIONS

TASK	NO. OF DAYS
1. Obtain grading permit	7
2. Cleanout and repair existing sediment basin, inspect existing gabion mattress inflow protection and erosion control matting in existing swales and repair if necessary. (Soil features installed per SDP 99-92) Install erosion and sediment control measures	7
3. With the approval of the sediment control inspector begin grading by excavating area south of existing Swale B and west of existing Swale A and placing material in borrow including under building pad. Utilize swale/equipment crossing area to move equipment and material from one side of the site to the other. Proposed construction of earth mounds shall not interfere with existing Swale A or B or earth dike system	21
4. Begin building foundation and utility installation. Install storm drains beginning at E-1 and extending upstream. When drain system reaches M-1 extend 20' drain 17'-4" feet upstream of M-1 (pipe invert 360.09 +/- 1) to facilitate equipment drainage into storm drain system. Following the installation Swale A may be backfilled north of M-1 to swale/equipment crossing area. Drain system and portion of existing Swale A upstream from M-1 to E-2 shall not be installed/backfilled until Sequence 5. Extension of 21" drain below existing Swale B from M-4 to M-3 to be done during dry weather only with swale channeler installed immediately. As drain inlets become operational, leave unprotected to facilitate drainage to sediment basin. Flush drain system periodically, especially following rainfall events to insure the system remains functional and unobstructed. Complete drain installation with exception of 1'-3" and system upstream from M-1. Complete sanitary sewer and water main, except where water main interferes with Swale B.	60
5. During dry weather only and with the approval of the sediment control inspector complete remaining storm drainage system and water main Swale B and remaining portion of Swale A may be backfilled and existing 27" CMP temporary pipes shall then be removed.	10
6. Complete remainder of grading and install curb and gutter and stone subbase in parking and drive areas. Install adequate, permanently stabilize any areas to remain grass.	45
7. Flush storm drain system from upstream ends downstream to sediment basin. Remove accumulated sediment from sediment basin. Proceed with paving installation.	7
8. With the approval of the sediment control inspector remove remaining sediment control devices and stabilize.	2

Plan
Scale 1" = 50'

Legal Owner (current):
Hopkins Road Limited Partnership
9030 Red Branch Road
Suite 200
Columbia, Maryland 21045
Phone 410-997-7222
Fax 410-997-6453

Developer and Contract Purchaser
Traditional Acupuncture Institute, Inc.
American Cities Building
10227 Wincopin Circle
Suite 100
Columbia, Maryland 21044-3422
Phone 410-997-4888

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

W. Harry Schwarz
Chief, Development Engineering Division
Date: 11/21/00

James E. Matts
Chief, Land Development Division
Date: 11/8/01

James E. Matts
Date: 11/9/01

Reviewed for Howard SCD and meets Technical Requirements

J.G. Waddell / a.
USDA - Natural Resources Conservation Service
Date: 11/17/00

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT

J.R. Robertson / a.s.
Howard SCD
Date: 11/17/00

PERMIT INFORMATION CHART

Subdivision Name Montpelier	Section /Area	Lot/Parcel No. E-4
Plat or Liber/Folio 13939 + 14547	Grid # 17	Zoning PEC
Water Code E 21	Tax Map No. 41	Election District 5th
	Sewer Code 6440000	Census Tract 6061.02

Sediment and Erosion Control Plan
Traditional Acupuncture Institute
Parcel E-4
Montpelier Research Park

Howard County, Maryland
Scale: As Shown

Sheet 9 of 11
November 3, 2000
SDP 01-05

SDP-01-05

Topsoil Specifications

21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

Definition
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose
To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

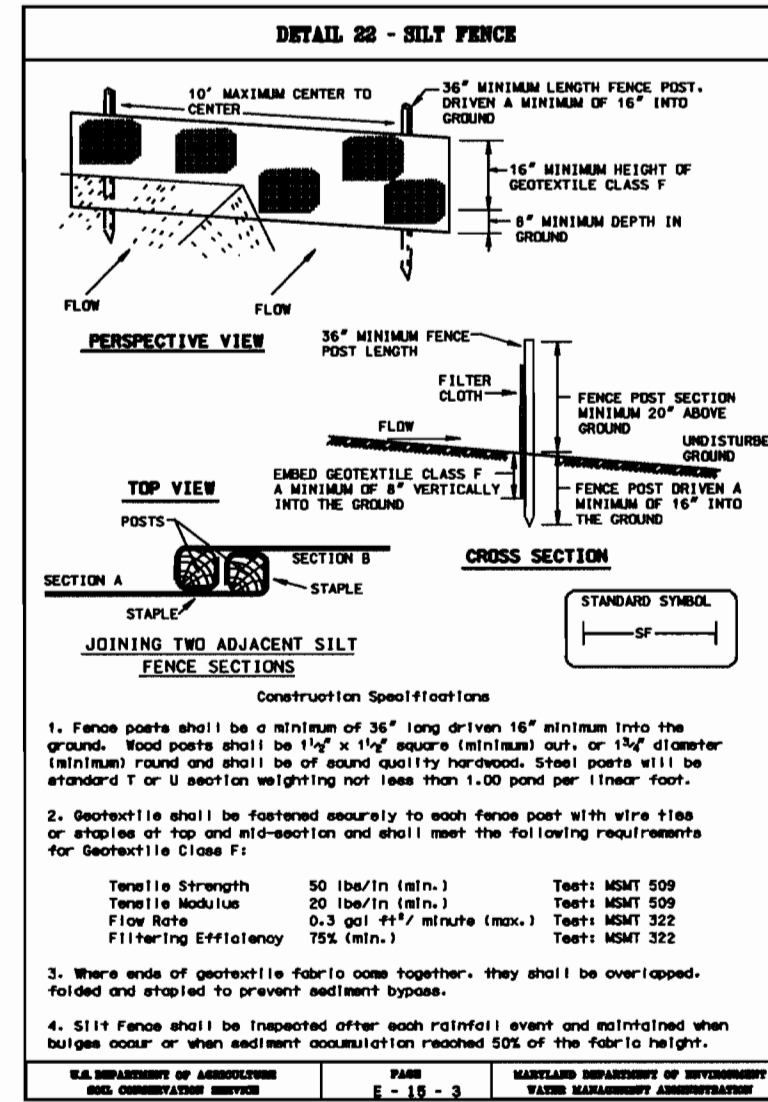
Conditions Where Practice Applies
I. This practice is limited to areas having 2:1 or flatter slopes where:
a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
c. The original soil to be vegetated contains material toxic to plant growth.
d. The soils so acidic that treatment with limestone is not feasible.

II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications
I. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the soil survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.
II. Topsoil Specifications - Soil to be used as topsoil must meet the following:
i. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, logs, coarse fragments, gravel sticks, roots, trash, and other materials larger than 1/2 inch in diameter.
ii. Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.
iii. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

IV. For sites having disturbed areas under 5 acres:
i. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.
III. For sites having disturbed areas over 5 acres:
i. On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
a. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
b. Organic contents of topsoil shall be not less than 1.5 percent by weight.
c. Topsoil having soluble salt content greater than 500 parts per million shall not be used.

or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.
Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.
ii. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.
V. Topsoil Application
i. When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
ii. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4/32" - 8/32" higher in elevation.
iii. Topsoil shall be uniformly distributed in a 4/32" - 8/32" layer and lightly compacted to a minimum thickness of 4/32". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
iv. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seeded preparation.



Permanent / Temporary Seeding Notes

PERMANENT SEEDING NOTES
APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:
1. PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ. FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS. PER ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS./1000 SQ. FT.)
2. ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ. FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23 LBS./1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL.

SEEDING - FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS. PER ACRE (14 LBS./1000 SQ. FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31 SEED WITH 60 LBS. KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS. PER ACRE (.05 LBS./1000 SQ. FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY: OPTION (1) - 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) - USE SOD. (3) - SEED WITH 60 LBS./ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

MULCHING - APPLY 1/2 TO 2 TONS PER ACRE (70 - 90 LBS./1000 SQ. FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATIONS USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ. FT.) FOR ANCHORING.

MAINTENANCE - INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDING.

TEMPORARY SEEDING NOTES
APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION - LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS - APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ. FT.)

SEEDING - FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 15 THRU OCTOBER 15, SEED WITH 2/5 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS./1000 SQ. FT.). FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS. PER ACRE OF WEEPING LOVEGRASS (.07 LBS./1000 SQ. FT.). FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

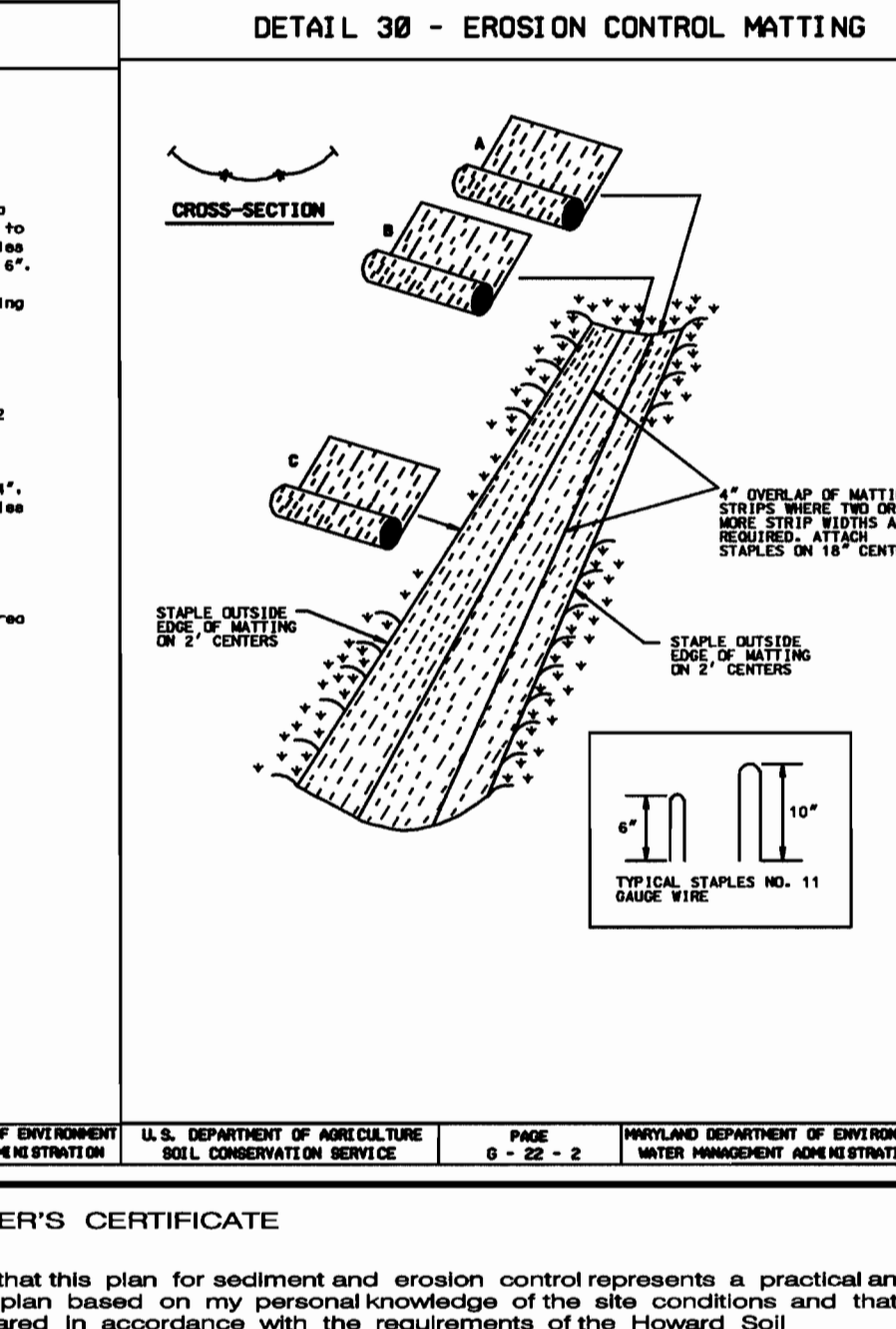
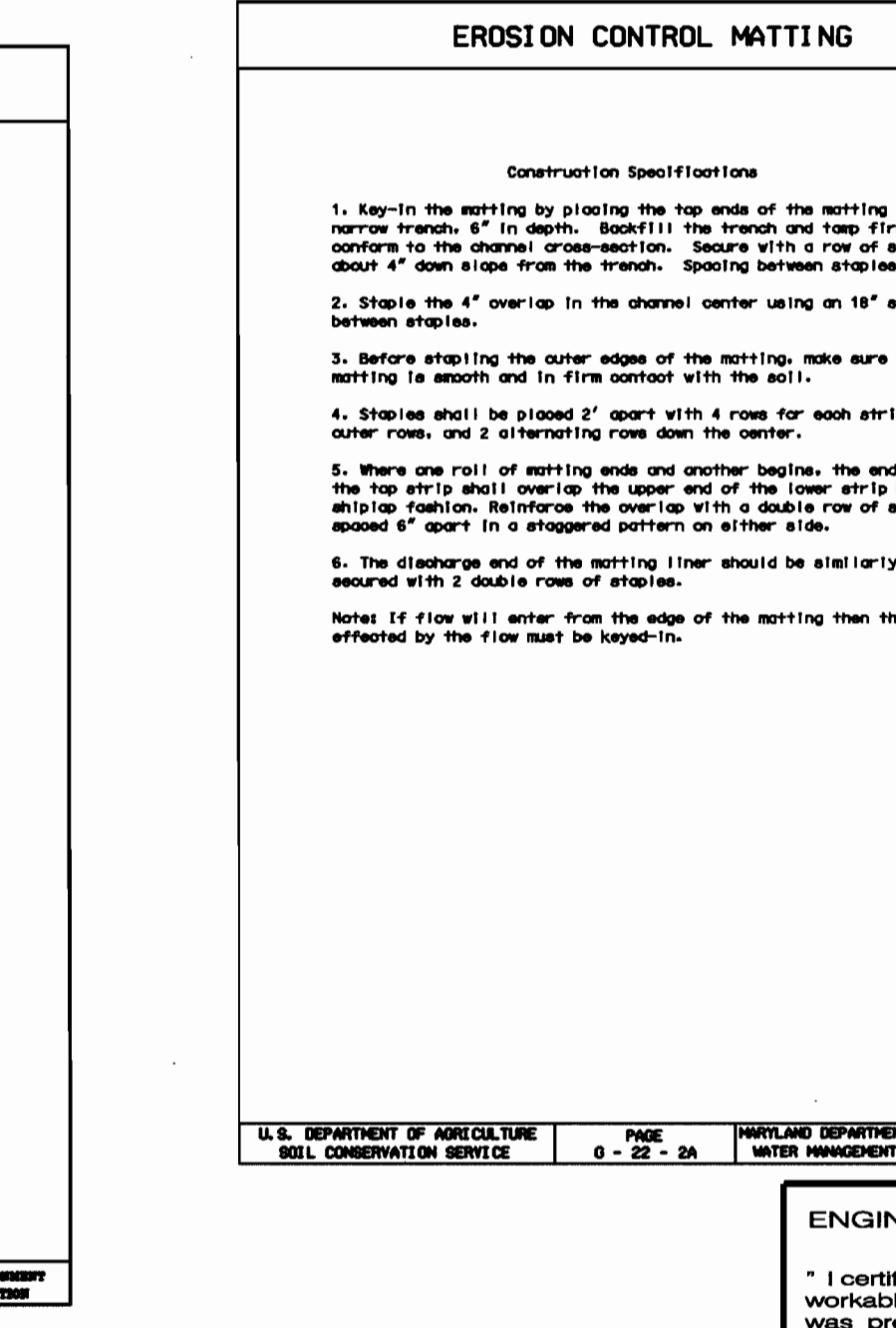
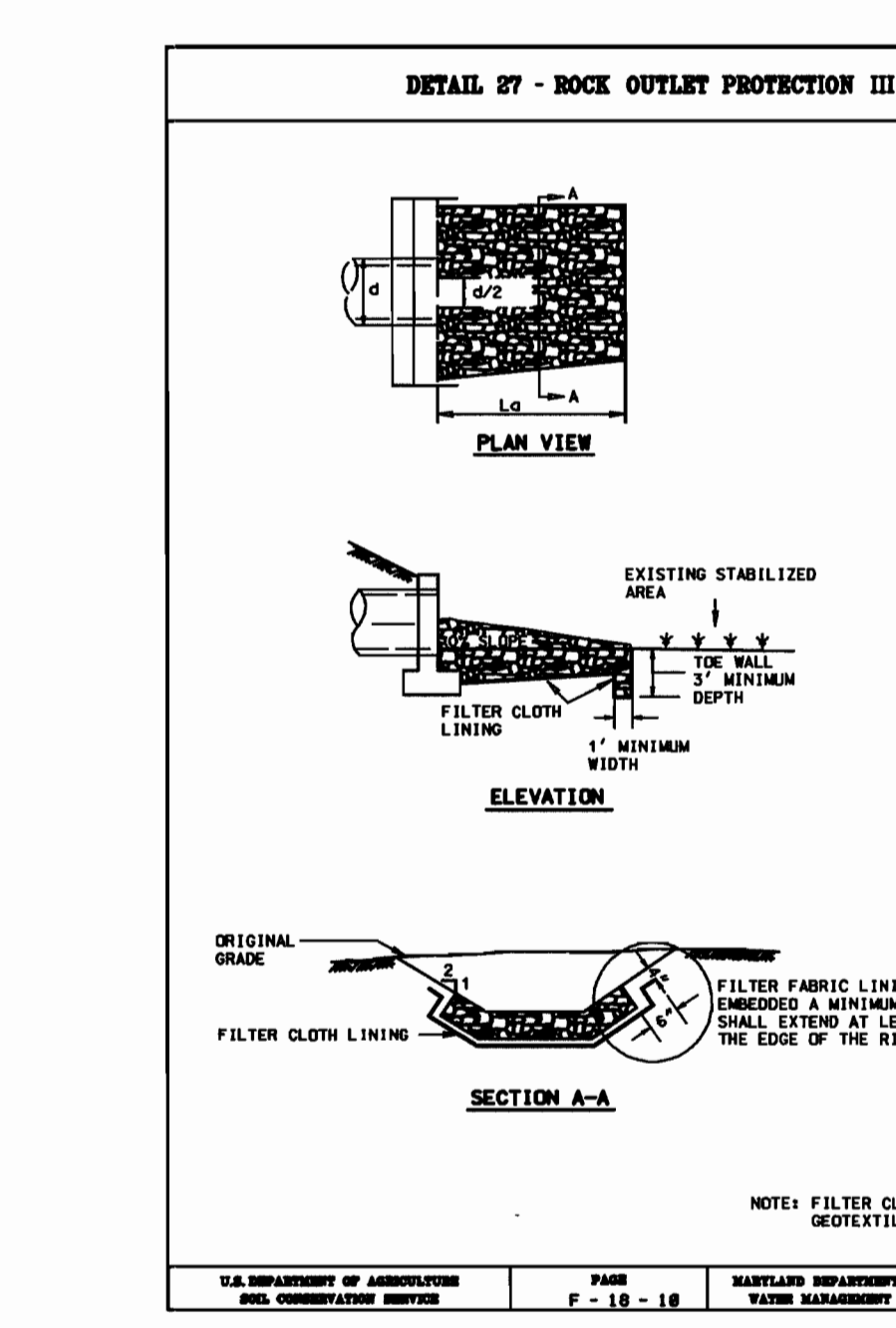
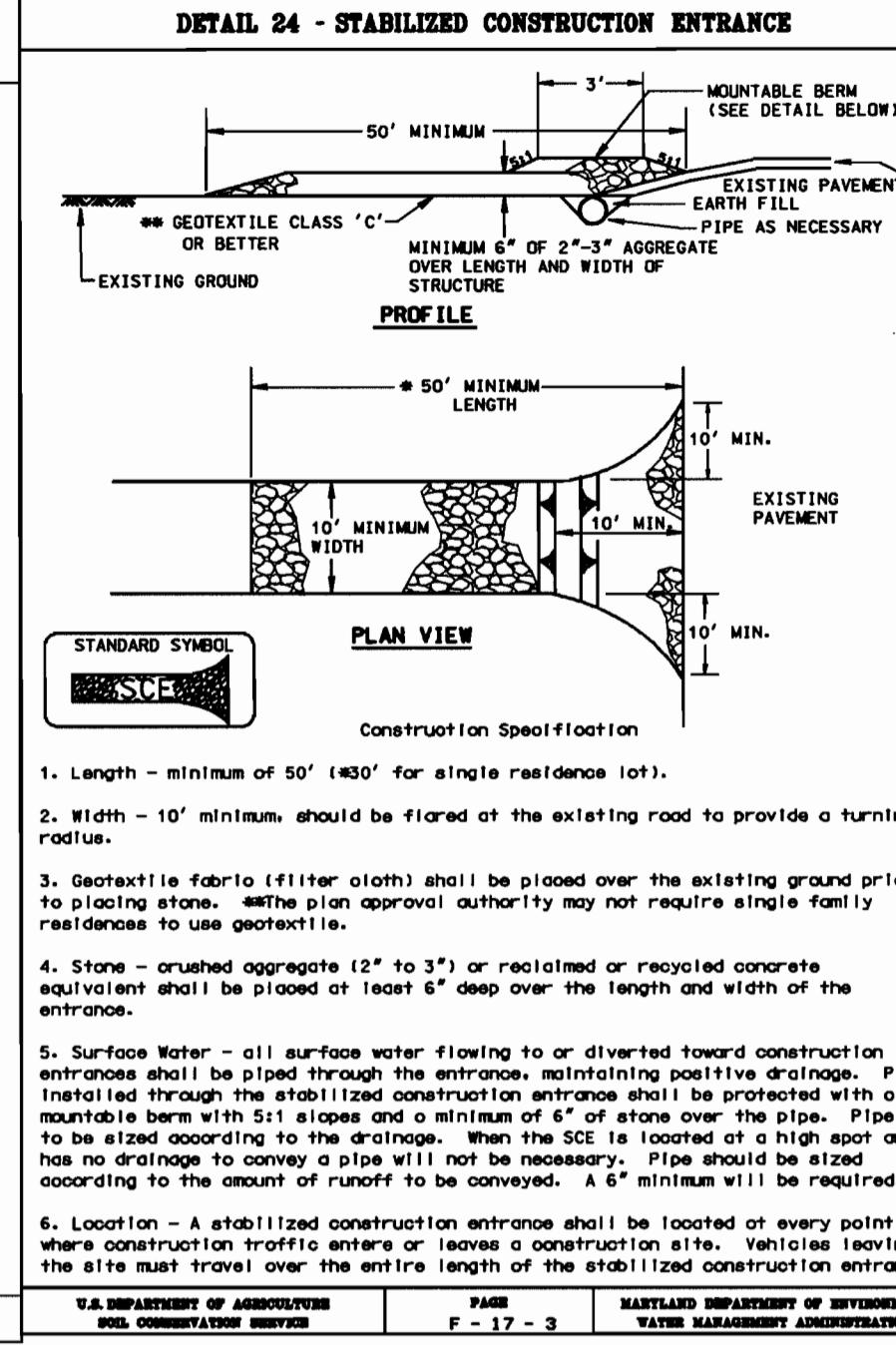
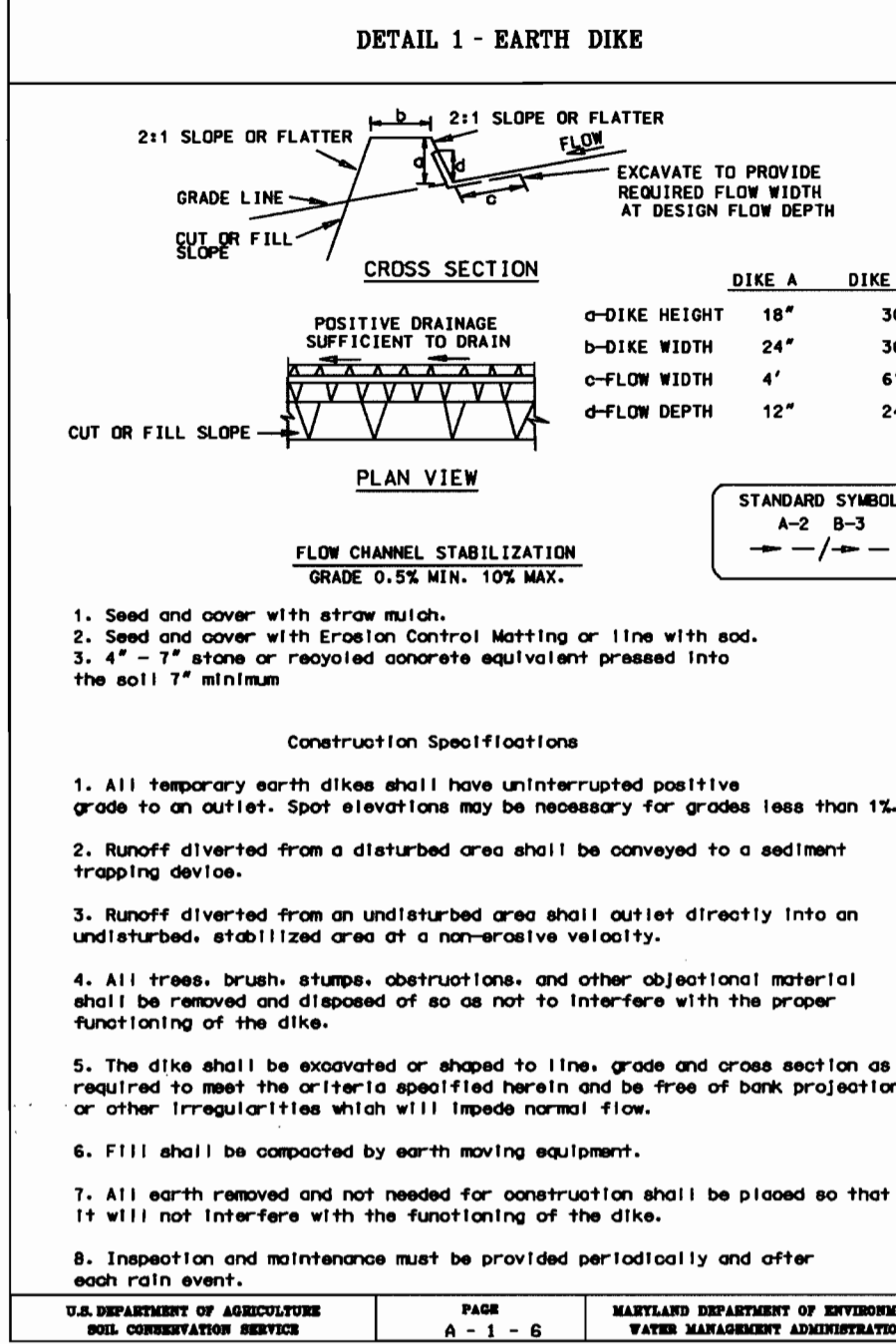
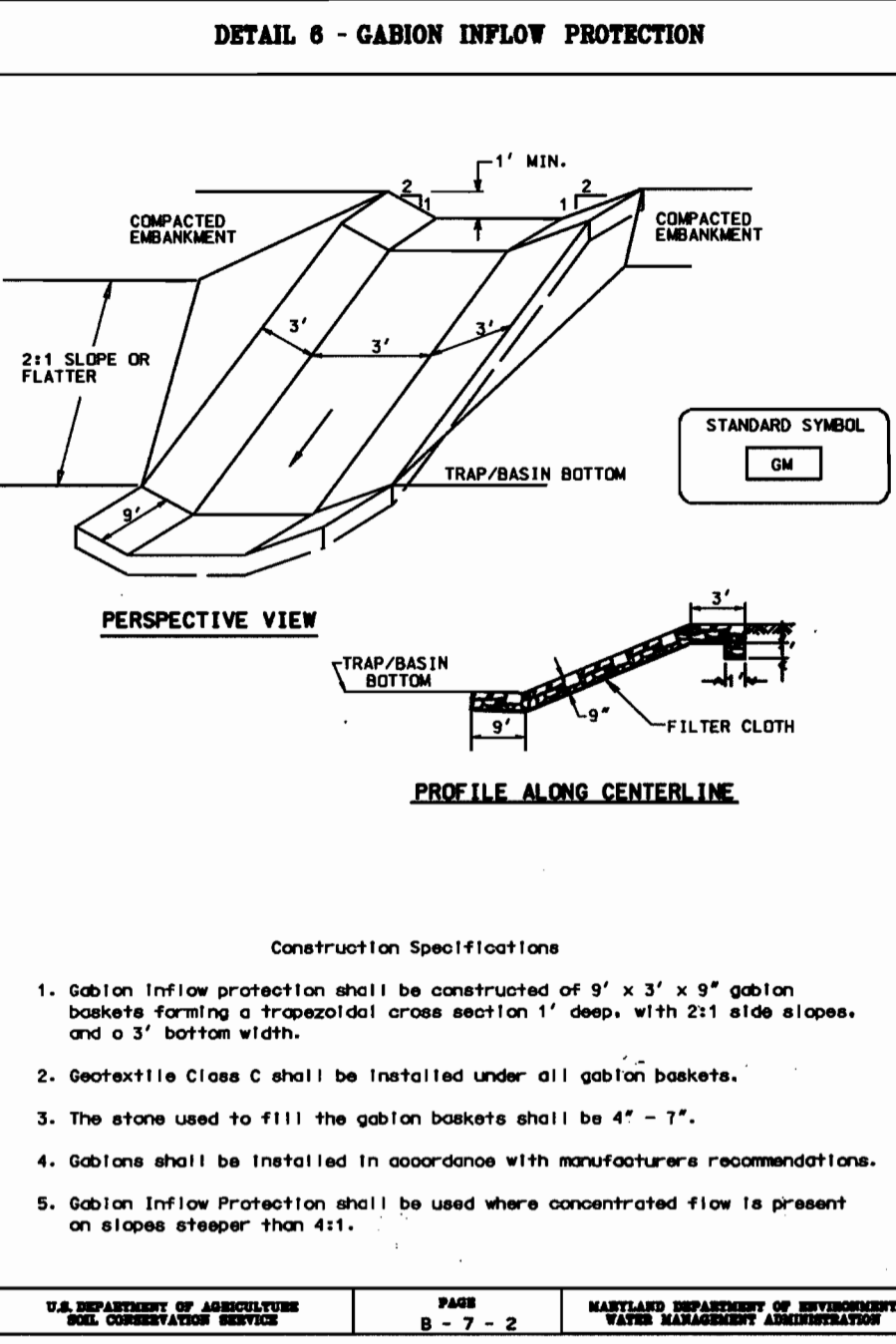
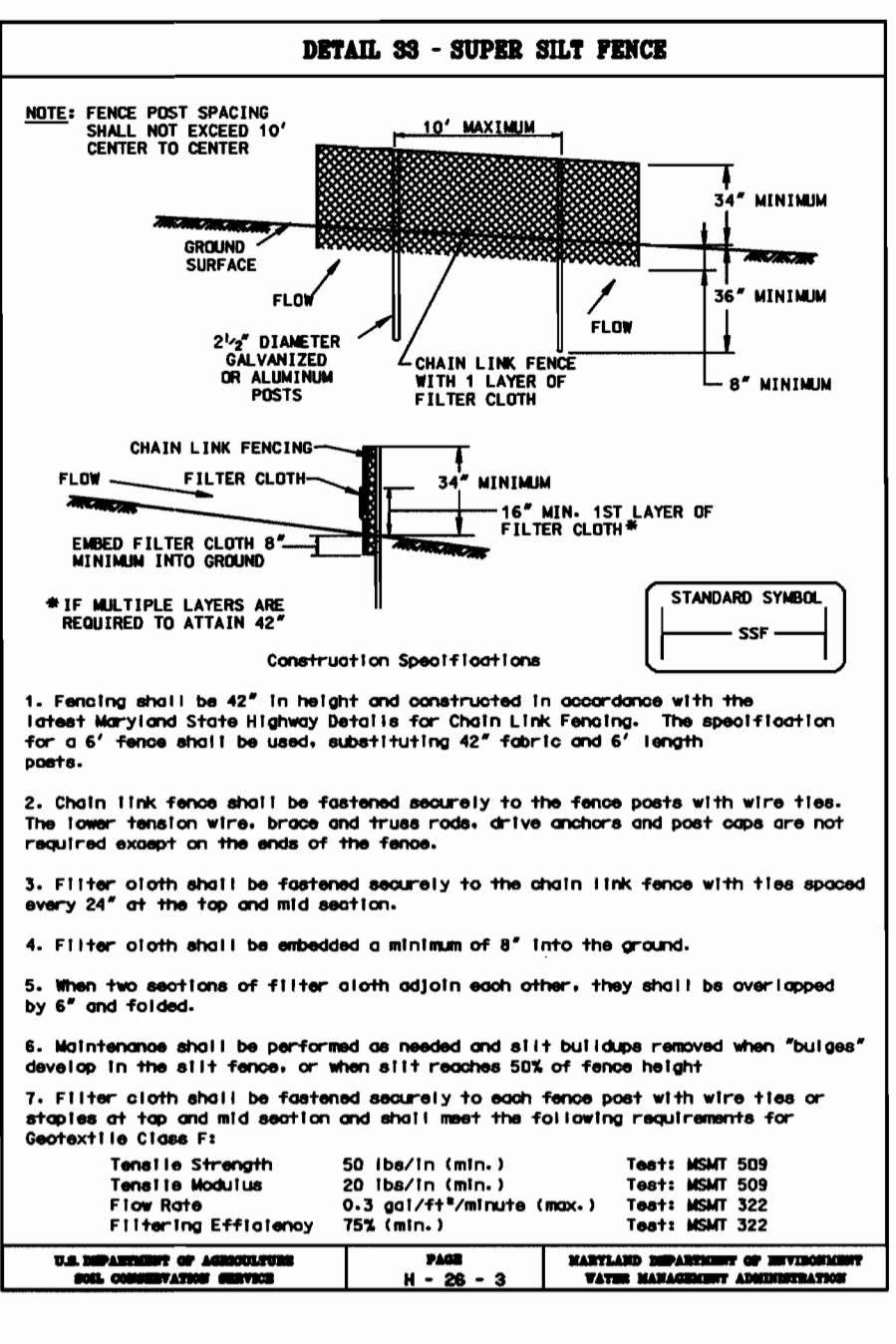
MULCHING - APPLY 1/2 TO 2 TONS PER ACRE (70 - 90 LBS./1000 SQ. FT.) OF UNROTTED WEED FREE SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL. PER ACRE (5 GAL./1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FT. OR HIGHER, USE 348 GAL. PER ACRE (8 GAL./1000 SQ. FT.) FOR ANCHORING.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL RATES AND METHODS NOT COVERED.

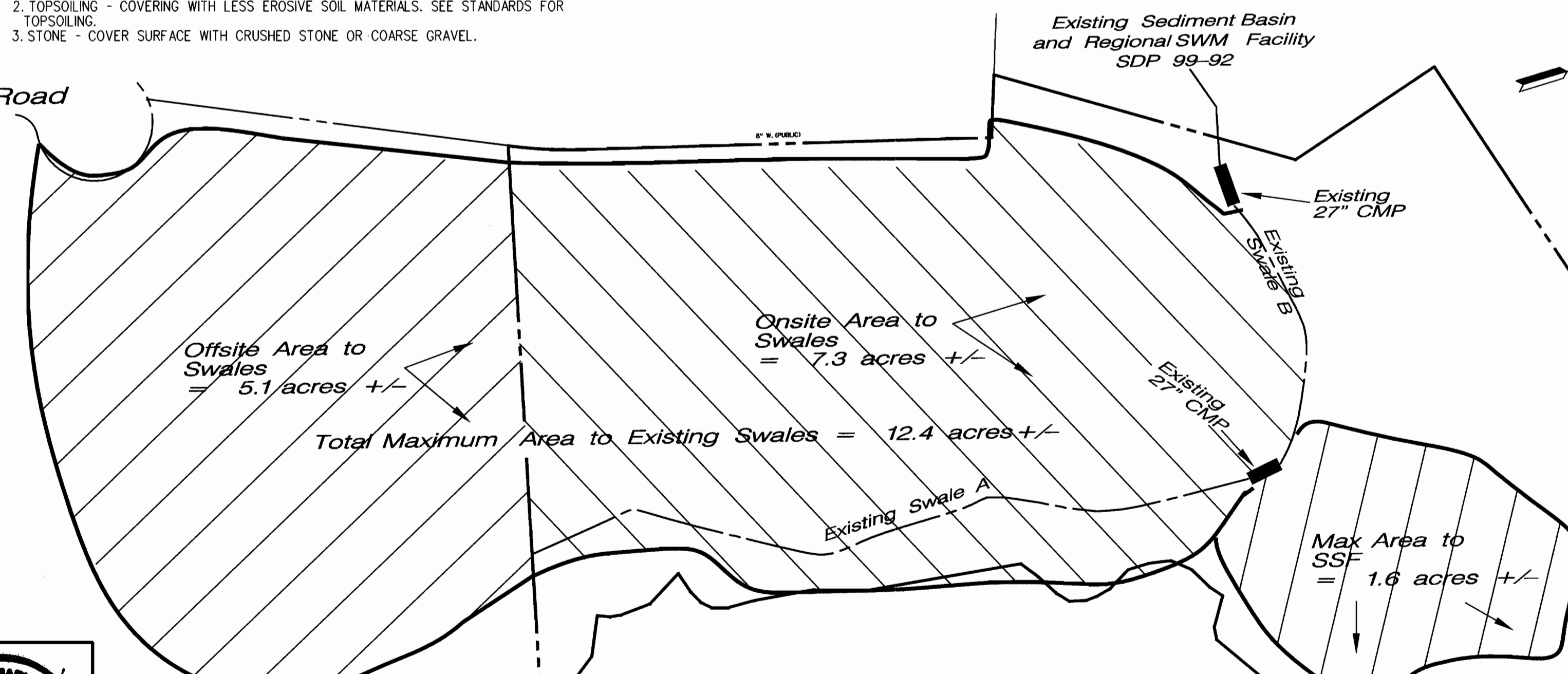
Dust Control Specifications

TEMPORARY METHODS:
1. MULCHES - SEE STANDARDS FOR VEGETATIVE STABILIZATION WITH MULCHES ONLY. MULCH SHOULD BE CRIMPED OR TACKED TO PREVENT BLOWING.
2. VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER.
3. TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
4. IRRIGATION - THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED. AT NO TIME SHOULD THE SITE BE IRRIGATED TO THE POINT THE RUNOFF BEGINS TO FLOW.
5. BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 10 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING SOIL BLOWING.
6. CALCIUM CHLORIDE - APPLY AT A RATE THAT WILL KEEP SURFACE MOIST. MAY NEED RETREATMENT.

PERMANENT METHODS:
1. PERMANENT VEGETATION - SEE STANDARDS FOR PERMANENT VEGETATIVE COVER, AND PERMANENT STABILIZATION WITH SOD. EXISTING TREES OR LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE.
2. TOPSOILING - COVERING WITH LESS EROSION SOIL MATERIALS. SEE STANDARDS FOR TOPSOILING.
3. STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.



Montpelier Road



Drainage Area Map
Scale 1" = 100'

Existing Sediment Basin and Regional SWM Facility SDP 99-92

Existing 27" CMP

Existing 27" CMP

Existing 27" CMP

Existing Swale A

Onsite Area to Swales = 7.3 acres +/-

Offsite Area to Swales = 5.1 acres +/-

Total Maximum Area to Existing Swales = 12.4 acres +/-

Max Area to SSF = 1.6 acres +/-

Legal Owner (current):
Hopkins Road Limited Partnership
9030 Red Branch Road
Suite 200
Columbia, Maryland 21045
Phone 410-997-7222
Fax 410-997-6453

Developer and Contract Purchaser:
Traditional Acupuncture Institute, Inc.
American Cities Building
10227 Wincopin Circle
Suite 100
Columbia, Maryland 21044-3422
Phone 410-997-4888

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division
Chief, Land Development Division

Date: 11/3/00
Date: 11/8/01
Date: 11/6/01

ENGINEER'S CERTIFICATE

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District"

James E. Matle, P.E. MD 19848
Date: 11/3/2000

DEVELOPER'S CERTIFICATE

"We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District"

W. Harry Schwarz, CFO
Date: 11-3-00

Reviewed for Howard SCD and meets Technical Requirements

J.G. Winkler / G
USDA - Natural Resources Conservation Service
Date: 11/17/00

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT

Howard SCD
Date: 11/17/00

PERMIT INFORMATION CHART

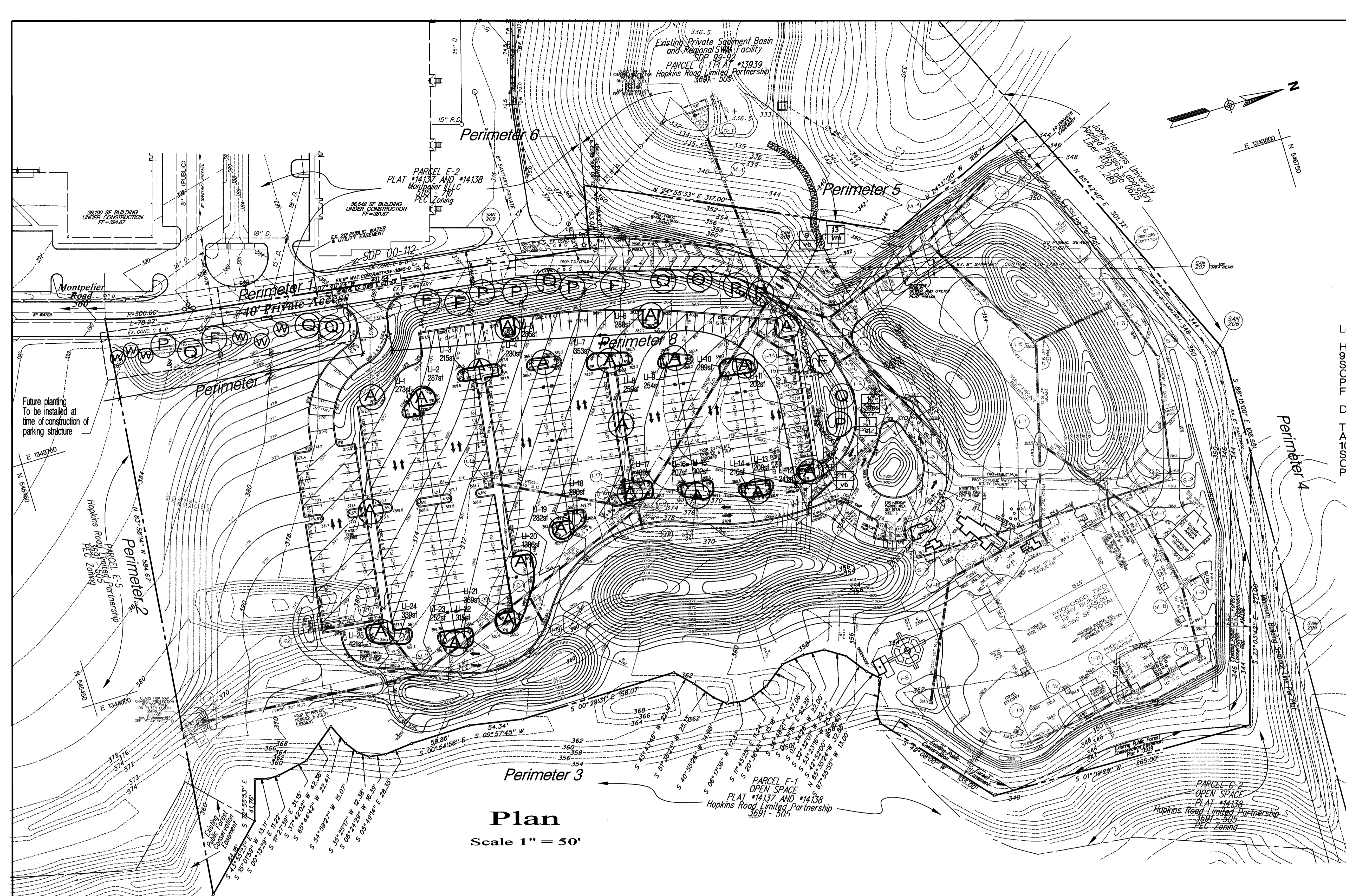
Subdivision Name Montpelier	Section / Area E-4	Lot / Parcel No. E-4
Plat or Liber/Folio 13939 + 14597	Grid # 17	Zoning PEC
Water Code E 21	Tax Map No. 41	Election District 5th
	Census Tract 6061.02	
	Sewer Code 6440000	

Sediment and Erosion Control Details
Traditional Acupuncture Institute
Parcel E-4
Montpelier Research Park

Howard County, Maryland
Scale: As Shown
Sheet 10 of 11
November 3, 2000
SDP 01-05

Matis Warfield
consulting engineers
10540 York Road, Suite 300
hunt valley, Maryland 21038
phone 410-883-7904
fax 410-883-7901
www.matiswarfield.com





- PLANTING NOTES:**
- All plant materials shall conform to the sizes given in the plant list and shall be nursery grown in accordance with the "American Standard for Nursery Stock", latest edition.
 - All planting shall be in accordance with standard American Association of Nurserymen procedures and specifications.
 - Quantities shown on the plant list are for the Contractor's convenience only and are not guaranteed to be accurate. In the event of a discrepancy between quantities shown on the plan and quantities shown on the plant list, the quantities on the plan shall apply.
 - Obtain approval from Landscape Architect or Owner's Representative before making any substitutions or changes.
 - Contractor and Owner's Representative shall verify the correct location of all underground utilities in the field prior to installation of any plant material.
 - Plant material location to be staked in the field and approved by the Landscape Architect prior to planting.
 - All plant beds and planting areas to be mulched to a depth of 3" unless otherwise noted on drawings or specifications.
 - All plant beds shall be contained with a spaded edge unless otherwise noted on drawings.
 - All areas disturbed by planting operations shall be fine graded and seeded.
 - No landscaping shall be planted within the public easements.

Legal Owner (current):
Hopkins Road Limited Partnership
9030 Red Branch Road
Suite 200
Columbia, Maryland 21045
Phone 410-997-7222
Fax 410-997-6453

Developer and Contract Purchaser:
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American Cities Building
10227 Wincopin Circle
Suite 100
Columbia, Maryland 21044-3422
Phone 410-997-4888

Parking Lot Internal Landscaping	
Number of Parking Spaces	315
Number of Shade Trees required	315/20=16
Number of Trees Provided	Shade Trees 18 Other (2:1 substitution) 0
Number of Islands Required (1 island/20 spaces)	16
Number of Islands Provided	25*

*Qualifying areas of landscape islands minimum width of 12' and minimum area of 200 sf shown thus:

Perimeter	Perimeter Landscape Edge							
	Adjacent to Perimeter Property				Adjacent to Roadways			
Perimeter	1	2	3	4	5	6	7	8
Landscape Type							B	E
Linear Feet of Roadway Frontage/Perimeter	485	585	1242	685	485	60	250	650
Credit for Existing Vegetation	0	0	0	0	0	0	0	0
Credit for Wall, Fence, or Berm (yes, no, Linear Feet)	0	0	0	0	0	0	0	Yes 440 Linear Feet (3' Grade Change)
Number of Plants Required	Property lines between interior parcels within Montpelier Research Park or dedicated open space. No screening or buffering required							
Shade Trees	0	0	0	0	0	0	at 1/50'-5'	at 1/40'-16'
Evergreen Trees	0	0	0	0	0	0	at 1/40'-6'	0
Shrubs	0	0	0	0	0	0	210' at 1/4'-53'	0
Number of Plants Provided								
Shade Trees							5	16
Evergreen Trees	0	0	0	0	0	0	6	0
Small Flowering Trees	0	0	0	0	0	0	0	0
Shrubs	0	0	0	0	0	0	0	54

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.

FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$ 13,600.00.

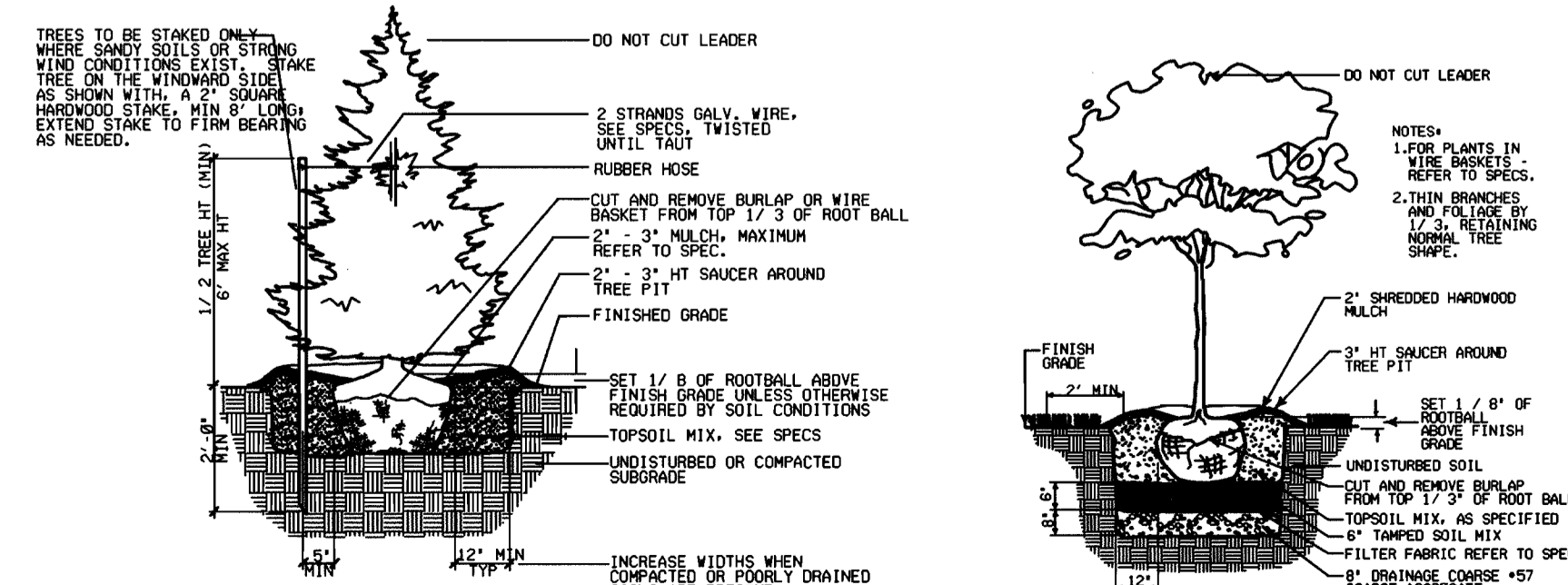
THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

Developer's/Builder's Certificate
I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual.
I/We further certify that upon completion a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

W. Harry Schwan
Name
11-3-00
Date

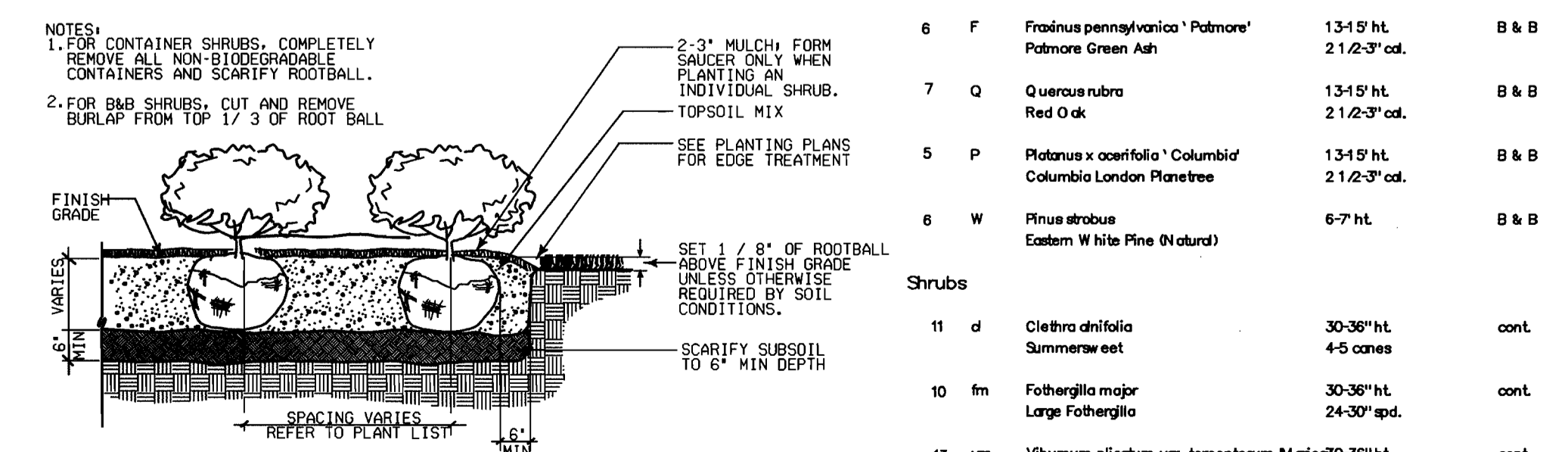
LANDSCAPE ARCHITECT

9175 Guilford Road
Columbia, Maryland 21046
Phone 410-792-4360
Fax 301-498-5070



3 TYPICAL EVERGREEN TREE PLANTING
L-1 NOT TO SCALE

4 TYPICAL DECIDUOUS TREE PLANTING
L-1 NOT TO SCALE



2 TYPICAL SHRUB PLANTING
L-1 NOT TO SCALE

QTY	KEY	BOTANICAL COMMON NAME	SIZE	REMARKS
Trees				
19	A	Acer rubrum Red Sunlet Red Sunlet Maple	134.5' ht. 2 1/2-3' cal.	B & B Full
6	F	Froanus pennsylvanica 'Palmore' Palmore Green Ash	134.5' ht. 2 1/2-3' cal.	B & B Full
7	Q	Quercus rubra Red Oak	134.5' ht. 2 1/2-3' cal.	B & B Full
5	P	Rolatus officinalis 'Columbia' Columbia London Plane tree	134.5' ht. 2 1/2-3' cal.	B & B Full
6	W	Pinus strobus Eastern White Pine (6' cal.)	6-7' ht.	B & B Full
Shrubs				
11	d	Clethra alnifolia Summersweet	30-36" ht. 4-5 cones	cont. Full
10	fm	Fothergilla major Large Fothergilla	30-36" ht. 24-30" spd.	cont. Full
15	vm	Viburnum plicatum var. tomentosum M. arifolium M. arifolium Doublefile Viburnum	24-30" ht. 24-30" spd.	cont. Full
20	vo	Viburnum opulus 'Compactum' Compact Cranberrybush Viburnum	30-36" ht. 4-5 cones, 3' ht. & up	cont. Full

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

W. Harry Schwan
Chief, Development Engineering Division
11/21/00
Date

W. Harry Schwan
Chief, Land Development Division
11/8/01
Date

W. Harry Schwan
Director
11/9/01
Date

PERMIT INFORMATION CHART

Subdivision Name	Section / Area	Lot / Parcel No.
Montpelier		E-4

Plat or Liber/Folio	Grid #	Zoning	Tax Map No.	Election District	Census Tract
13930 #14597	17	PEC	41	5th	6051.02

Water Code E 21
Sewer Code 6440000

Landscape Plan
Traditional Acupuncture Institute
Parcel E-4
Montpelier Research Park

Howard County, Maryland
Scale: As Shown

Sheet 11 of 11
November 3, 2000 SDP 01-05

SDP 01-05