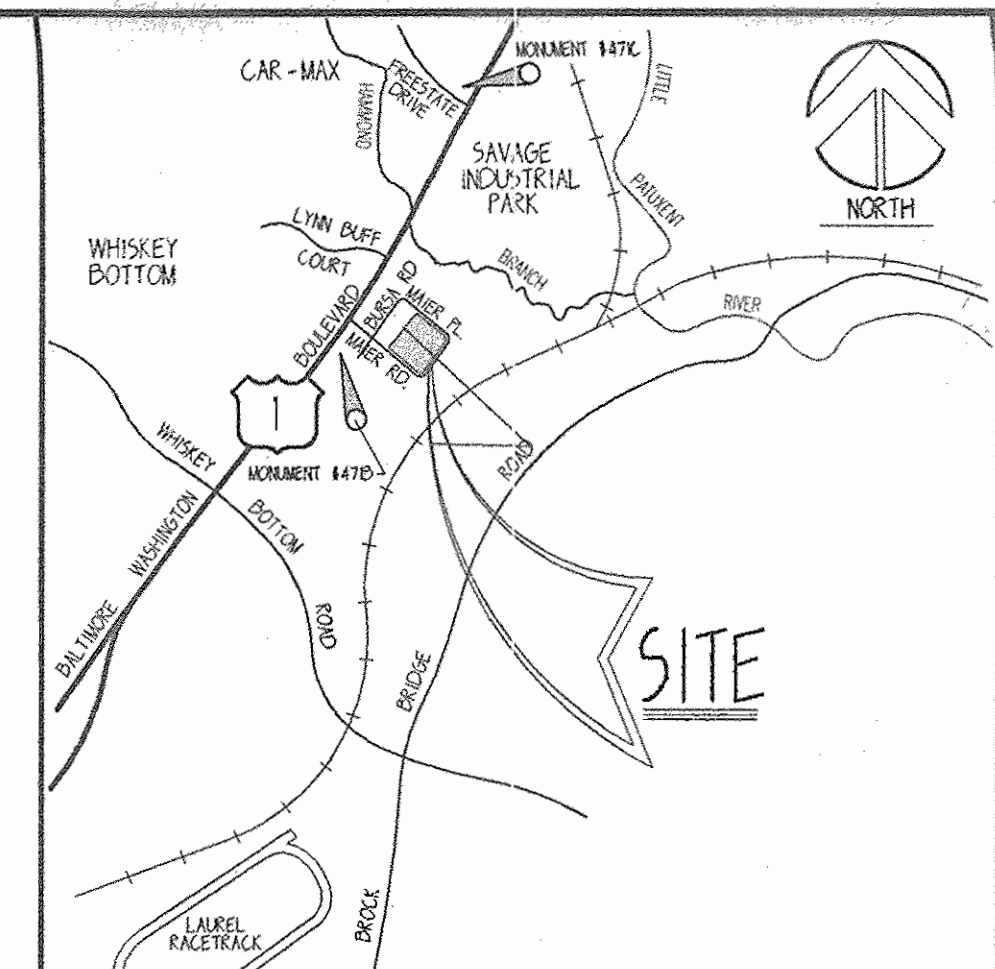


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- 5 OF 13 SEDIMENT + EROSION CONTROL PLAN
- 6 OF 13 SEDIMENT + EROSION CONTROL NOTES, AND DETAILS
- 7 OF 13 SEDIMENT + EROSION CONTROL NOTES, AND DETAILS
- 8 OF 13 EXISTING DRAINAGE MAP
- 9 OF 13 PROPOSED DRAINAGE AREA MAP
- 10 OF 13 STORM DRAIN STORMWATER MANAGEMENT PLAN
- 11 OF 13 STORM DRAIN STORMWATER MANAGEMENT NOTES, PROFILES, AND DETAILS
- 12 OF 13 ON-SITE WATER AND SEWER PLAN
- 13 OF 13 ON-SITE WATER AND SEWER PROFILES, + NOTES

GENERAL BENCH MARK INFORMATION

- ELEVATIONS HEREON ARE BASED UPON THE GRID MERIDIAN OF THE MARYLAND COORDINATE SYSTEM AND DERIVED FROM THE FOLLOWING HOWARD COUNTY CONTROL SYSTEM:
- BM 11 HOWARD COUNTY MONUMENT NUMBER 471C
CROSS OR ALUMINUM DISC SET IN CONCRETE MONUMENT
NORTHING: 532036878, EASTING: 136228110
ELEVATION: 188.900
 - BM 12 HOWARD COUNTY MONUMENT NUMBER 471D
CROSS OR ALUMINUM DISC SET IN CONCRETE MONUMENT
NORTHING: 529701576, EASTING: 136166181
ELEVATION: 180.565



LOCATION MAP
PLAN SCALE: 1"=200'

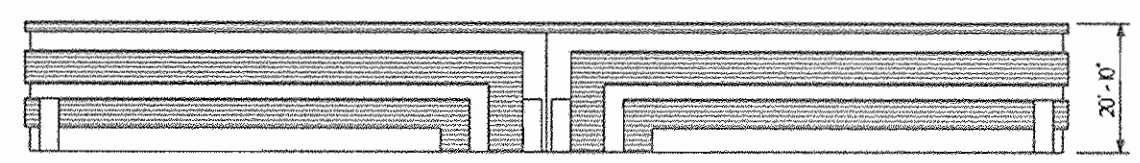
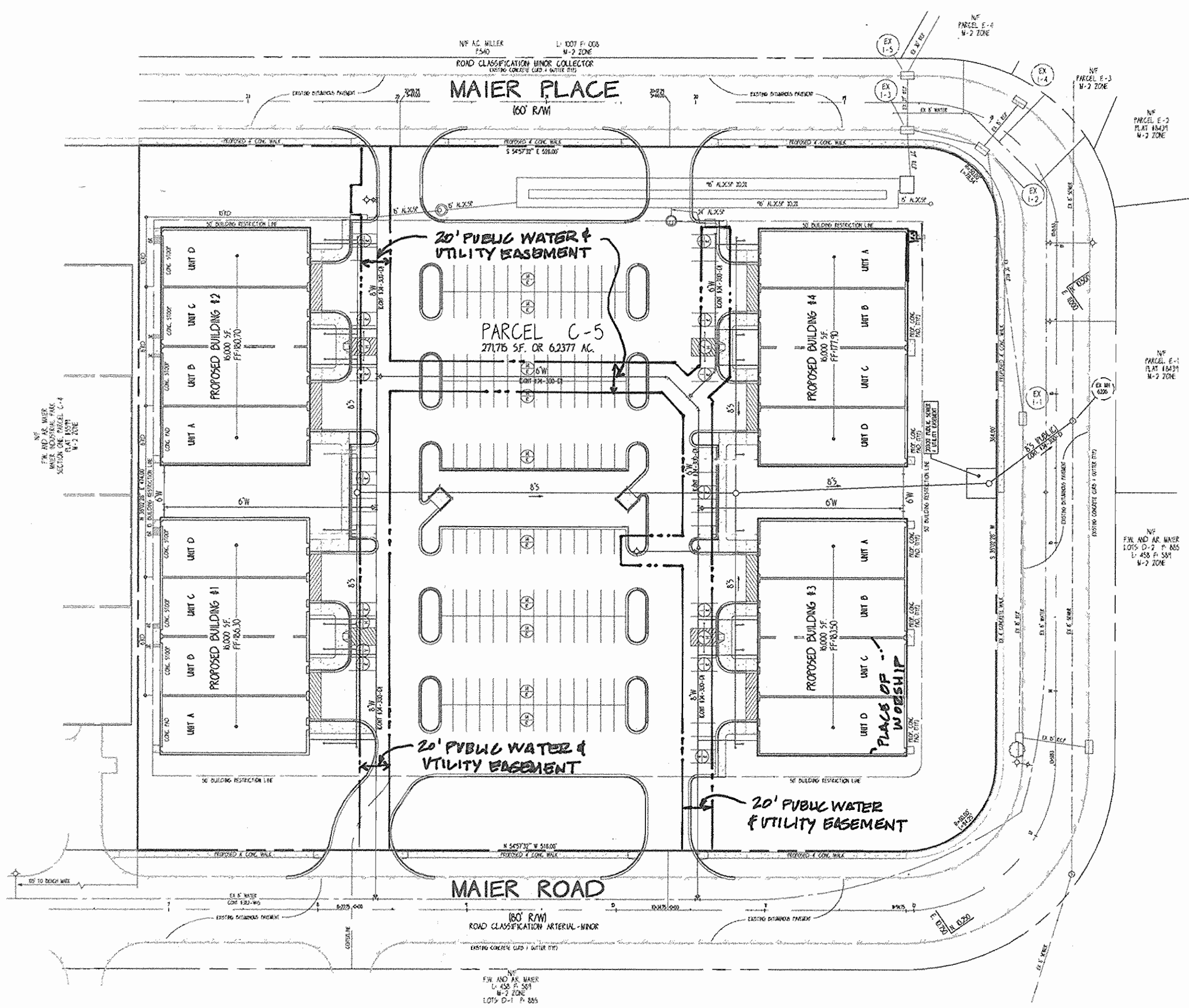
SITE ANALYSIS DATA CHART

1. GENERAL SITE DATA
 - A. EXISTING ZONING: M-2
 - B. APPLICABLE CPT FILE REFERENCES: F-01-203, Plat No. 14869
PLAT FILE# 89-145 PLAT 18438L SDP-85-170 SUBMITTED/APPROVED, NEVER SIGNED, WP-02-02
 - C. PROPOSED USE OF SITE OR STRUCTURES: HYBRID INDUSTRIAL/OFFICE SPACE (< 150' DEEP FOR BLDG 1, 2, 4 AND PLO 3, UNITS A+B PROPOSED USE FOR BLDG 3 UNITS C+D; RELIGIOUS PLACES OF WORSHIP
 - D. PROPOSED WATER SEWER SYSTEMS: PUBLIC
2. AREA TABULATION
 - A. TOTAL PROJECT AREA: 6.2377 ACRES AS SHOWN ON THE FINAL PLAN.
 - B. NET AREA OF SITE: 6.2377 ACRES AS SHOWN ON THE FINAL PLAN.
 - C. AREA OF THIS PLAN OF SUBDIVISION: 6.2377 ACRES.
 - D. LIMIT OF DISTURBANCE: 6.287 ACRES OR 273,820 SQUARE FEET.
 - E. BUILDING COVERAGE OF SITE: 147 ACRES, AND 236 % OF GROSS AREA
 - F. TOTAL FLOOR AREA OF BLDG'S 1-4 AT 14,000 SF PER BLDG = 56,000 SF
3. PARKING SPACE DATA
 - A. NUMBER OF PARKING SPACES REQUIRED BY THE ZONING REGULATIONS AND/OR FDP CRITERIA: 469-*
 - * SEE 3(C) BELOW.
 - B. TOTAL NUMBER OF REGULAR PARKING SPACES PROVIDED: 172
 - C. NUMBER OF HANDICAP PARKING SPACES REQUIRED/PROVIDED: 4/6
 - D. NUMBER OF VAN PARKING SPACES REQUIRED/PROVIDED: 1/1
 - E. TOTAL NUMBER OF PARKING PROVIDED ON-SITE: 180
4. PARKING CALCULATIONS:
 - INDUSTRIAL/OFFICE: 25 SPACES PER 1000 SF. PROPOSED BUILDING SF: 64,000. PARKING REQUIRED: 160 SPACES. PARKING PROVIDED: 180 SPACES.
 - RELIGIOUS PLACE OF WORSHIP/GEN. OFFICE: SEE BREAKDOWN UNDER 3(C)
 - PROPOSED BLDG S.F. BLDG 3 UNITS A+B = 4000 SF EA. PARKING REQUIRED = 180 SPACES. PARKING PROVIDED = 180 SPACES
 - * 3 PARKING SPACE DATA: NUMBER OF PARKING SPACES REQUIRED BY THE ZONING REGS AND FDP CRITERIA FOR HYBRID INDUSTRIAL/OFFICE SPACE: 2.5 SPACES / 1000 SF (56,000 SF) = 140. RELIGIOUS PLACE OF WORSHIP: 10 SPACES / 1000 SF (4000 SF UNIT C) = 40. NOTE: REDUCTION OF 33% (< 500 FEET OF SUFFICIENT PARKING LOT) WITH OWNERS PERMISSION = 27. GENERAL OFFICE: 3.3 SPACES / 1000 SF (4000 SF UNIT D) = 13. TOTAL REQUIRED = 180. NOTE: REDUCTION PER ZONING REGULATION 133.D.7.H

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
2. APPROXIMATE LOCATIONS OF EXISTING UTILITIES ARE SHOWN FROM AVAILABLE UTILITY RECORDS AND INFORMATION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS REQUIRED TO PROTECT ANY EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S SOLE EXPENSE.
3. THE CONTRACTOR SHALL TEST PIT, BY HAND, ALL EXISTING UTILITY CROSSINGS AT LEAST FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION AS SHOWN ON THESE DRAWINGS, TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATIONS AND/OR ELEVATIONS ARE OTHER THAN SHOWN.
4. THE CONTRACTOR SHALL CONTACT THE CONSTRUCTION INSPECTION DIVISION 24 HOURS IN ADVANCE OF COMMENCEMENT OF WORK AT 410-313-1880.
5. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES OR AGENCIES AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF CONSTRUCTION FOR ANY WORK SHOWN ON THESE DRAWINGS:

MISS UTILITY	1-800-257-7777
C&P TELEPHONE	410-725-1976
HOWARD COUNTY BUREAU OF UTILITIES	410-313-4900
AT&T CABLE LOCATION DIVISION	410-393-3553
DALTIMORE GAS + ELECTRIC COMPANY	410-685-0023
STATE HIGHWAY ADMINISTRATION	410-531-5533
HOWARD COUNTY CONSTRUCTION INSPECTION SURVEY DIVISION	410-313-1880
	(24 HOURS NOTICE PRIOR TO START OF WORK)
6. EXISTING TOPOGRAPHIC SURVEY INFORMATION WAS OBTAINED FROM FIELD RUN SURVEY WITH TWO FOOT CONTOUR INTERVALS PREPARED BY GREENHORNE + OMAHA, FILE #HC 216, AND THE OWNER.
7. ALL INLET STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS OR MSHA STANDARDS AS SPECIFIED ON THE STRUCTURE SCHEDULE.
8. OPERATING EXISTING VALVES, SWITCHES, SERVICES OR START UP OF NEW SERVICES SHALL BE COORDINATED WITH THE OWNERS REPRESENTATIVE.
9. REQUIRED SOIL EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE PROVIDED, INSTALLED AND MAINTAINED AS REQUIRED.
10. THE CONTRACTOR SHALL CAREFULLY REMOVE FROM THE AREA TO BE DISTURBED ALL TREES, SHRUBS AND PLANT MATERIALS USING PROCEDURES RECOMMENDED BY THE AMERICAN NURSERYMANS ASSOCIATION SO AS TO MAXIMIZE THE CONTINUAL SURVIVAL AND HEALTH OF THE MATERIALS. THESE TREES, SHRUBS AND PLANT MATERIALS SHALL BE TRANSPORTED TO A DESIGNATED LOCATION ON THE OWNERS PROPERTY AND REELED INTO A MULCH HOLDING BED FOR FUTURE USE BY THE OWNER IN LOCATIONS OTHER THAN THOSE INVOLVED IN THE CONTRACT WORK, OR PERMANENTLY PLANTED IMMEDIATELY AT THE DIRECTION OF THE LANDSCAPER ARCHITECT OR OWNER.
11. WHERE DEMOLITION IS INDICATED ON THE DRAWINGS, IT SHALL MEAN TO COMPLETELY DEMOLISH THE FEATURE, CLEAR THE AREAS OF ALL DEBRIS AND DISPOSE OF THE MATERIAL OFF-SITE AT A LEGAL CLAMP-SITE. ABANDON MEANS TO LEAVE THE FEATURE IN PLACE AND CUT WHERE REQUIRED, AND BULKHEAD ALL CUT ENDS WITH A FLAG OR CAP OR CONSTRUCT A MINIMUM 4" THICK BRICK AND MORTAR BULKHEAD CONFORMING TO THE EXISTING UTILITY MATERIALS.
12. THE FOREST CONSERVATION OBLIGATION OF 247 AC/1075932 SQ. FT. OF REFORESTATION FOR THIS PLAN HAS BEEN MET BY PAYMENT OF \$32,277.95 TO THE HOWARD COUNTY FOREST CONSERVATION FUND.
13. THERE ARE NO KNOWN CEMETERIES OR BURIAL GROUNDS ON THIS SITE.
14. ALL EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 134 OF THE ZONING REGULATIONS.
15. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
16. ALL CURB RADII ARE 5' UNLESS OTHERWISE NOTED.
17. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE TO THE PLACEMENT OF ANY ASPHALT.
18. THERE IS NO FLOOD PLAIN ON-SITE.
19. THERE ARE NO WETLANDS ON-SITE.
20. ALL NONRESIDENTIAL BUILDINGS, STRUCTURES, ALTERATIONS, OR ADDITIONS GREATER THAN 5000 SQUARE FEET FOR WHICH A BUILDING PERMIT HAS BEEN ISSUED AFTER JULY 1, 1992, SHALL BE REQUIRED TO BE PROTECTED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM.
21. UNDERGROUND STORMWATER MANAGEMENT FACILITY WITH STORAGE/RETENTION UNITS SHALL BE OWNED AND MAINTAINED BY ERNEST MAIER, OR HIS SUCCESSORS + ASSIGNS.
22. FIRE RESISTANT RATING OF EXTERIOR WALLS WHICH ARE LOCATED IN CLOSE PROXIMITY TO ONE ANOTHER AND/OR CONTIGUOUS TO PROPERTY LINES SHALL BE DESIGNER IN ACCORDANCE WITH TABLE 6020 AND SECTION 7050 OF THE 1990 BOCA NATIONAL BUILDING CODE.
23. CONTRACTOR TO COMPLY WITH ALL APPLICABLE WORK ZONE TRAFFIC CONTROL PROCEDURES IN ACCORDANCE WITH MD 10A04 AND MD 10A31 AS SPECIFIED.
24. WP-02-02, SUB. SECT. 16.156(J)(K) APPROVED REQUEST TO REACTIVATE SDP-00-145 & GRANT AN EXTENSION (180 DAY) UNTIL 02/16/02, TO SUBMIT THE PLAN ORIGINALS.



TYPICAL BUILDING PROFILE
STREET ELEVATION
NOT TO SCALE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

[Signature] 2/26/02
CHIEF, DEVELOPMENT ENGINEERING DIVISION & DATE

[Signature] 5/1/02
CHIEF, DIVISION OF LAND DEVELOPMENT & DATE

[Signature] 5/6/02
DIRECTOR & DATE

NO.	DATE	REVISION DESCRIPTION
10-30-01	1	BUILDING NO. 3, UNITS C+D REVISED TO REFLECT RELIGIOUS PLACE OF WORSHIP.

PROJECT

ERNE MAIER WAREHOUSE COMPLEX

OWNER/DEVELOPER/APPLICANT

MR. ERNE MAIER
4700 ANNAPOLIS ROAD
BLADENSBURG, MARYLAND 20710
PHONE: 301-927-8300

JOYCE ENGINEERING CORPORATION
PROFESSIONAL ENGINEERS, PROFESSIONAL SURVEYORS
LAND PLANNING & CONSTRUCTION MANAGEMENT
10766 BALTIMORE AVENUE - WIN CHINA'S OFFICE PARK
BELTSVILLE, MARYLAND 20705
TEL: (301) 595-4353 FAX: (301) 595-4650
© 2000 JOYCE ENGINEERING CORPORATION

ADDRESS CHART

BUILDING/UNIT	BUILDING NO.	STREET ADDRESS	UNIT IDENTIFICATION
PARCEL 5	BUILDING 1	8045 MAIER ROAD	A B C D
PARCEL 5	BUILDING 2	8055 MAIER ROAD	A B C D
PARCEL 5	BUILDING 3	8025 MAIER ROAD	A B C D
PARCEL 5	BUILDING 4	8035 MAIER ROAD	A B C D

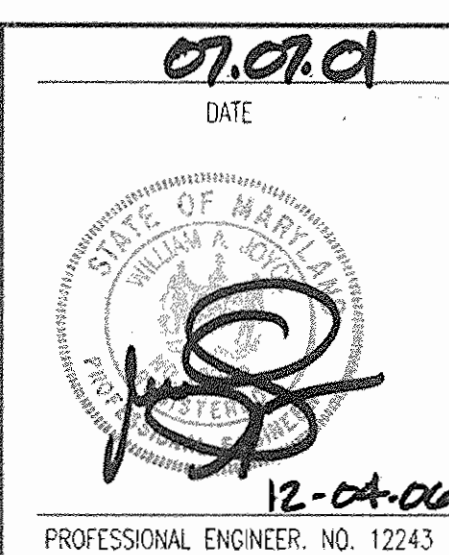
PERMIT INFORMATION CHART

SUBDIVISION	SECTION/AREA	SECTION 1	PARCEL #
MAIER INDUSTRIAL PARK			PARCEL C-5
PLAT # 14869	BLOCK 23	ZONE M-2	TAX/ZONE MAP 47
WATER CODE	C-04	SEWER CODE	7-000000

TITLE

**COVER SHEET
SITE DEVELOPMENT PLAN**

DES. BY	SCALE	AS SHOWN	PROJ. NO.
WAJ	AS SHOWN		99-057
DRN. BY	DATE	NOVEMBER 1999	1 OF 13
HAL			
CHK. BY	APPROVED		
WAJ			



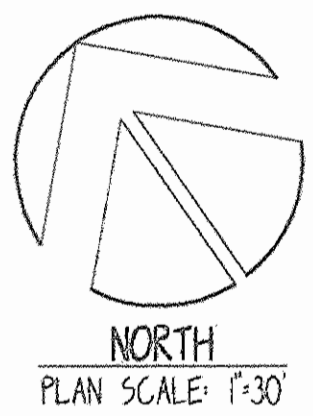
PROFESSIONAL ENGINEER, NO. 12243
PLOT DATE: 06/21/01
FILE: R:\DWG\99057\99057SP1.DWG

48 Hours
Before You Dig
Call
"MISS UTILITY"
Service Protection Center

MEMBER
ONE CALL SYSTEMS INTERNATIONAL

CALL TOLL FREE
1-800-257-7777

NOTE: EXISTING TOPOGRAPHIC SURVEY AND UNDERGROUND UTILITY INFORMATION AS SHOWN IS BASED UPON AVAILABLE RECORD INFORMATION AS PROVIDED BY THE OWNER/DEVELOPER/APPLICANT. ALL UNDERGROUND UTILITIES MUST BE FIELD VERIFIED BY DIGGING TEST PITS, BY HAND, PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY. JOYCE ENGINEERING CORPORATION ASSUMES NO LIABILITY FOR ACCURACY OF UTILITY INFORMATION PROVIDED BY OTHERS.



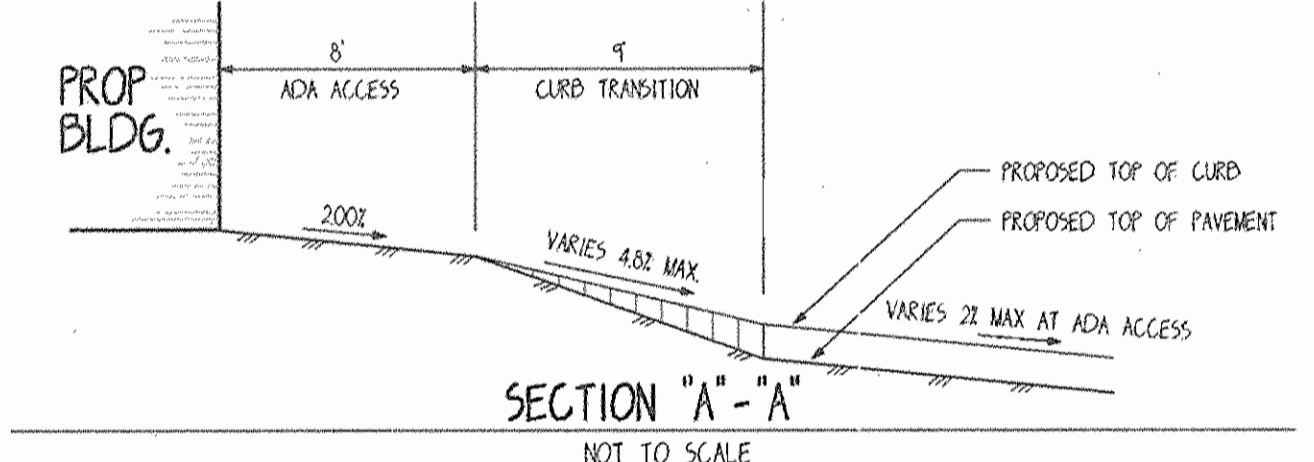
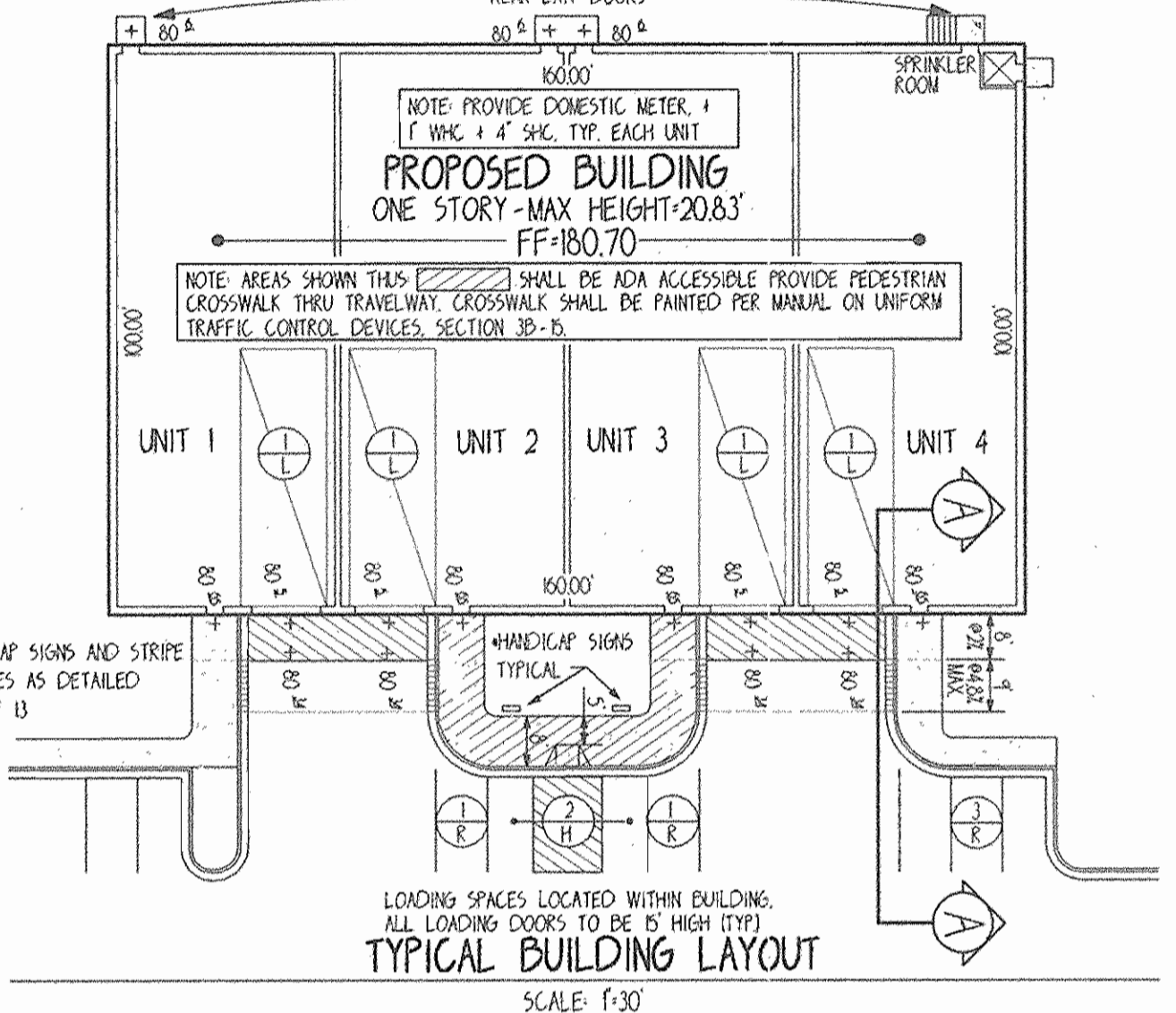
MAIER PLACE

PARCEL C-5

MAIER ROAD

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- 13 OF 13 ON-SITE WATER AND SEWER PROFILES, + NOTES



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

John Danvers 2/26/02
CHIEF, DEVELOPMENT ENGINEERING DIVISION & DATE

Chris Hanat 5/1/02
CHIEF, DIVISION OF LAND DEVELOPMENT & DATE

Paul Smith 5/2/02
DIRECTOR & DATE

DATE NO. REVISION DESCRIPTION

PROJECT

ERNIE MAIER WAREHOUSE COMPLEX

OWNER/DEVELOPER/APPLICANT
MR. ERNIE MAIER
4700 ANNAPOLIS ROAD
BLADENSBURG, MARYLAND 20710
PHONE: 301-927-8300

JOYCE ENGINEERING CORPORATION
PROFESSIONAL ENGINEERS, PROFESSIONAL SURVEYORS
LAND PLANNING & CONSTRUCTION MANAGEMENT
10766 BALTIMORE AVENUE - TWIN CHIMNEYS OFFICE PARK
BELTSVILLE, MARYLAND 20705
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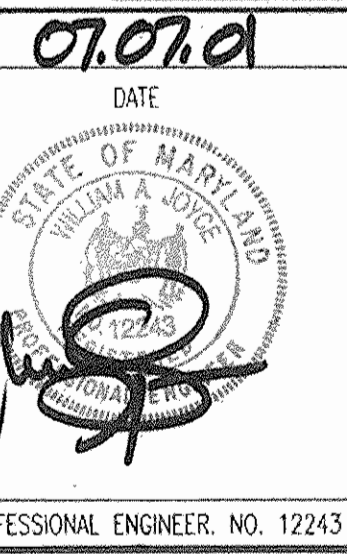
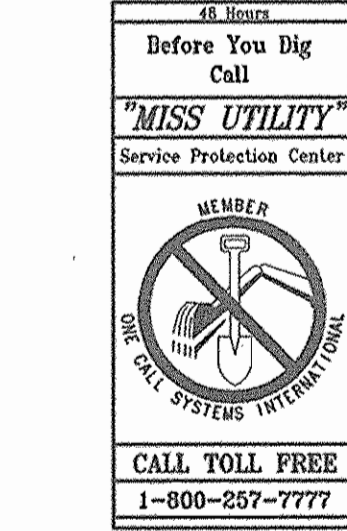
LOT/PARCEL	BUILDING NO.	STREET ADDRESS	UNIT IDENTIFICATION
PARCEL 5	BUILDING 1	9045 MAIER ROAD	A B C D
PARCEL 5	BUILDING 2	9055 MAIER ROAD	A B C D
PARCEL 5	BUILDING 3	9015 MAIER ROAD	A B C D
PARCEL 5	BUILDING 4	9025 MAIER ROAD	A B C D

PERMIT INFORMATION CHART

SUBDIVISION	MAIER INDUSTRIAL PARK	SECTION/AREA	SECTION 1	PARCEL #	PARCEL C-5
PLAT	14869	TAX/ZONE MAP	47	ELEC. DISTRICT	6009.02
WATER CODE	C-24	SEWER CODE	7-000000		

SITE DEVELOPMENT, ENTRANCE & PAVING PLAN

DES BY WAJ SCALE 1:30 PROJ. NO. 99-057
DRN BY HAL DATE OCTOBER 1999 2 OF 13
CHK BY JEC APPROVED



NOTE: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH MD 10A.04 AND 10A.31 FOR WORK ZONE TRAFFIC CONTROL.

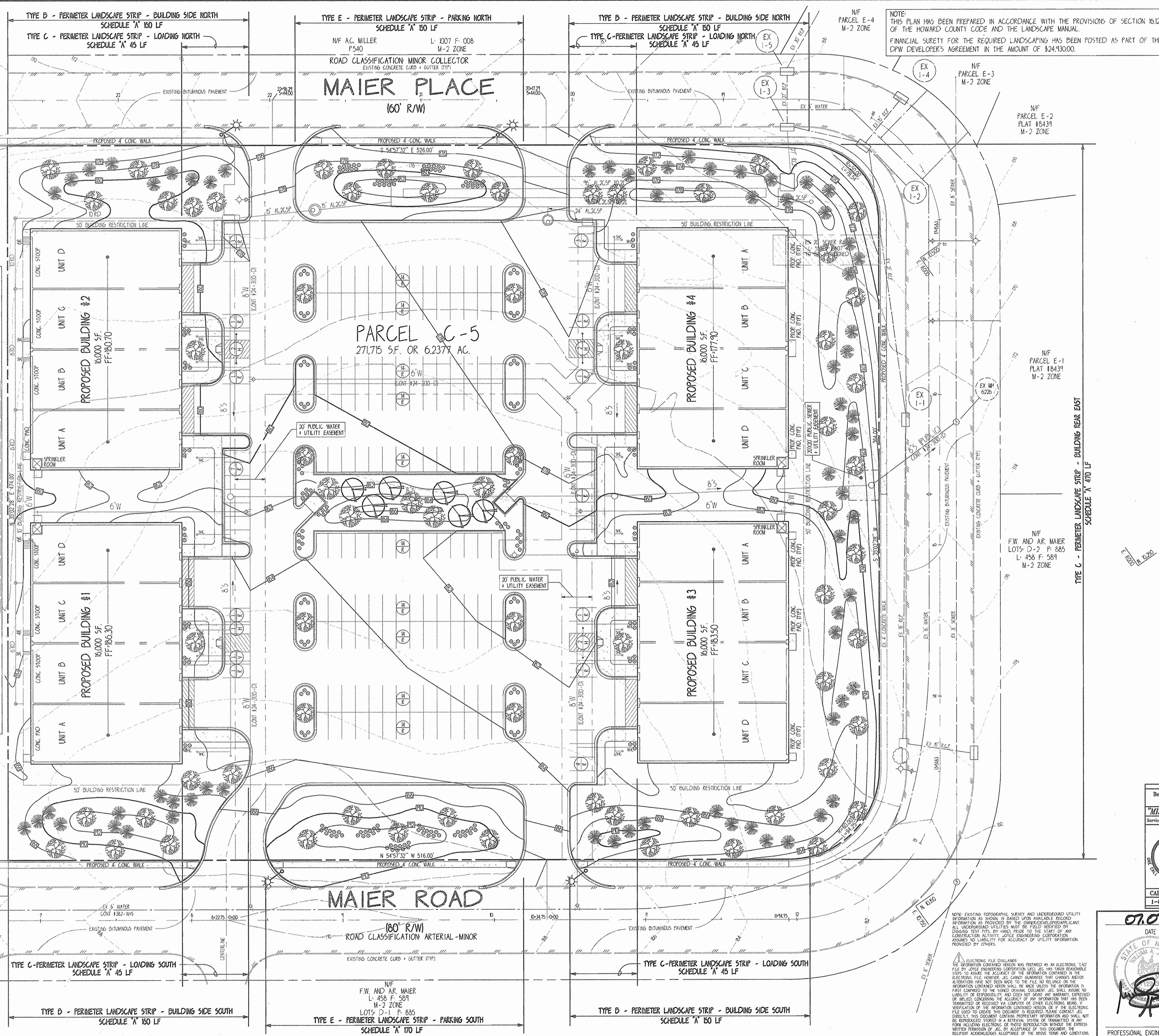
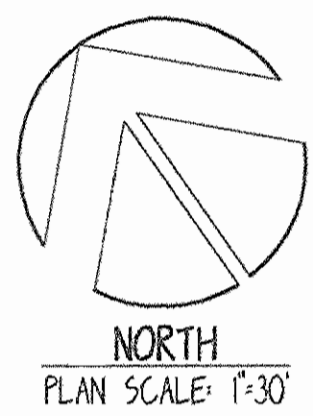
NOTE: CURB + GUTTER SHOWN THIS [Symbol] SHALL BE SPILL GUTTER. REFER TO SHEET 4 OF 13 FOR DETAILS.

NOTE: CURB + GUTTER SHOWN THIS [Symbol] SHALL BE DEPRESSED CURB. REFER TO SHEET 4 OF 13 FOR DETAILS.

NOTE: CONTRACTOR TO INSTALL FOUR (4) STREET LIGHTS AS SHOWN STREET LIGHTS TO BE 250 WHP'S ON BRONZE FIBERGLASS POLES WITH 12 ARM. POLE HEIGHT TO BE 15' STREET LIGHT SYMBOL: [Symbol]

NOTE: CONTRACTOR TO INSTALL FOUR (4) STOP SIGNS AT EACH ENTRANCE/ POINT OF EGRESS AS SHOWN. STREET LIGHT SYMBOL: [Symbol]

ELECTRONIC FILE DISCLAIMER:
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NOTE: THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$24,930.00.

NOTE: FOR LEGEND OF PLANT SYMBOLS AND PLANTING LIST REFER TO SHEET 4 OF 13.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

[Signature] 2/21/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 5/1/02
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 5/2/02
 DIRECTOR DATE

DATE	NO.	REVISION DESCRIPTION

PROJECT

ERNIE MAIER WAREHOUSE COMPLEX

OWNER/DEVELOPER/APPLICANT

MR. ERNIE MAIER
 4700 ANNAPOLIS ROAD
 BLADENSBURG, MARYLAND 20710
 PHONE: 301-927-8300

JOYCE ENGINEERING CORPORATION
 PROFESSIONAL ENGINEERS, PROFESSIONAL SURVEYORS
 LAND PLANNING & CONSTRUCTION MANAGEMENT
 10766 BALTIMORE AVENUE - TWIN CHIMNEYS OFFICE PARK
 BELTSVILLE, MARYLAND 20705
 TEL: (301) 595-4353 FAX: (301) 595-4650
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ADDRESS CHART

LOT/PARCEL	BUILDING NO.	STREET ADDRESS	UNIT IDENTIFICATION
PARCEL 5	BUILDING 1	9045 MAIER ROAD	A B C D
PARCEL 5	BUILDING 2	9055 MAIER ROAD	A B C D
PARCEL 5	BUILDING 3	9065 MAIER ROAD	A B C D
PARCEL 5	BUILDING 4	9075 MAIER ROAD	A B C D

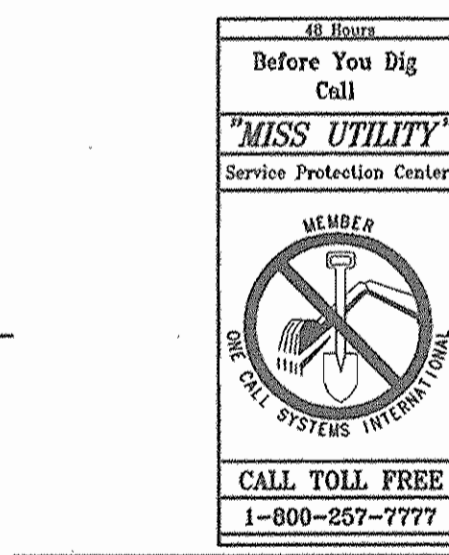
PERMIT INFORMATION CHART

SUBDIVISION	SECTION/AREA	PARCEL #
MAIER INDUSTRIAL PARK		PARCEL C-5
PLAT # 1869		
WATER CODE G-04	SEWER CODE 7-00000	

TITLE

LANDSCAPE PLAN

DES BY WAJ	SCALE 1"=30'	PROJ. NO. 99-057
DRN BY HAL	DATE OCTOBER 1999	3 OF 13
CHK BY JEC	APPROVED -	



DATE 07.01.01

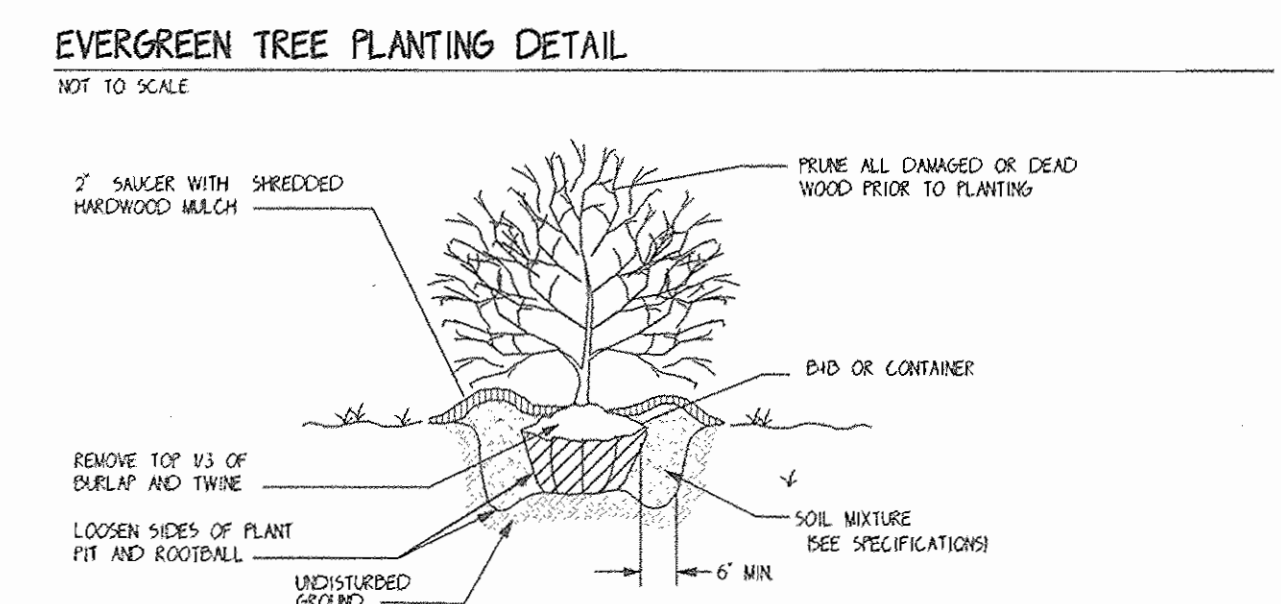
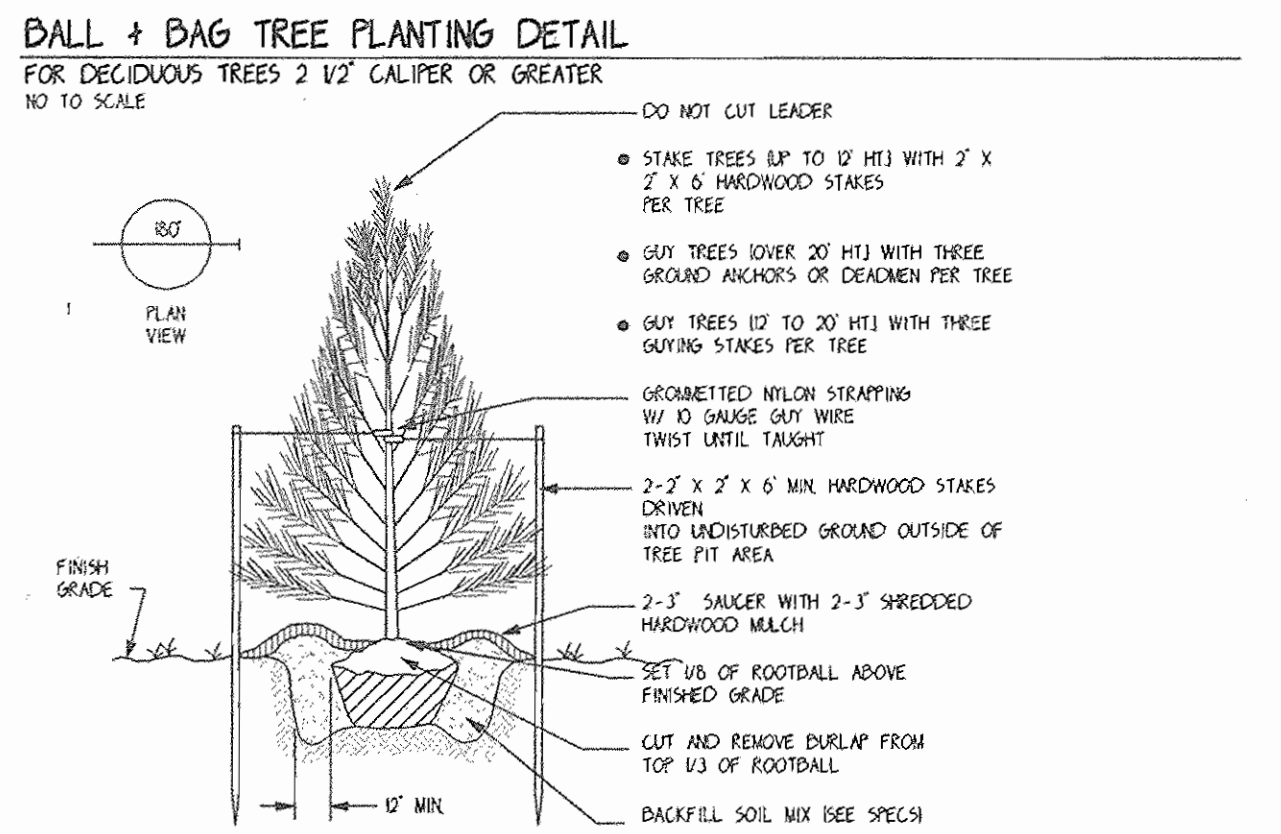
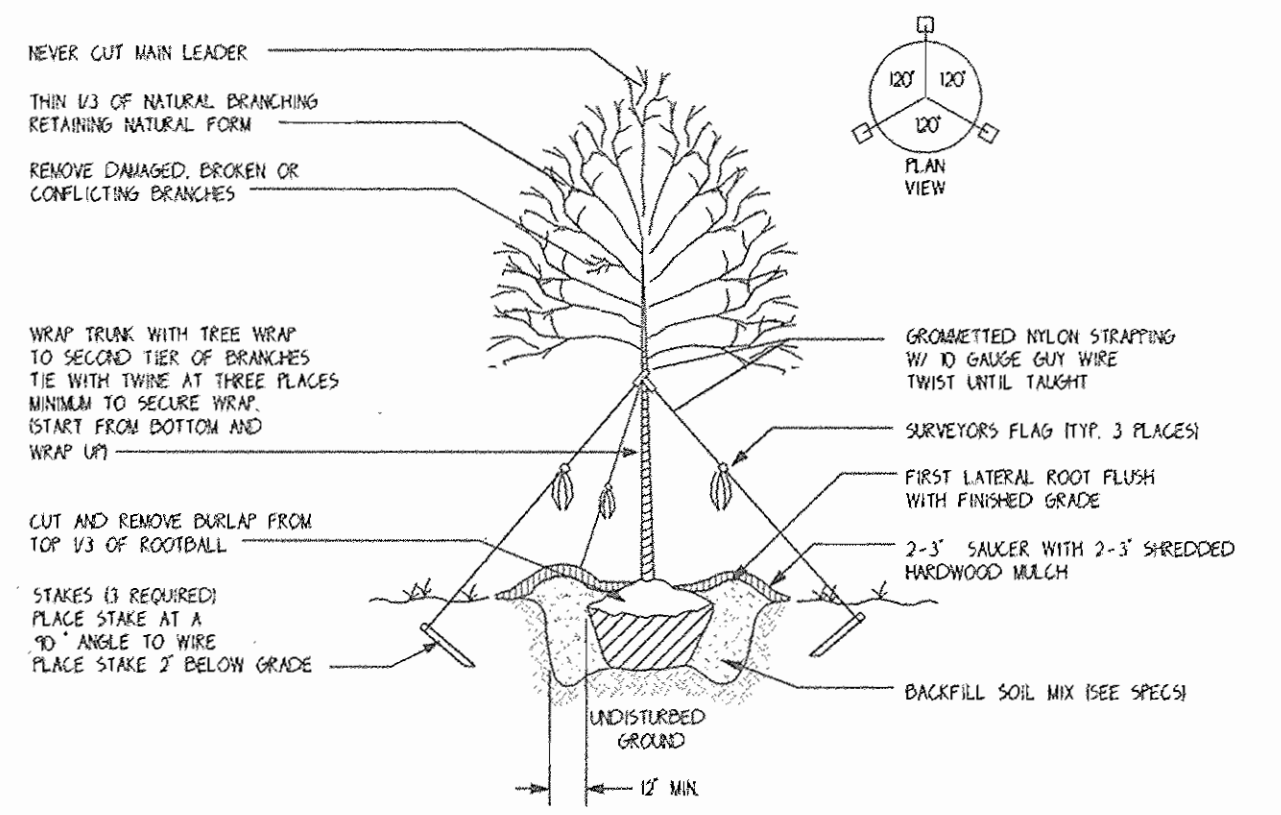
PROFESSIONAL ENGINEER, NO. 12243

NOTE: EXISTING TOPOGRAPHIC SURVEY AND UNDERGROUND UTILITY INFORMATION AS SHOWN IS BASED UPON AVAILABLE RECORD INFORMATION AS PROVIDED BY THE OWNER/DEVELOPER/APPLICANT. ALL UNDERGROUND UTILITIES MUST BE FIELD VERIFIED BY CROSSING TEST PITS OR PROBE PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY. JOYCE ENGINEERING CORPORATION ASSUMES NO LIABILITY FOR ACCURACY OF UTILITY INFORMATION PROVIDED BY OTHERS.

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LANDSCAPE NOTES

- THE CONTRACTOR SHALL REVIEW ARCHITECTURAL/ENGINEERING PLANS TO BECOME THOROUGHLY FAMILIAR WITH GRADING AND SURFACE UTILITIES.
- ALL EQUIPMENT AND TOOLS SHALL BE PLACED SO AS NOT TO INTERFERE OR HINDER THE PEDESTRIAN AND VEHICULAR TRAFFIC FLOW.
- THE CONTRACTOR SHALL COORDINATE WITH LIGHTING AND IRRIGATION CONTRACTORS REGARDING TIMING OF INSTALLATION OF PLANT MATERIAL.
- THE CONTRACTOR SHALL INSURE THAT HIS WORK DOES NOT INTERRUPT ESTABLISHED OR PROJECTED DRAINAGE PATTERNS.
- DURING PLANTING OPERATIONS, EXCESS WASTE MATERIALS SHALL BE PROMPTLY AND FREQUENTLY REMOVED FROM THE SITE.
- CALL UTILITY A MINIMUM OF THREE DAYS PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS ADVISED OF THE EXISTENCE OF UNDERGROUND UTILITIES ON THE SITE. THEIR EXACT LOCATION SHALL BE VERIFIED IN THE FIELD WITH THE OWNER OR GENERAL CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY DIGGING OPERATIONS. IN THE EVENT THEY ARE UNCOVERED, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DAMAGE TO UTILITIES AND SUCH DAMAGE SHALL NOT RESULT IN ANY ADDITIONAL EXPENSES TO THE OWNER. ANY DAMAGE TO UNRECORDED LINES SHALL NOT BE THE RESPONSIBILITY OF THE CONTRACTOR.
- IF UTILITY LINES ARE ENCOUNTERED IN EXCAVATION OF TREE PITS, OTHER LOCATIONS FOR TREES SHALL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COMPENSATION. NO CHANGES OF LOCATION SHALL BE MADE WITHOUT APPROVAL BY THE LANDSCAPE ARCHITECT.
- MAINTAIN POSITIVE DRAINAGE OUT OF PLANTING BEDS AT A MINIMUM 2% SLOPE. ALL GRADES, DIMENSIONS, AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR ON SITE BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER.
- EVERY POSSIBLE SAFEGUARD SHALL BE TAKEN TO PROTECT EXISTING SURFACES, EQUIPMENT, AND FINISHINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY WHICH MAY OCCUR AS A RESULT OF HIS NEGLIGENCE IN THE EXECUTION OF THE WORK.
- IN THE EVENT OF VARIATION BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND THE PLANS, THE PLANT LIST SHALL CONTROL. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES PRIOR TO THE COMMENCEMENT OF WORK. SEED QUANTITY TAKE-OFFS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO DIDDING. THE CONTRACTOR SHALL FURNISH PLANT MATERIAL IN SIZES AS SPECIFIED IN PLANT LIST.
- PLANTS SHALL BE LOCATED AS SHOWN ON THE DRAWINGS OR AS DESIGNATED IN THE FIELD. THE CONTRACTOR SHALL STAKE ALL MATERIAL LOCATED ON THE SITE FOR REVIEW AND/OR ADJUSTMENT BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. ALL LOCATIONS ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE EXCAVATION.
- PLANTS SHALL CONFORM TO CURRENT AMERICAN STANDARDS FOR NURSERY STOCK BY AMERICAN ASSOCIATION OF NURSERYMEN (A.A.N.S.) WITH REGARD TO SIZE, GROWTH, SIZE OF BALL, AND DENSITY OF BRANCH STRUCTURE. PLANT MATERIAL SHALL BE TAGGED AT THE SOURCE BY THE LANDSCAPE ARCHITECT UNLESS THIS REQUIREMENT IS SPECIFICALLY WAIVED.
- ALL PLANTS SHOWN OR CONTAINER SHALL BE PROPERLY IDENTIFIED BY WEATHERPROOF LABELS SECURELY ATTACHED THEREON BEFORE DELIVERY TO PROJECT SITE. LABELS SHALL IDENTIFY PLANTS BY NAME, SPECIES, AND SIZE. LABELS SHALL NOT BE REMOVED UNTIL THE FINAL INSPECTION BY THE LANDSCAPE ARCHITECT OR AGENT IN CHARGE.
- ANY MATERIAL AND/OR WORK MAY BE REJECTED BY THE LANDSCAPE ARCHITECT IF IT DOES NOT MEET THE REQUIREMENTS OF THE SPECIFICATIONS. ALL REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN CONSENT OF THE OWNER OR LANDSCAPE ARCHITECT.
- THE LANDSCAPE ARCHITECT OR OWNER SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATIONS, TO REJECT ANY AND ALL WORK AND MATERIAL WHICH IN HIS OPINION DOES NOT MEET THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR STABILITY AND CONDITIONS OF ALL TREES AND SHRUBS AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY INSTABILITY OF ANY PLANT MATERIALS STAKING OF ALL TREES SHALL BE DONE UTILIZING A METHOD AGREED UPON BY THE LANDSCAPE ARCHITECT, AS INDICATED ON THE DOCUMENTS.
- ALL PROPOSED TREES TO BE INSTALLED EITHER ENTIRELY ON OR ENTIRELY OUT OF PLANTING BEDS. PLANTING BED LINES ARE NOT TO BE DISTURBED. ALL SHRUBS AND GROUND COVER AREAS SHALL BE PLANTED IN CONTINUOUS PREPARED BED AND TOP DRESSED WITH 3-INCH SHREDDED HARDWOOD MULCH. MULCH SHALL HAVE BEEN SHREDDED WITHIN THE LAST SIX MONTHS.
- GRADE EDGE ALL PLANTING BEDS.
- MAINTENANCE SHALL BEGIN AFTER EACH PLANT HAS BEEN INSTALLED AND SHALL CONTINUE UNTIL 90 DAYS AFTER FINAL ACCEPTANCE BY THE ARCHITECT OR OWNER REPRESENTATIVE. MAINTENANCE INCLUDES WATERING, PRUNING, WEEDING, FERTILIZING, REPLACEMENT OF SICK OR DEAD PLANTS, AND ANY OTHER CARE NECESSARY FOR THE PROPER GROWTH OF THE PLANT MATERIAL. THE CONTRACTOR MUST BE ABLE TO PROVIDE CONTINUED MAINTENANCE IF REQUESTED BY THE OWNER.
- UPON COMPLETION OF ALL LANDSCAPING, AN ACCEPTANCE OF WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNER FOR SCHEDULING THE INSPECTION AT LEAST SEVEN (7) DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE.
- ALL TREES SHALL BE GUARANTEED FOR 12 MONTHS FROM THE DATE OF ACCEPTANCE. ALL SHRUBS AND GROUND COVERS SHALL BE GUARANTEED FOR 12 MONTHS FROM THE DATE OF ACCEPTANCE. REPLACEMENT PLANTS USED SHALL BE GUARANTEED FOR AN ADDITIONAL 90 DAYS.
- THE CONTRACTOR IS RESPONSIBLE FOR TESTING PROJECT SOILS. THE CONTRACTOR IS TO PROVIDE A CERTIFIED SOILS REPORT TO THE OWNER. THE CONTRACTOR SHALL VERIFY THAT THE SOILS ON SITE ARE ACCEPTABLE FOR THE PROPER GROWTH OF THE PROPOSED PLANT MATERIAL. SHOULD THE CONTRACTOR FIND POOR SOIL CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE SOIL AMENDMENTS AS NECESSARY. THESE AMENDMENTS SHALL INCLUDE, BUT NOT BE LIMITED TO, FERTILIZERS, LIME, AND TOPSOIL. PROPER PLANTING SOILS MUST BE VERIFIED PRIOR TO PLANTING OF MATERIALS.
- THE CONTRACTOR SHALL DISPOSE OF STUMPS AND MAJOR ROOTS OF ALL PLANTS TO BE REMOVED. ANY DEPRESSIONS CAUSED BY REMOVAL OPERATIONS SHALL BE FILLED WITH FERTILE, FINE-SIEVE MULCH PLACED AND COMPACTED SO AS TO RESTORE PROPER GRADE FOR NEW PLANTING AND/OR LAWN AREAS.
- THE CONTRACTOR SHALL INSURE ADEQUATE VERTICAL DRAINAGE IN ALL PLANT BEDS.
- ALL DISTURBED AREAS OF THE SITE NOT PLANTED WITH SHRUBS OR GROUND COVER SHALL BE FINE GRADED AND SEEDED.
- ALL LAWN AREAS TO BE SEEDED WHERE DISTURBANCE HAS OCCURRED WITHIN THE LIMIT OF CONSTRUCTION. LOCUS UPON 30 OF SOIL BEFORE SEEDING IF NOT PREVIOUSLY LOOSENED. AMEND SOIL PER SOIL TEST RECOMMENDATIONS. DURING THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 31, SEED WITH 60 LBS PER ACRE (4 LBS PER 1000 SQ FT) OF REBEL II TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 40 LBS PER ACRE (4 LBS PER 1000 SQ FT) OF ENHANCED PER ACRE (4 LBS PER 1000 SQ FT) OF KEEPING LOWGRASS. DURING THE PERIOD OF OCTOBER 1 THRU FEBRUARY 28, PROJECT SITE BY SPREADING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING.
- SEED MULCH APPLY IS TO 2 TONS/ACRE (70-10 LBS/1000 SQ FT) OF UNOTTED SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATIONS USING MULCH ANCHORS TOOL OR 20 GAL PER ACRE (2 GALS/1000 SQ FT) OF ENHANCED ASPHALT ON FLAT AREAS. ON SLOPES, 10 LBS 340 GAL PER ACRE (10 GALS/1000 SQ FT) FOR ANCHORING.
- INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS AND RESEED UNTIL LAWN IS ESTABLISHED.
- BUILDS IN ACCORDANCE WITH SECTION 9 OF THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.

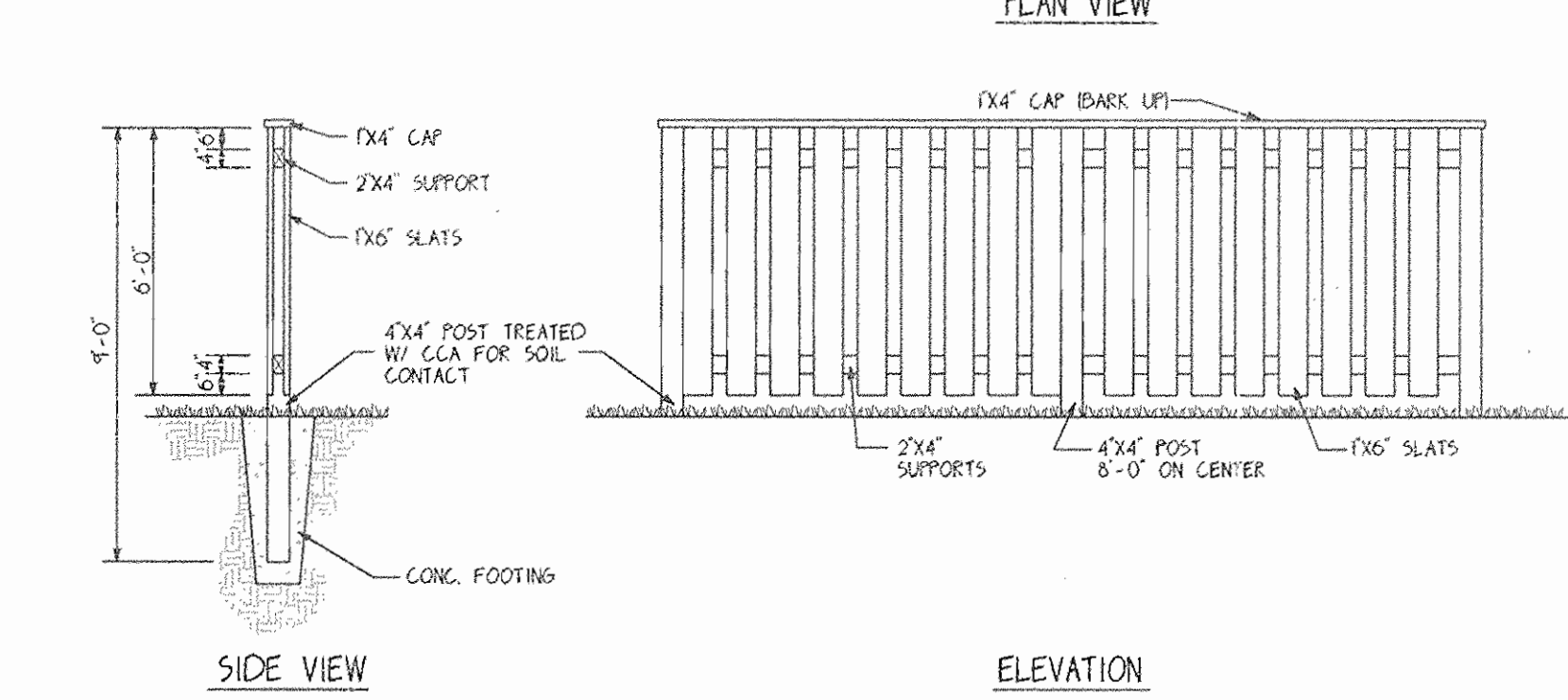
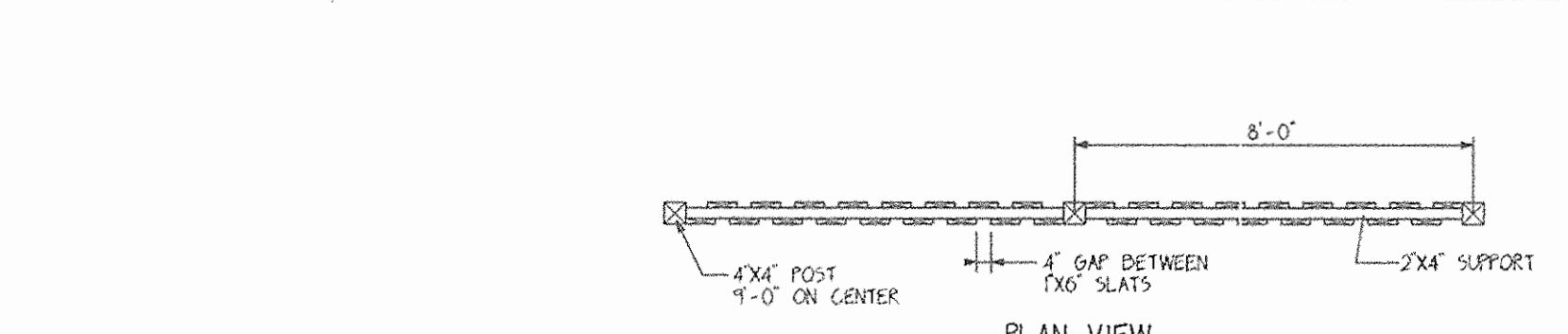
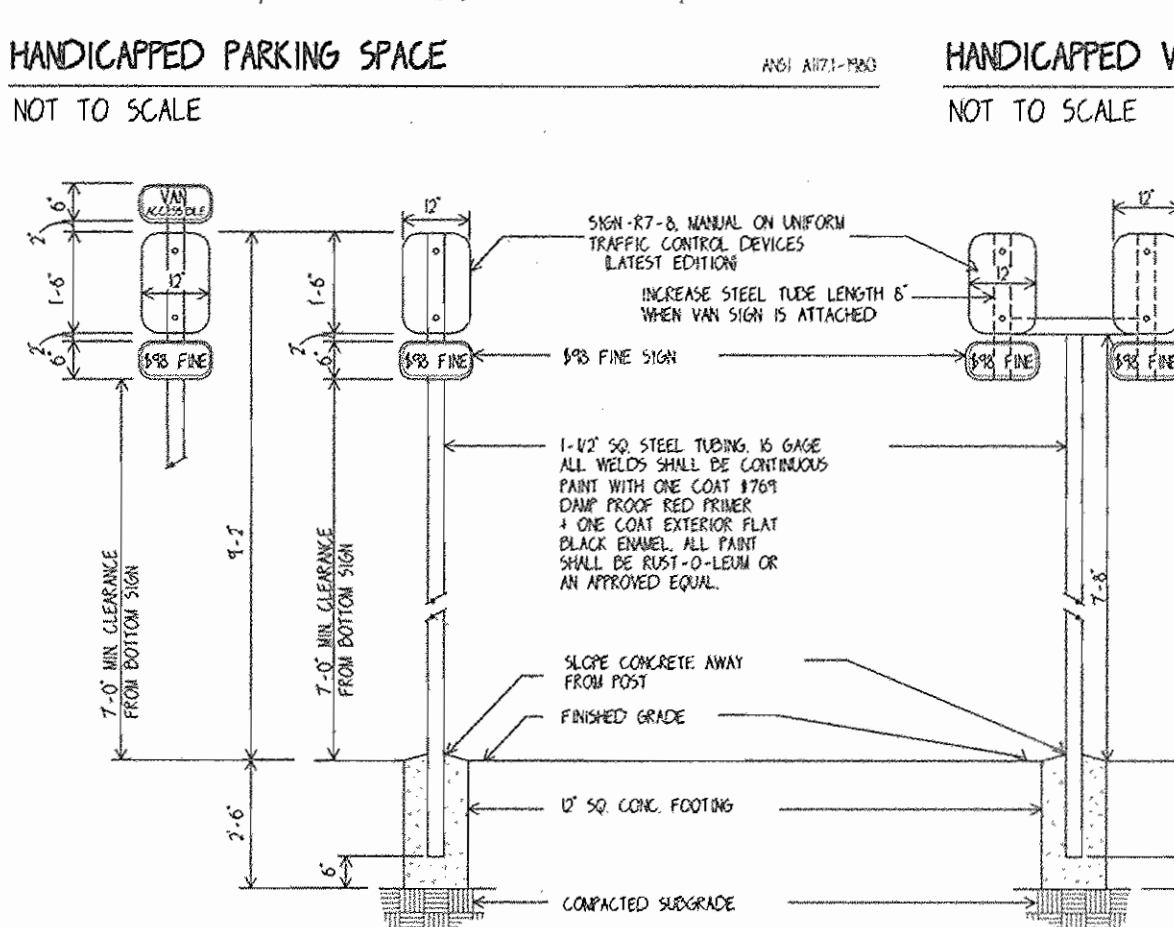
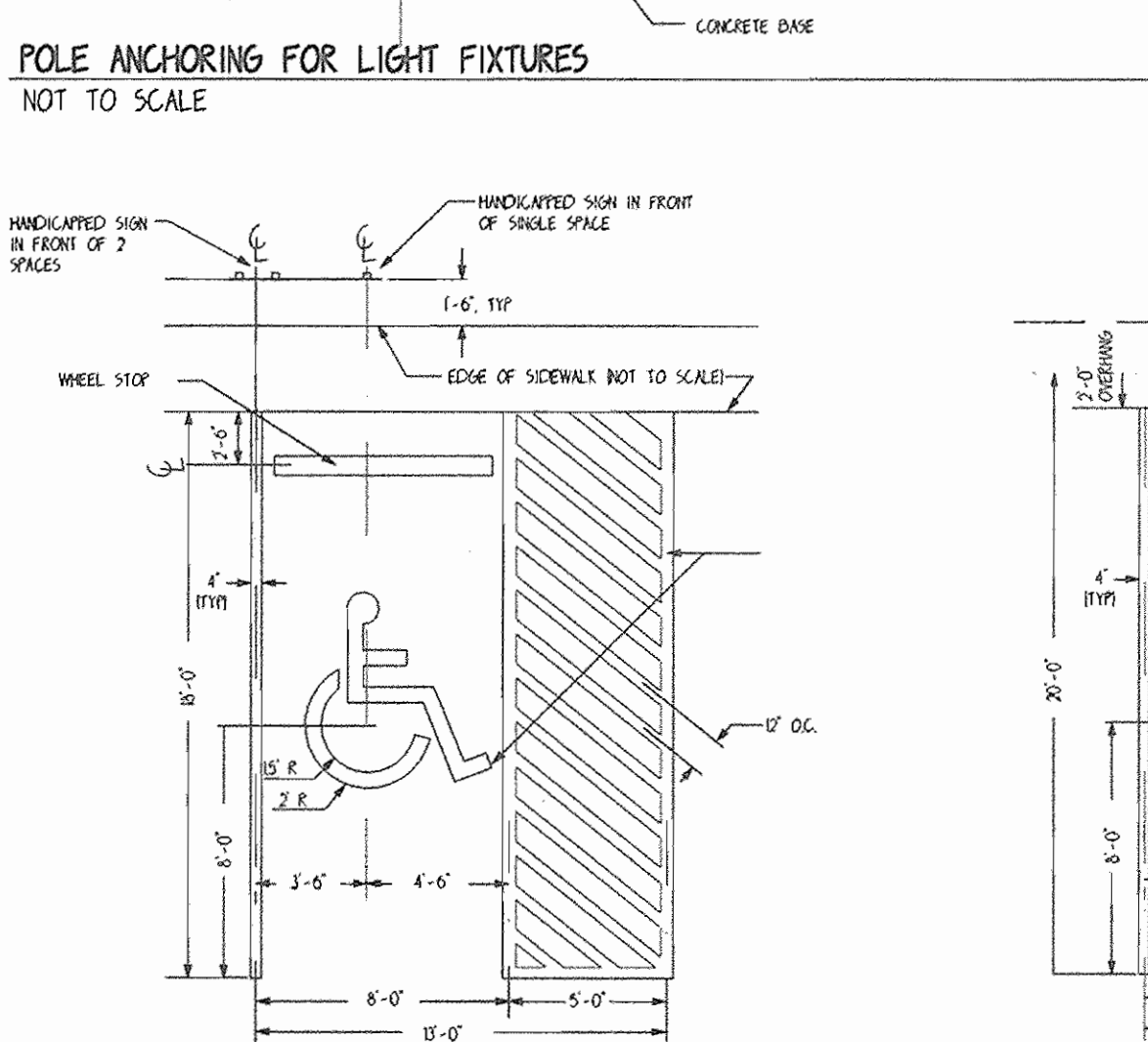
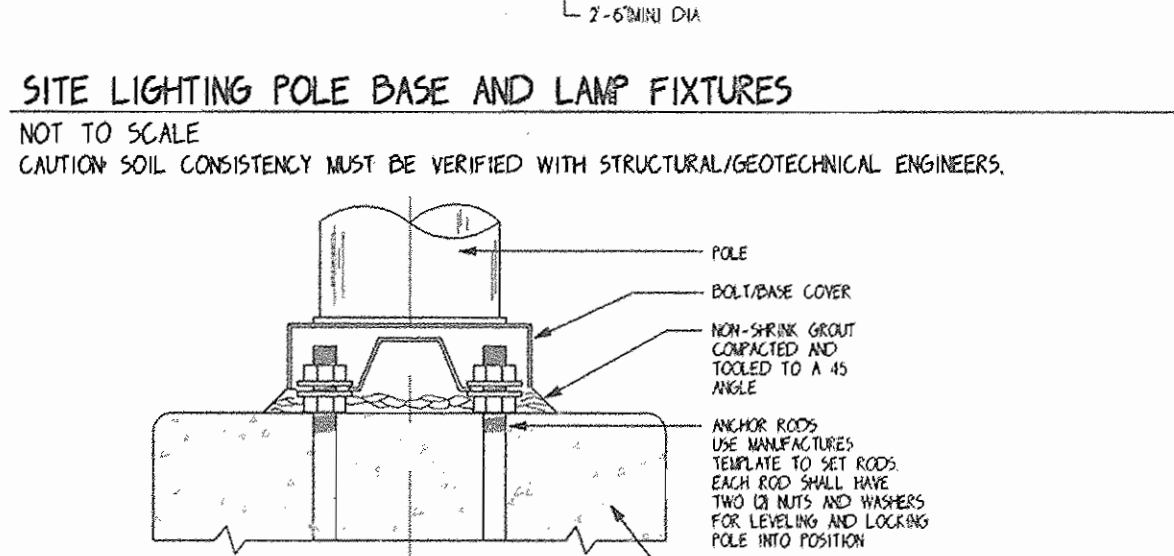
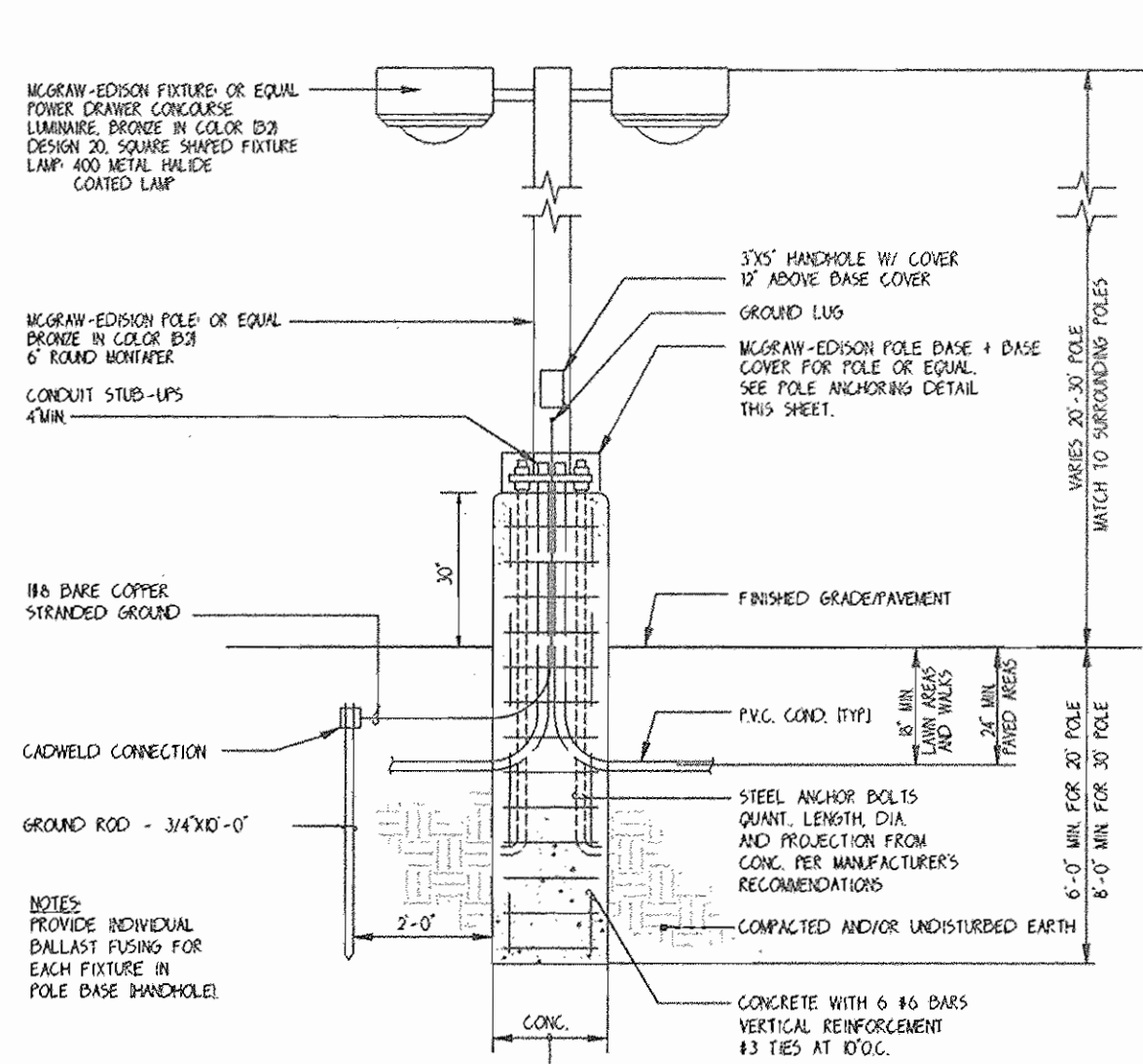
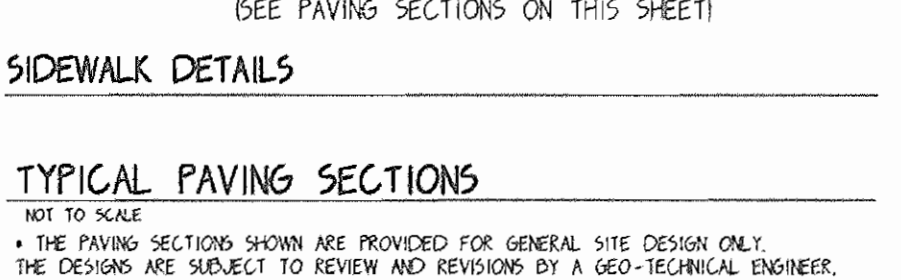
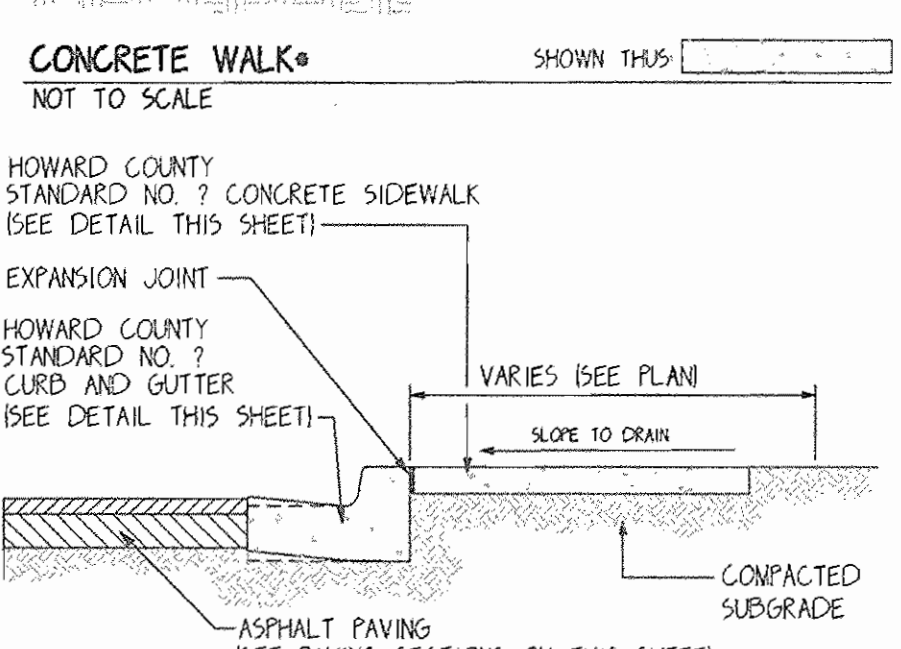
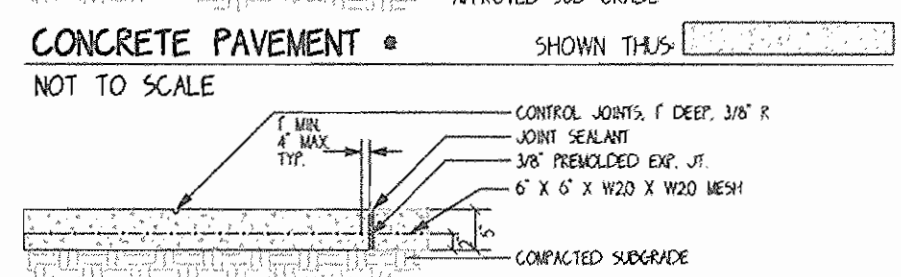
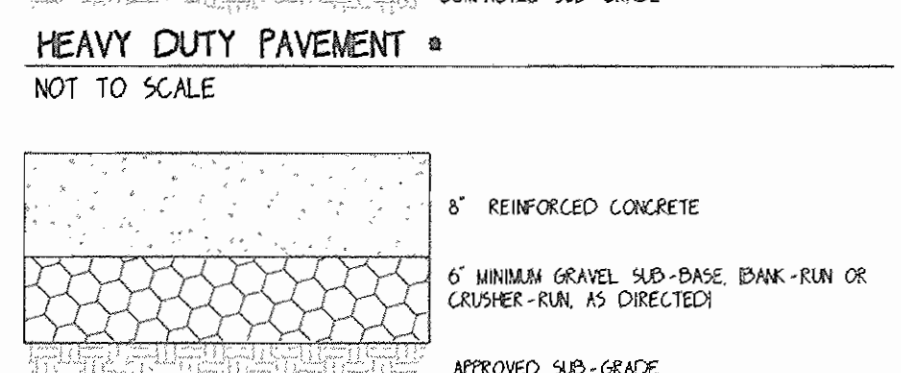
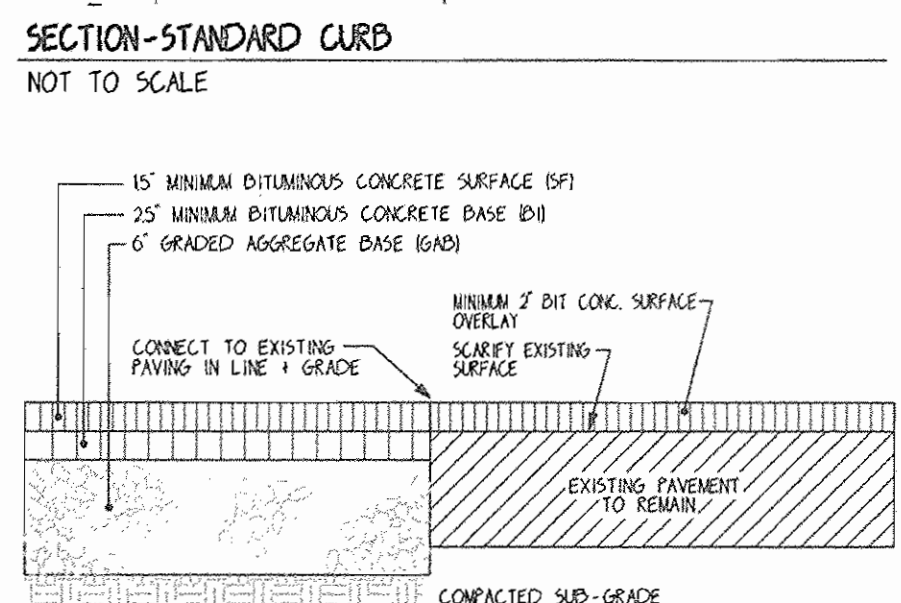
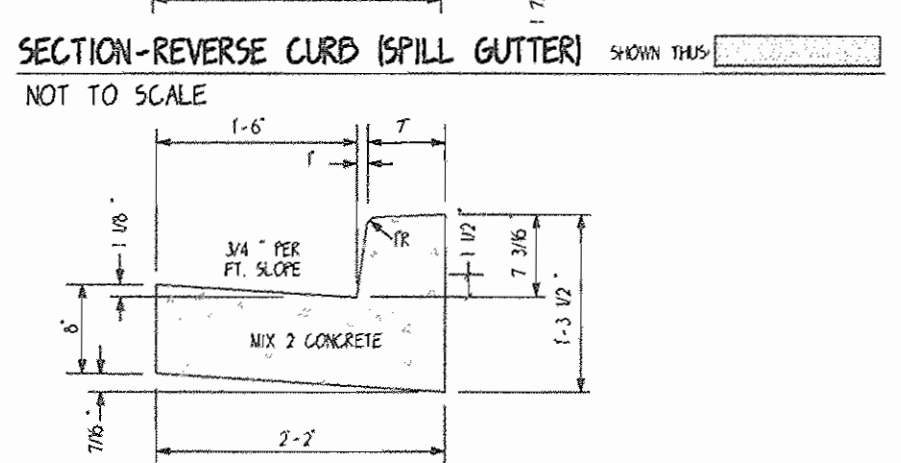
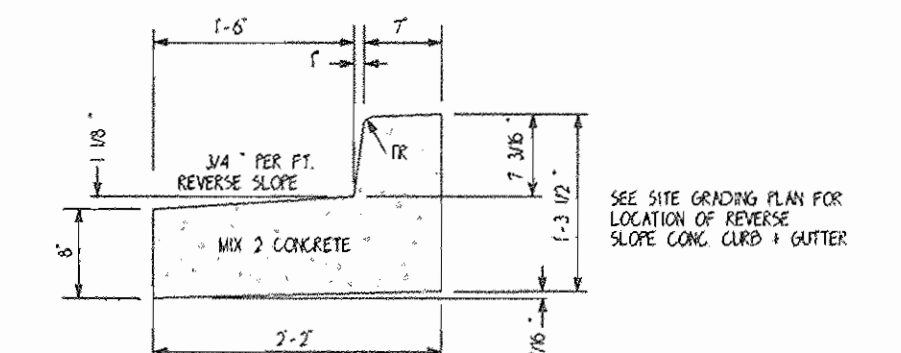


SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING

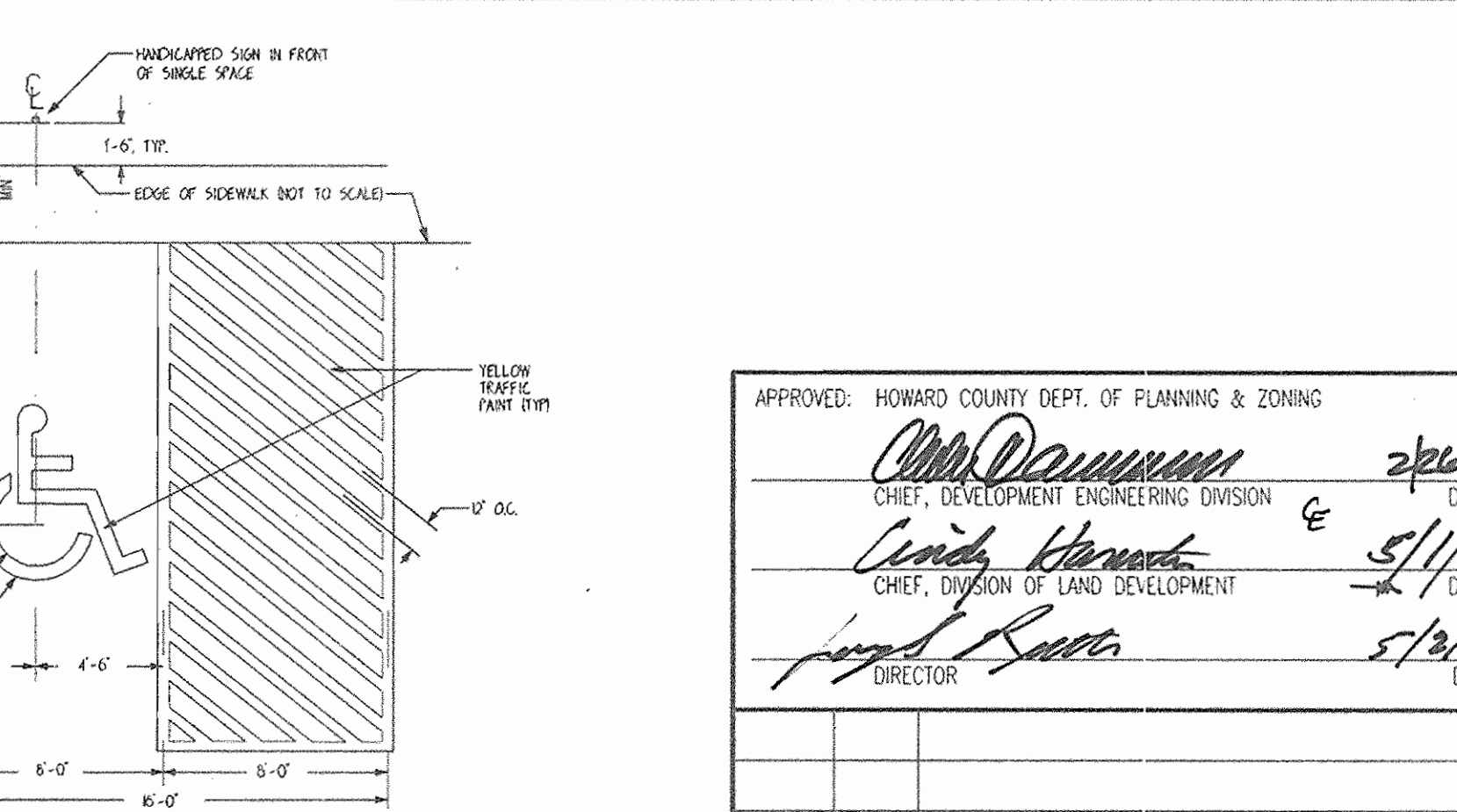
NUMBER OF PARKING SPACES	180
INTERNAL ISLANDS REQUIRED 1/20 SF	9 OR 1800 SF
NUMBER OF TREES REQUIRED 1/20 SP	9
NUMBER OF TREES PROVIDED	11
INTERNAL ISLANDS PROVIDED 200 SF/ISLAND	9 OR 820 SF PROVIDED

SCHEDULE A - PERIMETER LANDSCAPE EDGE

CATEGORY	NON-RESIDENTIAL, ADJACENT TO MAIER ROAD-NORTH SIDE BUILDINGS 2 AND 4	NON-RESIDENTIAL, ADJACENT TO MAIER ROAD-EAST REAR BUILDINGS 3 AND 4	NON-RESIDENTIAL, ADJACENT TO MAIER ROAD-SOUTH SIDE BUILDINGS 1 AND 3	PARKING ADJACENT TO MAIER ROAD NORTH	PARKING ADJACENT TO MAIER ROAD SOUTH	LOADING ADJACENT TO MAIER ROAD NORTH	LOADING ADJACENT TO MAIER ROAD SOUTH
LANDSCAPE TYPE	D	C	D	E	E	C	C
LINEAR FEET OF ROADWAY FRONTAGE / PERIMETER	310	470	310	150	170	90	90
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	NO	NO
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED (BASED ON TOTAL PERIMETER)							
TYPE B							
SHADE TREES	7	7	7	7	7	7	7
EVERGREEN TREES	140	140	140	140	140	140	140
SHRUBS	0	0	0	0	0	0	0
TYPE C							
SHADE TREES	140	12	3	3	3	3	3
EVERGREEN TREES	120	24	5	5	5	5	5
SHRUBS	0	0	0	0	0	0	0
TYPE E							
SHADE TREES	140	4	5	4	5	4	4
EVERGREEN TREES	14	0	0	0	0	0	0
SHRUBS	0	0	0	0	0	0	0
NUMBER OF PLANTS PROVIDED							
SHADE TREES	7	16	9	6	5	4	4
EVERGREEN TREES	14	24	16	16	16	16	16
OTHER TREES (BY SUBSTITUTION)	0	0	0	0	0	0	0
SHRUBS	0	0	0	0	0	0	0
TOTAL SHRUBS	0	0	0	0	0	0	0



KEY	QUANTITY	PLANT BOTANICAL NAME	PLANT COMMON NAME	SIZE AND CONDITION	REMARKS
SHADE TREES					
60	60	ACER SACCHARUM	GREEN MOUNTAIN SUGAR MAPLE	12'-14" HEIGHT 25'-3" CAL. DBH	BALL + BAGGED
6	6	GLEDITSIA TRIACANTHOS VAR. INERMIS	THORNLESS HONEYLOCUST	12'-14" HEIGHT 25'-3" CAL. DBH	BALL + BAGGED
EVERGREEN TREES					
66	66	CUPRESSOCYPARIS LEHLANDI	LETTLAND CYPRESS	5'-5" HEIGHT DBH	BALL + BAGGED
252	252	EUCOMMIS PATENS MANHATTAN	MANHATTAN EUCOMMIS	30'-25" DBH OR CONT	30' O/C



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

Chris Dorman 2/6/02
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Leah Hancock 5/1/02
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Joseph R. Smith 5/3/02
DIRECTOR DATE

DATE NO. REVISION DESCRIPTION

PROJECT

ERNIE MAIER WAREHOUSE COMPLEX

OWNER/DEVELOPER/APPLICANT

MR. ERNIE MAIER
4700 ANNAPOLIS ROAD
BLADENBURG, MARYLAND 20710
PHONE: 301-927-8300

JOYCE ENGINEERING CORPORATION
PROFESSIONAL ENGINEERS, PROFESSIONAL SURVEYORS
LAND PLANNING & CONSTRUCTION MANAGEMENT
10766 BALTIMORE AVENUE - TWIN CHIMNEYS OFFICE PARK
BELTSVILLE, MARYLAND 20705
TEL: (301) 595-4353 FAX: (301) 595-4650
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ADDRESS CHART

LOT/PARCEL	BUILDING NO.	STREET ADDRESS	UNIT IDENTIFICATION
PARCEL 5	BUILDING 1	8025 MAIER ROAD	A B C D
PARCEL 5	BUILDING 2	8025 MAIER ROAD	A B C D
PARCEL 5	BUILDING 3	8025 MAIER ROAD	A B C D
PARCEL 5	BUILDING 4	8025 MAIER ROAD	A B C D

PERMIT INFORMATION CHART

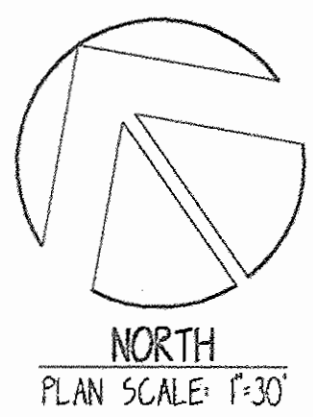
SUBDIVISION	SECTION/AREA	PARCEL #
MAIER INDUSTRIAL PARK	SECTION 1	PARCEL C-5

DATE: SEPTEMBER 6, 2000

PROFESSIONAL ENGINEER, NO. 12243

INDEX TO DRAWINGS

1 OF 13	COVER SHEET
2 OF 13	SITE DEVELOPMENT, ENTRANCE + PAVING PLAN
3 OF 13	LANDSCAPE PLAN
4 OF 13	SITE DEVELOPMENT, ENTRANCE, PAVING, + LANDSCAPING NOTES + DETAILS
5 OF 13	SEDIMENT + EROSION CONTROL PLAN
6 OF 13	SEDIMENT + EROSION CONTROL NOTES, AND DETAILS
7 OF 13	SEDIMENT + EROSION CONTROL NOTES, AND DETAILS
8 OF 13	EXISTING DRAINAGE AREA MAP
9 OF 13	PROPOSED DRAINAGE AREA MAP
10 OF 13	STORM DRAIN, STORMWATER MANAGEMENT PLAN
11 OF 13	STORM DRAIN, STORMWATER MANAGEMENT NOTES, PROFILES, AND DETAILS
12 OF 13	ON-SITE WATER AND SEWER PLAN
13 OF 13	ON-SITE WATER AND SEWER PROFILES, + NOTES



TEMP. EARTH DIKE TREATMENT B-2-SOUTH

N/F AC. MILLER P.540 L: 1007 F: 008 M-2 ZONE

NO VEHICULAR ACCESS DURING CONSTRUCTION

TEMP. EARTH DIKE TREATMENT B-2-SOUTH

THIS EARTH DIKE TO BE MAINTAINED DAILY THE EXISTING AND PROPOSED GRADES ARE THE SAME ELEVATION

N/F PARCEL E-4 M-2 ZONE

N/F PARCEL E-3 M-2 ZONE

INDEX TO DRAWINGS

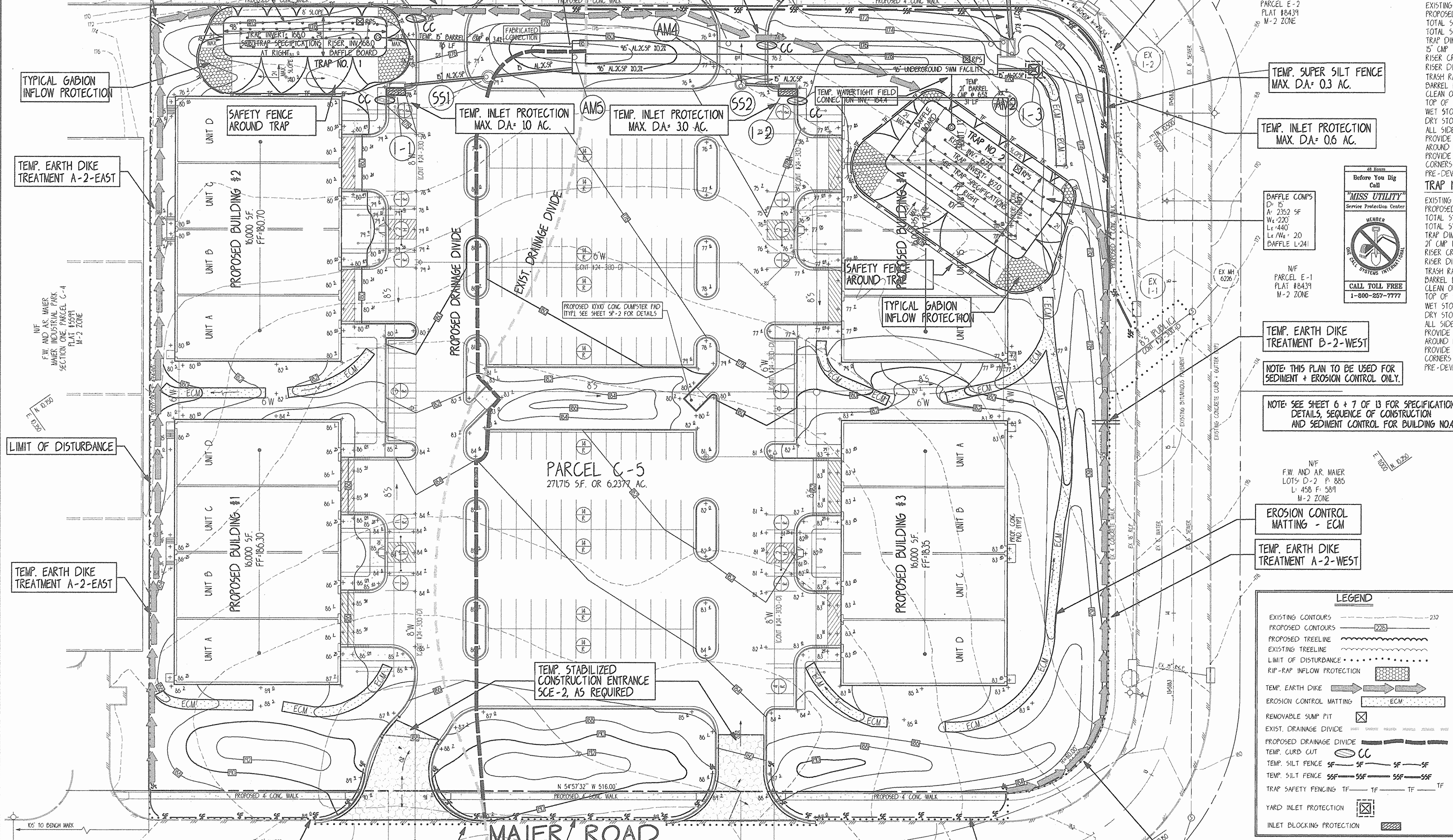
- 1 OF 13 COVER SHEET
- 2 OF 13 SITE DEVELOPMENT, ENTRANCE & PAVING PLAN
- 3 OF 13 LANDSCAPE PLAN
- 4 OF 13 SITE DEVELOPMENT, ENTRANCE, PAVING, & LANDSCAPING NOTES & DETAILS
- 5 OF 13 SEDIMENT & EROSION CONTROL PLAN
- 6 OF 13 SEDIMENT & EROSION CONTROL NOTES, AND DETAILS
- 7 OF 13 SEDIMENT & EROSION CONTROL NOTES, AND DETAILS
- 8 OF 13 EXISTING DRAINAGE MAP
- 9 OF 13 PROPOSED DRAINAGE AREA MAP
- 10 OF 13 STORM DRAIN, STORMWATER MANAGEMENT PLAN
- 11 OF 13 STORM DRAIN, STORMWATER MANAGEMENT NOTES, PROFILES, AND DETAILS
- 12 OF 13 ON-SITE WATER AND SEWER PLAN
- 13 OF 13 ON-SITE WATER AND SEWER PROFILES, & NOTES

TRAP NO. 1 PIPE OUTLET SEDIMENT TRAP ST-1

EXISTING DRAINAGE AREA: 185 AC.
PROPOSED DRAINAGE AREA: 20 AC.
TOTAL STORAGE REQUIRED: 7,200 CF. - 13,600 CF. DRY AND 3,600 CF. WET STORAGE
TOTAL STORAGE PROVIDED: 8,800 CF. - 14,090 CF. DRY AND 4,090 CF. WET STORAGE
TRAP DIMENSIONS, BOTTOM: 18"X24"X3" DEEP
5" CMP INVERT ELEVATION AT RISER: 168.0 - BOTTOM TRAP RISER CREST ELEVATION 1710 INVERT AT FIELD CONN: 164.0 - 96" AL2CSF RISER DIAMETER: 18"
TRASH RACK DIAMETER: 27" BARREL DIAMETER: 15" CMP LENGTH 18', SLOPE: 3/42 CLEAN OUT ELEVATION: 168.75 - 1/2 WET STORAGE TOP OF EMBANKMENT: 1720 WET STORAGE ELEV.: 169.50 DRY STORAGE ELEV.: CREST 1710 ALL SIDE SLOPES 2:1 MAX PROVIDE SAFETY FENCE AT TOP OF SLOPE AROUND ENTIRE TRAP PROVIDE GABION RIP-RAP INFLOW PROTECTION AT FOUR CORNERS OF TRAP FOR DETAILS, SEE SHEET 6 & 7 OF 13 PRE-DEVELOPMENT: Q₁: 5.6 CFS. POST DEVELOPMENT Q₁: 5.4 CFS

TRAP NO. 2 PIPE OUTLET SEDIMENT TRAP ST-1

EXISTING DRAINAGE AREA: 395 AC.
PROPOSED DRAINAGE AREA: 41 AC.
TOTAL STORAGE REQUIRED: 14,760 CF. - 17,380 CF. DRY AND 7,380 CF. WET STORAGE
TOTAL STORAGE PROVIDED: 18,000 CF. - 19,000 CF. DRY AND 9,000 CF. WET STORAGE
TRAP DIMENSIONS, BOTTOM: 18"X30"X3" DEEP
21" CMP INVERT ELEVATION AT RISER: 167.0 - BOTTOM TRAP RISER CREST ELEVATION 1700 INVERT AT FIELD CONN: 164.4 - 96" AL2CSF RISER DIAMETER: 27"
TRASH RACK DIAMETER: 42" BARREL DIAMETER: 21" CMP LENGTH 31', SLOPE: 6/51 CLEAN OUT ELEVATION: 167.75 - 1/2 WET STORAGE TOP OF EMBANKMENT: 1710 WET STORAGE ELEV.: 168.50 DRY STORAGE ELEV.: CREST 1700 ALL SIDE SLOPES 2:1 MAX PROVIDE SAFETY FENCE AT TOP OF SLOPE AROUND ENTIRE TRAP PROVIDE GABION RIP-RAP INFLOW PROTECTION AT FOUR CORNERS OF TRAP FOR DETAILS, SEE SHEET 6 & 7 OF 13 PRE-DEVELOPMENT: Q₁: 5.6 CFS. POST DEVELOPMENT Q₁: 5.4 CFS



TEMP. SUPER SILT FENCE MAX. D.A.: 0.3 AC.

TEMP. INLET PROTECTION MAX. D.A.: 0.6 AC.

TEMP. EARTH DIKE TREATMENT B-2-WEST

NOTE: THIS PLAN TO BE USED FOR SEDIMENT & EROSION CONTROL ONLY.

NOTE: SEE SHEET 6 & 7 OF 13 FOR SPECIFICATIONS, DETAILS, SEQUENCE OF CONSTRUCTION AND SEDIMENT CONTROL FOR BUILDING NO.4

EROSION CONTROL MATTING - ECM

TEMP. EARTH DIKE TREATMENT A-2-WEST

TEMP. SILT FENCE MAX. D.A.: 0.1 AC.

TEMP. SILT FENCE MAX. D.A.: 0.1 AC.

LEGEND

- EXISTING CONTOURS: --- 232
- PROPOSED CONTOURS: --- 220
- PROPOSED TREELINE: ---
- EXISTING TREELINE: ---
- LIMIT OF DISTURBANCE: - - - -
- RIP-RAP INFLOW PROTECTION: [Symbol]
- TEMP. EARTH DIKE: [Symbol]
- EROSION CONTROL MATTING - ECM: [Symbol]
- REMOVABLE SUMP PIT: [Symbol]
- EXIST. DRAINAGE DIVIDE: [Symbol]
- PROPOSED DRAINAGE DIVIDE: [Symbol]
- TEMP. CURB CUT: [Symbol]
- TEMP. SILT FENCE SF: [Symbol]
- TEMP. SILT FENCE SSF: [Symbol]
- TRAP SAFETY FENCING TF: [Symbol]
- YARD INLET PROTECTION: [Symbol]
- INLET BLOCKING PROTECTION: [Symbol]

APPROVED FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

John D. ... 2/26/02
CHIEF, DEVELOPMENT ENGINEERING DIVISION

Wendy ... 5/1/02
CHIEF, DIVISION OF LAND DEVELOPMENT

Joseph ... 5/2/02
DIRECTOR

DATE	NO.	REVISION DESCRIPTION

PROJECT

ERNIE MAIER WAREHOUSE COMPLEX

OWNER/DEVELOPER/APPLICANT
MR. ERNIE MAIER
4700 ANNAPOLIS ROAD
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PARCEL 5	BUILDING 3	9025 WHER ROAD	A B C D
PARCEL 5	BUILDING 4	9025 WHER ROAD	A B C D

PERMIT INFORMATION CHART

SUBDIVISION	SECTION/AREA	LOT/PARCEL #
MAIER INDUSTRIAL PARK		PARCEL C-5
PLAT OR L/T	BLOCK	SECTION
14867	23	47
WATER CODE	TAX/ZONE MAP	ELECT. DISTRICT
C-04	M-2	6TH
	SEWER CODE	6TH
		7-000000

TITLE

SEDIMENT & EROSION CONTROL PLAN

DES BY WAJ SCALE 1"=30' PROJ. NO. 99-057
DRN BY HAL DATE OCTOBER 1999 5 OF 13
CHK BY JEC APPROVED

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE

APPROVED: *[Signature]* 2/22/02
HOWARD SOIL CONSERVATION DISTRICT

DEVELOPERS CERTIFICATE:

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE THE INSTALLATION OF THE EROSION AND SEDIMENT CONTROL DEVICES.

I ALSO AUTHORIZE PERSONNEL ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

DATE: 2/22/02

ENGINEERS CERTIFICATE:

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE / SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE THE INSTALLATION OF THE EROSION AND SEDIMENT CONTROL DEVICES.

DATE: 2/22/02

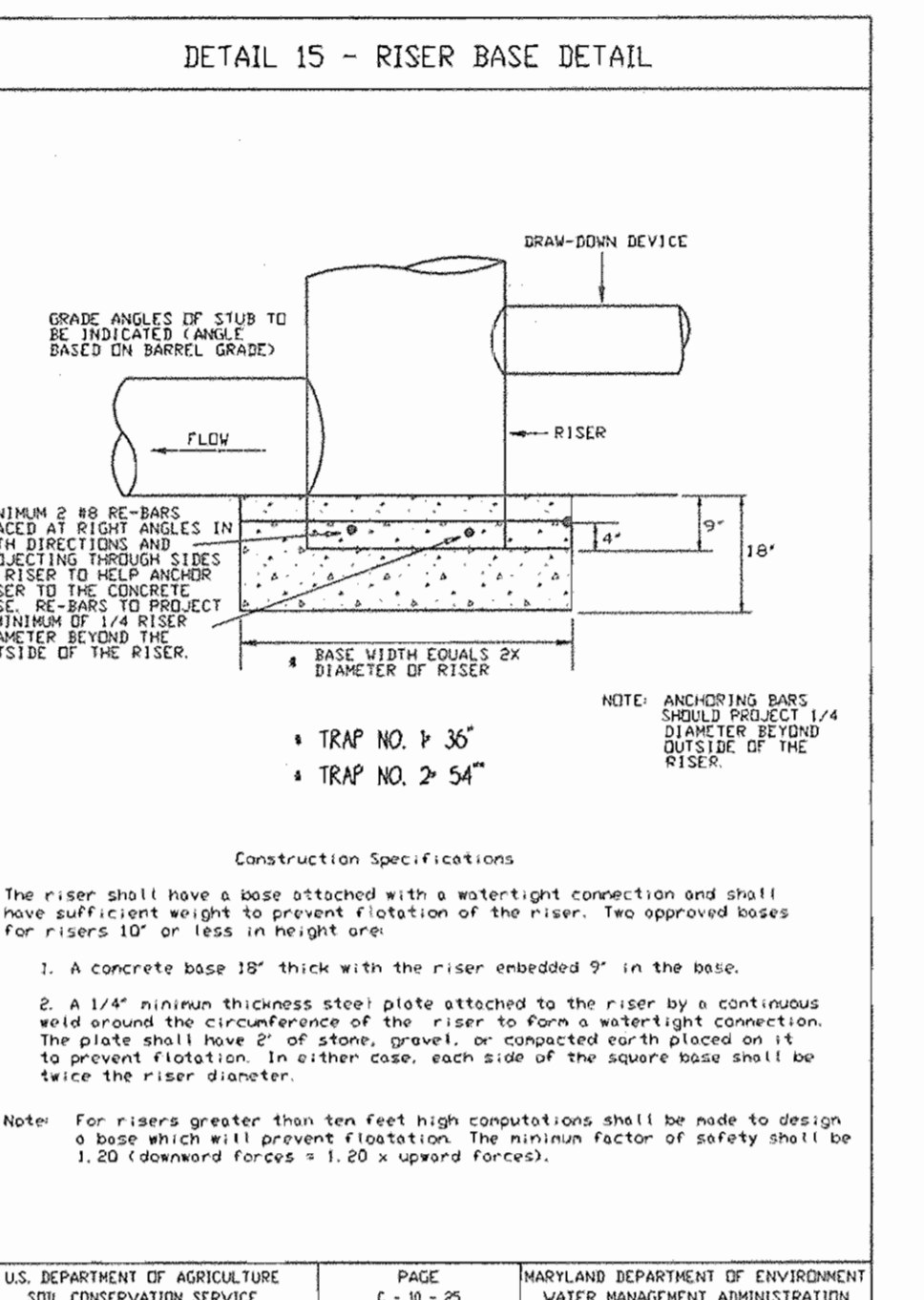
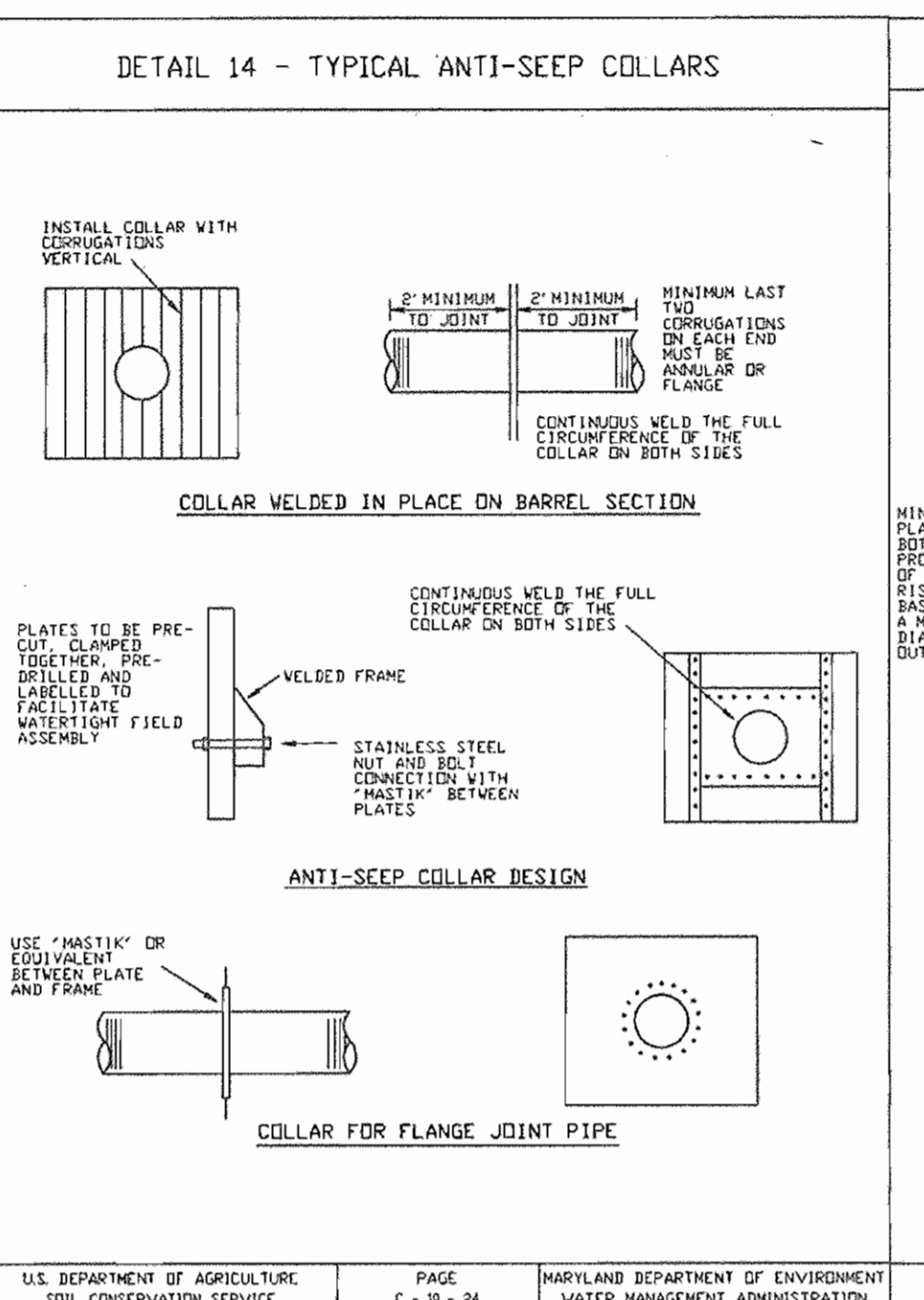
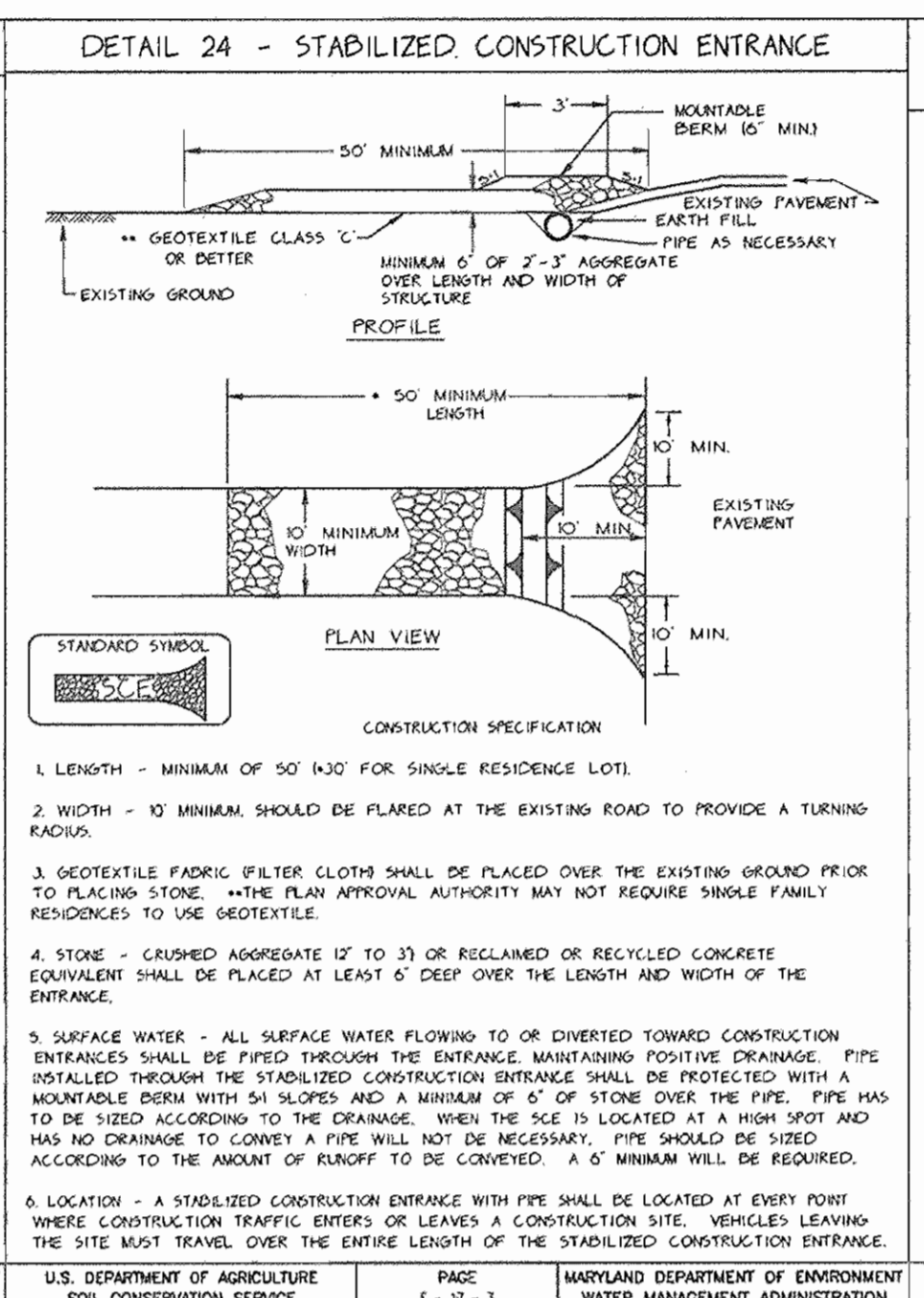
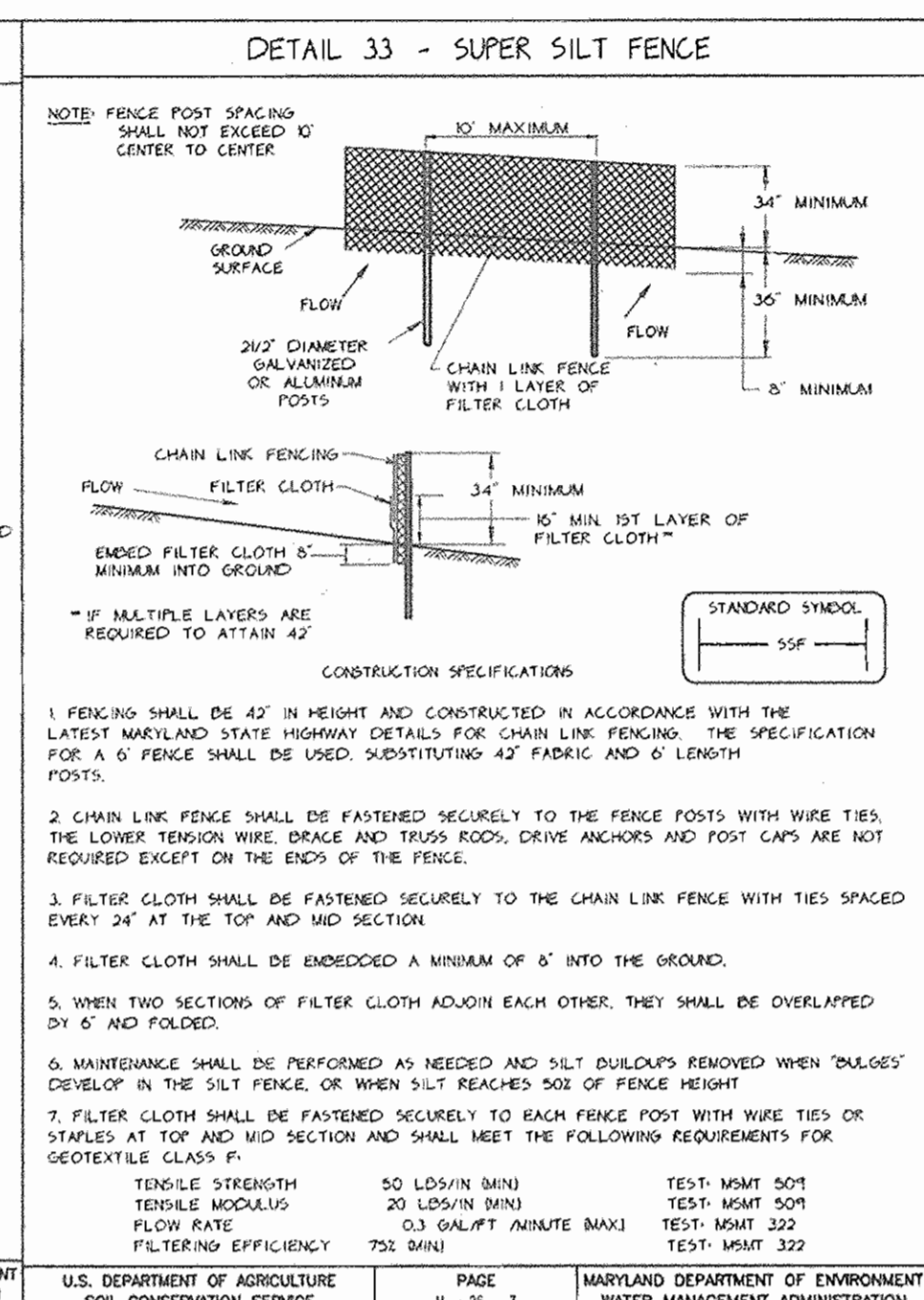
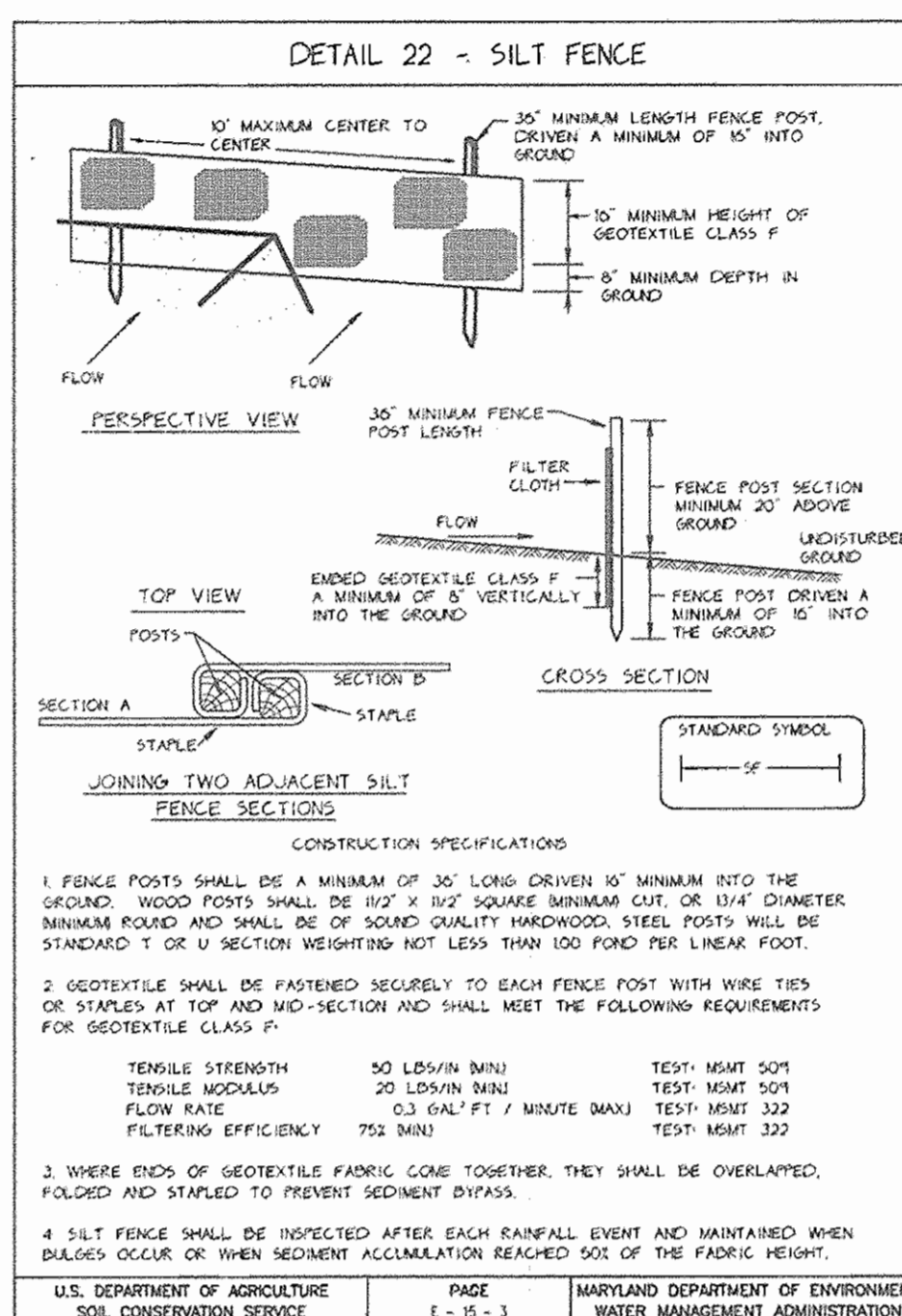
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DATE

PROFESSIONAL ENGINEER, NO. 12243

TEMP. SILT FENCE MAX. D.A.: 0.1 AC.

TEMP. SILT FENCE MAX. D.A.: 0.1 AC.

TEMP. SILT FENCE MAX. D.A.: 0.1 AC.



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- OF 13 COVER SHEET
- OF 13 SITE DEVELOPMENT, ENTRANCE + PAVING PLAN
- OF 13 SITE DEVELOPMENT, ENTRANCE, PAVING, + LANDSCAPING NOTES + DETAILS
- OF 13 LANDSCAPE PLAN
- OF 13 SEDIMENT + EROSION CONTROL PLAN
- OF 13 SEDIMENT + EROSION CONTROL NOTES, AND DETAILS
- OF 13 EXISTING DRAINAGE MAP
- OF 13 PROPOSED DRAINAGE AREA MAP
- OF 13 STORM DRAIN, STORMWATER MANAGEMENT PLAN
- OF 13 STORM DRAIN, STORMWATER MANAGEMENT NOTES, PROFILES, AND DETAILS
- OF 13 ON-SITE WATER AND SEWER PLAN
- OF 13 ON-SITE WATER AND SEWER PROFILES, + NOTES

HOWARD CO. SEDIMENT CONTROL GENERAL NOTES

- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTIONS AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION 440-30-8801
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - A SEVEN CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3:1.
 - FOURTEEN DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAP/BAFFLES SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOLUME I, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. FOR PERMANENT SEEDING SECTION 541 SOIL SECTION 541 TEMPORARY SEEDING SECTION 521 AND MULCHING SECTION 521 TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
7. SITE ANALYSIS:
 - TOTAL AREA OF SITE: 6,237 AC.
 - AREA DISTURBED: 6,207 AC.
 - AREA TO ROOFED OR PAVED: 391 AC.
 - AREA TO BE VEGETATIVELY STABILIZED: 232 AC.
 - TOTAL CUT: 20,550 C.Y.
 - TOTAL FILL: 18,400 C.Y.
 OFF-SITE WASTE/BORROW AREA LOCATION TO BE DETERMINED BY CONTRACTOR AND SEDIMENT CONTROL INSPECTOR, AND MUST BE TRANSPORTED TO A SITE WITH AN ACTIVE GRADING PERMIT.
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVE FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DPW SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.

SILT FENCE

SILT FENCE DESIGN CRITERIA

SLOPE STEEPNESS	MAXIMUM SLOPE LENGTH	MAXIMUM SILT FENCE LENGTH
FLATTER THAN 50:1	UNLIMITED	UNLIMITED
50:1 TO 10:1	125 FEET	1000 FEET
10:1 TO 5:1	100 FEET	750 FEET
5:1 TO 3:1	60 FEET	500 FEET
3:1 TO 2:1	40 FEET	250 FEET
2:1 AND STEEPER	20 FEET	125 FEET

NOTE: IN AREAS OF LESS THAN 2% SLOPE AND SANDY SOILS, SOIL GENERAL CLASSIFICATION SYSTEM SOIL CLASS A MAXIMUM SLOPE LENGTH AND SILT FENCE LENGTH WILL BE UNLIMITED. IN THESE AREAS A SILT FENCE MAY BE THE ONLY PERIMETER CONTROL REQUIRED.

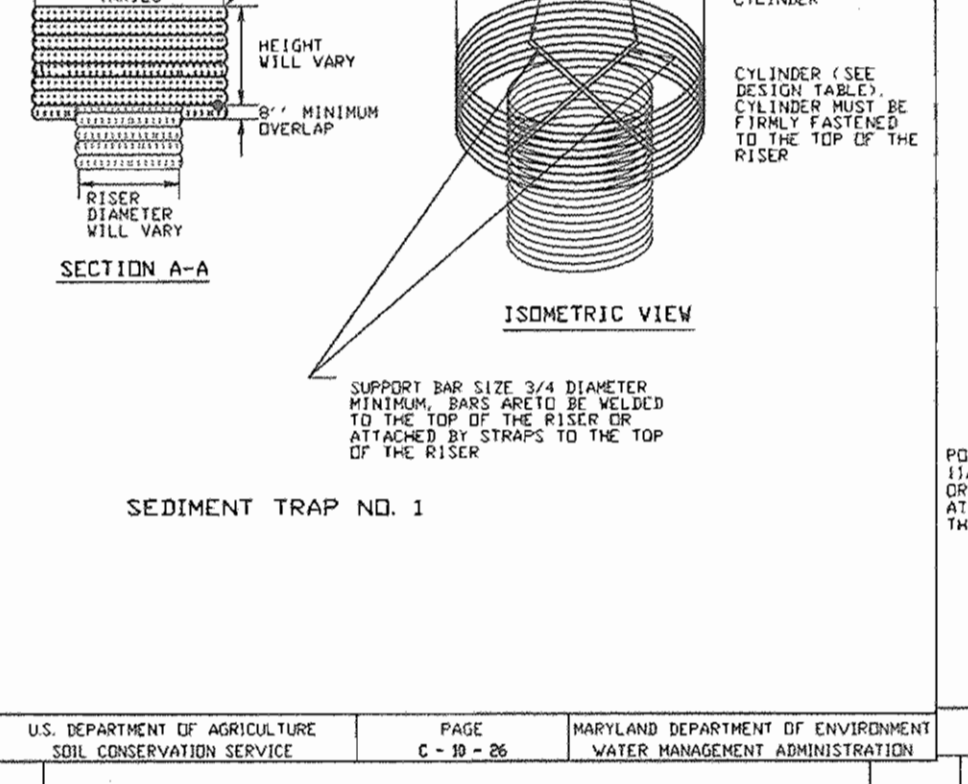
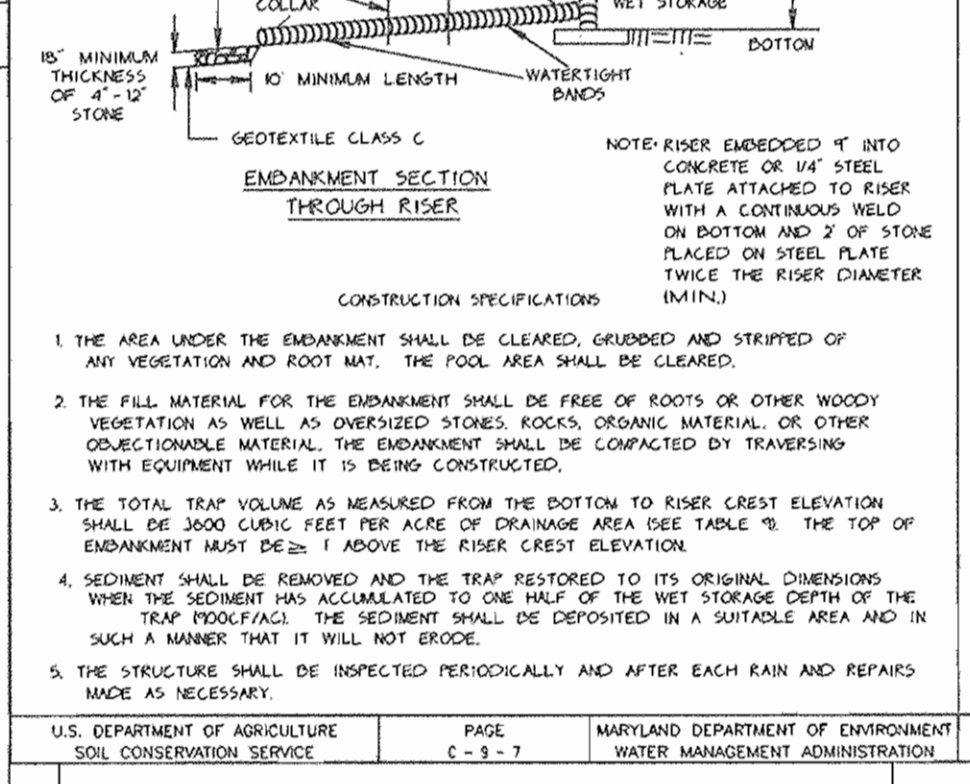
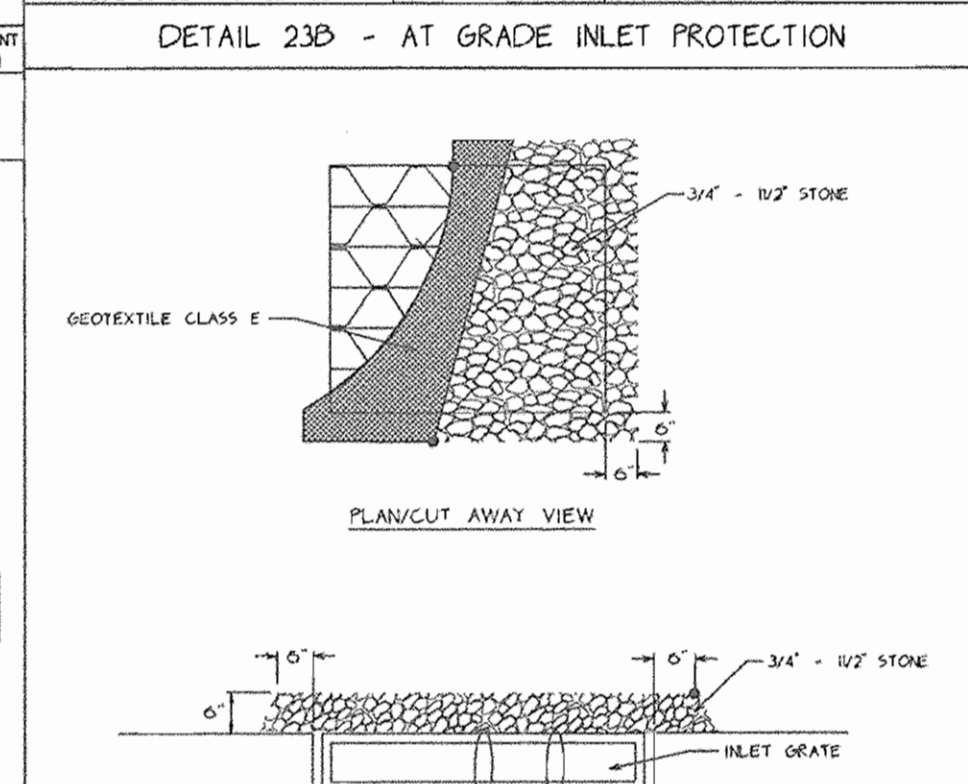
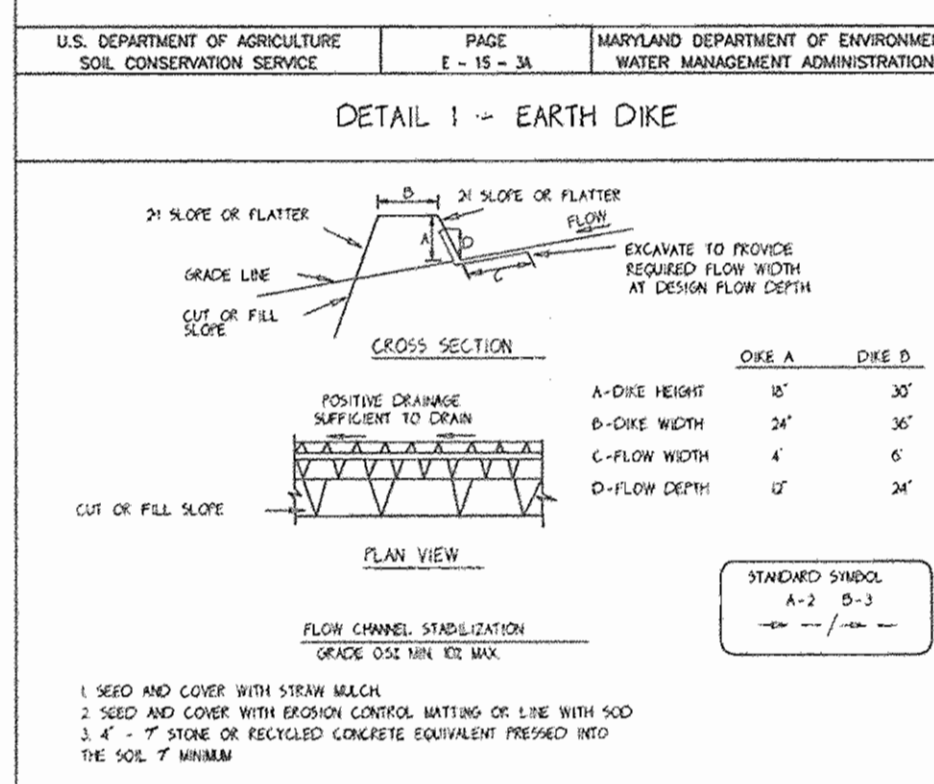
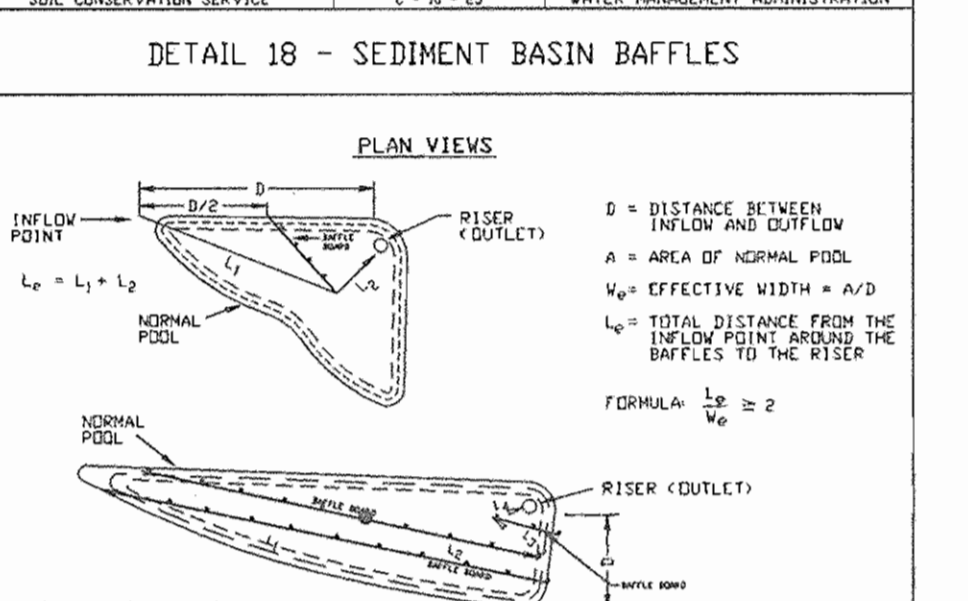
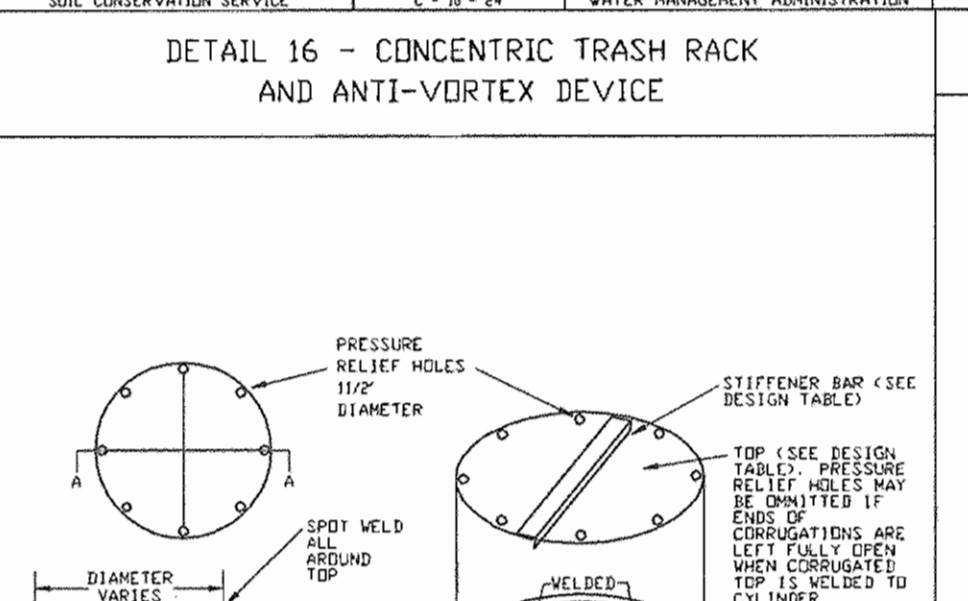
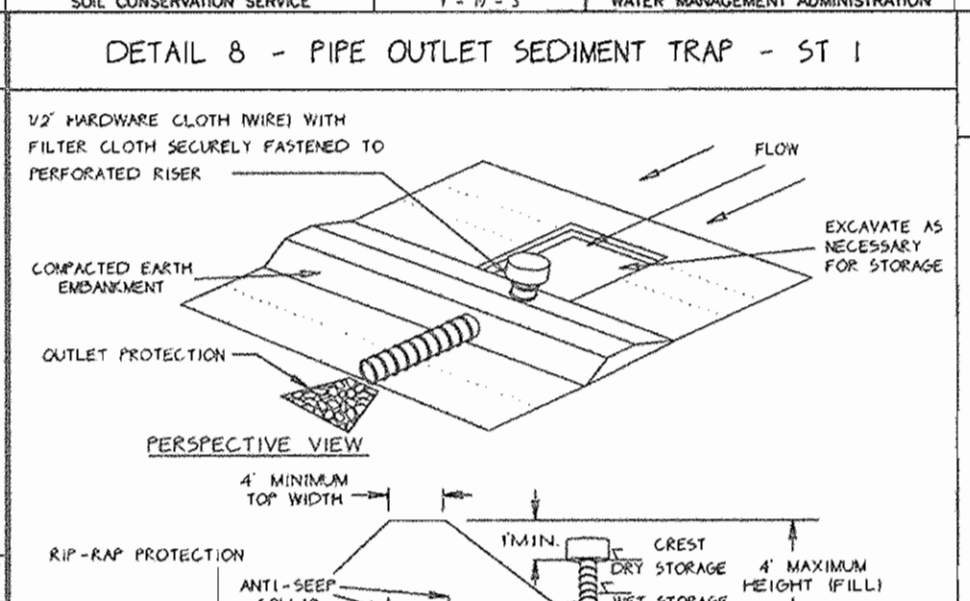
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-15-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

SUPER SILT FENCE

DESIGN CRITERIA

SLOPE	SLOPE STEEPNESS	SLOPE LENGTH MAXIMUM	SILT FENCE LENGTH MAXIMUM
0 - 10%	0 - 10:1	UNLIMITED	UNLIMITED
10 - 20%	10:1 - 5:1	200 FEET	1500 FEET
20 - 33%	5:1 - 3:1	100 FEET	1000 FEET
33 - 50%	3:1 - 2:1	100 FEET	500 FEET
50% +	2:1 +	50 FEET	250 FEET

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-15-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



DETAIL 16 CONCENTRIC TRASH RACK AND ANTI-VORTEX DEVICE (continued)

Trash Rack	Riser	Barrel Diam.	Barrel Length	Barrel Support	Minimum Top Thickness
Sediment Trap No. 1	18	27	16	8	16 ga.
Sediment Trap No. 2	27	42	16	15	14 ga.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-15-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DUST CONTROL SPECIFICATIONS

TEMPORARY METHODS

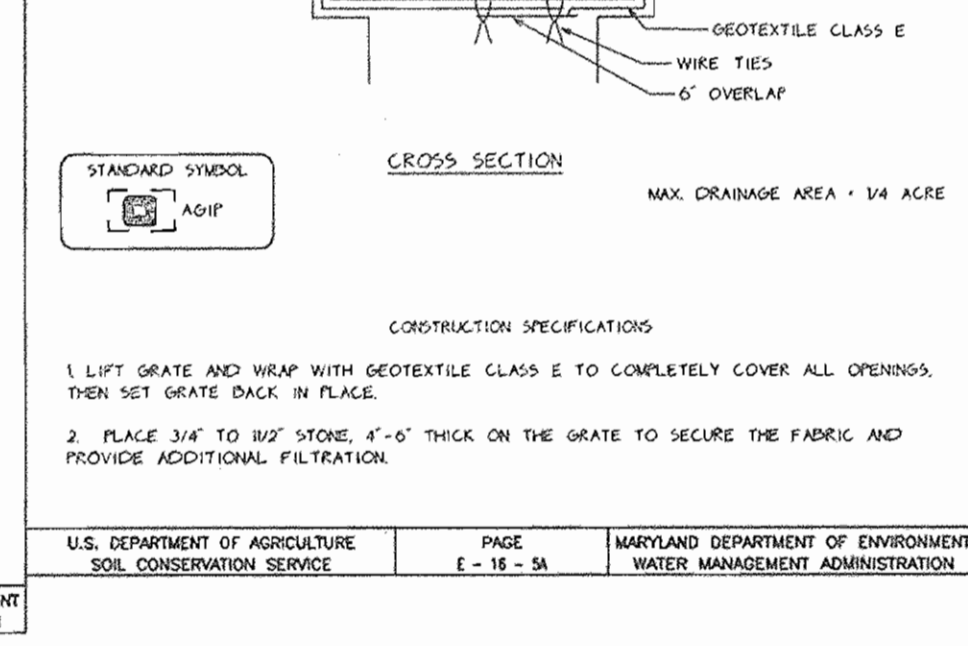
- MULCHES - SEE STANDARDS OR CRITICAL AREA STABILIZATION WITH MULCHES ONLY. CHEMICAL OR WOOD CELLULOSE FIBER BUNDLES MAY BE USED INSTEAD OF ASPHALT TO BIND MULCH MATERIAL.
- VEGETATIVE COVER - SEE STANDARDS FOR VEGETATIVE COVER.
- SPRAY-ON ADHESIVES - ON MINERAL SOILS NOT EFFECTIVE ON CLAY SOILS. KEEP TRAFFIC OFF THESE AREAS.

WATER DELUTION
 ANIONIC ASPHALT EMULSION
 LATEX EMULSION
 RESIN-IN-WATER EMULSION

PERMANENT METHODS

- PERMANENT VEGETATION - SEE STANDARDS FOR PERMANENT VEGETATIVE COVER, AND PERMANENT STABILIZATION WITH SO2 EXISTING TREES OR LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE.
- TOP SOILING - COVERING WITH LESS EROSION SOIL MATERIALS. SEE STANDARDS FOR TOPSOILING.
- STONE - COVER SURFACE WITH CRUSHED STONE OR COURSE GRAVEL.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-15-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

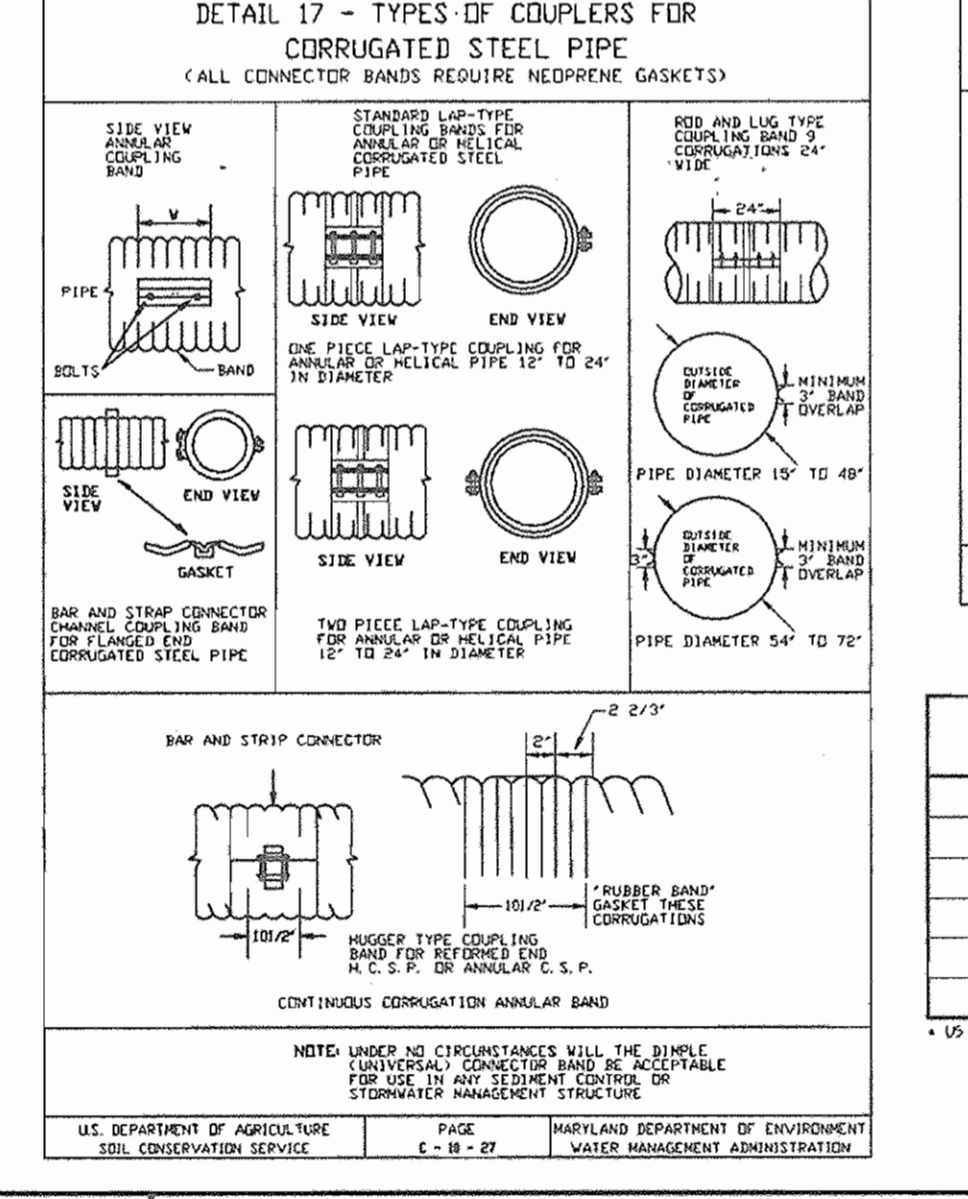
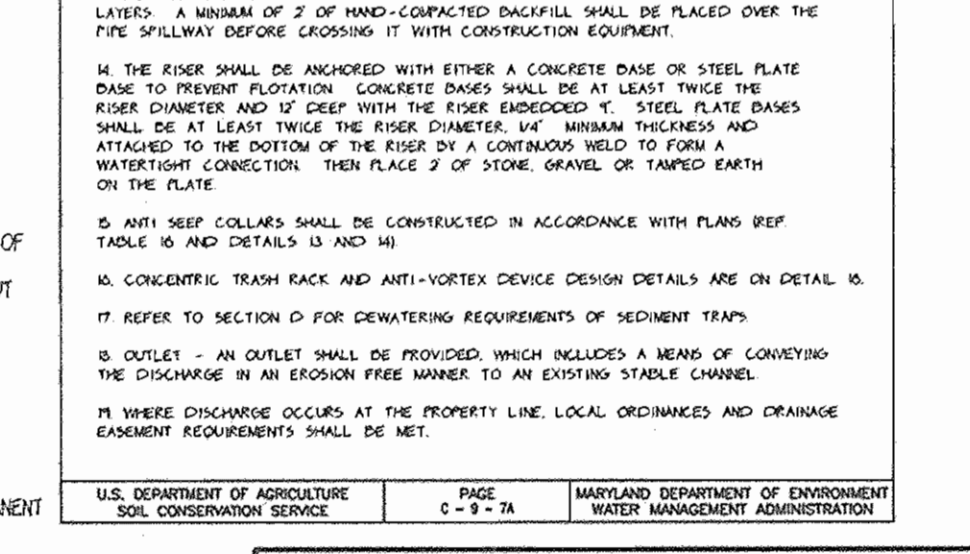


MATERIALS SPECIFICATIONS

TABLE 26 STONE SIZE

CLASS	GRADE	MINIMUM	MAXIMUM	ASTM	WEIGHT
HANDER 224	3/8" - 1 1/2"	1/2"	1 1/2"	M-43	N/A
HANDER 1	3/4" - 3"	2 1/2"	3"	M-43	N/A
RF-R&H	4" - 7"	5 1/2"	7"	N/A	N/A
CLASS I	N/A	1/2"	1"	N/A	6000 MAX.
CLASS II	N/A	1/2"	2"	N/A	7000 MAX.
CLASS III	N/A	1/2"	3"	N/A	20000 MAX.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-15-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



MATERIALS SPECIFICATIONS

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RF-R&H	4" - 7"	5 1/2"	7"	N/A	N/A
CLASS I	N/A	1/2"	1"	N/A	6000 MAX.
CLASS II	N/A	1/2"	2"	N/A	7000 MAX.
CLASS III	N/A	1/2"	3"	N/A	20000 MAX.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-15-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-15-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DEVELOPERS CERTIFICATE:
 I, JIM MAYS, CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE THE INSTALLATION OF THE EROSION AND SEDIMENT CONTROL DEVICES.

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U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-15-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS.
 HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

DATE: 2/26/02

PROJECT: ERNIE MAIER WAREHOUSE COMPLEX

OWNER/DEVELOPER/APPLICANT: MR. ERNIE MAIER, 4700 ANNAPOLIS ROAD, BLADENBURG, MARYLAND 20710, PHONE: 301-927-8300

JOYCE ENGINEERING CORPORATION
 PROFESSIONAL ENGINEERS, PROFESSIONAL SURVEYORS
 LAND PLANNING & CONSTRUCTION MANAGEMENT
 10766 BALTIMORE AVENUE - TWIN CHIMNEYS OFFICE PARK
 BELTSVILLE, MARYLAND 20705
 TEL: (301) 595-4555 FAX: (301) 595-4650
 © 1999 JOYCE ENGINEERING CORPORATION

ADDRESS CHART

LOT/PARCEL	BUILDING NO.	STREET ADDRESS	UNIT IDENTIFICATION
PARCEL 5	BUILDING 1	9015 MAIER ROAD	A B C D
PARCEL 5	BUILDING 2	9015 MAIER ROAD	A B C D
PARCEL 5	BUILDING 3	9015 MAIER ROAD	A B C D
PARCEL 5	BUILDING 4	9015 MAIER ROAD	A B C D

PERMIT INFORMATION CHART

SUBDIVISION	SECTION/AREA	LOT/PARCEL #	PARCEL C-S
MAIER INDUSTRIAL PARK	SECTION 1	42	6063

DATE: 07/01/02

TITLE: SEDIMENT AND EROSION CONTROL NOTES AND DETAILS

DES BY: WAJ SCALE: F=30 PROJ. NO.: 99-057

DRN BY: HAL DATE: OCT-20ER 1999 6 OF 13

CHK BY: JEC APPROVED: 07/01/02

PROFESSIONAL ENGINEER, NO. 12243

DATE: 07/01/02

FILE: R:\DWG\9905\99057502

SDP-00-145

STANDARD AND SPECIFICATIONS FOR TOPSOILING

DEFINITION
 PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF VEGETATION.

PURPOSE
 TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH ON AREAS WITH LOW MOISTURE, LOW NUTRIENT LEVELS, LOW PH, OR THE PRESENCE OF OTHER MATERIALS TOXIC TO PLANTS.

CONDITIONS WHERE PRACTICE APPLIES
 THIS PRACTICE IS RECOMMENDED FOR SITES OF 24 OR FLATTER SLOPES WHERE:

1. THE TEXTURE OF THE EXPOSED SUBSOIL OR PARENT MATERIAL IS NOT SUITABLE TO PRODUCE ADEQUATE VEGETATIVE GROWTH.
2. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
3. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
4. THE SOIL IS SO ACID THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

SPECIFICATIONS

SECTION I - SITE PREPARATION WHERE TOPSOIL IS TO BE ADDED

A. WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS COVERINGS, GRADE STABILIZATION STRUCTURES, DIKES, WATERWAYS AND SEDIMENT BASINS.

B. GRADING - GRADES ON THE AREAS TO BE TOPSOILED WHICH HAVE BEEN PREVIOUSLY ESTABLISHED SHALL BE MAINTAINED.

C. LINING - WHERE THE SUBSOIL IS EITHER HIGHLY ACID OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (800-1600 POUNDS PER 1000 SQUARE FEET). LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.

D. TILLING - AFTER THE AREAS TO BE TOPSOILED HAVE BEEN BROUGHT TO GRADE AND IMMEDIATELY PRIOR TO SPREADING TOPSOIL, THE SUBGRADE SHALL BE LOOSENEED BY DISCING OR BY SCRAPING TO A DEPTH OF AT LEAST 3 INCHES TO PERMIT BONDING OF THE TOPSOIL TO THE SUBSOIL. DISCING SHALL BE PERFORMED UP AND DOWN OVER THE ENTIRE SURFACE AREA OF THE SLOPE TO CREATE HORIZONTAL EROSION CHECK SLOTS TO PREVENT TOPSOIL FROM SLIDING DOWN THE SLOPE.

SECTION II - TOPSOIL MATERIAL AND APPLICATION

NOTE: TOPSOIL SALVAGED FROM THE EXISTING SITE MAY OFTEN BE USED BUT IT SHOULD MEET THE SAME STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. THE DEPTH OF TOPSOIL TO BE SALVAGED SHALL BE NO MORE THAN THE DEPTH DESCRIBED AS A REPRESENTATIVE PROFILE FOR THAT PARTICULAR SOIL TYPE AS DESCRIBED IN THE SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURE EXPERIMENTAL STATION.

A. MATERIALS - TOPSOIL SHALL BE A LOAM SANDY LOAM CLAY LOAM, SILT LOAM SANDY CLAY LOAM, LOAMY SAND OR OTHER SOIL AS APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST. IT SHALL NOT HAVE A MIXTURE OF CONTRASTING TEXTURED SUBSOIL AND CONTAIN NO MORE THAN 5 PERCENT BY VOLUME OF CLINDERS, STONES, SLAG, COARSE FRAGMENTS, LEVEL, STUBS, ROOTS, TRASH OR OTHER EXTRANEIOUS MATERIALS LARGER THAN 1/2 INCHES IN DIAMETER. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS OF BERMUDAGRASS, QUACKGRASS, JOHNSONGRASS, NUTBUSH, POISON IVY, THISTLES, OR OTHERS AS SPECIFIED. ALL TOPSOIL SHALL BE TESTED BY A RECOGNIZED LABORATORY FOR ORGANIC MATTER CONTENT, PH AND SOLUBLE SALTS. A PH OF 6.0 TO 7.5 AND AN ORGANIC CONTENT OF NOT LESS THAN 15 PERCENT BY WEIGHT IS REQUIRED. PH VALUES LESS THAN 6.0 LIME SHALL BE APPLIED AND INCORPORATED WITH THE TOPSOIL TO ADJUST THE PH TO 6.5 OR HIGHER. TOPSOIL CONTAINING SOLUBLE SALTS GREATER THAN 500 PARTS PER MILLION SHALL NOT BE USED.

NO SOD OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNLESS SUFFICIENT TIME HAS ELAPSED TO PERMIT DISSIPATION OF TOXIC MATERIALS.

NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS AS APPROVED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST, MAY BE USED IN LIEU OF NATURAL TOPSOIL.

B. GRADING - THE TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED AND COMPACTED TO A MINIMUM OF FOUR (4) INCHES. SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SOODING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. TOP SOIL SHALL NOT BE PLACED WHILE IN A FROZEN OR MUDDY CONDITION. WHEN THE SUBGRADE IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDING PREPARATION.

ALTERNATIVE FOR PERMANENT SEEDING

AS AN OPTION TO APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, APPLY COMPOSTED SLODGE AS SPECIFIED BELOW. A POTASSIUM FERTILIZER AT THE RATE OF 4 POUNDS PER 1000 SQUARE FEET AND 1/3 THE NORMAL LIME APPLICATION RATE.

COMPOSTED SLODGE FOR USE AS A SOIL AMENDMENT OR CONDITIONER SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

1. BE SUPPLIED BY OR ORIGINATE FROM A PERSON OR PERSONS THAT ARE PERMITTED AT THE TIME OF ACQUISITION OF THE COMPOST BY THE MARYLAND DEPARTMENT OF HEALTH AND MENTAL HYGIENE UNDER REGULATION 5.07.10.
2. SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 15 PERCENT PHOSPHORUS AND 2 PERCENT POTASSIUM AND HAVE A PH OF 7.0 AND 8.0.
3. BE APPLIED AT A RATE OF 2000 POUNDS PER 1000 SQUARE FEET.

REFERENCES

1. GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SOODING, MD-YA P.L.B. #1 COOPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTES, REVISED 1973.

VEGETATIVE STABILIZATION PERMANENT AND TEMPORARY SEEDINGS, SOODING AND MULCHING

I. SITE PREPARATION
 PERMANENT OR TEMPORARY VEGETATION SHALL BE ESTABLISHED WITHIN SEVEN (7) DAYS ON THE SURFACE OF ALL EROSION CONTROL PRACTICES SUCH AS COVERINGS, GRADE STABILIZATION STRUCTURES, DIKES, WATERWAYS, SEDIMENT CONTROL BASINS, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL. USE AND WITHIN 10 DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. MULCHING MAY ONLY BE USED ON DISTURBED AREAS AS TEMPORARY COVER WHERE VEGETATION IS NOT FEASIBLE OR WHERE SEEDING CANNOT BE COMPLETED BECAUSE OF WEATHER.

II. SEEDING PREPARATION AND SEEDING APPLICATION
 LOOSEN THE TOP LAYER OF SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF A SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT SUCH AS DISK HARROWS, CHISEL PLOWS OR PLOWERS MOUNTED ON CONSTRUCTION EQUIPMENT. RECONSTRUCT THE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF THE SOIL BY DISCING OR BY OTHER SUITABLE MEANS. ROUGH AREAS SHOULD NOT BE FOLDED OR CRANDED AGAIN, BUT LEFT IN A RAUGHENED CONDITION. STEEP SLOPES GREATER THAN 3:1 SHOULD BE TRACKED BY A DOZER, LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH THE RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. THE TOP 1 TO 3 INCHES SHOULD BE LOOSED AND TRIMMED. PERMANENT COVER MAY REQUIRE AN APPLICATION OF TOPSOIL. IF SO IT MUST MEET THE REQUIREMENTS SET FORTH IN SECTION 200, STANDARDS AND SPECIFICATIONS FOR TOPSOIL, FROM THE PMA STANDARDS AND SPECIFICATIONS.

III. SOIL AMENDMENTS
 SOIL TESTS SHALL BE MADE ON SITES OVER FIVE (5) ACRES IN SIZE TO DETERMINE THE EXACT REQUIREMENTS FOR BOTH LIME AND FERTILIZER. FOR SITES UNDER FIVE (5) ACRES IN SIZE, IN LIEU OF A SOIL TEST, APPLY THE FOLLOWING:

FERTILIZER:	NITROGEN	2 LBS/500FT ²	P2O5	1.0 LBS/ACRE
	P2O5	4 LBS/500FT ²	K2O	1.75 LBS/ACRE
	K2O	4 LBS/500FT ²		17.5 LBS/ACRE

FOR LOW MAINTENANCE AREAS APPLY 100 LBS/ACRE UREAFORM FERTILIZER UG-0-01 AT 35 LBS/5000 SQUARE FEET, IN ADDITION TO THE ABOVE FERTILIZER AT THE TIME OF SEEDING.

GROUND LIMESTONE: 2 TONS/ACRE

IV. SEDIMENT CONTROL PRACTICE SEEDING
 SELECT A SEEDING MIXTURE FROM TABLES 25 OR 26 IN SECTION 70 OF THE PMA STANDARDS AND SPECIFICATIONS. DOCUMENT SEEDING ON THE EROSION AND SEDIMENT CONTROL PLAN USING THE APPROPRIATE CHECKS. NOTE: IF SEDIMENT CONTROL PRACTICES ARE IN PLACE LONGER THAN THREE (3) MONTHS, PERMANENT SEEDING IS REQUIRED.

V. TEMPORARY/PERMANENT SEEDING MIXTURES AND RATES
 SELECT A SEEDING MIXTURE FROM APPROPRIATE TABLE 25 OR 26 IN SECTION 70 OF THE PMA STANDARDS AND SPECIFICATIONS. DOCUMENT SEEDING ON THE EROSION AND SEDIMENT CONTROL PLAN USING APPROPRIATE CHECKS BELOW.

TEMPORARY SEEDING SUMMARY

SEED MIXTURE	SEEDING RATE	SEEDING METHOD	SEEDING DATE	LINE RATE
1. 100% BLYE GRASS	50 LBS.	50-50	09-24-02	10000
2. 50% BLYE GRASS	50 LBS.	50-50	09-24-02	10000

PERMANENT SEEDING SUMMARY

SEED MIXTURE	SEEDING RATE	SEEDING METHOD	SEEDING DATE	LINE RATE
1. 100% BLYE GRASS	50 LBS.	50-50	09-24-02	10000
2. 50% BLYE GRASS	50 LBS.	50-50	09-24-02	10000

VI. TURFGRASS ESTABLISHMENT
 THIS INCLUDES LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE. AREAS TO RECEIVE SEED SHALL BE TILLED BY DISCING OR BY OTHER APPROVED METHODS TO A DEPTH OF 3 TO 5 INCHES, LEVELED AND RAKED TO PREPARE A PROPER SEEDBED. STONES AND DEBRIS OVER 1/2 INCHES IN CHARACTER SHALL BE REMOVED. THE RESULTING SEEDBED SHALL BE IN SUCH CONDITION THAT FUTURE MOVING OF GRASSES WILL POSE NO DIFFICULTY. USE CERTIFIED MATERIAL, AND CHOOSE A TURFGRASS MIXTURE FROM PAGES 8-20 OF THE PMA STANDARDS AND SPECIFICATIONS OR SELECT FROM THE LIST IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRICULTURE EXTENSION SERVICE, TURFGRASS CULTIVAR RECOMMENDATION FOR MARYLAND. SEE MAND 1 AT END OF THIS SECTION.

VII. MULCHING
 ALL SEEDINGS REQUIRE MULCH. ALSO MULCH DURING NON-SEEDING DATES UNTIL SEEDING CAN BE DONE.

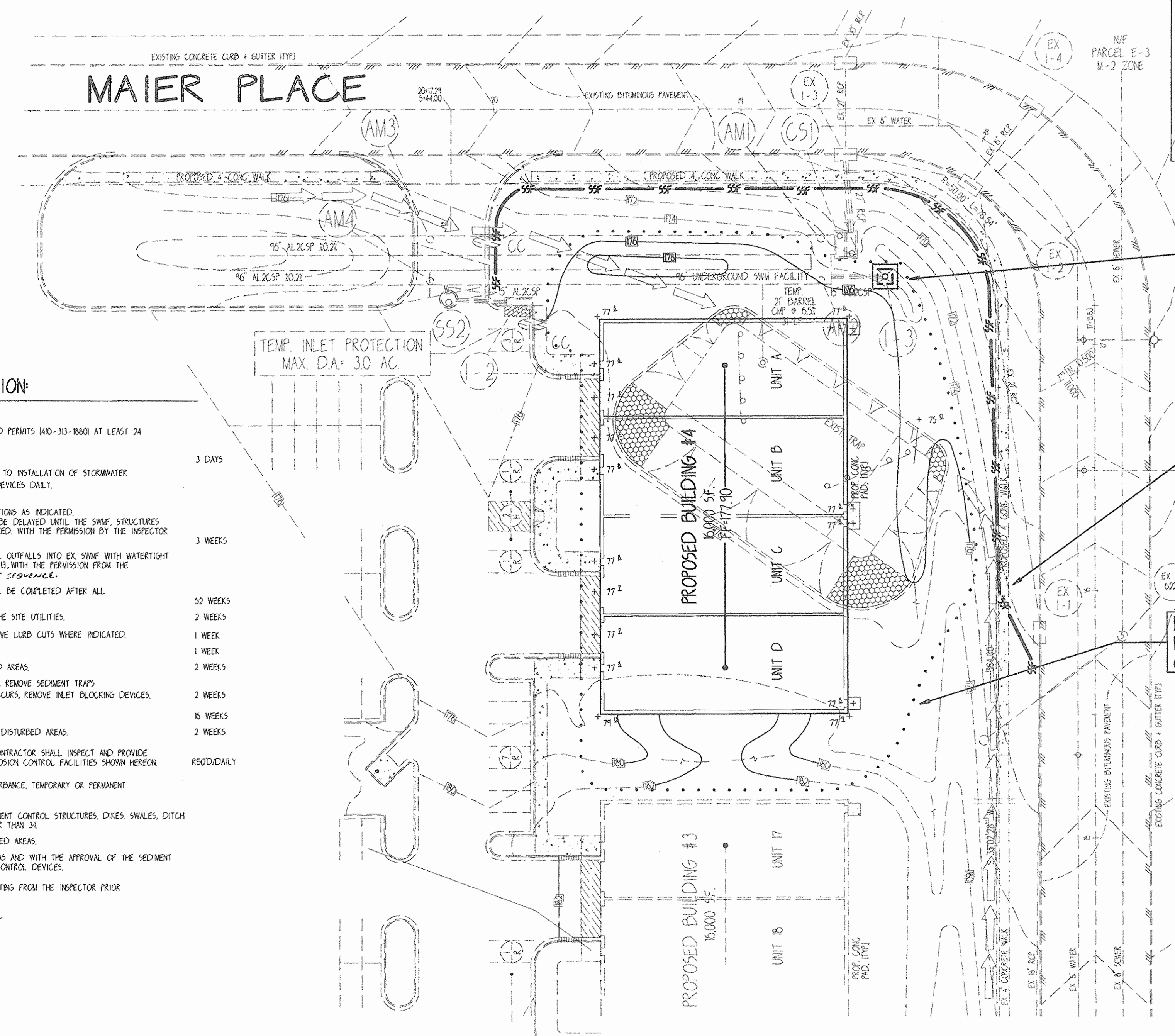
MULCHING SHALL BE UNWEIGHED, UNCHIPPED, SMALL GRAIN STRAW APPLIED AT A RATE OF 2 TONS/ACRE OR 4000 LBS/1000 SQUARE FEET (2 BALES) IF A MULCH ANCHORING TOOL IS USED. 25 TONS/ACRE MULCH MATERIALS SHALL BE RELATIVELY FREE OF ALL KINDS OF WEEDS AND SHALL BE COMPLETELY FREE OF FROTHED NOXIOUS WEEDS. SPREAD MULCH UNIFORMLY, MECHANICALLY OR BY HAND TO A DEPTH OF 1-2 INCHES. MULCH ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER MULCH PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY MULCH NETTING, MULCH ANCHORING TOOL, WOOD CELLULOSE FIBER OR LIQUID MULCH DANDERS.

LIQUID DANDER SHOULD BE APPLIED HEAVIER AT THE EDGE, WHERE WIND CATCHES MULCH IN VALLEYS, AND ON CREST OF BARS. THE REMAINDER OF THE AREA SHOULD APPEAR UNIFORM AFTER DANDER APPLICATION. APPLY RATES RECOMMENDED BY THE MANUFACTURER TO ANCHOR AND MULCH ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

VIII. SOODING
 CLASS OF TURFGRASS SOD SHALL BE MARYLAND OR VIRGINIA STATE CERTIFIED, OR MARYLAND OR VIRGINIA STATE APPROVED SOD. SOD SHALL BE HARVESTED, DELIVERED AND INSTALLED WITHIN A PERIOD OF 30 DAYS. SOD IS TO BE LAIN WITH THE LONG EDGES PARALLEL TO THE CONTOUR OF THE SLOPE. JOINTS WITH ALL EDGES TIGHTLY ADJUTED AND NOT OVER LAPPING. SOD SHALL BE ROLLED THOROUGHLY AND THROUGHOUT WATERED AFTER INSTALLATION. ONLY WATERING TO MAINTAIN A HIGH DEPTH OF MOISTURE FOR THE FIRST WEEK IS REQUIRED IN THE ABSENCE OF RAINFALL. SOD IS NOT TO BE APPLIED ON FROZEN GROUND.

IX. MAINTENANCE
 A. IRRIGATION - APPLY MINIMUM 1" OF WATER EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE. WHEN SOIL MOISTURE BECOMES DEFICIENT TO PREVENT LOSS OF STAND OF PROTECTIVE VEGETATION.
 B. REPAIRS - IF STAND PROGRESSES BETWEEN 40% AND 75% GROUND COVER, OVERSEED AND FERTILIZE USING HALF OF THE RATES ORIGINALLY APPLIED. IF STAND PROVIDES LESS THAN 40% GROUND COVER, REESTABLISH STAND FOLLOWING ORIGINAL RATES AND PROCEDURES.

NOTE: USE OF THIS INFORMATION DOES NOT PRECLUDE MEETING ALL OF THE REQUIREMENTS OF THE PMA MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL VEGETATIVE PRACTICES.



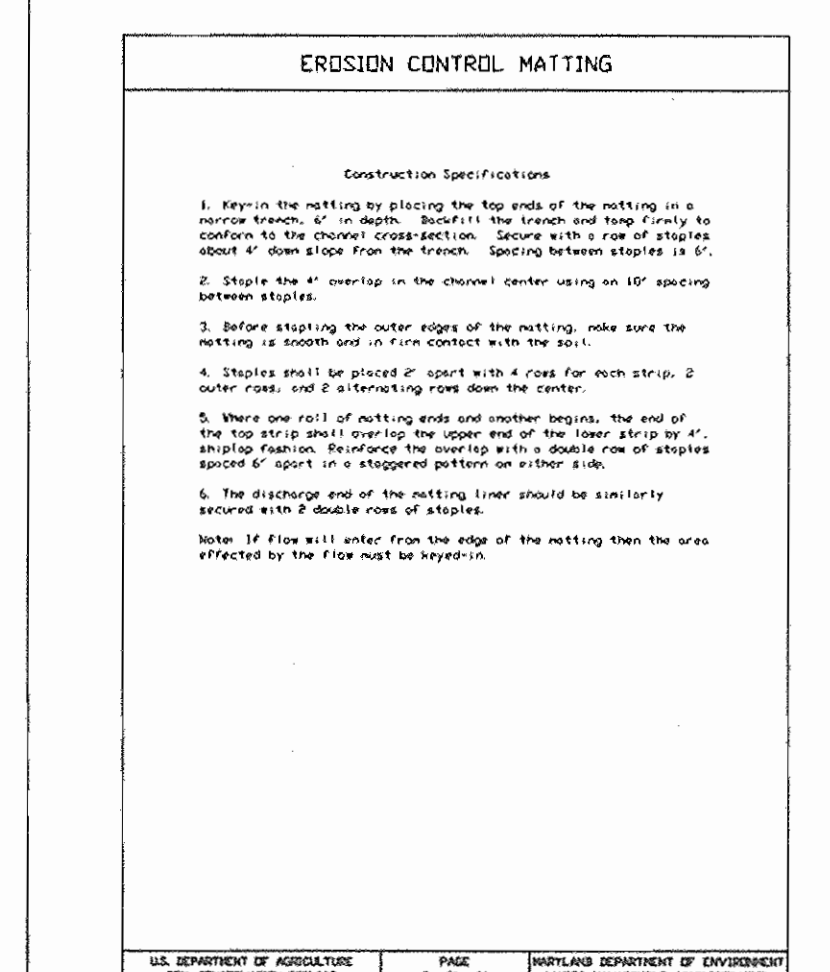
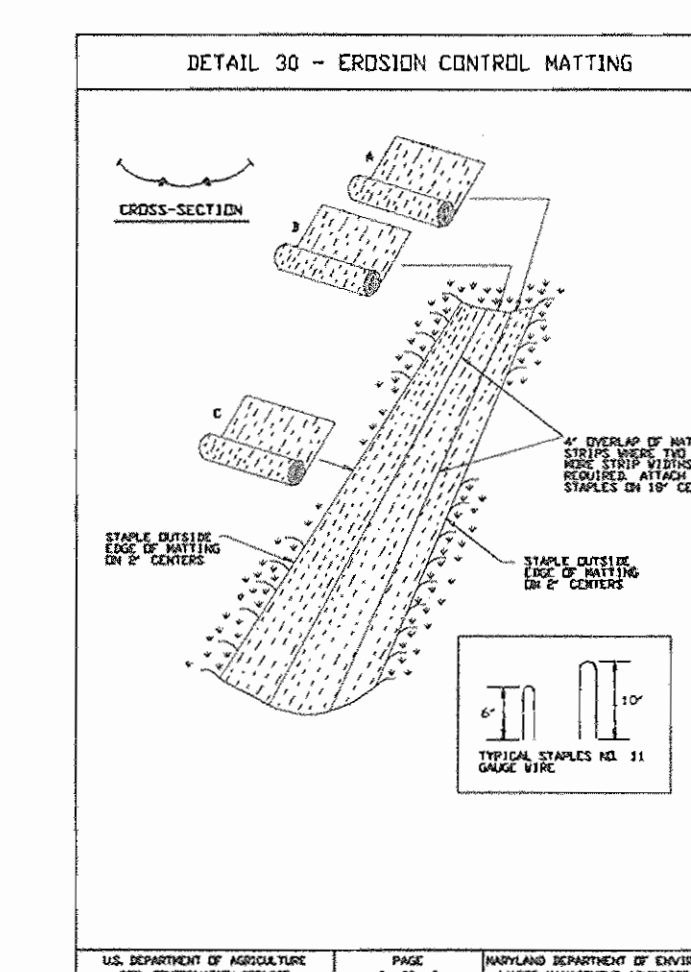
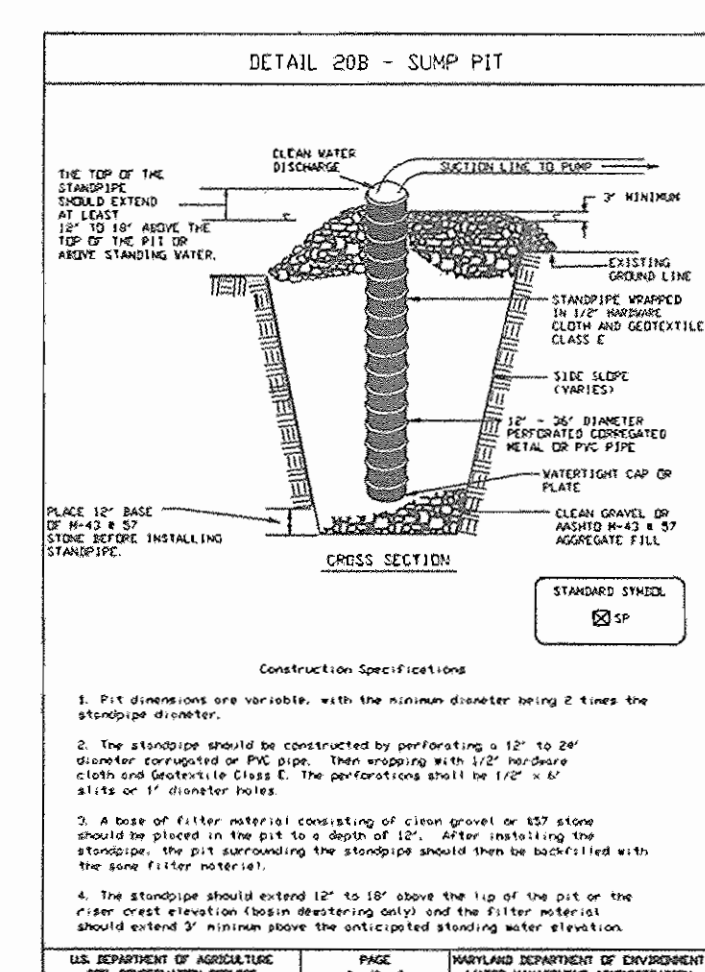
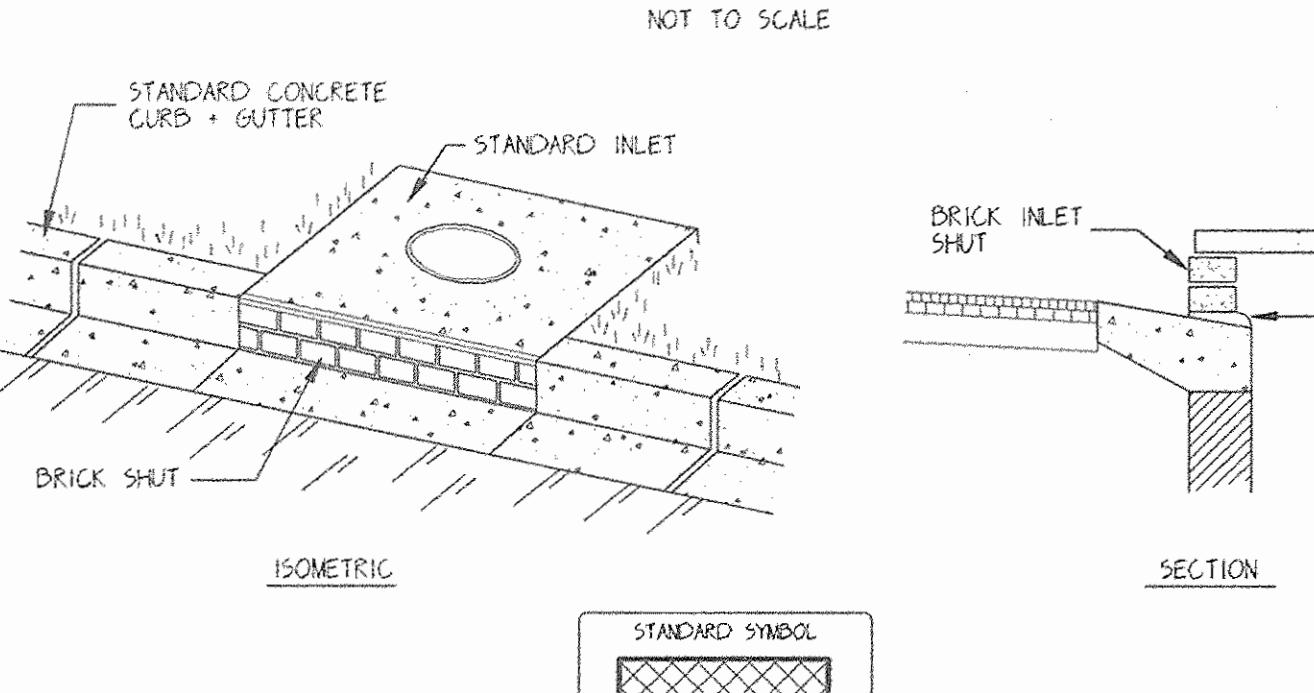
SEQUENCE OF CONSTRUCTION

1. OBTAIN GRADING PERMIT
2. NOTIFY HOWARD COUNTY BUREAU OF INSPECTIONS AND PERMITS 140-313-8801 AT LEAST 24 HOURS PRIOR TO THE START OF ANY CONSTRUCTION
3. INSTALL ALL PERIMETER SEDIMENT CONTROL DEVICES. OBTAIN INSPECTION APPROVAL FROM INSPECTOR PRIOR TO INSTALLATION OF STORMWATER MANAGEMENT FACILITY. MAINTAIN SEDIMENT CONTROL DEVICES DAILY.
4. INSTALL STORMWATER MANAGEMENT FACILITY. PROVIDE PROTECTION AND BLOCKING AT INLET LOCATIONS AS INDICATED. NOTE: THE 27' RCP BETWEEN EX-1-3 AND EX-1-1 TO BE DELAYED UNTIL THE SHM STRUCTURES CS-1 THRU AM-3 IS COMPLETE, BURIED AND STABILIZED WITH THE PERMISSION BY THE INSPECTOR COMPLETE OUTFALL - 27' RCP CS-1 TO EX-1-3
5. INSTALL THE SEDIMENT TRAPS AND TEMPORARY DRAINAGE OUTFALLS INTO EX. SWIMF WITH WATER TIGHT CONNECTIONS AS DETAILS INDICATE ON SHEET 6 OF 10, WITH THE PERMISSION FROM THE HOWARD COUNTY INSPECTOR, CONTRACTOR TO REMOVE SEDIMENT TRAPS.
6. BEGIN BUILDING CONSTRUCTION BUILDING NO. 4 WILL BE COMPLETED AFTER ALL UPHILL AREAS ARE COMPLETED AND STABILIZED.
7. INSTALL WATER AND SEWER AND THE BALANCE OF THE SITE UTILITIES.
8. INSTALL ALL CURB AND GUTTER AND SIDEWALKS. LEAVE CURB CUTS WHERE INDICATED.
9. DASE PAVE PARKING AND DRIVE ISLES.
10. INSTALL LANDSCAPING AND STABILIZE ALL DISTURBED AREAS.
11. WITH PERMISSION OF THE HOWARD COUNTY INSPECTOR, REMOVE SEDIMENT TRAPS AND IMMEDIATELY STABILIZE. ONCE STABILIZATION OCCURS, REMOVE INLET DRAINING DEVICES.
12. BEGIN BUILDING NO. 4 CONSTRUCTION
13. INSTALL REMAINING LANDSCAPING AND STABILIZE ALL DISTURBED AREAS.
14. DURING GRADING AND AFTER EACH RAINFALL, THE CONTRACTOR SHALL INSPECT AND PROVIDE ALL NECESSARY MAINTENANCE ON THE SEDIMENT + EROSION CONTROL FACILITIES SHOWN HEREON.
15. FOLLOWING INITIAL SOIL DISTURBANCE OR PRE-DISTURBANCE, TEMPORARY OR PERMANENT STABILIZATION SHALL BE COMPLETED WITHIN:
 - A. 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, SWALES, DITCH PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1
 - B. 14 CALENDAR DAYS FOR ALL OTHER DISTURBED AREAS
 - C. UPON STABILIZATION OF ALL DISTURBED AREAS AND WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR REMOVE ALL SEDIMENT CONTROL DEVICES.

NOTE: CONTRACTOR SHALL OBTAIN PERMISSION IN WRITING FROM THE INSPECTOR PRIOR TO REMOVING ANY SEDIMENT CONTROL DEVICES.

MAINTENANCE CONTROL

BRICK + INLET BLOCKING DETAIL



SEDIMENT CONTROL FOR BUILDING NO. 4 CONSTRUCTION AND GRADING

SCALE: 1" = 30'

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13 OF 13	ON-SITE WATER AND SEWER PROFILES, + NOTES

TEMP. SUPER SILT FENCE EXIST. FROM PHASE 1 TO REMAIN

TEMP. SUPER SILT FENCE EXIST. FROM PHASE 1 TO REMAIN

LIMIT OF DISTURBANCE FOR BUILDING 4 CONSTRUCTION

APPROVED FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS FROM HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH DEPARTMENT

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

John J. Williams 2/2/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

David Hamilton 5/1/02
 CHIEF, DIVISION OF LAND DEVELOPMENT & CONSTRUCTION DATE

James S. Koster 5/1/02
 DIRECTOR DATE

DATE NO. REVISION DESCRIPTION

PROJECT: ERNIE MAIER WAREHOUSE COMPLEX

OWNER/DEVELOPER/APPLICANT: MR. ERNIE MAIER, 4700 ANNAPOLIS ROAD, BLADENSBURG, MARYLAND 20710, PHONE: 301-927-8300

JOYCE ENGINEERING CORPORATION, PROFESSIONAL ENGINEERS, PROFESSIONAL SURVEYORS, LAND PLANNING & CONSTRUCTION MANAGEMENT, 10766 BALTIMORE AVENUE - TWIN CHIMNEYS OFFICE PARK, BELTSVILLE, MARYLAND 20705, TEL: (301) 595-4353, FAX: (301) 595-4650, © 1999 JOYCE ENGINEERING CORPORATION

ADDRESS CHART

LOT/PARCEL	BUILDING NO.	STREET ADDRESS	UNIT IDENTIFICATION
PARCEL 5	BUILDING 1	9521 WALKER ROAD	A B C D
PARCEL 5	BUILDING 2	9521 WALKER ROAD	A B C D
PARCEL 5	BUILDING 3	9521 WALKER ROAD	A B C D
PARCEL 5	BUILDING 4	9521 WALKER ROAD	A B C D

PERMIT INFORMATION CHART

SUBDIVISION: MAIER INDUSTRIAL PARK	SECTION/AREA: SECTION 1	LOT/PARCEL #	PARCEL C-5
PLAT# OR L/1: 18269	BLOCK: 23	TAX/ZONE MAP: M-2	ELECT. DISTRICT: 6TH
WATER CODE: C-04	SEWER CODE: 7-000000	CENSUS TRACT: 6063	

TITLE: SEDIMENT AND EROSION CONTROL NOTES AND DETAILS

DES BY WAJ SCALE 1"=30' PROJ. NO. 99-057

DRN BY HAL DATE 06/OCTOBER 1999 7 OF 13

CHK BY JEC APPROVED: [Signature]

PROFESSIONAL ENGINEER, NO. 12243

DATE: 07.07.01

DATE: 07.07.01

DATE: 07.07.01

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

USDA NATURAL RESOURCES CONSERVATION SERVICE DATE: 2/22/02

APPROVED: [Signature] DATE: 2/22/02

HOWARD SOIL CONSERVATION DISTRICT

DEVELOPERS CERTIFICATE: I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE THE INSTALLATION OF THE EROSION AND SEDIMENT CONTROL DEVICES. I ALSO AUTHORIZE THE HOWARD SOIL CONSERVATION DISTRICT TO CONDUCT ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

DATE: 07.07.01

DATE: 07.07.01

DATE: 07.07.01

ENGINEERS CERTIFICATE: I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE / SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE THE INSTALLATION OF THE EROSION AND SEDIMENT CONTROL DEVICES.

DATE: 07.07.01

DATE: 07.07.01

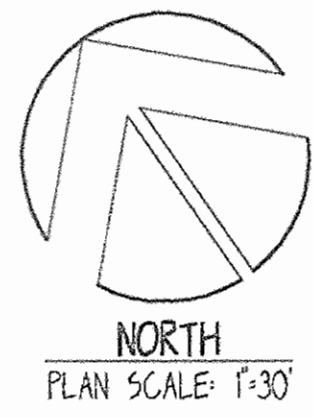
DATE: 07.07.01

PROFESSIONAL ENGINEER, NO. 12243

DATE: 07.07.01

DATE: 07.07.01

DATE: 07.07.01



N/F AC MILLER
P540 L: 1007 P: 008
M-2 ZONE
ROAD CLASSIFICATION MINOR COLLECTOR
EXISTING CONCRETE CURB + GUTTER (TYP)

MAIER PLACE
160' R/W

N/F
PARCEL E-4
M-2 ZONE

N/F
PARCEL E-3
M-2 ZONE

N/F
PARCEL E-2
PLAT 18439
M-2 ZONE

N/F
PARCEL E-1
PLAT 18439
M-2 ZONE

N/F
F.W. AND A.R. MAIER
LOTS D-2, P: 885
L: 458 F: 589
M-2 ZONE

PARCEL C-5
27175 SF. OR 6.2377 AC.

2.4 AC
RCN= 71 **OS** M-2
0% IMP
0.24 HR

3.9 AC
RCN= 71 **EX3** M-2
0% IMP
0.25 HR

TR-55 SHALLOW
Length= 415'
Slope= 0.04 ft/ft
Tc= 0.04 Hr

TR-55 SHALLOW
Length= 210'
Slope= 0.057 ft/ft
Tt= 0.02 Hr

TR-55 SHALLOW
Length= 310'
Slope= 0.029 ft/ft
Tt= 0.03 Hr

TR-55 SHEET FLOW
Length= 100'
Slope= 0.02 ft/ft
Tc= 0.20 Hr

SHEET FLOW
Length= 100'
Slope= 0.028
Tt= 0.20 Hr

MAIER ROAD
180' R/W
ROAD CLASSIFICATION ARTERIAL-MINOR
EXISTING CONCRETE CURB + GUTTER (TYP)

N/F
F.W. AND A.R. MAIER
L: 458 F: 589
M-2 ZONE
LOTS D-1 P: 885

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- 13 OF 13 ON-SITE WATER AND SEWER PROFILES + NOTES

N/F
F.W. AND A.R. MAIER
SECTION ONE PARCEL C-4
PLAT 15591
M-2 ZONE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

<i>Howard</i>	2/20/02
CHEF, DEVELOPMENT ENGINEERING DIVISION	DATE
<i>Cindy</i>	5/1/02
CHEF, DIVISION OF LAND DEVELOPMENT	DATE
<i>Joseph</i>	5/2/02
DIRECTOR	DATE

DATE	NO.	REVISION DESCRIPTION
------	-----	----------------------

PROJECT
ERNIE MAIER WAREHOUSE COMPLEX

OWNER/DEVELOPER/APPLICANT
MR. ERNIE MAIER
4700 ANNAPOLIS ROAD
BLADENSBURG, MARYLAND 20710
PHONE: 301-927-8300

JOYCE ENGINEERING CORPORATION
PROFESSIONAL ENGINEERS, PROFESSIONAL SURVEYORS
LAND PLANNING & CONSTRUCTION MANAGEMENT
10766 BALTIMORE AVENUE - TWIN CHIMNEYS OFFICE PARK
BELTSVILLE, MARYLAND 20705
TEL: (301) 595-4355 FAX: (301) 595-4650
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ADDRESS CHART

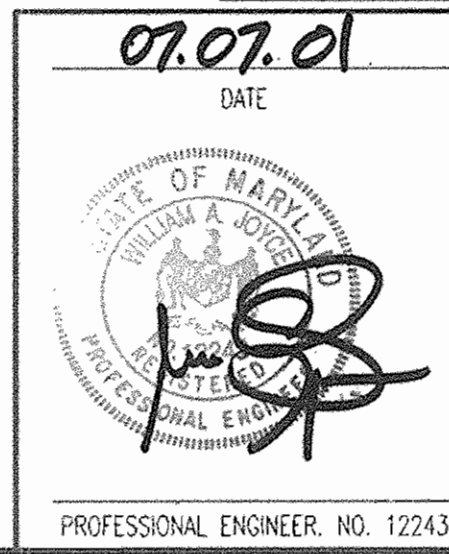
LOT/PARCEL	BUILDING NO.	STREET ADDRESS	UNIT IDENTIFICATION
PARCEL 5	BUILDING 1	9094 MAIER ROAD	A B C D
PARCEL 5	BUILDING 2	9095 MAIER ROAD	A B C D
PARCEL 5	BUILDING 3	9095 MAIER ROAD	A B C D
PARCEL 5	BUILDING 4	9095 MAIER ROAD	A B C D

PERMIT INFORMATION CHART

SUBDIVISION	MAIER INDUSTRIAL PARK	SECTION/AREA	SECTION 1	PARCEL #	PARCEL C-5
PLAT	14869	BLOCK	23	TAX ZONE MAP	47
WATER CODE	C-04	ELEC. DISTRICT	6TH	CENSUS TRACT	6089.02
SEWER CODE	7-000000				

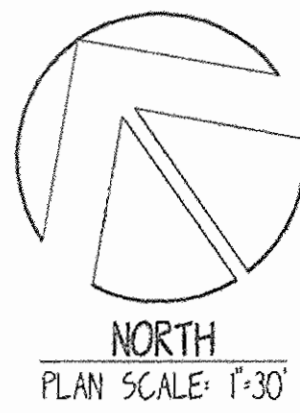
TITLE
EXISTING CONDITIONS DRAINAGE AREA MAP

DES BY WAJ	SCALE 1:30	PROJ. NO. 99-057
DRAWN BY HAL	DATE OCTOBER 1999	8 OF 13
CHK BY JEC	APPROVED	



NOTE: EXISTING TOPOGRAPHIC SURVEY AND UNDERGROUND UTILITY INFORMATION AS SHOWN IS BASED UPON AVAILABLE RECORD INFORMATION AS PROVIDED BY THE JURISDICTION OPERATING AGENCY. ALL UNDERGROUND UTILITIES MUST BE FIELD VERIFIED BY EXISTING TIES OR HAND PROBE TO THE STRIKE OF ANY CONSTRUCTION ACTIVITY. JOYCE ENGINEERING CORPORATION ASSUMES NO LIABILITY FOR ACCURACY OF UTILITY INFORMATION PROVIDED BY OTHERS.

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NF AC MILLER
P540
L: 1007 F: 008
M-2 ZONE
ROAD CLASSIFICATION MINOR COLLECTOR
EXISTING CONCRETE CURB + GUTTER (TYP)

MAIER PLACE
160' R/W

NF
PARCEL E-4
M-2 ZONE

NF
PARCEL E-3
M-2 ZONE

NF
PARCEL E-2
PLAT 18439
M-2 ZONE

NF
PARCEL E-1
PLAT 18439
M-2 ZONE

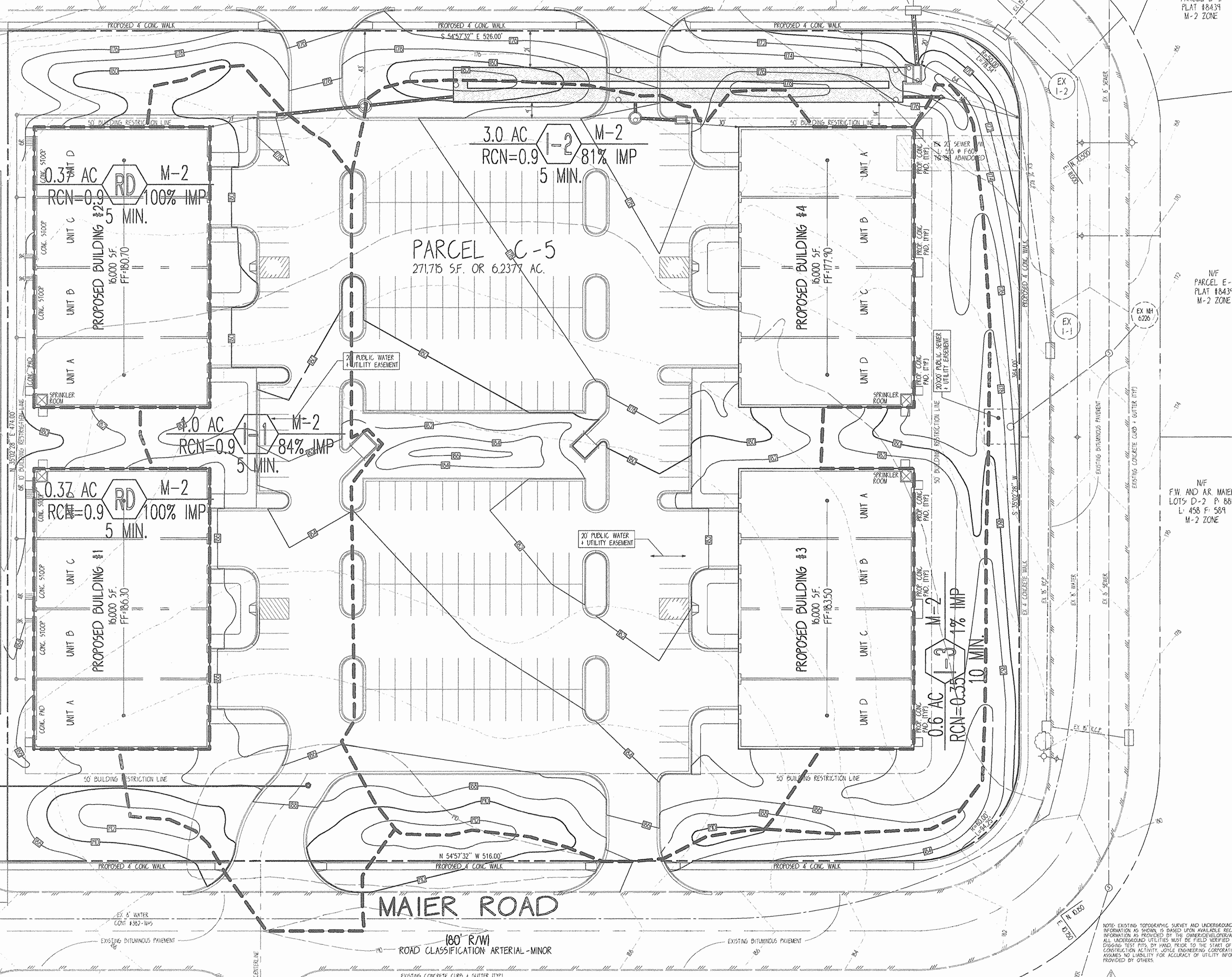
NF
FW AND AR MAIER
LOTS D-2 P 885
L: 458 F: 584
M-2 ZONE

NF
FW AND AR MAIER
MAIER INDUSTRIAL PARK
SECTION ONE PARCEL C-4
PLAT 18529
M-2 ZONE

N 87°30'
E 132'

E 102°18'
N 626'

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0.37 AC
RCN=0.9
RD
M-2
100% IMP
5 MIN.
PROPOSED BUILDING #2
16,000 SF
FF:180,70

3.0 AC
RCN=0.9
M-2
81% IMP
5 MIN.

PARCEL C-5
271,715 SF. OR 6.2377 AC.

4.0 AC
RCN=0.9
M-2
84% IMP
5 MIN.

0.37 AC
RCN=0.9
RD
M-2
100% IMP
5 MIN.
PROPOSED BUILDING #1
16,000 SF
FF:186,30

PROPOSED BUILDING #3
16,000 SF
FF:183,50

0.6 AC
RCN=0.35
M-2
1% IMP
10 MIN.

MAIER ROAD
180' R/W
ROAD CLASSIFICATION ARTERIAL-MINOR
EXISTING CONCRETE CURB + GUTTER (TYP)

NF
FW AND AR MAIER
L: 458 F: 584
M-2 ZONE
LOTS D-1 P 885

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 2/20/02

 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 5/1/02

 DIRECTOR
 DATE: 5/2/02

DATE NO. REVISION DESCRIPTION

PROJECT
ERNIE MAIER WAREHOUSE COMPLEX

OWNER/DEVELOPER/APPLICANT
 MR. ERNIE MAIER
 4700 ANNAPOLIS ROAD
 BLADENSBURG, MARYLAND 20710
 PHONE: 301-927-8300

JOYCE ENGINEERING CORPORATION
 PROFESSIONAL ENGINEERS, PROFESSIONAL SURVEYORS
 LAND PLANNING & CONSTRUCTION MANAGEMENT
 10766 BALTIMORE AVENUE - "WIN CHIMNEYS" OFFICE PARK
 BELTSVILLE, MARYLAND 20705
 TEL: (301) 595-4332 FAX: (301) 595-4650
 © 2000 JOYCE ENGINEERING CORPORATION

ADDRESS CHART			
LOT/PARCEL	BUILDING NO.	STREET ADDRESS	UNIT IDENTIFICATION
PARCEL 5	BUILDING 1	9045 MAIER ROAD	A B C D
PARCEL 5	BUILDING 2	9050 MAIER ROAD	A B C D
PARCEL 5	BUILDING 3	9055 MAIER ROAD	A B C D
PARCEL 5	BUILDING 4	9055 MAIER ROAD	A B C D

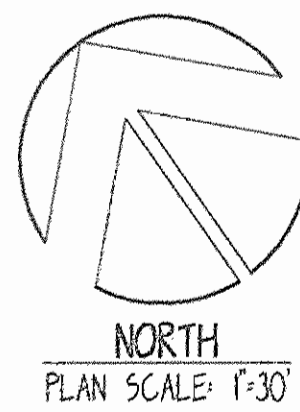


NOTE: EXISTING TOPOGRAPHIC SURVEY AND UNDERGROUND UTILITY INFORMATION AS SHOWN IS BASED UPON AVAILABLE RECORD INFORMATION PROVIDED BY THE SUBDIVISION DEVELOPER. ALL UNDERGROUND UTILITIES MUST BE FIELD VERIFIED BY EXISTING TEST PITS BY HAND PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY. JOYCE ENGINEERING CORPORATION ASSUMES NO LIABILITY FOR ACCURACY OF UTILITY INFORMATION PROVIDED BY OTHERS.

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orold
 DATE: 10/26/01
 14862
 WATER CODE: C-04
 SEWER CODE: 7-000000
 TITLE: **PROPOSED DRAINAGE AREA MAP**
 DES BY: JAL
 DRN BY: HAL
 CHK BY: JEC
 SCALE: 1"=30'
 DATE: OCTOBER 1999
 APPROVED: [Signature]
 PROFESSIONAL ENGINEER NO. 12243
 PLOT DATE: 06/21/01
 FILE: R:\DWG\99057\99057SP2.DWG

PERMIT INFORMATION CHART			
SUBDIVISION	SECTION/AREA	SECTION 1	PARCEL #
MAIER INDUSTRIAL PARK			PARCEL C-5
PLAT #	BLOCK	TAX/ZONE MAP	ELEC. DISTRICT
14862	23	M-2	6089.02
WATER CODE	SEWER CODE		
C-04	7-000000		
TITLE		SCALE	PROJ. NO.
PROPOSED DRAINAGE AREA MAP		1"=30'	99-057
DES BY: JAL	SCALE: 1"=30'	PROJ. NO. 99-057	
DRN BY: HAL	DATE: OCTOBER 1999		9 OF 13
CHK BY: JEC	APPROVED: [Signature]		SDP-00-145



NF AC MILLER P540 L: 1007 F: 008 M-2 ZONE
ROAD CLASSIFICATION MINOR COLLECTOR
EXISTING CONCRETE CURB + GUTTER (11%)

MAIER PLACE
160' R/W

NF PARCEL E-4 M-2 ZONE

NF PARCEL E-3 M-2 ZONE

NF PARCEL E-2 PLAT #8439 M-2 ZONE

INDEX TO DRAWINGS

- 1 OF 13 COVER SHEET
- 2 OF 13 SITE DEVELOPMENT, ENTRANCE + PAVING PLAN
- 3 OF 13 LANDSCAPE PLAN
- 4 OF 13 SITE DEVELOPMENT, ENTRANCE, PAVING, + LANDSCAPING NOTES + DETAILS
- 5 OF 13 SEDIMENT + EROSION CONTROL PLAN
- 6 OF 13 SEDIMENT + EROSION CONTROL NOTES, AND DETAILS
- 7 OF 13 SEDIMENT + EROSION CONTROL NOTES, AND DETAILS
- 8 OF 13 EXISTING DRAINAGE MAP
- 9 OF 13 PROPOSED DRAINAGE AREA MAP
- 10 OF 13 STORM DRAIN, STORMWATER MANAGEMENT PLAN
- 11 OF 13 STORM DRAIN, STORMWATER MANAGEMENT NOTES, PROFILES, AND DETAILS
- 12 OF 13 ON-SITE WATER AND SEWER PLAN
- 13 OF 13 ON-SITE WATER AND SEWER PROFILES + NOTES

UNDERGROUND STORMWATER MANAGEMENT FACILITY SUMMARY TABLE

ALLOWABLE RELEASE RATES:
 2-YEAR EVENT 10-YEAR EVENT
 5.6 CFS 15.1 CFS

PROPOSED DISCHARGES:
 2-YEAR EVENT 10-YEAR EVENT
 5.4 CFS 11.6 CFS

STORAGE VOLUME PROVIDED: 0.6 ACRE FEET

WSE IN CONTROL STRUCTURE:
 2-YEAR EVENT 10-YEAR EVENT
 164.0 166.91

PARCEL C-5
271,715 SF. OR 6.2377 AC.

PROPOSED BUILDING #4
16,000 SF.
FF:177.90

PROPOSED BUILDING #2
16,000 SF.
FF:180.70

PROPOSED BUILDING #1
16,000 SF.
FF:186.30

PROPOSED BUILDING #3
16,000 SF.
FF:183.50

NF F.W. AND AR MAIER LOTS D-2 P. 805 L: 458 F: 589 M-2 ZONE

NF MAIER INDUSTRIAL PARK SECTION ONE PARCEL C-4 PLAT #5579 M-2 ZONE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

Howard County 2/20/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Carol Hendrix 5/1/02
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Joseph R. Batts 5/2/02
 DIRECTOR DATE

DATE	NO.	REVISION DESCRIPTION

PROJECT
ERNIE MAIER WAREHOUSE COMPLEX

OWNER/DEVELOPER/APPLICANT
 MR. ERNIE MAIER
 4700 ANNAPOLIS ROAD
 BLADENBURG, MARYLAND 20710
 PHONE: 301-927-8300

JOYCE ENGINEERING CORPORATION
 PROFESSIONAL ENGINEERS, PROFESSIONAL SURVEYORS
 LAND PLANNING & CONSTRUCTION MANAGEMENT
 10766 BALTIMORE AVENUE - TWIN CHIMNEYS OFFICE PARK
 BELTSVILLE, MARYLAND 20705
 TEL: (301) 505-4353 FAX: (301) 595-4650
 ©2000 JOYCE ENGINEERING CORPORATION

ADDRESS CHART

LOT/PARCEL	BUILDING NO.	STREET ADDRESS	UNIT IDENTIFICATION
PARCEL 5	BUILDING 1	9045 MAIER ROAD	A B C D
PARCEL 5	BUILDING 2	9050 MAIER ROAD	A B C D
PARCEL 5	BUILDING 3	9015 MAIER ROAD	A B C D
PARCEL 5	BUILDING 4	9025 MAIER ROAD	A B C D

PERMIT INFORMATION CHART

SUBDIVISION	SECTION/AREA	PARCEL #
MAIER INDUSTRIAL PARK	SECTION 1	PARCEL C-5
PLAT # 14867	TAX/ZONE MAP 42	ELEC. DISTRICT 6TH
WATER CODE: C-04	SARER CODE: 7-000000	CENSUS TRACT 6089.02

TITLE
STORM DRAIN, STORM WATER MANAGEMENT PLAN

DES BY	SCALE	PROJ. NO.
WAL	1/30'	99-057
DRN BY	DATE	10 OF 13
HAL	OCTOBER 1999	
CHK BY	APPROVED	
JEC		



DATE: 07.07.01

PROFESSIONAL ENGINEER, NO. 12243

DATE: OCTOBER 1999

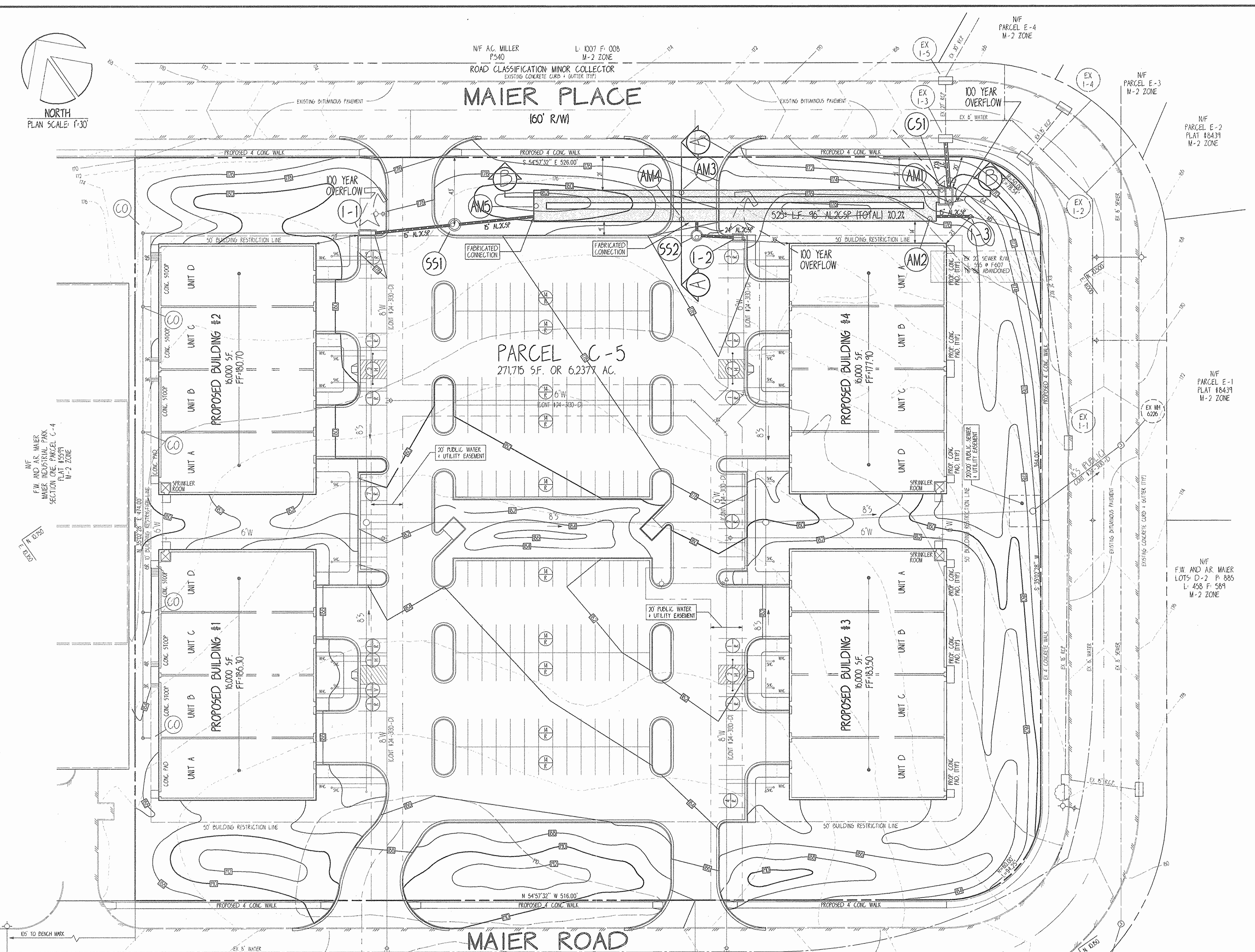
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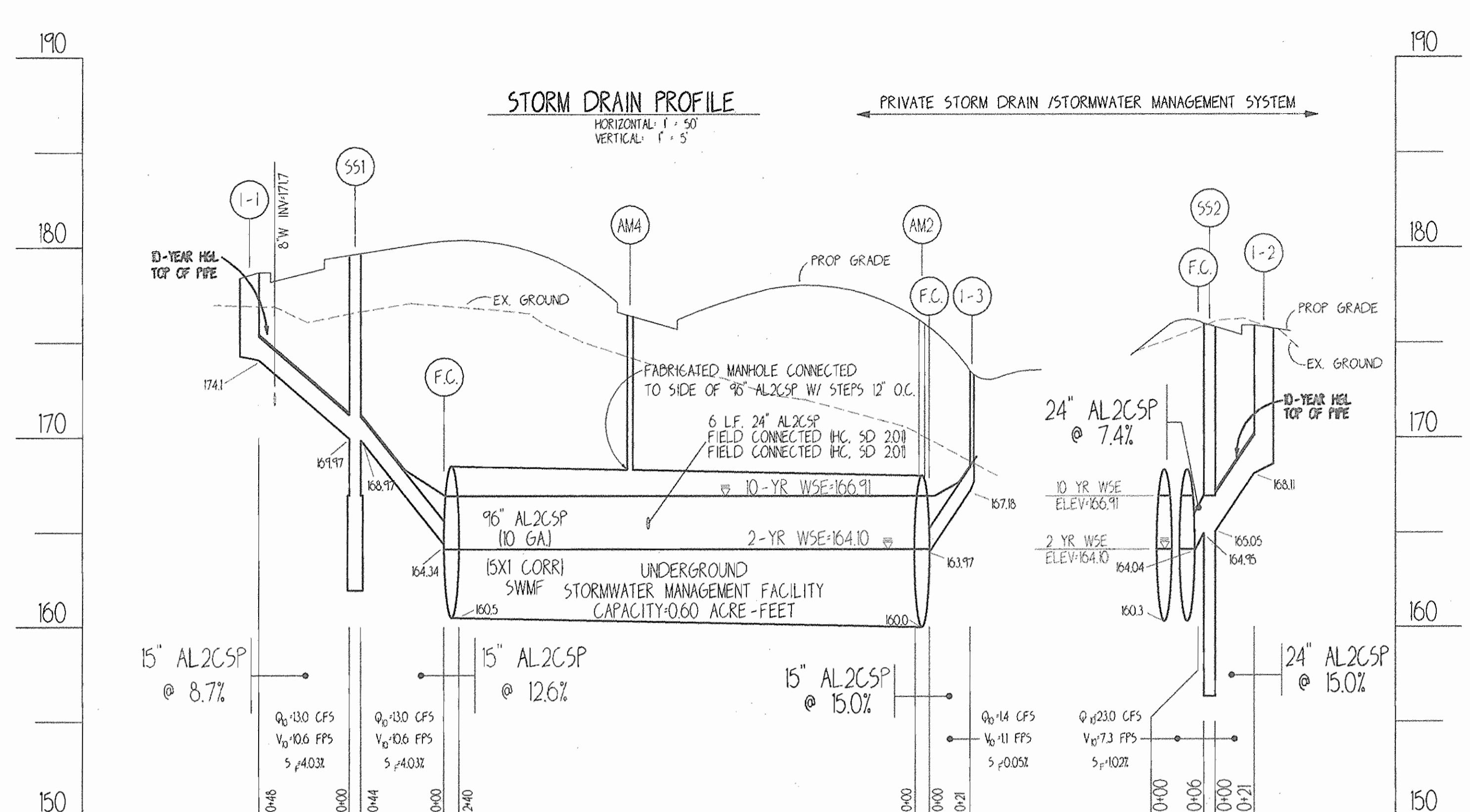
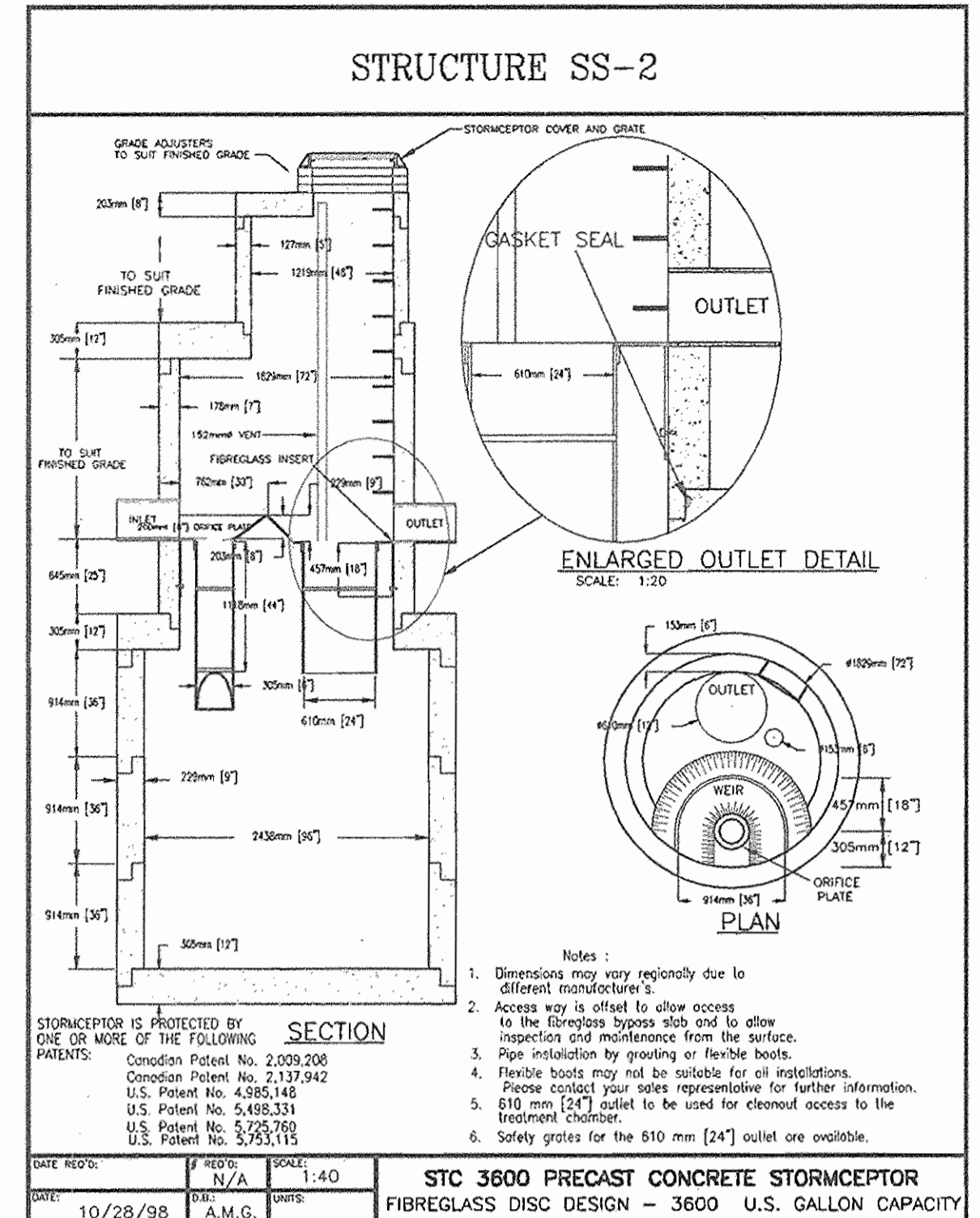
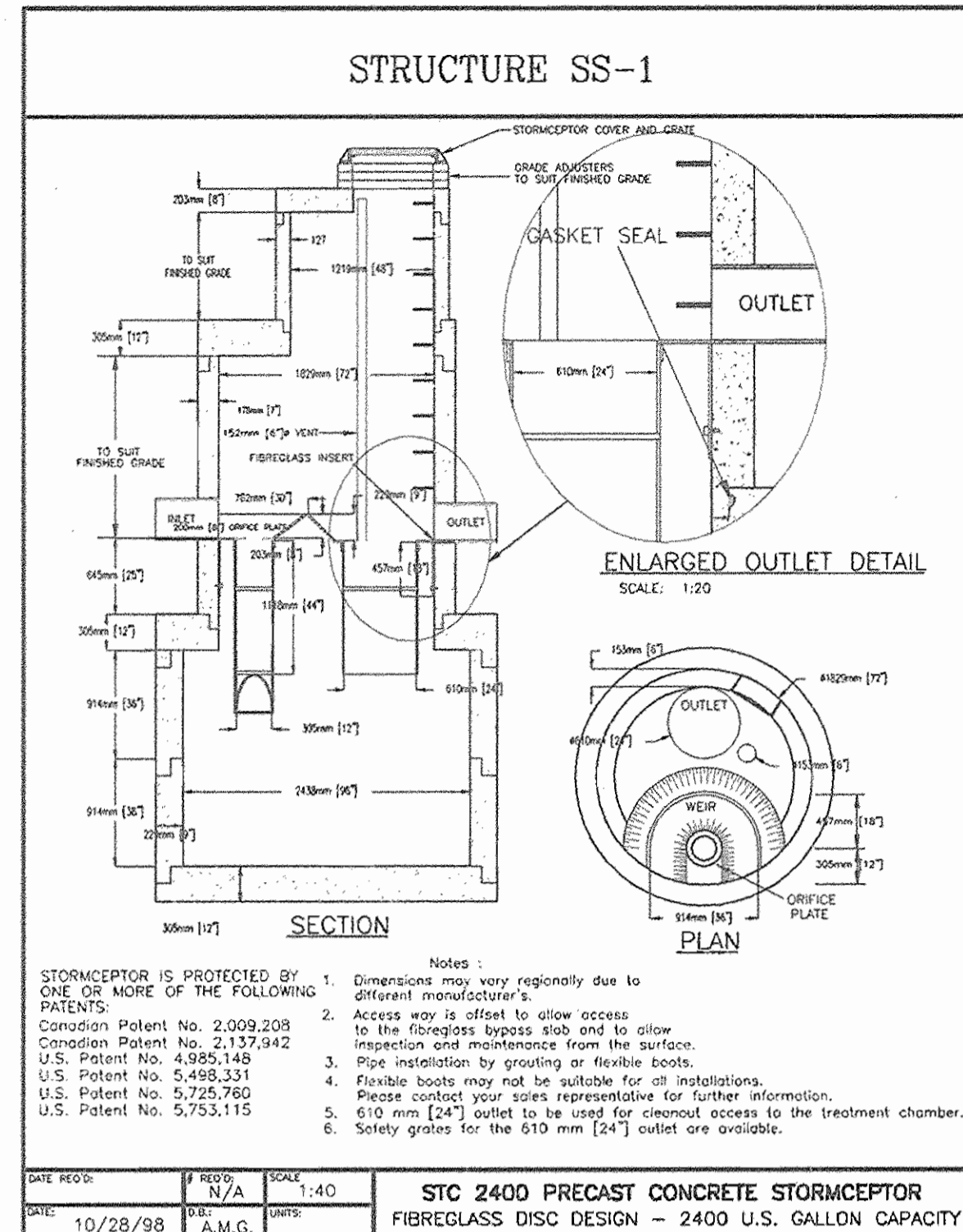
NOTE: EXISTING TOPOGRAPHIC SURVEY AND UNDERGROUND UTILITY INFORMATION AS SHOWN IS BASED UPON AVAILABLE RECORD INFORMATION AS PROVIDED BY THE SUBMITTER. JOYCE ENGINEERING CORPORATION HAS CONDUCTED VISUAL INSPECTIONS OF THE EXISTING UTILITY RECORDS AND HAS FOUND THEM TO BE REASONABLY ACCURATE. JOYCE ENGINEERING CORPORATION ASSUMES NO LIABILITY FOR ACCURACY OF UTILITY INFORMATION PROVIDED BY OTHERS.

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MAIER ROAD
180' R/W
ROAD CLASSIFICATION: ARTERIAL-MINOR
EXISTING CONCRETE CURB + GUTTER (11%)

NF F.W. AND AR MAIER L: 458 F: 589 M-2 ZONE LOTS D-1 P. 885





A. SHOP DRAWINGS: SUBMIT SHOP DRAWINGS FOR ALL STORM WATER FACILITY CONSTRUCTION FOR DEPARTMENT OF ENVIRONMENTAL RESOURCES APPROVAL PRIOR TO INSTALLATION.

B. SPECIFICATIONS FOR CORRUGATED STEEL PIPE: DESCRIPTION: THE ALUMINIZED TYPE II CORRUGATED STEEL SHALL BE FABRICATED IN ACCORDANCE WITH AASHTO DESIGNATION M-274 FROM BASE METAL MANUFACTURED IN ACCORDANCE WITH ASTM A-525 COATED UNIFORMLY ON BOTH SIDES WITH 100 OZ/SQ. FT. OF PURE ALUMINUM.

MATERIAL: THE CORRUGATED METAL PIPE SHALL BE OF THE CORRUGATION DESIGN AND GAGE AS INDICATED. THE STEEL PIPE COULERS AND FITTINGS SHALL CONFORM TO THE REQUIREMENTS OF AASHTO-30. THE COUPLING BANDS SHALL BE THE SAME MATERIAL AND GAGE AS THE PIPE AND SHALL BE A MINIMUM 10 INCHES WIDE. THE CORRUGATED METAL PIPE SHALL BE MANUFACTURED WITH CONTINUOUS LOCKSEAM OR BUTT WELDED HELICAL CORRUGATIONS AND SHALL HAVE NO LESS THAN TWO ANNUAL CORRUGATIONS ROLLED AT BOTH ENDS OF ANY LENGTH OF PIPE. COUPLING BANDS SHALL BE FORMED WITH TWO CORRUGATIONS THAT ARE SPACED TO PROVIDE SEATING IN THE SECOND ROLLED CORRUGATION OF EACH PIPE END. COUPLING BANDS SHALL BE DRAWN TOGETHER BY TWO T GALVANIZED BOLTS THROUGH THE USE OF A BAR AND STRIP SUITABLY WELDED TO THE BAND RUBBER O-RING TYPE GASKETS CONFORMING TO THE REQUIREMENTS OF SECTION 5.9 IN ASTM C-301 SHALL BE PLACED IN THE FIRST CORRUGATION OF EACH PIPE END AND SHALL BE COMPRESSED BY TIGHTENING THE COUPLING BAND ALL ALUMINIZED SURFACES THAT WILL BE IN CONTACT WITH CONCRETE SHALL BE PAINTED WITH THE 5% COAT OF ZINC CHROMATE PRIMER.

C. INSTALLATION: THE CORRUGATED METAL PIPE SHALL BE HANDLED IN A MANNER THAT DOES NOT DAMAGE THE PIPE OR COUPLING BEADING AND BACKFILL MATERIAL PLACEMENT AND COMPACT SHALL BE IN CONFORMANCE WITH MSHA SPECIFICATION SECTION 303. THE BEADING AND BACKFILL MATERIAL SHALL BE CAREFULLY PLACED AND CONSOLIDATED EVENLY ON BOTH SIDES OF THE PIPE IN MAXIMUM 4\"/>

D. CONNECTIONS: ALL CONNECTIONS SHALL BE MADE COMPLETELY WATER TIGHT USING RUBBER GASKETS. THIS INCLUDES ALL ENDCAP PIPES, CONNECTIONS TO AND FROM THE CONCRETE CONTROL STRUCTURE AND ALL CONNECTIONS FROM THE STORM DRAIN SYSTEM. SEE MATERIAL SPECIFICATIONS ABOVE FOR RUBBER GASKETS.

OPERATION AND MAINTENANCE SCHEDULE FOR STORMCEPTOR WATER QUALITY DEVICE

1. THE STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE PERIODICALLY INSPECTED AND CLEANED TO MAINTAIN OPERATION AND FUNCTION. THE OWNER SHALL INSPECT THE STORMCEPTOR UNIT YEARLY AT A MINIMUM UTILIZING THE STORMCEPTOR INSPECTION MONITORING FORM. INSPECTIONS SHALL BE DONE BY USING A PLEXIGLAS TUBE COLLECTOR TO EXTRACT A WATER COLUMN SAMPLE WHEN THE SEDIMENT DEPTHS EXCEED THE LEVEL SPECIFIED IN TABLE 6 OF THE STORMCEPTOR TECHNICAL MANUAL. THE UNIT MUST BE CLEANED.

2. THE STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE CHECKED AND CLEANED IMMEDIATELY AFTER PETROLEUM SPILLS. THE OWNER SHALL CONTACT THE APPROPRIATE REGULATORY AGENCIES.

3. THE MAINTENANCE OF THE STORMCEPTOR UNIT SHALL BE DONE USING A VACUUM TRUCK WHICH WILL REMOVE THE WATER SEDIMENT, DEBRIS, FLOATING MATERIALS AND OTHER MATERIALS IN THE UNIT. PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID MUST BE FOLLOWED BY THE OWNER. THE UNIT SHALL BE FILLED WITH CLEAN WATER AFTER CLEANING.

4. THE INLET AND OUTLET PIPES SHALL BE CHECKED FOR ANY OBSTRUCTIONS AT LEAST ONCE EVERY SIX MONTHS. IF OBSTRUCTIONS ARE FOUND THE OWNER SHALL HAVE THEM REMOVED. STRUCTURAL PARTS OF THE STORMCEPTOR UNIT SHALL BE REPAIRED AS NEEDED.

5. THE OWNER SHALL RETAIN AND MAKE THE STORMCEPTOR INSPECTION MONITORING FORMS AVAILABLE TO THE HOWARD COUNTY OFFICIALS UPON THEIR REQUEST.

OPERATION AND MAINTENANCE SCHEDULE FOR UNDERGROUND STORMWATER MANAGEMENT FACILITY

1. UNDERGROUND STORMWATER MANAGEMENT FACILITY IS PRIVATELY OWNED AND IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO PERIODICALLY INSPECT AND CLEAN THE FACILITY TO MAINTAIN ITS OPERATION AND FUNCTION.

2. THE UNDERGROUND STORMWATER MANAGEMENT FACILITY SHALL BE INSPECTED YEARLY AT A MINIMUM AND AFTER EXCESSIVE STORM EVENTS.

3. WHEN SEDIMENT ACCUMULATION OF MORE THAN 7\"/>

TRASH RACK DIMENSIONS

STR. NO.	A	B	C	D	E	F	G
TR1	3.7	15	0.33	0.25	0.33	10	10
TR2	8.40	0.33	0.25	0.088	0.25	20	0.25
TR3	8.71	0.54	0.25	0.21	0.43	24	0.25

GENERAL NOTES-CONTROL STRUCTURES

1. ALL WORK AND MATERIALS FOR CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE GENERAL SPECIFICATIONS OF THE MARYLAND STATE HIGHWAY ADMINISTRATION AND HOWARD COUNTY.

2. CONCRETE SHALL CONFORM TO THE SPECIFICATIONS OF MSHA MIX NO. 3.

3. MORTAR SHALL CONFORM TO ASTM SPECIFICATION C270 TYPES M OR S.

4. ALL REINFORCING STEEL TO BE ASTM A-615 DEFORMED BARS, GRADE 60.

5. ALL CONSTRUCTION JOINTS SHALL BE CAPABLE OF SUPPORTING A MINIMUM OF 2000 LBS/SQ. FT.

6. FOUNDATION SOILS SHALL BE CAPABLE OF SUPPORTING A MINIMUM OF 2000 LBS/SQ. FT.

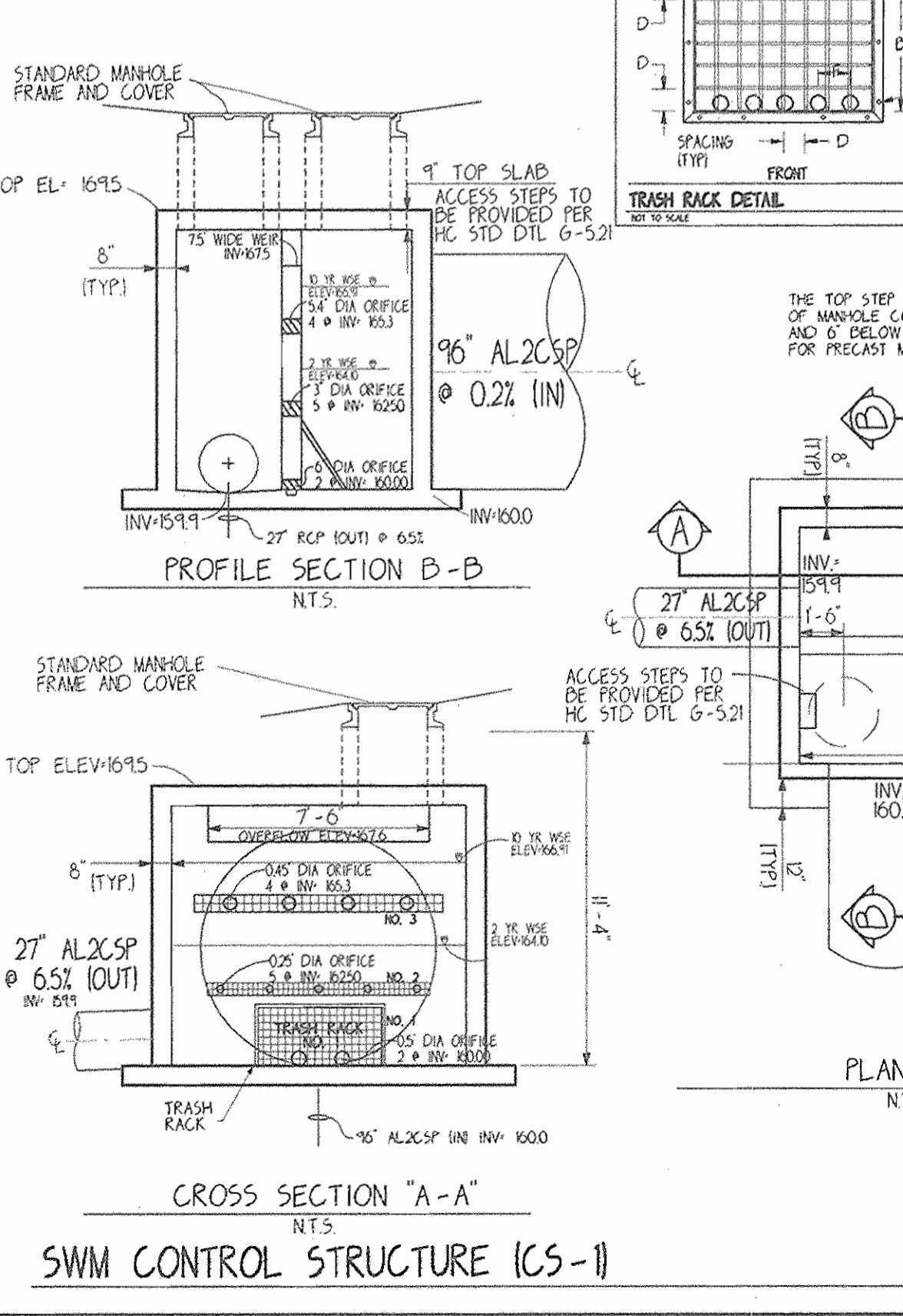
7. STRUCTURES SHALL BE DESIGNED FOR H-20 LOADING.

8. BACKFILL SHALL BE COMPACTED TO 95% PER AASHTO T-99 AND COMPACTED WITH CORRECT MOISTURE CONTENT. CONTRACTOR SHALL NOTIFY THE INSPECTOR WITH CERTIFIED CONSTRUCTION TEST RESULTS FROM AN INDEPENDENT TESTER.

9. BLOCK INLETS TO PREVENT RUNOFF FROM ENTERING THE SYSTEM PRIOR TO THE CONTRIBUTING AREA BEING STABILIZED. SEE THE SEDIMENT CONTROL PLAN SEQUENCE OF CONSTRUCTION FOR FURTHER DETAILS.

10. SUBMIT SHOP DRAWINGS OF ALL PRECAST STRUCTURES FOR DEER APPROVAL PRIOR TO INSTALLATION.

11. THE TOP STEP SHALL BE 7\"/>



PIPE SCHEDULE

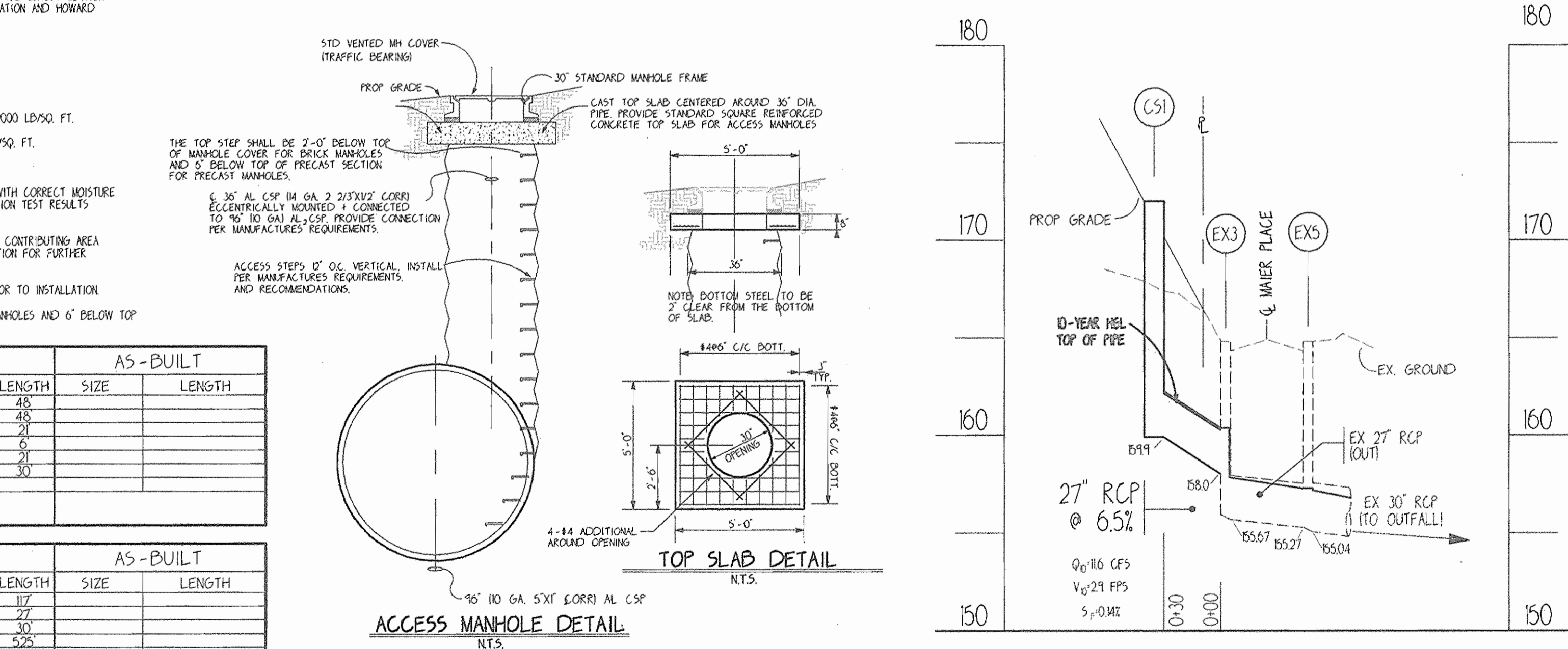
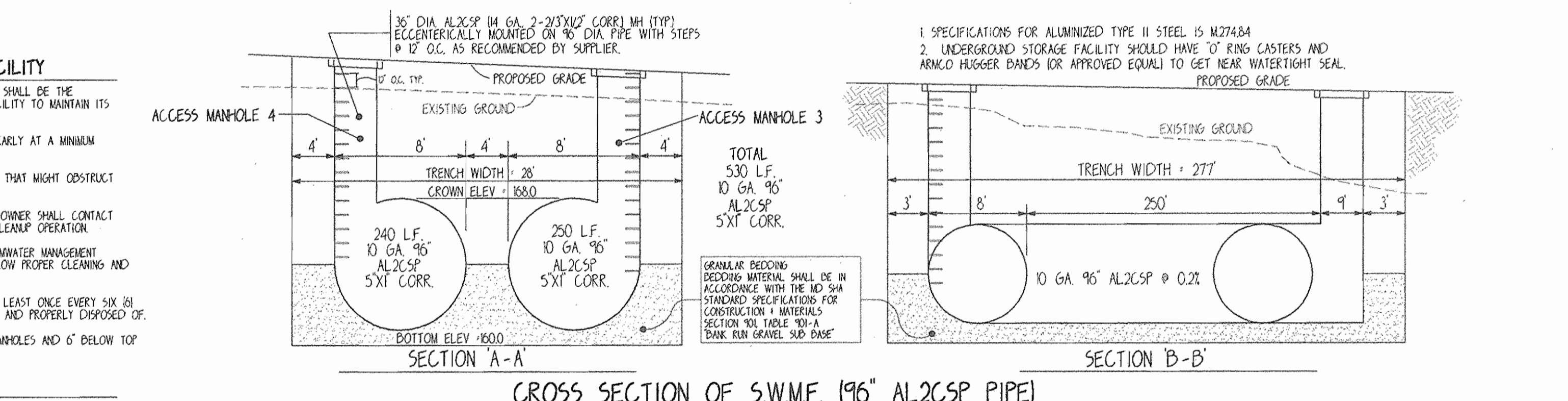
FROM	TO	SIZE	TYPE	LENGTH	AS-BUILT
1-1	55-1	15	ALUMINIZED CORRUGATED STEEL PIPE	48	
55-1	FC	15	ALUMINIZED CORRUGATED STEEL PIPE	48	
1-2	55-2	24	ALUMINIZED CORRUGATED STEEL PIPE	21	
55-2	FC	24	ALUMINIZED CORRUGATED STEEL PIPE	6	
1-3	FC	15	ALUMINIZED CORRUGATED STEEL PIPE	31	
CS-1	EX 1-3	27	REINFORCED CONCRETE PIPE CL IV	30	

PIPE SUMMARY

SIZE	TYPE	LENGTH	AS-BUILT
15	ALUMINIZED CORRUGATED STEEL PIPE	117	
24	ALUMINIZED CORRUGATED STEEL PIPE	27	
96	ALUMINIZED CORRUGATED STEEL PIPE	525	
TOTAL		704	

STRUCTURE SCHEDULE (PRIVATE)

NO.	TYPE	WIDTH	TOP ELEV.	STANDARD DETAIL	WIDTH	TOP ELEV.	INVT. ELEV.
1-1	TYPE 'A' INLET	25	178.7	174.1 HOWARD CO. DRW. SD 441			
1-2	DOUBLE TIE'S CONCRETE INLET	25	175.9	108.11 HOWARD CO. DRW. SD 434			
1-3	TYPE 'A' INLET	25	173.0	107.2 HOWARD CO. DRW. SD 434			
55-1	STORMCEPTOR STC-2400	8.0	179.0	108.97 SEE DETAIL THIS SHEET			
55-2	STORMCEPTOR STC-1800	6.0	175.7	104.95 SEE DETAIL THIS SHEET			
CS1	CONTROL STRUCTURE	10.0	172.0	104.9 SEE DETAIL THIS SHEET			
AM1	ACCESS MANHOLE	3.0	172.5	100.0 SEE DETAIL THIS SHEET			
AM2	ACCESS MANHOLE	3.0	175.7	100.0 SEE DETAIL THIS SHEET			
AM3	ACCESS MANHOLE	3.0	175.6	100.3 SEE DETAIL THIS SHEET			
AM4	ACCESS MANHOLE	3.0	176.2	100.3 SEE DETAIL THIS SHEET			
AM5	ACCESS MANHOLE	3.0	182.4	100.3 SEE DETAIL THIS SHEET			



INDEX TO DRAWINGS

- 1 OF 13 COVER SHEET
- 2 OF 13 SITE DEVELOPMENT, ENTRANCE + PAVING PLAN
- 3 OF 13 LANDSCAPE PLAN
- 4 OF 13 SITE DEVELOPMENT, ENTRANCE, PAVING, + LANDSCAPING NOTES + DETAILS
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- 12 OF 13 ON-SITE WATER AND SEWER PLAN
- 13 OF 13 ON-SITE WATER AND SEWER PROFILES, + NOTES

FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS.
HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH DEPARTMENT

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

2/20/02 DATE

5/1/02 DATE

5/2/02 DATE

DATE NO. REVISION DESCRIPTION

PROJECT: ERNIE MAIER WAREHOUSE COMPLEX

OWNER/DEVELOPER/APPLICANT: MR. ERNIE MAIER, 4700 ANNAPOLIS ROAD, BLADENBURG, MARYLAND 20710, PHONE: 301-927-8300

JOYCE ENGINEERING CORPORATION: PROFESSIONAL ENGINEERS, PROFESSIONAL SURVEYORS, LAND PLANNING & CONSTRUCTION MANAGEMENT, 10766 BALTIMORE AVENUE - TWIN CHIMNEYS OFFICE PARK, BELTSVILLE, MARYLAND 20705, TEL: (301) 505-4355, FAX: (301) 505-4650

ADDRESS CHART: LOT/PARCEL, STREET, ADDRESS

PERMIT INFORMATION CHART: SUBDIVISION, MAIER INDUSTRIAL PARK, SECTION 1, LOT/PARCEL #, PERMIT C-5

DATE: 07.07.01

TITLE: STORM DRAIN & STORMWATER MANAGEMENT NOTES, PROFILES, AND DETAILS

DES BY WAJ, DRN BY HAL, CHK BY JEC

SCALE: 1" = 5'

DATE: OCTOBER 1999

PROJ. NO. 99-057

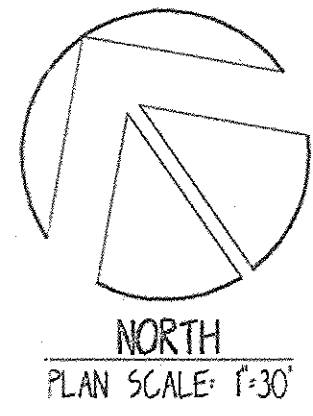
11 OF 13

PROFESSIONAL ENGINEER, NO. 12243

DATE: 06/21/01

FILE: PLWDG\99057\99057502.DWG

SDP-00-145



BENCH MARK #2
60 PERRY NAIL IN TOP
OF CURB, ELEVATION: 4

N/F
AC. MILLER
P.540
L: 1007 F. 008
M-2 ZONE

N/F
PARCEL E-4
M-2 ZONE

N/F
PARCEL E-3
M-2 ZONE

N/F
PARCEL E-2
PLAT #8439
M-2 ZONE

N/F
PARCEL E-1
PLAT #8439
M-2 ZONE

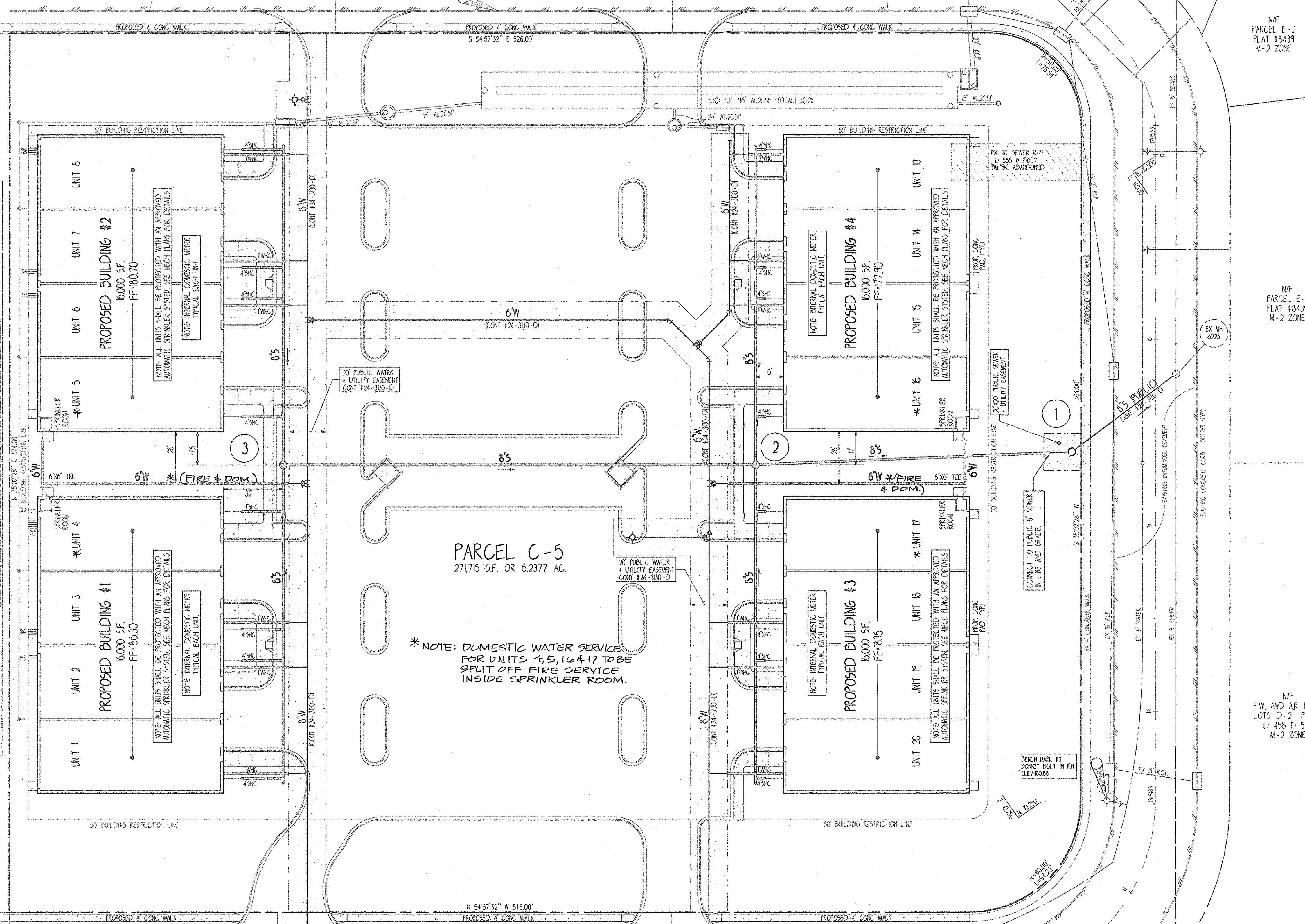
N/F
F.W. AND A.R. MAIER
MAIER INDUSTRIAL PARK
SECTION ONE, PARCEL C-4
PLAT #5591
M-2 ZONE

ROAD CLASSIFICATION MINOR COLLECTOR
EXISTING CONCRETE CURB + GUTTER (17")
MAIER PLACE
160' R/W

180' R/W
ROAD CLASSIFICATION ARTERIAL - MINOR
MAIER ROAD

PARCEL C-5
27,715 SF. OR 6.2377 AC.

* NOTE: DOMESTIC WATER SERVICE
FOR UNITS 4, 5, 16 & 17 TO BE
SPLIT OFF FIRE SERVICE
INSIDE SPRINKLER ROOM.



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APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

Alvin Cummings 8/20/02
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Wanda Howard 8/1/02
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Joseph Smith 8/1/02
DIRECTOR DATE

DATE	NO.	REVISION DESCRIPTION

PROJECT
ERNIE MAIER WAREHOUSE COMPLEX

OWNER/DEVELOPER/APPLICANT
MR. ERNIE MAIER
4700 ANNAPOLIS ROAD
BLADENBURG, MARYLAND 20710
PHONE: 301-927-8300

JOYCE ENGINEERING CORPORATION
PROFESSIONAL ENGINEERS, PROFESSIONAL SURVEYORS
LAND PLANNING & CONSTRUCTION MANAGEMENT
10766 BALTIMORE AVENUE - TWIN CHIMNEYS OFFICE PARK
BELTSVILLE, MARYLAND 20705
TEL: (301) 595-4353 FAX: (301) 595-4650
© 2000 JOYCE ENGINEERING CORPORATION

LOT/ PARCEL	BUILDING NO.	STREET ADDRESS	UNIT IDENTIFICATION
PARCEL 5	BUILDING 1	9025 MAIER ROAD	A B C D
PARCEL 5	BUILDING 2	9025 MAIER ROAD	A B C D
PARCEL 5	BUILDING 3	9025 MAIER ROAD	A B C D
PARCEL 5	BUILDING 4	9025 MAIER ROAD	A B C D

PERMIT INFORMATION CHART

SUBDIVISION	SECTION/AREA	SECTION 1	PARCEL #
MAIER INDUSTRIAL PARK			PARCEL C-5

PLAT	BLOCK	ZONE	ELEC. DISTRICT	CENSUS TRACT
1889	23	M-2	67	6099.02

WATER CODE	SEWER CODE
C-04	7-000000

TITLE
ON-SITE WATER & SEWER PLAN

DES BY	SCALE	PROJ. NO.
WAJ	1"=30'	99-057

DRN BY	DATE	12 OF 13
HAL	OCTOBER 1999	

CHK BY	APPROVED
JEC	



DATE: 07.01.02

PROFESSIONAL ENGINEER, NO. 12243

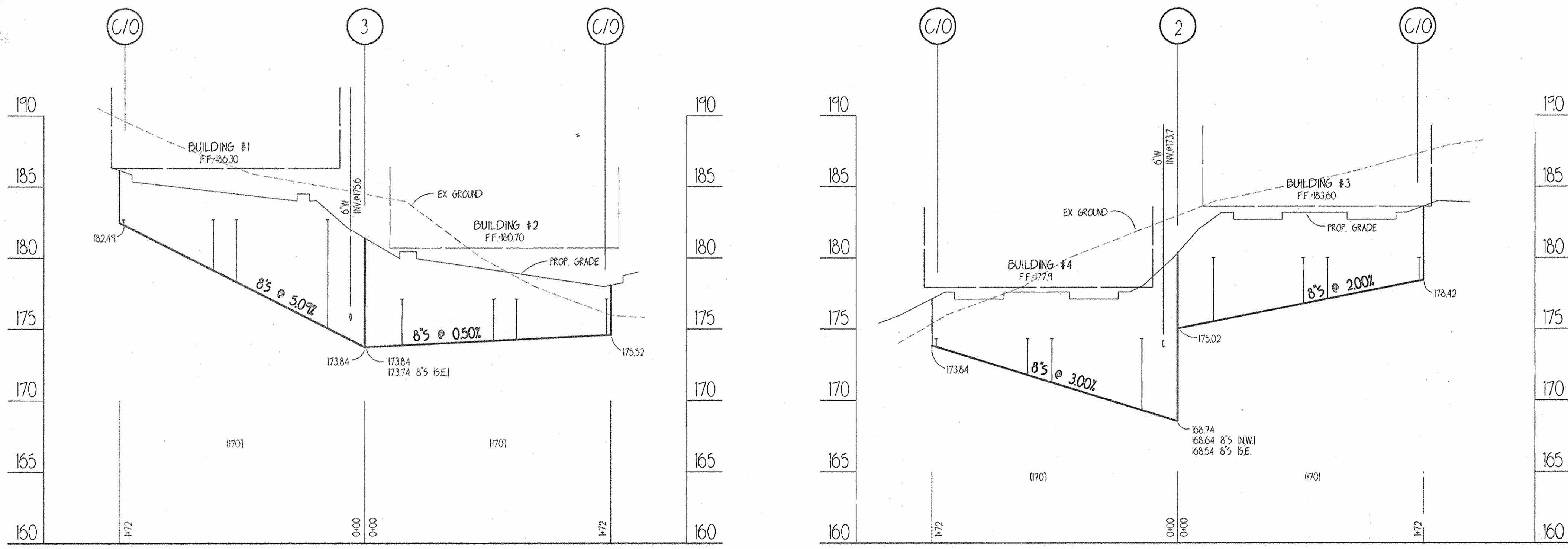
STATE OF MARYLAND
JAMES H. HARRIS
REGISTERED PROFESSIONAL ENGINEER

NOTE: EXISTING TOPOGRAPHIC SURVEY AND UNDERGROUND UTILITY INFORMATION AS SHOWN IS BASED UPON AVAILABLE RECORD INFORMATION AS PROVIDED BY THE OWNER/DEVELOPER/APPLICANT. ALL UNDERGROUND UTILITIES MUST BE FIELD VERIFIED BY DIGGING TEST PITS, BY HAND, PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY. JOYCE ENGINEERING CORPORATION ASSUMES NO LIABILITY FOR ACCURACY OF UTILITY INFORMATION PROVIDED BY OTHERS.

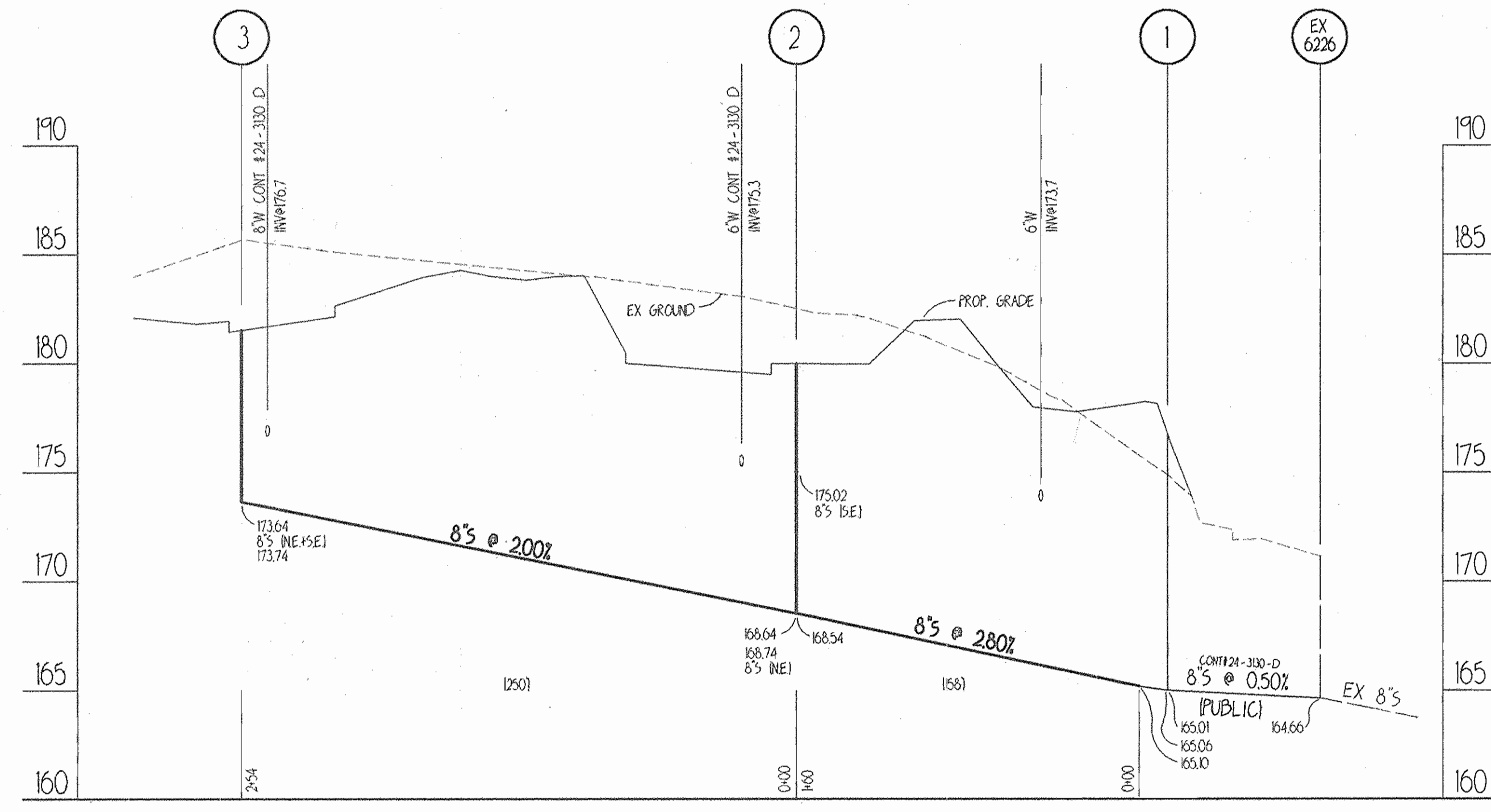
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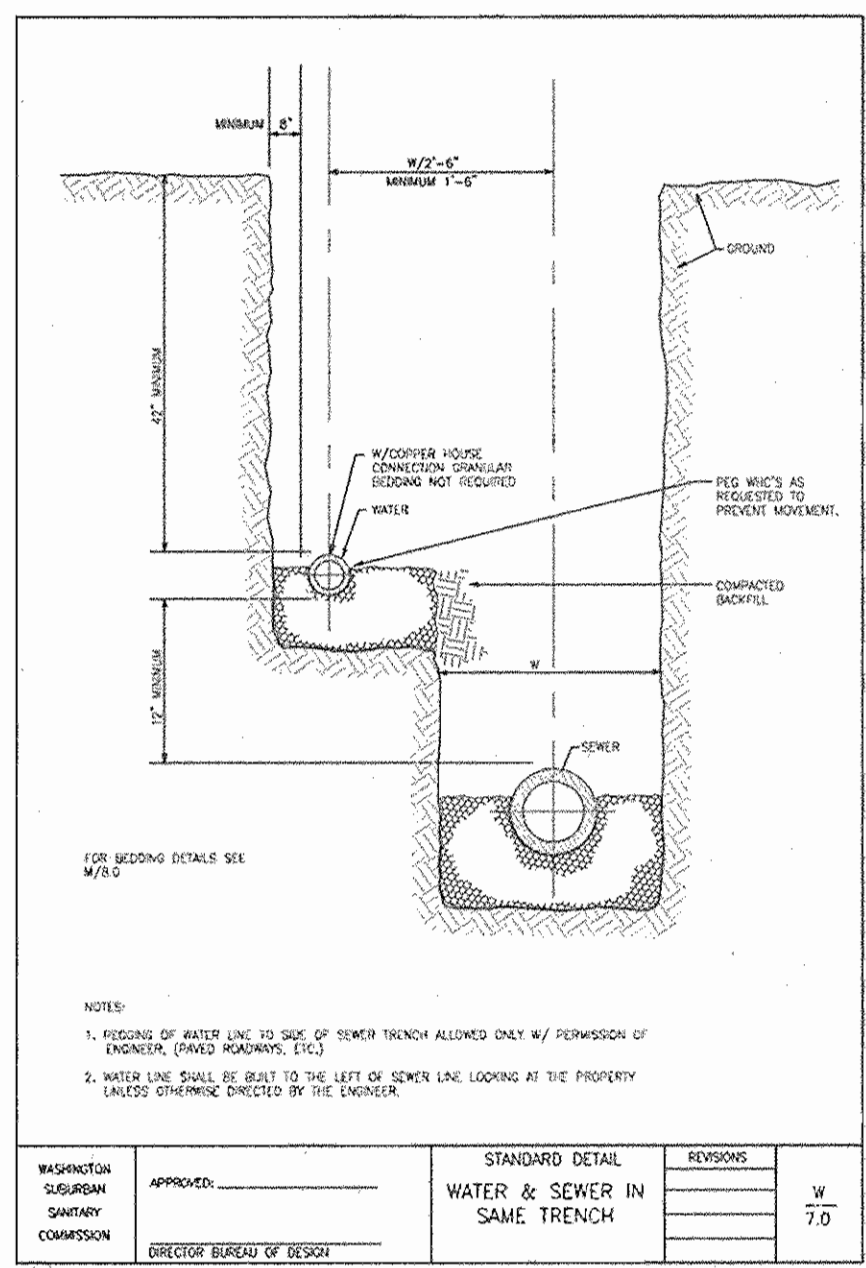
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PROFILE SCALE: HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'



PROFILE SCALE: HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

[Signature] 2/26/02
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 5/1/02
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 5/2/02
DIRECTOR DATE

DATE	NO.	REVISION DESCRIPTION

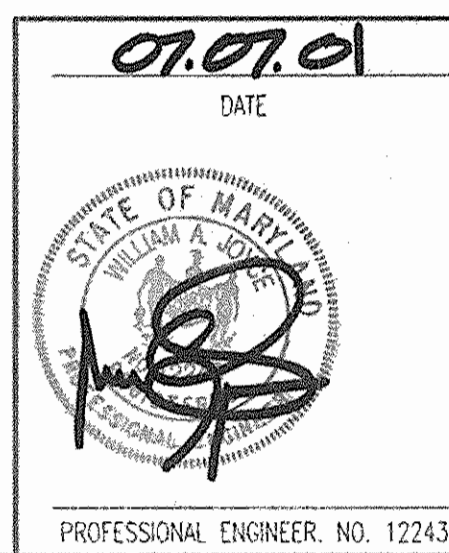
PROJECT: **ERNIE MAIER WAREHOUSE COMPLEX**

OWNER/DEVELOPER/APPLICANT:
MR. ERNIE MAIER
4700 ANNAPOLIS ROAD
BLADENSBURG, MARYLAND 20710
PHONE: 301-927-8300

JOYCE ENGINEERING CORPORATION
PROFESSIONAL ENGINEERS, PROFESSIONAL SURVEYORS
LAND PLANNING & CONSTRUCTION MANAGEMENT
10765 BALTIMORE AVENUE - TWIN CHIMNEYS OFFICE PARK
BELTSVILLE, MARYLAND 20705
TEL: (301) 595-4353 FAX: (301) 595-4650
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ADDRESS CHART

LOT/PARCEL	BUILDING NO.	STREET ADDRESS	UNIT IDENTIFICATION
PARCEL 5	BUILDING 1	9045 MAIER ROAD	A B C D
PARCEL 5	BUILDING 2	9050 MAIER ROAD	A D C D
PARCEL 5	BUILDING 3	9015 MAIER ROAD	A B C D
PARCEL 5	BUILDING 4	9025 MAIER ROAD	A B C D



PERMIT INFORMATION CHART

SUBDIVISION	SECTION/AREA	SECTION 1	PARCEL #	PARCEL C-5
MAIER INDUSTRIAL PARK				

PLAT #	BLOCK	ZONE	TAX/ZONE MAP	ELEC. DISTRICT	GENSUS TRACT
14869	23	M-2	47	6TH	XXXX

WATER CODE: C-04 SEWER CODE: 7-000000

TITLE: **ON-SITE WATER & SEWER PROFILES**

DES BY WAJ SCALE 1" = 50' PROJ. NO. 99-057
DRN BY HAL DATE OCTOBER 1999 13 OF 13
CHK BY JEC APPROVED: