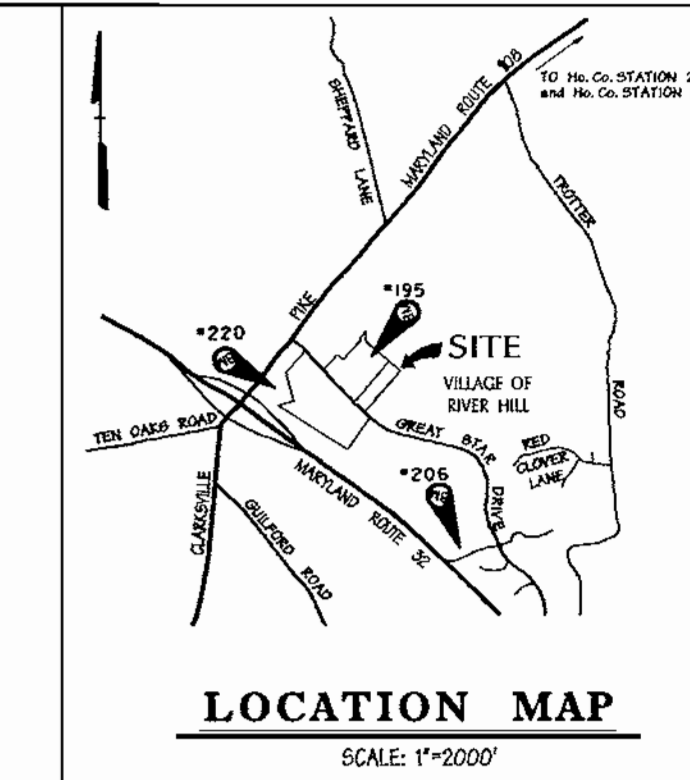


ADDRESS CHART			
LOT NO.	STREET ADDRESS	LOT NO.	STREET ADDRESS
A-4-1	5900 PEBBLE CREEK CR.	A-4-29	5921 MYSTIC OCEAN LANE
A-4-2	5902	A-4-30	5912
A-4-3	5904	A-4-31	5917
A-4-4	5906	A-4-32	5919
A-4-5	5908	A-4-33	5913
A-4-6	5910	A-4-34	5911
A-4-7	5914	A-4-35	5907
A-4-8	5916	A-4-36	5909
A-4-9	5918	A-4-37	5903
A-4-10	5920	A-4-38	5901
A-4-11	5922	A-4-39	5910 FLEETS OF TIME CR.
A-4-12	5924	A-4-40	5908
A-4-13	5926	A-4-41	5906
A-4-14	5928	A-4-42	5904
A-4-15	5930	A-4-43	5902
A-4-16	5932	A-4-44	5900
A-4-17	6001 PEWING CHURCH WAY	A-4-45	6010 HELMSTADT WAY
A-4-18	6003	A-4-46	6012
A-4-19	6005	A-4-47	6001
A-4-20	6007	A-4-48	6003
A-4-21	6009	A-4-49	6005
A-4-22	6011	A-4-50	6007
A-4-23	6013	A-4-51	6009
A-4-24	6015	A-4-52	6011
A-4-25	6017	A-4-53	6013
A-4-26	6019	A-4-54	6015
A-4-27	6021	A-4-55	6017
A-4-28	6023	A-4-56	6019

# SITE DEVELOPMENT PLAN COLUMBIA VILLAGE OF RIVER HILL SECTION 4 AREA 1 PHASE 1 PARCEL A-4 5th ELECTION DISTRICT HOWARD COUNTY, MARYLAND



**BENCHMARK**  
DESCRIPTION

POINT	DESCRIPTION	ELEV.
195	1/2" x 1/8" REBAR w/ TRAV. CAP	445.28 N 56932.019 E 133838.577
206	1/2" x 1/8" REBAR w/ TRAV. CAP	374.53 N 569936.249 E 1332328.583
220	1/2" x 1/8" REBAR w/ TRAV. CAP	457.14 N 564238.646 E 1329635.522

SHEET INDEX	
SHEET	DESCRIPTION
1	COVER SHEET
2	SITE DEVELOPMENT PLAN
3	SITE DEVELOPMENT PLAN
4	GRADING PLAN
5	GRADING PLAN
6	SITE DETAILS & DRAIN PROFILES
7	STORM DRAIN PROFILES
8	SEWER PROFILES
9	SEWER PROFILES
10	EROSION & SEDIMENT CONTROL PLAN
11	EROSION & SEDIMENT CONTROL PLAN
12	EROSION & SEDIMENT CONTROL DETAILS
13	EROSION & SEDIMENT CONTROL DETAILS
14	LANDSCAPE PLAN
15	LANDSCAPE PLAN
16	DRINKING WATER SYSTEM CLASSIFICATIONS & TRAFFIC MARKING PLAN

**SITE ANALYSIS:**

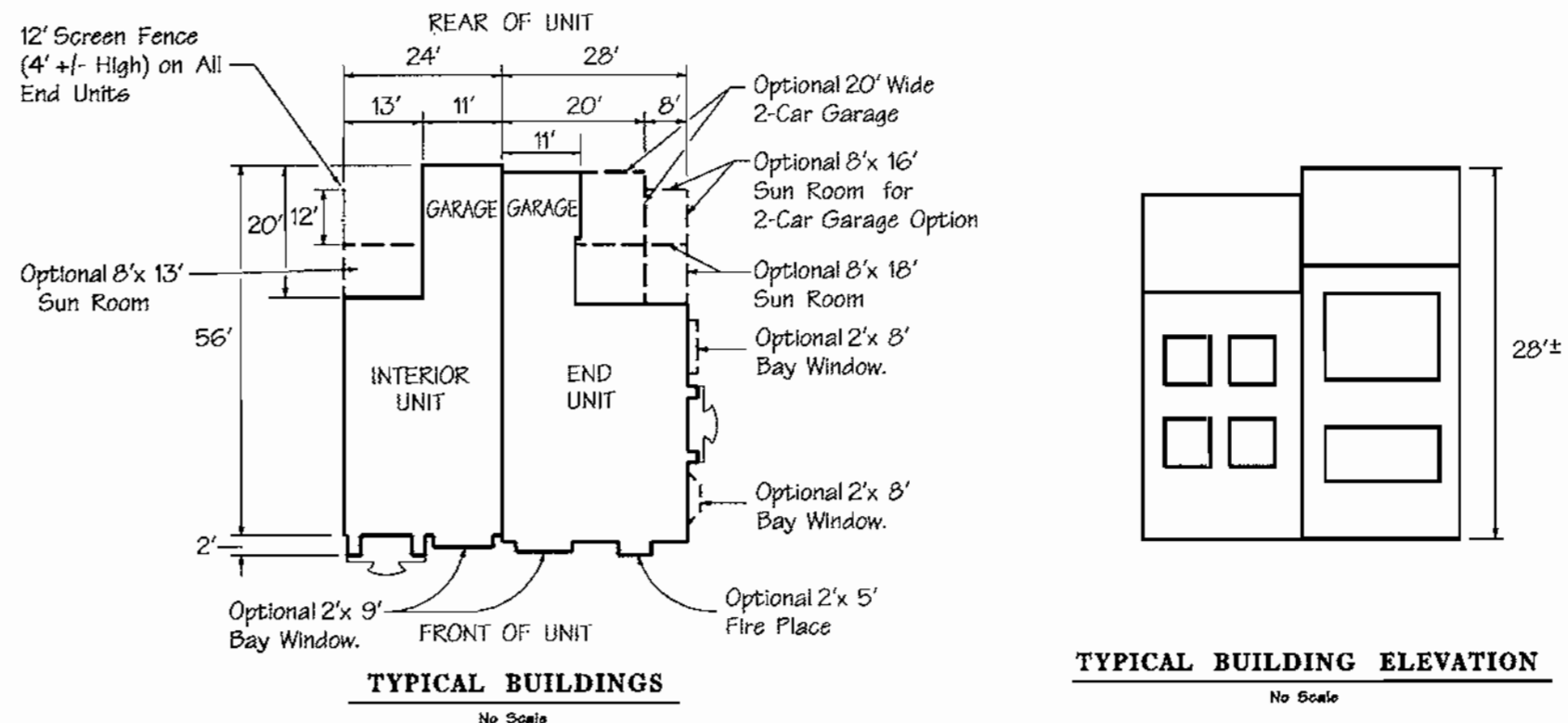
- Zoning: New Town Per FDP Ph. 222-A-1, Part 1
- Project Area: 5.5 Ac. or 239,495 S.F.
- Area of submission: 6.8 Ac. or 296,208 S.F.
- Proposed Use: Townhouse Condominiums

**Area Tabulation**

Total units allowed	See General Note # 34
Total units provided	56 townhouses (24' x 56' interior, 28' x 56' exterior)
A. Building area =	1.6 Ac.
B. Common Open space =	3.9 Ac.
C. Limit of Disturbance	6.8 Ac.
D. Impervious Area	3.6 Ac.
E. Green Area	3.2 Ac.

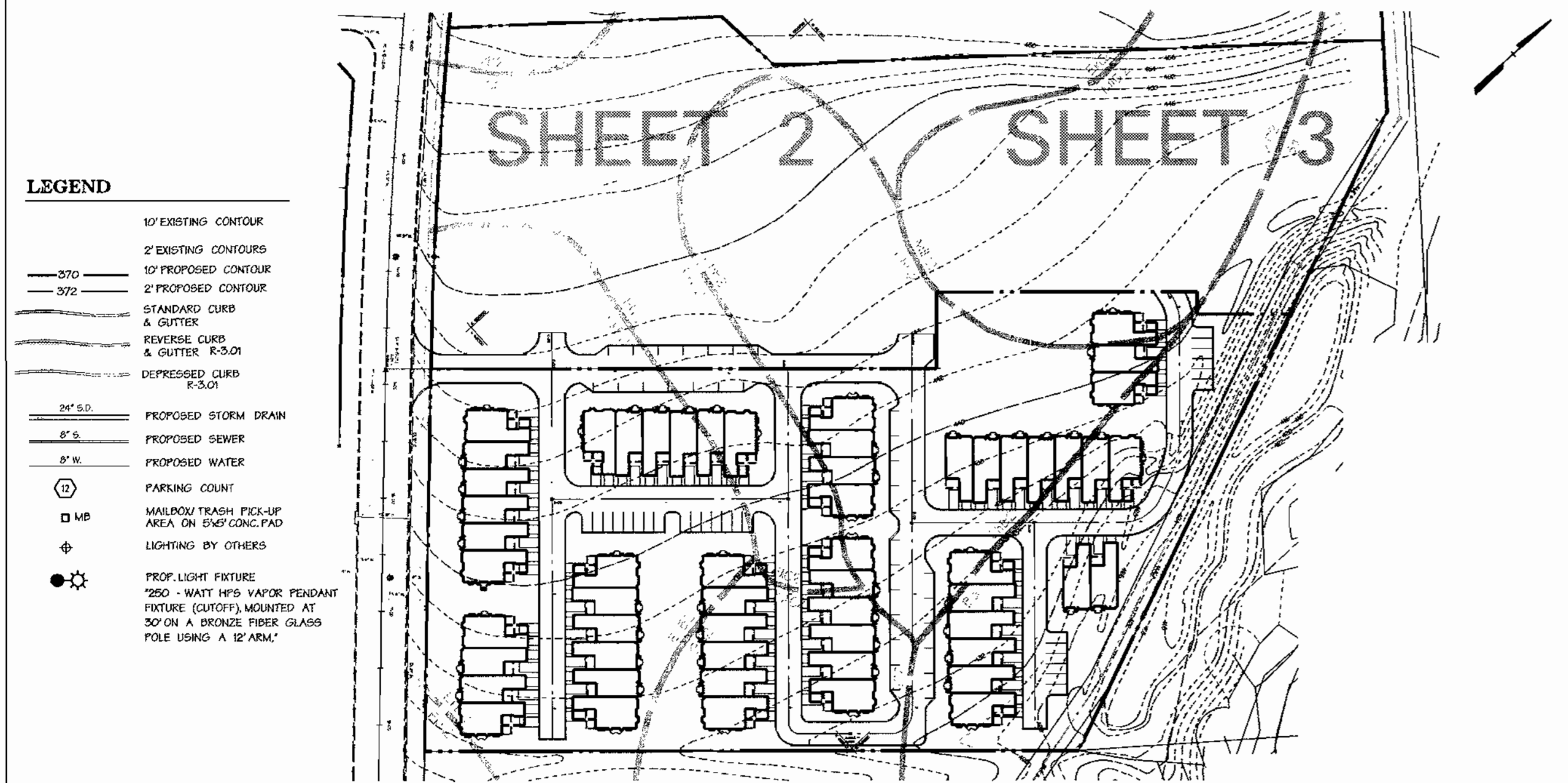
**Parking**

5. Parking Required	112 sp. (2 sp./ UN)
6. Parking Provided	167 sp. (2.9 sp./ UN)
	112 sp. (garage / driveway)
	54 sp. (court)



- GENERAL NOTES**
- All construction shall be in accordance with the latest standards and specifications of Howard County.
  - The contractor shall notify the Bureau of Engineering/Construction Inspection Division at (410) 513-1880 at least five (5) working days prior to the start of work.
  - The contractor shall notify 'Miss Utility' at 1-800-257-7777 at least 48 hours prior to any excavation work.
  - Traffic control devices, markings, and signing shall be in accordance with the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any signpost.
  - All plan dimensions are to the face of curb unless otherwise noted.
  - Topography was field run surveyed by Gutcheck, Little & Weber dated 11/99.
  - Coordinates and bearings shown herein are referred to the Maryland Coordinate system (NAD 83) as projected by Howard County Geodetic Control stations No. 29G4 & 29G5.
  - Storm water management is provided off-site by extended detention facilities for quantity and quality per F-96-110.
  - No wetlands exist within the limits of disturbance.
  - The existing utilities were located from available records and field survey prepared by Duff-McCune-Walker, Inc. The contractor must dig test pits, by hand, at all utility crossings and connection points at least 5' along prior to starting work to verify exact location.
  - The soils analysis report was prepared by R. Baller, Inc.
  - Any damage to County owned right-of-way to be corrected at the contractor's expense.
  - All sidewalks shall be cross sloped at 1/4" per foot.
  - Trench bedding for storm drainage structures shall be in accordance with Howard County Standard G2.01.
  - Department of Planning and Zoning reference file numbers: S-93-21, F-95-10, F-96-B3 Plat 12692 F-96-110, FDP Ph. 222-A-1, Part 1, Water & Sewer Contract No. 44-3089-D (SDP-00-137).
  - All inlets shall be constructed in accordance with Howard County standards or MSHA standards as specified on the structure schedule.
  - All materials and construction is to be in accordance with the Howard County Design Manual Volume IV.
  - The building setback restrictions from the property lines and right-of-way lines of any public road shall be in accordance with FDP Phase 222-A-1, Part 1.
  - All on-site driveways and parking areas to be privately maintained.
  - All curb radii are five foot unless otherwise labeled all curbs to be 6" in height.
  - All equipment and tools shall be placed as not to interfere with vehicular or pedestrian movement unless specified.
  - The contractor shall be responsible for any damage to existing property which may occur as a result of his negligence in the execution of the work.
  - All proposed handicap ramps shall be in accordance with the current A.D.A. Standards.
  - There is no floodplain on this site.
  - Traffic study was prepared by Wells & Associates dated Jan. 20, 1995.
  - Public Water is utilized for this site. Meters will be located inside the building. Sewer service is provided by existing 8" sanitary, Contract No. 44-3824-D and 30-3436-D.
  - This plan is exempt from Forest Conservation in accordance with Section 16-1202 (10) (i) (iv).
  - This property is located within the Metropolitan District.
  - There are no slopes greater than 25% greater than 10,000 contiguous S.F.
  - All exterior lighting shall comply with Section 134 of the Howard County Zoning Regulations. Provide (1) 250 watt HPS vapor pendant fixture (cut off) mounted at 30' on bronze fiberglass pole using a 1/2" arm.
  - The site is previously graded under F-96-110.
  - All driveways shall be concrete.
  - Garages shall be used for parking purposes in accordance with Section 133.D.2 of the Zoning Regulations and FDP Phase 222-A-1, Part 1 criterion 9B-2.
  - FDP criteria (FDP Ph. 222-A-1, Part 1)
    - setback from public road: 30'
    - parking spaces required: 112 sp. (2 sp./unit)
    - units allowed on parcels A-2, B-2 & B-3 = 245 units  
F-97-16B (parcel B-2) = 54  
F-98-114 (parcel B-3) = 61  
Lots remaining = 171
  - Tentative allocations were granted with S-93-21 and permanent allocations for 467 units for 1996 and 15 units for 1997 were granted with F-96-110.
  - This plan has been prepared in accordance with the provisions of Section 16.124 of the Ho. Co. code per the new Low alternative compliance method. Financial surety for the required landscaping in the amount of \$42,150.00 must be posted as part of the developer's agreement. (33 shade, 50 evergreen)
  - Trash and recycling pick-up for this project will be privately maintained and the responsibility of the Home Owners Association.

DATE: 9-21-00



**VICINITY MAP**  
1" = 100'

**LEGEND**

--- 12' EXISTING CONTOUR	--- 2' EXISTING CONTOURS
--- 370	--- 12' PROPOSED CONTOUR
--- 372	--- 2' PROPOSED CONTOUR
---	STANDARD CURB & GUTTER
---	REVERSE CURB & GUTTER R-5.01
---	DEPRESSED CURB R-5.01
---	PROPOSED STORM DRAIN
---	PROPOSED SEWER
---	PROPOSED WATER
○	PARKING COUNT
□	MAILBOX TRASH PICK-UP AREA ON EXISTING CONC. PAD
○	LIGHTING BY OTHERS
●	PROF. LIGHT FIXTURE
●	250 - WATT HPS VAPOR PENDANT FIXTURE (CUTOFF), MOUNTED AT 30' ON A BRONZE FIBER GLASS POLE USING A 1/2" ARM

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

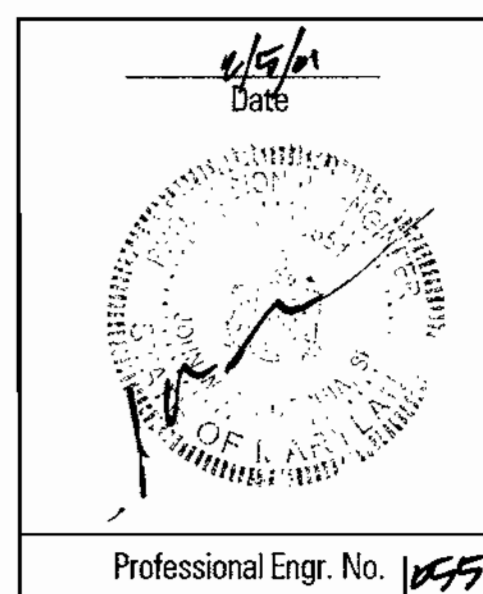
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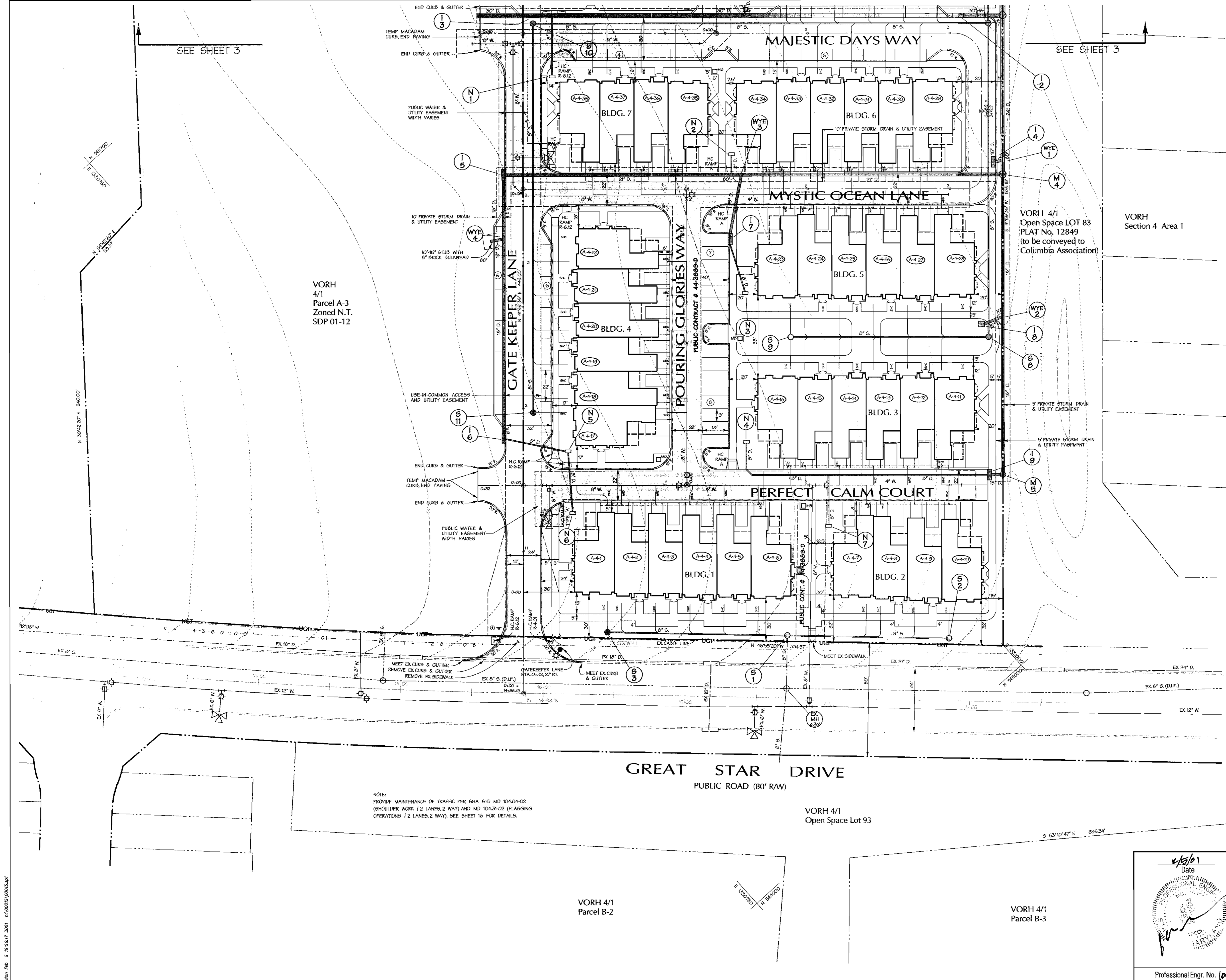
DATE: 3/6/01

DATE: 3/6/01

DATE: 3/6/01

Date	No.	Revision Description
		COLUMBIA
		<b>VILLAGE OF RIVER HILL</b>
		SECTION 4 AREA 1 PARCEL A-4 BUILDING 1-11 UNITS A-4-1 THRU A-4-56
		OWNER/DEVELOPER: Beazer Homes, Inc. 8965 Guilford Road Suite 290 Columbia, Maryland 21046
		CONTRACT PURCHASER: Beazer Homes, Inc. 8965 Guilford Road Suite 290 Columbia, Maryland 21046
		<b>DMW</b> Duff-McCune-Walker, Inc. 300 East Pennsylvania Avenue Towson, Maryland 21286 (410) 286-3353 Fax: 286-4706
		A Team of Land Planners, Landscape Architects, Golf Course Architects, Engineers, Surveyors & Environmental Professionals
		SUBDIVISION NAME: VILLAGE OF RIVER HILL
		SECTION/AREA: 4/1
		LOT/PARCEL: A-4
		PLAT: 12692
		TAX/ZONE MAP: 35
		ELECT. DISTRICT: 5
		CEMSIS TRACT: 6855
		WATER CODE: 5,653,000
		SEWER CODE: 1-10
		TITLE: COVER SHEET
		Des. By: MJP Scale: 1"=100' Proj. No: 00015.A
		Drn. By: KDE/MSS Date: 2/06/2001
		Chk. By: Approved
		Professional Engr. No. 10551
		1 of 16





SEE SHEET 3

SEE SHEET 3

VORH 4/1  
Parcel A-3  
Zoned N.T.  
SDP 01-12

VORH 4/1  
Open Space LOT 83  
PLAT No. 12849  
(to be conveyed to  
Columbia Association)

VORH  
Section 4 Area 1

GREAT STAR DRIVE  
PUBLIC ROAD (80' RAW)

VORH 4/1  
Open Space Lot 93

VORH 4/1  
Parcel B-2

VORH 4/1  
Parcel B-3

NOTE:  
PROVIDE MAINTENANCE OF TRAFFIC PER SHA STD MD 104-04-02  
(SHOULDER WORK / 2 LANES, 2 WAY) AND MD 104-31-02 (FLAGGING  
OPERATIONS / 2 LANES, 2 WAY). SEE SHEET 16 FOR DETAILS.

LEGEND:  
Sign Legend:  
① - Proposed Sign, Support and Sign Identification  
② - R-1 30" x 30"

- GENERAL NOTES:
- The Contractor shall be governed by the standards and requirements of the following publications:  
- Manual on Uniform Traffic Control Devices (MUTCD), 1998 Edition and subsequent revisions.  
- AASHTO - Specifications for the Design and Construction of Structural Supports for Highway Signs, April 1975 Edition.  
- AASHTO - Standard Specifications for Structural Supports for Highway Signs, Luminaires and Traffic Signals, April 1983 Edition.
  - Standard sign panel layouts shall be based on the MUTCD.
  - Signs shall be located as shown on the plans. Any required changes in the location of signs necessary due to field conditions shall have the prior approval of the Engineer.
  - It shall be the responsibility of the Contractor to locate and protect all existing facilities that may be affected by this work.
  - All new signs shown on this plan shall have Non-Reflective (Black Copy) or High Intensity Reflective Sheeting (All Other Colors) background and copy. Reflective Sheeting shall be Type II-A, Encapsulated Lens Reflective Element Material.
  - All new sheet aluminum signs shall have Non-Demountable Copy.
  - The following minimum thicknesses shall be used for the appropriate size of sheet aluminum sign blanks:  

Longest Dimension (Inches)	Minimum Thickness
Up to 12"	0.040"
12" to 24"	0.063"
24" to 36"	0.087"
36" to 48"	0.110"
Over 48"	0.125"
  - All traffic control signs shall be mounted on Howard County standard posts. A single post shall be provided for signs with an area of 3.0 square feet or less. For signs with an area of greater than 3.0 square feet, two (2) posts shall be provided. Sign posts shall be installed in the ground to a minimum depth of 3.0 feet and sign posts shall extend to the top of the sign panel.
  - Signs shall be mounted such that the clearance to the bottom edge of the sign panel is a minimum of six (6) feet above finished grade.

APPROVED  
DATE 9-21-00

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
*Howard County*  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION 3/2/01 DATE  
*Cindy Hampton*  
 CHIEF, DIVISION OF LAND DEVELOPMENT 3/6/00 DATE  
*James S. Sants*  
 DIRECTOR 3/6/01 DATE

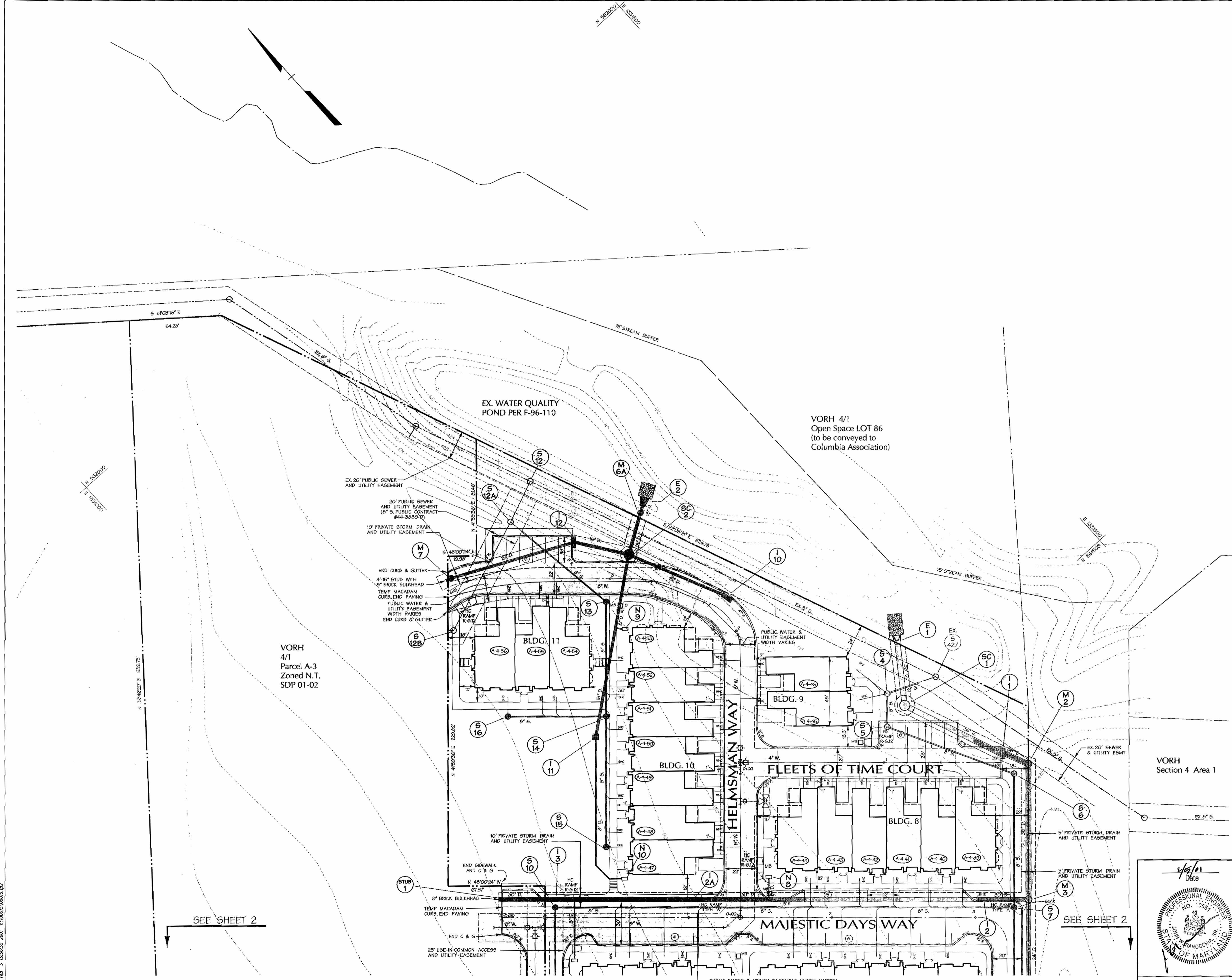
Date	No.	Revision Description
		COLUMBIA
<b>VILLAGE OF RIVER HILL</b>		
SECTION 4 AREA 1 PARCEL A-4 BUILDING 1-11 UNITS A-4-1 THRU A-4-56		
<b>OWNER/DEVELOPER:</b>		<b>CONTRACT PURCHASER:</b>
Beazer Homes, Inc. 8965 Gullford Road Suite 290 Columbia, Maryland 21046		Beazer Homes, Inc. 8965 Gullford Road Suite 290 Columbia, Maryland 21046

**DMW**  
Duff, McCune-Walker, Inc.  
200 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 296-3333  
Fax 296-4706

A Team of Land Planners,  
Landscape Architects,  
Golf Course Architects,  
Engineers, Surveyors &  
Environmental Professionals

4/5/01  
Date  
Professional Engr. No. 10751

<b>SITE PLAN</b>			
Des. By	MJP	Scale	1"=30'
Drn. By	KDE/JMS	Date	2/06/2001
Chk. By	Approved	Proj. No.	00015.A
			<b>2 of 16</b>



APPROVED  
DATE 9-21-00

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 3/2/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE 7/6/01  
 DIRECTOR DATE 3/6/01

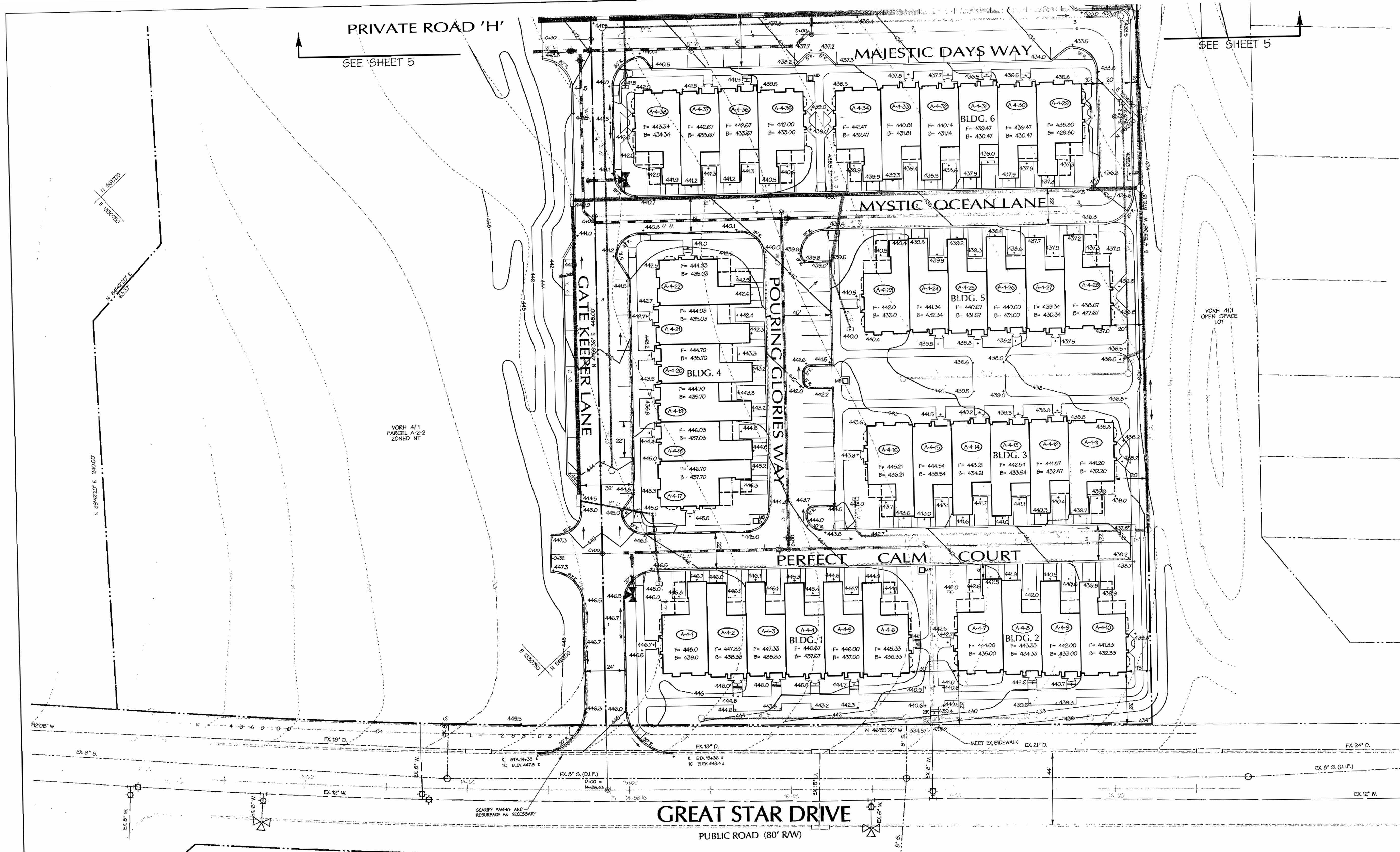
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 COLUMBIA  
**VILLAGE OF RIVER HILL**  
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 BUILDING 1-11 UNITS A-4-1 THRU A-4-56  
 OWNER/DEVELOPER: Beazer Homes, Inc. CONTRACT PURCHASER: Beazer Homes, Inc.  
 8965 Guilford Road Suite 290 Columbia, Maryland 21046

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 200 East Pennsylvania Avenue  
 Towson, Maryland 21286  
 (410) 296-3333  
 Fax 296-4706  
 A Team of Land Planners, Landscape Architects, Golf Course Architects, Engineers, Surveyors & Environmental Professionals



TITLE: **SITE PLAN**  
 Des. By: MJP Scale: 1"=30' Proj. No. 00015.A  
 Dwn. By: KDE/MSS Date: 2/06/2001  
 Chk. By: Approved 3 of 16

Man File: 5 15256.02 2007 m:\00015\00015.spl



**LEGEND**

- 17' EXISTING CONTOUR
- 17' EXISTING CONTOUR
- 17' PROPOSED CONTOUR
- 17' PROPOSED CONTOUR
- STANDARD CURB & GUTTER
- REVERSE CURB & GUTTER R.O. 0.01
- DEPRESSED CURB R.O. 0.01
- 24" S.D. PROPOSED STORM DRAIN
- 8" S.D. PROPOSED SEWER
- 8" W. PROPOSED WATER
- HAWKBOUYMASH PICK-UP AREA

DATE: 9-21-00

APPROVED:

<i>[Signature]</i>	3/2/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
<i>[Signature]</i>	7/6/01
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
<i>[Signature]</i>	3/6/01
DIRECTOR	DATE

Date	No.	Revision Description
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		<b>VILLAGE OF RIVER HILL</b>
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<b>OWNER/DEVELOPER:</b>		<b>CONTRACT PURCHASER:</b>
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**DMW**  
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(410) 296-3333  
Fax 296-4705

A Team of Land Planners,  
Landscape Architects,  
Civil Engineers, Surveyors &  
Environmental Professionals



TITLE: **GRADING PLAN**

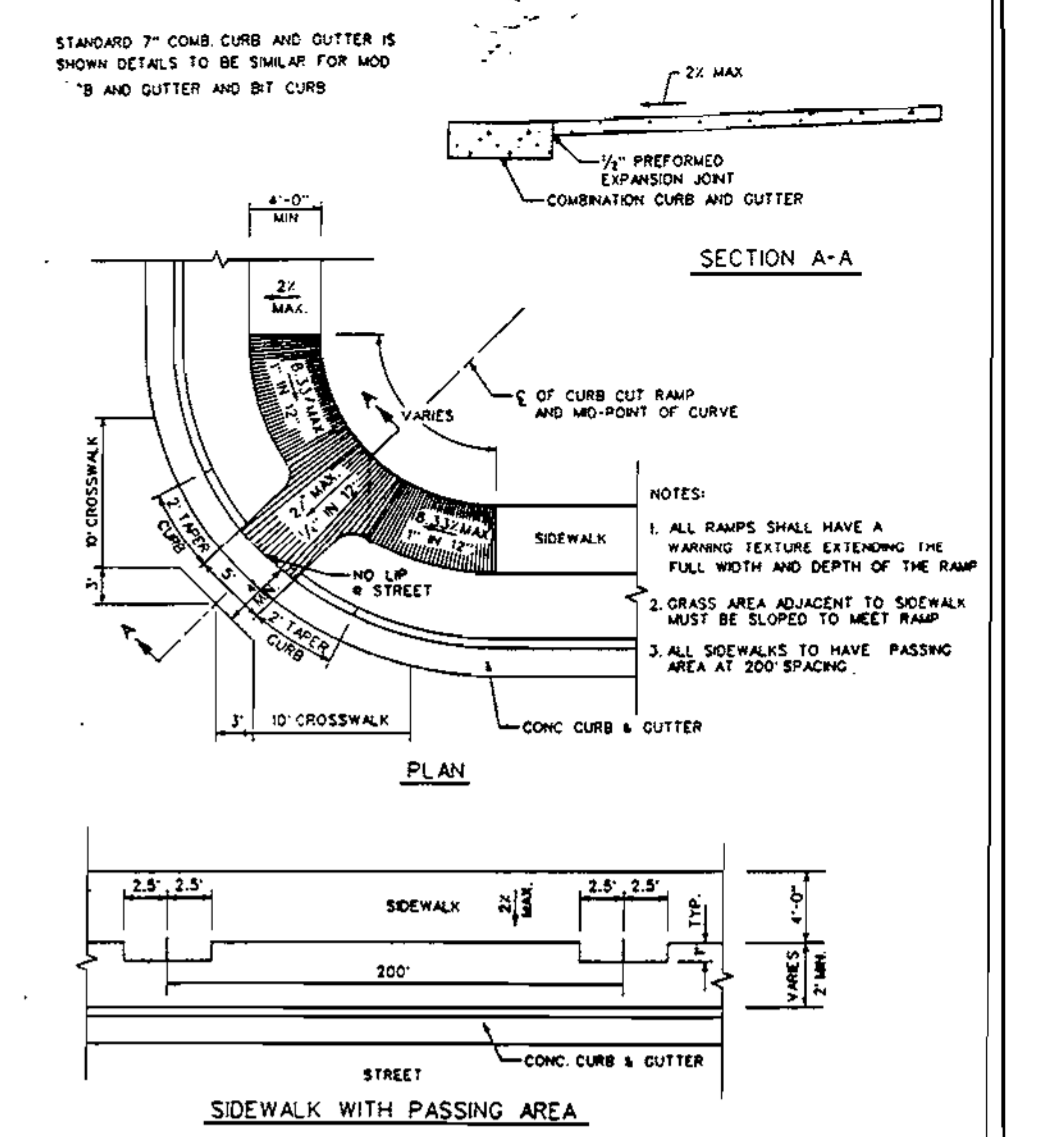
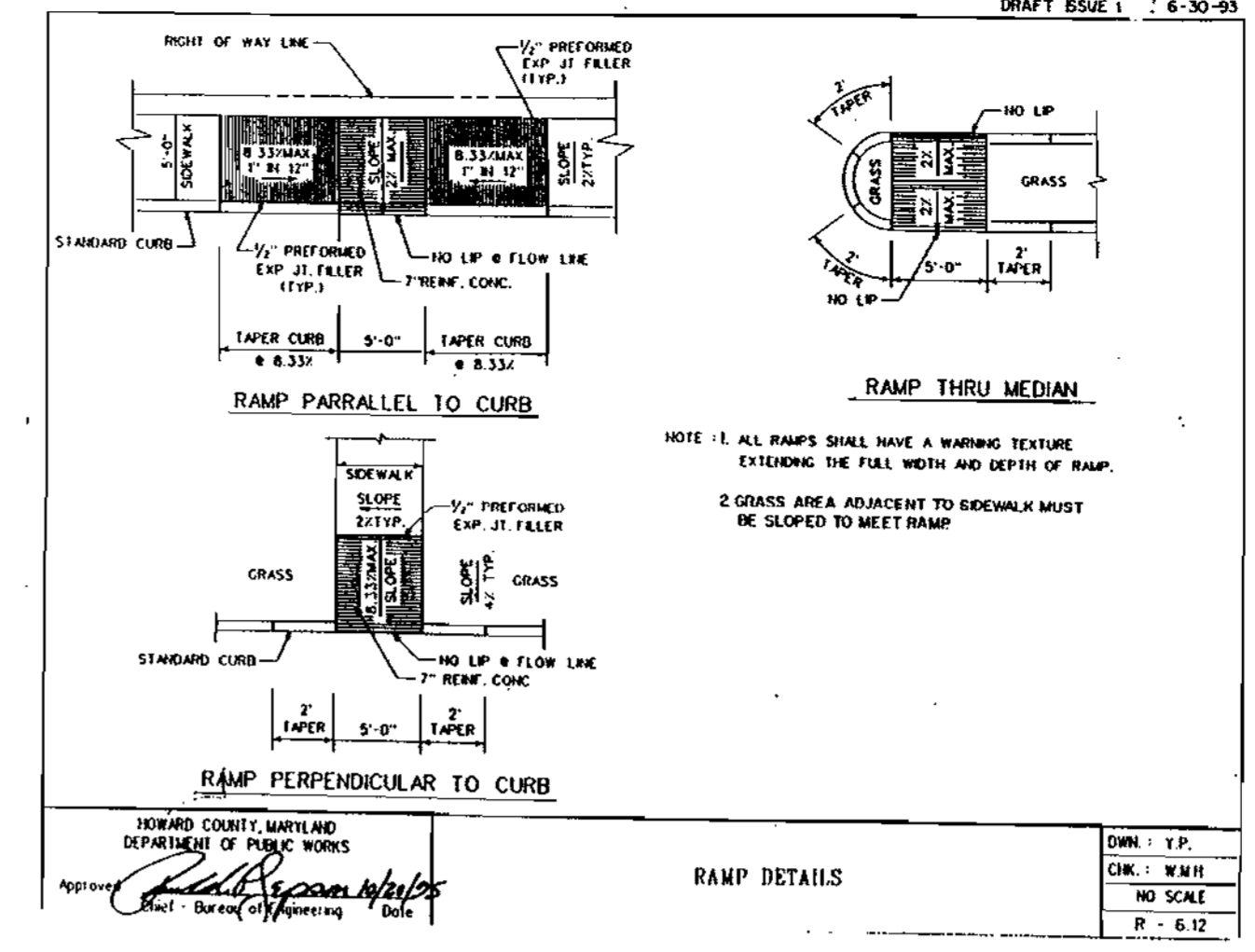
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Dwn. By	KDE/MSS	Date	2/06/2001	4 of 16	
Chk. By		Approved			

Mon. Feb. 5 15:58:20 2001 n:\00015\00015.B7

N 59200 E 53800

DRAFT ISSUE 1 : 6-30-93

DRAFT ISSUE DATE 6-30-93



**LEGEND**

570	10' EXISTING CONTOUR
572	2' EXISTING CONTOUR
570	10' PROPOSED CONTOUR
572	2' PROPOSED CONTOUR
---	STANDARD CURB & GUTTER
---	REVERSE CURB & GUTTER - POLICE
---	DEPRESSED CURB - 2-3.0'
---	24" S.D. PROPOSED STORM DRAIN
---	8" S. PROPOSED SEWER
---	8" W. PROPOSED WATER
⊙	PARKING COUNCIL
⊠	HAZARDOUS WASTE PICK-UP AREA

**APPROVED**  
PLANNING & ZONING  
DATE: 9-21-00

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	
CHIEF, DEVELOPMENT ENGINEERING DIVISION	2/2/01 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT	3/6/01 DATE
DIRECTOR	3/6/01 DATE

Revision Description

COLUMBIA

**VILLAGE OF RIVER HILL**

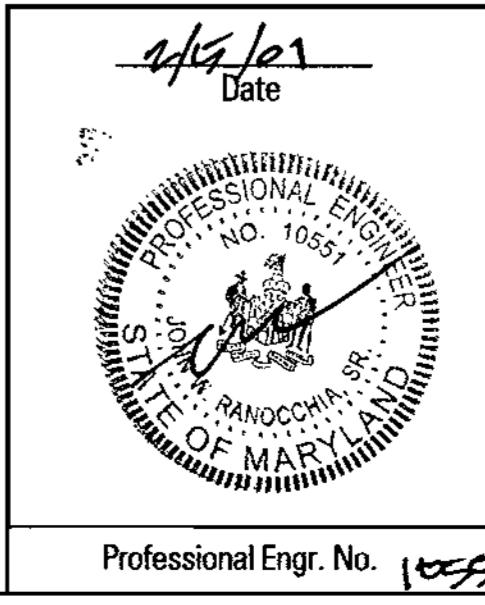
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**OWNER/DEVELOPER:** Beazer Homes, Inc.  
8965 Gullford Road Suite 290  
Columbia, Maryland 21046

**CONTRACT PURCHASER:** Beazer Homes, Inc.  
8965 Gullford Road Suite 290  
Columbia, Maryland 21046

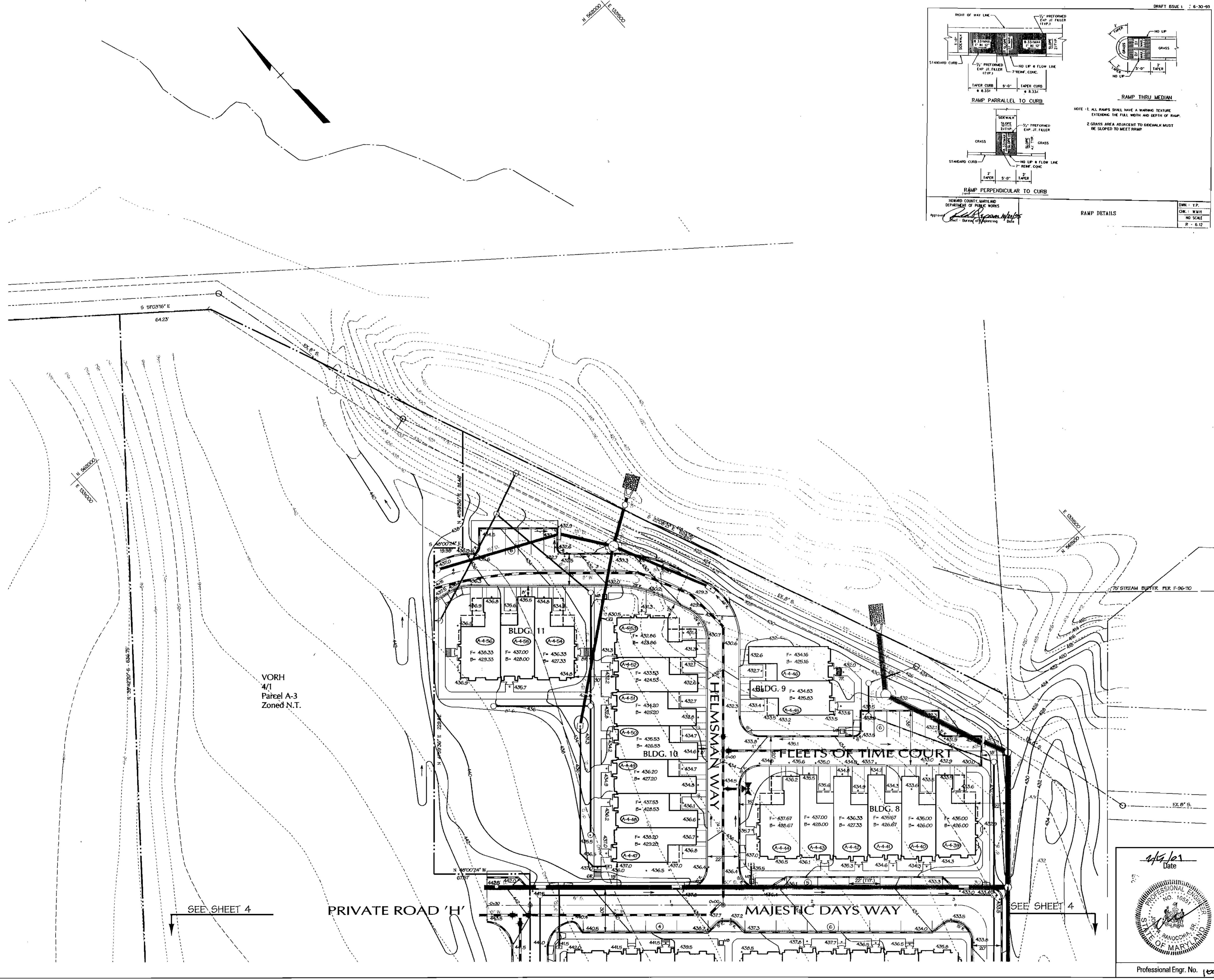
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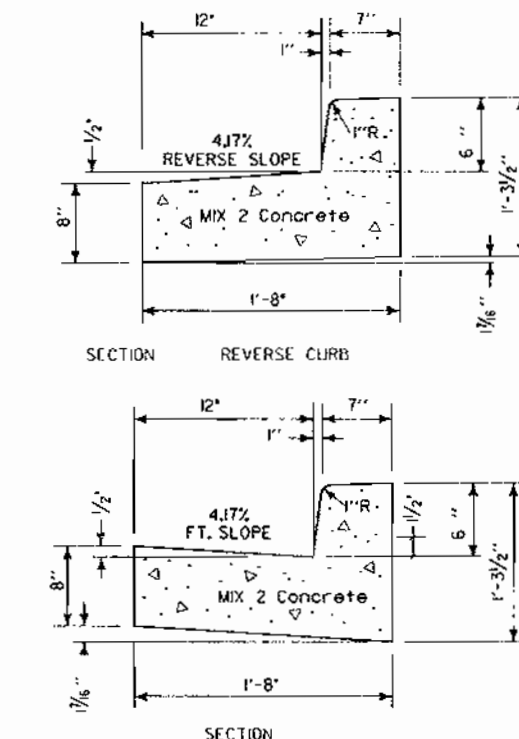


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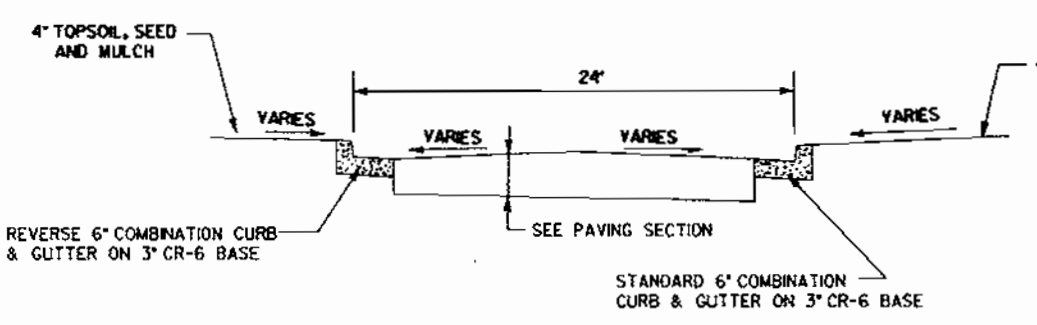
Des. By	MJP	Scale	1"=30'	Proj. No.	00015.A
Dwn. By	KDE/MSS	Date	2/06/2001	5 of 16	
Chk. By	Approved				



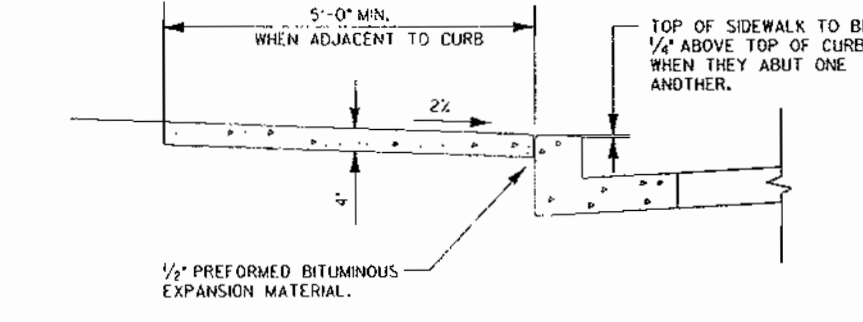
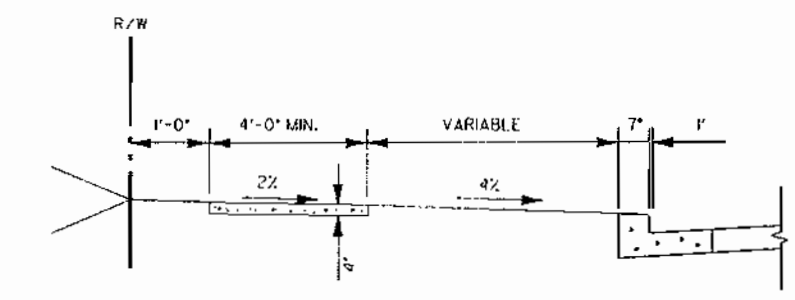
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**Concrete Curb, Typ. R.3.01**  
Not To Scale

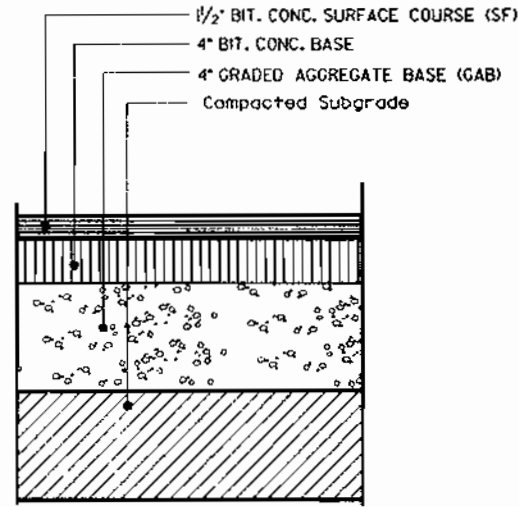


**Typical Section (Private Drive)**  
Not To Scale

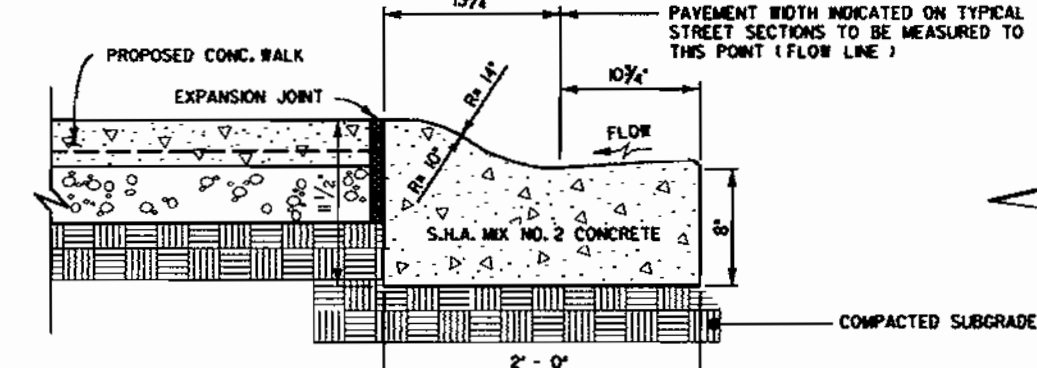


**Concrete Walk R.3.05**  
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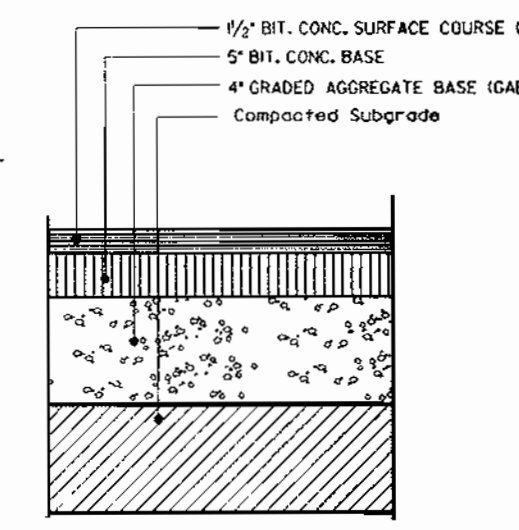
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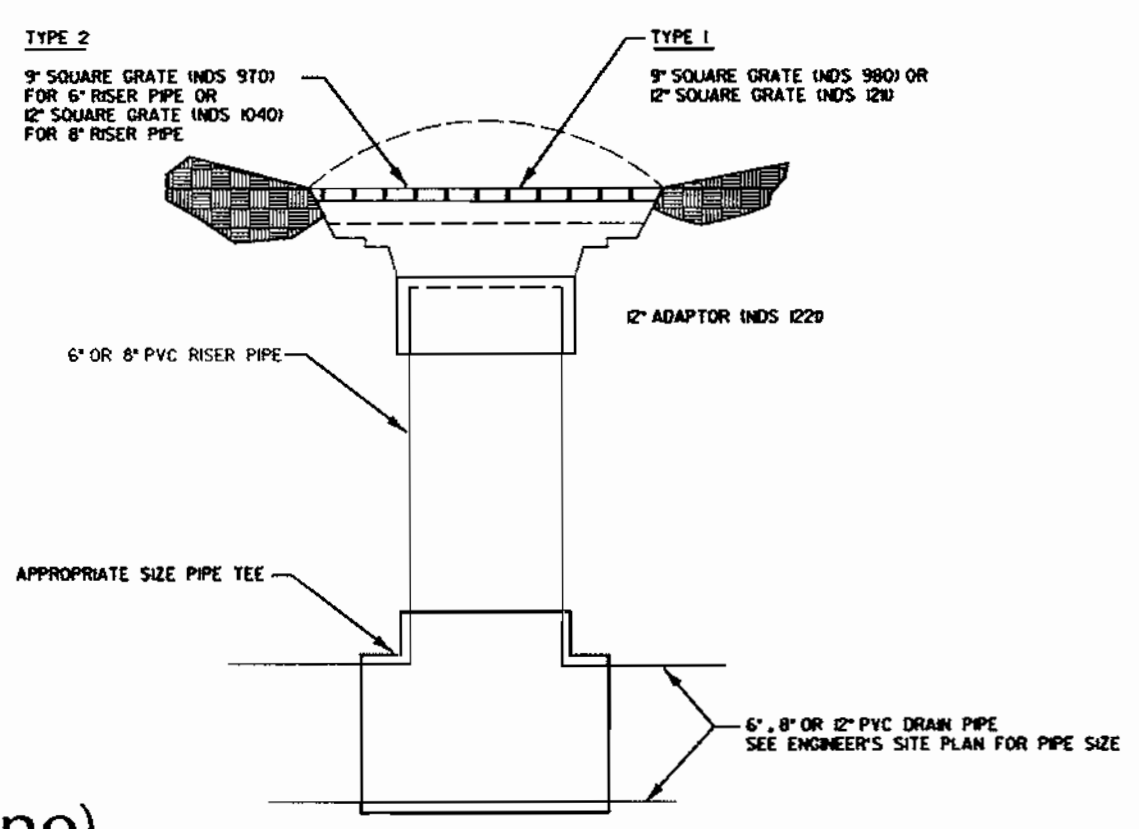
**Paving Section (All Other Private Rds)**  
Not To Scale



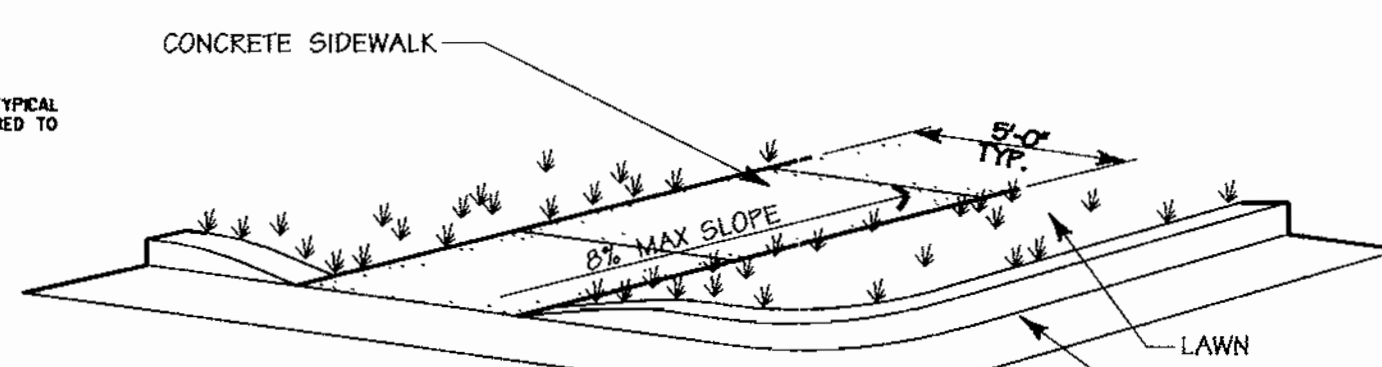
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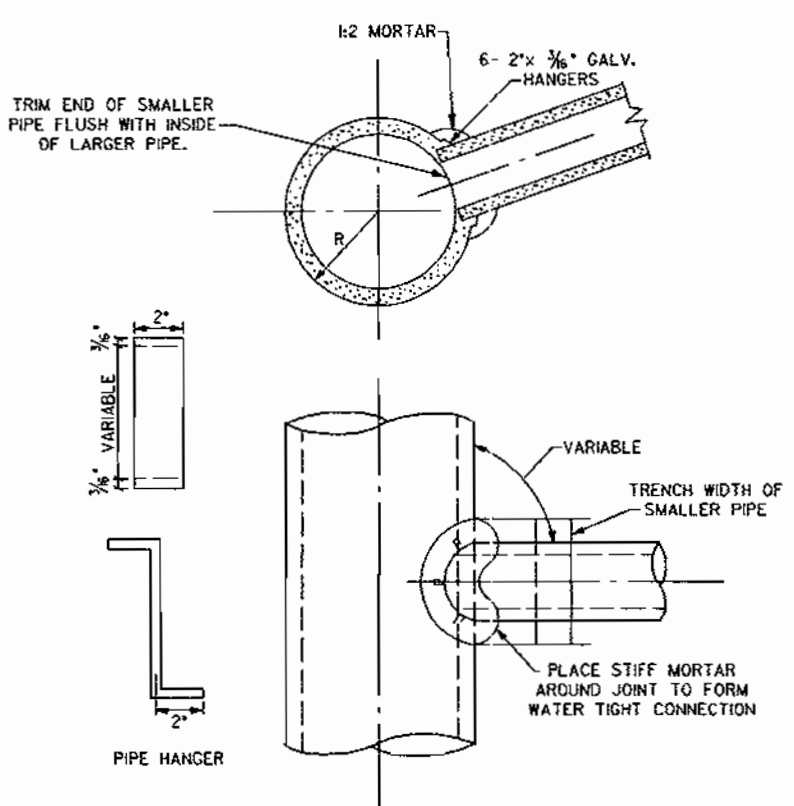
**Paving Section (Gate Keeper Lane)**  
Not To Scale



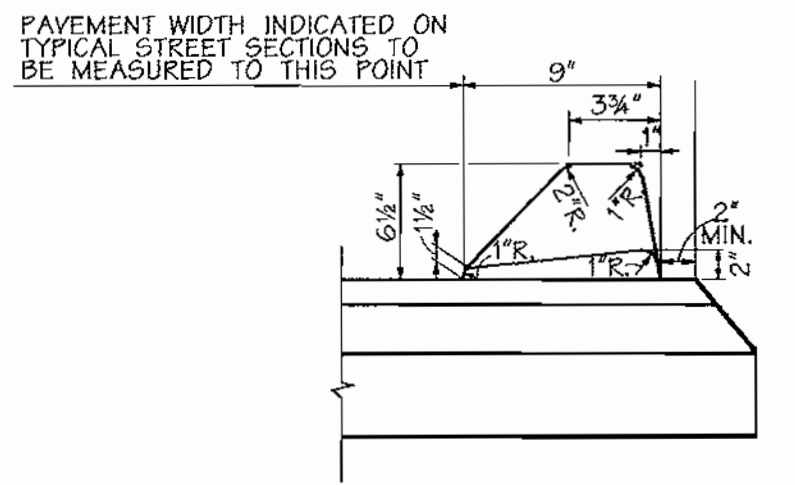
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**Sidewalk Ramp - A**  
Not To Scale



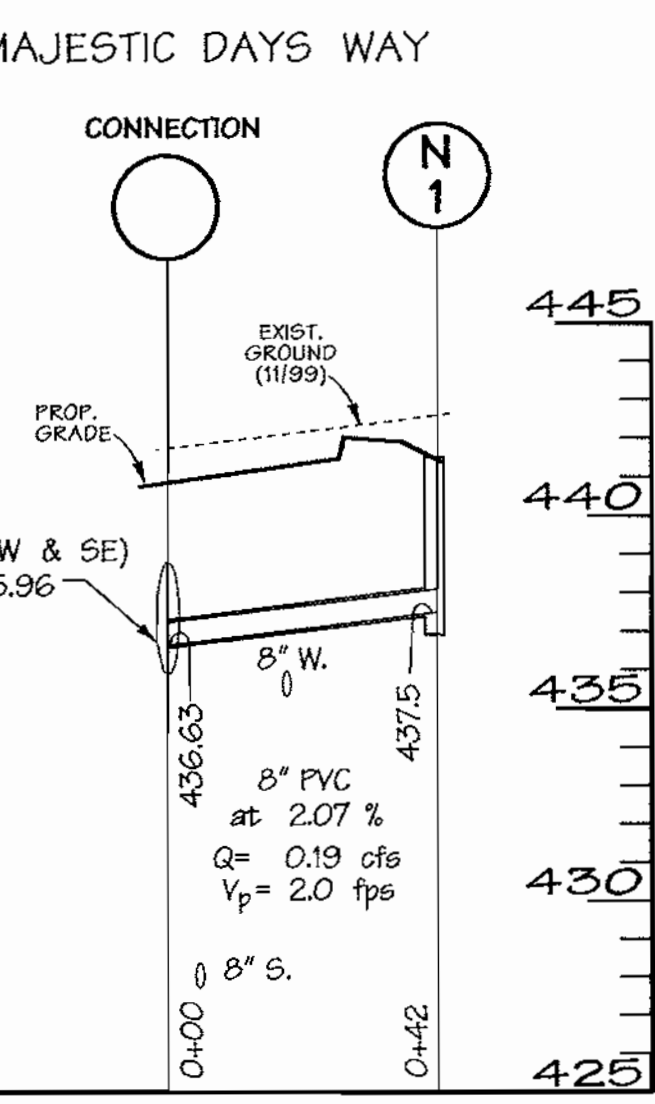
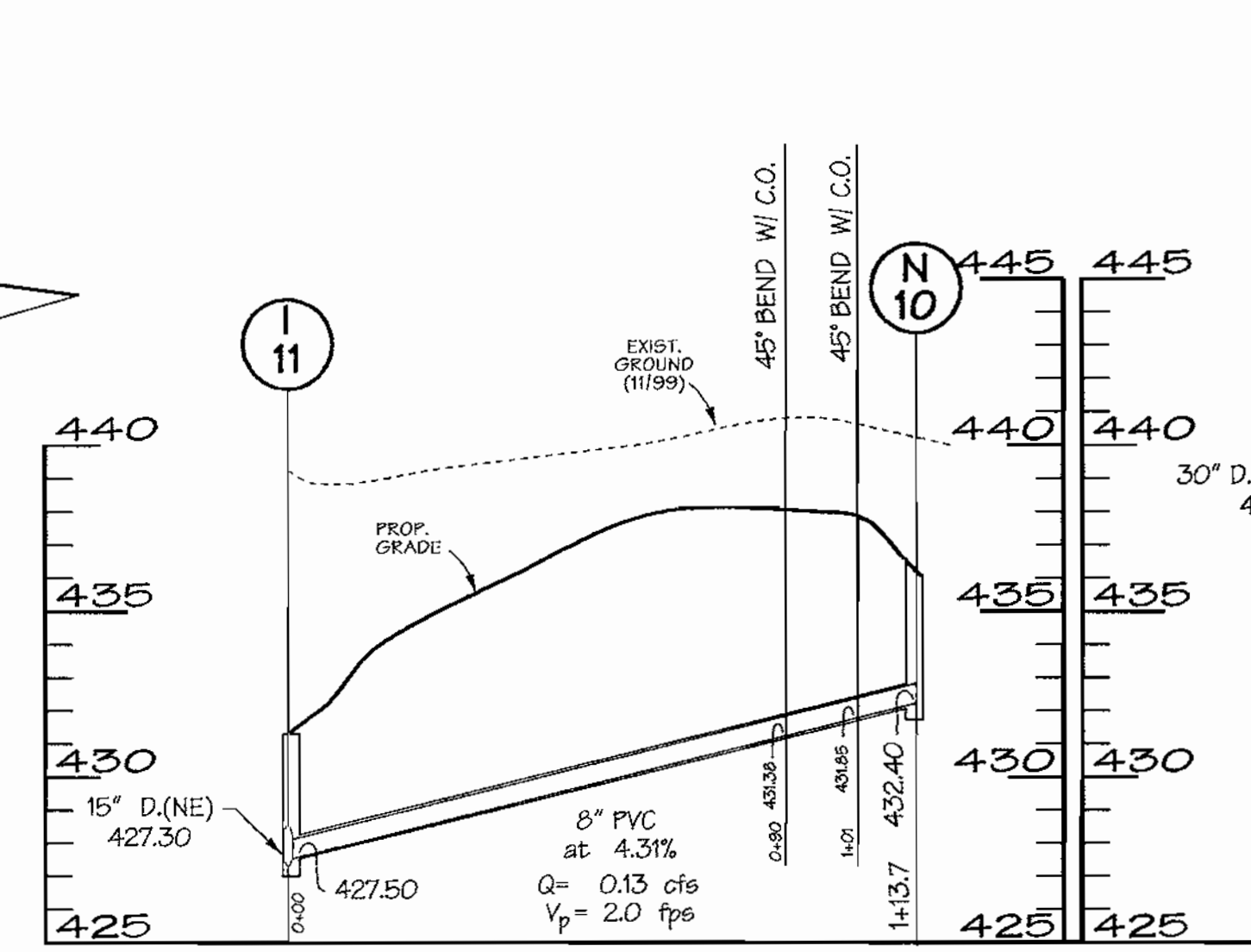
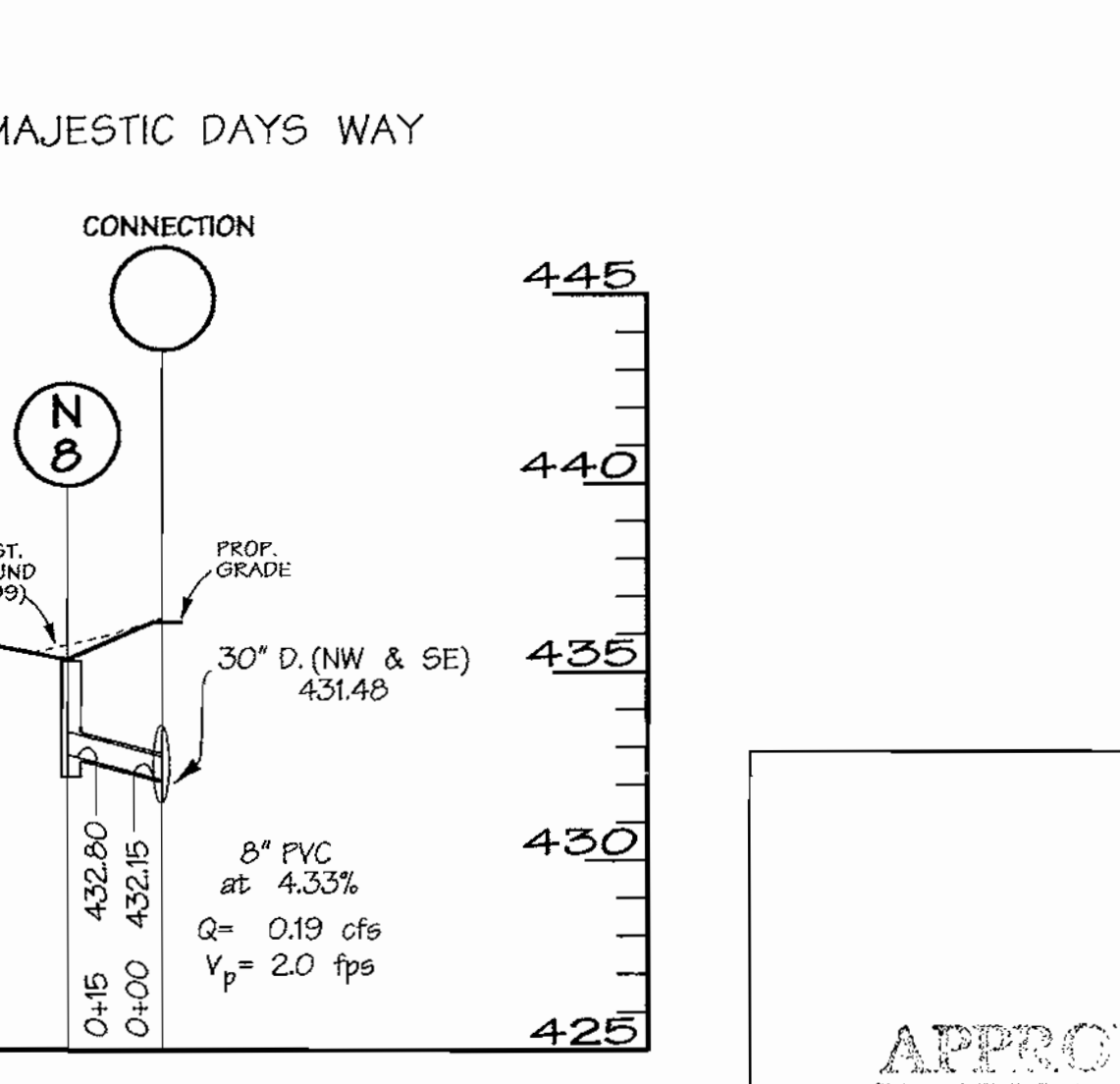
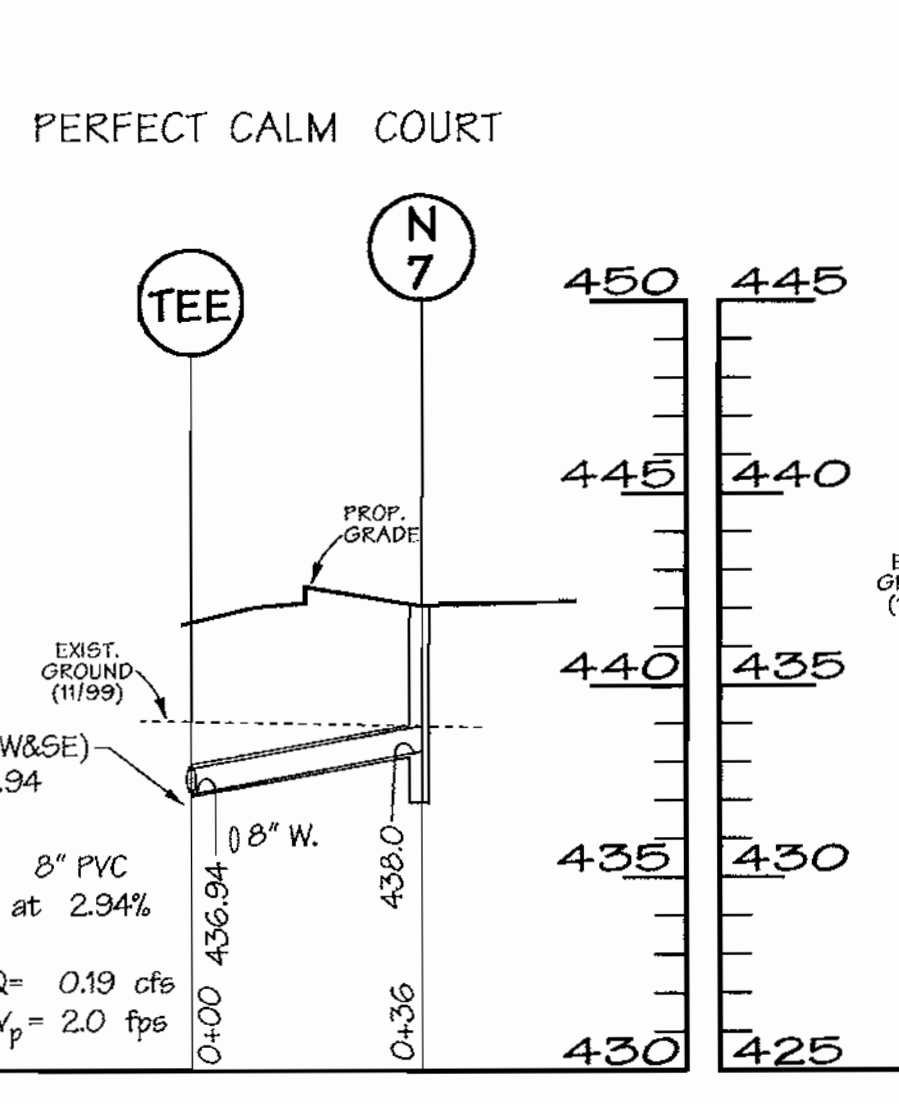
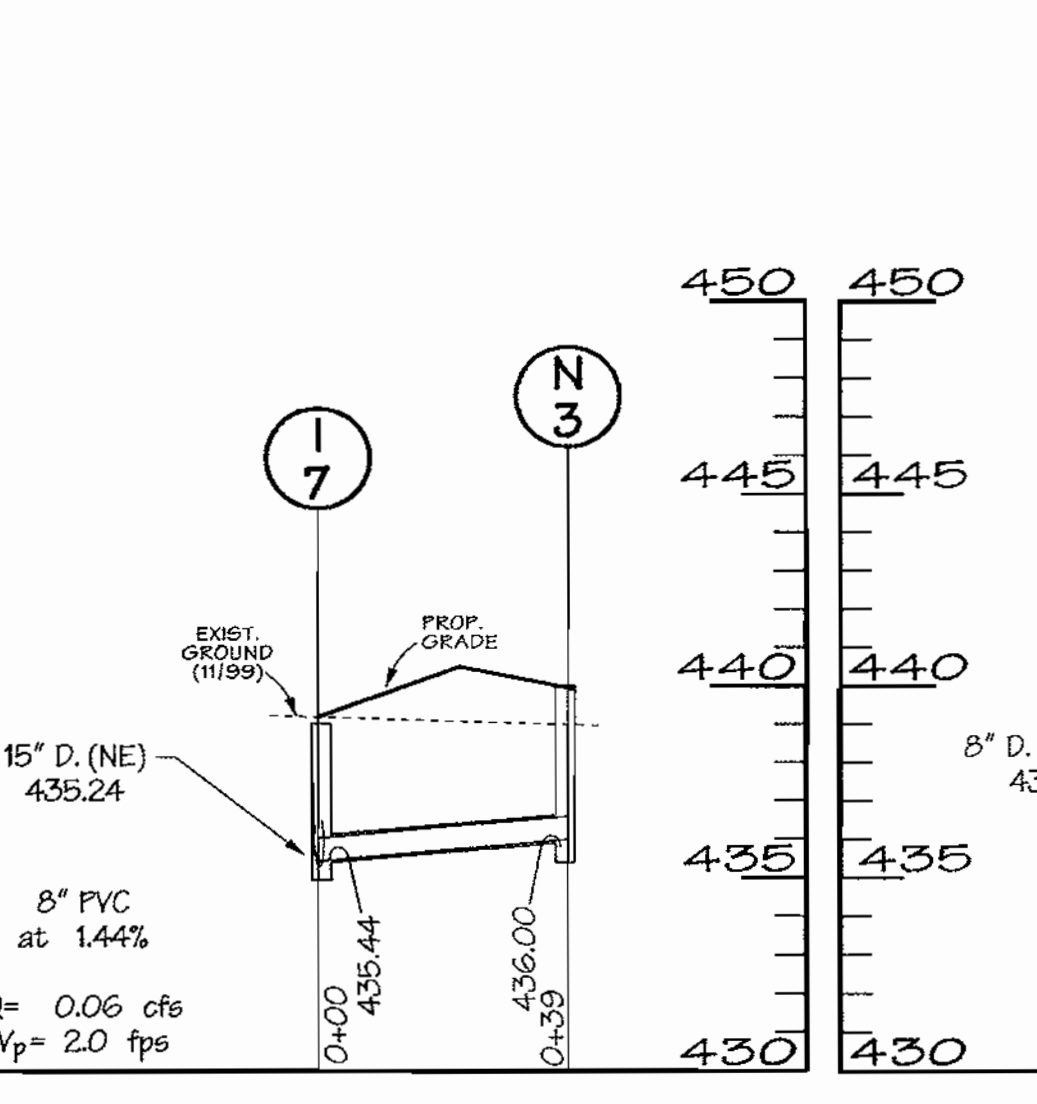
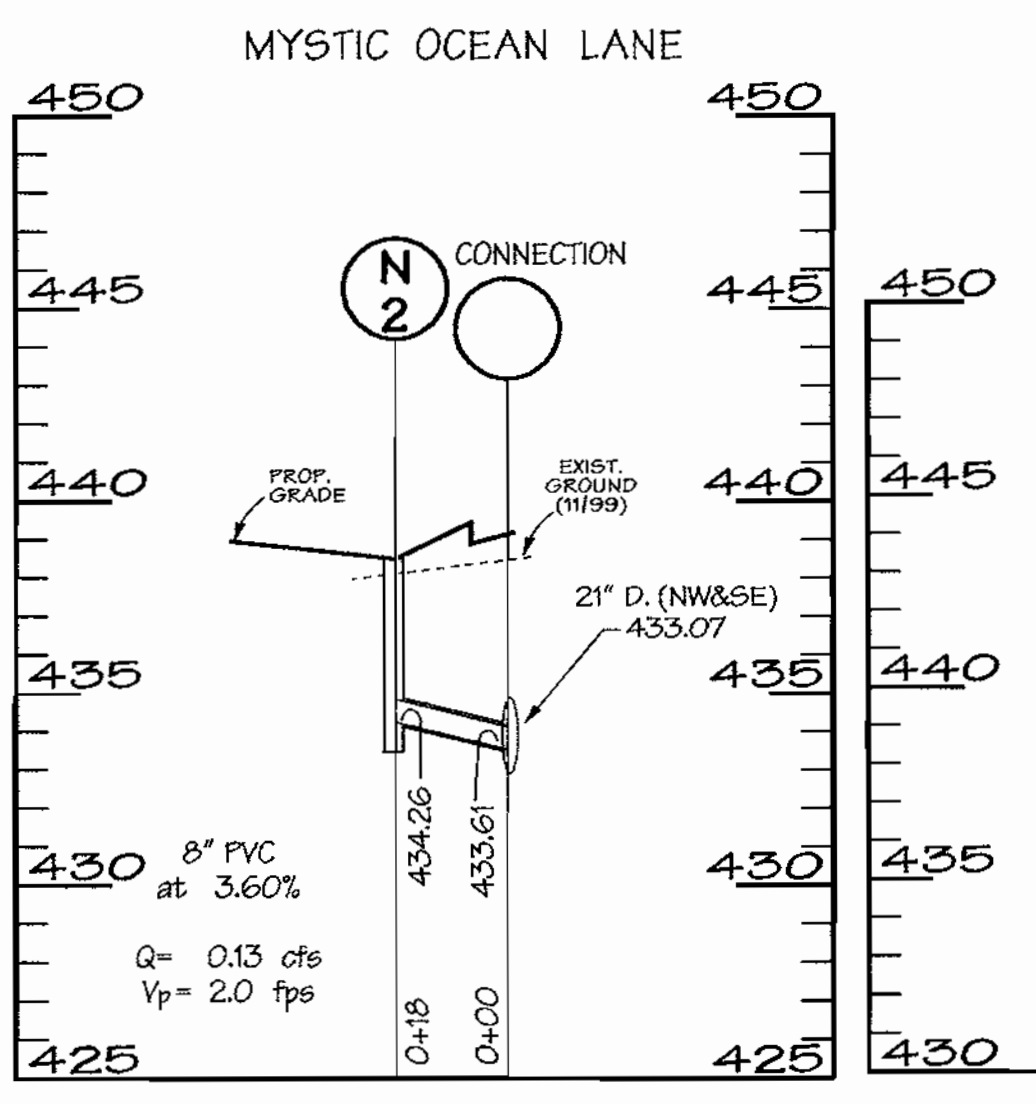
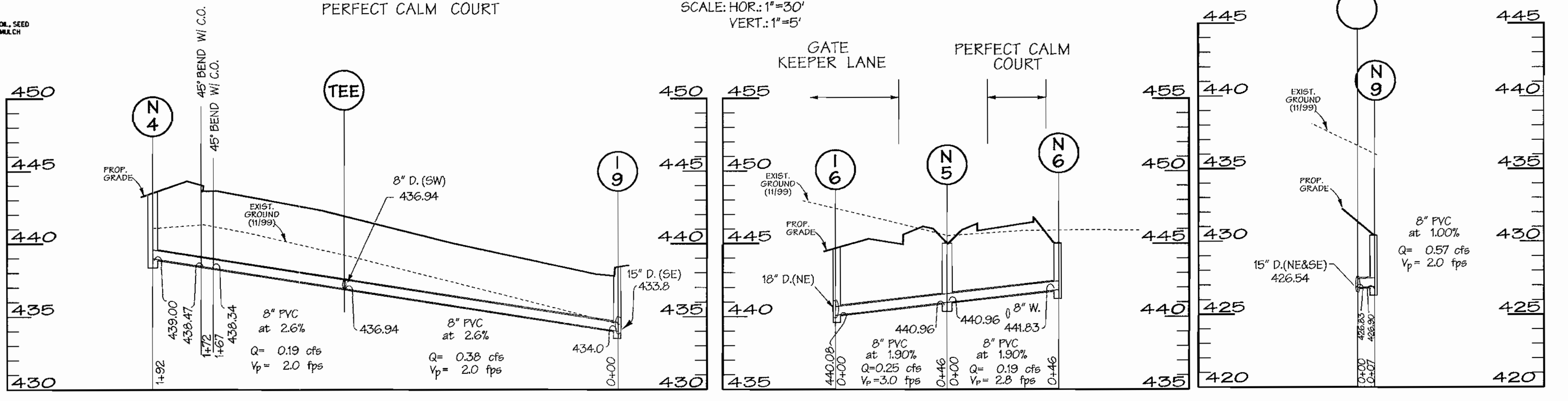
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Not To Scale



**Temp. Macadam Curb**  
Not To Scale

**DRAIN PROFILES**

SCALE: HOR.: 1"=30'  
VERT.: 1"=5'



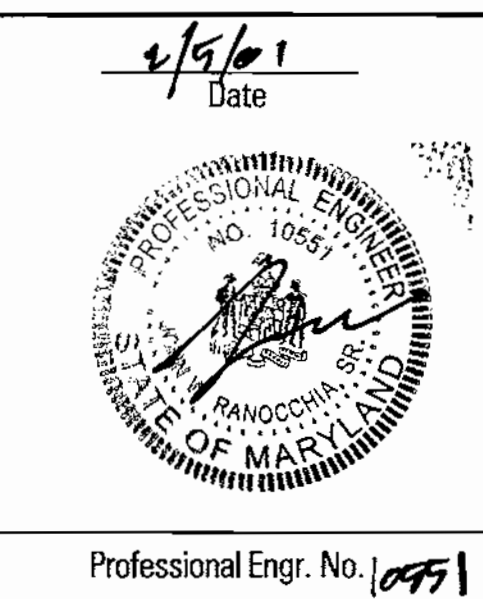
APPROVED  
DATE: 9-21-00

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	
<i>Howard</i>	3/2/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
<i>Cindy</i>	3/6/01
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
<i>Paul</i>	3/6/01
DIRECTOR	DATE

Date	No.	Revision Description
		COLUMBIA
<b>VILLAGE OF RIVER HILL</b>		
SECTION 4 AREA 1 PARCEL A-4 BUILDING 1-11 UNITS A-4-1 THRU A-4-56		
<b>OWNER/DEVELOPER:</b>	<b>CONTRACT PURCHASER:</b>	
Beazer Homes, Inc. 8965 Gullford Road Suite 290 Columbia, Maryland 21046	Beazer Homes, Inc. 8965 Gullford Road Suite 290 Columbia, Maryland 21046	

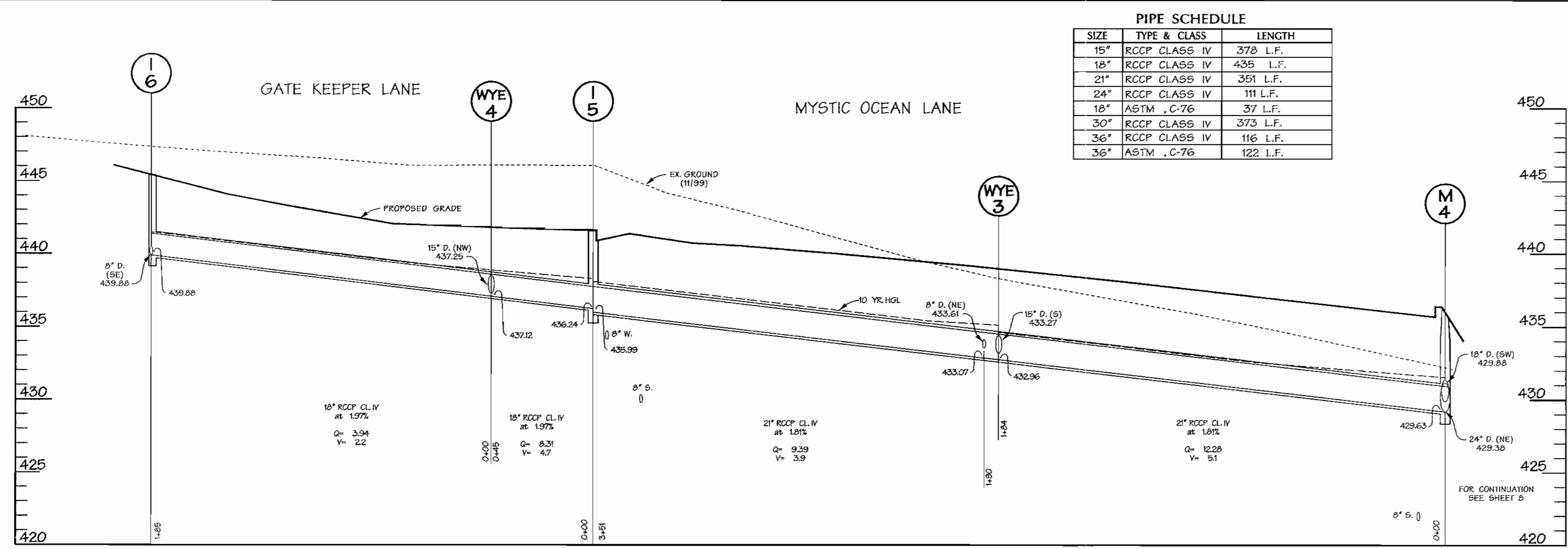
**DMW**  
DRAFT: McCREA-WALKER, INC.  
200 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 296-3333  
Fax 296-4706

A Team of Land Planners,  
Landscape Architects,  
Golf Course Architects,  
Engineers, Surveyors &  
Environmental Professionals

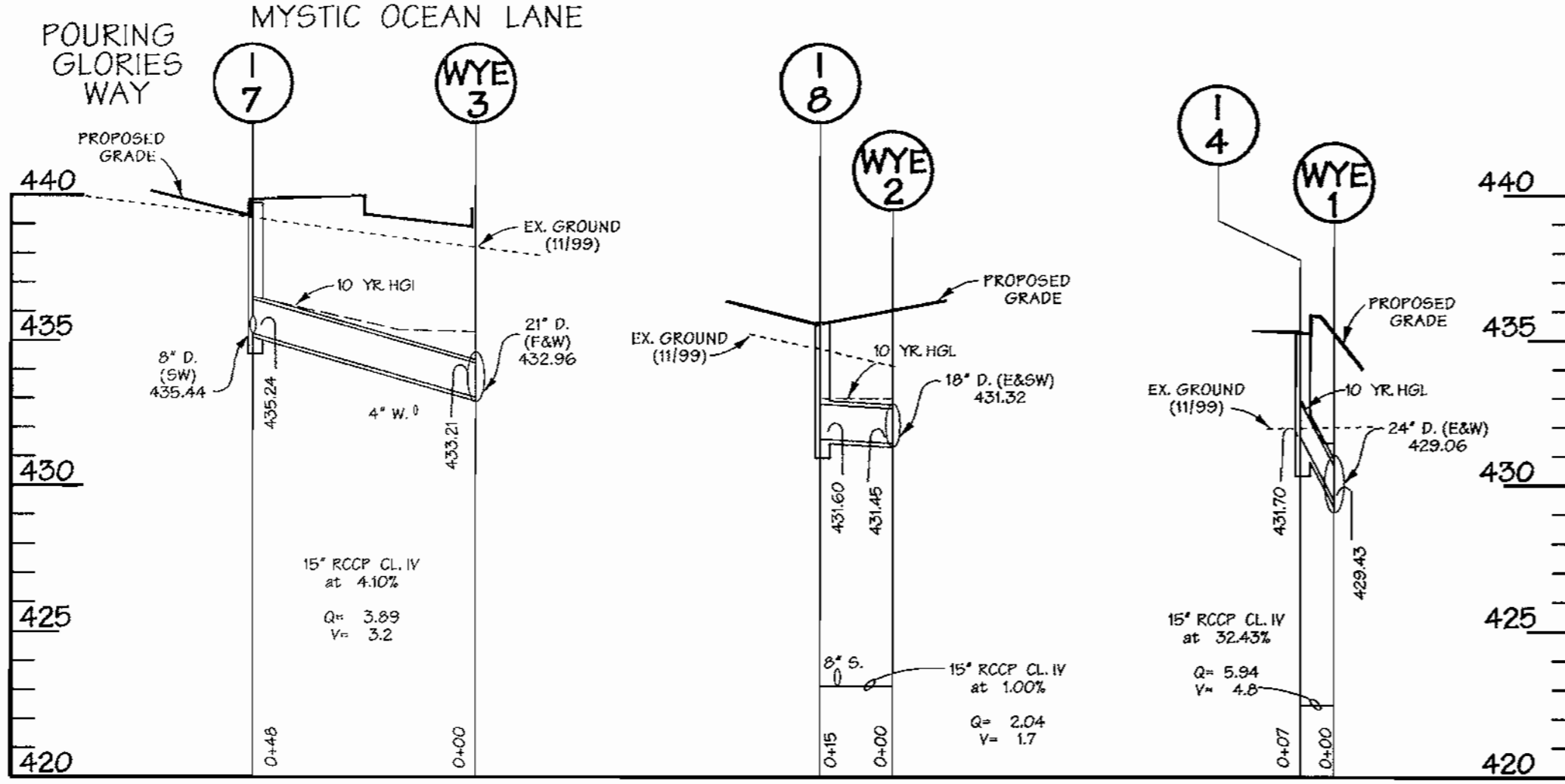
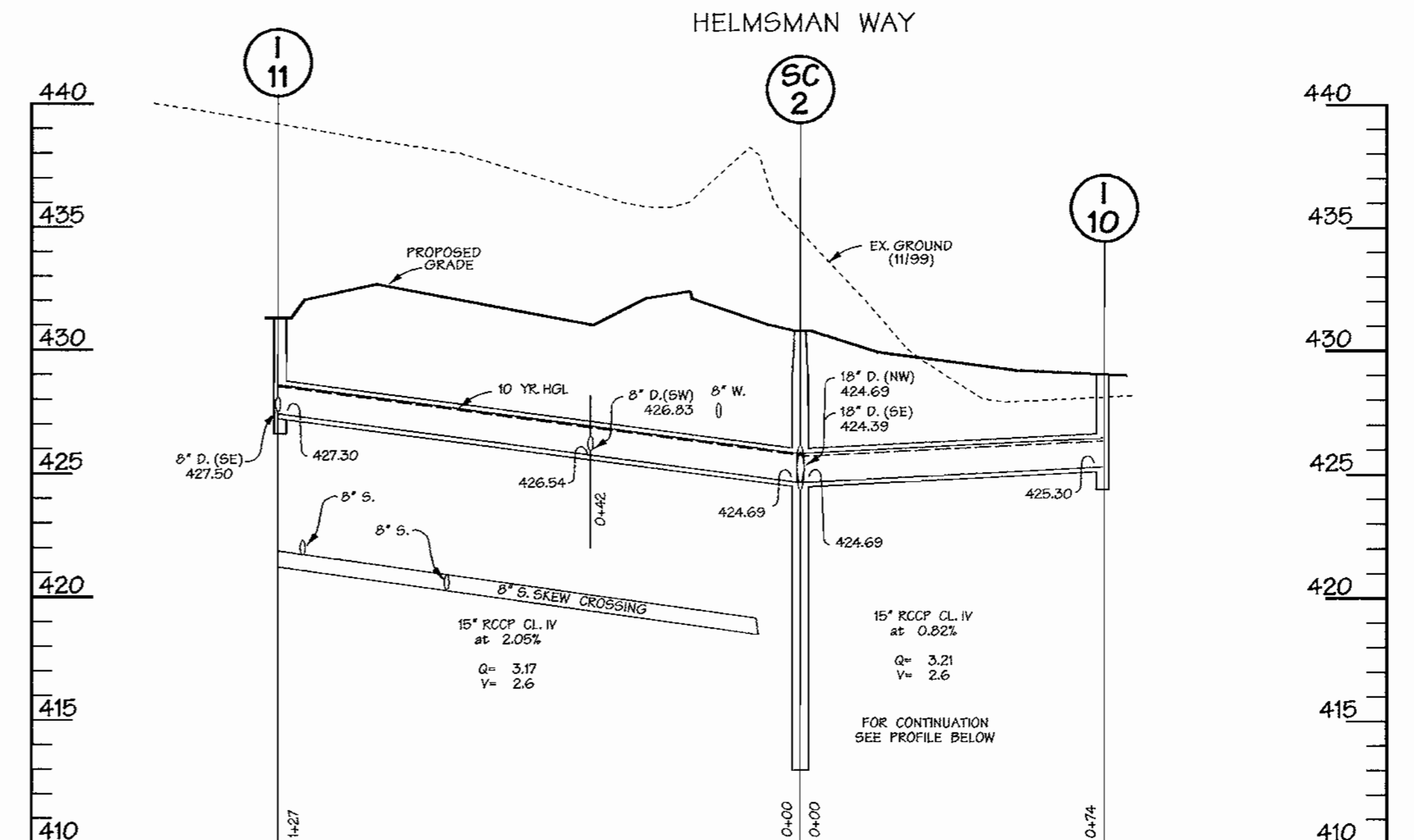


<b>SITE DETAILS &amp; DRAIN PROFILES</b>			
Des. By	MJP	Scale	As Shown
Proj. No.	00015.A	Drn. By	KDE/MSS
Date	2/06/2001	Chk. By	Approved
			<b>6 of 16</b>

Mon Feb 5 16:00:22 2001 m:\00015\00015.dwg



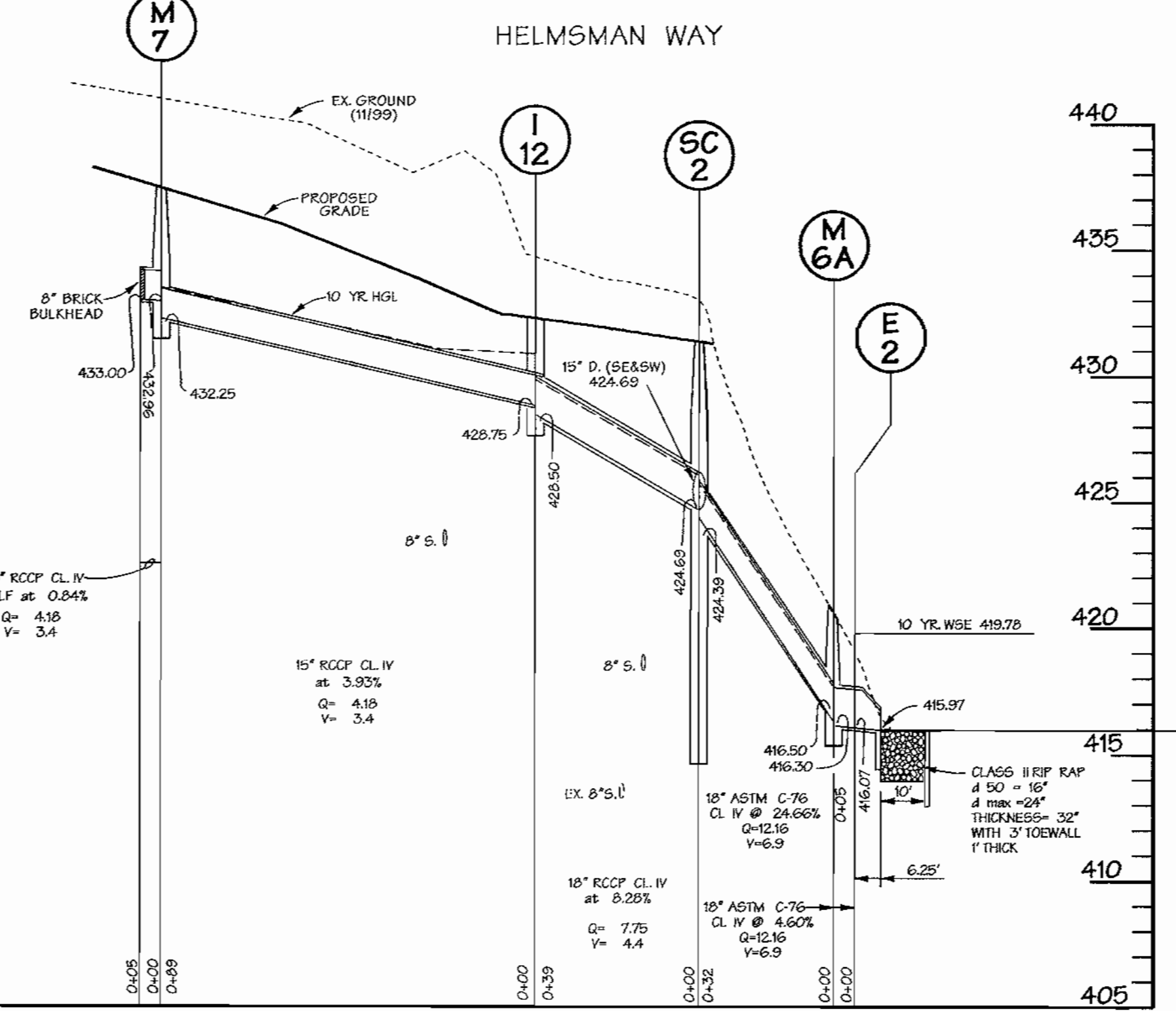
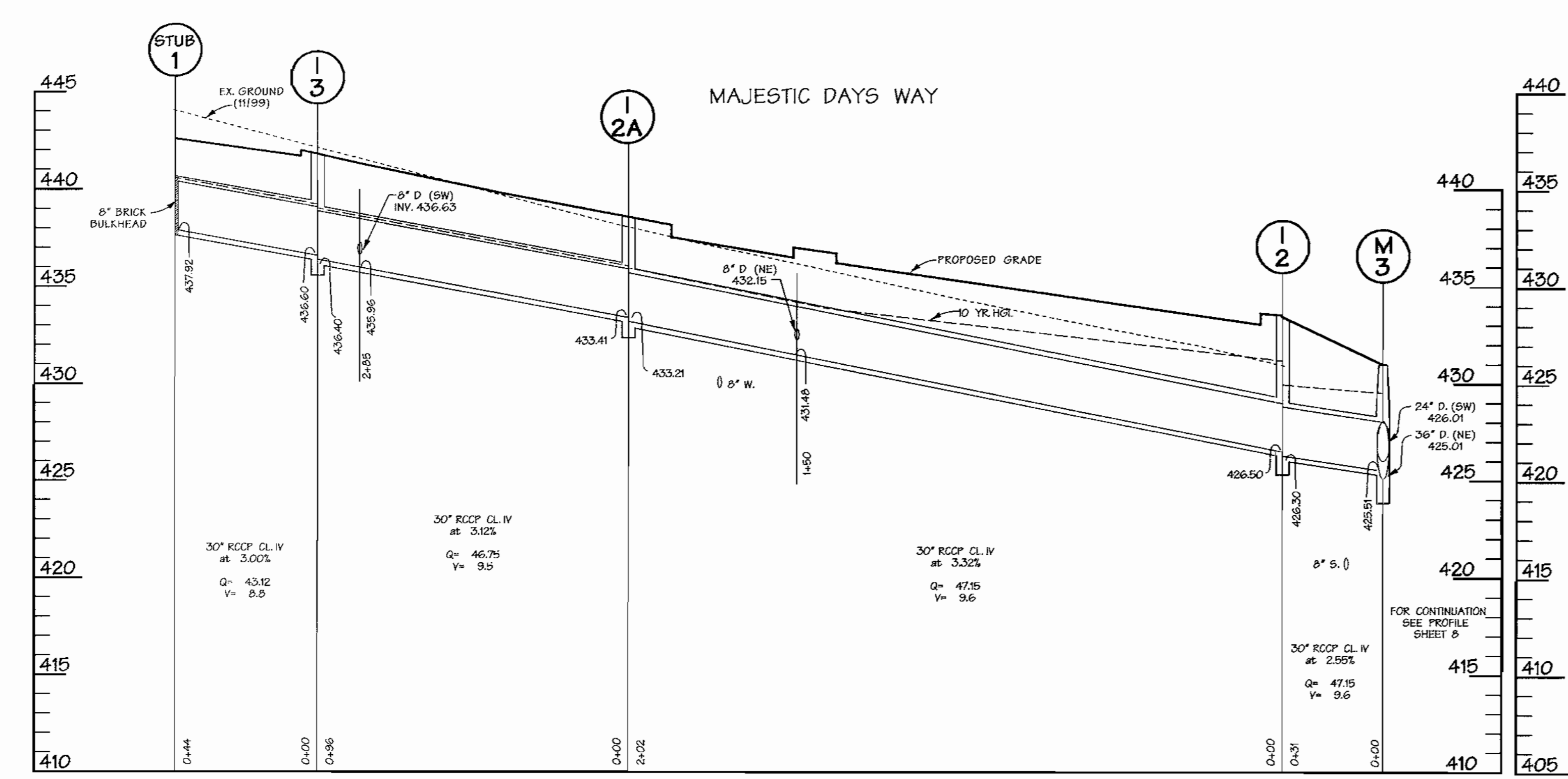
SIZE	TYPE & CLASS	LENGTH
15"	RCCP CLASS IV	378 L.F.
18"	RCCP CLASS IV	435 L.F.
21"	RCCP CLASS IV	351 L.F.
24"	RCCP CLASS IV	111 L.F.
18"	ASTM ,C-76	37 L.F.
30"	RCCP CLASS IV	373 L.F.
36"	RCCP CLASS IV	116 L.F.
36"	ASTM ,C-76	122 L.F.



NO.	TYPE	Q	INV. OUT	TOP ELEV. (TC)	WIDTH	LOCATION	DETAIL
I-1	A-10	4.17	421.29	431.50	2'-6"	FLEETS OF TIME CT. STA 1+81	HO CO STD SD 4.41
I-2	A-10	3.38	426.30	433.50	3'-0"	MAJESTIC DAYS WAY, STA 4+34	HO CO STD SD 4.41
I-3	A-10	1.41	436.40	441.70	3'-0"	MAJESTIC DAYS WAY, STA 7+36	HO CO STD SD 4.41
I-4	DOUBLE 'S' COMB	5.94	431.70	435.80	---	MYSTIC OCEAN LANE, STA 3+36	HO CO STD SD 4.34
I-5	A-10	1.35	435.99	441.40	2'-6"	GATE KEEPER LANE, STA 1+80	HO CO STD SD 4.41
I-6	A-10	3.94	439.88	445.75	2'-6"	GATE KEEPER LANE, STA 1+80	HO CO STD SD 4.41
I-7	A-10	3.89	435.24	439.50	2'-6"	POURING GLORIES WAY, STA 1+72	HO CO STD SD 4.41
I-8	'S'	2.04	431.60	435.60	Grate	N 561190 E 1331134	HO CO STD SD 4.22
I-9	A-10	5.84	433.80	438.30	2'-6"	PERFECT CALM COURT, STA 3+26	HO CO STD SD 4.41
I-10	DOUBLE 'S' COMB	3.21	425.30	429.80	---	HELMSMAN WAY, STA 2+30	HO CO STD SD 4.34
I-11	'S'	3.17	427.30	431.30	Grate	N 561633 E 1331147	HO CO STD SD 4.22
I-12	A-10	5.19	428.50	432.90	3'-0"	HELMSMAN WAY, STA 3+40	HO CO STD SD 4.41
I-2A	A-10	0.87	433.21	438.50	3'-0"	MAJESTIC DAYS WAY, STA 6+40	HO CO STD SD 4.41
N1	9" SQUARE GRATE	0.12	437.50	441.50	Grate	12" GATE KEEPER LANE, STA 4+33 41' RT	NDS 1040
N2	9" SQUARE GRATE	0.08	434.50	438.50	Grate	12" MYSTIC OCEAN LANE, STA 1+46 30' LT	NDS 1040
N3	9" SQUARE GRATE	0.04	436.00	440.00	Grate	12" POURING GLORIES WAY, STA 1+35 41' RT	NDS 1040
N4	9" SQUARE GRATE	0.12	439.00	443.00	Grate	12" PERFECT CALM COURT, STA 1+57 30' LT	NDS 1040
N5	9" SQUARE GRATE	0.04	440.96	445.00	Grate	12" PERFECT CALM COURT, STA 0+32 24' LT	NDS 1040
N6	9" SQUARE GRATE	0.12	442.00	445.00	Grate	12" PERFECT CALM COURT, STA 0+35 31' RT	NDS 1040
N7	9" SQUARE GRATE	0.12	438.00	442.00	Grate	12" PERFECT CALM COURT, STA 2+14 29' LT	NDS 1040
N8	9" SQUARE GRATE	0.12	432.80	436.50	Grate	12" HELMSMAN WAY, STA 0+28 20' RT	NDS 1040
N9	9" SQUARE GRATE	0.34	426.90	430.50	Grate	12" N 561675.00 E 1331212.79	NDS 1040
N10	9" SQUARE GRATE	0.08	432.50	436.00	Grate	12" MAJESTIC DAYS WAY, STA 0+55 27' LT	NDS 1040

NO.	TYPE	SIZE	INV. OUT	DETAIL	LOCATION
E-1	CONC. END SECTION	36"	417.25	HO CO STD SD 5.51	N 561540 E 1331346
E-2	CONC. END SECTION	18"	416.07	HO CO STD SD 5.51	N 561656 E 1331308
WYE 1	WYE STRUCTURE	15"x24"	429.08	HO CO STD SD 1.11	---
WYE 2	WYE STRUCTURE	15"x18"	431.15	HO CO STD SD 1.11	---
WYE 3	WYE STRUCTURE	15"x21"	432.96	HO CO STD SD 1.11	---
SC1	STORMCEPTOR		418.70		---
SC2	STORMCEPTOR		424.39		---
WYE 4	WYE STRUCTURE	15"x18"	437.12	HO CO STD SD 1.11	---

NO.	TYPE	SIZE	INV. OUT	TOP ELEV.	LOCATION	DETAIL
M-2		60"	421.80	427.0+	N 561418 E 1331359	HO CO STD G 5.13
M-3		60"	425.01	431.00	MAJESTIC DAYS WAY, STA 4+22 28' RT	HO CO STD G 5.13
M-4		60"	429.38	436.00	MYSTIC OCEAN LANE, STA 3+26 15' RT	HO CO STD G 5.13
M-5		48"	432.57	437.00	N 561107 E 1331080	HO CO STD G 5.12
M-7		48"	432.25	437.08	HELMSMAN WAY, STA 4+13 ON CL	HO CO STD G 5.12
M-6A		48"	416.30	419.50	N 561656 E 1331285	HO CO STD G 5.12



### STORM DRAIN PROFILES

SCALE: HOR.: 1"=30'  
VERT.: 1"=5'

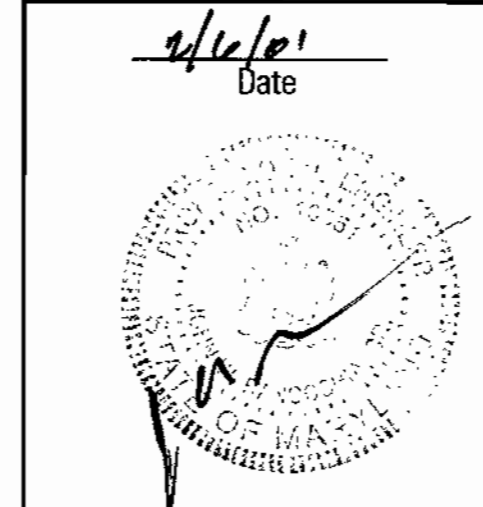
NOTE: ALL Q ARE ULTIMATE FLOW

APPROVED  
DATE: 9.21.00

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 [Signature] 3/2/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 [Signature] 3/6/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 [Signature] 3/6/01  
 DIRECTOR

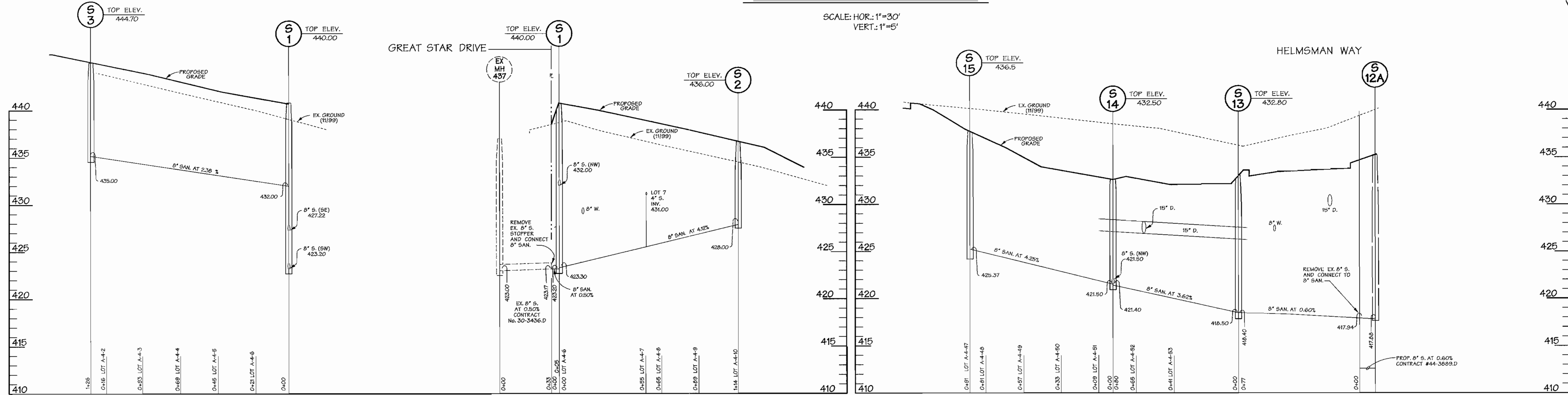
Date No. Revision Description  
 COLUMBIA  
**VILLAGE OF RIVER HILL**  
 SECTION 4 AREA 1 PARCEL A-4  
 BUILDING 1-11 UNITS A-4-1 THRU A-4-56  
 OWNER/DEVELOPER: Beazer Homes, Inc.  
 8965 Gullford Road Suite 290 Columbia, Maryland 21046  
 CONTRACT PURCHASER: Beazer Homes, Inc.  
 8965 Gullford Road Suite 290 Columbia, Maryland 21046

**DMW**  
 Draft-McCune-Walker, Inc.  
 200 East Pennsylvania Avenue  
 Towson, Maryland 21286  
 (410) 296-3833  
 Fax 296-4708  
 A Team of Land Planners, Landscape Architects, Golf Course Architects, Engineers, Surveyors & Environmental Professionals



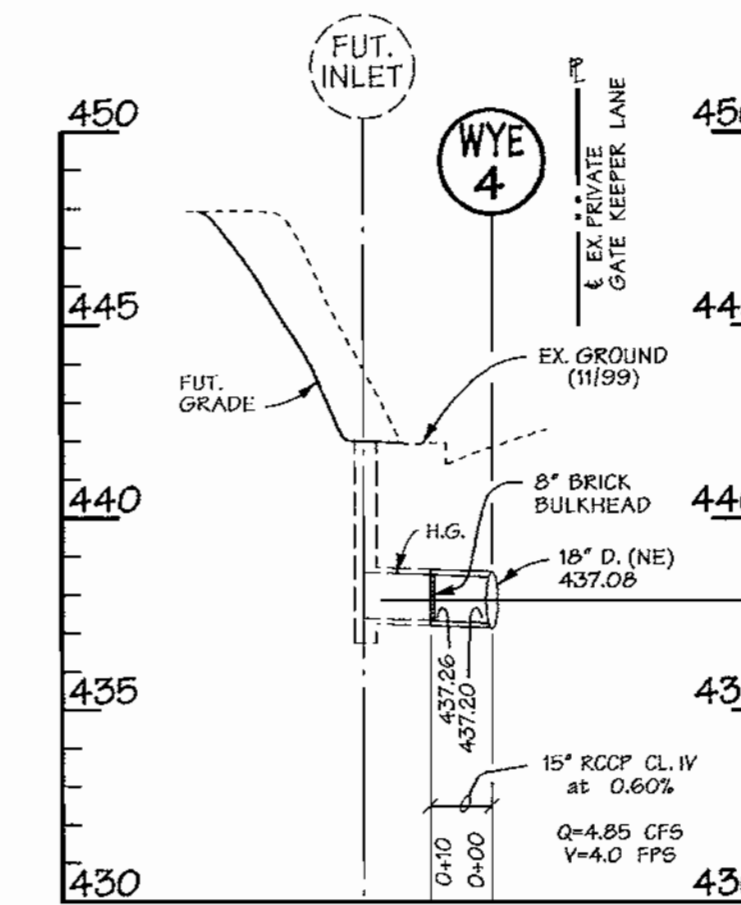
TITLE: STORM DRAIN PROFILES  
 Des. By: MJP Scale: As Shown Proj. No.: 00015.A  
 Dm. By: KDE/MGS Date: 2/06/2001  
 Chk. By: Approved  
 Professional Engr. No. 10951  
 7 of 16

# SANITARY SEWER PROFILES

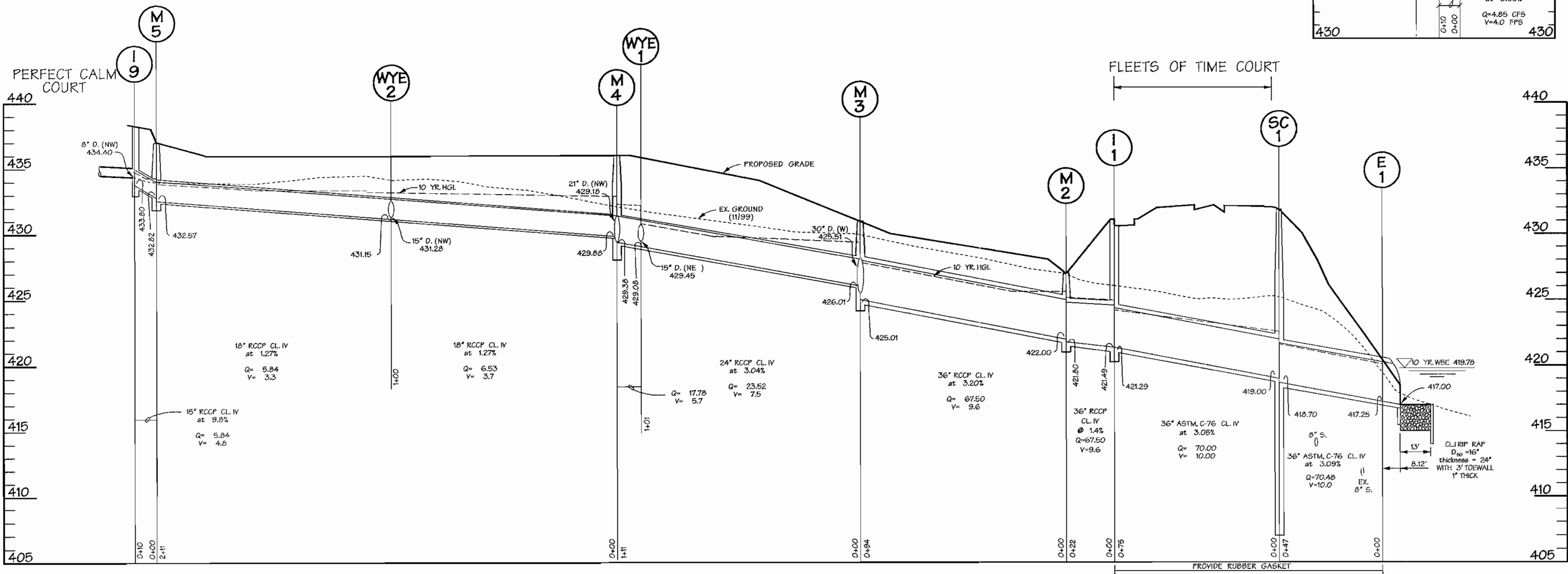


# STORM DRAIN PROFILES

SCALE: HOR.: 1"=30'  
VERT.: 1"=5'



APPROVED  
 PLANNING & ZONING  
 9.21.00  
 DATE



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 Chief, Development Engineering Division  
 Chief, Division of Land Development  
 Director

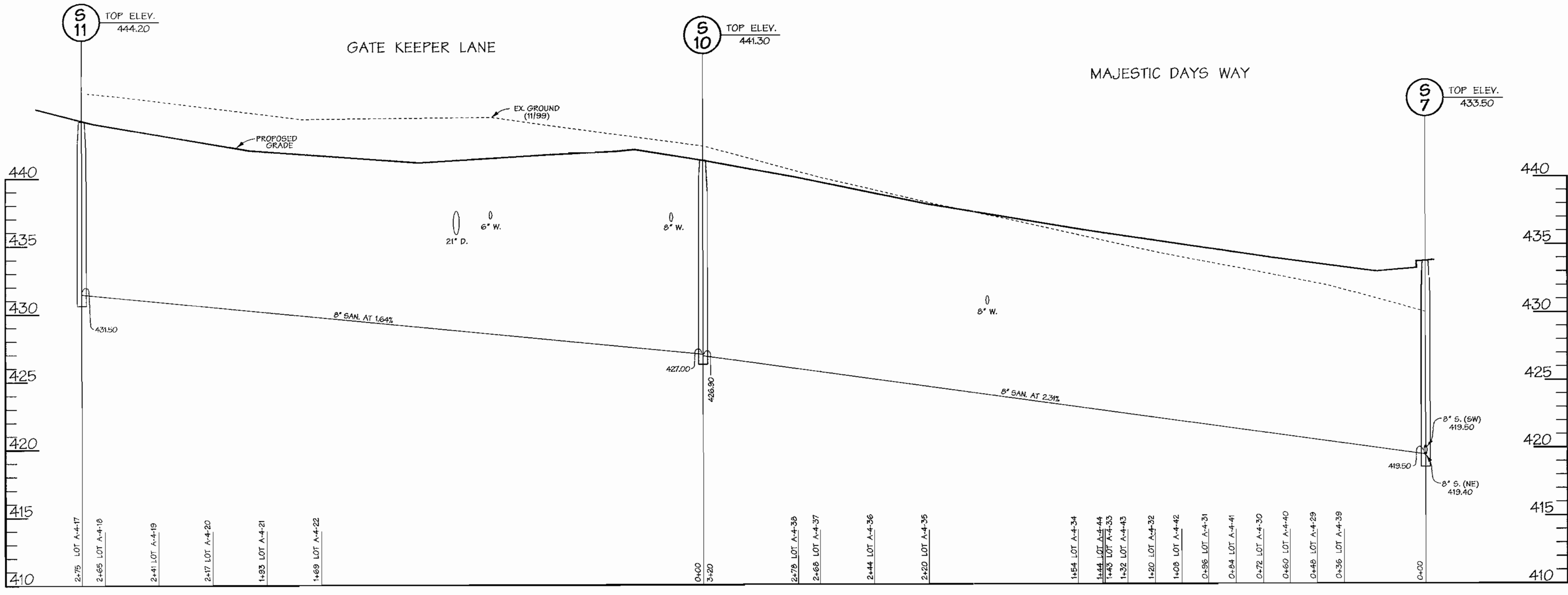
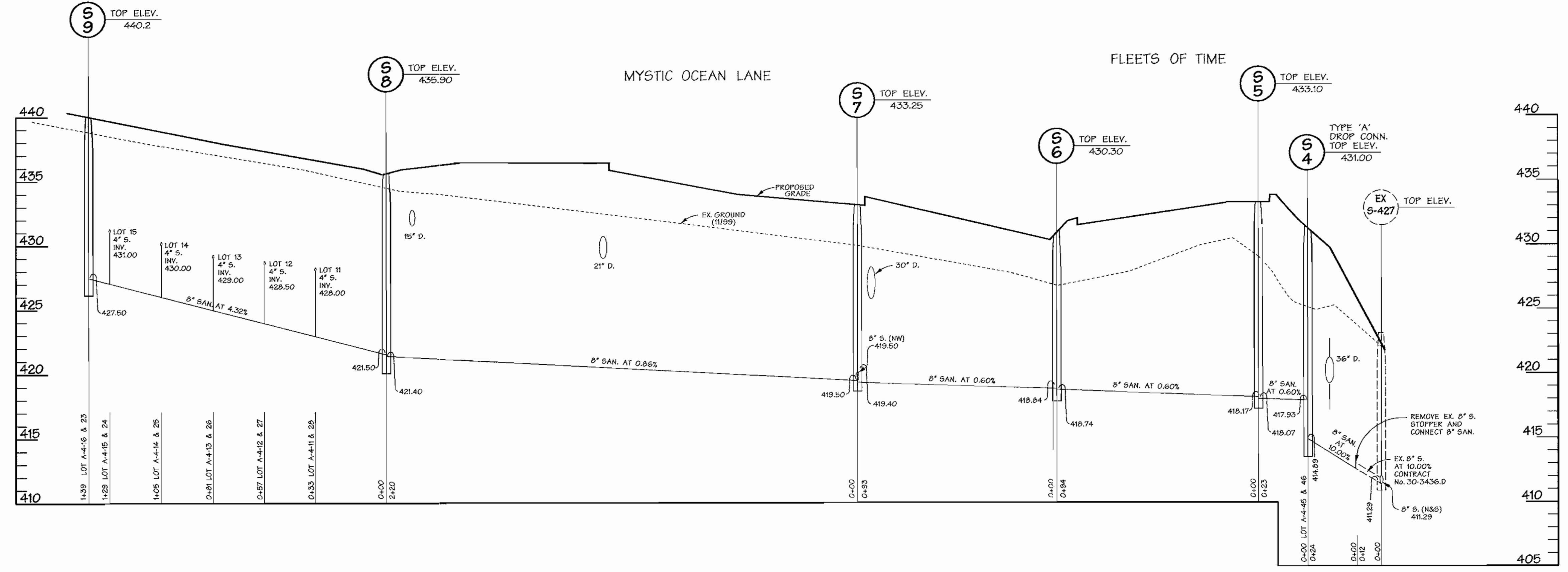
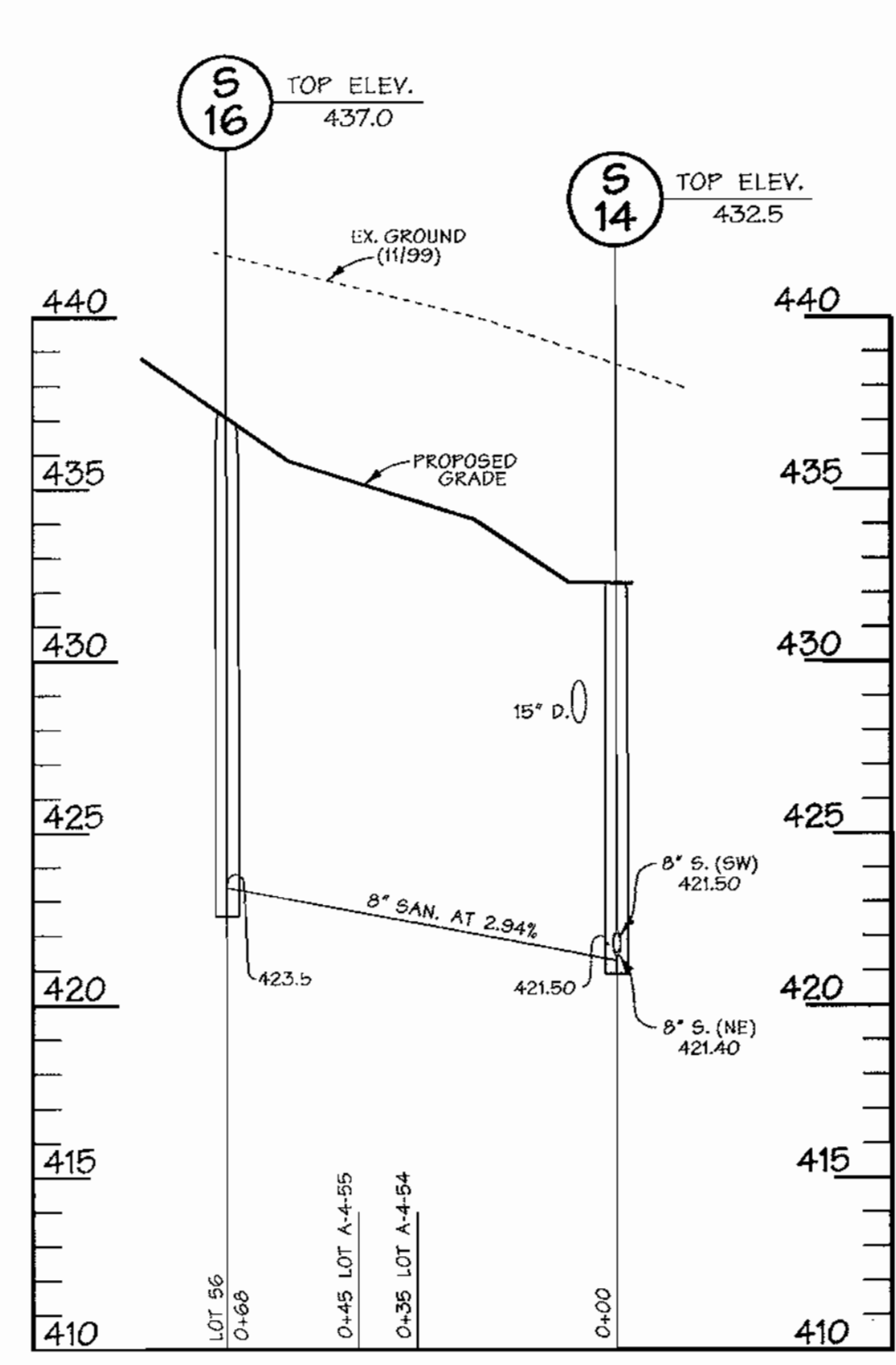
Revision Description  
 COLUMBIA  
**VILLAGE OF RIVER HILL**  
 SECTION 4 AREA 1 PARCEL A-4  
 BUILDING 1-11 UNITS A-4-1 THRU A-4-56  
 OWNER/DEVELOPER: Beazer Homes, Inc.  
 8965 Gullford Road Suite 290 Columbia, Maryland 21046  
 CONTRACT PURCHASER: Beazer Homes, Inc.  
 8965 Gullford Road Suite 290 Columbia, Maryland 21046

Professional Engr. No. 10951  
 Date 2/16/01

**DMW**  
 Data-McCune-Walker, Inc.  
 200 East Pennsylvania Avenue  
 Towson, Maryland 21286  
 (410) 296-3333  
 Fax 296-4705  
 A Team of Land Planners, Landscape Architects, Golf Course Architects, Engineers, Surveyors & Environmental Professionals

TITLE  
**STORM DRAIN and SEWER PROFILES**  
 Des. By MJP Scale As Shown Proj. No. 00015.A  
 Dwn. By KDE/MSS Date 2/16/2001  
 Chk. By Approved  
**8 of 16**





**MANHOLE SCHEDULE**

NO.	LOCATION
S-1	N 561125 E 1330892
S-2	N 561046 E 1330874
S-3	N 561212 E 1330800
S-4	N 561520 E 1331318
S-5	FLEETS OF TIME CT. & STA 1+03, 25' RT.
S-6	N 561419 E 1331347
S-7	MAJESTIC DAYS WAY, & STA 3+17, 16' RT.
S-8	N 561186 E 1331337
S-9	N 561280 E 1331034
S-10	MAJESTIC DAYS WAY, & STA 0+07, 7' LT.
S-11	GATEKEEPER LANE, & STA 1+95, 7' RT.
S-13	HELMGSMAN WAY, & STA 3+03, 16' RT.
S-14	N 561639 E 1331162
S-15	N 561571 E 1331101
S-16	N 561685 E 1331111

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 Chief, Development Engineering Division: *[Signature]* 3/2/01  
 Chief, Division of Land Development: *[Signature]* 3/6/01  
 Director: *[Signature]* 3/6/01

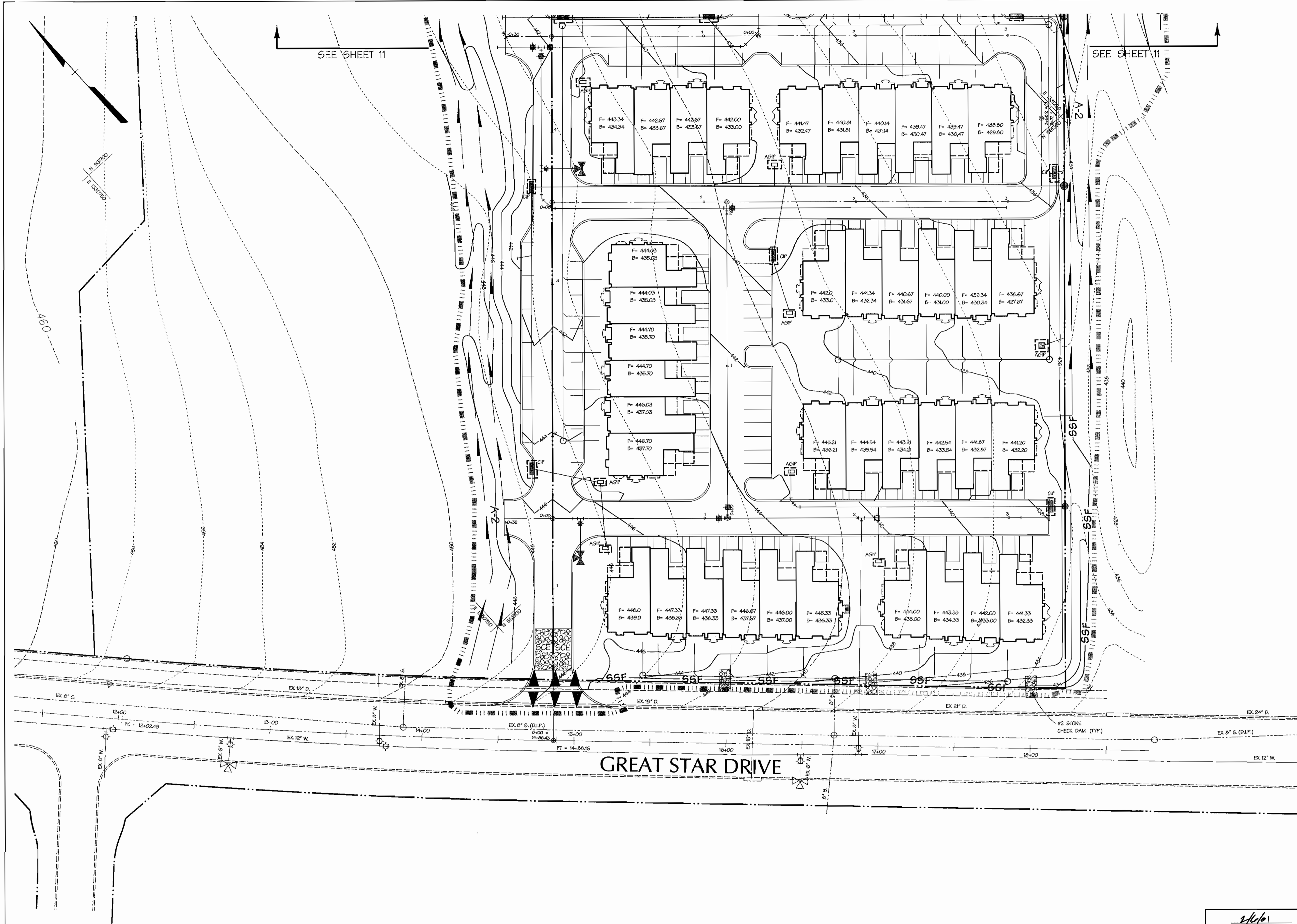
Revision Description  
 COLUMBIA  
**VILLAGE OF RIVER HILL**  
 SECTION 4 AREA 1 PARCEL A-4  
 BUILDING 1-11 UNITS A-4-1 THRU A-4-56  
 OWNER/DEVELOPER: Beazer Homes, Inc. 8965 Guilford Road Suite 290 Columbia, Maryland 21046  
 CONTRACT PURCHASER: Beazer Homes, Inc. 8965 Guilford Road Suite 290 Columbia, Maryland 21046

**DMW**  
 Duff-McCune-Walker, Inc.  
 300 East Pennsylvania Avenue  
 Towson, Maryland 21286  
 (410) 296-3333  
 Fax 296-4706  
 A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

2/16/01  
 Date  
 PROFESSIONAL ENGINEER  
 NO. 10551  
 STATE OF MARYLAND  
 PROFESSIONAL ENGINEER  
 Approved  
 Professional Engr. No. 10551

**SANITARY SEWER PROFILES**  
 SCALE: HOR.: 1"=30'  
 VERT.: 1"=5'

TITLE  
**SEWER PROFILES**  
 Des. By RLH Scale As Shown Proj. No. 00015.A  
 Dm. By WHJ/MSS Date 2/06/2001  
 Chk. By Approved  
 9 of 16



- LEGEND**
- SF — SILT FENCE
  - EARTH DIKE
  - LIMIT OF DISTURBANCE
  - SSF — SUPER SILT FENCE
  - TEMPORARY SWALE
  - PROPOSED ESC DRAINAGE AREA
  - EXISTING ESC DRAINAGE AREA
  - GM GABION MATRESS
  - RFS REMOVABLE PUMPING STATION
  - AGIP INLET PROTECTION

APPROVED  
DATE 9.21.00

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*John Robertson* 3/2/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Wanda Tomatis* 3/6/01  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Lawrence R. Roberts* 3/6/01  
DIRECTOR DATE

Date	No.	Revision Description
		COLUMBIA

**VILLAGE OF RIVER HILL**

SECTION 4 AREA 1 PARCEL A-4  
BUILDING 1-11 UNITS A-4-1 THRU A-4-56

**OWNER/DEVELOPER:** Beazer Homes, Inc.  
8965 Guilford Road  
Suite 290  
Columbia, Maryland 21046

**CONTRACT PURCHASER:** Beazer Homes, Inc.  
8965 Guilford Road  
Suite 290  
Columbia, Maryland 21046

**DMW**  
Darr McCreary-Walke, Inc.  
200 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 296-3333  
Fax 296-4706

A Team of Land Planners,  
Landscape Architects,  
Golf Course Architects,  
Engineers, Surveyors &  
Environmental Professionals

2/6/01  
Date

*John Robertson*  
Professional Engineer  
No. 10551  
State of Maryland

Professional Engr. No. 10551

TITLE: **EROSION & SEDIMENT CONTROL PLAN**

Des. By: SDS Scale: 1"=30' Proj. No.: 00015.A

Drn. By: KDE/MSS Date: 2/06/2001 10 of 16

Chk. By: Approved

**DEVELOPER'S CERTIFICATION:**  
"WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*Joseph D. Fortino* 2/5/01  
SIGNATURE OF DEVELOPER DATE  
PRINT NAME BELOW SIGNATURE  
**JOSEPH D. FORTINO**

**ENGINEER'S CERTIFICATION:**  
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*John W. Manocchio, Sr.* 2/5/01  
SIGNATURE OF ENGINEER DATE  
PRINT NAME BELOW SIGNATURE  
**John W. Manocchio, Sr.**

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS

*Jim Meyer* 2/26/01  
DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John Robertson* 2/26/01  
DATE

N 982000  
E 1335000

**LEGEND**

- SF SILT FENCE
- Earth Dike
- LIMIT OF DISTURBANCE
- SSF SUPER SILT FENCE
- TEMPORARY SWALE
- PROPOSED ESC DRAINAGE AREA
- EXISTING ESC DRAINAGE AREA
- GM GABION MATRESS
- RFS REMOVABLE PUMPING STATION
- AGIP INLET PROTECTION

**DEVELOPER'S CERTIFICATION:**

"I WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*Joseph D. Fortino*  
SIGNATURE OF DEVELOPER  
JOSEPH D. FORTINO

2/5/01  
DATE

**ENGINEER'S CERTIFICATION:**

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*John W. Ramachia, Sr.*  
SIGNATURE OF ENGINEER  
John W. Ramachia, Sr.

2/5/01  
DATE

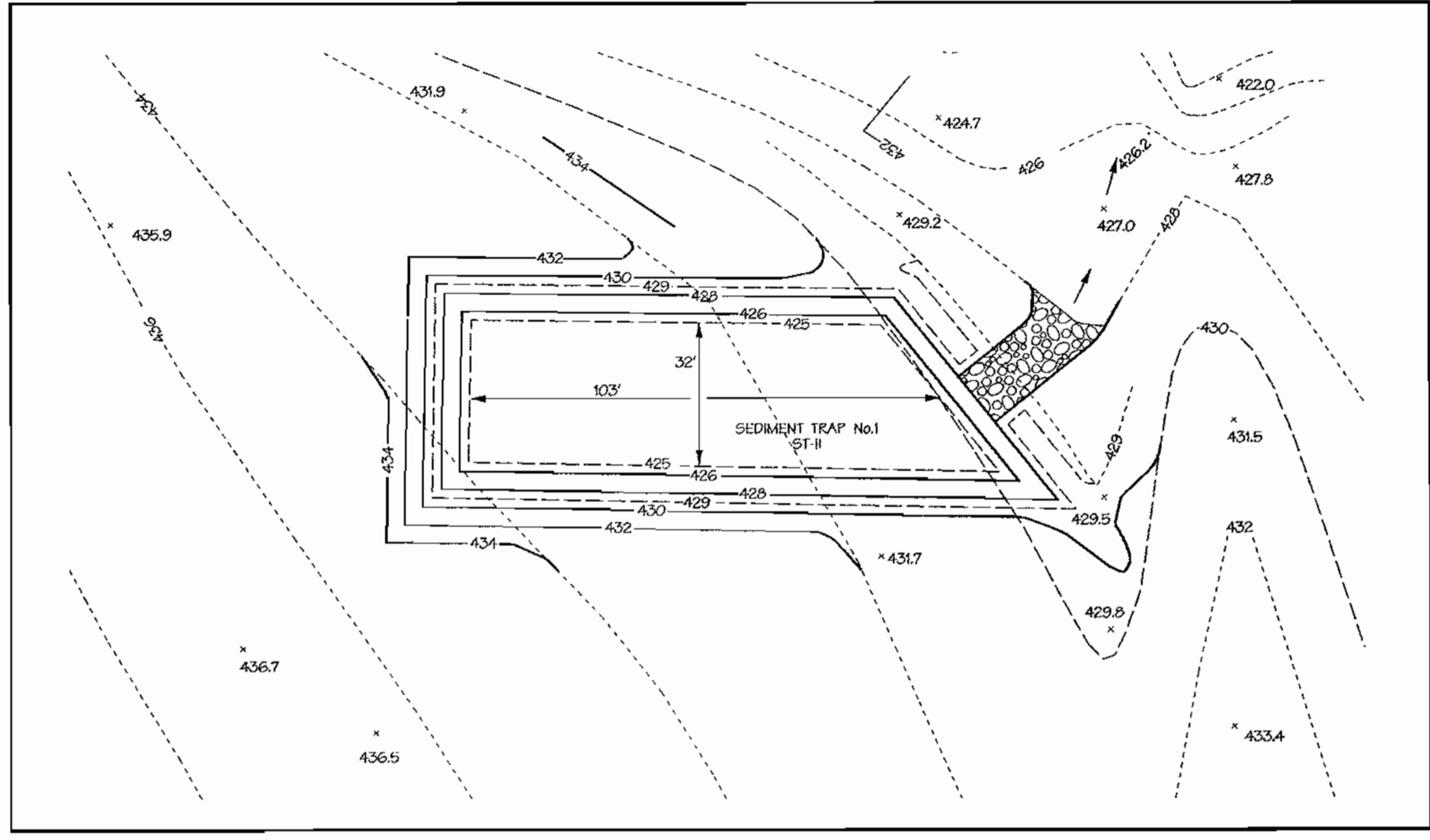
REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS

*Jim Myers*  
U.S. NATURAL RESOURCE CONSERVATION SERVICE  
2/26/01  
DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

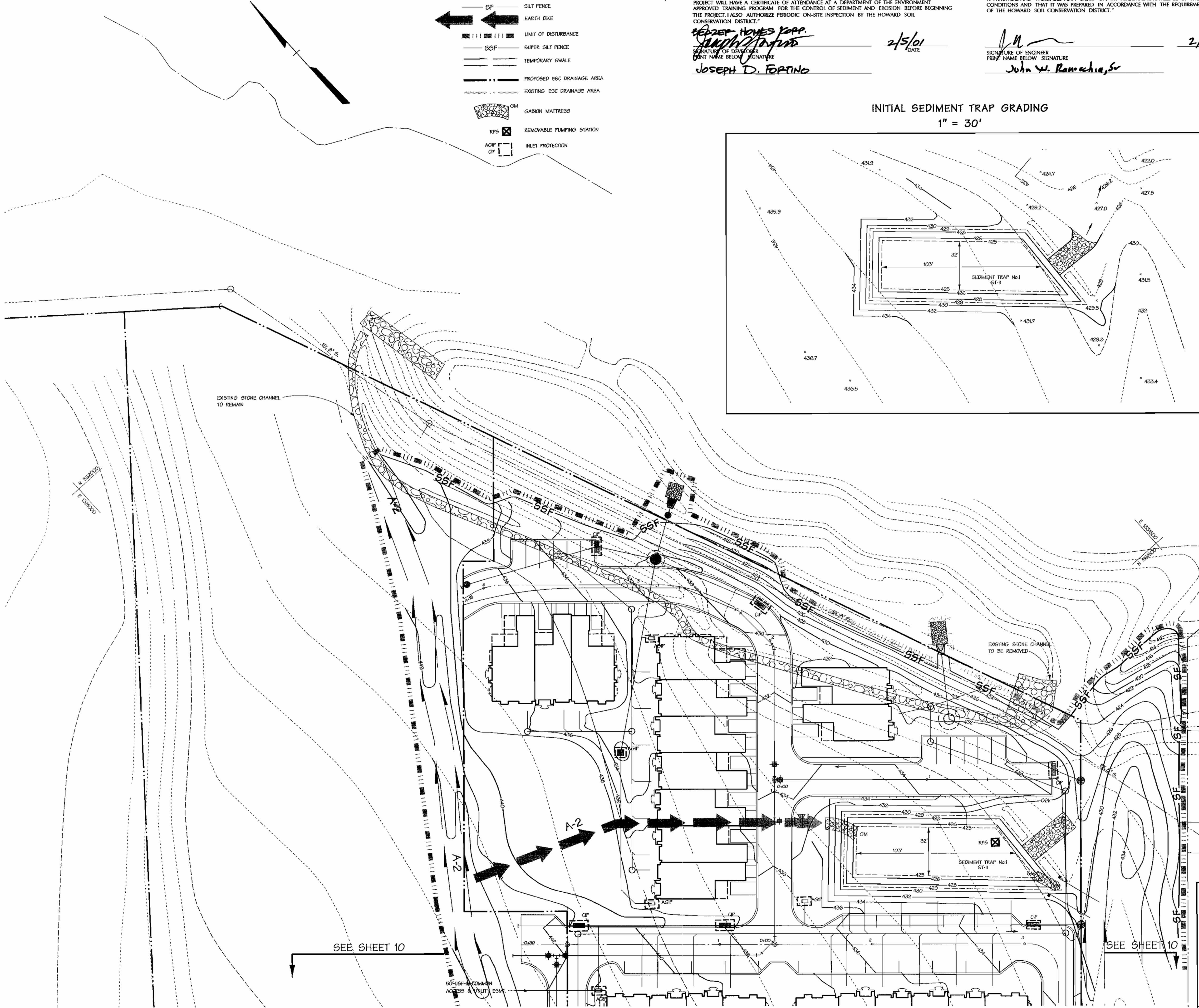
*John R. Dutton*  
HOWARD S.C.D.  
2/26/01  
DATE

**INITIAL SEDIMENT TRAP GRADING**  
1" = 30'



**ESC TRAP TABLE**

TRAP NUMBER	1	
TRAP TYPE	ST-II	
EXITING DRAINAGE AREA AC.	3.3	
INTERIM DRAINAGE AREA AC.	3.4	
PROPOSED DRAINAGE AREA AC.	N/A	
STORAGE REQUIRED C.F.	WET	6120
	DRY	6120
	TOTAL	12240
STORAGE PROVIDED C.F.	WET	6630
	DRY	7325
	TOTAL	13955
EXISTING GROUND ELEV.	429.0	
TOP EMBANKMENT ELEV.	429.0	
WEIR CREST ELEV.	429.0	
WET STORAGE/OUTLET ELEV.	426.6	
CLEANOUT ELEV.	425.8	
BOTTOM ELEV.	425.0	
DEPTH OF CHANNEL (A)	1.0'	
OUTLET WIDTH (B)	14'	
BOTTOM DIMENSION	10' x 32'	
TRAP SIDESLOPES	2:1	
TRAP DEPTH	WET	1.6'
	DRY	1.4'
	TOTAL	3.0'
BARREL DIAMETER	N/A	
RISER DIAMETER	N/A	
WET STORAGE ZONE ELEV.	425.0-426.6	
DRY STORAGE ZONE ELEV.	426.6-429.0	

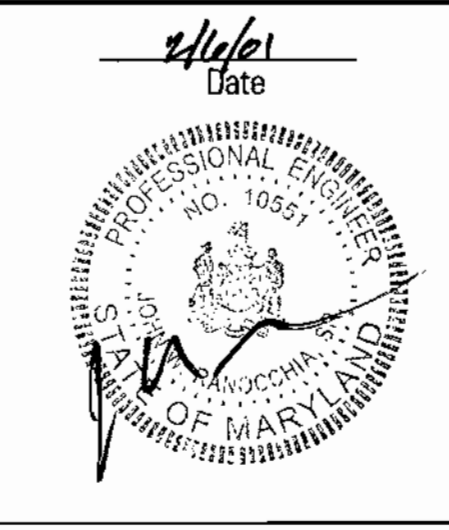


9-21-00

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
*Chad D. ...* 3/2/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
*... ..* 3/4/01  
CHIEF, DIVISION OF LAND DEVELOPMENT  
*... ..* 3/8/01  
DIRECTOR

Revision Description  
COLUMBIA  
**VILLAGE OF RIVER HILL**  
SECTION 4 AREA 1 PARCEL A-4  
BUILDING 1-11 UNITS A-4-1 THRU A-4-56  
OWNER/DEVELOPER: Beazer Homes, Inc.  
8965 Guilford Road Suite 290 Columbia, Maryland 21046  
CONTRACT PURCHASER: Beazer Homes, Inc.  
8965 Guilford Road Suite 290 Columbia, Maryland 21046

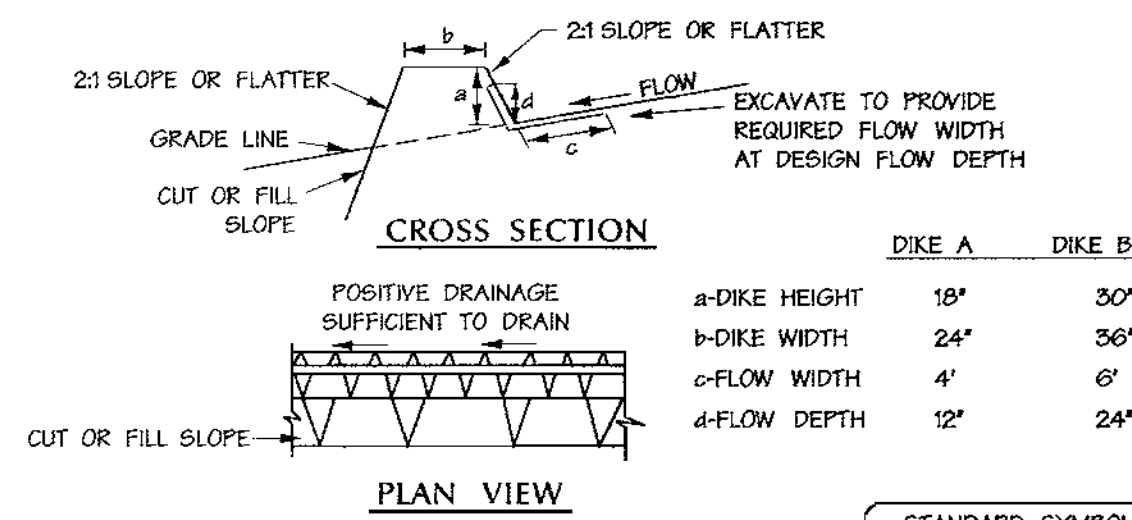
**DMW**  
Dart, McCune-Walker, Inc.  
200 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 296-3333  
Fax 296-4705  
A Team of Land Planners, Landscape Architects, Golf Course Architects, Engineers, Surveyors & Environmental Professionals



**EROSION & SEDIMENT CONTROL PLAN**

Des. By SDS Scale 1"=30' Proj. No. 00015.A  
Dm. By KDE/MSS Date 2/06/2001  
Chk. By Approved

Professional Engr. No. 10591



**FLOW CHANNEL STABILIZATION**  
GRADE 0.5% MIN. 10% MAX.

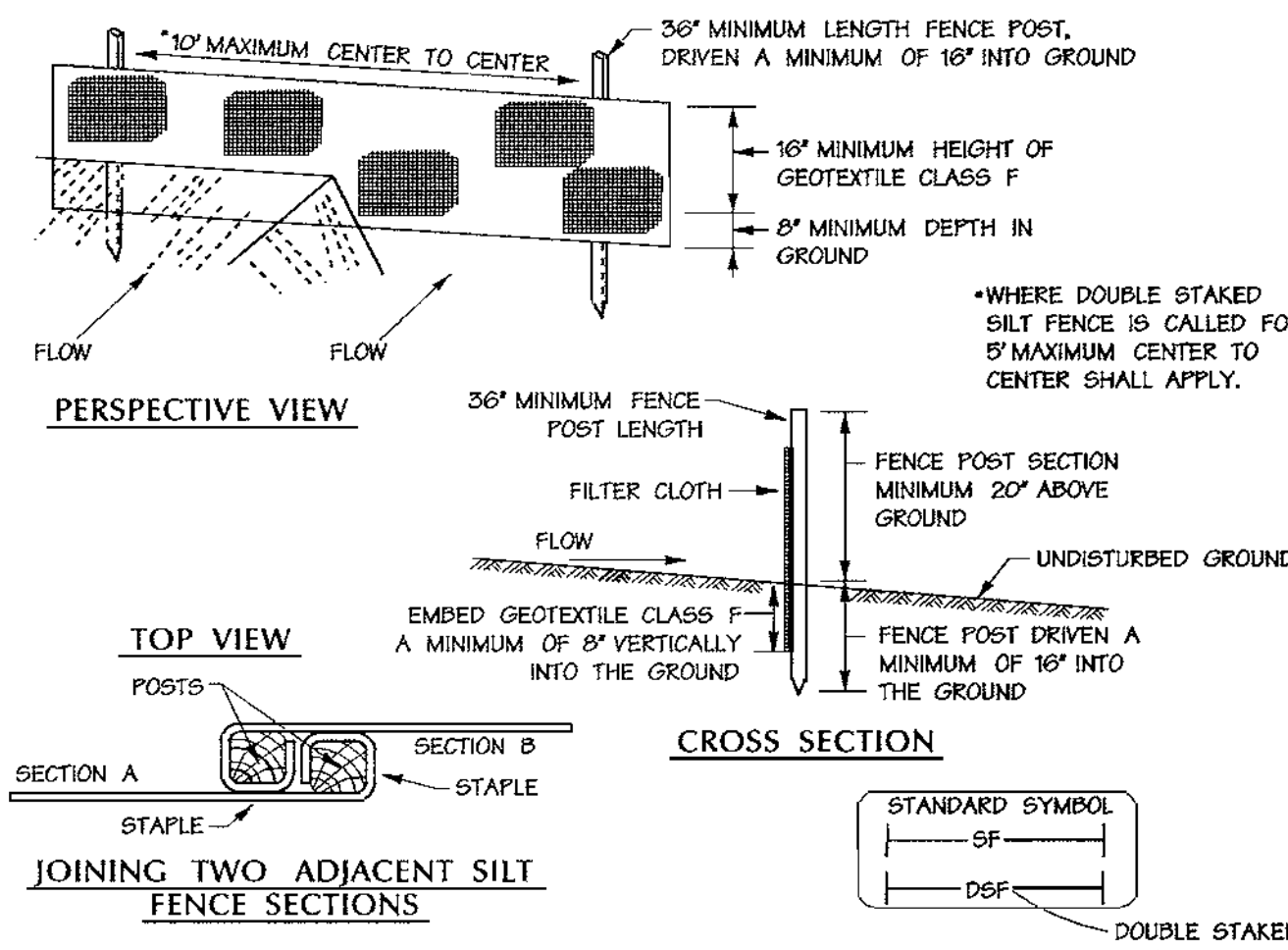
1. SEED AND COVER WITH STRAW MULCH.
2. SEED AND COVER WITH EROSION CONTROL MATTING OR LINE WITH SOD.
3. 4" - 7" STONE OR RECYCLED CONCRETE EQUIVALENT PRESSED INTO THE SOIL 7" MINIMUM.

**CONSTRUCTION SPECIFICATIONS**

1. ALL TEMPORARY EARTH DIKES SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET. SPOT ELEVATIONS MAY BE NECESSARY FOR GRADES LESS THAN 1%.
2. RUNOFF DIVERTED FROM A DISTURBED AREA SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE.
3. RUNOFF DIVERTED FROM AN UNDISTURBED AREA SHALL OUTLET DIRECTLY INTO AN UNDISTURBED STABILIZED AREA AT A NON-EROSIVE VELOCITY.
4. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONAL MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE DIKE.
5. THE DIKE SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
6. FILL SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.
7. ALL EARTH REMOVED AND NOT NEEDED FOR CONSTRUCTION SHALL BE PLACED SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE DIKE.
8. INSPECTION AND MAINTENANCE MUST BE PROVIDED PERIODICALLY AND AFTER EACH RAIN EVENT.

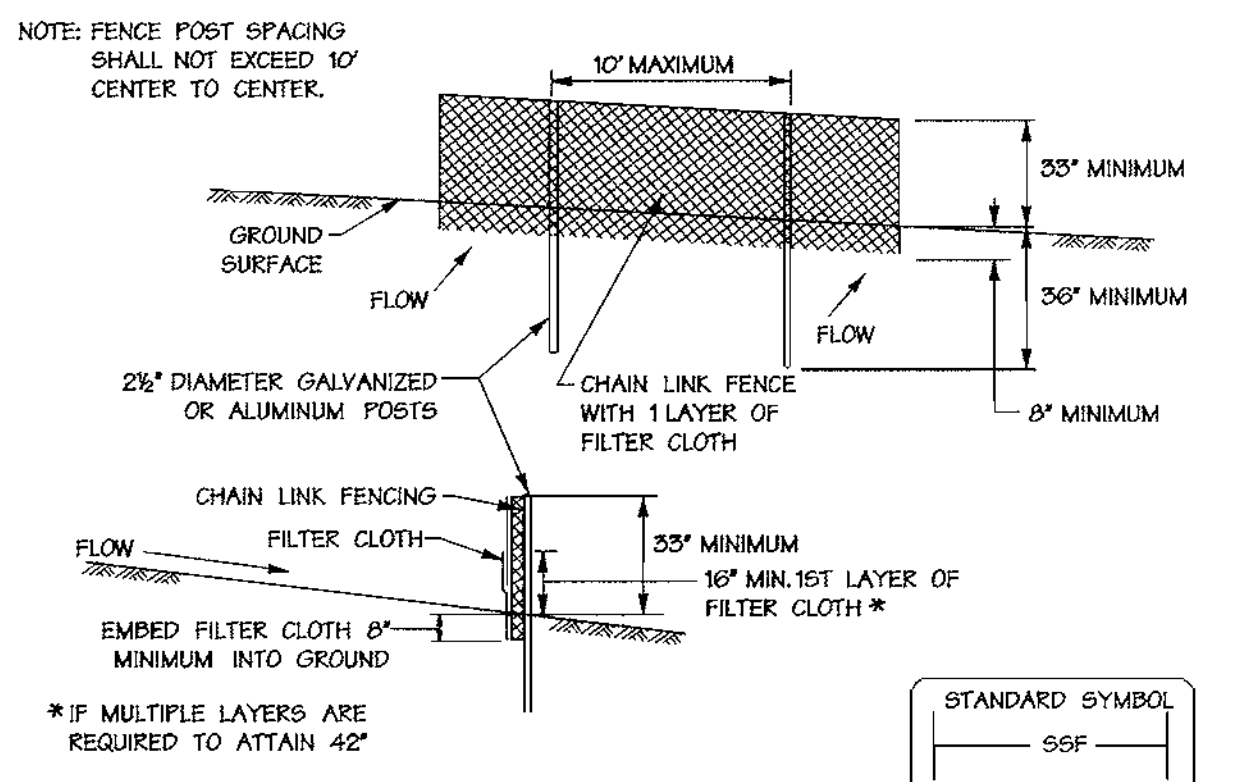
1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (303-1869).
2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THEREOF.
3. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
  - A. SEVEN CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3%.
  - B. FOURTEEN DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE "HOWARD COUNTY DESIGN MANUAL," STORM DRAINAGE.
5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL," FOR PERMANENT SEEDINGS (SEC. 6), SODS (SEC. 54), TEMPORARY SEEDING (SEC. 50), AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
7. SITE ANALYSIS:
 

TOTAL AREA OF SITE	55 ACRES
AREA DISTURBED	6.8 ACRES
AREA TO BE ROOFED OR PAVED	3.6 ACRES
AREA TO BE VEGETATIVELY STABILIZED	3.2 ACRES
TOTAL CUT	8500 CUBIC YARDS
TOTAL FILL	2500 CUBIC YARDS
OFF-SITE WASTE/BORROW AREA LOCATION	WASTE
8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
9. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.
12. NO TEMPORARY SWM IS REQUIRED. PERMANENT SWM IN PLACE PER F-96-10.



- CONSTRUCTION SPECIFICATIONS**
1. FENCE POSTS SHALL BE A MINIMUM OF 36" LONG DRIVEN 16" MINIMUM INTO THE GROUND. WOOD POSTS SHALL BE 1 1/2" x 1 1/2" SQUARE (MINIMUM) CUT, OR 1 1/2" DIAMETER (MINIMUM) ROUND AND SHALL BE OF SOUND QUALITY HARDWOOD. STEEL POSTS WILL BE STANDARD T OR U SECTION WEIGHING NOT LESS THAN 100 POUND PER LINEAR FOOT.
  2. GEOTEXTILE SHALL BE FASTENED SECURELY TO EACH FENCE POST WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION AND SHALL MEET THE FOLLOWING REQUIREMENTS FOR GEOTEXTILE CLASS F:
 

TENSILE STRENGTH	50 LBS/IN (MIN.)	TEST: MSMT 509
TENSILE MODULUS	20 LBS/IN (MIN.)	TEST: MSMT 509
FLOW RATE	0.3 GAL FT/MIN (MAX)	TEST: MSMT 522
FILTERING EFFICIENCY	75% (MIN)	TEST: MSMT 322
  3. WHERE ENDS OF GEOTEXTILE FABRIC COME TOGETHER, THEY SHALL BE OVERLAPPED, FOLDED AND STAPLED TO PREVENT SEDIMENT BYPASS.
  4. SILT FENCE SHALL BE INSPECTED AFTER EACH RAINFALL EVENT AND MAINTAINED WHEN BULGES OCCUR OR WHEN SEDIMENT ACCUMULATION REACHED 50% OF THE FABRIC HEIGHT.



- CONSTRUCTION SPECIFICATIONS**
1. FENCING SHALL BE 42 INCHES IN HEIGHT AND CONSTRUCTED IN ACCORDANCE WITH THE LATEST MARYLAND STATE HIGHWAY (SHA) DETAILS FOR CHAIN LINK FENCING. THE SPECIFICATION FOR A FENCE SHALL BE USED SUBSTITUTING 42" FABRIC AND 6" LENGTH POSTS.
  2. THE POSTS DO NOT NEED TO BE SET IN CONCRETE.
  3. CHAIN LINK FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIES OR STAPLES. THE LOWER TENSION WIRE, BRACE AND TRUSS RODS, DRIVE ANCHORS AND POST CAPS ARE NOT REQUIRED EXCEPT ON THE ENDS OF THE FENCE. THE CHAIN LINK FENCING SHALL BE SIX (6) GAUGE OR HEAVIER.
  4. FILTER CLOTH SHALL BE FASTENED SECURELY TO THE CHAIN LINK FENCE WITH TIES SPACED EVERY 24" AT THE TOP AND MID SECTION.
  5. FILTER CLOTH SHALL BE EMBEDDED A MINIMUM OF 6" INTO THE GROUND.
  6. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6" AND FOLDED.
  7. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SILT BUILDSUP REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE, OR WHEN SILT REACHES 50% OF FENCE HEIGHT.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE A - 1 - 6 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

**Earth Dike** Not To Scale

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE E - 15 - 5 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

**Howard County Sediment Control General Notes**

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE E - 15 - 5 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

**Silt Fence** Not To Scale

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE H - 26 - 3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

**Super Silt Fence** Not To Scale

**PERMANENT SEEDING NOTES**  
APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

**SEEDBED PREPARATION:** LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

**SOIL AMENDMENTS:** IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

1. PREFERRED - APPLY 2 TONS PER ACRES DOLOMITIC LIMESTONE (92 LBS/1000 SQ.FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL AT TIME OF SEEDING, APPLY 400 LBS. PER ACRE 30-0-0 UREA-FORM FERTILIZER (9 LBS/1000 SQ.FT.)
2. ACCEPTABLE - APPLY 2 TONS PER ACRES DOLOMITIC LIMESTONE (92 LBS/1000 SQ.FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23 LBS/1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL.

**SEEDING** - FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS. PER ACRE (14 LBS/1000 SQ.FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31 SEED WITH 60 LBS. KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS. PER ACRE (.25 LBS/1000 SQ.FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY OPTION (1) - 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) - USE SOD. OPTION (3) - SEED WITH 60 LBS/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

**MULCHING** - APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ.FT.) OF UNROTTED WEED FREE SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATIONS USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ.FT.) FOR ANCHORING.

**MAINTENANCE** - INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDING.

**TEMPORARY SEEDING NOTES**  
APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

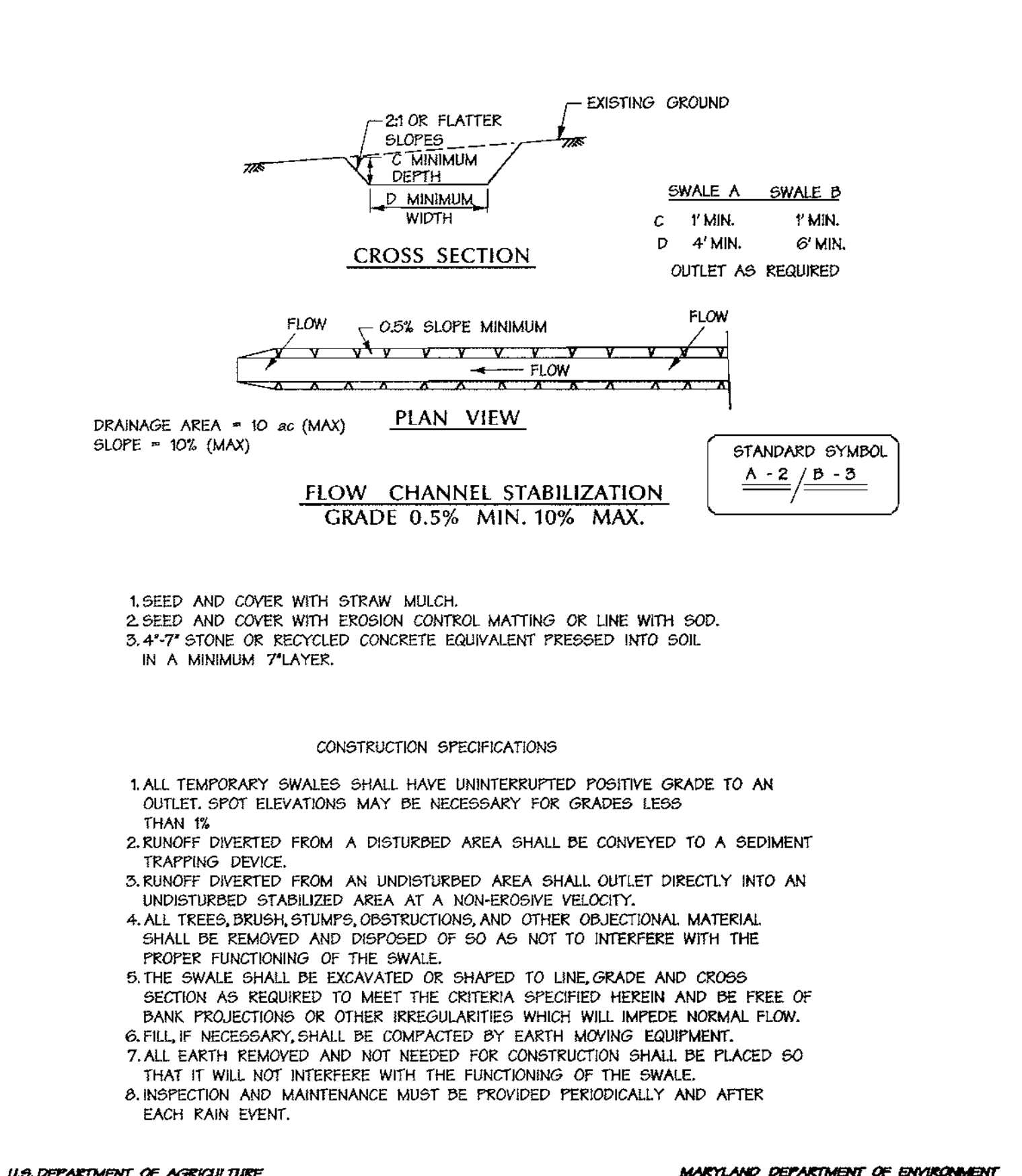
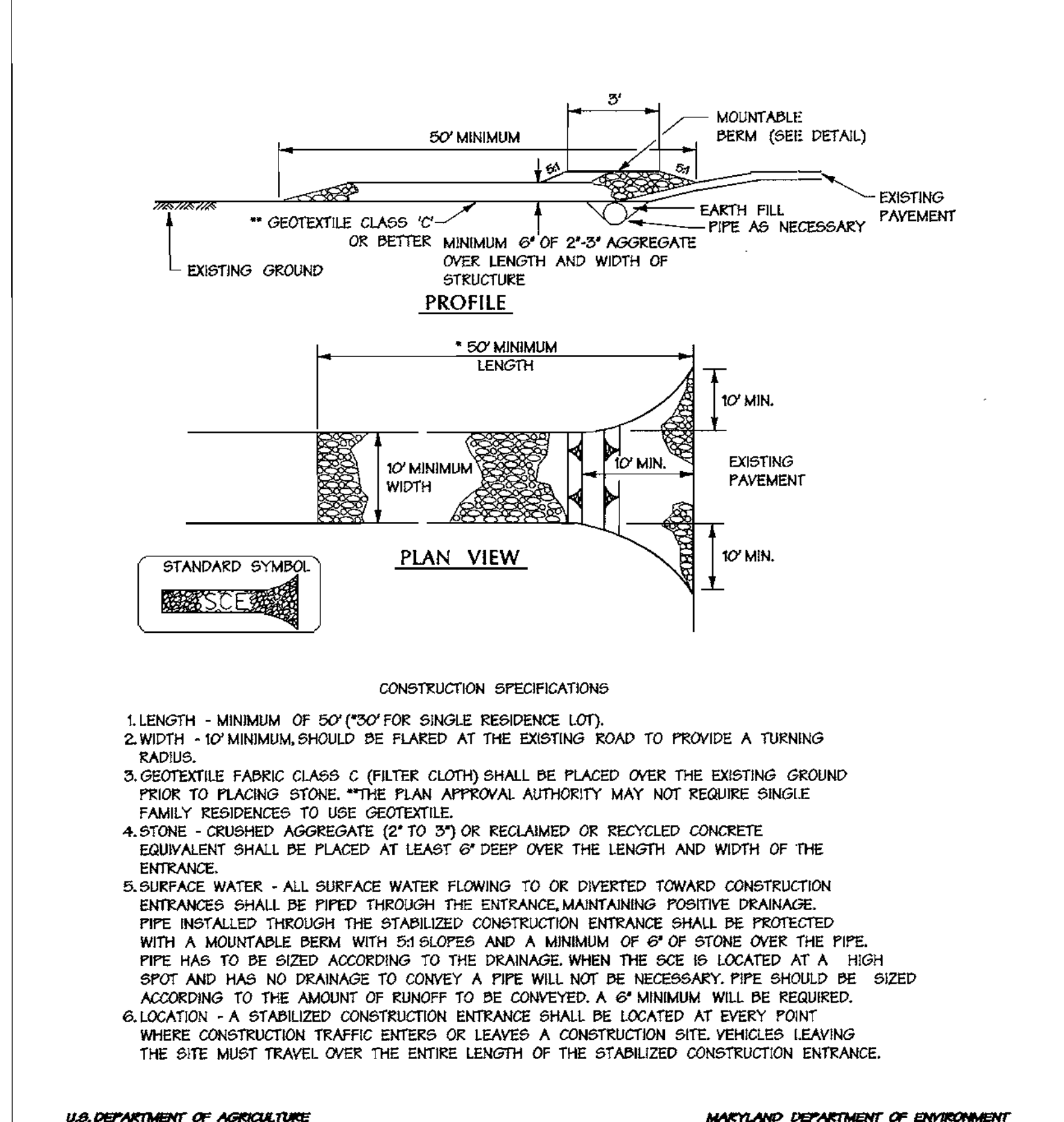
**SEEDBED PREPARATION** - LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

**SOIL AMENDMENTS** - APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ.FT.)

**SEEDING** - FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 15 TO OCTOBER 15, SEED WITH 2-1/2 BUSHEL PER ACRE OF ANNUAL RYE (32 LBS/1000 SQ.FT.) FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS PER ACRE OF WEEPING LOVEGRASS (.07 LBS/1000 SQ.FT.). FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

**MULCHING** - APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ.FT.) OF UNROTTED WEED FREE SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL. PER ACRE (5 GAL/1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FT. OR HIGHER, USE 348 GAL. PER ACRE (8 GAL/1000 SQ.FT.) FOR ANCHORING.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL RATES AND METHODS NOT COVERED.



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*Chad Deussen* 3/2/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Condy Hanter* 3/6/01  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Paul Rantz* 3/6/01  
DIRECTOR DATE

Date	No.	Revision Description
		COLUMBIA

**VILLAGE OF RIVER HILL**

SECTION 4 AREA 1 PARCEL A-4  
BUILDING 1-11 UNITS A-4-1 THRU A-4-56

OWNER/DEVELOPER:	CONTRACT PURCHASER:
Beazer Homes, Inc. 8965 Guilford Road Suite 290 Columbia, Maryland 21046	Beazer Homes, Inc. 8965 Guilford Road Suite 290 Columbia, Maryland 21046

**DMW**  
Dan McCann - Walker, Inc.  
200 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 296-3333  
Fax 296-4706

A Team of Land Planners, Landscape Architects, Golf Course Architects, Engineers, Surveyors & Environmental Professionals

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE F - 17 - 5 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

**Temporary And Permanent Seeding Notes**

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE A - 2 - 4 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

**Stabilized Construction Entrance** Not To Scale

**DEVELOPER'S CERTIFICATION:**  
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Joseph D. Fortino* 2/5/01  
SIGNATURE OF DEVELOPER DATE

**ENGINEER'S CERTIFICATION:**  
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*John W. Ramocchia, Sr.* 2/5/01  
SIGNATURE OF ENGINEER DATE

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE A - 2 - 4 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

**Temporary Swale** Not To Scale

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS

*Jim Meyer* 2/24/01  
S. NATURAL RESOURCE CONSERVATION SERVICE DATE

*John W. Ramocchia, Sr.* 2/24/01  
HOWARD S.C.D. DATE

APPROVED: 2/16/01  
Date

**Professional Engr. No. 10551**

**EROSION & SEDIMENT CONTROL DETAILS**

Des. By	Scale	As Shown	Proj. No.
SDS <td></td> <td></td> <td>00015.A</td>			00015.A

Drn. By	Date	12 of 16
KDE/MSG	2/06/2001	

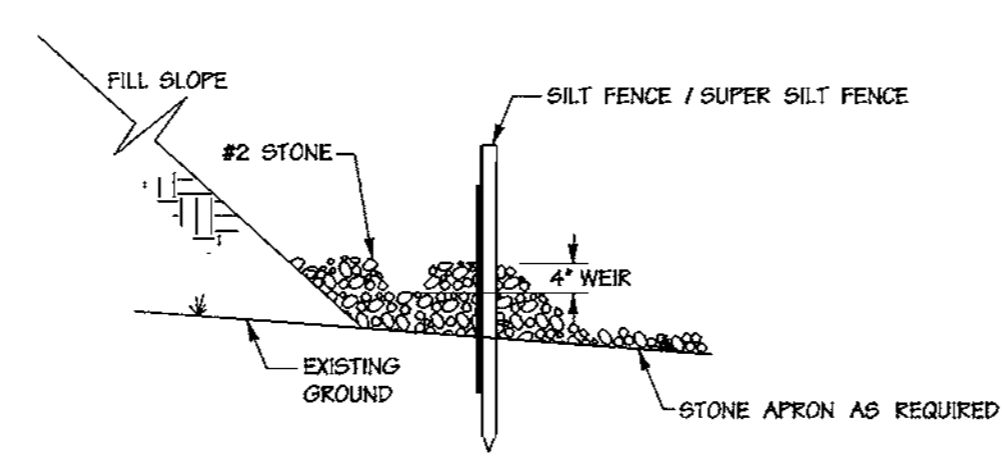
Chk. By Approved

SDP 00-137  
SDP 00137

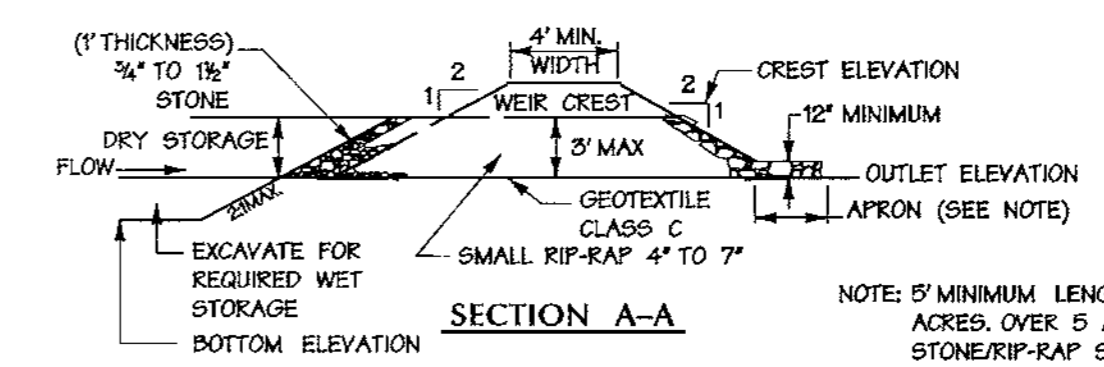
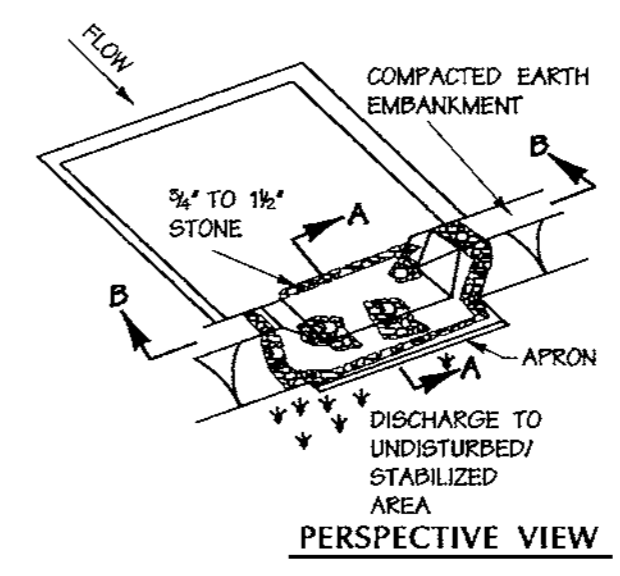
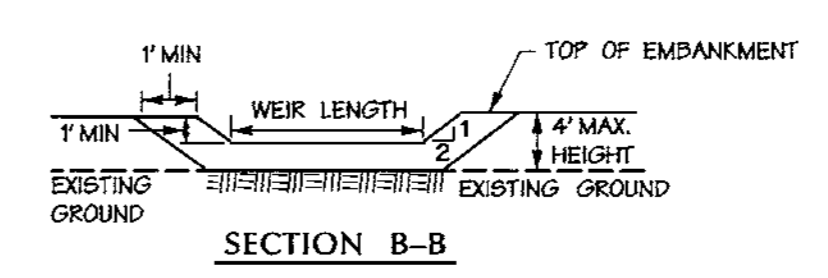
SEQUENCE	NO. OF DAYS
1. OBTAIN A GRADING PERMIT AND NOTIFY ALL APPROPRIATE AGENCIES 48 HOURS PRIOR TO BEGINNING ANY WORK.	7
2. CLEAR AND GRUB FOR AND CONSTRUCT SEDIMENT TRAP #1 PER INITIAL TRAP GRADING DETAIL ON SHT. 10.	7
3. CLEAR AND GRUB FOR AND INSTALL REMAINING SEDIMENT CONTROL MEASURES INCLUDING EARTHDIKE.	14
4. WITH PERMISSION TO PROCEED FROM THE SEDIMENT CONTROL INSPECTOR, CLEAR, GRUB AND MASS GRADE SITE. ADJUST TRAP GRADING AS SHOWN ON ESC SHT. 10. PROVIDE DUST CONTROL PER CURRENT SPECIFICATIONS.	14
5. PROVIDE TEMPORARY SITE STABILIZATION AND BEGIN BUILDING FOUNDATION EXCAVATION AND ROUGH GRADING, EXCEPT IN AREA OF SEDIMENT TRAP. DELAY BUILDING CONSTRUCTION FOR BUILDING 10 UNTIL DRAINAGE AREA TO EARTH DIKE IS REDUCED BY SITE GRADING & PERMISSION TO PROCEED IS GRANTED BY SEDIMENT CONTROL INSPECTOR.	30
6. INSTALL UTILITIES. PLACE INLET PROTECTION AT ALL INLETS. USE EXTREME CARE WORKING IN AREA OF WATER QUALITY FACILITY TO AVOID DEPOSITION OF SPOIL INTO THIS AREA.	45
7. FINE GRADE AND CONSTRUCT ROADS AND PARKING. STABILIZE ALL AREAS IMMEDIATELY AFTER COMPLETION.	45
8. WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT TRAP AND CONSTRUCT REMAINING BUILDINGS.	30
9. CONSTRUCT SIDEWALKS AND INSTALL SURFACE PAVING FOR SITE.	14
10. FINE GRADE AND STABILIZE DISTURBED AREAS ONSITE IN ACCORDANCE WITH CURRENT STANDARDS AND SPECIFICATIONS.	10
11. WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL MEASURES AND STABILIZE ALL REMAINING DISTURBED AREAS ONSITE.	14

STD. SILT FENCE	SUPER SILT FENCE
#2 STONE	#2 STONE
12' HIGH	24' HIGH
24' WIDE	36' WIDE
50'-100' O.C.	50'-100' O.C.

OR 4' MAX. VERTICAL CHANGE IN ELEV.



SECTION LIMITED USE WHERE SILT FENCE DOESN'T FOLLOW CONTOURS



NOTE: 5' MINIMUM LENGTH UP TO 5 ACRES. OVER 5 ACRES USE STONE/RIP-RAP SEDIMENT TRAP ST-IV

### #2 Stone Check Dam

### Sequence of Construction

#### 210 STANDARD AND SPECIFICATIONS FOR TOPSOIL

**Definition**  
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

**Purpose**  
To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

**Conditions Where Practice Applies**

- This practice is limited to areas having 2:1 or flatter slopes where:
  - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
  - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
  - The original soil to be vegetated contains material toxic to plant growth.
  - The soil is so acidic that treatment with limestone is not feasible.
- For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

**Construction and Material Specifications**

- Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-NRCS in cooperation with Maryland Agricultural Experiment Station.
- Topsoil Specifications - Soil to be used as topsoil must meet the following:
  - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textures and shall contain less than 2% by volume of clinters, stones, slag, coarse fragments, gravel sticks, roots, trash, and other materials larger than 1 1/2 inch in diameter.
  - Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnsongrass, nutcase, poison ivy, thistle, or others as specified.
  - Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
- For sites having disturbed areas under 5 acres:
  - Place topsoil (if required) and apply soil amendments as specified in 200. Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.
- For sites having disturbed areas over 5 acres:
  - On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
    - pH for topsoil shall be between 6.0 and 7.5; if the tested soil demonstrates a pH of less than 6.0 sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
    - Organic contents of topsoil shall be not less than 15 percent by weight.
    - Topsoil having soluble salt content greater than 500 parts per million shall not be used.
  - or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.
- Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.
- Place topsoil (if required) and apply soil amendments as specified in 200. Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

**V. Topsoil Application**

- When topsoiling maintain needed erosion and sediment control practices such as diversions, grade stabilization structures, earth dikes, silt fences and sediment traps and basins.
- Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4% - 6% higher in elevation.
- Topsoil shall be uniformly distributed in a 4% - 6% layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
- Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seeding preparation.

### Top Soil Specifications

- CONSTRUCTION SPECIFICATIONS**
- AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED.
  - THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS AND OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, ORGANIC MATERIAL OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVELING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
  - ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER.
  - THE STONE USED IN THE OUTLET SHALL BE SMALL RIP-RAP 4" TO 7" IN SIZE WITH A 1" THICK LAYER OF 3/4" TO 1 1/2" WASHED AGGREGATE PLACED ON THE UPSTREAM FACE OF THE OUTLET. STONE FACING SHALL BE WASHED AS NECESSARY TO PREVENT CLOGGING. GEOTEXTILE CLASS C MAY BE SUBSTITUTED FOR THE STONE FACING BY PLACING IT ON THE INSIDE FACE OF THE STONE OUTLET.
  - SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE HALF OF THE WET STORAGE DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
  - THE STRUCTURE SHALL BE INSPECTED PERIODICALLY AND AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
  - CONSTRUCTION OF TRAPS SHALL BE CARRIED OUT IN SUCH A MANNER THAT SEDIMENT POLLUTION IS ABATED. ONCE CONSTRUCTED, THE TOP AND OUTSIDE FACE OF THE EMBANKMENT SHALL BE STABILIZED WITH SEED AND MULCH. POINTS OF CONCENTRATION INFLOW SHALL BE PROTECTED IN ACCORDANCE WITH GRADE STABILIZATION STRUCTURE CRITERIA. THE REMAINDER OF THE INTERIOR SLOPES SHOULD BE STABILIZED (ONE TIME) WITH SEED AND MULCH UPON TRAP COMPLETION AND MONITORED AND MAINTAINED EROSION FREE DURING THE LIFE OF THE TRAP.
  - THE STRUCTURE SHALL BE DETERMINED BY APPROVED METHODS, REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
  - REFER TO SECTION D FOR SPECIFICATIONS CONCERNING TRAP DEWATERING.
  - MINIMUM TRAP DEPTH SHALL BE MEASURED FROM THE WEIR ELEVATION.
  - THE ELEVATION OF THE TOP OF ANY DIKE DIRECTING WATER INTO THE TRAP MUST EQUAL OR EXCEED THE ELEVATION OF THE TRAP EMBANKMENT.
  - GEOTEXTILE CLASS C SHALL BE PLACED OVER THE BOTTOM AND SIDES OF THE OUTLET CHANNEL PRIOR TO THE PLACEMENT OF STONE. SECTIONS OF FILTER CLOTH MUST OVERLAP AT LEAST 1" WITH THE SECTION NEAREST THE ENTRANCE PLACED ON TOP. THE FILTER CLOTH SHALL BE EMBEDDED AT LEAST 6" INTO EXISTING GROUND AT THE ENTRANCE OF THE OUTLET CHANNEL.
  - OUTLET - AN OUTLET SHALL BE PROVIDED, INCLUDING A MEANS OF CONVEYING THE DISCHARGE IN AN EROSION FREE MANNER TO AN EXISTING STABLE CHANNEL.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE C-9-10A MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

### Stone Outlet Sediment Trap - ST II

**DEVELOPER'S CERTIFICATION:**  
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

BEAZER HOMES CORP.  
JOSEPH J. FORTINO  
2/5/01

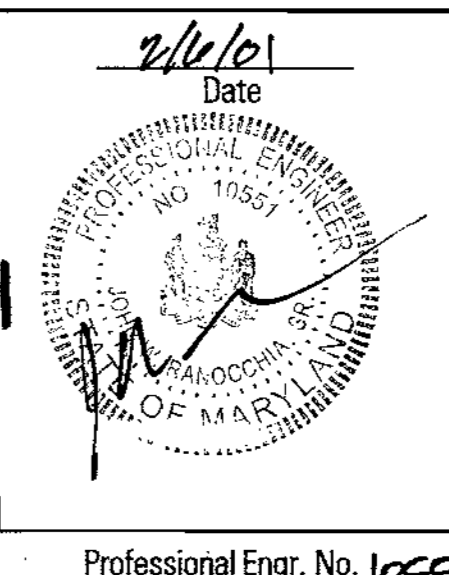
**ENGINEER'S CERTIFICATION:**  
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

John W. Ramonchio, Sr.  
2/5/01

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS

Jim Meyer  
2/6/01

John Ramonchio  
2/6/01



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

3/2/01  
3/6/01  
3/6/01

VILLAGE OF RIVER HILL

SECTION 4 AREA 1 PARCEL A-4  
BUILDING 1-11 UNITS A-4-1 THRU A-4-56

OWNER/DEVELOPER: Beazer Homes, Inc.  
8965 Gullford Road  
Suite 290  
Columbia, Maryland 21046

CONTRACT PURCHASER: Beazer Homes, Inc.  
8965 Gullford Road  
Suite 290  
Columbia, Maryland 21046

**DMW**  
Dawn McCune-Walker, Inc.  
200 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 296-3333  
Fax 296-4706

A Team of Land Planners, Landscape Architects, Golf Course Architects, Engineers, Surveyors & Environmental Professionals

**EROSION & SEDIMENT CONTROL DETAILS**

Des. By: GDS Scale: As Shown Proj. No.: 00015.A  
Dwn. By: KDE/MSS Date: 2/06/2001  
Chk. By: Approved 13 of 16

Mon Feb 5 11:02:38 2001

MATCH LINE (SEE SHEET 15 OF 16)

MATCH LINE (SEE SHEET 15 OF 16)

**SCHEDULE A  
PERIMETER LANDSCAPE EDGE**

Category	Perimeter No. 2 Adjacent to Perimeter Properties	Perimeter No. 3
Landscape Type	C	A
Linear Feet of Roadway Frontage/Perimeter	1005	430
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	NA	NA
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	NA	NA
Number of Plants Required Shade Trees Evergreen Trees Shrubs	25 50	7
Number of Plants Provided Shade Trees Evergreen Trees Other Trees (21 substitution) Shrubs (101 substitution)	25 50	7

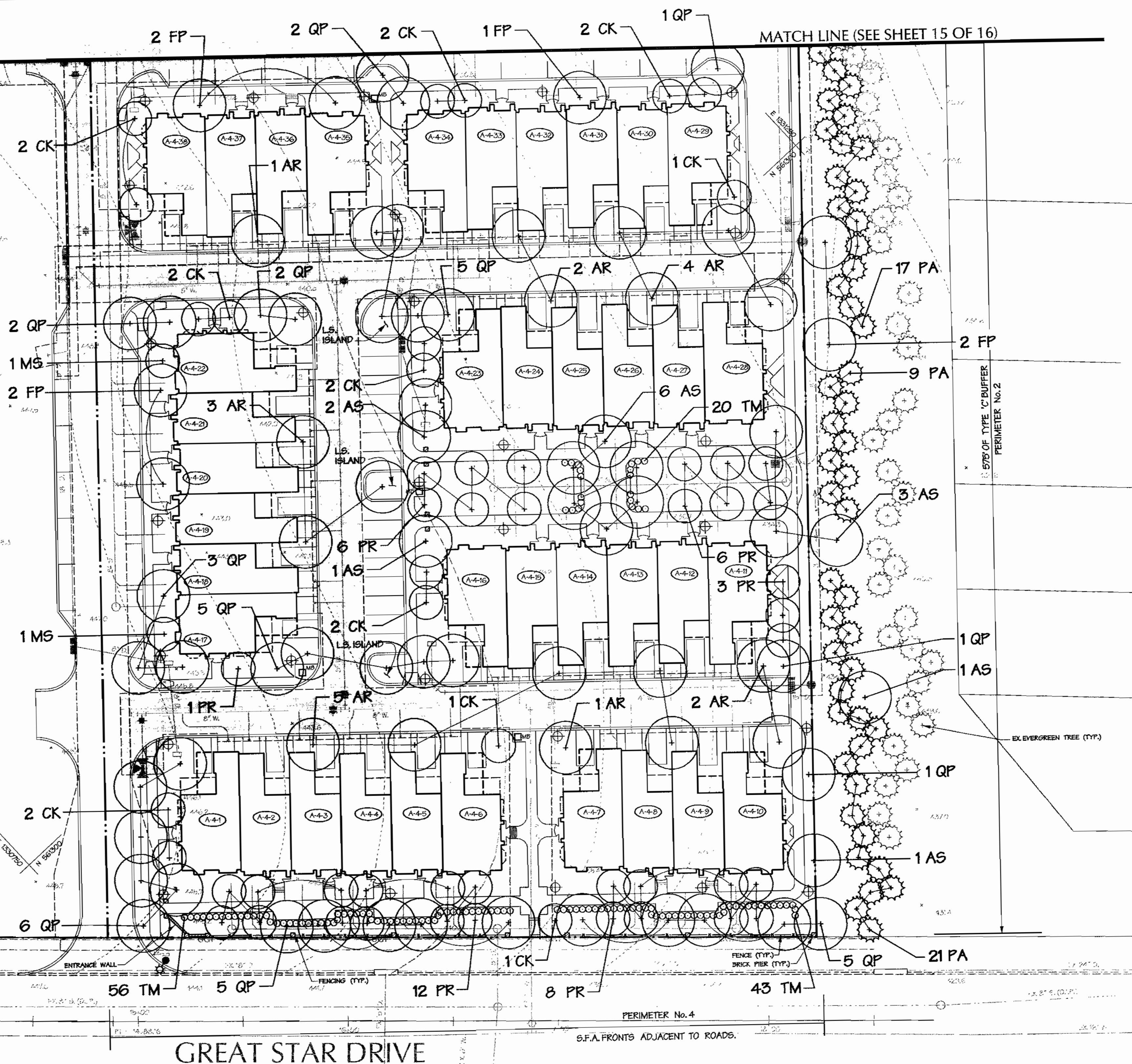
**SCHEDULE B  
PARKING LOT INTERNAL LANDSCAPING**

Number of Parking Spaces	54
Number of Trees Required	5
Number of Trees Provided Shade Trees Other Trees (21 substitution)	5

**SCHEDULE C  
RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING**

Number of Dwelling Units	56
Number of Trees Required (1DU SFA / 13 DU APTS)	56
Number of Trees Provided Shade Trees Other Trees (21 substitution)	56

See Note #36, Sheet 1 For surety.

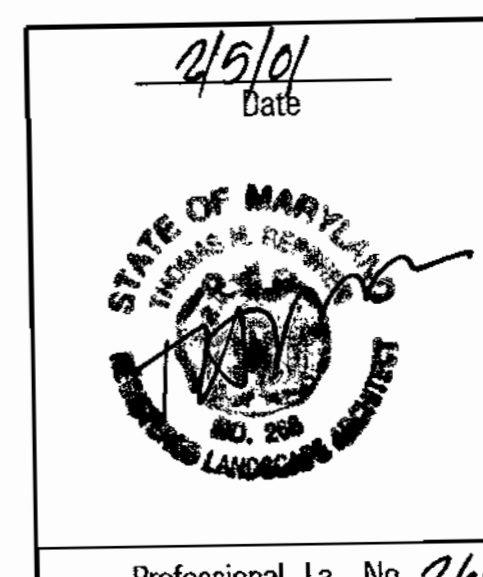


APPROVED  
DATE 9.21.00

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 [Signature] 3/2/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE  
 [Signature] 3/6/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
 [Signature] 3/6/01  
 DIRECTOR DATE

Date No. Revision Description  
**COLUMBIA**  
**VILLAGE OF RIVER HILL**  
 SECTION 4 AREA 1 PARCEL A-4  
 BUILDING 1-11 UNITS A-4-1 THRU A-4-56  
**OWNER/DEVELOPER:** Beazer Homes, Inc.  
 8965 Gullford Road  
 Columbia, Maryland 21046  
**CONTRACT PURCHASER:** Beazer Homes, Inc.  
 8965 Gullford Road  
 Suite 290  
 Columbia, Maryland 21046

**DMW**  
 Date: McCusack-Walker, Inc.  
 200 East Pennsylvania Avenue  
 Towson, Maryland 21286  
 (410) 296-3333  
 Fax 296-4706  
 A Team of Land Planners,  
 Landscape Architects,  
 Golf Course Architects,  
 Engineers, Surveyors &  
 Environmental Professionals

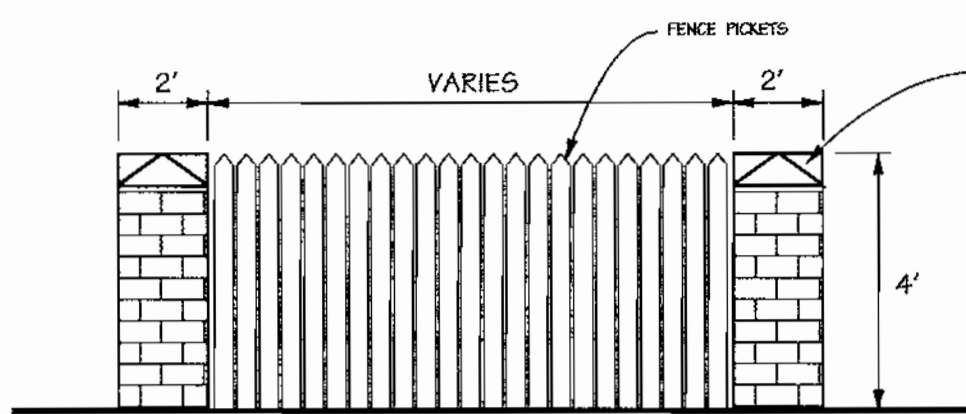
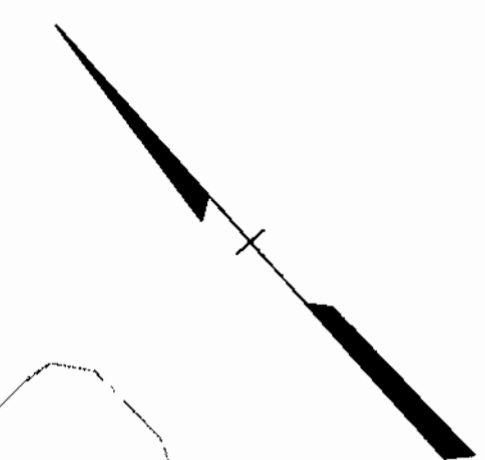


TITLE  
**LANDSCAPE PLAN**  
 Des. By MJP Scale 1"=30' Proj. No. 00015.A  
 Dm. By KDE/MSG Date 2/06/2001  
 Chk. By Approved 14 of 16

**PLANT LIST**

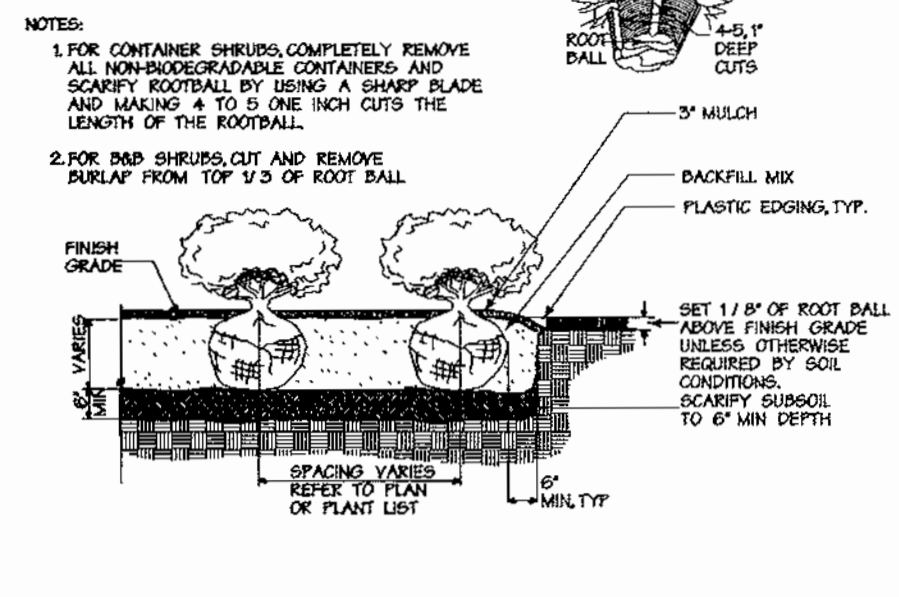
Key	Qty.	Botanical Name	Common Name	Size	Condition	Remarks
<b>Major Deciduous Tree:</b>						
AR	25	Acer rubrum 'Dowhall'	Bowhall Red Maple	3'-3 1/2' Cal	B&B	Full
AS	38	Acer saccharum 'Bonfire'	Bonfire Sugar Maple	3'-3 1/2' Cal	B&B	Full
FP	21	Fraxinus pennsylvanica 'Marshall's Seedless'	Marshall's Seedless Ash	3'-3 1/2' Cal	B&B	Full
QP	42	Quercus phellos	Willow Oak	3'-3 1/2' Cal	B&B	Full
<b>Minor Deciduous Tree:</b>						
CK	20	Cornus kousa	Kousa Dogwood	2'-2 1/2' Cal	B&B	Full
MS	8	Magnolia soulangiana	Saucer Magnolia	2'-2 1/2' Cal	B&B	Full
PR	47	Prunus serrulata 'Kwanzan'	Kwanzan Cherry	2'-2 1/2' Cal	B&B	Full
<b>Evergreen:</b>						
PA	67	Picea abies	Norway Spruce	7'-8' Ht.	B&B	Full
<b>Shrub:</b>						
TM	119	Taxus x media 'Hickelii'	Upright Yew	24' Ht.	Container	S.O.C.

N 980000  
E 130000



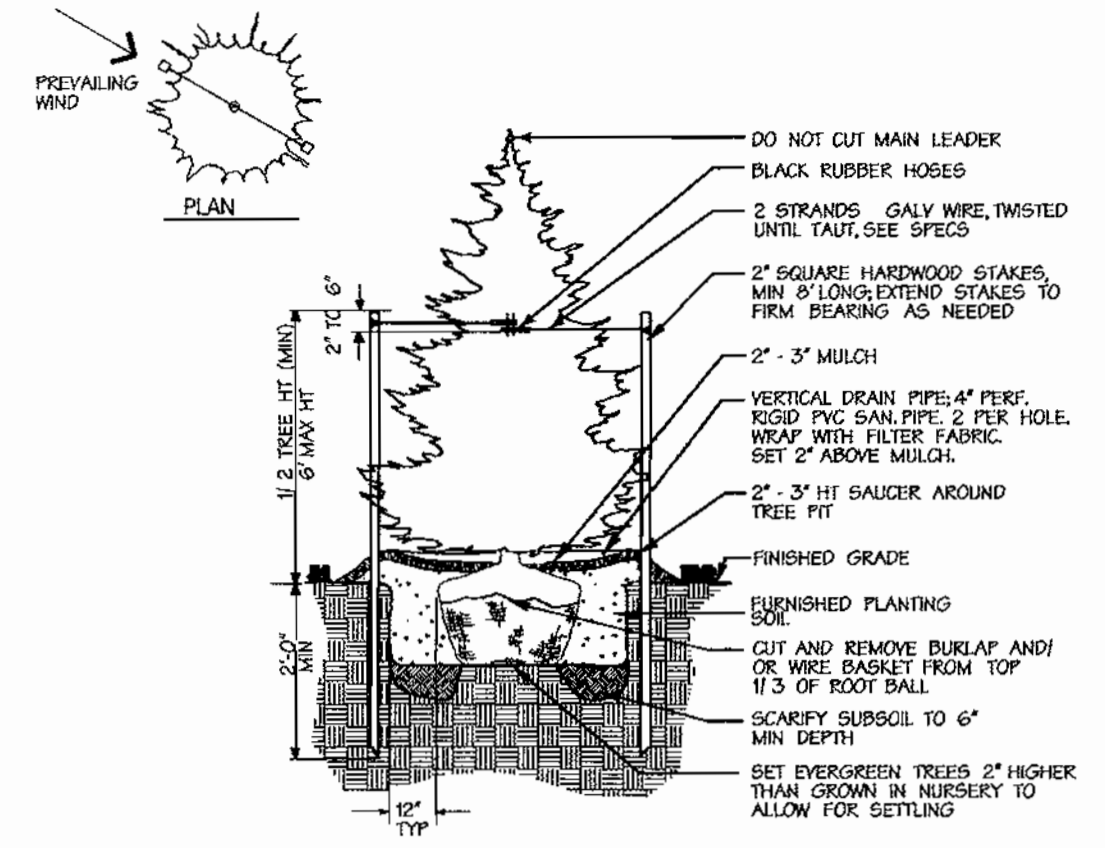
FENCE DETAIL

Not To Scale



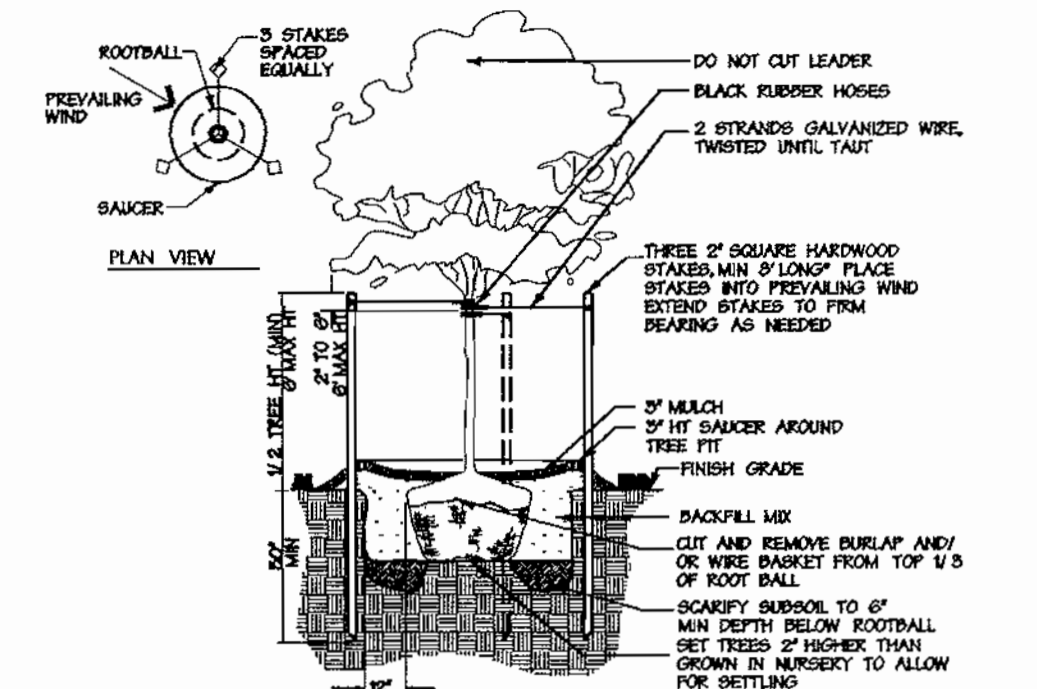
SHRUB BED PLANTING

NOT TO SCALE



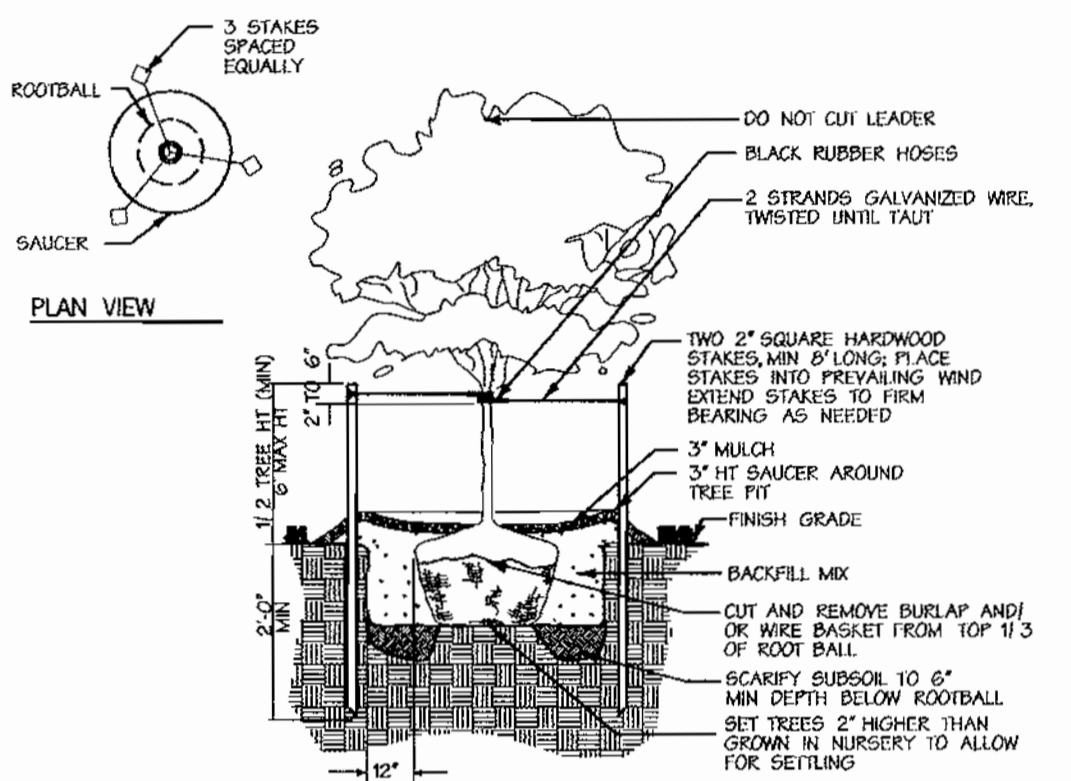
EVERGREEN TREE PLANTING

NOT TO SCALE



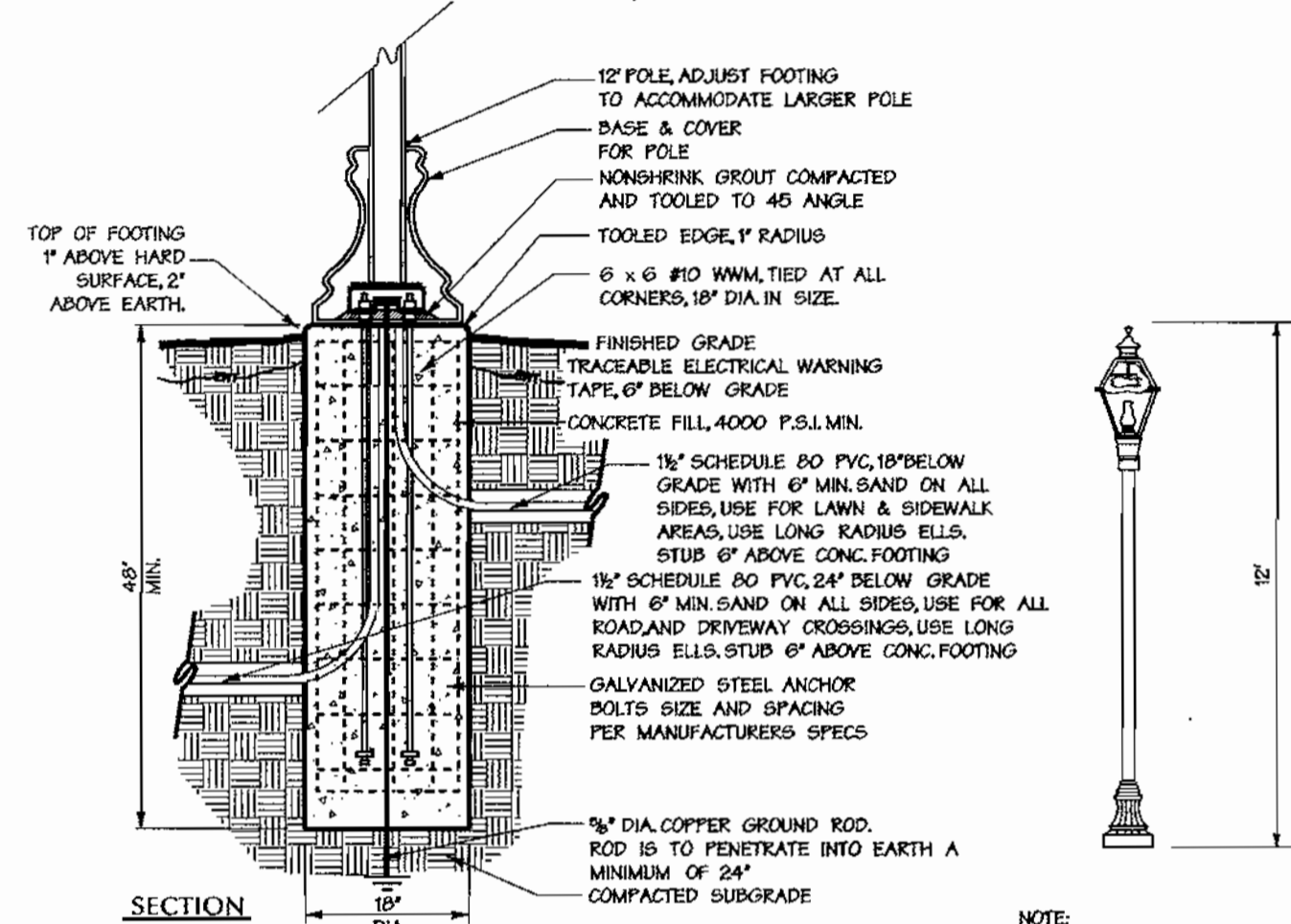
TREE PLANTING - Greater Than 3" Caliper

NOT TO SCALE



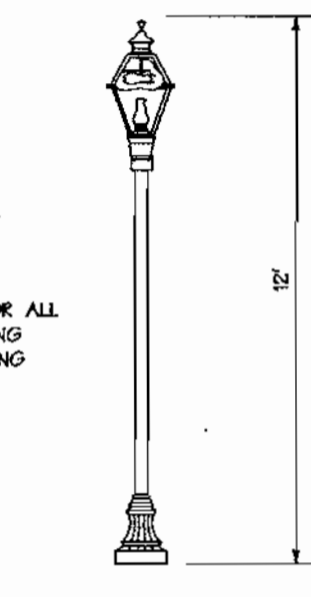
TREE PLANTING - Less Than 3" Caliper

NOT TO SCALE

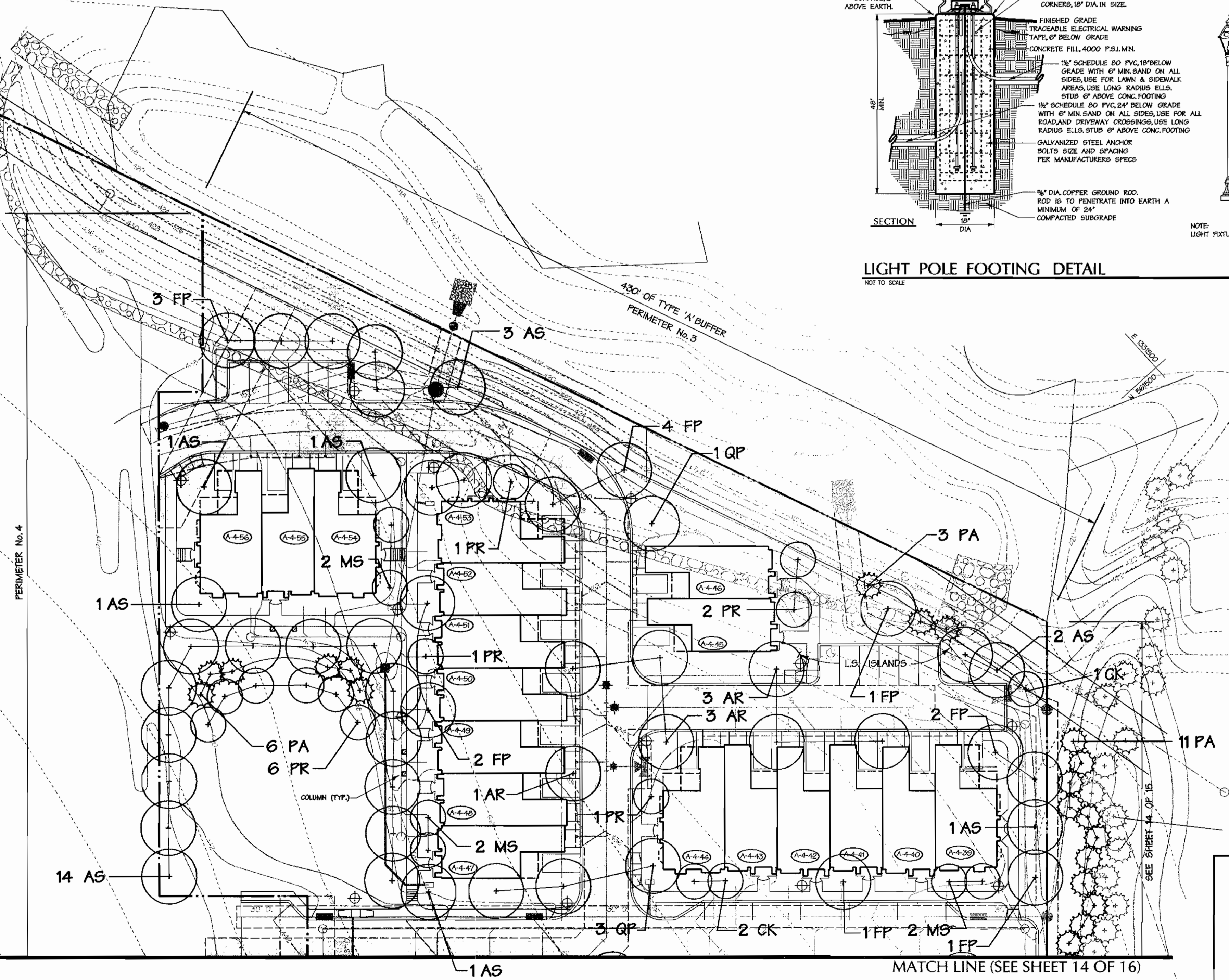


LIGHT POLE FOOTING DETAIL

NOT TO SCALE



N 980000  
E 130000



MATCH LINE (SEE SHEET 14 OF 16)

MATCH LINE (SEE SHEET 14 OF 16)

9.21.00

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*John DeMunnis* 3/2/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

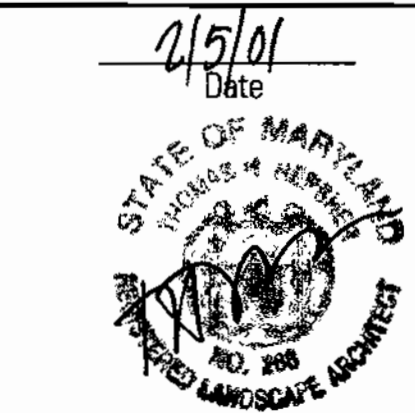
*Condy Stranitz* 3/6/01  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*David Rantz* 3/6/01  
DIRECTOR DATE

Date	No.	Revision Description
		COLUMBIA
		<b>VILLAGE OF RIVER HILL</b>
		SECTION 4 AREA 1 PARCEL A-4 BUILDING 1-11 UNITS A-4-1 THRU A-4-56
		OWNER/DEVELOPER: Beazer Homes, Inc. 8965 Gullford Road Suite 290 Columbia, Maryland 21046
		CONTRACT PURCHASER: Beazer Homes, Inc. 8965 Gullford Road Suite 290 Columbia, Maryland 21046

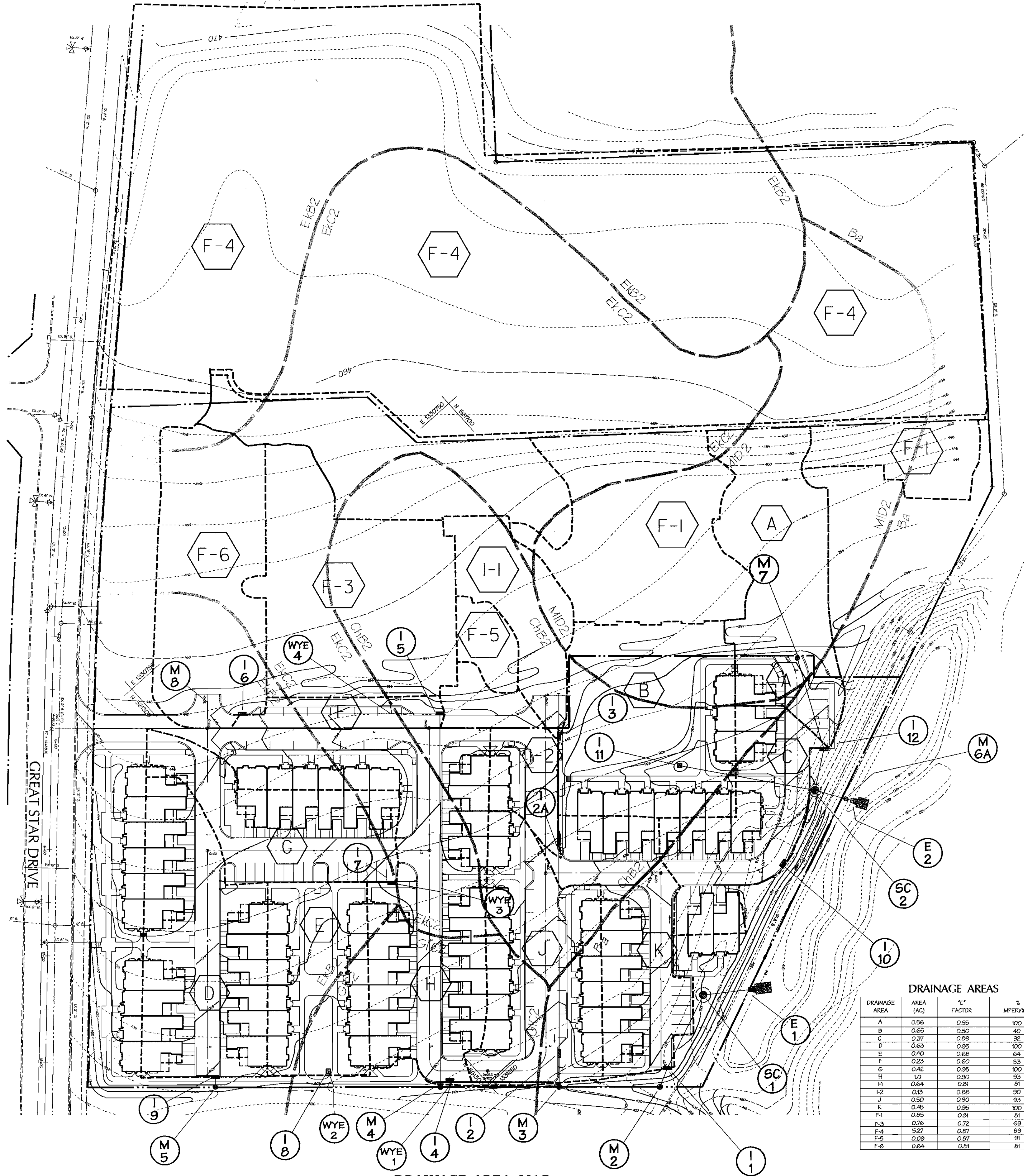
**DMW**  
Duff, McCune, Walker, Inc.  
200 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 296-3833  
Fax 296-4705

A Team of Land Planners,  
Landscape Architects,  
Golf Course Architects,  
Engineers, Surveyors &  
Environmental Professionals



TITLE: LANDSCAPE PLAN			
Des. By: MJP	Scale: 1"=30'	Date: 2/06/2001	Proj. No. 00015.A
Drn. By: KDE/MSS	Date: 2/06/2001	Professional La. No. <i>268</i>	15 of 16
Chk. By:	Approved:		

Mon Feb 5 16:54:37 2001 m:\00015\00015.dwg



**DRAINAGE AREA MAP**  
SCALE: 1" = 50'

DRAINAGE AREA	AREA (AC)	"C" FACTOR	% IMPERVIOUS
A	0.56	0.95	100
B	0.65	0.50	40
C	0.37	0.89	32
D	0.63	0.95	100
E	0.40	0.60	64
F	0.23	0.60	63
G	0.42	0.95	100
H	1.0	0.90	90
I-1	0.64	0.81	81
I-2	0.13	0.80	80
J	0.50	0.90	90
K	0.49	0.95	100
F-1	0.25	0.81	81
F-3	0.76	0.72	69
F-4	5.27	0.87	89
F-5	0.29	0.87	81
F-6	0.64	0.81	81

### Precast Concrete Order Request Form

**Contractor Information**  
Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_  
State: \_\_\_\_\_  
Zip Code: \_\_\_\_\_  
Contact: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_

**Owner Information**  
Name: BEAZER HOMES  
Address: 8965 GULLFORD RD. SUITE 290  
COLUMBIA, MD. 21046  
Phone: 410-296-3659  
Fax: 410-296-4705

**Stormceptor Details**

Stormceptor Size	Manhole Number
900 <input type="checkbox"/> 3600 <input checked="" type="checkbox"/>	562
1200 <input type="checkbox"/> 4800 <input type="checkbox"/>	4507
1800 <input type="checkbox"/> 6000 <input type="checkbox"/>	324.63
2400 <input type="checkbox"/> 7200 <input type="checkbox"/>	424.59
	32" <input type="checkbox"/>
	44" <input type="checkbox"/>
	CUSTOM <input type="checkbox"/>

**Project Name:** VILLAGE OF RIVER HILL  
**Approximate time frame of delivery (weeks):** \_\_\_\_\_  
**Delivery Address Street:** GREAT STAR DRIVE  
**City:** COLUMBIA **State:** M.D. **Zip Code:** 21046  
**Designer Company:** DAFI-McCUNE AND WALKER  
**Designer Contact:** MIKE WILLIAMS Phone: 410-296-3333 Fax: 410-296-4705

**PLEASE FILL OUT COMPLETELY AND FAX TO: DMW Hydro Conduit**  
**ATTN: ED O'MALLEY FAX: (703)922-3659, PHONE: (703)971-1900**  
**FOR TECHNICAL ASSISTANCE PLEASE CALL MIKE BARG, PHONE (703)971-1900**

### Precast Concrete Order Request Form

**Contractor Information**  
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City: \_\_\_\_\_  
State: \_\_\_\_\_  
Zip Code: \_\_\_\_\_  
Contact: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_

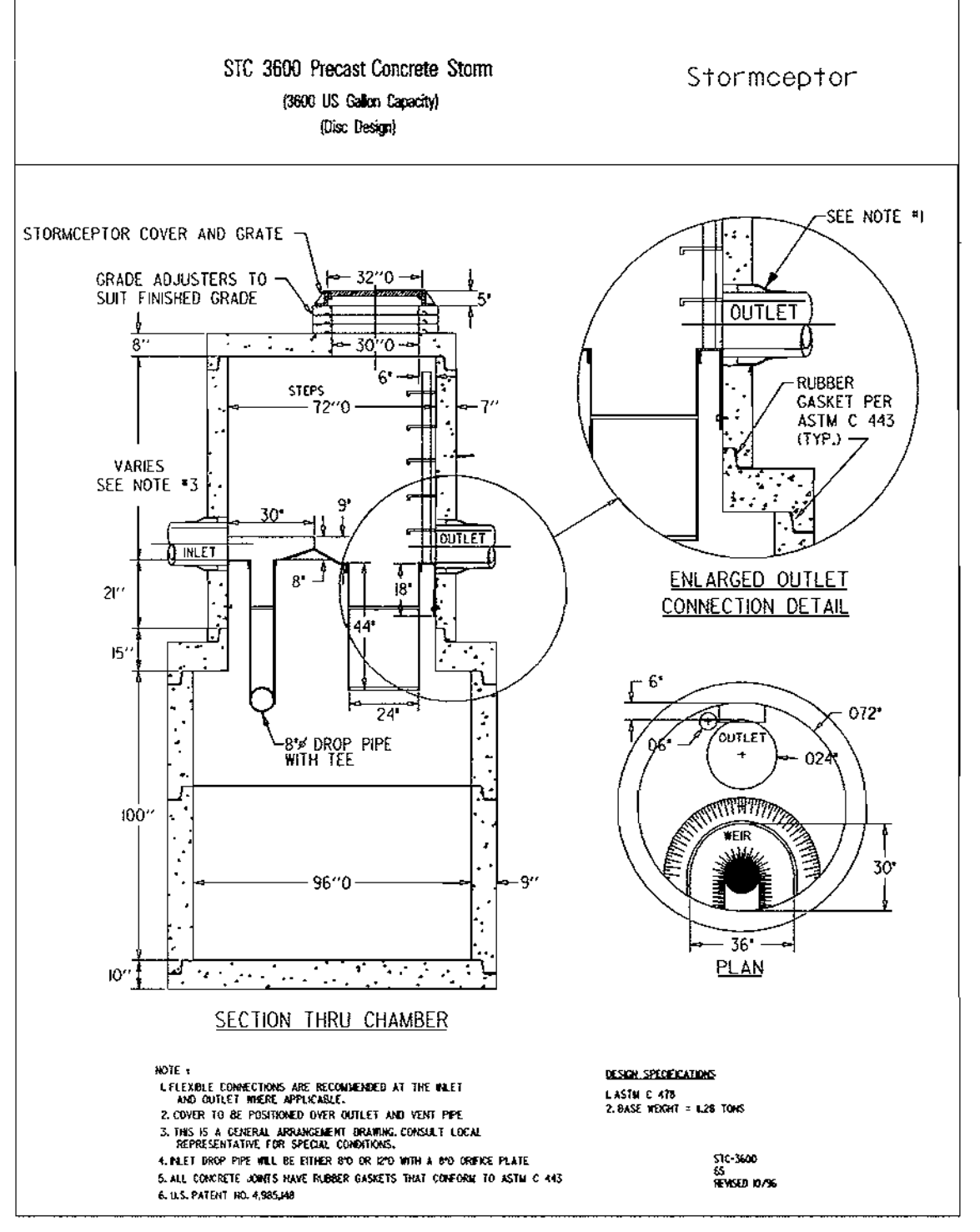
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Name: BEAZER HOMES  
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COLUMBIA, MD. 21046  
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- ### OPERATION AND MAINTENANCE SCHEDULE FOR STORMCEPTOR WATER QUALITY DEVICE
- The Stormceptor water quality structure shall be periodically inspected and cleaned to maintain operation and function. The owner shall inspect the Stormceptor unit yearly at a minimum, utilizing the Stormceptor Inspection/Monitoring Form. Inspection shall be done by using a clear Plexiglas tube ("sludge judge") to extract a water column sample. When the sediment depths exceed the level specified in Table 6 of the Stormceptor Technical Manual, the unit must be cleaned.
  - The Stormceptor water quality structure shall be checked and cleaned immediately after petroleum spills. The owner shall contact the appropriate regulatory agencies.
  - The maintenance of the Stormceptor unit shall be done using a vacuum truck which will remove the water, sediment, debris, floating hydrocarbons and other materials in the unit. Proper cleaning and disposal of the removed materials and liquid must be followed by the owner.
  - The inlet and outlet pipes shall be checked for any obstructions at least once every six months. If obstructions are found, the owner shall have them removed. Structural parts of the Stormceptor units shall be repaired as needed.
  - The owner shall retain and make the Stormceptor Inspection/Monitoring Forms available to the Howard County officials upon their request.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*[Signature]* 3/26/01  
CHIEF DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 7/6/01  
CHIEF DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 3/6/01  
DIRECTOR DATE

Date: \_\_\_\_\_ No. \_\_\_\_\_ Revision Description

COLUMBIA

### VILLAGE OF RIVER HILL

SECTION 4 AREA 1 PARCEL A-4  
BUILDING 1-11 UNITS A-4-1 THRU A-4-56

**OWNER/DEVELOPER:** Beazer Homes, Inc.  
8965 Gullford Road  
Suite 290  
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**CONTRACT PURCHASER:** Beazer Homes, Inc.  
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Columbia, Maryland 21046

**DMW**  
DAFI-McCUNE-WALKER, INC.  
300 East Pennsylvania Avenue  
Fossom, Maryland 21086  
(410) 296-3333  
Fax 296-4705

**A Team of Land Planners, Landscape Architects, Golf Course Architects, Engineers, Surveyors & Environmental Professionals**

**TITLE: DRAINAGE AREA MAP, SOIL CLASSIFICATIONS & TRAFFIC MAINTENANCE PLAN**

Des. By: MJP Scale: 1"=50' Proj. No. 00015.A  
Dm. By: KDE/MSS Date: 2/06/2001  
Chk. By: \_\_\_\_\_ Approved

Professional Engr. No. 10551

16 of 16

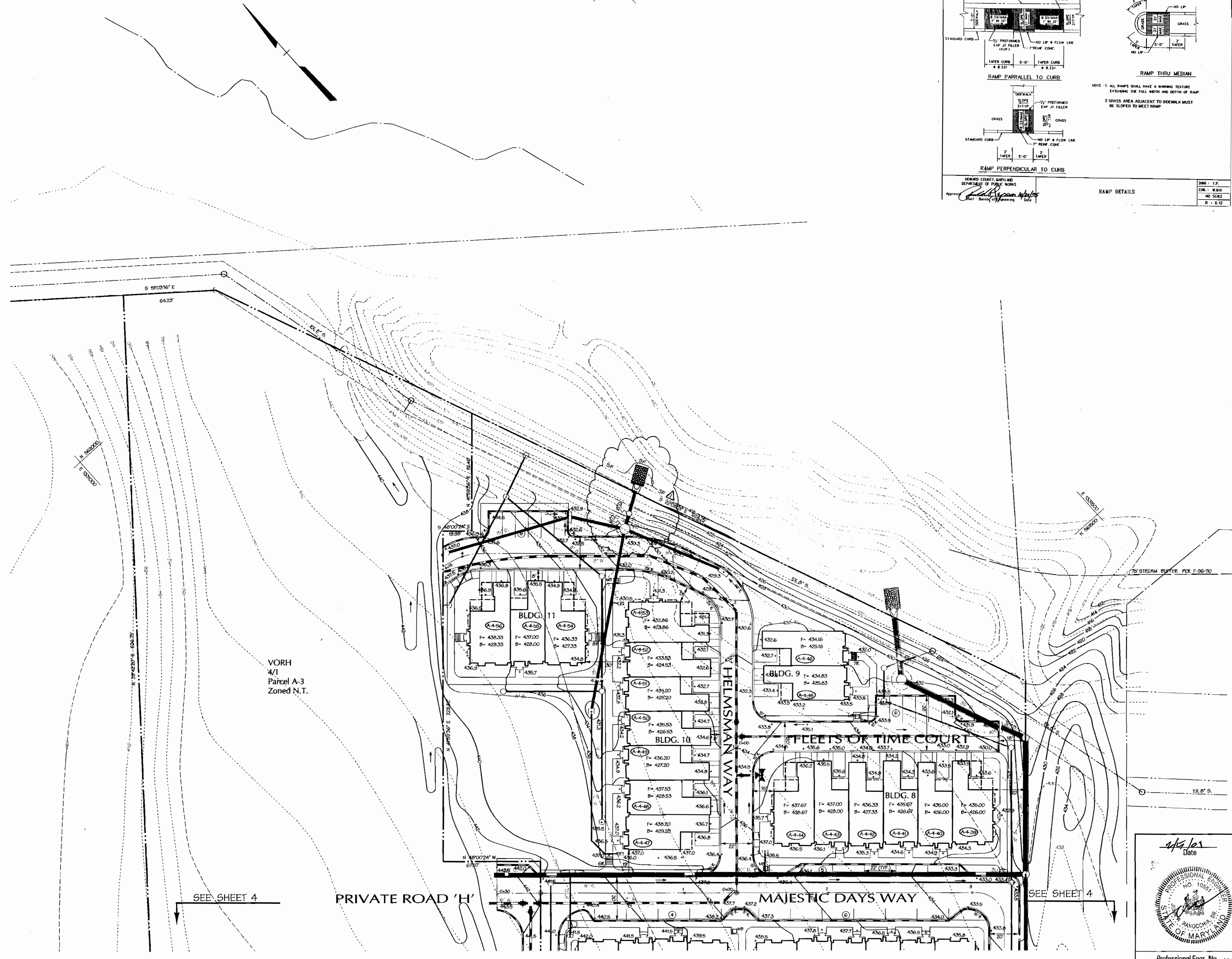
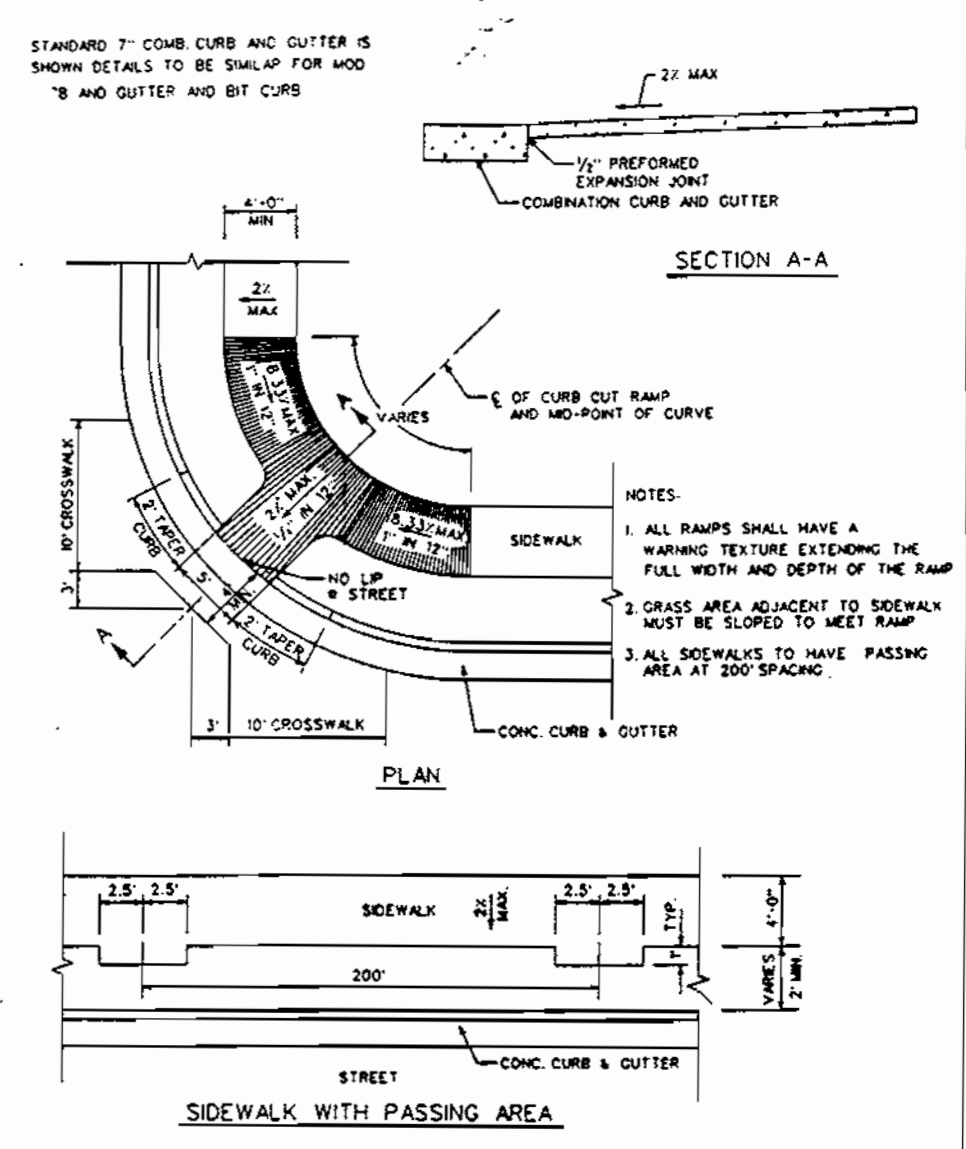
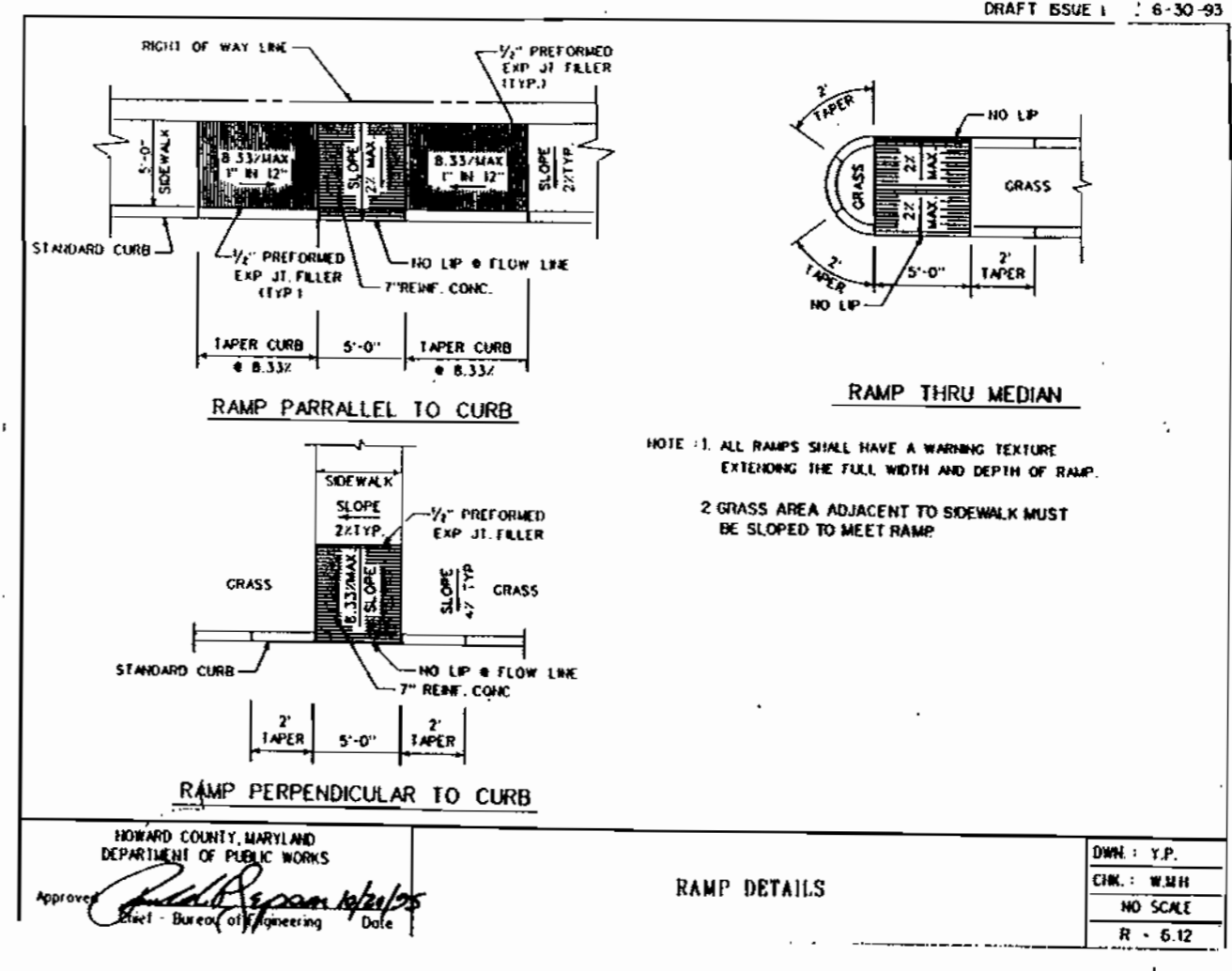
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Mon Feb 5 15:38:51 2001



N 982020 E 133000

DRAFT ISSUE 1 6-30-93



HOWARD COUNTY, MARYLAND  
DEPARTMENT OF PUBLIC WORKS  
Approved: *[Signature]*  
Chief - Bureau of Engineering Date: \_\_\_\_\_

**LEGEND**

--- 370	10' EXISTING CONTOUR
--- 374	2' EXISTING CONTOUR
--- 370	10' PROPOSED CONTOUR
--- 372	2' PROPOSED CONTOUR
---	STANDARD CURB & GUTTER
---	REVERSE CURB & GUTTER 8:0/1
---	DEPRESSED CURB 8:0/1
---	24" S.D. PROPOSED STORM DRAIN
---	8" S. PROPOSED SEWER
---	8" W. PROPOSED WATER
⊙	PARKING COUNT
⊙	MAINTENANCE PICK-UP AREA

**APPROVED**  
DATE: 9-21-00

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 Chief, Development Engineering Division: *[Signature]* 3/2/01  
 Chief, Division of Land Development: *[Signature]* 3/6/01  
 Director: *[Signature]* 3/6/01

05/10/01 | MOVE E2 & H6A CLOSER TO SCZ

Revision Description  
 COLUMBIA  
**VILLAGE OF RIVER HILL**  
 SECTION 4 AREA 1 PARCEL A-4  
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 Dean McCusker-Walker, Inc.  
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 Towson, Maryland 21286  
 (410) 296-3333  
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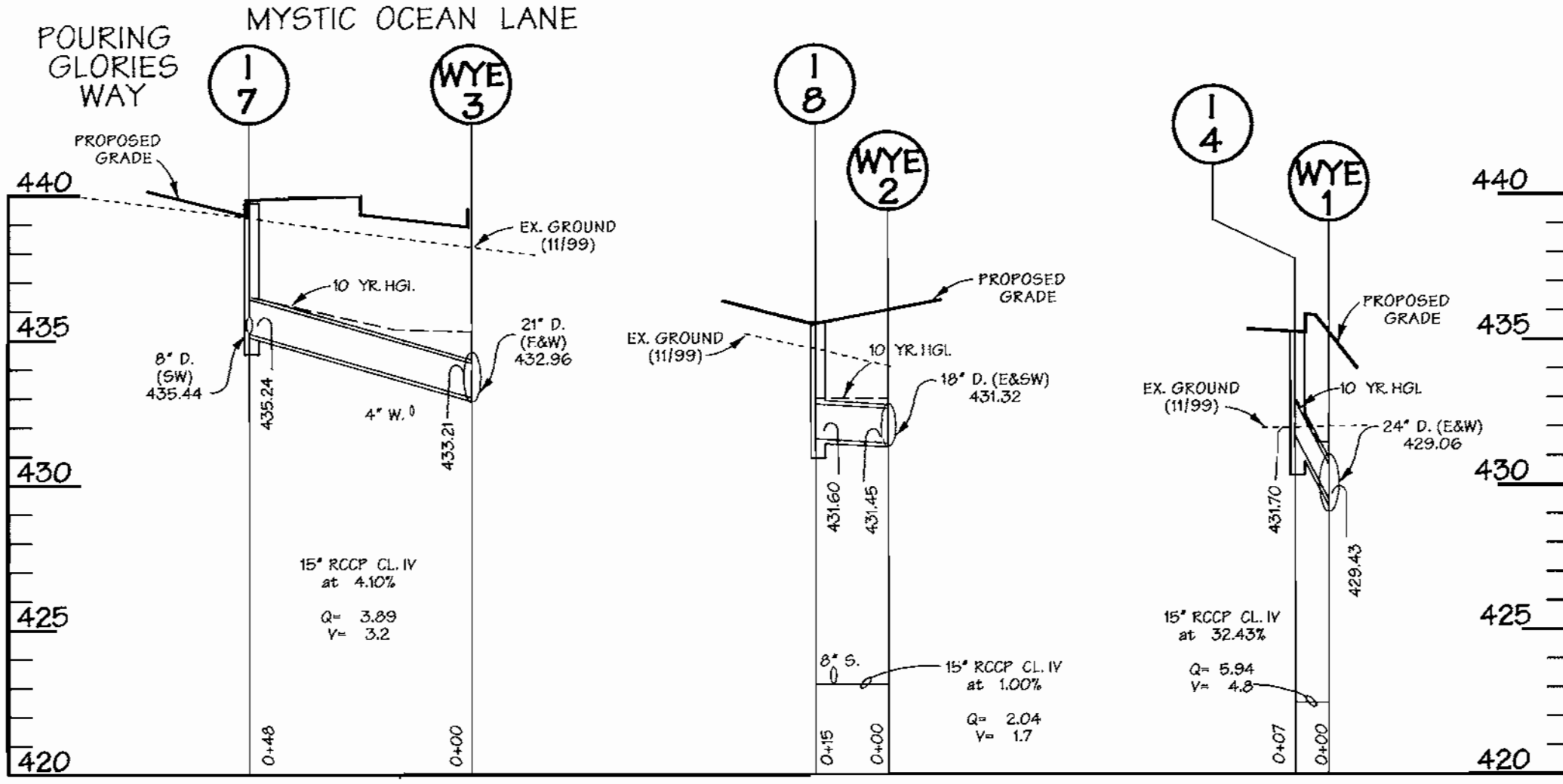
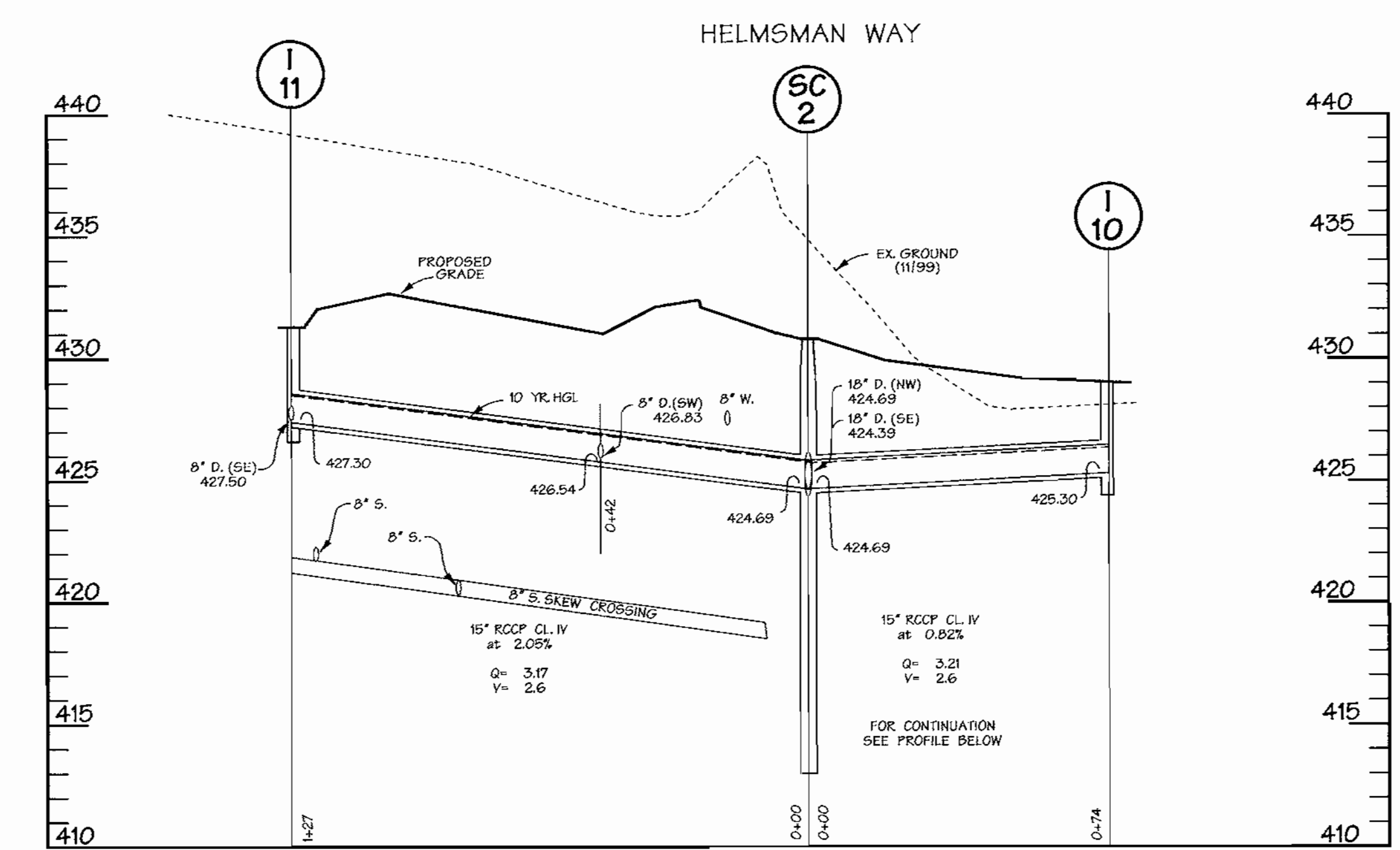
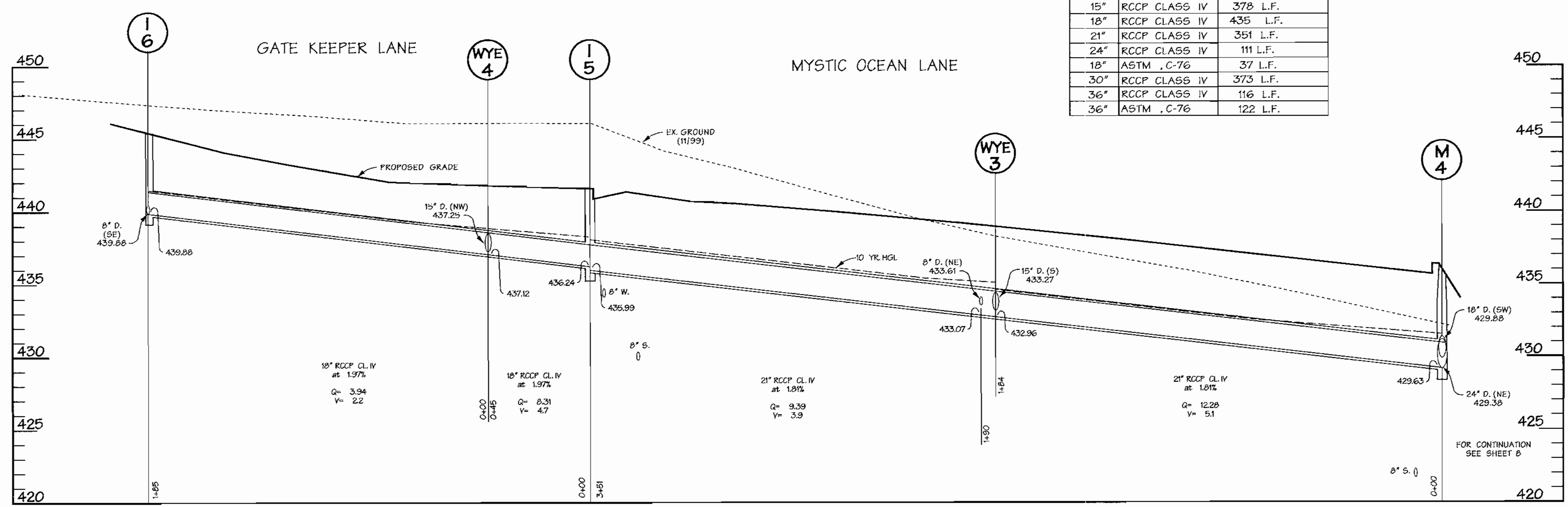
4/6/01  
 Date  
  
 Professional Engr. No. 10551

TITLE: **GRADING PLAN**

Des. By	MJP	Scale	1"=30'	Proj. No.	00015.A
Dwn. By	KDE/MSG	Date	2/06/2001		
Chk. By	Approved				5 of 16

Mon Feb 5 11:59:07 2001 n:\00015\00015.dwg

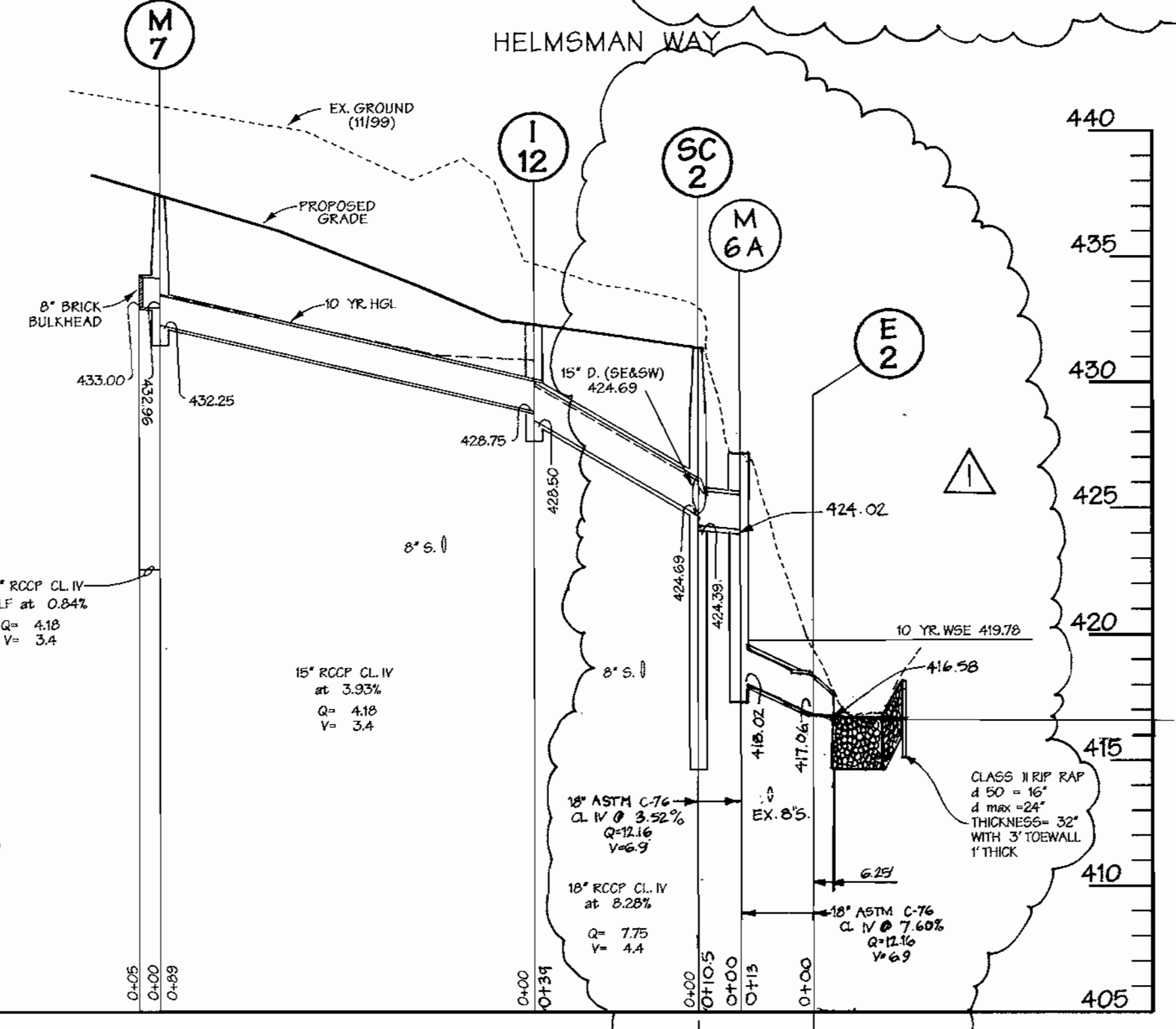
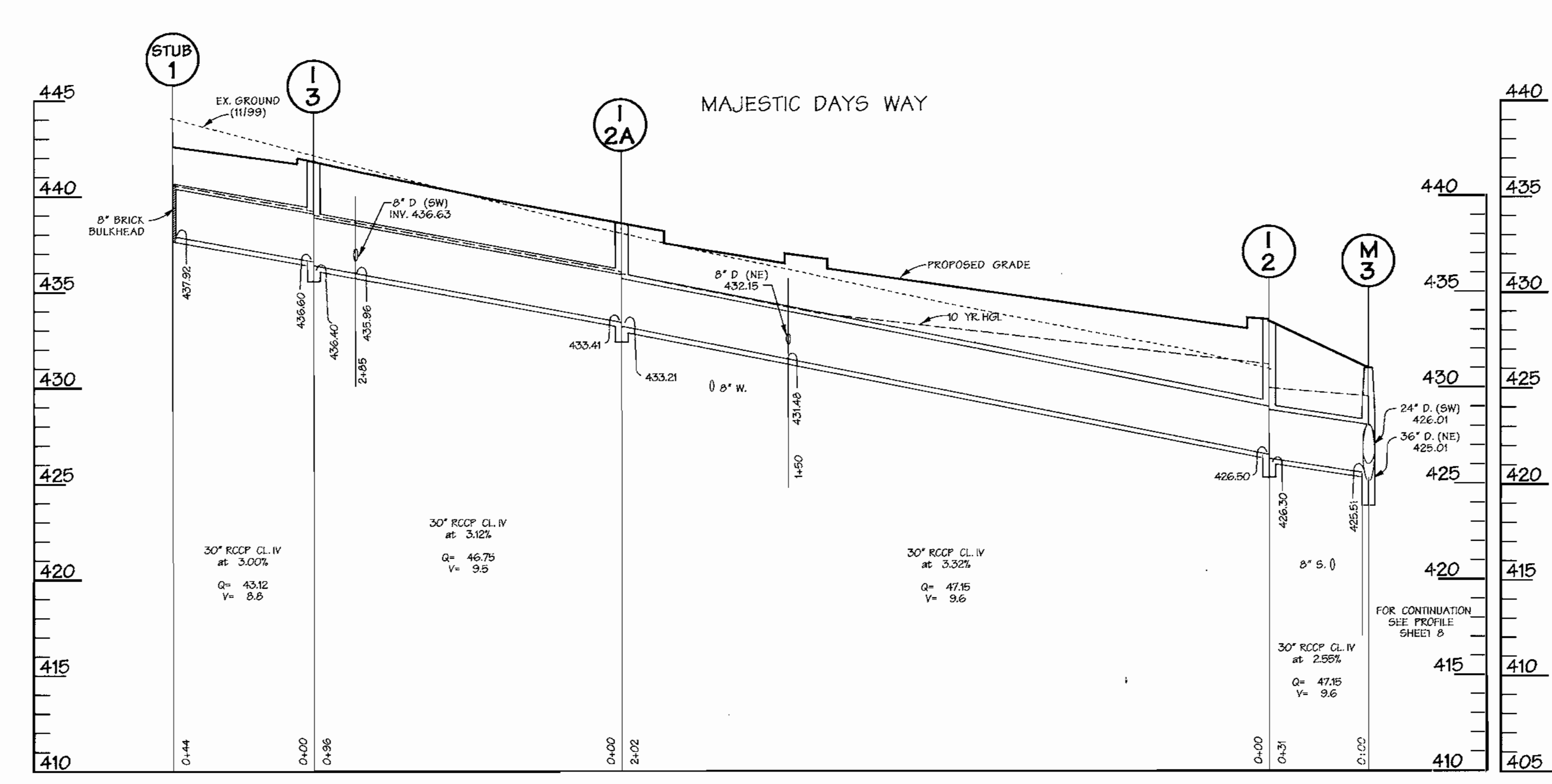
SIZE	TYPE & CLASS	LENGTH
15"	RCCP CLASS IV	378 L.F.
18"	RCCP CLASS IV	435 L.F.
21"	RCCP CLASS IV	351 L.F.
24"	RCCP CLASS IV	111 L.F.
18"	ASTM C-76	37 L.F.
30"	RCCP CLASS IV	373 L.F.
36"	RCCP CLASS IV	116 L.F.
36"	ASTM C-76	122 L.F.



NO.	TYPE	Q	INV. OUT	TOP ELEV. (TC)	WIDTH	LOCATION	DETAIL
I-1	A-10	4.17	421.29	431.50	2'-6"	FLEETS OF TIME CT. STA 1+81	HO CO STD SD 4.41
I-2	A-10	3.38	426.30	433.50	3'-0"	MAJESTIC DAYS WAY, STA 4+34	HO CO STD SD 4.41
I-3	A-10	1.41	436.40	441.70	3'-0"	MAJESTIC DAYS WAY, STA 7+36	HO CO STD SD 4.41
I-4	DOUBLE 'S' COMB	5.94	431.70	435.80	---	MYSTIC OCEAN LANE, STA 3+36	HO CO STD SD 4.34
I-5	A-10	1.35	435.99	441.40	2'-6"	GATE KEEPER LANE, STA 3+60	HO CO STD SD 4.41
I-6	A-10	3.84	439.88	445.75	2'-6"	GATE KEEPER LANE, STA 1+80	HO CO STD SD 4.41
I-7	A-10	3.89	435.24	439.50	2'-6"	POURING GLORIES WAY, STA 1+72	HO CO STD SD 4.41
I-8	'S'	2.04	431.60	435.60	Grate	N 561190 E 1331134	HO CO STD SD 4.42
I-9	A-10	5.84	433.80	438.30	2'-6"	PERFECT CALM COURT, STA 3+26	HO CO STD SD 4.41
I-10	DOUBLE 'S' COMB	3.21	425.30	429.80	---	HELMSMAN WAY, STA 2+30	HO CO STD SD 4.34
I-11	'S'	3.17	427.30	431.30	Grate	N 561633 E 1331147	HO CO STD SD 4.42
I-12	A-10	5.19	428.50	432.90	3'-0"	HELMSMAN WAY, STA 3+40	HO CO STD SD 4.41
I-2A	A-10	0.87	433.21	438.50	3'-0"	MAJESTIC DAYS WAY, STA 6+40	HO CO STD SD 4.41
N1	9" SQUARE GRATE	0.12	437.50	441.50	Grate	12" GATE KEEPER LANE, STA 4+33 21' RT	NDS 1040
N2	9" SQUARE GRATE	0.08	434.50	438.50	Grate	12" MYSTIC OCEAN LANE, STA 1+46 30' LT	NDS 1040
N3	9" SQUARE GRATE	0.04	436.00	440.00	Grate	12" POURING GLORIES WAY, STA 1+35 41' RT	NDS 1040
N4	9" SQUARE GRATE	0.12	439.00	443.00	Grate	12" PERFECT CALM COURT, STA 1+57 30' LT	NDS 1040
N5	9" SQUARE GRATE	0.04	440.96	445.00	Grate	12" PERFECT CALM COURT, STA 0+32 24' LT	NDS 1040
N6	9" SQUARE GRATE	0.12	442.00	445.00	Grate	12" PERFECT CALM COURT, STA 0+35 31' RT	NDS 1040
N7	9" SQUARE GRATE	0.12	438.00	442.00	Grate	12" PERFECT CALM COURT, STA 2+14 29' LT	NDS 1040
N8	9" SQUARE GRATE	0.12	432.80	435.50	Grate	12" HELMSMAN WAY, STA 0+28 20' RT	NDS 1040
N9	9" SQUARE GRATE	0.34	426.90	430.50	Grate	12" N 561675.00 E 1331212.79	NDS 1040
N10	9" SQUARE GRATE	0.08	432.50	436.00	Grate	12" MAJESTIC DAYS WAY, STA 0+55 27' LT	NDS 1040

NO.	TYPE	SIZE	INV. OUT	TOP ELEV.	LOCATION	DETAIL
E-1	CONC. END SECTION	36"	417.25	417.25	HO CO STD SD 5.51	N 561540 E 1331346
E-2	CONC. END SECTION	18"	416.07	416.07	HO CO STD SD 5.51	N 561656 E 1331308
WYE 1	WYE STRUCTURE	15"x24"	429.08	429.08	HO CO STD SD 1.11	---
WYE 2	WYE STRUCTURE	15"x18"	431.15	431.15	HO CO STD SD 1.11	---
WYE 3	WYE STRUCTURE	15"x21"	432.96	432.96	HO CO STD SD 1.11	---
SC1	STORMCEPTOR		418.70	418.70	HO CO STD SD 4.41	---
SC2	STORMCEPTOR		424.39	424.39	HO CO STD SD 4.41	---
WYE 4	WYE STRUCTURE	15"x18"	437.12	437.12	HO CO STD SD 1.11	---

NO.	TYPE	SIZE	INV. OUT	TOP ELEV.	LOCATION	DETAIL
M-2		60"	421.80	427.02	N 561418 E 1331359	HO CO STD G 5.13
M-3		60"	425.01	431.00	MAJESTIC DAYS WAY, STA 4+22 28' RT	HO CO STD G 5.13
M-4		60"	429.38	436.00	MYSTIC OCEAN LANE, STA 3+26 15' RT	HO CO STD G 5.13
M-5		48"	432.57	437.00	N 561107 E 1331080	HO CO STD G 5.12
M-7		48"	432.25	437.08	HELMSMAN WAY, STA 4+13 ON CL	HO CO STD G 5.12
M-6A	*	48"	418.02	427.00	---	HO CO STD G 5.12



**STORM DRAIN PROFILES**  
 SCALE: HOR.: 1"=30'  
 VERT.: 1"=5'

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DIRECTOR

APPROVED: 9.21.00  
 APPROVED: 3/2/01  
 APPROVED: 3/6/01  
 APPROVED: 3/6/01

05/10/01 | MOVED E2 & M6A, ADDED A DROP IN M6A  
 TO 1/16" SLOPE OF STORM DRAINS

Date No. Revision Description

COLUMBIA

**VILLAGE OF RIVER HILL**

SECTION 4 AREA 1 PARCEL A-4  
 BUILDING 1-11 UNITS A-4-1 THRU A-4-56

OWNER/DEVELOPER: Beazer Homes, Inc.  
 8965 Gullford Road Suite 290  
 Columbia, Maryland 21046

CONTRACT PURCHASER: Beazer Homes, Inc.  
 8965 Gullford Road Suite 290  
 Columbia, Maryland 21046

**DMW**  
 Draft-McCune-Walker, Inc.  
 200 East Pennsylvania Avenue  
 Towson, Maryland 21286  
 (410) 296-3833  
 Fax 296-4705

A Team of Land Planners, Landscape Architects, Golf Course Architects, Engineers, Surveyors & Environmental Professionals

TITLE: **STORM DRAIN PROFILES**

Des. By: MJP Scale: As Shown Proj. No. 00015.A  
 Dwn. By: KDE/MSS Date: 2/06/2001  
 Chk. By: Approved

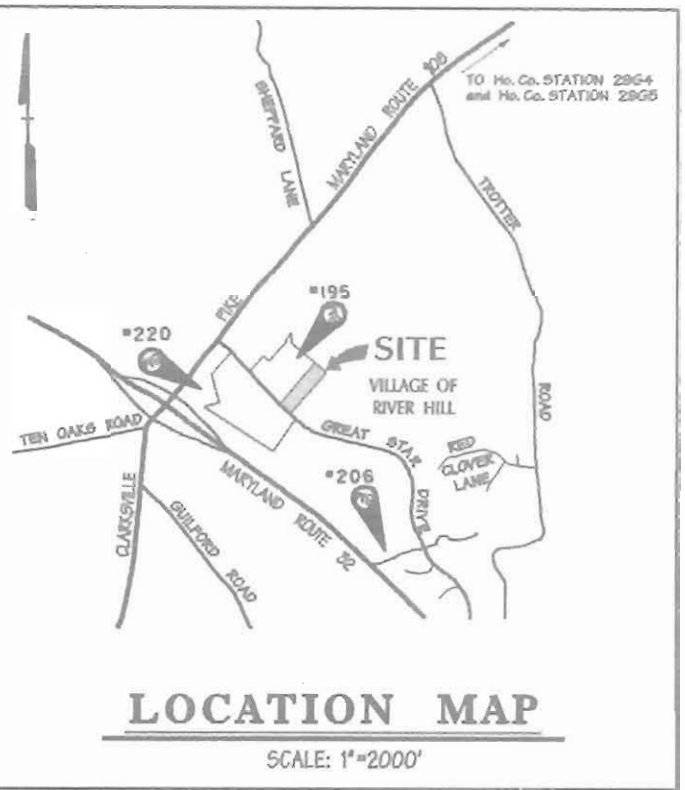
Professional Engr. No. 10551

7 of 16

Mon Feb 5 14:27:14 2007 m:\00015\00015.dwg

ADDRESS CHART			
LOT NO.	STREET ADDRESS	LOT NO.	STREET ADDRESS
A-4-1	5900 PEBBLE CANYON CR.	A-4-20	5721 MYSTIC OCEAN LAKE
A-4-2	5902 "	A-4-21	5722 "
A-4-3	5904 "	A-4-22	5723 "
A-4-4	5906 "	A-4-23	5724 "
A-4-5	5908 "	A-4-24	5725 "
A-4-6	5910 "	A-4-25	5726 "
A-4-7	5912 "	A-4-26	5727 "
A-4-8	5914 "	A-4-27	5728 "
A-4-9	5916 "	A-4-28	5729 "
A-4-10	5918 "	A-4-29	5730 "
A-4-11	5920 "	A-4-30	5731 "
A-4-12	5922 "	A-4-31	5732 "
A-4-13	5924 "	A-4-32	5733 "
A-4-14	5926 "	A-4-33	5734 "
A-4-15	5928 "	A-4-34	5735 "
A-4-16	5930 "	A-4-35	5736 "
A-4-17	6001 PARKING QUORIS WAY	A-4-36	6010 HELMSTADT WAY
A-4-18	6003 "	A-4-37	6012 "
A-4-19	6005 "	A-4-38	6014 "
A-4-20	6007 "	A-4-39	6016 "
A-4-21	6009 "	A-4-40	6018 "
A-4-22	6011 "	A-4-41	6020 "
A-4-23	6013 MYSTIC OCEAN LAKE	A-4-42	6022 "
A-4-24	6015 "	A-4-43	6024 "
A-4-25	6017 "	A-4-44	6026 "
A-4-26	6019 "	A-4-45	6028 "
A-4-27	6021 "	A-4-46	6030 "
A-4-28	6023 "	A-4-47	6032 "

# SITE DEVELOPMENT PLAN COLUMBIA VILLAGE OF RIVER HILL SECTION 4 AREA 1 PHASE 1 PARCEL A-4 5th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

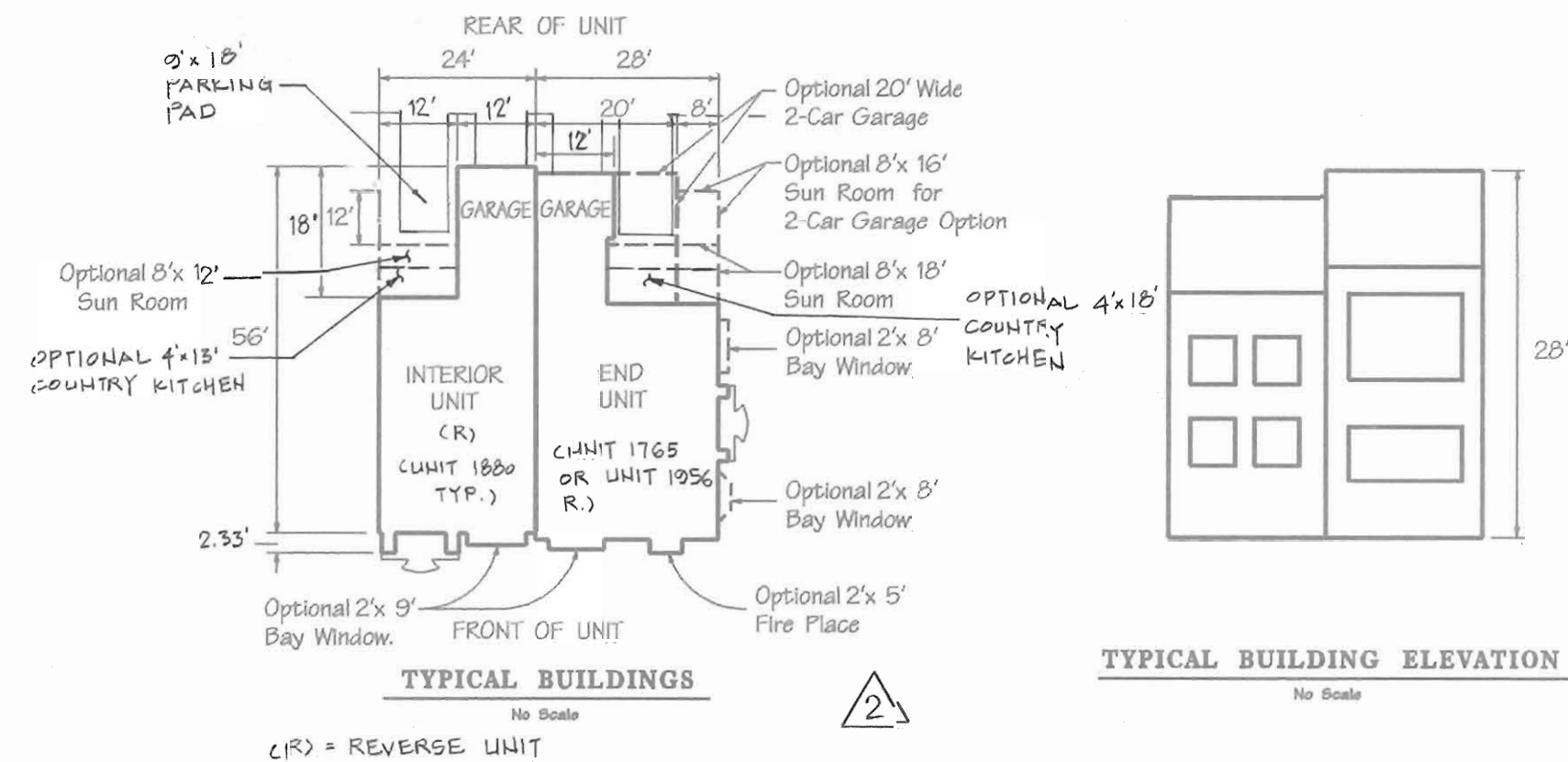


BENCHMARK		
POINT #	DESCRIPTION	ELEV.
195	1/2"x8" REBAR w/ TRAV. CAP	445.28 N 56932.09 E 133338.577
206	1/2"x8" REBAR w/ TRAV. CAP	374.53 N 55936.249 E 1332328.583
220	1/2"x8" REBAR w/ TRAV. CAP	451.34 N 56238.646 E 1328635.522

SHEET INDEX	
SHEET	DESCRIPTION
1	COVER SHEET
2	SITE DEVELOPMENT PLAN
3	SITE DEVELOPMENT PLAN
4	GRADING PLAN
5	GRADING PLAN
6	SITE DETAILS & DRAIN PROFILES
7	STORM DRAIN PROFILES
8	STORM DRAIN & SEWER PROFILES
9	SEWER PROFILES
10	EROSION & SEDIMENT CONTROL PLAN
11	EROSION & SEDIMENT CONTROL PLAN
12	EROSION & SEDIMENT CONTROL DETAILS
13	EROSION & SEDIMENT CONTROL DETAILS
14	LANDSCAPE PLAN
15	LANDSCAPE PLAN
16	DRAINAGE AREA MAP, SOIL CLASSIFICATIONS, & TRAFFIC MAINTENANCE PLAN

### SITE ANALYSIS :

- Zoning: New Town Per FDP Ph. 222-A-1, Part 1
  - Project Area: 5.5 Ac. or 239,485 S.F.
  - Area of Submission: 6.8 Ac. or 296,208 S.F.
  - Proposed Use: Townhouse Condominiums
5. Area Tabulation
- |                         |  |
|-------------------------|--|
| Total units allowed     | See General Note # 34                                |
| Total units provided    | 56 townhouses (24'x 56' interior, 28'x 56' exterior) |
| A. Building area =      | 1.6 Ac.  |
| B. Common Open space =  | 3.9 Ac.  |
| C. Limit of Disturbance | 6.8 Ac.  |
| D. Impervious Area      | 3.6 Ac.  |
| E. Green Area           | 3.2 Ac.  |
6. Parking Required: 112 sp. (2 sp./ UN)
6. Parking Provided: 167 sp. (2.9 sp./ UN)
- 112 sp. (garage / driveway)
- 54 sp. (court)

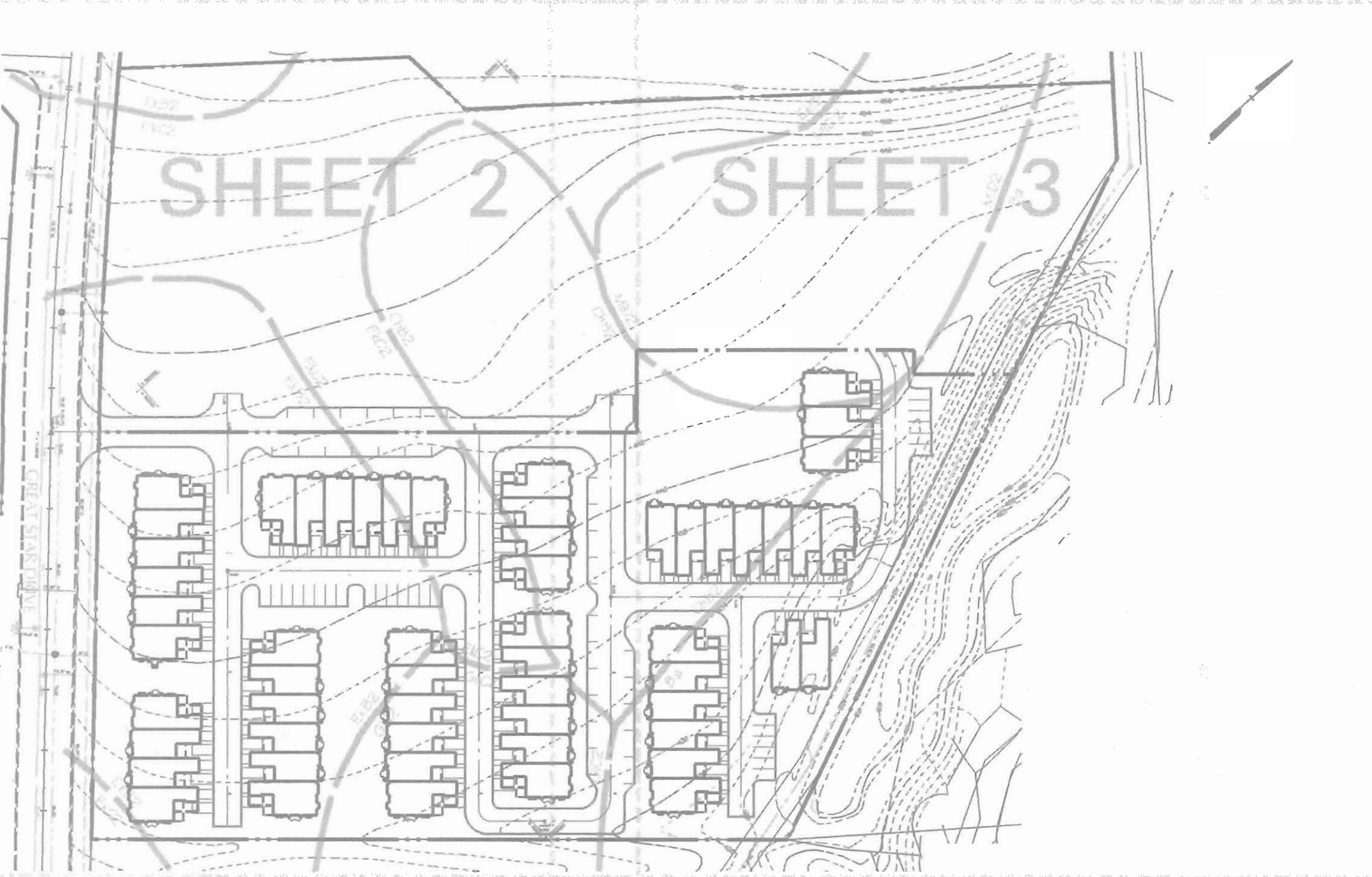


### GENERAL NOTES

- All construction shall be in accordance with the latest standards and specifications of Howard County.
- The contractor shall notify the Bureau of Engineering/Construction Inspection Division at (410) 315-1800 at least five (5) working days prior to the start of work.
- The contractor shall notify 'Miss Utility' at 1-800-257-7777 at least 48 hours prior to any excavation work.
- Traffic control devices, markings, and signing shall be in accordance with the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
- All plan dimensions are to the face of curb unless otherwise noted.
- Topography was field run surveyed by Gutcheck, Little & Weber dated 11/99.
- Coordinates and bearings shown herein are referred to the Maryland Coordinate system (NAD 83) as projected by Howard County Geodetic Control stations No. 29G4 & 29G5.
- Storm water management is provided off-site by extended detention facilities for quantity and quality per F-96-110.
- No wetlands exist within the limits of disturbance.
- The existing utilities were located from available records and field survey prepared by Duff-McCune-Walker, Inc. The contractor must dig test pits, by hand, at all utility crossings and connection points at least 5 days prior to starting work to verify exact location.
- The Soils analysis report was prepared by R. Baltor, Inc.
- Any damage to County owned right-of-way to be corrected at the contractor's expense.
- All sidewalks shall be cross sloped at 1/4 inch per foot.
- Trench bedding for storm drainage structures shall be in accordance with Howard County Standard GZ-01.
- Department of Planning and Zoning reference file numbers: S-93-21, P-95-10, F-96-89 Plat 12692 F-96-110, FDP, Ph 222-A-1, Part 1, Water & Sewer Contract No. 44-3889-D (SOP-00-137).
- All inlets shall be constructed in accordance with Howard County standards or MSHA standards as specified on the structure schedule.
- All materials and construction is to be in accordance with the Howard County Design Manual Volume IV.
- The building setback restrictions from the property lines and right-of-way lines of any public road shall be in accordance with FDP Phase 222-A-1, Part 1.
- All on-site driveways and parking areas to be privately maintained.
- All curb radii are five feet unless otherwise labeled all curbs to be 6" in height.
- All equipment and tools shall be placed as not to interfere with vehicular or pedestrian movement unless specified.
- The contractor shall be responsible for any damage to existing property which may occur as a result of his negligence in the execution of the work.
- All proposed handicap ramps shall be in accordance with the current A.D.A. Standards.
- There is no floodplain on this site.
- Traffic study was prepared by Wells & Associates dated Jan. 20, 1995.
- Public Water is utilized for this site. Meters will be located inside the building. Sewer service is provided by existing 8" sanitary, Contract No. 44-3824-D and 30-3436-D.
- This plan is exempt from Forest Conservation in accordance with Section 16-1202 (10) (1) (v).
- This property is located within the Metropolitan Districts.
- There are no slopes greater than 25% greater than 10,000 contiguous S.F.
- All exterior lighting shall comply with Section 134 of the Howard County Zoning Regulations. Provide (1) 250 watt HPS vapor pendant fixture (cut off) mounted at 30' on bronze fiberglass pole using a 12 arm.
- The site is previously graded under F-96-110.
- All driveways shall be concrete.
- Garages shall be used for parking purposes in accordance with Section 133.D.2 of the Zoning Regulations and FDP Phase 222-A-1, Part 1 criterion 9B-2.
- FDP criteria (FDP Ph. 222-A-1, Part 1)
  - setback from public road: 30'
  - parking spaces required: 112 sp. (2 sp./unit)
  - units allowed on parcels A-2, B-2 & B-3 = 245 units
    - F-97-169 (parcel B-2) = 54
    - F-98-114 (parcel B-3) = 61
    - lots remaining = 171
- Tentative allocations were granted with S-93-21 and permanent allocations for 467 units for 1996 and 15 units for 1997 were granted with F-96-110.
- This plan has been prepared in accordance with the provisions of Section 16.124 of the Ho. Co. code per the new town alternative compliance method. Financial surety for the required landscaping in the amount of \$42,150.00 must be posted as part of the developer's agreement. (95 shade, 50 overgreen)

APPROVED  
DATE: 9.21.00

LEGEND	
--- 37.0	10' EXISTING CONTOUR
--- 37.2	2' EXISTING CONTOUR
--- 37.0	10' PROPOSED CONTOUR
--- 37.2	2' PROPOSED CONTOUR
---	STANDARD CURB & GUTTER
---	REVERSE CURB & GUTTER (P-301)
---	DEPRESSED CURB (P-301)
---	PROPOSED STORM DRAIN
---	PROPOSED SEWER
---	PROPOSED WATER
○	PARKING COUNT
○	MALIBU TRASH PICK-UP AREA ON 5'x7' CONC. PAD
○	LIGHTING BY OTHERS
○	PROP. LIGHT FIXTURE
○	250 - WATT HPS VAPOR PENDANT FIXTURE (CUT-OFF) MOUNTED AT 30' ON A BRONZE FIBER GLASS POLE USING A 12 ARM



VICINITY MAP  
1" = 100'

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING		
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE	5/2/01
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE	3/6/01
DIRECTOR	DATE	3/6/01

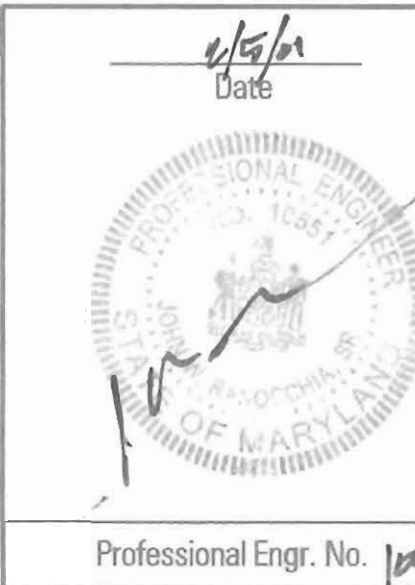
COLUMBIA		
VILLAGE OF RIVER HILL		
SECTION 4 AREA 1 PARCEL A-4		
BUILDING 1-11 UNITS A-4-1 THRU A-4-56		
OWNER/DEVELOPER:	CONTRACT PURCHASER:	
Beazer Homes, Inc.	Beazer Homes, Inc.	
8965 Guilford Road	8965 Guilford Road	
Suite 290	Suite 290	
Columbia, Maryland 21046	Columbia, Maryland 21046	

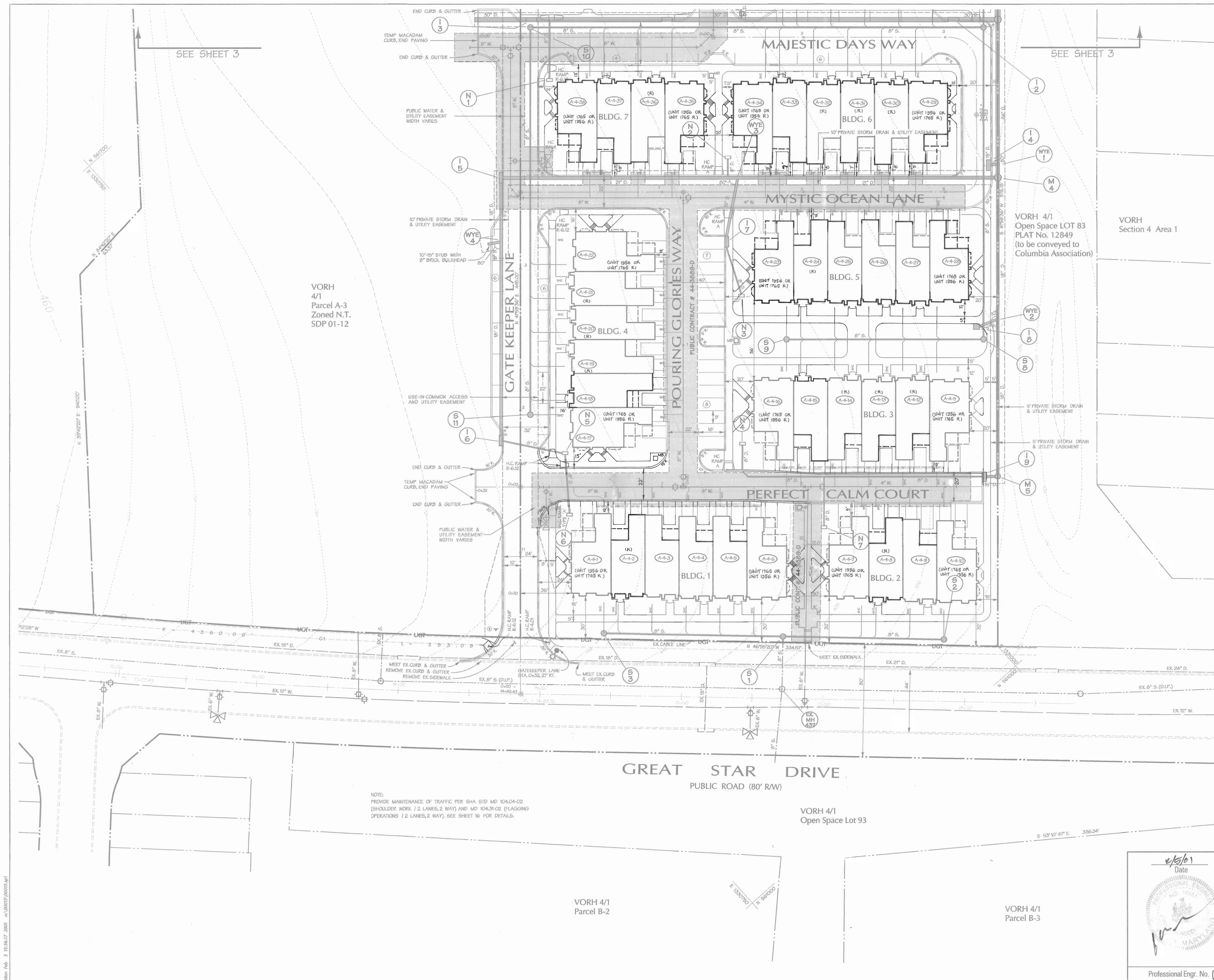
**DMW**  
Duff-McCune-Walker, Inc.  
300 East Pennsylvania Avenue  
Towson, Maryland 21286  
(410) 396-3333  
Fax: 396-4705

A Team of Land Planners,  
Landscape Architects,  
Golf Course Architects,  
Engineers, Surveyors &  
Environmental Professionals

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL
VILLAGE OF RIVER HILL	4/1	A-4
PLAT NO. 1748-07	BLOCK 1	LOT 1
WATER CODE	6,653,000	1-10

COVER SHEET		
Des. By	MJP	Scale 1"=100'
Drn. By	KDE/MSG	Date 2/06/2001
Chk. By	Approved	Proj. No. 00015.A
Professional Engr. No. 10551		1 of 16





SEE SHEET 3

SEE SHEET 3

VORH 4/1  
Parcel A-3  
Zoned N.T.  
SDP 01-12

VORH 4/1  
Open Space LOT 83  
PLAT No. 12849  
(to be conveyed to  
Columbia Association)

VORH  
Section 4 Area 1

**LEGEND:**  
Sign Legend:  
○ - Proposed Sign, Support and Sign Identification  
○ - Sign Legend  
○ - R1-1 30" x 30"

- GENERAL NOTES:**
- The Contractor shall be governed by the standards and requirements of the following publications:  
- Manual on Uniform Traffic Control Devices (MUTCD), 1988 Edition and subsequent revisions.  
- AASHTO - Specifications for the Design and Construction of Structural Supports for Highway Signs, April 1975 Edition.  
- AASHTO - Standard Specifications for Structural Supports for Highway Signs, Luminaires and Traffic Signals, April 1985 Edition.
  - Standard sign panel layouts shall be based on the MUTCD.
  - Signs shall be located as shown on the plans. Any required changes in the locations of signs necessary due to field conditions shall have the prior approval of the Engineer.
  - It shall be the responsibility of the Contractor to locate and protect all existing facilities that may be affected by this work.
  - All new signs shown on this plan shall have Non-Reflective (Black Copy) or High Intensity Reflective Sheeting (All Other Colors) background and copy. Reflective Sheeting shall be Type II-A Encapsulated Lens Reflective Element Material.
  - All new sheet aluminum signs shall have Non-Demountable Copy.
  - The following minimum thicknesses shall be used for the appropriate size of sheet aluminum sign blanks:  
Longest Dimension (inches) - Minimum Thickness  
Up to 12" - 0.040"  
12" to 24" - 0.053"  
24" to 36" - 0.080"  
36" to 48" - 0.100"  
Over 48" - 0.125"
  - All traffic control signs shall be mounted on Howard County standard posts. A single post shall be provided for signs with an area of 300 square feet or less. For signs with an area of greater than 300 square feet, two (2) posts shall be provided. Sign posts shall be installed in the ground to a minimum depth of 5.0 feet and the sign post shall extend to the top of the sign panel.
  - Signs shall be mounted such that the clearance to the bottom edge of the sign panel is a minimum of six (6) feet above finished grade.

APPROVED  
DATE: 9-21-00

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 Chief, Development Engineering Division 3/2/01 DATE  
 Chief, Division of Land Development 3/6/01 DATE  
 Director 3/6/01 DATE

Date	No.	Revision Description
3-01-02	2	RELINE BLDGS 1-7 AND CURB ON PERFECT CALM COURT.

COLUMBIA  
**VILLAGE OF RIVER HILL**  
 SECTION 4 AREA 1 PARCEL A-4  
 BUILDING 1-11 UNITS A-4-1 THRU A-4-56  
 OWNER/DEVELOPER: Beazer Homes, Inc.  
 8965 Guilford Road Suite 290  
 Columbia, Maryland 21046  
 CONTRACT PURCHASER: Beazer Homes, Inc.  
 8965 Guilford Road Suite 290  
 Columbia, Maryland 21046

**DMW**  
 Dan McCune-Walker, Inc.  
 200 East Pennsylvania Avenue  
 Towson, Maryland 21286  
 (410) 296-3333  
 Fax 296-4708  
 A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

Professional Engr. No. 10951  
 Date: 2/15/01  
 Approved: [Signature]

TITLE: **SITE PLAN**  
 Des. By: MJP Scale: 1"=30' Proj. No. 00015.A  
 Dwn. By: KDE/MSS Date: 2/06/2001  
 Chk. By: Approved: 2 of 16

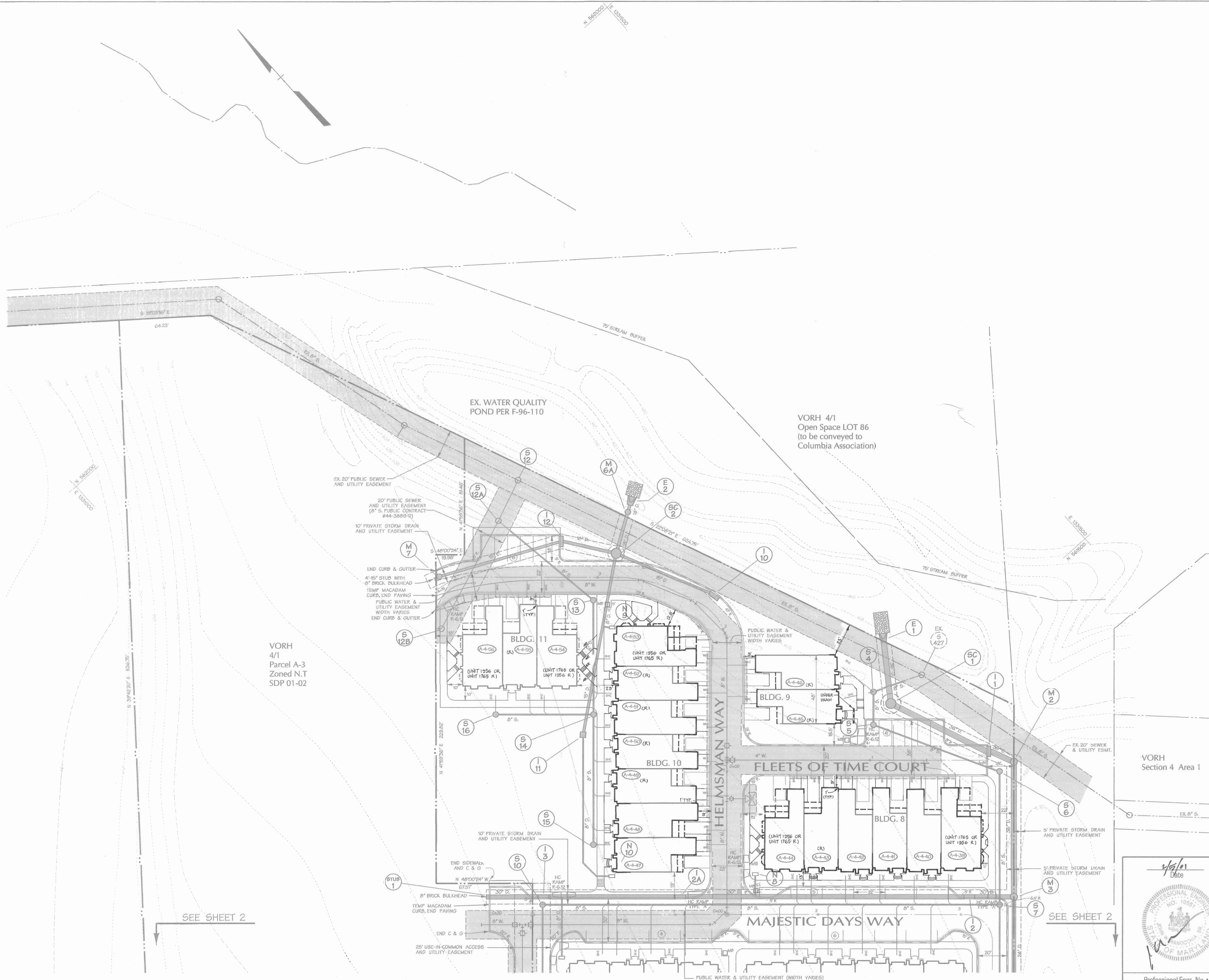
NOTE:  
 PROVIDE MAINTENANCE OF TRAFFIC PER SHA STD MD 104.04-02 (SHOULDER WORKS / 2 LANES, 2 WAY) AND MD 104.33-02 (FLAGGING OPERATIONS / 2 LANES, 2 WAY). SEE SHEET 16 FOR DETAILS.

VORH 4/1  
Parcel B-2

VORH 4/1  
Open Space Lot 93

VORH 4/1  
Parcel B-3

N 562000 E 133300

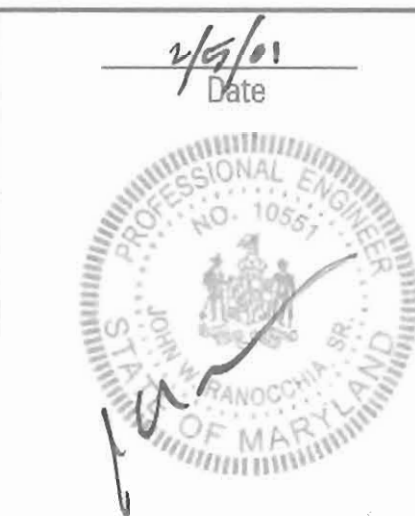


APPROVED  
 PLANNING DIVISION  
 DATE: 9.21.00

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 Chief, Development Engineering Division: [Signature] 5/2/01  
 Chief, Division of Land Development: [Signature] 7/6/01  
 Director: [Signature] 3/6/01

3-07-02 2 REDLINE LOCATION OF BUILDINGS 8-11  
 Date No. Revision Description  
 COLUMBIA  
**VILLAGE OF RIVER HILL**  
 SECTION 4 AREA 1 PARCEL A-4  
 BUILDING 1-11 UNITS A-4-1 THRU A-4-56  
 OWNER/DEVELOPER: Beazer Homes, Inc. 8965 Guilford Road Suite 290 Columbia, Maryland 21046  
 CONTRACT PURCHASER: Beazer Homes, Inc. 8965 Guilford Road Suite 290 Columbia, Maryland 21046

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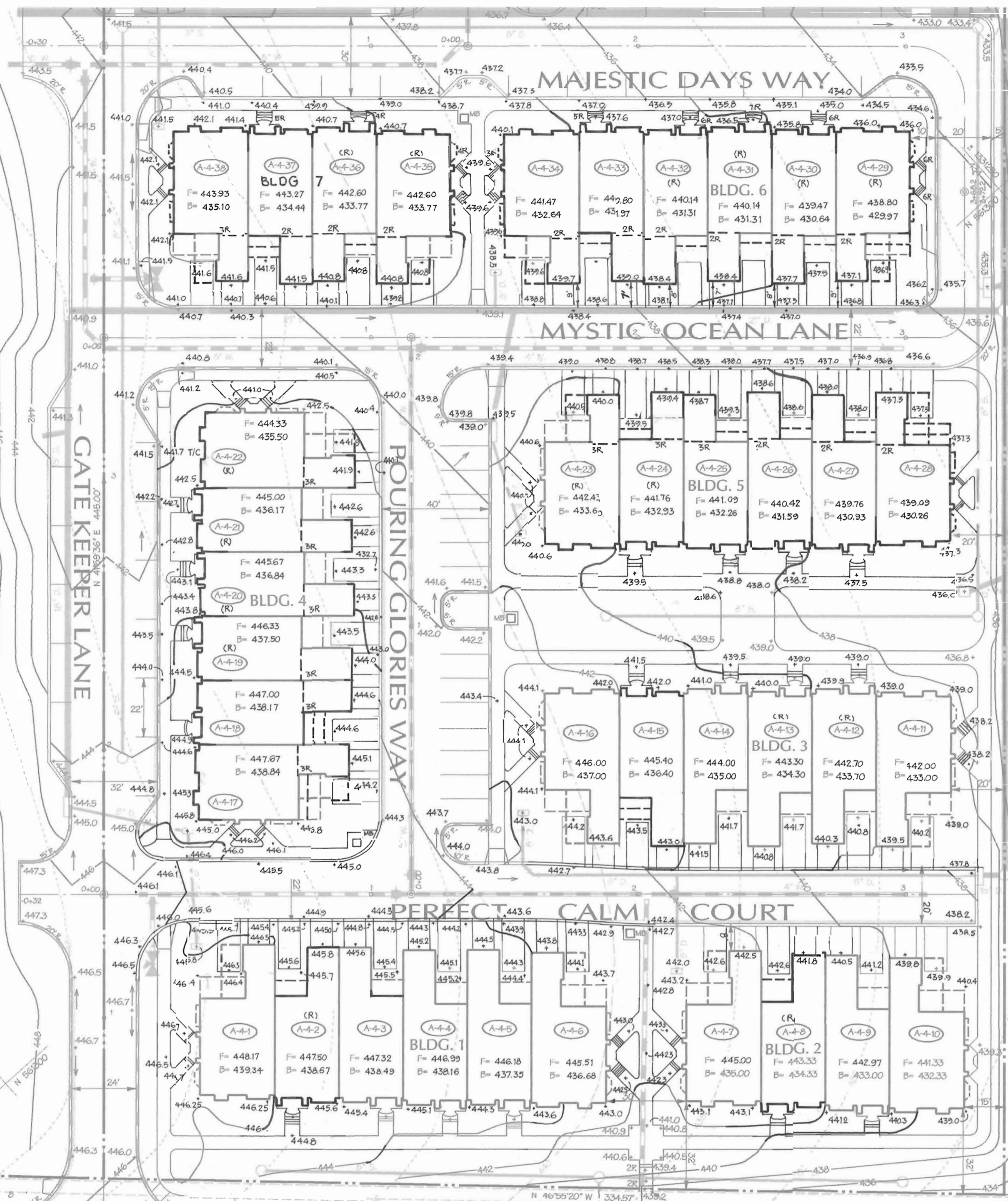


TITLE: **SITE PLAN**  
 Des. By: MJP Scale: 1"=30' Proj. No. 00015.A  
 Dwn. By: KDE/MSG Date: 2/06/2001  
 Chk. By: Approved  
**3 of 16**

Mon Feb 5 15:56:55 2001 m:\00015\00015.dwg

PRIVATE ROAD 'H'  
SEE SHEET 5

SEE SHEET 5



**LEGEND**

- 370 10' EXISTING CONTOUR
- 372 2' EXISTING CONTOUR
- 370 10' PROPOSED CONTOUR
- 372 2' PROPOSED CONTOUR
- STANDARD CURB & GUTTER
- REVERSE CURB & GUTTER R-5-01
- DEPRESSED CURB R-5-01
- 3" S.D. PROPOSED STORM DRAIN
- 8" S. PROPOSED SEWER
- 8" W. PROPOSED WATER
- PARKING COUNT
- MB MAILBOX/TRAFFIC PICK-UP AREA

APPROVED  
DATE 9.21.00

APPROVED:

<i>[Signature]</i>	3/2/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
<i>[Signature]</i>	3/6/01
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
<i>[Signature]</i>	3/6/01
DIRECTOR	DATE

Date	No.	Revision Description
3-7-02	2	REDLINE BLDGS 1-7 AND CURB ON PERFECT CALM COURT

COLUMBIA  
**VILLAGE OF RIVER HILL**  
SECTION 4 AREA 1 PARCEL A-4  
BUILDING 1-11 UNITS A-4-1 THRU A-4-56  
OWNER/DEVELOPER: Beazer Homes, Inc.  
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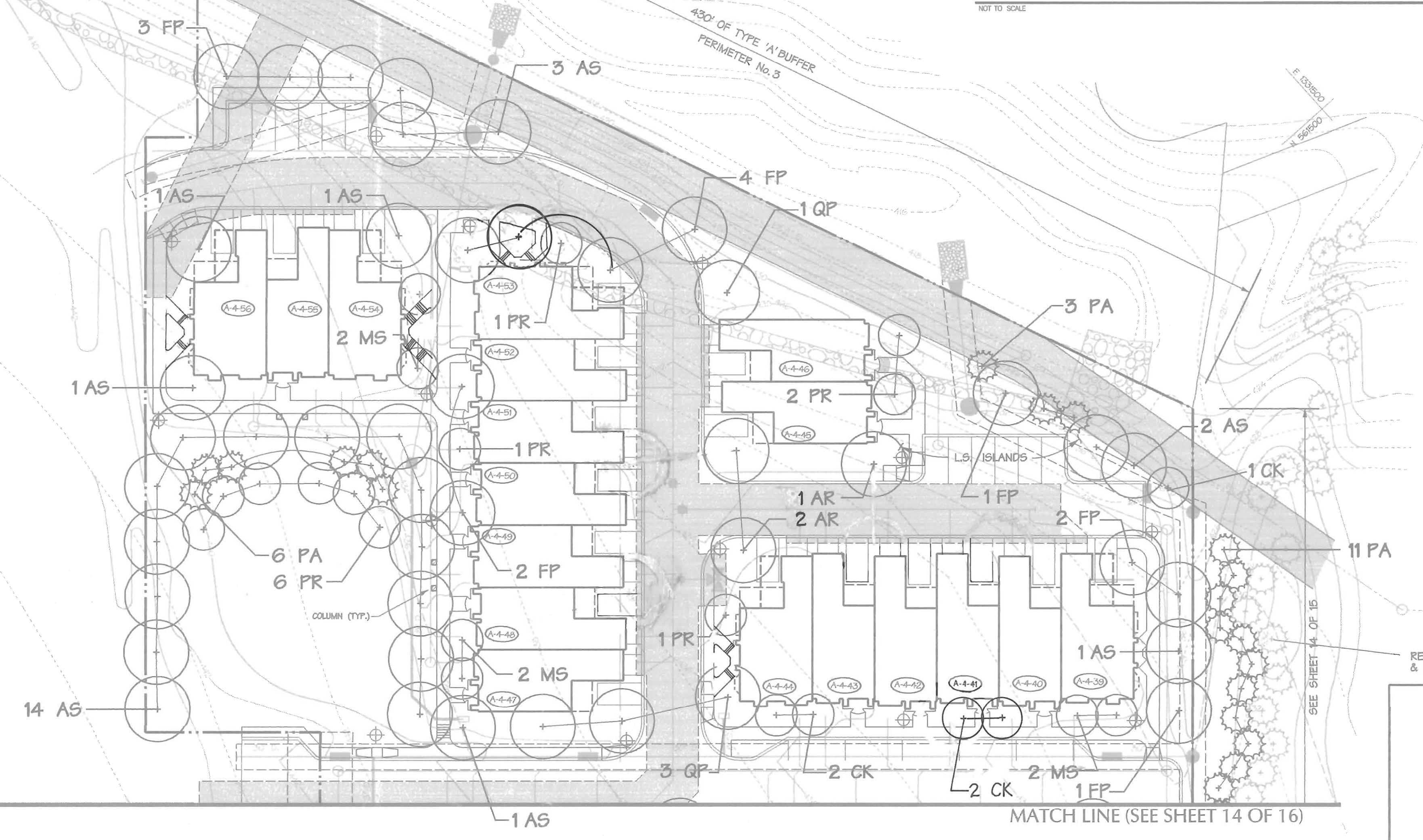
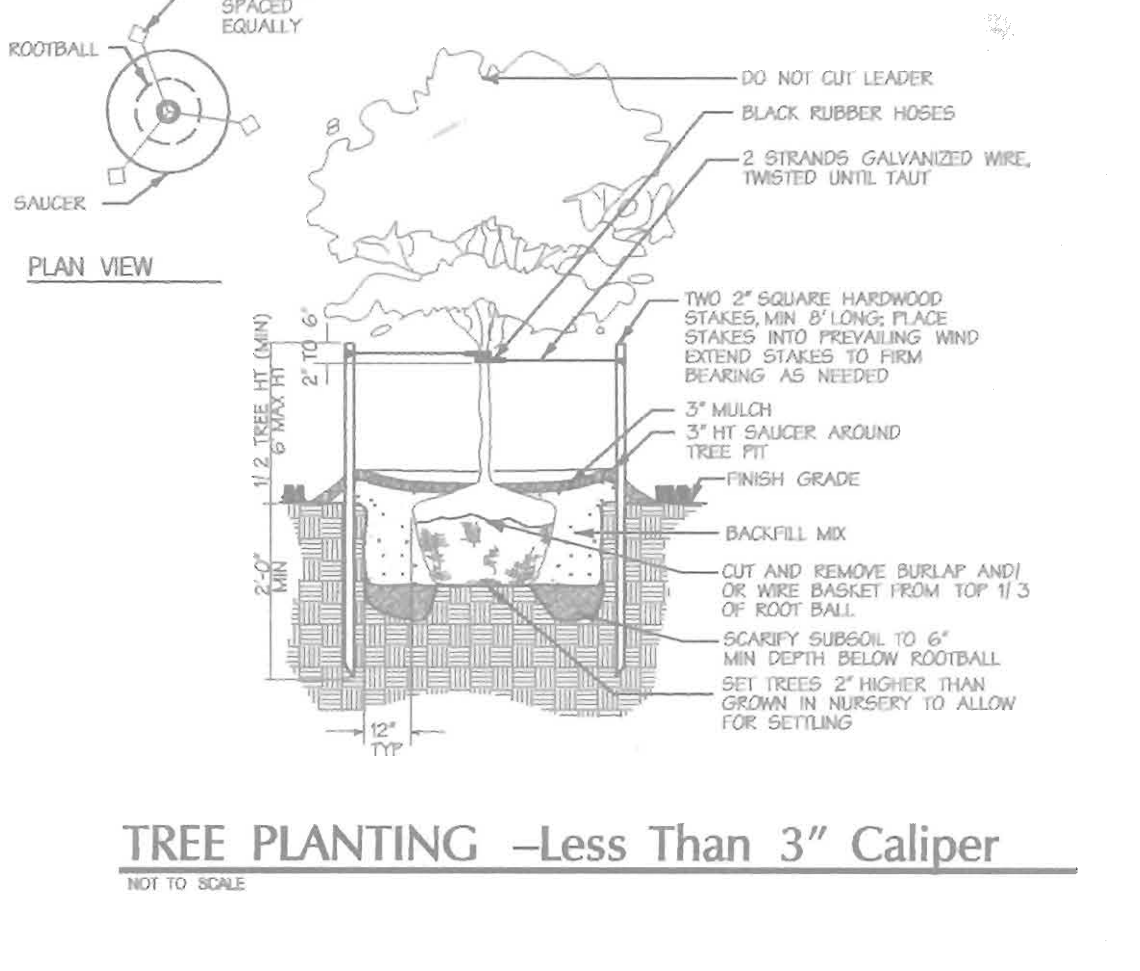
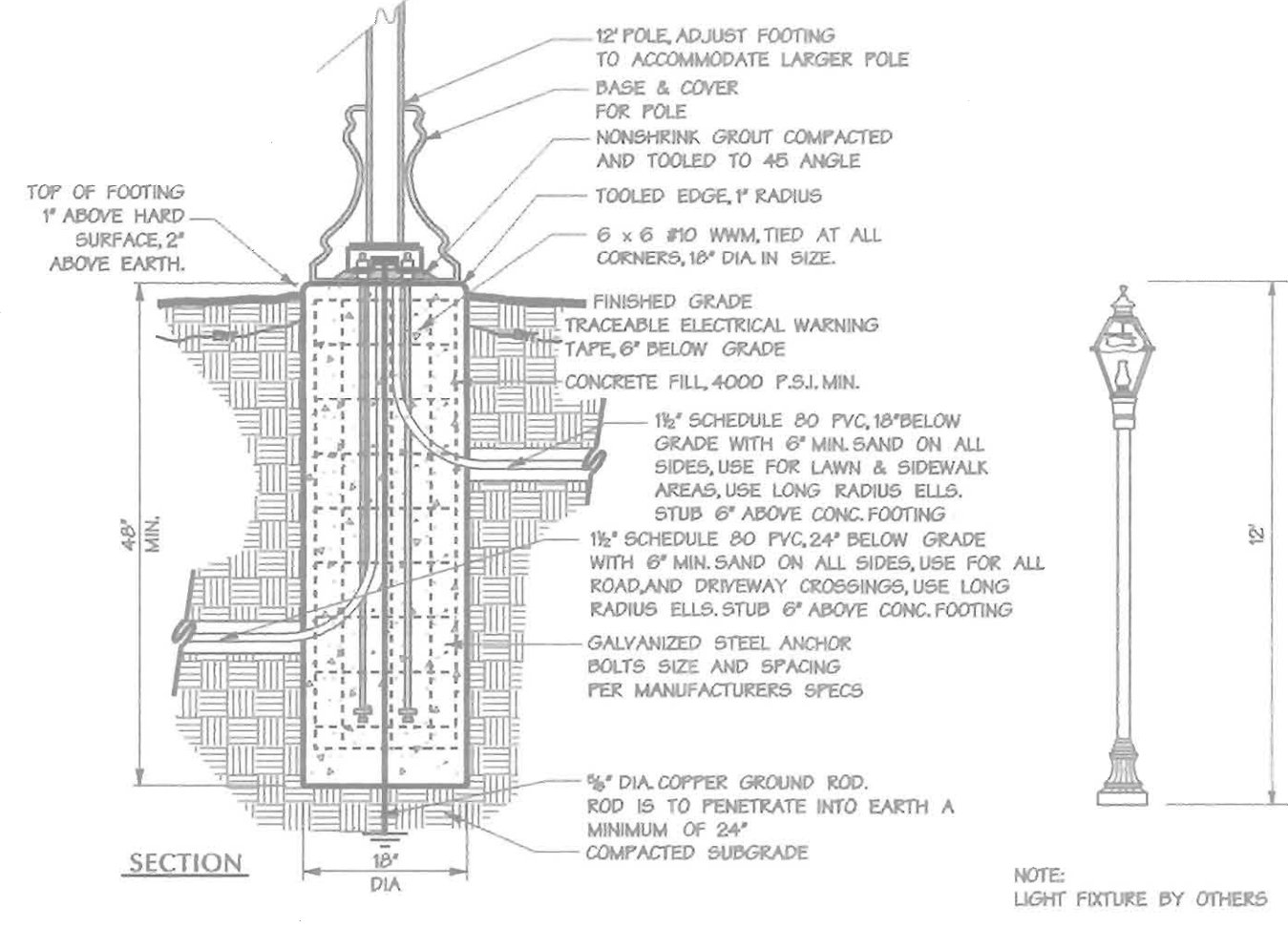
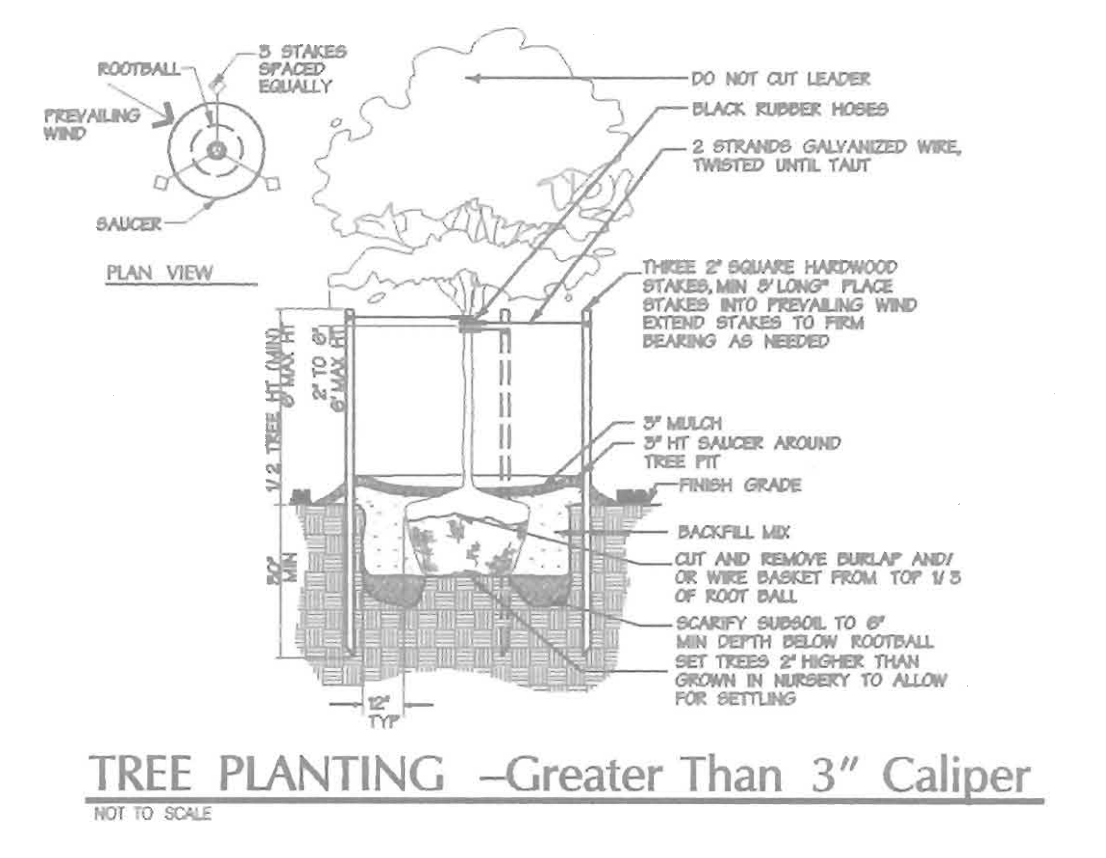
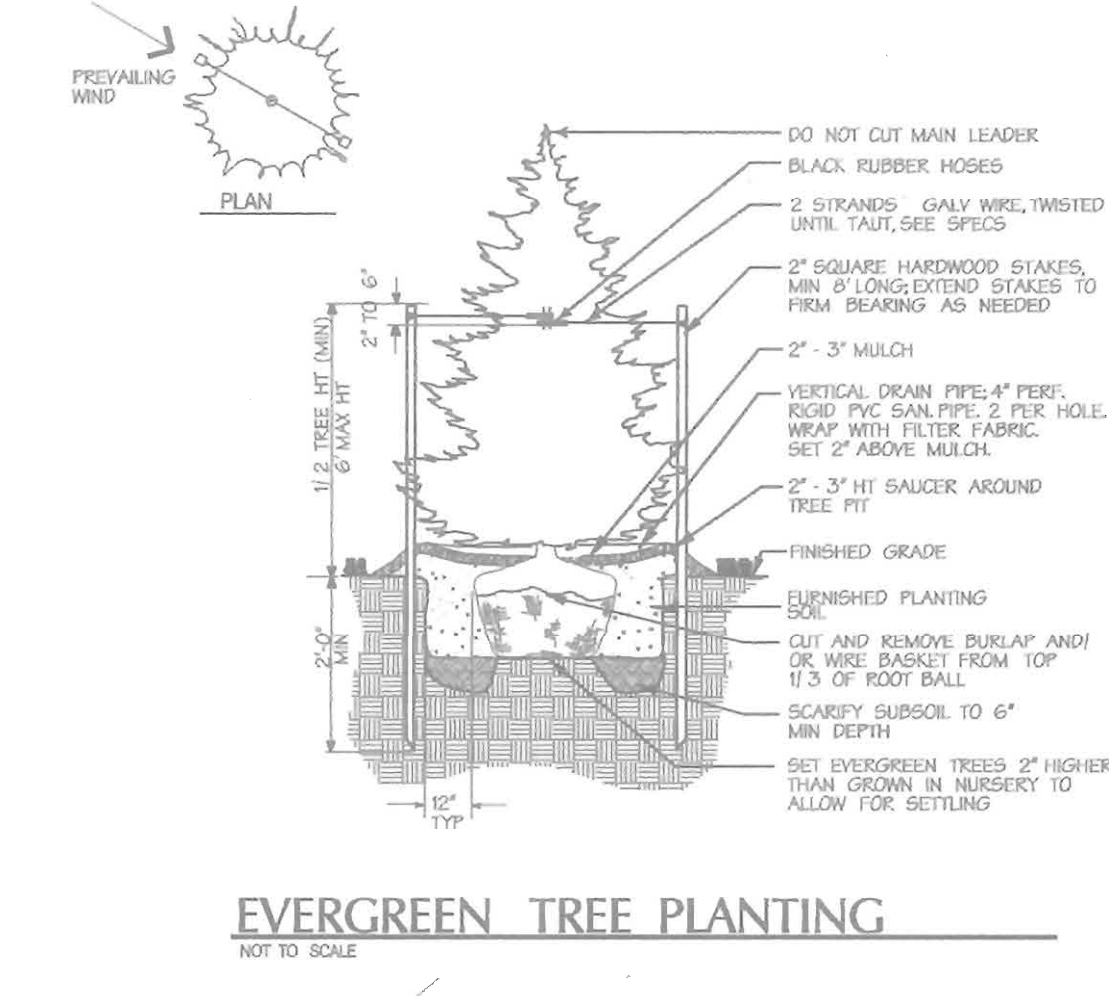
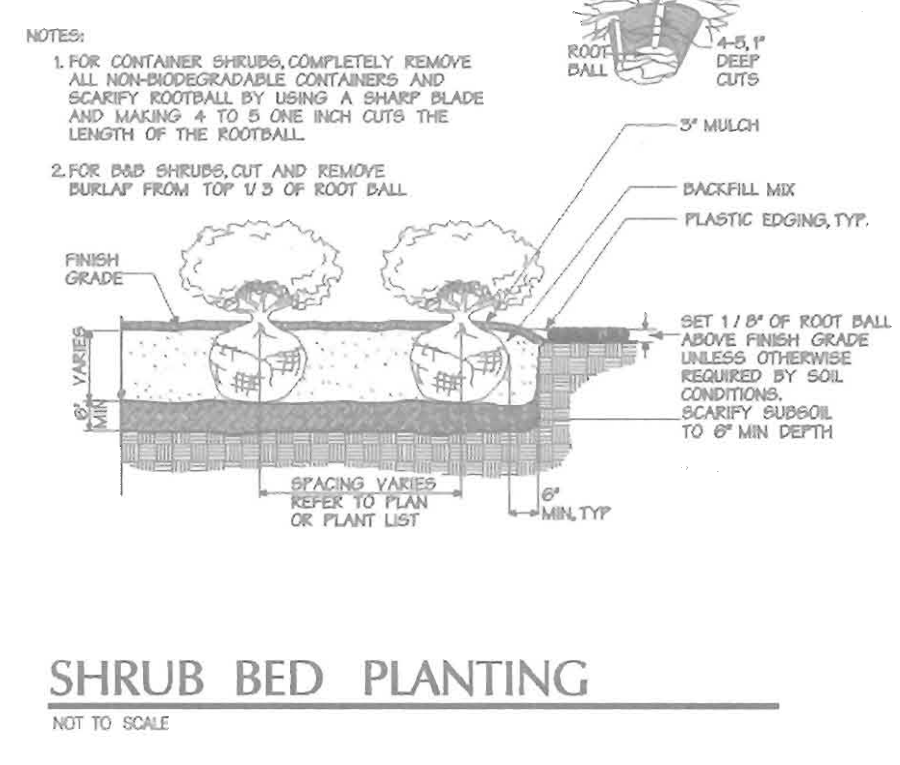
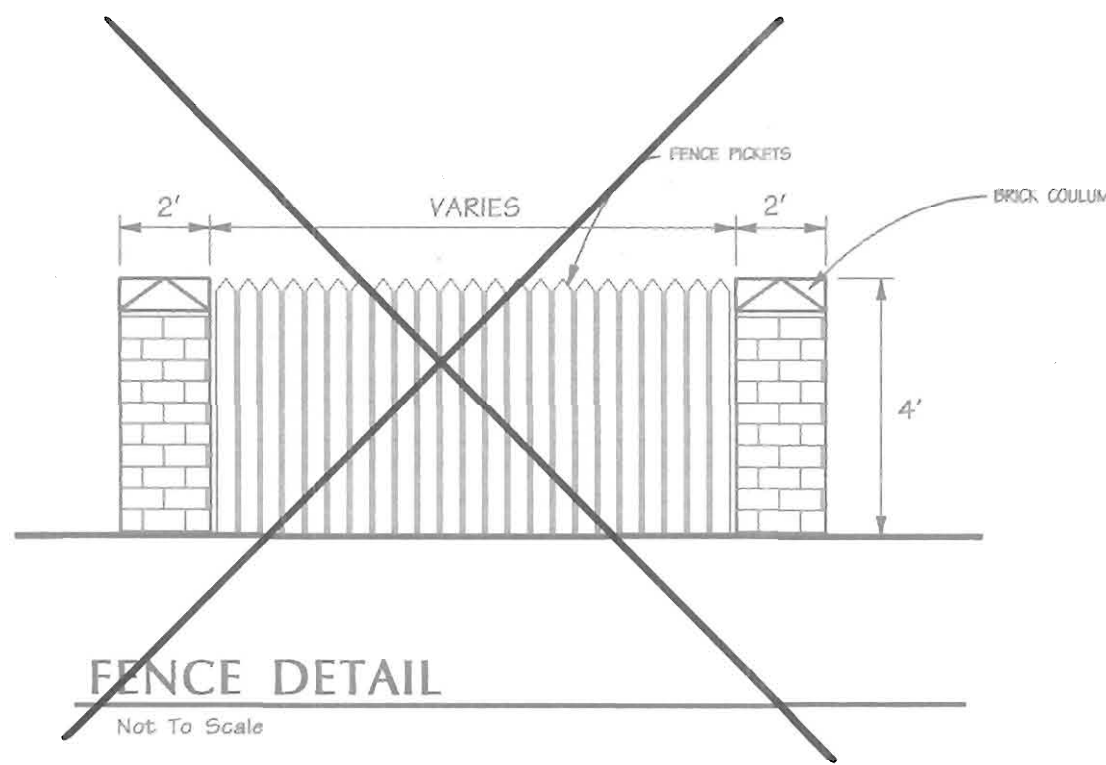
4/6/01  
Date  
*[Signature]*  
Professional Engr. No. 10551

TITLE: **GRADING PLAN**

Des. By: MJP	Scale: 1"=30'	Proj. No. 00015.A
Drn. By: KDE/MSG	Date: 2/06/2001	4 of 16
Chk. By:	Approved:	

Man. File # 15-5820 2001 m:\00015\00015.dwg





APPROVED  
DATE 9.21.00

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 [Signature] 3/2/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE  
 [Signature] 3/6/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
 [Signature] 3/6/01  
 DIRECTOR DATE

Date	No.	Revision Description
	2	REVISE LANDSCAPE PLAN

COLUMBIA

**VILLAGE OF RIVER HILL**

SECTION 4 AREA 1 PARCEL A-4  
 BUILDING 1-11 UNITS A-4-1 THRU A-4-56

OWNER/DEVELOPER: Beazer Homes, Inc.  
 8965 Gullford Road Suite 290 Columbia, Maryland 21046

CONTRACT PURCHASER: Beazer Homes, Inc.  
 8965 Gullford Road Suite 290 Columbia, Maryland 21046

**DMW**  
 Draft-McCann-Walker, Inc.  
 300 East Pennsylvania Avenue  
 Towson, Maryland 21286  
 (410) 296-3333  
 Fax 296-4705

A Team of Land Planners,  
 Landscape Architects,  
 Golf Course Architects,  
 Engineers, Surveyors &  
 Environmental Professionals

STATE OF MARYLAND  
 PROFESSIONAL LANDSCAPE ARCHITECT  
 [Signature]  
 DATE 2/5/01

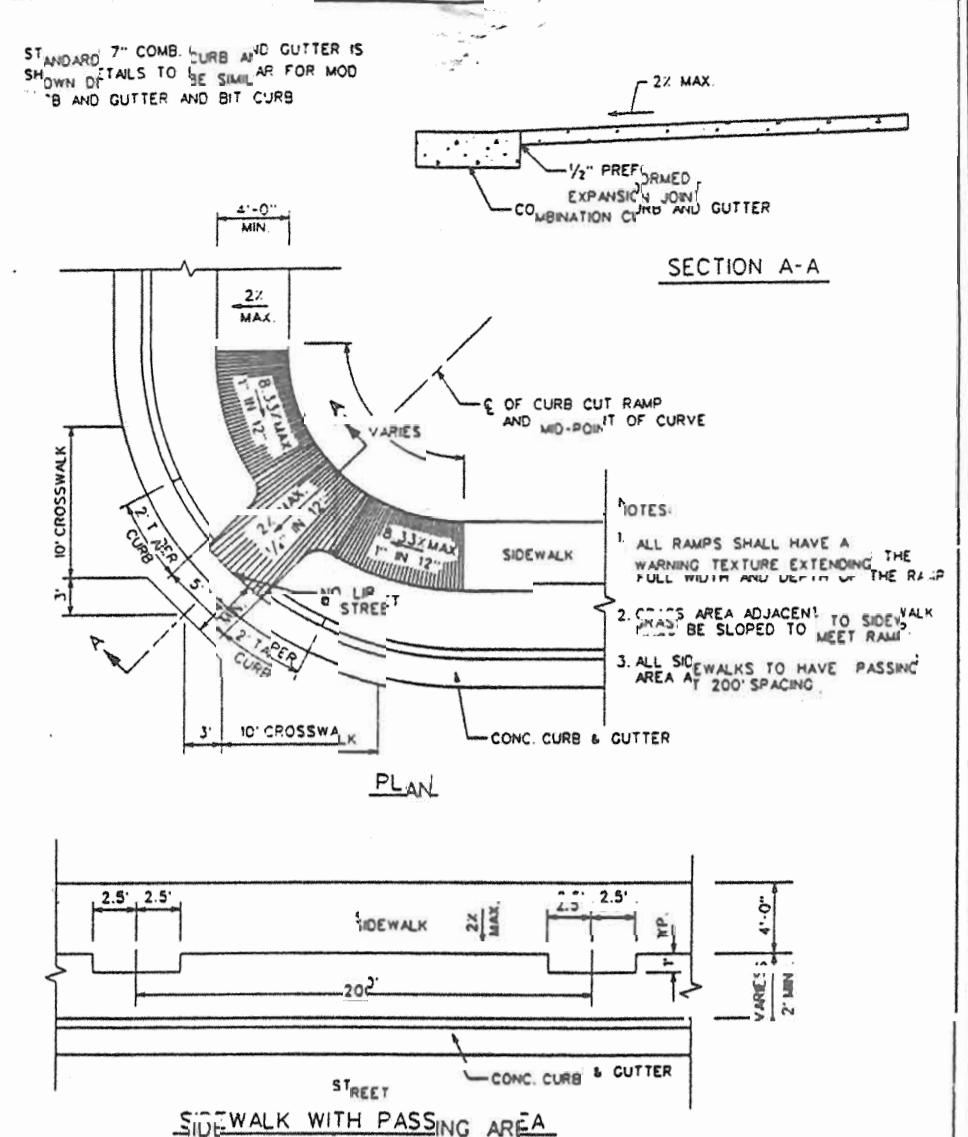
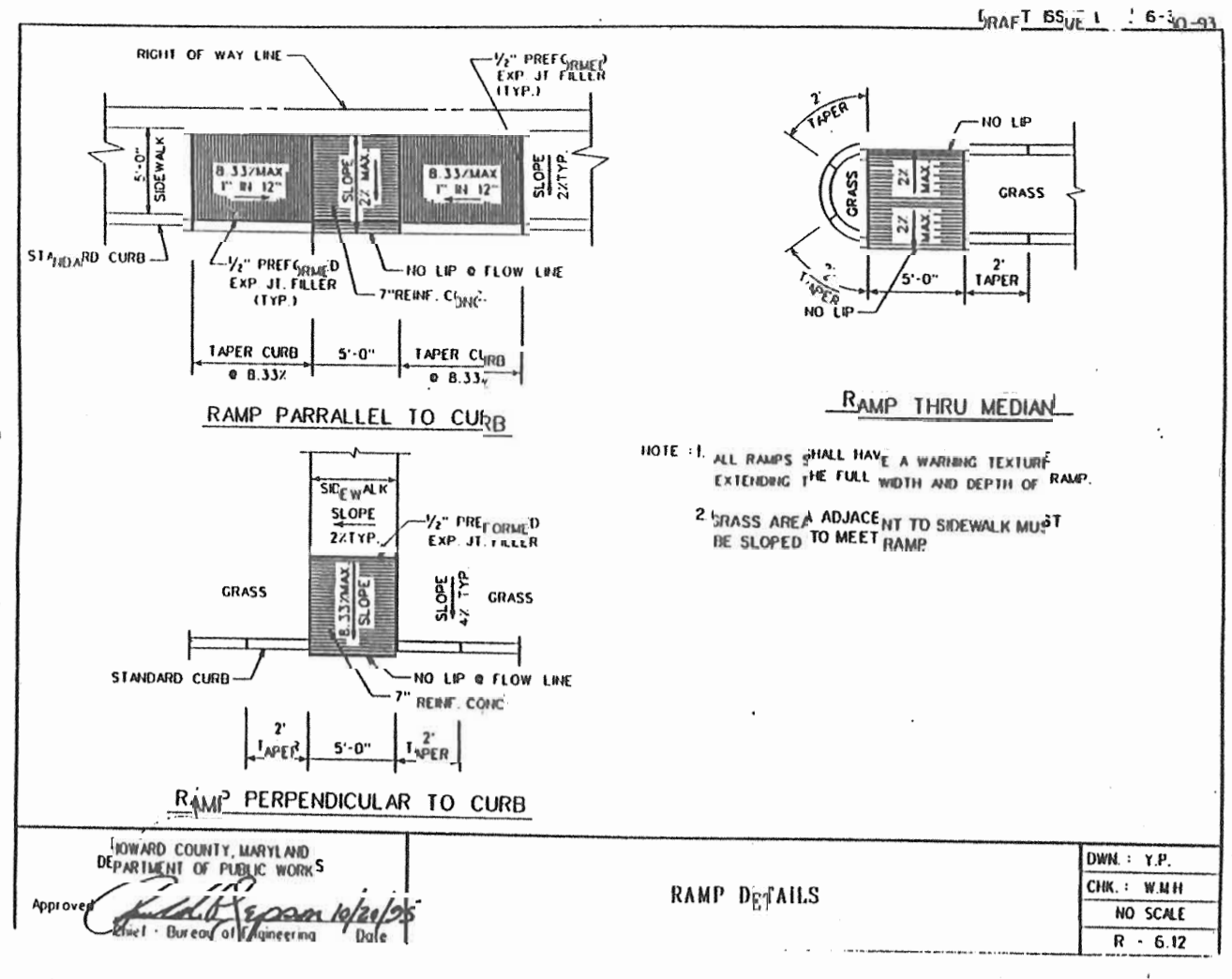
TITLE: **LANDSCAPE PLAN**

Des. By: MJP Scale: 1"=30' Proj. No. 00015.A  
 Drn. By: KDE/MSS Date: 2/06/2001  
 Chk. By: Approved

Professional La. No. 268

15 of 16

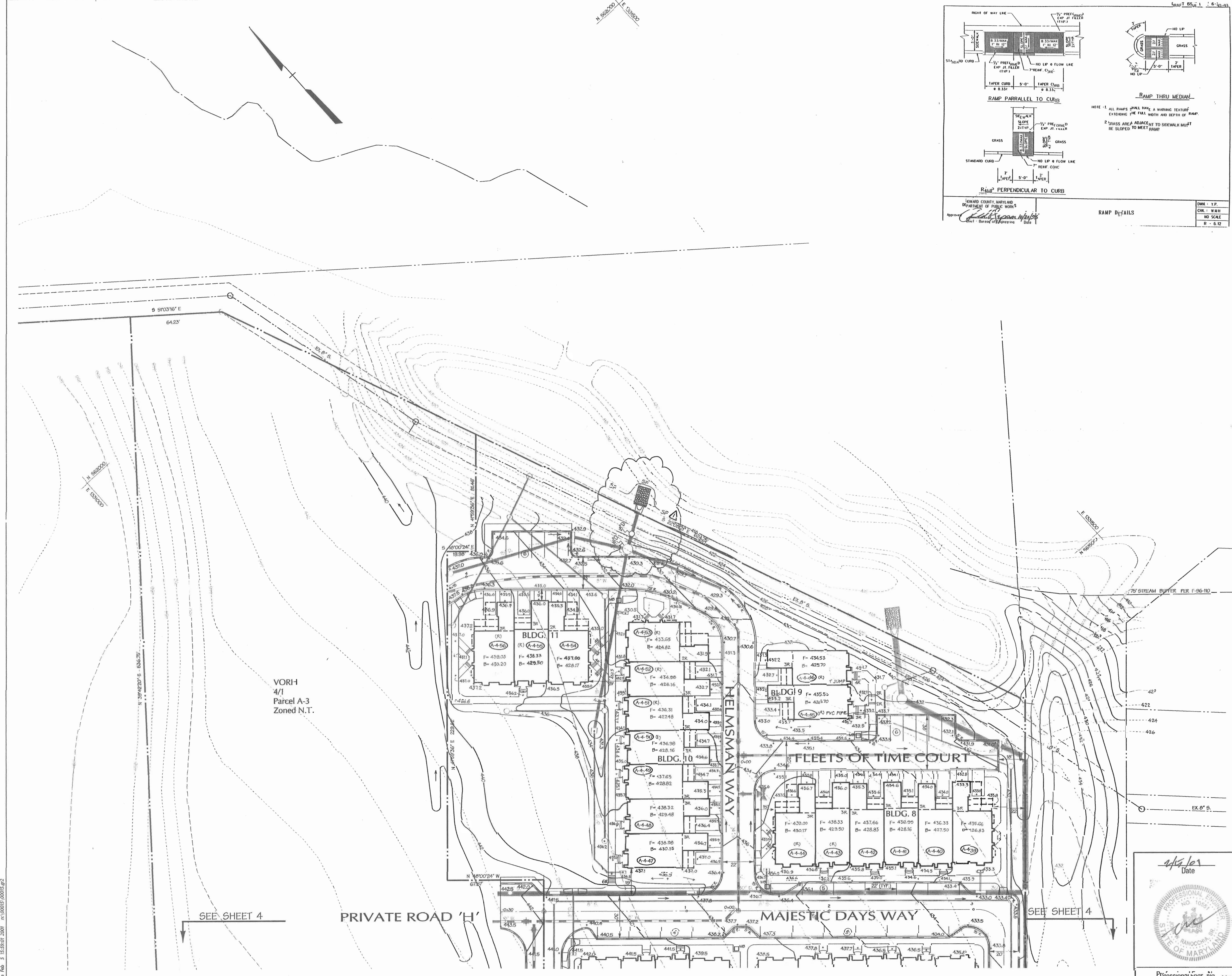




HOWARD COUNTY, MARYLAND  
 DEPARTMENT OF PUBLIC WORKS  
 DATE: 2/21/00

**LEGEND**

370	10' EXISTING CONTOUR
372	2' EXISTING CONTOUR
370	10' PROPOSED CONTOUR
372	2' PROPOSED CONTOUR
---	STANDARD CURB & GUTTER
---	REVERSE CURB & GUTTER R-5.01
---	DEPRESSED CURB & GUTTER R-5.01
---	PROPOSED STORM DRAIN
---	PROPOSED SEWER
---	PROPOSED WATER
⊙	PARKING COUNTER
⊠	HANDOVER/TURN-UP PICK-UP AREA



**APPROVED**  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 DATE: 9.21.00

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION: [Signature] DATE: 3/2/01

CHIEF, DIVISION OF LAND DEVELOPMENT: [Signature] DATE: 3/6/01

DIRECTOR: [Signature] DATE: 3/6/01

15/10/01 1 MOVE E2 & M6A CLOSER TO SC2

3/15/02 2 REV. UNIT AND CURB LOCATIONS PER GRADING

Date No. Revision Description

**COLUMBIA**

**VILLAGE OF RIVER HILL**

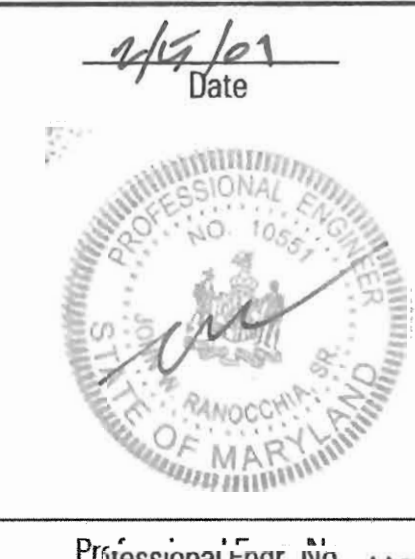
SECTION 4 AREA 1 PARCEL A-4  
 BUILDING 1-11 UNITS A-4-1 THRU A-4-6

OWNER/DEVELOPER: Beazer Homes, Inc.  
 8965 Guilford Road  
 Suite 290  
 Columbia, Maryland 21046

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 Daft McCune Walker, Inc.  
 300 East Pennsylvania Avenue  
 Towson, Maryland 21286  
 (410) 296-3333  
 Fax 296-4706

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TITLE: **GRADING PLAN**

Des. By: VJP Scale: 1"=30'

Drn. By: KVE/MSS Date: 2/06/2001 Proj. No.: 00015-A

Appr. By: [Signature] Date: 2/21/00

Professional Engr. No. 10051