

NOT TO SCALE  
(HO. CO. DET. R-3.01)

DESIGN NOTES:  
ALTERNATE MOUNTABLE CEMENT CONCRETE CURB SECTIONS MAY BE USED WHERE SIDEWALKS ARE NOT CURRENTLY REQ'D OR REASONABLY ANTICIPATED.

**LEGEND :**

---	EX. PROPERTY LINE
---	EX. 2' CONTOUR
---	EX. 10' CONTOUR
---	EX. GAS
---	EX. SANITARY
---	EX. STORM DRAIN
---	EX. WATER
---	EX. WATER METER
---	EX. TELEPHONE
---	EX. CURB
---	EX. ELECT. CONDUIT
---	EX. LIGHT POLE
---	EX. FENCE LINE SITE PLAN
---	No. OF PARKING SPACES
---	EX. WOODS LINE / VEGETATION
---	EX. TREE
---	PROPOSED PAVING



VICINITY MAP  
SCALE: 1"=200'

**HOWARD COUNTY CONTROL POINTS**

NO.	NORTHING	EASTING	ELEV.	DESCRIPTION
42CA	551695.725	1362506.499	977.147	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN
361B	559345.642	1364085.211	386.937	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN

**SITE ANALYSIS DATA :**

- Total Area of Lot : 2.099 AC. +/-  
Limit of Submission : 0.73 AC. +/-
- Existing Use : TELEPHONE SWITCHING FACILITY  
Proposed Use : TELEPHONE SWITCHING FACILITY
- Owner/Developer : CAP TELEPHONE CO. OF MD  
1 E. PRATT ST.  
BALTIMORE, MD 21202  
LEAH ZABARENKO  
301-502-0502
- Existing Zoning : R-12/NT NON-CREDITED OPEN SPACE
- Existing Building : 9,181 SF  
Proposed Building : 5,467 SF  
Total Building : 14,648 SF
- Setbacks : Front: 30'  
Side: 7.5'  
Rear: 30'
- Parking Computations :  
Number of Parking Spaces Required : None  
Number of Parking Spaces Provided : 8 Spaces  
Number of Loading Spaces Required : None
- Open Space : 67820 SF / 91432 SF = 74%
- Floor Area Ratio : 19686 SF / 91432 SF = 0.21
- Applicable DPZ Ref. : BA Case No. 99-62E  
PLAT F-74-83, F-84-150  
FDP 146-A-1, SDP-85-162  
WP-01-25, F-01-139
- Disturbed Area : 38,439 SF or 0.88 Ac. +/-
- Max. Number of Employees : 4 Employees
- All site lighting to conform with Section 134 of the Howard County Zoning Code. (SEE DETAIL).
- WP-01-25 was granted on October 4, 2000 to extend the date of submission of the SDP to Nov. 18, 2000 per Section 16.156(A)(2). Approval was conditioned on having all existing and proposed exterior lighting be in conformance with Zoning Section 134. (SEE DETAIL)

**GENERAL NOTES :**

- ALL WATER LINES SHALL BE CONSTRUCTED A MINIMUM OF 42" COVER BELOW FINISHED GRADE.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL VOLUME IV, i.e. STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THE LOCATION AND DEPTH OF THE EXISTING UTILITIES AND NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
- CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:  
 MISS UTILITY 800-257-7777  
 CAP TELEPHONE 410-725-9976  
 HOWARD COUNTY BUREAU OF UTILITIES 410-992-2566  
 ATT. CABLE LOCATION DIVISION 410-399-3553  
 BALTIMORE GAS & ELECTRIC CO. 410-685-5123  
 STATE HIGHWAY ADMINISTRATION 410-531-5533  
 HOWARD COUNTY CONSTRUCTION INSPECTION DIVISION (24 HOURS NOTICE PRIOR TO COMMENCEMENT OF WORK) 410-313-1880
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- THE CONTRACTOR SHALL PROVIDE A JOINT IN ALL SEWER MAINS WITHIN 2'-0" OF EXTERIOR MANHOLE WALLS.
- PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT TO SUBGRADE.
- TOPO TAKEN FROM FIELD RUN SURVEY DATED FEBRUARY, 2000 BY PURDUM AND JESCHKE.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL STORM DRAIN PIPE BEDDING SHALL BE AS SHOWN IN DETAIL 62.01 (TRENCH IN ROCK OR TRENCH IN EARTH AS DETERMINED BY FIELD CONDITIONS) IN VOL. IV OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE DIRECTED BY THE ENGINEER OR AS SHOWN ON THE DRAWINGS.
- THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL PRACTICES, STORM WATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORM WATER ONTO OR ACROSS ADJACENT OR DOWNSTREAM PROPERTIES INCLUDED IN THIS PLAN. HE IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR GRADING AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.
- FOR THE EXACT LOCATION AND DEPTH OF THE EXISTING WATER AND SEWER MAINS, THE CONTRACTOR SHALL DIG TEST PITS AT THE CONTRACTOR'S EXPENSE.
- ALL EXISTING ON-SITE EXTERIOR LIGHTING SHALL BE MODIFIED OR REPLACED IN ORDER TO BE IN COMPLIANCE WITH THE REQUIREMENTS OF ZONING SECTION 134, AND ALL PROPOSED ON-SITE EXTERIOR LIGHTING SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE SAME ZONING SECTION (SEE WP01-25).
- PROPOSED USE IS PERMITTED BY SPECIAL EXCEPTION 85-20E AND AS AMENDED IN BA CASE 99-62E, APPROVED 1/29/00.
- PARKING APPROVED IN ACCORDANCE WITH ZONING SECTION 133.D.8.
- EXISTING STORM-WATER MANAGEMENT FACILITY IS PRIVATELY OWNED AND MAINTAINED.
- THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BECAUSE THIS SITE HAD SITE DEVELOPMENT PLAN (SDP-85-162) AND GRADING PERMIT APPROVAL PRIOR TO 12/31/92. PER SECTION 16.1202(b)(4).
- TRASH PICKUP IS PRIVATE FOR THIS SITE.
- ALTERNATIVE FOAM FIRE SUPPRESSION SYSTEM IS PROPOSED FOR THIS SITE.

BUILDING ADDITION AND ALTERATIONS TO  
OWEN BROWN COMMUNICATIONS CENTER  
Bell Atlantic  
6440 OAKLAND MILLS ROAD, COLUMBIA, MARYLAND 21045

WILLIAM DOGGETT ARCHITECTS  
7315 Wisconsin Avenue Suite 606E  
Bethesda, Maryland 20814  
301-656-5566 fax 301-907-0254

OWNER :  
CAP TELEPHONE CO. OF MD  
1 E. PRATT ST.  
BALTIMORE, MD 21202

PURDUM and JESCHKE, LLC  
Consulting Engineers and Land Surveyors  
Civil, Structural, Environmental  
The Professional Engineering Center  
8005 Harford Road  
Beltsville, Maryland 21154  
Phone: 410-958-8500  
Fax: 410-958-8501

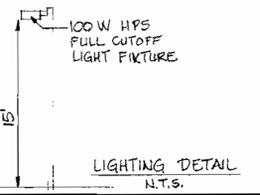
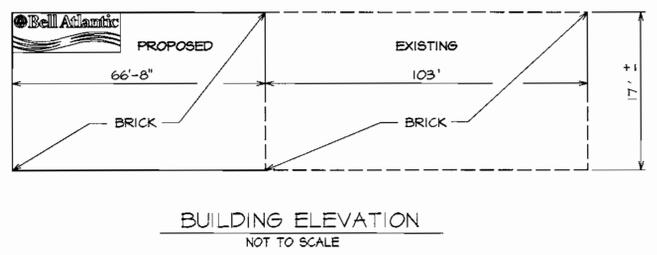
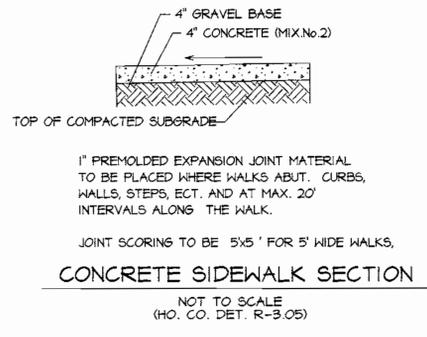
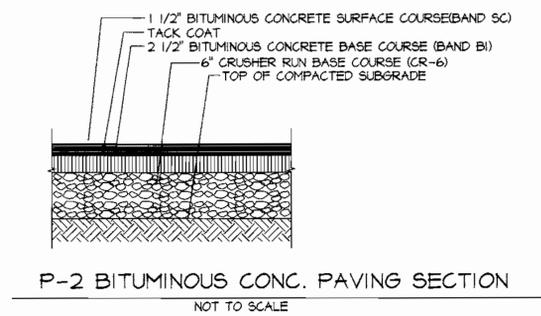
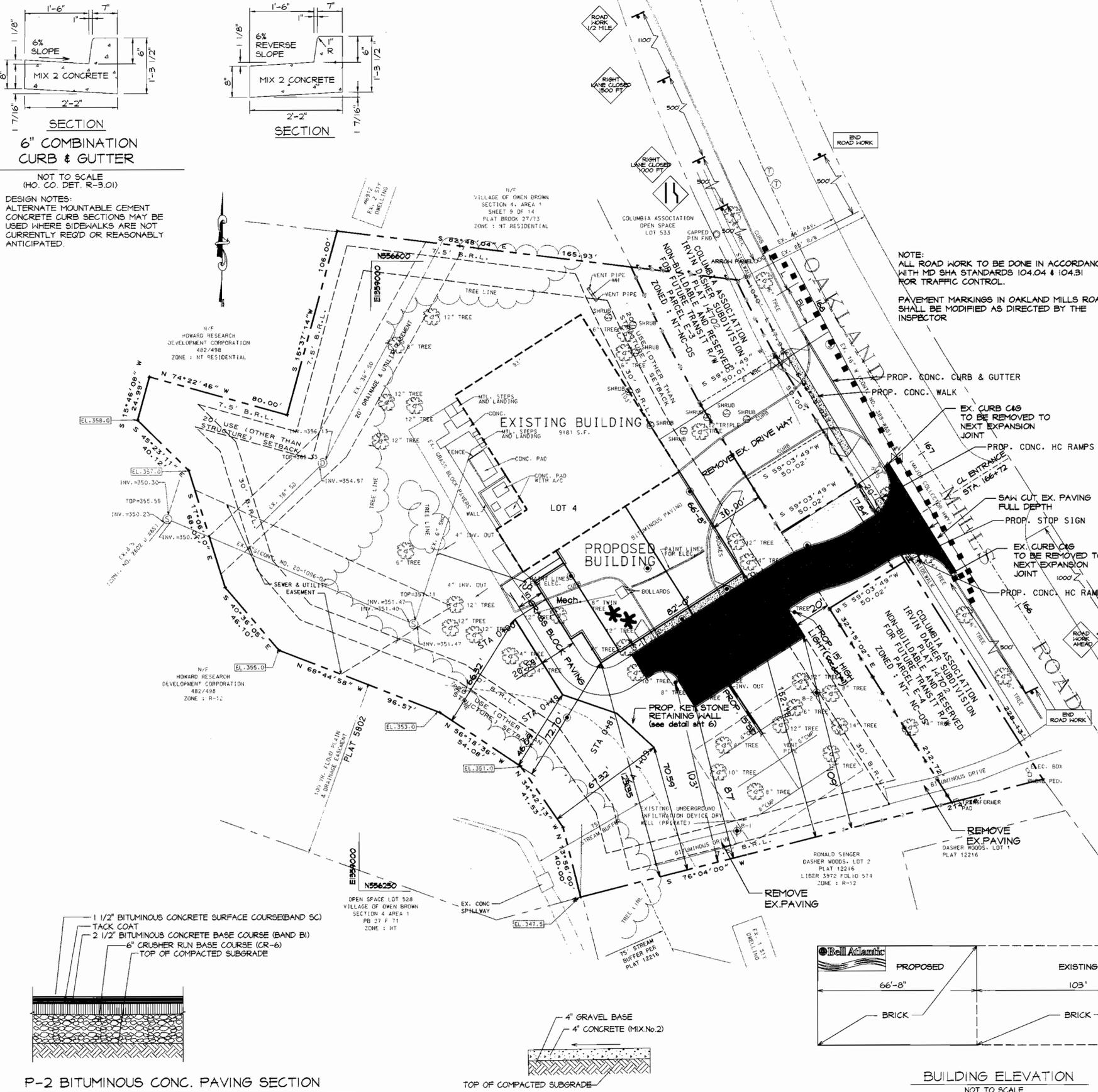
**REVISIONS**

no.	date	description

DRAWING TITLE:  
**SITE PLAN**

SCALE: 1"=30'  
DRAWN BY: CADDS  
CHECKED BY: PCR  
DATE: 12/08/00  
PROJECT NO.  
**6458-00**  
SHEET NO. DRAWING NO.

**C-1**  
1 OF 6  
CIVIL



**SHEET INDEX :**

SHEET 1	SITE PLAN & DETAILS.
SHEET 2	GRADING PLAN.
SHEET 3	SEDIMENT CONTROL PLAN.
SHEET 4	SEDIMENT CONTROL DETAILS.
SHEET 5	LANDSCAPE PLAN.
SHEET 6	D.A. MAP, PROFILES & SITE DETAILS

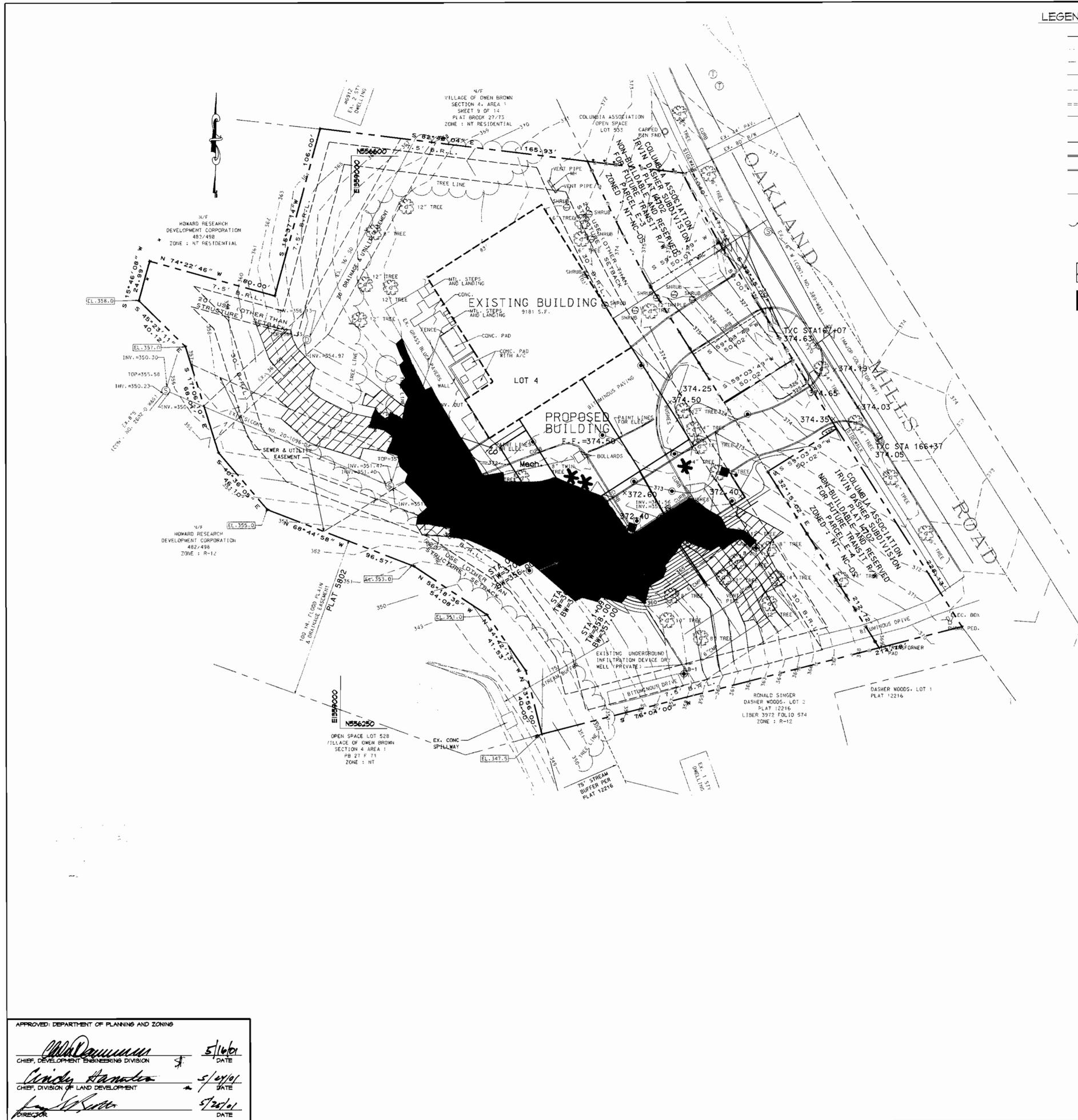
APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Michael J. ...* 5/16/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

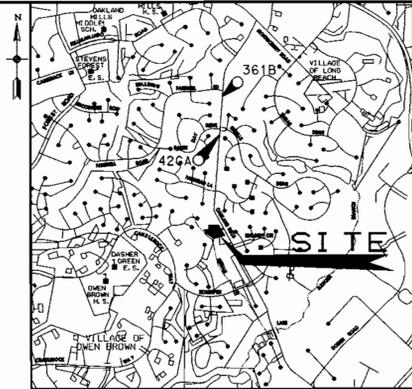
*...* 5/24/01  
CHIEF, DIVISION OF LAND DEVELOPMENT

*...* 5/25/01  
DIRECTOR





- LEGEND :**
- EX. PROPERTY LINE
  - - - - - EX. 2' CONTOUR
  - - - - - EX. 10' CONTOUR
  - EX. GAS
  - EX. SANITARY
  - EX. STORM DRAIN
  - EX. WATER
  - EX. WATER METER
  - EX. TELEPHONE
  - EX. CURB
  - EX. ELECT. CONDUIT
  - EX. LIGHT POLE
  - EX. FENCE LINE SITE PLAN
  - No. OF PARKING SPACES
  - EX. WOODS LINE / VEGETATION
  - EX. TREE
- 15% - 25% SLOPS  
 GREATER THEN 25% SLOPES  
 AREA = 10,796 SF THIS SITE



**VICINITY MAP**  
SCALE : 1"=2000'

BUILDING ADDITION AND ALTERATIONS TO  
**OWEN BROWN COMMUNICATIONS CENTER**  
  
 6440 OAKLAND MILLS ROAD, COLUMBIA, MARYLAND 21045

**WILLIAM DOGGETT ARCHITECTS**  
 7315 Macon Avenue Suite 606E  
 Bethesda, Maryland 20814  
 301-946-0566 fax 301-907-0994

OWNER :  
**CAP TELEPHONE CO. OF MD**  
 11 E. PRATT ST.  
 BALTIMORE, MD 21202

**PURDUM and JESCHKE, LLC**  
 Consulting Engineers and Land Surveyors  
 Civil Structural Environmental  
 The Professional Engineering Center  
 8008 Harford Road  
 Baltimore, Maryland 21284  
 Phone: 410-968-2800  
 Fax: 410-968-8801

REVISIONS		
no.	date	description

DRAWING TITLE:

## GRADING PLAN

SCALE: 1"=30'  
 DRAWN BY: CADDS  
 CHECKED BY: PCR  
 DATE: 12/08/00  
 PROJECT NO.  
**6458-00**  
 SHEET NO. DRAWING NO.  
**C-2**  
 2 OF 6  
 CIVIL

APPROVED: DEPARTMENT OF PLANNING AND ZONING

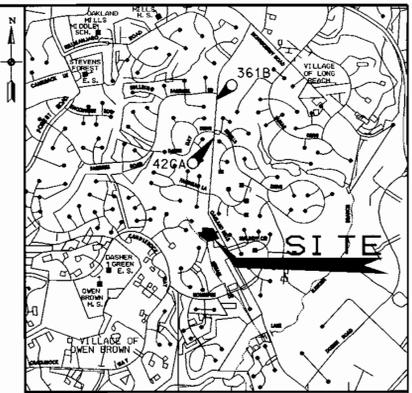
CHIEF, DEVELOPMENT ENGINEERING DIVISION     5/16/01  
 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT     5/10/01  
 DATE

DIRECTOR     5/22/01  
 DATE

ADDRESS CHART		STREET ADDRESS	
LOT/PARCEL#	4/68	STREET ADDRESS	6440 OAKLAND MILLS ROAD
PERMIT INFORMATION CHART			
SUBDIVISION NAME		SECTION AREA	LOT/PARCEL
IRVIN DASHER		N/A	LOT4
PLAT/ACR L/F	GRID#	ZONING	TAX MAP NO.
14702	16	R-12 & NT	36
WATER CODE :		ELECT. DIST.	CENSUS TRACT
E-06		6th	6067.02
		SEWER CODE :	
		5202000	



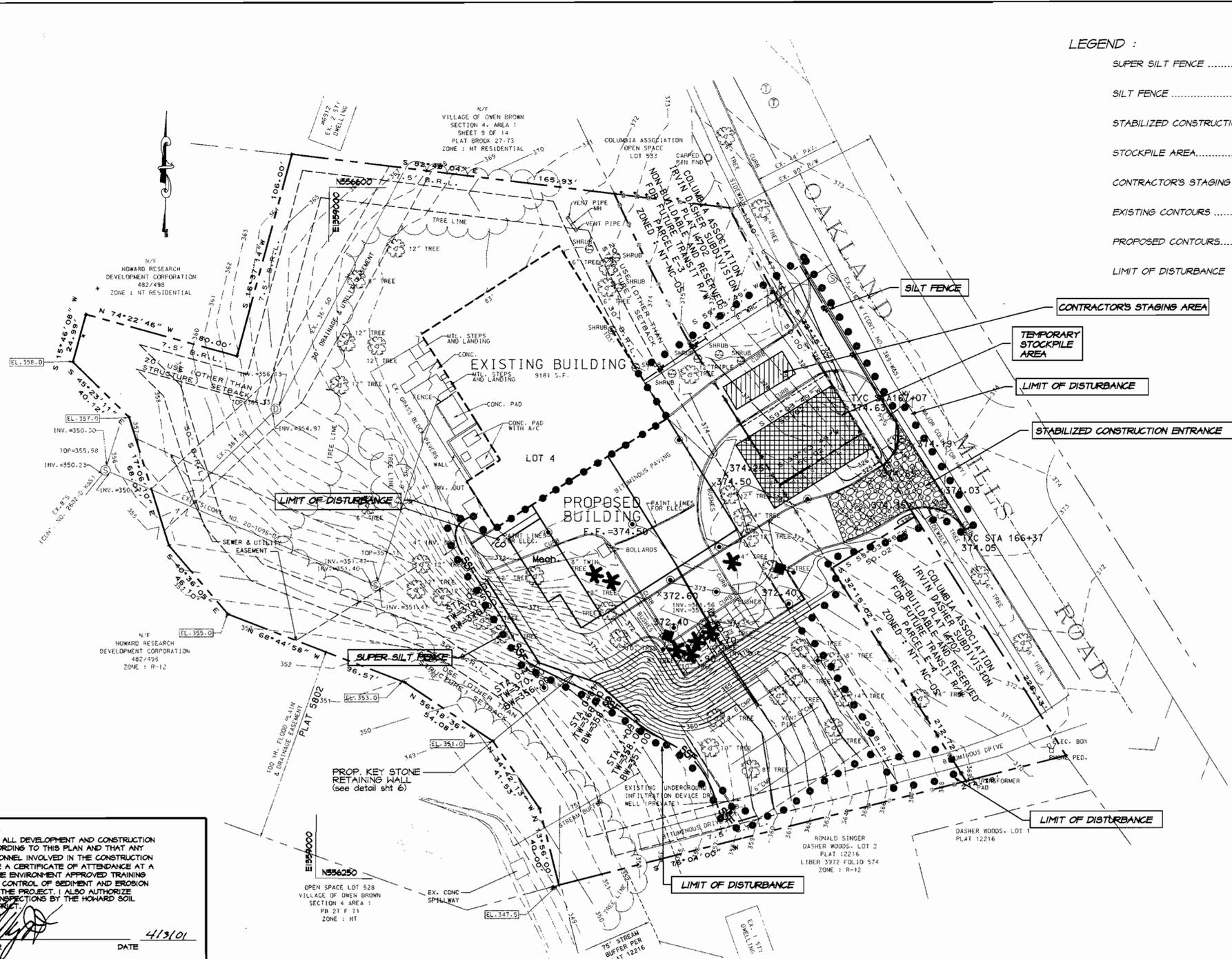


VICINITY MAP  
SCALE: 1"=2000'

HOWARD COUNTY CONTROL POINTS				
NO.	NORTHING	EASTING	ELEV.	DESCRIPTION
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361B	559348.642	1364085.211	386.937	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN

LEGEND :

- SUPER SILT FENCE ..... [Symbol]
- SILT FENCE ..... [Symbol]
- STABILIZED CONSTRUCTION ENTRANCE ..... [Symbol]
- STOCKPILE AREA ..... [Symbol]
- CONTRACTOR'S STAGING AREA ..... [Symbol]
- EXISTING CONTOURS ..... [Symbol]
- PROPOSED CONTOURS ..... [Symbol]
- LIMIT OF DISTURBANCE ..... [Symbol]



SEDIMENT CONTROL NOTES :

1. A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction 313-1855.
2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.
3. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. I, Chapter 7, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding, sod, temporary seeding and mulching Sec. G. Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. Site Analysis:
 

Total Area of Site	105603 SF / 2.42 Acres
Area Disturbed	38,439SF / 0.88 Acres
Area to be roofed or paved	13339 SF / 0.31 Acres
Area to be vegetatively stabilized	24,100 SF / 0.55 Acres
Total Cut	1363 Cu. yds
Total Fill	1411 Cu. yds

 Offsite waste/borrow area location- A site with a currently active grading permit.
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment control must be provided, if deemed necessary by the Howard County Sediment control inspector.
10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
11. Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.

NOTE :  
EARTHWORK QUANTITIES SHOWN HEREON ARE PROVIDED FOR THE APPROVING AUTHORITY ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES TO THEIR OWN SATISFACTION PRIOR TO BIDDING THE WORK.

SEQUENCE OF OPERATIONS :

1. OBTAIN A GRADING PERMIT THROUGH THE DEPARTMENT OF INSPECTIONS, LICENSE & PERMITS.
2. NOTIFY HOWARD COUNTY SEDIMENT CONTROL DIVISION (410-313-1855) AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
3. CLEAR AND GRUB AS NECESSARY FOR SEDIMENT CONTROL INSTALLATION. INSTALL CONSTRUCTION ENTRANCE, SILT FENCE & SUPER SILT FENCE. (2 DAYS)
4. CLEAR AND GRUB & ROUGH GRADE SITE. (5 DAYS)
5. CONSTRUCT BUILDING & RETAINING WALL. (90 DAYS)
6. FINE GRADE PARKING LOT AND PLACE CURB AND STONE BASE COURSE (3 DAYS)
7. SEED AND MULCH ALL DISTURBED AREAS. (1 DAY)
8. WITH APPROVAL OF SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL MEASURES. (2 DAYS)
9. STABILIZE ALL AREAS DISTURBED AS A RESULT OF SEDIMENT CONTROL REMOVAL. (2 DAYS)

BY THE DEVELOPER  
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER: [Signature] DATE: 4/13/01

BY THE ENGINEER:  
I CERTIFY THAT THIS PLAN OF EROSION AND SEDIMENT CONTROL REPRESENTS A TECHNICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

ENGINEER: [Signature] DATE: 4/2/01

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

[Signature] DATE: 5/16/01  
USDA - NATURAL RESOURCES CONSERVATION SERVICE

[Signature] DATE: 5/14/01  
HOWARD SOIL CONSERVATION DISTRICT

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
[Signature] DATE: 5/16/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

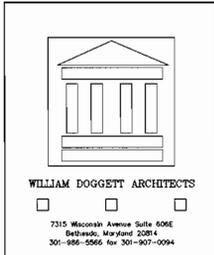
[Signature] DATE: 6/28/01  
CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] DATE: 5/25/01  
DIRECTOR

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS  
USDA - NATURAL RESOURCES CONSERVATION SERVICES DATE: [Blank]  
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
[Signature] DATE: [Blank]  
HOWARD SOIL CONSERVATION DISTRICT

ADDRESS CHART		STREET ADDRESS	
LOT/PARCEL#	4/68	6440 OAKLAND MILLS ROAD	
PERMIT INFORMATION CHART			
SUBDIVISION NAME	IRVIN DASHER	SECTION AREA	N/A
PLAT/WR L/F	14702	TAX MAP No.	36
GRID#	16	ELECT. DIST.	6th
ZONING	R-12 & NT	CENSUS TRACT	6067.02
WATER CODE	E-06	SEWER CODE	5202000

BUILDING ADDITION AND ALTERATIONS TO  
OWEN BROWN COMMUNICATIONS CENTER  
Bell Atlantic  
6440 OAKLAND MILLS ROAD, COLUMBIA, MARYLAND 21045



OWNER:  
CAP TELEPHONE CO. OF MD  
1 E. PRATT ST.  
BALTIMORE, MD 21202

PURDUM and JESCHKE, Inc.  
Consulting Engineers and Land Surveyors  
Civil, Structural, Environmental  
The Professional Engineering Center  
8006 Harford Road  
Beltsville, Maryland 20854  
Phone: 410-668-2800  
Fax: 410-668-8001

REVISIONS		
no.	date	description

DRAWING TITLE:  
**SEDIMENT CONTROL PLAN**

SCALE: 1"=30'  
DRAWN BY: CADDs  
CHECKED BY: PCR  
DATE: 12/08/00  
PROJECT NO.  
6458-00  
SHEET NO. DRAWING NO.

C-3  
3 OF 6  
CIVIL



Perimeter A 165.94' Type C

Perimeter B 186.00' Type C

Perimeter C 411.4' Type C

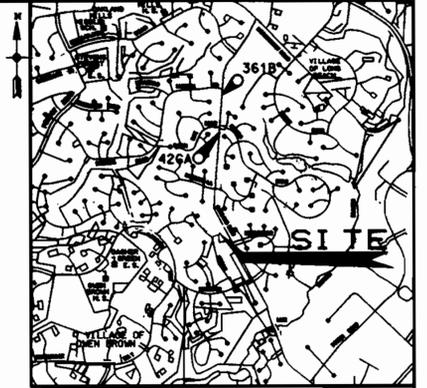
Perimeter D 214.78' Type C

**GENERAL NOTES**

- All plant material shall average the median for the size ranges indicated on the plant list and shall be equal to or better than the requirements of the "USA Standard Nursery Stock" as published by the American Association of Nurserymen. All planting procedures and specifications shall conform to LCA "Landscape Specification Guidelines for Baltimore-Washington Metropolitan area" latest edition.
- All disturbed areas to have 4" of topsoil and to be seeded.
- Existing trees to remain will be protected by the sediment control measures (all fence) as shown on the sediment erosion control and landscape plans.
- Landscape Contractor shall notify Miles Utility 72 hours prior to digging.
- No substitutions shall be made without the consent of the landscape architect. Notify landscape architect if field conditions are not as shown on the site plan. Notify landscape architect if unsuitable planting conditions are encountered such as poor drainage, utilities, etc.

**PLANT SCHEDULE**

QUANTITY	PLANT NAME	SIZE
28	Picea abies / Norway Spruce	2 - 2 1/2" cal. 6 - 8' ht.
22	Pinus strobus / White Pine	2 - 2 1/2" cal. 6 - 8' ht.
1	Quercus palustris / Pin Oak	2 1/2 - 3" cal. 13 - 15' ht. B & B
2	Acer rubrum 'October Glory' / Red Maple	2 1/2 - 3" cal. 13 - 15' ht. B & B
2	Zelkova serrata 'Village Green' / Zelkova	2 1/2 - 3" cal. 13 - 15' ht. B & B



VICINITY MAP  
SCALE: 1"=2000'

**SCHEDULE A  
PERIMETER LANDSCAPE EDGE**

Category	Adjacent to Roadways	Adjacent to Perimeter Properties
Landscape Type	B	C
Linear Feet of Roadway Frontage / Perimeter	327	978
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	3 shade trees, 2 ornamental	747 LF ex. woods
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	no	no
Number of Plants Required		
Shade trees	3	5 = 8
Evergreen trees	8	12 = 20
Shrubs		
Number of Plants Provided		
Shade trees	3	= 3
Evergreen trees	8	22 = 30
Other trees (2:1 substitution)		
Shrubs (10:1 substitution)		
(Describe plant substitution credits below if needed)		

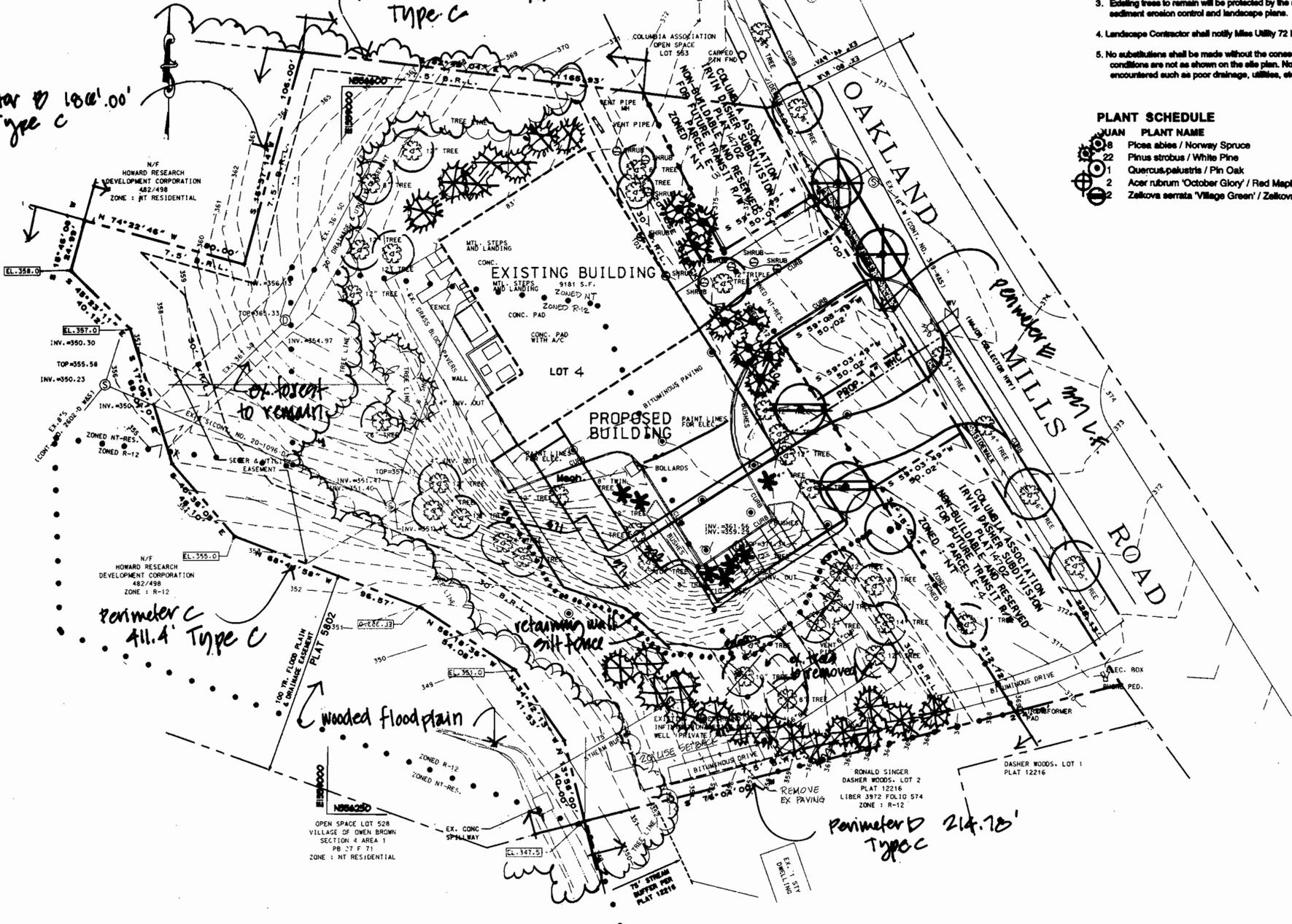
As there are a significant number of existing shade trees on the site, evergreen trees have been substituted at 2:1 for the required shade trees to provide additional screening to adjacent residential properties.

Street Trees to replace two removed trees 2

FINANCIAL SECURITY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$5,700.00.

PERIMETER	TYPE	LENGTH	EX. VEG.	REQUIREMENT
A	C	165.93	110.00	1 shade, 3 evgn.
B	C	186.00	186.00	0
C	C	411.40	411.40	0
D	C	214.78	40.00	4 shade, 9 evgn
E	B	327.00	3 shade, 2 ornamental	3 shade, 8 evergreen

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE NEW TOWN ALTERNATIVE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.

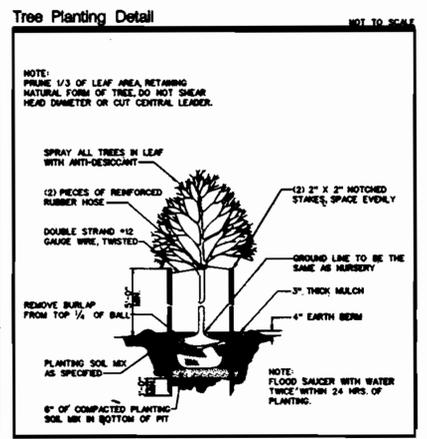
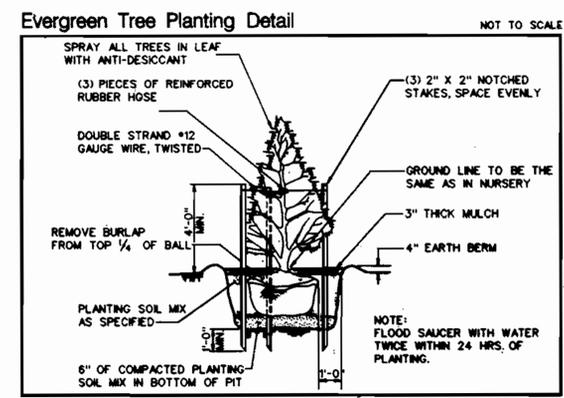


APPROVED DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 5/16/02 DATE

*[Signature]* 5/24/01 DATE

*[Signature]* 5/25/01 DATE



We certify that landscaping shown on this plan will be done in accordance with Section 16.124 of the Howard County Code and Howard County Landscape Manual.

VERIZON COMMUNICATIONS  
13100 COLUMBIA PIKE  
SILVER SPRING, MD 20904  
Owners Signature: *[Signature]* Date: 4/13/01  
Owners Signature: *[Signature]* Date: 4/13/01



**HIGGINS • LAZARUS  
LANDSCAPE ARCHITECTURE**

1125 Overbrook Road  
Baltimore, MD. 21239  
410-329-2563 T 410-377-6996 F

ADDRESS CHART	
LOT/PARCEL# 4/60	STREET ADDRESS 6440 OAKLAND MILLS ROAD
PERMIT INFORMATION CHART	
SUBDIVISION NAME IRVIN DASHER	SECTION AREA N/A
PLAT/LP 14702	LOT/PARCEL LOT 4
BLDG 16	TAX MAP NO. 36
ZONING R-12 & NT	ELECT. DIST. 6th
	CENSUS TRACT 6067.02
WATER CODE: E-06	SEWER CODE: 5202000

BUILDING ADDITION AND ALTERATIONS TO  
OWEN BROWN COMMUNICATION CENTER

*[Bell Atlantic Logo]*

6440 OAKLAND MILLS ROAD, COLUMBIA, MARYLAND 21045

*[William Doggett Architects Logo]*

WILLIAM DOGGETT ARCHITECTS

7315 Massachusetts Blvd. 6000  
Baltimore, Maryland 21284  
301-968-2000 Fax: 301-967-0094

OWNER:

CAP TELEPHONE CO. OF MD  
1 E. PRATT ST.  
BALTIMORE, MD 21202

*[Purdum and Jeschke Logo]*

PURDUM and JESCHKE, Inc.

Consulting Engineers and Land Surveyors  
Civil, Structural, Environmental  
The National Engineering Council  
1000 National Pike  
Baltimore, Maryland 21204  
Phone: 410-528-6000  
Fax: 410-528-6001

**REVISIONS**

no.	date	description

DRAWING TITLE:

**LANDSCAPE PLAN**

SCALE: 1"=20'

DRAWN BY: CADDS

CHECKED BY: PCR

DATE: 9/18/00

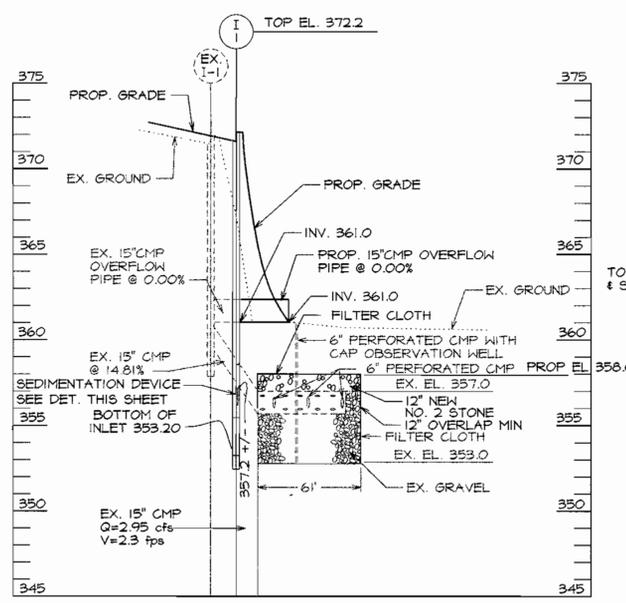
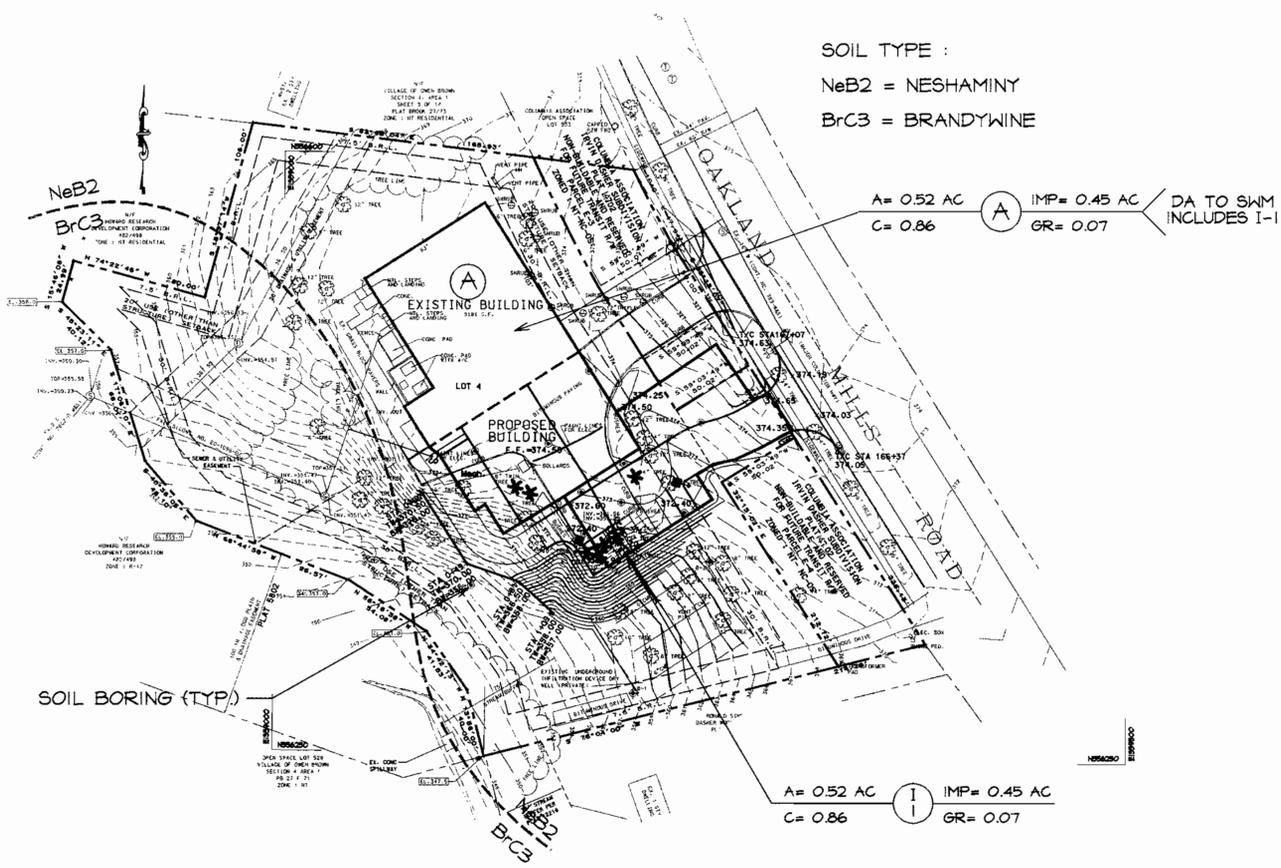
PROJECT NO. 6458-00

SHEET NO. DRAWING NO. C-5 3 OF 6 CIVIL

SOIL TYPE :  
 NeB2 = NESHAMINY  
 BrC3 = BRANDYWINE

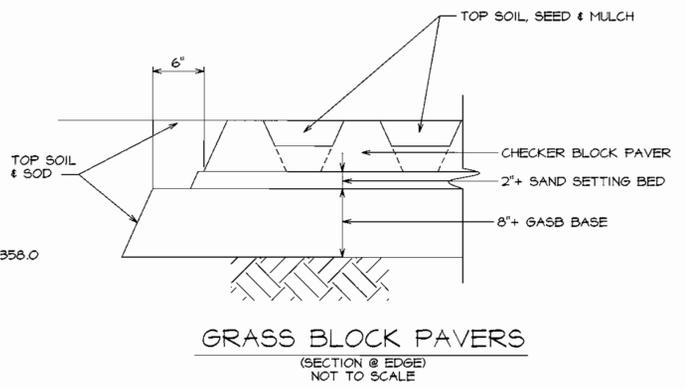
A = 0.52 AC IMP = 0.45 AC DA TO SWM INCLUDES I-1  
 C = 0.86 GR = 0.07

A = 0.52 AC IMP = 0.45 AC  
 C = 0.86 GR = 0.07

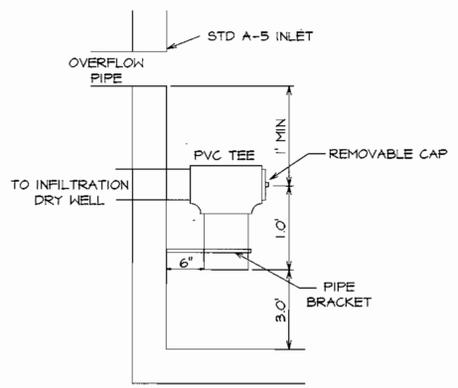


STORM DRAIN PROFILE  
 SCALE: HORIZ: 1"=50'  
 VERT: 1"=5'

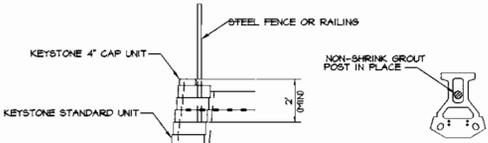
STRUCTURE SCHEDULE				
NO.	INV. IN	INV. OUT	TOP ELEV.	REMARKS
I-1	--	15" - 361.0 OVERFLOW	372.20	A-5 INLET (DET. SD 4.01)
		15" - 355.75 PERFORATED		



GRASS BLOCK PAVERS  
 (SECTION @ EDGE)  
 NOT TO SCALE

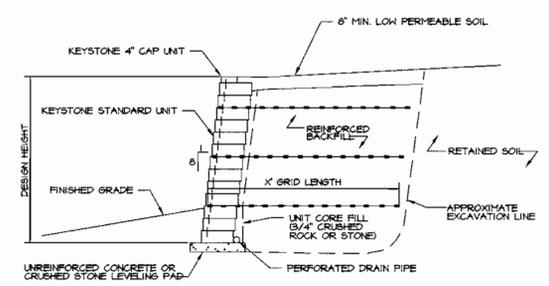


INLET/SEDIMENTATION DEVICE  
 NO SCALE



FENCE SECTION & PLAN DETAIL

N.T.S. (STANDARD UNIT - 1" MINIMUM SETBACK)



TYPICAL REINFORCED SECTION

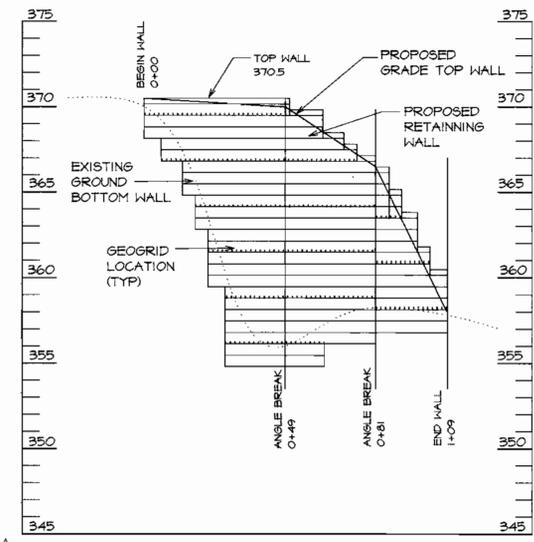
N.T.S. (STANDARD UNIT - 1" MINIMUM SETBACK)

RETAINING WALL SCHEDULE

MAX. HEIGHT	NO. LAYERS	GRID LENGTH	GEOSGRID LOCATION COURSES ABOVE BASE
3'-0"	1	3'-3"	3
4'-0"	2	3'-3"	2,5
5'-0"	2	3'-9"	3,7
6'-0"	3	4'-3"	1,5,9
7'-0"	3	4'-9"	3,7,11
8'-0"	4	5'-3"	1,5,9,13
9'-0"	4	5'-9"	3,7,11,15
10'-0"	5	6'-6"	2,6,10,14,18
11'-0"	5	6'-9"	3,7,11,15,19
12'-0"	6	7'-8"	2,6,10,14,18,22
13'-0"	6	8'-6"	2,6,10,14,18,22
14'-0"	7	9'-0"	2,6,10,14,18,22,26

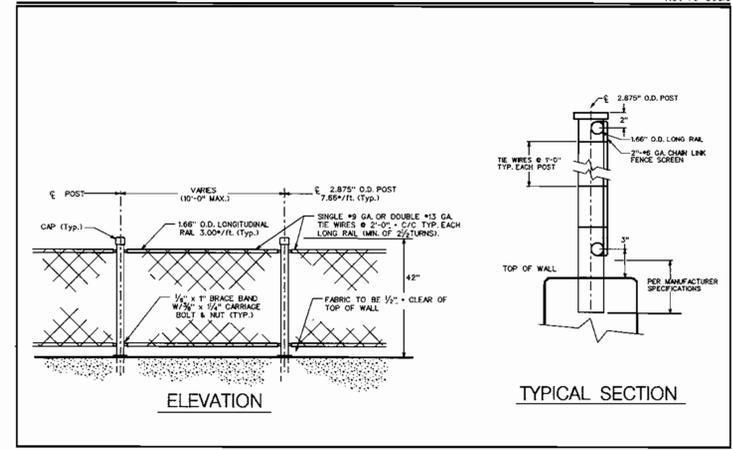
OPERATION AND MAINTENANCE SCHEDULE FOR INFILTRATION TRENCHES

- THE MONITORING WELLS AND STRUCTURES SHALL BE INSPECTED ON A QUARTERLY BASIS AND AFTER LARGE STORM EVENT.
- WATER LEVELS AND SEDIMENT BUILD UP IN THE MONITORING WELLS SHALL BE RECORDED OVER A PERIOD OF SEVERAL DAYS TO ENSURE TRENCH DRAINAGE.
- A LOG BOOK SHALL BE MAINTAINED TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
- WHEN THE FACILITY BECOMES CLOGGED SO THAT IT DOES NOT DRAIN DOWN WITHIN THE 72 HOUR TIME PERIOD, CORRECTIVE ACTION SHALL BE TAKEN.
- THE MAINTENANCE LOG BOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.
- ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION FACILITY HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.



RETAINING WALL PROFILE  
 SCALE: HORIZ: 1"=30'  
 VERT: 1"=5'

42" Chain Link Fence Detail



ELEVATION

TYPICAL SECTION

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature] 5/16/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 [Signature] 5/20/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 [Signature] 5/25/01  
 DIRECTOR



ADDRESS CHART		STREET ADDRESS	
LOT/PARCEL#	4/68	6440 OAKLAND MILLS ROAD	
PERMIT INFORMATION CHART			
SUBDIVISION NAME	IRVIN DASHNER	SECTION AREA	N/A
PLAT/REF L/F	14702 16	TAX MAP No.	36
GRID	16	ZONING	R-12 & NT
WATER CODE	E-06	ELECT. DIST.	6th
		CENSUS TRACT	6067.02
		SEWER CODE	5202000

BUILDING ADDITION AND ALTERATIONS TO  
**OWEN BROWN COMMUNICATIONS CENTER**  
 Bell Atlantic  
 6440 OAKLAND MILLS ROAD, COLUMBIA, MARYLAND 21045

WILLIAM DOGGETT ARCHITECTS  
 7315 Wacoosh Avenue Suite 606E  
 Bethesda, Maryland 20814  
 301-986-5666 fax 301-907-0094

OWNER:  
 CAP TELEPHONE CO. OF MD  
 1 E. PRATT ST.  
 BALTIMORE, MD 21202

PURDUM and JESCHKE, LLC  
 Consulting Engineers and Land Surveyors  
 Civil Structural Environmental  
 The Professional Engineering Center  
 8009 Harford Road  
 Baltimore, Maryland 21284  
 Phone: 410-668-8800  
 Fax: 410-668-8101

REVISIONS

no.	date	description

DRAWING TITLE:  
**D.A. MAP, PROFILES & SITE DETAILS**

SCALE: AS SHOWN  
 DRAWN BY: CADDs  
 CHECKED BY: PCR  
 DATE: 12/08/00

PROJECT NO.  
**6458-00**

SHEET NO. DRAWING NO.  
**C-6**  
 6 OF 6  
 CIVIL

SDP NO. 00-129