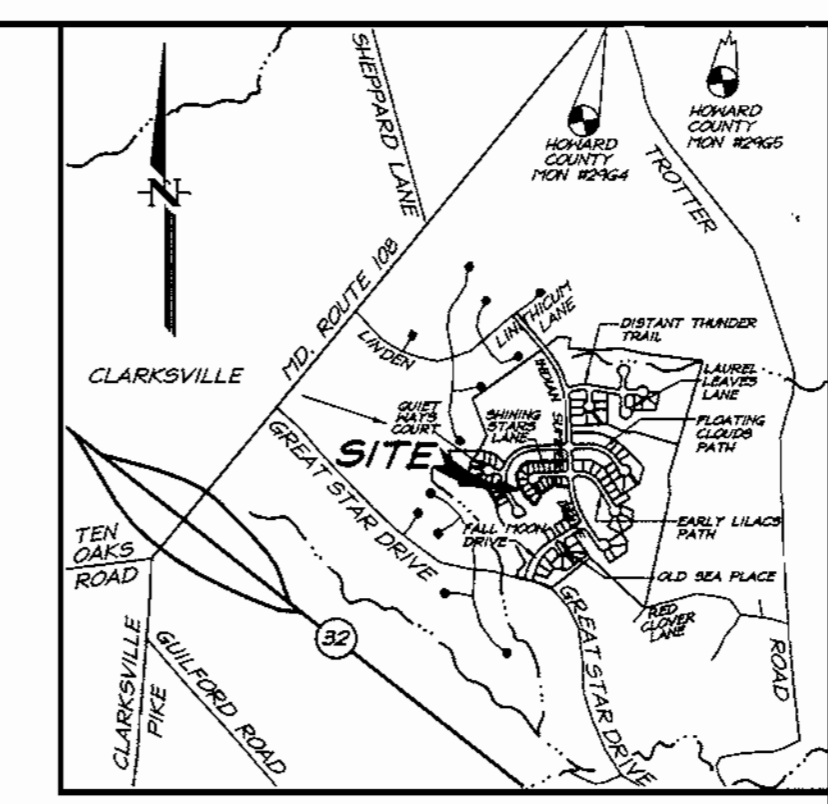


LEGEND



ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
192	12132 SHINING STARS LANE
193	12136 SHINING STARS LANE
194	12137 SHINING STARS LANE
197	12126 SHINING STARS LANE
219	12133 SHINING STARS LANE
220	12129 SHINING STARS LANE
221	12134 SHINING STARS LANE
222	12120 SHINING STARS LANE
223	12116 SHINING STARS LANE
224	12112 SHINING STARS LANE
225	12108 SHINING STARS LANE
226	12104 SHINING STARS LANE
227	12100 SHINING STARS LANE
228	12101 SHINING STARS LANE
229	12107 SHINING STARS LANE
230	12113 SHINING STARS LANE
231	12105 SHINING STARS LANE
232	12101 SHINING STARS LANE

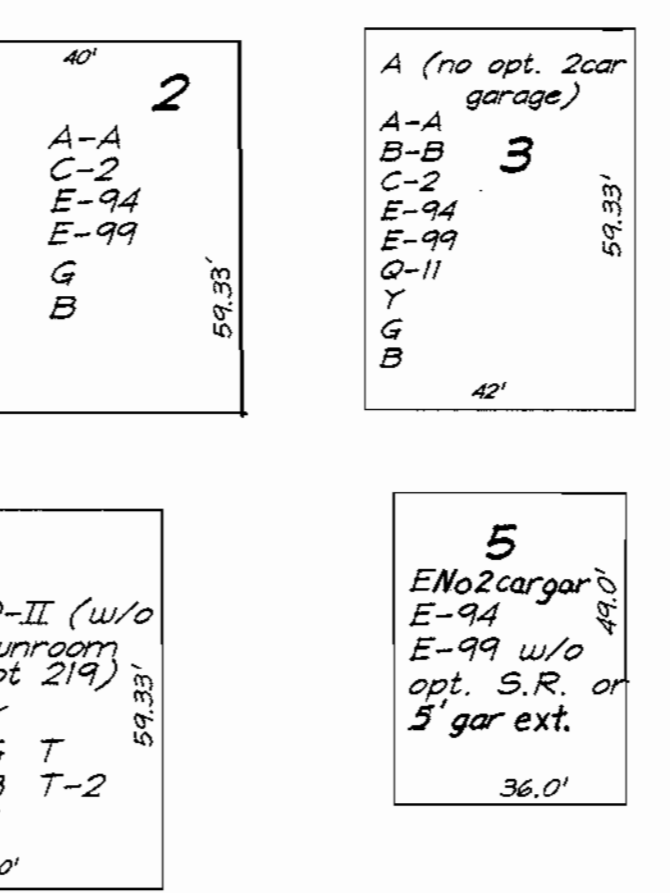


VICINITY MAP
Scale: 1"=2000'

BENCHMARKS:
Howard County Monument 29G4
Intersection of MD. Route 108 and Trotter Road
Howard County Monument 29G5
on additional 2,544'± Northeastly along MD. Route 108 away from Site

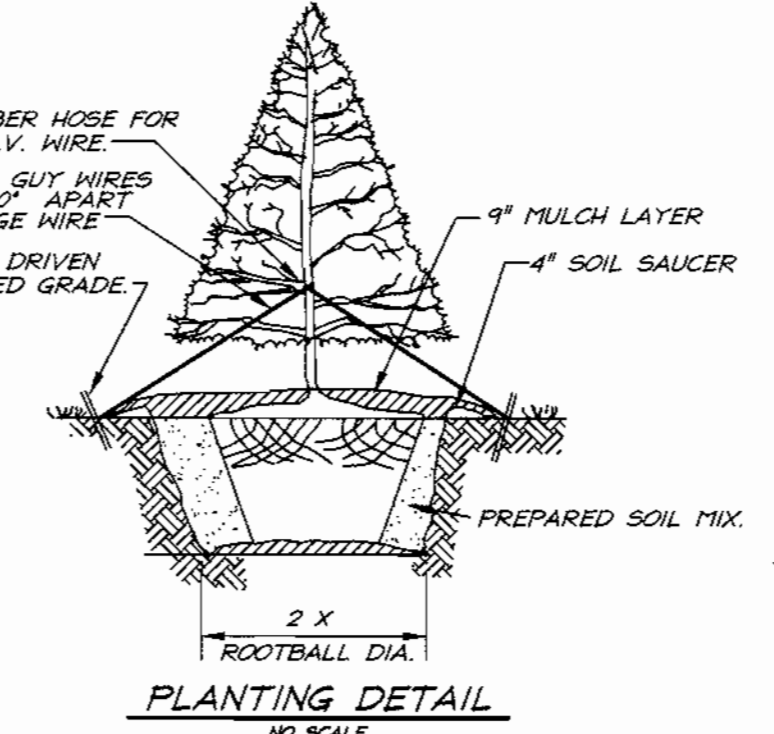
SHEET INDEX	
DESCRIPTION	SHEET NO.
SITE DEVELOPMENT / LANDSCAPE PLAN	1 & 2 of 4
SEDIMENT & EROSION CONTROL PLAN	3 & 4 of 4

- GENERAL NOTES:**
- Subject property is zoned: NTSFMD per 10-18-93 Comprehensive Zoning Plan.
 - The total area included in this submission is: 2.93 Acres.
 - The total number of lots included in this submission is: 18
 - Improvement to property: Single Family Detached
 - The maximum lot coverage permitted is: 30%
 - Department of Planning and Zoning reference file numbers: F-98-120 8-83-218-1, F-98-130, 1988 Cont.No.34-3400-D, FDP-2224, Part IV.
 - Utilities shown as existing are taken from approved Water and Sewer plans Contract #34-3420-D, approved Road Construction plans F-96-130, and actual field survey.
 - Any damage to county owned rights-of-way shall be corrected at the developer's expense.
 - All roadways are public and existing.
 - The existing topography was taken from Road Construction Plans prepared by Daft, Maine, Walker Inc. 7-10-97
 - The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monuments Numbers: 29G4 & 29G5
 - The contractor shall notify the Department of Public Works/ Division of Construction Inspection at (410) 315-1800 at least twenty-four (24) hours prior to the start of work.
 - The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
 - For driveway entrance details, refer to Ho. Co. Design Manual Volume IV details R.6.03 & R.6.06.
 - In accordance with FDP-Phase 222-A, Part 4, bay windows or chimneys not more than 10 feet in width may project not more than 4 feet into any setbacks; porches and decks may project not more than 3 feet into the front or rear setbacks. Exterior stairway/areaways may not project into any setbacks.
 - Stormwater Management quantity and quality for the improvements from Bright Flow Meus, area North of Distant Thunder Trail DA to M309 from Section 4 Area E, F-96-102 will be provided by an excavated pond East of Distant Thunder Trail. Said pond will be jointly maintained. Stormwater Management quantity for the improvements West of Indian Summer Drive and South of Sunlit Water Way is provided by Village of River Hill Section 4 Area I, F-96-110. Water quality will be provided by bio-retention or shallow marsh at the storm drain outfalls and will be jointly maintained. Stormwater Management quantity for the improvements East of Indian Summer Drive and South of Distant Thunder Trail are provided for in Section 4 Area I, F-96-110 by proposed features as described in a report prepared by Whitman, Reardon & Associates and approved as of 1/20/98. Water quality will be provided by bio-retention or shallow marsh at the storm drain outfalls and will be jointly maintained.
 - SHC Elevations shown are at the property lines.
 - This plan has been prepared in accordance with the provisions of section 16.124 of the Howard County code and Landscape Manual. Financial Surety for the trees in schedule A in the amount of \$ 2,400 shall be part of the Builders Grading Permit Application.
 - This property is exempt from the Forest Conservation requirements per section 16.1202(b)(1)(v) of the Howard County Code because it is part of a planned unit development with preliminary plan approval prior to 12/31/92.
 - Section 16.116(a) of the Subdivision and Land development Regulations prohibits clearing, grading or construction activity within the required 25 foot wetland and 75-foot perennial or 50-foot intermittent stream buffers.



SCHEDULE A PERIMETER LANDSCAPE EDGE		
Category	Adjacent to Roadways	Adjacent to Other
Landscape Type	B	B
Frontage/Perimeter	126'	113'
Number of Plants Required		
Shade Trees (1/50)	3	2
Evergreen Trees (1/40)	3	3
Shrubs		
Number of Plants Provided		
Shade Trees	3	2
Evergreen Trees	3	3
Surety Amounts	\$1350.00	\$1050.00

* Comments: Planting to be provided per the New Town Alternative Compliance method.

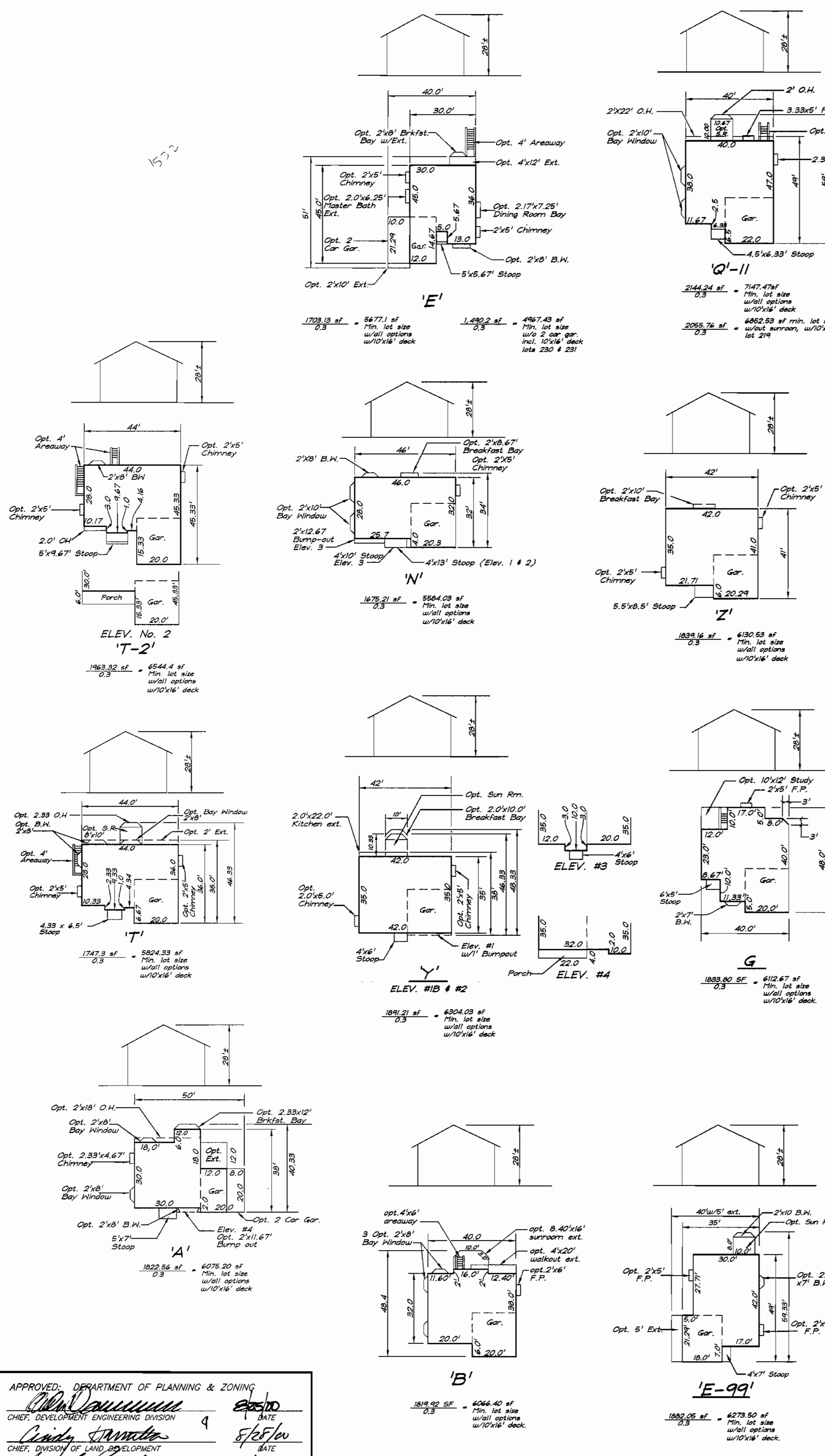


PLANT SCHEDULE				
KEY	PLANT NAME	SIZE	QUAN	REMARKS
(AR)	ACER RUBRUM 'RED SUNSET'	2 1/2"-3" CAL. 12'-14' HT.	5	B4B
(PS)	PINUS STROBUS WHITE PINE	6'-8' HT.	6	B4B

- NOTES:**
- All plant materials shall be full and heavy, be well formed and symmetrical, conform to the most current AAN specifications and be installed in accordance with HPD planting specifications.
 - Contractor shall verify location of all underground utilities prior to digging.
 - Final location of plant material may need to vary to meet final field conditions. Trees shall not be planted in the bottom of drainage swales.

DEVELOPER'S/BUILDERS CERTIFICATE
I/We certify that the landscaping shown on this plan will be done according to plan, section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certificate of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

Name: Clark, Finefrock & Sackett, Inc. Date: 7-7-00



APPROVED: DEPARTMENT OF PLANNING & ZONING
 Chief, Development Engineering Division: [Signature] DATE: 8/31/00
 Chief, Division of Land Development: [Signature] DATE: 8/31/00
 Director: [Signature] DATE: 8/31/00

SUBDIVISION NAME: COLUMBIA HILL		SECTION/AREA: 4/4	LOTS/PARCELS: 192, 193, 194, 197, 219-232
PLAT NO.: 13286	BLOCK NO.: 14	ZONE: NTSFMD	TAX MAP NO.: 35
ELECTION DIST.: 5TH		CENSUS TRACT: 6055	
WATER CODE: 110		SEWER CODE: 6653000	

CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

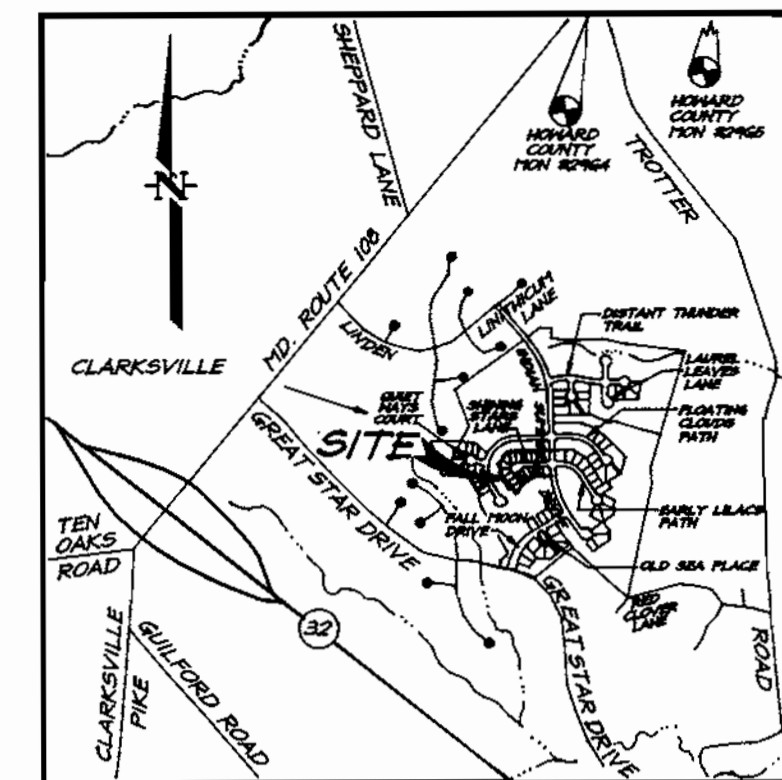
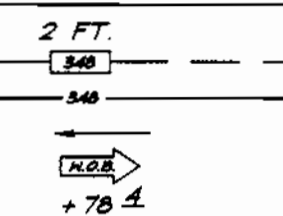
DESIGNED: BAL	SITE DEVELOPMENT PLAN	SCALE: 1" = 30'
DRAWN: ZAH	LOTS 192, 193, 194, 197 & 219 THRU 232	DRAWING: 1 of 4
CHECKED: BAL	COLUMBIA VILLAGE OF RIVER HILL	JOB NO.: 00-046
DATE: JULY, 2000	SECTION 4 AREA 4 FIFTH (5TH) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	FILE NO.: 00-046-X

FOR: PATRIOT HOMES
P.O. Box 1018 (Harpers Farm Road)
Columbia, Maryland 21044

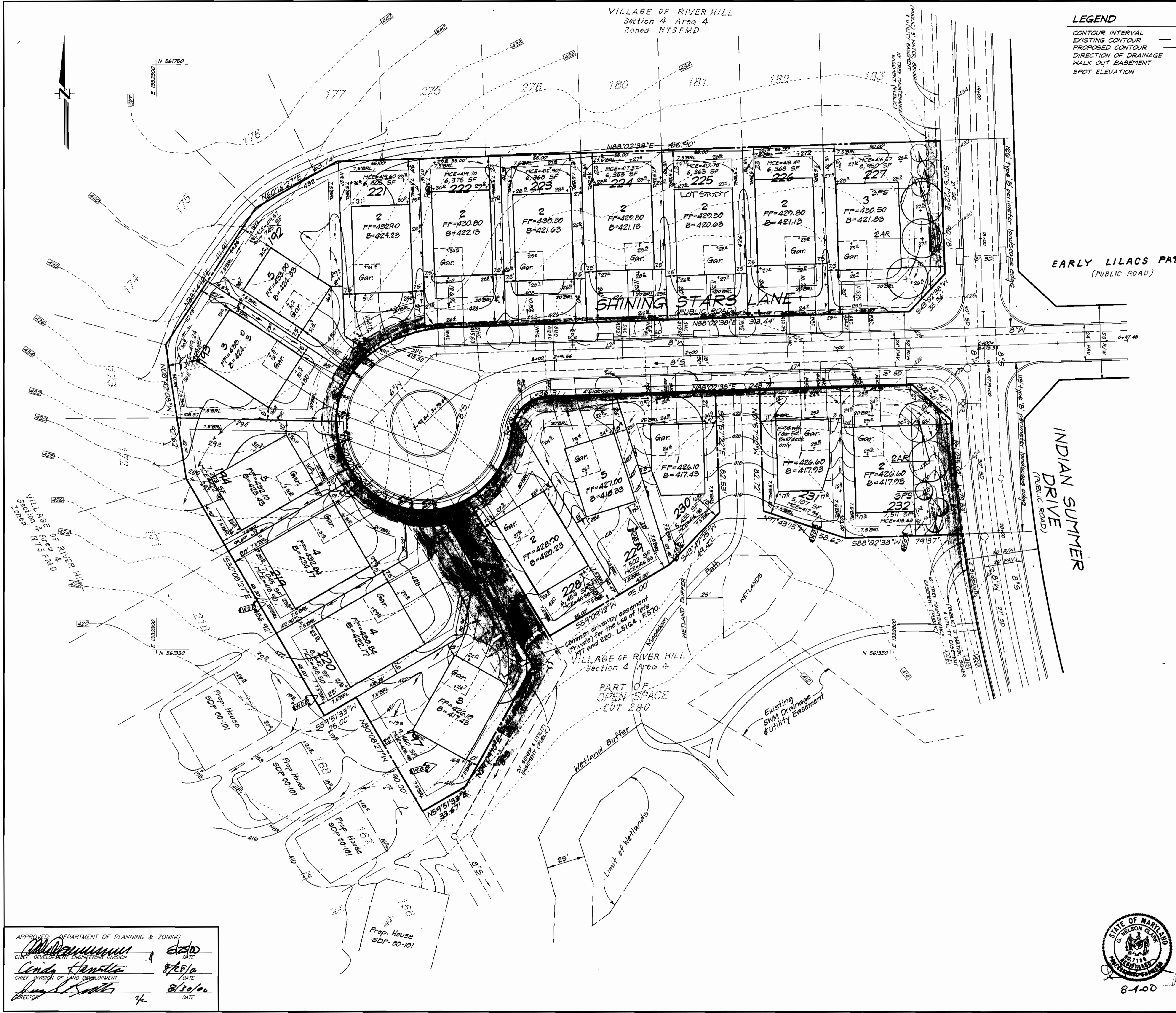
VILLAGE OF RIVER HILL
Section 4 Area 4
Zoned NTSFMD

LEGEND

CONTOUR INTERVAL
EXISTING CONTOUR
PROPOSED CONTOUR
DIRECTION OF DRAINAGE
WALK OUT BASEMENT
SPOT ELEVATION



VICINITY MAP
Scale: 1"=2000'

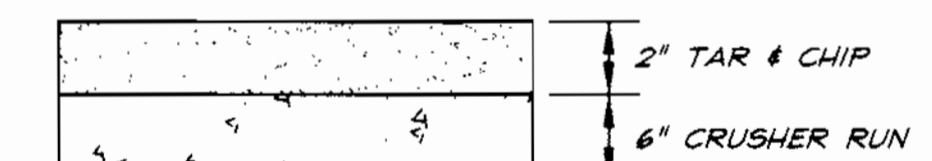


EARLY LILACS PATH
(PUBLIC ROAD)

INDIAN SUMMER
DRIVE
(PUBLIC ROAD)

USE-IN-COMMON DRIVE PAVING NOTES AND DETAILS
FOR LOTS 197 AND 220

- Driveway(s) shall be provided prior to residential occupancy to insure safe access for fire and emergency vehicles per the following minimum requirements:
- Width- 12 feet (14 feet serving more than one residence).
 - Surface- 6 inches of compacted crusher run base with tar and chip coating.
 - Geometry- Maximum 15% grade, maximum 10% grade change and minimum of 45-foot turning radius.
 - Structures (culvert/bridges)- Capable of supporting 25 gross tons (H25 loading).
 - Drainage elements- Capable of safely passing 100-year flood with no more than 1 foot depth over driveway surface.
 - Structure clearances- minimum 12 feet.
 - Maintenance- Sufficient to insure all weather use.



PAVING SECTION FOR
USE-IN-COMMON DRIVEWAY
NOT TO SCALE

OWNER / DEVELOPER
THE HOWARD RESEARCH AND DEVELOPMENT CORP.
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044

CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS

DESIGNED	BAL	SITE DEVELOPMENT PLAN LOTS 192, 193, 194, 197 & 219 THRU 232 COLUMBIA VILLAGE OF RIVER HILL SECTION 4 AREA 4 FIFTH (5TH) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE	1" = 30'
DRAWN	ZH/BLP		DRAWING	2 of 4
CHECKED	BAL		JOB NO.	00-046
DATE	JULY, 2000		FILE NO.	00-046-X
FOR: PATRIOT HOMES P.O. Box 1018 (Harpers Farm Road) Columbia, Maryland 21044				

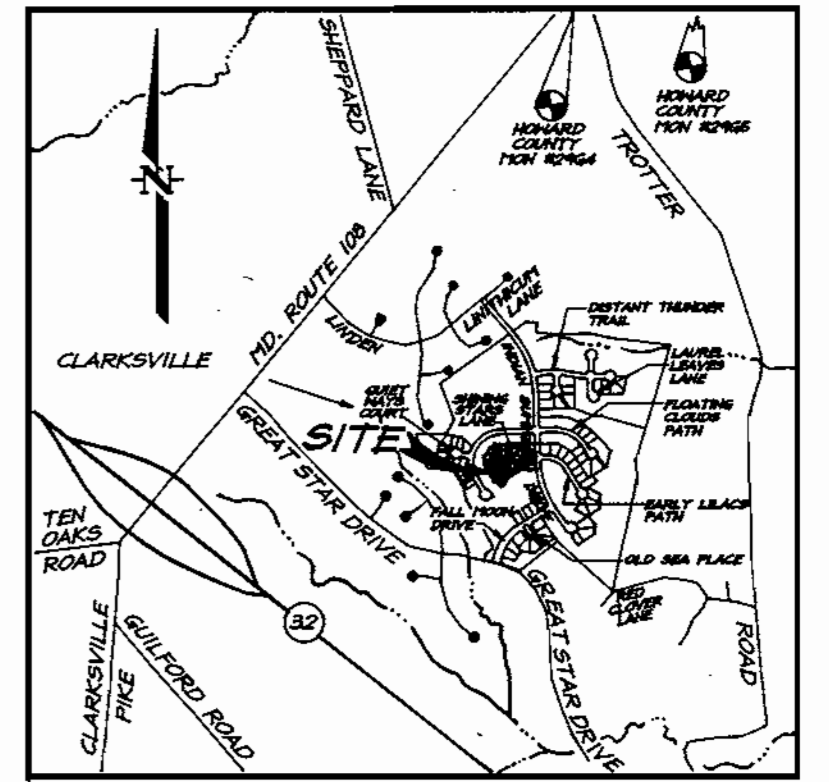


APPROVED DEPARTMENT OF PLANNING & ZONING
 [Signature] 8/20/00
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 8/20/00
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 8/30/00
 DIRECTOR

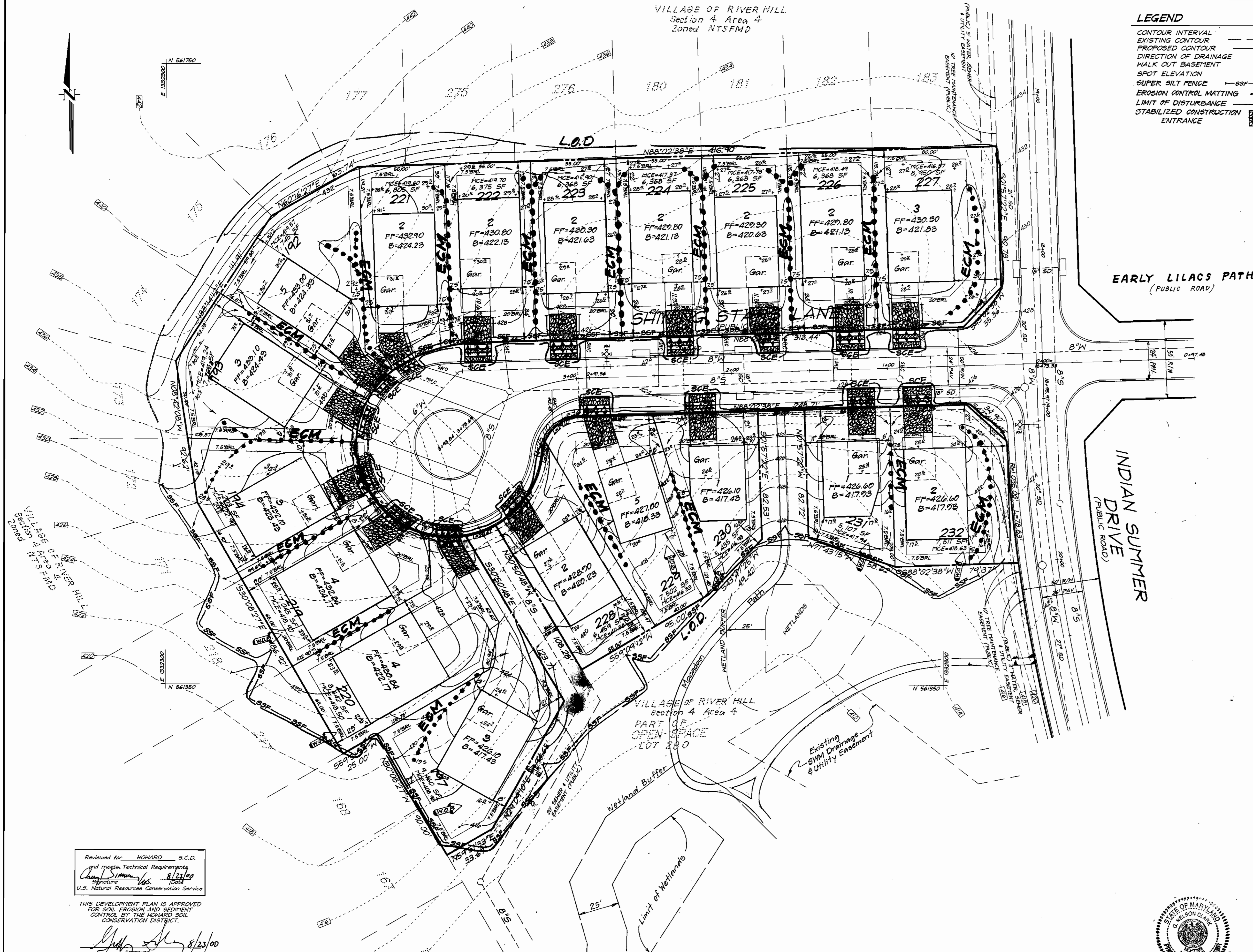
VILLAGE OF RIVER HILL
Section 4 Area 4
Zoned NTSPMD

LEGEND

- CONTOUR INTERVAL 2 FT.
- EXISTING CONTOUR
- PROPOSED CONTOUR
- DIRECTION OF DRAINAGE
- WALK OUT BASEMENT
- SPOT ELEVATION
- SUPER SILT FENCE
- EROSION CONTROL MATTING
- LIMIT OF DISTURBANCE
- STABILIZED CONSTRUCTION ENTRANCE



VICINITY MAP
Scale: 1"=2000'



EARLY LILACS PATH
(PUBLIC ROAD)

INDIAN SUMMER
DRIVE
(PUBLIC ROAD)

Reviewed for: HOWARD S.C.D.
and meets Technical Requirements
and meets 8/23/00
Signature: [Signature] Date: 8/23/00
U.S. Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED
FOR SOIL EROSION AND SEDIMENT
CONTROL BY THE HOWARD SOIL
CONSERVATION DISTRICT.

[Signature] 8/23/00
Approved

APPROVED: DEPARTMENT OF PLANNING & ZONING
[Signature] 8/25/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION
[Signature] 8/25/00
CHIEF, DIVISION OF LAND DEVELOPMENT
[Signature] 8/30/00
DIRECTOR

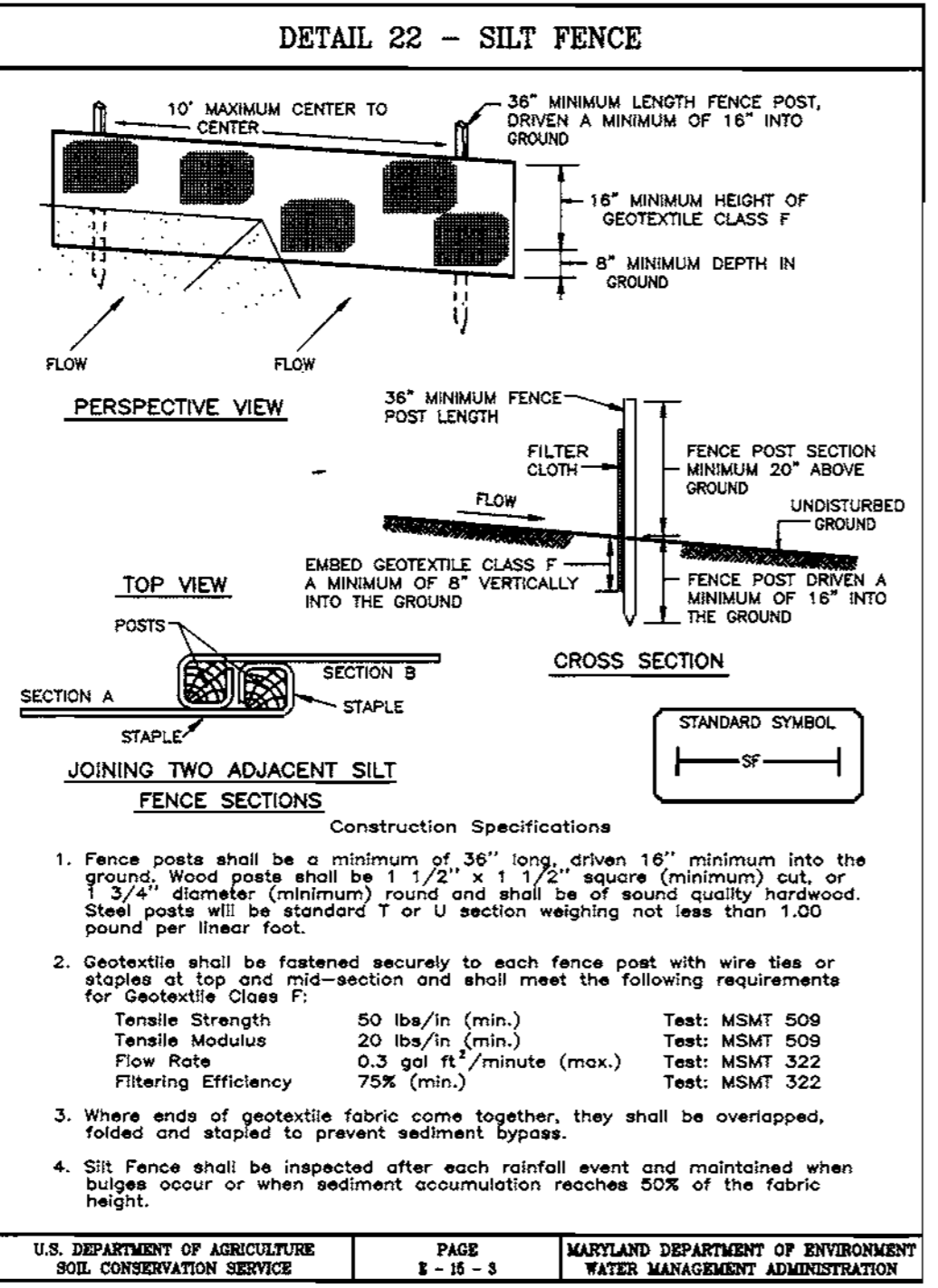
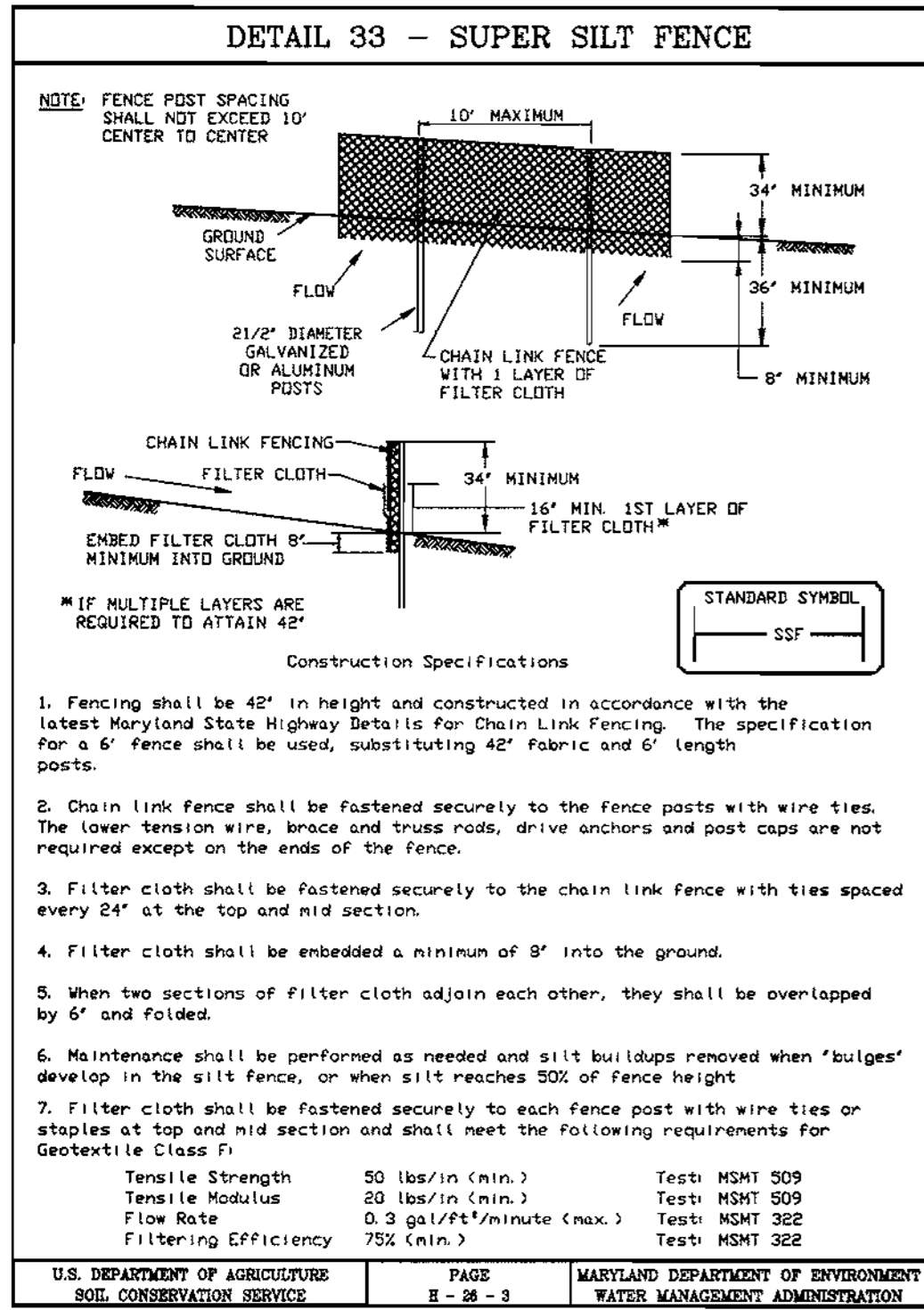
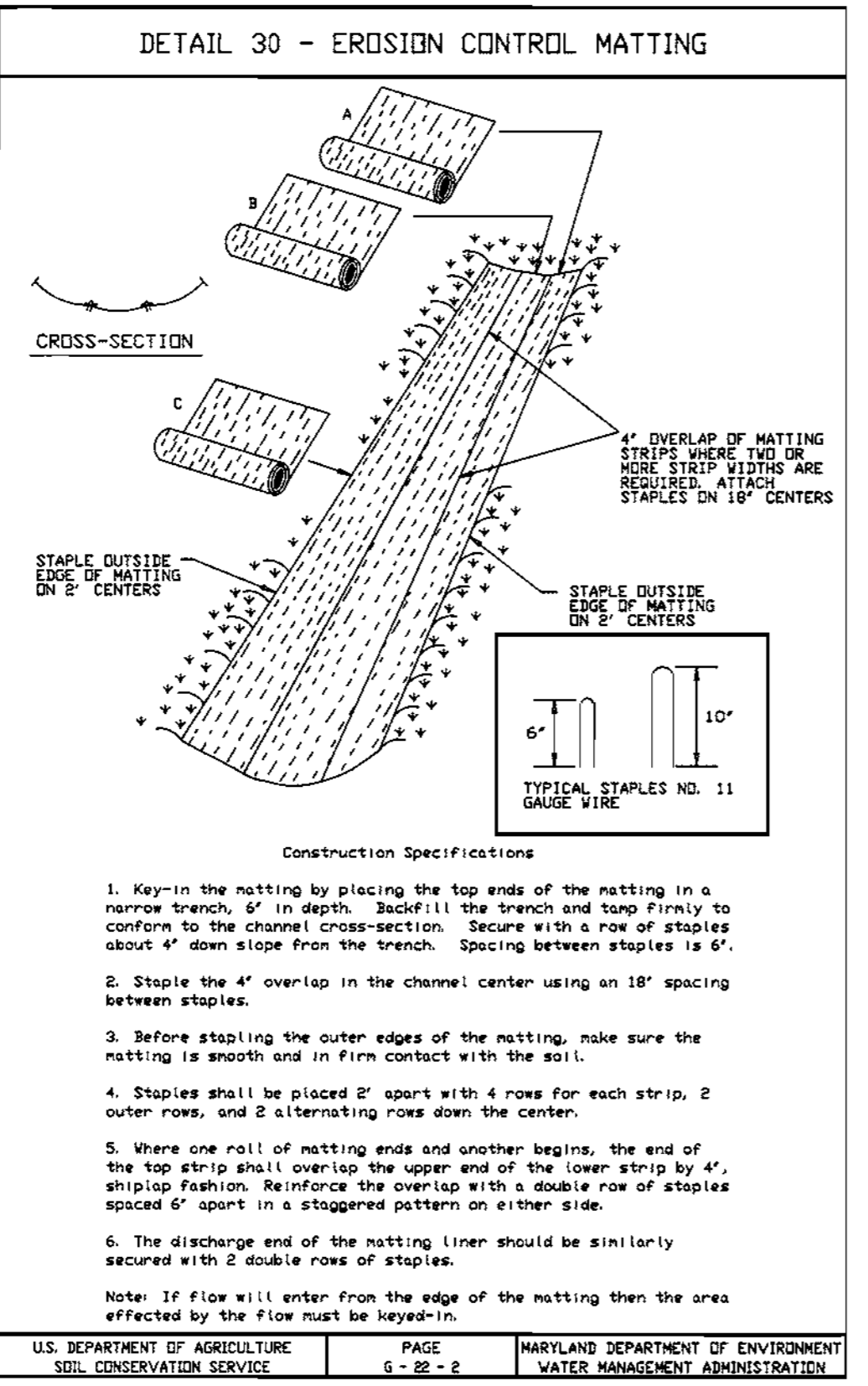
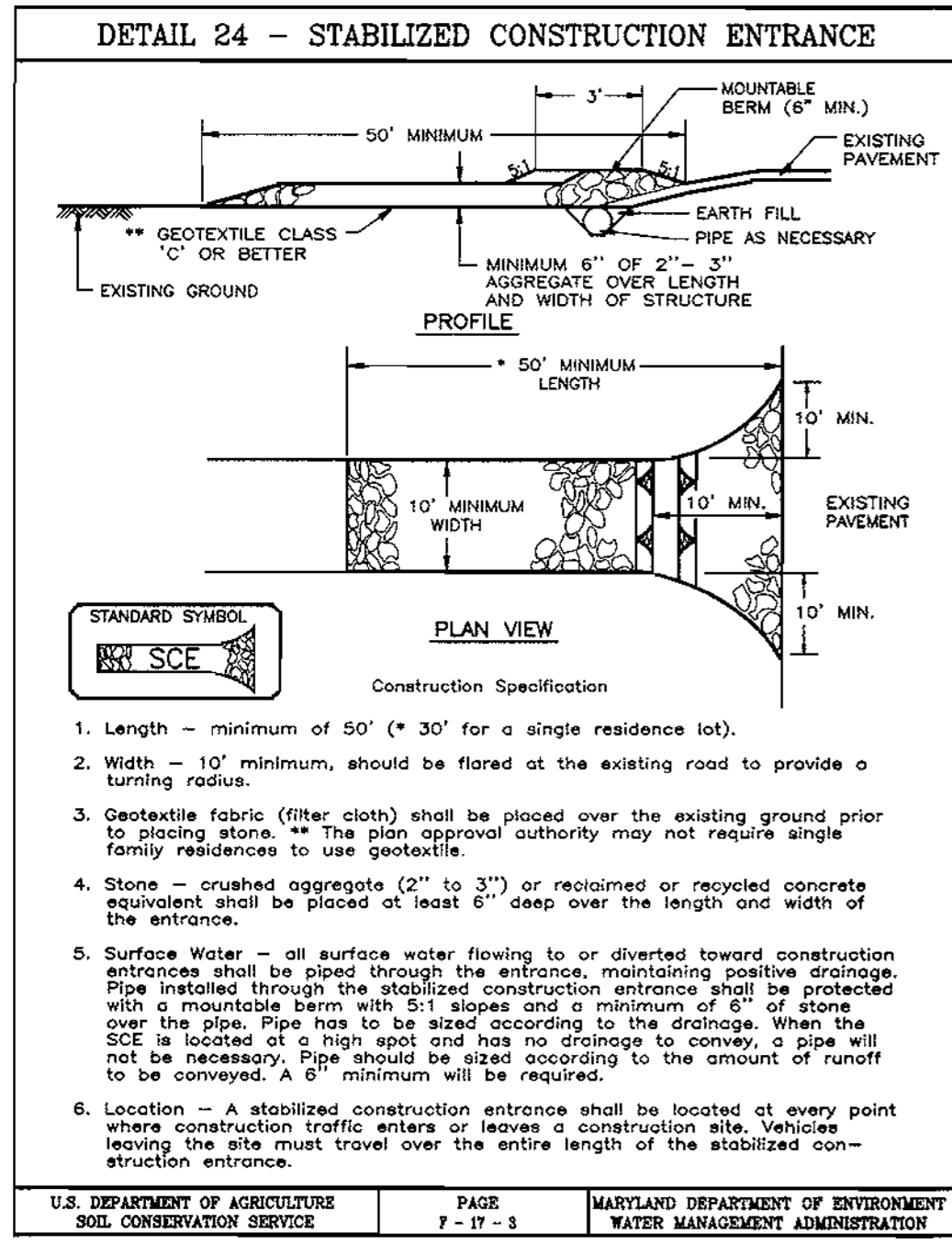
DEVELOPER'S/BUILDER'S CERTIFICATE
I hereby certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.
[Signature] 5-9-00
NAME DATE

ENGINEER'S CERTIFICATE
I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
[Signature] 5-10-00
G. NELSON CLARK DATE



OWNER / DEVELOPER
THE HOWARD RESEARCH AND DEVELOPMENT CORP.
10276 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044

CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.	
DESIGNED PAC	SCALE 1" = 30'
DRAWN ZH	DRAWING 3 of 4
CHECKED RJHS	JOB NO. 00-046
DATE JULY, 2000	FILE NO. 00-046-5E
SEDIMENT CONTROL PLAN LOTS 192, 193, 194, 197 & 219 THRU 232 COLUMBIA VILLAGE OF RIVER HILL SECTION 4 AREA 4 FIFTH (5TH) ELECTION DISTRICT HOWARD COUNTY, MARYLAND FOR: PATRIOT HOMES P.O. Box 1018 (Harpers Farm Road) Columbia, Maryland 21044	



PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules:

- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/100 sq.ft.) and 600 lbs per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (4 lbs./1000 sq.ft.)
- Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq.ft.) and apply 1000 lbs. per acre 10-10-10 fertilizer (23 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil.

SEEDING: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs./1000 sq.ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (25 lbs./1000 sq.ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod, Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq.ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 200 gallons per acre (8 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 6 feet or higher, use 348 gallons per acre (8 gal/1000 sq.ft.) for anchoring.

MAINTENANCE: Inspect all seeded areas and make needed repairs, replacements and reseatings.

TEMPORARY SEEDING NOTES

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.)

SEEDING: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushel per acre of annual rye (3.2 lbs./1000 sq.ft.) For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (.07 lbs./1000 sq.ft.). For the period November 1 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq.ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 200 gallons per acre (8 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 6 feet or higher, use 348 gallons per acre (8 gal/1000 sq.ft.) for anchoring.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

2.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

Definition
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose
To provide a suitable soil medium for vegetable growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies

- This practice is limited to areas having 2:1 or flatter slopes where:
 - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 - The original soil to be vegetated contains material toxic to plant growth.
 - The soil is so acidic that treatment with limestone is not feasible.
- For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

- Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.
 - Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or a soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of clumps, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 and 1/2" in diameter.
 - Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as specified.
 - Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
 - For sites having disturbed areas under 5 acres:
 - Place topsoil (if required) and apply soil amendments as specified in 2.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

SEDIMENT AND EROSION CONTROL NOTES

- A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction (315-1055).
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in accordance with the 1994 MARYLAND STANDARDS AND SPECS. FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within:
 - 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1
 - 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeters in accordance with Vol. I, Chapter 7 of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings, sod, temporary seeding and mulching (Sec. G).
Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
 - When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
 - Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.
 - Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
 - Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seeded preparation.
- Trenches for the construction of utilities shall be backfilled and stabilized within one working day, or be limited to three pipe lengths.

Total Area of Site:	2.93 Acres
Area Disturbed:	3.18 Acres
Area to be roofed or paved:	1.20 Acres
Area to be vegetatively stabilized:	1.98 Acres
Total Cut:	5642 CY
Total Fill:	4721 CY
Offsite Waste/Borrow Area Location:	

* It is the responsibility of the contractor to identify the spoil/borrow site and notify and gain approval from the sediment control inspector of the site and its grading permit number at the time of construction.

CONSTRUCTION SEQUENCE:

	NO. OF DAYS
1. Obtain grading permit.	7
2. Install tree protection fence.	7
3. Install sediment and erosion control devices and stabilize.	14
4. Excavate for foundations, rough grade and temporarily stabilize.	30
5. Construct structures, sidewalks and driveways.	60
6. Final grade, install Erosion Control Matting and stabilize in accordance with standards and specifications.	14
7. Upon approval of the sediment control inspector, remove sediment and erosion control devices and stabilize.	7

* Delay construction of houses on lots: N/A

APPROVED: DEPARTMENT OF PLANNING & ZONING
 [Signature] DATE 8/23/00
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] DATE 8/23/00
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] DATE 8/30/00
 DIRECTOR

Reviewed for: HOWARD S.C.D.
 and meets Technical Requirements
 [Signature] DATE 8/23/00
 U.S. Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature] DATE 8/23/00
 APPROVED

DEVELOPER'S/BUILDER'S CERTIFICATE

I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as deemed necessary.

[Signature] DATE 5-9-00

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

[Signature] DATE 5-10-00
 G. NELSON CLARK



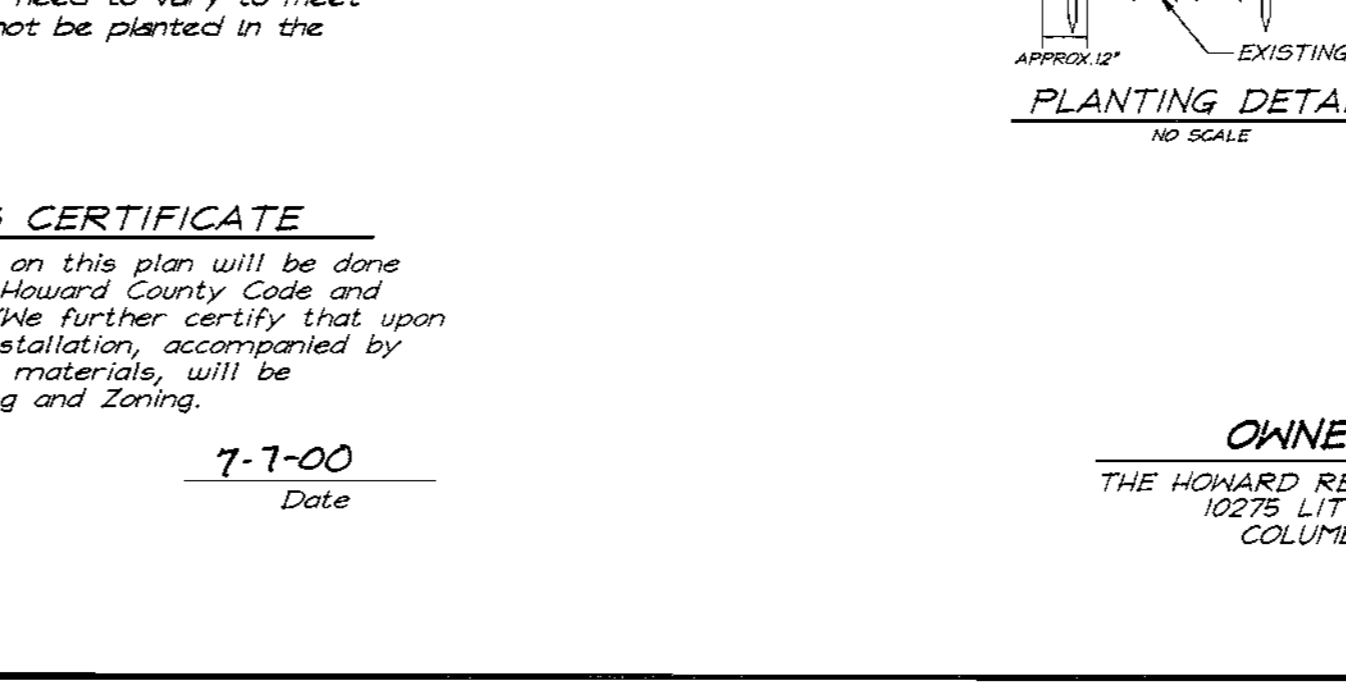
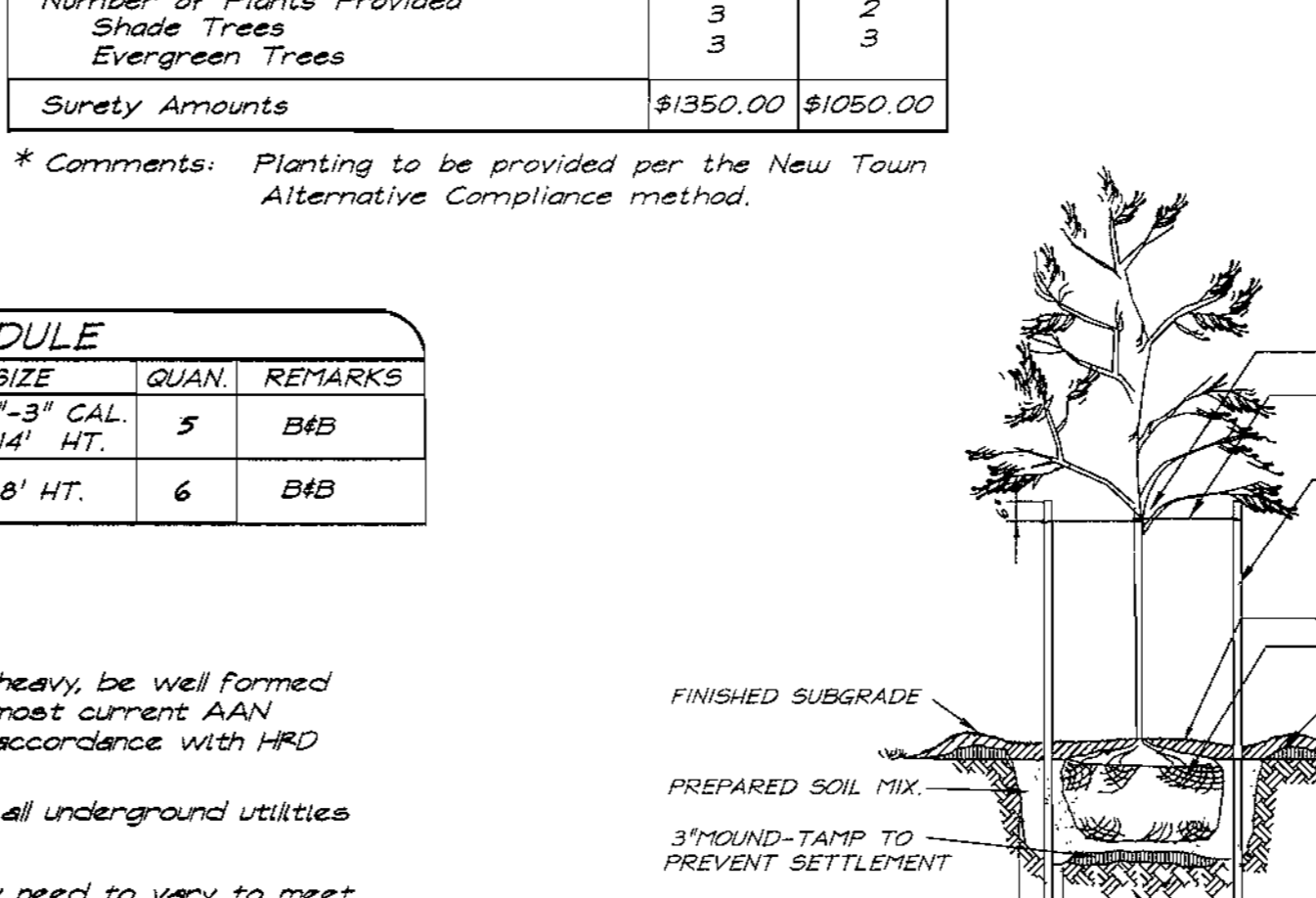
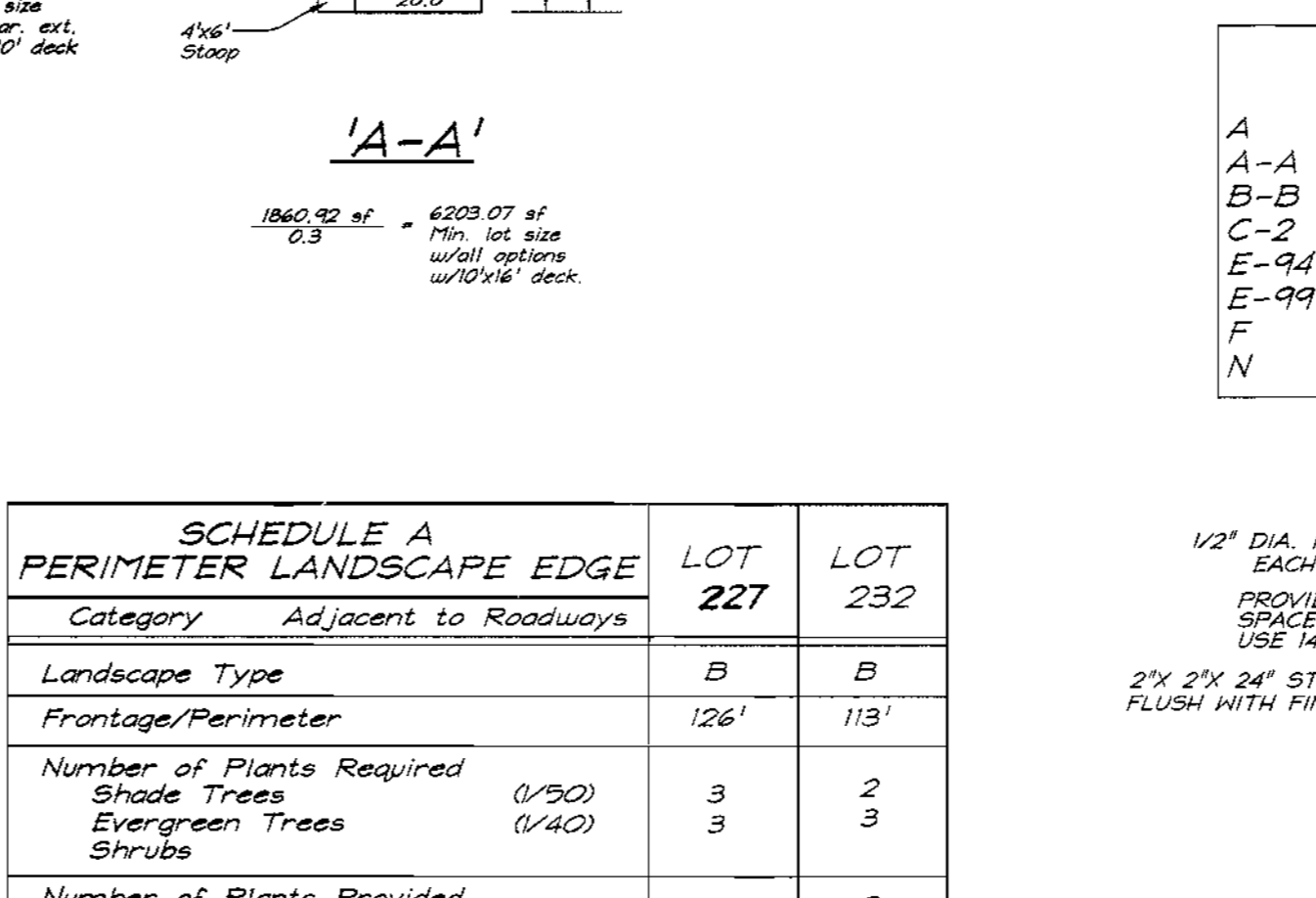
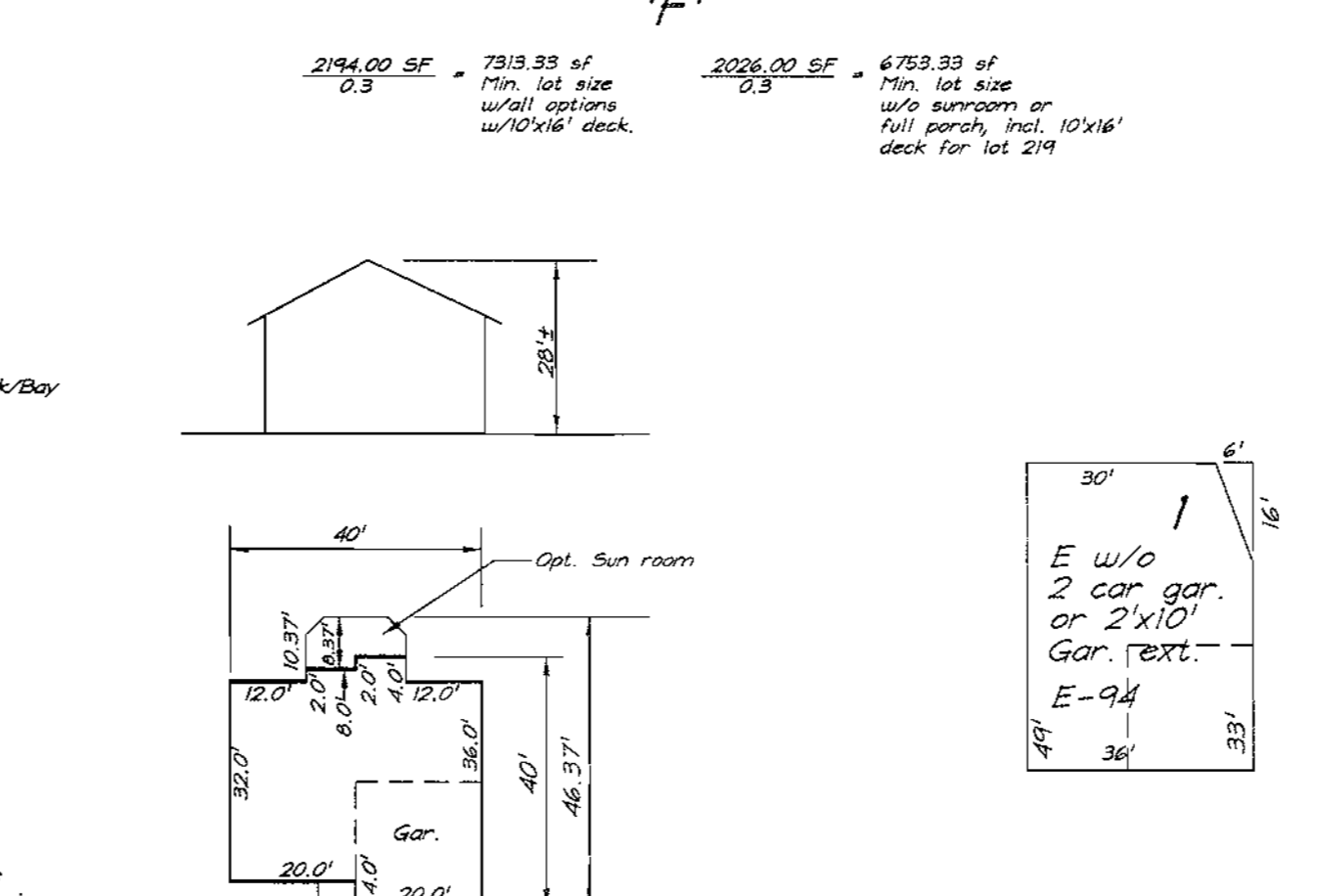
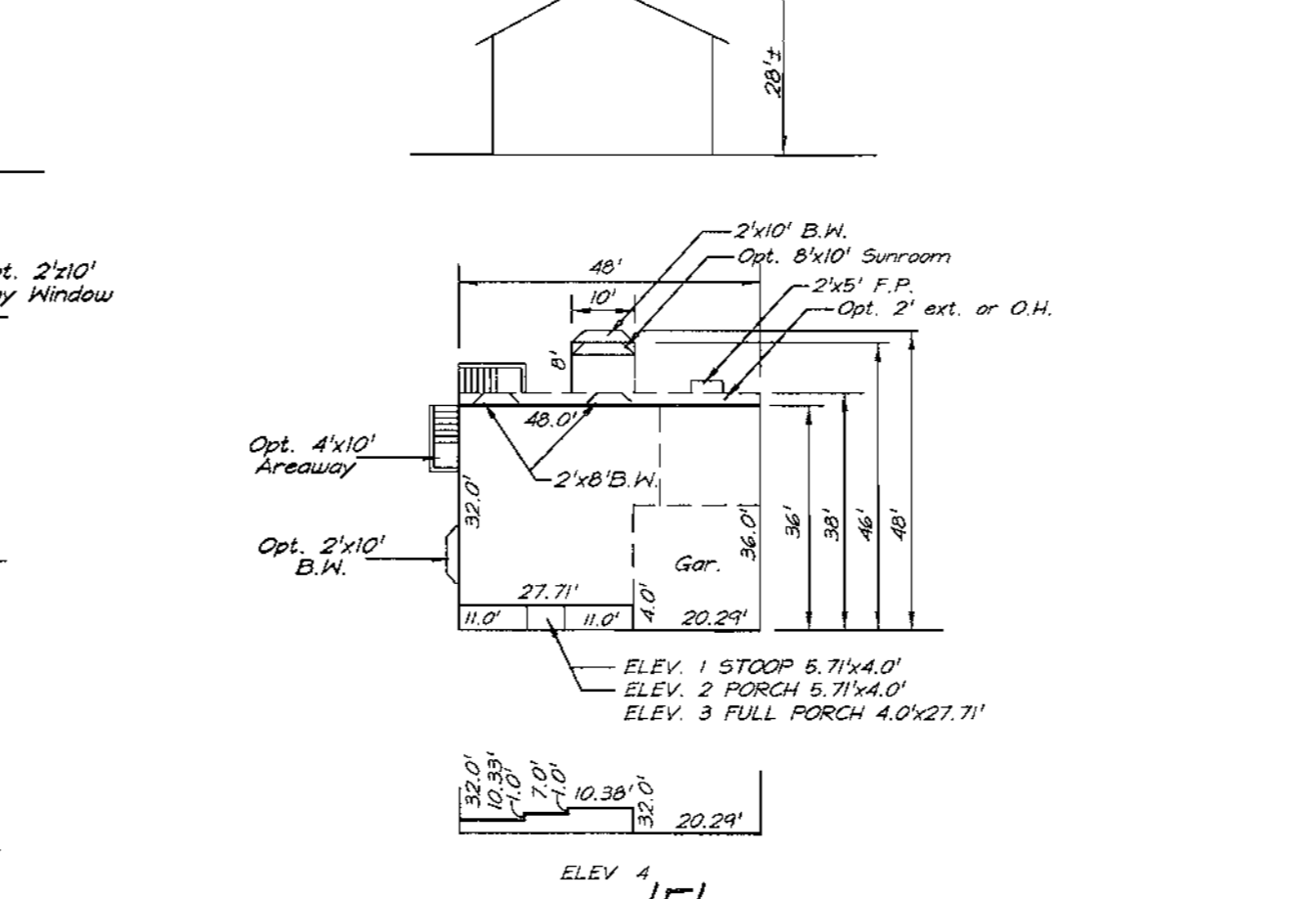
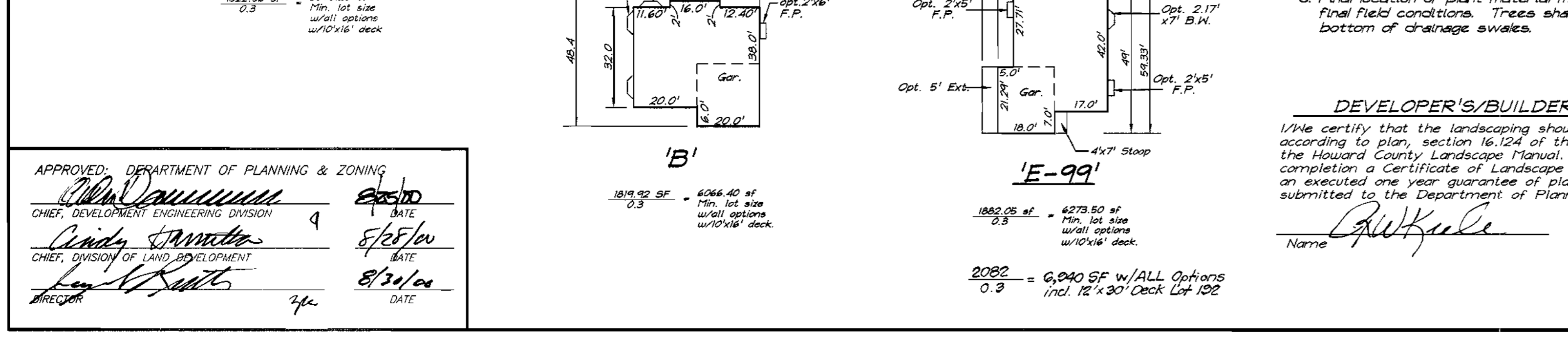
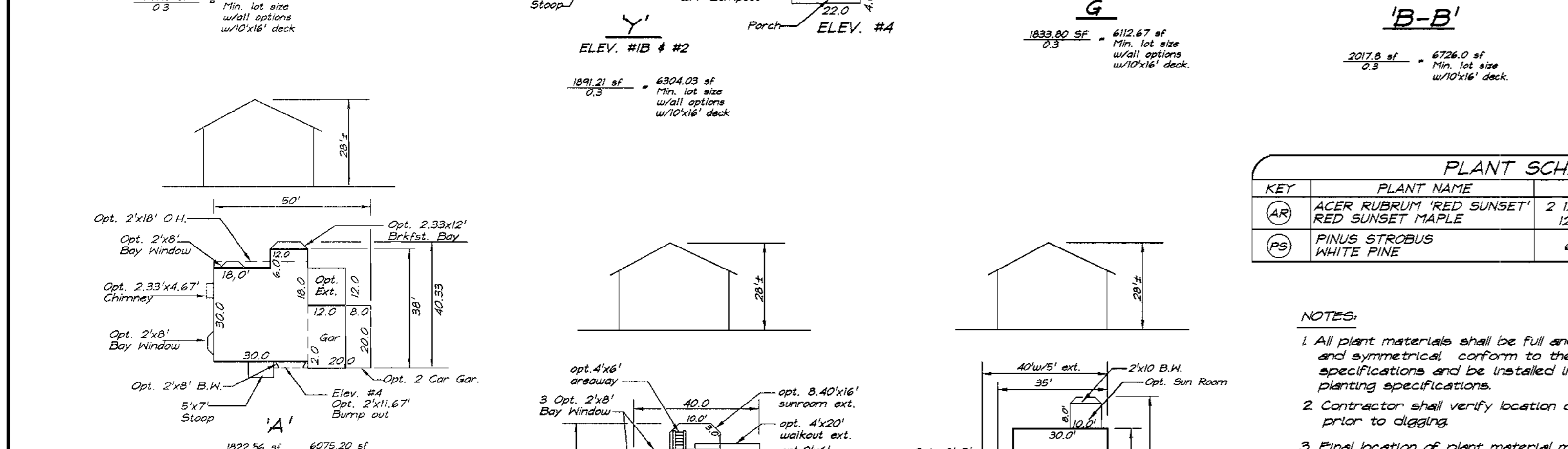
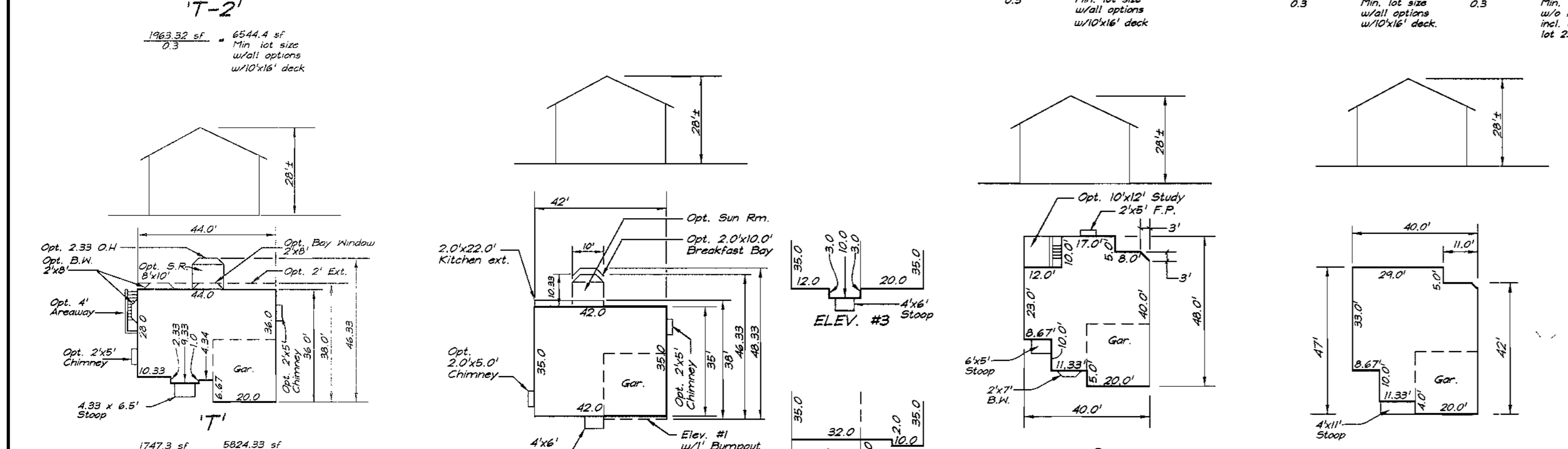
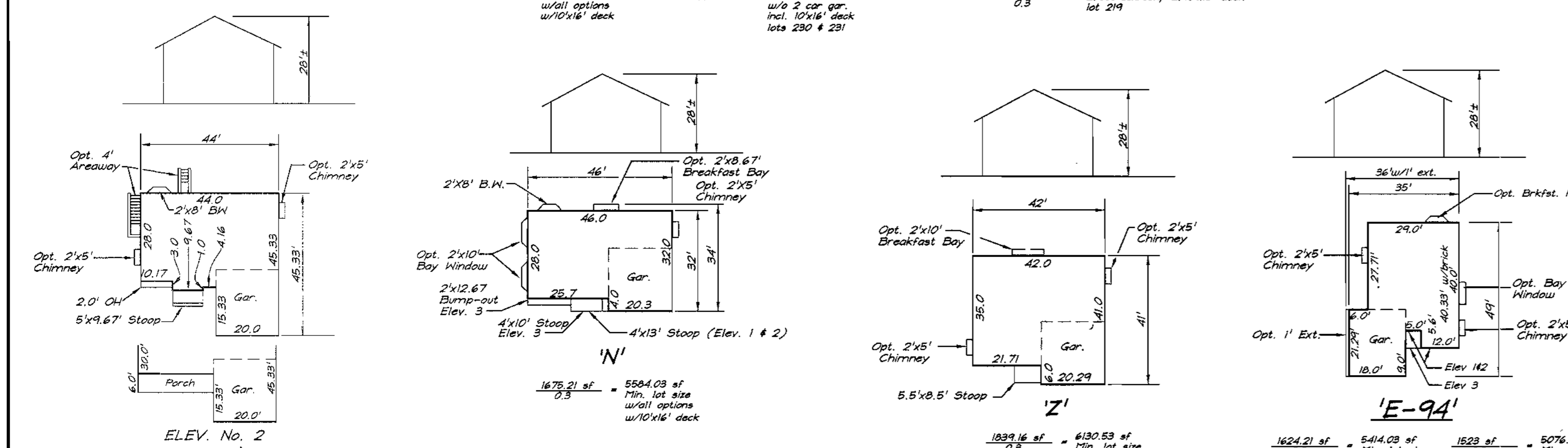
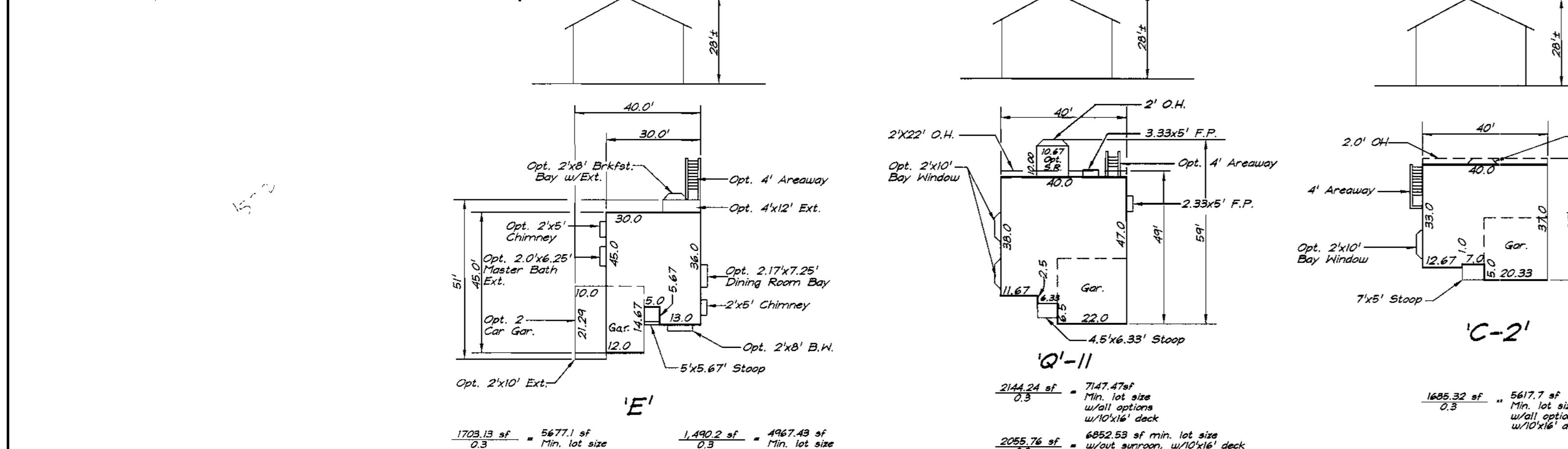
CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS

7135 MINTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED	DAB	SCALE	
DRAWN	ZAH	DRAWING	4 of 4
CHECKED	RJHS	JOB NO.	00-046
DATE	JULY, 2000	FILE NO.	00-046SE

SEDIMENT AND EROSION CONTROL DETAILS
 LOTS 192, 193, 194, 197 & 219 THRU 232
COLUMBIA
 VILLAGE OF RIVER HILL
 SECTION 4 AREA 2
 FOURTH (4TH) ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

FOR: PATRIOT HOMES
 P.O. BOX 1018
 Columbia, Maryland 21044



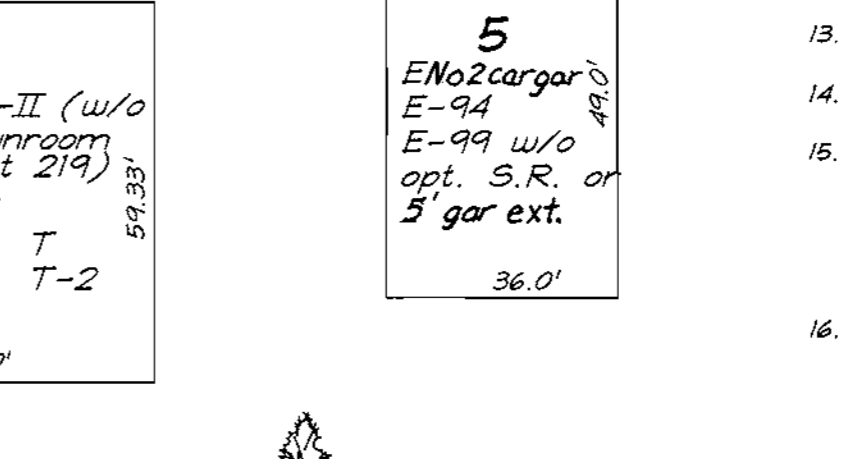
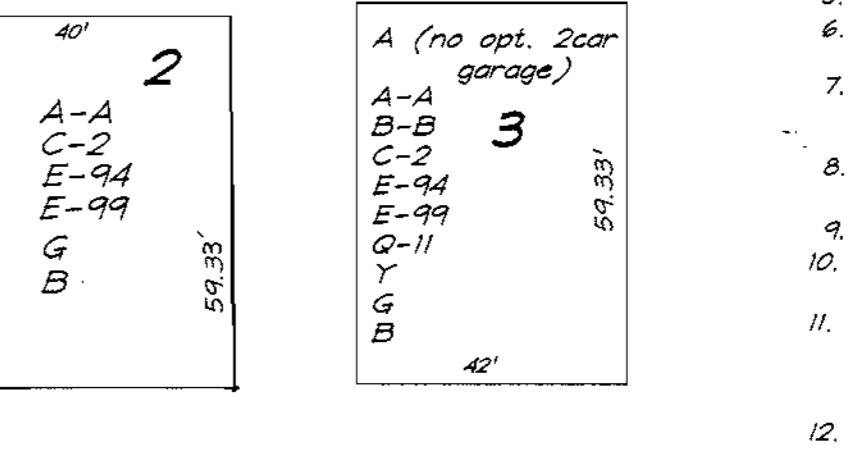
LEGEND
 CONTOUR INTERVAL 2 FT.
 EXISTING CONTOUR
 PROPOSED CONTOUR
 DIRECTION OF DRAINAGE
 WALK OUT BASEMENT
 SPOT ELEVATION

ADDRESS CHART

LOT NUMBER	STREET ADDRESS
192	12132 SHINING STARS LANE
193	12136 SHINING STARS LANE
194	12137 SHINING STARS LANE
197	12125 SHINING STARS LANE
219	12133 SHINING STARS LANE
220	12129 SHINING STARS LANE
221	12124 SHINING STARS LANE
222	12120 SHINING STARS LANE
223	12116 SHINING STARS LANE
224	12112 SHINING STARS LANE
225	12108 SHINING STARS LANE
226	12104 SHINING STARS LANE
227	12100 SHINING STARS LANE
228	12121 SHINING STARS LANE
229	12117 SHINING STARS LANE
230	12113 SHINING STARS LANE
231	12105 SHINING STARS LANE
232	12101 SHINING STARS LANE

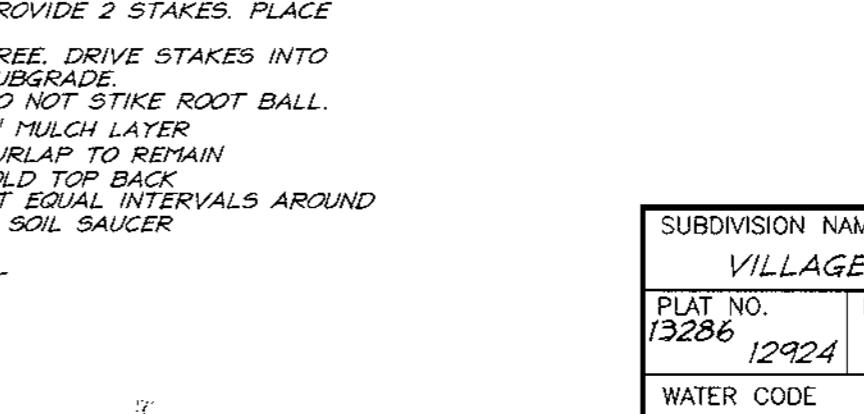
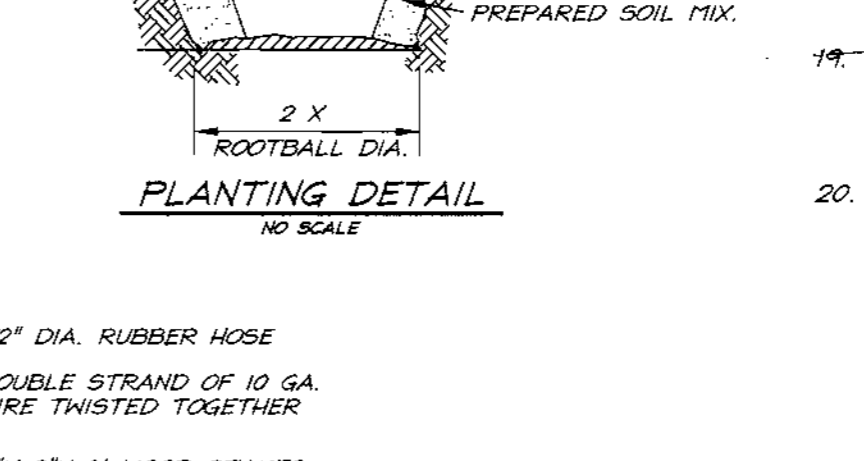
SHEET INDEX

DESCRIPTION	SHEET NO.
SITE DEVELOPMENT / LANDSCAPE PLAN	1 & 2 of 4
SEDIMENT & EROSION CONTROL PLAN	3 & 4 of 4



SCHEDULE A PERIMETER LANDSCAPE EDGE

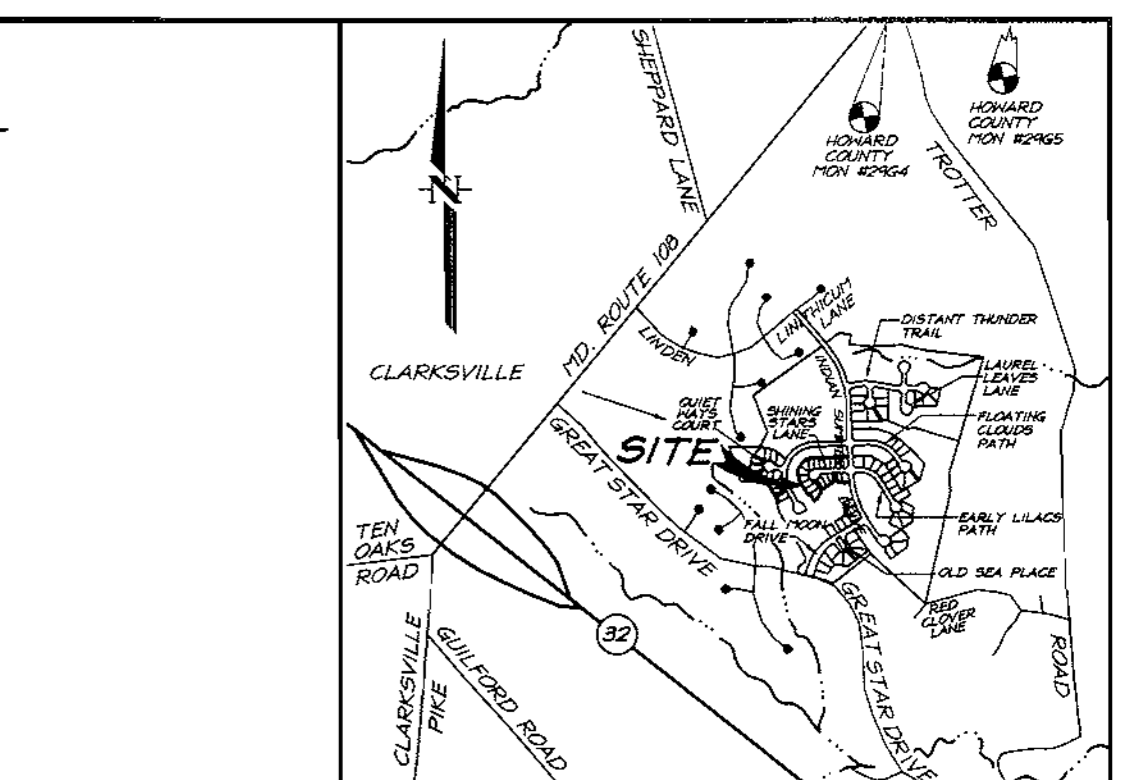
Category	Adjacent to Roadways	LOT 227	LOT 232
Landscape Type		B	B
Frontage/Perimeter		126'	113'
Number of Plants Required			
Shade Trees	(1/50)	3	2
Evergreen Trees	(1/40)	3	3
Shrubs			
Number of Plants Provided			
Shade Trees		3	2
Evergreen Trees		3	3
Surety Amounts		\$1350.00	\$1050.00



SPECIAL NOTE:
 This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-96-130 and/or approved Water and Sewer Plans Contract 1834-3420-D.

CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

OWNER / DEVELOPER
 THE HOWARD RESEARCH AND DEVELOPMENT CORP.
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044



BENCHMARKS:
 Howard County Monument 2964
 Intersection of MD. Route 106 and Trotter Road
 Howard County Monument 2965
 an additional 2,544'± Northeastly along MD. Route 106 away from Site

- GENERAL NOTES:**
- Subject property is zoned: NTSFMD per 10-18-93 Comprehensive Zoning Plan.
 - The total area included in this submission is: 2.93 Acres.
 - The total number of lots included in this submission is: 18.
 - Improvement to property: Single Family Detached.
 - The maximum lot coverage permitted is: 30%.
 - Department of Planning and Zoning reference file numbers: F-98-120, S-93-21P-95-11, F-96-180, H&S Con.No.34-3420-D, FDP-222A Part IV.
 - Utilities shown as existing are taken from approved Water and Sewer Plans Contract #34-3420-D, approved Road Construction Plans F-96-130, and actual field survey.
 - Any damage to county owned rights-of-way shall be corrected at the developer's expense.
 - All roadways are public and existing.
 - The existing topography was taken from Road Construction Plans prepared by Datt, Maune, Walker Inc. 7-10-97.
 - The coordinates shown herein are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monuments Numbers: 2964 & 2965.
 - The contractor shall notify the Department of Public Works/Division of Construction Inspection at (410) 313-1880 at least twenty-four (24) hours prior to the start of work.
 - The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
 - For driveway entrance details, refer to Ho. Co. Design Manual Volume IV details R-6.03 & R-6.05.
 - In accordance with FDP-Phase 222-A, Part 4, bay windows or chimneys not more than 10 feet in width may project not more than 4 feet into any setbacks; porches and decks may project not more than 3 feet into the front or rear setbacks. Exterior stairway/areaways may not project into any setbacks.
 - Stormwater Management quantity and quality for the improvements from Bright Flow Meadows, area North of Distant Thunder Trail DA to M309 from Section 4 Area 5, F-96-102 will be provided by an excavated pond East of Distant Thunder Trail. said pond will be jointly maintained. Stormwater Management quantity for the improvements West of Indian Summer Drive and South of Sunrise Haven Way is provided by Village of River Hill Section 4 Area Phase 1, F-96-110. Water quality will be provided by bio-retention or shallow marsh at the storm drain outfalls and will be jointly maintained. Stormwater Management quantity for the improvements East of Indian Summer Drive and South of Distant Thunder Trail are provided for in Section 4 Area 1, F-96-110 by proposed features as described in a report prepared by Whitman, Requardt & Associates and approved as of 12/20/95. Water quality will be provided by bio-retention or shallow marsh at the storm drain outfalls and will be jointly maintained.
 - 5HC Elevations shown are at the property lines.
 - This plan has been prepared in accordance with the provisions of section 16.124 of the Howard County code and Landscape Manual. Financial Surety for the trees in schedule A in the amount of \$ 2,400 shall be part of the Builders Grading Permit Application.
 - This property is exempt from the Forest Conservation requirements per section 16.1202(b)(1)(iv) of the Howard County Code because it is part of a planned unit development with preliminary plan approval prior to 12/31/92.
 - Section 16.116(a) of the Subdivision and Land development Regulations prohibits clearing, grading or construction activity within the required 25 foot wetland and 75 foot perennial or 50 foot intermittent stream buffers.

PLANT SCHEDULE

KEY	PLANT NAME	SIZE	QUAN.	REMARKS
(AR)	ACER RUBRUM 'RED SUNSET'	2 1/2"-3" CAL. 12'-14' HT.	5	B&B
(PS)	PINUS STROBUS WHITE PINE	6'-8' HT.	6	B&B

NOTES:

- All plant materials shall be full and heavy, be well formed and symmetrical, conform to the most current AAN specifications and be installed in accordance with H&D planting specifications.
- Contractor shall verify location of all underground utilities prior to digging.
- Final location of plant material may need to vary to meet final field conditions. Trees shall not be planted in the bottom of drainage swales.

DEVELOPER'S/BUILDERS CERTIFICATE

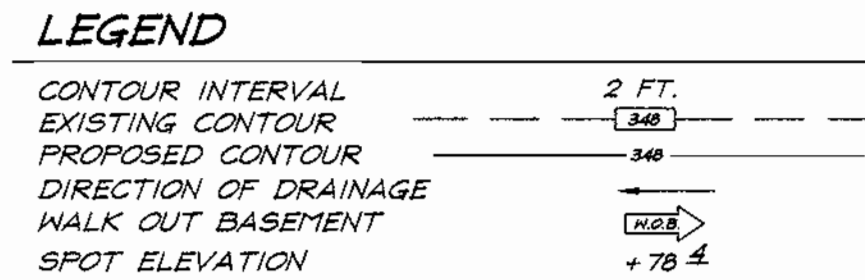
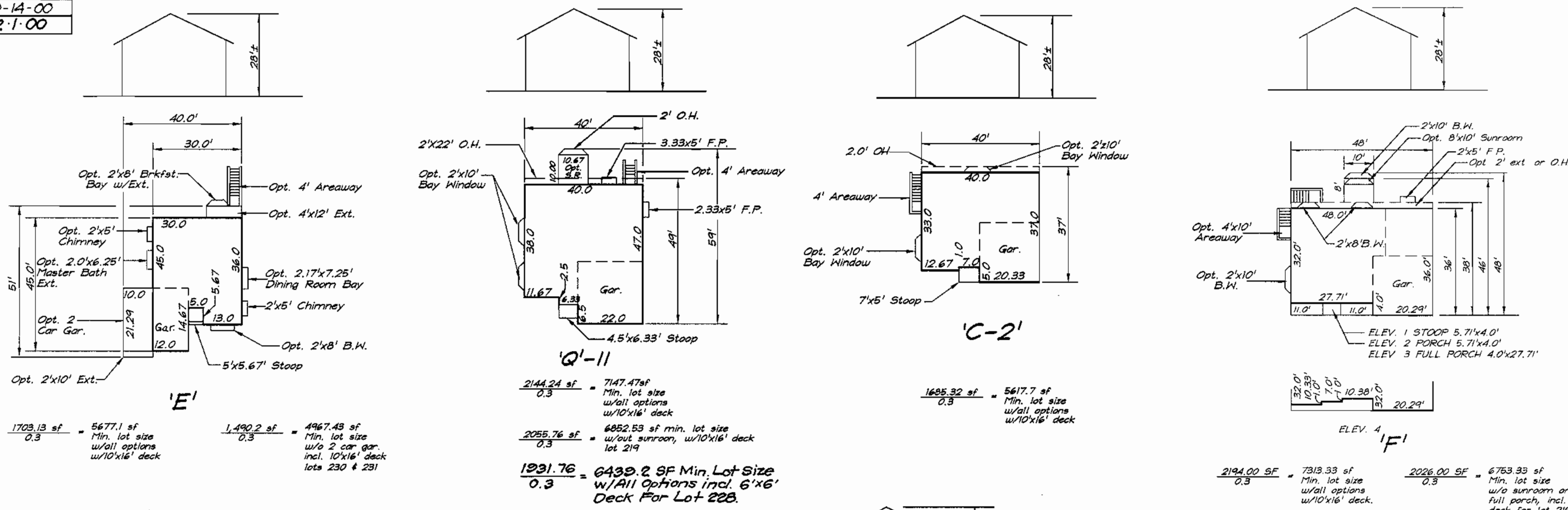
I/We certify that the landscaping shown on this plan will be done according to plan, section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a certificate of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

Name: CLW/Kale Date: 7-7-00

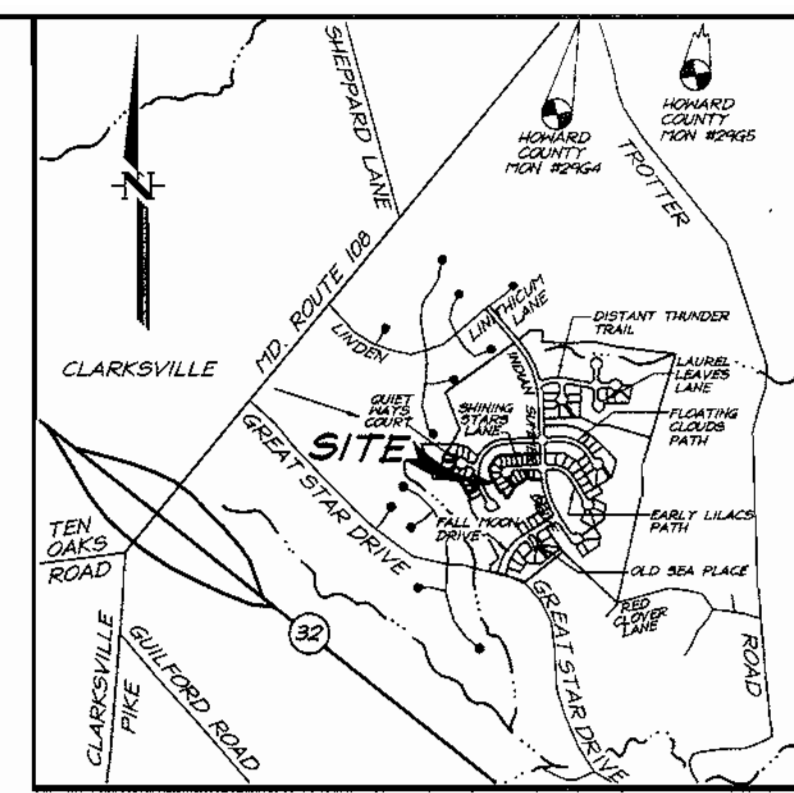
APPROVED: DEPARTMENT OF PLANNING & ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development

DATE: 8/31/00

NO.	REVISIONS	Date
1	Add lot coverage calculations for lot 122, (E-99)	9-14-00
2	Add lot coverage calculations for lot 228, (A-I)	12-1-00



LOT NUMBER	STREET ADDRESS
192	12132 SHINING STARS LANE
193	12136 SHINING STARS LANE
194	12137 SHINING STARS LANE
197	12125 SHINING STARS LANE
219	12133 SHINING STARS LANE
220	12129 SHINING STARS LANE
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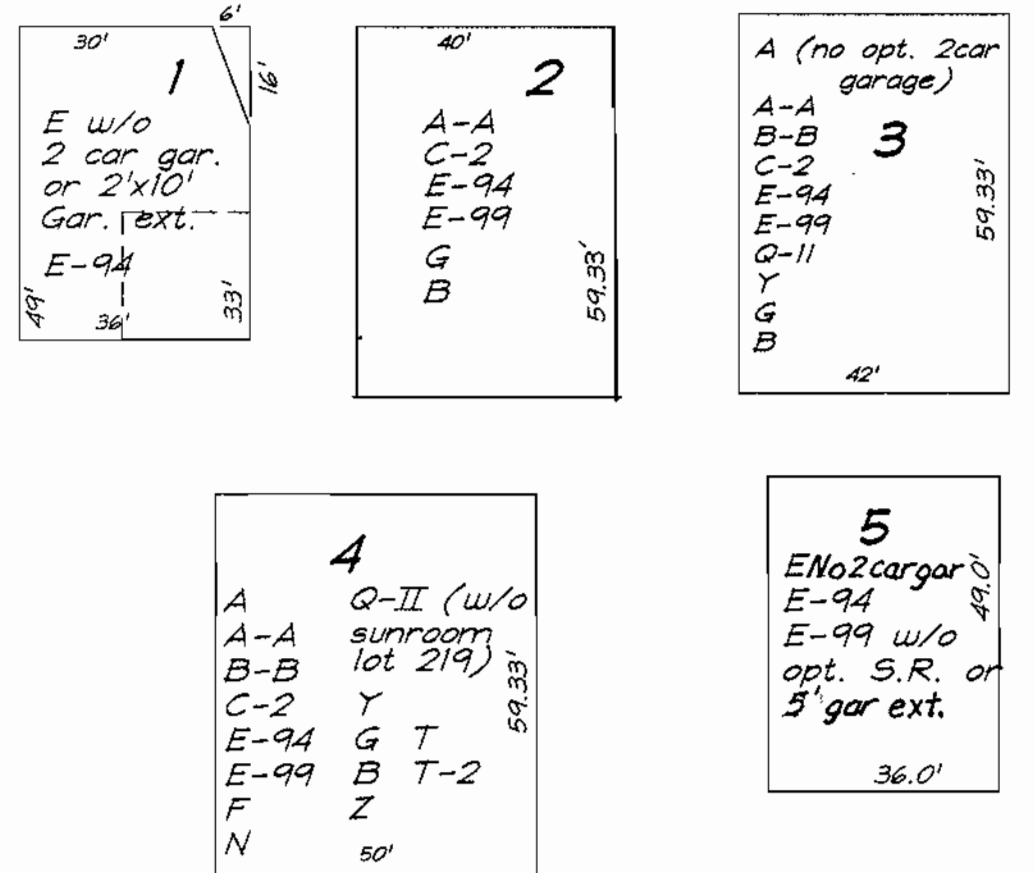


VICINITY MAP
Scale: 1"=2000'

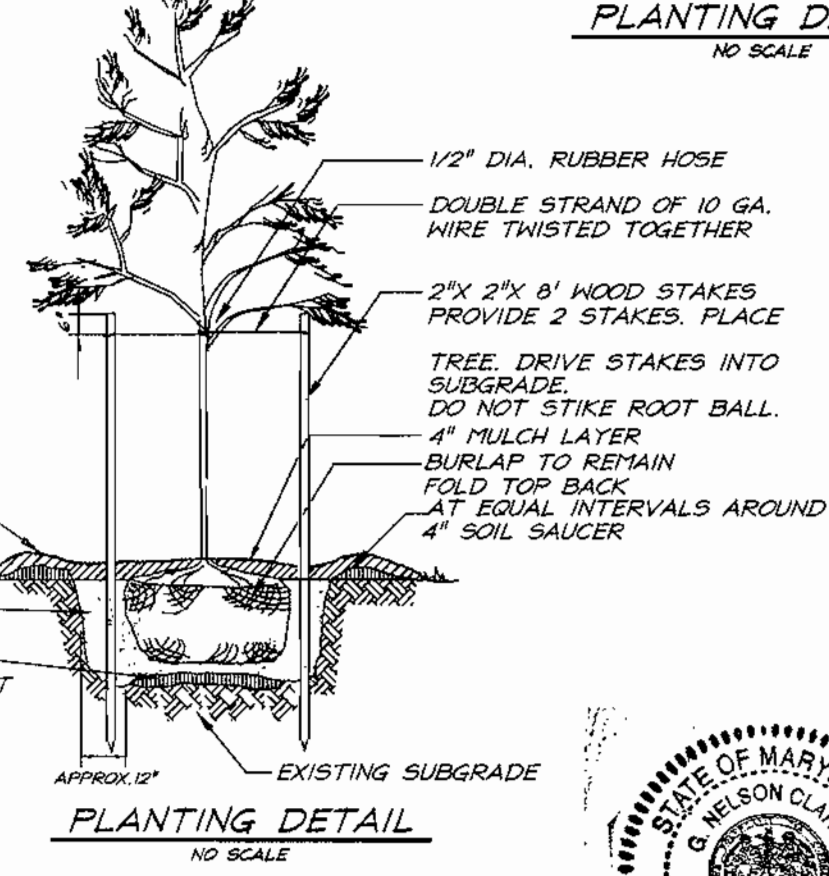
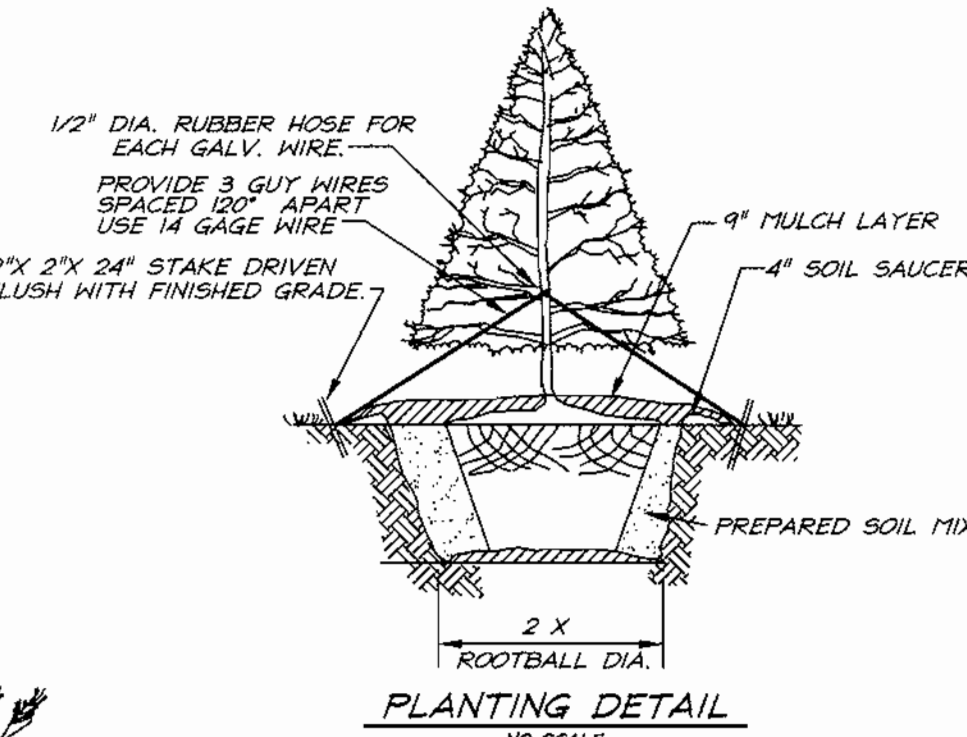
BENCHMARKS:
Howard County Monument 2944
Intersection of MD. Route 108 and Trotter Road
Howard County Monument 2945
an additional 2,544'± Northeastly along MD. Route 108 away from Site

DESCRIPTION	SHEET NO.
SITE DEVELOPMENT / LANDSCAPE PLAN	1 & 2 of 4
SEDIMENT & EROSION CONTROL PLAN	3 & 4 of 4

- GENERAL NOTES:**
- Subject property is zoned: NTSFMD per 10-18-93 Comprehensive Zoning Plan.
 - The total area included in this submission is: 2.93 Acres.
 - The total number of lots included in this submission is: 18
 - Improvement to property: Single Family Detached
 - The maximum lot coverage permitted is: 30%
 - Department of Planning and Zoning reference file numbers: F-98-120 5-98-217-98-11, F-98-130, 145 Cont.No.34-3420-D, FOP-222A Part IV
 - Utilities shown as existing are taken from approved Water and Sewer plans Contract #34-3420-D, approved Road Construction plans F-96-130, and actual field survey.
 - Any damage to county owned rights-of-way shall be corrected at the developer's expense.
 - All roadways are public and existing.
 - The existing topography was taken from Road Construction Plans prepared by D&T, Meune, Walker Inc. 7-10-97
 - The coordinates shown herein are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monuments Numbers: 2944 & 2945
 - The contractor shall notify the Department of Public Works/Division of Construction Inspection at (410) 315-1880 at least twenty-four (24) hours prior to the start of work.
 - The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
 - For driveway entrance details, refer to Ho. Co. Design Manual Volume IV details R.6.03 & R.6.05.
 - In accordance with FDP-Phase 222-A, Part 4, bay windows or chimneys not more than 10 feet in width may project not more than 4 feet into any setbacks; porches and decks may project not more than 3 feet into the front or rear setbacks. Exterior stairway/areaways may not project into any setbacks.
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 - SHC Elevations shown are at the property lines.
 - This plan has been prepared in accordance with the provisions of section 16.124 of the Howard County Code and Landscape Manual, Financial Surety for the trees in schedule A in the amount of \$ 2,400 shall be part of the Builders Grading Permit Application.
 - This property is exempt from the Forest Conservation requirements per section 16.122(b)(1)(iv) of the Howard County Code because it is part of a planned unit development with preliminary plan approval prior to 12/31/92.
 - Section 16.116(a) of the Subdivision and Land development Regulations prohibits clearing, grading or construction activity within the required 25 foot wetland and 75 foot perennial or 50 foot intermittent stream buffers.



Category	Adjacent to Roadways	LOT 227	LOT 232
Landscape Type		B	B
Frontage/Perimeter		126'	113'
Number of Plants Required			
Shade Trees	(1/50)	3	2
Evergreen Trees	(1/40)	3	3
Shrubs			
Number of Plants Provided			
Shade Trees		3	2
Evergreen Trees		3	3
Surety Amounts		\$1350.00	\$1050.00



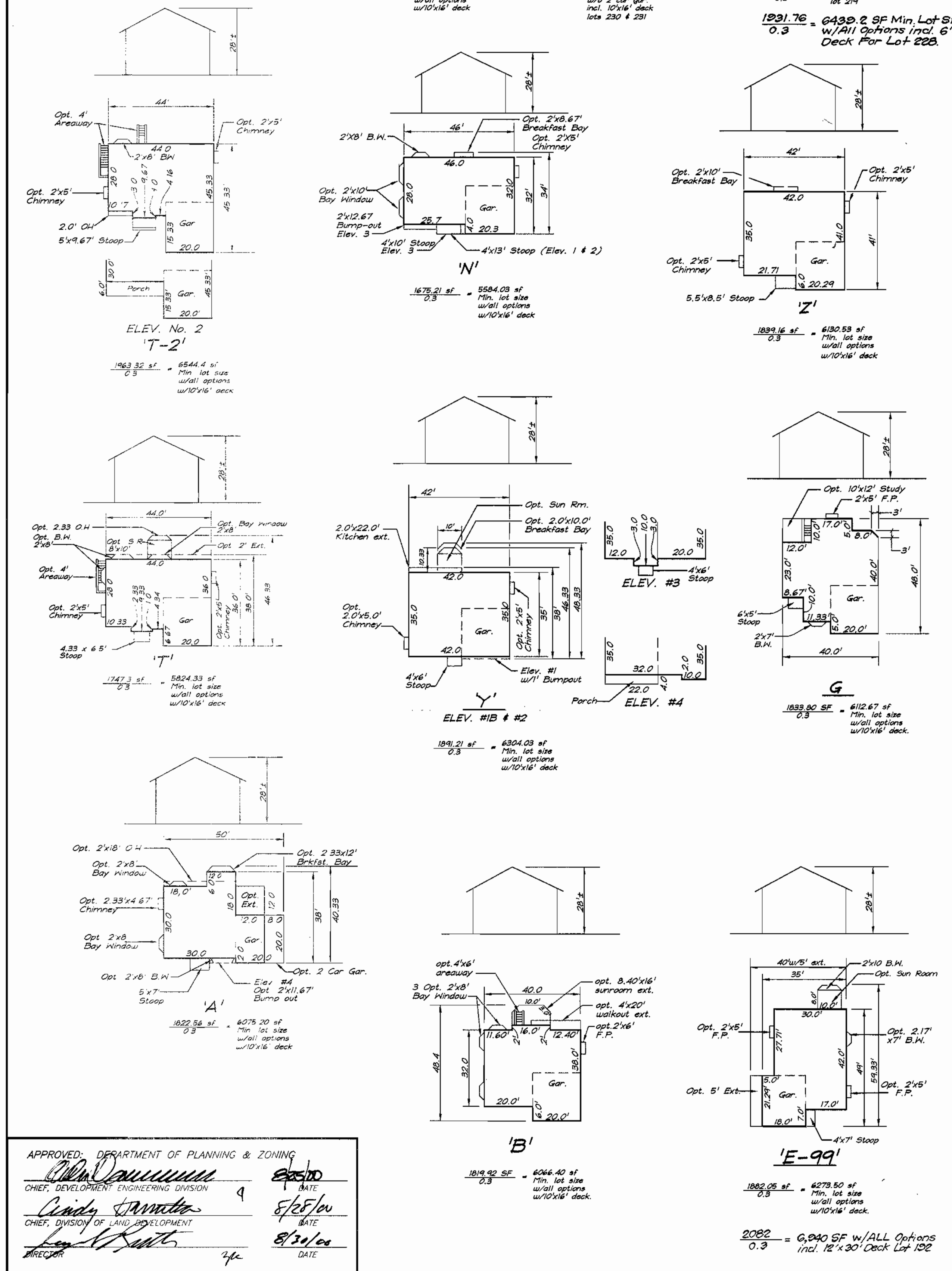
KEY	PLANT NAME	SIZE	QUAN.	REMARKS
(AR)	ACER RUBRUM 'RED SUNSET'	2 1/2"-3" CAL. 12'-14' HT.	5	B4B
(RS)	PINUS STROBUS WHITE PINE	6'-8' HT.	6	B4B

- NOTES:**
- All plant materials shall be full and heavy, be well formed and asymmetrical, conform to the most current AAN specifications and be installed in accordance with HRPD planting specifications.
 - Contractor shall verify location of all underground utilities prior to digging.
 - Final location of plant material may need to vary to meet final field conditions. Trees shall not be planted in the bottom of drainage swales.

DEVELOPER'S/BUILDERS CERTIFICATE

I/We certify that the landscaping shown on this plan will be done according to plan, section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certificate of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

Name: R. K. Kaele Date: 7-7-00



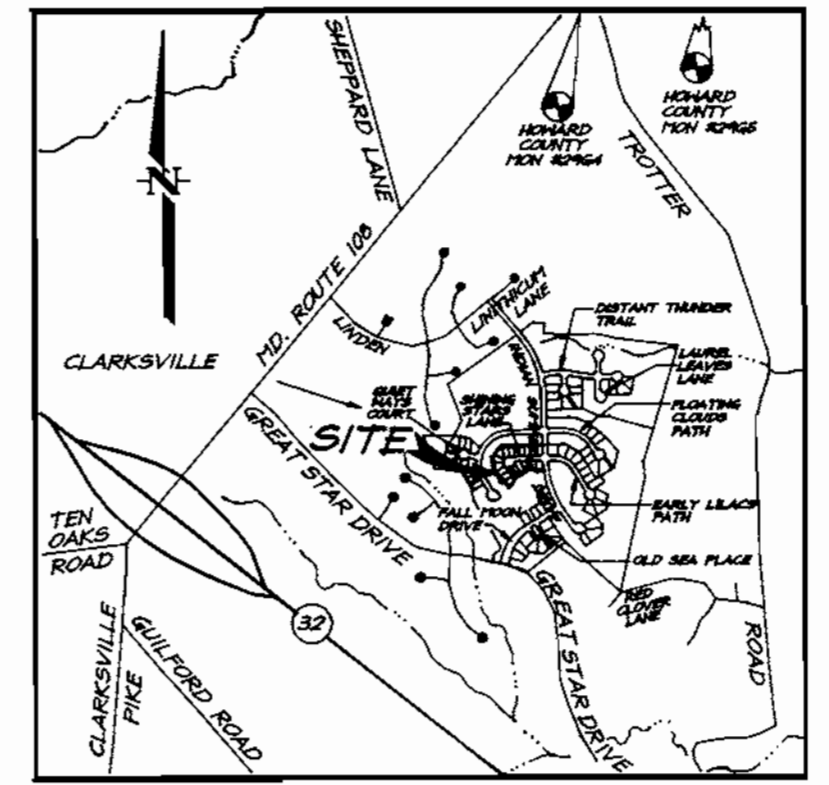
APPROVED: DEPARTMENT OF PLANNING & ZONING
 [Signature]
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature]
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature]

SUBDIVISION NAME	COLUMBIA	SECTION/AREA	4/4	LOTS/PARCELS	192, 193, 194, 197, 219, 232
PLAT NO.	13286	BLOCK NO.	14	ZONE	NTSFMD
TAX MAP NO.	12924	ELECTION DIST.	35	CENSUS TRACT	5TH 6055
WATER CODE	110	SEWER CODE			6653000
DESIGNED	BAL	SITE DEVELOPMENT PLAN			SCALE
DRAWN	ZAH	LOTS 192, 193, 194, 197 & 219 THRU 232			1" = 30'
CHECKED	BAL	COLUMBIA VILLAGE OF RIVER HILL			DRAWING
DATE	JULY, 2000	SECTION 4 AREA 4			JOB NO.
		FIFTH (5TH) ELECTION DISTRICT			00-046
		HOWARD COUNTY, MARYLAND			FILE NO.
		FOR: PATRIOT HOMES			00-046-X
		P.O. Box 1018 (Harpers Farm Road)			
		Columbia, Maryland 21044			

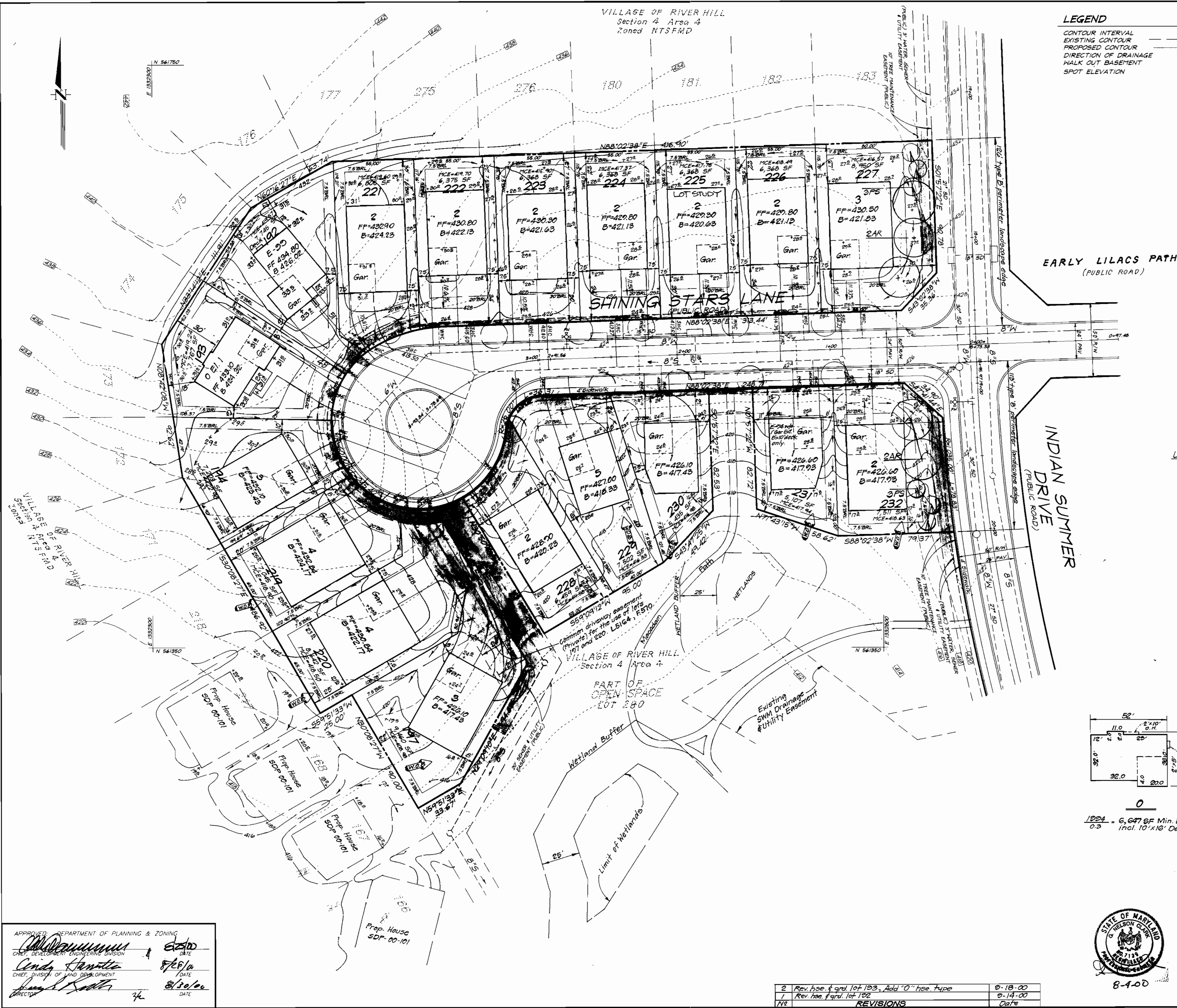
VILLAGE OF RIVER HILL
Section 4 Area 4
Zoned NTFMD

LEGEND

- CONTOUR INTERVAL
- EXISTING CONTOUR
- PROPOSED CONTOUR
- DIRECTION OF DRAINAGE
- WALK OUT BASEMENT
- SPOT ELEVATION

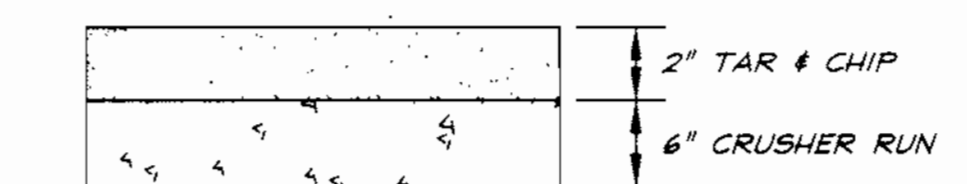


VICINITY MAP
Scale: 1"=2000'

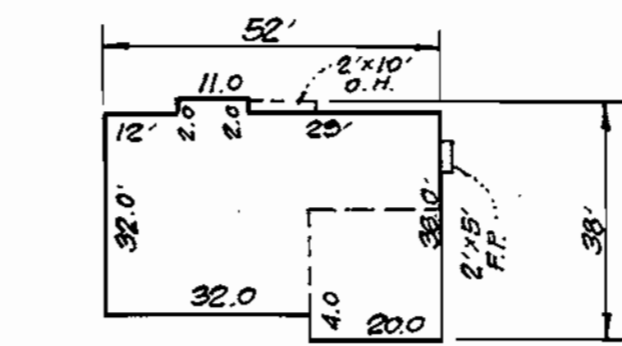


USE-IN-COMMON DRIVE PAVING NOTES AND DETAILS FOR LOTS 197 AND 220

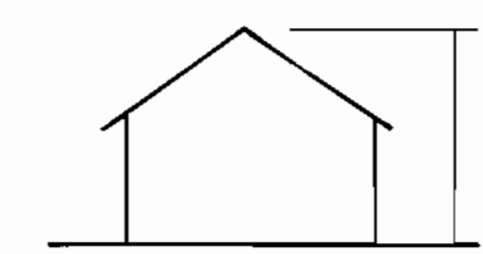
- Driveway(s) shall be provided prior to residential occupancy to insure safe access for fire and emergency vehicles per the following minimum requirements:
- Width- 12 feet (14 feet serving more than one residence).
 - Surface- 6 inches of compacted crusher run base with tar and chip coating.
 - Geometry- Maximum 15% grade, maximum 10% grade change and minimum of 45-foot turning radius.
 - Structures (culvert/bridges)- Capable of supporting 25 gross tons (425 loading).
 - Drainage elements- Capable of safely passing 100-year flood with no more than 1 foot depth over driveway surface.
 - Structure clearances- minimum 12 feet.
 - Maintenance- Sufficient to insure all weather use.



PAVING SECTION FOR USE-IN-COMMON DRIVEWAY
NOT TO SCALE



1224 = 6,647 SF Min. Lot Size
0.3 incl. 10'x16' Deck



OWNER / DEVELOPER
THE HOWARD RESEARCH AND DEVELOPMENT CORP.
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044

APPROVED: DEPARTMENT OF PLANNING & ZONING
 [Signature]
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature]
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature]

NO	REVISIONS	DATE
2	Rev. hse. & grd. lot 193, Add "O" hse. type	8-18-00
1	Rev. hse. f.p.d. lot 192	8-14-00

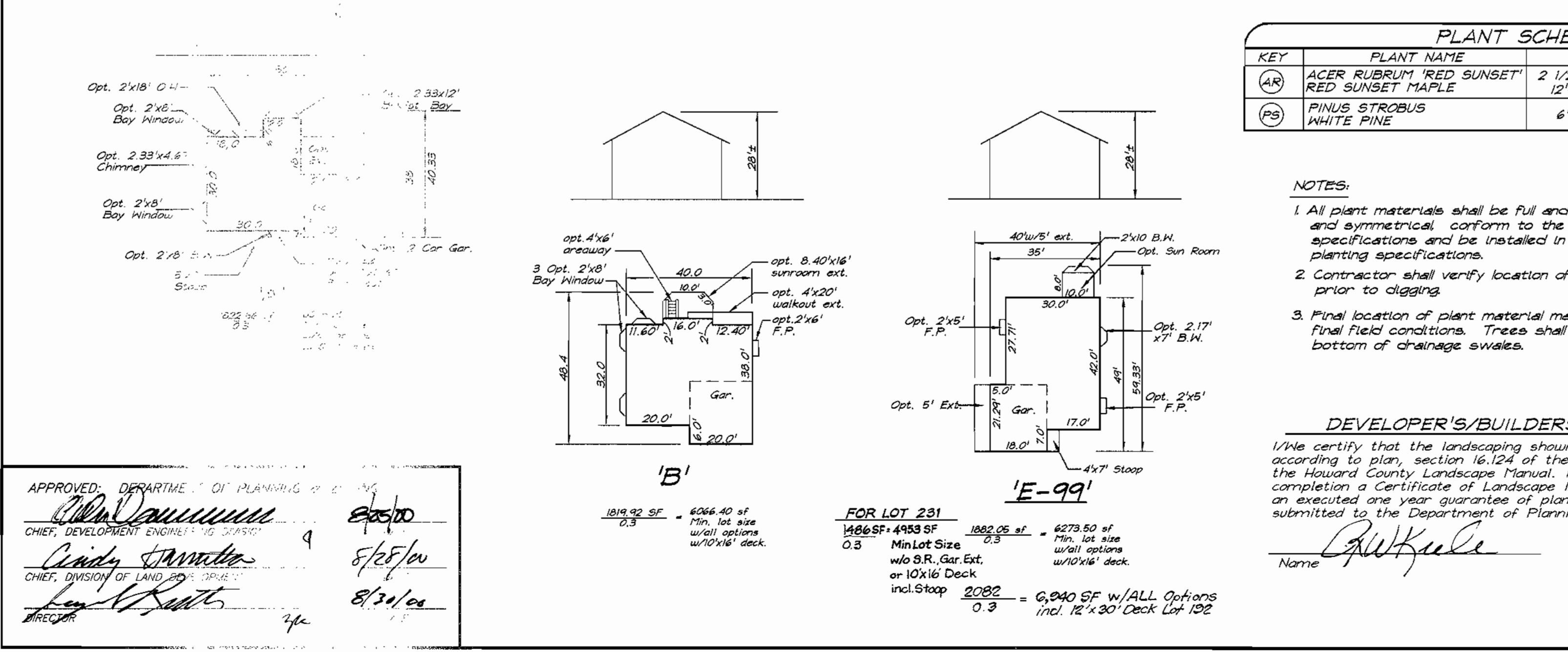
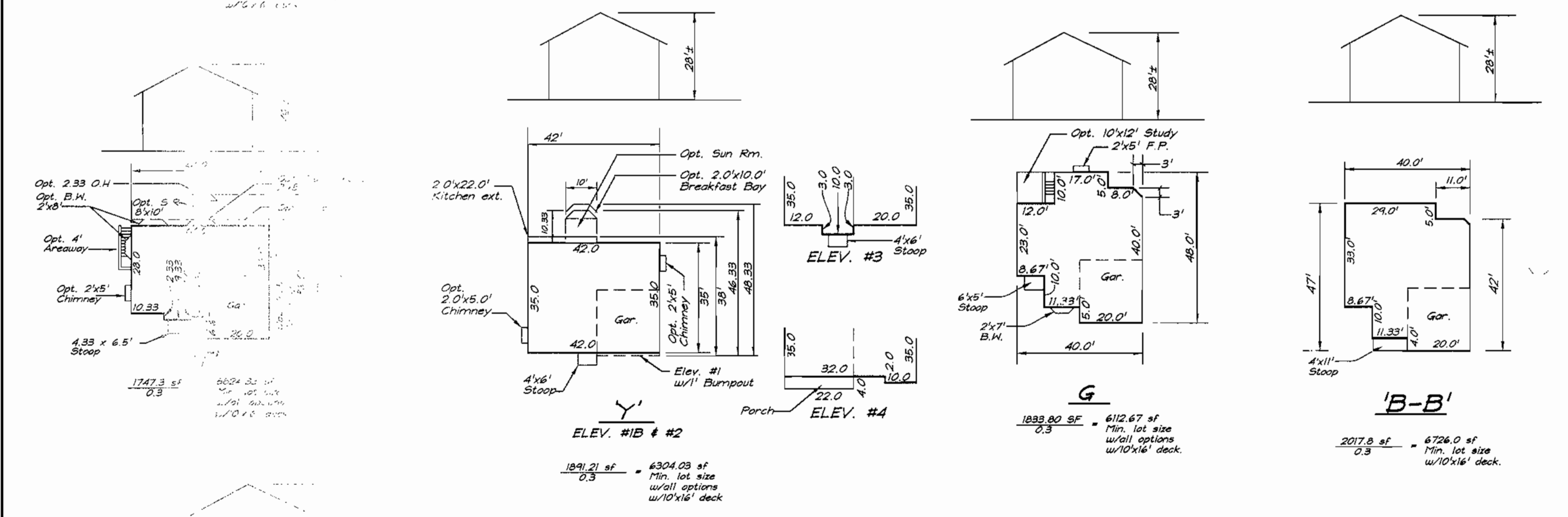
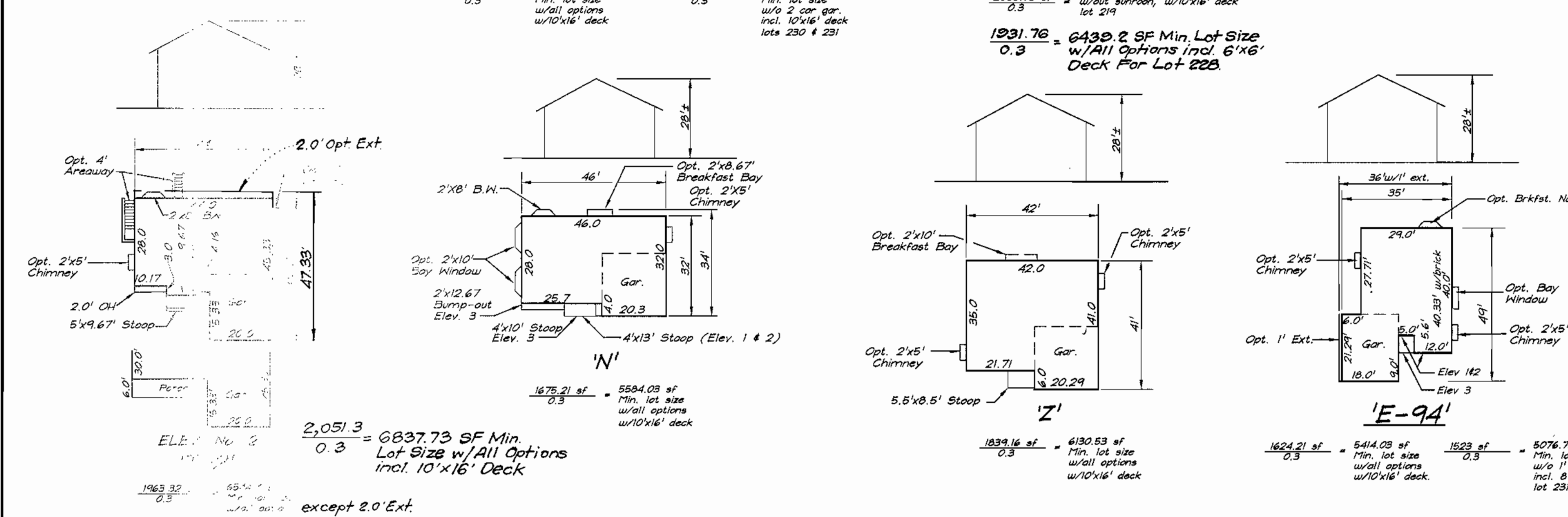
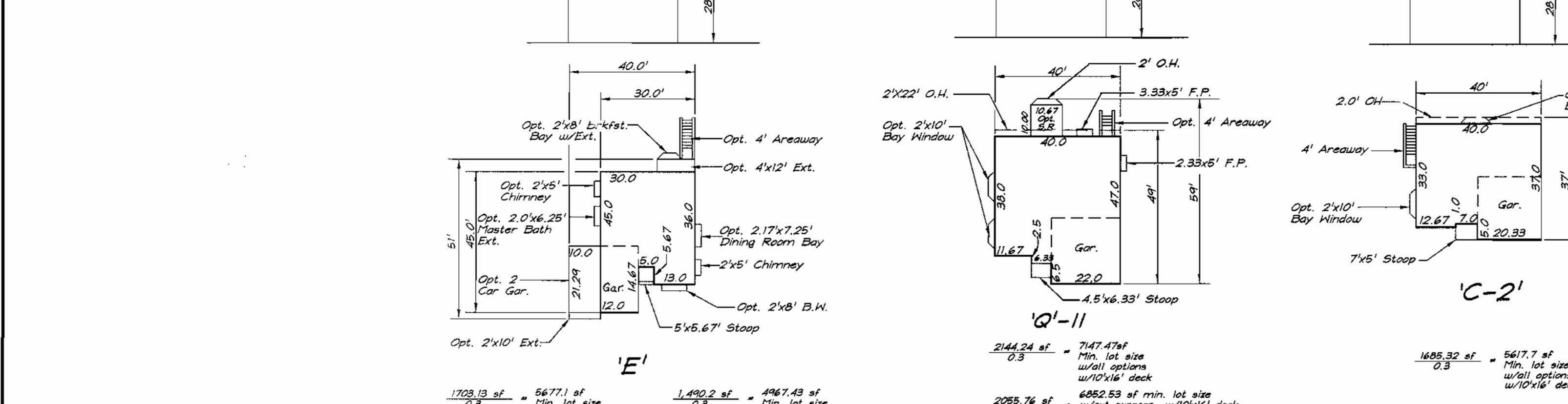


CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED	BAL	SITE DEVELOPMENT PLAN	SCALE	1" = 30'
DRAWN	ZH/BLP	LOTS 192, 193, 194, 197 & 219 THRU 232	DRAWING	2 of 4
CHECKED	BAL	COLUMBIA VILLAGE OF RIVER HILL	JOB NO.	00-046
DATE	JULY, 2000	SECTION 4 AREA 4 FIFTH (5TH) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	FILE NO.	00-046-X

FOR: PATRIOT HOMES
P.O. Box 1018 (Hoppers Farm Road)
Columbia, Maryland 21044

NO	REVISIONS	Date
1	Add lot coverage calculations for lot 192, (E-90)	0-14-00
2	Add lot coverage calculations for lot 228, (Q-1)	12-1-00
3	Add 2.0' Ext. to T-2 hse. typical	12-14-00



Category	Adjacent to Roadways	LOT 227	LOT 232
Landscape Type		B	B
Frontage/Perimeter		126'	113'
Number of Plants Required			
Shade Trees	(1/50)	3	2
Evergreen Trees	(1/10)	3	3
Shrubs			
Number of Plants Provided			
Shade Trees		3	3
Evergreen Trees		3	3
Surety Amounts		\$1350.00	\$1050.00

* Comments: Planting to be provided per the New Town Alternative Compliance method.

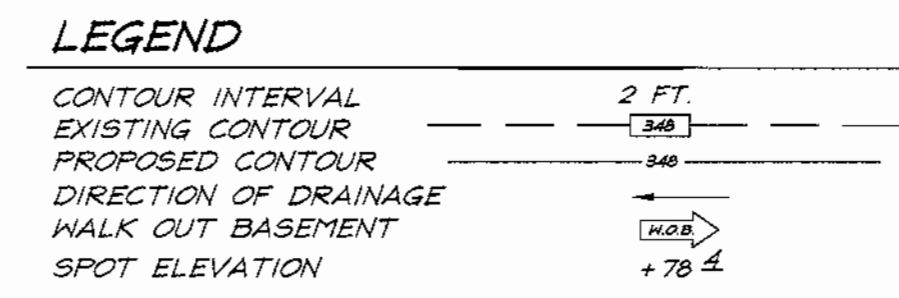
KEY	PLANT NAME	SIZE	QUAN.	REMARKS
AR	ACER RUBRUM 'RED SUNSET'	2 1/2"-3" CAL. 12'-14' HT.	5	BAB
PS	PINUS STROBUS WHITE PINE	6'-8' HT.	6	BAB

- NOTES:**
- All plant materials shall be full and heavy, be well formed and symmetrical, conform to the most current AAN specifications and be installed in accordance with H&R planting specifications.
 - Contractor shall verify location of all underground utilities prior to digging.
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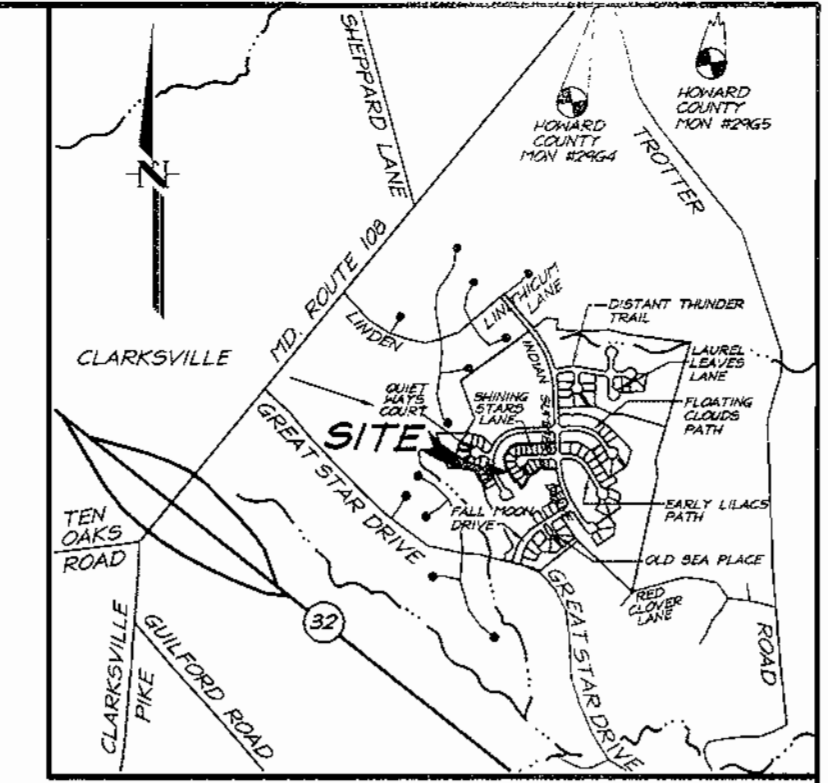
DEVELOPER'S/BUILDERS CERTIFICATE

I/We certify that the landscaping shown on this plan will be done according to plan, section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certificate of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

Name: *[Signature]* Date: 7-7-00



LOT NUMBER	STREET ADDRESS
192	12132 SHINING STARS LANE
193	12136 SHINING STARS LANE
194	12137 SHINING STARS LANE
197	12126 SHINING STARS LANE
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230	12113 SHINING STARS LANE
231	12105 SHINING STARS LANE
232	12101 SHINING STARS LANE

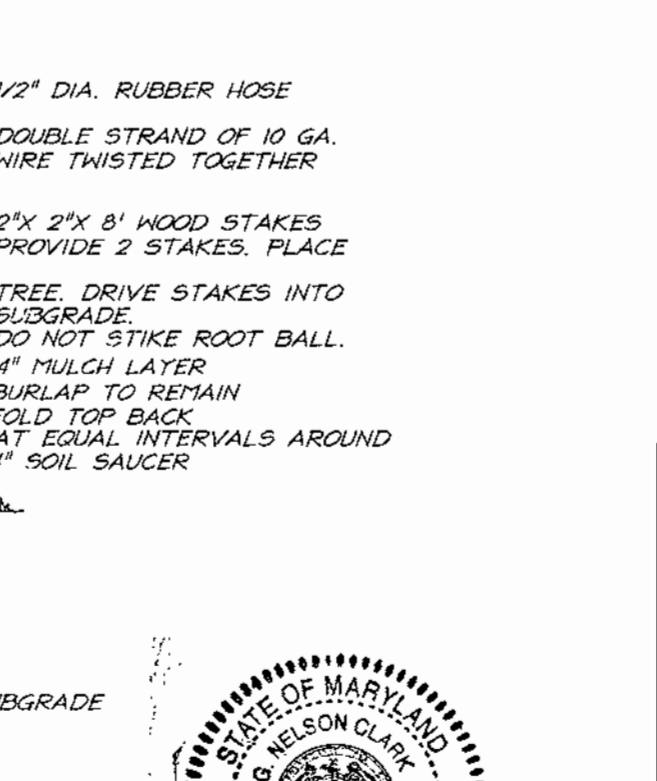
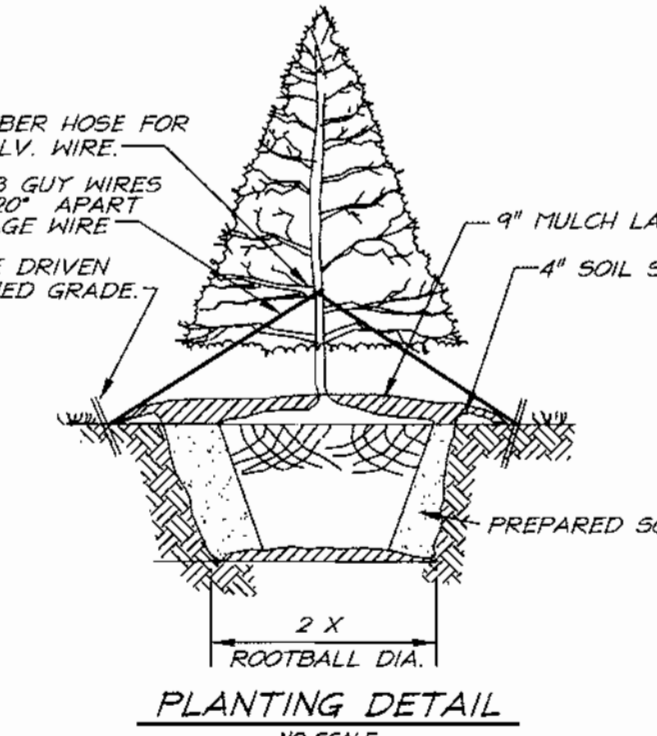
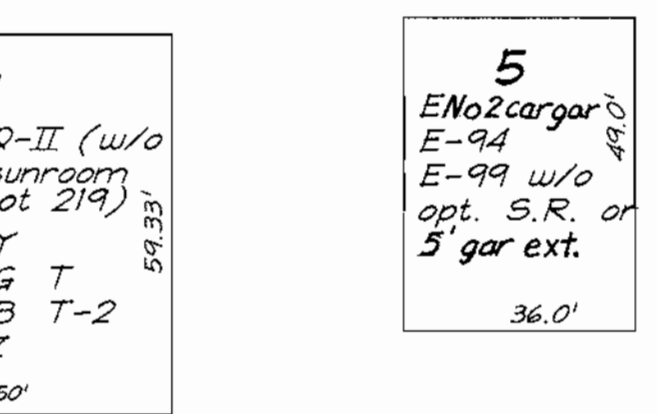
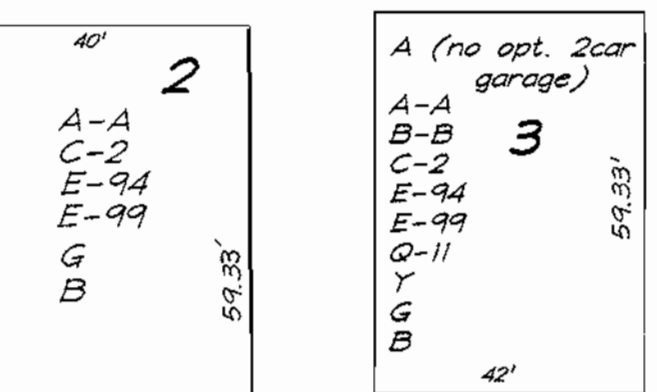


VICINITY MAP
Scale: 1"=2000'

BENCHMARKS:
Howard County Monument 2964
Intersection of MD. Route 108 and Trotter Road
Howard County Monument 2965
on additional 2,544' Northeastly along MD. Route 108 away from Site

DESCRIPTION	SHEET NO.
SITE DEVELOPMENT / LANDSCAPE PLAN	1 & 2 of 4
SEDIMENT & EROSION CONTROL PLAN	3 & 4 of 4

- GENERAL NOTES:**
- Subject property is zoned: NTSFMD per 10-18-93 Comprehensive Zoning Plan.
 - The total area included in this submission is: 2.93 Acres.
 - The total number of lots included in this submission is: 18
 - Improvement to property: Single Family Detached
 - The maximum lot coverage permitted is: 30%
 - Department of Planning and Zoning reference file numbers: F-98-120 5-29-21, F-98-111 F-98-130, WBS Cont.No.34-340-D, 109-2294 Part IV.
 - Utilities shown as existing are taken from approved Water and Sewer plans Contract #34-3420-D, approved Road Construction plans F-96-130, and actual field survey.
 - Any damage to county owned rights-of-way shall be corrected at the developer's expense.
 - All roadways are public and existing.
 - The existing topography was taken from Road Construction Plans prepared by Daft, Mcune, Walker Inc. 7-10-97
 - The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monument Numbers: 2964 & 2965
 - The contractor shall notify the Department of Public Works/ Division of Construction Inspection at (410) 313-1890 at least twenty-four (24) hours prior to the start of work.
 - The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
 - For driveway entrance details, refer to Ho. Co. Design Manual Volume IV details R.6.03 & R.6.05.
 - In accordance with FDP-Phase 222-A, Part 4, Bay windows or chimneys not more than 10 feet in width may project not more than 4 feet into any setbacks; porches and decks may project not more than 3 feet into the front or rear setbacks. Exterior stairway/areaways may not project into any setbacks.
 - Stormwater Management quantity and quality for the improvements from Bright Flow Meadows area North of Distant Thunder Trail DA to M309 from Section 4 Area 5, F-96-102 will be provided by an excavated pond East of Distant Thunder Trail. Said pond will be jointly maintained. Stormwater Management quantity for the improvements West of Indian Summer Drive and South of Sunlit Water Way is provided by Village of River Hill Section 4 Area 1, Phase F-96-110. Water quality will be provided by bio-retention or shallow marsh at the storm drain outfalls and will be jointly maintained. Stormwater Management quantity for the improvements East of Indian Summer Drive and South of Distant Thunder Trail are provided for in Section 4 Area 1, F-96-110 by proposed features as described in a report prepared by Whitman, Reardon & Associates and approved as of 1/20/95. Water quality will be provided by bio-retention or shallow marsh at the storm drain outfalls and will be jointly maintained.
 - SHC Elevations shown are at the property lines.
 - This plan has been prepared in accordance with the provisions of section 16.124 of the Howard County Code and Landscape Manual. Financial Surety for the trees in Schedule A in the amount of \$ 2,400 shall be part of the Builders Grading Permit Application.
 - This property is exempt from the Forest Conservation requirements per section 16.1202(b)(1)(iv) of the Howard County Code because it is part of a planned unit development with preliminary plan approval prior to 12/31/92.
 - Section 16.116(a) of the Subdivision and Land Development Regulations prohibits clearing, grading or construction activity within the required 25 foot wetland and 75 foot perennial or 50 foot intermittent stream buffers.



SPECIAL NOTE:
This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction see approved Road Construction Plans F-96-130 and/or approved Water and Sewer Plans Contract #34-3420-D.

SUBDIVISION NAME	COLUMBIA	SECTION/AREA	4/4	LOTS/PARCELS	192,193,194,197,219-232
PLAT NO.	13286	BLOCK NO.	14	ZONE	NTSFMD
WATER CODE	110	ELECTION DIST.	35	CENSUS TRACT	5TH 6055
		SEWER CODE			6653000

CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS

7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED	BAL	SITE DEVELOPMENT PLAN	SCALE
DRAWN	ZAH	LOTS 192,193,194,197 & 219 THRU 232	1" = 30'
CHECKED	BAL	COLUMBIA	DRAWING
DATE	JULY, 2000	VILLAGE OF RIVER HILL	1 of 4
		SECTION 4 AREA 4	JOB NO.
		FIFTH (5TH) ELECTION DISTRICT	00-046
		HOWARD COUNTY, MARYLAND	FILE NO.
		FOR: PATRIOT HOMES	00-046-X
		P.O. Box 1018 (Harpers Farm Road)	
		Columbia, Maryland 21044	

VILLAGE OF RIVER HILL
Section 4 Area 4
Zoned NTSFMD

LEGEND

CONTOUR INTERVAL 2 FT.

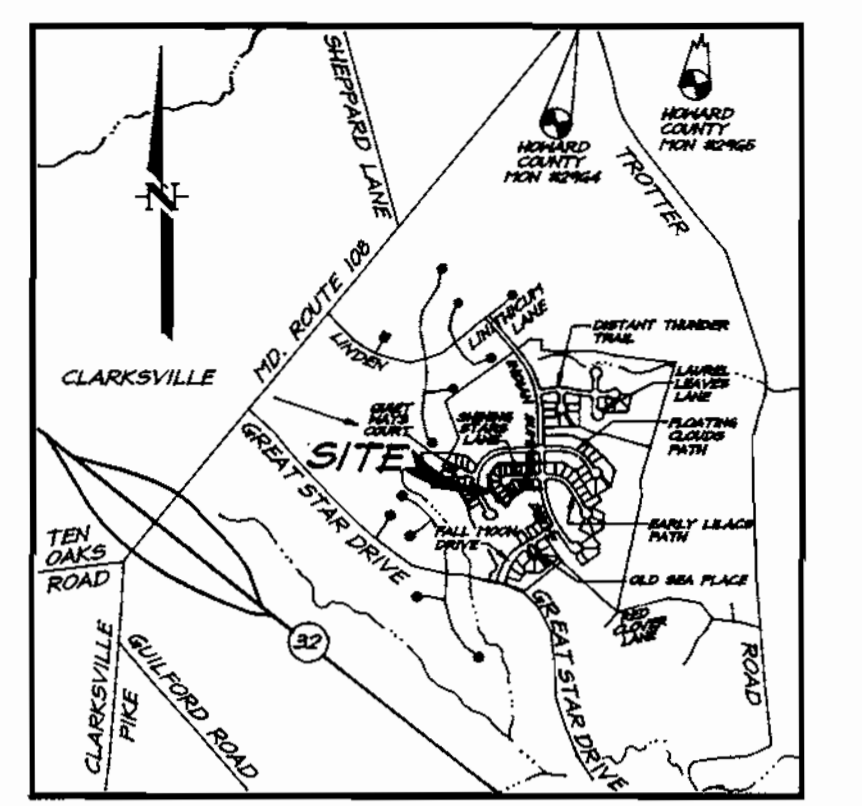
EXISTING CONTOUR

PROPOSED CONTOUR

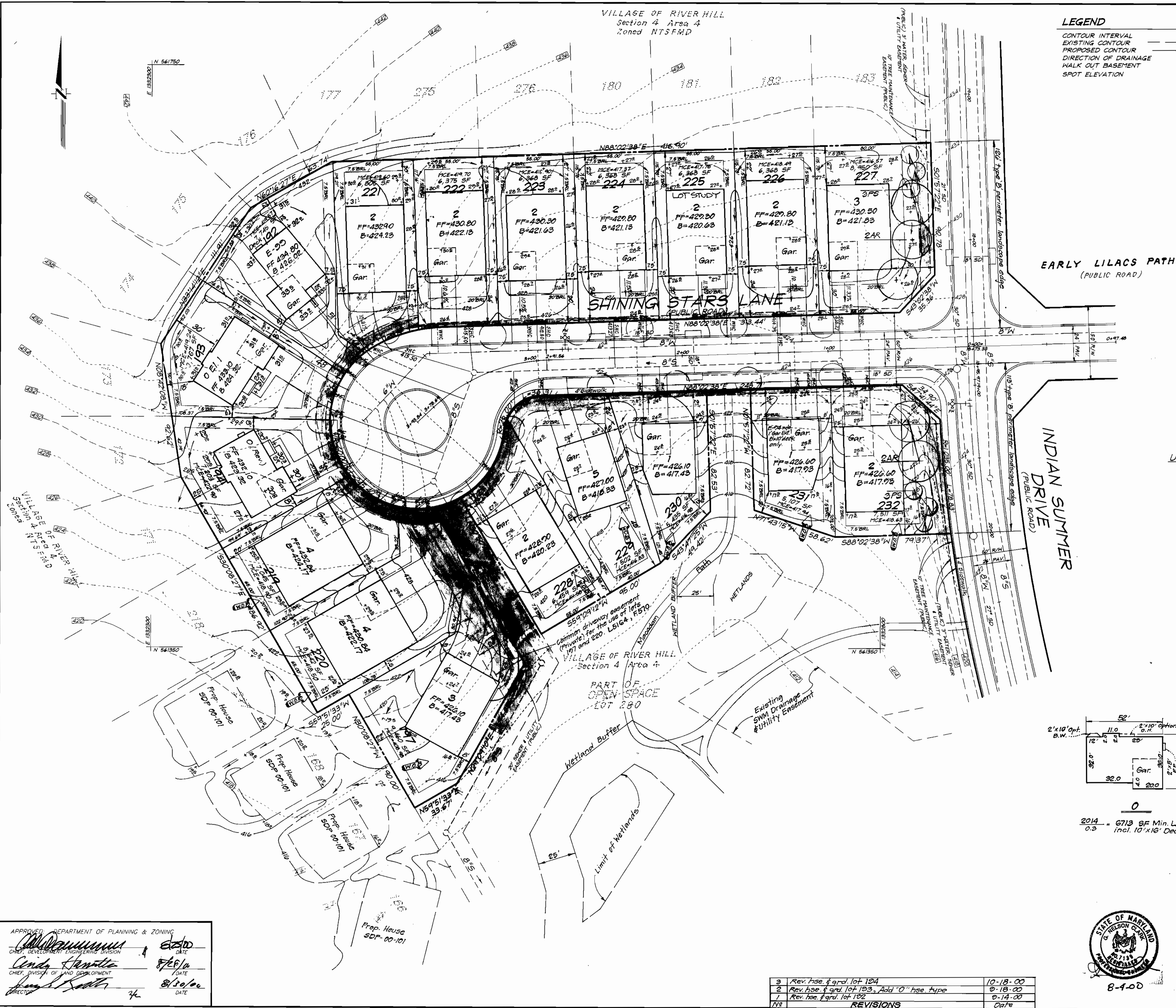
DIRECTION OF DRAINAGE

WALK OUT BASEMENT

SPOT ELEVATION

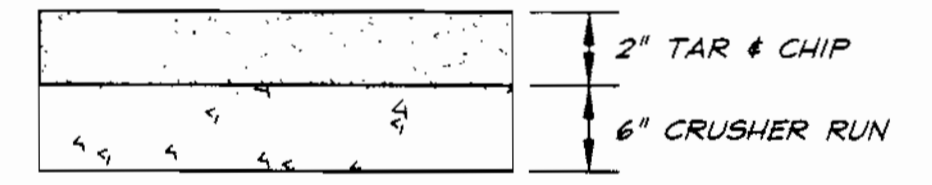


VICINITY MAP
Scale: 1"=2000'

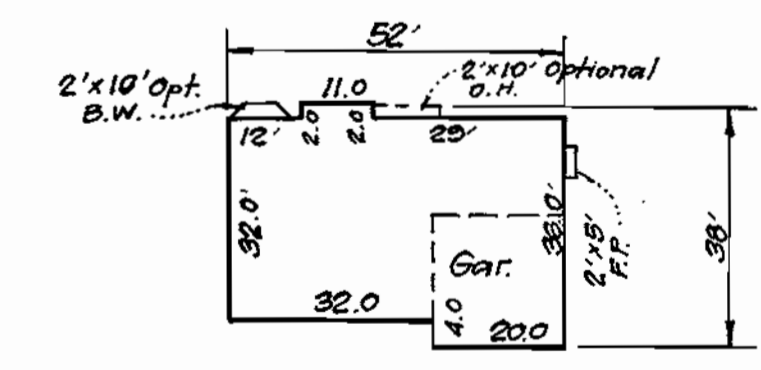


USE-IN-COMMON DRIVE PAVING NOTES AND DETAILS FOR LOTS 197 AND 220

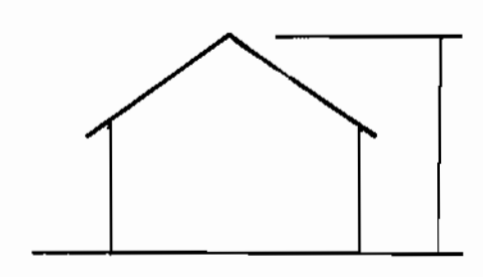
- Driveway(s) shall be provided prior to residential occupancy to insure safe access for fire and emergency vehicles per the following minimum requirements:
- Width- 12 feet (14 feet serving more than one residence).
 - Surface-6 inches of compacted crusher run base with tar and chip coating.
 - Geometry-Maximum 15% grade, maximum 10% grade change and minimum of 45-foot turning radius.
 - Structures (culvert/bridges)-Capable of supporting 25 gross tons (H25 loading).
 - Drainage elements-Capable of safely passing 100-year flood with no more than 1 foot depth over driveway surface.
 - Structure clearances-minimum 12 feet.
 - Maintenance-Sufficient to insure all weather use.



PAVING SECTION FOR USE-IN-COMMON DRIVEWAY
NOT TO SCALE



0
2014 = 6713 SF Min. Lot Size
0.3 incl. 10'x16' Deck



OWNER / DEVELOPER
THE HOWARD RESEARCH AND DEVELOPMENT CORP.
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044

APPROVED: DEPARTMENT OF PLANNING & ZONING

 Cinda Hamilton
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 8/20/00

NO	REVISIONS	DATE
3	Rev. hse. & grad. lot 194	10-18-00
2	Rev. hse. & grad. lot 193, Add 10' hse. type	9-18-00
1	Rev. hse. & grad. lot 192	9-14-00
1/1		



CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

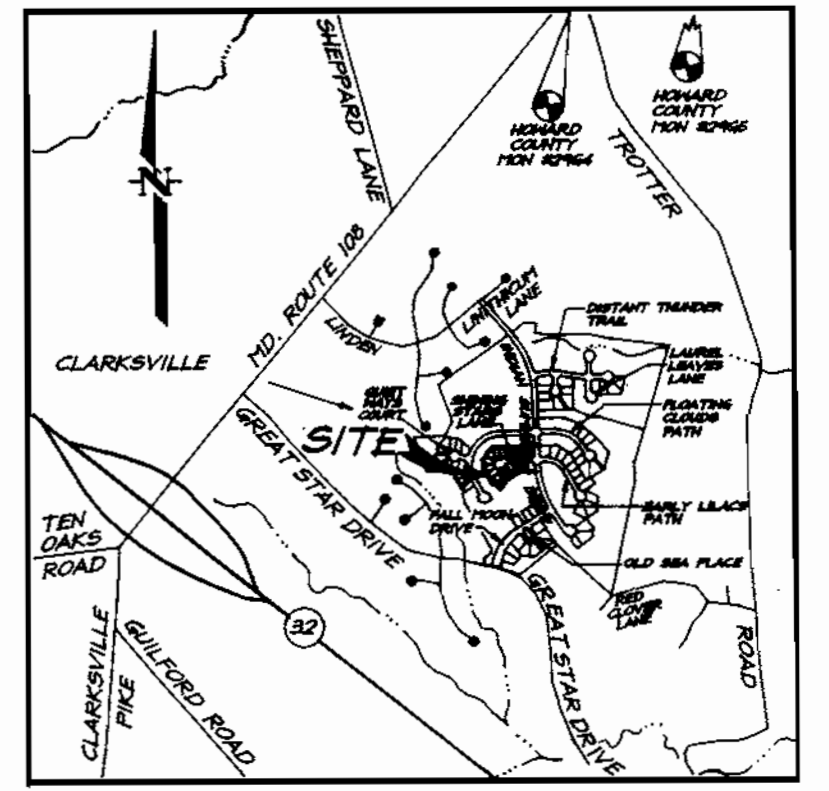
DESIGNED	BAL	SITE DEVELOPMENT PLAN LOTS 192, 193, 194, 197 & 219 THRU 232 COLUMBIA VILLAGE OF RIVER HILL SECTION 4 AREA 4 FIFTH (5TH) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE	1" = 30'
DRAWN	ZH / BLP		DRAWING	2 of 4
CHECKED	BAL	JOB NO.	00-046	
DATE	JULY, 2000	FILE NO.	00-046-X	

FOR: PATRIOT HOMES
P.O. Box 1018 (Harpers Farm Road)
Columbia, Maryland 21044

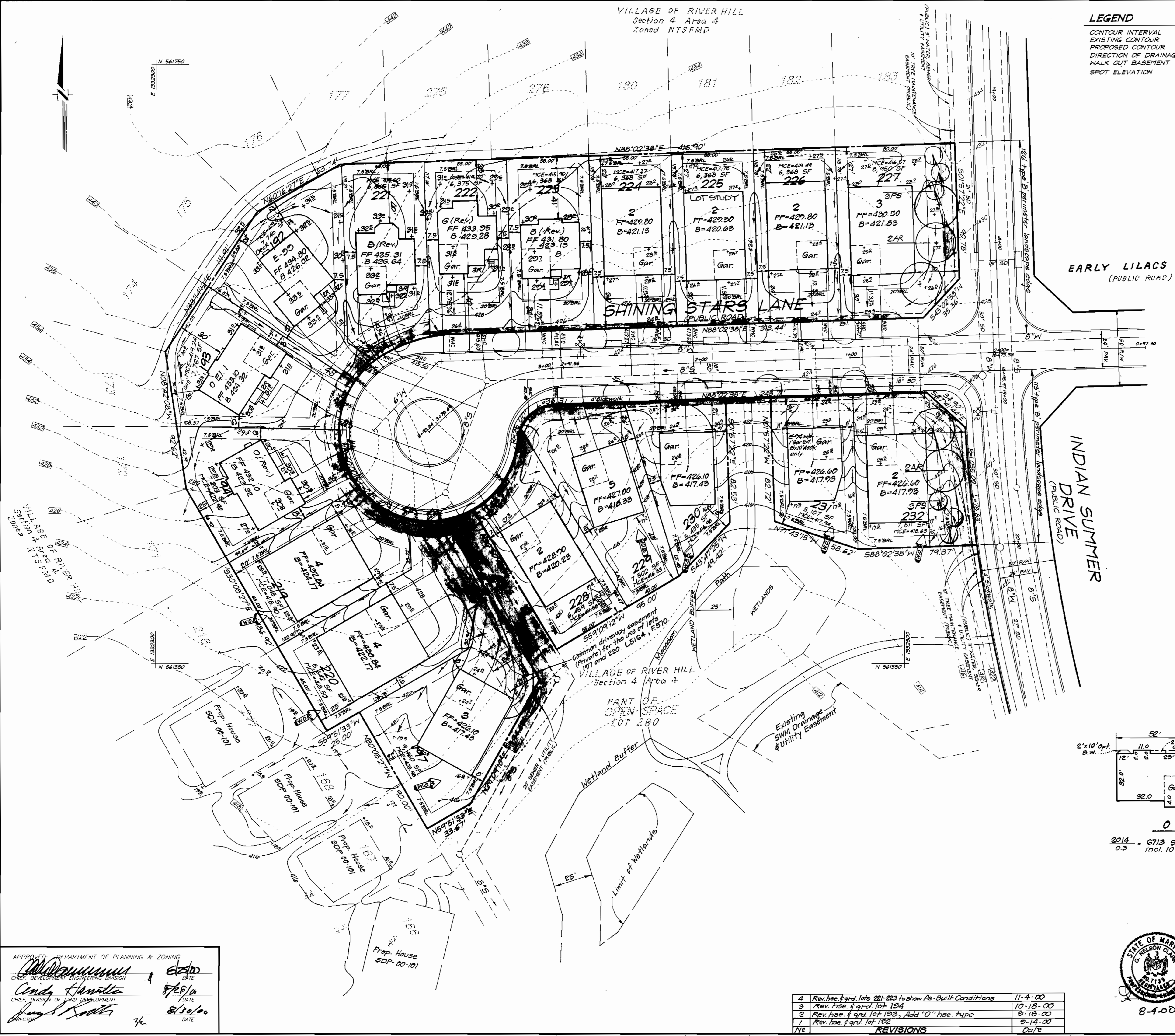
VILLAGE OF RIVER HILL
Section 4 Area 4
Zoned NTSFMD

LEGEND

- CONTOUR INTERVAL
- EXISTING CONTOUR
- PROPOSED CONTOUR
- DIRECTION OF DRAINAGE
- WALK OUT BASEMENT
- SPOT ELEVATION

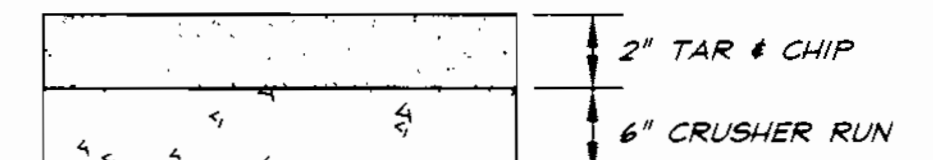


VICINITY MAP
Scale: 1"=2000'

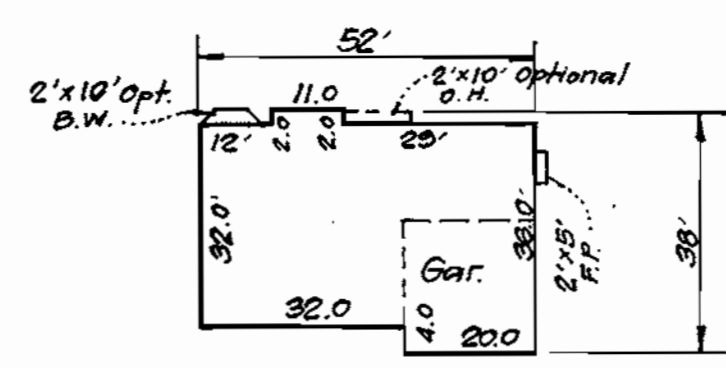


USE-IN-COMMON DRIVE PAVING NOTES AND DETAILS FOR LOTS 197 AND 220

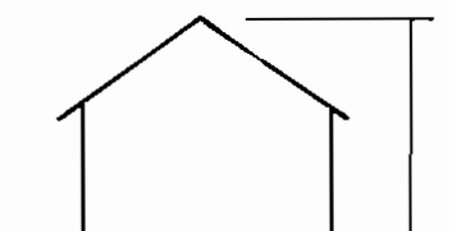
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 - Maintenance- Sufficient to insure all weather use.



PAVING SECTION FOR USE-IN-COMMON DRIVEWAY
NOT TO SCALE



2014 = 6713 SF Min. Lot Size
0.3 incl. 10'x16' Deck



OWNER / DEVELOPER

THE HOWARD RESEARCH AND DEVELOPMENT CORP.
10275 LITTLE PATIENT PARKWAY
COLUMBIA, MARYLAND 21044

APPROVED: DEPARTMENT OF PLANNING & ZONING
Cindy Hamilton
CHIEF, DIVISION OF LAND DEVELOPMENT
8/26/00
8/30/00

REV	REVISIONS	DATE
4	Rev. hse. & gar. lots 221-223 to show As-Built Conditions	11-4-00
3	Rev. hse. & gar. lot 194	10-18-00
2	Rev. hse. & gar. lot 193, Add "O" hse. type	8-18-00
1	Rev. hse. & gar. lot 192	8-14-00



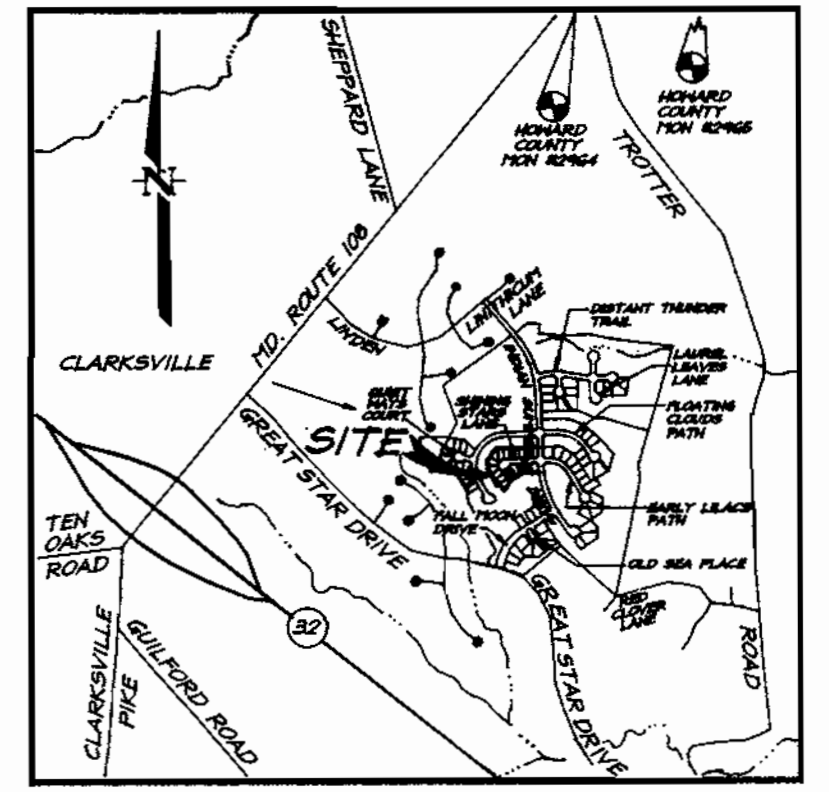
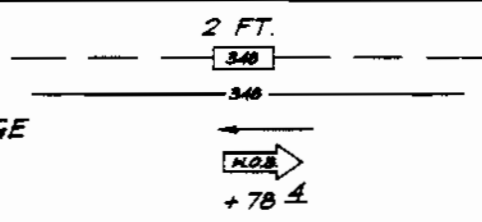
CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED BAL	SITE DEVELOPMENT PLAN LOTS 192, 193, 194, 197 & 219 THRU 232	SCALE 1" = 30'
DRAWN ZH/BLP	COLUMBIA VILLAGE OF RIVER HILL	DRAWING 2 of 4
CHECKED BAL	SECTION 4 AREA 4 FIFTH (5TH) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	JOB NO. 00-046
DATE JULY, 2000	FOR: PATRIOT HOMES P.O. Box 1018 (Harpers Farm Road) Columbia, Maryland 21044	FILE NO. 00-046-X

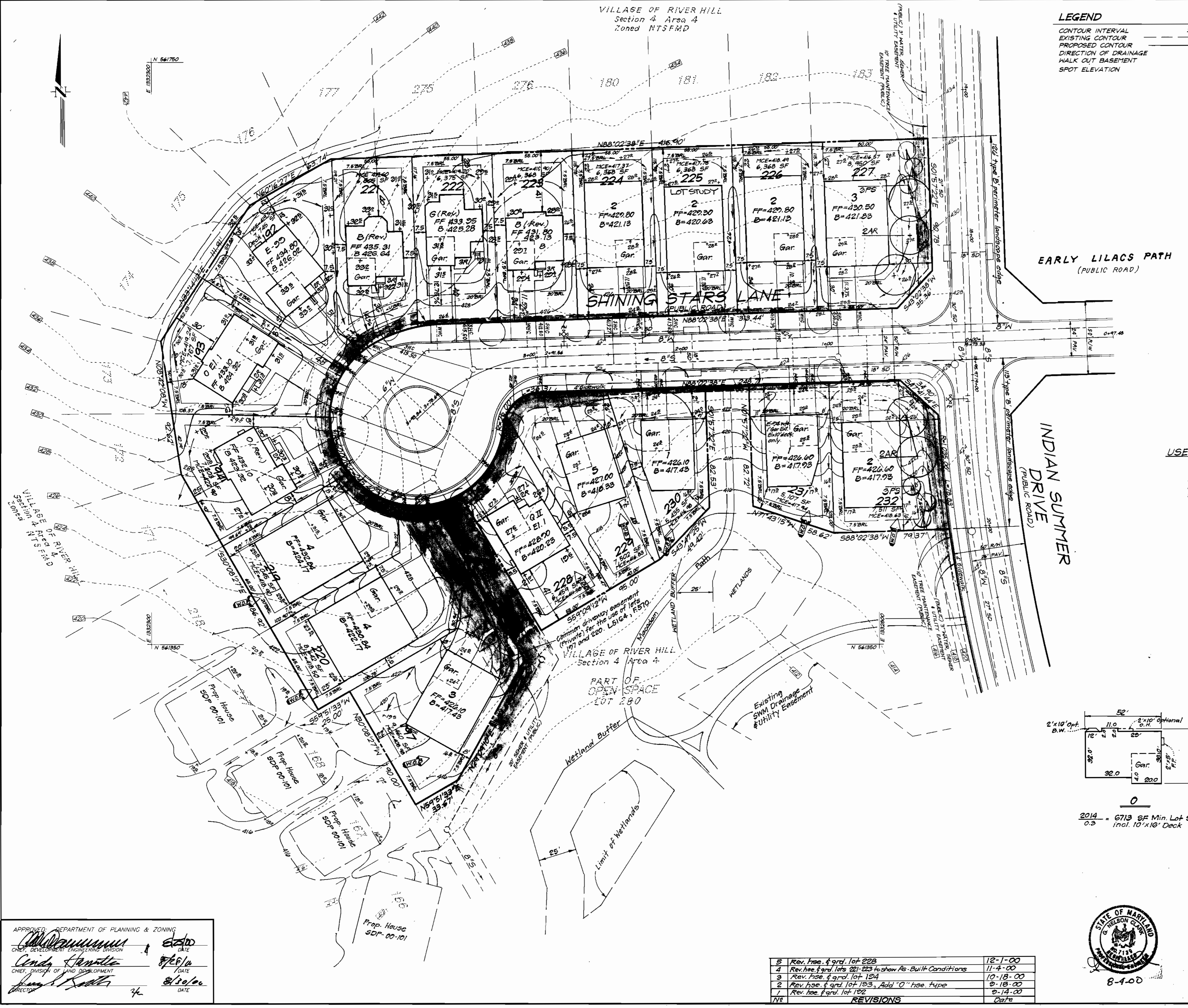
VILLAGE OF RIVER HILL
Section 4 Area 4
Zoned NTSFMD

LEGEND

CONTOUR INTERVAL
EXISTING CONTOUR
PROPOSED CONTOUR
DIRECTION OF DRAINAGE
WALK OUT BASEMENT
SPOT ELEVATION

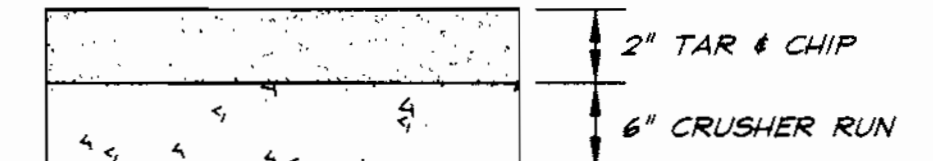


VICINITY MAP
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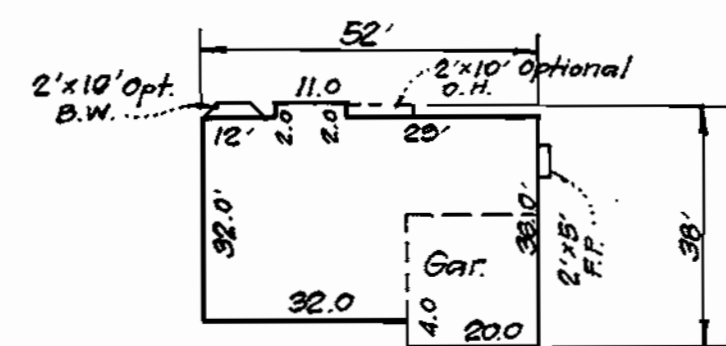


USE-IN-COMMON DRIVE PAVING NOTES AND DETAILS FOR LOTS 197 AND 220

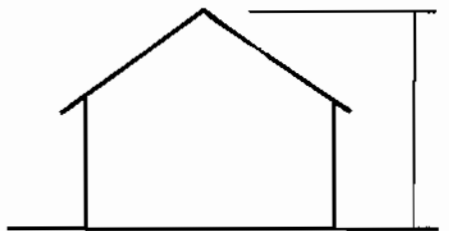
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 - Maintenance- Sufficient to insure all weather use.



PAVING SECTION FOR USE-IN-COMMON DRIVEWAY
NOT TO SCALE



2014
0.3 = 6713 SF Min. Lot Size
Incl. 10'x16' Deck



OWNER / DEVELOPER
THE HOWARD RESEARCH AND DEVELOPMENT CORP.
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044

APPROVED: DEPARTMENT OF PLANNING & ZONING
[Signature]
[Signature]
[Signature]

NO.	REVISIONS	Date
5	Rev. hse. & grd. lot 228	12-1-00
4	Rev. hse. & grd. lots 221-223 to show As-Built Conditions	11-4-00
3	Rev. hse. & grd. lot 194	10-18-00
2	Rev. hse. & grd. lot 193, Add "O" hse. type	9-18-00
1	Rev. hse. & grd. lot 192	9-14-00



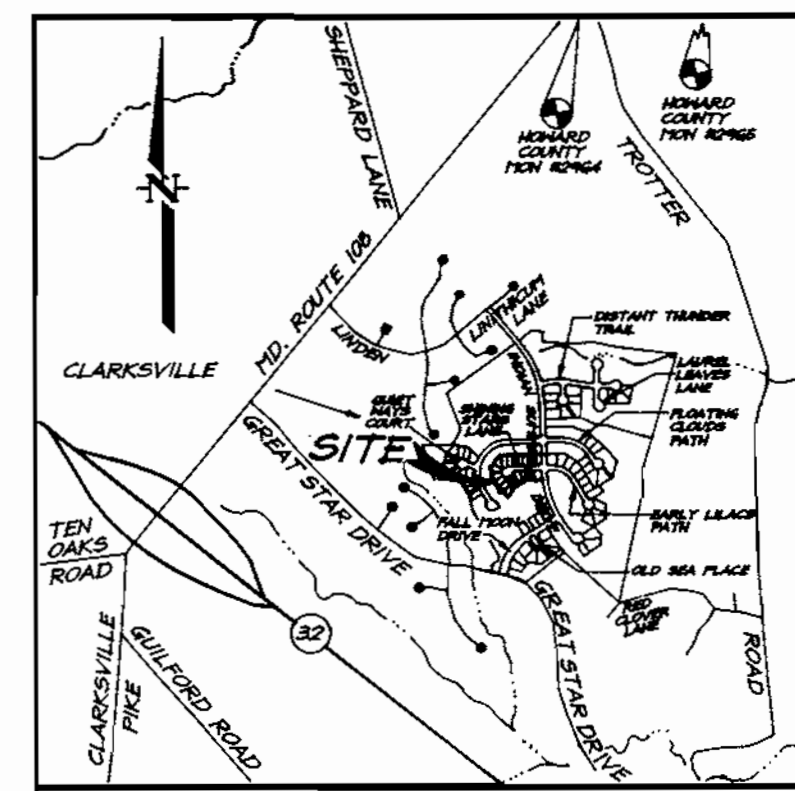
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7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

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DRAWN ZH / BLP	COLUMBIA VILLAGE OF RIVER HILL	DRAWING 2 of 4
CHECKED BAL	SECTION 4 AREA 4 FIFTH (5TH) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	JOB NO. 00-046
DATE JULY, 2000	FOR: PATRIOT HOMES P.O. Box 1018 (Harpers Farm Road) Columbia, Maryland 21044	FILE NO. 00-046-X

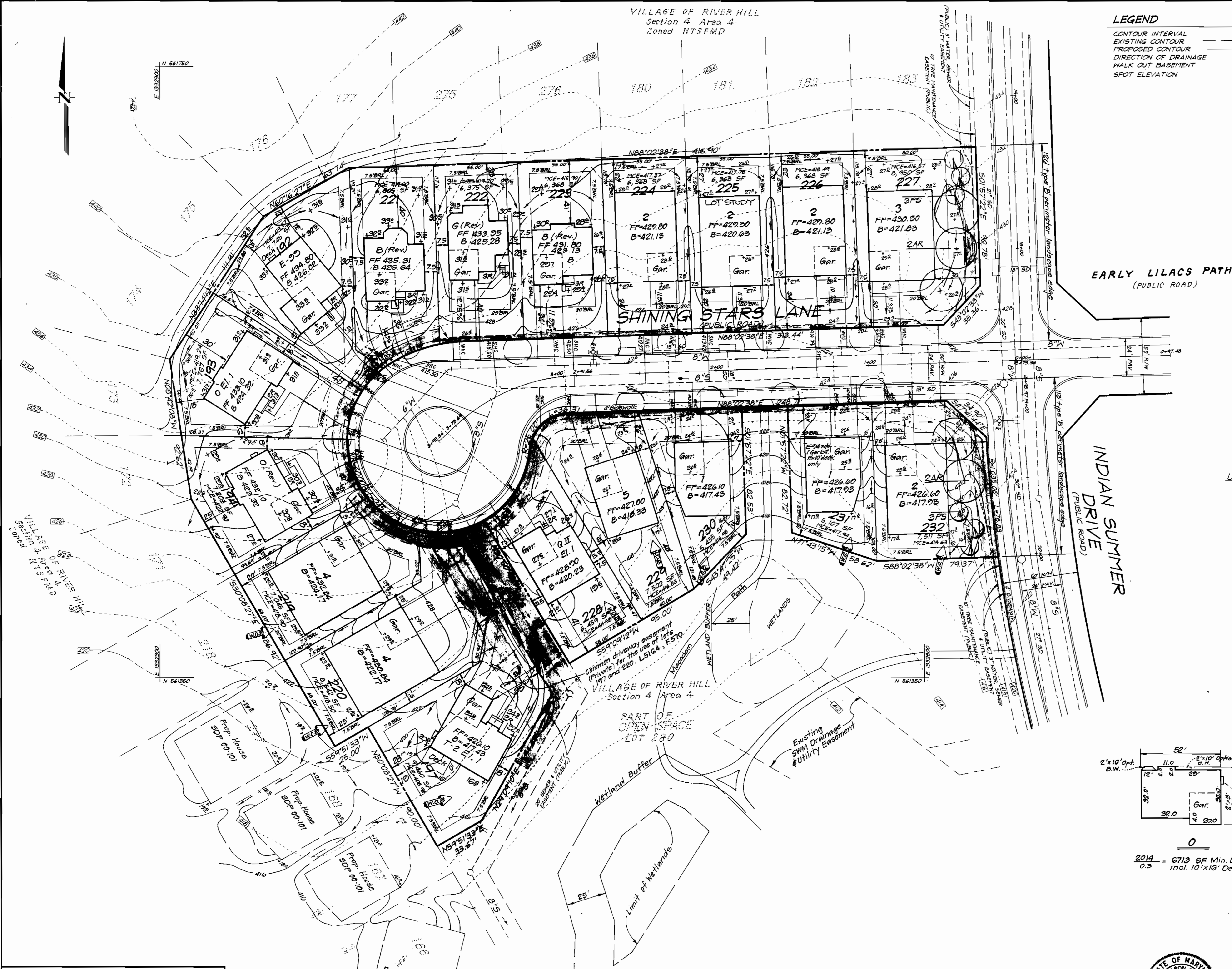
VILLAGE OF RIVER HILL
Section 4 Area 4
Zoned NTSFMD

LEGEND

- CONTOUR INTERVAL 2 FT.
- EXISTING CONTOUR
- PROPOSED CONTOUR
- DIRECTION OF DRAINAGE
- WALK OUT BASEMENT
- SPOT ELEVATION

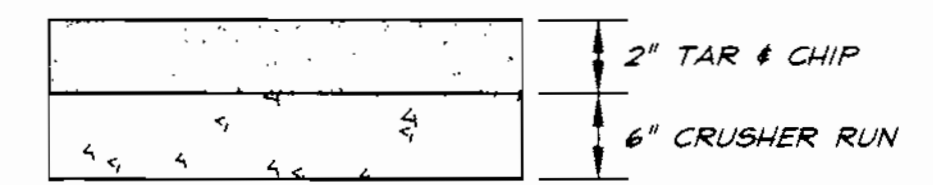


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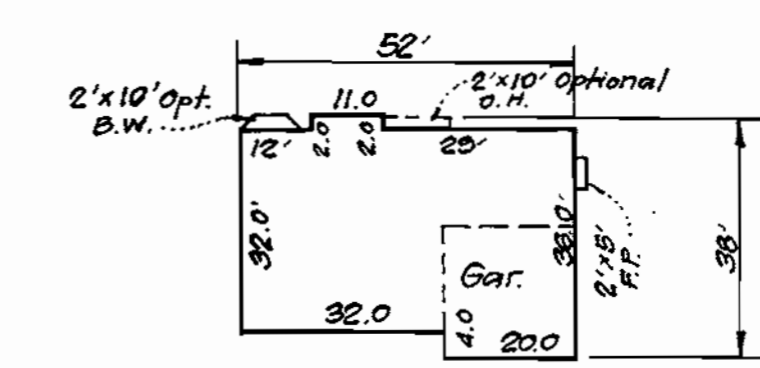


USE-IN-COMMON DRIVE PAVING NOTES AND DETAILS FOR LOTS 197 AND 220

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PAVING SECTION FOR USE-IN-COMMON DRIVEWAY
NOT TO SCALE



2014 = 6713 SF Min. Lot Size
0.3 incl. 10'x10' Deck

OWNER / DEVELOPER

THE HOWARD RESEARCH AND DEVELOPMENT CORP.
10275 LITTLE PATENT PARKWAY
COLUMBIA, MARYLAND 21044

APPROVED DEPARTMENT OF PLANNING & ZONING

 Cinda Hanotta
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE 8/30/00

NO	REVISIONS	DATE
6	Rev. hse. & grad. lot 197	12-14-00
5	Rev. hse. & grad. lot 228	12-1-00
4	Rev. hse. & grad. lots 221, 223 to show As-Built Conditions	11-4-00
3	Rev. hse. & grad. lot 194	10-18-00
2	Rev. hse. & grad. lot 193, Add "O" hse. type	9-18-00
1	Rev. hse. & grad. lot 192	9-14-00



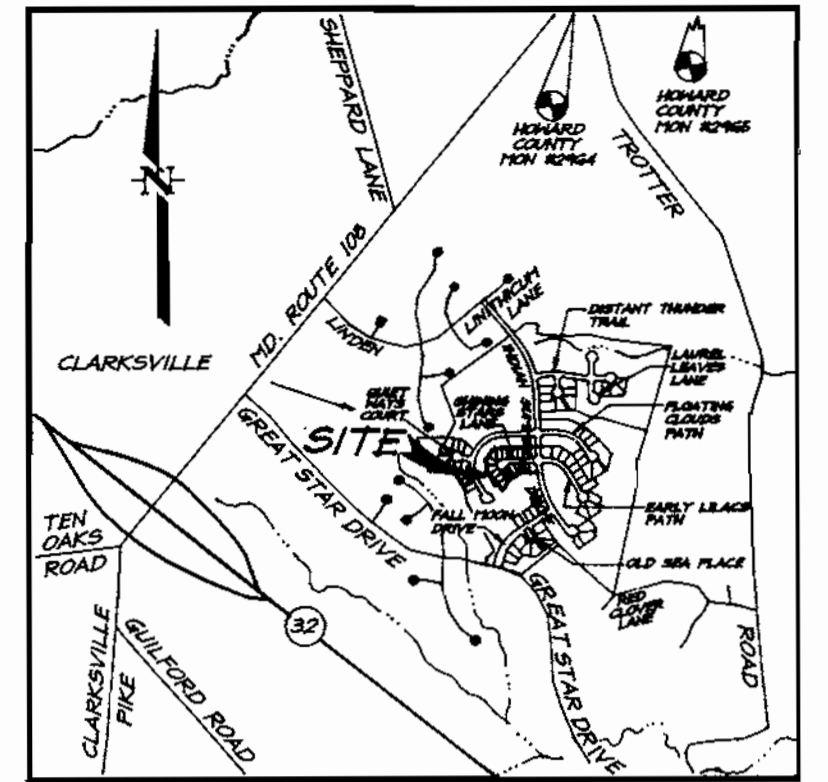
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7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED BAL	SITE DEVELOPMENT PLAN LOTS 192, 193, 194, 197 & 219 THRU 232 COLUMBIA VILLAGE OF RIVER HILL SECTION 4 AREA 4 FIFTH (5TH) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'
DRAWN ZH/BLP		DRAWING 2 of 4
CHECKED BAL		JOB NO. 00-046
DATE JULY, 2000		FILE NO. 00-046-X
FOR: PATRIOT HOMES P.O. Box 1018 (Harpers Farm Road) Columbia, Maryland 21044		

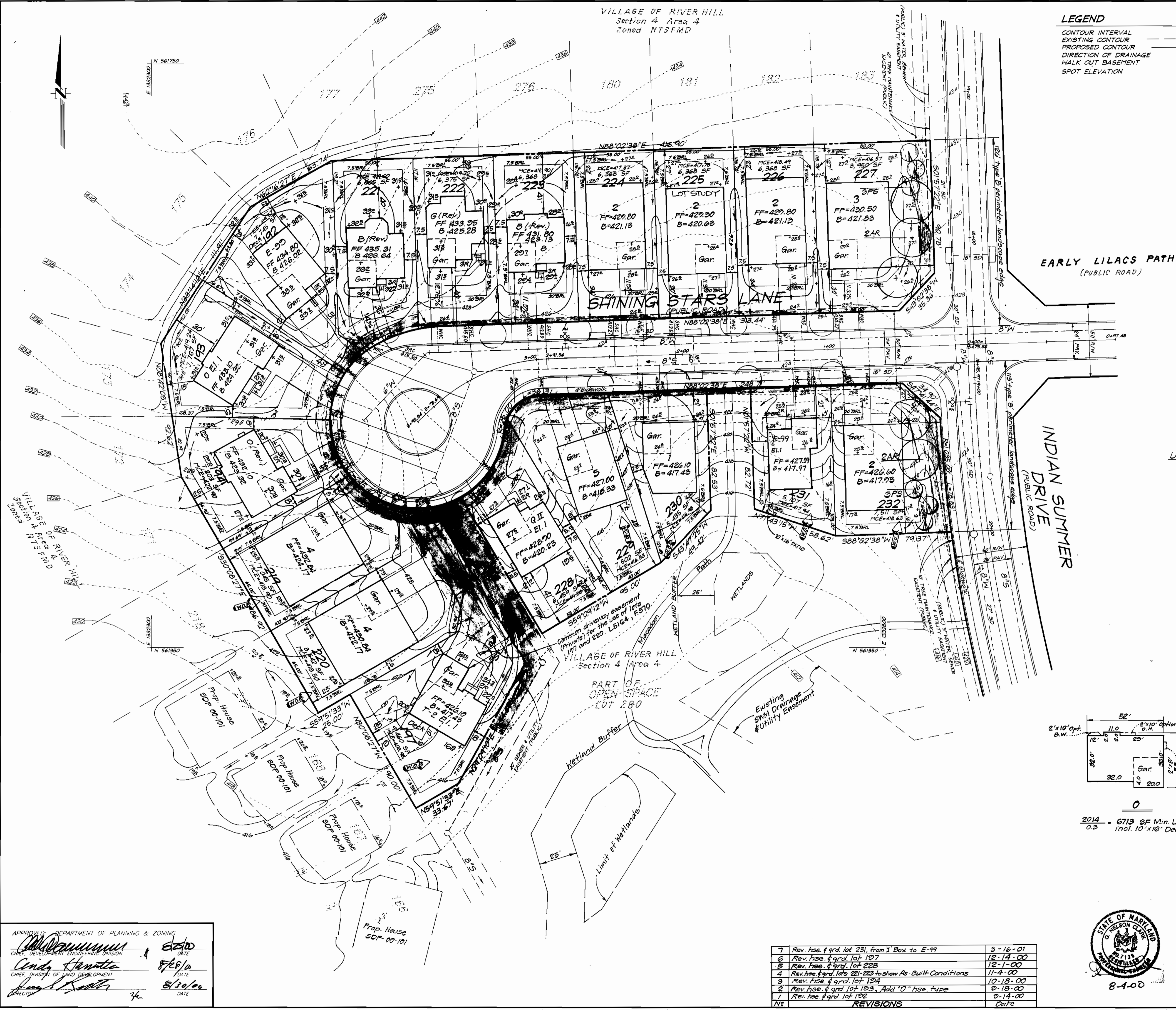
VILLAGE OF RIVER HILL
Section 4 Area 4
Zoned NTSFMD

LEGEND

- CONTOUR INTERVAL 2 FT.
- EXISTING CONTOUR
- PROPOSED CONTOUR
- DIRECTION OF DRAINAGE
- WALK OUT BASEMENT
- SPOT ELEVATION

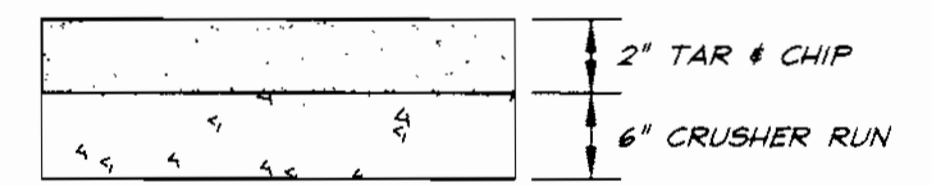


VICINITY MAP
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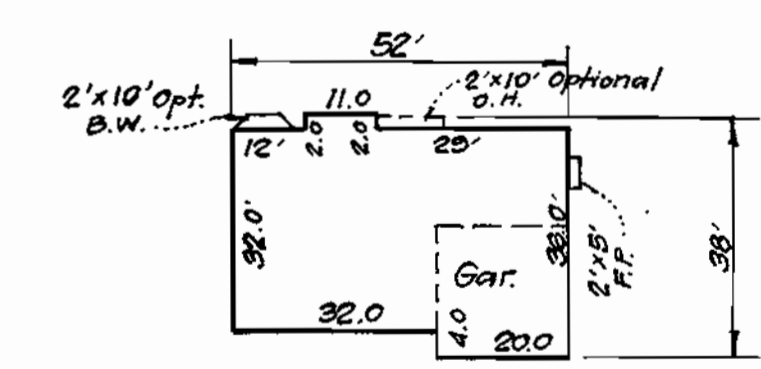


USE-IN-COMMON DRIVE PAVING NOTES AND DETAILS FOR LOTS 197 AND 220

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PAVING SECTION FOR USE-IN-COMMON DRIVEWAY
NOT TO SCALE



2014 = 6713 SF Min. Lot Size
0.3 incl. 10'x16' Deck

OWNER / DEVELOPER

THE HOWARD RESEARCH AND DEVELOPMENT CORP.
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044

APPROVED: DEPARTMENT OF PLANNING & ZONING

 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 8/28/00

 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 8/28/00

 DIRECTOR
 DATE: 8/30/00

NO	REVISIONS	DATE
7	Rev. hse. & grad. lot 231, from 1' Box to E-99	3-16-01
6	Rev. hse. & grad. lot 197	12-14-00
5	Rev. hse. & grad. lot 228	12-1-00
4	Rev. hse. & grad. lots 221-223 to show As-Built Conditions	11-4-00
3	Rev. hse. & grad. lot 194	10-18-00
2	Rev. hse. & grad. lot 193, Add 'O' hse. type	8-14-00
1	Rev. hse. & grad. lot 192	8-14-00



CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS

7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED BAL	SITE DEVELOPMENT PLAN LOTS 192, 193, 194, 197 & 219 THRU 232	SCALE 1" = 30'
DRAWN ZH/BLP	COLUMBIA VILLAGE OF RIVER HILL	DRAWING 2 of 4
CHECKED BAL	SECTION 4 AREA 4 FIFTH (5TH) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	JOB NO. 00-046
DATE JULY, 2000	FOR: PATRIOT HOMES P.O. Box 1018 (Harpers Farm Road) Columbia, Maryland 21044	FILE NO. 00-046-X