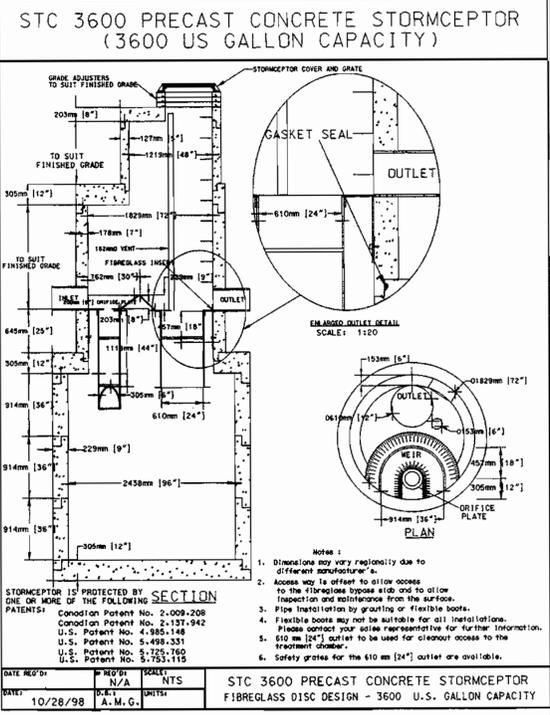
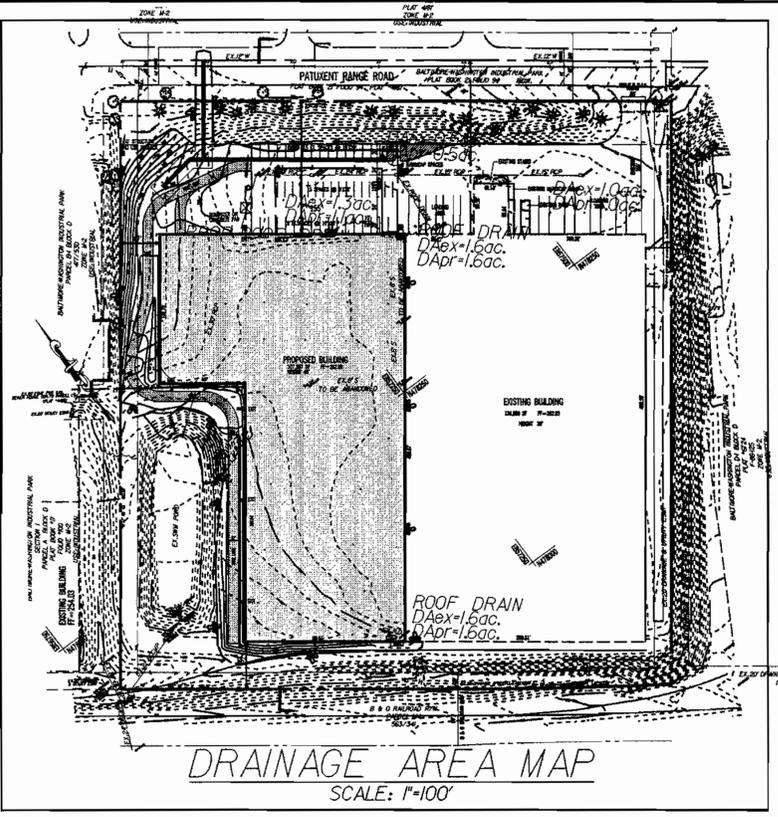


EL.230 PROPOSED STORM DRAIN



STC 3600 PRECAST CONCRETE STORMCEPTOR
FIBREGLASS DISC DESIGN - 3600 U.S. GALLON CAPACITY



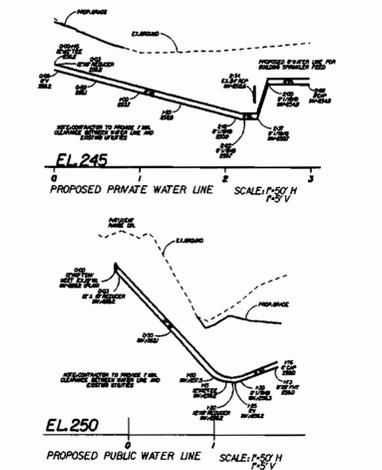
DRAINAGE AREA MAP
SCALE: 1"=100'

Statement of Drainage Areas

Total Site Area	10.2 Acres
Off-Site Area that drains to site	0.0 Acres
Lawn areas that sheet flow off-site	1.2 Acres
Drainage Area to SWM Pond	9.0 Acres

Drainage Area to SWM Pond by Surface Type

Existing Roof	3.1 Acres
Proposed Roof	2.5 Acres
Existing Pavement	1.1 Acres
Proposed Pavement	0.2 Acres
Lawn areas	1.4 Acres
Pond area	0.7 Acres
Total	9.0 Acres



STRUCTURE SCHEDULE

NO.	TYPE	TOP ELEV.	INV. IN.	INV. OUT	REMARKS
1	STANDARD TYPE 'C' ENDWALL	251.5	---	248.0	HOWARD CO.STD.SD5.2I
2	STANDARD MANHOLE	261.5	248.6	248.5	HOWARD CO.STD.G5.II
3	STANDARD MANHOLE	262.5	250.0	249.9	HOWARD CO.STD.G5.II
3A	PRECAST CONCRETE STORMCEPTOR	260.5	250.0	250.9	STC 3600 (SEE DETAIL)
9	STANDARD CONCRETE END SECTION	248.3	---	247.0	HOWARD CO.STD.SD5.52
10	STANDARD SHALLOW MANHOLE	259.5	255.6	255.5	HOWARD CO.STD.G5.D5
RD1	ROOF DRAIN	---	---	257.5	SEE ARCHITECTURAL PLANS
RD2	12"x15" TEE	---	254.5	254.5	HOWARD CO.STD.
RD3	ROOF DRAIN	---	---	257.43	SEE ARCHITECTURAL PLANS

PIPE SCHEDULE

FROM	TO	SIZE	TYPE	LENGTH
EX 4	3A	30"	H.D.P.E.	18'
3A	3	30"	H.D.P.E.	112'
3	2	30"	H.D.P.E.	212'
2	1	30"	H.D.P.E.	60'
LP	2A	15"	H.D.P.E.	10'
RD1/2	10	15"	H.D.P.E.	43'
10	9	15"	H.D.P.E.	50'
RD1/3	RD1/2	15"	H.D.P.E.	5'
RD1	10	15"	H.D.P.E.	5'

SWM POND MAINTENANCE REQUIREMENTS:

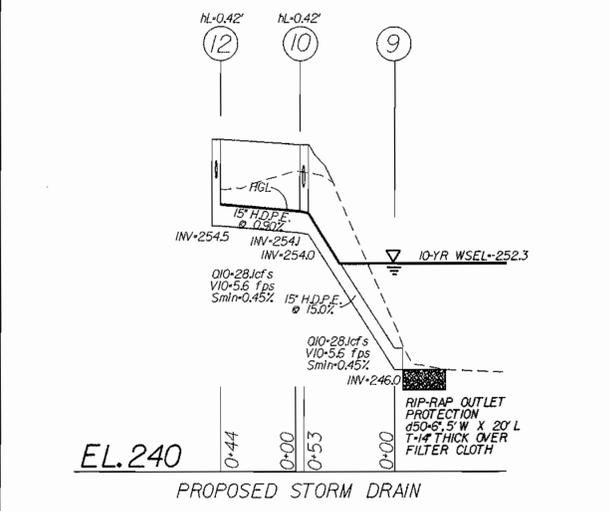
- REMOVAL OF SILT WHEN ACCUMULATION EXCEEDS SIX (6) INCHES IN BASINS WITHOUT FOREBAYS. IN BASINS WITH FOREBAYS, REMOVAL OF SILT SHALL OCCUR WHEN THE ACCUMULATION EXCEEDS FOUR (4) INCHES IN THE FOREBAY.
- REMOVAL OF ACCUMULATED PAPER, TRASH, AND DEBRIS AS NECESSARY.
- VEGETATION GROWING ON THE EMBANKMENT TOP OR FACES IS NOT ALLOWED TO EXCEED 18 INCHES IN HEIGHT AT ANY TIME.
- ANNUAL INSPECTION AND REPAIR OF THE STRUCTURE.
- CORRECTIVE MAINTENANCE IS REQUIRED ANY TIME THE FOREBAY DOES NOT DRAIN DOWN COMPLETELY WITHIN 60 HOURS (i.e. NO STANDING WATER ALLOWED).

STORMCEPTOR MAINTENANCE:

- MAINTENANCE OF THE STORMCEPTOR IS PERFORMED USING VACUUM TRUCKS. COSTS TO CLEAN STORMCEPTOR VARY BASED ON THE SIZE OF THE UNIT AND TRANSPORTATION DISTANCES.
- IF THE STORMCEPTOR IS SIZED BASED ON THE GUIDELINES PROVIDED IN SECTION 2.4, ANNUAL MAINTENANCE IS RECOMMENDED. APPROXIMATELY (IF STORMCEPTOR IS NOT MAINTAINED PROPERLY) 15% OF THE STORMCEPTOR TOTAL SEDIMENT CAPACITY WILL BE REDUCED EACH YEAR BASED ON THE MAXIMUM IMPERVIOUS DRAINAGE AREAS.
- ALTHOUGH ANNUAL MAINTENANCE IS RECOMMENDED, THE MAINTENANCE FREQUENCY WILL BE DICTATED BY SITE SPECIFIC CONDITIONS. ACCORDINGLY, IT IS RECOMMENDED THAT ANNUAL MAINTENANCE BE PERFORMED INITIALLY, AND THAT THE FREQUENCY OF MAINTENANCE BE ADJUSTED BASED ON THE LOCAL CONDITIONS (i.e. IF THE UNIT IS FILLING UP WITH SEDIMENT MORE QUICKLY THAN PROJECTED, MAINTENANCE MAY BE REQUIRED SEMI-ANNUALLY; CONVERSELY, ONCE THE SITE HAS STABILIZED, MAINTENANCE MAY ONLY BE REQUIRED ONE EVERY TWO OR THREE YEARS.
- THE STORMCEPTOR IS OFTEN UTILIZED IN AREAS WHERE THE POTENTIAL FOR SPILLS IS GREAT. THE STORMCEPTOR SHOULD BE CLEANED IMMEDIATELY AFTER A SPILL OCCURS. APPROPRIATE REGULATORY AGENCIES SHOULD ALSO BE NOTIFIED IN THE EVENT OF A SPILL.
- DISPOSAL OF MATERIAL FROM THE STORMCEPTOR SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS AS APPLICABLE.
- THE STORMCEPTOR CAN BE EASILY INSPECTED FOR PETROLEUM BY REMOVING THE MANHOLE COVER. A CONVENTIONAL DIPSTICK TUBE CAN BE USED TO DETERMINE OIL ACCUMULATION.

NOTE: MAINTENANCE SHALL BE PROVIDED ONCE SEDIMENT DEPTH EXCEEDS 15 INCHES.

REF: "THE STORMCEPTOR SYSTEM TECHNICAL MANUAL", CSR HYDROCONDUIT SECTION 5.0 & 5.1, P.21.



EL.240 PROPOSED STORM DRAIN

Concrete Stormceptor® Order Request Form*

Contractor Information
 Name: E. W. MURRAY
 Address: _____
 City: _____
 State: _____
 Zip Code: _____
 Contact: ADAM YATES
 Phone: _____
 Fax: _____

Owner Information
 Name: KC JESSUP-IM, L.L.C.
 Phone: 816-842-2690
 Fax: 816-421-5659

Stormceptor Model
 900 3600
 1200 4800
 1800 6000
 2400 7200

Insert Size
 22"
 32"
 44"
 Custom

Manhole Number
 Top Elevation (ft): 246.5
 Inlet Pipe Invert (ft): 251.0
 Outlet Pipe Invert (ft): 250.9
 Pipe Type: H.D.P.E.
 Pipe Inside Diameter (in) (ID): 36.0
 Pipe Outside Diameter (in) (OD): 36.0

Project Name: IRON MOUNTAIN STORAGE FACILITY BUILDING ADDITION
 Approximate time frame until required delivery (weeks): _____
 Delivery Address: Street 8275 PATIENT RANGE RD.
 City _____ State MD Zip Code _____
 Designer: Company GREENHORNE & O'MARA, INC.
 Designer Contact: ALAN K. AGNEW Phone 301-982-2829 Fax 301-270-2119

Please fax this order to Stormceptor at (301) 762-4190
 For Technical Assistance Please Call Stormceptor Corporation at
 (301) 762-8361 or toll free at 1 (800) 762-4703

ADDRESS CHART

LOT / PARCEL #	STREET ADDRESS
PARCEL C, BLOCK D	8275 PATIENT RANGE ROAD

PERMITS INFORMATION CHART

Subdivision Name	BALTIMORE-WASHINGTON INDUSTRIAL PARK	Section / Area	BLOCK D	Lot / Parcel No.	PARCEL C
Plot # or L/F	4484	Grid #	2	Tax Map No.	48
		Zoning	M-2	Election District	6
		Water Code	WATER CODE: B 02	Sanitary Code	SEWER CODE: 4202600

ENGINEER'S CERTIFICATE
 I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature of Engineer (Print name below signature) Date 7-24-00
 Signature of Developer (Print name below signature) Date 7-24-00

DEPARTMENT OF PLANNING AND ZONING
 Approved: _____ Date 8/17/00
 _____ Date 8/17/00
 _____ Date 8/17/00

ENGINEER/SURVEYOR

ENGINEERING-PLANNING-EARTH SCIENCES-SURVEYING
GREENHORNE & O'MARA, INC.
 9001 EDMONSTON ROAD, GREENBELT, MARYLAND 20770
 (301) 982-2800 © Latest Date Hereon

ANNAPOLIS, MD-ATLANTA, GA-TAMPA, FL-DENVER, CO-FAIRFAX, VA-WEST PALM BEACH, FL
 ROCKVILLE, MD-RALEIGH, NC-FREDERICKSBURG, VA-MECHANICSBURG, PA-ST. PETERSBURG, FL

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 7-24-00

OWNER/DEVELOPER:
 KC JESSUP-IM, L.L.C.
 C/O KESSINGER/HUNTER & COMPANY, L.C.
 2600 GRAND BOULEVARD, 7TH FLOOR
 KANSAS CITY, MISSOURI 64108
 CONTACT: GIL BOURK
 PHONE: 816-842-2690
 FAX: 816-421-5659

PROFILES AND DETAILS
IRON MOUNTAIN STORAGE FACILITY BUILDING ADDITION
 BALTIMORE - WASHINGTON INDUSTRIAL PARK
 BLOCK D PARCEL C, PLAT #4484
 ELECTION DISTRICT 6, TAX MAP 48 GRID 1
 HOWARD COUNTY, MARYLAND

NDW DESIGN	SCALE	AS SHOWN
NDW DRAWN	2 OF 5	
AKA CHECKED		
DATE	JOB No.	FILE No.

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES					
AR	21	ACER RUBRA	RED MAPLE	2 1/2" CAL. @ 4' D	
FP	7	FRAXINUS PENNSYLVANICA	GREEN ASH	2 1/2" CAL. @ 4' D	
QP	8	QUERCUS PRINCEPS	WILLOW OAK	2 1/2" CAL. @ 4' D	
EVERGREEN TREES					
IN	11	ILIXIUM NELLISII	NELLIS STYVENS HOLLY	6" @ 18"	0 @ 8'
PS	10	FINIS SPINOSA	WHITE PINE	10" @ 18"	0 @ 8'
SHRUBS					
IG	25	ILAEA	INDIAN HOLLY	24" @ 30"	CONT.
EA	20	EUONYMUS ALATUS	COMMON DOGWOOD	24" @ 30"	CONT.

SPECIFICATIONS FOR PLANTING
 PLANT IDENTIFICATION: ALL PLANTS SHALL BE PROPERLY MARKED FOR IDENTIFICATION.
 LIST OF PLANT MATERIAL

THE CONTRACTOR SHALL VERIFY THE PLANT QUANTITIES PRIOR TO ORDERING AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS REQUIRED TO COMPLETE THE WORK SHOWN ON THE DRAWINGS. SUBSTITUTION SHALL NOT BE MADE WITHOUT THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. THIS CONTRACT WILL BE BASED ON THE BIDDER HAVING VERIFIED PRIOR TO ORDERING, THE AVAILABILITY OF THE REQUIRED PLANT MATERIAL AS SPECIFIED ON THE PLANT MATERIALS LIST.

PLANT QUALITY
 ALL SHRUBS SHALL BE BUSHY, HEAVY TO THE GROUND, AND WELL GROWN, SHOWING EVIDENCE OF HAVING BEEN SHARPLY TRIMMED, AND SHALL BE SOUND, FREE OF PLANT DISEASE OR INSECT EGGS AND SHALL HAVE A HEALTHY NORMAL ROOT SYSTEM. PLANTS SHALL BE FREELY ROOTED AND NOT HEAVILY IN GROW FROM SOIL STORAGE. ALL PLANTS SHALL BE NECESSARILY GROWN EXCEPT AS NOTED BELOW. PLANTS SHALL NOT BE ORDERED PRIOR TO DELIVERY. THE SHAPE OF THE PLANT SHALL IN GENERAL CONFORM TO ITS NATURAL GROWTH PROPORTIONS UNLESS OTHERWISE SPECIFIED. TREES SHALL CONFORM TO THE BRANCHING, CALIBER, AND HEIGHT SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF HEDGEROWERS, AND SHALL HAVE A WELL-SHAPED, HEAVY BRANCH STRUCTURE FOR THE SPECIES. EVERGREEN TREES ARE TO HAVE AN INTERNODE NO GREATER THAN 10" AND SHALL BE UNIFORMLY WELL SHAPED. ALL PLANT SIZES SHALL AVERAGE AT LEAST THE MIDDLE OF THE RANGE GIVEN IN THE PLANT LIST.

SOIL MIX
 PLANTING BEDS WILL BE 1/2" EXISTING SOIL, 1/2" SOIL MIX CONTAINING 2 PARTS ORGANIC MATERIAL AND 1 PART SAND.

EXCAVATION
 HOLES FOR ALL PLANTS SHALL BE 10" LARGER IN DIAMETER THAN SIZE OF DIALS OR CONTAINERS AND SHALL HAVE VERTICAL SIDES. HOLES SHALL BE PLANTED IN A TRENCH 12" WIDER, DEEP FOR MASS PLANTING SHALL BE CAREFULLY ROTOTILLED TO A DEPTH OF 6" AND SHALL BE 10" DEEPER THAN THE AVERAGE OUTSIDE EDGE OF PLANT DIALS.

PLANTING
 BACKFILLING SHALL BE DONE WITH SOIL MIX, EXCEPT FOR TREE OF BIRCHES, SUGAR MAPLE, LUMBER SPRUCE, STUMP, ROOTS, WEEDS, PERENNIAL GRASS, LITTLE, FOALF, SODDINGS, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH OR HINDER PLANTING, OR MAINTENANCE OPERATIONS. SHOULD ANY COMPRESSION OF UNDESIRABLE PLANTING CONDITIONS ARISE, SUCH AS POOR SOIL DRAINAGE OR CHEMICAL RESIDUES, THEY SHOULD BE CALLED TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OTHER FOR ADJUSTMENT BEFORE PLANTING. THE PLANTS SHALL BE SET PLUMB AND STRAIGHT, AND SHALL BE STAKED AT THE TIME OF PLANTING. STAKING SHALL BE WELL WORKED ABOUT THE ROOTS AND SECURED BY WAXING. PLANTS WILL BE PLANTED WITHOUT EXCESSIVE SOILING. SHRUBS WILL BE 1" HIGHER AND TREES WILL BE 3" HIGHER.

CULTIVATION
 ALL TREES AND SHRUBS SHALL BE CULTIVATED, SOAKED AND MULCHED TO A DEPTH OF 3" WITH FINE SHREDDED HARDWOOD BARK. THE AREA AROUND ISOLATED PLANTS SHALL BE MULCHED TO AT LEAST A 6" DIAMETER GREATER THAN THAT OF THE HOLES. PLANT BEDS ADJACENT TO BUILDINGS SHALL BE MULCHED TO THE BUILDING WALL.

MAINTENANCE
 THE CONTRACTOR SHALL BE RESPONSIBLE DURING THE CONTRACT AND UP TO THE TIME OF ACCEPTANCE, FOR KEEPING THE PLANTING AND WORK INCIDENTAL THEREIN IN GOOD CONDITION, BY REPLANTING, PLANT REPLACEMENT, WATERING, WEEDING, CULTIVATING, PRUNING AND SPRAYING, FERTILIZING AND CLEANING UP AND BY PERFORMING ALL OTHER NECESSARY OPERATIONS OF CARE FOR PROTECTION OF GOOD PLANTS GROWN SO THAT ALL WORK IS IN SATISFACTORY CONDITION AT TIME OF ACCEPTANCE, AT NO ADDITIONAL COST TO THE OWNER.

FERTILIZER
 FERTILIZER SHALL BE A SLOW RELEASE TYPE CONTAINED IN POLYETHYLENE PERFORATED BAGS WITH MICROPORE HOLES FOR CONTROLLED FEEDING. THE BAGS SHALL CONTAIN 1 OUNCE OF SOLUBLE FERTILIZER ANALYZED TO 10-10-10 PER UNIT TO LAST FOR THREE YEARS AND SHALL BE APPLIED DURING PLANTING AS RECOMMENDED BY THE MANUFACTURER. IF FERTILIZER PACKETS ARE NOT USED THE CONTRACTOR SHALL APPLY GRANULAR FERTILIZER TO THE SOIL MIX WITH 10-10-10 ANALYSIS AS EXCESS RECOMMENDED BY MANUFACTURER.

WARRANTY AND REPLACEMENT
 ALL MATERIALS SHALL BE UNCONDITIONALLY GUARANTEED FOR ONE YEAR. THE CONTRACTOR IS NOT RESPONSIBLE FOR LOSSES OR DAMAGES CAUSED BY MECHANICAL INJURY OR VANDALISM. GUARANTEES SHALL COVER BOTH LABOR AND MATERIALS. EARTH SINKAGE AND STAKES AND DIALS SHALL BE REPAIRED AND TREES AND SHRUBS MARKED TO 3" MAXIMUM DEPTH WITH SHREDDED BARK. JUST PRIOR TO EXPIRATION OF THE ONE YEAR GUARANTEE, THE OWNER SHALL BE NOTIFIED IN WRITING WHEN THIS WORK IS TO OCCUR.

PLANT SPACING
 PLANT SPACING IS GENERALLY TO SCALE ON PLANS. SHRUB SPACING IS NOTED IN THE PLANT LIST.

SITE PREPARATION
 PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN SEVEN CALENDAR DAYS AS TO THE SERVICES OF THE DEPARTMENT OF ENVIRONMENTAL AND PLANNING DIVISION. SOIL STABILIZATION TECHNIQUES, SUCH AS SEEDING, HYDROSEEDING, STRIP TILLAGE, MULCHING, AND ALL SOILS GREATER THAN 2% AND FURTHER DAYS AS TO ALL OTHER PORTION OF BARED AREAS ON THE PROJECT SITE.

SEEDING PREPARATION & SEEDING APPLICATION
 THE TOP LAYER OF SOIL SHALL BE LOOSEND, LIMED, & FERTILIZED BY RAKING, DISCHING, OR OTHER MEANS BEFORE SEEDING. SEEDS SHALL BE SOAKED & RELEASED TO A DEPTH OF AT LEAST 3 INCHES. APPLY SEED UNIFORM THROUGH A HYDROSEEDER AND MIXED SEEDS AREA. APPLY CELLULOSE FIBER TO SLOPES TO KEEP SEED AND SEED FROM WASHING AWAY. APPLICATION SHALL BE REFERRED TO A NIST 5000 001.

SEED MIXTURE
 PREPARATION BY WEIGHT

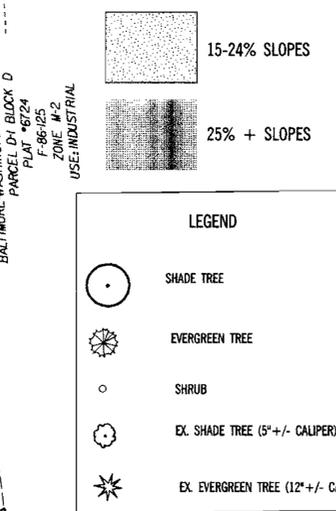
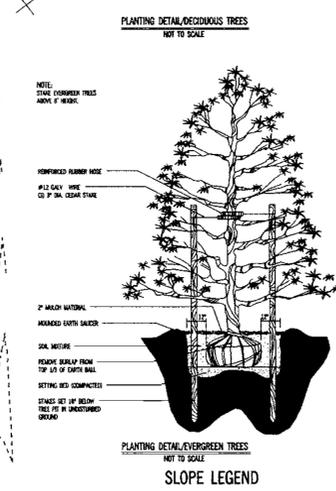
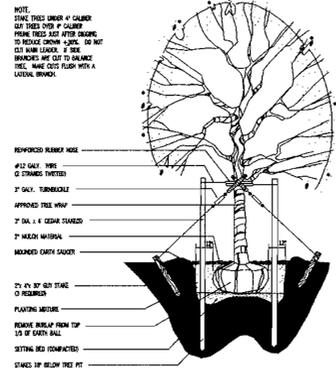
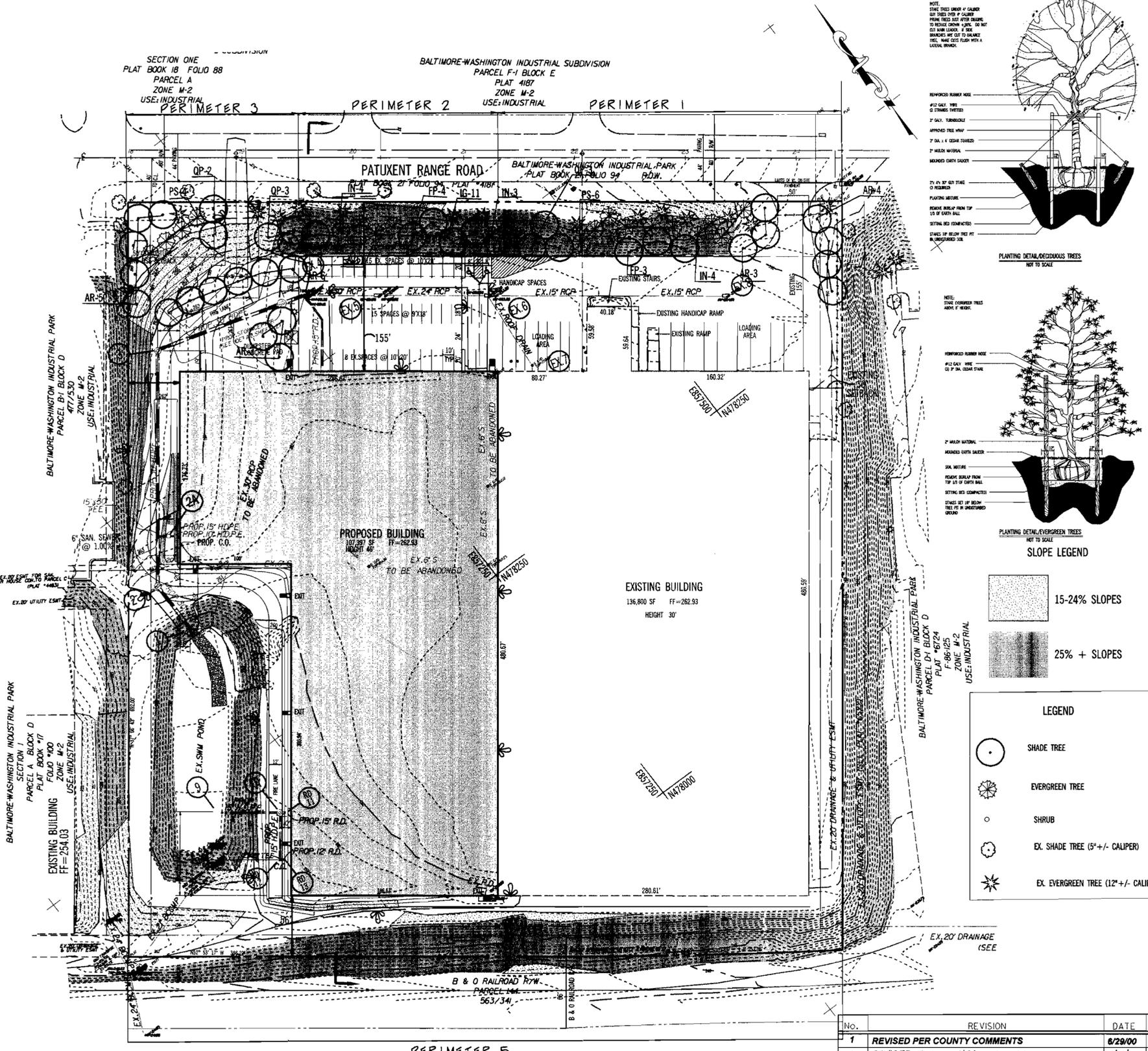
DISTANCE	SEED	COMMON NAME	PERCENTAGE
500'	PERENNIAL GRASS	PERENNIAL GRASS	100%
100'	PERENNIAL GRASS	PERENNIAL GRASS	100%
50'	PERENNIAL GRASS	PERENNIAL GRASS	100%

MULCHING
 MULCH SHALL BE UNWEEDED, UNCHIPPED SHALL BE APPLIED AT A RATE OF 1.5 TO 2 TONS PER ACRE OR 70 TO 80 LBS/1000 SQ. FT. MULCH SHALL BE PREP. OF SEASOONS & NUTRIENT RICH. SEEDING SHALL BE APPLIED TO ALL BARE AREAS. MULCHING SHALL BE ACCOMPANIED IMMEDIATELY AFTER MULCH PLACEMENT TO PREVENT LOSS BY WIND OR WATER. THIS MAY BE DONE BY APPLYING MULCH MIXTURE & APPLYING A CELLULOSE FIBER.

ENGINEER'S CERTIFICATE
 I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard County Conservation District.
 Signature of Engineer (print name below signature) *John A. Howard* Date *7-24-00*

DEVELOPER'S CERTIFICATE
 I certify that all development and construction will be done according to this plan for sediment and erosion control, and that all necessary personnel involved in the construction project will have a Certificate of Attendance at a Department of Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize the engineer to be responsible for the Howard County Conservation District.
 Signature of Developer (print name below signature) *John A. Howard* Date *7-24-00*

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Date *8/10/00*
 Date *8/10/00*
 Date *8/21/00*



PERIMETER 1

SCHEDULE A PERIMETER LANDSCAPE EDGE		
CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES
LANDSCAPE TYPE	D	
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	170 (109 INCL. DRIVEWAY)	
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	NO	
CREDIT FOR WALL FENCE OR BEAM (YES, NO, LINEAR FEET)	NO	
NUMBER OF PLANTS REQUIRED		
SHADE TREES	3	
EVERGREEN TREES	17	
SHRUBS		
NUMBER OF PLANTS PROVIDED		
SHADE TREES	5*	
EVERGREEN TREES	19* (INCL. 7 EX. PINES)	
OTHER TREES (2:1 SUBSTITUTION)		
SHRUBS (10:1 SUBSTITUTION)	0	

*5 SHADE TREES + 2 EVERGREENS = 7 SHADE FOR A/C FOR PERIMETER 5

PERIMETER 3

SCHEDULE A PERIMETER LANDSCAPE EDGE		
CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES
LANDSCAPE TYPE	B	
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	155	
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	NO	
CREDIT FOR WALL FENCE OR BEAM (YES, NO, LINEAR FEET)	NO	
NUMBER OF PLANTS REQUIRED		
SHADE TREES	3	
EVERGREEN TREES	4	
SHRUBS	0	
NUMBER OF PLANTS PROVIDED		
SHADE TREES	4	
EVERGREEN TREES	5 (INCL. 3 EX. PINES)	
OTHER TREES (2:1 SUBSTITUTION)	0	
SHRUBS (10:1 SUBSTITUTION)	0	

PERIMETER 2

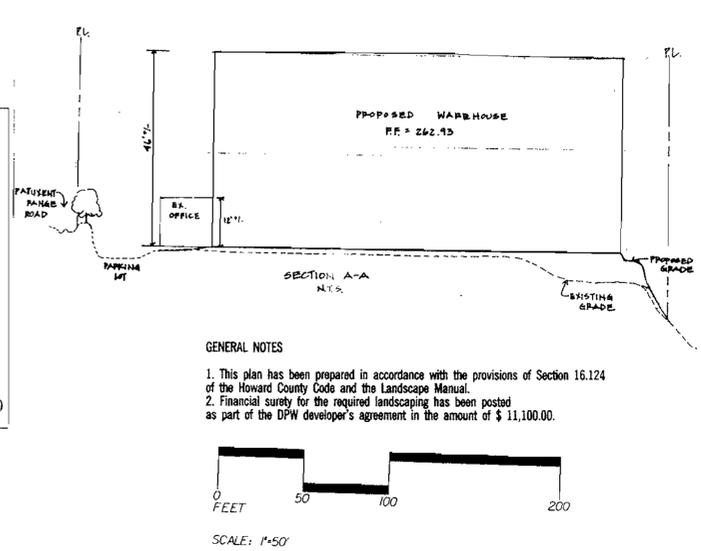
SCHEDULE A PERIMETER LANDSCAPE EDGE		
CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES
LANDSCAPE TYPE	E	
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	180	
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	NO	
CREDIT FOR WALL FENCE OR BEAM (YES, NO, LINEAR FEET)	NO	
NUMBER OF PLANTS REQUIRED		
SHADE TREES	5	
EVERGREEN TREES	0	
SHRUBS	45	
NUMBER OF PLANTS PROVIDED		
SHADE TREES	5	
EVERGREEN TREES	9*	
OTHER TREES (2:1 SUBSTITUTION)	0	
SHRUBS (10:1 SUBSTITUTION)	45	

*9 EVERGREENS = 4 SHADE FOR A/C FOR PERIMETER 5

PERIMETER 5*

SCHEDULE A PERIMETER LANDSCAPE EDGE		
CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES
LANDSCAPE TYPE	A	
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	645	
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	NO	
CREDIT FOR WALL FENCE OR BEAM (YES, NO, LINEAR FEET)	NO	
NUMBER OF PLANTS REQUIRED		
SHADE TREES	11	
EVERGREEN TREES	0	
SHRUBS	0	
NUMBER OF PLANTS PROVIDED		
SHADE TREES	0	
EVERGREEN TREES	0	
OTHER TREES (2:1 SUBSTITUTION)	0	
SHRUBS (10:1 SUBSTITUTION)	0	

*REQUESTING ALTERNATIVE COMPLIANCE TO RE-LOCATE TO PERIMETER AREAS 1-3



No.	REVISION	DATE	BY
1	REVISED PER COUNTY COMMENTS	8/28/00	JAK
2	REVISED PER COUNTY COMMENTS	7/21/00	JAK
3	Submit for Approval	7-24-00	JAK

ADDRESS CHART

LOT / PARCEL #	STREET ADDRESS
PARCEL C, BLOCK D	8275 PATUXENT RANGE ROAD

PERMIT INFORMATION CHART

Subdivision Name	Section / Area	Block	Lot / Parcel No.
BALTIMORE-WASHINGTON INDUSTRIAL PARK	BLOCK D		PARCEL C

Plat # or L/F	Grid #	Zoning	Tax Map No.	Election District	Census Tract
4484	2	M-2	48	6	6069.01

Water Code	SEWER CODE
WATER CODE: B 02	SEWER CODE: 4202600

ENGINEERING-PLANNING-EARTH SCIENCES-SURVEYING
GREENHORNE & O'MARA, INC.
 9001 EDMONSTON ROAD, GREENBELT, MARYLAND 20770
 (301) 982-2800 © Latest Date Hereon

ANNAPOLIS, MD - ATLANTA, GA - TAMPA, FL - DENVER, CO - FAIRFAX, VA - WEST PALM BEACH, FL
 ROCKVILLE, MD - RALEIGH, NC - FREDERICKSBURG, VA - MECHANICSBURG, PA - ST. PETERSBURG, FL

OWNER/DEVELOPER:
 KC JESSUP-IM, L.L.C.
 c/o KESSINGER/HUNTER & COMPANY, L.C.
 2600 GRAND BOULEVARD, 7TH FLOOR
 KANSAS CITY, MISSOURI 64108

CONTACT: GIL BOURK
 PHONE: 816-842-2690
 FAX: 816-421-5659

SITE AND LANDSCAPE PLAN
IRON MOUNTAIN STORAGE FACILITY BUILDING ADDITION
 BALTIMORE - WASHINGTON INDUSTRIAL PARK
 BLOCK D PARCEL C, PLAT #4484
 ELECTION DISTRICT 6, TAX MAP 48 GRID 1
 HOWARD COUNTY, MARYLAND

JAK DESIGN	SCALE	1" = 50'
JAK DRAWN		5 OF 5
JLF CHECKED		
DATE	8/3/00	6039
		FILE No.

SDP-00-126