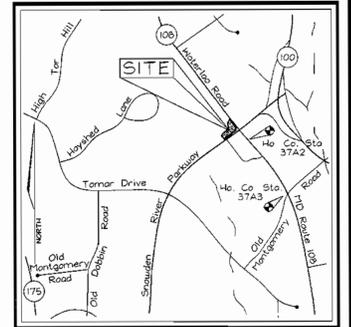
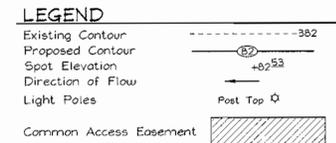


GENERAL NOTES

- All construction shall be in accordance with the latest standards and specifications of Howard County plus MSA standards and specifications, if applicable.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- The contractor is to notify the following utilities or agencies at least five days before starting work on these drawings:
 - Miss Utility: 1-800-257-7777
 - Telephone Company: 725-9976
 - Howard County Bureau of Utilities: 313-2366
 - Public Works Department: 943-3553
 - Public Works Department: 850-4620
 - Public Works Department: 787-4620
 - State Highway Administration: 531-5533
- Site analysis:
 - Area of parcel: 5.7 Ac. ±
 - Present zoning: (Employment center commercial) FDP 229
 - Use of structure: Bank
 - Building area: 2,949sf; Canopy area: 553sf; Total coverage: 3,502sf
 - Total building coverage on site: 0.08 Ac. or 5.1% of gross area
 - Paved parking area: 0.49 Ac. or 31.2% of gross area
 - Area of landscape island: 0.0 Ac. = 400sf
- Project background:
 - Location: Columbia Md. Tax Map 37, Parcel A-2
 - Zoning: FDP 229
 - Subdivision: Columbia Route 108 Commercial
 - Section/Area: 1/1
 - Site Area: 5.7 Acres
 - LPZ references: SP-98-05; WP-98-34; WP-97-107; FDP Phase 229; PB-315; F-98-101; SDP-00-078; Plat #14127
- The contractor shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection Division at (410) 313-1880 at least five (5) working days prior to start of work.
- Any damage to adjacent right-of-ways, paving, or existing utilities will be corrected at the contractor's expense.
- Existing utilities located from Road Construction Plans, Field Surveys, Public Water and Sewer Extension Plans and available record drawings. Approximate location of existing utilities are shown for the contractor's information. Contractor shall locate existing utilities well in advance of construction activities and take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage incurred due to contractor's operation shall be repaired immediately at the contractor's expense.
- All reinforced concrete for storm drain structures shall have a minimum of 28 days strength of 3,500 psi.
- Traffic control devices, markings and signing shall be in accordance with the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
- Estimates of earthwork quantities are provided solely for the purpose of calculating fees.
- Soil compaction specifications, requirements, methods and materials are to be in accordance with the recommendations of the project Geotechnical Engineer. Geotechnical Engineer to confirm acceptability of proposed paving section, based on soil test.
- All storm drain pipe bedding shall be Class 'C'.
- Coordinates and elevations are based on Howard County Right-of-Way Monuments.
- A noise study is not required for this project.
- Existing topography is based on field run information performed by Gutschick, Little and Neper, Inc. P.A. in January, 1999.
- For paving specifications, see detail sheet 2 of 7.
- All curb and gutter to be Howard County Standard concrete Detail 3.01 unless otherwise specified.
- Contractor responsible to construct all handicap parking and handicap access in accordance with current ADA requirements.
- Where drainage flows away from curb, contractor to reverse the gutter pan.
- All elevations are to finished/bottom of curb unless otherwise noted.
- All dimensions are to face of curb unless otherwise noted.
- Public Water available from Snowden River Parkway Contract #24-3659-D; Public Sewer available from Maryland Route 108 Contract #547-5-B.
- Stormwater Management is provided per F-98-101, Route 108 Commercial, Section One/Area One; Water Quality is provided per F-98-01.
- All exterior lighting shall conform to Zoning Regulations Section 134.
- Building to have inside water meter settings.
- This site passed the APC traffic test on May 8, 1998 as a condition of approval for SP-98-05.
- This site is exempt from the Forest Conservation Ordinance in accordance with 16.1202(b)(1)(iv).
- All setbacks and other bulk regulation requirements will be in accordance with FDP-229.
- Existing storm drain structures/pipe elevations are in accordance with SDP-00-078. Adjustments may be necessary to meet as-built vertical locations of storm drain stubs.

SITE DEVELOPMENT PLAN

SUNTRUST BANK

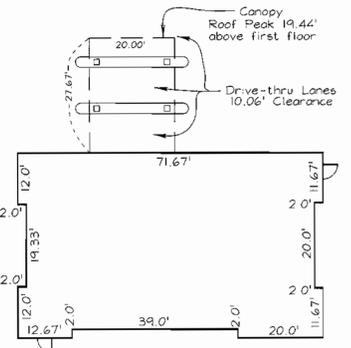
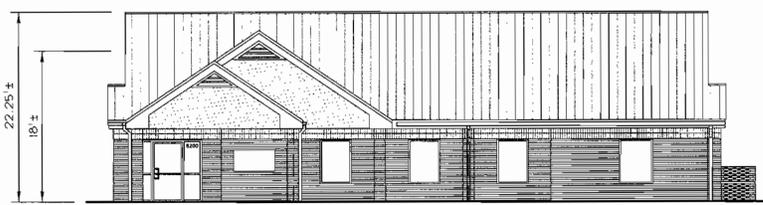
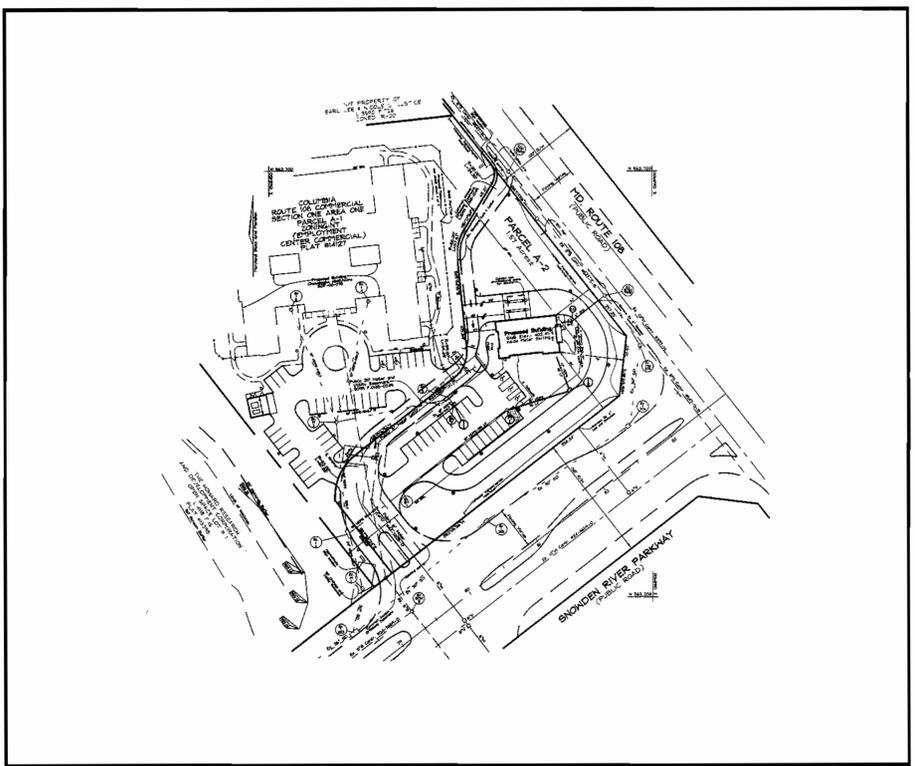


BENCHMARKS

Howard County Station 37A2	N 562,120.83	E 1,369,300.26	Elev. 403.71
40'± northeast of MD Route 108, 1100'± northwest of Old Montgomery Road			
Howard County Station 37A3	N 561,131.07	E 1,369,913.29	Elev. 385.66
southwest of the intersection of MD Route 108 and Old Montgomery Road			

SHEET INDEX

DESCRIPTION	SHEET NO.
Cover Sheet	1 of 7
Site Development Plan	2 of 7
Sediment and Erosion Control Plan	3 of 7
Sediment and Erosion Control Details	4 of 7
Storm Drain Drainage Area Map	5 of 7
Storm Drain and Sewer Profiles and Miscellaneous Details	6 of 7
Landscape Plan	7 of 7



APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE: 7/27/00

OWNER/DEVELOPER
SunTrust Bank
5380 B Eisenhower Avenue
Alexandria, VA 22304
703.838.3930

COVER SHEET
SUNTRUST BANK
COLUMBIA ROUTE 108 COMMERCIAL
SECTION ONE AREA ONE
TAX MAP #37 GRID #1 PARCEL A-2
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

VOGEL & ASSOCIATES
ENGINEERS-SURVEYORS-PLANNERS
3891 Park Avenue, Suite 101 • Elliott City, Maryland 21043
Tel 410.461.5828 Fax 410.465.3966



DESIGN BY: PS
DRAWN BY: PS
CHECKED BY: RHY
DATE: Oct. 30, 2000
SCALE: As Shown
W.O. NO.: 00-004

1 SHEET OF 7

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK 11/22/00

 CHIEF, DIVISION OF LAND DEVELOPMENT 11/27/00

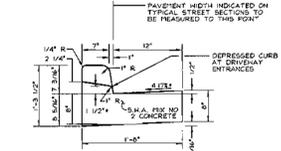
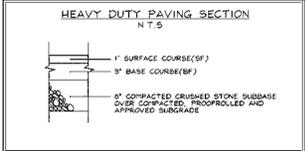
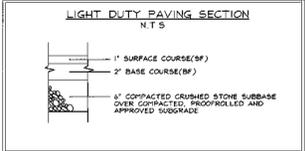
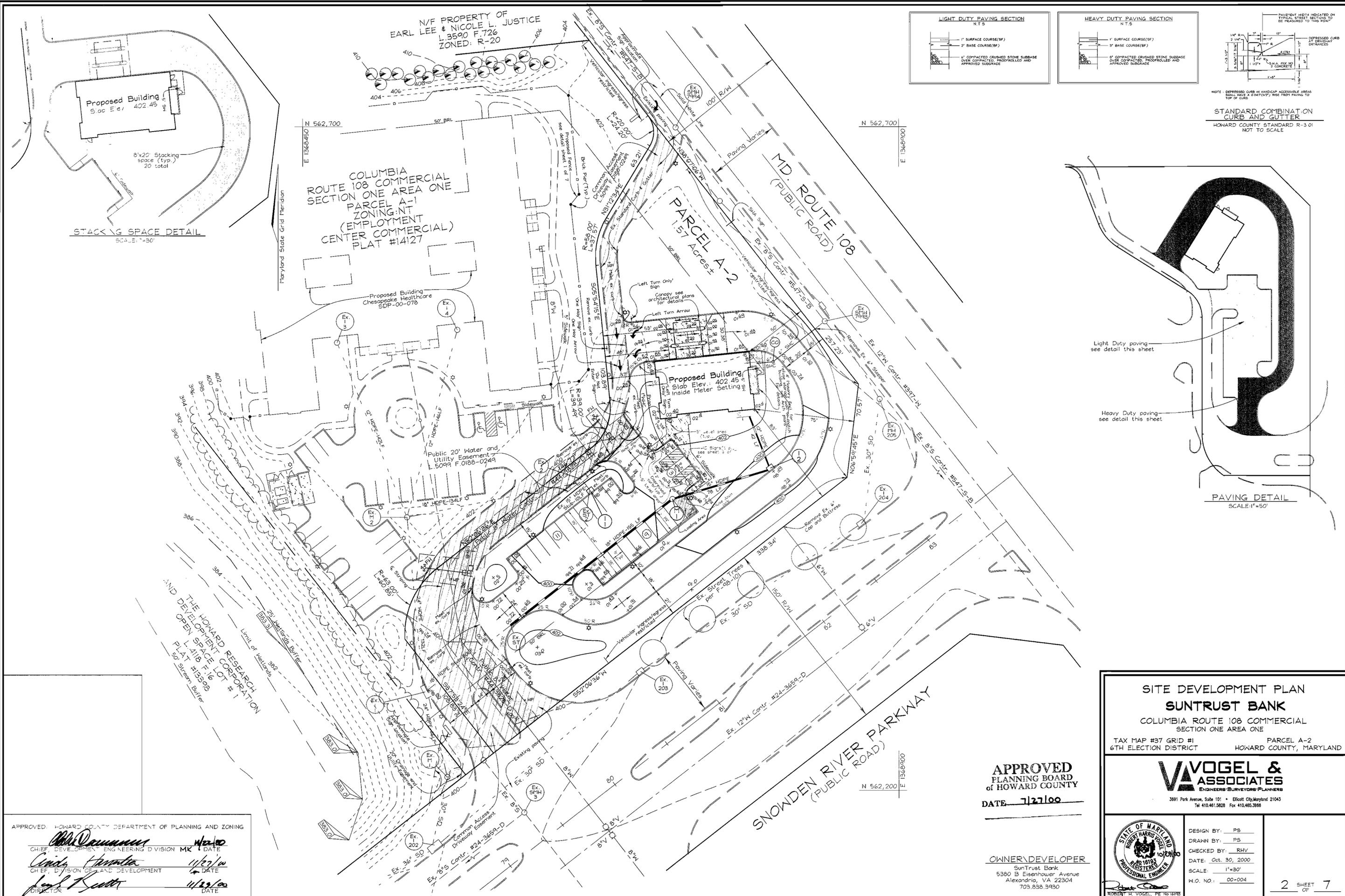
 DIRECTOR 11/29/00

PARKING TABULATION

Parking Required: 5 spaces per each 1,000sf of leasable area
2,949sf leasable area=15 spaces
Parking Provided: 23
Handicap Spaces Required: 1(1 van)
Handicap Spaces Provided: 3(2 std./1 van)

ADDRESS CHART

LOT/PARCEL #	STREET ADDRESS				
Parcel A-2	8200 Snowden River Parkway				
SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER			
Columbia Route 108 Commercial	1/1	A-2			
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELECT. DIST.	CENSUS TR.
14127	1	NT	37	6th	6066.02
WATER CODE: E06		SEWER CODE: 3650000			



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Abdul Dawood 11/27/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

Conita Hamilton 11/27/00
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Earl R. Kottler 11/29/00
DIRECTOR DATE

APPROVED
PLANNING BOARD
OF HOWARD COUNTY

DATE 7/27/00

OWNER/DEVELOPER
SunTrust Bank
5380 B Eisenhower Avenue
Alexandria, VA 22304
703.838.3430

SITE DEVELOPMENT PLAN
SUNTRUST BANK
COLUMBIA ROUTE 108 COMMERCIAL
SECTION ONE AREA ONE

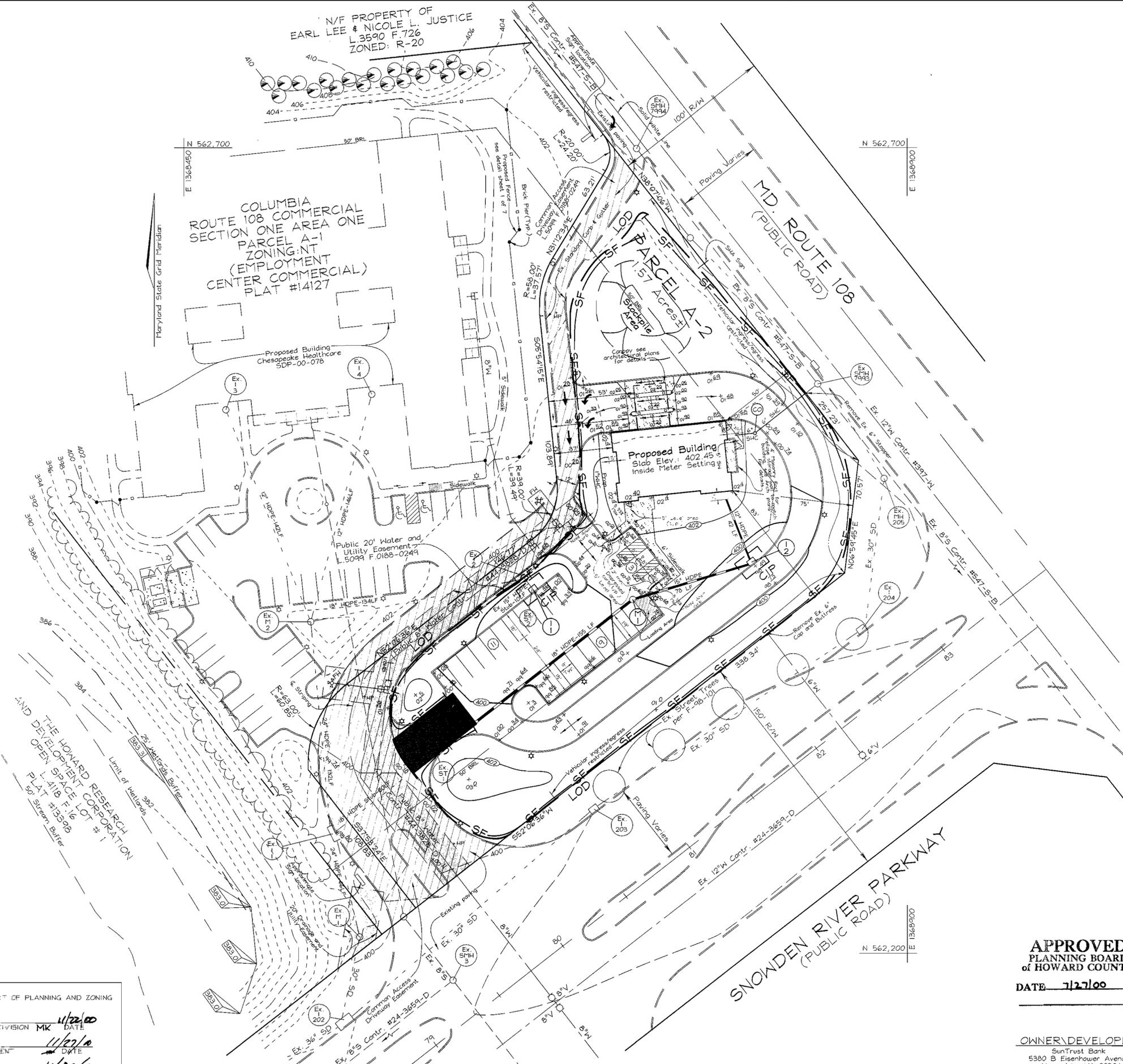
TAX MAP #37 GRID #1 PARCEL A-2
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

VAVOGEL & ASSOCIATES
ENGINEERS-SURVEYORS-PLANNERS

3891 Park Avenue, Suite 101 • Ellicott City, Maryland 21043
Tel 410.461.5828 Fax 410.465.3966

DESIGN BY: PS
DRAWN BY: PS
CHECKED BY: RHW
DATE: Oct. 30, 2000
SCALE: 1"=30'
W.O. NO.: 00-004

2 SHEET OF 7



LEGEND

Existing Contour	---	-382
Proposed Contour	---	-402.53
Spot Elevation	⊙	
Direction of Flow	→	
Existing Trees to Remain	⊙	
Light Poles	⊙	Post Top
Stabilized Construction Entrance	▨	
Silt Fence	—SF—	
Limit of Disturbance	—LCD—	
Curb Inlet Protection	⊠	CIP

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

J. G. Wampler / GS 11/17/00 DATE
 USDA-NATURAL RESOURCES CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

J. R. Roberts / GS 11/17/00 DATE
 HOWARD SCD

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

Ken Faunce 10/30/00 DATE
 SIGNATURE OF DEVELOPER

ENGINEERS CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Robert H. Vogel 10/29/00 DATE
 SIGNATURE OF ENGINEER
 ROBERT H. VOGEL

SEDIMENT AND EROSION CONTROL PLAN

SUNTRUST BANK

COLUMBIA ROUTE 108 COMMERCIAL SECTION ONE AREA ONE

TAX MAP #37 GRID #1 PARCEL A-2
 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

VOGEL & ASSOCIATES
 ENGINEERS-SURVEYORS-PLANNERS

3691 Park Avenue, Suite 101 • Ellicott City, Maryland 21043
 Tel 410.461.5828 Fax 410.465.3966

DESIGN BY: PS
 DRAWN BY: PS
 CHECKED BY: RHV
 DATE: Oct. 30, 2000
 SCALE: 1"=30'
 H.O. NO.: 00-004

3 SHEET OF 7

APPROVED HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chris Dammann 11/22/00 DATE
 CHIEF DEVELOPMENT ENGINEERING DIVISION MK

Cathy Hamstra 11/27/00 DATE
 CHIEF DIVISION OF LAND DEVELOPMENT

Joseph B. Smith 11/29/00 DATE
 DIRECTOR

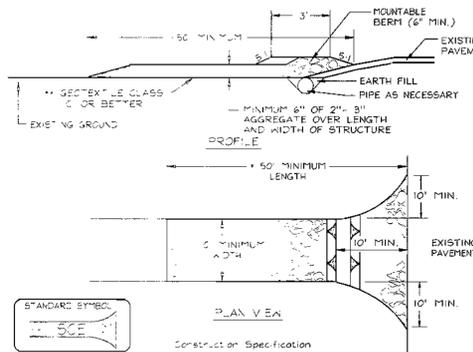
APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE 11/27/00

OWNER/DEVELOPER

SunTrust Bank
 5380 B Eisenhower Avenue
 Alexandria, VA 22304
 703.836.3430

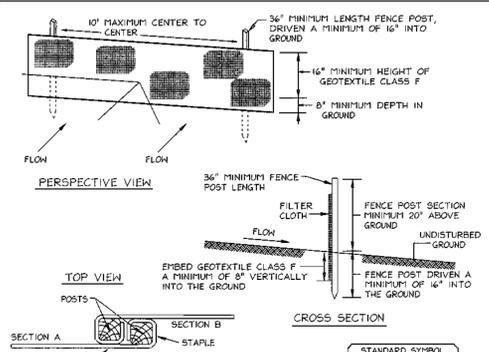
DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



- Construction Specifications
- Length - minimum of 50' x 30' for a single residence lot.
 - Width - 10' minimum, should be placed at the existing road or a turning road.
 - Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. If the local approval authority may not require single family residences to use geotextile.
 - Stone - crushed aggregate, 2 to 3", or reclaimed or recycled concrete aggregate and be placed at least 6" deep over the length and width of the entrance.
 - Surface water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a manhole baffle with 5' slopes and a minimum of 6" of stone over the pipe. Pipe has to be set according to the drainage. When the pipe is placed at a high spot and runs to drainage to convey, a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
 - Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles using the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE # 12 - 3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 22 - SILT FENCE



- Construction Specifications
- Fence posts shall be a minimum of 36" long, driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighing not less than 1.00 pound per linear foot.
 - Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min.)	Test: MSMT 509
Flow Rate	0.5 gal/1" /minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322
 - Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
 - Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reaches 50% of the fabric height.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE # 15 - 3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

2.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

Definition
Placement of topsoil over a prepared soil prior to establishment of permanent vegetation.

Purpose
To provide a suitable soil medium for vegetable growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies

- The practice is limited to areas having 2:1 or flatter slopes where:
 - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 - The original soil to be vegetated contains material toxic to plant growth.
 - The soil is so acidic that treatment with limestone is not feasible.
- For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

- Topsoil salvaged from the existing site may be used provided that it meets the standards set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.
 - Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or a soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 and 1/2" in diameter.
 - Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, johnsongrass, nutsedge, poison ivy, trioste, or others as specified.
 - Where the subsoil is either highly acidic or composed of heavy clays, ground limestones shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures:
 - For sites having disturbed areas under 5 acres:
 - Place topsoil (if required) and apply soil amendments as specified in 2.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Practices and Procedures.
 - For sites having disturbed areas under 5 acres:
 - On soil meeting topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
 - pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
 - Organic content of topsoil shall be not less than 1.5 percent by weight.
 - Topsoil having soluble salt content greater than 500 parts per million shall not be used.
 - No soil or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.
 - NOTE: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.
 - Place topsoil (if required) and apply soil amendments specified in 2.0 Vegetative Stabilization-Section 1-Vegetative Stabilization Practices and Procedures.
 - Topsoil Application
 - When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
 - Grades on the areas to be topsoiled, which have been previously established, shall be maintained, about 4" or 8" higher in elevation.
 - Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
 - Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

SEDIMENT CONTROL NOTES

- A minimum of 48 hours notice must be given to the Howard County Department of Inspection, License and Permits Sediment Control Division prior to the start of any construction (313-1855).
 - All vegetation and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.
 - Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: (a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes, and all slopes greater than 3:1; (b) 14 days as to all other disturbed or graded areas on the project site.
 - All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7, HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
 - All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding, sod, temporary seeding, and mulching (Sec. G). Temporary stabilization with mulch alone shall be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
 - All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
 - Site Analysis:

Total Area	1.57 Acres
Area Disturbed	1.25 Acres
Area to be roofed or paved	0.56 Acres
Area to be vegetatively stabilized	0.67 Acres
Total Cut	1050 CY
Total Fill	5200 CY
Offsite waste/borrow area location	
 - Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
 - Additional sediment controls must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
 - On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
 - Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.
- To be determined by contractor, with pre-approval of the Sediment Control Inspector with an approved and active grading permit.

SEQUENCE OF CONSTRUCTION

- Obtain grading permit.
- Notify Howard County Department of Inspections, License and Permits at (410)313-1850 at least 24 hours before starting any work.
- Install Stabilized Construction Entrances, Silt Fence and Earth Dikes. (3 days)
- Rough grade site. (1 week)
- Construct Water, Sewer and Storm Drain, and install Inlet Protection (4-6 weeks)
- Begin building construction. (6 mo. - 1 year)
- As building construction continues fine grade site. (4 days)
- Install curb and gutter, paving and sidewalks. (2 days)
- Install Landscaping. (1 week)
- With permission of the inspector, remove all Sediment Controls from the site. Stabilize all disturbed areas immediately. (1 week)
- During grading and after each rainfall, contractor will inspect and provide necessary maintenance to the Sediment Control measures on the plan.
- Following initial soil disturbances or redistribution permanent or temporary stabilization shall be completed within:
 - A 7 calendar days for all perimeter Sediment Control Structures, Dikes, Swales and all slopes greater than 3:1.
 - B 14 calendar days for all other disturbed areas.

TEMPORARY SEEDING NOTES

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.).

SEEDING: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 1 1/2 bushel per acre of annual rye (3.2 lbs./1000 sq.ft.) For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (07 lbs./1000 sq.ft.). For the period November 1 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq.ft.) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 210 gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 3 feet or higher, use 340 gallons per acre (8 gal/1000 sq.ft.) for anchoring.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules:

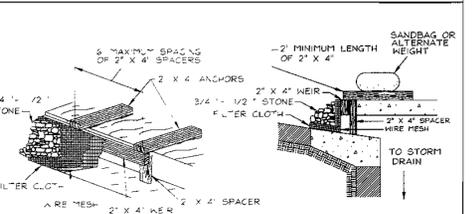
- Preferred-Apply 2 tons per acre dolomitic limestone (92 lbs./100 sq.ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (5 lbs./1000 sq.ft.).
- Acceptable-Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq.ft.) and apply 1000 lbs. per acre 10-10-10 fertilizer (23 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil.

SEEDING: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs. per acre (14 lbs./1000 sq.ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (0.5 lbs./1000 sq.ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring, Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq. ft.) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 210 gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 3 feet or higher, use 340 gallons per acre (8 gal/1000 sq.ft.) for anchoring.

MAINTENANCE: Inspect all seeded areas and make needed repairs, replacements and reseeding.

DETAIL 23C - CURB INLET PROTECTION (COP OR COS NLETS)



- Construction Specifications
- Attach a continuous piece of wire mesh 1/2" minimum width by throat length plus 4" to the 2' x 4' weir. Weir mesh throat length plus 2" as shown on the standard drawing.
 - Place a continuous piece of Geotextile Class E the same dimensions as the wire mesh over the wire mesh and securely attach it to the 2' x 4' weir.
 - Securely nail the 2' x 4' weir to a 6" long vertical spacer to be located between the weir and the inlet face (max 4 apart).
 - Place the assembly against the inlet throat and nail (minimum 2" lengths of 2' x 4" to the top of the weir at spacer locations). These 2' x 4" anchors shall extend across the inlet cap and be held in place by sandbags or alternate weight.
 - The assembly shall be placed so that the end spacers are a minimum 1" beyond both ends of the throat opening.
 - Form the 1/2" x 1/2" wire mesh and the geotextile fabric to the concrete gutter and against the face of the curb on both sides of the inlet. Place clean 3/4" x 1 1/2" stone over the wire mesh and geotextile in such a manner to prevent water from entering the inlet under or around the geotextile.
 - This type of protection must be inspected frequently and the filter cloth and stone replaced when clogged with sediment.
 - Assure that storm flow does not bypass the inlet by installing a temporary earth or dike to direct the flow to the inlet.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE # 16 - 5B MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

APPROVED HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION MK 11/22/00 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT 11/27/00 DATE

11/29/00 DATE

ENGINEERS CERTIFICATE

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF ENGINEER ROBERT H. VOGEL 10/29/00 DATE

DEVELOPER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF DEVELOPER 10/30/00 DATE

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

USDA NATURAL RESOURCES CONSERVATION SERVICE 11/17/00 DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

HOWARD SCD 11/17/00 DATE

APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE 7/27/00

SEDIMENT AND EROSION CONTROL DETAILS

SUNTRUST BANK

COLUMBIA ROUTE 108 COMMERCIAL SECTION ONE AREA ONE

TAX MAP #37 GRID #1 PARCEL A-2

6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

VOGEL & ASSOCIATES ENGINEERS-SURVEYORS-PLANNERS

3881 Park Avenue, Suite 101 • Ellicott City, Maryland 21043

Tel 410.461.5628 Fax 410.465.3998

DESIGN BY: PS

DRAWN BY: PS

CHECKED BY: RHV

DATE: Oct. 30, 2000

SCALE: As Shown

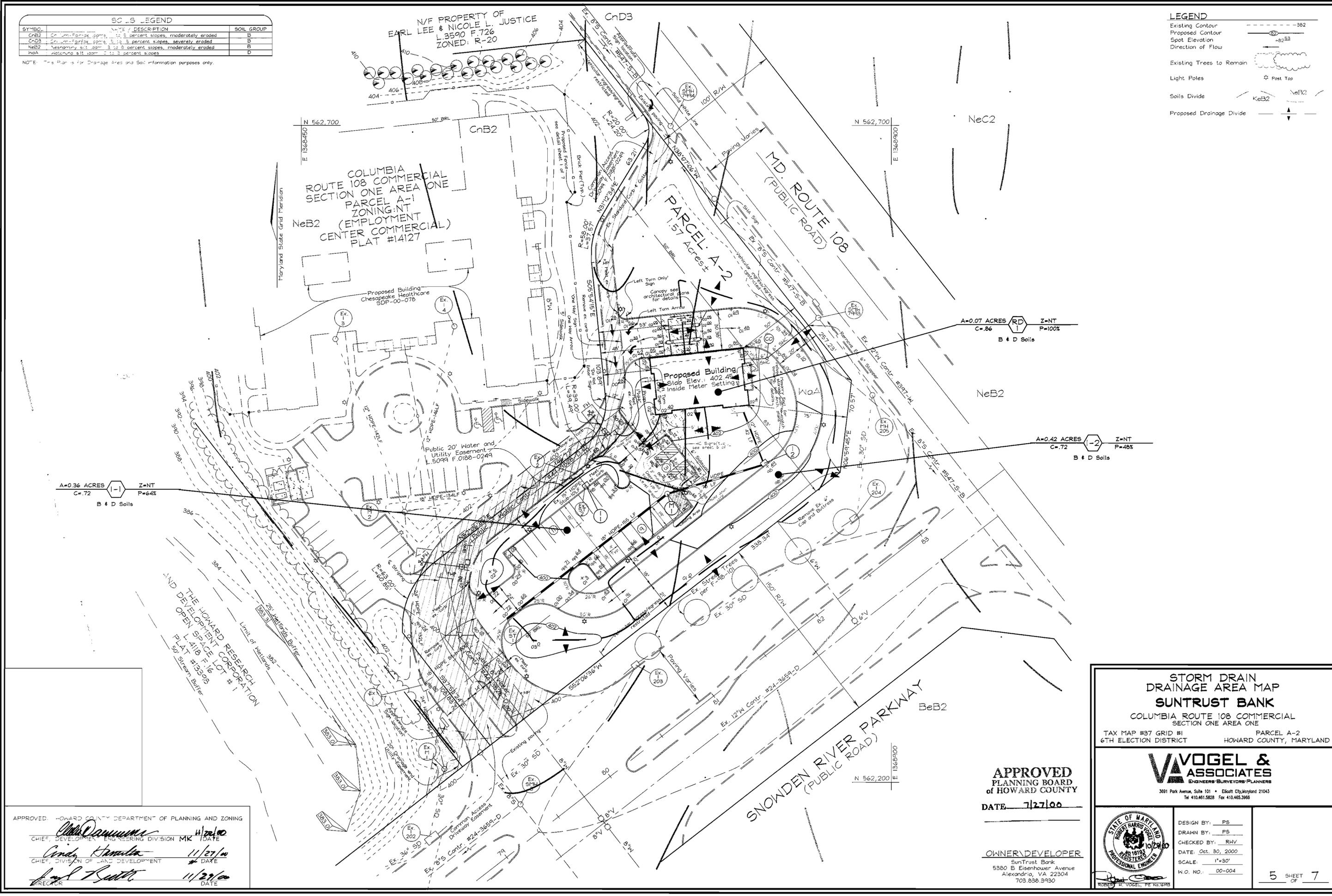
W.O. NO.: 00-004

4 SHEET OF 7

SOILS LEGEND		
SYMBOL	NOTE / DESCRIPTION	SOIL GROUP
CnB2	Columnariform, 3 to 8 percent slopes, moderately eroded	B
CnD3	Columnariform, 3 to 8 percent slopes, severely eroded	B
NeB2	Nesporous silt loam, 3 to 8 percent slopes, moderately eroded	B
NaA	Nesporous silt loam, 0 to 3 percent slopes	D

NOTE: This Plan is for Drainage Area and Soil Information purposes only.

LEGEND	
Existing Contour	--- 382
Proposed Contour	--- 382
Spot Elevation	+82.83
Direction of Flow	→
Existing Trees to Remain	(Tree Symbol)
Light Poles	☆ Post Top
Soils Divide	KeB2 / NeB2
Proposed Drainage Divide	▲



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chad Deanna 11/27/00
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

Condy Krawiec 11/27/00
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Paul T. Smith 11/27/00
 DIRECTOR DATE

APPROVED
PLANNING BOARD
of HOWARD COUNTY

DATE 7/27/00

OWNER/DEVELOPER
SunTrust Bank
5380 B Eisenhower Avenue
Alexandria, VA 22304
703.838.3930

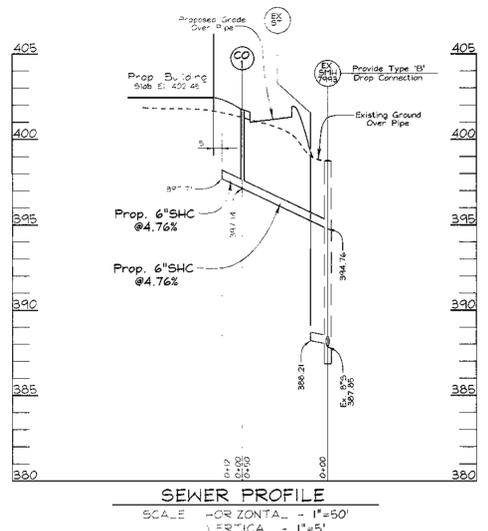
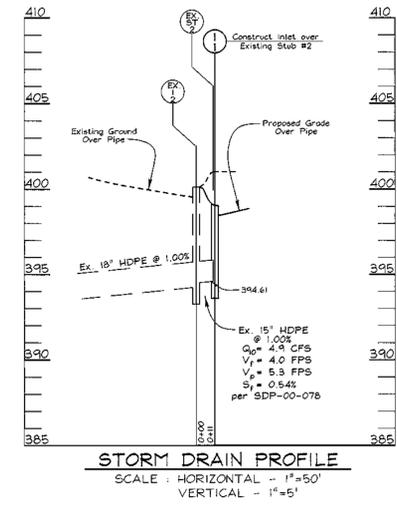
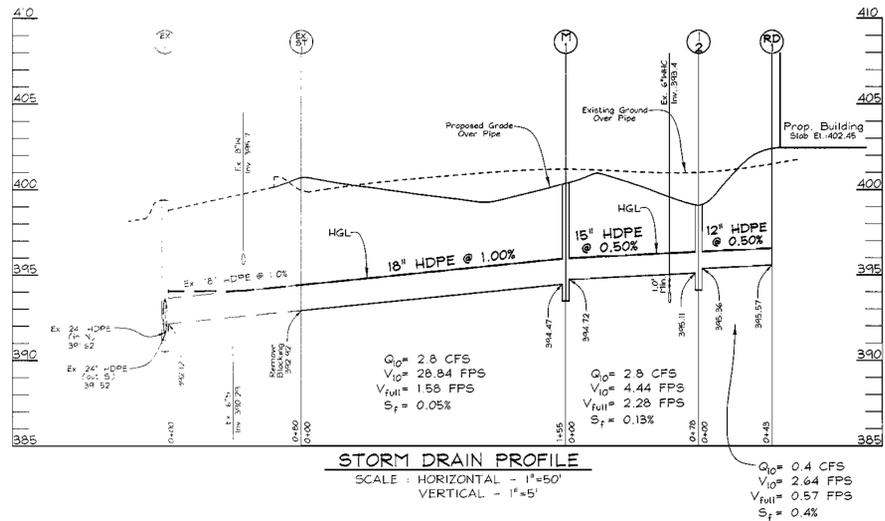
STORM DRAIN
DRAINAGE AREA MAP
SUNTRUST BANK
COLUMBIA ROUTE 108 COMMERCIAL
SECTION ONE AREA ONE

TAX MAP #37 GRID #1 PARCEL A-2
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

VOGEL & ASSOCIATES
ENGINEERS-SURVEYORS-PLANNERS

3091 Park Avenue, Suite 101 • Ellicott City, Maryland 21043
Tel 410.461.5828 Fax 410.465.3966

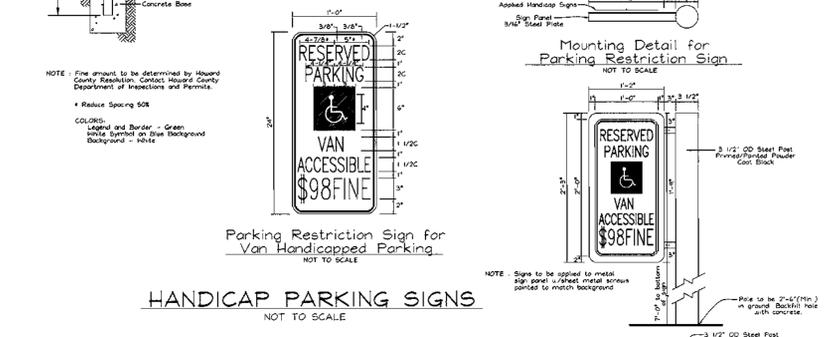
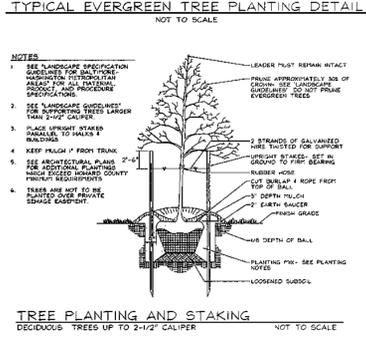
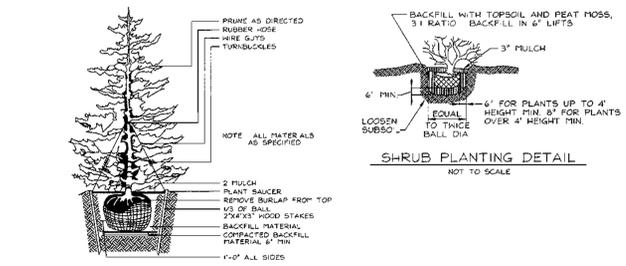
	DESIGN BY: PS	5 SHEET OF 7
	DRAWN BY: PS	
	CHECKED BY: RHV	
	DATE: Oct. 30, 2000	
	SCALE: 1"=30'	
W.O. NO.: 00-004		



STRUCTURE SCHEDULE						
NO	TYPE	LOCATION	TOP ELEV.	INV. IN	INV. OUT	REMARKS
1-	Precast 'A-5'	N 562,426 E 1,368,667	399.06	-	394.61	SD 4.40
1-2	Precast 'A-5'	N 562,443 E 1,368,803	399.09	395.36	395.11	SD 4.40
M-1	Standard 4' Manhole	N 562,420 E 1,368,729	400.37	394.72	394.47	G 5.12

PIPE SCHEDULE		
SIZE	TYPE	LENGTH
12"	HDPE ADS N-12	43 LF
15"	HDPE ADS N-12	78 LF
18"	HDPE ADS N-12	155 LF

NOTE: Top elevations of inlets are to the center of the structure at top of curb. Top elevations of Manhole is to center of grate.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

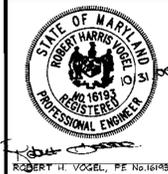
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK 11/22/00
 CHIEF, DIVISION OF LAND DEVELOPMENT 11/22/00
 DIRECTOR 11/22/00

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE 7/27/00

OWNER/DEVELOPER
SunTrust Bank
5380 B Eisenhower Avenue
Alexandria, VA 22304
703.838.3930

STORM DRAIN AND SEWER
PROFILES AND MISCELLANEOUS DETAILS
SUNTRUST BANK
COLUMBIA ROUTE 108 COMMERCIAL
SECTION ONE AREA ONE
TAX MAP #37 GRID #1 PARCEL A-2
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

VOGEL & ASSOCIATES
ENGINEERS SURVEYORS PLANNERS
3891 Park Avenue, Suite 101 • Ellicott City, Maryland 21043
Tel 410.461.5828 Fax 410.465.3996



DESIGN BY: PS
 DRAWN BY: PS
 CHECKED BY: RHV
 DATE: Oct. 30, 2000
 SCALE: 1"=50'
 W.O. NO.: 00-004

LANDSCAPE SCHEDULE				
KEY	QUAN.	BOTANICAL NAME	SIZE	REM.
AR	8	Acer platanoides October Glory Red Maple	3-3 1/2" Cal.	B & B
CR	7	Cornus rugosensis Aurora White Steier Dogwood	9 - 11' Ht.	B & B
EA	74	Euonymus alata Compacta Compass Anged Euonymus	30" - 36" Ht.	B & B
FP	9	Fraxinus p. Patmore Green Ash	3-3 1/2" Cal.	B & B
JBP	146	Juniperus communis Blue Sargent Juniper	18-24" Ht. #Spd.	30" o.c.
PA	5	Prunella americana Norway Spruce	7 - 9' Ht.	B & B
PF	1	Prunella fraseri Fraser Photinia	30" - 36" Ht.	B & B
PS	7	Pinus strobus Eastern White Pine	7 - 9' Ht.	B & B
PX	10	Prunus c. Newport Purpleleaf Flowering Plum	2 1/2"-3" Cal.	B & B
QP	10	Quercus prinus Willow Oak	3-3 1/2" Cal.	B & B
RH	22	Rhododendron Rhododendron	18"-24" Spd.	B & B
TX	68	Taxus media Densiformis Densiformis Yew	30" - 36" Ht.	B & B
IG	29	Ilex glabra Compact Inkberry	24" - 30" Ht.	B & B

- ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT AAS SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH HRD PLANTING SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- FINAL LOCATION OF PLANT MATERIALS MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
- CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE THE PLAN SHALL GOVERN.

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING	
Number of parking spaces	23
Number of trees and islands required	2
Number of trees and islands provided	2
Shade Trees	2
Other Trees (2:1 Substitution)	-

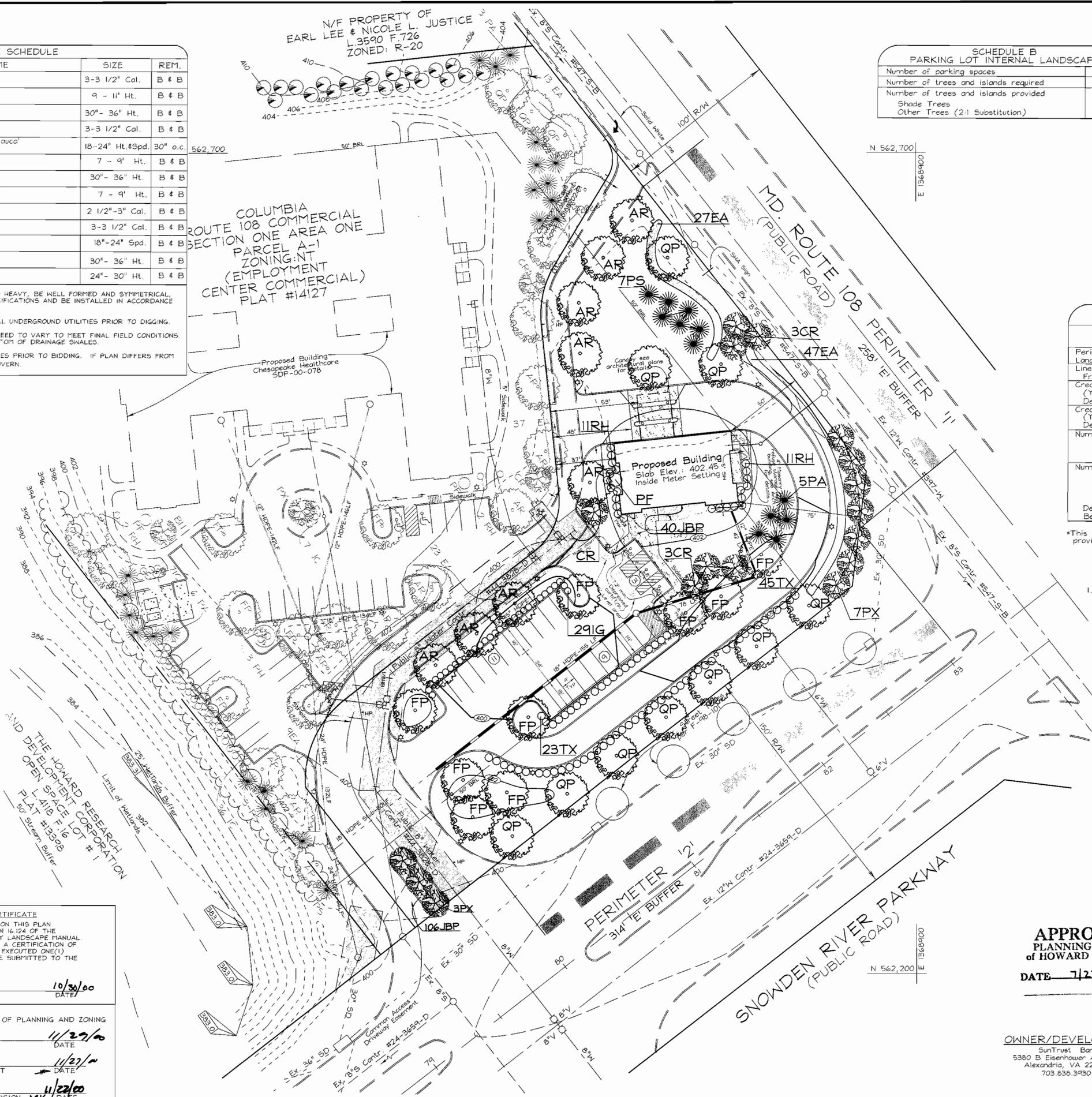
LEGEND	
Existing Contour	--- 352
Proposed Contour	--- 402.53
Spot Elevation	--- 402.53
Direction of Flow	--->
Existing Trees to Remain	(Symbol)
Light Poles	Post Top (Symbol)
Shade Trees	(Symbol) AR
Evergreen Trees	(Symbol) 2PS
Shrubs/Hedge	(Symbol) 5RH 13EA
Flowering Trees	(Symbol) PY
Ground Cover	(Symbol) 57JBP
Perimeter Landscape Edge	--- PERIMETER '1'

CATEGORY	SCHEDULE A PERIMETER LANDSCAPE EDGE ADJACENT TO	
	ROADS	
Perimeter/Frontage Designation	E	E
Landscape Type		
Linear Feet of Roadway	258'	314'
Frontage/Perimeter		
Credit for Existing Vegetation (Yes, No, Linear Feet Describe below if needed)	No	No
Credit for Wall, Fence or Berm (Yes, No, Linear Feet Describe below if needed)	No	Yes 50' Berm
Number of Plants Required		
Shade Trees	1:40 6	1:40 8
Evergreen Trees	-	-
Shrubs	1:4 65	1:4 79
Number of Plants Provided*		
Shade Trees	3	9
Evergreen Trees	7	3
Other Trees (2:1 Substitution)	7	3
Shrubs (10:1 Substitution)	65	54
Describe Plant Substitution Credits Below if needed		

*This plan has been prepared in accordance with the New Town Alternative Compliance provisions of Section 16.124 of the Howard County code and the Landscape Manual.

GENERAL NOTES

- This plan has been prepared in accordance with the New Town Alternative Compliance provisions of Section 16.124 of the Howard County code and the Landscape Manual. The required parking and perimeter landscaping will be bonded per this submission.
- Financial Surety for the required landscaping must be posted as part of the Grading Permit in the amount of \$8520.00 for the 14 trees and 144 shrubs.
- Light poles to be 25' black fiberglass. Lights to be Kim Entablature Rectilinear Luminaire with 250 Watt fixtures.
- Planting details are located on Sheet 6 of 7.
- Sign details are located on Sheet 6 of 7.



THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION
 L-418 F. 16
 PLAT #153308
 50' Stream Buffer

DEVELOPER'S/OWNER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE(1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Ray Pameer
 SIGNATURE OF DEVELOPER
 10/30/00
 DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

David Smith
 DIRECTOR
 11/27/00
 DATE

Candy Bennett
 CHIEF, DIVISION OF LAND DEVELOPMENT
 11/27/00
 DATE

Charles Cummings
 CHIEF, DEVELOPER/ENGINEERING DIVISION
 11/22/00
 DATE

APPROVED
 PLANNING BOARD
 of HOWARD COUNTY
 DATE 7/27/00

OWNER/DEVELOPER
 SunTrust Bank
 5380 B Eisenhower Avenue
 Alexandria, VA 22304
 703.838.3930

LANDSCAPE PLAN
 SUNTRUST BANK
 COLUMBIA ROUTE 108 COMMERCIAL
 SECTION ONE AREA ONE
 TAX MAP #37 GRID #1 PARCEL A-2
 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

AVOGEL & ASSOCIATES
 ENGINEERS/SURVEYORS/PLANNERS
 3691 Park Avenue, Suite 101 • Ellicott City, Maryland 21043
 Tel 410.461.5828 Fax 410.465.3966

DESIGN BY: MHM
 DRAWN BY: PS/MHM
 CHECKED BY: RHY
 DATE: October 30, 2000
 SCALE: 1"=30'
 W.O. NO.: 00-004

7 SHEET OF 7