

SHEET INDEX	
No.	DESCRIPTION
1	TITLE SHEET
2	EXISTING CONDITIONS/DEMOLITION PLAN
3	SITE DEVELOPMENT PLAN
4	GRADING, SEDIMENT CONTROL & DRAINAGE AREA MAP
5	DETAILS, NOTES & PROFILES
6	NOTES AND STRUCTURAL DETAILS
7	LANDSCAPE PLAN
8	RETAINING WALL DETAILS

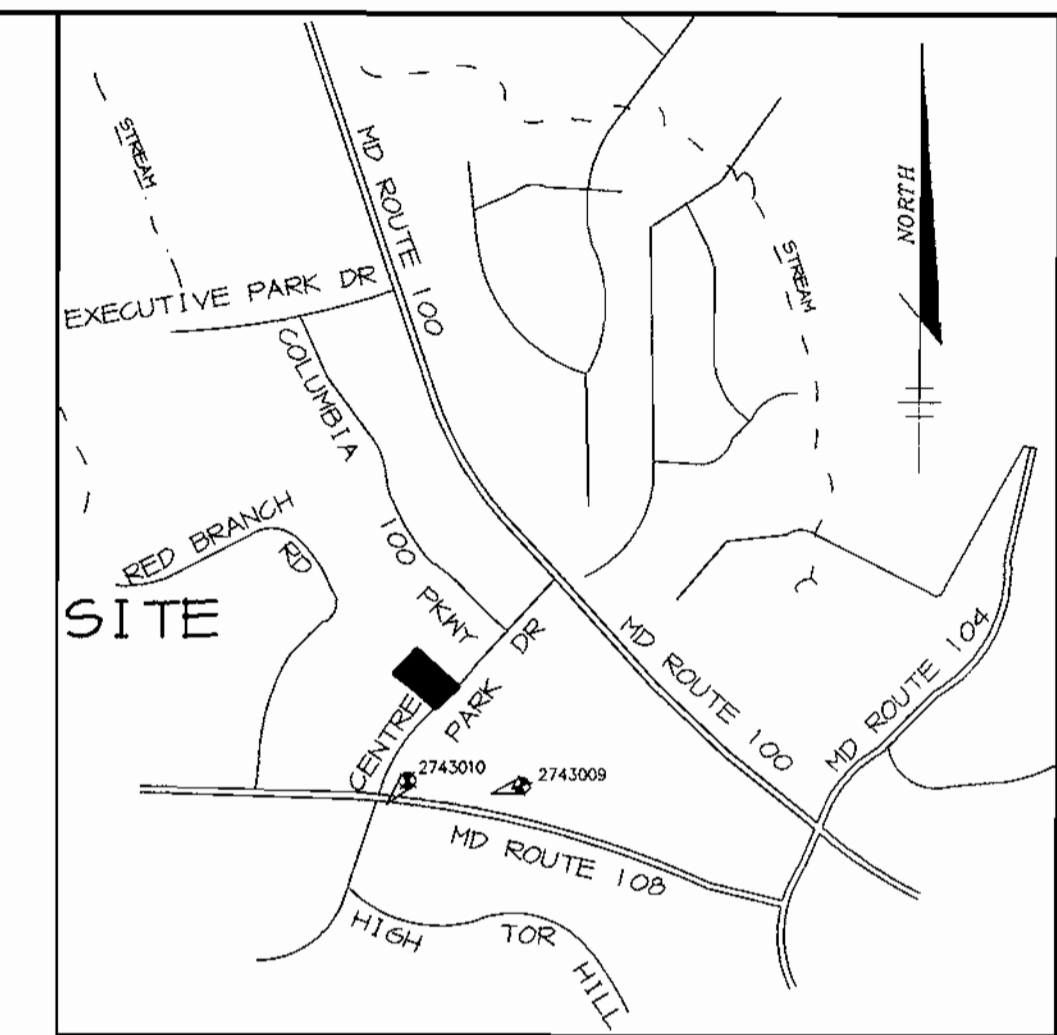
SITE DEVELOPMENT PLAN

OAKLAND EXECUTIVE PARK

PARCELS A-5 & A-6

2nd ELECTION DISTRICT

HOWARD COUNTY, MARYLAND



VICINITY MAP
SCALE: 1"=2000'

BENCHMARKS

HO. CO. SURVEY CONTROL STATION	HO. CO. SURVEY CONTROL STATION
2743009	2743010
N 507,261 E 852,631	N 507,089 E 851,924
ELEV. 530.07	ELEV. 482.29

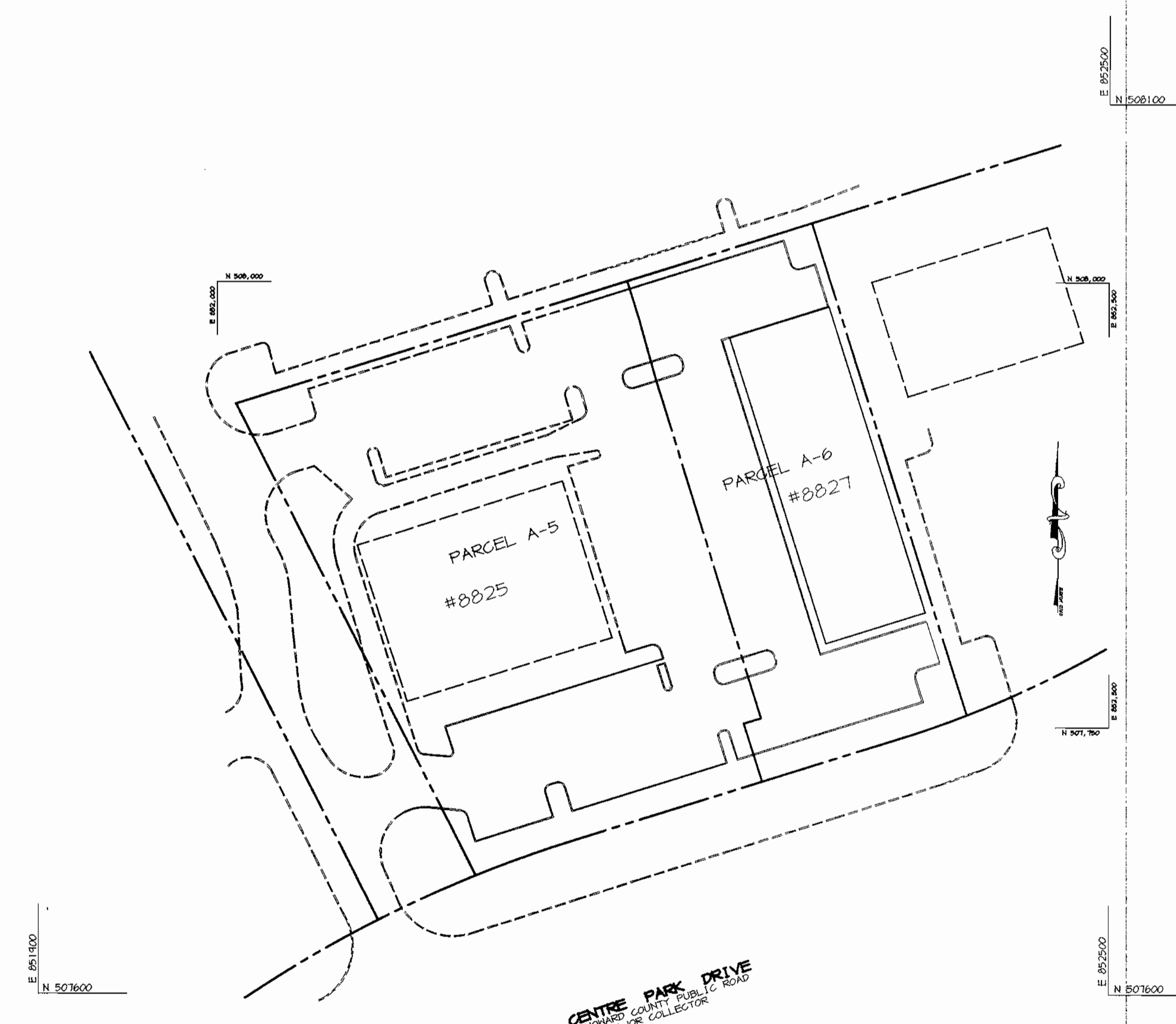
SITE ANALYSIS DATA CHART

PARCEL A-5	1.36 AC. (59,128 SF)
PARCEL A-6	0.74 AC. (32,347 SF)
TOTAL AREA	2.10 AC. (91,475 SF)
LIMIT OF DISTURBED AREA	1.15 AC. (49,911 SF)
CURRENT ZONING	B-1
PROPOSED USE	A RETAIL STORE
BUILDING FLOOR AREA	10,500 SQ. FT.
BUILDING COVERAGE OF SITE	0.24 AC. 33% OF GROSS AREA
REQUIRED PARKING	5 SPACES PER/1000 SF* = 53 SPACES
PROPOSED PARKING	38 SPACES (INCLUDES 2 HC SPACES) 15 SHARED SPACES **
APPLICABLE DPZ	F-86-34, S-84-33, NP-84-111
FILE REFERENCES	F-84-174, SDF-86-150, SDF-93-61 BA-92-44E, ZB-983H.

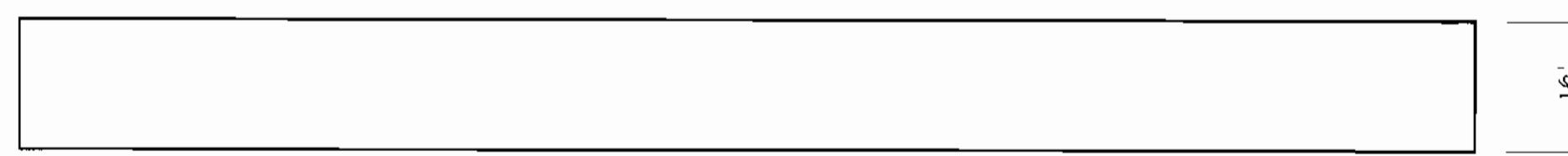
* PER HOWARD COUNTY ZONING REGULATIONS SECTION 133
** SEE LETTER DATED 9-17-99 FROM HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING WHICH PERMITTED UP TO 15 SHARED PARKING SPACES BETWEEN THE EXISTING USES AND A PROPOSED RETAIL USE.

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY RIEHER MUEGGE & ASSOCIATES DATED OCT. 1999.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 2743009 AND 2743010 WERE USED FOR THIS PROJECT.
- WATER IS PUBLIC. CONTRACT NO. 44-1467-D
- SEWER IS PUBLIC. SEWER DRAINAGE AREA: PATUXENT CONTRACT NO. 20-1420-D
- STORMWATER MANAGEMENT FOR THIS SITE IS PROVIDED BY A PRIVATE REGIONAL SHM POND CONSTRUCTED UNDER F-84-174 AND A PRIVATE OIL GRIT SEPARATOR CONSTRUCTED UNDER SDF-93-61.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- NO 100- YEAR FLOODPLAIN IMPACTS THIS PROJECT.
- NO WETLANDS IMPACT THIS PROJECT
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP DATED FEB. 2000 AND WAS APPROVED ON APRIL 27, 2000, BY THE DEVELOPMENT ENGINEERING DIVISION.
- NO NOISE STUDY IS REQUIRED.
- NO GEOTECHNICAL STUDY FOR STORMWATER MANAGEMENT IS NEEDED FOR THIS PROJECT.
- THE BOUNDARY SURVEY FOR THIS PROJECT IS BASED ON RECORD PLAT 0558.
- SUBJECT PROPERTY ZONED B-1 PER 10-18-93 COMPREHENSIVE ZONING PLAN.
- ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
- SEE DEPARTMENT OF PLANNING AND ZONING FILE NO'S. F-86-34, S-84-33, NP-84-111, F-84-174, SDF-93-61, SDF-86-150, BA-92-44E, ZB-983H.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD.
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE.
- ALL STORM DRAIN PIPE BEDDINGS SHALL BE CLASS 'C' AS SHOWN IN FIG. 11.4, VOLUME 1 OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE NOTED.
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- STORM DRAIN TRENCHES WITHIN ROAD RIGHT OF WAY SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME 1V, I.E., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, LATEST AMENDMENTS.
- PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T180.
- THIS SUBDIVISION IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1202(b)(1)(iii) OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BECAUSE IT HAS A GRADING PERMIT APPROVAL PRIOR TO DECEMBER 31, 1992, AND DOES NOT EXPAND UPON THE LIMITS OF DISTURBANCE SHOWN ON THOSE PLANS.
- AN AGREEMENT BETWEEN PARCEL A-5 AND PARCEL A-6 REGARDING CROSS-USE OF ACCESS, PARKING, UTILITIES, SIGNAGE AND STORMWATER MANAGEMENT HAS BEEN RECORDED IN L. 5085, F. 619 ON APRIL 14, 2000.



PLAN
SCALE: 1"=50'



BUILDING ELEVATION
SCALE: 1"=20'

ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
A-5	8825 CENTRE PARK DRIVE (EXISTING BUILDING)
A-6	8827 CENTRE PARK DRIVE

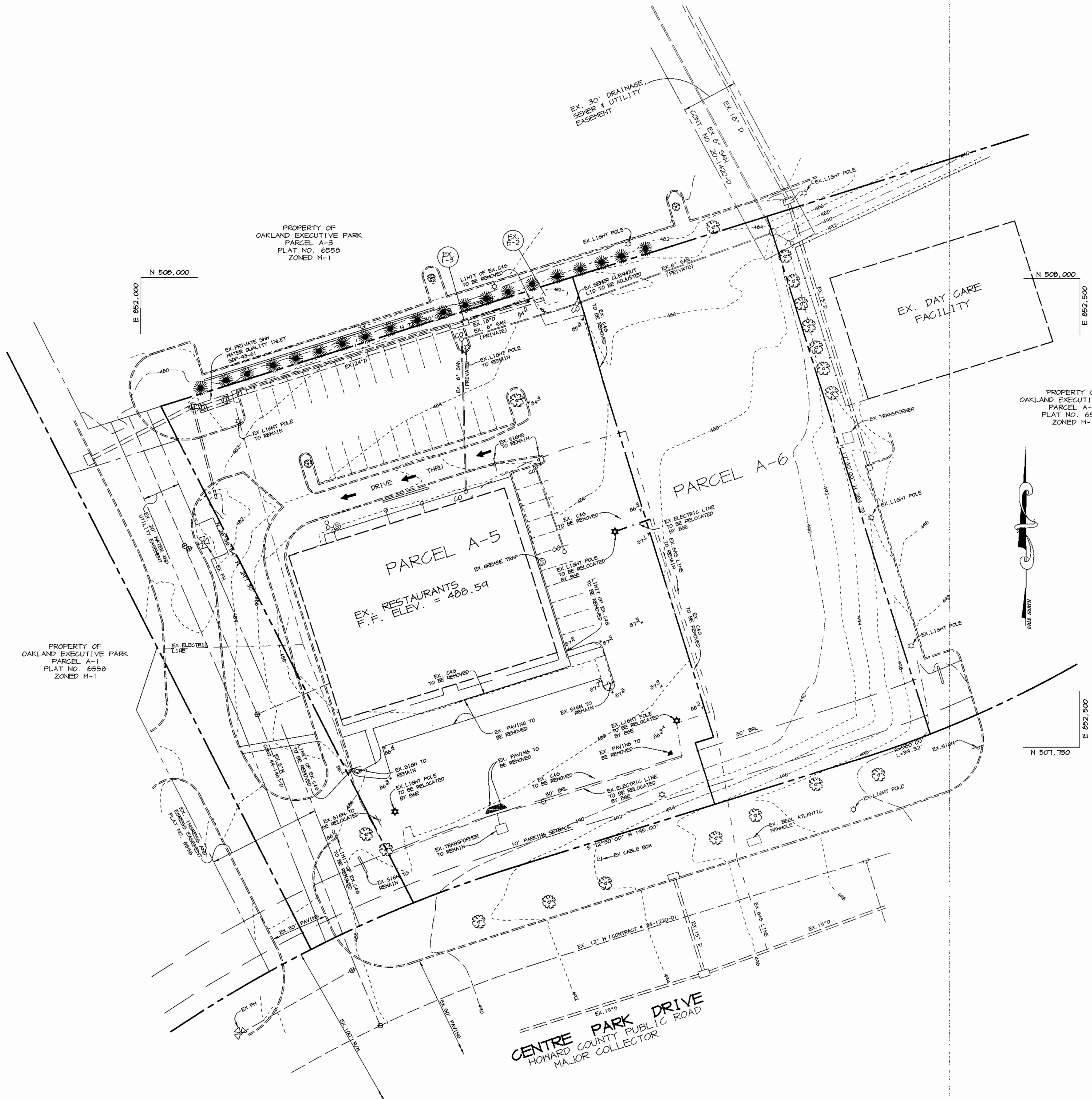
SUBDIVISION NAME:	OAKLAND EXECUTIVE PARK	SECT./AREA:	-	PARCEL:	A-5 & A-6
PLAT #:	1425B	BLOCK #:	18	ZONE:	B-1
TAX MAP NO.:	30	ELECT. DIST.:	2nd	CENSUS TRACT:	6054
WATER CODE:	G 07	SEWER CODE:	5657400		

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.	
<i>[Signature]</i> DIRECTOR	8/22/00 DATE
<i>[Signature]</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	8/10/00 DATE
<i>[Signature]</i> CHIEF, DIVISION OF LAND DEVELOPMENT	8/21/00 DATE

DATE	NO.	REVISION
DEVELOPER/OWNER:		
HAMAMI PARTNERSHIP 5601 HUNTINGTON PARKWAY BETHESDA, MARYLAND 20814 410-742-4510		
PROJECT OAKLAND EXECUTIVE PARK PARCELS A-5 & A-6 RETAIL BUILDING		
AREA TAX MAP 30 ZONED B-1 PARCELS A-5 & A-6, BLOCK 18 2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND		
TITLE TITLE SHEET		

RIEMER MUEGGE & ASSOCIATES INC.
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive, Columbia, MD 21046
tel 410.997.8900 fax 410.997.9282

DESIGNED BY: C.J.R.
DRAWN BY: K.C.B.
CHECKED BY: C.J.R.
PROJECT NO: 98311 SDP1.DWG
DATE: JUNE 26, 2000
SCALE: AS SHOWN
DRAWING NO. 1 OF 6



APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Joseph R. Smith 8/22/00
DIRECTOR DATE

John Deussen 8/16/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION & DATE

Condy Hamada 8/16/00
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE NO. REVISION

DEVELOPER/OWNER:
HAMAMI PARTNERSHIP
5601 HUNTINGTON PARKWAY
BETHESDA, MARYLAND 20814
410-732-4510

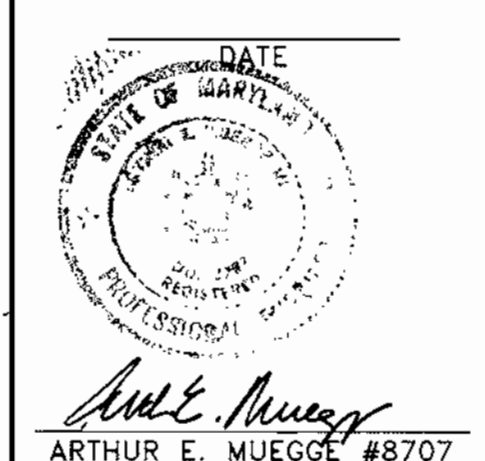
PROJECT
OAKLAND EXECUTIVE PARK
PARCELS A-5 & A-6
RETAIL BUILDING

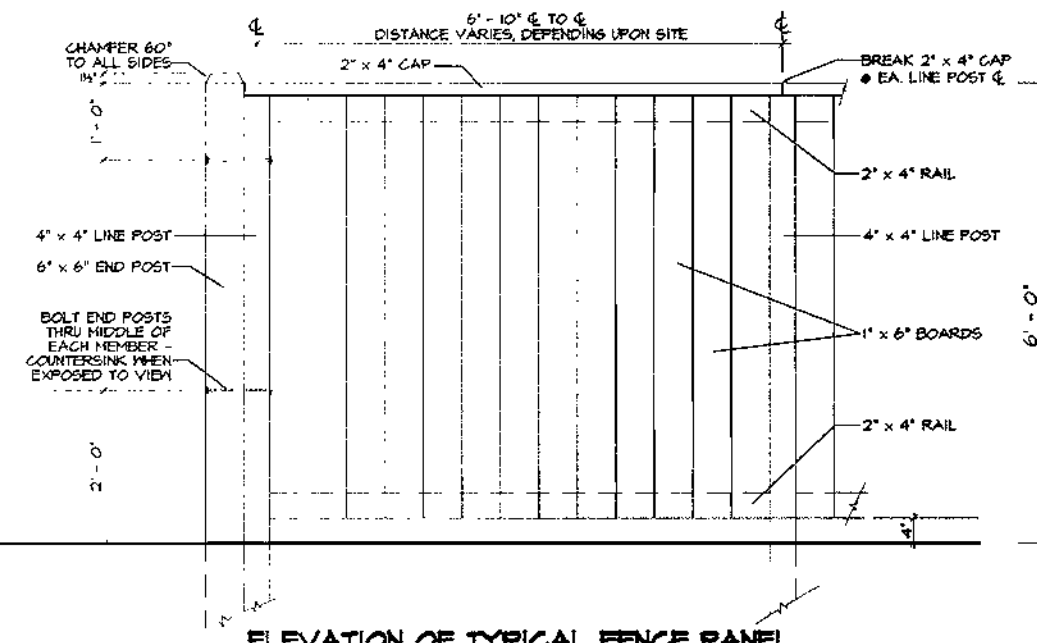
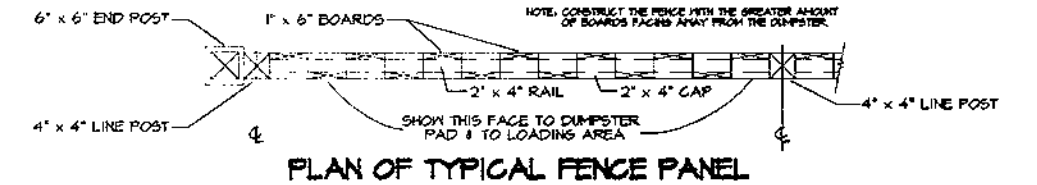
AREA
TAX MAP 30 ZONED B-1
PARCELS A-5 & A-6, BLOCK 18
2nd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE
**EXISTING CONDITIONS /
DEMOLITION PLAN**

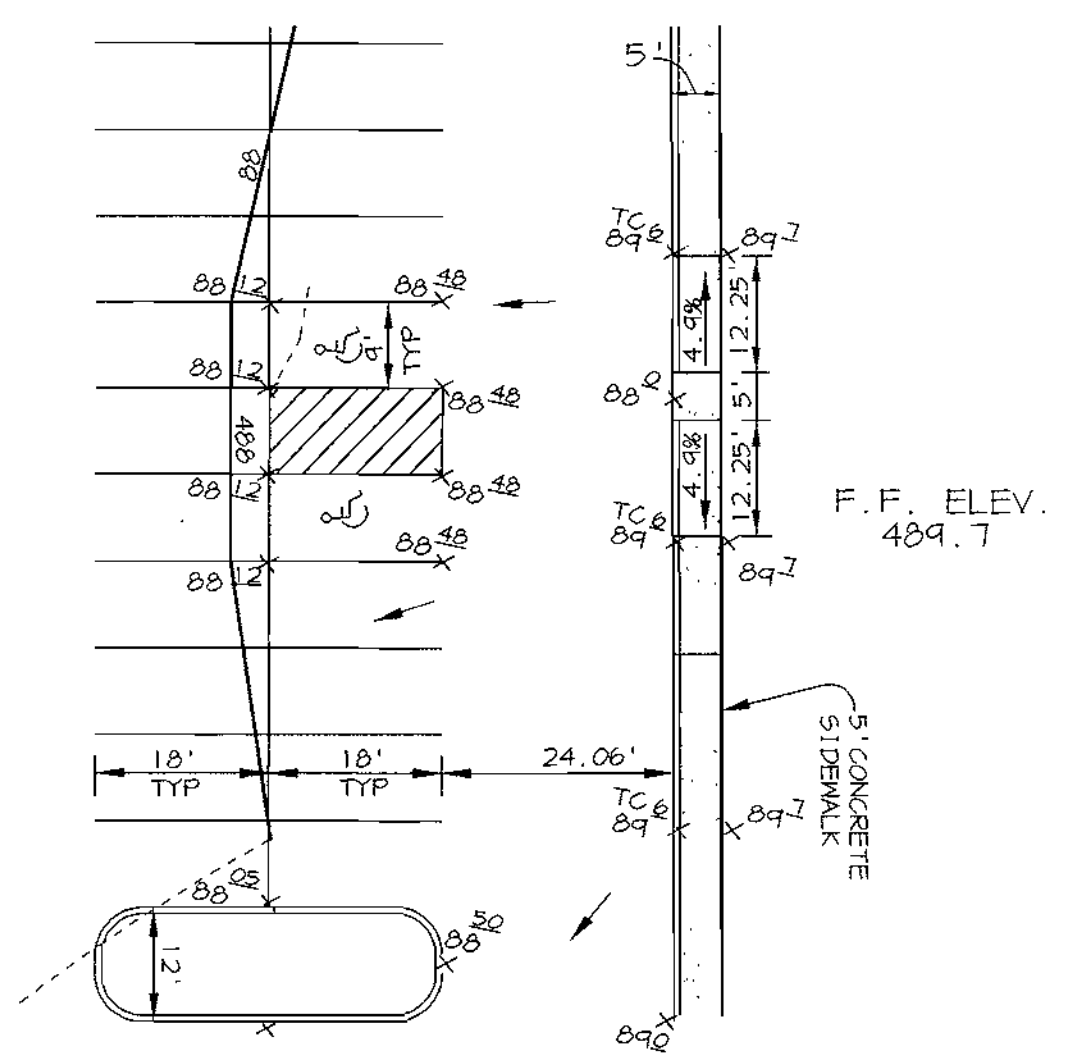
RIEMER MUEGGE & ASSOCIATES INC
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive, Columbia, MD 21045
tel 410.997.8900 fax 410.997.9282

DESIGNED BY : C.J.R.
DRAWN BY : K.C.B.
CHECKED BY : C.J.R.
PROJECT NO : 98311 /SDP2.DWG
DATE : JUNE 20, 2000
SCALE : 1" = 30'
DRAWING NO. 2 OF 6

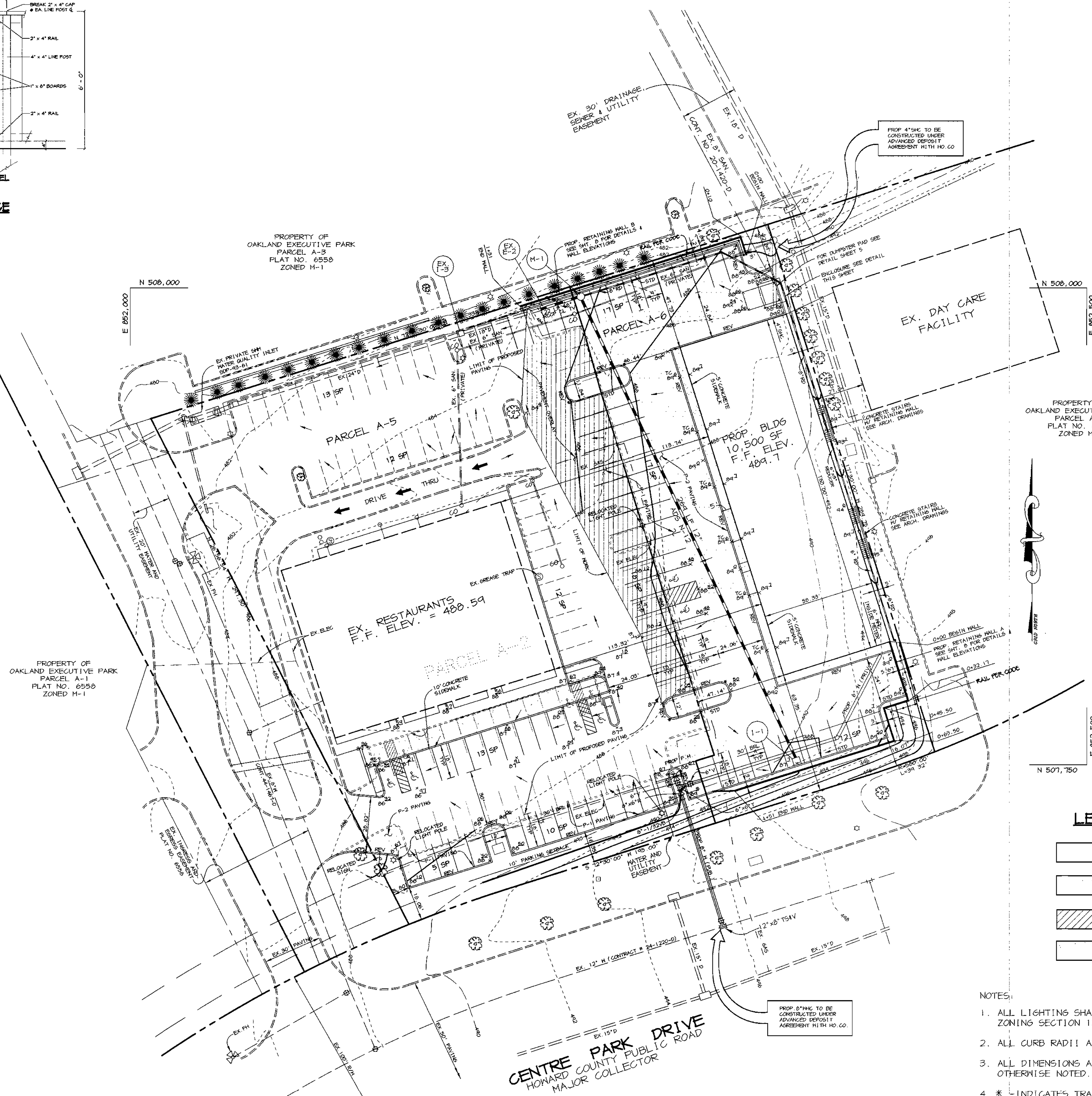




DUMPSTER SCREEN FENCE
NOT TO SCALE



HC PARKING DETAIL
SCALE 1" = 20'



LEGEND

- P-1 PAVING (SEE DETAIL SHEET 5)
- P-2 PAVING (SEE DETAIL SHEET 5)
- PAVEMENT OVERLAY
- CONCRETE SIDEWALK

NOTES:

1. ALL LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF ZONING SECTION 134.
2. ALL CURB RADII ARE 5' UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE OF CURB OR BUILDING UNLESS OTHERWISE NOTED.
4. * - INDICATES TRANSITION FROM STANDARD 7" CURB AND GUTTER TO REVERSE 7" CURB AND GUTTER.
5. ALL ON-SITE ROADS ARE PRIVATE.

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.	
<i>John A. Hutter</i> DIRECTOR	8/22/00 DATE
<i>John Deacon</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	8/16/00 DATE
<i>Cindy Harvath</i> CHIEF, DIVISION OF LAND DEVELOPMENT	8/1/00 DATE R

DATE NO.	REVISION
DEVELOPER/OWNER: HAMAMI PARTNERSHIP 5601 HUNTINGTON PARKWAY BETHESDA, MARYLAND 20814 410-742-4510	

PROJECT OAKLAND EXECUTIVE PARK PARCELS A-5 & A-6 RETAIL BUILDING
AREA TAX MAP 30 ZONED B-1 PARCELS A-5 & A-6, BLOCK 18 2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE SITE DEVELOPMENT PLAN

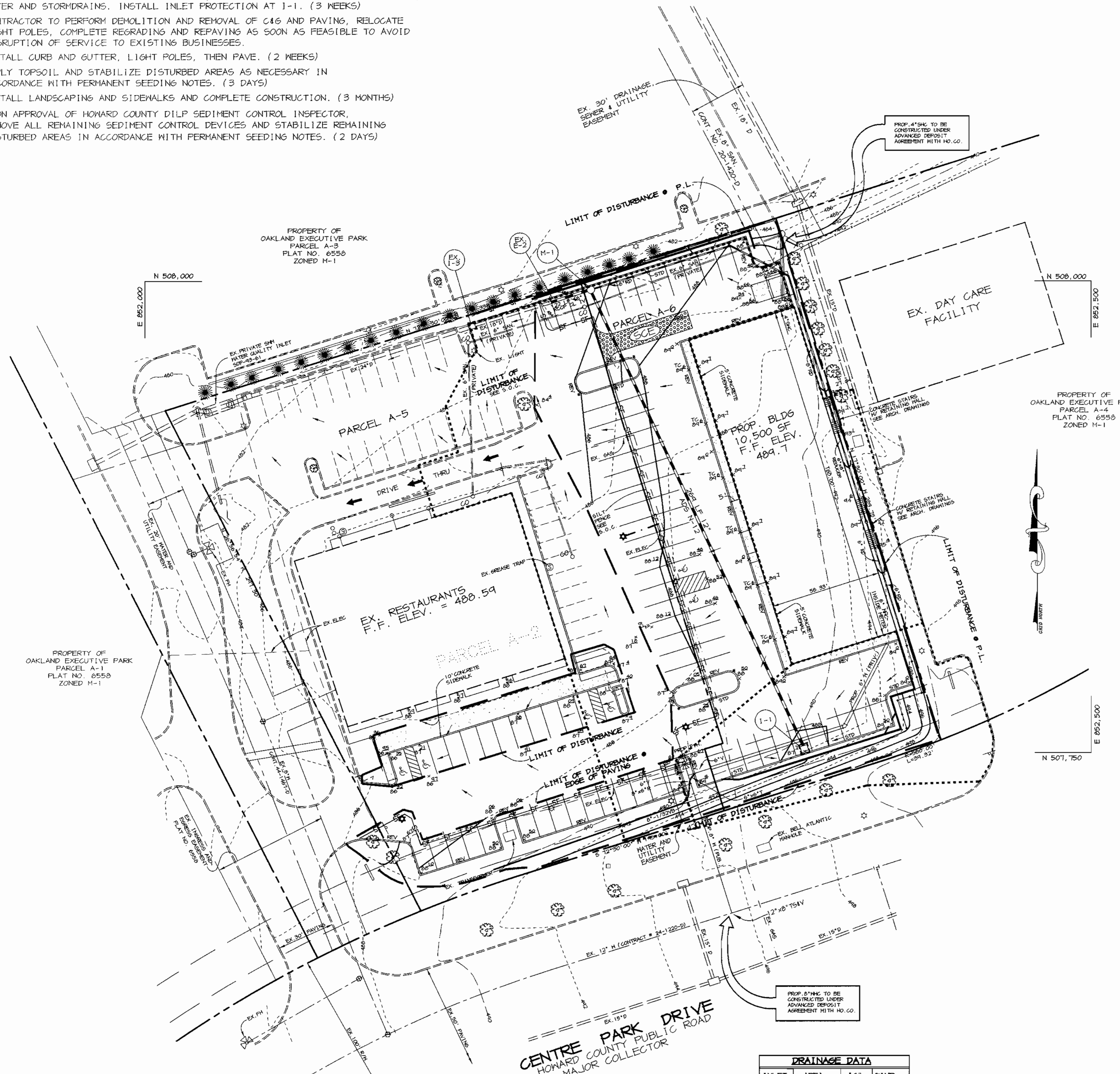
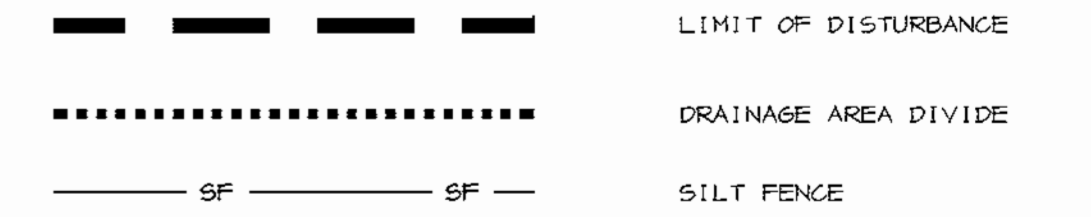
RIEMER MUEGGE & ASSOCIATES INC
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive, Columbia, MD 21045
tel 410.997.8900 fax 410.997.8282

DATE	DESIGNED BY : C.J.R.
	DRAWN BY : K.C.B.
	CHECKED BY : C.J.R.
	PROJECT NO : 98311 /SDP3.DWG
	DATE : JUNE 26, 2000
	SCALE : 1" = 30'
	DRAWING NO. 3 OF 8

SEQUENCE OF CONSTRUCTION

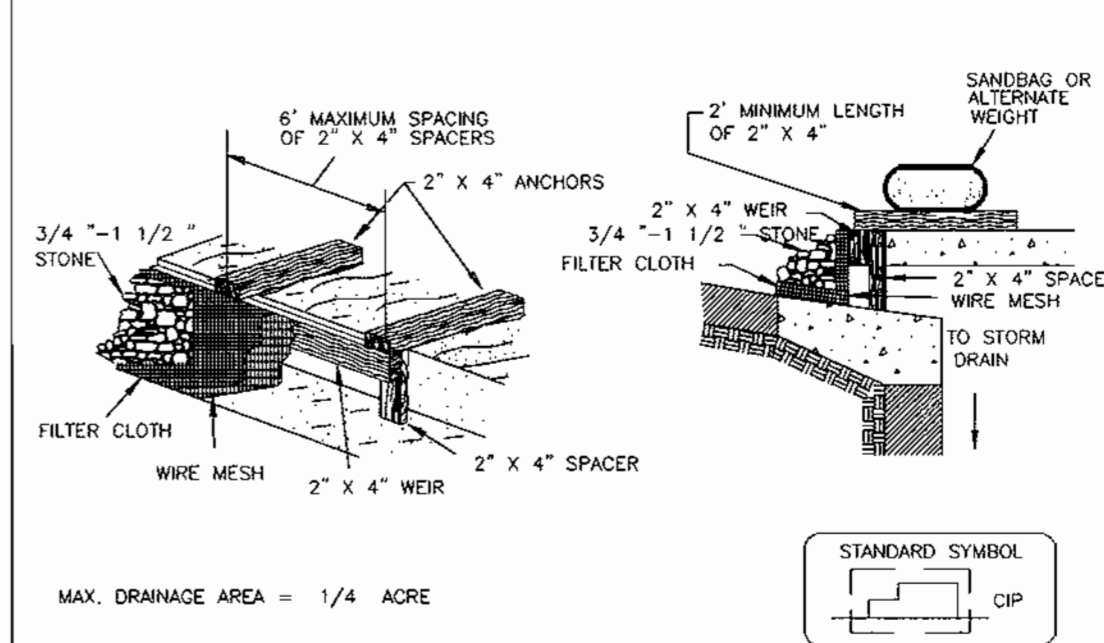
1. OBTAIN GRADING PERMIT.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND SILT FENCE. INSTALL INLET PROTECTION AT EX. 1-3. (2 DAYS)
3. WITH PERMISSION OF HOWARD COUNTY DILP SEDIMENT CONTROL INSPECTOR, BEGIN ROUGH GRADING AND BUILDING CONSTRUCTION.
4. AS SUBGRADE ELEVATIONS ARE ESTABLISHED, INSTALL UTILITIES, INCLUDING SEWER, WATER AND STORMDRAINS. INSTALL INLET PROTECTION AT 1-1. (3 WEEKS)
5. CONTRACTOR TO PERFORM DEMOLITION AND REMOVAL OF C&G AND PAVING, RELOCATE LIGHT POLES, COMPLETE REGRADING AND REPAVING AS SOON AS FEASIBLE TO AVOID DISRUPTION OF SERVICE TO EXISTING BUSINESSES.
6. INSTALL CURB AND GUTTER, LIGHT POLES, THEN PAVE. (2 WEEKS)
7. APPLY TOPSOIL AND STABILIZE DISTURBED AREAS AS NECESSARY IN ACCORDANCE WITH PERMANENT SEEDING NOTES. (3 DAYS)
8. INSTALL LANDSCAPING AND SIDEWALKS AND COMPLETE CONSTRUCTION. (3 MONTHS)
9. UPON APPROVAL OF HOWARD COUNTY DILP SEDIMENT CONTROL INSPECTOR, REMOVE ALL REMAINING SEDIMENT CONTROL DEVICES AND STABILIZE REMAINING DISTURBED AREAS IN ACCORDANCE WITH PERMANENT SEEDING NOTES. (2 DAYS)

LEGEND



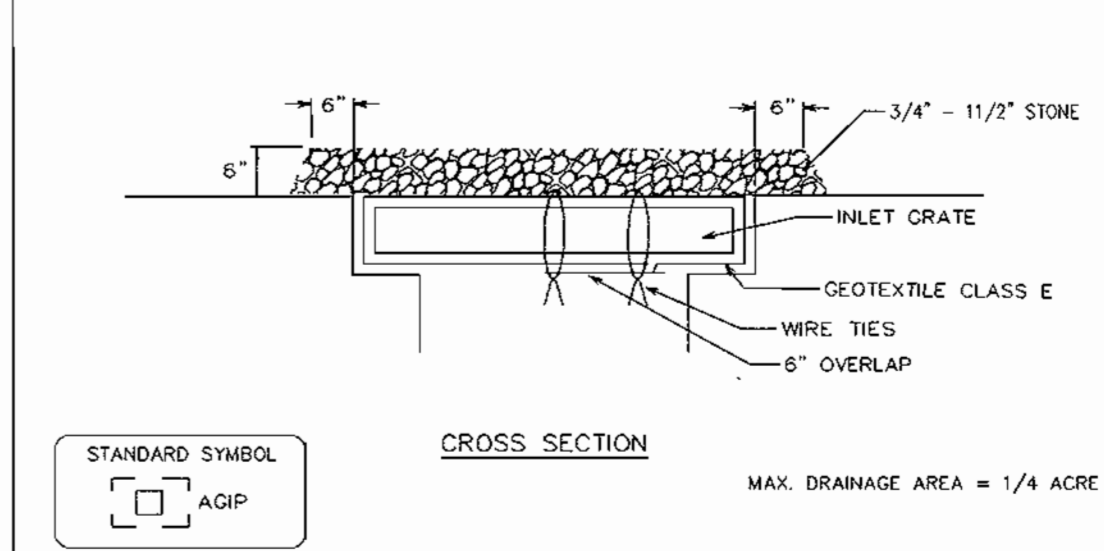
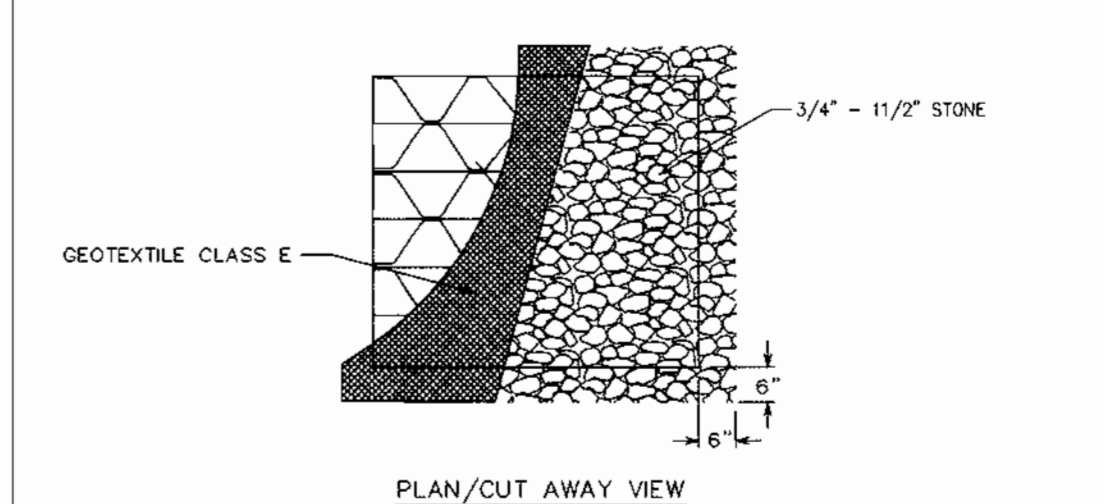
DRAINAGE DATA			
INLET	AREA	"C"	%IMP.
1-1	0.25 AC.	0.40	94 %
RD	0.24 AC.	0.92	100 %
EX. 1-3	0.76 AC.	0.92	100 %

DETAIL 23C - CURB INLET PROTECTION



- MAX. DRAINAGE AREA = 1/4 ACRE
- Construction Specifications
1. Attach a continuous piece of wire mesh (30" minimum width by throat length plus 4") to the 2" x 4" weir (measuring throat length plus 2") as shown on the standard drawing.
 2. Place a continuous piece of Geotextile Class E the same dimensions as the wire mesh and securely attach it to the 2" x 4" weir.
 3. Securely nail the 2" x 4" weir to a 9" long vertical spacer to be located between the weir and the inlet face (max. 4" apart).
 4. Place the assembly against the inlet throat and nail (minimum 2" lengths of 2" x 4" to the top of the curb at spacer locations). These 2" x 4" anchors shall extend across the inlet top and be held in place by sandbags or alternate weight.
 5. The assembly shall be placed so that the end spacers are a minimum 1" beyond both ends of the throat opening.
 6. Form the 1/2" x 1/2" wire mesh and the geotextile fabric to the concrete gutter and against the face of the curb on both sides of the inlet. Place clean 3/4" x 1 1/2" stone over the wire mesh and geotextile in such a manner to prevent water from entering the inlet under or around the geotextile.
 7. This type of protection must be inspected frequently and the filter cloth and stone replaced when clogged with sediment.
 8. Assure that storm flow does not bypass the inlet by installing a temporary earth or asphalt dike to direct the flow to the inlet.

DETAIL 23B - AT GRADE INLET PROTECTION



- MAX. DRAINAGE AREA = 1/4 ACRE
- Construction Specifications
1. Lift grate and wrap with Geotextile Class E to completely cover all openings, then set grate back in place.
 2. Place 3/4" x 1 1/2" stone, 4"-6" thick on the grate to secure the fabric and provide additional filtration.

BY THE DEVELOPER :

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

D. Ham 5/23/00
DEVELOPER DATE

BY THE ENGINEER :

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Will Muegge 5-22-00
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Greg Simmons 8/13/00
NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Dutton 8/13/00
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

James R. Batts 8/22/00
DIRECTOR DATE

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 16-5B MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

Will Muegge 8/16/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Cindy Hamata 8/16/00
CHIEF, DIVISION OF LAND DEVELOPMENT DATE R

DATE NO. REVISION

DEVELOPER/OWNER:

HAWAII PARTNERSHIP
5601 HUNTINGTON PARKWAY
BETHESDA, MARYLAND 20814
410-742-4510

PROJECT
OAKLAND EXECUTIVE PARK
PARCELS A-5 & A-6
RETAIL BUILDING

AREA TAX MAP 30 ZONED B-1
PARCELS A-5 & A-6, BLOCK 1B
2nd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE
GRADING, SEDIMENT CONTROL AND DRAINAGE AREA MAP

RIEMER MUEGGE & ASSOCIATES INC
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive, Columbia, MD 21045
tel 410.997.8900 fax 410.997.9282

DESIGNED BY : C.J.R.
DRAWN BY : K.C.B.
CHECKED BY : C.J.R.
PROJECT NO : 98311 /SDP4.DWG
DATE : JUNE 20, 2000
SCALE : 1" = 30'
DRAWING NO. 4 OF 6

21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

Definition
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose
To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions These Practice Applies

- The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
- The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supply of plant nutrients.
- The original soil to be vegetated contains material toxic to plant growth.
- The soil is so acidic that treatment with limestone is not feasible.

II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

I. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.

II. Topsoil Specifications - Soil to be used as topsoil must meet the following:

- Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 3% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2" in diameter.
- Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as specified.
- Where subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

III. For sites having disturbed areas under 5 acres:

- Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

III. For sites having disturbed areas over 5 acres:

- On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
 - pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
 - Organic content of topsoil shall be not less than 1.5 percent by weight.
 - Topsoil having soluble salt content greater than 500 parts per million shall not be used.
 - No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.

Note: Topsoil substitutes to amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority may be used in lieu of natural topsoil.

II. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

V. Topsoil Application

- When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
- Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.
- Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
- Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

VI. Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:

- Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for site having disturbed areas under 5 acres shall conform to the following requirements:
 - Composted sludge shall be supplied by or originate from a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.
 - Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
 - Composted sludge shall be applied at a rate of 1 to 2,000 square feet.
 - Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate.

References: Guideline Specifications, Soil Preparation and Sodding, MD-VA, Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institutes. Revised 1978.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redistributed where a short-term vegetative cover is needed.

Seeding Preparation - Loosen upper three inches of soil by raking, disking or other acceptable means before seeding. If not previously loosened.

Soil Amendments - Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq. ft.).

Seeding - For periods March 1 thru April 15 and from August 15 thru November 15, seed with 2-1/2 bushels per acre of annual ryegrass (3.2 lbs. per 1000 sq. ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (3.07 lbs. per 1000 sq. ft.). For the period November 16 thru February 29, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching - Apply 1-1/2 to 2 tons per acre (70 to 90 lbs. per 1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using nylon anchoring tool or 218 gal. per acre (15 gal. per 1000 sq. ft.) of emulsified asphalt on flat areas. On slopes, 8 ft. or higher, use 347 gal. per acre (8 gal. per 1000 sq. ft.) for anchoring.

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rates and methods not covered.

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seeding Preparation - Loosen upper three inches of soil by raking, disking or other acceptable means before seeding. If not previously loosened.

Soil Amendments - In lieu of soil test recommendations, use one of the following schedules:

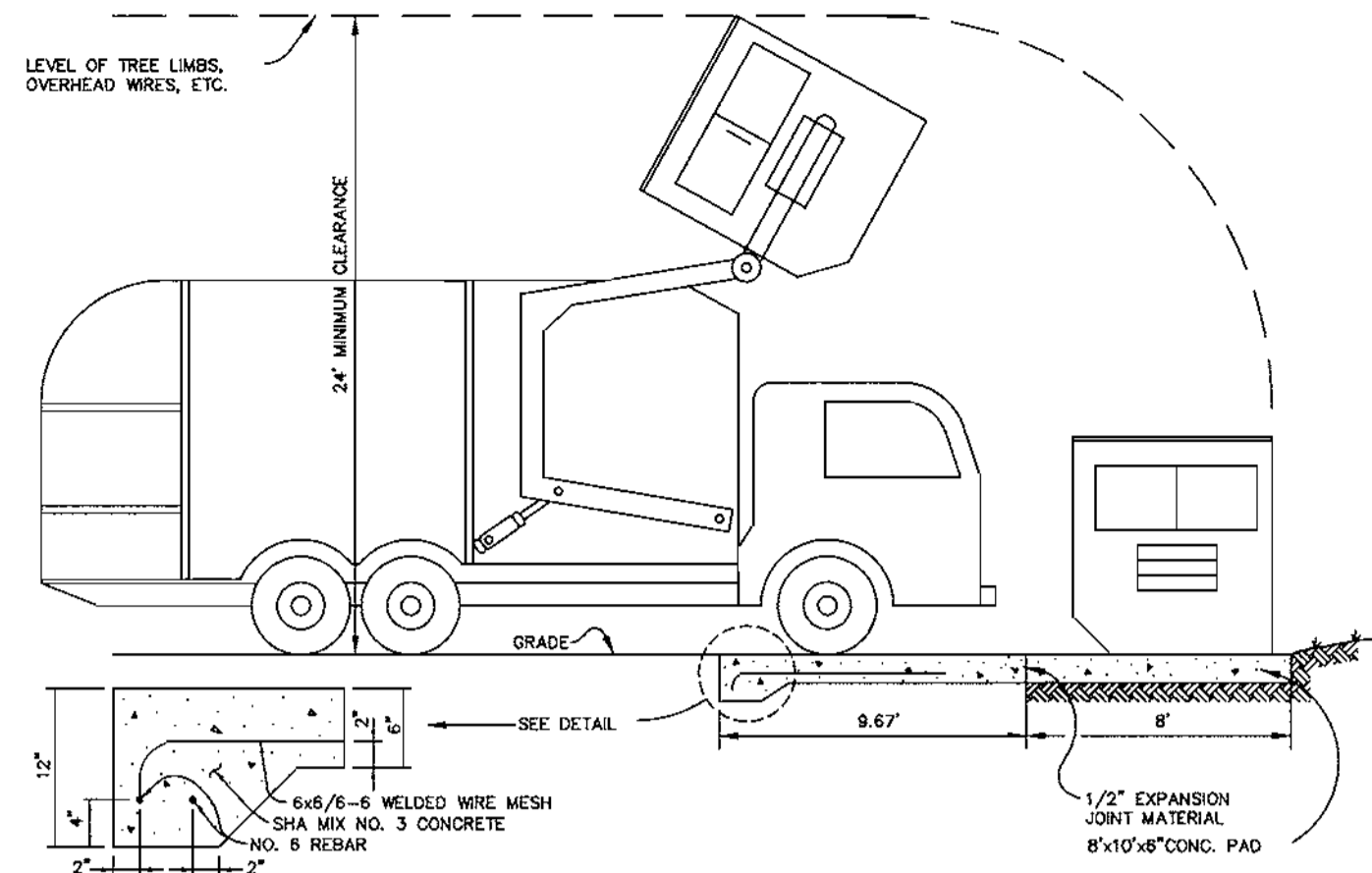
- Preferred - Apply 2 tons per acre dolomitic limestone (42 lbs. per 1000 sq. ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq. ft.) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (4 lbs. per 1000 sq. ft.).
- Acceptable - Apply 2 tons per acre dolomitic limestone (42 lbs. per 1000 sq. ft.) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs. per 1000 sq. ft.) before seeding. Harrow or disc into upper three inches of soil.

Seeding - For the period March 1 thru April 15 and from August 1 thru October 15, seed with 60 lbs. per acre Kentucky 31 Tall Fescue and mulch with 2 tons per acre well anchored straw. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (0.06 lbs. per 1000 sq. ft.) of weeping lovegrass. During the period October 16 thru February 29, protect site by one of the following options:

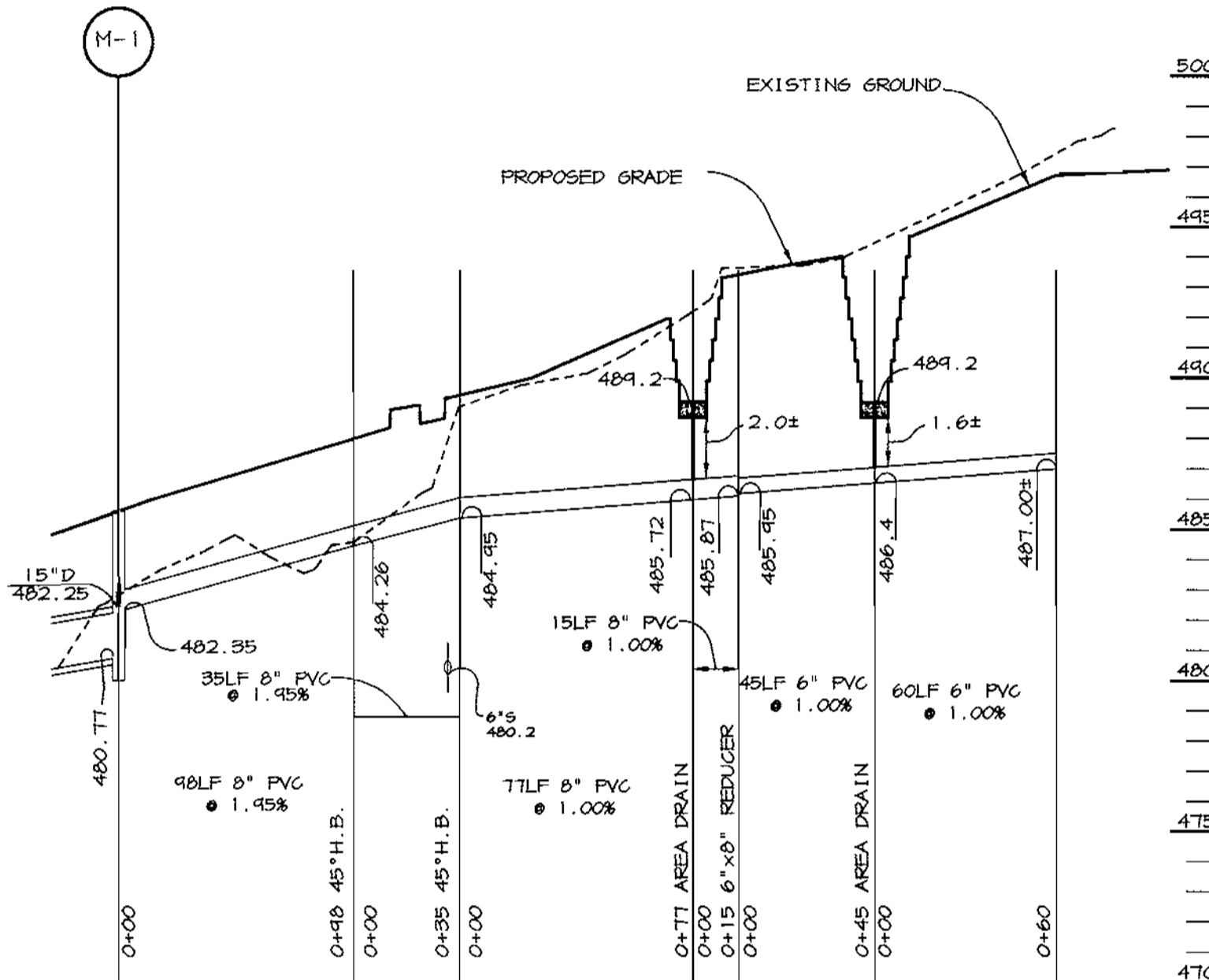
- 2 tons per acre of well-anchored straw mulch and seed as soon as possible in the spring.
- Use sod.
- Seed with 60 lbs. per acre Kentucky 31 Tall Fescue and mulch with 2 tons per acre well anchored straw.

Mulching - Apply 1-1/2 to 2 tons per acre (70 to 90 lbs. per 1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using nylon anchoring tool or 218 gal. per acre (15 gal. per 1000 sq. ft.) of emulsified asphalt on flat areas. On slopes, 8 ft. or higher, use 347 gal. per acre (8 gal. per 1000 sq. ft.) for anchoring.

Maintenance - Inspect all seeded areas and make needed repairs, replacements and reseedings.

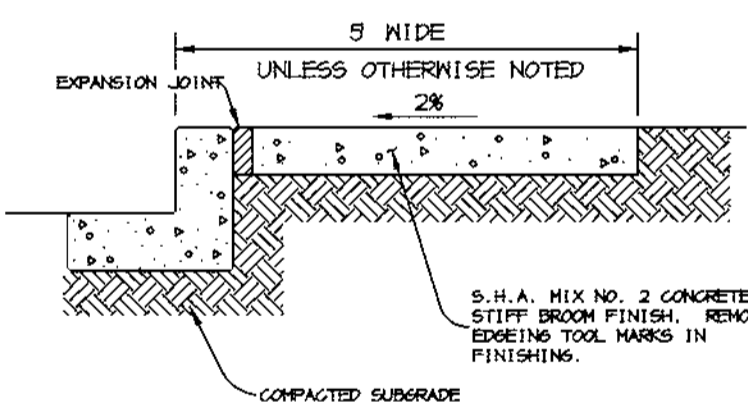


DUMPSTER PAD
NO SCALE

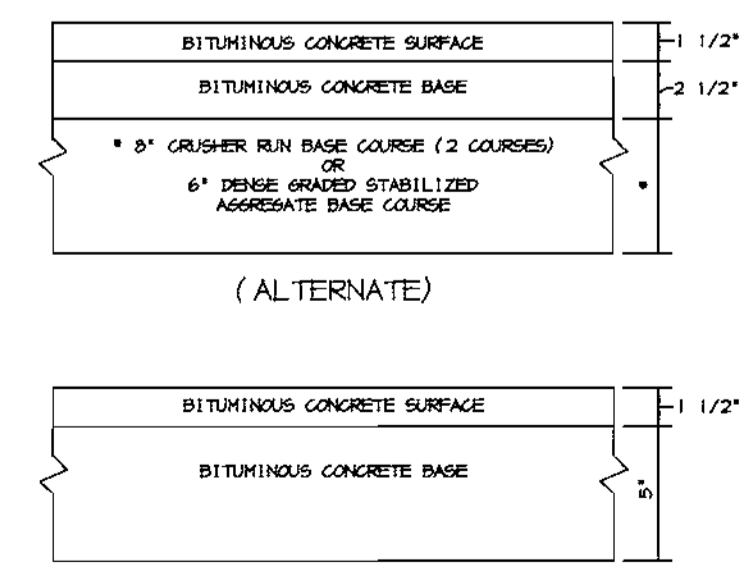


ROOF DRAIN PROFILE

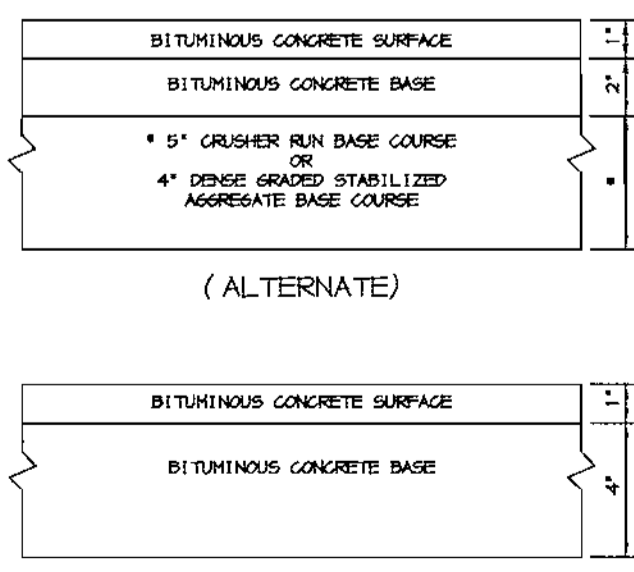
SCALE:
HOR. - 1"=5'
VERT. - 1"=5'



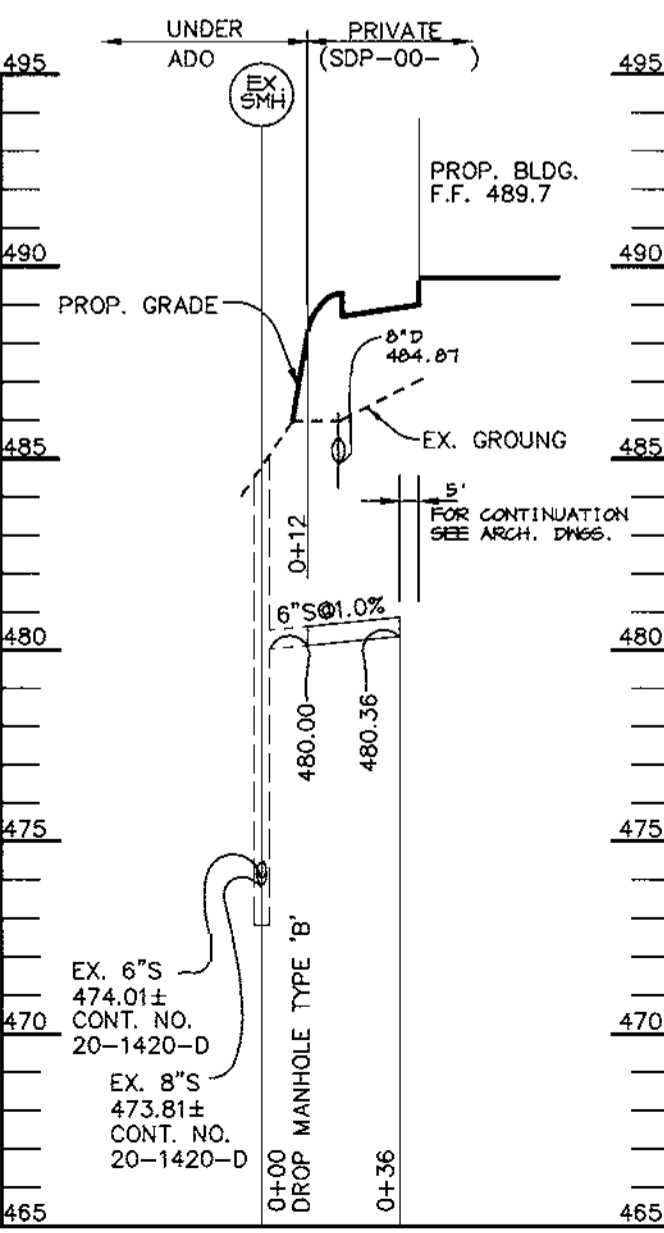
SIDEWALK DETAIL ADJACENT TO CURB
NO SCALE



P-2 PAVING
NO SCALE

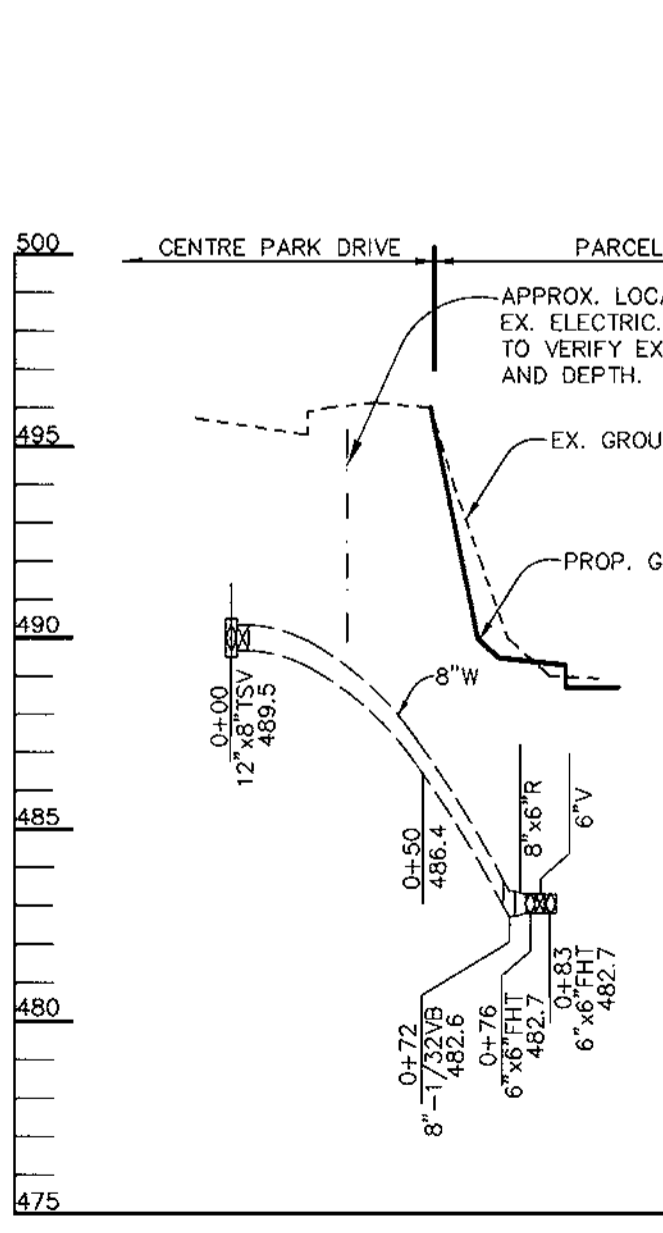


P-1 PAVING
NO SCALE



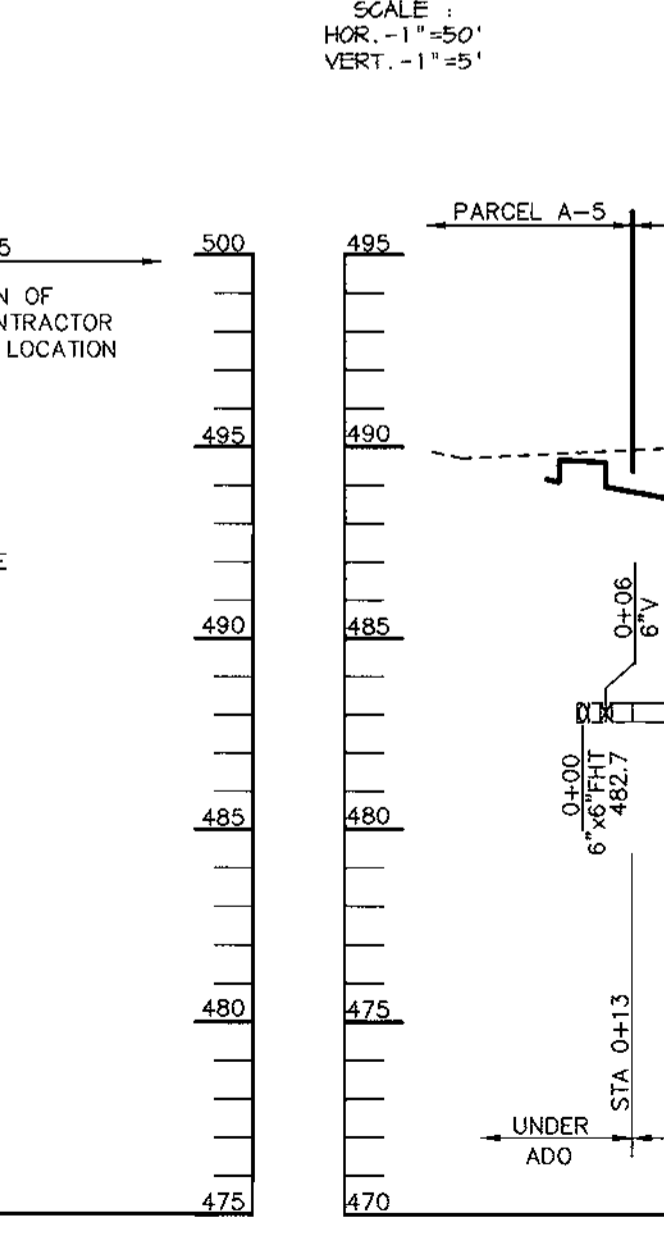
SEWER PROFILE

SCALE:
HOR. - 1"=5'
VERT. - 1"=5'



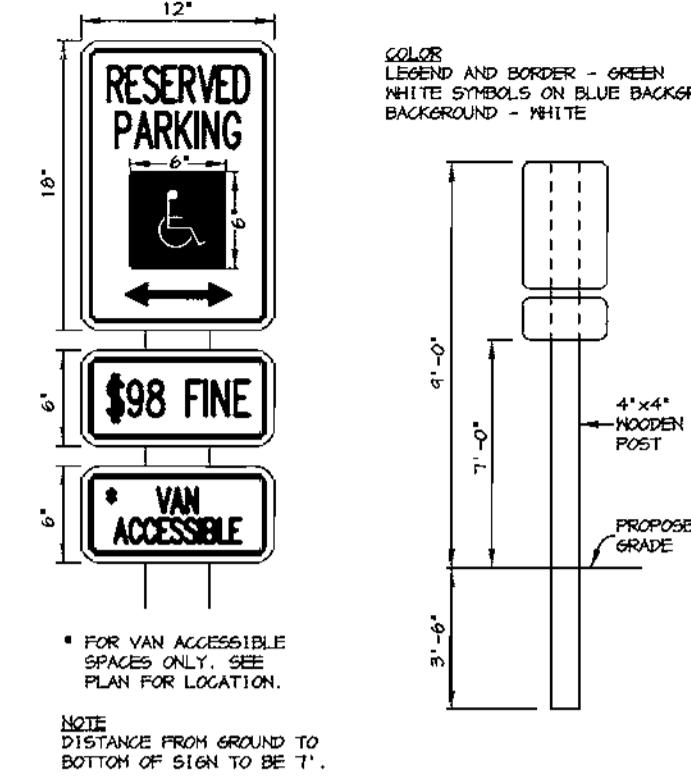
WATER PROFILE

SCALE:
HOR. - 1"=5'
VERT. - 1"=5'

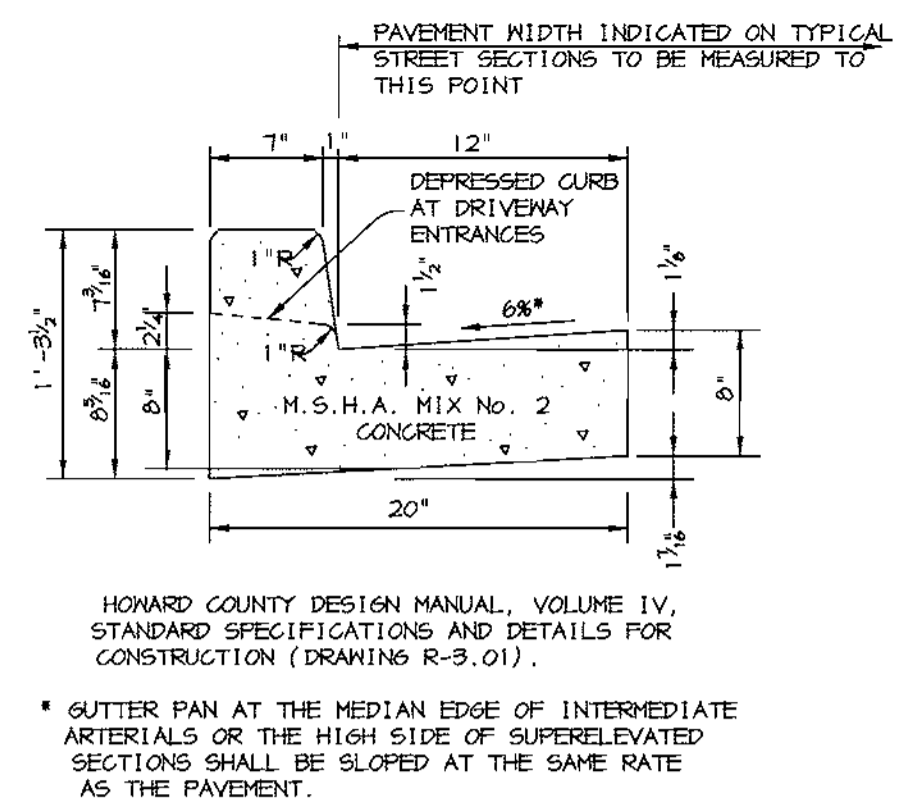


WATER PROFILE

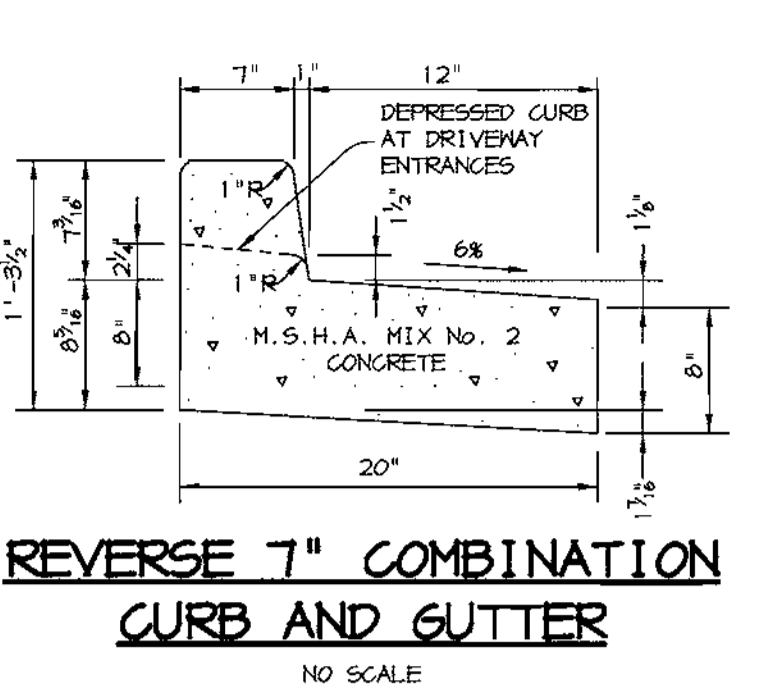
SCALE:
HOR. - 1"=5'
VERT. - 1"=5'



HANDICAP SIGN DETAIL
NO SCALE



STANDARD 7\"/>



REVERSE 7\"/>

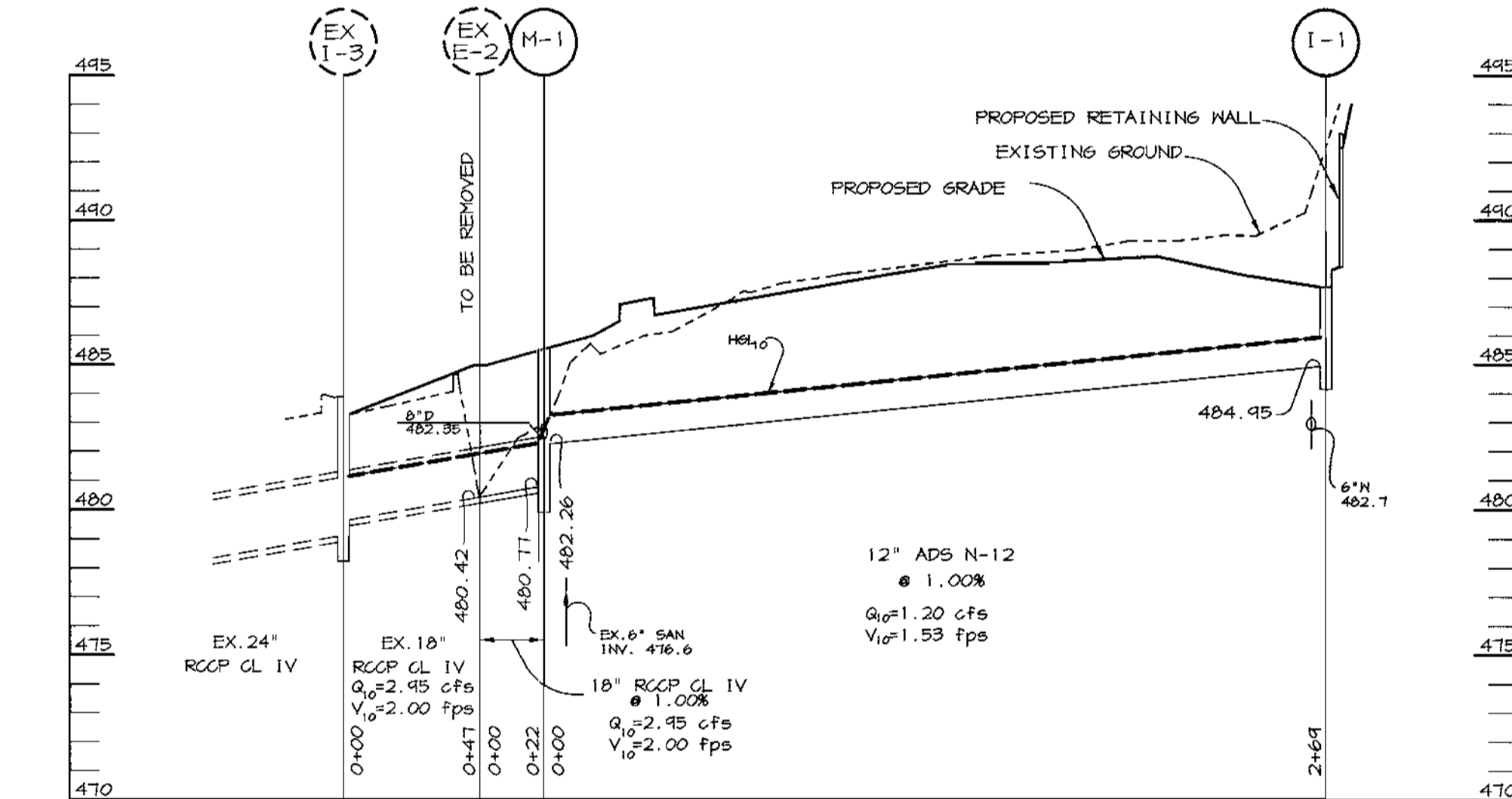
STRUCTURE SCHEDULE

STRUCTURE	TYPE	LOCATION	INV. IN	INV. OUT	TOP	REMARKS
I-1	S-INLET	* N 507, 751.84	E 852, 348.26	-	484.45 (15')	HOCO STD. DETAIL SD 4.22
M-1	4' MH	* N 507, 945.34	E 852, 235.45	482.26 (15')	480.77 (10')	HOCO STD. DETAIL 6.5.12

NOTES: * LOCATION OF "S" & "M" FACILITY INLETS AND MANHOLES IS AT CENTER OF TOP COVER; FOR "A" INLETS LOCATION IS 61VEN FOR CENTER OF THROAT OPENING AT FACE OF CURB; FOR END SECTIONS AND HEADWALLS THE LOCATION IS CENTER OF THROAT OPENING AT FACE OF STRUCTURE. TOP ELEVATION IS TOP OF CURB/GRATE/RIM.

PIPE SCHEDULE

18" RCCP, CL. IV	22 L.F.
12" ADS N-12	264 L.F.
8" PVC	225 L.F.
6" PVC	124 L.F.
6" DIP	124 L.F.



STORM PROFILE

SCALE:
HOR. - 1"=5'
VERT. - 1"=5'

BY THE DEVELOPER:
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Arthur E. Muegge 5/23/00
DEVELOPER DATE

BY THE ENGINEER:
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Bill Meyer 5/22/00
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Chief Simmons 8/15/00
NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John P. Reuter 8/15/00
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Paul A. Kittle 8/22/00
DIRECTOR DATE

John D. Williams 8/16/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Cinda Handley 5/21/00
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE NO. REVISION

DEVELOPER/OWNER:
HAMAMI PARTNERSHIP
5601 HUNTINGTON PARKWAY
BETHESDA, MARYLAND 20814
410-792-4510

PROJECT
OAKLAND EXECUTIVE PARK
PARCELS A-5 & A-6
RETAIL BUILDING

AREA
TAX MAP 30 ZONED B-1
PARCELS A-5 & A-6 BLOCK 18
2ND ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE
PROFILES AND DETAILS

RIEMER MUEGGE & ASSOCIATES INC.
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive, Columbia, MD 21045
tel 410.987.8900 fax 410.987.9282

DESIGNED BY: C.J.R.

DRAWN BY: K.C.B.

CHECKED BY: C.J.R.

PROJECT NO: 98311
DATE: JUNE 28, 2000
SCALE: AS NOTED
DRAWING NO. 5 OF 8

SDP-00-110

11/11/07 11:00 AM

STANDARD SEDIMENT CONTROL NOTES

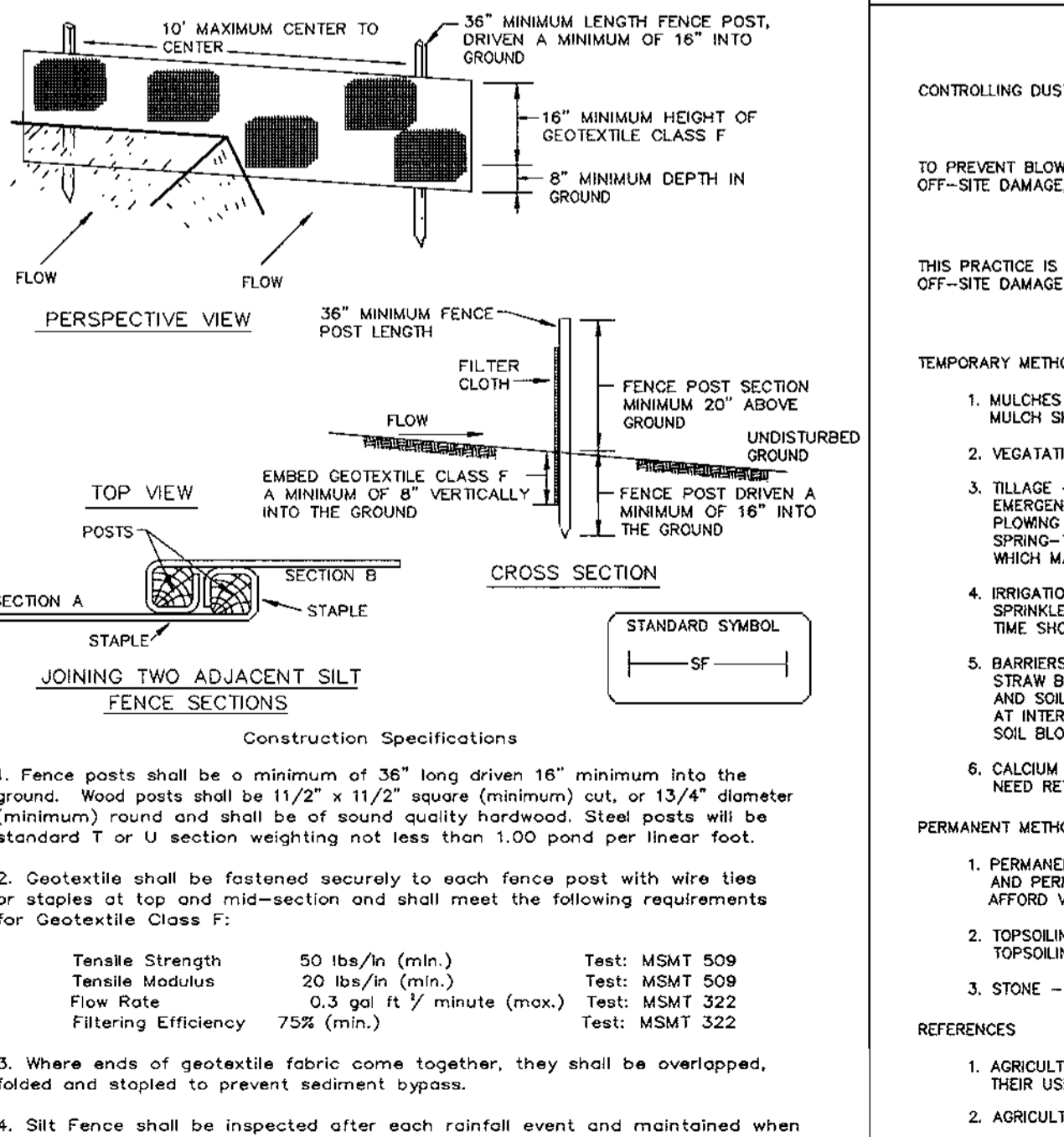
- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (319-1085).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THE PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS, SO2, TEMPORARY SEEDINGS, AND MULCHING (SEC. 6.) TEMPORARY STABILIZATION WITH MULCH ALONE SHALL ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHED OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

SILT FENCE		
Silt Fence Design Criteria		
Slope Steepness	(Maximum) Slope Length	(Maximum) Silt Fence Length
Flatter than 50:1	unlimited	unlimited
50:1 to 10:1	125 feet	1,000 feet
10:1 to 5:1	100 feet	750 feet
5:1 to 3:1	60 feet	500 feet
3:1 to 2:1	40 feet	250 feet
2:1 and steeper	20 feet	125 feet

Note: In areas of less than 2% slope and sandy soils (USDA general classification system, soil class A) maximum slope length and silt fence length will be unlimited. In these areas a silt fence may be the only perimeter control required.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-19-34 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 22 - SILT FENCE



U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-19-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

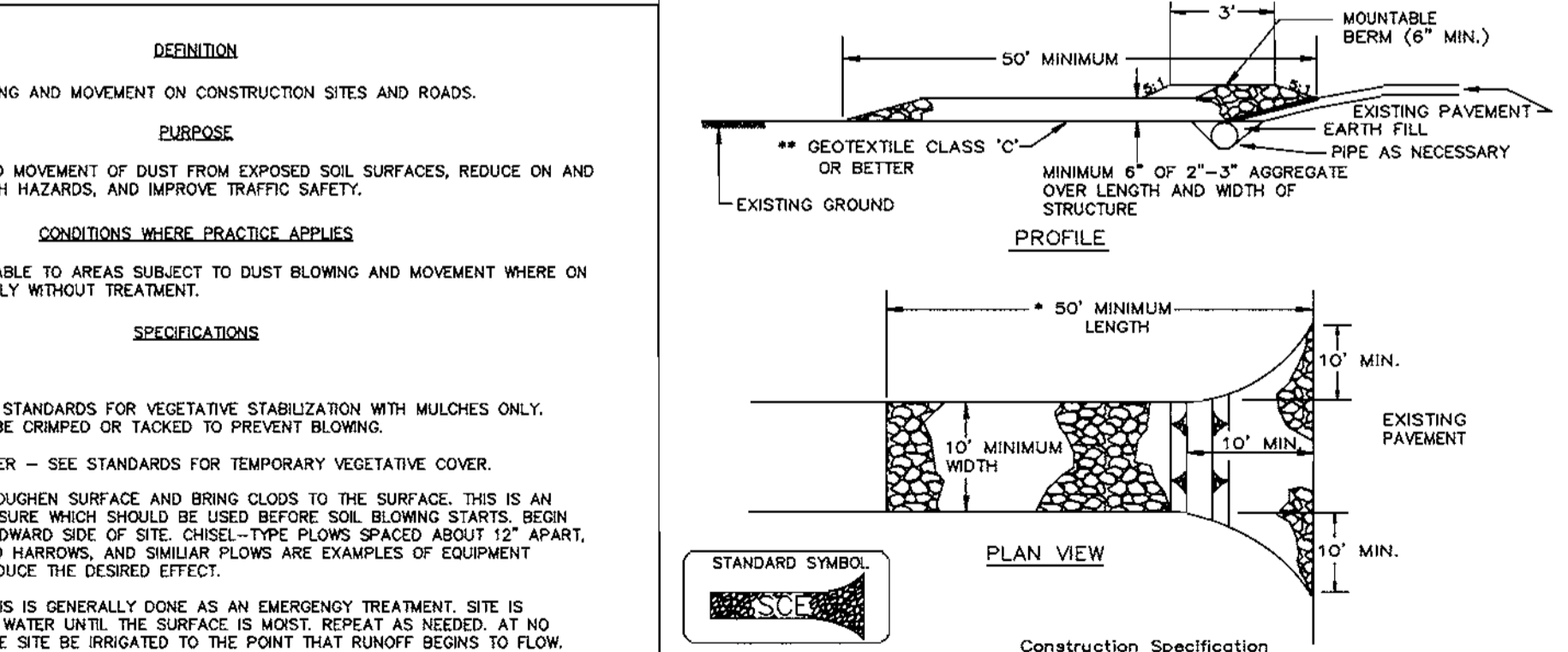
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.
- SITE GRADING WILL BEGIN ONLY AFTER ALL PERIMETER SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED AND ARE IN A FUNCTIONING CONDITION.
- SEDIMENT WILL BE REMOVED FROM TRAPS WHEN ITS DEPTH REACHES CLEAN CUT ELEVATION SHOWN ON THE PLANS.
- CUT AND FILL QUANTITIES PROVIDED UNDER SITE ANALYSIS DO NOT REPRESENT BID QUANTITIES. THESE QUANTITIES DO NOT DISTINGUISH BETWEEN TOPSOIL, STRUCTURAL FILL, OR EMBANKMENT MATERIAL, NOR DO THEY REFLECT CONSIDERATION OF UNDERCUTTING OR REMOVAL OF UNSUITABLE MATERIAL. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE CONDITIONS WHICH MAY AFFECT THE WORK.

STABILIZED CONSTRUCTION ENTRANCE

- Construction Specification
- Length - minimum of 50' (30' for single residence lot).
 - Width - 10' minimum, should be flared at the existing road to provide a turning radius.
 - Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. **The plan approval authority may not require single family residences to use geotextile.
 - Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
 - Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
 - Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE F-17-38 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



- Construction Specification
- Length - minimum of 50' (*30' for single residence lot).
 - Width - 10' minimum, should be flared at the existing road to provide a turning radius.
 - Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. **The plan approval authority may not require single family residences to use geotextile.
 - Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
 - Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
 - Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE F-17-38 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

BY THE DEVELOPER :

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Dan Jam 5/23/00
DEVELOPER DATE

BY THE ENGINEER :

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Arthur E. Muegge 6/20/00
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Joseph Simmons 8/14/00
NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Roberts 8/14/00
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Joseph Simmons 8/22/00
DIRECTOR DATE

Chris Harvath 8/16/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Chris Harvath 8/21/00
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE NO.	REVISION

DEVELOPER/OWNER:

HAMAMI PARTNERSHIP
5601 HUNTINGTON PARKWAY
BETHESDA, MARYLAND 20814
410-742-4510

PROJECT
OAKLAND EXECUTIVE PARK
PARCELS A-5 & A-6
RETAIL BUILDINGS

AREA TAX MAP 30 ZONED B-1
PARCELS A-5 & A-6, BLOCK 1B
2nd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

DETAILS AND NOTES

RIEMER MUEGGE & ASSOCIATES INC.
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive, Columbia, MD 21045
Tel 410.987.8900 Fax 410.987.8282

DATE

DESIGNED BY : C.J.R.

DRAWN BY : K.C.B.

CHECKED BY : C.J.R.

PROJECT NO : 98311
/SDP6.DWG

DATE : JUNE 26, 2000

SCALE : AS NOTED

DRAWING NO. 6 OF 6

Arthur E. Muegge
ARTHUR E. MUEGGE #8707

SCHEDULE A - PERIMETER LANDSCAPE EDGE				
PERIMETER	ADJACENT TO PERIMETER PROPERTIES			ADJACENT TO ROADWAYS
	* 1	* 2	* 4	3
LANDSCAPE TYPE	N/A	N/A	N/A	E
LINEAR FEET OF ROADWAY FRONTAGE/ PERIMETER	± 110'	± 290'	± 290'	± 120'
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO
CREDIT FOR WALL, FENCE, BERM OR DRIVE AISLE (YES/NO) (LINEAR FEET)	NO	NO	NO	** YES ± 120'
NUMBER OF PLANTS REQUIRED				(@1/40') = 3
SHADE TREES	N/A	N/A	N/A	-
EVERGREEN TREES				(@1/4') = **
SHRUBS				
NUMBER OF PLANTS PROVIDED				3
SHADE TREES	N/A	N/A	N/A	1
EVERGREEN TREES				1
SMALL FLOWERING TREES				1
SHRUBS				0

SCHEDULE 'A' NOTES:

- REGULATIONS DO NOT REQUIRE LANDSCAPE EDGES, BUFFERING, OR SCREENING BETWEEN INTERNAL LOTS OR PARCELS WITHIN THE SAME DEVELOPMENT. (PAGE 17 OF THE HO.CO. LANDSCAPE MANUAL)
- A BERM THAT IS A MINIMUM OF 3 FEET HIGH, OR A CHANGE IN GRADE THAT CAUSES A PARKING LOT TO BE LOCATED LOWER THAN THE ADJACENT ROADWAY BY 3 FEET OR MORE, MAY BE SUBSTITUTED FOR SHRUB PLANTING IN A 'TYPE E' LANDSCAPE BUFFER.

SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING	
PARKING LOT	*1
NUMBER OF PARKING SPACES	30
NUMBER OF SHADE TREES REQUIRED (1/20 SPACES)	2
NUMBER OF TREES PROVIDED	3
SHADE TREES	0
OTHER TREES (2:1 SUBSTITUTION)	
NUMBER OF ISLANDS REQUIRED (200 SF. AREA / ISLAND)	2
NUMBER OF ISLANDS PROVIDED	2

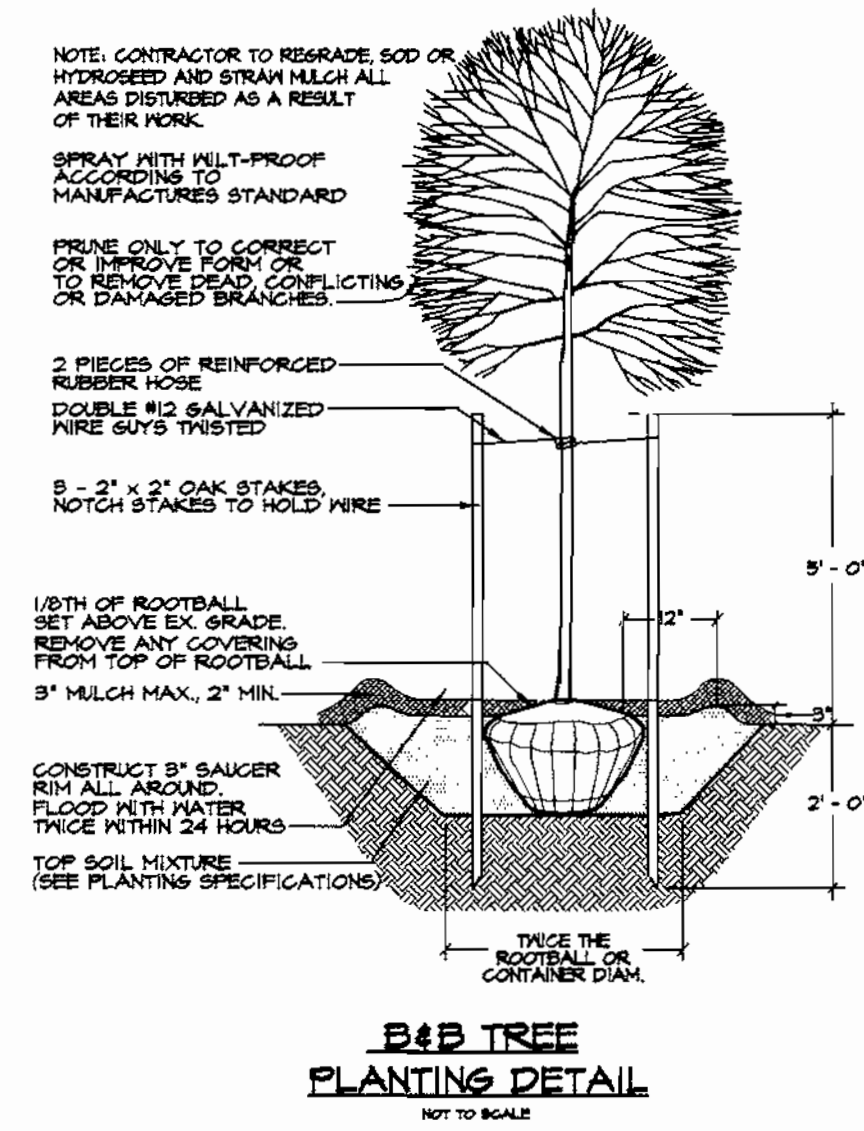
SCHEDULE 'B' NOTES:

- EXPANSION OF PARKING LOTS BY LESS THAN 50% SHALL BE REQUIRED TO PROVIDE LANDSCAPING FOR THE ADDITIONAL DEVELOPMENT ONLY. (PAGE 3 OF THE HO.CO. LANDSCAPE MANUAL)

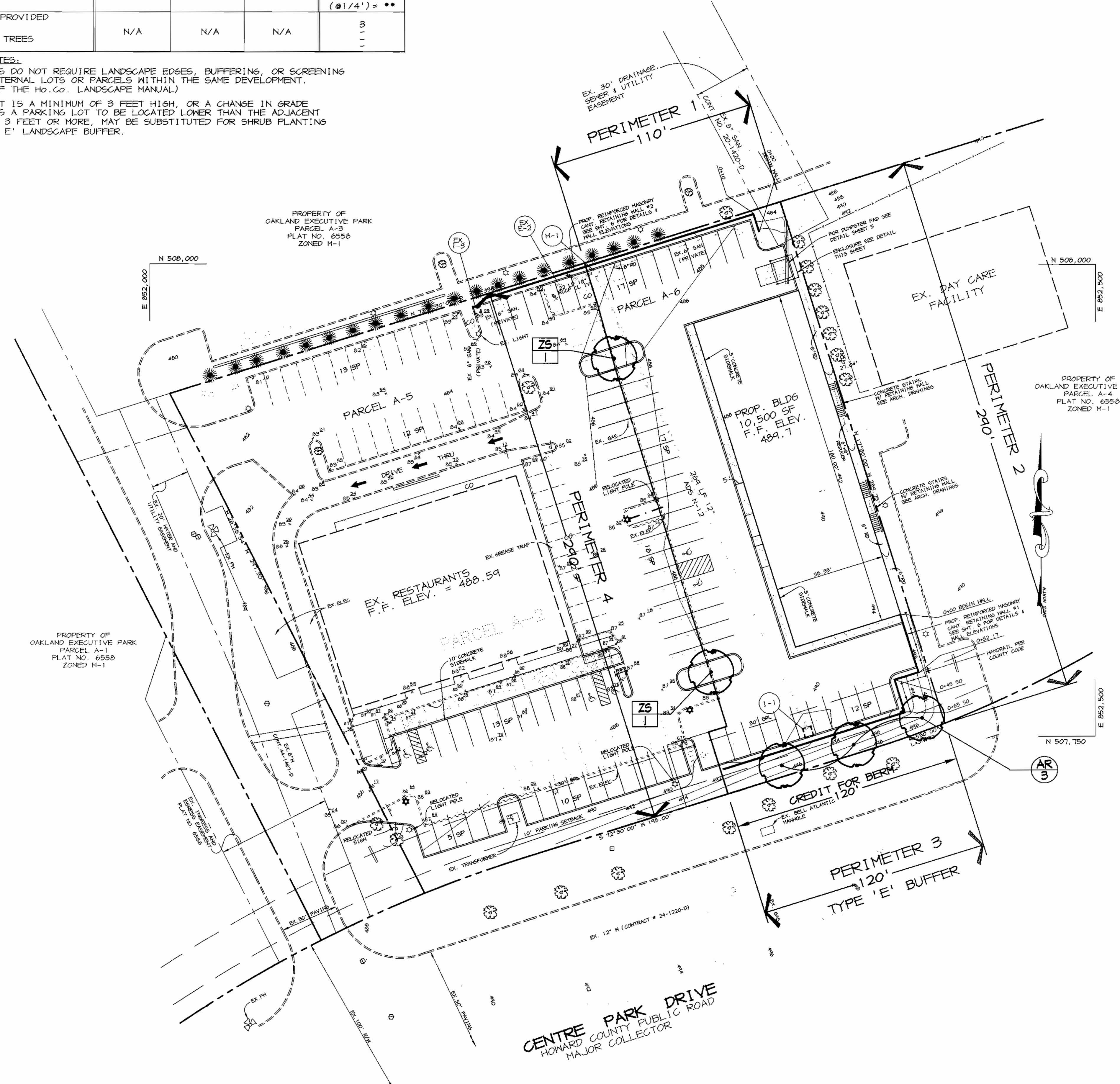
PLANT LIST					
SYMBOL	QTY.	SCIENTIFIC/COMMON NAME	SIZE	ROOT	SPACING
AR	3	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE	2 1/2" - 3" CAL.	B#B	PLANT AS SHOWN
ZS	2	ZELKOVA SERRATA 'GREEN VASE' GREEN VASE ZELKOVA	2 1/2" - 3" CAL.	B#B	PLANT AS SHOWN

PLANT LIST NOTES:

SURETY AMOUNT IS BASED ON REQUIRED LANDSCAPE MATERIAL ONLY. SEE GENERAL NOTE #2 FOR SURETY TOTAL.



LANDSCAPE LEGEND	
EX. TREES	
PROP. SHADE TREE	
PROP. SHRUB	
PERIMETER LANDSCAPE REQUIREMENT	
PARKING LOT LANDSCAPE REQUIREMENT	



GENERAL NOTES:

- "THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$1,500.
- THIS PLAN IS FOR LANDSCAPING PURPOSES ONLY.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.

DEVELOPER'S/BUILDER'S CERTIFICATE:

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

5-23-00 DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.	
<i>[Signature]</i> DIRECTOR	8/22/00 DATE
<i>[Signature]</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	8/16/00 DATE
<i>[Signature]</i> CHIEF, DIVISION OF LAND DEVELOPMENT	5/4/00 DATE

DATE NO.	REVISION
DEVELOPER/OWNER: HAMAMI PARTNERSHIP 5601 HUNTINGTON PARKWAY BETHESDA, MARYLAND 20814 410-792-4510	
PROJECT OAKLAND EXECUTIVE PARK PARCELS A-5 & A-6 RETAIL BUILDING	
AREA TAX MAP 30 ZONED B-1 PARCELS A-5 & A-6, BLOCK 1B 2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND	
TITLE LANDSCAPE PLAN	

RIEMER MUEGGE & ASSOCIATES INC.
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive, Columbia, MD 21045
tel 410.967.8800 fax 410.967.8282

5.22.2000
DATE

DESIGNED BY: A.J.L.
DRAWN BY: A.J.L.
CHECKED BY: D.T.D.
PROJECT NO: 98311
DATE: JUNE 20, 2000
SCALE: 1" = 30'
DRAWING NO. 7 OF 8

DAVID H. DOWS #830

SPECIFICATION GUIDELINES KEYSTONE CONCRETE MODULAR RETAINING WALL

■ PART 1: GENERAL

1.01 DESCRIPTION
 A. Work includes furnishing and installing modular block retaining wall units to the lines and grades designated on the construction drawings and as specified herein.
 B. Work includes preparing foundation soil, furnishing and installing leveling pad, unit fill and backfill to the lines and grades designated on the construction drawings.
 C. Furnishing and installing all appropriate materials required for construction of the retaining wall as shown on the construction drawings.

1.02 RELATED WORK

A. Section 0275 - Geogrid Soil Reinforcement.

1.03 REFERENCE STANDARDS

- A. ASTM C90 - 88 Hollow Load Bearing Masonry Units.
- B. ASTM C140 - 78 Sampling and Testing Concrete Masonry Units.
- C. ASTM C145 - 88 Solid Load Bearing Concrete Masonry Units.

1.04 DELIVERY, STORAGE AND HANDLING

A. Contractor shall check the materials upon delivery to assure that proper material has been received.
 B. Contractor shall prevent excessive mud, wet cement, epoxy, and like materials which may adhere themselves, from coming in contact with the materials.
 C. Contractor shall protect the materials from damage. Damaged material shall not be incorporated into the retaining wall structure.

1.05 SUBMITTALS

A. Samples of all products used in the work of this section.
 B. Latest edition of manufacturer specifications for proposed materials, method of installation and list of material proposed for use.

1.06 QUALITY ASSURANCE

A. Soil testing and inspection services for quality control testing during earthwork operations will be supplied by the owner.

■ PART 2: PRODUCTS

2.01 CONCRETE UNITS

A. Masonry units shall be Keystone® Retaining Wall Units as manufactured by:
 B. Concrete wall units shall have a minimum net 28 day compressive strength of 3000 psi. The concrete shall have a maximum moisture absorption of 8 to 8.5 lb/ft³.
 C. Exterior dimensions may vary in accordance with ASTM C140-88. Standard and Compac units shall have a minimum of 1 square foot face area each. Mini units shall have a minimum 1/2 square foot face area each.
 D. Keystone Standard units shall provide a minimum of 100 sq ft of wall face area. Fill which is contained within the dimensions of the units may be considered as 30% effective weight.

2.02 FIBERGLASS CONNECTING PINS

A. Connecting pins shall be 1/2 inch diameter thermoset isophthalic polyester resin/pultruded fiberglass pins.
 B. Pins shall have a minimum flexural strength of 120,000 psi and a short shear strength of 6000 psi.
 C. Pins shall be installed in the wall face.

2.03 BASE LEVELING PAD MATERIAL

A. Material shall consist of compacted sand, gravel, crushed rock or leveling concrete (non-reinforced) as shown on construction drawings. The compacted leveling pad shall be a minimum 8 inches thick. When using a non-reinforced leveling concrete option, 1" to 3" thick, maintain the total leveling pad thickness.
 B. Material shall be free draining crushed stone, 3/4" or larger gravel (no more than 5% shall pass the No. 200 sieve with a maximum of 10% passing the No. 10 sieve) shall be approved by the Engineer.

2.04 UNIT FILL

A. Fill for units shall be free draining crushed stone, 3/4" or larger gravel (no more than 5% shall pass the No. 200 sieve with a maximum of 10% passing the No. 10 sieve) shall be approved by the Engineer.
 B. Place recommended fill behind the retaining wall units.
 C. Backfill shall be installed in lifts as specified in the drawings. Unstable soils for backfill (heavy clay or organic soils) shall not be used in the backfill or in the reinforced soil mass.
 D. Where additional fill is required contractor shall submit sample and specifications to the engineer for determination of acceptability.

■ PART 3: EXECUTION

3.01 EXCAVATION

A. Contractor shall excavate to the lines and grades shown on the construction drawings. Over excavation shall not be paid for and replacement with compacted fill and/or wall system components will be required at finished grade. Contractor shall be careful not to disturb or overexcavate materials beyond lines shown.
 B. Foundation soil shall be excavated as required for footing dimensions shown on the construction drawings, or as directed by the Engineer.

3.02 FOUNDATION SOIL PREPARATION

A. Foundation soil shall be excavated as required for footing dimensions shown on the construction drawings, or as directed by the Engineer.

3.03 BASE LEVELING PAD

A. Leveling pad materials shall be placed as shown on the construction drawings upon undisturbed in-situ soils to a minimum thickness of 8 inches.
 B. Material shall be compacted so as to provide a level hard surface on which to place the first course of units. Compaction shall be to 95% of standard proctor for sand or gravel type materials. For crushed rock, material shall be densely compacted.
 C. Leveling pad shall be prepared to insure complete contact of retaining wall unit with base.
 D. Leveling pad material shall be placed to the depth and width shown. Contractor may opt for varying depth of sand, gravel or crushed rock using a cohesive topsoil. Concrete shall be reinforced with a maximum of 1" to 3" thick.

3.04 UNIT INSTALLATION

A. First course of concrete wall units shall be placed on the base leveling pad. The units shall be checked for level and alignment. The first course is the most important to insure accurate and acceptable results.
 B. Units are placed side by side for full length of wall alignment. Alignment may be done by means of a string line or offset from base line.
 C. Install fiberglass connecting pins and fill all voids with unit fill material. Tamp in.
 D. Sweep all excess material from top of units and install next course. Install each course to completely unit filled, backfilled and compacted prior to proceeding to next course.
 E. Lay up each course insuring that pins protrude into adjoining courses above a minimum of one inch. Two pins are required per unit. Pull each unit forward, away from the embankment, against pins in the previous course and backfill as the course is completed. Repeat procedure to the extent of wall height.
 F. As appropriate where the wall changes elevation, units can be stopped with grade or forced into the embankment with a convex return end. Provide appropriate buried units on compacted leveling pad in area of convex return end.

3.05 CAP INSTALLATION

A. Place Keystone Cap units over projecting pins from units below. Pull forward to set back position. Back fill and compact to finished grade.
 B. As required, provide permanent mechanical connection to wall units with construction adhesive or epoxy. Apply adhesive or epoxy to bottom surface of cap units and install on units below.

3.06 GEGRID INSTALLATION

A. Follow the requirements of Section 0275, GEGRID SOIL REINFORCEMENT.

GEGRID SOIL REINFORCEMENT

■ PART 1: GENERAL

1.01 DESCRIPTION
 A. Work includes furnishing and installing geogrid reinforcement, wall fill, and backfill to the lines and grades designated on the construction drawings.
 B. Work includes furnishing and installing all appropriate materials required for construction of the geogrid reinforced soil retaining wall as shown on the construction drawings.

1.02 RELATED WORK

A. Section 0275 - KEYSTONE CONCRETE MODULAR RETAINING WALL.

1.03 REFERENCE STANDARDS

- A. See specific geogrid manufacturer reference standards.
- B. Geogrids shall be stored above +20°F.
- C. Contractor shall prevent excessive mud, wet cement, epoxy and like materials which may adhere themselves to the geogrid, from coming in contact with the geogrid material.
- D. Rolled geogrid material may be laid flat or stored on end for storage.

1.04 DELIVERY, STORAGE AND HANDLING

A. Contractor shall check the geogrid upon delivery to assure that the proper material has been received.
 B. Geogrids shall be stored above +20°F.

1.05 SUBMITTALS

A. Samples of all products used in the work of this section.
 B. Latest edition of manufacturer specifications for proposed materials, method of installation and list of material proposed for use.

1.06 QUALITY ASSURANCE

A. Soil testing and inspection services for quality control testing during earthwork operation will be supplied by the owner.

■ PART 2: PRODUCTS

2.01 DEFINITIONS

A. Geogrid products shall be high density polyethylene expanded sheet or polyester woven fiber materials, specifically fabricated for use as soil reinforcement.
 B. Concrete retaining wall units are as detailed on the drawings and are specified under Section 0275 - KEYSTONE CONCRETE MODULAR RETAINING WALL.
 C. Wall fill is a free draining granular material used within the concrete units.
 D. Backfill is the soil which is used as fill for the reinforced soil mass.
 E. Foundation soil to the in-situ soil.

2.02 GEGRID

A. Geogrid shall be the type as shown on the drawings and are specified under Section 0275 - KEYSTONE CONCRETE MODULAR RETAINING WALL.
 B. Manufacturer's product shall be approved by the Engineer prior to bid opening.

2.03 ACCEPTABLE MANUFACTURERS

A. A manufacturer's product shall be approved by the Engineer prior to bid opening.

■ PART 3: EXECUTION

3.01 FOUNDATION SOIL PREPARATION

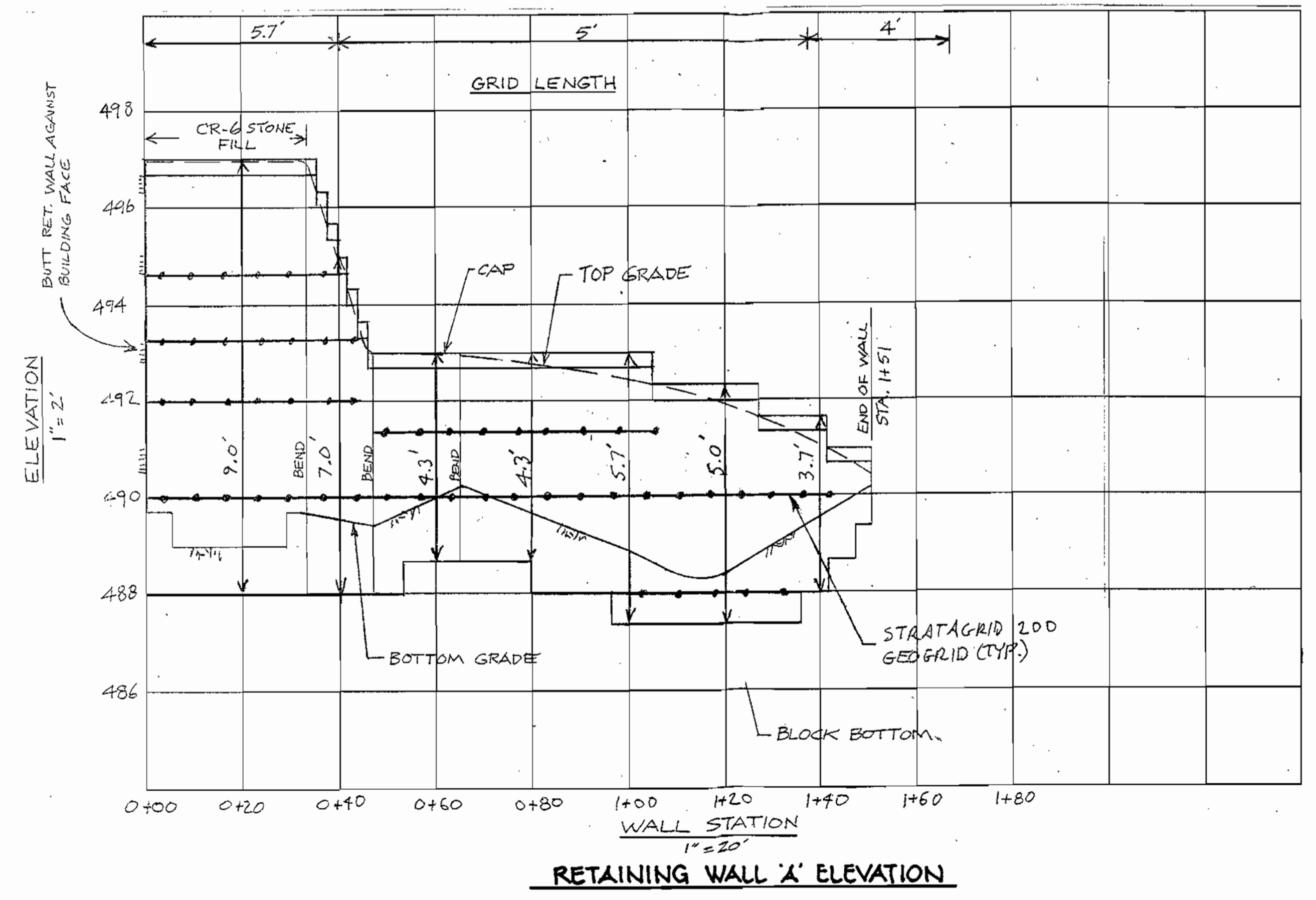
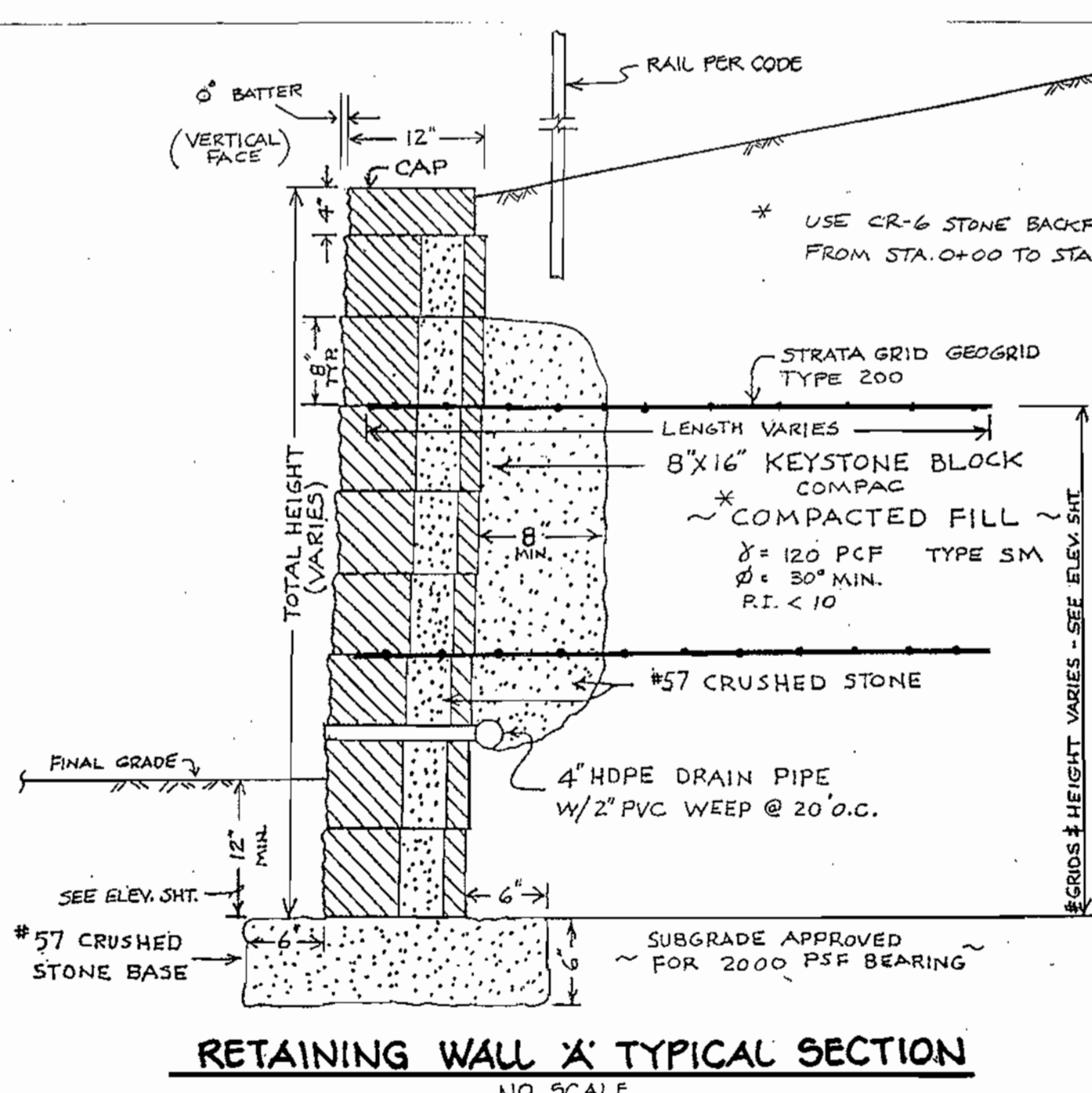
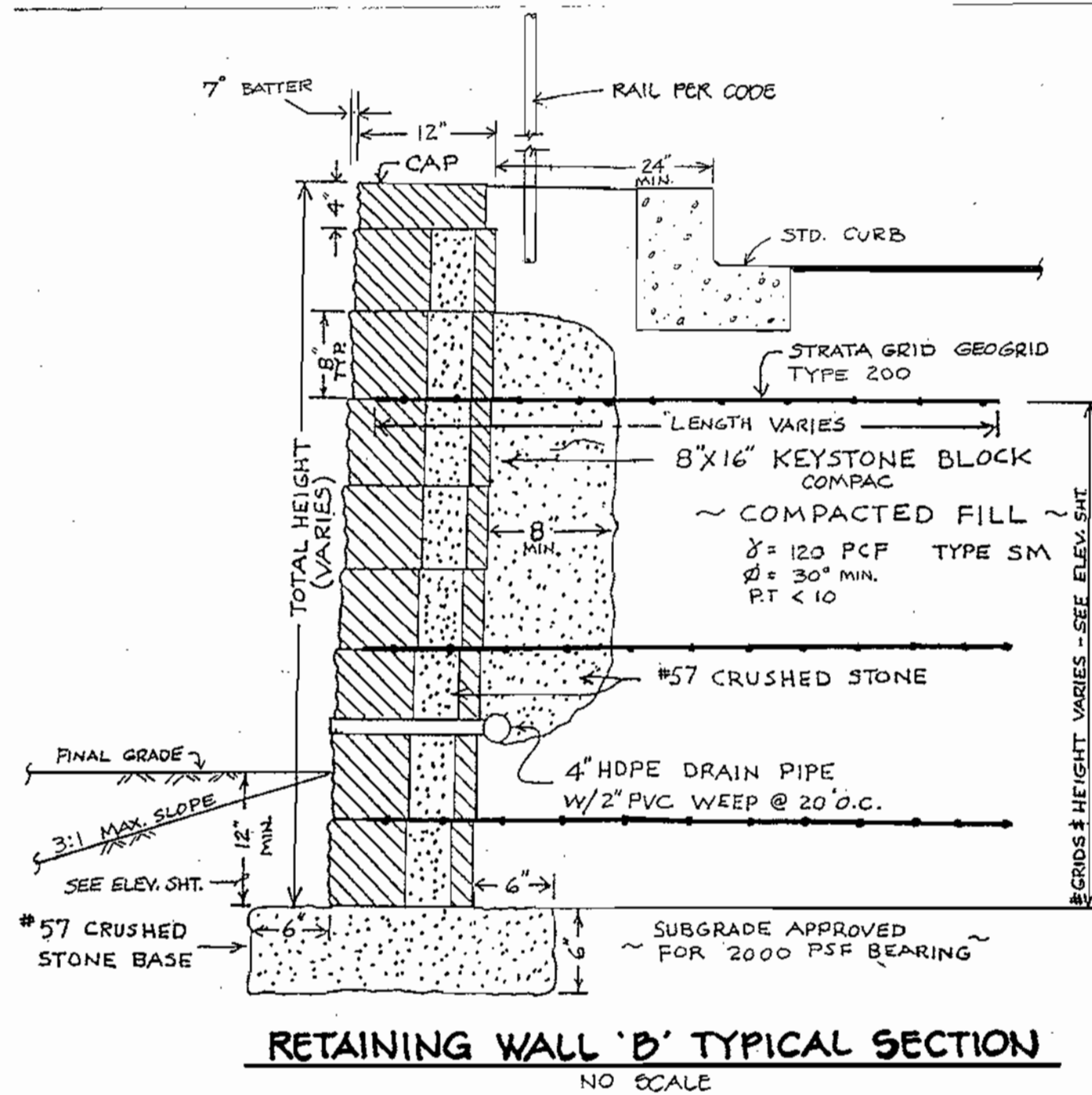
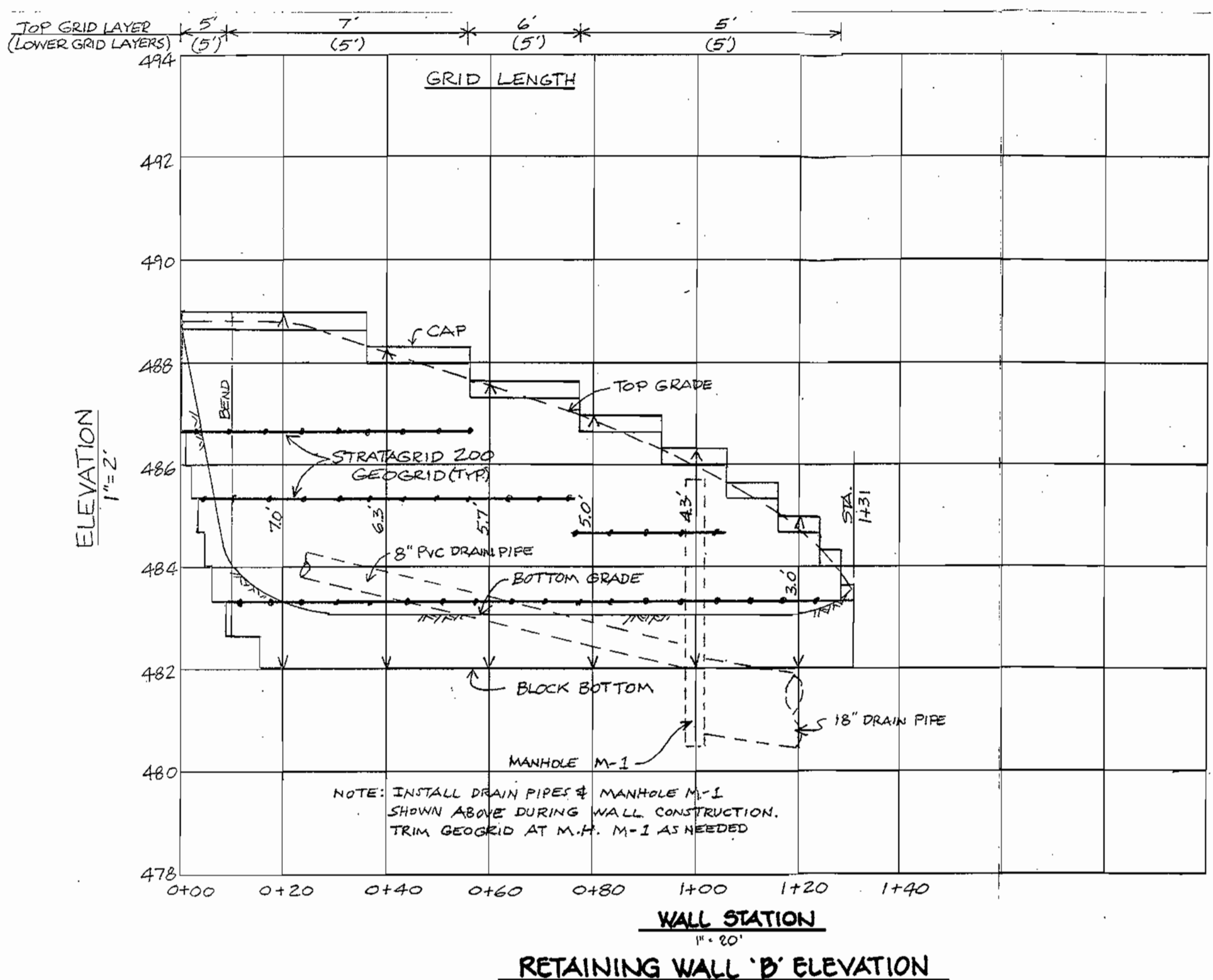
A. Foundation soil shall be excavated to the lines and grades as shown on the construction drawings or as directed by the Engineer.
 B. Foundation soil shall be excavated to the actual foundation soil strength meets or exceeds assumed design strength. Soil not meeting required strength shall be removed and replaced with acceptable material.
 C. Over-excavated areas shall be filled with approved compacted backfill material.
 D. Foundation soil shall be proof rolled prior to fill and geogrid placement.

3.02 WALL SECTIONS

A. Wall section shall be as specified under Section 0275 - KEYSTONE CONCRETE MODULAR RETAINING WALL.

3.03 GEGRID INSTALLATION

A. The geogrid soil reinforcement shall be laid horizontally on compacted backfill. Connect to the concrete wall units by hooking geogrid over fiberglass pins. Pull taut, and anchor before backfill is placed on the geogrid.
 B. Block in the geogrid at the wall unit connections shall be removed.
 C. Geogrid shall be laid at the proper elevation and orientation as shown on the construction drawings or as directed by the Engineer.
 D. Connect orientation (roll direction) of the geogrid shall be verified by the contractor.
 E. To prevent geogrid pull placed geogrid tent to eliminate loose folds. Stake or secure back edge of geogrid prior to wind drying backfill and compaction.
 F. Follow manufacturer guidelines relative to overlap requirements of certain and standard geogrids.
 G. Only hand-operated equipment shall be allowed within 3 feet of the back surface of the Keystone units.
 H. Backfill shall be placed from the wall rearward into the embankment to insure that the geogrid remains taut.
 I. Tracked construction equipment shall not be operated directly on the geogrid. A minimum track thickness of 8 inches is required prior to operation of tracked vehicles over the geogrid. Turning of tracked vehicles should be kept to a minimum to prevent tracks from displacing the fill and damaging the geogrid.
 J. Rubber-tired equipment may pass over the geogrid reinforcement at slow speeds, less than 10 MPH. Sudden braking and sharp turning should be avoided.

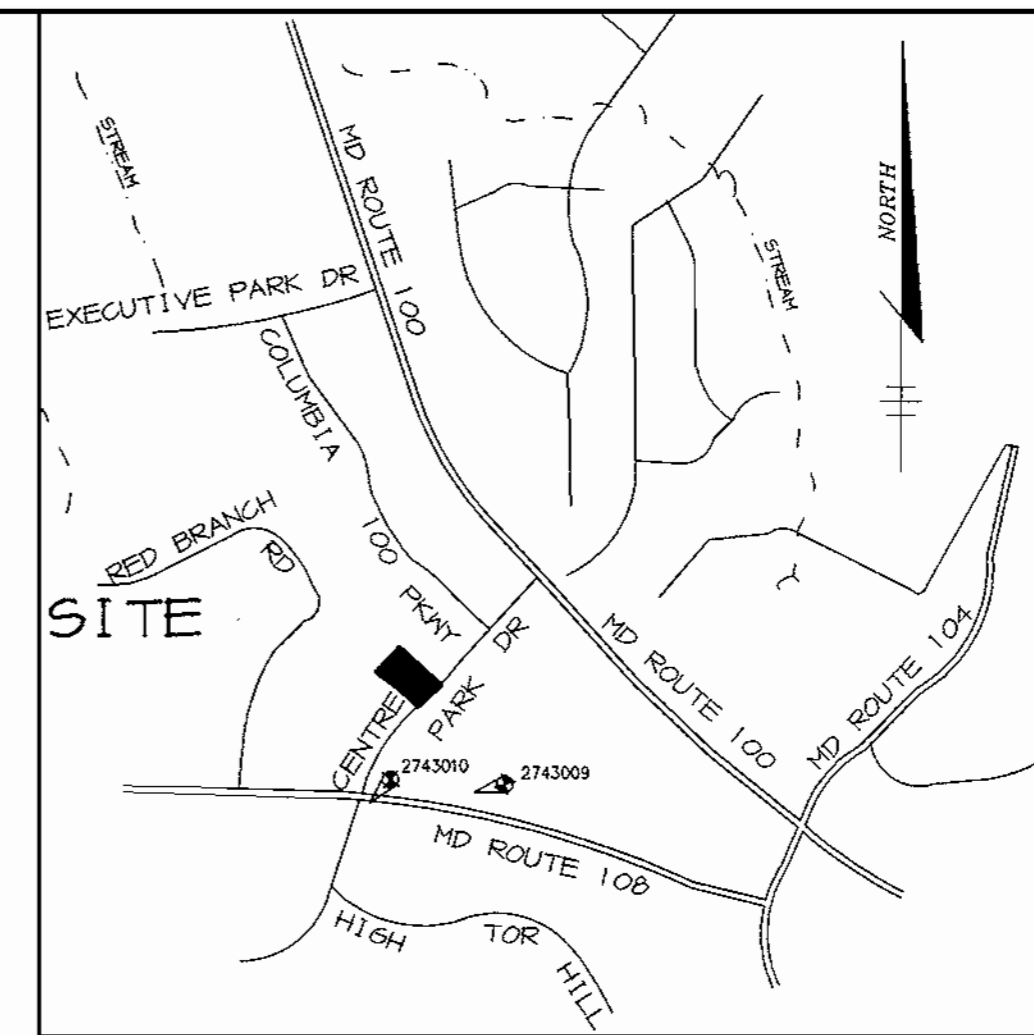


NOTE: WALLS TO BE CONSTRUCTED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING	
<i>[Signature]</i> DIRECTOR	8/22/00 DATE
<i>[Signature]</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	8/16/00 DATE
<i>[Signature]</i> CHIEF, DIVISION OF LAND DEVELOPMENT	8/21/00 DATE
DATE NO.	REVISION
DEVELOPER/OWNER: HAMAMI PARTNERSHIP 5601 HUNTINGTON PARKWAY BETHESDA, MARYLAND 20814 410-742-4510	
PROJECT OAKLAND EXECUTIVE PARK PARCELS A-5 & A-6 RETAIL BUILDINGS	
AREA TAX MAP 30 ZONED B-1 PARCELS A-5 & A-6 BLOCK 18 2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND	
TITLE RETAINING WALL DETAILS	
HILLIS-CARNES ENGINEERING ASSOCIATES, INC. 12011 GUILFORD ROAD, ANNAPOLIS JUNCTION, MARYLAND 20701 Bldg. 410.880.4788 DC Memo 801.470.4238 Fax 410.880.4090	
8/1/00 DATE	DESIGNED BY :
	DRAWN BY :
	CHECKED BY :
	PROJECT NO : 98311
	DATE : MAY 22, 2000
	SCALE :
	DRAWING NO. 8 OF 8

SHEET INDEX	
No.	DESCRIPTION
1	TITLE SHEET
2	EXISTING CONDITIONS/DEMOLITION PLAN
3	SITE DEVELOPMENT PLAN
4	GRADINGS, SEDIMENT CONTROL & DRAINAGE AREA MAP
5	DETAILS, NOTES & PROFILES
6	NOTES AND STRUCTURAL DETAILS
7	LANDSCAPE PLAN
8	RETAINING WALL DETAILS

SITE DEVELOPMENT PLAN OAKLAND EXECUTIVE PARK PARCELS A-5 & A-6 2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND



VICINITY MAP
SCALE: 1"=2000'

BENCHMARKS

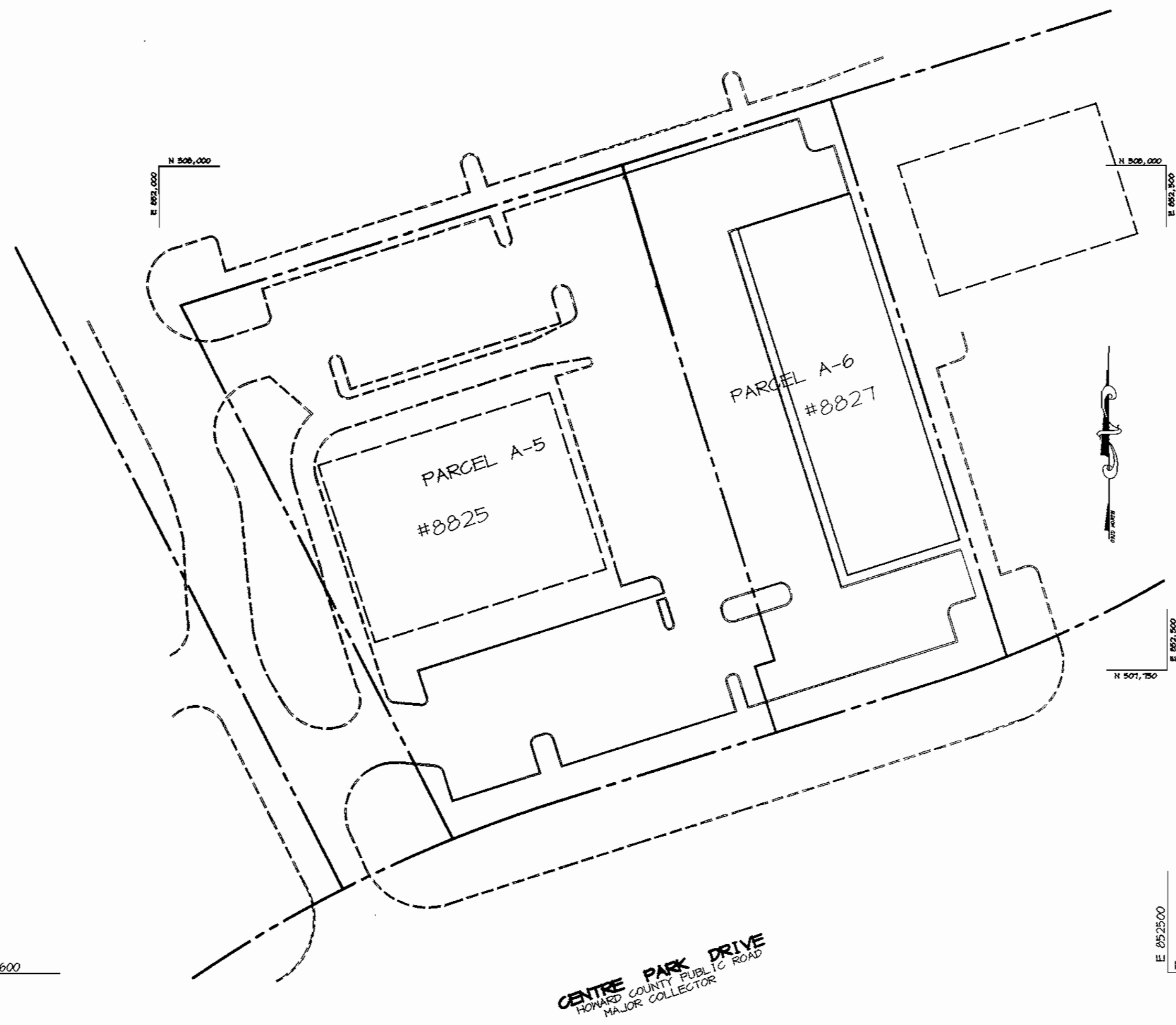
HO. CO. SURVEY CONTROL STATION	HO. CO. SURVEY CONTROL STATION
2143001	2143010
N 507,261 E 852,631	N 507,089 E 851,924
ELEV. 530.07	ELEV. 482.29

SITE ANALYSIS DATA CHART

PARCEL A-5	1.36 AC. (59,128 SF)
PARCEL A-6	0.74 AC. (32,347 SF)
TOTAL AREA	2.10 AC. (91,475 SF)
LIMIT OF DISTURBED AREA	1.15 AC. (49,911 SF)
CURRENT ZONING	B-1
PROPOSED USE	A RETAIL STORE CARRY OUT
BUILDING FLOOR AREA	8,750 SQ. FT. RESTAURANT 1,750 SQ.FT.
BUILDING COVERAGE OF SITE	0.24 AC. 33% OF GROSS AREA
REQUIRED PARKING RETAIL:	6 SPACES PER/100 SQ.FT. = 11 SPACES.
PROPOSED PARKING	5 SPACES PER/1000 SF* = 44 SPACES (INCLUDES 2 HC SPACES)
APPLICABLE DPZ	F-86-34, S-84-33, MP-84-111
FILE REFERENCES	F-84-174, SDP-86-158, SDP-93-61 BA-92-44E, ZB-983M.

* PER HOWARD COUNTY ZONING REGULATIONS SECTION 133
** SEE LETTER DATED 9-17-99 FROM HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING WHICH PERMITTED UP TO 15 SHARED PARKING SPACES

△ LOCATED ON PARCEL A-5 TO BE SHARED WITH PARCEL A-6 USE. SEE ALSO MARCH 6, 2001 PARKING AGREEMENT ADDENDUM LETTER FROM H.C. DPZ WHICH INCREASED THE PERMITTED SHARED PARKING TO 16 SPACES.



PLAN
SCALE: 1"=50'

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/ CONSTRUCTION INSPECTION DIVISION AT (410) 313-1820 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY RIEMER MUEGGE & ASSOCIATES DATED OCT. 1999.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS 2143001 AND 2143010 WERE USED FOR THIS PROJECT.
- WATER IS PUBLIC. CONTRACT NO. 44-1467-D
- SEWER IS PUBLIC. SEWER DRAINAGE AREA PATUXENT CONTRACT NO. 20-1420-D
- STORMWATER MANAGEMENT FOR THIS SITE IS PROVIDED BY A PRIVATE REGIONAL SHM POND CONSTRUCTED UNDER F-84-174 AND A PRIVATE OIL GRIT SEPARATOR CONSTRUCTED UNDER SDP-93-61.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- NO 100- YEAR FLOODPLAIN IMPACTS THIS PROJECT.
- NO WETLANDS IMPACT THIS PROJECT.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP DATED FEB. 2000 AND WAS APPROVED ON APRIL 27, 2000, BY THE DEVELOPMENT ENGINEERING DIVISION.
- NO NOISE STUDY IS REQUIRED.
- NO GEOTECHNICAL STUDY FOR STORMWATER MANAGEMENT IS NEEDED FOR THIS PROJECT.
- THE BOUNDARY SURVEY FOR THIS PROJECT IS BASED ON RECORD PLAT 6558.
- SUBJECT PROPERTY ZONED B-1 PER 10-18-93 COMPREHENSIVE ZONING PLAN.
- ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
- SEE DEPARTMENT OF PLANNING AND ZONING FILE NOS. F-86-34, S-84-33, MP-84-111, F-84-174, SDP-93-61, SDP-86-158, BA-92-44E, ZB-983M.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD.
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE.
- ALL STORM DRAIN PIPE BEDDING SHALL BE CLASS 'C' AS SHOWN IN FIG. 11.4, VOLUME I OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE NOTED.
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- STORM DRAIN TRENCHES WITHIN ROAD RIGHT OF WAY SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.E., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, LATEST AMENDMENTS.
- PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T100.
- THIS SUBDIVISION IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1202(b)(1)(iii) OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BECAUSE IT HAS A GRADINGS PERMIT APPROVAL PRIOR TO DECEMBER 31, 1992, AND DOES NOT EXPAND UPON THE LIMITS OF DISTURBANCE SHOWN ON THOSE PLANS.
- AN AGREEMENT BETWEEN PARCEL A-5 AND PARCEL A-6 REGARDING CROSS-USE OF ACCESS, PARKING, UTILITIES, SIGNAGE AND STORMWATER MANAGEMENT HAS BEEN RECORDED IN L 5069, F. 819 ON APRIL 14, 2000.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING	
<i>Scott Bates</i> DIRECTOR	8/22/00 DATE
<i>John W. Williams</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	8/16/00 DATE
<i>Cindy Hammit</i> CHIEF, DIVISION OF LAND DEVELOPMENT	8/21/00 DATE

43-01	△ MODIFY PARKING DATA.	
DATE	NO.	REVISION

DEVELOPER/OWNER:
HAMAMI PARTNERSHIP
5601 HUNTINGTON PARKWAY
BETHESDA, MARYLAND 20814
410-742-4510

PROJECT
OAKLAND EXECUTIVE PARK
PARCELS A-5 & A-6
RETAIL BUILDING

AREA TAX MAP 30 ZONED B-1
PARCELS A-5 & A-6, BLOCK 18
2nd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE
TITLE SHEET

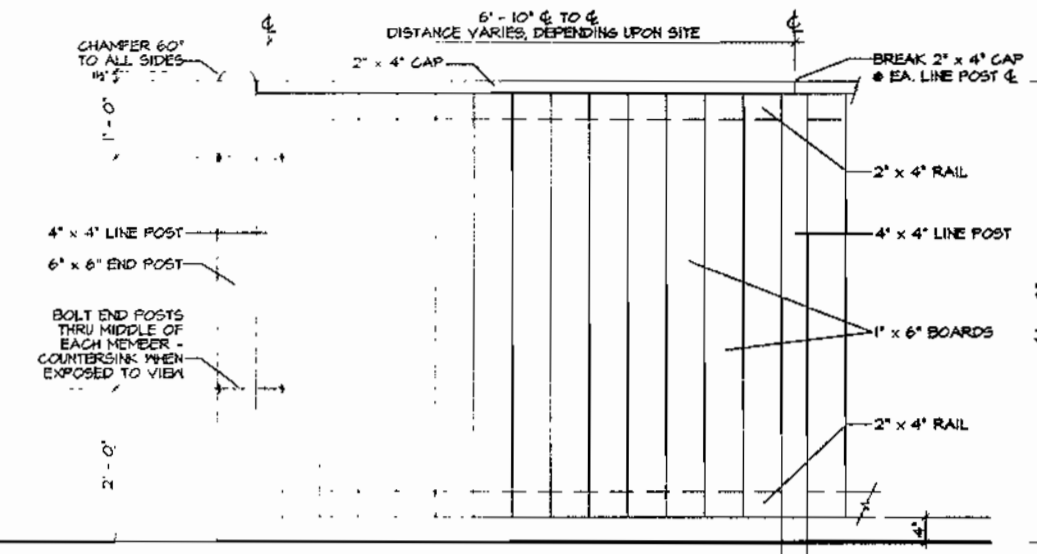
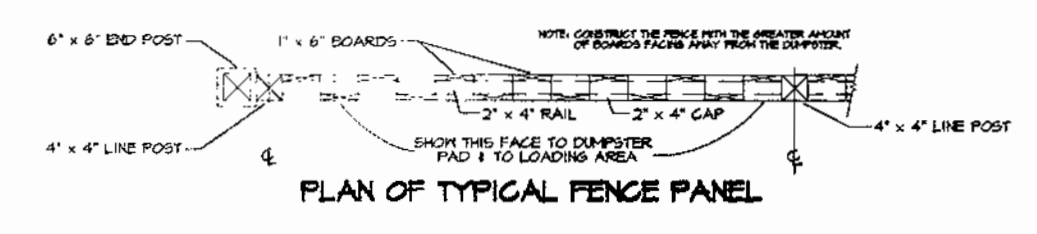
RIEMER MUEGGE & ASSOCIATES INC
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive, Columbia, MD 21045
tel 410.997.8800 fax 410.997.8282

DESIGNED BY: C.J.R.
DRAWN BY: K.C.B.
CHECKED BY: C.J.R.
PROJECT NO: 98311 SDP1.DWG
DATE: JUNE 26, 2000
SCALE: AS SHOWN
DRAWING NO. 1 OF 8

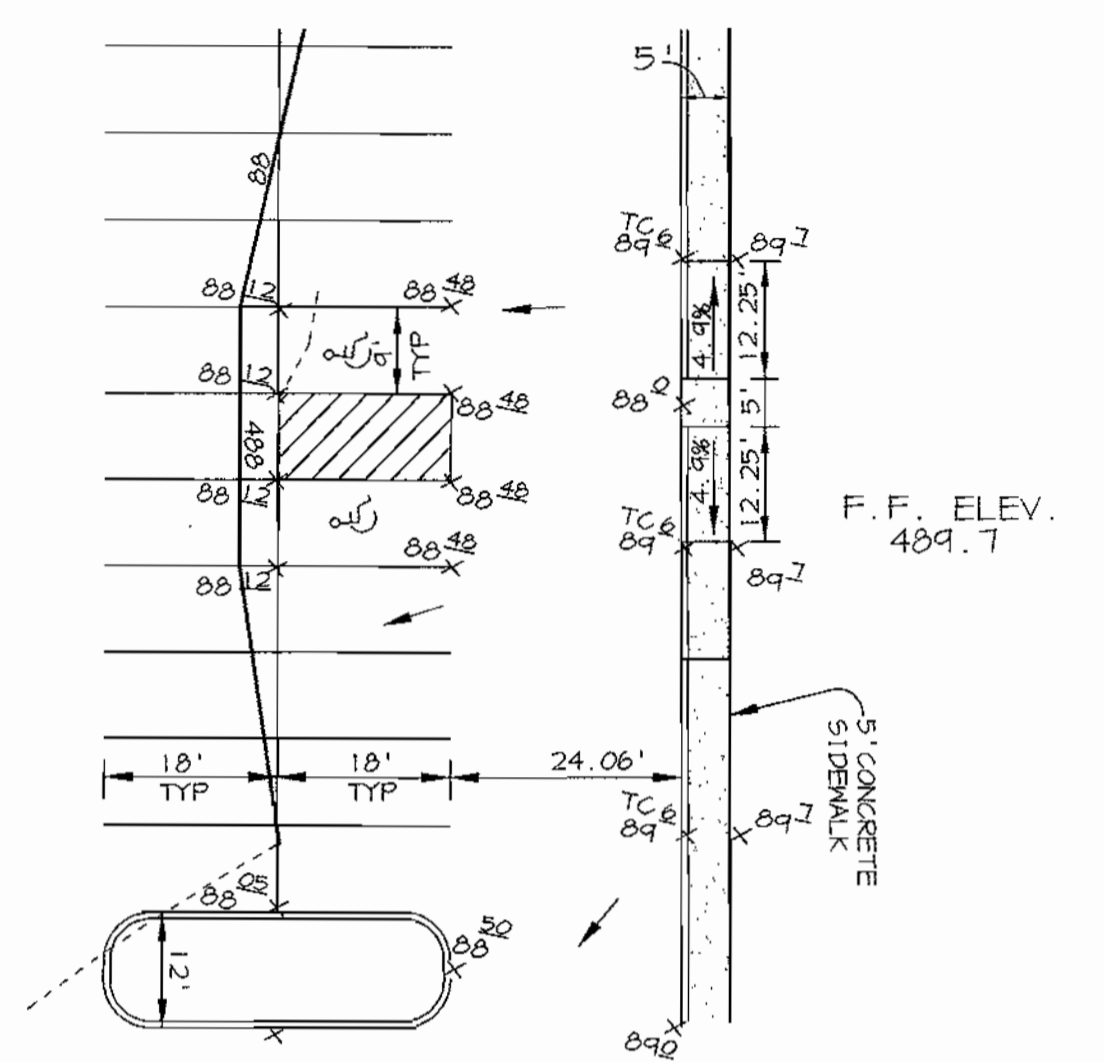
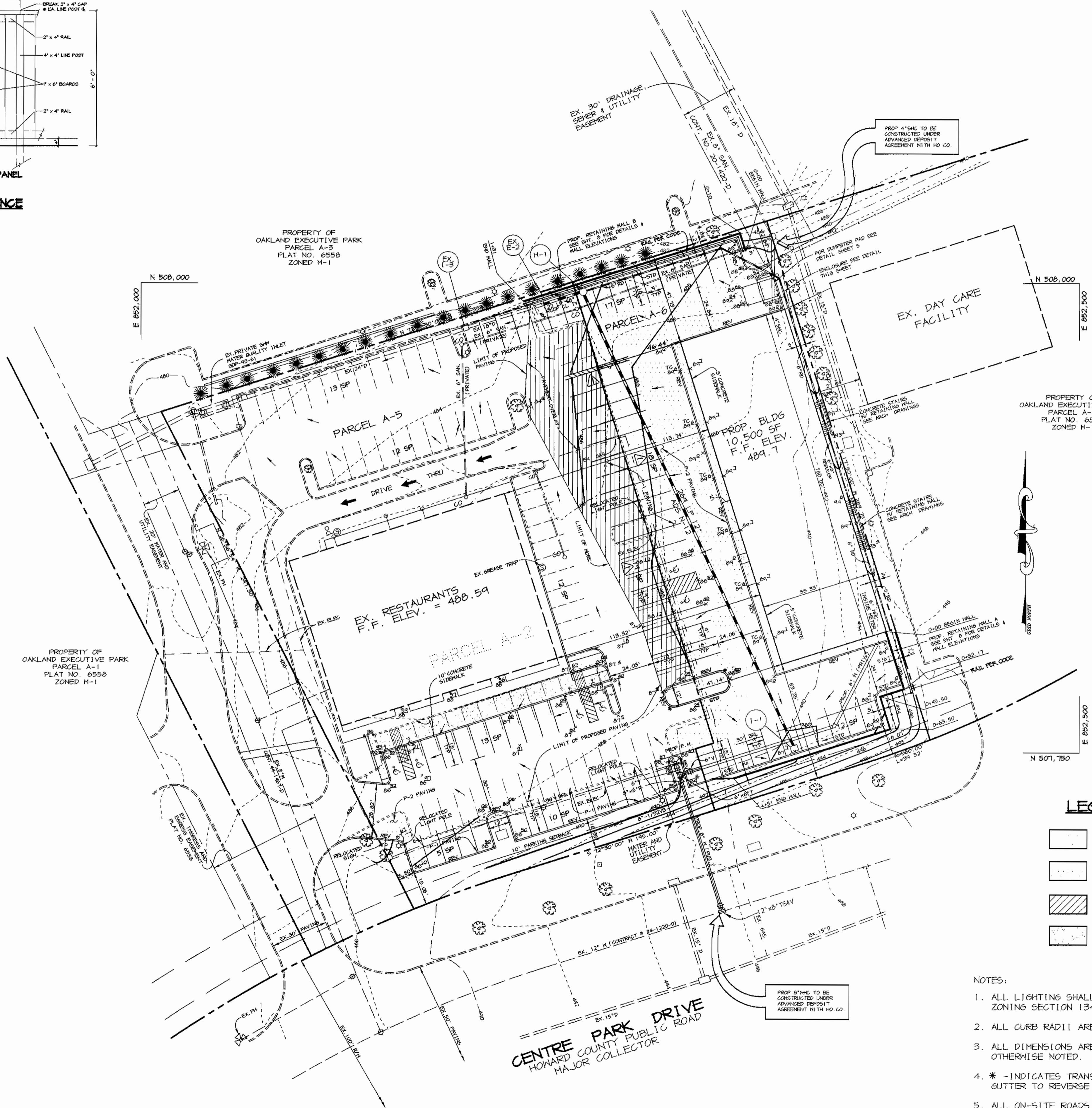
ADDRESS CHART				
LOT NUMBER	STREET ADDRESS			
A-5	8825 CENTRE PARK DRIVE (EXISTING BUILDING)			
A-6	8827 CENTRE PARK DRIVE			

SUBDIVISION NAME:	SECT./AREA:	PARCEL:			
OAKLAND EXECUTIVE PARK	-	A-5 & A-6			
PLAT #	BLOCK #	ZONE:	TAX MAP NO.:	ELECT. DIST.:	CENSUS TRACT.:
14235	18	B-1	30	2nd	6054
WATER CODE:	G 07	SEWER CODE:	5657400		

BUILDING ELEVATION
SCALE: 1"=20'



DUMPSTER SCREEN FENCE
NOT TO SCALE



HC PARKING DETAIL
SCALE 1" = 20'

LEGEND

- P-1 PAVING (SEE DETAIL SHEET 5)
- P-2 PAVING (SEE DETAIL SHEET 5)
- PAVEMENT OVERLAY
- CONCRETE SIDEWALK

- NOTES:**
1. ALL LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF ZONING SECTION 134.
 2. ALL CURB RADII ARE 5' UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO FACE OF CURB OR BUILDING UNLESS OTHERWISE NOTED.
 4. * - INDICATES TRANSITION FROM STANDARD 7" CURB AND GUTTER TO REVERSE 7" CURB AND GUTTER.
 5. ALL ON-SITE ROADS ARE PRIVATE.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING	
<i>Joseph R. Butler</i> DIRECTOR	8/22/00 DATE
<i>William J. Williams</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	8/16/00 DATE
<i>Cindy Harvath</i> CHIEF, DIVISION OF LAND DEVELOPMENT	9/6/00 DATE

4-B-01	REMOVE ISLAND, ADD 2 SPACES.
DATE NO.	REVISION
DEVELOPER/OWNER: HAMAMI PARTNERSHIP 5601 HUNTINGTON PARKWAY BETHESDA, MARYLAND 20814 410-742-4510	

PROJECT	OAKLAND EXECUTIVE PARK PARCELS A-5 & A-6 RETAIL BUILDING
AREA	TAX MAP 30 ZONED B-1 PARCELS A-5 & A-6, BLOCK 18 2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TITLE	SITE DEVELOPMENT PLAN

RIEMER MUEGGE & ASSOCIATES INC.
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8616 Centre Park Drive, Columbia, MD 21045
tel 410.997.9900 fax 410.997.9282

DATE	DESIGNED BY: C.J.R.
	DRAWN BY: K.C.B.
	CHECKED BY: C.J.R.
	PROJECT NO: 98311 /SDP3.DWG
	DATE: JUNE 26, 2000
	SCALE: 1" = 30'
	DRAWING NO. 3 OF 8

SEQUENCE OF CONSTRUCTION

- OBTAIN GRADING PERMIT.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE AND SILT FENCE. INSTALL INLET PROTECTION AT EX. 1-3. (2 DAYS)
- WITH PERMISSION OF HOWARD COUNTY DILP SEDIMENT CONTROL INSPECTOR, BEGIN ROUGH GRADING AND BUILDING CONSTRUCTION.
- AS SUBGRADE ELEVATIONS ARE ESTABLISHED, INSTALL UTILITIES, INCLUDING SEWER, WATER AND STORMDRAINS. INSTALL INLET PROTECTION AT I-1. (3 WEEKS)
- CONTRACTOR TO PERFORM DEMOLITION AND REMOVAL OF C&G AND PAVING, RELOCATE LIGHT POLES, COMPLETE REGRADING AND REPAVING AS SOON AS FEASIBLE TO AVOID DISRUPTION OF SERVICE TO EXISTING BUSINESSES.
- INSTALL CURB AND GUTTER, LIGHT POLES, THEN PAVE. (2 WEEKS)
- APPLY TOPSOIL AND STABILIZE DISTURBED AREAS AS NECESSARY IN ACCORDANCE WITH PERMANENT SEEDING NOTES. (3 DAYS)
- INSTALL LANDSCAPING AND SIDEWALKS AND COMPLETE CONSTRUCTION. (3 MONTHS)
- UPON APPROVAL OF HOWARD COUNTY DILP SEDIMENT CONTROL INSPECTOR, REMOVE ALL REMAINING SEDIMENT CONTROL DEVICES AND STABILIZE REMAINING DISTURBED AREAS IN ACCORDANCE WITH PERMANENT SEEDING NOTES. (2 DAYS)

LEGEND

- — — — — LIMIT OF DISTURBANCE
- DRAINAGE AREA DIVIDE
- SF — SF — SILT FENCE

BY THE DEVELOPER :

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Dan Hamm 5/23/00
DEVELOPER DATE

BY THE ENGINEER :

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Will Muegge 5/27/00
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Chief Simmons 8/15/00
NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Rantson 8/15/00
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

David R. Ratha 8/22/00
DIRECTOR DATE

Arthur E. Muegge 8/16/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Cindy Hamstra 8/2/00
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

43-01 REMOVE ISLAND, ADD 2 SPACES
DATE NO. REVISION

DEVELOPER/OWNER:
HAWAII PARTNERSHIP
5601 HUNTINGTON PARKWAY
BETHESDA, MARYLAND 20814
410-742-4510

PROJECT
OAKLAND EXECUTIVE PARK
PARCELS A-5 & A-6
RETAIL BUILDING

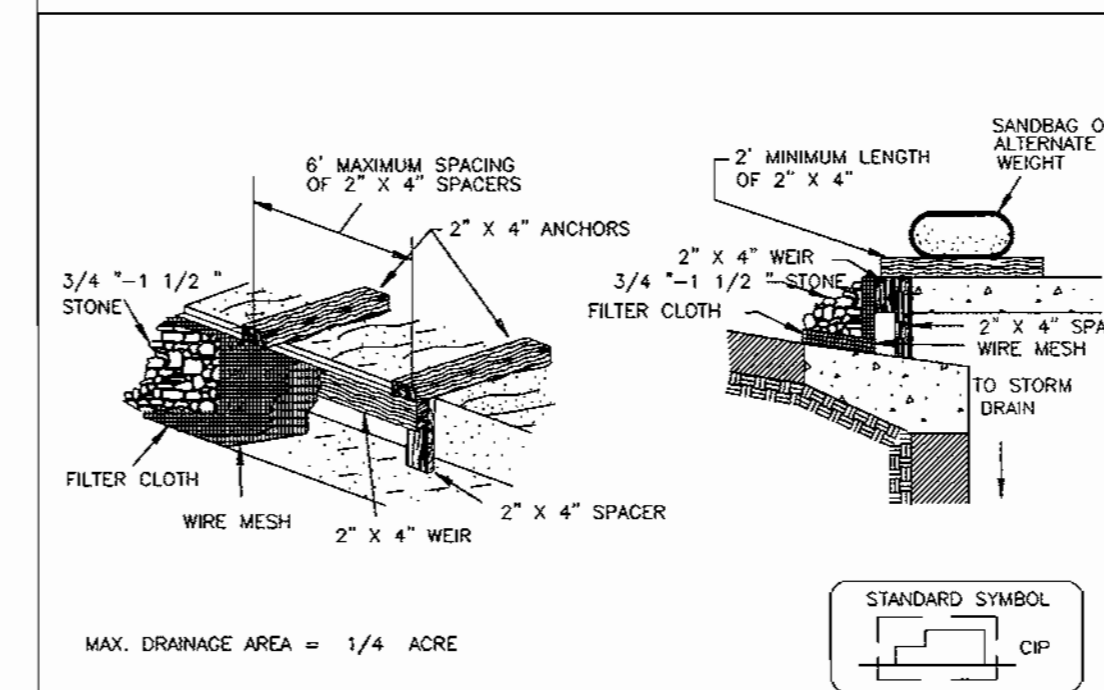
AREA TAX MAP 30 ZONED B-1
PARCELS A-5 & A-6, BLOCK 18
2nd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE
GRADING, SEDIMENT CONTROL AND
DRAINAGE AREA MAP

RIEMER MUEGGE & ASSOCIATES INC
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive, Columbia, MD 21045
tel 410.997.8900 fax 410.997.8282

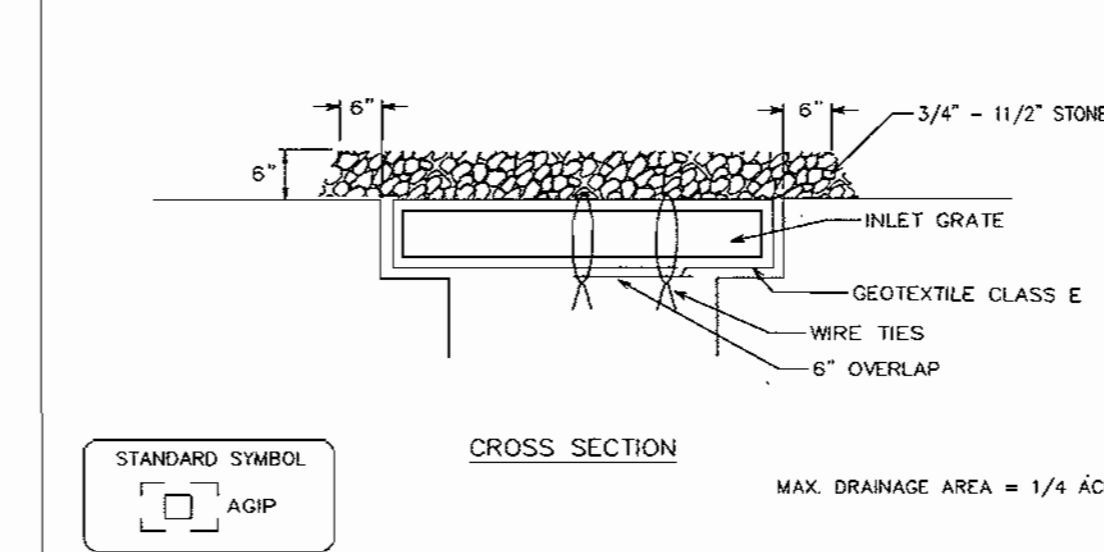
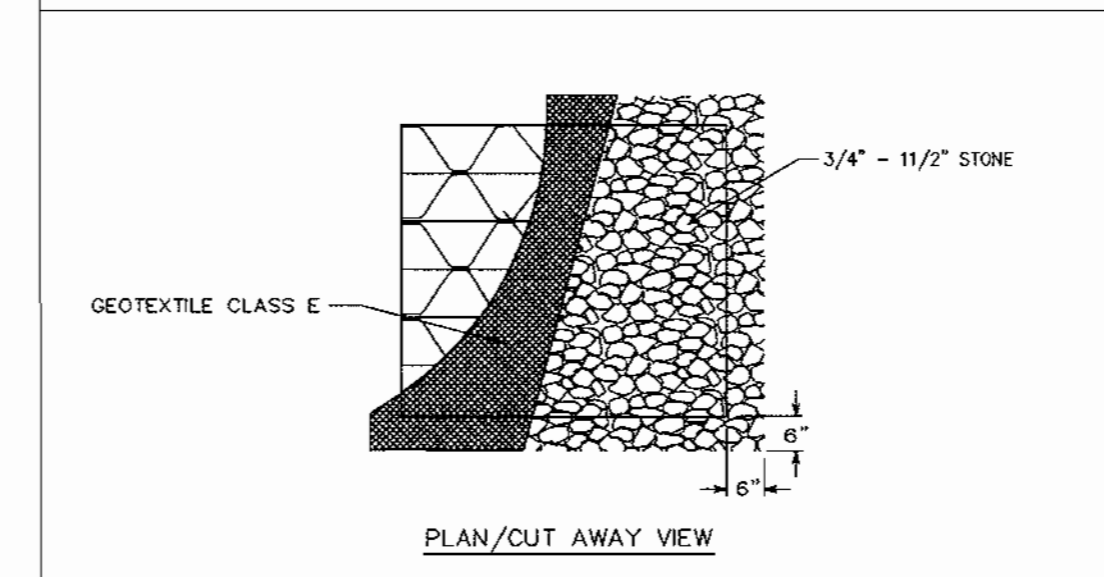
DESIGNED BY : C.J.R.
DRAWN BY : K.C.B.
CHECKED BY : C.J.R.
PROJECT NO : 98311 /SDP4.DWG
DATE : JUNE 20, 2000
SCALE : 1" = 30'
DRAWING NO. 4 OF 6

DETAIL 23C - CURB INLET PROTECTION



- Construction Specifications
- Attach a continuous piece of wire mesh (30" minimum width by throat length plus 4") to the 2" x 4" weir (measuring throat length plus 2") as shown on the standard drawing.
 - Place a continuous piece of Geotextile Class E the same dimensions as the wire mesh over the wire mesh and securely attach it to the 2" x 4" weir.
 - Securely nail the 2" x 4" weir to a 9" long vertical spacer to be located between the weir and the inlet face (max. 4" apart).
 - Place the assembly against the inlet throat and nail (minimum 2" lengths of 2" x 4" to the top of the curb on both sides of the inlet. These 2" x 4" anchors shall extend across the inlet top and be held in place by sandbags or alternate weight.
 - The assembly shall be placed so that the end spacers are a minimum 1" beyond both ends of the throat opening.
 - Form the 1/2" x 1/2" wire mesh and the geotextile fabric to the concrete gutter and against the face of the curb on both sides of the inlet. Place clean 3/4" x 1 1/2" stone over the wire mesh and geotextile in such a manner to prevent water from entering the inlet under or around the geotextile.
 - This type of protection must be inspected frequently and the filter cloth and stone replaced when clogged with sediment.
 - Assure that storm flow does not bypass the inlet by installing a temporary earth or asphalt dike to direct the flow to the inlet.

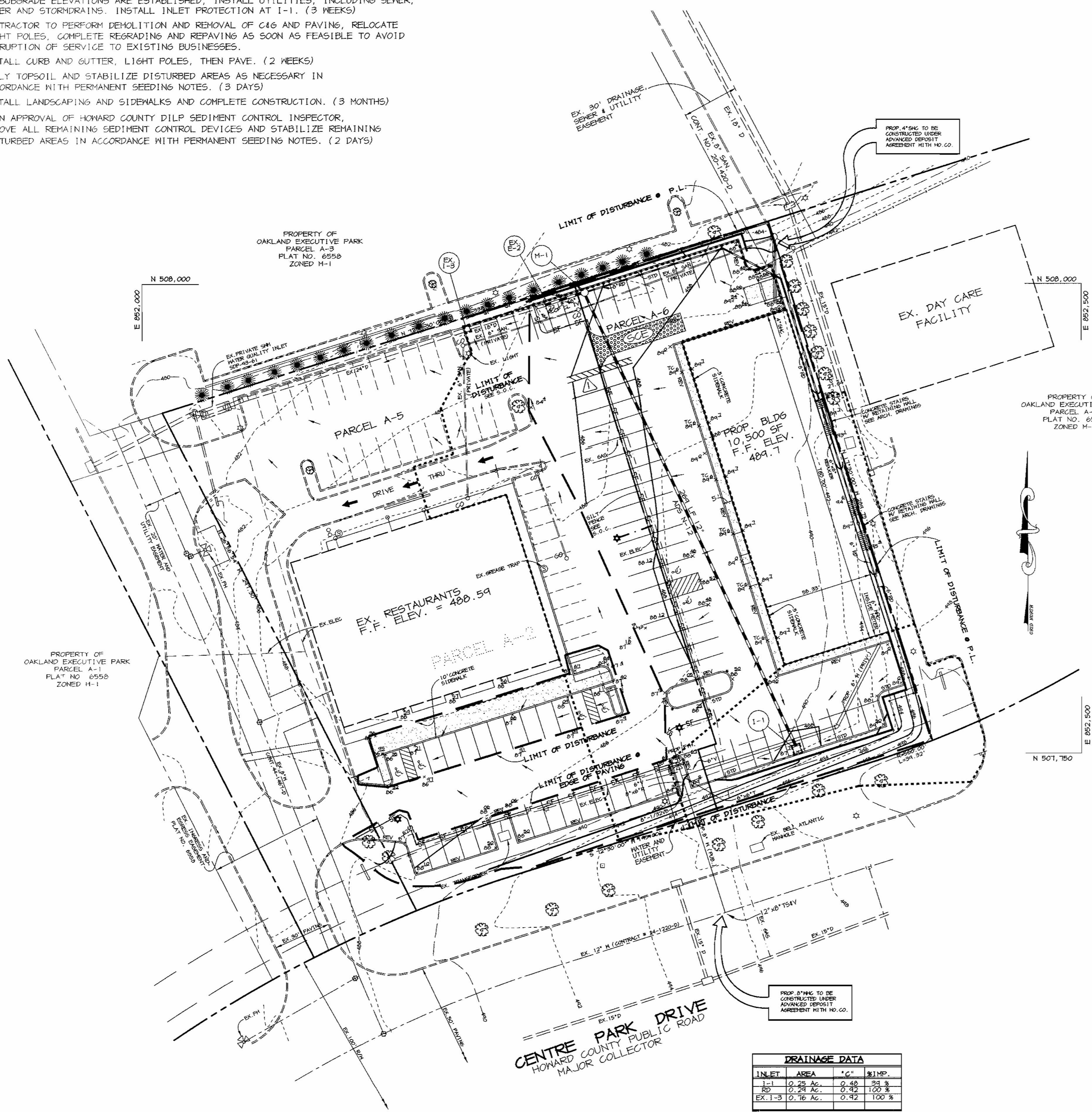
DETAIL 23B - AT GRADE INLET PROTECTION



- Construction Specifications
- Lift grate and wrap with Geotextile Class E to completely cover all openings, then set grate back in place.
 - Place 3/4" to 1 1/2" stone, 4"-6" thick on the grate to secure the fabric and provide additional filtration.

DRAINAGE DATA

INLET	AREA	C*	%IMP.
I-1	0.25 AC.	0.48	34 %
RD	0.24 AC.	0.42	100 %
EX. I-3	0.16 AC.	0.42	100 %



SCHEDULE A - PERIMETER LANDSCAPE EDGE	ADJACENT TO PERIMETER PROPERTIES			ADJACENT TO ROADWAYS
	* 1	* 2	* 4	3
PERIMETER	N/A	N/A	N/A	E
LANDSCAPE TYPE	N/A	N/A	N/A	E
LINEAR FEET OF ROADWAY FRONTAGE/ PERIMETER	± 110'	± 290'	± 290'	± 120'
CREDIT FOR EXISTING VEGETATION (YES/NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO
CREDIT FOR WALL, FENCE, BERM OR DRIVE AISLE (YES/NO) (LINEAR FEET)	NO	NO	NO	** YES ± 120'
NUMBER OF PLANTS REQUIRED	N/A	N/A	N/A	(@1/40') = 3
SHADE TREES	N/A	N/A	N/A	-
EVERGREEN TREES	N/A	N/A	N/A	(@1/4') = **
SHRUBS	N/A	N/A	N/A	-
NUMBER OF PLANTS PROVIDED	N/A	N/A	N/A	3
SHADE TREES	N/A	N/A	N/A	1
EVERGREEN TREES	N/A	N/A	N/A	1
SMALL FLOWERING TREES	N/A	N/A </tr		

SCHEDULE 'A' NOTES:

- * REGULATIONS DO NOT REQUIRE LANDSCAPE EDGES, BUFFERING, OR SCREENING BETWEEN INTERNAL LOTS OR PARCELS WITHIN THE SAME DEVELOPMENT. (PAGE 17 OF THE HO. CO. LANDSCAPE MANUAL)
- ** A BERM THAT IS A MINIMUM OF 3 FEET HIGH, OR A CHANGE IN GRADE THAT CAUSES A PARKING LOT TO BE LOCATED LOWER THAN THE ADJACENT ROADWAY BY 3 FEET OR MORE, MAY BE SUBSTITUTED FOR SHRUB PLANTING IN A 'TYPE E' LANDSCAPE BUFFER.

SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING	
PARKING LOT	* 1
NUMBER OF PARKING SPACES	39
NUMBER OF SHADE TREES REQUIRED (1/20 SPACES)	2
NUMBER OF TREES PROVIDED	10**
SHADE TREES	10**
SHRUBS (10:1 SUBSTITUTION)	10**
NUMBER OF ISLANDS REQUIRED (200 SF. AREA / ISLAND)	2
NUMBER OF ISLANDS PROVIDED	1**

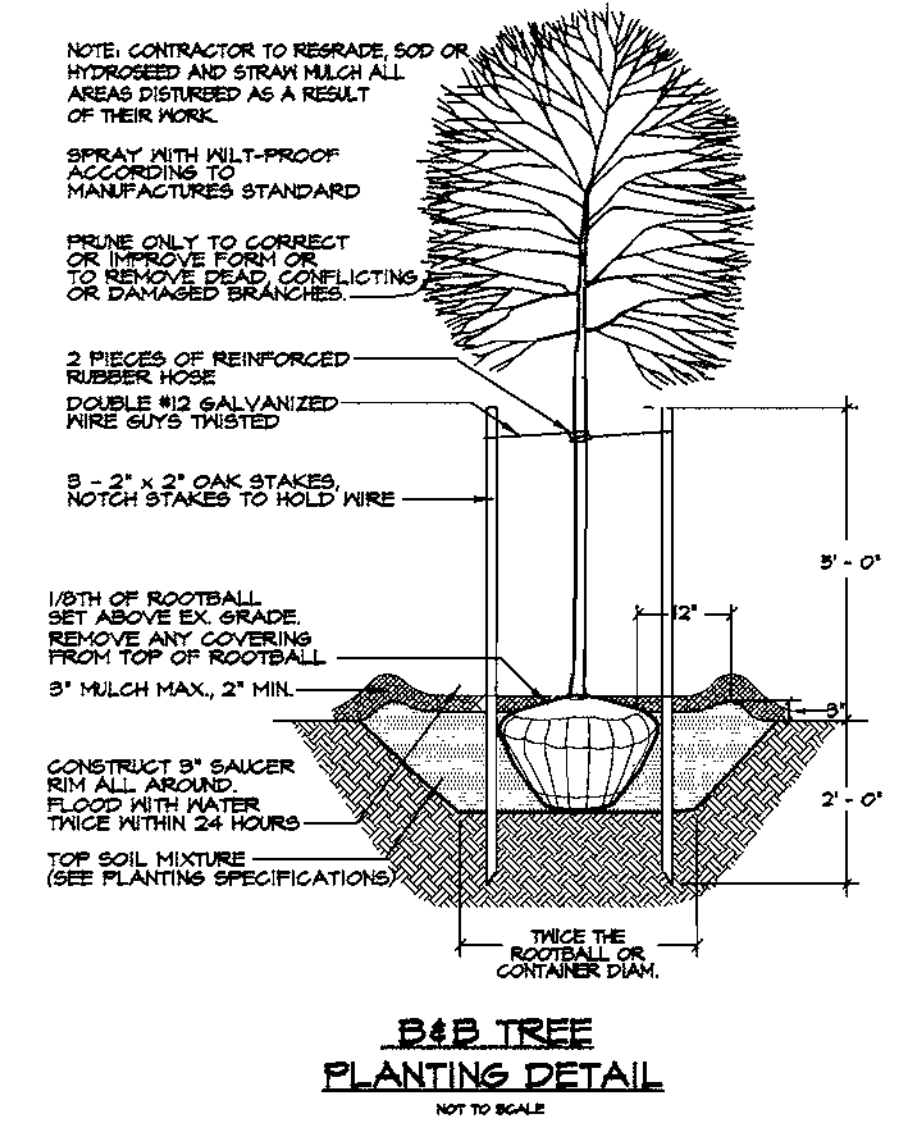
SCHEDULE 'B' NOTES:

- * EXPANSION OF PARKING LOTS BY LESS THAN 50% SHALL BE REQUIRED TO PROVIDE LANDSCAPING FOR THE ADDITIONAL DEVELOPMENT ONLY. (PAGE 3 OF THE HO. CO. LANDSCAPE MANUAL)
- ** 10 SHRUBS WERE SUBSTITUTED FOR 1 SHADE TREE. 3 HOLLIES WERE LOCATED BY THE DUMPSTER TO PROVIDE SCREENING AND 7 JUNIPERS WERE PROVIDED BY THE ROAD TO AID IN EROSION CONTROL. SEE ALSO MARCH 6, 2001 LETTER FROM H.C. DPZ WHICH GRANTS PERMISSION TO PROVIDE ONLY 1 ISLAND AND RELOCATE LANDSCAPING.

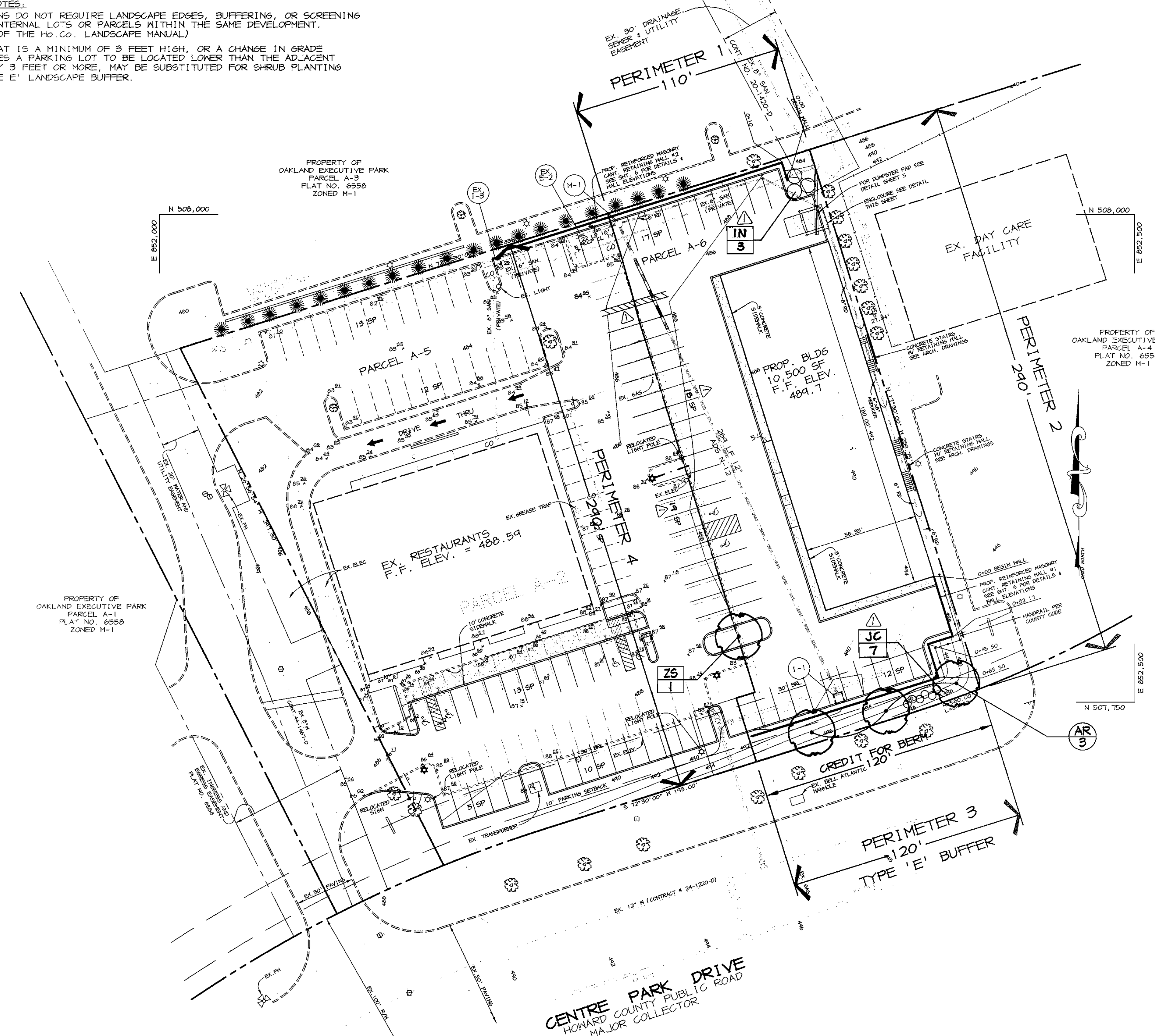
PLANT LIST					
SYMBOL	QTY.	SCIENTIFIC/COMMON NAME	SIZE	ROOT	SPACING
AR	3	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE	2 1/2" - 3" CAL	B&B	PLANT AS SHOWN
ZS	1	ZELKOVA SERRATA 'GREEN VASE' GREEN VASE ZELKOVA	2 1/2" - 3" CAL	B&B	PLANT AS SHOWN
IN	3	ILEX X 'NELLIE STEVENS' NELLIE STEVENS HOLLY	5'-6" HT.	B&B	PLANT AS SHOWN
JC	7	JUNIPERUS CHINENSIS VAR. SARGENTI HENRY	18" - 24" 6P.	B&B	PLANT AS SHOWN

PLANT LIST NOTES:

SURETY AMOUNT IS BASED ON REQUIRED LANDSCAPE MATERIAL ONLY. SEE GENERAL NOTE #2 FOR SURETY TOTAL.



LANDSCAPE LEGEND	
EX. TREES	
PROP. SHADE TREE	
PROP. SHRUB	
PERIMETER LANDSCAPE REQUIREMENT	
PARKING LOT LANDSCAPE REQUIREMENT	



GENERAL NOTES:

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$1,500.
- THIS PLAN IS FOR LANDSCAPING PURPOSES ONLY.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.

DEVELOPER'S/BUILDER'S CERTIFICATE:

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

5.23.00 DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Howard County 8/22/00 DATE
DIRECTOR

Michael 8/16/00 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION

Andy 8/16/00 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT

4.3.01 REMOVE ISLAND, ADD 2 SPACES, RELOCATE LANDSCAPING.

DATE NO. REVISION

DEVELOPER/OWNER:
HAMAMI PARTNERSHIP
5601 HUNTINGTON PARKWAY
BETHESDA, MARYLAND 20814
410-742-4510

PROJECT
OAKLAND EXECUTIVE PARK
PARCELS A-5 & A-6
RETAIL BUILDING

AREA TAX MAP 30 ZONED B-1
PARCELS A-5 & A-6, BLOCK 18
2nd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE
LANDSCAPE PLAN

RIEMER MUEGGE & ASSOCIATES INC.
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive, Columbia, MD 21045
tel 410.997.8800 fax 410.997.8282

5.22.2000 DATE
DESIGNED BY: A.J.L.
DRAWN BY: A.J.L.
CHECKED BY: D.T.D.
PROJECT NO: 98311
DATE: JUNE 26, 2000
SCALE: 1" = 30'
DRAWING NO. 7 OF 8