

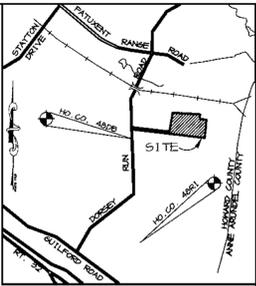
SHEET INDEX

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SITE DEVELOPMENT PLAN W.D. CLASS PROPERTY 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

AS-BUILT CONTROL BENCHMARKS

- ✓ HOWARD COUNTY SURVEY CONTROL
STATION: 48DB
N 536,575.71 E 1,371,055.78
ELEV. 132.669 FT
DESCRIPTION: 3/4" DIAMETER REBAR
- ✓ HOWARD COUNTY SURVEY CONTROL
STATION: 48RI
N 534,156.65 E 1,371,185.72
ELEV. 101.927 FT
DESCRIPTION: 3/4" DIAMETER REBAR



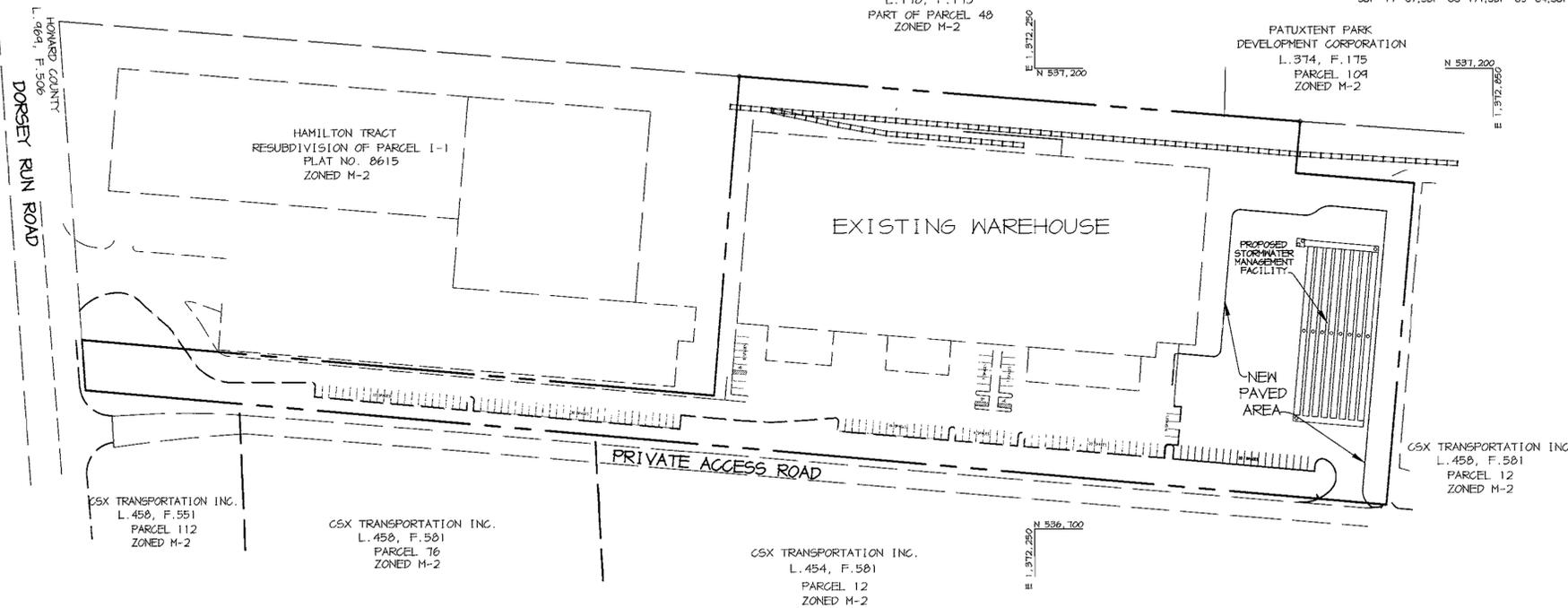
GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/ CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
6. THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY RIEMER MUEGGE & ASSOC. DATED MAY, 1999.
7. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. STATION NUMBERS 48DB AND 48RI WERE USED.
8. WATER IS PUBLIC, CONTRACT NO. 44-1978-D AND 670-W.
9. PUBLIC SEWER IS NOT AVAILABLE. SITE HAS HOOKED INTO STATE OF MARYLAND CUFTON PERKINS HOSPITAL PRIVATE SEWER AS PER M&S CONT. NO. 99-04-32.
10. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
11. A 100-YEAR FLOODPLAIN STUDY IS NOT REQUIRED FOR THIS PROJECT.
12. A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
13. A GEOTECHNICAL STUDY WAS PREPARED BY ENGINEERING CONSULTING SERVICES, LTD.
14. THE BOUNDARY SURVEY FOR THIS PROJECT WAS PERFORMED BY RIEMER MUEGGE & ASSOCIATES, INC. DATED MAY, 1999.
15. SUBJECT PROPERTY ZONED M-2 PER 10-18-93 COMPREHENSIVE ZONING PLAN.
16. ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
17. SEE DEPARTMENT OF PLANNING AND ZONING FILE NO'S - F-77-13,F-89-65,F-99-03 SDP-77-07,SDP-88-171,SDP-89-84,SDP-90-197,SDP-91-72.
18. THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
19. CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
20. PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD.
21. NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE.
22. ALL STORM DRAIN PIPE BEDDING SHALL BE CLASS 'C' AS SHOWN IN FIG. 11.4, VOLUME 1 OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE NOTED.
23. ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
24. ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
25. STORM DRAIN TRENCHES WITHIN ROAD RIGHT OF WAY SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.E., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, LATEST AMENDMENTS.
26. PROFILES STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
27. ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO 11B0.
28. A LANDSCAPE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL FOR THIS SITE. SEE SHEET 8 FOR THE REQUIRED FINANCIAL SURETY.
29. A DECLARATION OF INTENT HAS BEEN FILED TO MEET FOREST CONSERVATION OBLIGATIONS. THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.120 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BECAUSE LESS THAN 40,000 SQUARE FEET OF FOREST WILL BE CLEARED. 3,500+ SQUARE FEET OF FOREST WILL BE CLEARED.
30. NO APFO TRAFFIC STUDY IS REQUIRED FOR THIS PROJECT AS NO INCREASE IN TRAFFIC IS GENERATED.
31. STORMWATER MANAGEMENT FOR THIS DEVELOPMENT IS PROVIDED BY PRIVATELY MAINTAINED BAYSAYER WATER QUALITY DEVICE AND A PRIVATELY MAINTAINED UNDERGROUND DETENTION SYSTEM.
32. PAVEMENT EXPANSION IS FOR VEHICULAR STORAGE AND STAGING AREA FOR EXISTING TRUCK FLEET.
33. WP-99-01 WAS A WAIVER TO HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.145 REQUIRING SUBMISSION OF A SKETCH PLAN OR PRELIMINARY EQUIVALENT SKETCH PLAN, AND SECTION 16.102 (d) (2) REQUIRING A PLAT TO COVER AN ENTIRE PARCEL WAS APPROVED ON AUGUST 6, 1998 FOR F-00-03.
34. THE PAVEMENT DETAILS FOR THIS SITE REFLECT THE HOWARD COUNTY STANDARD PAVEMENT SECTIONS AND ARE NOT BASED ON SITE SPECIFIC CONDITIONS. PRIOR TO PAVING, THE FINAL PAVEMENT SECTIONS SHALL BE DETERMINED BY A QUALIFIED GEOTECHNICAL ENGINEER BASED ON IN-SITU TESTING OF THE FINISHED SUBGRADE.
35. ALL EXTERIOR LIGHTING WILL COMPLY WITH SECTION 134, ZONING REGULATIONS.

SITE TABULATION

SITE AREA	10.92 ACRES (475,675 SF)
LIMIT OF DISTURBED AREA (SUBMISSION AREA)	2.58 ACRES (112,300 SF)
PRESENT ZONING	M-2
PROPOSED USE	PAVEMENT EXPANSION FOR TRACTOR TRAILER STAGING AND STORAGE
PARKING SPACES REQUIRED (SDP-90-197)	38 SPACES
EXISTING PARKING SPACES	73 SPACES (INC. 3 HC SPACES)
PROPOSED PARKING SPACES	20 SPACES
TOTAL PARKING SPACES	88 SPACES (5 EXISTING SPACES DELETED)

* NO EXPANSION TO THE WAREHOUSE IS PROPOSED, THEREFORE, NO NEW PARKING IS REQUIRED.
SEE DEPARTMENT OF PLANNING AND ZONING FILE NO'S - F-77-13,F-89-65,F-99-03 SDP-77-07,SDP-88-171,SDP-89-84,SDP-90-197,SDP-91-72.



PLAN
SCALE: 1"=100'

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED UNDERGROUND STORMWATER MANAGEMENT FACILITY

1. Underground structures will require periodic inspection and cleaning to maintain operation and function. Owners will have the underground structures inspected yearly or as required by Howard County, utilizing the underground units Inspection/Monitoring Form. Inspections can be done by using a clear Flexiglas tube ("sludge judge") to extract a water column sample. When sediment depths exceed 5" then cleaning of the structures is required.
2. Underground facility structures must be checked and cleaned immediately after petroleum spills. Contact appropriate regulatory agencies.
3. Maintenance of underground structures should be done by a vacuum truck which will remove the water, sediment, debris, floating hydrocarbons, and other materials in the unit. The proper cleaning and disposal of the removed materials and liquid must be followed.
4. Inlet and outlet pipes must be checked for any obstructions and if any obstructions are found they must be removed. Structural parts of the underground facility will be repaired as needed.
5. Owner shall retain and make underground facility Inspection/Monitoring Forms available to Howard County officials upon their request.

AS-BUILT CERTIFICATE

STATE OF MARYLAND
CHRISTOPHER REID
REGISTERED PROFESSIONAL ENGINEER
No. 18947
CHRISTOPHER J. REID #19947
DATE 11.6.01

ADDRESS CHART

LOT NUMBER	STREET ADDRESS
A	8447 DORSEY RUN ROAD

SUBDIVISION NAME		SECT./AREA	PARCEL
W. DEEMER CLASS SUBDIVISION		-	A
PLAT #	BLOCK #	ZONING/TAX MAP NO.	ELECT. DIST.
13614	8&9	M-2	48
WATER CODE		SEWER CODE	CENSUS TRACT
B-02		N/A	6059.01

APPROVED: DEPARTMENT OF PLANNING AND ZONING

William Deemer 10/18/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Wanda Hamilton 10/26/00
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

James Smith 10/27/00
DIRECTOR DATE

DATE NO.	REVISION

OWNER / DEVELOPER
W. DEEMER CLASS 4 50N
c/o MD WHOLESALE PRODUCE MARKET
BUILDING A, UNIT 44-52
JESSUP, MARYLAND 20794
410-880-4205

PROJECT
**W. DEEMER CLASS SUBDIVISION
PAVING EXPANSION**

AREA
TAX MAP 48 PARCEL 187
PARCEL A ZONED M-2
6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE
TITLE SHEET

RIEMER MUEGGE & ASSOCIATES INC.
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive, Columbia, MD 21046
tel 410.997.8900 fax 410.997.8282

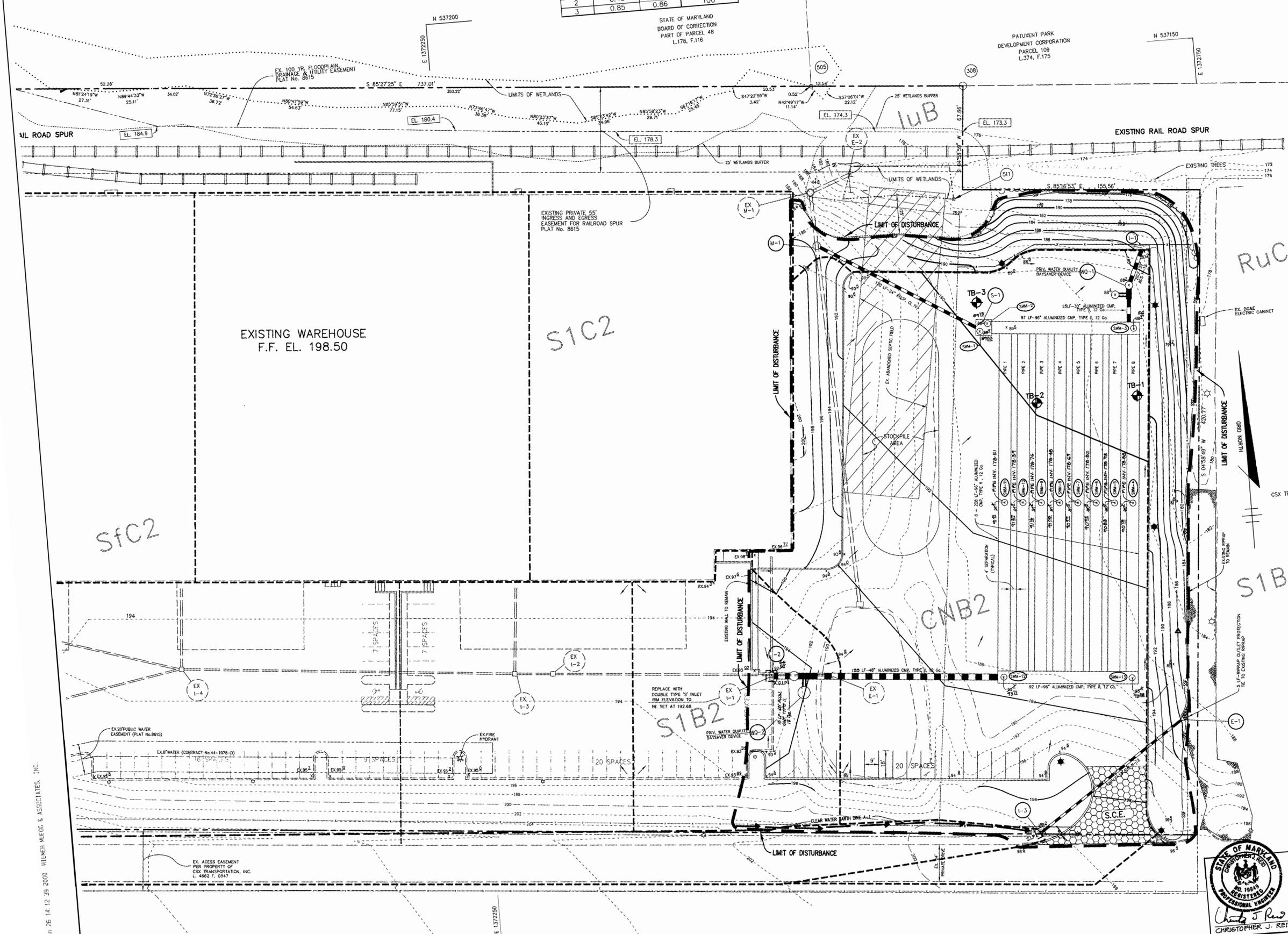
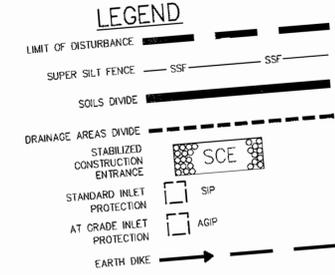
DESIGNED BY: CJR
DRAWN BY: KCB
PROJECT NO: 99140 /SDP1.DWG
DATE: OCT. 9, 2000
SCALE: AS SHOWN
DRAWING NO. 1 OF 8

F:\PROJECT\09140\SDP1.dwg Mon Jun 26 13:47:01 2000 RIEMER MUEGGE & ASSOCIATES, INC.

DRAINAGE DATA			
INLET NOS.	AREA IN ACRES	C FACTOR	PERCENT IMPERVIOUS
1	1.96	0.75	84
2	0.49	0.68	73
3	0.85	0.86	100

STATE OF MARYLAND
BOARD OF CORRECTION
PART OF PARCEL 48
L178, F.118

PATUXENT PARK
DEVELOPMENT CORPORATION
PARCEL 109
L374, F.175



BY THE DEVELOPER :
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION OF A PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Gary M. Elser 6.29.00
DEVELOPER DATE

BY THE ENGINEER :
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Arthur E. Muegge 6.29.00
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

J. H. Workfield 10/13/00
NATIONAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John C. Robinson 10/13/00
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

John Dammas 10/10/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Cindy Harvath 10/20/00
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

James H. Hester 10/27/00
DIRECTOR DATE

OWNER / DEVELOPER
M. DEEMER CLASS & SON
c/o MD WHOLESALE PRODUCE MARKET
BUILDING A, UNIT 44-52
JESSUP, MARYLAND 20794
410-880-4205

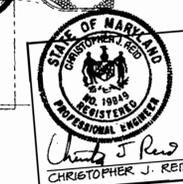
PROJECT
W. DEEMER CLASS SUBDIVISION
PAYING EXPANSION

AREA
TAX MAP 48 PARCEL 187
PARCEL A ZONED M-2
6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE
DRAINAGE AREA MAP &
SEDIMENT CONTROL PLAN

RIEMER MUEGGE & ASSOCIATES INC.
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8618 Centre Park Drive, Columbia, MD 21046
tel 410.997.8800 fax 410.997.9282

DATE
DESIGNED BY : CJR
DRAWN BY : KCB
PROJECT NO : 99140 /SDP3.DWG
DATE : OCT. 9, 2000
SCALE : 1" = 30'
DRAWING NO. 3 OF 8



AS-BUILT CERTIFICATE
Christopher J. Reid 11.6.01
CHRISTOPHER J. REID # 19949 DATE

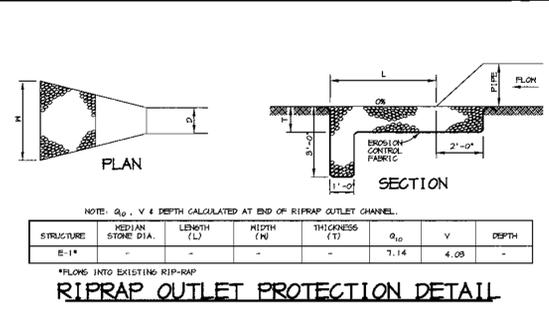
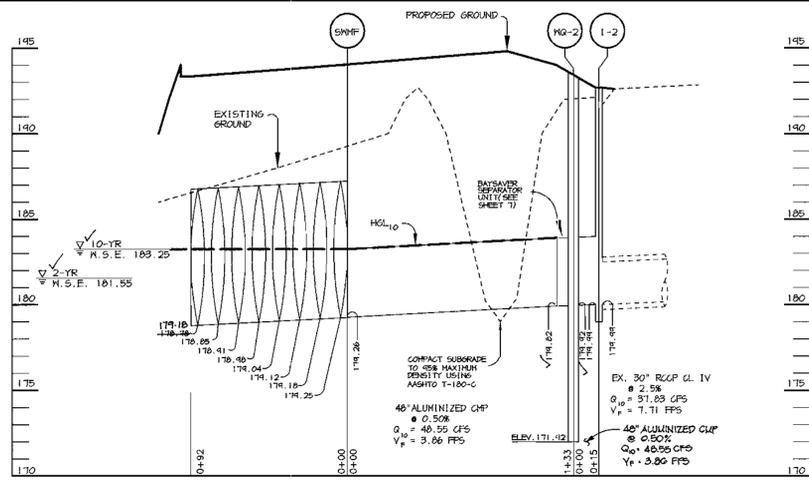
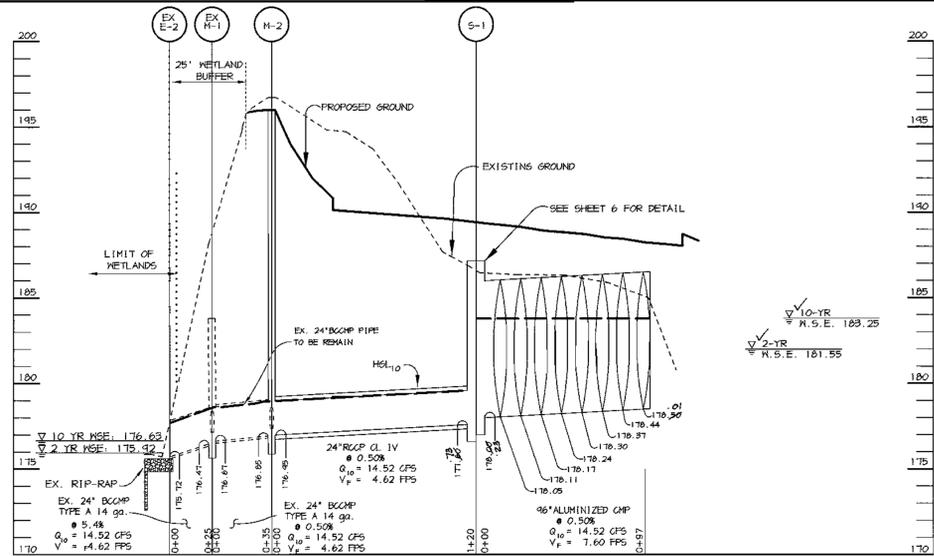


AS-BUILT 11/5/01
ARTHUR E. MUEGGE #8707
SDP-00-96

SDP3.DWG Mon Jun 26 14:12:39 2000 RIEMER MUEGGE & ASSOCIATES, INC.

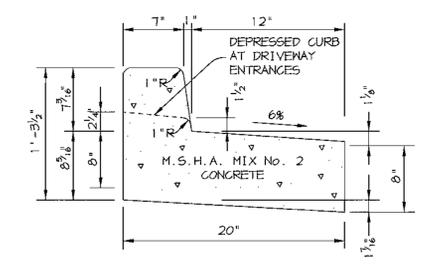
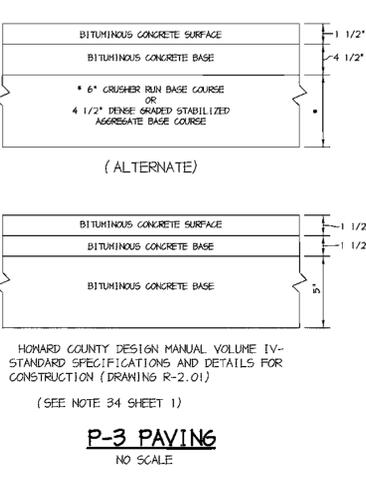
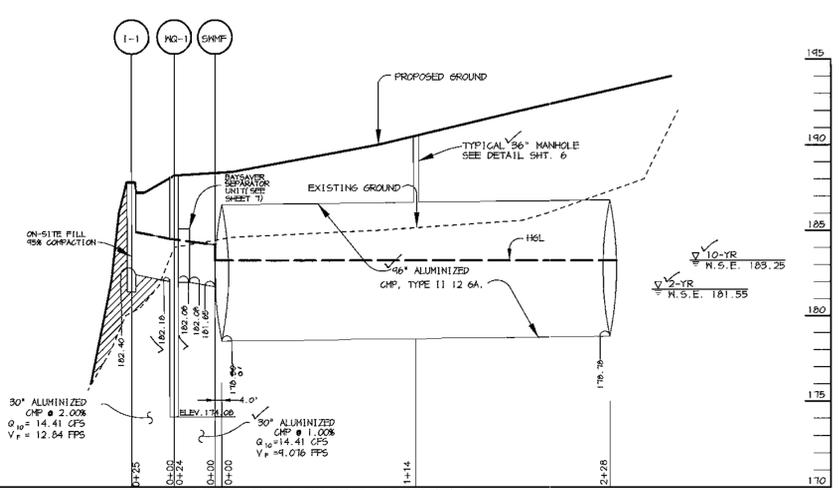
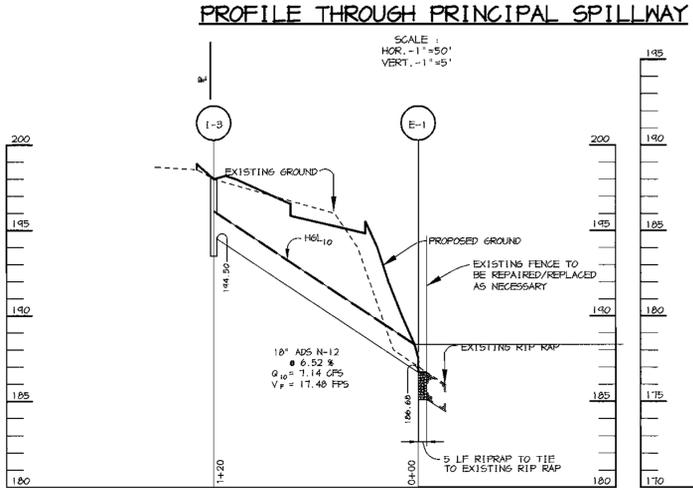
CSX TRANSPORTATION INC.
PARCEL 12
L454, F.581

N 536700



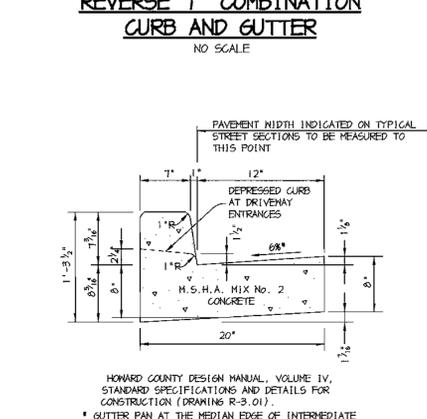
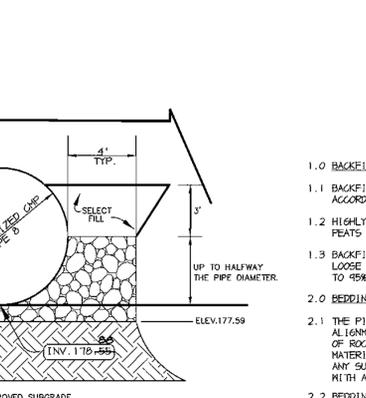
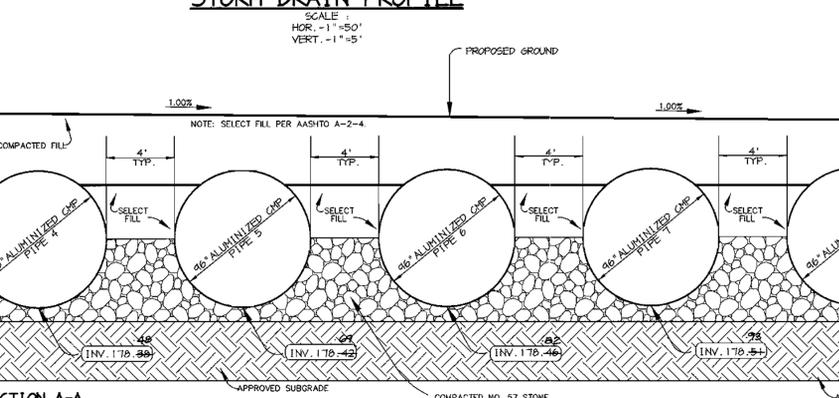
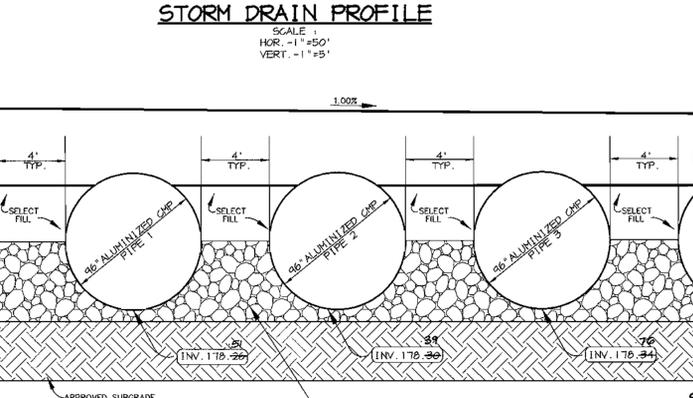
CONSTRUCTION SPECIFICATIONS

- THE SUBGRADE FOR THE FILTER, RIP-RAP, OR GABION SHALL BE PREPARED TO THE REQUIRED LINES AND GRADES. ANY FILL REQUIRED IN THE SUBGRADE SHALL BE COMPACTED TO A DENSITY OF APPROXIMATELY THAT OF THE SURROUNDING UNDISTURBED MATERIAL.
- THE ROCK OR GRAVEL SHALL CONFORM TO THE SPECIFIED GRADING LIMITS WHEN INSTALLED RESPECTIVELY IN THE RIP-RAP OR FILTER.
- GEOTEXTILE CLASS C OR BETTER SHALL BE PROTECTED FROM PUNCHING, CUTTING, OR TEARING. ANY DAMAGE OTHER THAN AN OCCASIONAL SMALL HOLE SHALL BE REPAIRED BY PLACING ANOTHER PIECE OF GEOTEXTILE FABRIC OVER THE DAMAGED AREA. GEOTEXTILE FABRIC SHALL BE REINFORCED BY JOINING TWO PIECES OF GEOTEXTILE FABRIC SHALL BE A MINIMUM OF ONE FOOT.
- STONE FOR THE RIP-RAP OR GABION OUTLETS MAY BE PLACED BY EQUIPMENT. THEY SHALL BE CONSTRUCTED TO THE FULL COURSE THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO AVOID OVERLAP OF UNDERLAPPING MATERIALS. THE STONE FOR RIP-RAP OR GABION OUTLETS SHALL BE DELIVERED AND PLACED IN A MANNER THAT WILL ENSURE THAT IT IS REASONABLY HOMOGENEOUS WITH THE SMALLER STONES AND SPALLS FILLING THE VOIDS BETWEEN THE LARGER STONES. RIP-RAP SHALL BE PLACED IN A MANNER TO PREVENT DAMAGE TO THE FILTER BLANKET OR GEOTEXTILE FABRIC. HAND PLACEMENT WILL BE REQUIRED TO THE EXTENT NECESSARY TO PREVENT DAMAGE TO THE PERMANENT WORKS.
- THE STONE SHALL BE PLACED SO THAT IT BLENDS IN WITH THE EXISTING GROUND. IF THE STONE IS PLACED TOO HIGH THEN THE FLOW WILL BE FORCED OUT OF THE CHANNEL AND SCOUR ADJACENT TO THE STONE WILL OCCUR.



BY THE DEVELOPER:
Gary M. Elser 6-29-00
DEVELOPER DATE

BY THE ENGINEER:
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
Arthur E. Muegge 6-29-00
ENGINEER DATE



THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.
J. H. Wanfield 10/13/00
NATURAL RESOURCES/CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
John R. Robertson 10/13/00
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
William D. Williams 10/10/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Chris Hamilton 1/20/01
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Joseph J. Smith 10/27/00
DIRECTOR DATE



STRUCTURE SCHEDULE

STRUCTURE	TYPE	LOCATION	INV. IN	INV. OUT	TOP	REMARKS
I-1	A-10	N 537014.54 E 1312105.26	-	182.40 (30')	181.20	HOCO STD. DETAIL SD 4.02
I-2	DOUBLE-S	N 536757.84 E 1312440.77	174.94 (30')	174.94 (48')	142.66	HOCO STD. DETAIL SD 4.23
I-3	SINGLE OPENING	N 536641.98 E 1312607.65	-	184.50 (18')	148.00	HOCO STD. DETAIL SD 4.12
M-1	STD. PRECAST NH	N 537035.02 E 1312449.27	176.45 (24')	176.85 (24')	124.46 148.80	HOCO STD. DETAIL 6.5.11
NQ-1	3K	N 536482.64 E 1312645.12	✓182.18 (30')	✓182.08 (30')	✓180.20	BAYSAYER SYSTEM SEE DETAIL SHEET 7
NQ-2	5K	N 536756.58 E 1312455.26	✓174.42 (48')	✓174.82 (48')	✓142.00	BAYSAYER SYSTEM SEE DETAIL SHEET 7
E-1	18" END SECTION	N 536708.30 E 1312107.46	186.68	-	-	ADS N-12 OR EQUIVALENT
S-1	CONCRETE STRUCTURE	N 536472.91 E 1312548.05	170.88 (46')	171.88 (42')	184.88	SEE DETAIL SHEET 6.
SNH-1	4" MH	SEE SHEET 2	-	-	184.75	SEE DETAIL SHEET 6.
SNH-2	4" MH	SEE SHEET 2	-	-	184.55	SEE DETAIL SHEET 6.

STRUCTURE	TYPE	LOCATION	INV. IN	INV. OUT	TOP	REMARKS
SNH-3	3" MH	SEE SHEET 2	-	-	188.50	SEE DETAIL SHEET 6.
SNH-4	3" MH	SEE SHEET 2	-	-	180.78	SEE DETAIL SHEET 6.
SNH-5	3" MH	SEE SHEET 2	-	-	140.85	SEE DETAIL SHEET 6.
SNH-6	3" MH	SEE SHEET 2	-	-	140.92	SEE DETAIL SHEET 6.
SNH-7	3" MH	SEE SHEET 2	-	-	140.92	SEE DETAIL SHEET 6.
SNH-8	3" MH	SEE SHEET 2	-	-	141.10	SEE DETAIL SHEET 6.
SNH-9	3" MH	SEE SHEET 2	-	-	141.16	SEE DETAIL SHEET 6.
SNH-10	3" MH	SEE SHEET 2	-	-	141.21	SEE DETAIL SHEET 6.
SNH-11	3" MH	SEE SHEET 2	-	-	141.41	SEE DETAIL SHEET 6.
SNH-12	3" MH	SEE SHEET 2	-	-	143.71	SEE DETAIL SHEET 6.
SNH-13	3" MH	SEE SHEET 2	-	-	143.38	SEE DETAIL SHEET 6.

NOTES:
1. LOCATION OF S INLETS, WQ FACILITIES AND MANHOLES IS AT CENTER OF TOP COVER.
2. FOR TYPE 'A' INLETS LOCATION IS GIVEN AT CENTER OF THROAT OPENING AT FACE OF CURB.
3. FOR END SECTIONS AND HEADWALLS THE LOCATION IS CENTER OF THROAT OPENING AT FACE OF STRUCTURE.
4. TOP ELEVATION IS TOP OF CURB/GRADE/RIM.

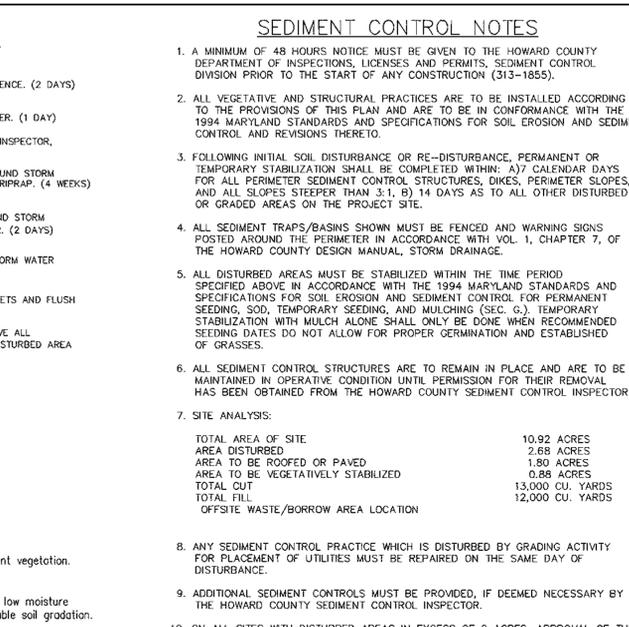
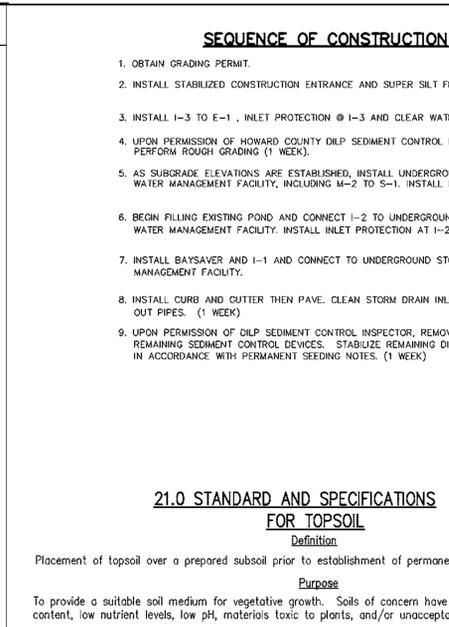
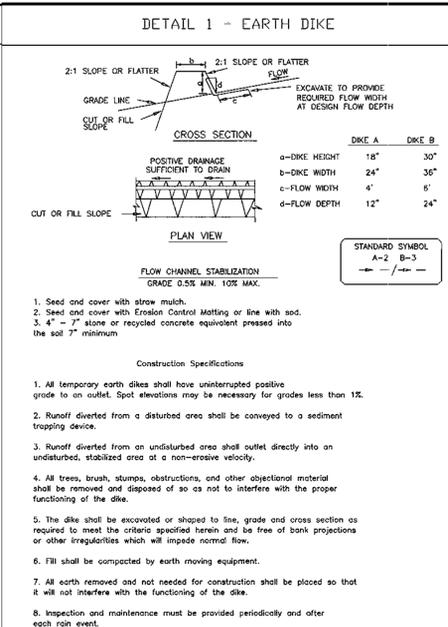
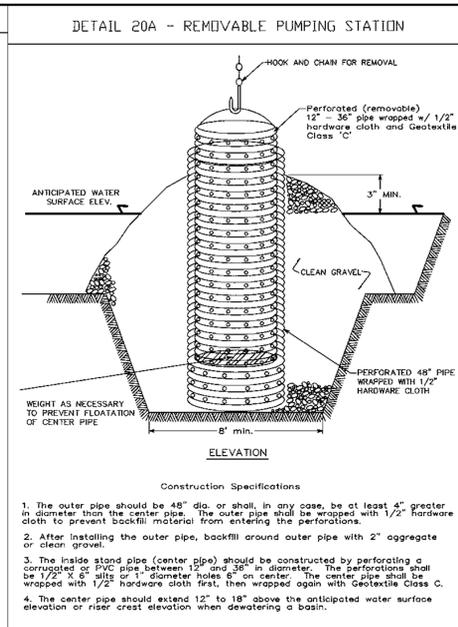
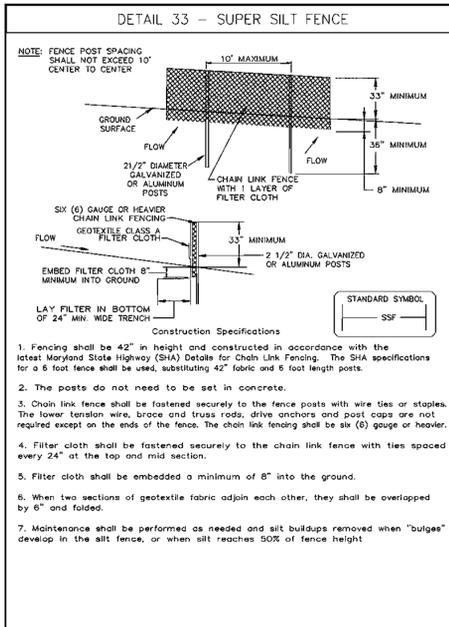
STATE OF MARYLAND
REGISTERED PROFESSIONAL ENGINEER
Christopher J. Reid
CHRISTOPHER J. REID # 17949
DATE 11.6.01

AS-BUILT CERTIFICATE

RIEMER MUEGGE & ASSOCIATES INC.
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Carver Park Drive, Columbia, MD 21046
tel 410.987.8900 fax 410.987.9282

DATE: _____
DESIGNED BY: CJR
DRAWN BY: K.E.V.
PROJECT NO.: 99140 /SDP4.DWG
DATE: OCT. 9, 2000
SCALE: AS SHOWN
DRAWING NO. 4 OF 8

AS-BUILT 11/5/01 SDP-00-96



AS-BUILT CERTIFICATE

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 REGISTERED
 1994
 CHRISTOPHER J. REID #199499

DATE: 11.6.01

BY THE DEVELOPER:

1/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Gary McLean
 DEVELOPER
 DATE: 6.29.00

BY THE ENGINEER:

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Arthur E. Muegge
 ENGINEER
 DATE: 6.29.00

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

J. L. Wainfield
 NATURAL RESOURCES CONSERVATION SERVICE
 DATE: 10/13/00

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Robertson
 HOWARD SOIL CONSERVATION DISTRICT
 DATE: 10/13/00

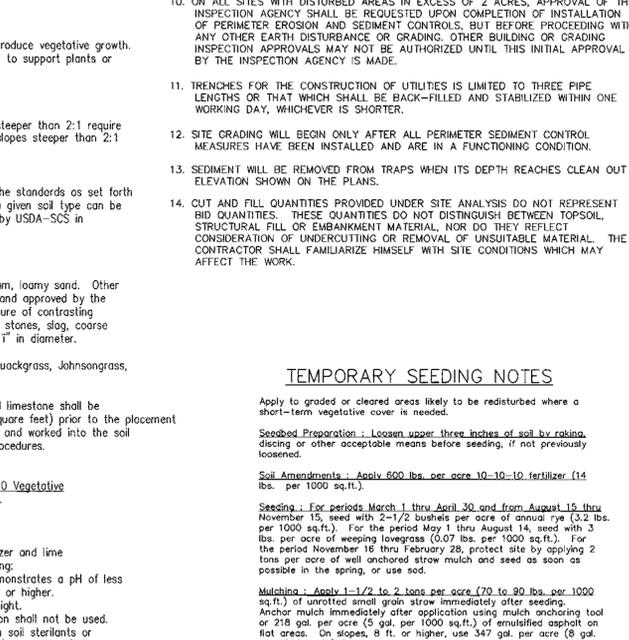
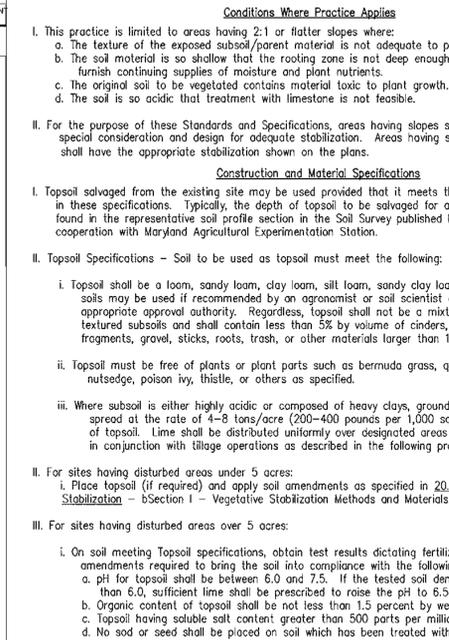
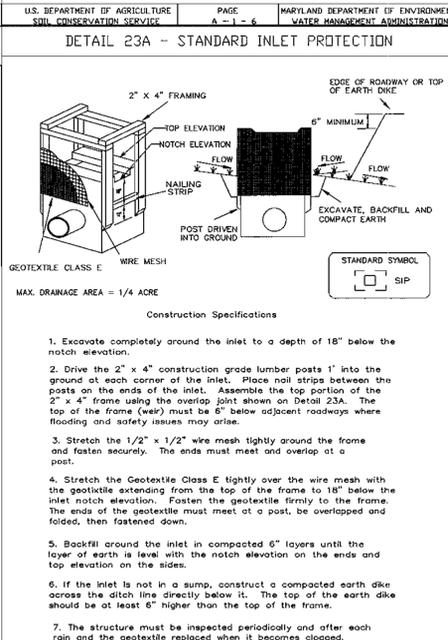
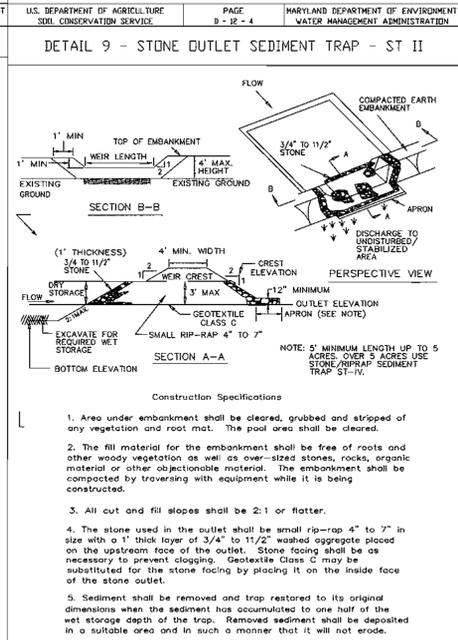
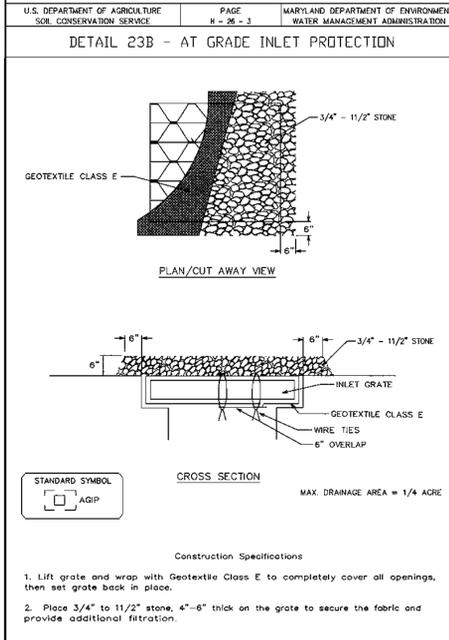
APPROVED: DEPARTMENT OF PLANNING AND ZONING

John P. Dammann
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 10/18/00

Clayton Hamaker
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 10/26/00

John R. Robertson
 DIRECTOR
 DATE: 10/27/00

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.



EROSION & SEDIMENT CONTROL DETAIL SHEET

DATE NO. REVISION

OWNER / DEVELOPER
 M. DEEMER CLASS & SON
 c/o MD WHOLESALE PRODUCE MARKET
 BUILDING A, UNIT 44-52
 JESSUP, MARYLAND 20714
 410-880-4205

PROJECT
 W. DEEMER CLASS SUBDIVISION
 PAVING EXPANSION

AREA
 TAX MAP 48 PARCEL 187
 PARCEL A ZONED M-2
 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

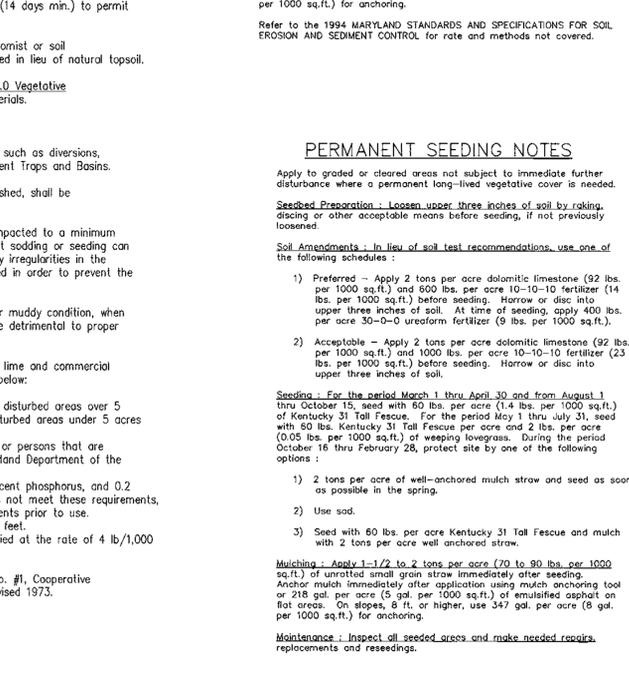
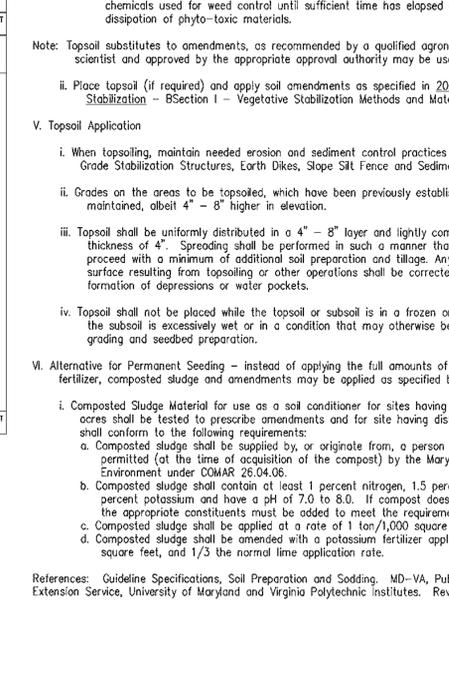
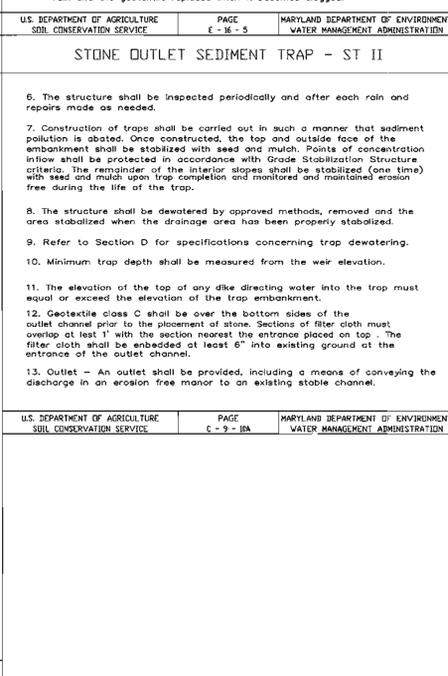
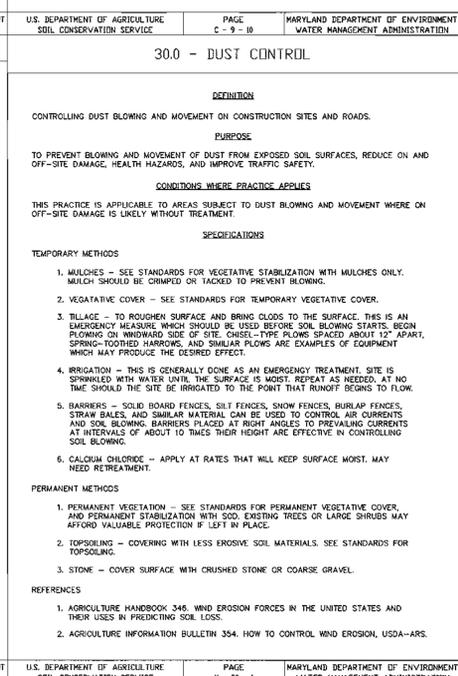
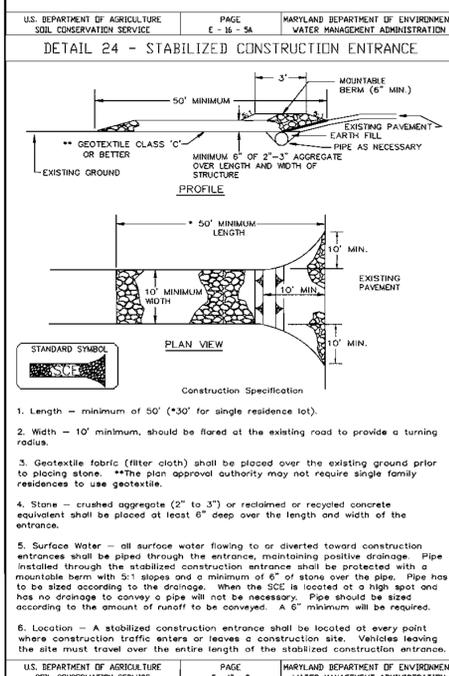
TITLE
 EROSION & SEDIMENT CONTROL
 DETAIL SHEET

RIEMER MUEGGE & ASSOCIATES INC.
 ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
 8818 Centre Park Drive, Columbia, MD 21045
 tel 410.997.8800 fax 410.997.9262

DATE

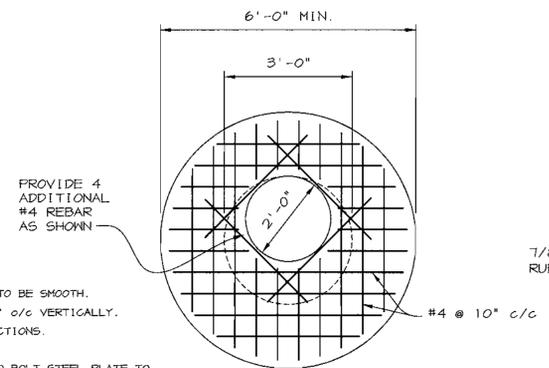
DESIGNED BY: CJR
 DRAWN BY: KCB
 PROJECT NO.: 93140
 DATE: OCT. 9, 2000
 SCALE: AS SHOWN
 DRAWING NO. 5 OF 8

ARTHUR E. MUEGGE #8707

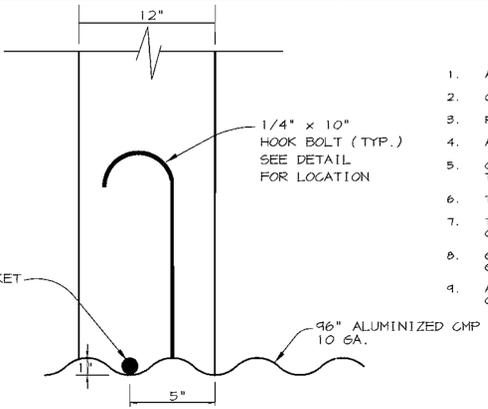


- MANHOLE NOTES:**
1. CONCRETE CAP TO BE MIX No 3
 2. MANHOLE RISER TO BE SAME GA. AS MAINLINE PIPE.
 3. STEPS TO BE INSTALLED IN MANHOLE PER MANUFACTURER'S SPECIFICATIONS.
 4. COMPACT TOP 1" OF SUBGRADE UNDER CONCRETE CAP 100% OF MAXIMUM DRY DENSITY (PER AASHTO T-99-C).
 5. SEE GEOMETRY PLAN FOR MANHOLE LOCATIONS AND RIM ELEVATIONS SH. 6 & 11.

- TRASH RACK NOTES:**
1. STEEL TO CONFORM TO ASTM A-36. BARS TO BE SMOOTH.
 2. #4 REBARS @ 2" o/c HORIZONTALLY AND 2" o/c VERTICALLY.
 3. ALL REBAR TO BE WELDED AT ALL INTERSECTIONS.
 4. ALL BENDS TO BE 2" RADIUS.
 5. WELD BARS TO 2" x 1/8" STEEL PLATE AND BOLT STEEL PLATE TO STRUCTURE WITH 1/2" ANCHOR BOLTS.
 6. GALVANIZE TRASH RACK AFTER FABRICATION AND PAINT WITH 2 COATS OF BATTLESHIP GRAY.



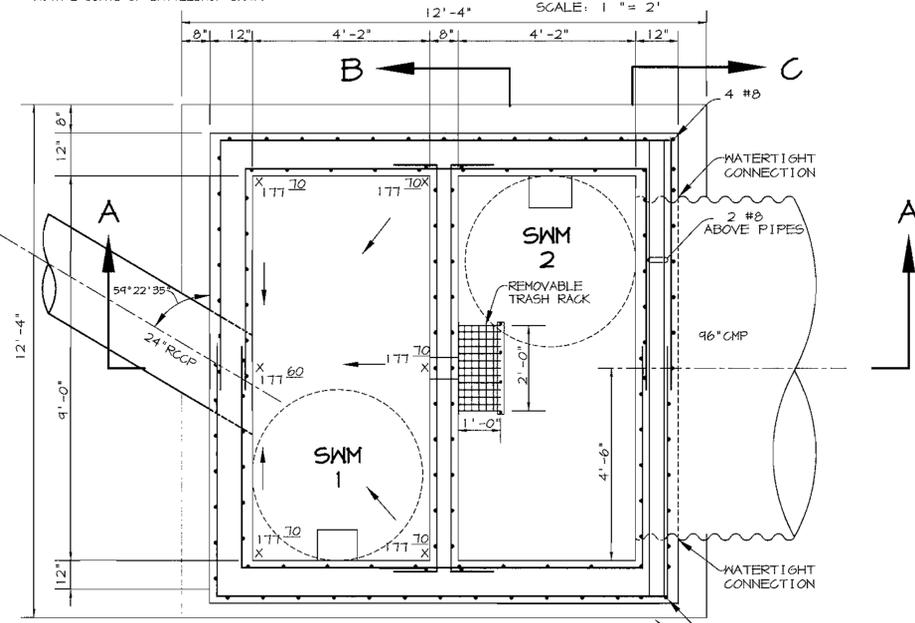
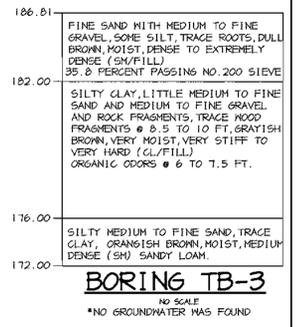
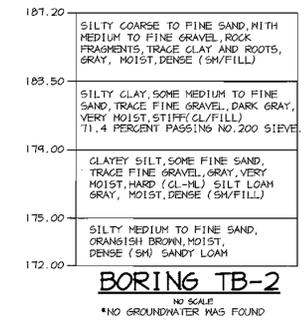
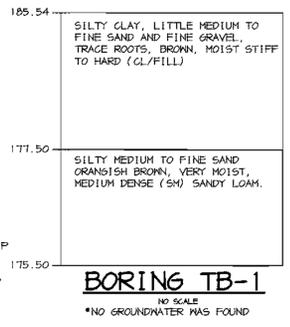
MANHOLE CONCRETE CAP



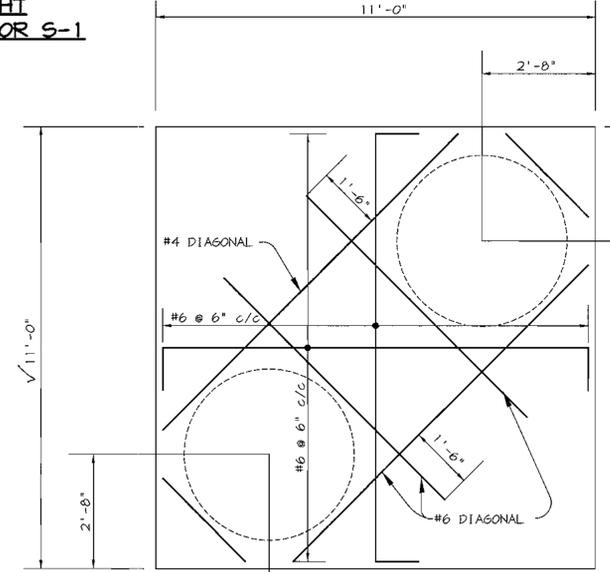
WATERTIGHT CONNECTION FOR S-1

GENERAL NOTES

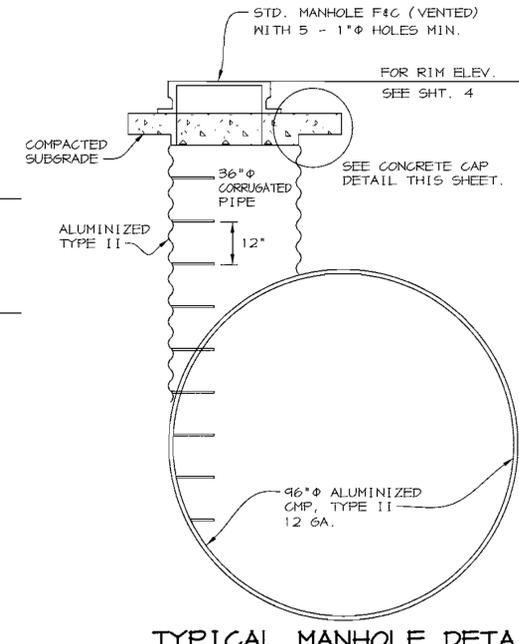
1. ALL CONSTRUCTION SHALL MEET THE HOWARD CO. STANDARDS AND SPECIFICATIONS.
2. CONCRETE STRENGTH TO BE 4,000 psi MIN. AT 28 DAYS.
3. REINFORCEMENT SHALL BE CLEAN AND FREE OF RUST AND MEET ASTM-615 GRADE 60.
4. ALL REINFORCEMENT SHALL HAVE 2" MINIMUM COVER EXCEPT BASE WHICH SHALL BE 3".
5. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION.
6. THE STRUCTURE FOUNDATION SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER.
7. THIS STRUCTURE SHALL BE CAST-IN-PLACE. CONTRACTOR TO PROVIDE WATERTIGHT CONNECTION TO ALUMINIZED 96" STEEL PIPE.
8. GALVANIZE TRASH RACK AFTER FABRICATION AND PAINT WITH TWO COATS OF BATTLESHIP GRAY.
9. ALL ALUMINIZED PIPE IN CONTACT WITH CONCRETE SHALL BE COATED WITH BITUMINOUS COATING.



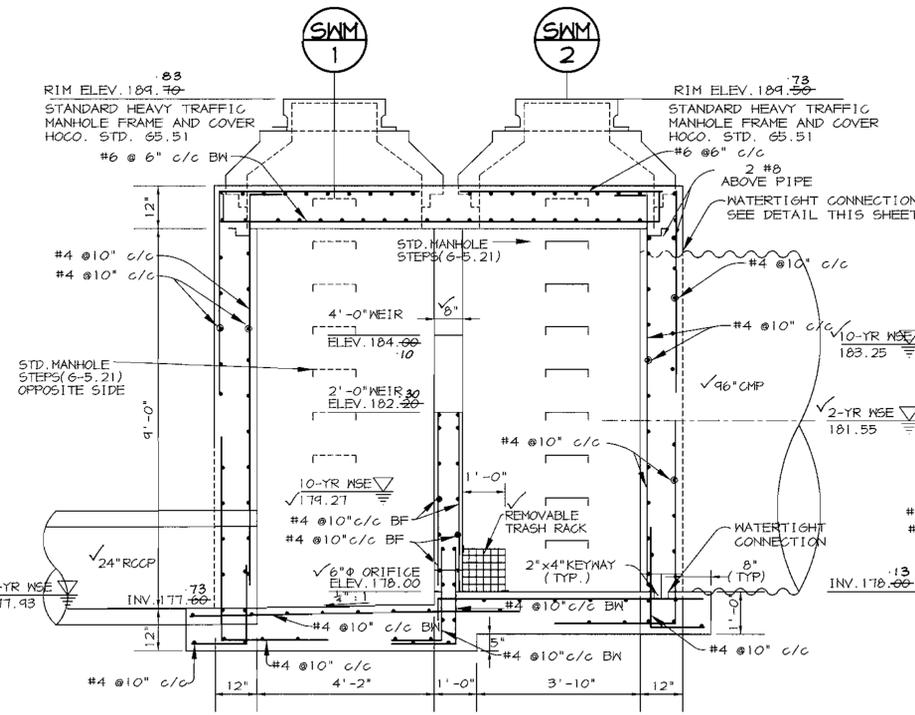
PLAN w/o TOP SLAB



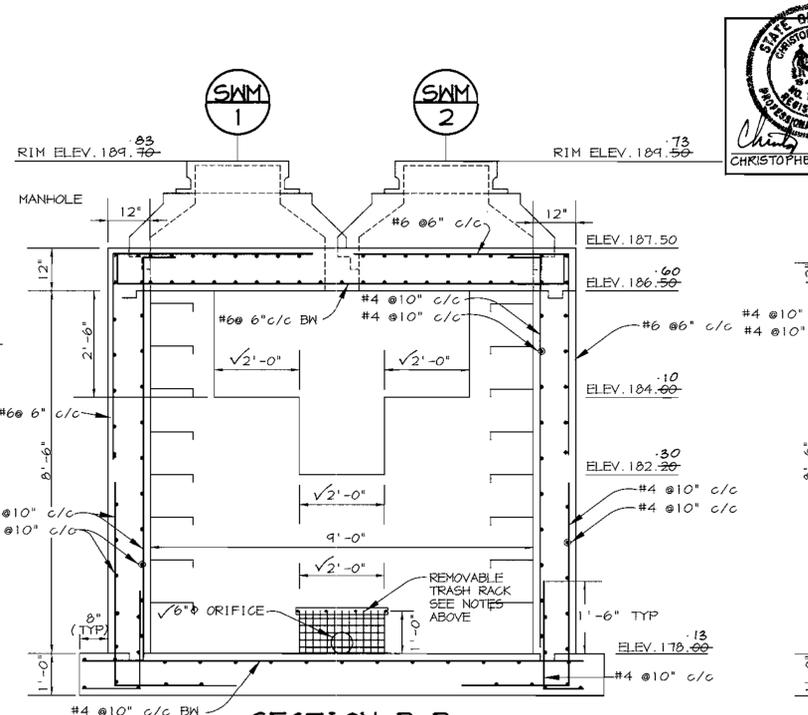
TOP SLAB DETAIL



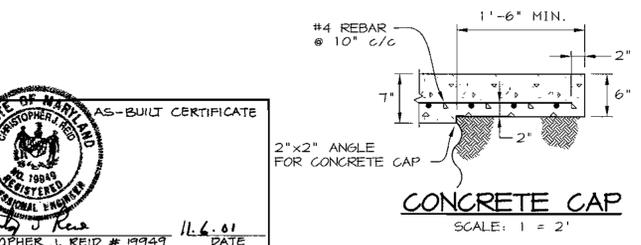
TYPICAL MANHOLE DETAIL



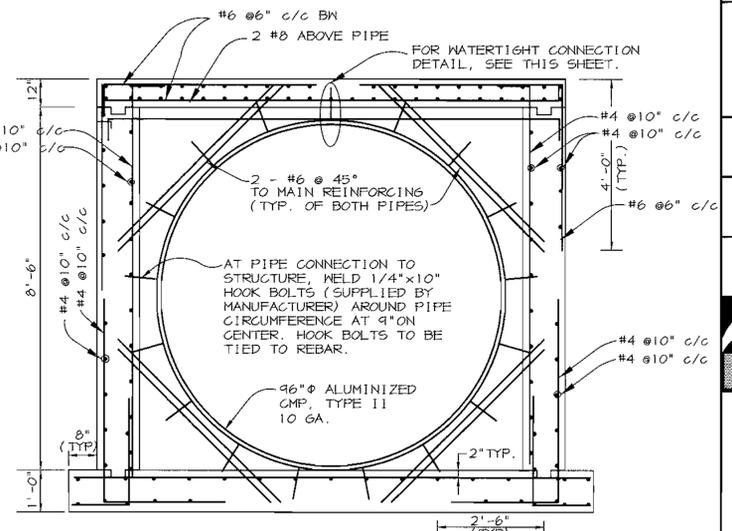
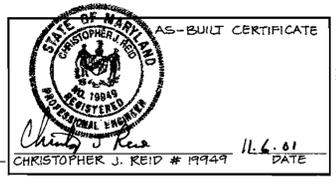
SECTION A-A



SECTION B-B



CONCRETE CAP



SECTION C-C

BY THE DEVELOPER:
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Gary McEwen 6.29.00
DEVELOPER DATE

BY THE ENGINEER:
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Arthur E. Muegge 6.29.00
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.
J. G. Woufford 10/12/00
NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
John Robertson 10/12/00
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
William Dammann 10/10/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
Wanda Hamstra 10/26/00
CHIEF, DIVISION OF LAND DEVELOPMENT DATE
James Smith 10/27/00
DIRECTOR DATE

DATE NO.	REVISION

OWNER / DEVELOPER
M. DEEMER CLASS & SON
c/o MD WHOLESALE PRODUCE MARKET
BUILDING A, UNIT 44-52
JESSUP, MARYLAND 20794
410-880-4205

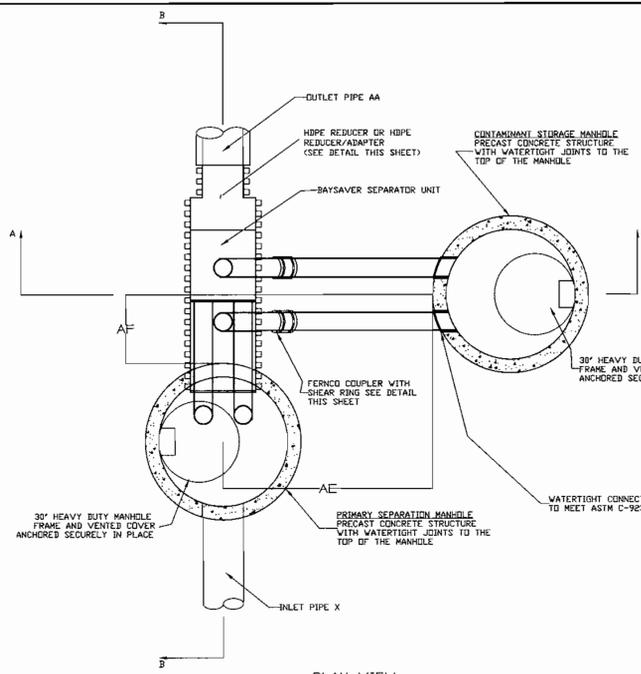
PROJECT
W. DEEMER CLASS SUBDIVISION PAVING EXPANSION

AREA
TAX MAP 48 PARCEL 187
PARCEL A ZONED M-2
6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

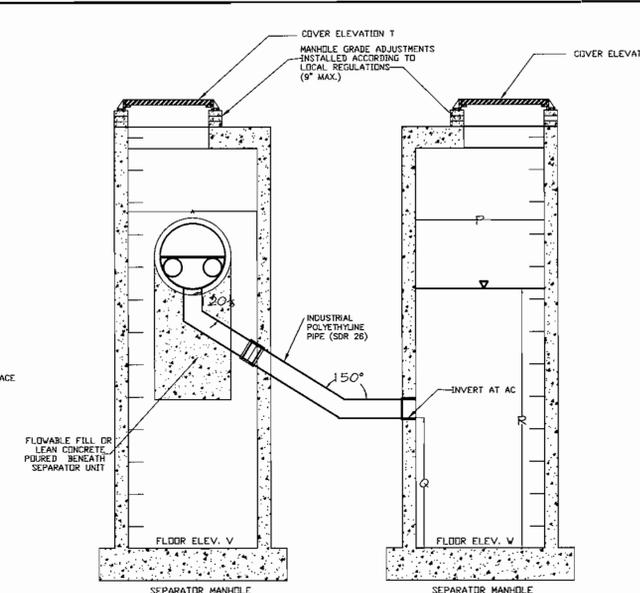
TITLE
SWM PROFILES, DETAILS AND NOTES

RIEMER MUEGGE & ASSOCIATES INC
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive, Columbia, MD 21045
tel 410.997.8900 fax 410.997.9282

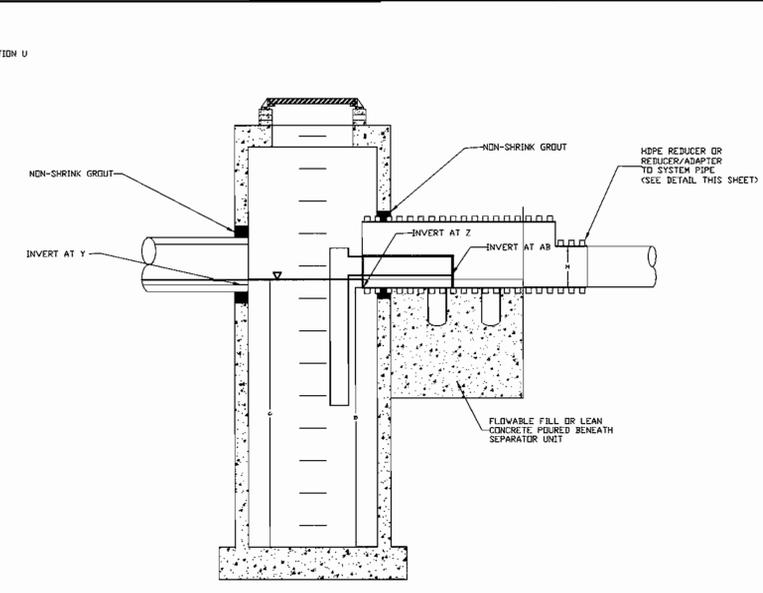
DATE	DESIGNED BY: CJR
	DRAWN BY: K.E.V.
	PROJECT NO: 99140
	DATE: OCT. 9, 2000
	SCALE: AS SHOWN
	DRAWING NO. 6 OF 8



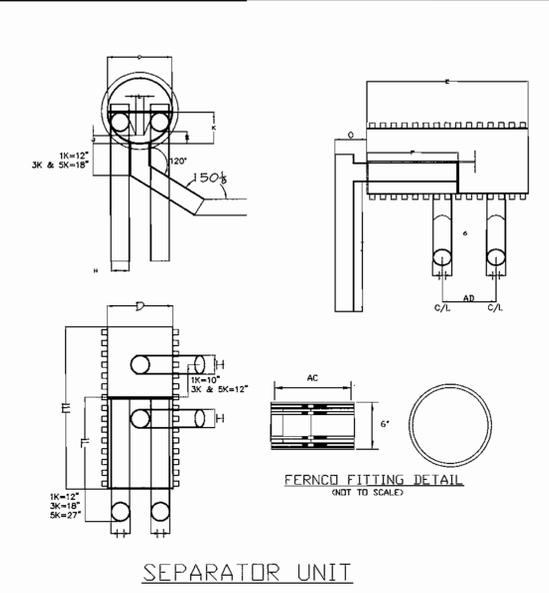
PLAN VIEW



SECTION AA



SECTION BB

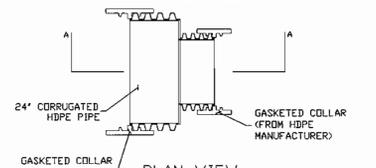


SEPARATOR UNIT

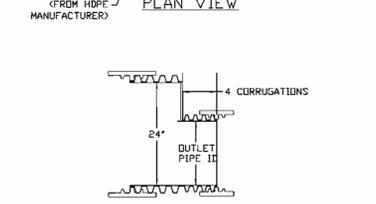
DISTANCE AC	FERRO ND	SHEAR RING
1K 7.10'	1055-66	SR-27
3K 10.60'	1056-100	SR-39
5K 12.73'	1004-100	SR-44

HDPE-HDPE REDUCER DETAIL

FOR USE WITH HDPE OUTLET PIPES
NOT TO SCALE



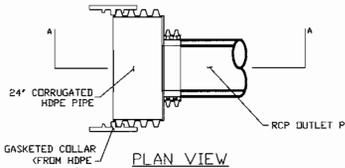
PLAN VIEW



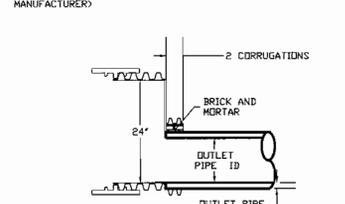
SECTION AA

REDUCER/ADAPTER DETAIL

FOR USE WITH OUTLET PIPES OTHER THAN HDPE
NOT TO SCALE



PLAN VIEW



SECTION AA

SEQUENCE OF CONSTRUCTION AND INSPECTOR'S CHECK-OFF LIST FOR DUAL MANHOLE SEPARATORS

Slope (X = Approval Required)	Developer's/Engineer Approval		Inspector		Geotechnical Engineer	
	Initials	Date	Initials	Date	Initials	Date
1. Pre-Construction Meeting.	X		X		X	
2. Install Manholes and associated storm drainage:						
a. Obtain approval of subgrade from Geotechnical Engineer. (Subgrade to have a minimum of 95% compaction)					X	
b. Installation of precast base, lower tank and lower piping.	X		X			
c. Backfill and min. 95% compaction around lower tank and lower piping.					X	
d. Installation of precast middle section(s) with separator unit and remaining piping.	X		X			
e. Installation of precast top slab.	X		X			
f. Installation of adjustment rings and frame and cover.	X		X			
g. Installation of flowable fill or concrete backfill.					X	
3. Backfill operation and compaction.					X	
4. Site is permanently stabilized. Sediment control measures removed and all sediment and debris removed from dual manhole separators.					X	
5. Final inspection.					X	

GENERAL CONSTRUCTION NOTES
1. ALL WORK MUST BE DONE WITH REGARD FOR THE SAFETY OF THE CONSTRUCTION CREW.
2. ALL WORK AND MATERIALS MUST COMPLY WITH APPLICABLE STATE AND LOCAL REGULATIONS.
3. KNOW THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES BEFORE EXCAVATION BEGINS.

NOTE:
BAYSAVERS ARE TO BE INSTALLED WITH THE STORM DRAIN SYSTEM AND WILL FUNCTION AS SECONDARY SEDIMENT CONTROL DEVICES. UPON COMPLETION OF SITE STABILIZATION, EACH BAYSAVER SYSTEM SHALL BE FLUSHED CLEAN & THE MANHOLES CLEANED OUT AND REFILLED WITH CLEAN WATER.

NOTE: DIMENSIONAL SHOP DRAWINGS ARE TO BE APPROVED BY THE DESIGN ENGINEER

BAYSAVER MAINTENANCE
BAYSAVER SYSTEMS MUST BE INSPECTED AND MAINTAINED PERIODICALLY. INSPECTION IS MADE BY CHECKING THE DEPTH OF SEDIMENT IN EACH MANHOLE WITH A GRADE STICK OR SIMILAR DEVICE. MAINTENANCE IS REQUIRED WHEN THE SEDIMENT DEPTH IN EITHER MANHOLE EXCEEDS 2 FEET. MINIMUM INSPECTION IS REQUIRED TWICE A YEAR TO MAINTAIN OPERATION AND FUNCTION OF BAYSAVER. MAINTENANCE CONSISTS OF THE FOLLOWING:
A. CONTAMINANT STORAGE MANHOLE
1. REMOVE THE ENTIRE VOLUME OF THE CONTAMINATED WATER BY VACUUM TRUCK.
2. CLEAN THE MANHOLE WALLS AND FLUSH OUT THE MANHOLE USING A HIGH PRESSURE HOSE AND REMOVE FLUSHING WATER BY VACUUM TRUCK. MAKE CERTAIN MANHOLE IS CLEAN.
B. PRIMARY SEPARATION MANHOLE
1. USING A SUBMERSIBLE PUMP, PUMP THE CLEAN WATER FROM THE CENTER OF THE MANHOLE DIRECTLY INTO THE EMPTY STORAGE MANHOLE UNTIL THE WATER LEVEL FALLS TO 1 FOOT ABOVE THE SEDIMENT LAYER.
2. REMOVE THE SETTLED SEDIMENT AND REMAINING WATER BY VACUUM TRUCK.
3. CLEAN THE MANHOLE WALLS AND FLUSH OUT THE MANHOLE USING A HIGH PRESSURE HOSE AND REMOVE FLUSHING WATER BY VACUUM TRUCK. MAKE CERTAIN MANHOLE IS CLEAN.
4. CONTAMINATED MATERIAL REMOVED FROM THE MANHOLES MUST BE DISPOSED OF RESPONSIBLY AND LEGALLY BY THE OPERATOR OF THE VACUUM TRUCK.

BAYSAVER INSTALLATION INSTRUCTIONS
1. EXCAVATION MUST PROVIDE ADEQUATE SPACE TO CONNECT INLET AND OUTLET PIPES TO SEPARATOR MANHOLE AND BAYSAVER UNIT. INSTALL PRECAST DROPP STRUCTURES ON SOLID GROUND AS VERIFIED BY A GEOTECHNICAL ENGINEER.
2. VERIFY THE SUBGRADE ELEVATION AGAINST THE MANHOLE DIMENSIONS AND CONNECTING STORM DRAIN INVERTS.
3. MAKING SURE THE BASES ARE LEVEL AND THE STORAGE MANHOLE OPENINGS ARE ALIGNED WITH THE SEPARATOR UNIT. INSTALL PRIMARY AND STORAGE MANHOLES. INSTALL RUBBER GASKETS ON BASE UNITS AND COAT WITH LUBRICATING GREASE. INSTALL ADDITIONAL MANHOLE SECTIONS AS REQUIRED. SEAL LIFT HOLES WITH NON-SHRINK GROUT.
4. BACKFILL BASE SECTIONS OF MANHOLES TO INVERT OF STORAGE MANHOLE CONNECTING PIPES. USING APPROVED BACKFILL MATERIAL. BACKFILL AND COMPACT IN 8 INCH LIFTS. BACKFILL AND COMPACT SHOULD BE MONITORED BY A GEOTECHNICAL ENGINEER.
5. INSTALL BAYSAVER SEPARATOR UNIT AND CONNECTING PIPES. SEAL ALL CONNECTING JOINTS AND INSTALL SEPARATOR UNIT/STORM DRAIN JOINT COLLAR. CUT EXCESS LENGTH OFF CONNECTING PIPES INSIDE STORAGE MANHOLE.
6. BACKFILL SEPARATOR UNIT AND MANHOLES. AREAS NOT ACCESSIBLE TO COMPACTOR EQUIPMENT MUST BE BACKFILLED WITH LEAN CONCRETE OR FLOWABLE FILL.
7. INSTALL AND SET MANHOLE COVER GRADE ADJUSTMENT RINGS AS NECESSARY.
8. INSTALL AND SET MANHOLE FRAME AND COVER UNITS.

OPERATION AND MAINTENANCE SCHEDULE FOR BAYSAVER UNITS

- Baysaver structures will require periodic inspection and cleaning to maintain operation and function. Owners will have the Baysaver unit inspected yearly or as required by Howard County, utilizing the Baysaver units Inspection/Monitoring Form. Inspections can be done by using a clear Plexiglas tube ("sludge judge") to extract a water column sample. When sediment depths exceed the specified level (Table 6 of Technical Manual) then cleaning of the unit is required.
- Baysaver structures must be checked and cleaned immediately after petroleum spills. Contact appropriate regulatory agencies.
- Maintenance of Baysaver units should be done by a vacuum truck which will remove the water, sediment, debris, floating hydrocarbons, and other materials in the unit. The proper cleaning and disposal of the removed materials and liquid must be followed.
- Inlet and outlet pipes must be checked for any obstructions and if any obstructions are found they must be removed. Structural parts of the Baysaver will be repaired as needed.
- Owner shall retain and make Baysaver units Inspection/Monitoring Forms available to Howard County officials upon their request.

Baysaver Separator Unit	Baysaver Manhole Sites (prim. x stor.)	Maximum Treatment (cfs)*1	Maximum Treatment Area (gpm)*1	Impervious Area (acres)
1K Baysaver Separator	48x48 48x50 48x72 60x60	2.4 2.4 2.4 2.4	1076 1078 1078 1078	1.2 1.4 1.8 1.5
3K Baysaver Separator	60x60 60x72 60x84 72x72	7.2 7.2 7.2 7.2	3231 3231 3231 3231	3.6 WQ-1 4.8 4.4
5K Baysaver Separator	72x72 72x84 72x96 96x96	11.1 11.1 11.1 11.1	4981 4981 4981 4981	5.5 5.5 WQ-2 8.0

TABLE 3.2 - BAYSAVER DESIGN GUIDE

Baysaver Separator Unit	Treatment Capacity (gpm)*1	By-Pass Capacity (gpm)*1
1 K	2.4 gpm	8.60 cfs
3 K	7.2 gpm	24.5 cfs
5 K	11.1 gpm	50.0 cfs

	Impervious Drainage Area
WQ-1	1.66 Acres
WQ-2	5.81 Acres

Project: W.D. CLASS PROPERTY Designer: RMA INC.
 Address: BLDG. A, 44-52 Contact: CHRIS REID
JESSUP, MD Phone: 410-997-8900
20794 Fax: 410-997-9282
 Delivery Date: _____
 Owner: _____ Contractor: _____
 Contact: _____ Address: _____
 Address: _____ Contact: _____
 Phone: _____
 Fax: _____

Separator Unit Model:
 1K
 3K
 5K

 Circle system orientation above

Manhole Specifications:
 Primary Manhole Diameter: 12 inches
 Storage Manhole Diameter: 24 inches
 Floor Elevations:
 Primary Manhole: 174.82 ✓
 Storage Manhole: 171.82 ✓
 Primary Manhole Inverts:
 Separator Unit: 174.82 ✓
 Inlet Pipe(s): 174.92 (30°) ✓

 Please show orientation (including angle), size and material of inlet pipes above.
 Cover Elevations:
 Primary Manhole: 193.45 ✓
 Storage Manhole: 194.02 ✓
WQ-2/WQ-2A

Project: W.D. CLASS PROPERTY Designer: RMA INC.
 Address: BLDG. A, 44-52 Contact: CHRIS REID
JESSUP, MD Phone: 410-997-8900
20794 Fax: 410-997-9282
 Delivery Date: _____
 Owner: _____ Contractor: _____
 Contact: _____ Address: _____
 Address: _____ Contact: _____
 Phone: _____
 Fax: _____

Separator Unit Model:
 1K
 3K
 5K

 Circle system orientation above

Manhole Specifications:
 Primary Manhole Diameter: 60 inches
 Storage Manhole Diameter: 60 inches
 Floor Elevations:
 Primary Manhole: 174.08 ✓
 Storage Manhole: 171.08 ✓
 Primary Manhole Inverts:
 Separator Unit: 182.08 ✓
 Inlet Pipe(s): 182.08 (30°) ✓

 Please show orientation (including angle), size and material of inlet pipes above.
 Cover Elevations:
 Primary Manhole: 187.57 ✓
 Storage Manhole: 187.88 ✓
WQ-1/WQ-1A

BAYSAVER SYSTEM DIMENSIONS

DESCRIPTION	1K SYSTEM	3K SYSTEM	5K SYSTEM
SEPARATOR MANHOLE DIMENSIONS			
A PRIMARY MANHOLE DIAMETER	48"	60"	72"
B MANHOLE DEPTH BELOW OUTLET	8' - 0"	8' - 0"	8' - 0"
C MINIMUM FLUID DEPTH	8' - 3"	8' - 4 1/2"	8' - 6"
STANDARD SEPARATOR UNIT DIMENSIONS			
D SEPARATOR UNIT ID	24"	36"	48"
E SEPARATOR UNIT LENGTH	60"	78.2"	75.4"
F BYPASS PLATE LENGTH	34"	45"	45"
G WEIR/BYPASS PLATE THICKNESS	3/4"	3/4"	3/4"
H ELBOW AND CONNECTING PIPE OD	7.125"	10.75"	12.75"
I ELBOW LENGTH	48"	48"	48"
J WEIR HEIGHT ABOVE INVERT	3"	4"	6"
K BYPASS PLATE HEIGHT ABOVE INVERT	12"	18"	24"
L WIDTH OF WEIR AT BASE	3"	4 1/2"	6"
M OUTLET PIPE DIAMETER	4"	6"	8"
N ELBOW INVERT HEIGHT ABOVE UNIT INVERT	4 1/2"	7 1/2"	11"
O ELBOW PIPE OVERHANG	12"	18"	24"
STORAGE MANHOLE DIMENSIONS			
P STORAGE MANHOLE DIAMETER	48"	60"	84"
Q MANHOLE DEPTH BELOW INLET/OUTLET	48"	48"	48"
R FLUID DEPTH	8' - 0"	8' - 0"	8' - 0"
S TOTAL STORAGE VOLUME	200 CF	300 CF	450 CF
SYSTEM DIMENSIONS AND ELEVATIONS			
T SEPARATOR MANHOLE COVER ELEVATION	T	T	T
U STORAGE MANHOLE COVER ELEVATION	U	U	U
V SEPARATOR MANHOLE FLOOR ELEVATION	V	V	V
W STORAGE MANHOLE FLOOR ELEVATION	W	W	W
X INLET PIPE ID AND MATERIAL	X1 X2	X1 X2	X1 X2
Y INLET PIPE INVERT	Y1 Y2	Y1 Y2	Y1 Y2
Z SEPARATOR UNIT INVERT	Z	Z	Z
AA OUTLET PIPE ID AND MATERIAL	AA	AA	AA
AB ELBOW INVERT ELEVATION	AB	AB	AB
AC CONNECTING PIPE INVERT ELEVATION	AC	AC	AC
AD CONNECTION PIPE SPACING	28"	24"	24"
AE STORAGE MANHOLE SIDE OFFSET	72 ± 6"	72 ± 6"	84 ± 6"
AF STORAGE MANHOLE DOWNSTREAM OFFSET	23"	31"	25"

APPROVED: DEPARTMENT OF PLANNING AND ZONING

 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 10/10/00

 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 1/10/00

 DIRECTOR
 DATE: 10/27/00

DATE NO. _____ REVISION _____
 OWNER / DEVELOPER
 W. DEEMER CLASS & SON
 c/o MD WHOLESALE PRODUCE MARKET
 BUILDING A, UNIT 44-52
 JESSUP, MARYLAND 20794
 410-880-4205

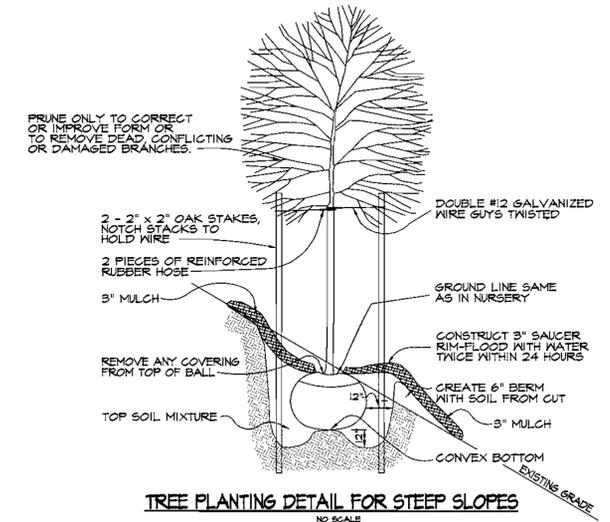
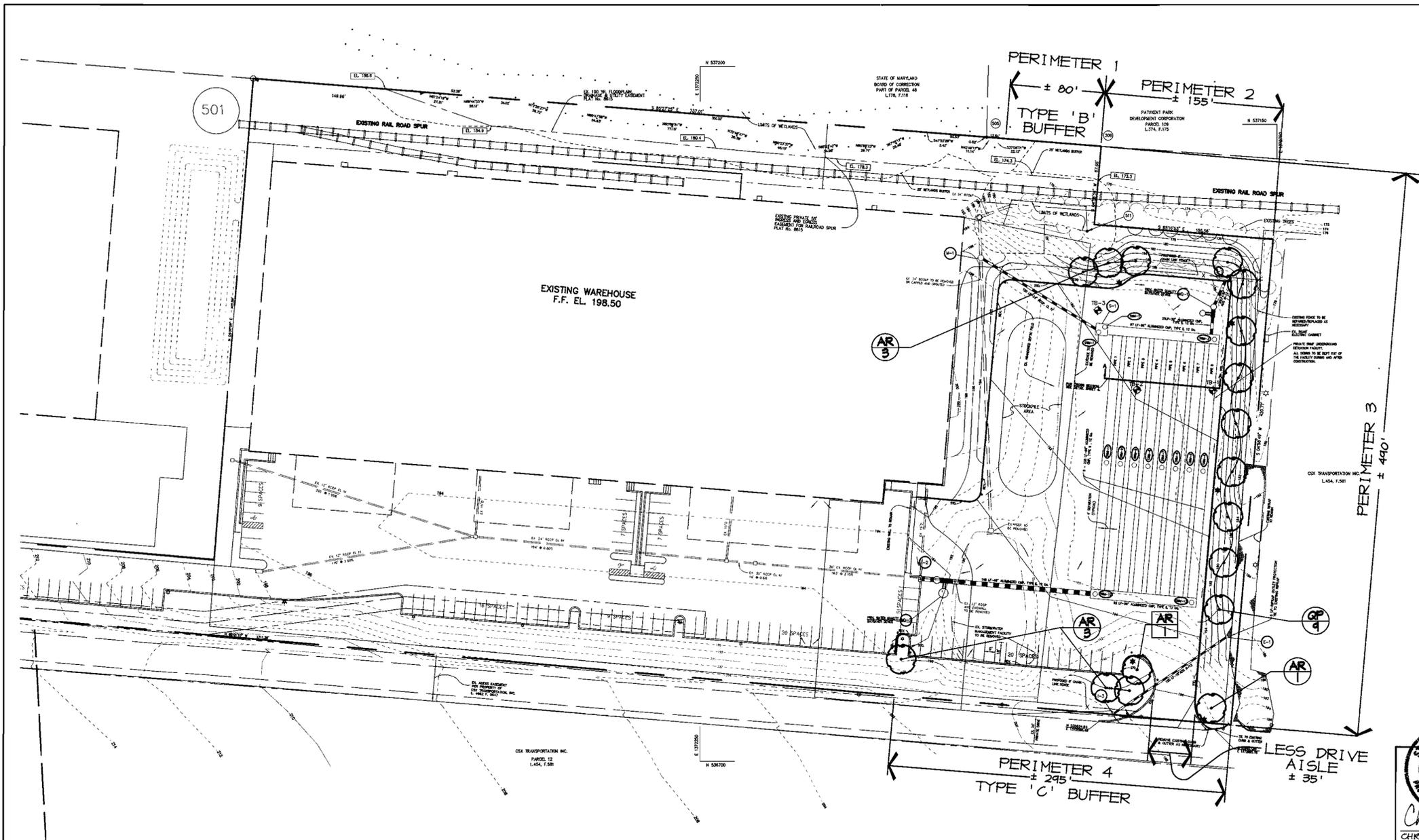
PROJECT
W. DEEMER CLASS SUBDIVISION PAVING EXPANSION
 AREA
 TAX MAP 4B PARCEL 187
 PARCEL A, ZONED M-2
 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

WATER QUALITY NOTES AND DETAILS

RIEMER MUEGGE & ASSOCIATES INC.
 ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
 8818 Centre Park Drive, Columbia, MD 21045
 Tel 410.987.8800 Fax 410.987.8282

DATE _____
 DESIGNED BY: CJR
 DRAWN BY: KCB
 PROJECT NO: 99140
 SDP7.DWG
 DATE: OCT. 9, 2000
 SCALE: AS SHOWN
 DRAWING NO. 7 OF 8

STATE OF MARYLAND
 ENGINEERING PROFESSIONAL REGISTERED
 1999
 CHRISTOPHER J. REID #19949
 AS-BUILT CERTIFICATE
 11.6.01
 DATE



LANDSCAPE LEGEND	
PROP. SHADE TREE	(Symbol: Circle with a dot)
PERIMETER LANDSCAPE REQUIREMENT	(Symbol: Circle with 'XX')
PARKING LOT LANDSCAPE REQUIREMENT	(Symbol: Square with 'XX')

AS-BUILT CERTIFICATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chris J. Reid 11.06.01 DATE
CHRISTOPHER J. REID # 19949

PERIMETER	ADJACENT TO PERIMETER PROPERTIES			
	* 1	* 2	* 3	* 4
LANDSCAPE TYPE	A	A	A	A
LINEAR FEET OF ROADWAY FRONTAGE/ PERIMETER	± 80'	± 155'	± 440'	± 295'
CREDIT FOR EXISTING VEGETATION (YES/NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO
CREDIT FOR WALL, FENCE, BERM, OR DRIVE AISLE (YES/NO LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	± 35'
NUMBER OF PLANTS REQUIRED	●1/60' = 1	●1/60' = 3	●1/60' = 8	●1/60' = 4
NUMBER OF PLANTS PROVIDED	1	3	8	4

SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING	
PARKING LOT	* 1
NUMBER OF PARKING SPACES	20
NUMBER OF SHADE TREES REQUIRED (1/20 SPACES)	1
NUMBER OF TREES PROVIDED	1
NUMBER OF ISLANDS REQUIRED (200 SF. AREA / ISLAND)	1
NUMBER OF ISLANDS PROVIDED	1

SYMBOL	QTY.	SCIENTIFIC/COMMON NAME	SIZE	ROOT	SPACING
AR	8	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE	2 1/2" - 3" CAL	B&B	PLANT AS SHOWN
GP	4	QUERCUS PALUSTRIS PIN OAK	2 1/2" - 3" CAL	B&B	PLANT AS SHOWN

SCHEDULE 'A' NOTES:

* EXPANSION TO EXISTING DEVELOPMENT OF LESS THAN 50% SHALL BE REQUIRED TO PROVIDE LANDSCAPING FOR THE ADDITIONAL DEVELOPMENT ONLY. (PAGE 3 OF THE HO. CO. LANDSCAPE MANUAL)

SCHEDULE 'B' NOTES:

EXPANSION OF PARKING LOTS BY LESS THAN 50% SHALL BE REQUIRED TO PROVIDE LANDSCAPING FOR THE ADDITIONAL DEVELOPMENT ONLY. (PAGE 3 OF THE HO. CO. LANDSCAPE MANUAL)

PLANT LIST NOTES:

SURETY AMOUNT IS BASED ON REQUIRED LANDSCAPE MATERIAL ONLY. SEE GENERAL NOTE #2 FOR SURETY TOTAL.

- GENERAL NOTES:
- "THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
 - "FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$ 5,100.
 - THIS PLAN IS FOR LANDSCAPING PURPOSES ONLY.
 - CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.

DEVELOPER'S/BUILDER'S CERTIFICATE:

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Gary M. Elie 6.29.01 DATE
NAME DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chris J. Reid 10/10/00 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION

Chris J. Reid 10/26/01 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT

Chris J. Reid 10/27/00 DATE
DIRECTOR

OWNER / DEVELOPER

N. DEEMER CLASS & SON
c/o MD WHOLESALE PRODUCE MARKET
BUILDING A, UNIT 44-52
JESSUP, MARYLAND 20714
410-880-4205

PROJECT

W. DEEMER CLASS SUBDIVISION
PAVING EXPANSION

AREA

TAX MAP 48 PARCEL 187
PARCEL A ZONED M-2
6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE

LANDSCAPE PLAN

RIEMER MUEGGE & ASSOCIATES INC
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8816 Centre Park Drive, Columbia, MD 21045
tel 410.967.8900 fax 410.967.8282

6-29-2000 DATE

DESIGNED BY: D.T.D.
DRAWN BY: A.J.L.
PROJECT NO: 99140
LSCP.DWG
DATE: OCT. 9, 2000
SCALE: 1"=50'
DRAWING NO. 8 OF 8

DAVID T. DOWS

SHEET INDEX	
1	TITLE SHEET
2	SITE DEVELOPMENT PLAN
3	GRADING, SEDIMENT CONTROL PLAN, DRAINAGE AREA MAP
4	PROFILES AND DETAILS
5	SEDIMENT AND EROSION CONTROL DETAILS
6	SWM PROFILES, DETAILS AND NOTES
7	WATER QUALITY NOTES AND DETAILS
8	LANDSCAPE PLAN

SITE DEVELOPMENT PLAN

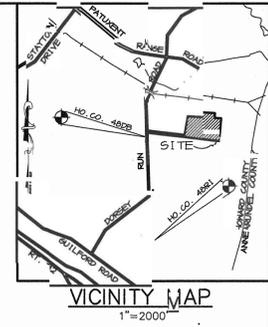
W.D. CLASS PROPERTY

6th ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

AS-BUILT CONTROL BENCHMARKS

- ✓ HOWARD COUNTY SURVEY CONTROL STATION: 48DB
N 536,575.71 E 1,371,055.78
ELEV. 132.669 FT
DESCRIPTION: 3/4" DIAMETER REBAR
- ✓ HOWARD COUNTY SURVEY CONTROL STATION: 48RI
N 534,156.65 E 1,371,185.72
ELEV. 101.427 FT
DESCRIPTION: 3/4" DIAMETER REBAR



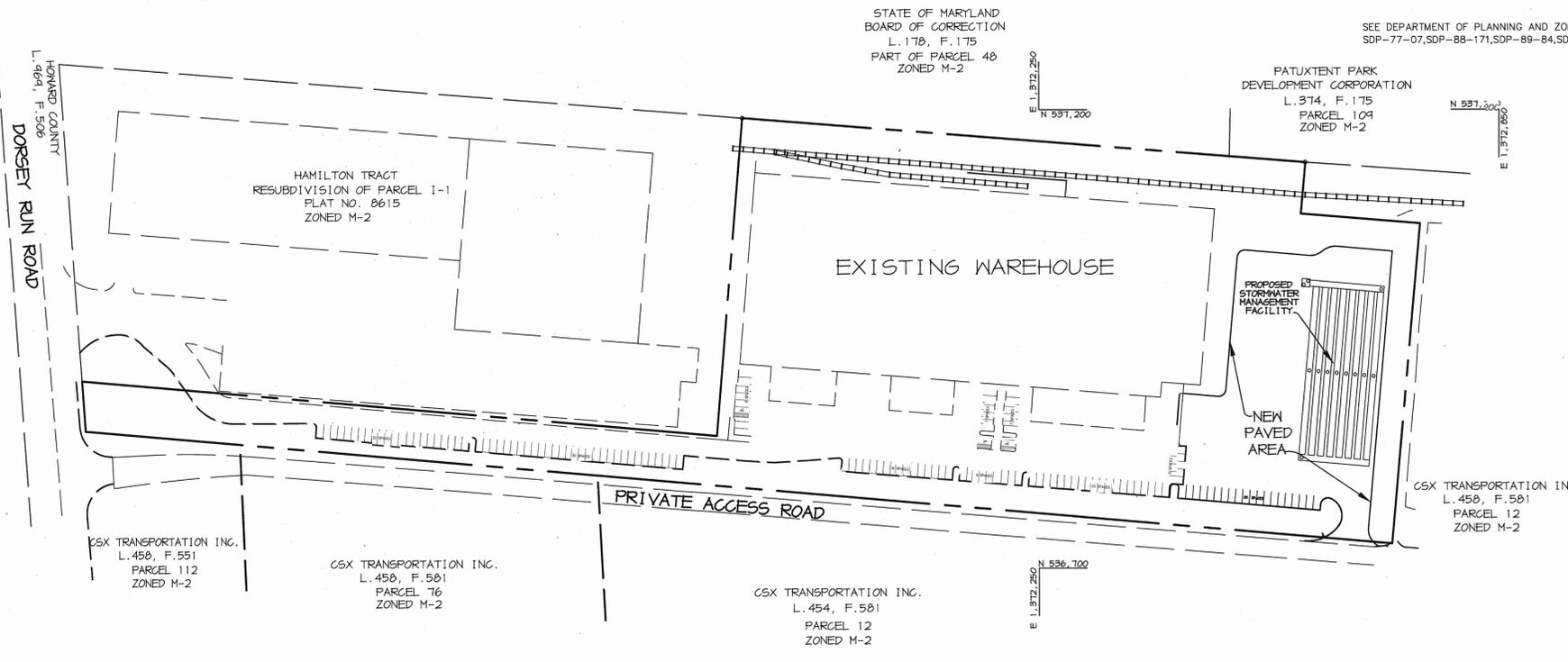
GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY RIEMER MUEGGE & ASSOC. DATED MAY, 1999.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. STATION NUMBERS 48DB AND 48RI WERE USED.
- WATER IS PUBLIC, CONTRACT NO. 44-1978-D AND 670-W.
- PUBLIC SEWER IS NOT AVAILABLE. SITE HAS HOOKED INTO STATE OF MARYLAND CLIFTON PERKINS HOSPITAL PRIVATE SEWER AS PER MEAS. CONT. NO. 99-04-32.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- A 100-YEAR FLOODPLAIN STUDY IS NOT REQUIRED FOR THIS PROJECT.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- A GEOTECHNICAL STUDY WAS PREPARED BY ENGINEERING CONSULTING SERVICES, LTD.
- THE BOUNDARY SURVEY FOR THIS PROJECT WAS PERFORMED BY RIEMER MUEGGE & ASSOCIATES, INC. DATED MAY, 1999.
- SUBJECT PROPERTY ZONED M-2 PER 10-18-93 COMPREHENSIVE ZONING PLAN.
- ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
- SEE DEPARTMENT OF PLANNING AND ZONING FILE NO'S - F-77-13,F-89-65,F-99-03 SDP-77-07,SDP-88-171,SDP-89-84,SDP-90-197,SDP-91-72.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD.
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE.
- ALL STORM DRAIN PIPE BEDDING SHALL BE CLASS 'C' AS SHOWN IN FIG. 11.4, VOLUME 1 OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE NOTED.
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- STORM DRAIN TRENCHES WITHIN ROAD RIGHT OF WAY SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.E., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, LATEST AMENDMENTS.
- PROFILES STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T180.
- A LANDSCAPE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL FOR THIS SITE. SEE SHEET 8 FOR THE REQUIRED FINANCIAL SURETY.
- A DECLARATION OF INTENT HAS BEEN FILED TO MEET FOREST CONSERVATION OBLIGATIONS. THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BECAUSE LESS THAN 40,000 SQUARE FEET OF FORESTWILL BE CLEARED. 3,500± SQUARE FEET OF FOREST WILL BE CLEARED.
- NO APFO TRAFFIC STUDY IS REQUIRED FOR THIS PROJECT AS NO INCREASE IN TRAFFIC IS GENERATED.
- STORMWATER MANAGEMENT FOR THIS DEVELOPMENT IS PROVIDED BY PRIVATELY MAINTAINED BAYSAYER WATER QUALITY DEVICE AND A PRIVATELY MAINTAINED UNDERGROUND DETENTION SYSTEM.
- PAVEMENT EXPANSION IS FOR VEHICULAR STORAGE AND STAGING AREA FOR EXISTING TRUCK FLEET.
- WP-99-01 WAS A WAIVER TO HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.145 REQUIRING SUBMISSION OF A SKETCH PLAN OR PRELIMINARY EQUIVALENT SKETCH PLAN, AND SECTION 16.102 (d) (2) REQUIRING A PLAT TO COVER AN ENTIRE PARCEL WAS APPROVED ON AUGUST 6, 1998 FOR F-00-03.
- THE PAVEMENT DETAILS FOR THIS SITE REFLECT THE HOWARD COUNTY STANDARD PAVEMENT SECTIONS AND ARE NOT BASED ON SITE SPECIFIC CONDITIONS. PRIOR TO PAVING, THE FINAL PAVEMENT SECTIONS SHALL BE DETERMINED BY A QUALIFIED GEOTECHNICAL ENGINEER BASED ON IN-SITU TESTING OF THE FINISHED SUBGRADE.
- ALL EXTERIOR LIGHTING WILL COMPLY WITH SECTION 134, ZONING REGULATIONS.

SITE TABULATION

SITE AREA	10.92 ACRES (475,675 SF)
LIMIT OF DISTURBED AREA (SUBMISSION AREA)	2.58 ACRES (112,300 SF)
PRESENT ZONING	M-2
PROPOSED USE	PAVEMENT EXPANSION FOR TRACTOR TRAILER STAGING AND STORAGE
△ PARKING SPACES REQUIRED (SEE TABULATION BELOW)	125 SPACES
EXISTING PARKING SPACES	73 SPACES (INC. 3 HC SPACES)
PROPOSED PARKING SPACES	60 SPACES
TOTAL PARKING SPACES	133 SPACES (6 EXISTING SPACES DELETED) (INCL. 3 HC SPACES)

SEE DEPARTMENT OF PLANNING AND ZONING FILE NO'S - F-77-13,F-89-65,F-99-03 SDP-77-07,SDP-88-171,SDP-89-84,SDP-90-197,SDP-91-72.



PLAN

SCALE: 1"=100'

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED UNDERGROUND STORMWATER MANAGEMENT FACILITY

- Underground structures will require periodic inspection and cleaning to maintain operation and function. Owners will have the underground structures inspected yearly or as required by Howard County, utilizing the underground units inspection/monitoring form. Inspections can be done by using a clear Plexiglas tube ("sludge judge") to extract a water column sample. When sediment depths exceed 5" then cleaning of the structures is required.
- Underground facility structures must be checked and cleaned immediately after petroleum spills. Contact appropriate regulatory agencies.
- Maintenance of underground structures should be done by a vacuum truck which will remove the water, sediment, debris, floating hydrocarbons, and other materials in the unit. The proper cleaning and disposal of the removed materials and liquid must be followed.
- Inlet and outlet pipes must be checked for any obstructions and if any obstructions are found they must be removed. Structural parts of the underground facility will be repaired as needed.
- Owner shall retain and make underground facility inspection/monitoring forms available to Howard County officials upon their request.

△ PARKING REQUIRED	
EXISTING WAREHOUSE	142,260 SF
EXISTING OFFICE:	
1st FLOOR	5,000 SF
2nd FLOOR	3,460 SF
PROPOSED OFFICE:	
1st FLOOR	570 SF
2nd FLOOR	2,004 SF
TOTAL OFFICE SPACE	16,044 SF
PARKING:	
WAREHOUSE	142,260 SF @ 0.5 SF/1000 SF = 71.13 SF
OFFICE	16,044 SF @ 0.5 SF/1000 SF = 82.04 SF
TOTAL REQUIRED	153.17 SF
USE	125 SF

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* 10/18/01 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* 10/04/01 DATE

DIRECTOR: *[Signature]* 10/27/01 DATE

9-9-01 △ UPDATE SITE TABULATION

DATE NO. REVISION

OWNER / DEVELOPER

N. DEEMER CLASS 4 SON
c/o MD WHOLESALE PRODUCE MARKET
BUILDING A, UNIT 44-52
JESSUP, MARYLAND 20794
410-880-4205

PROJECT

N. DEEMER CLASS SUBDIVISION
PAYING EXPANSION

AREA

TAX MAP 48 PARCEL 187
PARCEL A ZONED M-2
6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE

TITLE SHEET

RIEMER MUEGGE & ASSOCIATES INC.
ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
8818 Centre Park Drive, Columbia, MD 21046
tel 410.997.8900 fax 410.997.9282

DESIGNED BY: CJR
DRAWN BY: KCB
PROJECT NO: 99140 /SDP1.DWG
DATE: OCT. 9, 2000
SCALE: AS SHOWN
DRAWING NO. 1 OF 8



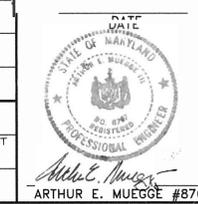
AS-BUILT CERTIFICATE

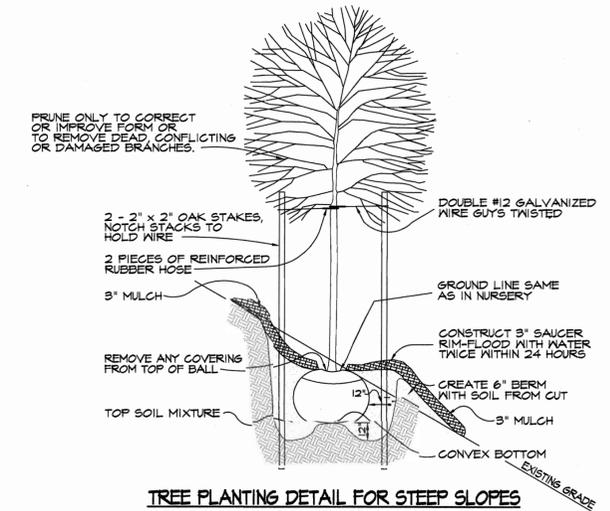
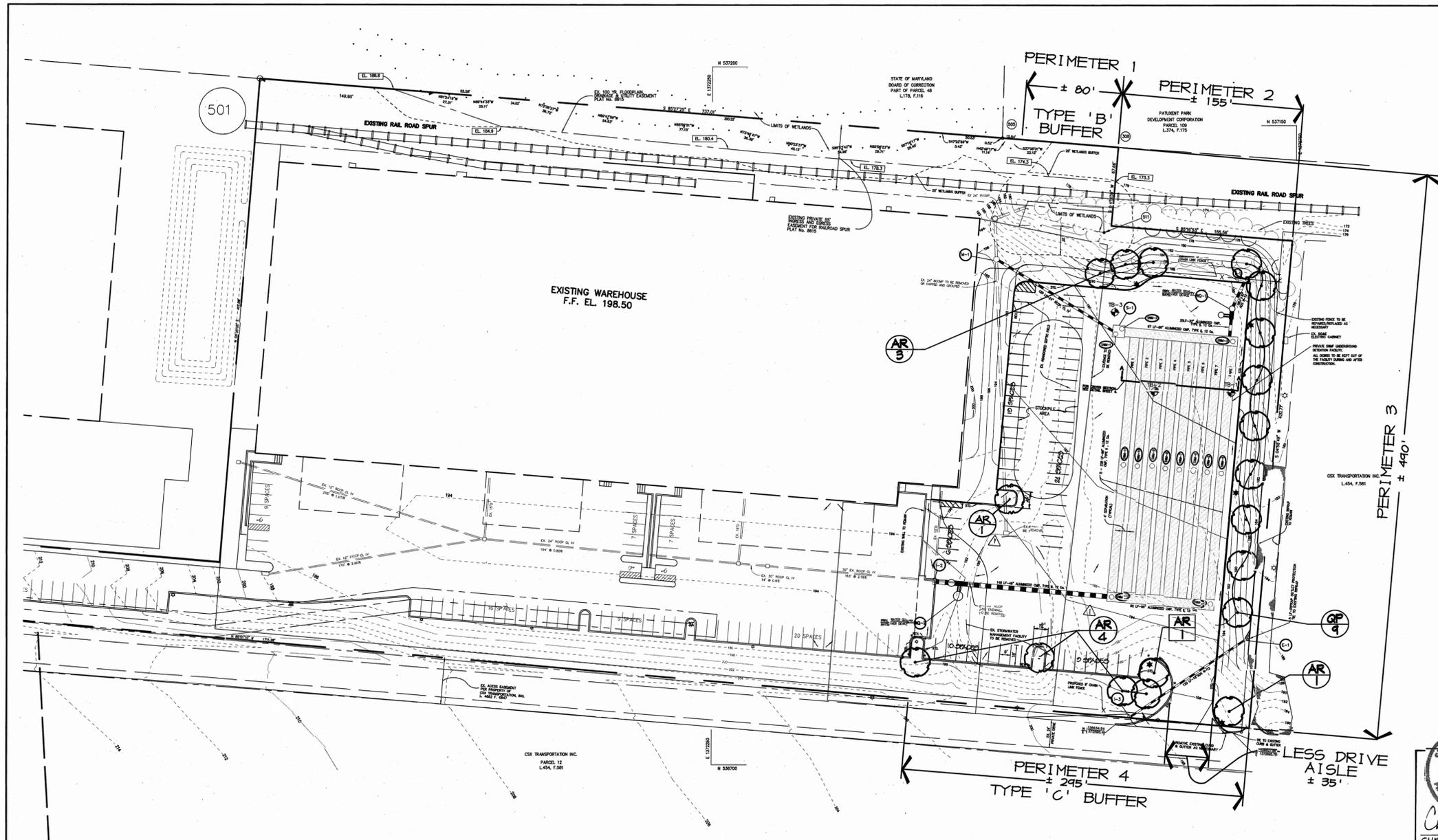
ADDRESS CHART

LOT NUMBER STREET ADDRESS

A 8447 DORSEY RUN ROAD

SUBDIVISION NAME	W. DEEMER CLASS SUBDIVISION	SECT./AREA	PARCEL	A						
PLAT #	13614	BLOCK #	8&9	ZONING/TAX MAP NO.	M-2	ELECT. DIST.	48	6th	CENSUS TRACT	6069.01
WATER CODE	B-02	SEWER CODE	N/A							





LANDSCAPE LEGEND	
PROP. SHADE TREE	(Symbol: Circle with a dot)
PERIMETER LANDSCAPE REQUIREMENT	(Symbol: Circle with 'XX')
PARKING LOT LANDSCAPE REQUIREMENT	(Symbol: Square with 'XX')

STATE OF MARYLAND
 REGISTERED PROFESSIONAL ENGINEER
 Christopher J. Reid # 19949
 11.06.01 DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division: 10/10/00 DATE
 Chief, Division of Land Development: 10/26/00 DATE
 Director: 10/27/00 DATE

SCHEDULE A - PERIMETER LANDSCAPE EDGE	ADJACENT TO PERIMETER PROPERTIES			
	* 1	* 2	* 3	* 4
PERIMETER				
LANDSCAPE TYPE	A	A	A	A
LINEAR FEET OF ROADWAY FRONTAGE / PERIMETER	± 80'	± 155'	± 490'	± 295'
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO
CREDIT FOR WALL, FENCE, BERM, OR DRIVE AISLE (YES/NO LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	YES ± 35'
NUMBER OF PLANTS REQUIRED				
SHADE TREES	①1/60' = 1	①1/60' = 3	①1/60' = 8	①1/60' = 4
EVERGREEN TREES	-	-	-	-
SHRUBS	-	-	-	-
NUMBER OF PLANTS PROVIDED				
SHADE TREES	1	3	8	4
EVERGREEN TREES	-	-	-	-
SMALL FLOWERING TREES	-	-	-	-
SHRUBS	-	-	-	-

SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING	
PARKING LOT	* 1
NUMBER OF PARKING SPACES	60
NUMBER OF SHADE TREES REQUIRED (1/20 SPACES)	4
NUMBER OF TREES PROVIDED	
SHADE TREES	4
OTHER TREES (2:1 SUBSTITUTION)	-
NUMBER OF ISLANDS REQUIRED (200 SF. AREA / ISLAND)	4
NUMBER OF ISLANDS PROVIDED	4

PLANT LIST					
SYMBOL	QTY.	SCIENTIFIC/COMMON NAME	SIZE	ROOT	SPACING
AR	10	ACER RUBRUM 'OCTOBER GLORY'	2 1/2" - 3" CAL	B4B	PLANT AS SHOWN
GP	9	OCTOBER GLORY RED MAPLE	2 1/2" - 3" CAL	B4B	PLANT AS SHOWN
		QUERCUS PALUSTRIS			
		FIN OAK			

PLANT LIST NOTES:
 SURETY AMOUNT IS BASED ON REQUIRED LANDSCAPE MATERIAL ONLY.
 SEE GENERAL NOTE #2 FOR SURETY TOTAL.

GENERAL NOTES:
 1) THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
 2) FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$ 5,100.
 3) THIS PLAN IS FOR LANDSCAPING PURPOSES ONLY.
 4) CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.

DEVELOPER'S/BUILDER'S CERTIFICATE:
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Gary M. Eber
 NAME DATE 6.29.01

OWNER / DEVELOPER
 W. DEEMER CLASS & SON
 c/o MD WHOLESALE PRODUCE MARKET
 BUILDING A, UNIT 44-52
 JESSUP, MARYLAND 20714
 410-880-4205

PROJECT
W. DEEMER CLASS SUBDIVISION PAVING EXPANSION

AREA
 TAX MAP 48 PARCEL 187
 PARCEL A ZONED M-2
 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE
LANDSCAPE PLAN

RIEMER MUEGGE & ASSOCIATES INC
 ENGINEERING • ENVIRONMENTAL SERVICES • PLANNING • SURVEYING
 8818 Centre Park Drive, Columbia, MD 21045
 TEL 410.997.8800 FAX 410.997.9282

DATE 10-29-2000
 DESIGNED BY: D.T.D.
 DRAWN BY: A.J.L.
 PROJECT NO.: 99140
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 DRAWING NO. 8 OF 8