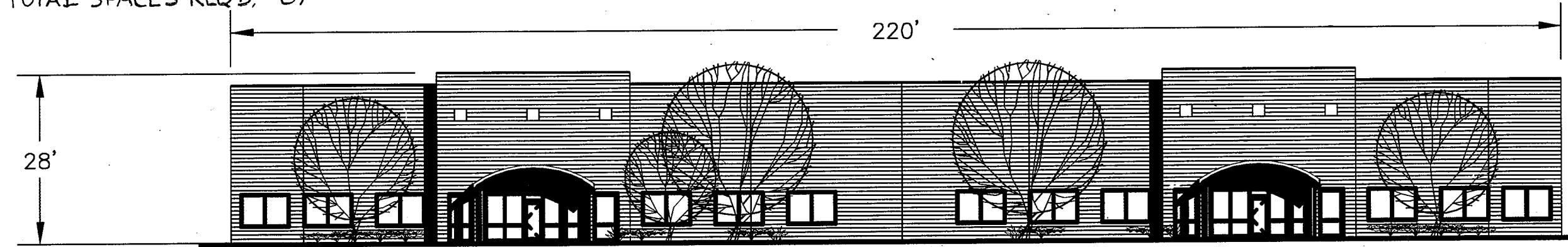
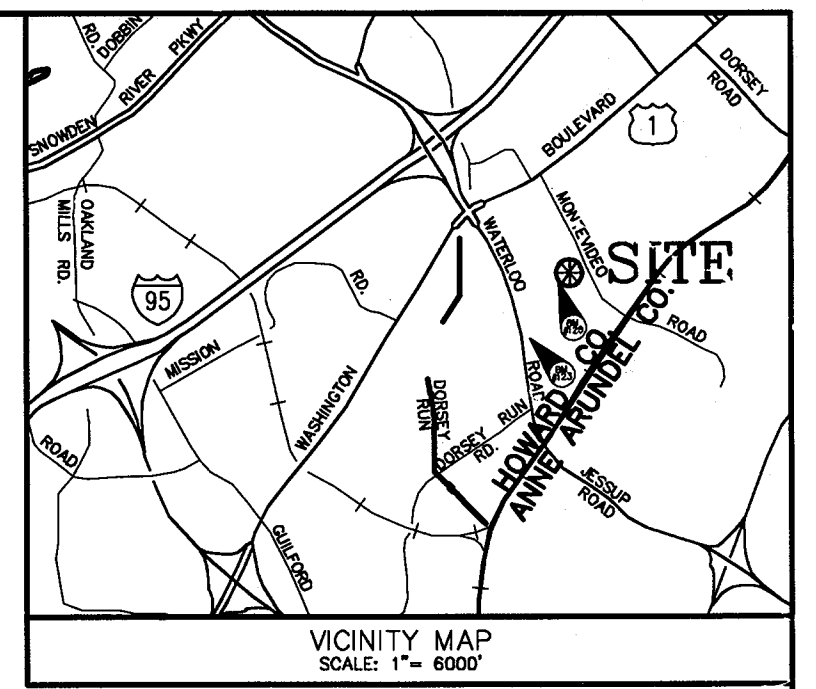


**SITE DATA ANALYSIS:**

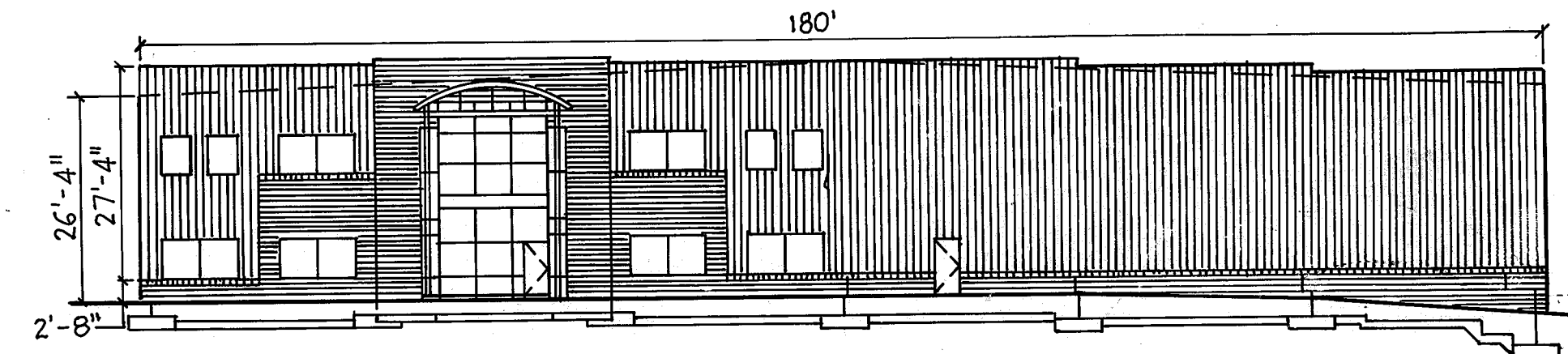
- A. TOTAL PROJECT AREA: 13.97 AC. (608,573 SF)
- B. AREA OF PLAN SUBMISSION: 13.97 AC. (608,573 SF)
- C. LIMIT OF DISTURBED AREA: 9.65 AC. (420,552 SF)
- D. PRESENT ZONING: M-2
- E. PROPOSED USE OF SITE: WAREHOUSE - BUILDING #1 INDOOR SOCCER FACILITY (THE SOCCER DOME)
- F. FLOOR SPACE ON EACH LEVEL OF BUILDINGS PER USE:
  - BLDG 1: F.F. = 43,875 S.F. (1.01 AC.)  
MEZANINE = 2,500 S.F. (0.06 AC.)  
TOTAL = 46,375 S.F. (1.07 AC.)
  - BLDG 2: F.F. = 21,640 S.F. (0.49 AC.)  
MEZANINE = 2,910 S.F. (0.07 AC.)  
TOTAL = 24,550 S.F. (0.56 AC.)
- G. NUMBER OF PARKING SPACES REQUIRED ON SITE:
  - 0.5 SPACES PER 1,000 S.F. (SECTION 133, D, 5, a)
  - WAREHOUSE BUILDING MORE THAN 160 FT. DEEP
  - BUILDING 1: 46,375 S.F.
  - BUILDING 2: 24,550 S.F. @ 0.5/1,000 = 13 SPACES
  - TOTAL REQUIRED: 100 SPACES
- H. NUMBER OF PARKING SPACES PROVIDED ON SITE:
  - BUILDING 1: 14-8 SPACES (INCLUDING 6 HANDICAPPED)
  - BUILDING 2: 15 SPACES (INCLUDING 2 HANDICAPPED)
  - TOTAL PROVIDED: 163 SPACES (INCLUDING 8 HANDICAPPED)
- I. BUILDING COVERAGE OF SITE: 1.50± AC. (10.76% OF GROSS AREA)
- PARKING COVERAGE OF SITE: 0.40± AC. (2.86% OF GROSS AREA)
- J. APPLICABLE DPZ FILE REFERENCE:
  - SDP-90-110, WP-01-06,
  - WP-92-55, WP-94-101,
  - WP-90-156, WP-00-36, WP-01-97,

2 GAME FIELDS & ONE PRACTICE FIELD  
PLAYERS 54  
EMPLOYEES, REFS. 6  
HALF-HOUR  
CHANGE OVER 27  
TOTAL SPACES REQ'D 87

# SITE DEVELOPMENT PLAN FOR 7330 MONTEVIDEO ROAD HOWARD CO., MARYLAND



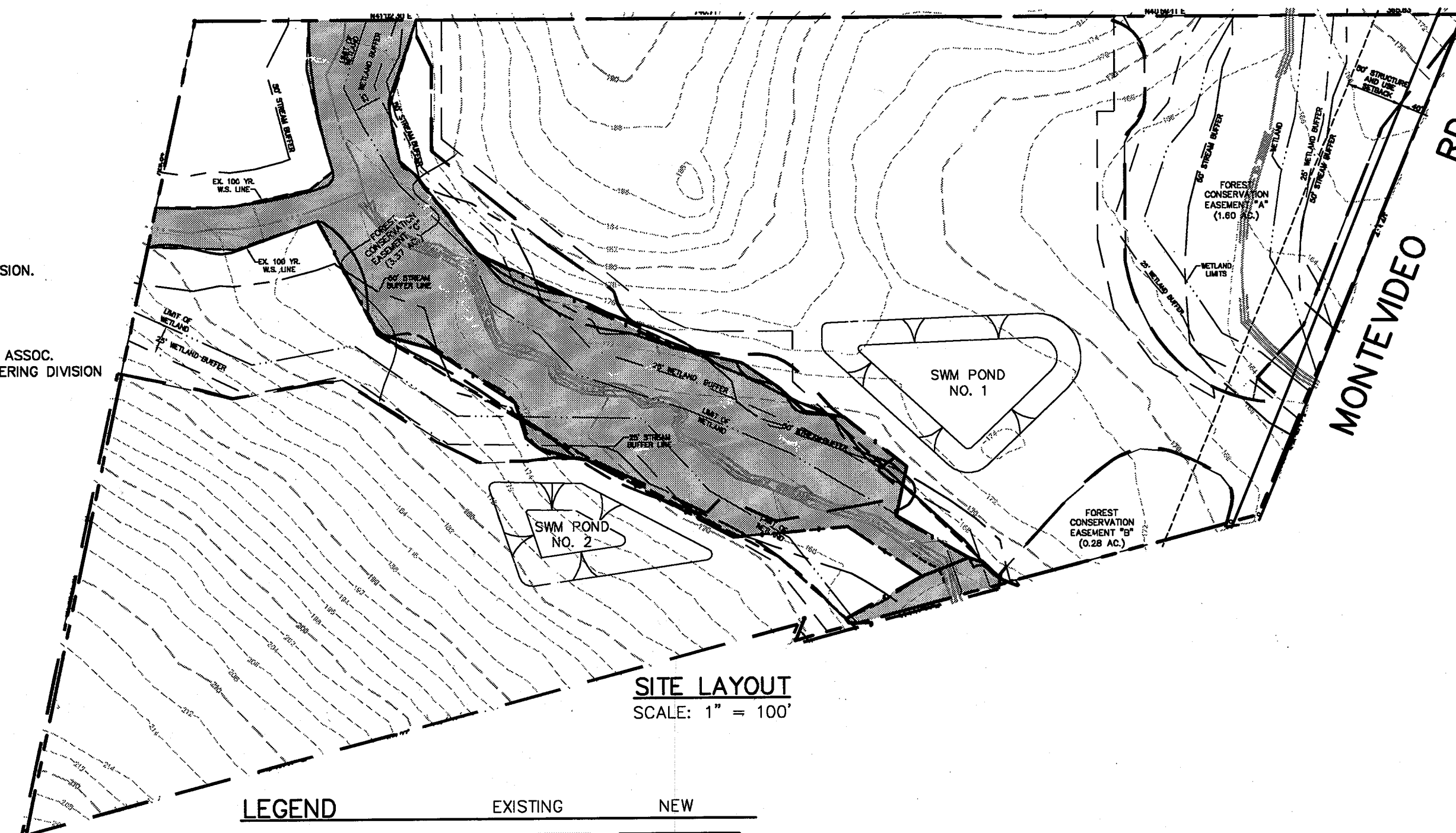
BUILDING 1 ELEVATION  
SCALE 1" = 20'



BUILDING 2 FRONT ELEVATION  
SCALE 1" = 20'

**GENERAL NOTES:**

1. THE TOPOGRAPHY SHOWN IS BASED UPON A SURVEY BY AMICUS DATED MAY 31, 1985.
2. HORIZONTAL CONTROL BASED ON MARYLAND STATE GRID SYSTEM
3. HOWARD CO. BENCHMARKS/CONTROL:
  - #4382 STAMPED DISK IN U.S. 1 MEDIAN AT N/S OF BROOKDALE DR. N 490906.0, E 865758.6, ELEV. 208.90
  - #4386 - STAMPED DISK IN SHOULDER W/S U.S. 1 AT PARKING LOT ENTRANCE, 0.5 MI. S/W OF MEADOWBRIDGE RD. N 488852.6, E 864447.7, ELEV. 209.84
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD LOCATE AND VERIFY ACTUAL SITE CONDITIONS PRIOR TO THE START OF ANY WORK. THERE IS NO WARRANTY OR GUARANTEE ON THE COMPLETENESS OR CORRECTNESS OF THE EXISTING CONDITION INFORMATION. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF ANY WORK.
5. THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE UTILITIES BEFORE COMMENCING ANY WORK. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE COST OF REPAIR OF ANY AND ALL DAMAGES WHICH OCCUR AS A RESULT OF A FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES TO REMAIN.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "MISS UTILITY" AT 1-800-257-7777 THREE DAYS PRIOR TO THE START OF ANY EXCAVATION WORK.
7. THE CONTRACTOR SHALL STAKE OUT ALL BASELINES OF CONSTRUCTION, THE LOCATION OF ALL NEW CONSTRUCTION AND VERIFY ALL SETBACKS, OFFSETS, AND CLEARANCES PRIOR TO START OF ANY WORK.
8. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY INVERTS AND CLEARANCES FROM NEW WORK PRIOR TO START OF ANY WORK.
9. ALL DISTURBED AREAS NOT STABILIZED WITH STRUCTURES, PAVING, AND PLANTINGS SHALL BE STABILIZED WITH FOUR INCHES OF TOPSOIL, SEED, MULCH, AND WATER TO ESTABLISH AN ADEQUATE GROWTH OF GRASS.
10. ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
11. THE TOPS OF ALL FRAMES, GRATES, AND COVERS OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF CONTRACT AND/OR DISTURBANCE SHALL BE ADJUSTED TO THE NEW GRADES.
12. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AT ALL TIMES.
13. NUMERICAL DIMENSIONS AND ELEVATIONS SHOWN SHALL SUPERSEDE ANY DISCREPANCY IN THE SCALING ON THE DRAWINGS.
14. THERE ARE NO KNOWN CEMETERIES OR BURIAL GROUNDS ON THIS SITE. HOWEVER, UPON DISCOVERY OF ANY EVIDENCE OF BURIAL OR GRAVES, THE DEVELOPMENT WILL BE SUBJECTED TO SECTION 16.105 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
15. THIS SITE DEVELOPMENT PLAN IS CONTINGENT UPON APPROVAL OF WP-00-36 FOR THE WAIVERS TO PERMIT GRADING AND CLEARING WITHIN THE 100 YEAR FLOODPLAIN, WETLANDS, AND PERENNIAL STREAM AND THE 25' WETLAND BUFFERS AND 50' STREAM BUFFERS SECTIONS 16.115 AND 16.116. FINAL APPROVAL OF WP-00-36 GRANTED AUGUST 24, 2000.
16. THE NONTIDAL WETLAND AND WATERWAYS DIVISION OF THE WATER MANAGEMENT ADMINISTRATION BY LETTER DATED 2/15/01 INTENDS TO ISSUE A NONTIDAL WETLANDS AND WATERWAYS PERMIT AND A WATER QUALITY CERTIFICATION (WQC) FOR THIS PROJECT UNDER APPLICATION TRACKING NO. 99-NT-0559/200060502.
17. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED
18. WATER IS PUBLIC (EXCEPT WHERE NOTED) CONTRACT NO: 14-3810-D
19. SEWER SERVICE IS CONNECTED TO THE COUNTY PUBLIC SEWER SYSTEM. CONTRACT NO: 14-3810-D



**LEGEND**

	EXISTING	NEW
BUILDING	EX. BLDG.	NEW BLDG.
BITUMINOUS PAVING	BIT. PAVING	CONC. SIDEWALK
CONCRETE SIDEWALK	CONC. SIDEWALK	CURB
CURB		STORM DRAIN
STORM DRAIN		SANITARY
SANITARY		WATER
WATER		GAS
GAS		STEAM
STEAM		ELECTRIC
ELECTRIC		TELEPHONE
TELEPHONE		ELEC/TELE DUCT
ELEC/TELE DUCT		VALVE
VALVE		HYDRANT
HYDRANT		MANHOLE
MANHOLE		INLET
INLET		CONTOUR
CONTOUR		FENCE
FENCE		TREE
TREE		TREELINE
TREELINE		PROPERTY LINE
PROPERTY LINE		WETLANDS LIMIT
WETLANDS LIMIT		WETLAND BUFFER
WETLAND BUFFER		FLOOD PLAIN
FLOOD PLAIN		STREAM
STREAM		STREAM BUFFER
STREAM BUFFER		LIMIT OF DISTURBANCE
LIMIT OF DISTURBANCE		STREET LIGHT
STREET LIGHT		

ADDRESS CHART	
LOT/PARCEL NO.	STREET ADDRESS
PARCEL 554	7330 MONTEVIDEO RD.

PERMIT INFORMATION CHART					
SUBDIVISION NAME		SECTION/AREA		PARCEL/LOT NO.	
N/A		N/A		554	
PLAT NO. OR L/F	BLOCK NO.	ZONING	TAX MAP	ELECT. DISTR.	CENSUS TRACT NO.
4354/544	10	M-2	43	1	6012
WATER CODE			SEWER CODE		
B-01			2221000		

SHEET INDEX		
SHEET NO.	SET NO.	TITLE
T-1	01 OF 25	TITLE SHEET
C-1	02 OF 25	EXISTING CONDITIONS AND DEMOLITION PLAN
C-2	03 OF 25	LAYOUT PLAN
C-3	04 OF 25	GRADING AND UTILITY PLAN
C-4	05 OF 25	STORM DRAINS DRAINAGE AREA MAP
C-5	06 OF 25	STORM DRAIN PROFILES
C-6	07 OF 25	SANITARY PROFILES
C-7	08 OF 25	SITE DETAILS
C-8	09 OF 25	SWM-1 STORM WATER MANAGEMENT PLAN
C-9	10 OF 25	SWM-2 STORM WATER MANAGEMENT PROFILES
C-10	11 OF 25	SWM-3 STORM WATER MANAGEMENT DETAILS
C-11	12 OF 25	SWM-4 STORM WATER MANAGEMENT - BAYSAYER DETAILS
C-12	13 OF 25	SWM-5 STORM WATER MANAGEMENT - BORING LOGS
C-13	14 OF 25	STREAM CHANNEL PLAN AND PROFILE
C-14	15 OF 25	STREAM CHANNEL CROSS SECTIONS
C-15	16 OF 25	ARCH AND ENDWALL DETAILS
C-16	17 OF 25	LANDSCAPE PLANTING PLAN
C-17	18 OF 25	WETLAND MITIGATION PLAN
C-18	19 OF 25	F-1 FOREST STAND DELINEATION PLAN
C-19	20 OF 25	F-2 FOREST CONSERVATION PLAN
C-20	21 OF 25	SC-1 SEDIMENT AND EROSION CONTROL PLAN
C-21	22 OF 25	SC-2 SEDIMENT AND EROSION CONTROL DETAILS
C-22	23 OF 25	SC-3 SEDIMENT AND EROSION CONTROL DETAILS AND NOTES
C-23	24 OF 25	RETAINING WALL DETAILS
C-24	25 OF 25	RETAINING WALL PLAN

**OWNER/DEVELOPER**  
**M & M GENERAL PARTNERSHIP**  
 7450 MONTEVIDEO ROAD  
 JESSUP, MARYLAND 20794  
 (410) 799-1972  
 DEED REFERENCE = 4354/544

DATE	NO.	REVISIONS
9-24-02	1	UPDATED SITE DATA ANALYSIS FOR REVISED BLDG #1
11-25-02	2	REVISED USE & PARKING CALCULATIONS FOR BUILDING #1
3-20-03	3	REVISED BUILDING #2 ELEVATION & SITE DATA

**TITLE SHEET**

PROJECT TITLE:  
**7330 MONTEVIDEO ROAD  
 HOWARD CO., MARYLAND**

ENGINEERS: **WR** Consulting Engineers  
 849 Fairmount Avenue (410) 512-4500  
 Baltimore, Maryland 21286 (410) 324-4100 (FAX)  
**WHITNEY, BAILEY, COX & MAGNANI, LLP**

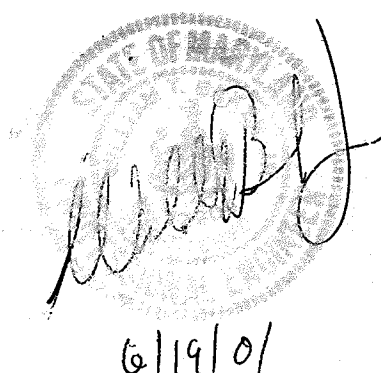
DESIGNED: C.K.	ELECTION DIST.: 1
DRAWN: C.P.G.	CENSUS TRACT #: 6012
CHECKED: M.M.	WATER CODE: 9-01
DATE: 12/13/00	SEWER CODE: 2221000
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 43	
GRID NO.: 10	
PARCEL NO.: 554	
SDP-00-46	

APPROVED: HOWARD CO. DEPT. OF PLANNING & ZONING.

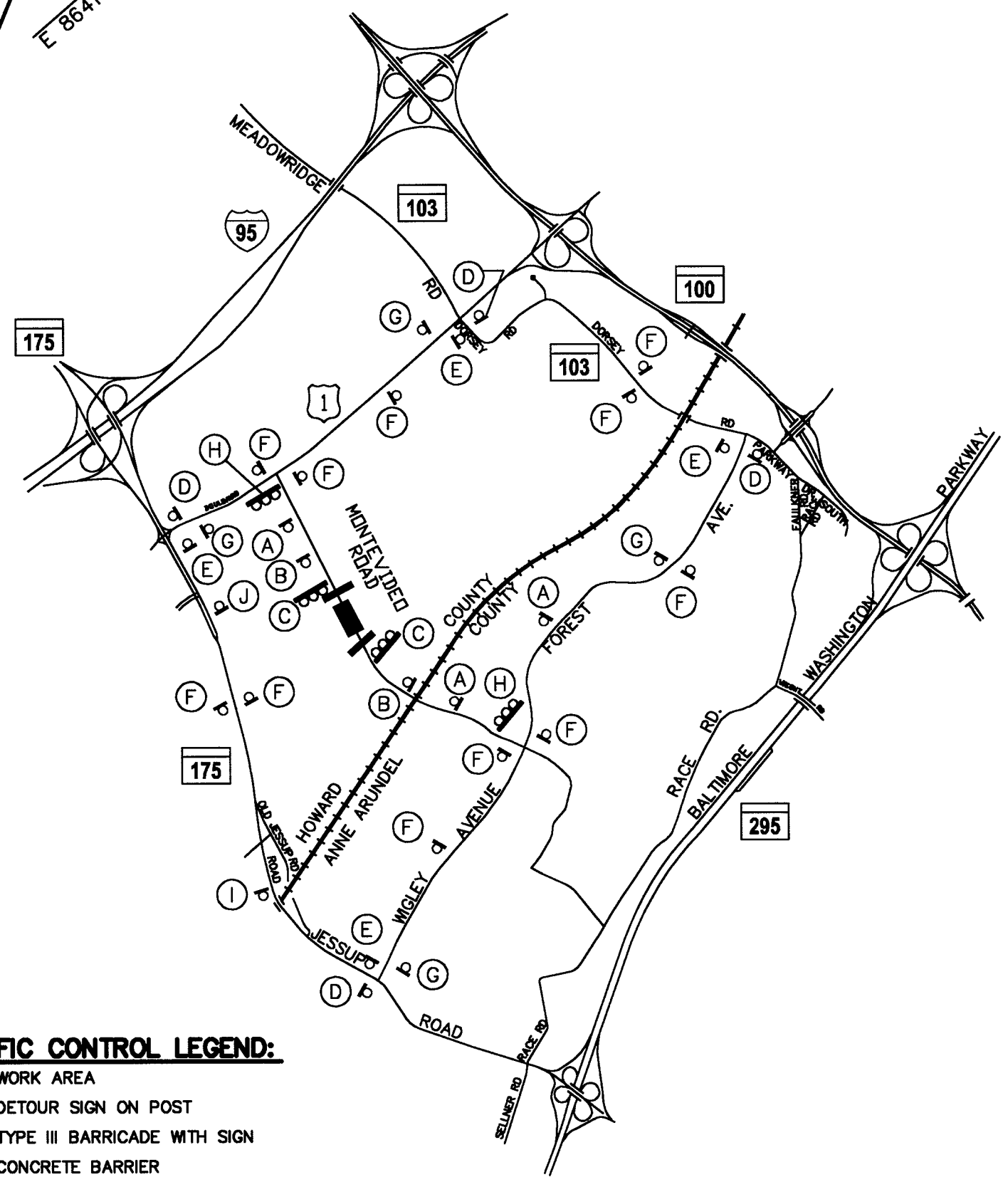
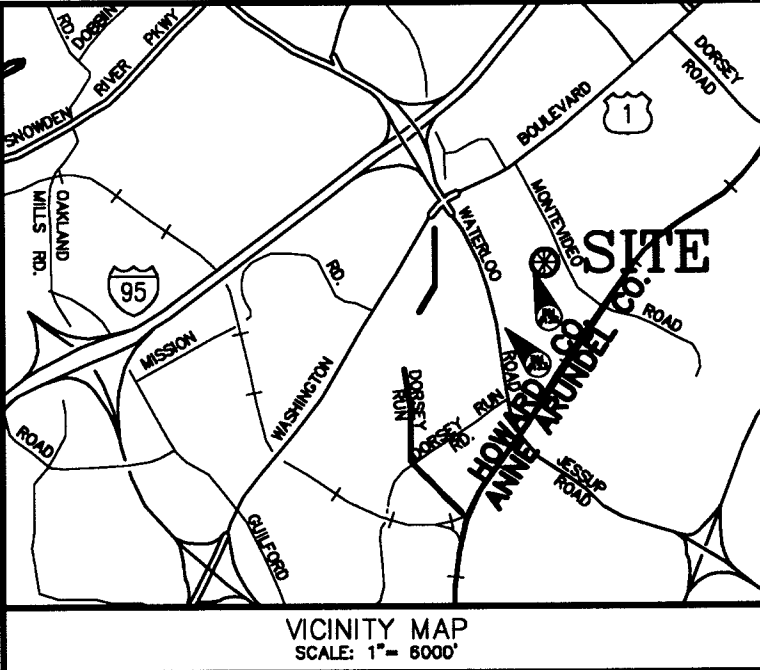
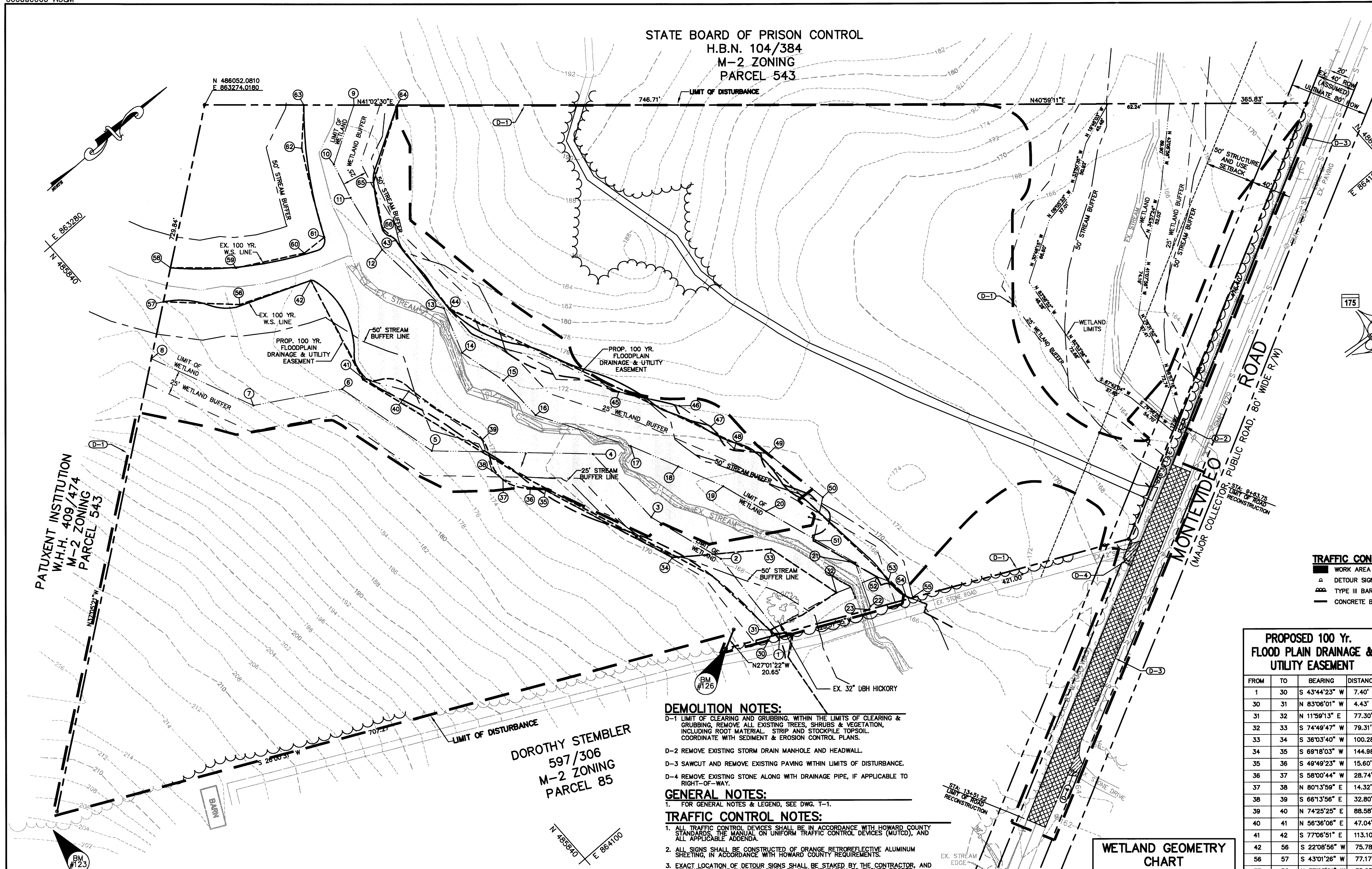
*[Signature]* 6/22/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

*[Signature]* 6/25/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT

*[Signature]* 6/25/01  
 DIRECTOR



STATE BOARD OF PRISON CONTROL  
H.B.N. 104/384  
M-2 ZONING  
PARCEL 543



**TRAFFIC CONTROL LEGEND:**  
 ■ WORK AREA  
 □ DETOUR SIGN ON POST  
 ▬ TYPE III BARRICADE WITH SIGN  
 ▬ CONCRETE BARRIER

**TRAFFIC CONTROL PLAN**  
NOT TO SCALE

**DEMOLITION NOTES:**  
 D-1 LIMIT OF CLEARING AND GRUBBING, WITHIN THE LIMITS OF CLEARING & GRUBBING, REMOVE ALL EXISTING TREES, SHRUBS & VEGETATION, INCLUDING ROOT MATERIAL, STRIP AND STOCKPILE TOPSOIL. COORDINATE WITH SEDIMENT & EROSION CONTROL PLANS.  
 D-2 REMOVE EXISTING STORM DRAIN MANHOLE AND HEADWALL.  
 D-3 SAWCUT AND REMOVE EXISTING PAVING WITHIN LIMITS OF DISTURBANCE.  
 D-4 REMOVE EXISTING STONE ALONG WITH DRAINAGE PIPE, IF APPLICABLE TO RIGHT-OF-WAY.

**GENERAL NOTES:**  
 1. FOR GENERAL NOTES & LEGEND, SEE DWG. T-1.

**TRAFFIC CONTROL NOTES:**  
 1. ALL TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH HOWARD COUNTY STANDARDS (THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)), AND ALL APPLICABLE ADDENDA.  
 2. ALL SIGNS SHALL BE CONSTRUCTED OF ORANGE RETROREFLECTIVE ALUMINUM SHEETING, IN ACCORDANCE WITH HOWARD COUNTY REQUIREMENTS.  
 3. EXACT LOCATION OF DETOUR SIGNS SHALL BE STAKED BY THE CONTRACTOR, AND REVIEWED BY THE ENGINEER PRIOR TO IMPLEMENTATION TO ENSURE PROPER LOCATION AND SIGHT DISTANCE REQUIREMENTS.  
 4. TRAFFIC SHALL BE MAINTAINED DURING RECONSTRUCTION OF MONTEVIDEO ROAD WITH A DETOUR AS SHOWN ON THE ASSOCIATED TRAFFIC CONTROL PLAN. ONE TYPE III BARRICADE SHALL BE INSTALLED ON MONTEVIDEO ROAD AT THE US 1 AND WISLEY/FOREST AVENUE INTERSECTIONS. A TEMPORARY CONCRETE BARRIER AND TYPE III BARRICADE SHALL BE INSTALLED ACROSS ENTIRE MONTEVIDEO ROAD AT EITHER END OF THE CONSTRUCTION WORK LIMITS.  
 5. THE "MONTEVIDEO ROAD" ON SIGNS D, E, F, I & J SHALL BE CONSTRUCTED WITH 6" (MINIMUM) BLACK LEGEND ON ORANGE RETROREFLECTIVE ALUMINUM SHEETING, AS SPECIFIED BY THE ENGINEER.

**PROPOSED 100 Yr. FLOODPLAIN DRAINAGE & UTILITY EASEMENT**

FROM	TO	BEARING	DISTANCE
1	30	S 43°44'23" W	7.40'
30	31	N 83°06'01" W	4.43'
31	32	N 11°59'13" E	77.30'
32	33	S 74°49'47" W	79.31'
33	34	S 36°03'40" W	100.28'
34	35	S 69°18'03" W	144.98'
35	36	S 49°49'23" W	15.60'
36	37	S 58°00'44" W	28.74'
37	38	N 80°13'59" E	14.32'
38	39	S 66°13'56" E	32.80'
39	40	N 74°25'25" E	88.58'
40	41	N 56°36'06" E	47.04'
41	42	S 77°06'51" E	113.10'
42	56	S 22°08'56" W	75.78'
56	57	S 43°01'26" W	77.17'
57	58	N 37°05'21" W	35.25'
58	59	N 41°02'30" E	66.07'
59	60	N 28°40'23" E	70.63'
60	61	N 02°42'09" E	25.74'
61	62	N 63°08'04" W	92.76'
62	63	N 46°05'35" W	44.02'
63	64	N 41°02'30" E	91.15'
64	65	S 31°57'07" E	82.02'
65	66	S 60°07'03" E	47.48'
66	43	N 82°50'02" E	17.94'
43	44	S 86°31'23" E	88.28'
44	45	N 67°05'00" E	190.15'
45	46	N 54°04'28" E	62.79'
46	47	N 74°45'14" E	37.80'
47	48	N 84°24'37" E	32.73'
48	49	N 49°24'17" E	34.67'
49	50	N 79°52'25" E	70.61'
50	51	S 36°49'10" E	45.12'
51	52	N 70°51'17" E	73.44'
52	53	N 60°32'27" E	12.46'
53	54	N 81°50'00" E	23.58'
54	55	N 62°33'32" E	5.57'
55	1	S 25°57'35" W	137.81'

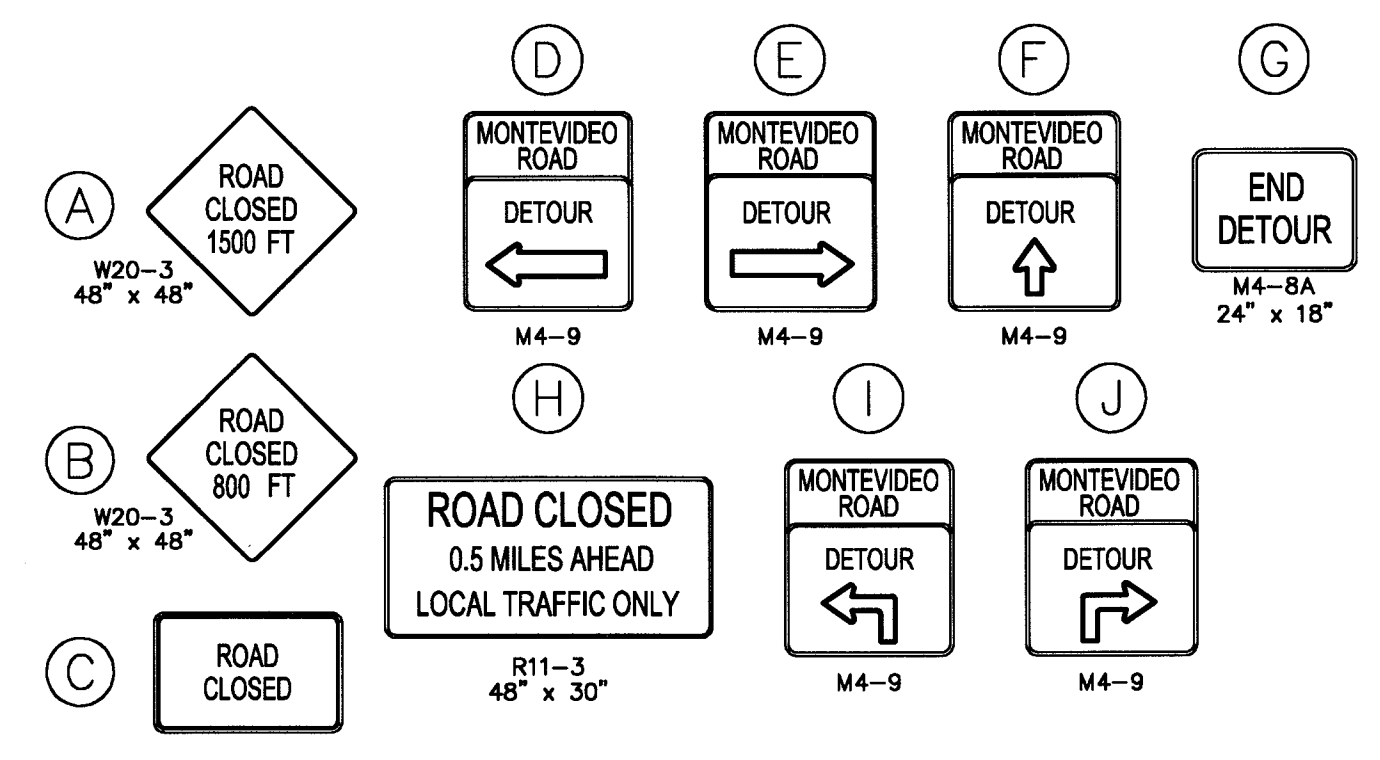
**WETLAND GEOMETRY CHART**

FROM	TO	BEARING	DISTANCE
1	2	N 86°48'07" W	96.18'
2	3	N 69°34'46" E	82.40'
3	4	N 89°14'30" W	87.70'
4	5	N 42°09'43" E	162.27'
5	6	N 75°42'01" E	109.79'
6	7	N 30°34'23" E	91.09'
7	8	N 65°37'44" E	113.18'
8	9	N 30°18'39" W	63.60'
9	10	N 75°33'09" W	37.67'
10	11	N 80°08'59" W	61.34'
11	12	N 84°44'37" E	86.04'
12	13	N 71°04'35" W	48.61'
13	14	N 75°06'01" E	50.14'
14	15	S 88°08'36" W	47.76'
15	16	N 59°08'56" E	100.77'
16	17	N 84°17'10" E	52.19'
17	18	S 64°49'56" W	49.53'
18	19	S 71°19'53" W	104.33'
19	20	N 67°58'31" W	46.28'
20	21	N 33°23'36" W	3.37'

DOROTHY STEMBLER  
597/306  
M-2 ZONING  
PARCEL 85

**PLAN VIEW**  
SCALE: 1" = 50'

APPROVED: HOWARD CO. DEPT. OF PLANNING & ZONING.  
 [Signature] 6/5/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 [Signature] 6/25/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 [Signature] 6/25/01  
 DIRECTOR



**OWNER/DEVELOPER**  
 M & M GENERAL PARTNERSHIP  
 7450 MONTEVIDEO ROAD  
 JESSUP, MARYLAND 20794  
 (410) 799-1972  
 DEED REFERENCE = 4354/544

DATE	NO.	REVISIONS

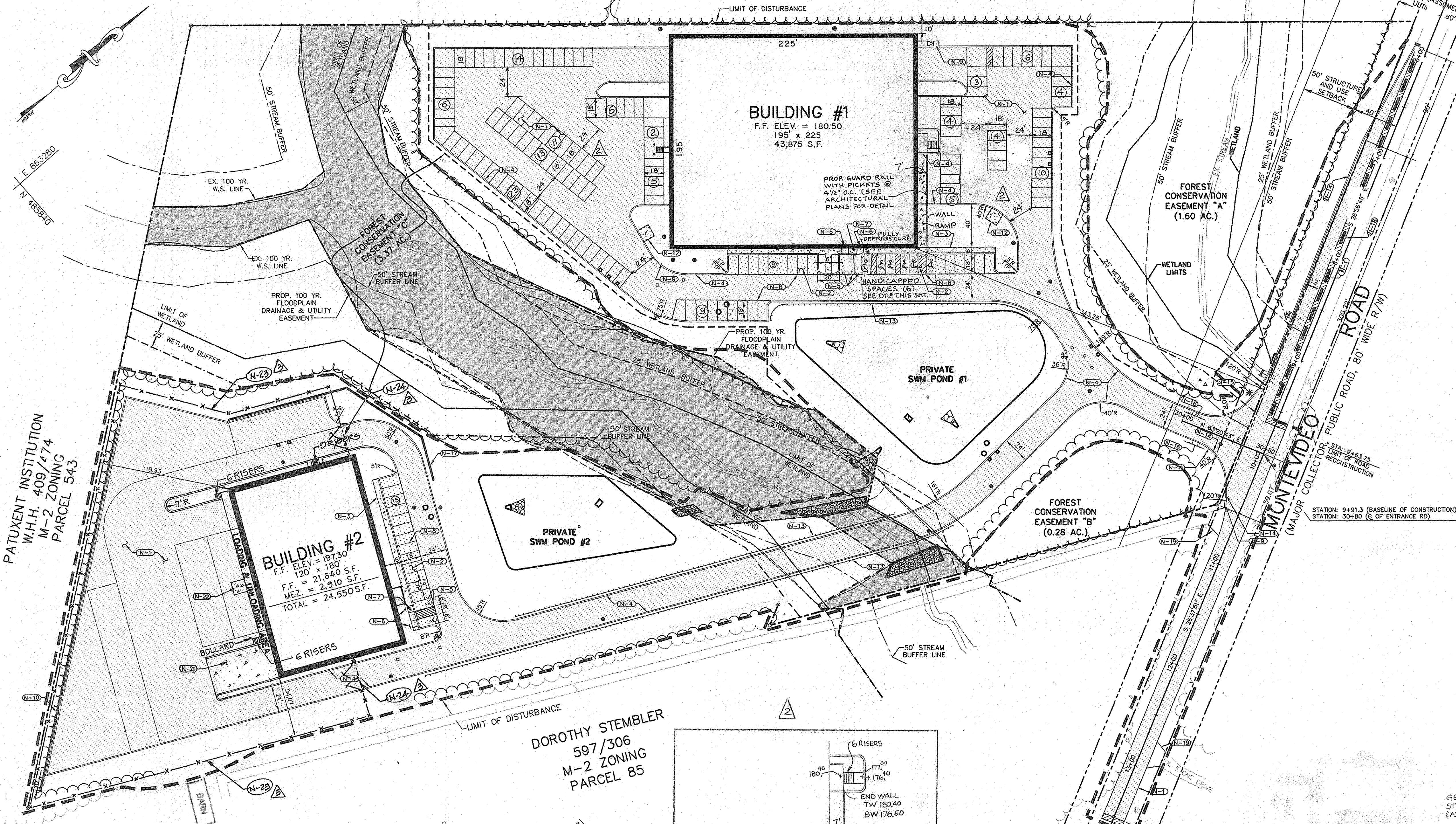
**EXISTING CONDITIONS & DEMOLITION PLAN**

PROJECT TITLE:  
**7330 MONTEVIDEO ROAD  
 HOWARD CO., MARYLAND**

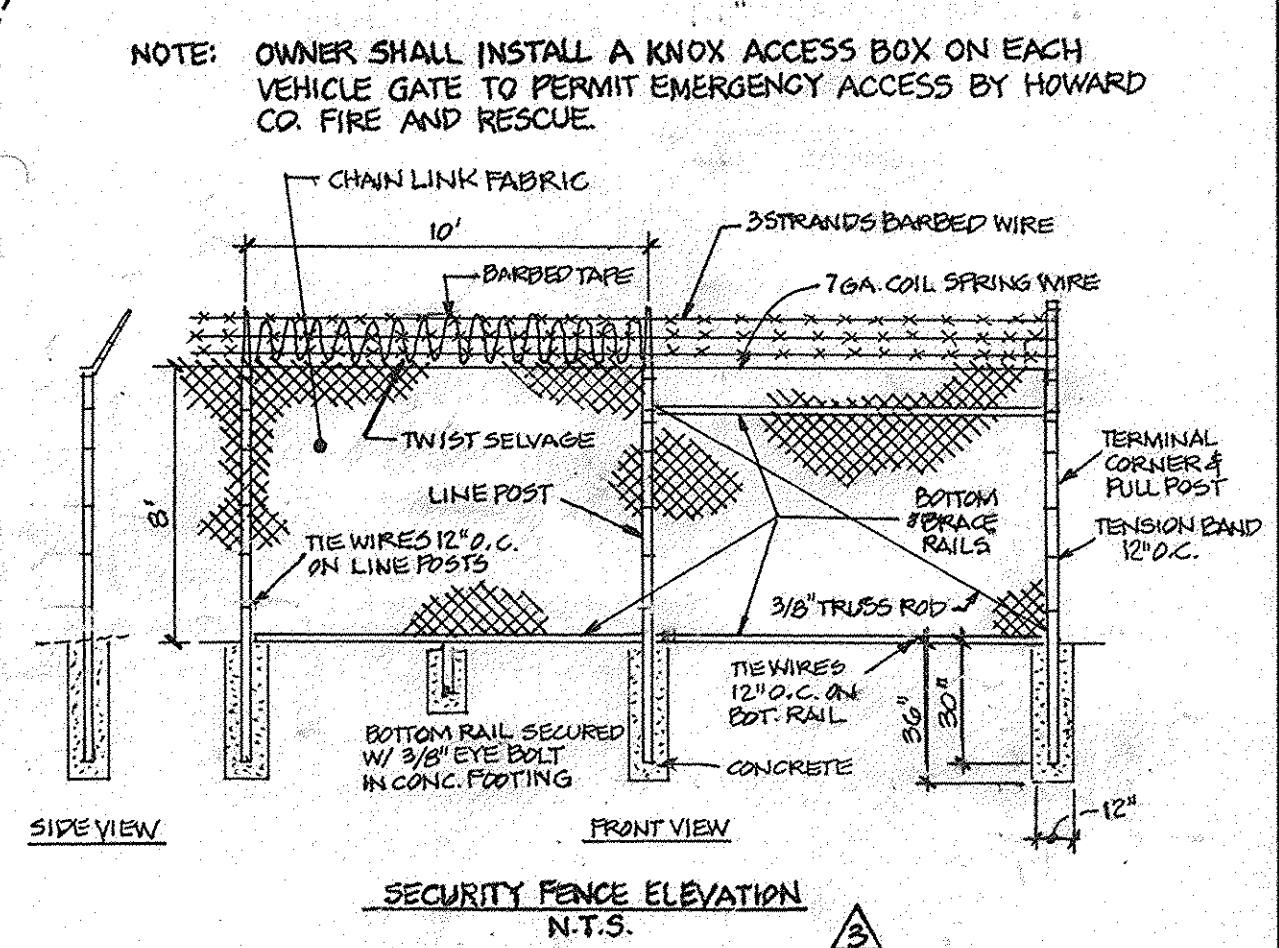
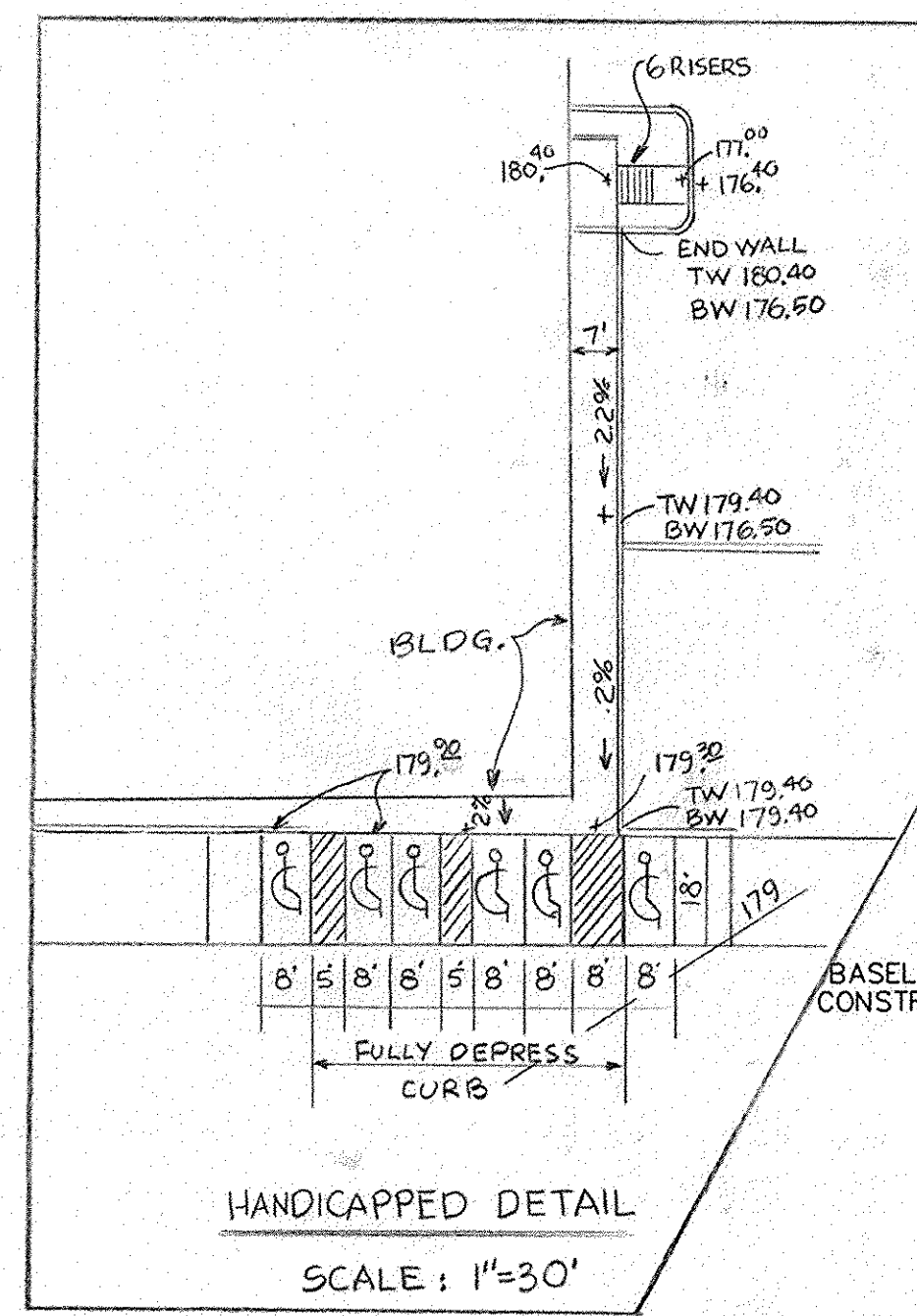
ENGINEERS: [Logo] Consulting Engineers  
 849 Fairmount Avenue (410) 512-4500  
 Baltimore, Maryland 21286 (410) 324-4100 (FAX)  
 WHITNEY, BAILEY, COX & MAGNANI, LLP

DESIGNED: C.K.	ELECTION DIST.: 1
DRAWN: C.P.G.	CENSUS TRACT #: 6012
CHECKED: M.M.	WATER CODE: B-01
DATE: 12/13/00	SEWER CODE: 2221000
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 43	<b>C-1</b>
GRID NO.: 10	SHEET 2 OF 25
PARCEL NO.: 554	SDP-00-46 © WBCM 2000

STATE BOARD OF PRISON CONTROL  
H.B.N. 104/384  
M-2 ZONING  
PARCEL 543



PLAN VIEW  
SCALE: 1" = 50'



**CONSTRUCTION NOTES:**

- N-1 NEW HEAVY DUTY BITUMINOUS PAVING. SEE DETAIL 1 DWG. C-7.
- N-2 NEW LIGHT DUTY BITUMINOUS PAVING. SEE DETAIL 2 DWG. C-7.
- N-3 NEW CONCRETE WALK. SEE DETAIL 3 DWG. C-7.
- N-4 NEW CONCRETE CURB AND GUTTER. SEE DETAIL 4 DWG. C-7.
- N-5 NEW HANDICAP PARKING. SEE DETAIL 6 DWG. C-7.
- N-6 NEW HANDICAP PARKING SIGN. SEE DETAIL 7 DWG. C-7.
- N-7 NEW PEDESTRIAN RAMP. SEE DETAIL 8 DWG. C-7.
- N-8 NEW 4" WIDE PARKING STRIPING.
- N-9 NOSE DOWN CURB WITHIN 2'-0".
- N-10 NEW RETAINING WALL. SEE RETAINING WALL PLANS C-23 & C-24.
- N-11 NEW SIGN "STOP".
- N-12 NEW 12'X12' TRASH ENCLOSURE. SEE DETAIL 10, DWG. C-7.
- N-13 NEW GUARD RAIL. SEE HOWARD CO. STD. DETAILS R-7.01 TO R-7.06.
- N-14 NEW 8" CONC CURB. SEE HOWARD CO. STD. DETAILS R-3.01.
- N-15 NEW 250 WATT HPS VAPOR PENDENT CUTOFF MOUNTED ON 30' BRONZE FIBERGLASS POLE USING A 12" ARM.
- N-16 TRANSITION FROM N-14 TO N-4 OVER 5'-0".
- N-17 NEW RETAINING WALL WITH SAFETY RAIL. SEE RETAINING WALL PLANS C-23 & C-24.
- N-18 MACADAM RESURFACING AS DIRECTED BY ENGINEER IN THE FIELD.
- N-19 NEW DRIVEWAY ENTRANCE. REFER TO HOWARD CO. STD. RESIDENTIAL DRIVEWAY ENTRANCE DETAIL R-6.05 AND PAVING SECTION P-1 SHOWN ON STD DETAIL R-2.01. CREATE SWALE IN DRIVEWAY PER DETAIL 12 DWG. C-7.
- N-20 NEW H.C. RAMP W/ 5' LANDINGS AND HANDRAILS.

**GENERAL LAYOUT NOTES:**

- FOR GENERAL NOTES & LEGEND, SEE SHEET T-1.
- ALL EXTERIOR ONSITE LIGHTING SHALL BE MOUNTED ON THE PROPOSED BUILDINGS (SEE ARCH. PLANS) AND SHALL BE ORIENTED TO DIRECT OR REFLECT LIGHT INWARDS AND DOWNWARDS AWAY FROM ALL ADJOINING PUBLIC STREETS AND RESIDENTIAL LAND USE PROPERTIES.
- SEE SHEET C-1 FOR TRAFFIC CONTROL PLAN DURING CONSTRUCTION OF MONTEVIDEO RD.

**ADDITIONAL CONSTRUCTION NOTES:**

- N-21 NEW CONC. RAMP WITH HAND RAILINGS, (SEE BLDG. PLANS FOR DETAILS)
- N-22 NEW 12'X12' CONC. DUMPSTER PAD, SEE DETAIL 5, SHT C-7 (PAD ONLY)
- N-23 NEW 8' HIGH CHAINLINK SECURITY FENCE. SEE DETAIL THIS SHEET.
- N-24 NEW 11'-6" WIDE DOUBLE PANEL VEHICLE ACCESS GATE

**OWNER/DEVELOPER**  
M & M GENERAL PARTNERSHIP  
7450 MONTEVIDEO ROAD  
JESSUP, MARYLAND 20794  
(410) 799-1972  
DEED REFERENCE = 4354/544

**REVISIONS**

DATE	NO.	REVISIONS
2-24-02	1	RELOCATE BLDG. #1 & 2. REVISE FOOTPRINT. ADDED H.C. ACCESS PARKING AT BLDG. #1. ADDED H.C. RAMP RAILING DETAILS.
11-25-02	2	ADDED PARKING SPACES, HANDICAPPED PARKING DETAIL AND RAMP.
3-20-03	3	REVISED BUILDING #2 PER ARCH. PLANS. MOVED DUMPSTER PAD AND REVISED LOADING DOCK.
9-1-06	4	ADDED SECURITY FENCE AND DETAIL.

**LAYOUT PLAN**

PROJECT TITLE:  
**7330 MONTEVIDEO ROAD  
HOWARD CO., MARYLAND**

ENGINEERS:  
**Whitney, Bailey, Cox & Magnani, LLP**  
Consulting Engineers  
849 Fairmount Avenue (410) 512-4500  
Baltimore, Maryland 21286 (410) 324-4100 (FAX)

DESIGNED: C.K. ELECTION DIST.: 1  
DRAWN: C.P.G. CENSUS TRACT #: 6012  
CHECKED: M.M. WATER CODE: B-0'  
DATE: 12/13/00 SEWER CODE: 2221000  
SCALE: AS SHOWN DRAWING NO:  
MAP NO.: 43  
GRID NO.: 10  
PARCEL NO.: 554

**C-2**  
SHEET 3 OF 25

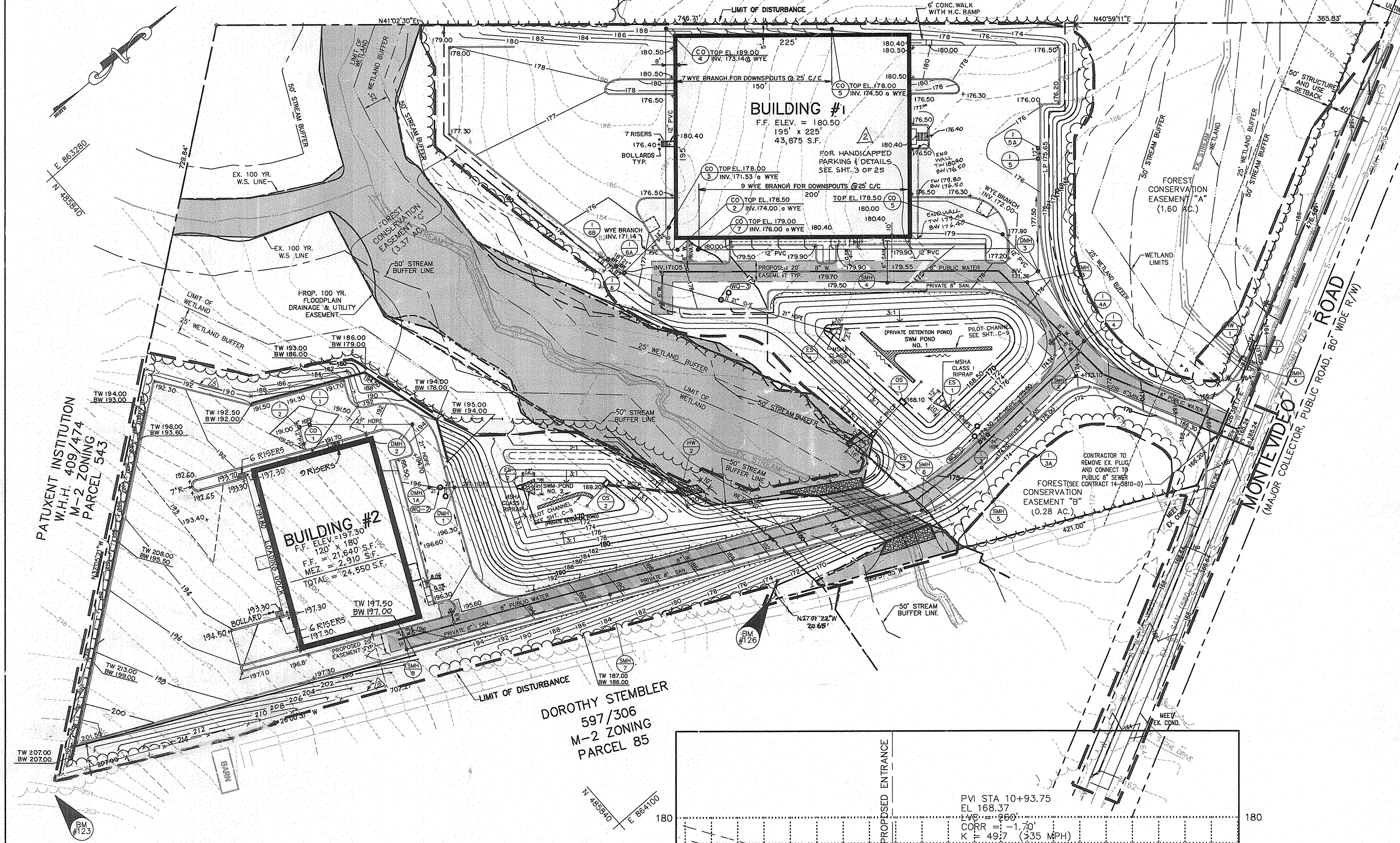
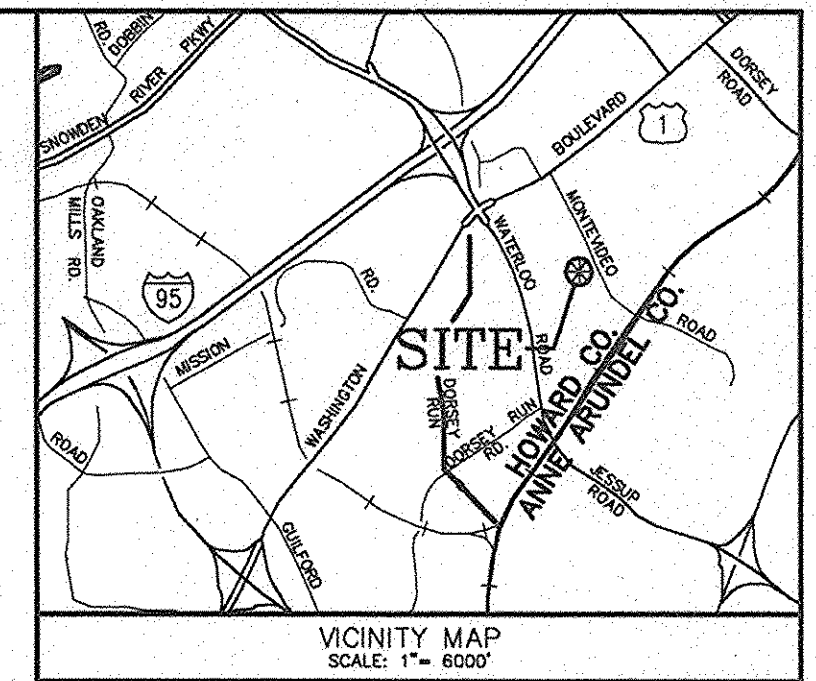
APPROVED: HOWARD CO. DEPT. OF PLANNING & ZONING.

*[Signature]* 6/5/01 DATE  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

*[Signature]* 6/25/01 DATE  
CHIEF, DIVISION OF LAND DEVELOPMENT

*[Signature]* 6/25/01 DATE  
DIRECTOR

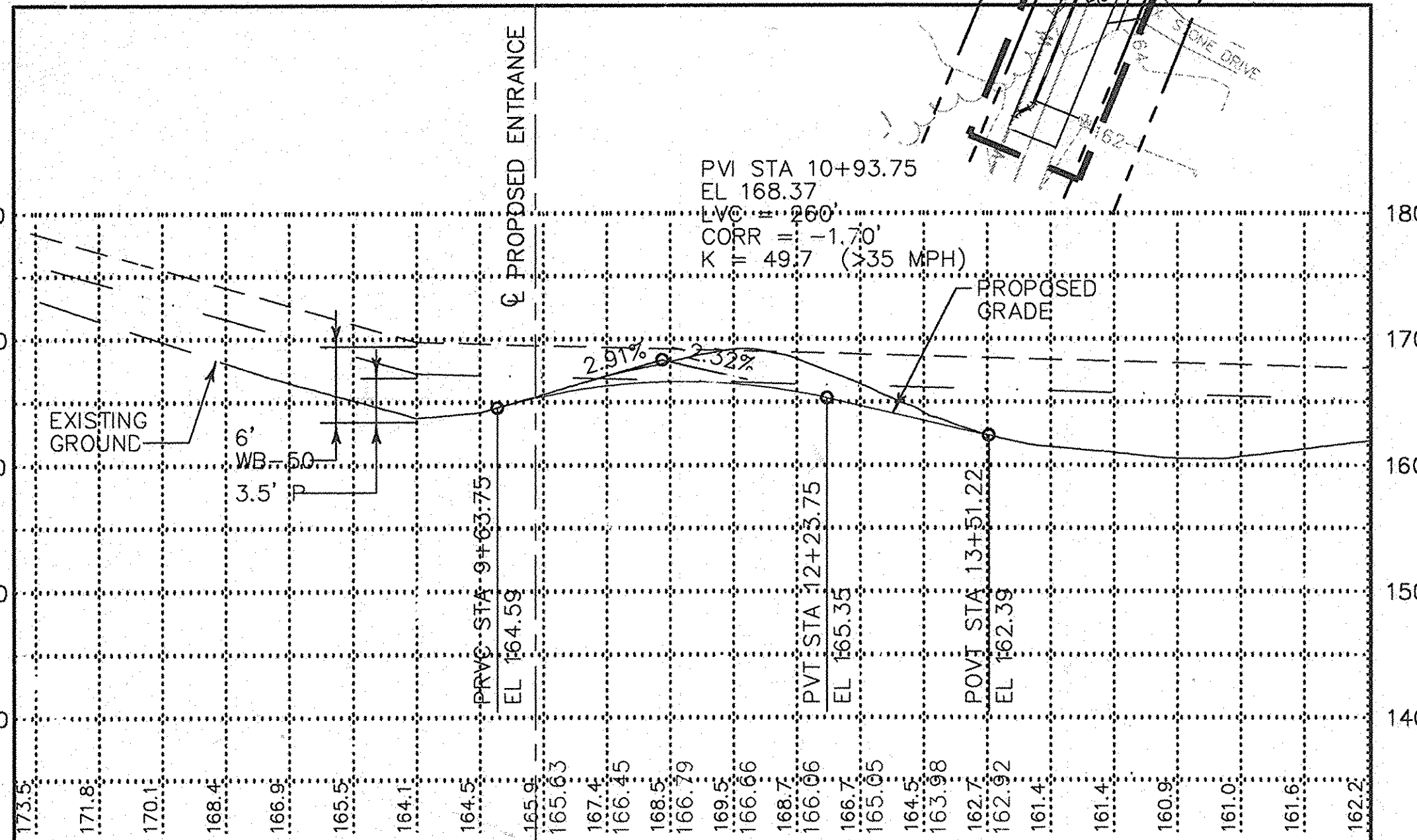
STATE BOARD OF PRISON CONTROL  
H.B.N. 104/384  
M-2 ZONING  
PARCEL 543



TOPS OF INLETS REFER TO TOP OF GRATE

NOTE: THE PROPOSED FIRE HYDRANT & WATERMAIN RELOCATION ON MONTEVIDEO ROAD AND ON-SITE WATER MAINS SHALL BE PUBLIC, UNDER A DEVELOPER AGREEMENT AND BONDED.

DOROTHY STEMBLER  
597/306  
M-2 ZONING  
PARCEL 85



PLAN VIEW  
SCALE: 1" = 50'

APPROVED: HOWARD CO. DEPT. OF PLANNING & ZONING.

6/22/01  
6/25/01  
6/28/01

**OWNER/DEVELOPER**  
M & M GENERAL PARTNERSHIP  
7450 MONTEVIDEO ROAD  
JESSUP, MARYLAND 20794  
(410) 799-1972  
DEED REFERENCE = 4354/544

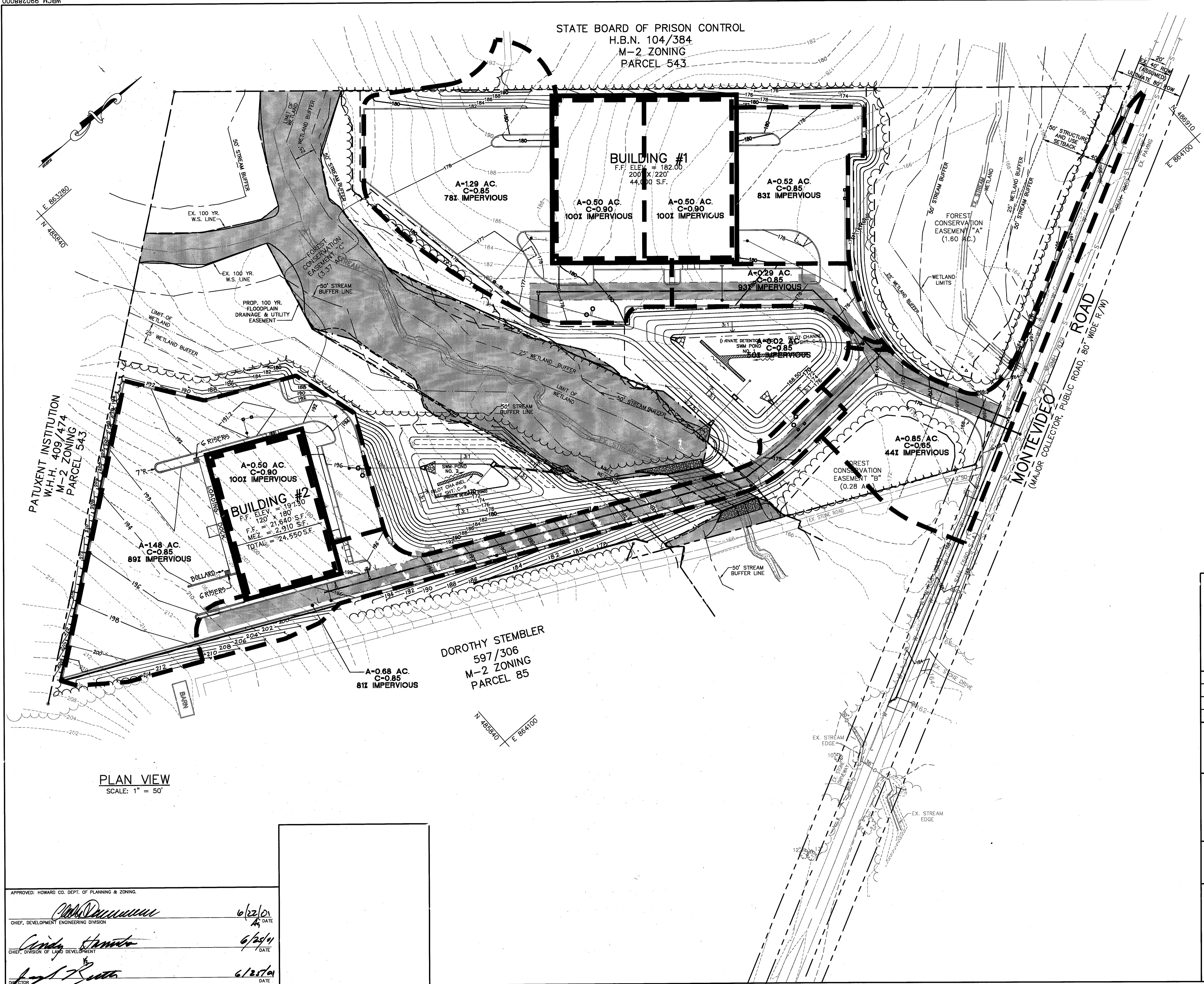
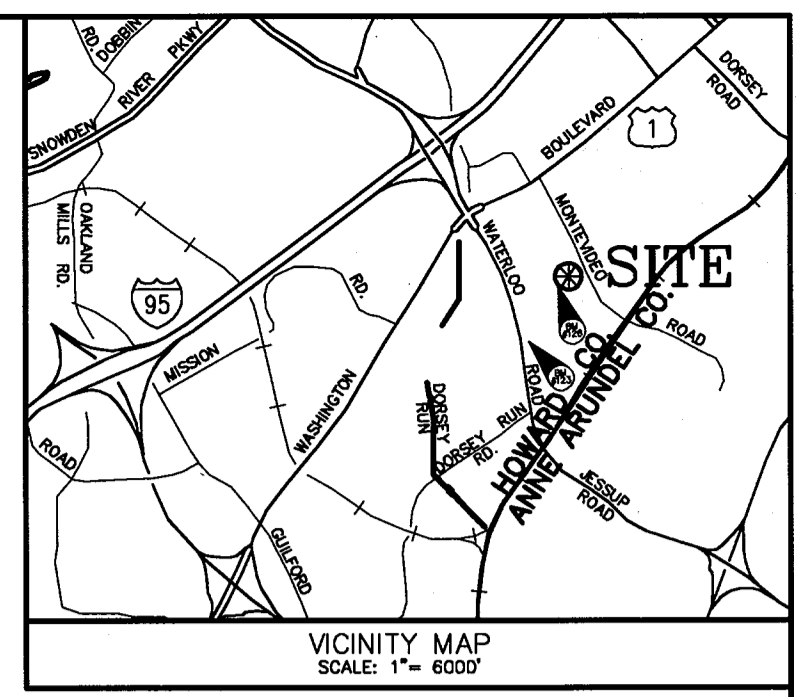
**GRADING AND UTILITY PLAN**

7330 MONTEVIDEO ROAD  
HOWARD CO., MARYLAND

**ENGINEERS:** Consulting Engineers  
849 Fairmount Avenue (410) 512-4500  
Baltimore, Maryland 21286 (410) 324-4100 (FAX)  
WHITNEY, BAILEY, COX & MAGNANI, LLP

DESIGNED: C.K. ELECTION DIST.: 1  
DRAWN: C.P.G. CENSUS TRACT #: 6012  
CHECKED: M.M. WATER CODE: B-01  
DATE: 12/13/00 SEWER CODE: 2221000  
SCALE: AS SHOWN DRAWING NO.:  
MAP NO.: 43  
GRID NO.: 10  
PARCEL NO.: 554 SHEET 4 OF 25

STATE BOARD OF PRISON CONTROL  
H.B.N. 104/384  
M-2 ZONING  
PARCEL 543



PLAN VIEW  
SCALE: 1" = 50'

APPROVED: HOWARD CO. DEPT. OF PLANNING & ZONING.

*[Signature]* 6/22/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 6/25/01  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 6/25/01  
DIRECTOR DATE

**OWNER/DEVELOPER**  
M & M GENERAL PARTNERSHIP  
7450 MONTEVIDEO ROAD  
JESSUP, MARYLAND 20794  
(410) 799-1972  
DEED REFERENCE = 4354/544

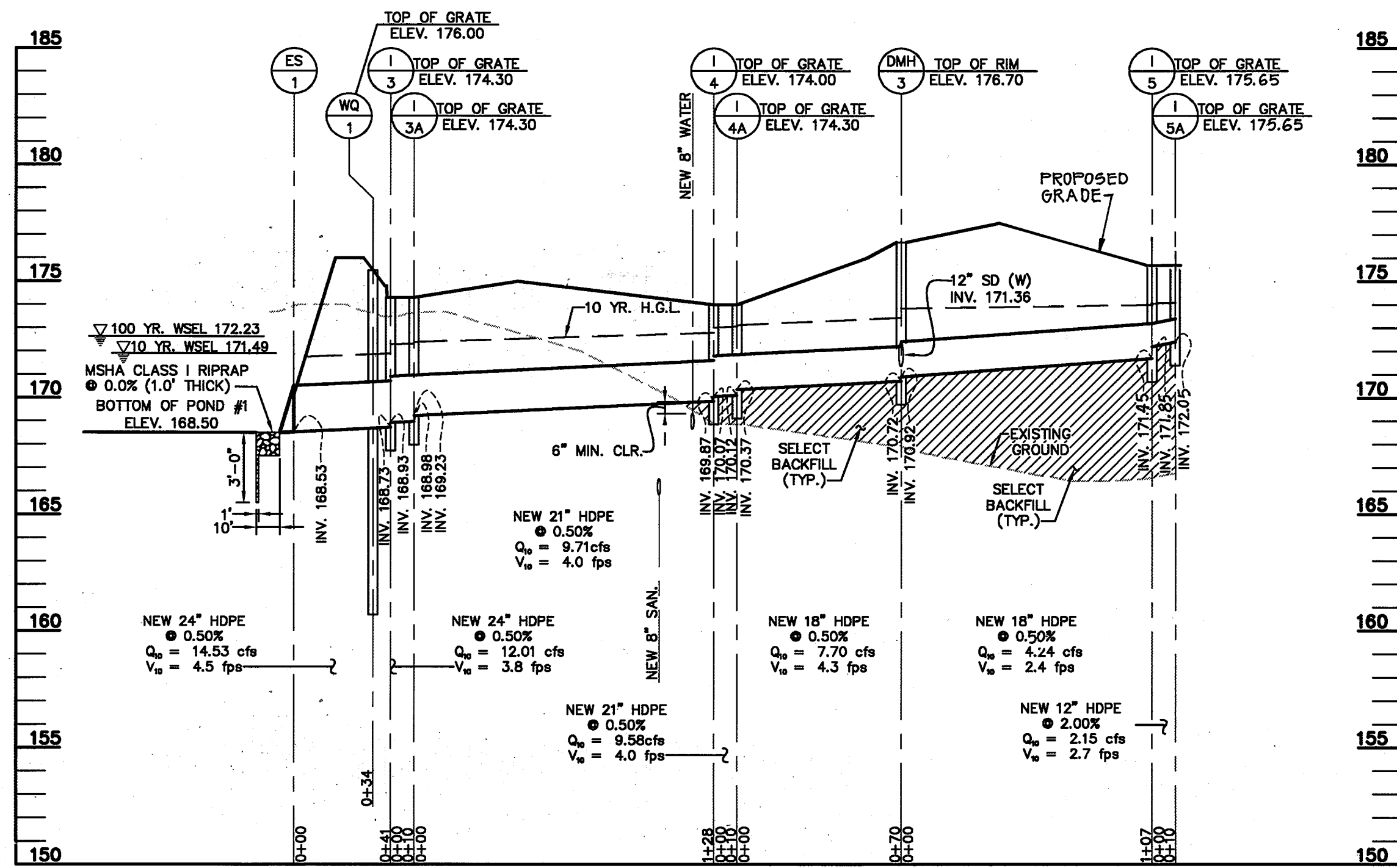
3-20-03	REVISED BLDG. #2 PER ARCH. PLANS
DATE	NO. REVISIONS

**STORM DRAIN DRAINAGE AREA MAP**

PROJECT TITLE:  
**7330 MONTEVIDEO ROAD  
HOWARD CO., MARYLAND**

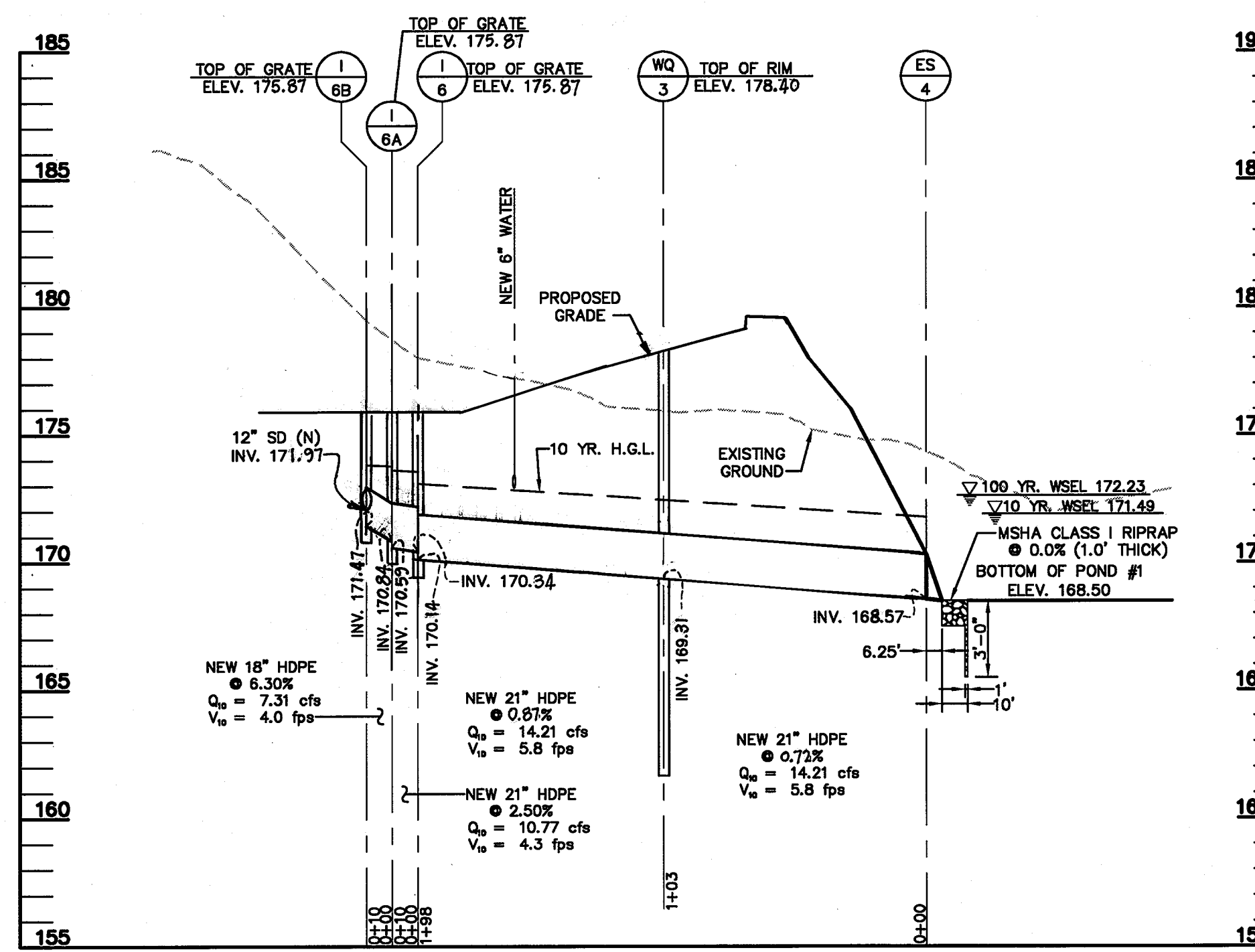
ENGINEERS:	<b>WR</b> Consulting Engineers 849 Fairmount Avenue Baltimore, Maryland 21286 WHITNEY, BAILEY, COX & MAGNANI, LLP	(410) 512-4500 (410) 324-4100 (FAX)
DESIGNED:	C.K.	ELECTION DIST.: 1
DRAWN:	C.P.G.	CENSUS TRACT #: 6012
CHECKED:	M.M.	WATER CODE: B-01
DATE:	12/13/00	SEWER CODE: 2221000
SCALE:	AS SHOWN	DRAWING NO.:
MAP NO.:	43	<b>C-4</b> SHEET 5 OF 25
GRID NO.:	10	
PARCEL NO.:	554	

6/19/01



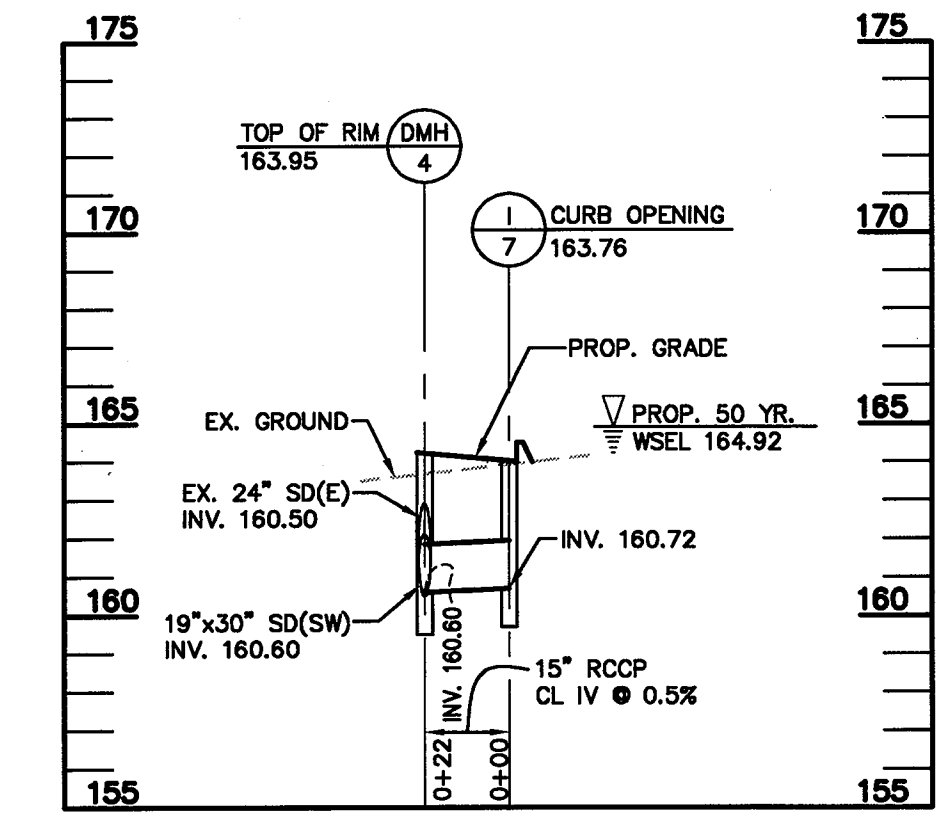
**STORM DRAIN PROFILE**

SCALE: HORIZ. 1" = 50'  
VERT. 1" = 5'



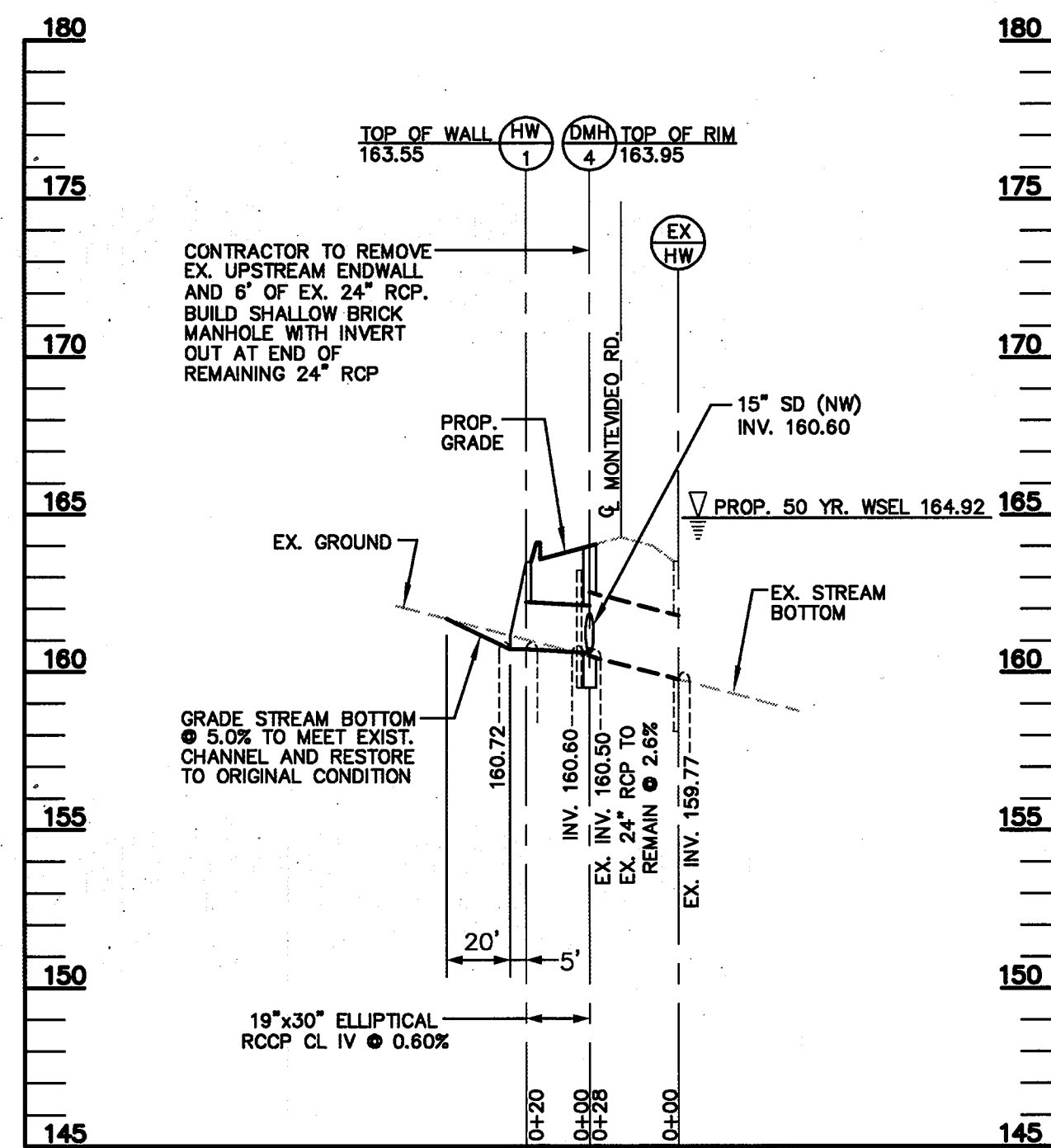
**STORM DRAIN PROFILE**

SCALE: HORIZ. 1" = 50'  
VERT. 1" = 5'



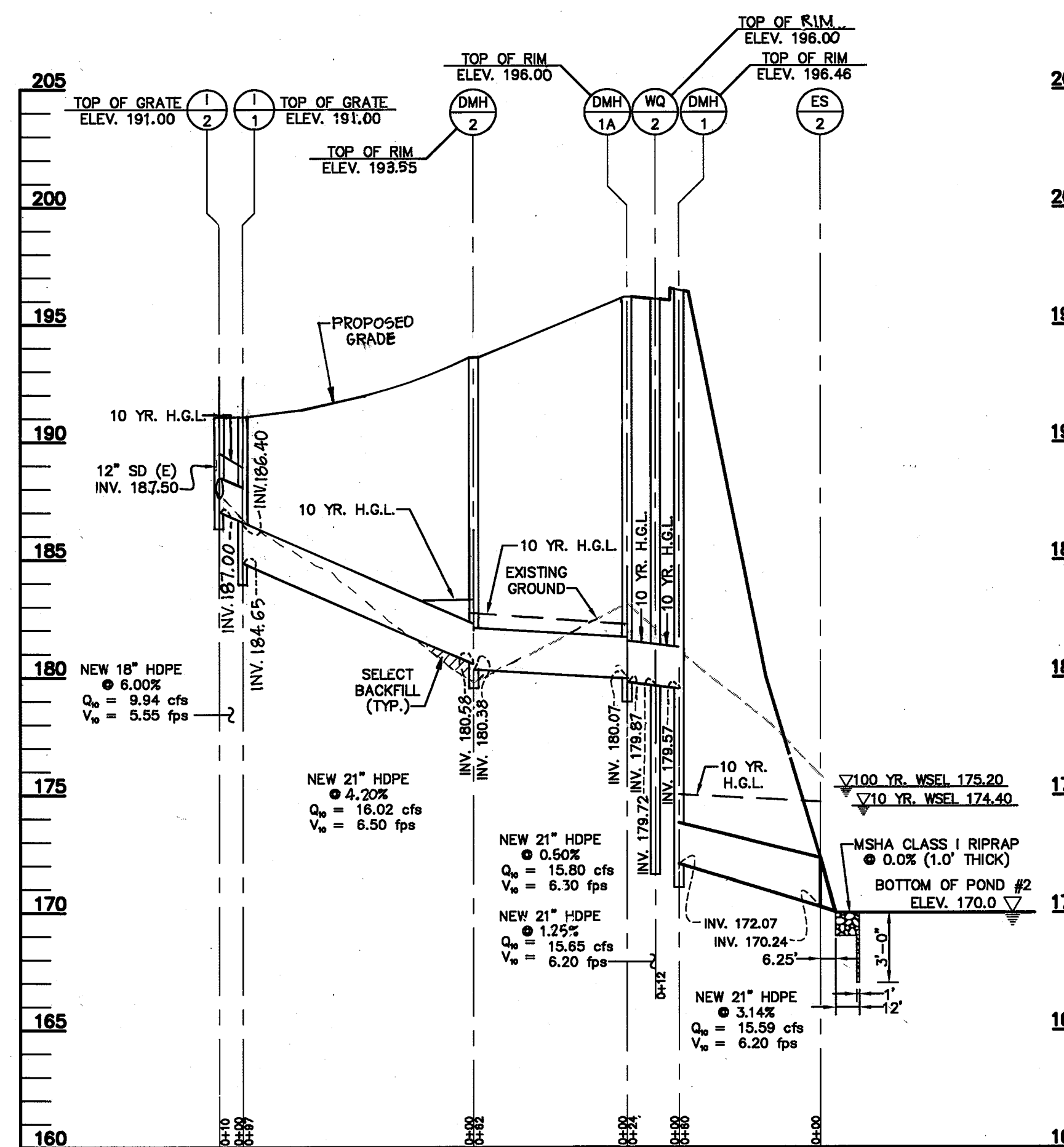
**STORM DRAIN PROFILE**

HORIZ. 1" = 50'  
VERT. 1" = 5'



**STORM DRAIN PROFILE**

SCALE: HORIZ. 1" = 50'  
VERT. 1" = 5'



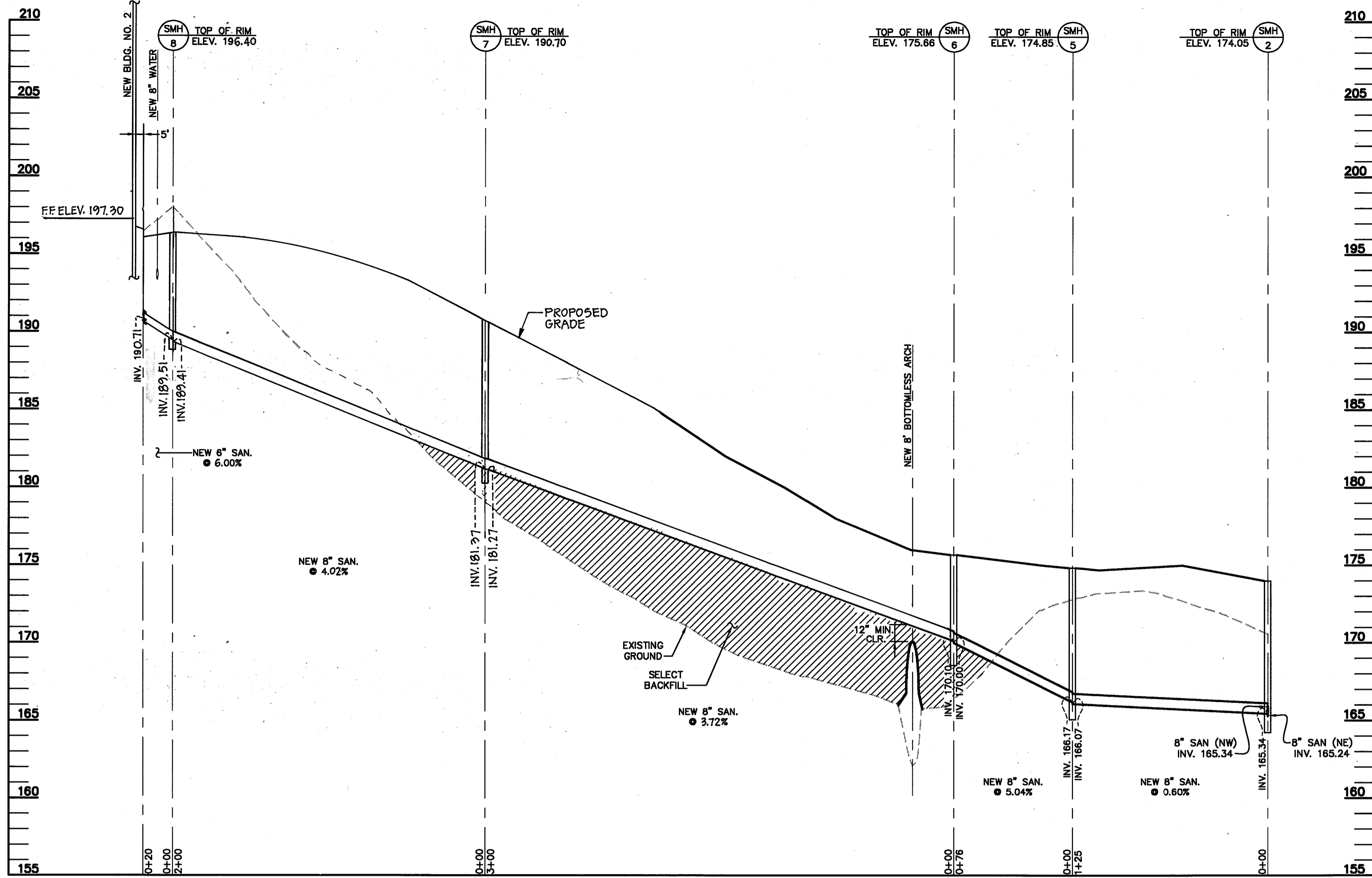
**STORM DRAIN PROFILE**

SCALE: HORIZ. 1" = 50'  
VERT. 1" = 5'

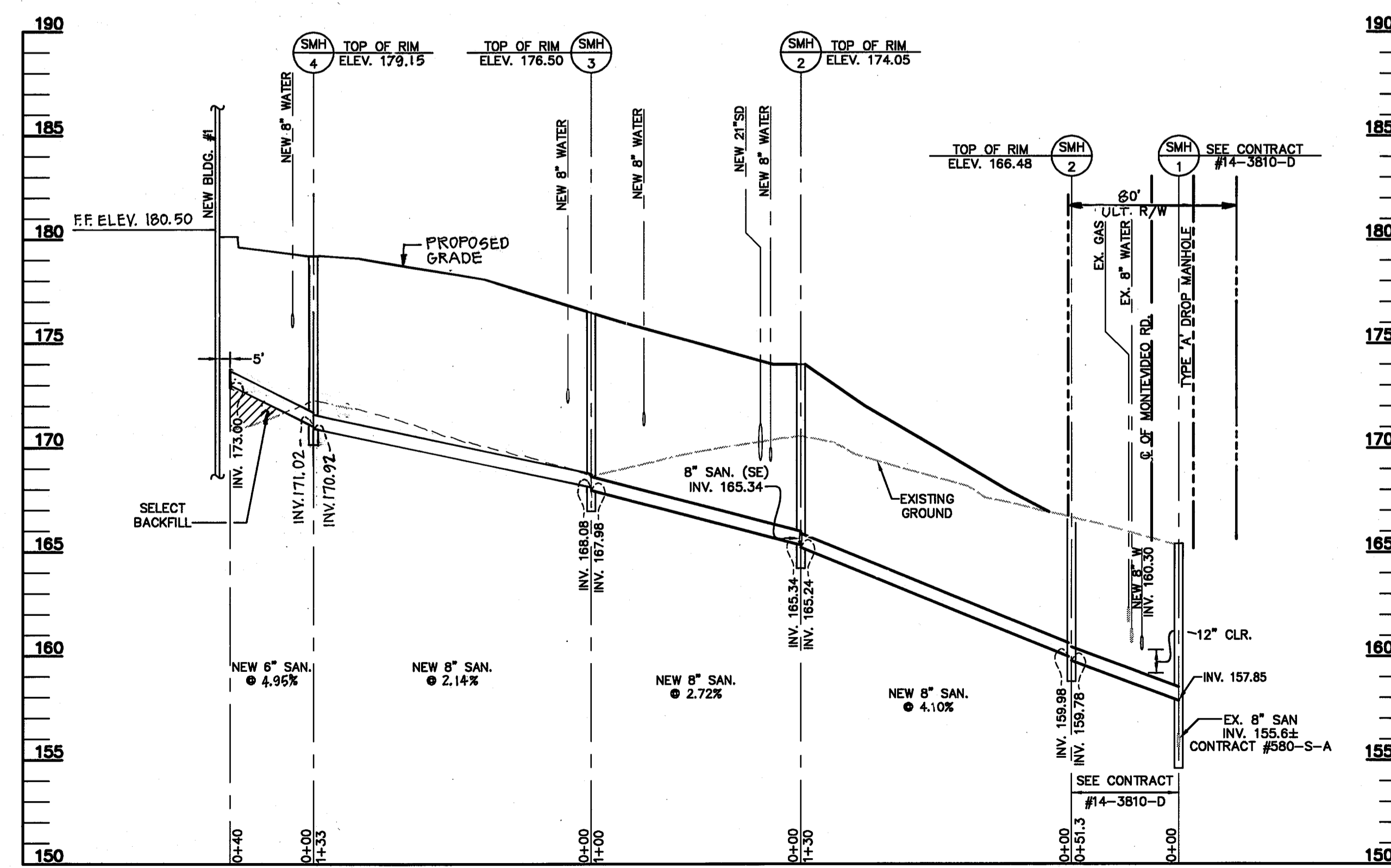
APPROVED: HOWARD CO. DEPT. OF PLANNING & ZONING.

CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 6/5/01 DATE  
  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 6/25/01 DATE  
  
 DIRECTOR  
 6/25/01 DATE

<b>OWNER/DEVELOPER</b>	
M & M GENERAL PARTNERSHIP 7450 MONTEVIDEO ROAD JESSUP, MARYLAND 20794 (410) 799-1972 DEED REFERENCE = 4354/544	
DATE	NO.
3-20-03	1
REVISIONS	
<b>STORM DRAIN PROFILES</b>	
PROJECT TITLE:	
<b>7330 MONTEVIDEO ROAD HOWARD CO., MARYLAND</b>	
ENGINEERS:	 Consulting Engineers 848 Fairmount Avenue Baltimore, Maryland 21286 (410) 512-4500 (410) 324-4100 (FAX) WHITNEY, BAILEY, COX & MAGNANI, LLP
DESIGNED: C.K.	ELECTION DIST.: 1
DRAWN: C.P.G.	CENSUS TRACT #: 6012
CHECKED: M.M.	WATER CODE: B-01
DATE: 12/13/00	SEWER CODE: 2221000
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 43	<b>C-5</b>
GRID NO.: 10	SHEET 6 OF 25
PARCEL NO.: 554	



**SANITARY PROFILE**  
 SCALE: HORIZ. 1" = 50'  
 VERT. 1" = 5'



**SANITARY PROFILE**  
 SCALE: HORIZ. 1" = 50'  
 VERT. 1" = 5'

APPROVED: HOWARD CO. DEPT. OF PLANNING & ZONING.

*Cheryl Hamilton* 6/25/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

*Cheryl Hamilton* 6/25/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT

*Joseph Rutter* 6/25/01  
 DIRECTOR

**OWNER/DEVELOPER**  
 M & M GENERAL PARTNERSHIP  
 7450 MONTEVIDEO ROAD  
 JESSUP, MARYLAND 20794  
 (410) 799-1972  
 DEED REFERENCE = 4354/544

3-20-03	REV. SMH 3 TO BLDG AND SMH 6 TO BLDG TO MEET NEW GRADES	
DATE	NO.	REVISIONS

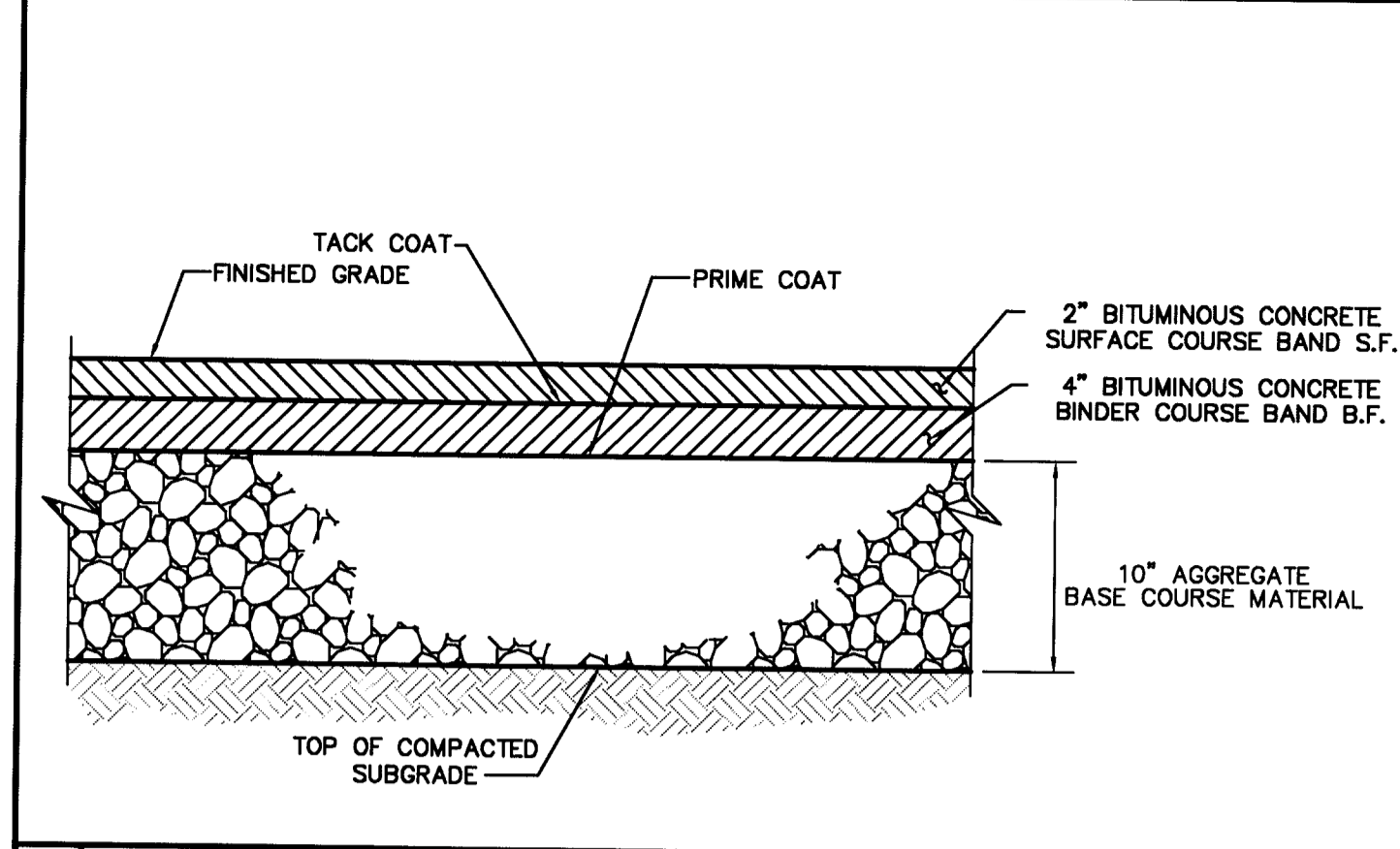
**SANITARY PROFILES**

PROJECT TITLE:  
**7330 MONTEVIDEO ROAD  
 HOWARD CO., MARYLAND**

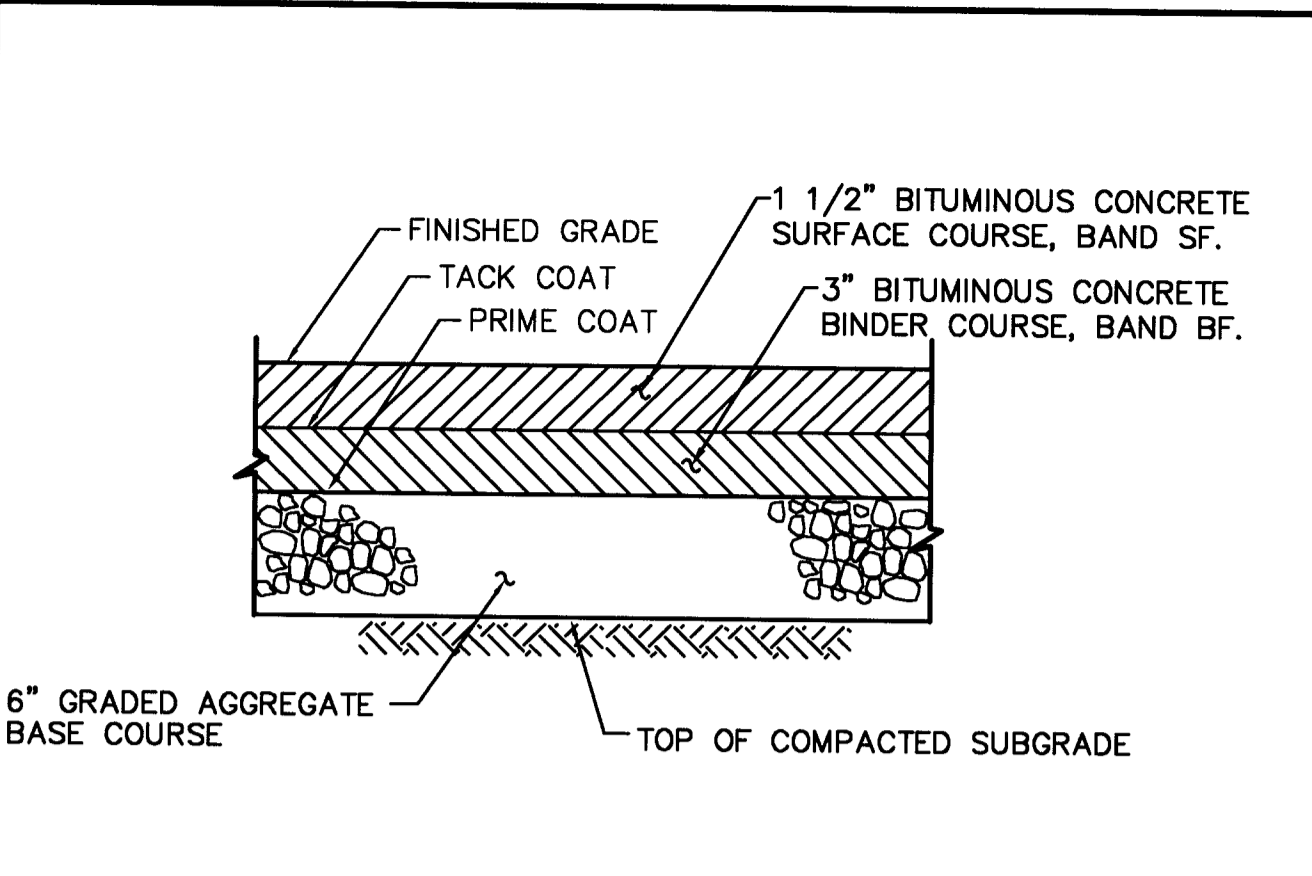
ENGINEERS: **WR** Consulting Engineers  
 849 Fairmount Avenue (410) 512-4500  
 Baltimore, Maryland 21286 (410) 324-4100 (FAX)  
**WHITNEY, BAILEY, COX & MAGNANI, LLP**

DESIGNED: C.K.	ELECTION DIST.: 1
DRAWN: C.P.G.	CENSUS TRACT #: 6012
CHECKED: M.M.	WATER CODE: B-01
DATE: 12/13/00	SEWER CODE: 2221000
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 43	<b>C-6</b>
GRID NO.: 10	
PARCEL NO.: 554	

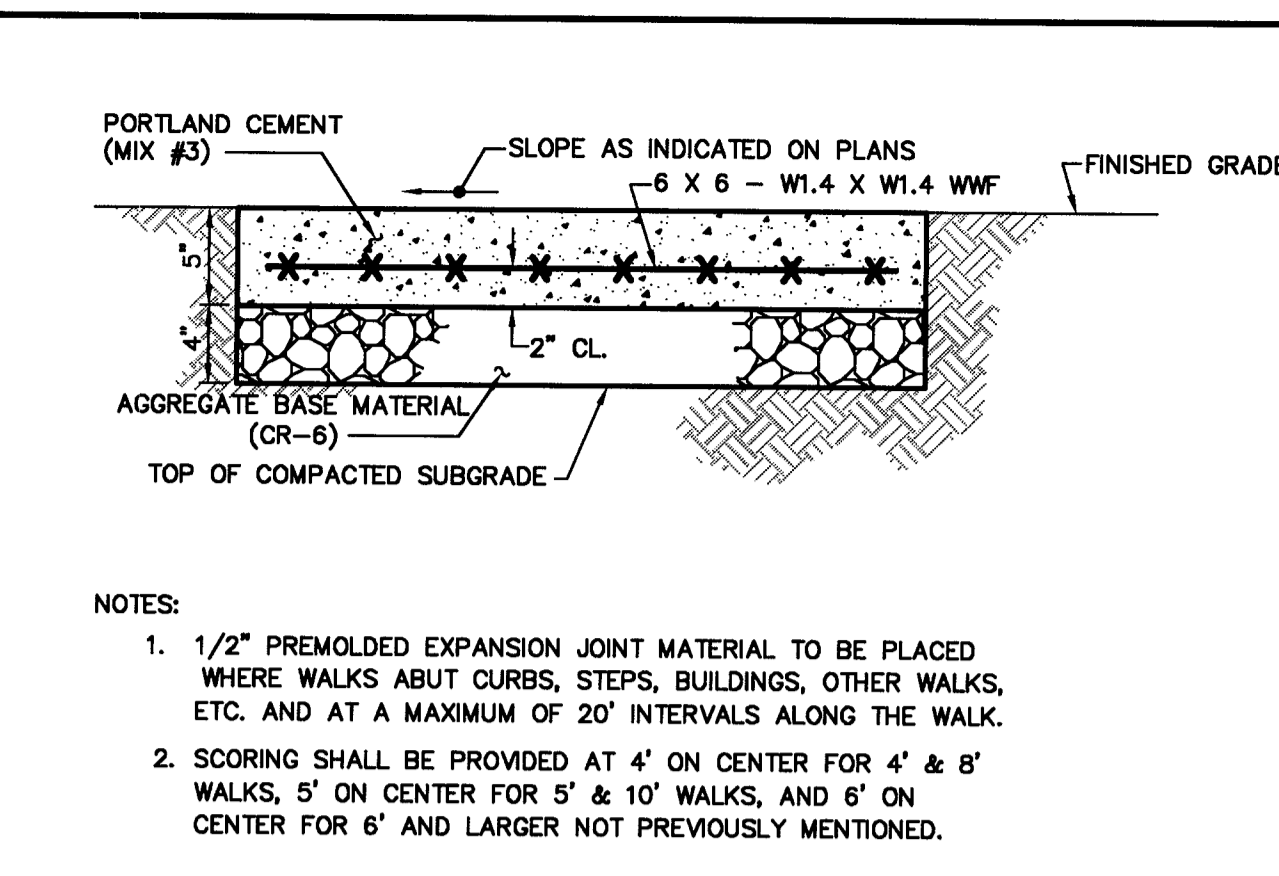
SDP-00-48 © WCBM 2000



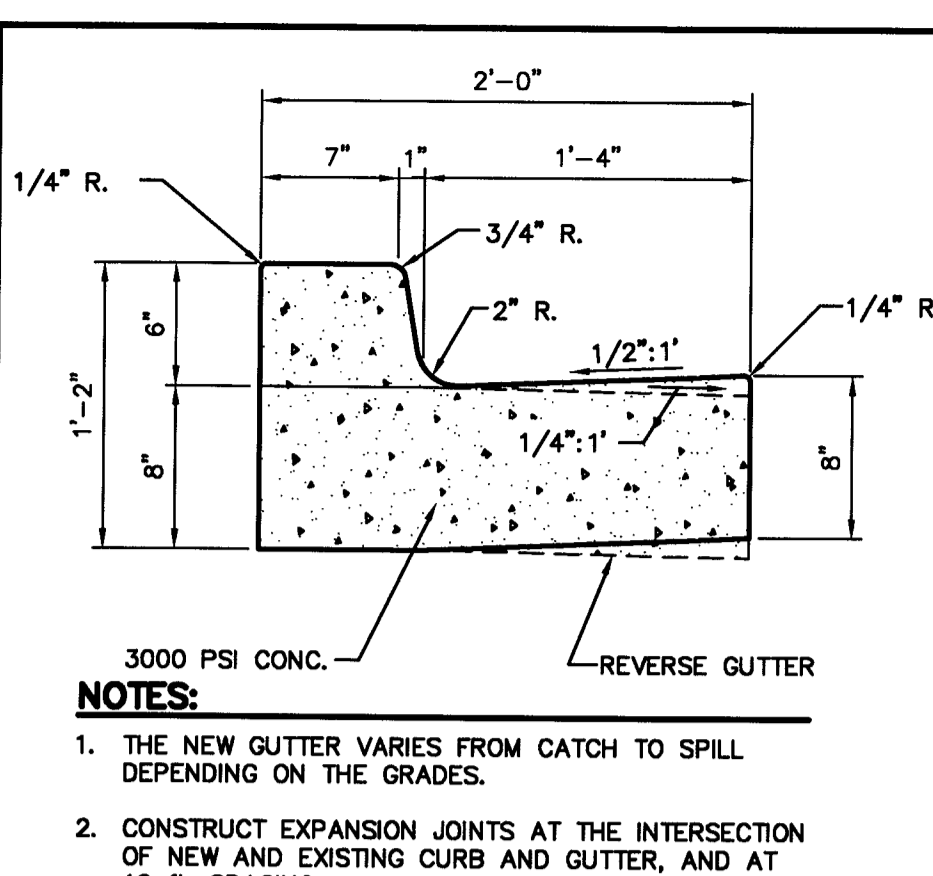
1 HEAVY DUTY BITUMINOUS PAVING NOT TO SCALE



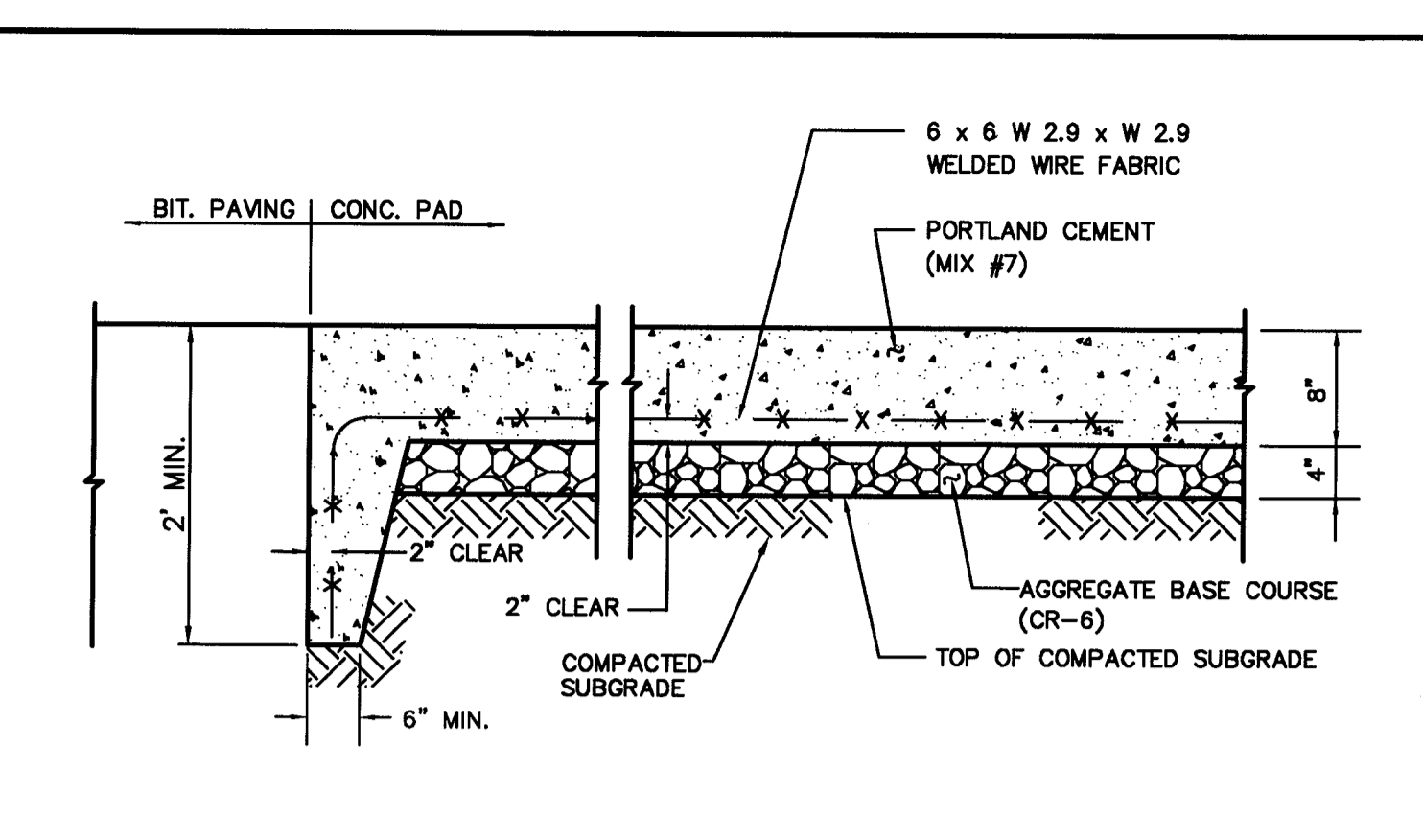
2 LIGHT DUTY BITUMINOUS PAVING NOT TO SCALE



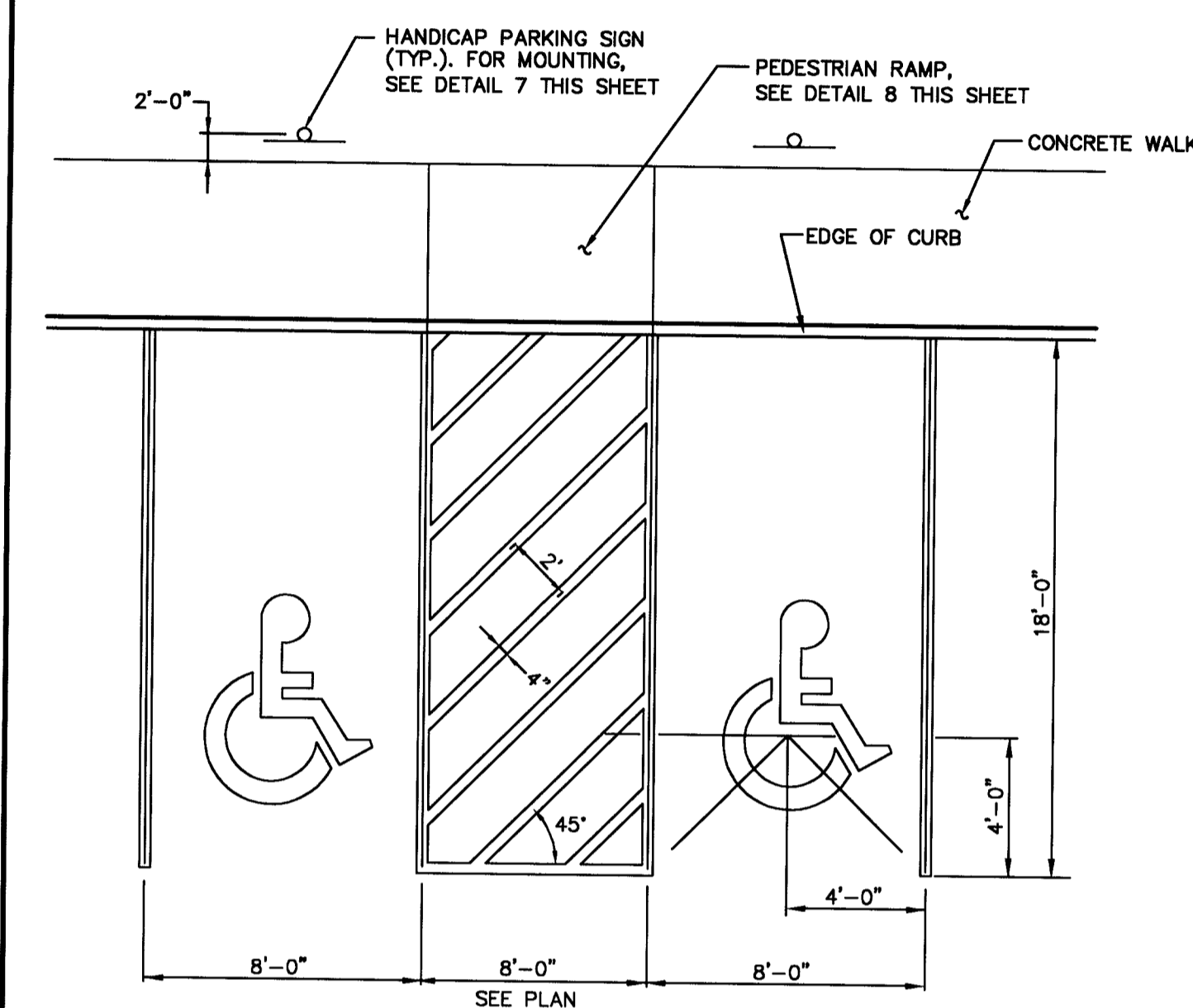
3 CONCRETE WALK NOT TO SCALE



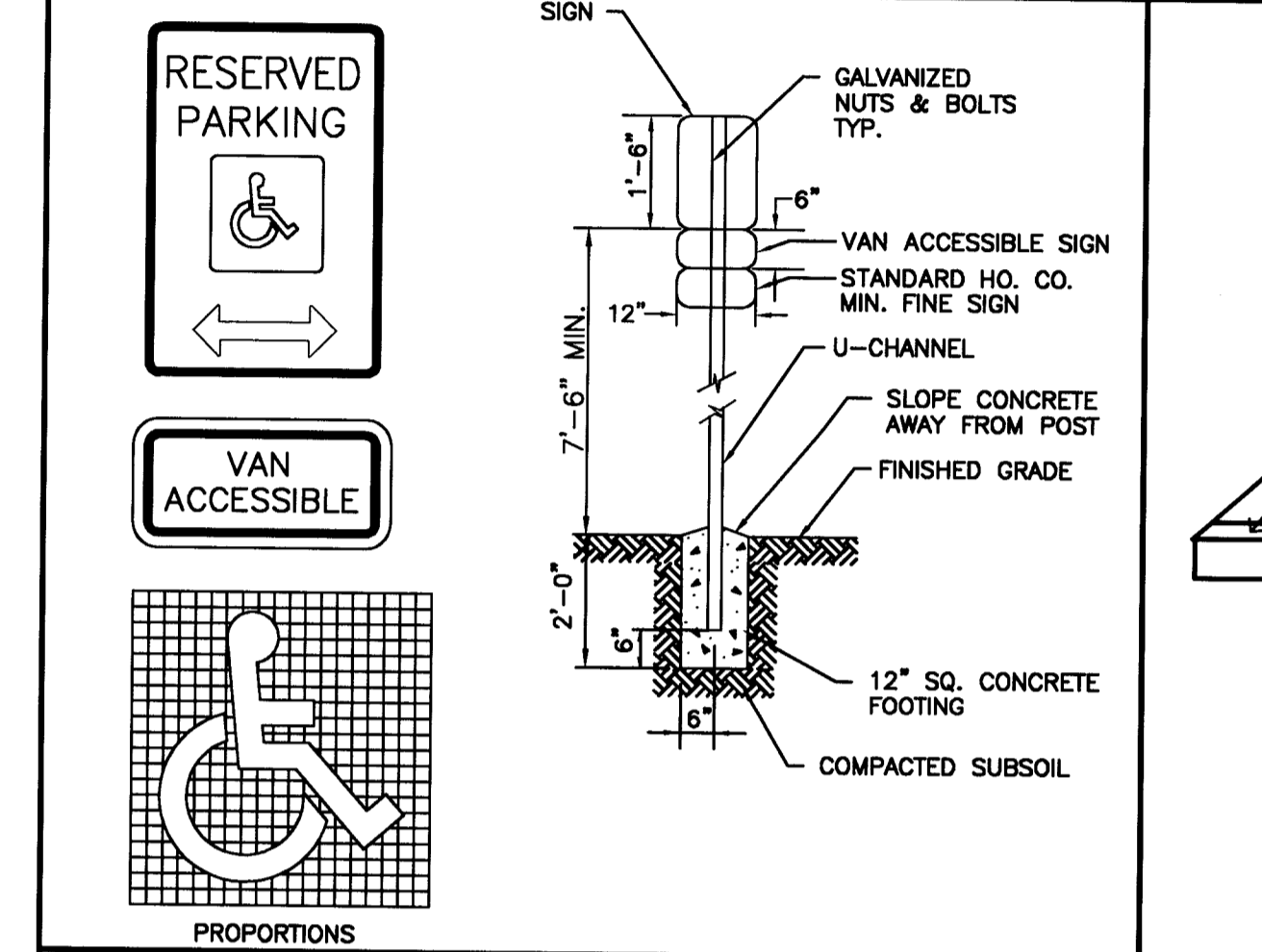
4 CONCRETE CURB AND GUTTER NOT TO SCALE



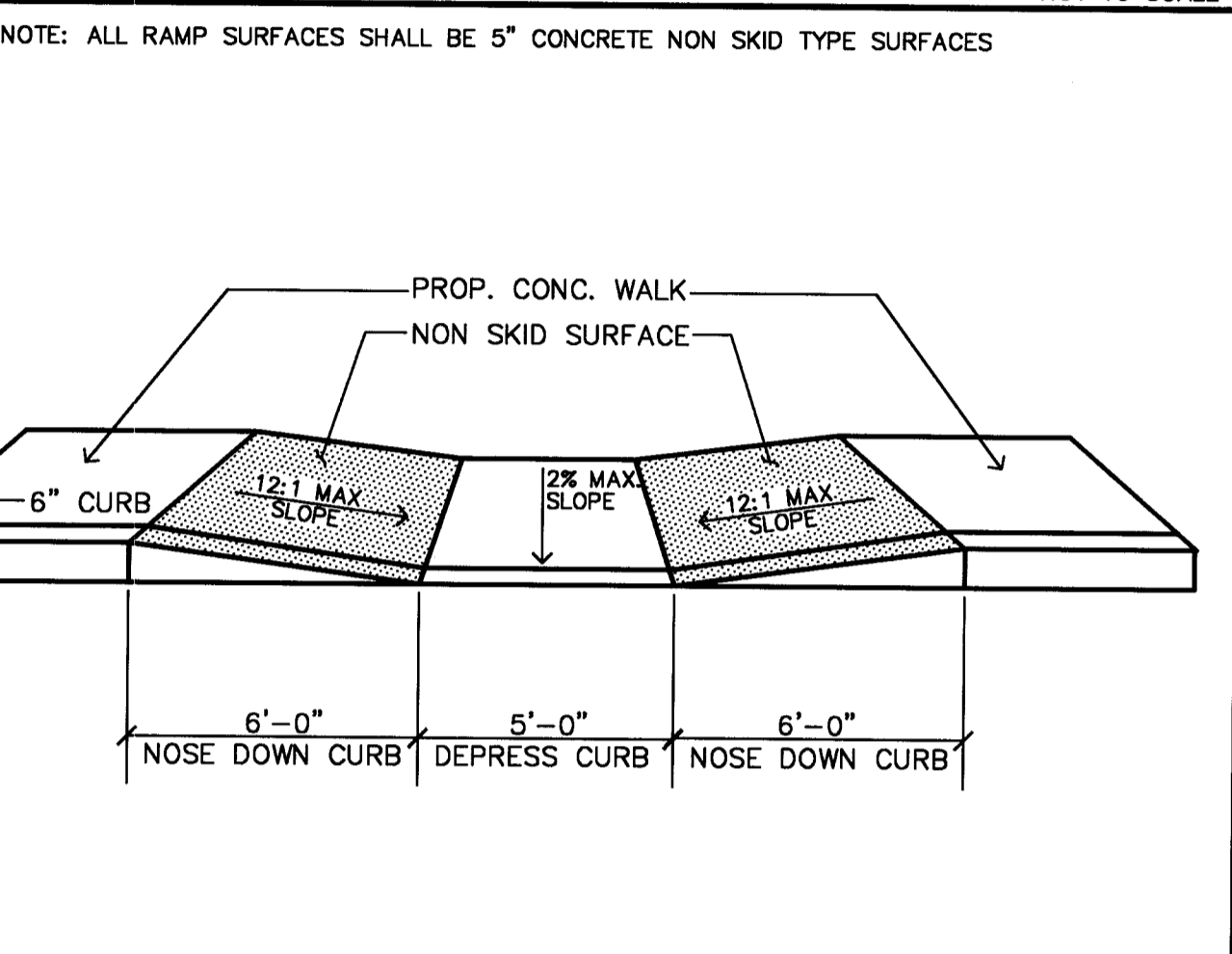
5 CONCRETE PAD NOT TO SCALE



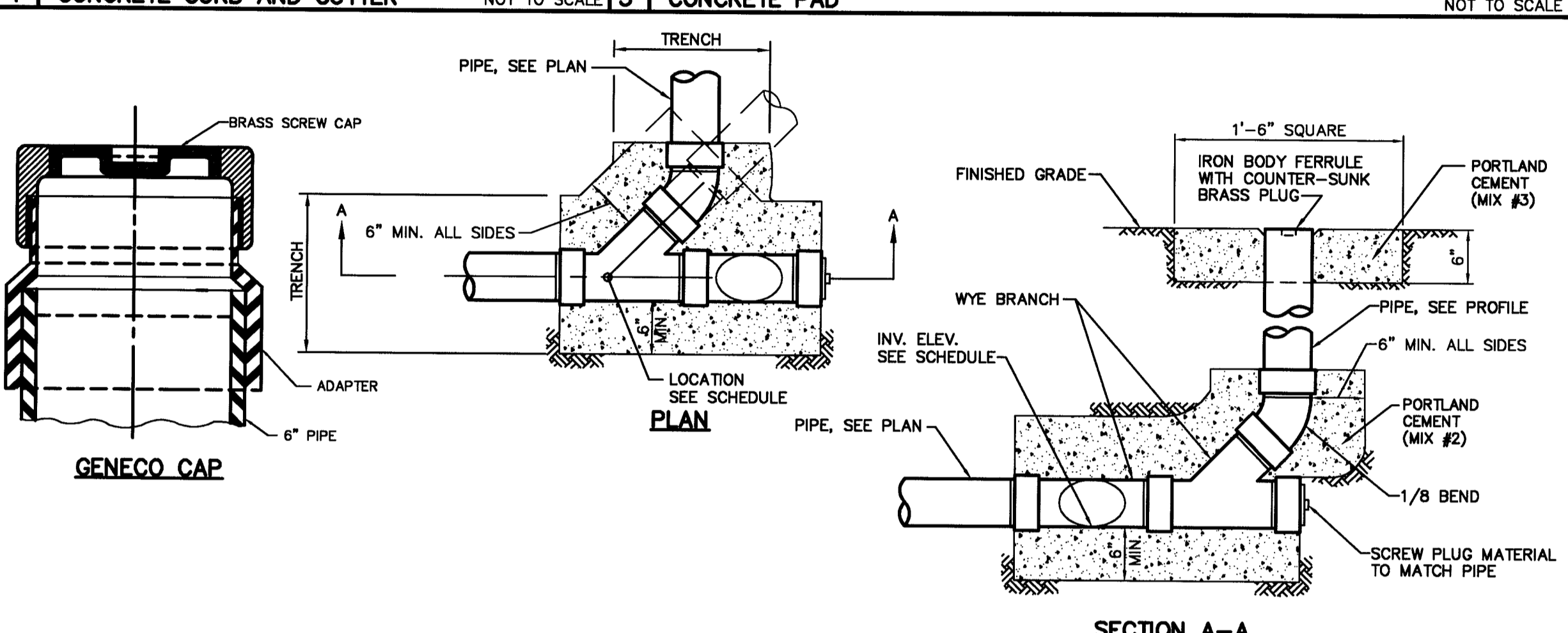
6 HANDICAP PARKING NOT TO SCALE



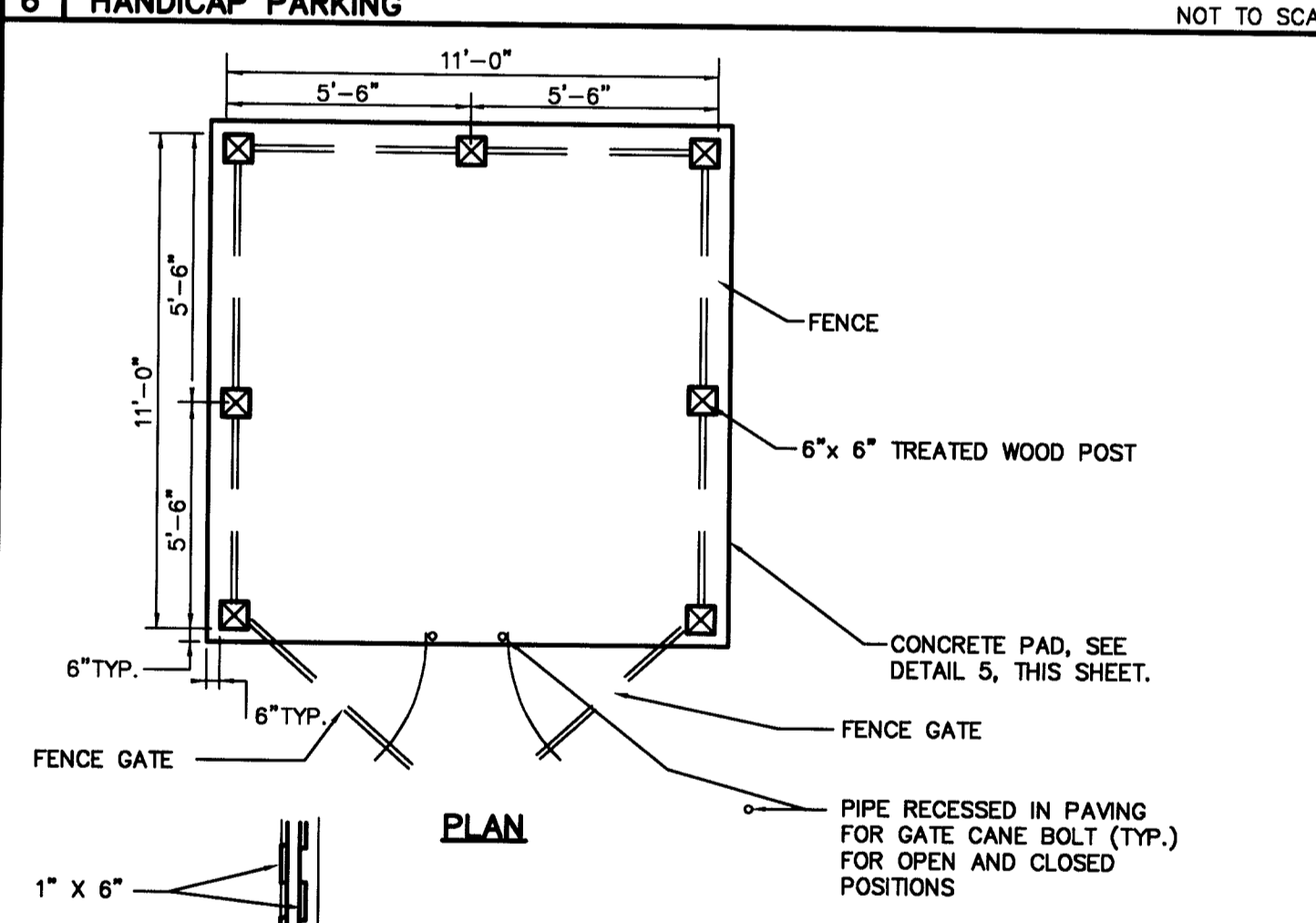
7 HANDICAP PARKING SIGN NOT TO SCALE



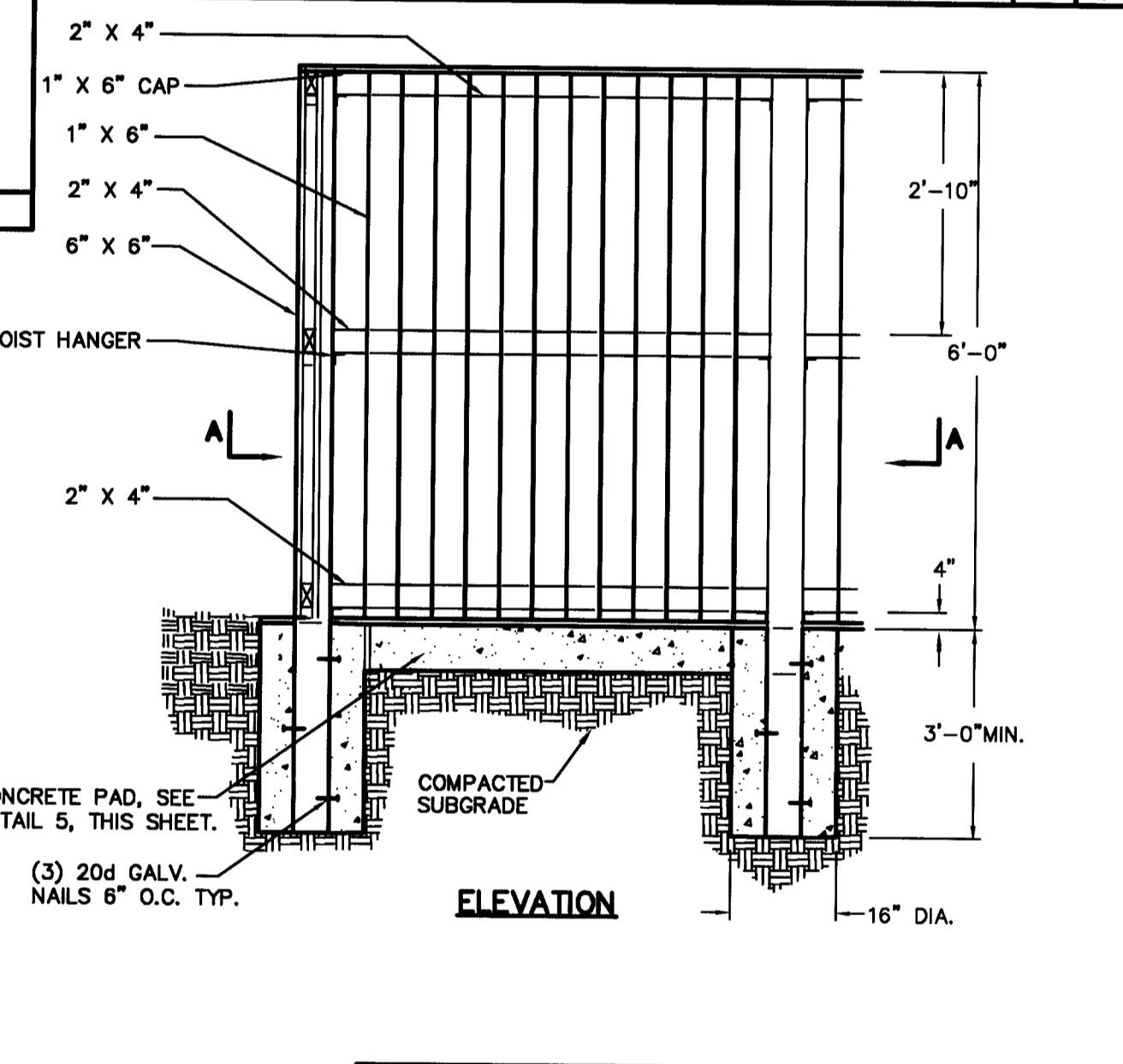
8 PEDESTRIAN RAMP NOT TO SCALE



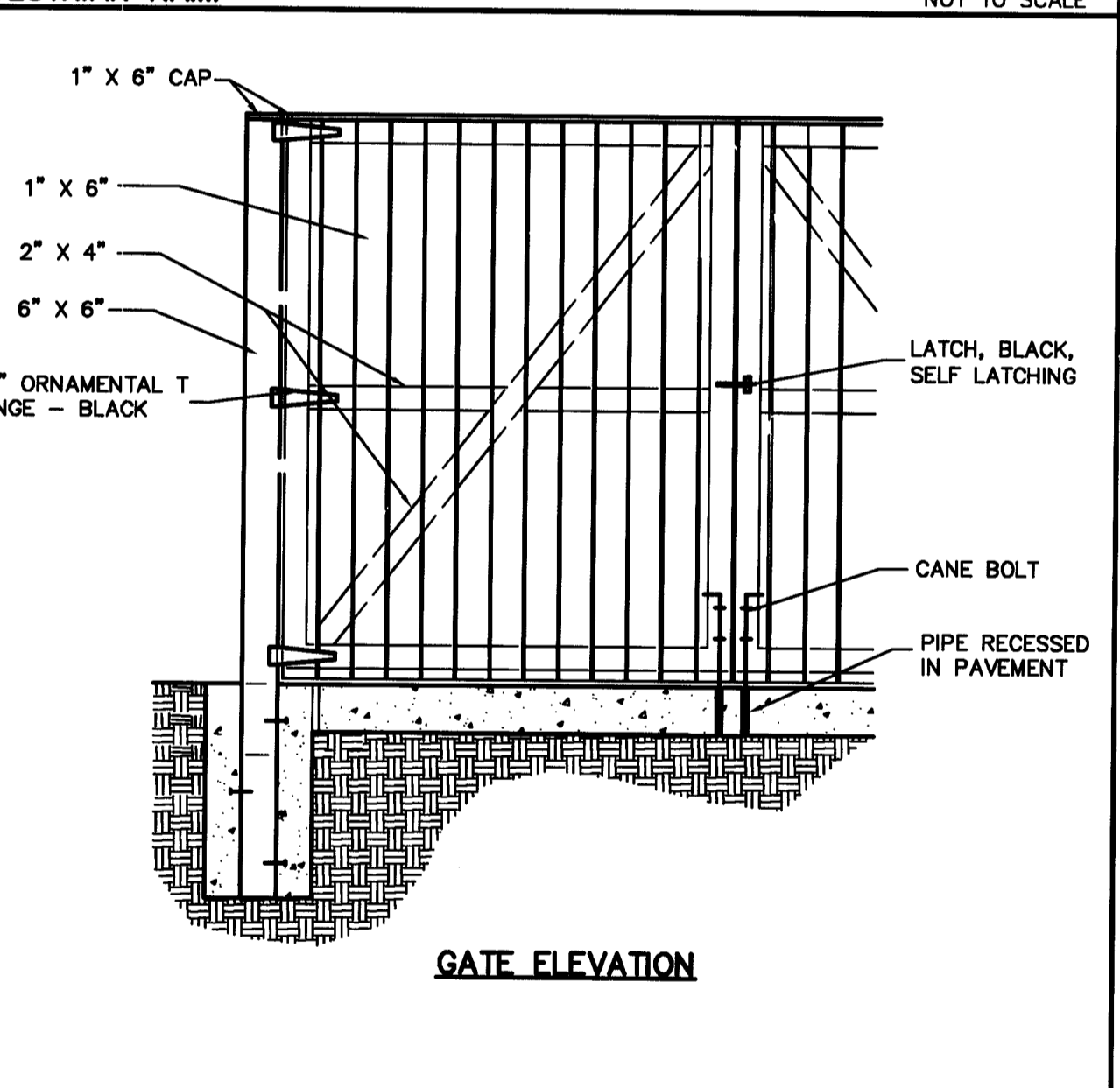
9 CLEANOUT NOT TO SCALE



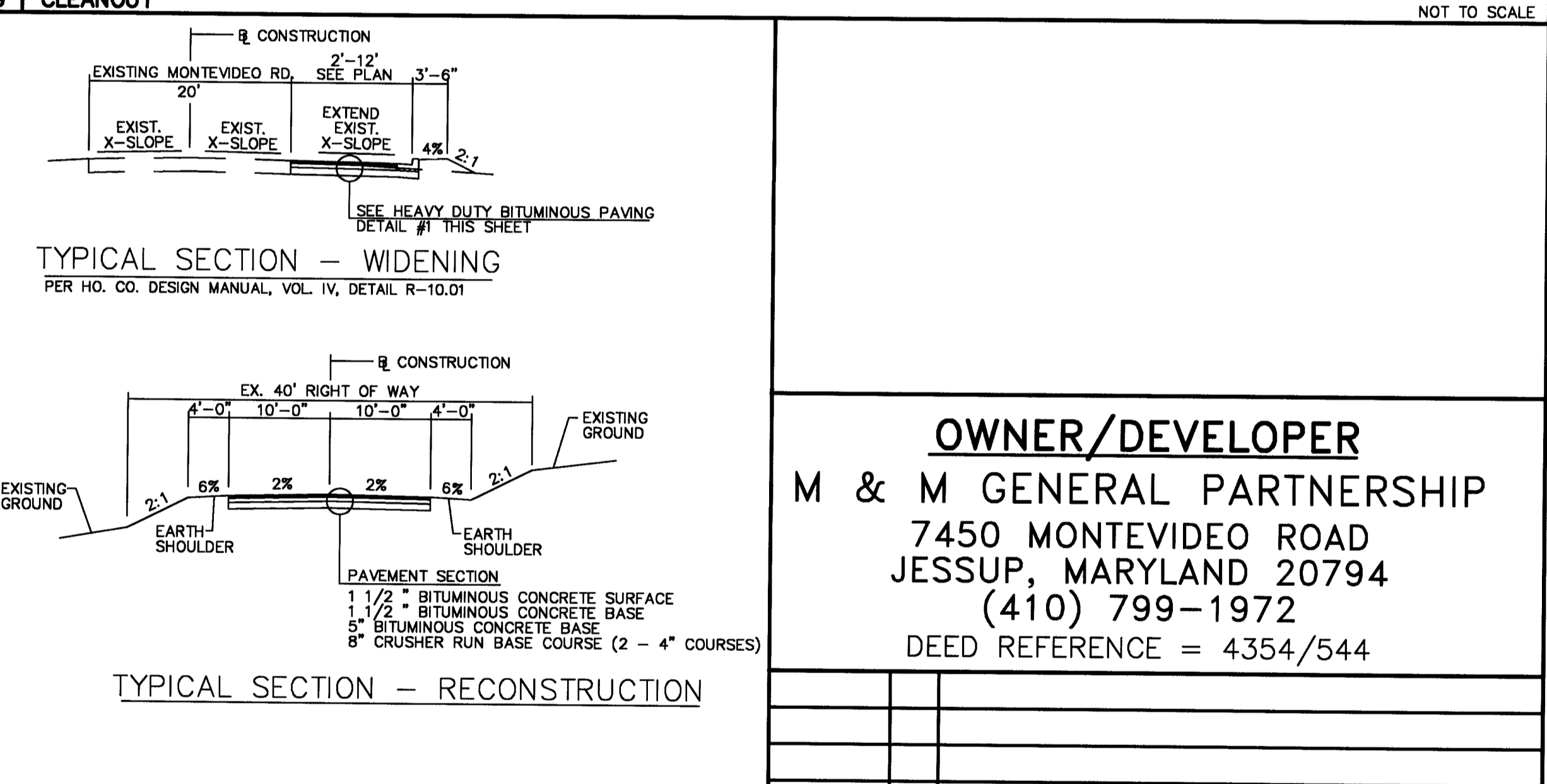
10 TRASH ENCLOSURE NOT TO SCALE



8 PEDESTRIAN RAMP NOT TO SCALE



8 PEDESTRIAN RAMP NOT TO SCALE



11 ROADWAY SECTION DETAIL NOT TO SCALE

APPROVED: HOWARD CO. DEPT. OF PLANNING & ZONING.

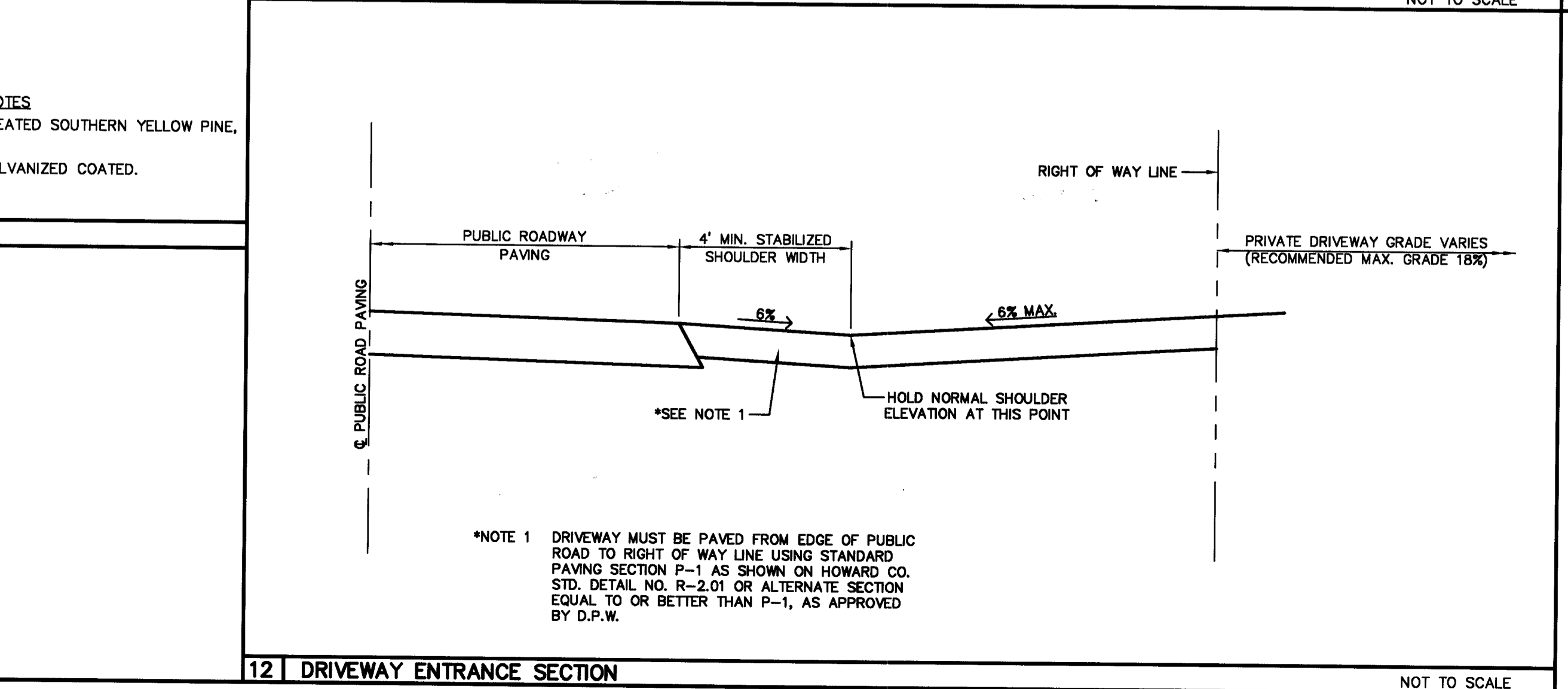
CHIEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* 6/5/01 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* 6/25/01 DATE

DIRECTOR: *[Signature]* 6/25/01 DATE

NOTES:

- ALL WOOD SHALL BE CCA TREATED SOUTHERN YELLOW PINE, AWPA C1, SMOOTH FINISH.
- ALL HARDWARE SHALL BE GALVANIZED COATED.



12 DRIVEWAY ENTRANCE SECTION NOT TO SCALE

**OWNER/DEVELOPER**  
**M & M GENERAL PARTNERSHIP**  
 7450 MONTEVIDEO ROAD  
 JESSUP, MARYLAND 20794  
 (410) 799-1972  
 DEED REFERENCE = 4354/544

DATE	NO.	REVISIONS

**SITE DETAILS**

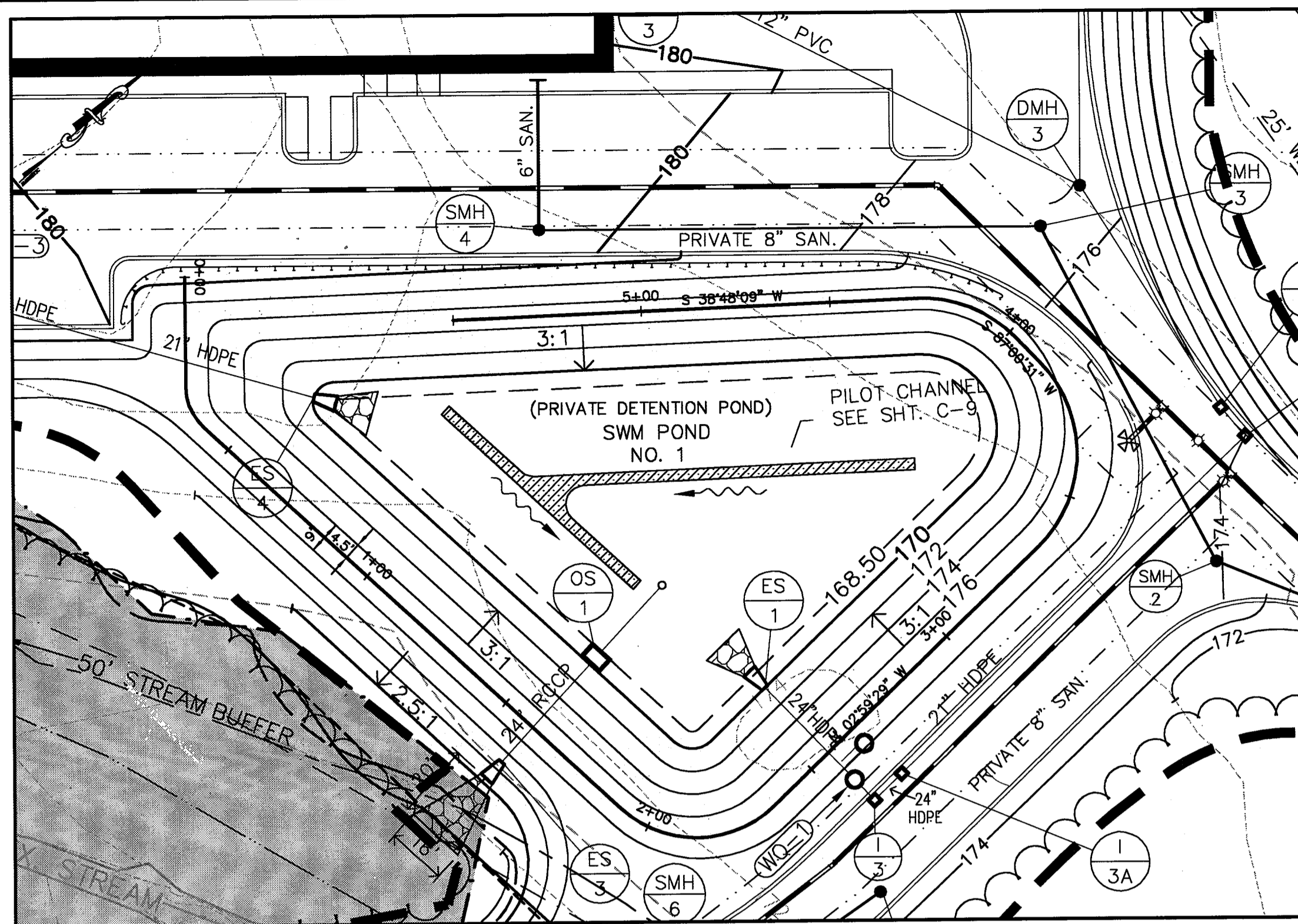
PROJECT TITLE:  
**7330 MONTEVIDEO ROAD  
 HOWARD CO., MARYLAND**

ENGINEERS: **WR** Consulting Engineers  
 849 Fairmount Avenue (410) 512-4500  
 Baltimore, Maryland 21286 (410) 324-4100 (FAX)  
**WHITNEY, BAILEY, COX & MAGNANI, LLP**

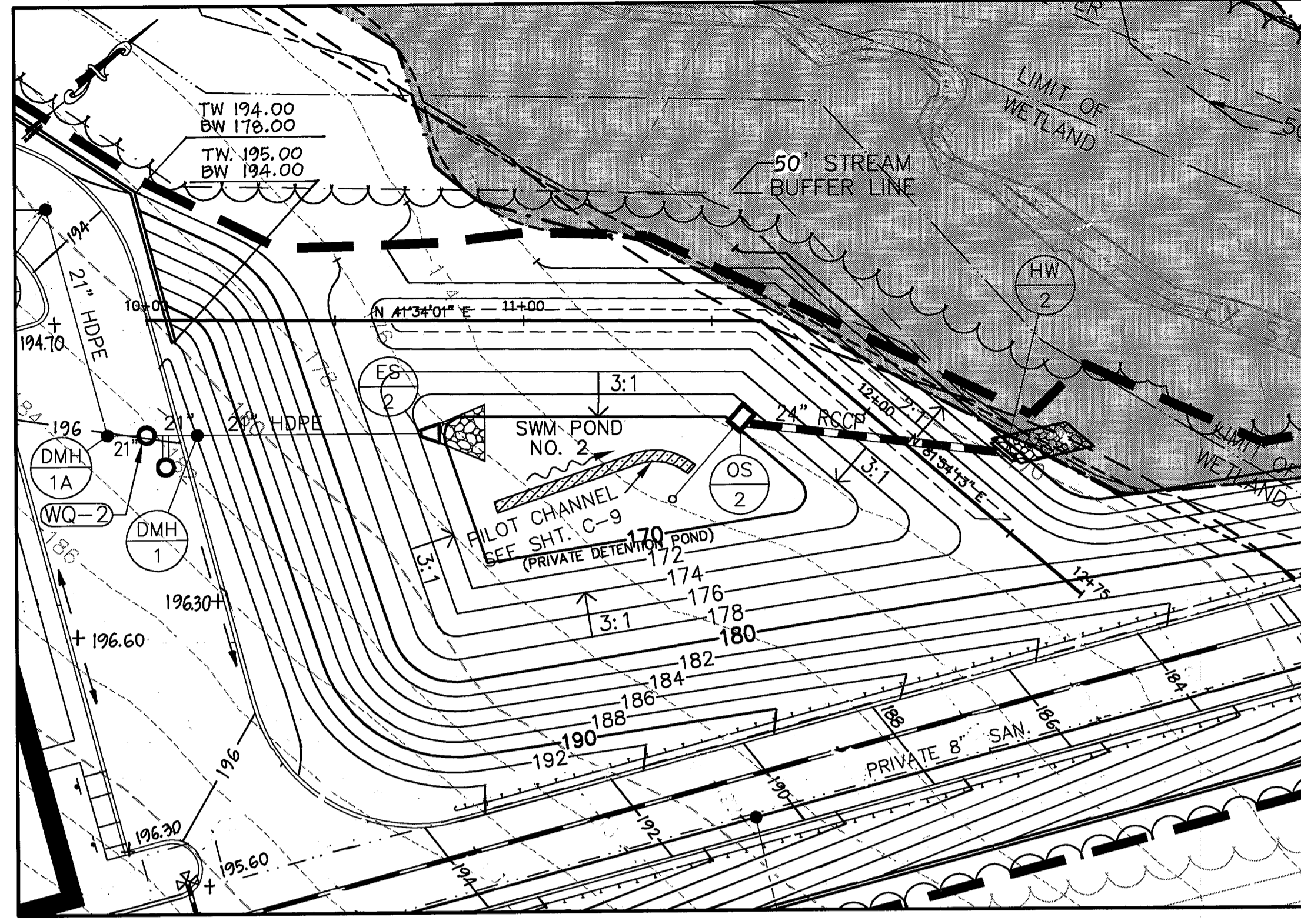
DESIGNED: C.K.	ELECTION DIST.: 1
DRAWN: C.P.G.	CENSUS TRACT #: 6012
CHECKED: M.M.	WATER CODE: B-01
DATE: 12/13/00	SEWER CODE: 2221000
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 43	<b>C-7</b>
GRID NO.: 10	
PARCEL NO.: 554	SHEET 8 OF 25

SDP-00-48 © WCBM 1999

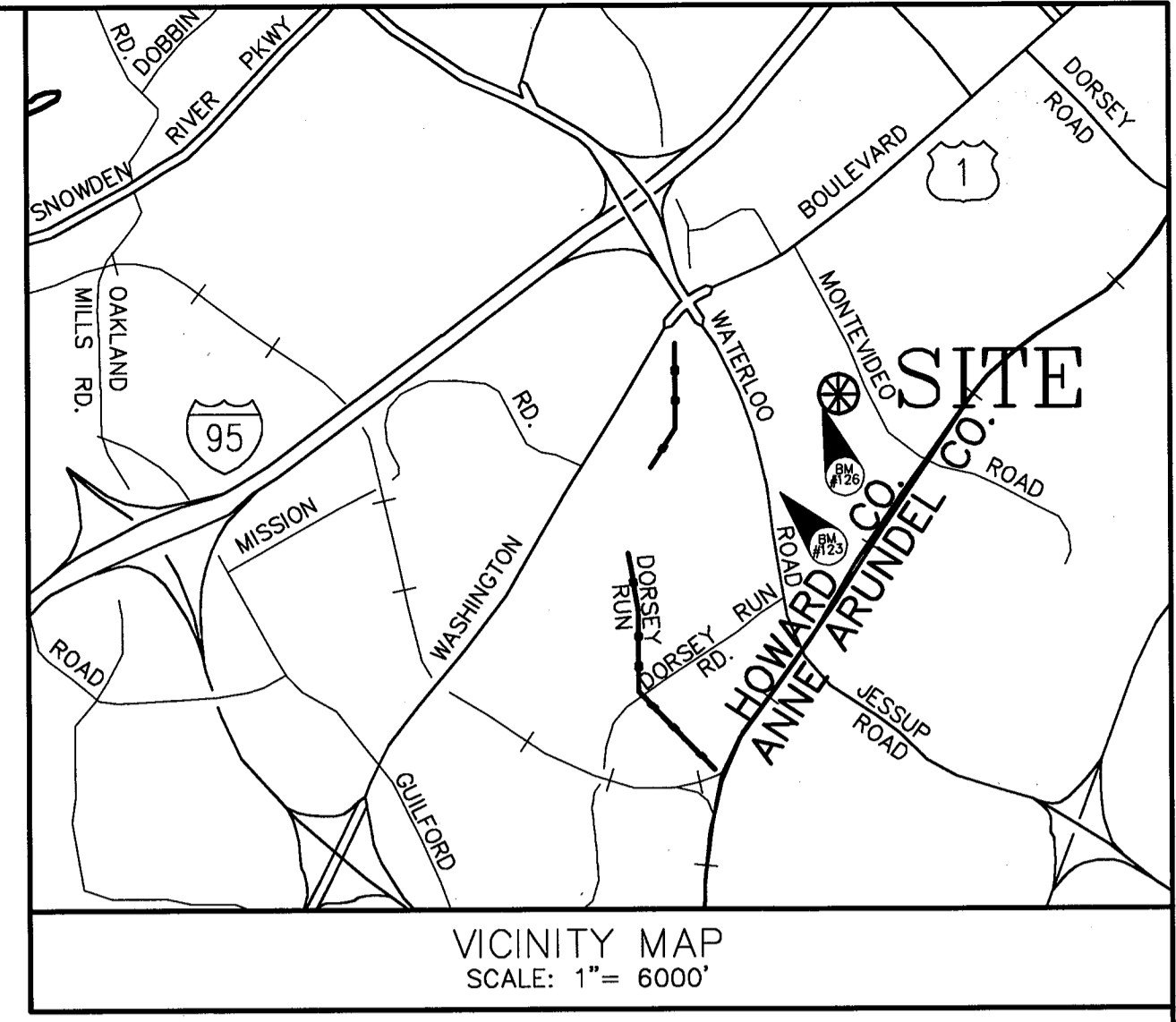




PLAN - POND NO. 1  
SCALE: 1" = 30'

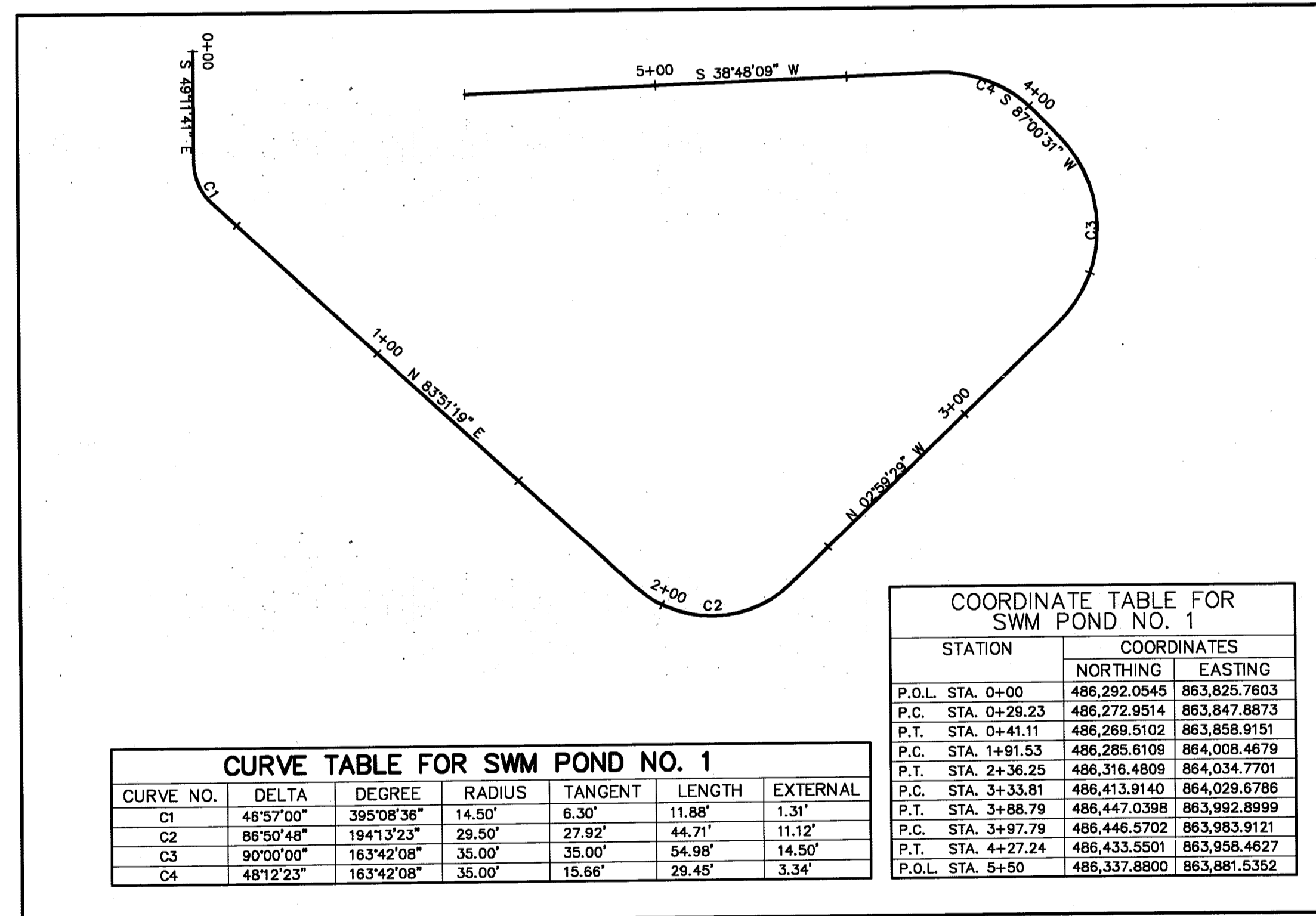


PLAN - POND NO. 2  
SCALE: 1" = 30'

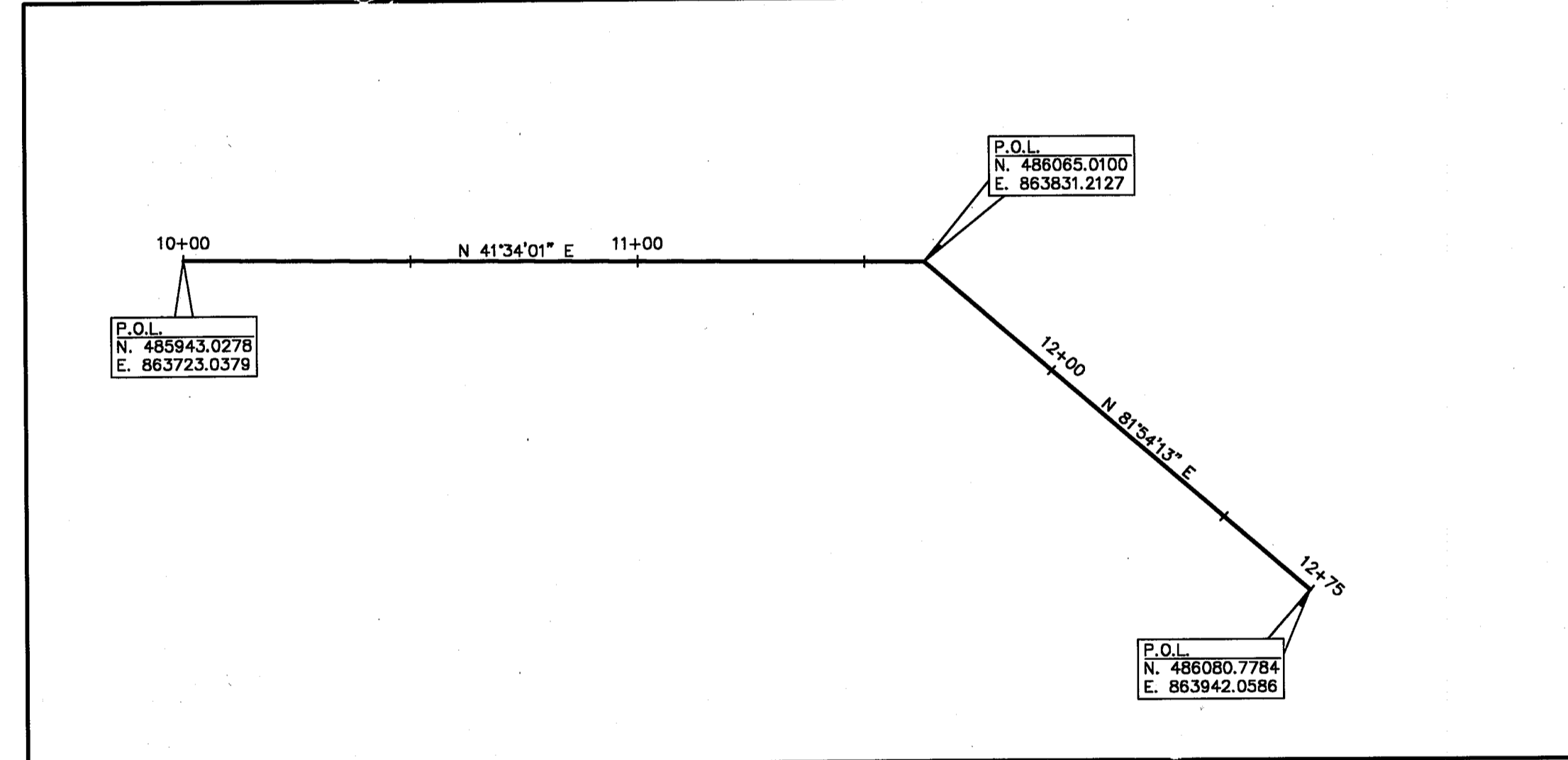


VICINITY MAP  
SCALE: 1" = 6000'

- STORMWATER MANAGEMENT FACILITY MAINTENANCE REQUIREMENTS:**
- A. Silt will be removed when accumulation exceeds six (6) inches in basins.
  - B. Accumulated paper, trash and debris will be removed immediately.
  - C. Vegetation growing on the embankment top or faces is not allowed to exceed eighteen (18) inches in height at any time, and will be trimmed immediately.
  - D. Woody vegetation growing within fifteen (15) feet of the toe of the embankment is not allowed to exceed eighteen (18) inches in height at any time, and will be removed immediately.
  - E. The stormwater management facility will be inspected annually, and any repairs to the structure will be completed immediately.
  - F. See Sheet 12 (C-11) for Baysaver maintenance requirements.



SWM POND NO. 1 BASELINE GEOMETRY  
SCALE: 1" = 30'



SWM POND NO. 2 BASELINE GEOMETRY  
SCALE: 1" = 30'

**CONSULTANT'S HAZARD CLASS CERTIFICATION**  
I CERTIFY THAT THIS POND MEETS ALL THE REQUIREMENTS FOR HAZARD CLASS A. (REQUIREMENTS AS STATED IN THE SOIL CONSERVATION SERVICE - MARYLAND STANDARDS AND SPECIFICATIONS FOR POND, CODE 378, NOVEMBER 1992.) ALL NECESSARY INVESTIGATIONS AND COMPUTATIONS HAVE BEEN PERFORMED TO VERIFY THIS FINDING.

Signature: *William Baker* DATE: 6/19/01  
WILLIAM BAKER MD. LICENSE NO. 12208

**ENGINEER'S CERTIFICATION**  
I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN DESIGNED ACCORDING TO THE HOWARD COUNTY DESIGN MANUAL STANDARDS AND SPECIFICATION AND THE DEPARTMENT OF ENVIRONMENT/STORMWATER MANAGEMENT REGULATIONS.

Signature: *William Baker* DATE: 6/19/01  
WILLIAM BAKER MD. LICENSE NO. 12208

**DEVELOPER'S/LANDOWNER'S CERTIFICATION**  
I/WE HEREBY CERTIFY THAT ALL PROPOSED WORK SHOWN ON THE CONSTRUCTION DRAWING(S) WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THE PLANS. I/WE ALSO UNDERSTAND THAT IT IS MY/OUR RESPONSIBILITY TO HAVE THE CONSTRUCTION SUPERVISED AND CERTIFIED INCLUDING THE SUBMITTAL OF "AS-BUILT" PLANS CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER WITHIN THIRTY (30) DAYS OF COMPLETION OF WORK ON THE STORMWATER MANAGEMENT FACILITY. I/WE ALSO CERTIFY THAT THIS/THOSE STORMWATER MANAGEMENT FACILITY/FACILITIES WILL BE INSPECTED DURING CONSTRUCTION BY A REGISTERED PROFESSIONAL ENGINEER IN ACCORDANCE WITH THE REQUIREMENTS OF HOWARD COUNTY.

Signature: *Mark Gwolin* DATE: 6/19/01  
MARK GWOLIN MD. LICENSE NO. 12208

**"AS-BUILT" CERTIFICATION**  
I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS. I ALSO CERTIFY THAT CONSTRUCTION WAS INSPECTED IN ACCORDANCE WITH THE REQUIREMENTS OF HOWARD COUNTY.

Signature: \_\_\_\_\_ DATE: \_\_\_\_\_  
PRINT NAME: \_\_\_\_\_ MD. LICENSE NO. \_\_\_\_\_

\* TO BE SUBMITTED TO THE HOWARD SOIL CONSERVATION DISTRICT

APPROVED: HOWARD CO. DEPT. OF PLANNING & ZONING.  
Signature: *William Baker* DATE: 6/22/01  
Signature: *Wanda Hamilton* DATE: 6/20/01  
Signature: *James R. Miller* DATE: 6/25/01

**OWNER/DEVELOPER**  
M & M GENERAL PARTNERSHIP  
7450 MONTEVIDEO ROAD  
JESSUP, MARYLAND 20794  
(410) 799-1972  
DEED REFERENCE = 4354/544

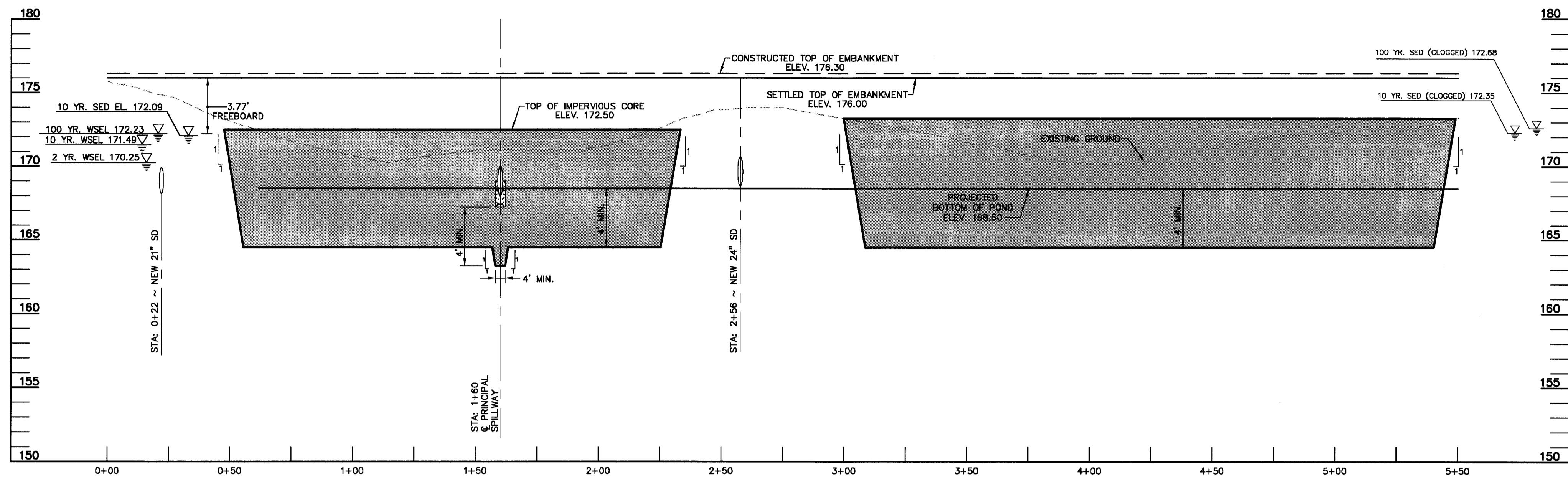
3-20-03	REVISED GRADING AROUND POND #2 AREA PER GRADE CHANGE.
DATE	NO. REVISIONS

**STORM WATER MANAGEMENT PLAN**

PROJECT TITLE:  
**7330 MONTEVIDEO ROAD  
HOWARD CO., MARYLAND**

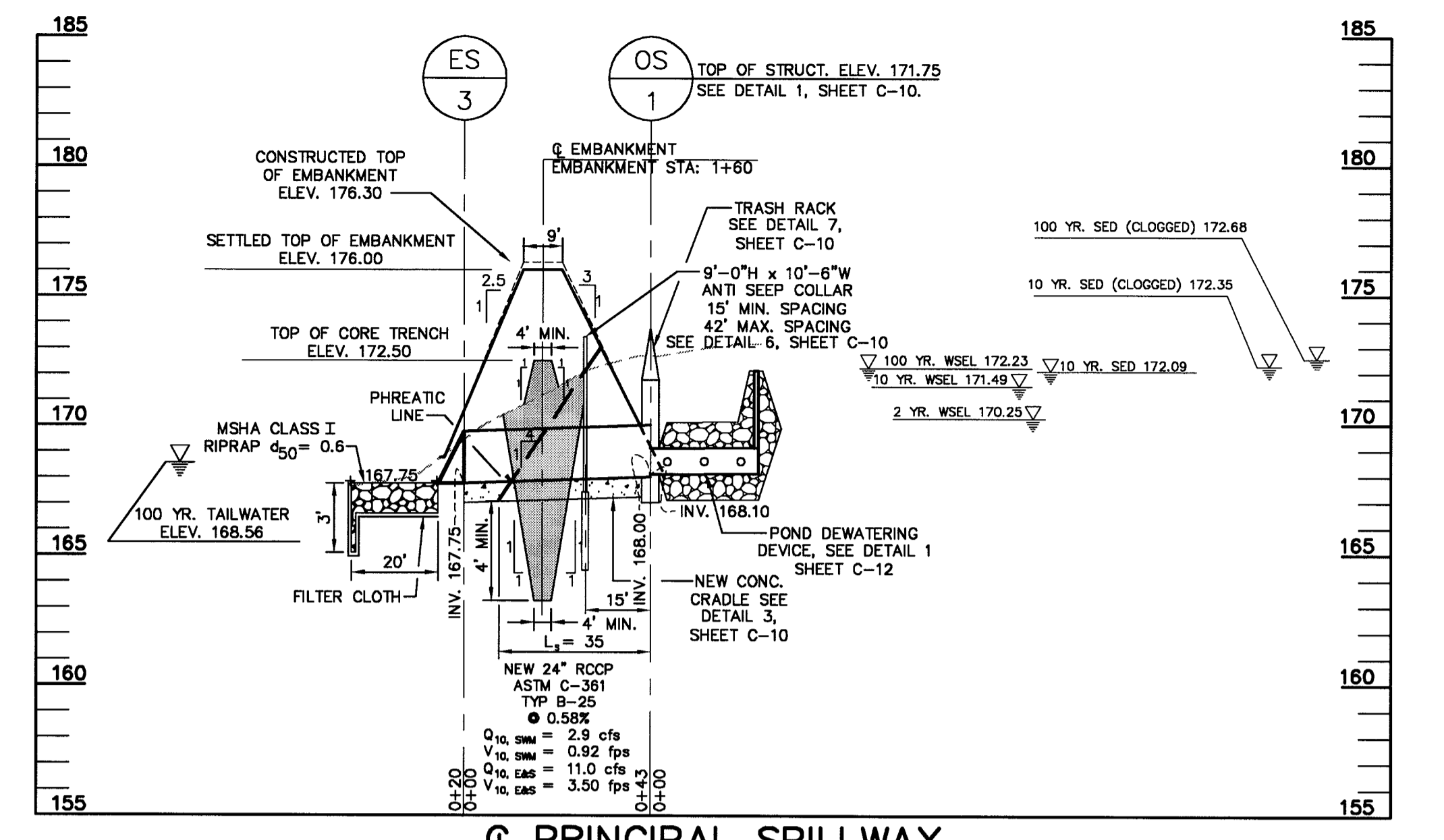
ENGINEERS: **WB** Consulting Engineers  
849 Fairmount Avenue (410) 512-4500  
Baltimore, Maryland 21286 (410) 324-4100 (FAX)  
**WHITNEY, BAILEY, COX & MAGNANI, LLP**

DESIGNED: C.K.	ELECTION DIST.: 1
DRAWN: C.P.G.	CENSUS TRACT #: 6012
CHECKED: M.M.	WATER CODE: B-01
DATE: 12/13/00	SEWER CODE: 2221000
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 43	<b>C-8</b>
GRID NO.: 10	<b>SWM-1 OF 5</b>
PARCEL NO.: 554	SHEET 9 OF 25



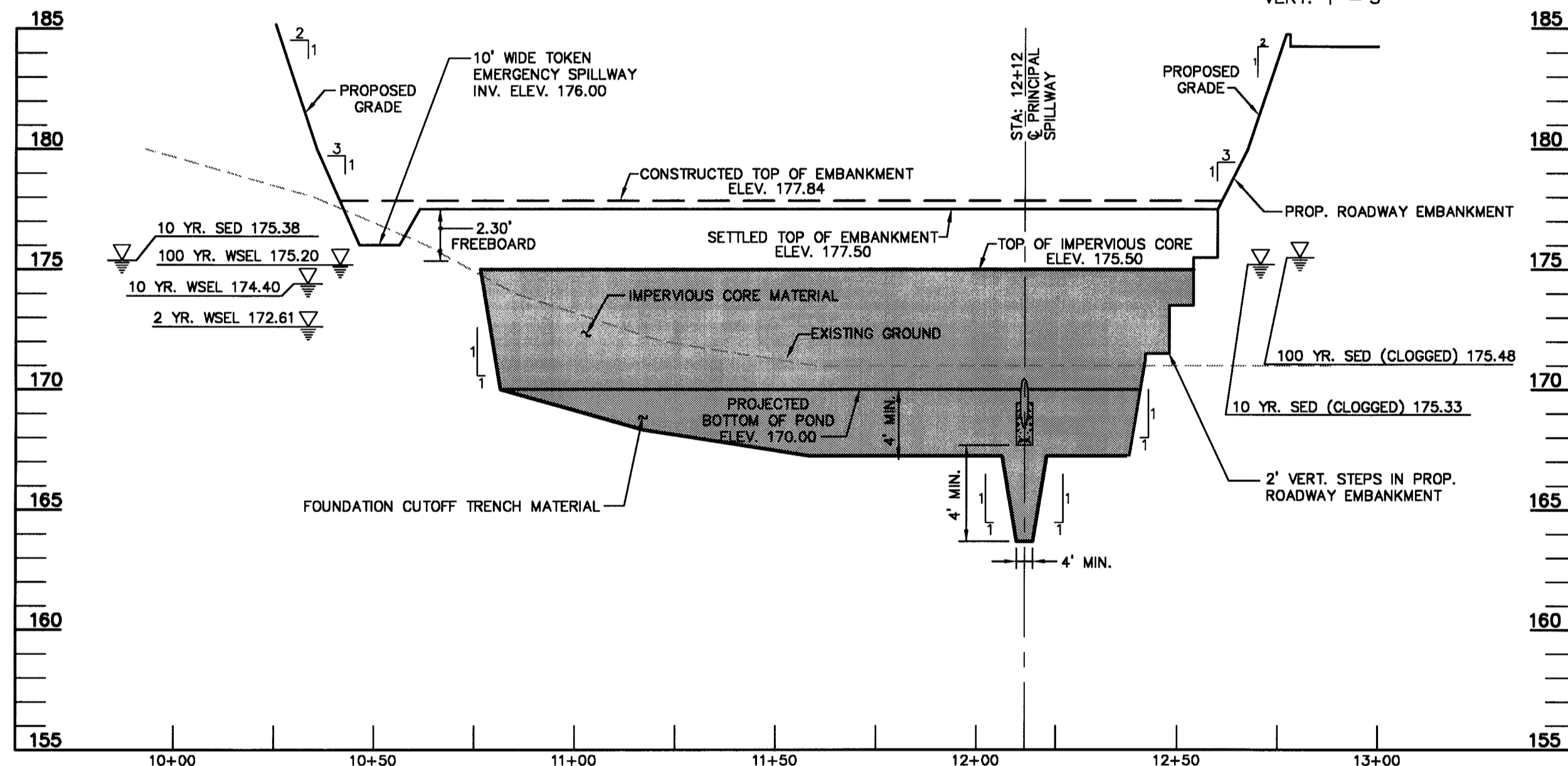
**PROFILE ALONG  $\phi$  OF EMBANKMENT SWM POND NO. 1**

SCALE: HORIZ. 1" = 30'  
VERT. 1" = 5'



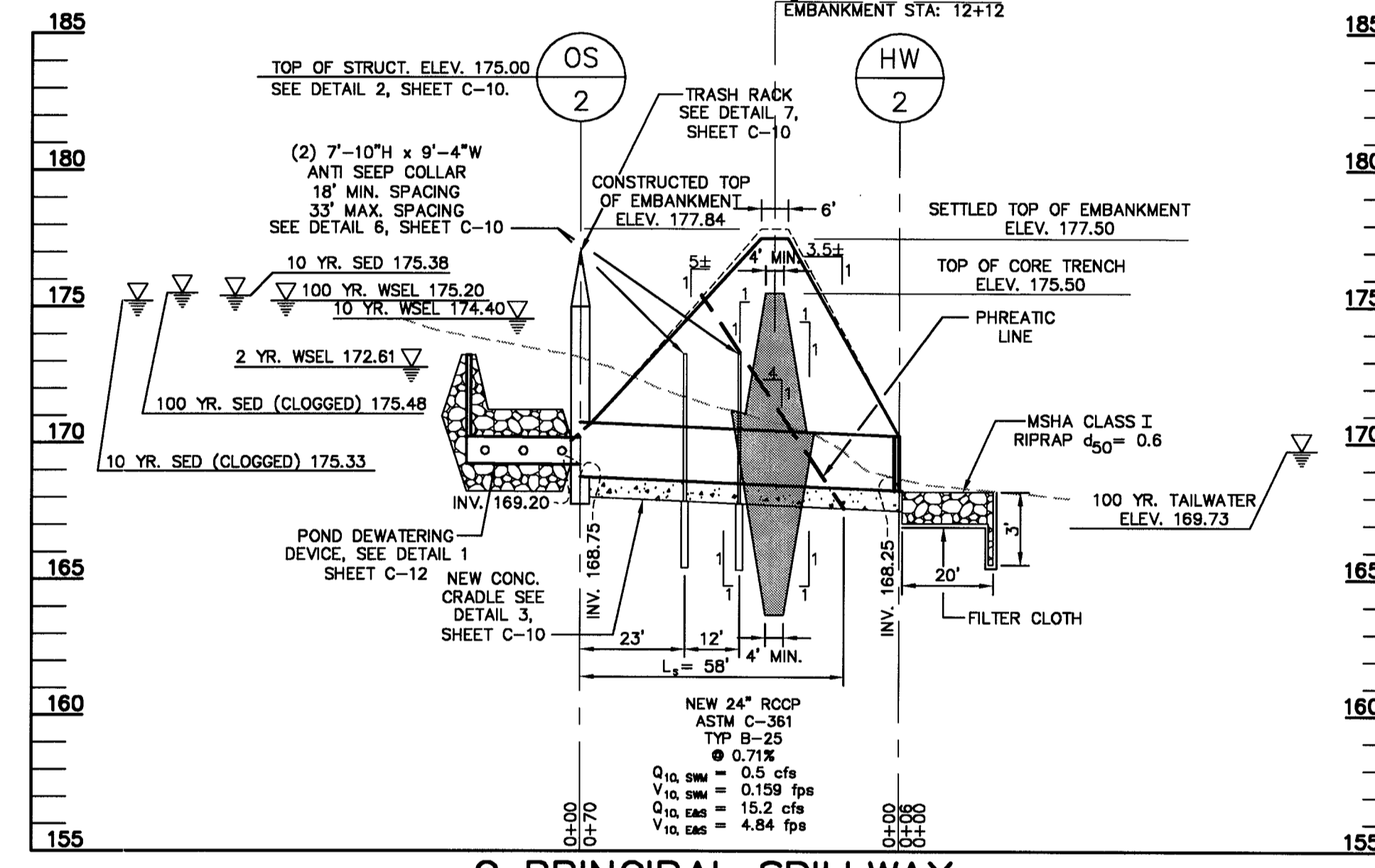
**$\phi$  PRINCIPAL SPILLWAY SWM POND NO. 1**

SCALE: HORIZ. 1" = 30'  
VERT. 1" = 5'



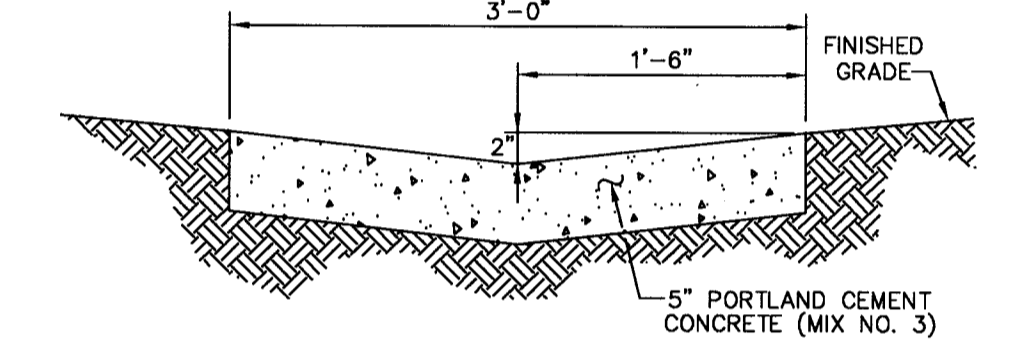
**PROFILE ALONG  $\phi$  OF EMBANKMENT SWM POND NO. 2**

SCALE: HORIZ. 1" = 30'  
VERT. 1" = 5'



**$\phi$  PRINCIPAL SPILLWAY SWM POND NO. 2**

SCALE: HORIZ. 1" = 30'  
VERT. 1" = 5'



**PILOT CHANNEL DETAIL**

NOT TO SCALE

**DESIGN SUMMARY POND NO. 1**

WATER SHED : DEEP RUN  
STORAGE HEIGHT PRODUCT: 13.92 ACRE-FEET<sup>2</sup>  
STRUCTURE CLASSIFICATION : 'A'  
FREEBOARD REQUIRED : 2.0', NO EMERGENCY SPILLWAY  
FREEBOARD PROVIDED : 3.77  
STRUCTURE TYPE : EXCAVATED AND EMBANKMENT DETENTION POND  
WATERSHED AREA TO FACILITY : 4.70 AC.  
LEVEL OF MANAGEMENT PROVIDED BY FACILITY : 2 & 10 YEAR REQUIRED  
WATER QUALITY : BAY SAVER

**DESIGN SUMMARY POND NO. 2**

WATER SHED : DEEP RUN  
STORAGE HEIGHT PRODUCT: 7.51 ACRE-FEET<sup>2</sup>  
STRUCTURE CLASSIFICATION : 'A'  
FREEBOARD REQUIRED : 2.0', NO EMERGENCY SPILLWAY  
FREEBOARD PROVIDED : 2.30'  
STRUCTURE TYPE : EXCAVATED AND EMBANKMENT DETENTION POND  
WATERSHED AREA TO FACILITY : 2.42 AC.  
LEVEL OF MANAGEMENT PROVIDED BY FACILITY : 2 & 10 YEAR REQUIRED  
WATER QUALITY : BAY SAVER

**CONSTRUCTION CHECKLIST SWM POND NO. 1**

POND ITEM	DESIGN ELEVATION (SETTLED)	CONSTRUCTION ELEVATION	DESIGN SLOPE	CONSTRUCTION SLOPE	DESIGN LENGTH	CONSTRUCTION LENGTH	DESIGN WIDTH	CONSTRUCTION WIDTH	DESIGN DIAMETER	CONSTRUCTION DIAMETER
EMBANKMENT	176.00	176.30	3:1	3:1	550'		9'-0"		24"	
GEOTECHNICAL CERTIFICATION RECEIVED FOR EMBANKMENT, CUTOFF TRENCH, IMPERVIOUS CORE, WEIR WALL, BARREL, ETC. CONSTRUCTION AND MATERIALS ? YES NO COMMENTS POND GRADED TO SUBSTANTIALLY MATCH DESIGN GRADES AND VOLUME? TRASHRACKS AND ORIFICE ELBOWS IN PLACE? DEWATERING DEVICE REPLACED AND SEDIMENT TRAP CONVERTED TO POND WITH INSPECTOR APPROVAL?										

**SWM POND NO. 1 DESIGN SUMMARY**

DESIGN STORM	FACILITY INFLOW (CFS)	FACILITY DISCHARGE (CFS)	WATER SURFACE ELEVATION (FT)	STORAGE VOLUME A.F.
2 YEAR	16.3	2.2	170.25	0.4068
10 YEAR	27.4	2.9	171.49	0.7534
100 YEAR	39.8	18.3	172.23	0.9845




**CONSTRUCTION CHECKLIST SWM POND NO. 2**

POND ITEM	DESIGN ELEVATION (SETTLED)	CONSTRUCTION ELEVATION	DESIGN SLOPE	CONSTRUCTION SLOPE	DESIGN LENGTH	CONSTRUCTION LENGTH	DESIGN WIDTH	CONSTRUCTION WIDTH	DESIGN DIAMETER	CONSTRUCTION DIAMETER
EMBANKMENT	177.50	177.84	3:1	3:1	219		6'-0"		24"	
GEOTECHNICAL CERTIFICATION RECEIVED FOR EMBANKMENT, CUTOFF TRENCH, IMPERVIOUS CORE, WEIR WALL, BARREL, ETC. CONSTRUCTION AND MATERIALS ? YES NO COMMENTS POND GRADED TO SUBSTANTIALLY MATCH DESIGN GRADES AND VOLUME? TRASHRACKS AND ORIFICE ELBOWS IN PLACE? DEWATERING DEVICE REPLACED AND SEDIMENT TRAP CONVERTED TO POND WITH INSPECTOR APPROVAL?										

**SWM POND NO. 2 DESIGN SUMMARY**

DESIGN STORM	FACILITY INFLOW (CFS)	FACILITY DISCHARGE (CFS)	WATER SURFACE ELEVATION (FT)	STORAGE VOLUME A.F.
2 YEAR	8.2	0.4	172.61	0.2531
10 YEAR	14.0	0.5	174.40	0.4886
100 YEAR	20.3	8.5	175.20	0.6212

APPROVED: HOWARD CO. DEPT. OF PLANNING & ZONING.


 6/22/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 6/22/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 6/22/01  
 DIRECTOR

**OWNER/DEVELOPER**  
**M & M GENERAL PARTNERSHIP**  
 7450 MONTEVIDEO ROAD  
 JESSUP, MARYLAND 20794  
 (410) 799-1972  
 DEED REFERENCE = 4354/544

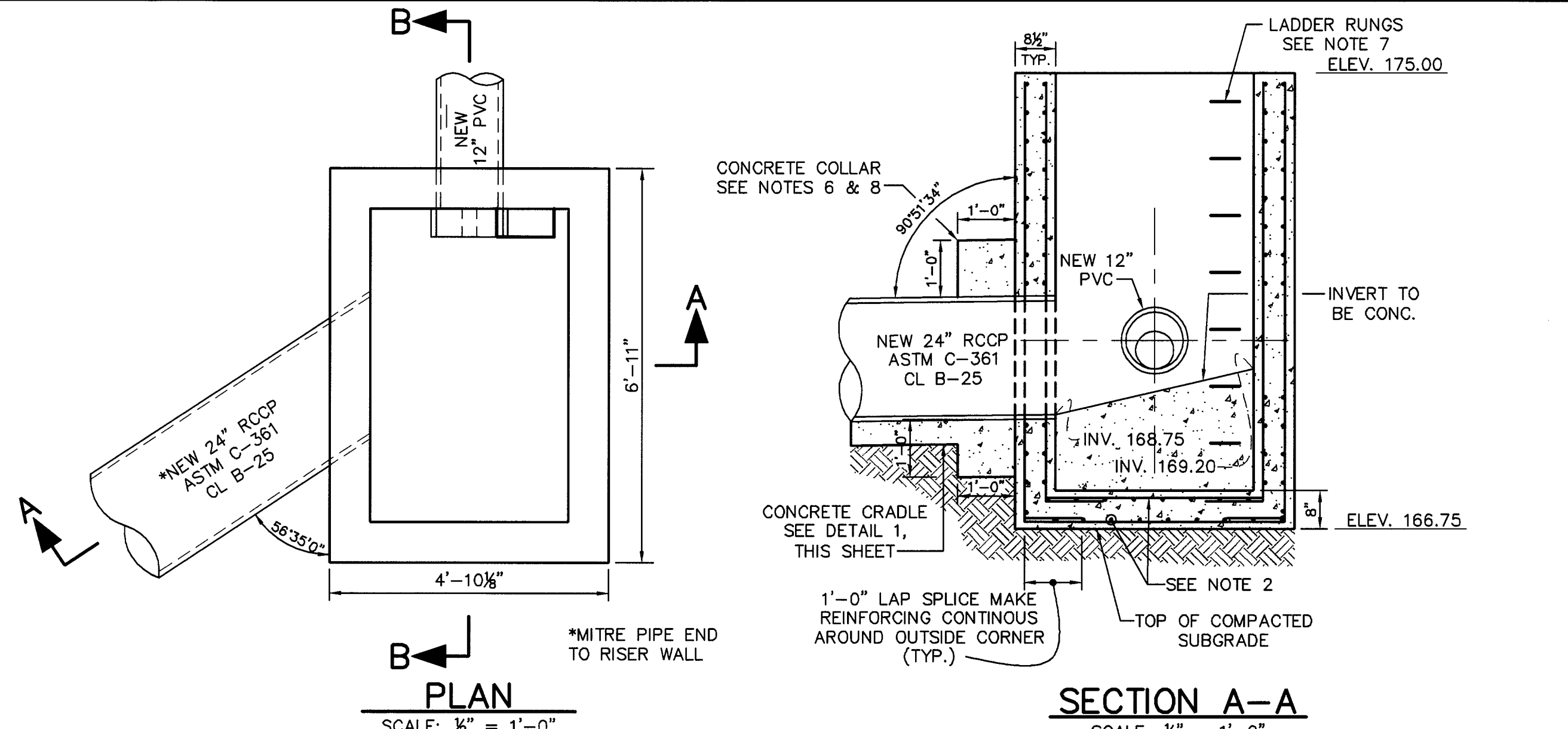
DATE	NO.	REVISIONS

**STORMWATER MANAGEMENT PROFILES**

PROJECT TITLE:  
**7330 MONTEVIDEO ROAD**  
**HOWARD CO., MARYLAND**

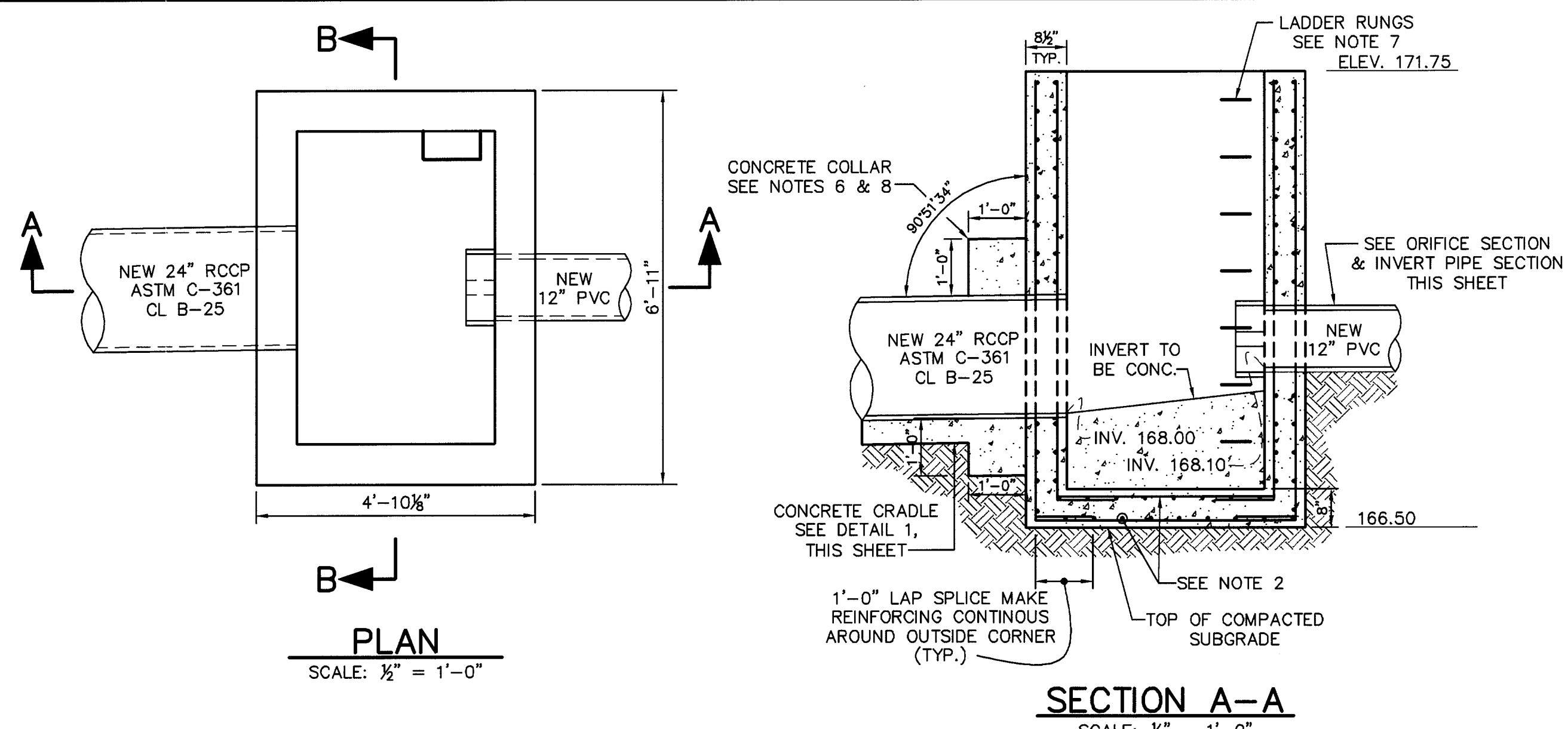
ENGINEERS:  
  
 Consulting Engineers  
 849 Fairmount Avenue (410) 512-4500  
 Baltimore, Maryland 21286 (410) 324-4100 (FAX)  
**WHITNEY, BAILEY, COX & MAGNANI, LLP**

DESIGNED: J.L.	ELECTION DIST.: 1
DRAWN: E.F.	CENSUS TRACT #: 6012
CHECKED: M.M.	WATER CODE: B-01
DATE: 12/13/00	SEWER CODE: 2221000
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 43	<b>C-9</b>
GRID NO.: 10	<b>SWM-2 OF 5</b>
PARCEL NO.: 554	SHEET 10 OF 25



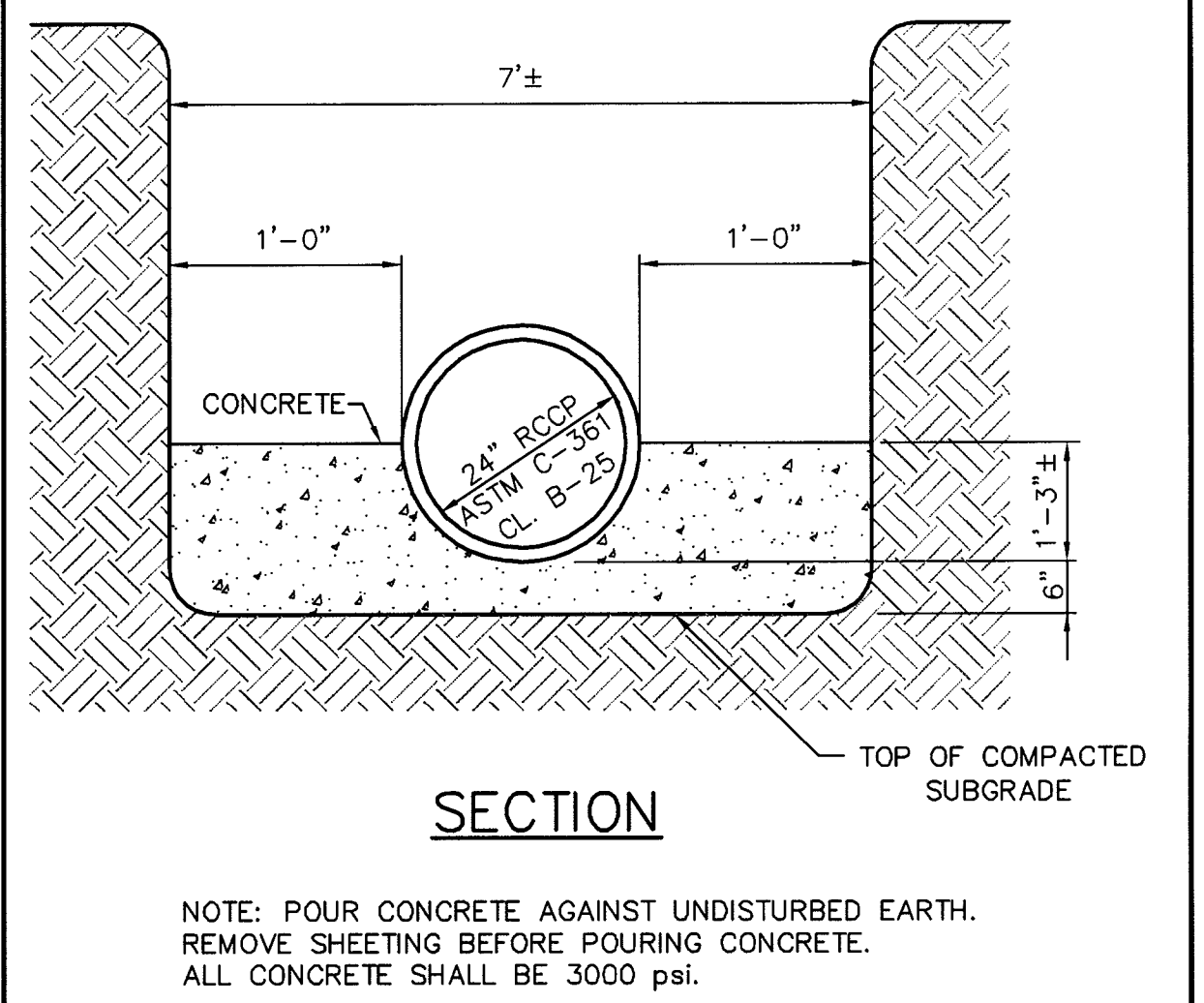
- OUTLET STRUCTURE NOTES**
- THE STRUCTURE DETAILED IS CAST IN PLACE CONSTRUCTION. IF THE CONTRACTOR ELECTS TO USE A PRECAST STRUCTURE, THE CONTRACTOR MUST MEET THE REQUIREMENTS OF THE "PRECAST CONCRETE RISER NOTE", BELOW.
  - CONCRETE TO BE MIX NO. 6 (4500 PSI).
  - ALL EXPOSED CORNERS OF CONCRETE STRUCTURE SHALL BE CHAMFERED WITH 3/4" x 3/4" MILLED CHAMFER STRIPS.
  - REINFORCING: WALLS: 2 LAYERS OF #4 BARS AT 6" O.C., E.W. BASE: 2 LAYERS OF #5 BARS AT 6" O.C., E.W.
  - MINIMUM COVER FOR REBARS SHALL BE 2" IN WALLS AND 3" IN BOTTOM UNLESS OTHERWISE NOTED.
  - PIPE OPENINGS TO BE PROVIDED AS REQUIRED, FOR SIZE, LOCATION AND INVERT ELEVATIONS SPECIFIED.
  - LADDER RUNGS SHALL BE IN ACCORDANCE WITH STANDARD MD-383.91, AND MD-383.92 OR AS DIRECTED BY THE ENGINEER. PROVIDE LADDER RUNGS ON BOTH THE INSIDE AND OUTSIDE OF THE STRUCTURE.
  - PROVIDE WATERTIGHT SEAL AROUND PIPES AT ALL OPENINGS. WATERSTOP SHALL BE VOLCLAY WATERSTOP-RX AS MADE BY CETCO, ARLINGTON HEIGHTS, ILLINOIS, OR APPROVED EQUIVALENT.
  - PROVIDE WATERTIGHT SEAL AT ALL JOINTS. WATERSTOP SHALL BE VOLCLAY WATERSTOP-RX AS MADE BY CETCO, ARLINGTON HEIGHTS, ILLINOIS, OR APPROVED EQUIVALENT.

**PRECAST CONCRETE RISER NOTE**  
 SHOP DRAWINGS FOR PRE-CAST CONCRETE RISERS WITH SUPPORTING STRUCTURE COMPUTATIONS (SIGNED AND SEALED BY A MARYLAND REGISTERED PROFESSIONAL ENGINEER) MEETING ASTM REQUIREMENTS FOR PRE-CAST STRUCTURES MUST BE SUBMITTED TO THE ENGINEER, AND THE APPROVING AGENCY FOR APPROVAL PRIOR TO FABRICATION. THE SHOP DRAWINGS SHALL INCLUDE METHODS, MATERIALS AND DETAILING OF WATER-TIGHT SEALS AT ALL CONSTRUCTION JOINTS AND AROUND ALL PIPES. IF ANY STRUCTURE DIMENSIONS VARY FROM WHAT WAS ORIGINALLY REVIEWED/ APPROVED, THEN THE HYDRAULICS, FLOTATION AND STRUCTURAL INTEGRITY SHALL BE RE-ANALYZED AND SUBMITTED FOR APPROVAL.

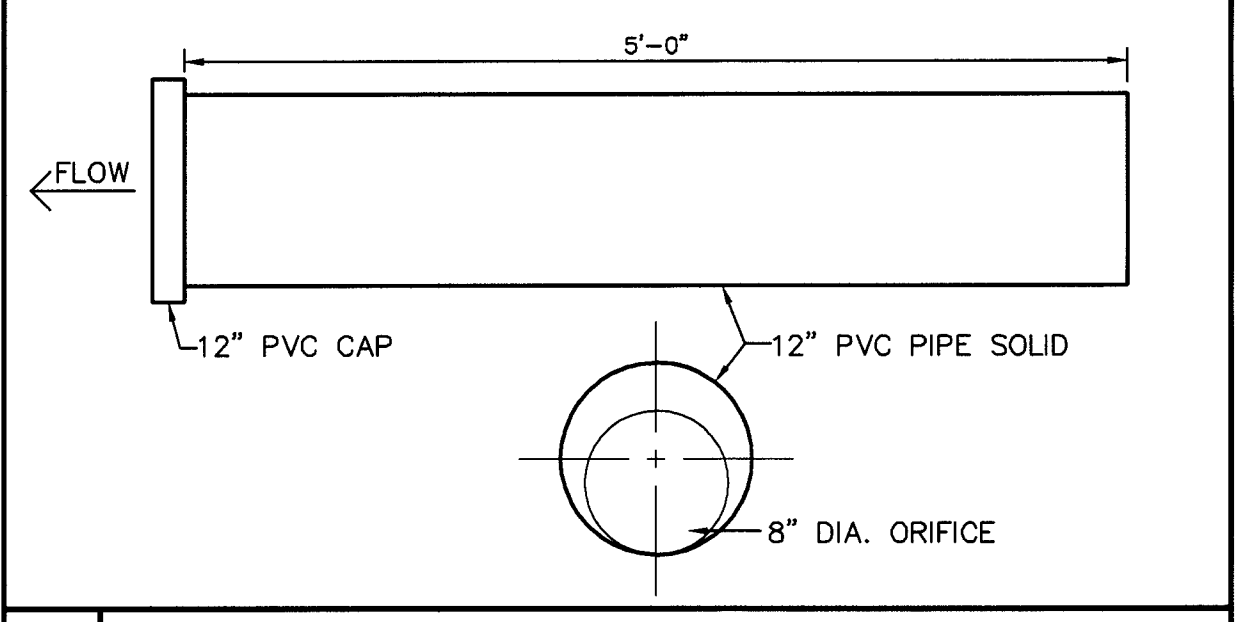


- OUTLET STRUCTURE NOTES**
- THE STRUCTURE DETAILED IS CAST IN PLACE CONSTRUCTION. IF THE CONTRACTOR ELECTS TO USE A PRECAST STRUCTURE, THE CONTRACTOR MUST MEET THE REQUIREMENTS OF THE "PRECAST CONCRETE RISER NOTE", BELOW.
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  - MINIMUM COVER FOR REBARS SHALL BE 2" IN WALLS AND 3" IN BOTTOM UNLESS OTHERWISE NOTED.
  - PIPE OPENINGS TO BE PROVIDED AS REQUIRED, FOR SIZE, LOCATION AND INVERT ELEVATIONS SPECIFIED.
  - LADDER RUNGS SHALL BE IN ACCORDANCE WITH STANDARD MD-383.91, AND MD-383.92 OR AS DIRECTED BY THE ENGINEER. PROVIDE LADDER RUNGS ON BOTH THE INSIDE AND OUTSIDE OF THE STRUCTURE.
  - PROVIDE WATERTIGHT SEAL AROUND PIPES AT ALL OPENINGS. WATERSTOP SHALL BE VOLCLAY WATERSTOP-RX AS MADE BY CETCO, ARLINGTON HEIGHTS, ILLINOIS, OR APPROVED EQUIVALENT.
  - PROVIDE WATERTIGHT SEAL AT ALL JOINTS. WATERSTOP SHALL BE VOLCLAY WATERSTOP-RX AS MADE BY CETCO, ARLINGTON HEIGHTS, ILLINOIS, OR APPROVED EQUIVALENT.

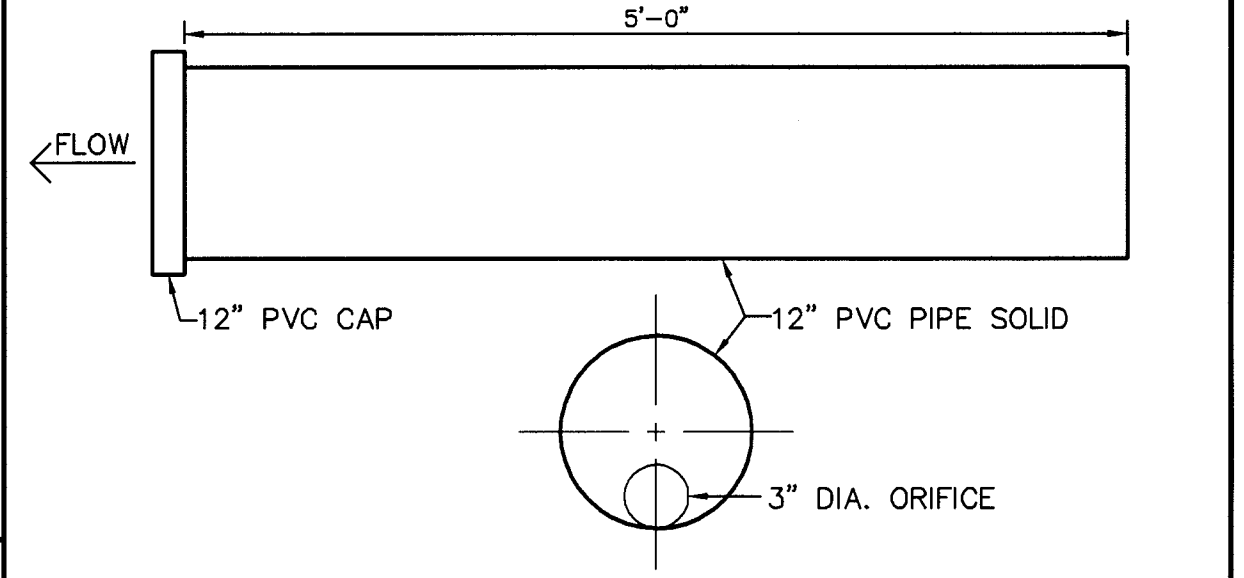
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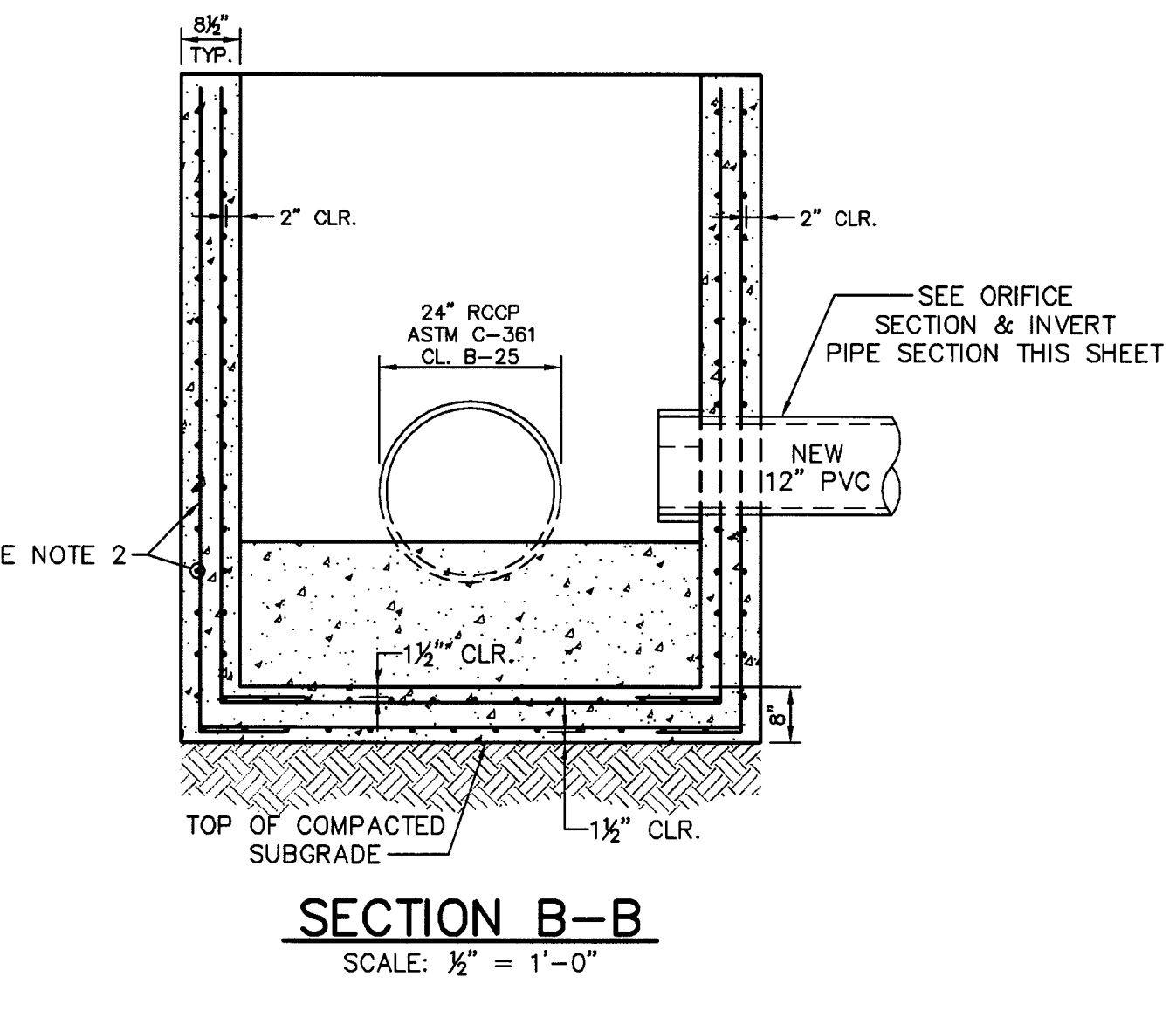
**3 CONCRETE CRADLE** NOT TO SCALE



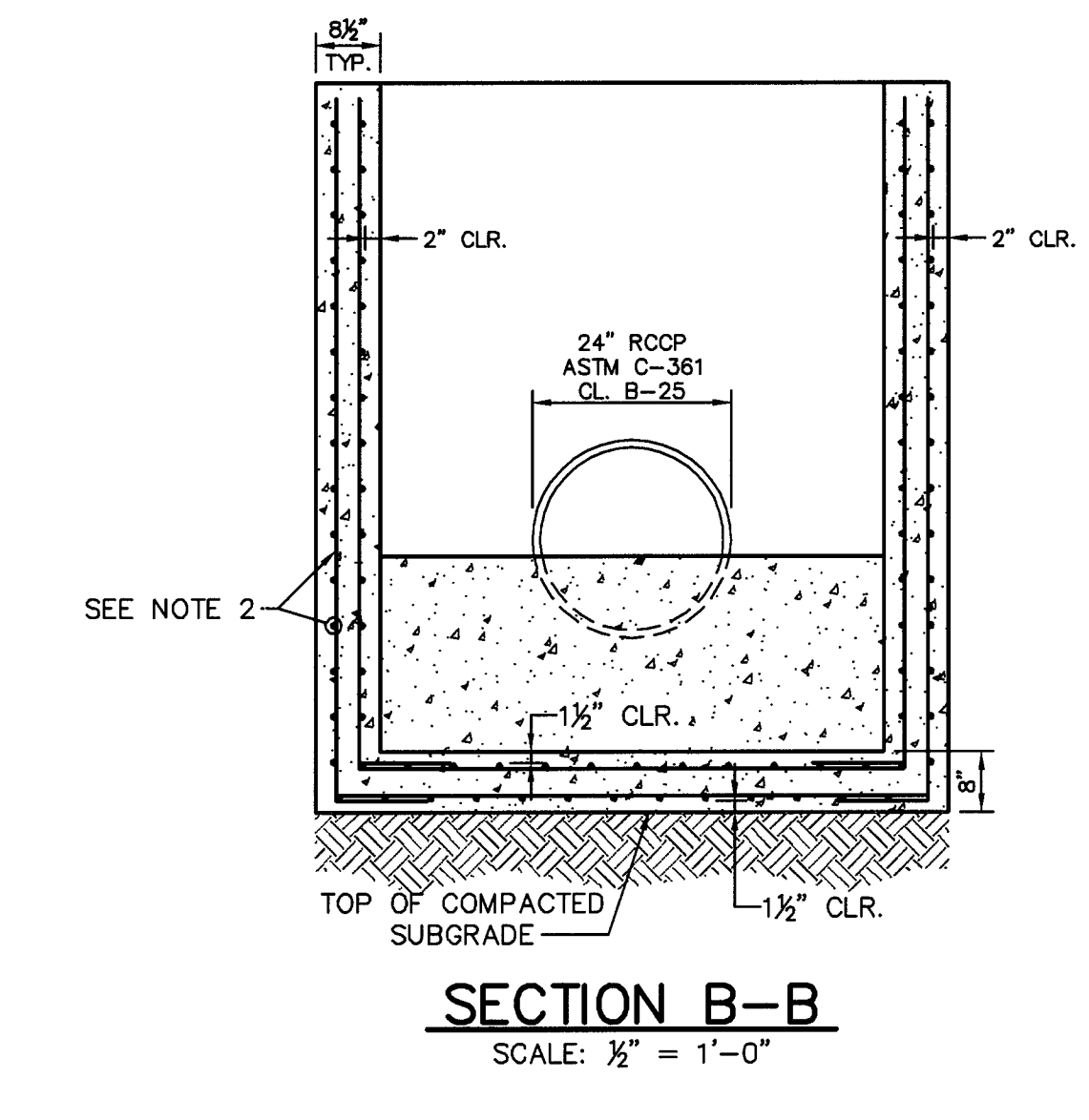
**4 ORIFICE SECTION (POND #1)** NOT TO SCALE



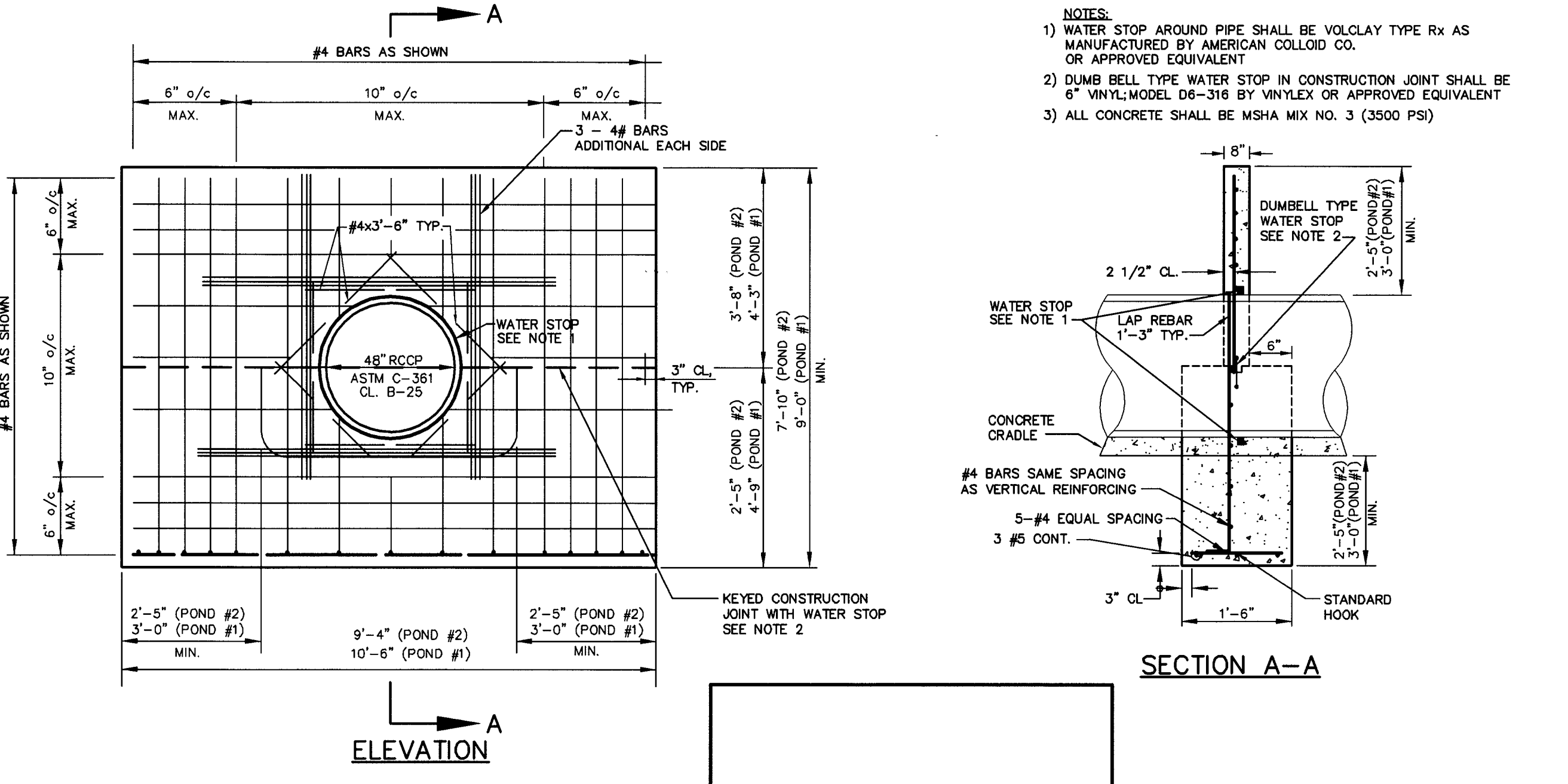
**5 ORIFICE SECTION (POND #2)** NOT TO SCALE



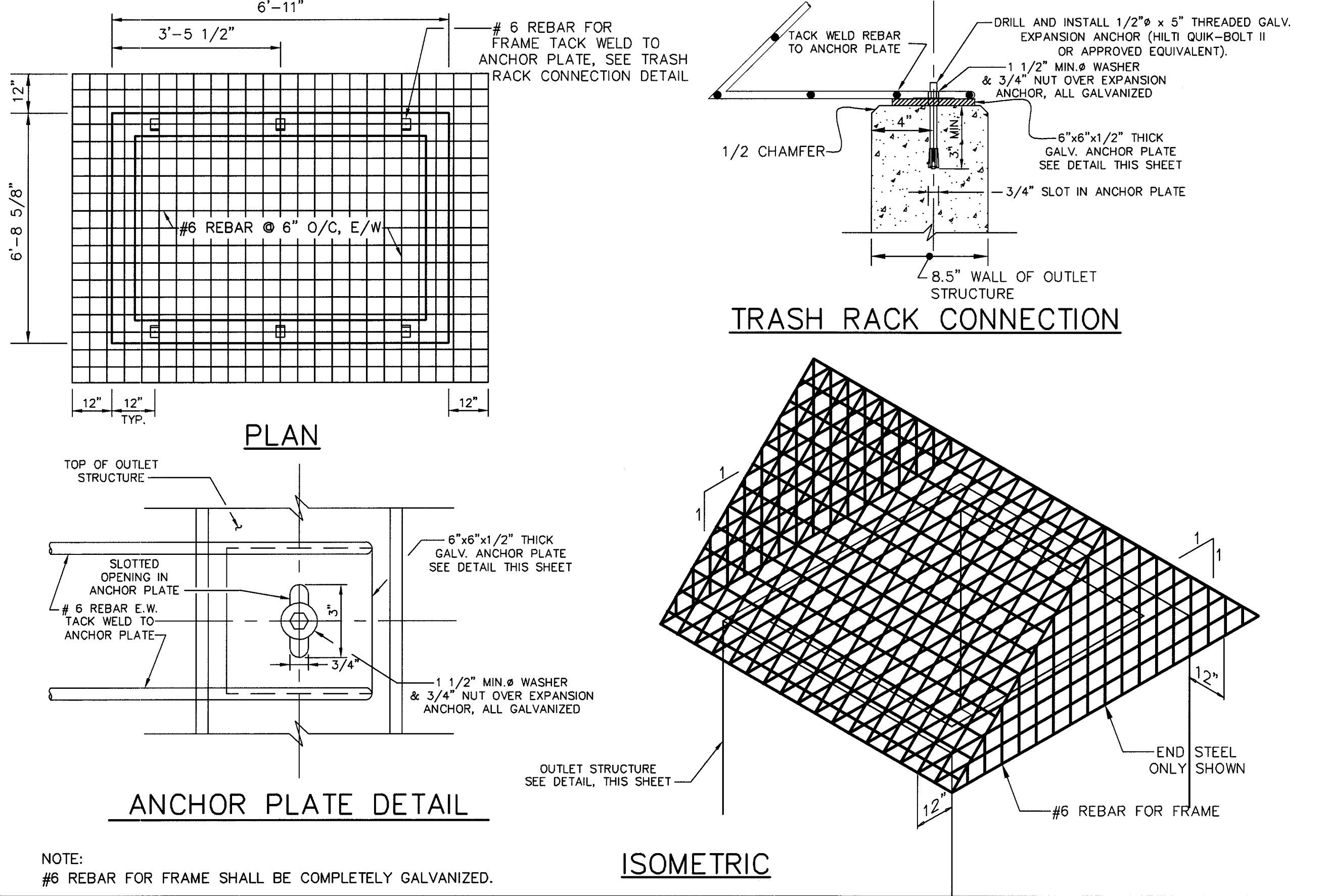
**1 OUTLET STRUCTURE (OS-2) (POND NO. 2)** SCALE AS SHOWN



**2 OUTLET STRUCTURE (OS-1) (POND NO. 1)** SCALE AS SHOWN



**6 CONCRETE ANTI-SEEP COLLAR** SCALE AS SHOWN



**7 TRASH RACK** NOT TO SCALE

**OWNER/DEVELOPER**  
**M & M GENERAL PARTNERSHIP**  
 7450 MONTEVIDEO ROAD  
 JESSUP, MARYLAND 20794  
 (410) 799-1972  
 DEED REFERENCE = 4354/544

DATE	NO.	REVISIONS

**STORMWATER MANAGEMENT DETAILS**

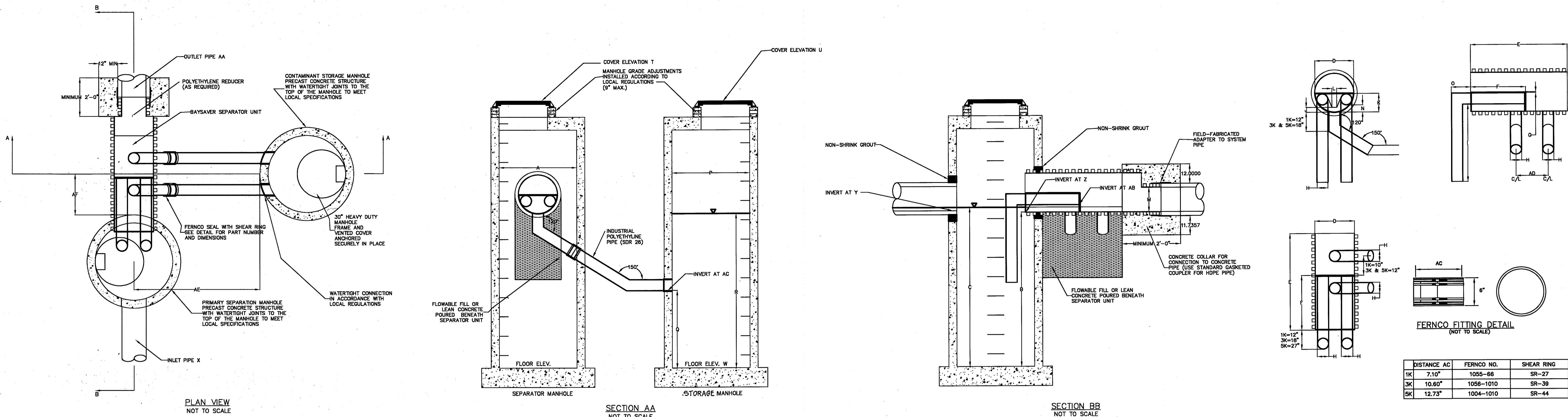
PROJECT TITLE:  
**7330 MONTEVIDEO ROAD**  
**HOWARD CO., MARYLAND**

ENGINEERS: **WR** Consulting Engineers  
 849 Fairmount Avenue (410) 512-4500  
 Baltimore, Maryland 21286 (410) 324-4100 (FAX)  
**WHITNEY, BAILEY, COX & MAGNANI, LLP**

DESIGNED: MM	ELECTION DIST.: 1
DRAWN: E.F.	CENSUS TRACT #: 6012
CHECKED: M.M.	WATER CODE: B-01
DATE: 12/13/00	SEWER CODE: 2221000
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 43	<b>C-10</b>
GRID NO.: 10	<b>SWM-2 OF 25</b>
PARCEL NO.: 554	HEET 11 OF 25

APPROVED: HOWARD CO. DEPT. OF PLANNING & ZONING.  
*Howard Co. Planning & Zoning*  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
*Condy Horvath*  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
*James J. Rott*  
 DIRECTOR

6/22/01 DATE  
 6/25/01 DATE  
 6/25/01 DATE



DISTANCE AC	FERNCO NO.	SHEAR RING
1K	7.10"	1055-66
3K	10.60"	1056-1010
5K	12.73"	1004-1010
		SR-27
		SR-39
		SR-44

BAYSAYER SYSTEM DIMENSIONS			
DESCRIPTION	UNIT #1	UNIT #2	UNIT #3
SEPARATOR MANHOLE DIMENSIONS			
A PRIMARY MANHOLE DIAMETER	60"	60"	60"
B MANHOLE DEPTH BELOW OUTLET	8' - 0"	8' - 0"	8' - 0"
C MINIMUM FLUID DEPTH	8' - 4 1/2"	8' - 4 1/2"	8' - 4 1/2"
STANDARD SEPARATOR UNIT DIMENSIONS			
D SEPARATOR UNIT ID	36"	36"	36"
E SEPARATOR UNIT LENGTH	78.2"	78.2"	78.2"
F BYPASS PLATE LENGTH	45"	45"	45"
G WEIR/BYPASS PLATE THICKNESS	3/4"	3/4"	3/4"
H ELBOW AND CONNECTING PIPE OD	10.75"	10.75"	10.75"
I ELBOW LENGTH	48"	48"	48"
J WEIR HEIGHT ABOVE INVERT	4"	4"	4"
K BYPASS PLATE HEIGHT ABOVE INVERT	18"	18"	18"
L WIDTH OF WEIR AT BASE	4 1/2"	4 1/2"	4 1/2"
M OUTLET PIPE DIAMETER	24"	21"	21"
N ELBOW INVERT HEIGHT ABOVE UNIT INVERT	7 1/2"	7 1/2"	7 1/2"
O ELBOW PIPE OVERHANG	18"	18"	18"
STORAGE MANHOLE DIMENSIONS			
P STORAGE MANHOLE DIAMETER	60"	60"	60"
Q MANHOLE DEPTH BELOW INLET/OUTLET	48"	48"	48"
R FLUID DEPTH	8' - 0"	8' - 0"	8' - 0"
S TOTAL STORAGE VOLUME	300 CF	300 CF	300 CF
SYSTEM DIMENSIONS AND ELEVATIONS			
T SEPARATOR MANHOLE COVER ELEVATION	176.00	196.00	178.40
U STORAGE MANHOLE COVER ELEVATION	176.50	196.05	179.55
V SEPARATOR MANHOLE FLOOR ELEVATION	160.33	171.39	160.94
W STORAGE MANHOLE FLOOR ELEVATION	160.33	171.39	160.94
X INLET PIPE ID AND MATERIAL	24" HDPE	21" HDPE	21" HDPE
Y INLET PIPE INVERT	168.70	179.72	169.31
Z SEPARATOR UNIT INVERT	166.37	179.99	168.98
AA OUTLET PIPE ID AND MATERIAL	24" HDPE	21" HDPE	21" HDPE
AB ELBOW INVERT ELEVATION	169.00	180.02	169.61
AC CONNECTING PIPE INVERT ELEVATION	164.33	175.35	164.94
AD CONNECTION PIPE SPACING	24"	24"	24"
AE STORAGE MANHOLE SIDE OFFSET	72 ± 6"	72 ± 6"	72 ± 6"
AF STORAGE MANHOLE DOWNSTREAM OFFSET	31"	31"	31"

SEQUENCE OF CONSTRUCTION AND INSPECTOR'S CHECK-OFF LIST FOR DUAL MANHOLE SEPARATORS						
Stage (X = Approval Required)	Developer's/Engineer Approval		Inspector		Geotechnical Engineer	
	Initials	Date	Initials	Date	Initials	Date
1. Pre-Construction Meeting.*	X		X		X	
2. Install Manholes and associated storm drainage.*					X	
a. Obtain approval of subgrade from Geotechnical Engineer. (Subgrade to have a minimum of 95% compaction).						
b. Installation of precast base, lower tank and lower piping.*	X		X			
c. Backfill and min. 95% compaction around lower tank and lower piping.*					X	
d. Installation of precast middle section(s) with separator unit and remaining piping.*	X		X			
e. Installation of precast top slab.*	X		X			
f. Installation of adjustment rings and frame and cover.*	X		X			
g. Installation of flowable fill.					X	
3. Backfilling operation and compaction.*					X	
4. Site is permanently stabilized. Sediment control measures removed and all sediment and debris removed from dual manhole separators.*			X			
5. Final inspection.			X			

NOTE: DIMENSIONAL SHOP DRAWINGS ARE TO BE APPROVED BY THE DESIGN ENGINEER

NOTE: BAYSAYERS ARE TO BE INSTALLED WITH THE STORM DRAIN SYSTEM AND WILL FUNCTION AS SECONDARY SEDIMENT CONTROL DEVICES. UPON COMPLETION OF SITE STABILIZATION, EACH BAYSAYER SYSTEM SHALL BE FLUSHED CLEAN & THE MANHOLES CLEANED OUT AND REFILLED WITH CLEAN WATER.

Baysaver Separator Unit	Baysaver Manhole Sizes (prim. x stor.)	Maximum Treatment (cfs)*1	Maximum Treatment (gpm)*1	Impervious Area (acres)
1K Baysaver Separator	48x48	2.4	1076	1.2
	48x50	2.4	1076	1.4
	48x72	2.4	1076	1.6
3K Baysaver Separator	60x60	7.2	3231	3.6
	60x72	7.2	3231	4.1
	60x84	7.2	3231	4.6
5K Baysaver Separator	72x72	11.1	4981	5.5
	72x84	11.1	4981	6.5
	72x96	11.1	4981	7.5

- BAYSAYER INSTALLATION INSTRUCTIONS**
- EXCAVATION MUST PROVIDE ADEQUATE SPACE TO CONNECT INLET AND OUTLET PIPES TO SEPARATOR MANHOLE AND BAYSAYER UNIT. INSTALL PRECAST DROP STRUCTURES ON SOLID GROUND AS VERIFIED BY A GEOTECHNICAL ENGINEER.
  - VERIFY THE SUBGRADE ELEVATION AGAINST THE MANHOLE DIMENSIONS AND CONNECTING STORM DRAIN INVERTS.
  - MAKING SURE THE BASES ARE LEVEL AND THE STORAGE MANHOLE OPENINGS ARE ALIGNED WITH THE SEPARATOR UNIT, INSTALL PRIMARY AND STORAGE MANHOLES. INSTALL RUBBER GASKETS ON BASE UNITS AND COAT WITH LUBRICATING GREASE. INSTALL ADDITIONAL MANHOLE SECTIONS AS REQUIRED. SEAL LIFT HOLES WITH NON-SHRINK GROUT.
  - BACKFILL BASE SECTIONS OF MANHOLES TO INVERT OF STORAGE MANHOLE CONNECTING PIPES. USING APPROVED BACKFILL MATERIAL, BACKFILL AND COMPACT IN 8 INCH LIFTS. BACKFILL AND COMPACTION SHOULD BE MONITORED BY A GEOTECHNICAL ENGINEER.
  - INSTALL BAYSAYER SEPARATOR UNIT AND CONNECTING PIPES. SEAL ALL CONNECTING JOINTS AND INSTALL SEPARATOR UNIT/STORM DRAIN JOINT COLLAR. CUT EXCESS LENGTH OFF CONNECTING PIPES INSIDE STORAGE MANHOLE.
  - BACKFILL SEPARATOR UNIT AND MANHOLES. AREAS NOT ACCESSIBLE TO COMPACTION EQUIPMENT MUST BE BACKFILLED WITH LEAN CONCRETE OR FLOWABLE FILL.
  - INSTALL AND SET MANHOLE COVER GRADE ADJUSTMENTS AS NECESSARY.
  - INSTALL AND SET MANHOLE FRAME AND COVER UNITS.

- GENERAL CONSTRUCTION NOTES**
- ALL WORK MUST BE DONE WITH REGARD FOR THE SAFETY OF THE CONSTRUCTION CREW.
  - ALL WORK AND MATERIALS MUST COMPLY WITH APPLICABLE STATE AND LOCAL REGULATIONS.
  - KNOW THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES BEFORE EXCAVATION BEGINS.

- BAYSAYER MAINTENANCE**
- BAYSAYER SYSTEMS MUST BE INSPECTED AND MAINTAINED PERIODICALLY. INSPECTION IS MADE BY CHECKING THE DEPTH OF SEDIMENT IN EACH MANHOLE WITH A GRADE STICK OR SIMILAR DEVICE. MAINTENANCE IS REQUIRED WHEN THE SEDIMENT DEPTH IN EITHER MANHOLE EXCEEDS 2 FEET. MINIMUM CLEANING TWICE A YEAR TO MAINTAIN OPERATION AND FUNCTION OF BAYSAYER.
- MAINTENANCE CONSISTS OF THE FOLLOWING:
- A. PRIMARY MANHOLE**
- PUMP THE CLEAN WATER FROM THE CENTER OF THE MANHOLE DIRECTLY TO THE SYSTEM OUTFALL UNTIL THE WATER LEVEL FALLS TO 1 FOOT ABOVE THE SEDIMENT LAYER.
  - REMOVE THE SETTLED SEDIMENT AND REMAINING WATER BY VACUUM TRUCK.
  - CLEAN THE MANHOLE WALLS AND FLUSH OUT THE MANHOLE USING A HIGH PRESSURE HOSE AND REMOVE FLUSHING WATER BY VACUUM TRUCK. MAKE CERTAIN MANHOLE IS CLEAN.
- B. STORAGE MANHOLE**
- REMOVE THE TOP 12 INCHES OF OIL, DEBRIS, AND WATER BY VACUUM TRUCK.
  - PUMP THE CLEAN WATER FROM THE CENTER OF THE MANHOLE DIRECTLY TO THE SYSTEM OUTFALL UNTIL THE WATER LEVEL FALLS TO 1 FOOT ABOVE THE SEDIMENT LAYER.
  - REMOVE THE SETTLED SEDIMENT AND REMAINING WATER BY VACUUM TRUCK.
  - CLEAN THE MANHOLE WALLS AND FLUSH OUT THE MANHOLE USING A HIGH PRESSURE HOSE AND REMOVE FLUSHING WATER BY VACUUM TRUCK. MAKE CERTAIN MANHOLE IS CLEAN.
  - CONTAMINATED MATERIAL REMOVED FROM THE MANHOLES MUST BE DISPOSED OF RESPONSIBLY AND LEGALLY BY THE OPERATOR OF THE VACUUM TRUCK.

APPROVED: HOWARD CO. DEPT. OF PLANNING & ZONING.

*[Signature]* 10/5/01 DATE  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

*[Signature]* 6/25/01 DATE  
 CHIEF, DIVISION OF LAND DEVELOPMENT

*[Signature]* 6/25/01 DATE  
 DIRECTOR

**OWNER/DEVELOPER**  
**M & M GENERAL PARTNERSHIP**  
 7450 MONTEVIDEO ROAD  
 JESSUP, MARYLAND 20794  
 (410) 799-1972  
 DEED REFERENCE = 4354/544

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09-20-09 REV. BAYSAYER ELEV'S. PER GRADING CHANGE

---

**STORMWATER MANAGEMENT  
 BAYSAYER DETAILS**

---

PROJECT TITLE:  
**7330 MONTEVIDEO ROAD  
 HOWARD CO., MARYLAND**

---

ENGINEERS: **WR** Consulting Engineers  
 849 Fairmount Avenue (410) 512-4500  
 Baltimore, Maryland 21288 (410) 324-4100 (FAX)  
**WHITNEY, BAILEY, COX & MAGNANI, LLP**

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DESIGNED: C.K.	ELECTION DIST.: 1
DRAWN: C.P.G.	CENSUS TRACT #: 6012
CHECKED: M.M.	WATER CODE: B-01
DATE: 12/13/00	SEWER CODE: 2221000
SCALE: AS SHOWN	DRAWING NO.:
MAP NO.: 43	<b>C-11</b>
GRID NO.: 10	<b>SWM-4 OF 5</b>
PARCEL NO.: 554	SHEET 12 OF 25

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Boring Log

Page 1 of 1

Table with columns: ELEV, DESCRIPTION, DEPTH, SCALE, No., Blows / 6 in, TYPE, REC, NOTES. Includes soil descriptions like 'Topsoil', 'Brown, wet, silty, SAND', 'Tan to Lt. Brown, moist, silty, SAND'.

Legend table with columns: SYMBOL, DESCRIPTION, GROUND WATER. Includes symbols for DS, ST, PS, RC, HSA, DC, MD.

Geoquest, Inc.

Boring Log

Page 1 of 1

Table with columns: ELEV, DESCRIPTION, DEPTH, SCALE, No., Blows / 6 in, TYPE, REC, NOTES. Includes soil descriptions like 'Topsoil', 'Brown, wet, silty, SAND', 'Brown, moist, clayey, silty, SAND'.

Legend table with columns: SYMBOL, DESCRIPTION, GROUND WATER. Includes symbols for DS, ST, PS, RC, HSA, DC, MD.

Geoquest, Inc.

Boring Log

Page 1 of 1

Table with columns: ELEV, DESCRIPTION, DEPTH, SCALE, No., Blows / 6 in, TYPE, REC, NOTES. Includes soil descriptions like 'Topsoil', 'Brown, wet, clayey, SILT', 'Tan to Gray, moist, clayey, SILT'.

Legend table with columns: SYMBOL, DESCRIPTION, GROUND WATER. Includes symbols for DS, ST, PS, RC, HSA, DC, MD.

Geoquest, Inc.

Boring Log

Page 1 of 1

Table with columns: ELEV, DESCRIPTION, DEPTH, SCALE, No., Blows / 6 in, TYPE, REC, NOTES. Includes soil descriptions like 'Topsoil', 'Brown, wet SILT and SAND', 'Brown and Gray, moist, clayey, SILT'.

Legend table with columns: SYMBOL, DESCRIPTION, GROUND WATER. Includes symbols for DS, ST, PS, RC, HSA, DC, MD.

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Page 1 of 1

Table with columns: ELEV, DESCRIPTION, DEPTH, SCALE, No., Blows / 6 in, TYPE, REC, NOTES. Includes soil descriptions like 'Topsoil', 'Gray, wet, sandy, CLAY', 'Gray, moist, clayey, SILT'.

Legend table with columns: SYMBOL, DESCRIPTION, GROUND WATER. Includes symbols for DS, ST, PS, RC, HSA, DC, MD.

Geoquest, Inc.

Boring Log

Page 1 of 1

Table with columns: ELEV, DESCRIPTION, DEPTH, SCALE, No., Blows / 6 in, TYPE, REC, NOTES. Includes soil descriptions like 'Topsoil', 'Brown, wet, silty, SAND', 'Red and Gray, moist, clayey, SILT'.

Legend table with columns: SYMBOL, DESCRIPTION, GROUND WATER. Includes symbols for DS, ST, PS, RC, HSA, DC, MD.

BORING LOG

CONSTRUCTION SPECIFICATIONS

These specifications are appropriate to all ponds within the scope of the Standard for practice MD-378. All references to ASTM and AASHTO specifications apply to the most recent version.

Site Preparation Areas designated for borrow areas, embankment, and structural works shall be cleared, grubbed and stripped of topsoil. All trees, vegetation, roots and other objectionable material shall be removed.

Earth Fill The fill material shall be taken from approved designated borrow areas. It shall be free of roots, stumps, wood, rubbish, stones greater than 8" frozen or other objectionable materials.

Placement - Areas on which fill is to be placed shall be scarified prior to placement of fill. Fill materials shall be placed in maximum 8 inch thick (before compaction) layers which are to be continuous over the entire length of the fill.

Compaction - The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift shall be traversed by not less than one tread track of heavy equipment or compaction shall be achieved by a minimum of four complete passes of a sheepsfoot, rubber tired or vibratory roller.

Cut Off Trench - The cutoff trench shall be excavated into impervious material along or parallel to the centerline of the embankment as shown on the plans. The bottom width of the trench shall be governed by the equipment used for excavation.

Embankment Core - The core shall be parallel to the centerline of the embankment as shown on the plans. The top width of the core shall be a minimum of four feet. The height shall extend up to at least the 10 year water elevation or as shown on the plans.

Structure Backfill Backfill adjacent to pipes or structures shall be of the type and quality conforming to that specified for the adjoining fill material. The fill shall be placed in horizontal layers not to exceed four inches in thickness and compacted by hand tampers or other manually directed compaction equipment.

Reinforced Concrete Pipe - All of the following criteria shall apply for reinforced concrete pipe: 1. Materials - Reinforced concrete pipe shall have bell and spigot joints with rubber gaskets and shall equal or exceed ASTM C-361.

2. Bedding - Reinforced concrete pipe conduits shall be laid in a concrete bedding/cradle for their entire length. This bedding / concrete placed under the pipe and up the sides of the pipe at least 50 cents shall consist of high slump 3/4 of its out-side diameter with a minimum thickness of 6 inches.

3. Laying pipe - Bell and spigot pipe shall be placed with the bell end upstream. Joints shall be made in accordance with recommendations of the manufacturer of the material. After the joints are sealed for the entire line, the bedding shall be placed so that all pieces under the pipe are filled. Care shall be exercised to prevent any deviation from the original line and grade of the pipe.

4. Backfilling shall conform to "Structure Backfill". 5. Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.

Plastic Pipe - The following criteria shall apply for plastic pipe: 1. Material - PVC pipe shall be PVC-1120 or PVC-1220 conforming to ASTM D-1785 or ASTM D-2241. Corrugated High Density Polyethylene (HDPE) pipe, couplings and fittings shall conform to the following: 4" - 10" inch pipe shall meet the requirements of AASHTO M252 Type S, and 12" through 24" inch shall meet the requirements of AASHTO M294 Type S.

- 2. Joints and connections to anti-seep collars shall be completely watertight. 3. Bedding - The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support. 4. Backfilling shall conform to "Structure Backfill".

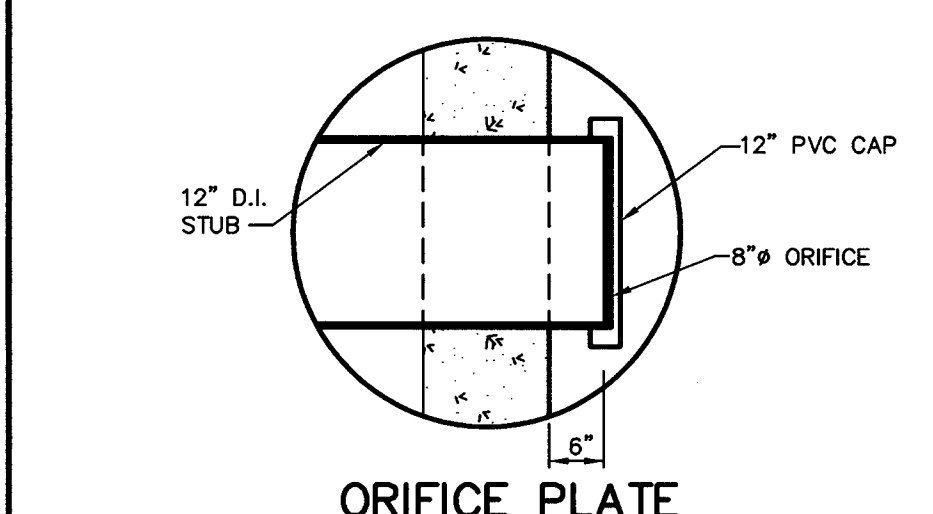
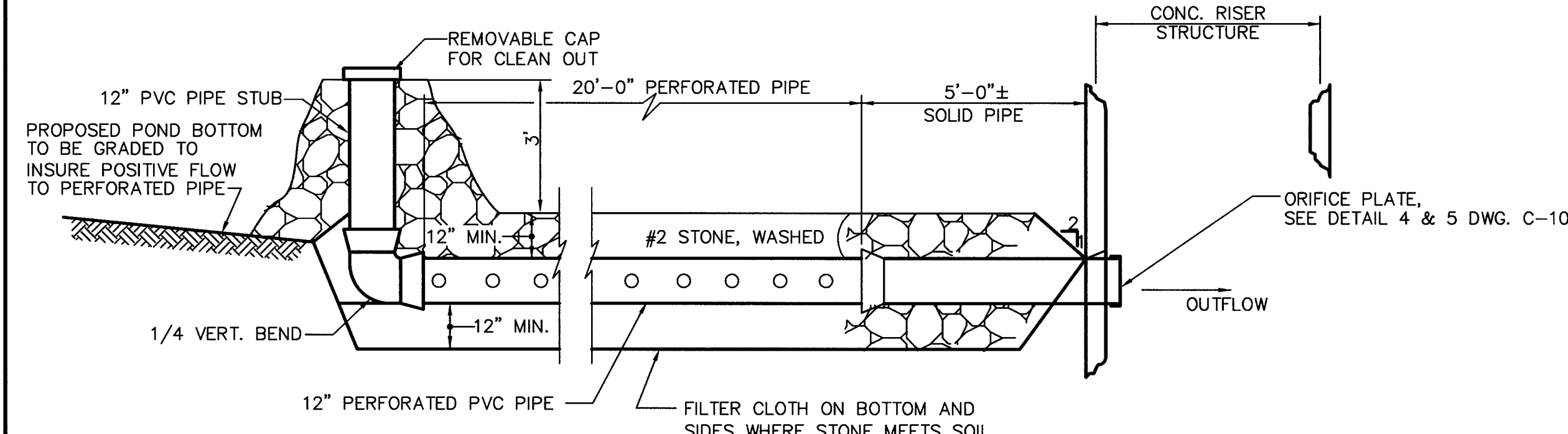
Concrete Concrete shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 414, Mix No. 3. Rock Riprap Rock riprap shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 311. Geotextile shall be placed under all riprap and shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 921.09, Class C.

Care of Water during Construction All work on permanent structures shall be carried out in areas free from water. The Contractor shall construct and maintain all temporary dikes, levees, cofferdams, drainage channels, and stream diversions necessary to protect the areas to be occupied by the permanent works. The contractor shall also furnish, in-still, operate, and maintain all necessary pumping and other equipment required for removal of water from various parts of the work and for maintaining the excavations, foundation, and other parts of the work free from water as required or directed by the engineer for constructing each part of the work.

Stabilization All borrow areas shall be graded to provide proper drainage and left in a slightly condition. All exposed surfaces of the embankment, spillway, spoil and borrow areas, and berms shall be stabilized by seeding, liming, fertilizing and mulching in accordance with the Natural Resources Conservation Service Standards and Specifications for Critical Area Planting (MD-342) or as shown on the accompanying drawings.

Erosion and Sediment Control Construction operations will be carried out in such a manner that erosion will be controlled and water and air pollution minimized. State and local laws concerning pollution abatement will be followed. Construction plans shall detail erosion and sediment control measures.

OPERATION AND MAINTENANCE An operation and maintenance plan in accordance with Local or State Regulations will be prepared for all ponds. As a minimum, the dam inspection checklist located in Appendix A shall be included as part of the operation and maintenance plan and performed at least annually. Written records of maintenance and major repairs needs to be retained in a file. The issuance of a Maintenance and Repair Permit for any repairs or maintenance that involves the modification of the dam or spillway from its original design and specifications is required. A permit is also required for any repairs or reconstruction that involve a substantial portion of the structure. All indicated repairs are to be made as soon as practical.



PERFORATED PIPE SHALL BE BONDED TO ORIFICE SECTION AND HAVE REMOVABLE CAP PLACED ONTO OPPOSITE END FOR CLEAN OUT. PERFORATED PIPE SHALL BE SECURELY COVERED ON ALL SIDES WITH 12" MINIMUM #2 STONE. SEE DETAIL 2 THIS SHEET. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION ARE MINIMIZED. SET PERFORATED PIPE AT INVERTS SPECIFIED ON STORM WATER MANAGEMENT PLANS PRINCIPAL SPILLWAY PROFILE.

OWNER/DEVELOPER M & M GENERAL PARTNERSHIP 7450 MONTEVIDEO ROAD JESSUP, MARYLAND 20794 (410) 799-1972 DEED REFERENCE = 4354/544

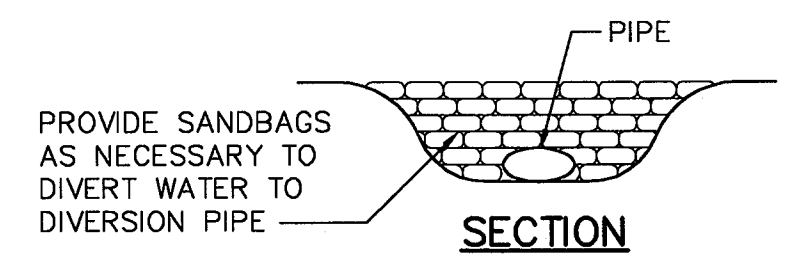
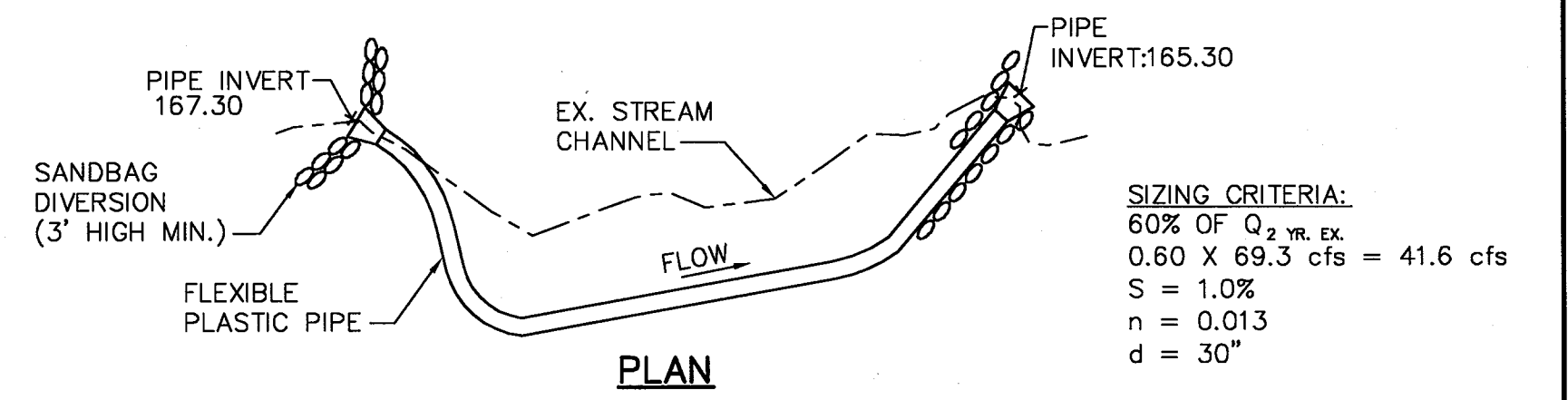
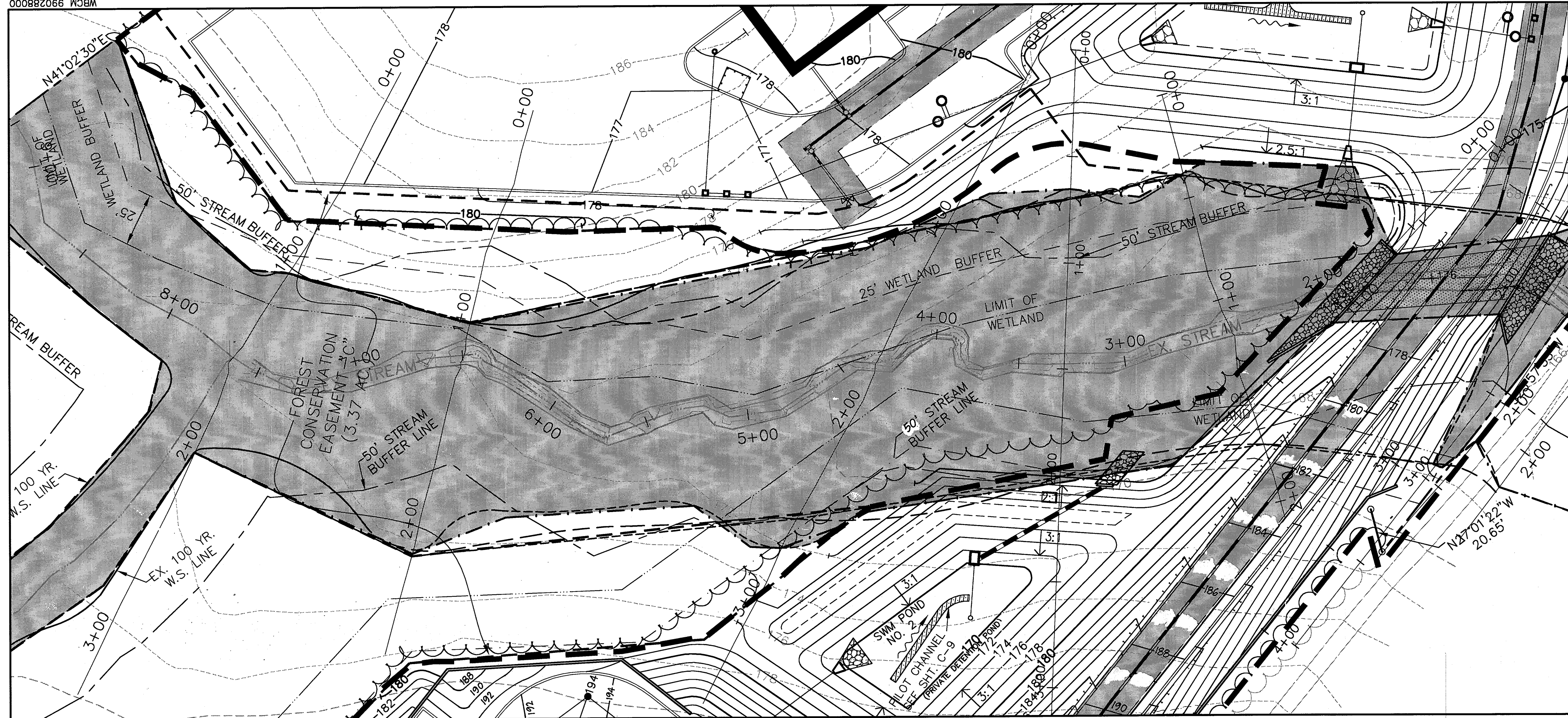
STORMWATER MANAGEMENT BORING LOGS

PROJECT TITLE: 7330 MONTEVIDEO ROAD HOWARD CO., MARYLAND

ENGINEERS: Consulting Engineers 849 Fairmount Avenue Baltimore, Maryland 21288 (410) 512-4500 (410) 324-4100 (FAX) WHITNEY, BAILEY, COX & MAGNANI, LLP

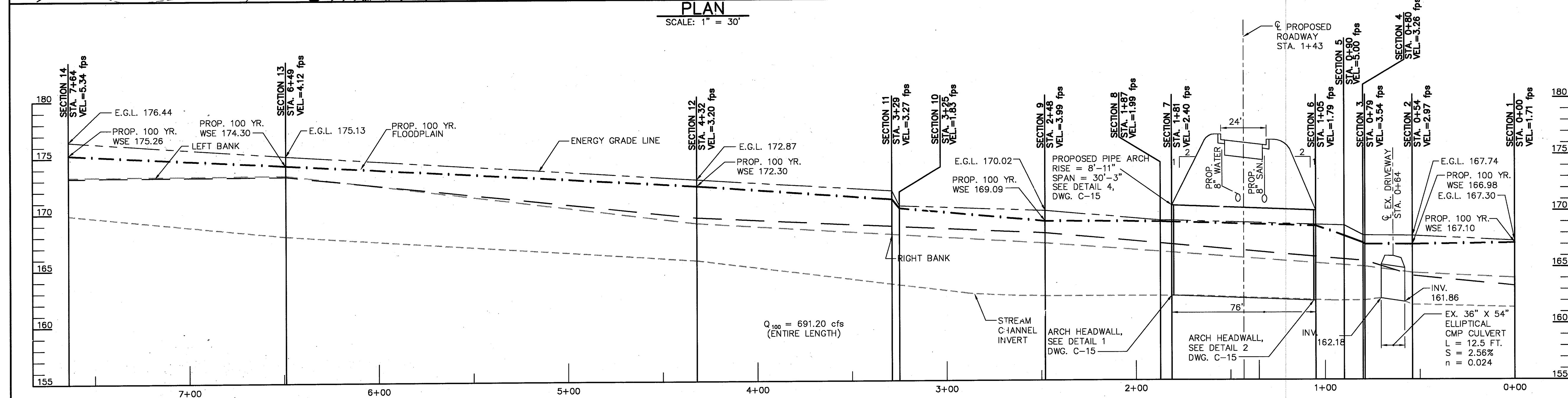
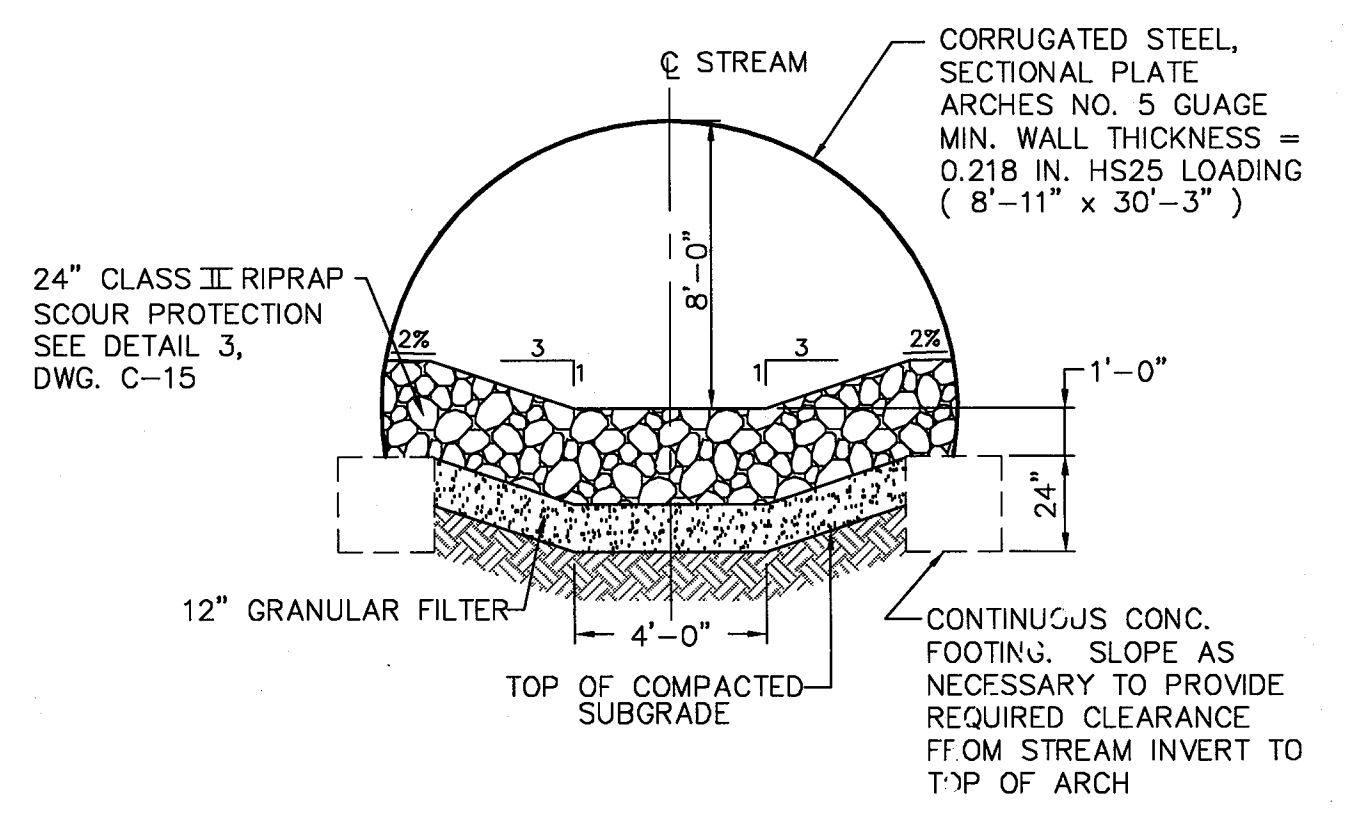
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APPROVED: HOWARD CO. DEPT. OF PLANNING & ZONING. Chief, Development Engineering Division. Date: 6/5/01. Chief, Division of Land Development. Date: 6/25/01. Director. Date: 6/25/01.



ALL STREAM CONSTRUCTION WILL BE IN ACCORDANCE WITH ALL REGULATIONS AND STANDARDS OF THE US ARMY CORPS OF ENGINEERS AND THE MARYLAND DEPT. OF THE ENVIRONMENT. CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL SEDIMENT CONTROLS THROUGHOUT CONSTRUCTION.

**TEMPORARY STREAM DIVERSION**  
NOT TO SCALE



**OWNER/DEVELOPER**  
M & M GENERAL PARTNERSHIP  
7450 MONTEVIDEO ROAD  
JESSUP, MARYLAND 20794  
(410) 799-1972  
DEED REFERENCE = 4354/544

09-20-09	REV. GRADES PER ARCH. DRAWINGS
DATE	NO. REVISIONS

**STREAM CHANNEL PLAN AND PROFILE**

PROJECT TITLE:  
**7330 MONTEVIDEO ROAD  
HOWARD CO., MARYLAND**

ENGINEERS:	Consulting Engineers 849 Fairmount Avenue (410) 512-4500 Baltimore, Maryland 21286 (410) 324-4100 (FAX)
DESIGNED:	C.K. ELECTION DIST.: 1
DRAWN:	D.Z. CENSUS TRACT #: 6012
CHECKED:	M.M. WATER CODE: B-01
DATE:	12/13/00 SEWER CODE: 2221000
SCALE:	AS SHOWN DRAWING NO:
MAP NO.:	43
GRID NO.:	10
PARCEL NO.:	554

- ENVIRONMENTAL SETBACKS/RESTRICTIONS LEGEND**
- STREAM CENTERLINE
  - STREAM BUFFER (50')
  - WETLANDS
  - WETLAND BUFFER (25')
  - PROPOSED 100-YR. FLOODPLAIN

- CHANNEL INFORMATION:**
- DRAINAGE AREA: 82.94 ACRES
  - ZONING: M-2 (HEAVY MANUFACTURING)  
SCS LAND USE CLASSIFICATION - INDUSTRIAL
  - TIME OF CONCENTRATION: 0.10 HOUR (ASSUMED)
  - DISCHARGE: 100 YEAR STORM = 681.2 CFS\*
  - STREAM TOPOGRAPHY BASED ON FIELD-RUN SURVEY BY WHITNEY, BAILEY, COX AND MAGNANI, LLP. DATED SEPTEMBER 1999.
  - ROUGHNESS COEFFICIENT: STREAM CHANNEL = 0.040  
LEFT OVERBANK = 0.120  
RIGHT OVERBANK = 0.120

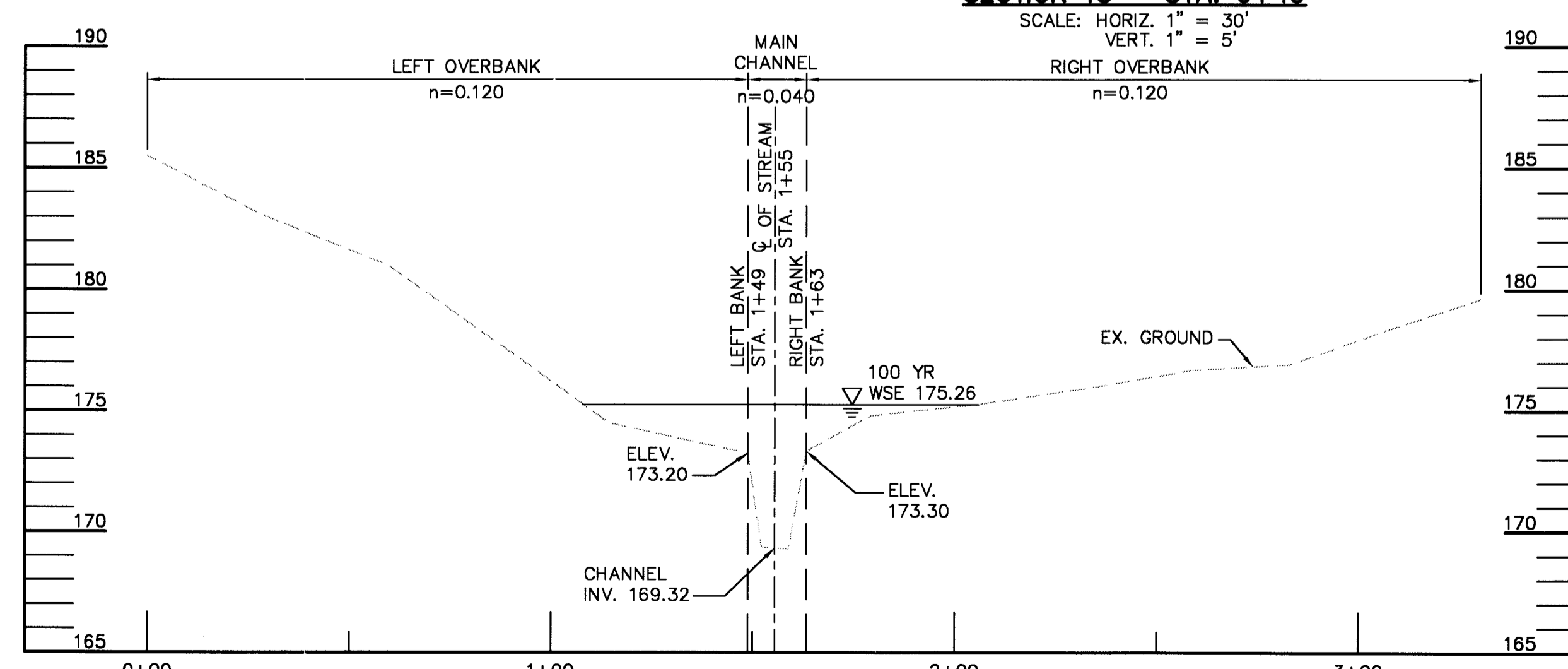
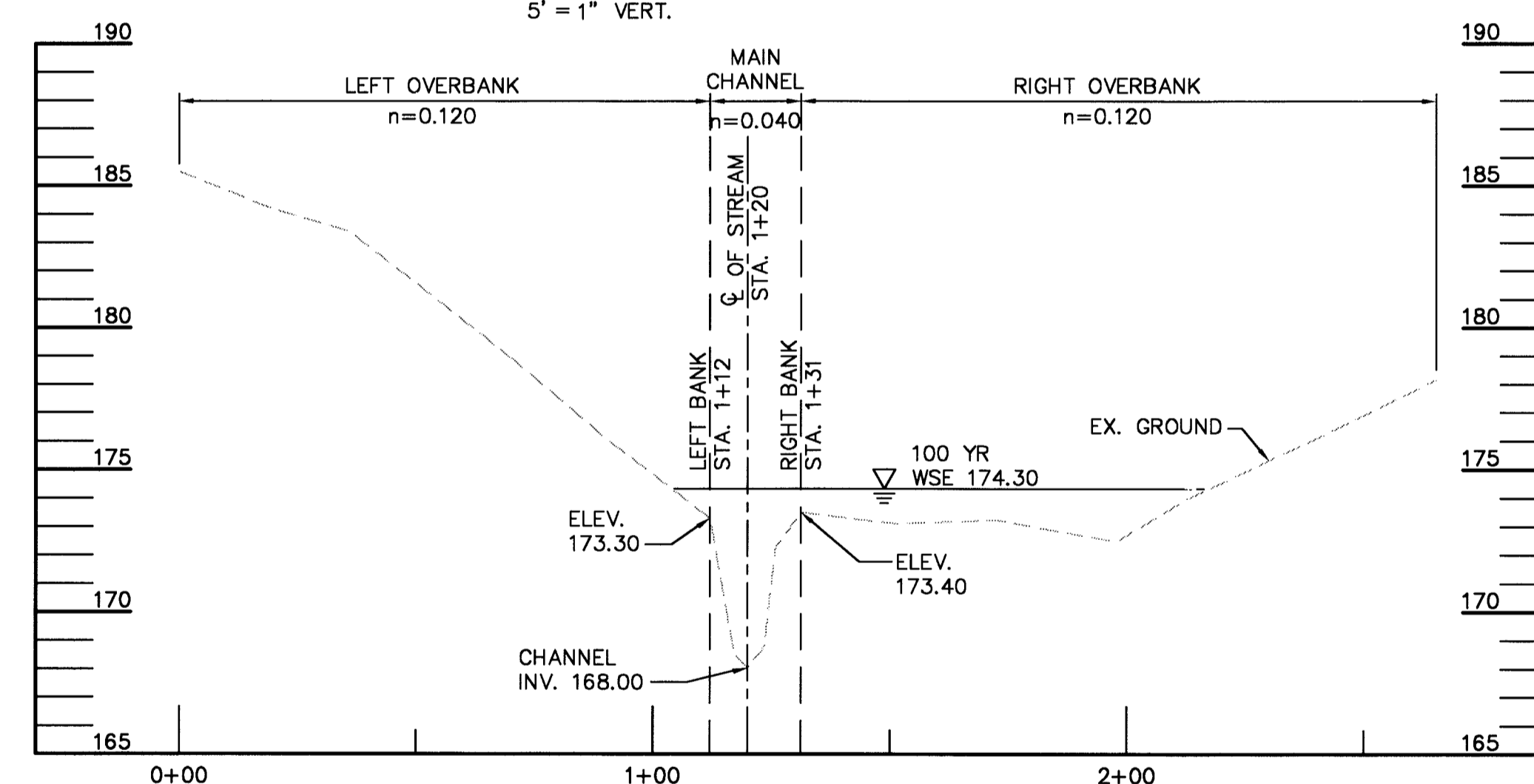
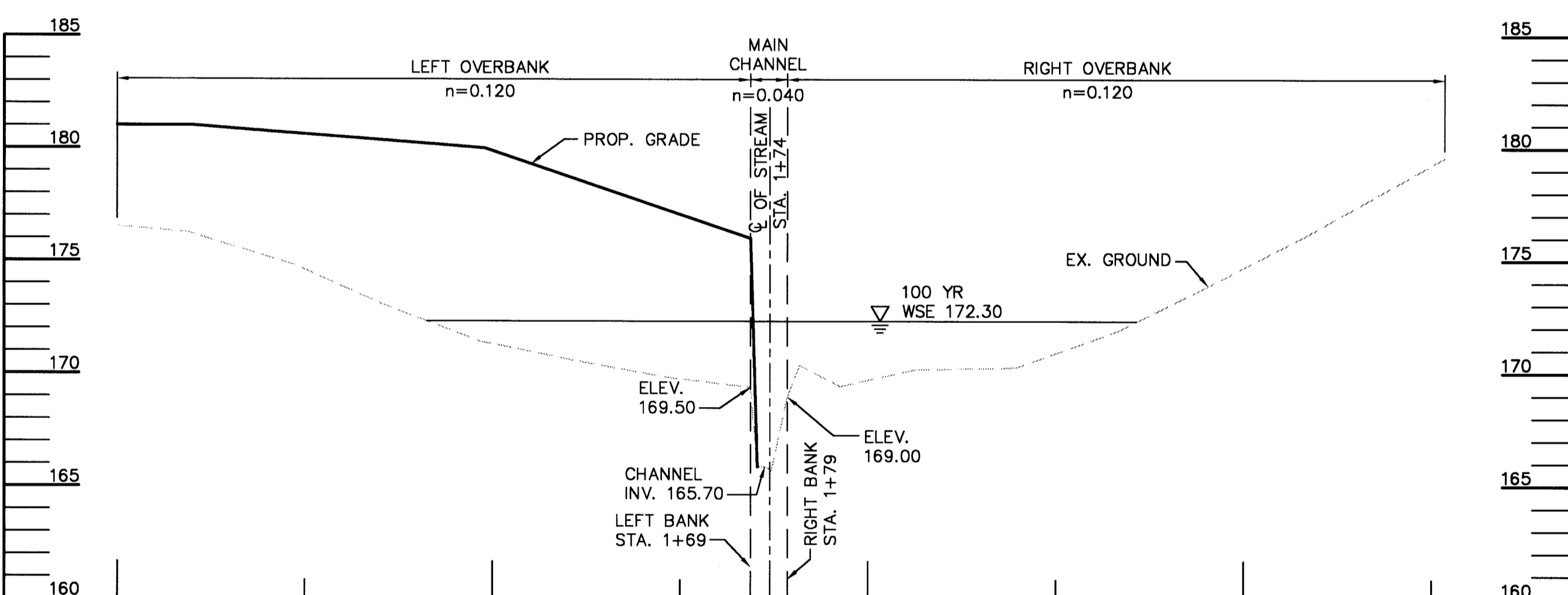
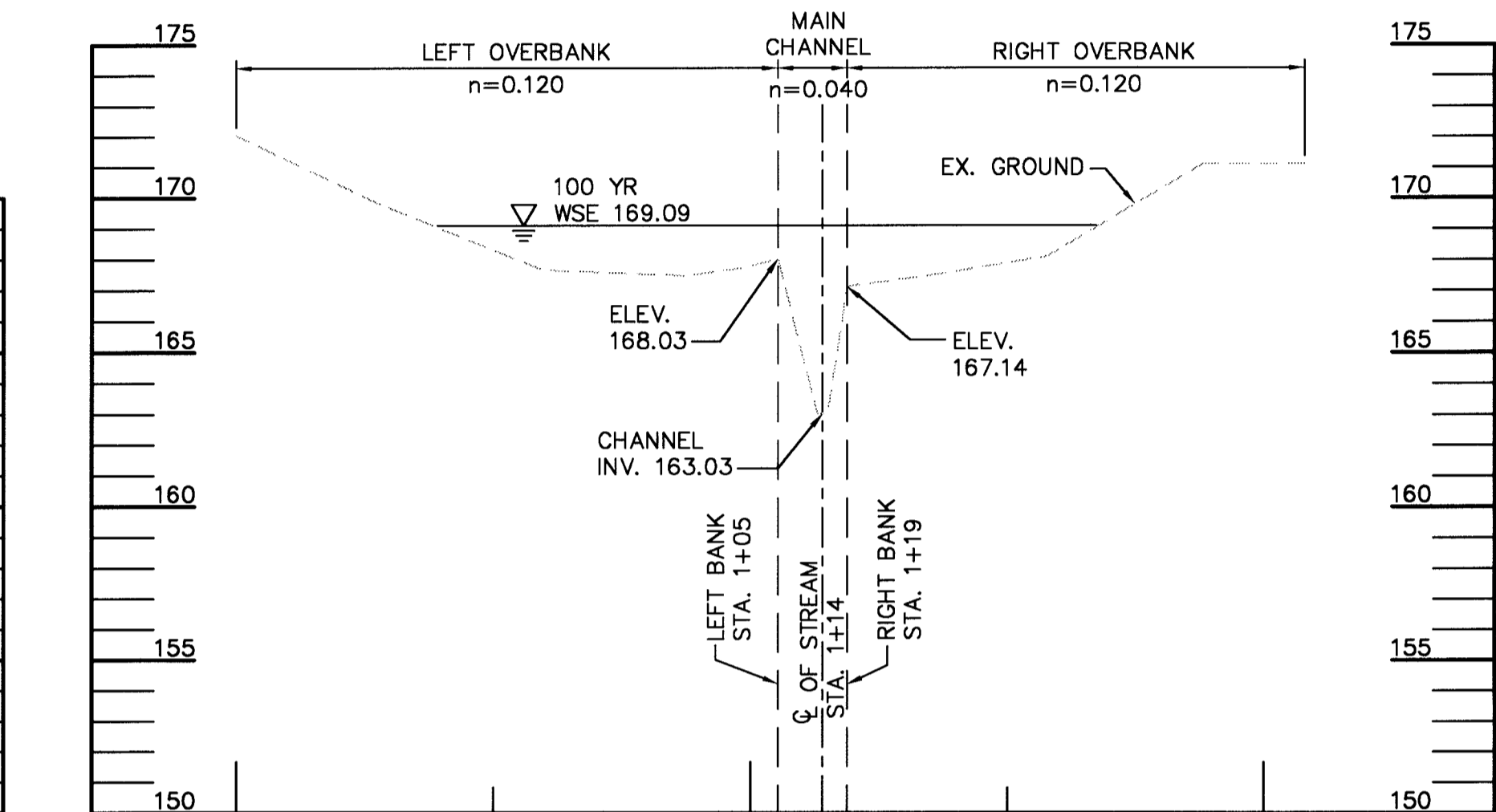
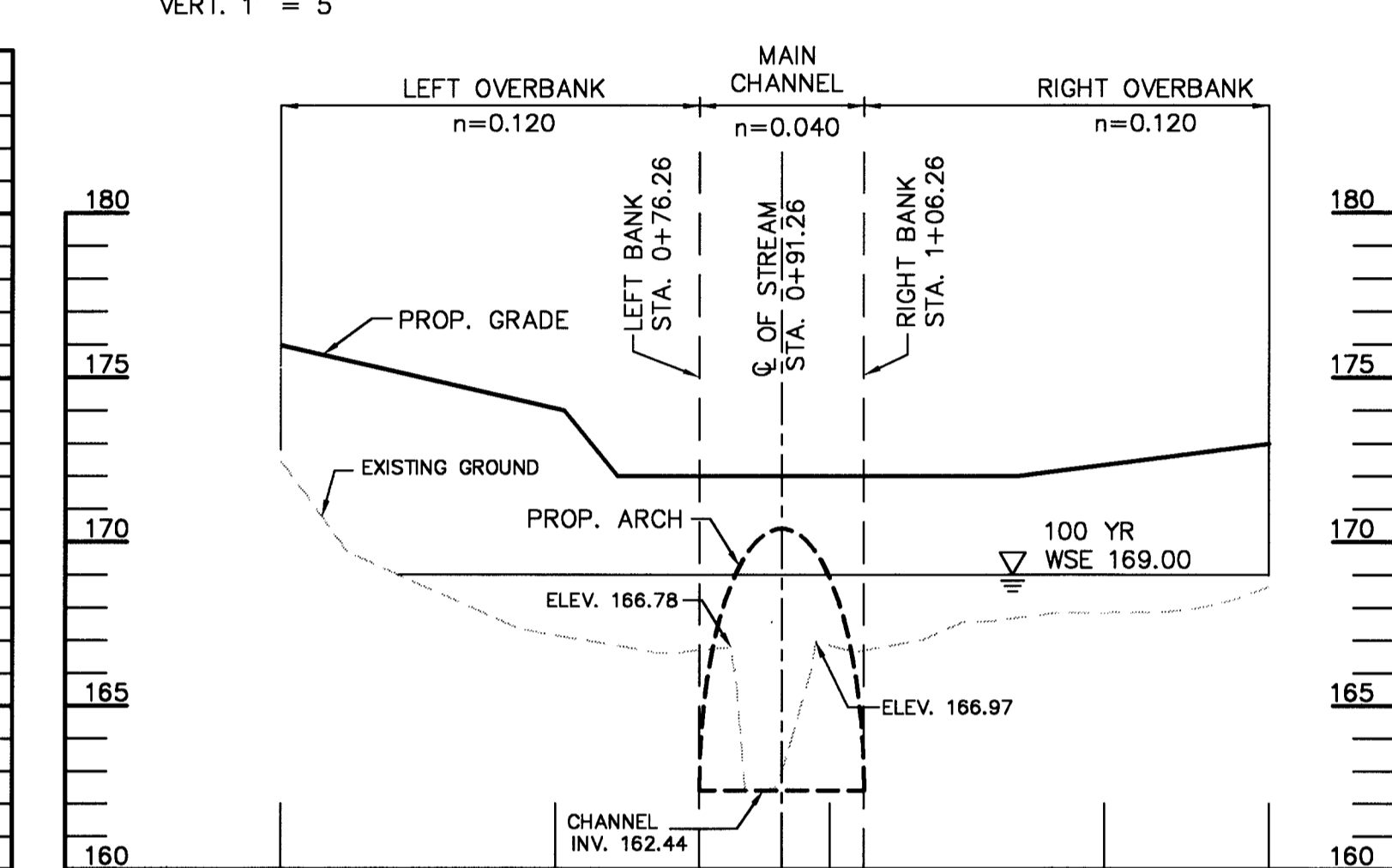
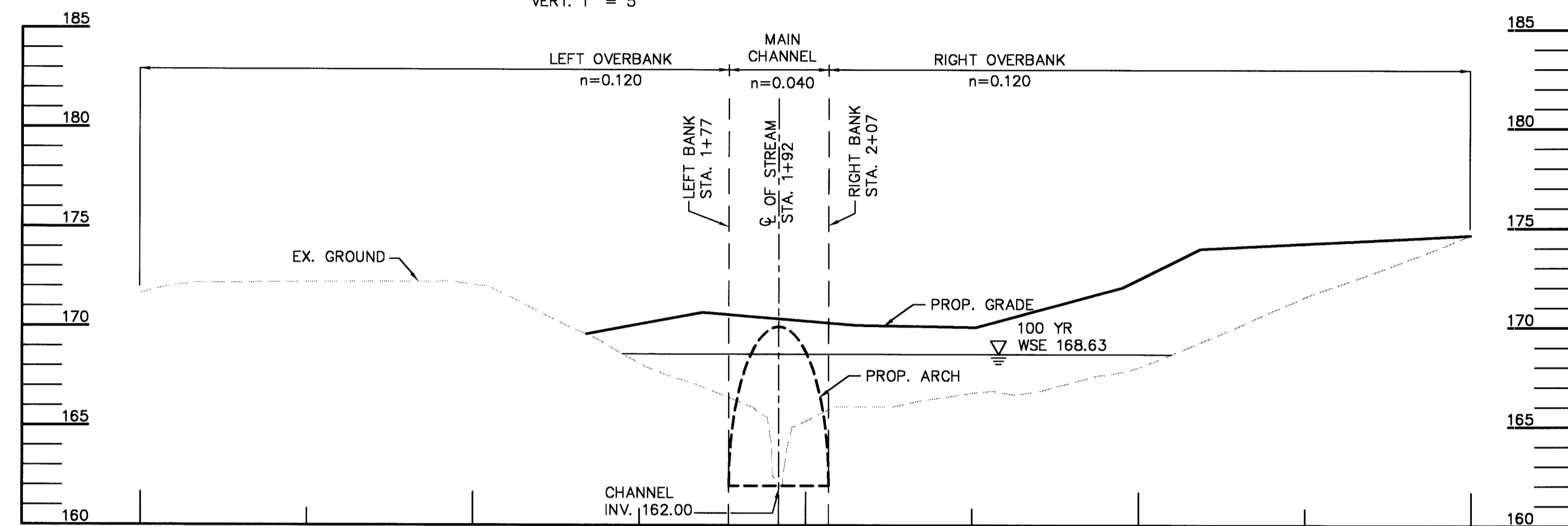
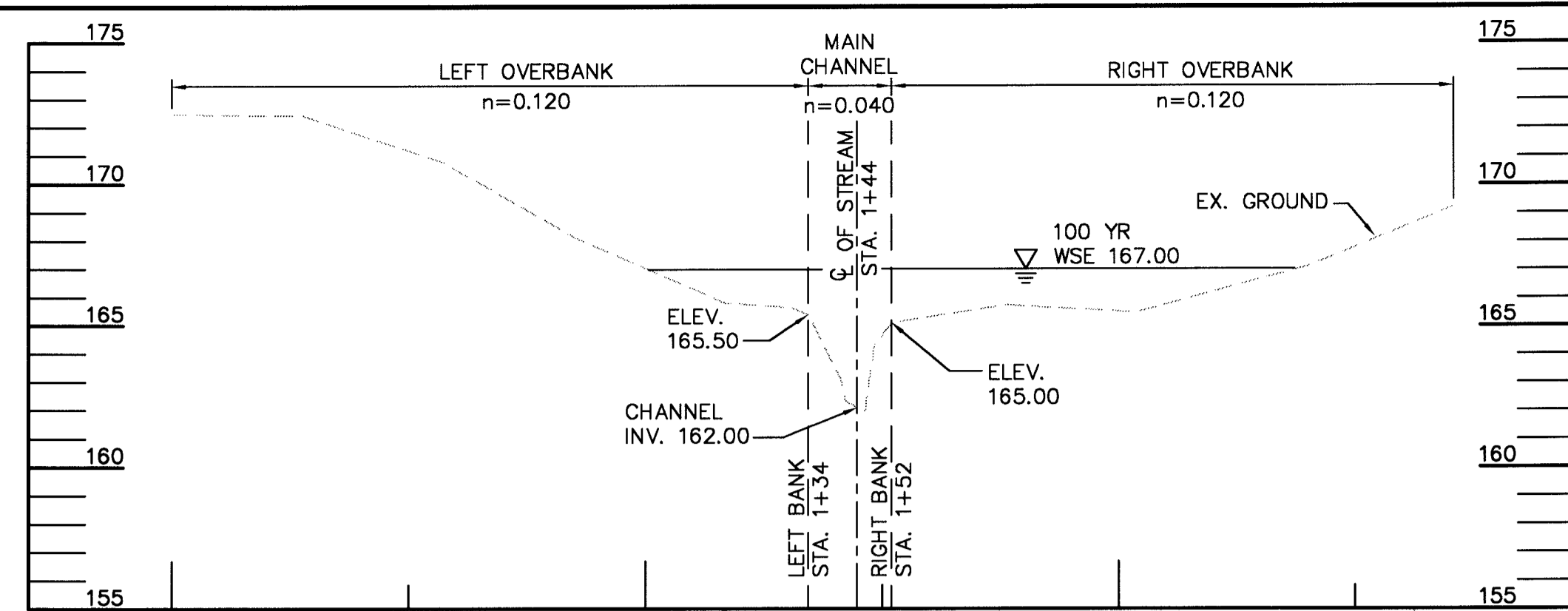
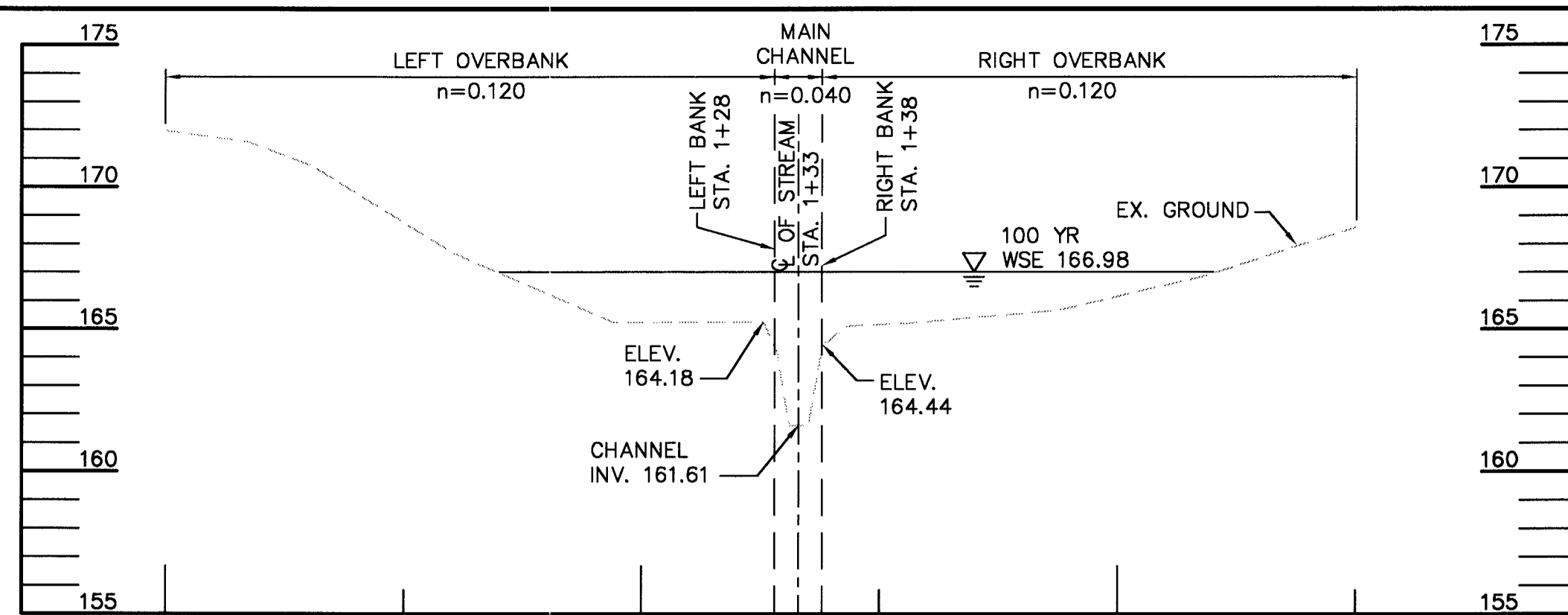
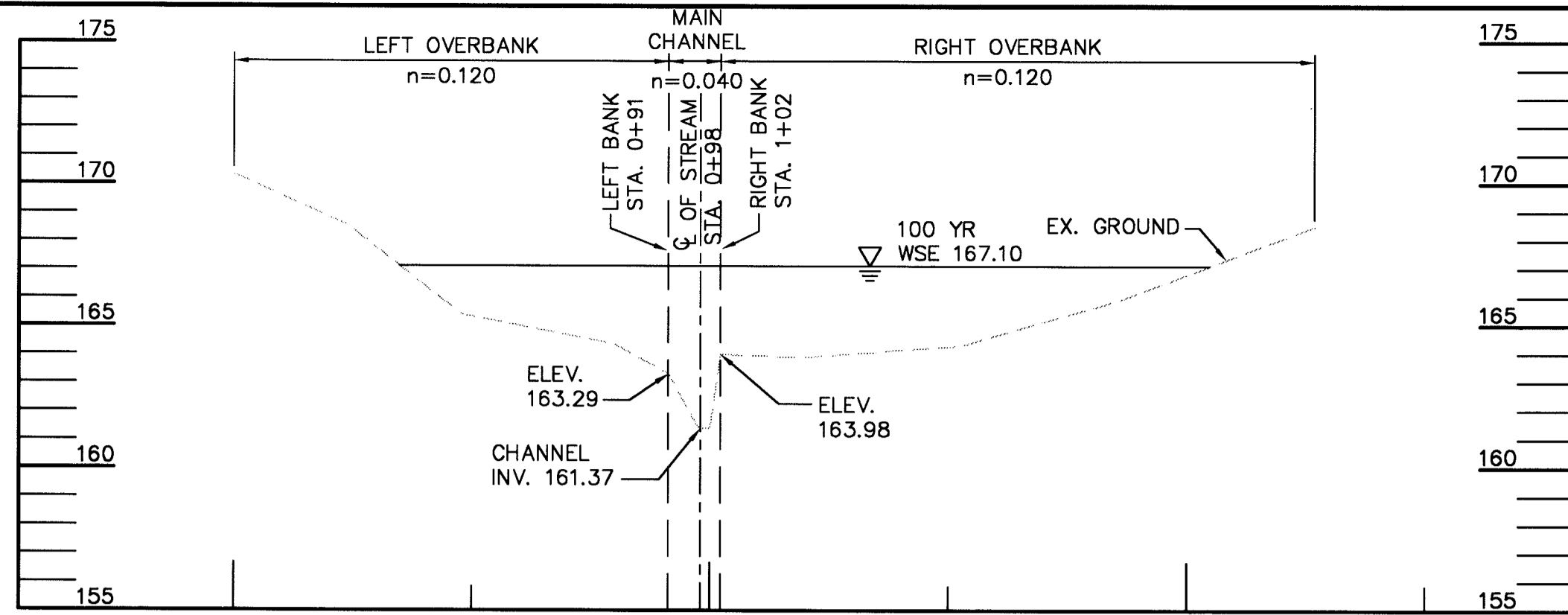
- REFERENCE NOTES:**
- SEE DWG. C-14 FOR STREAM CROSS-SECTIONS.
  - SEE 100 YR. FLOODPLAIN REPORT FOR DRAINAGE AREA MAP.

APPROVED: HOWARD CO. DEPT. OF PLANNING & ZONING.

*Michael D. ...* 6/25/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

*Cindy Hamilton* 6/25/01  
CHIEF, DIVISION OF LAND DEVELOPMENT

*...* 6/25/01  
DIRECTOR



**REFERENCE NOTES:**

- SEE DWG. C-13 FOR STREAM CHANNEL PLAN AND PROFILE.
- FOR COMPLETE SET OF STREAM SECTIONS SEE 100 Yr. FLOODPLAIN REPORT.

APPROVED: HOWARD CO. DEPT. OF PLANNING & ZONING.

*[Signature]* 6/5/01 DATE  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

*[Signature]* 6/25/01 DATE  
CHIEF, DIVISION OF LAW DEVELOPMENT

*[Signature]* 6/25/01 DATE  
DIRECTOR

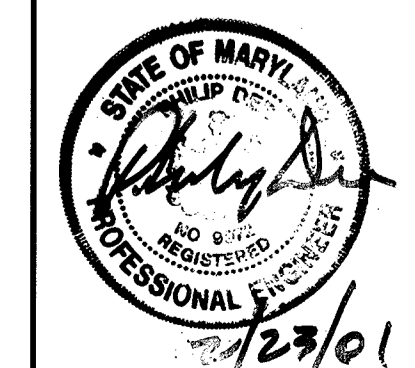
**OWNER/DEVELOPER**  
M & M GENERAL PARTNERSHIP  
7450 MONTEVIDEO ROAD  
JESSUP, MARYLAND 20794  
(410) 799-1972  
DEED REFERENCE = 4354/544

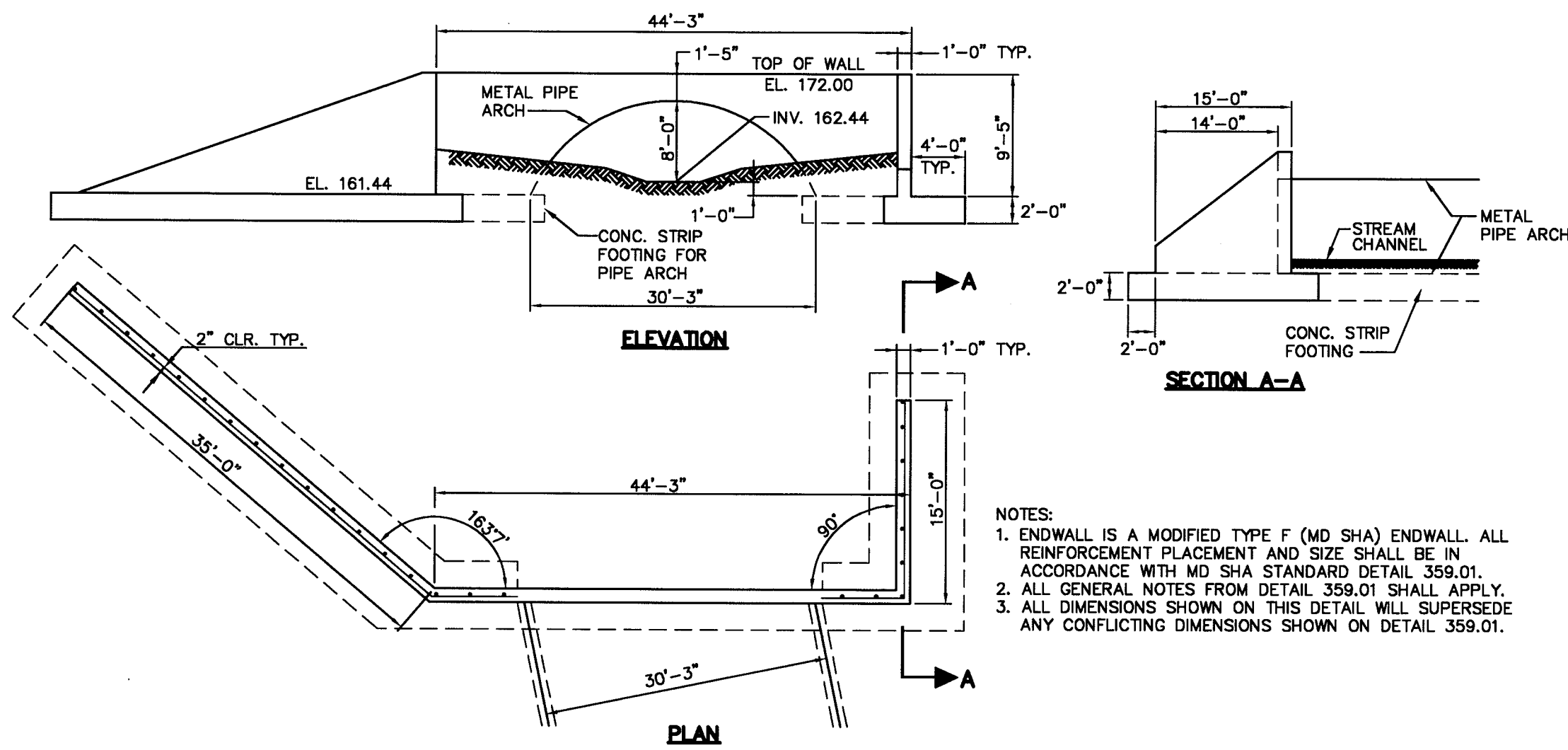
DATE	NO.	REVISIONS

**PROJECT TITLE:**  
7330 MONTEVIDEO ROAD  
HOWARD CO., MARYLAND

ENGINEERS: **WR** Consulting Engineers  
849 Fairmount Avenue (410) 512-4500  
Baltimore, Maryland 21286 (410) 324-4100 (FAX)  
**WHITNEY, BAILEY, COX & MAGNANI, LLP**

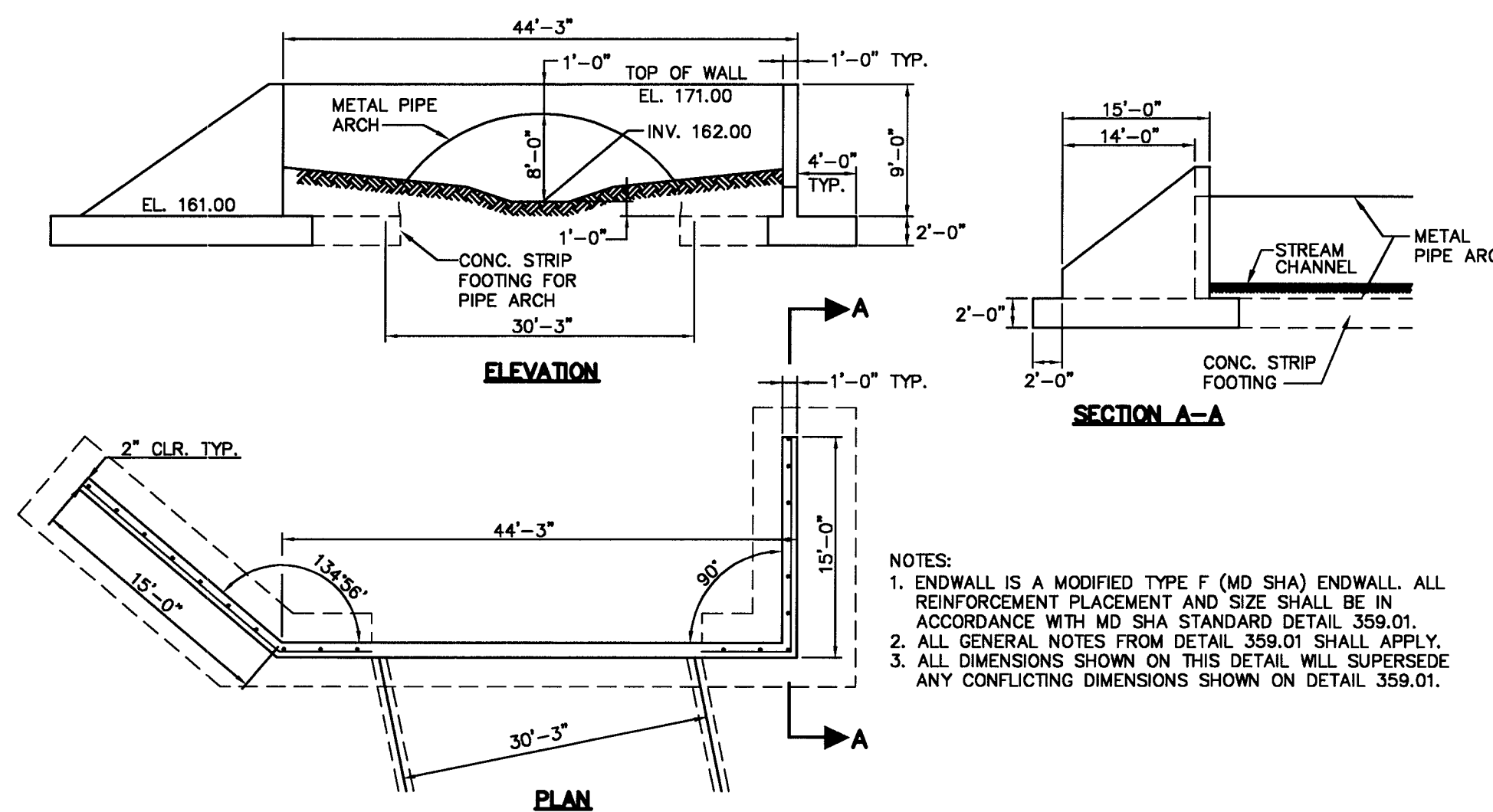
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DRAWN: E.F.	CENSUS TRACT #: 6012
CHECKED: M.M.	WATER CODE: B-01
DATE: 12/13/00	SEWER CODE: 2221000
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 43	<b>C-14</b>
GRID NO.: 10	SHEET 15 OF 25
PARCEL NO.: 554	





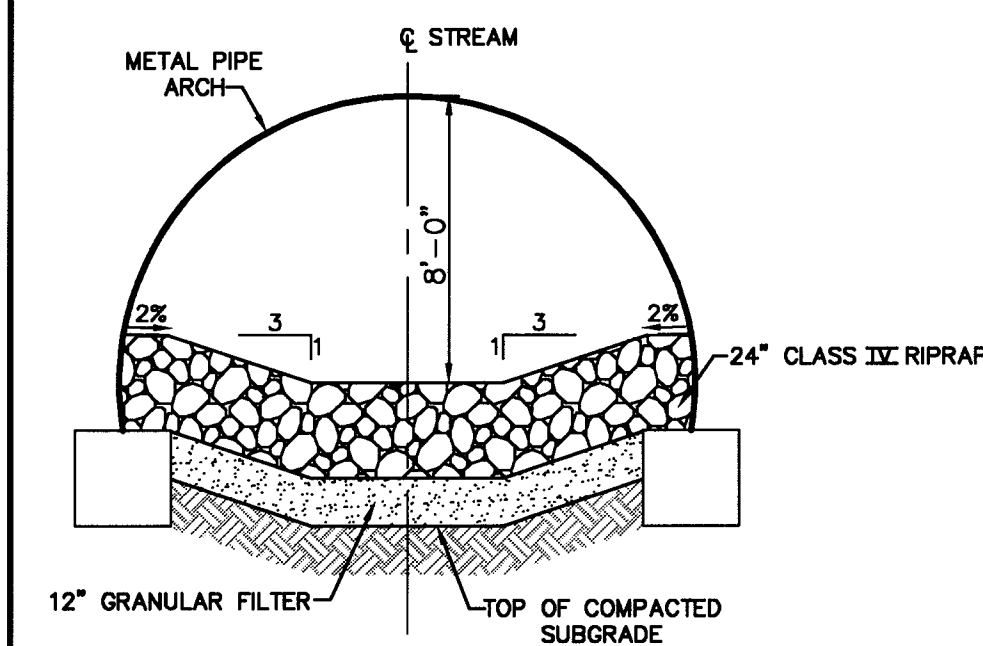
1 ENDWALL (UPSTREAM)

NOT TO SCALE

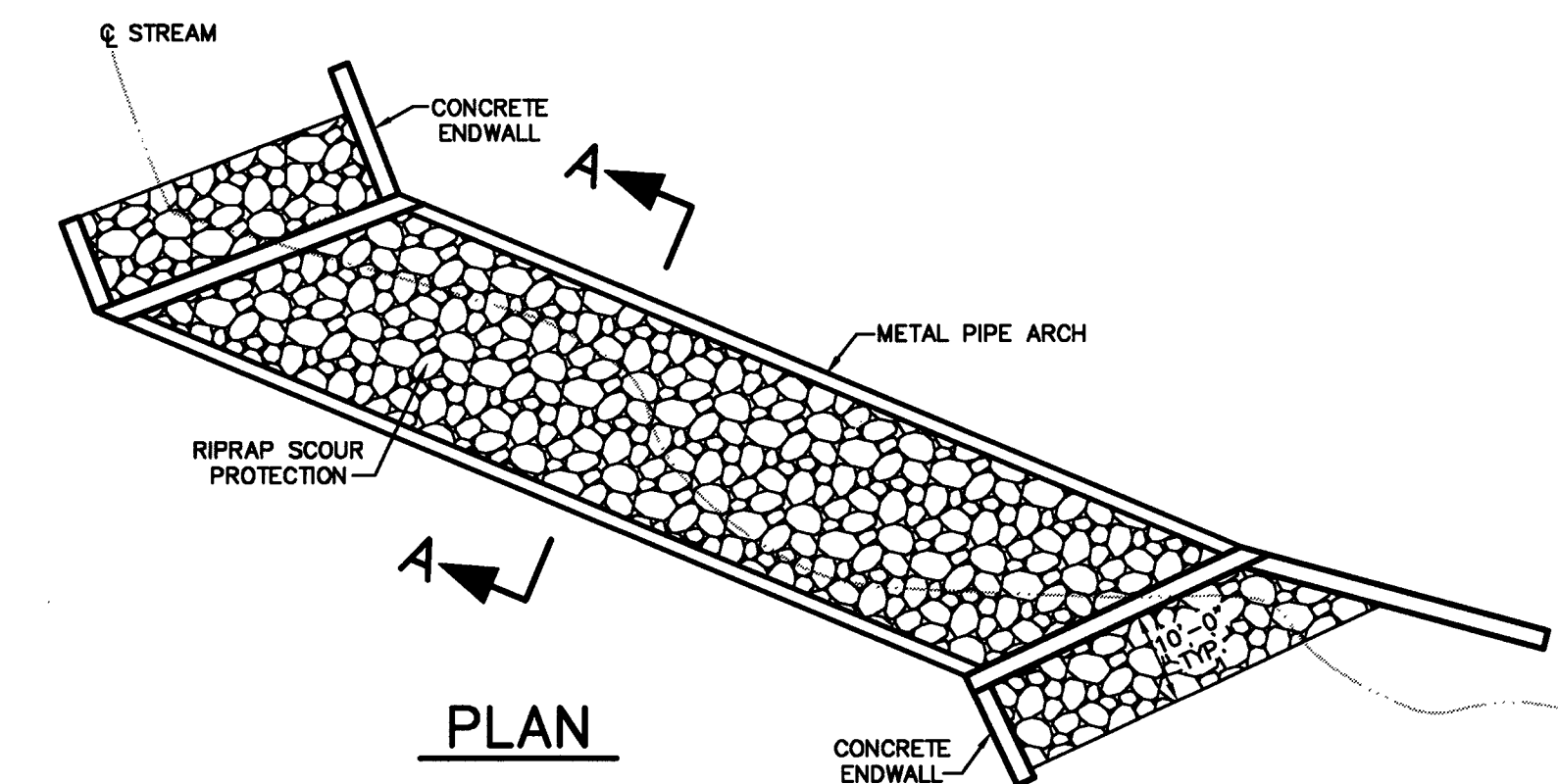


2 ENDWALL (DOWNSTREAM)

NOT TO SCALE



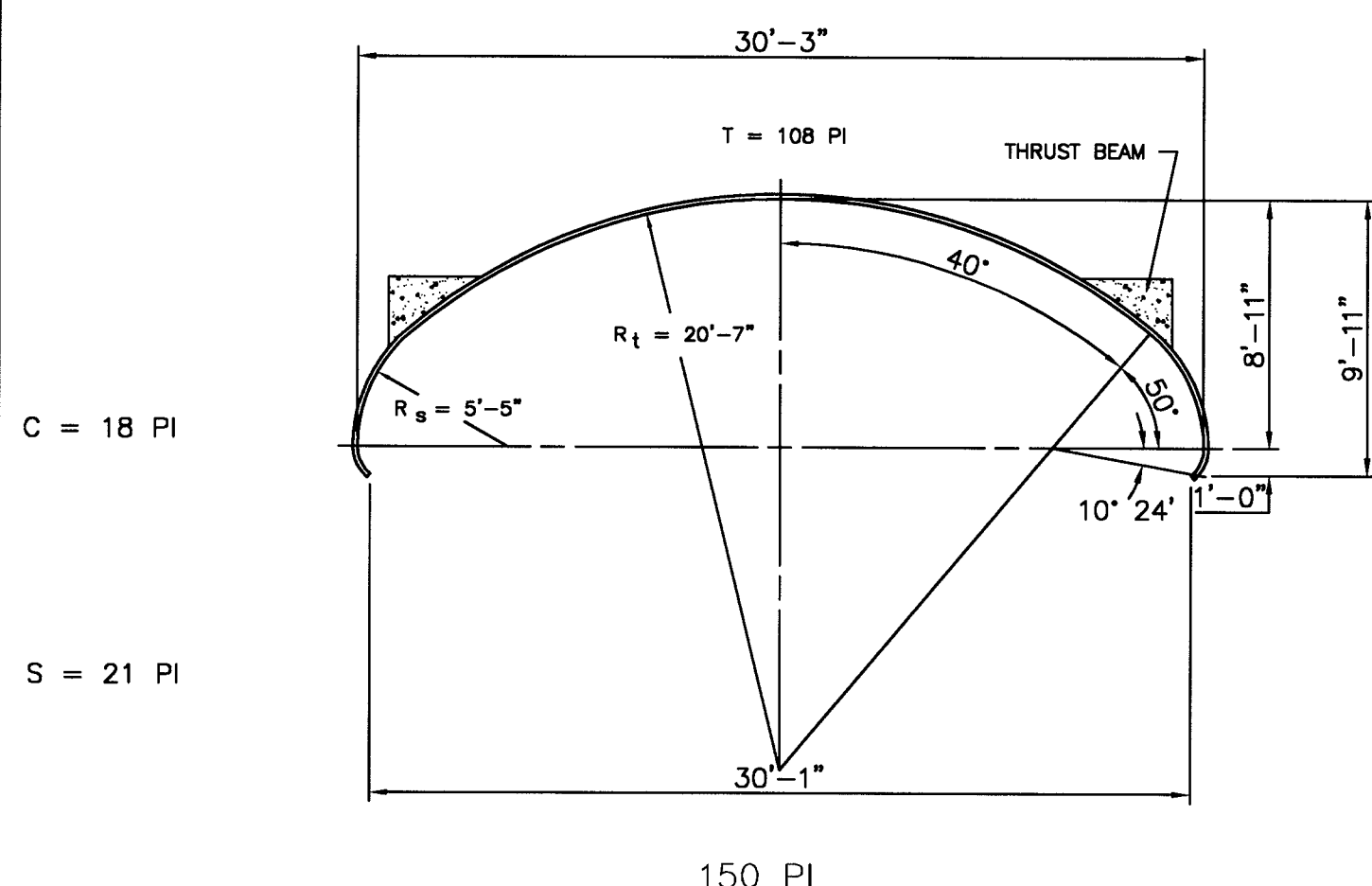
SECTION A-A



PLAN

3 SCOUR PROTECTION

NOT TO SCALE



APPROX. AREA = 237 SQ. FT.

- NOTES:
1. ALL DIMENSIONS ARE TO THE INSIDE CORRUGATION CRESTS, UNLESS OTHERWISE NOTED.
  2. DIMENSIONS ARE SUBJECT TO MANUFACTURING TOLERANCES.
  3. SEE STREAM PROFILE, DWG C-13, FOR ARCH PROFILE, CHANNEL VELOCITIES, AND DISCHARGE.

4 SUPER-SPAN METAL ARCH (LOW PROFILE)

NOT TO SCALE

AASHTO Structural Design Check for Steel Plate Structures

Structure Description	Safety Factors	Loads
Material: Steel	Seam (FS) <sub>seam</sub> : 3	Dead Load
Corrugation: 6" x 2"	Buckling (FS) <sub>buck</sub> : 2	$P_d = W \times H_c$
Shape: Arch	Wall Area (FS) <sub>wall area</sub> : 1.4	$= 360 \text{ lb/ft}^2$
Diameter (D): 252 in		$P_{LL} = 720 \text{ lb/ft}^2$
Gage: 5		Total Load
Plate Thickness: 0.218 in	Dead Load	$P_t = P_d + P_{LL}$
Effective Area (A): 3.199 in <sup>2</sup> /ft	Unit Weight of Soil (W): 120 lb/ft <sup>3</sup>	$= 1080.0 \text{ lb/ft}^2$
Moment of Inertia (I): 0.1269 in <sup>4</sup> /in	Height of Cover (Hc): 3 ft	Thrust
Radius of Gyration (r): 0.69 in		$T = P \times D/2$
Modulus of Elasticity (E): 29000000 lb/in <sup>2</sup>	Live Load	$= 11340 \text{ lb/ft}$
Ultimate Seam Strength: 112000 lb/ft	Loading: hs25	
Min. Tensile Strength (fu): 45000 lb/in <sup>2</sup>		
Minimum Yield Point (fy): 33000 lb/in <sup>2</sup>		
Flexibility Factor (FF): 0.03		
<b>Check Wall Area</b>	<b>Check Handling and Installation Strength</b>	<b>Results</b>
Actual Safety Factor = $A \times f_y / T$	$FF = D^2/EI$	Steel: 6" x 2"
$= 9.31 \text{ *OK*}$	$= 0.0173$	Gage: 5
<b>Check Buckling</b>	Max. Allowable Flexibility Factor = 0.03	(FS) <sub>wall area</sub> : 9.31 *OK*
Critical Diameter, $D_c = (r/K) \sqrt{(24*E)/f_u}$	0.03 > 0.0173	(FS) <sub>buck</sub> : 10.05 *OK*
$= 390.054 \text{ in}$	*OK*	(FS) <sub>seam</sub> : 9.88 *OK*
If $D < D_c$ , $f_c = \frac{1}{4} - ((f_u^2/48E) * (K*D/r)^2)$	<b>Check Seam Strength</b>	Adequate Handling Strength? *YES*
If $D > D_c$ , $f_c = 12*E/(K*D/r)^2$	Actual Safety Factor = $SS / T$	
$= 35608.520 \text{ lb/in}^2$	Actual Safety Factor = 9.88 *OK*	
Actual Safety Factor = $A * f_c / T$		
$= 10.05 \text{ *OK*}$		

APPROVED: HOWARD CO. DEPT. OF PLANNING & ZONING.

*Howard Co. Planning & Zoning* 6/15/01 DATE

*Cindy Samonte* 6/25/01 DATE

*David R. ...* 6/25/01 DATE

**OWNER/DEVELOPER**  
**M & M GENERAL PARTNERSHIP**  
 7450 MONTEVIDEO ROAD  
 JESSUP, MARYLAND 20794  
 (410) 799-1972  
 DEED REFERENCE = 4354/544

DATE	NO.	REVISIONS

**ARCH & ENDWALL DETAILS**

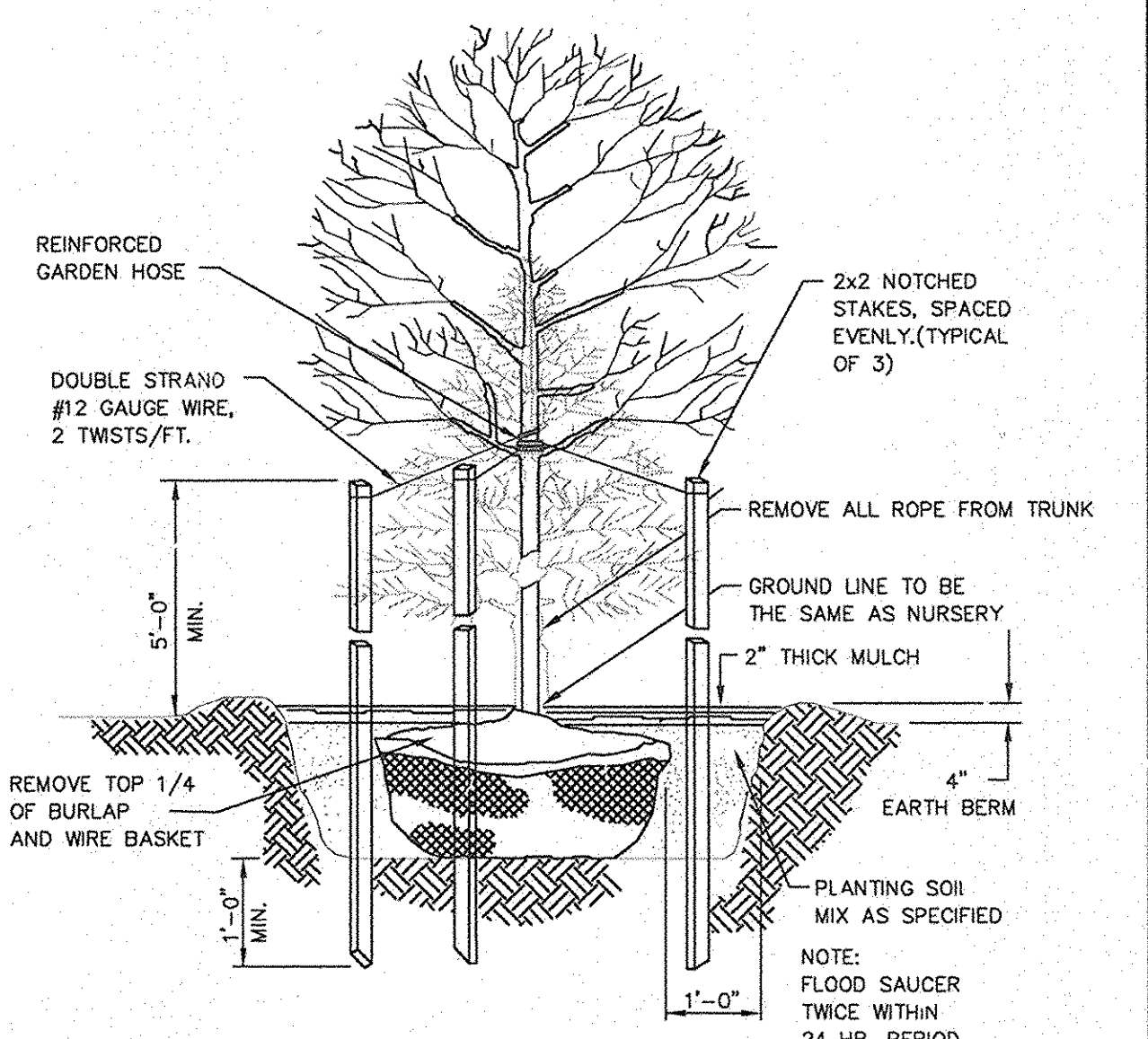
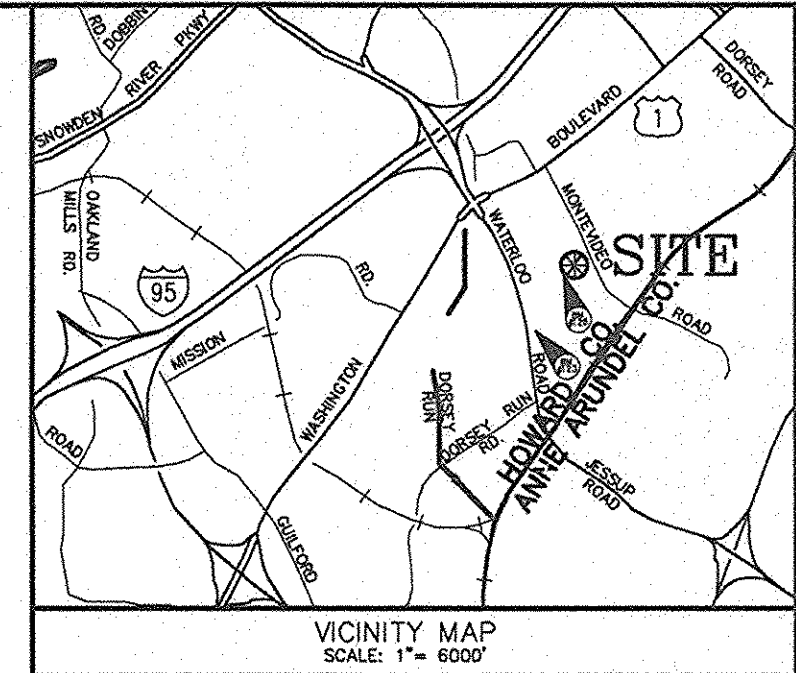
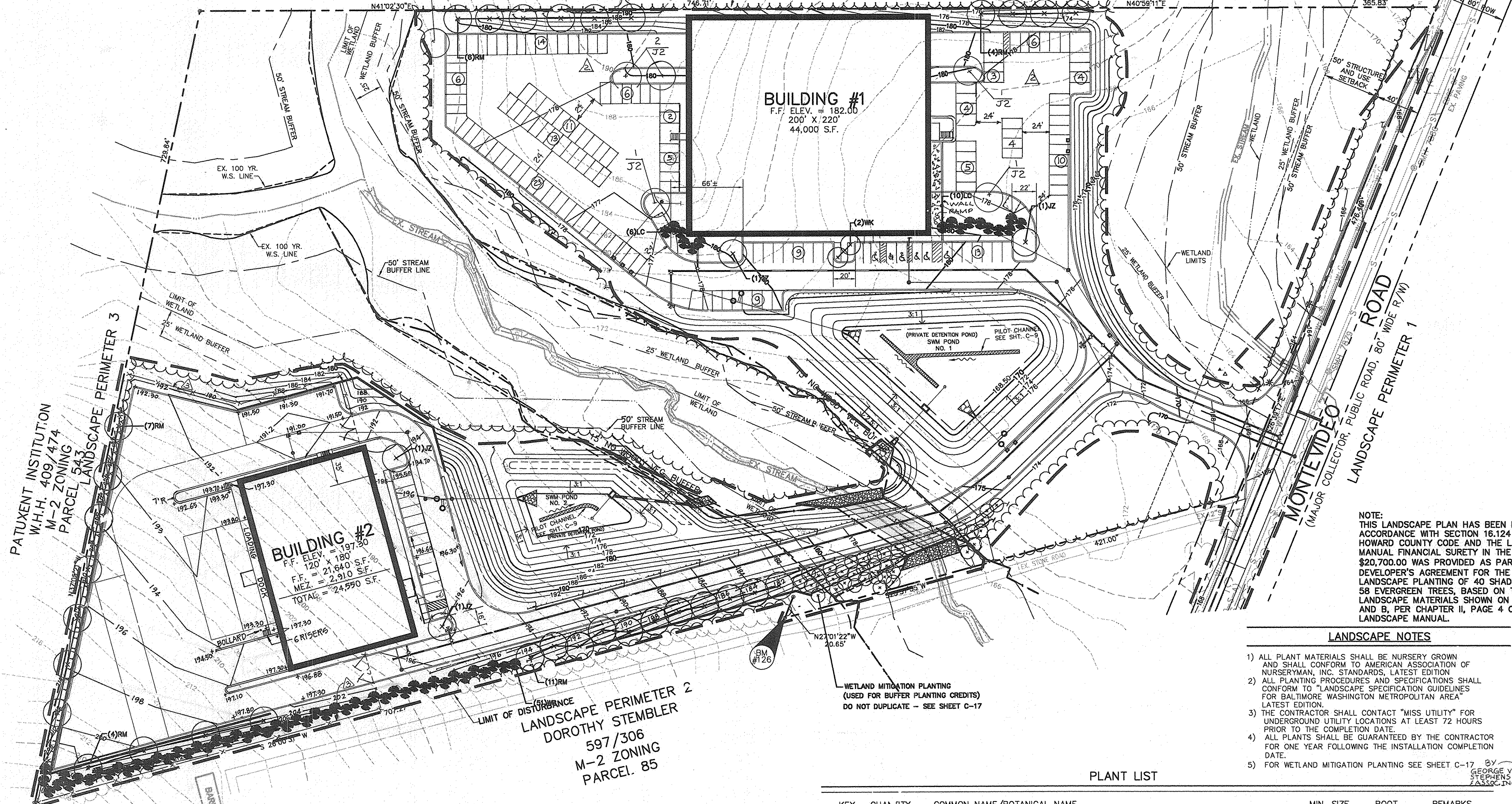
PROJECT TITLE:  
**7330 MONTEVIDEO ROAD**  
**HOWARD CO., MARYLAND**

ENGINEERS: **WR Consulting Engineers**  
 848 Fairmount Avenue (410) 512-4500  
 Baltimore, Maryland 21286 (410) 324-4100 (FAX)  
 WHITNEY, BAILEY, COX & MAGNANI, LLP

DESIGNED: C.K.	ELECTION DIST.: 1
DRAWN: D.Z.	CENCUS TRACT #: 6012
CHECKED: M.M.	WATER CODE: B-01
DATE: 12/13/00	SEWER CODE: 2221000
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 43	<b>C-15</b>
GRID NO.: 10	SHEET 16 OF 25
PARCEL NO.: 554	



STATE BOARD OF PRISON CONTROL  
H.B.N. 104/384  
M-2 ZONING  
PARCEL 543  
LANDSCAPE PERIMETER 4



TREE PLANTING DETAIL  
NOT TO SCALE

NOTE: THIS LANDSCAPE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FINANCIAL SURETY IN THE AMOUNT OF \$20,700.00 WAS PROVIDED AS PART OF THE DPW DEVELOPER'S AGREEMENT FOR THE REQUIRED LANDSCAPE PLANTING OF 40 SHADE TREES AND 58 EVERGREEN TREES, BASED ON THE NUMBER OF LANDSCAPE MATERIALS SHOWN ON SCHEDULES A AND B PER CHAPTER II, PAGE 4 OF THE LANDSCAPE MANUAL.

LANDSCAPE NOTES

- 1) ALL PLANT MATERIALS SHALL BE NURSERY GROWN AND SHALL CONFORM TO AMERICAN ASSOCIATION OF NURSERYMAN, INC. STANDARDS, LATEST EDITION
- 2) ALL PLANTING PROCEDURES AND SPECIFICATIONS SHALL CONFORM TO "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE WASHINGTON METROPOLITAN AREA" LATEST EDITION.
- 3) THE CONTRACTOR SHALL CONTACT "MISS UTILITY" FOR UNDERGROUND UTILITY LOCATIONS AT LEAST 72 HOURS PRIOR TO THE COMPLETION DATE.
- 4) ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR FOLLOWING THE INSTALLATION COMPLETION DATE.
- 5) FOR WETLAND MITIGATION PLANTING SEE SHEET C-17 BY GEORGE W. STEPHENS JR. F.A.S.S.C. INC.

PLANT LIST

KEY	QUANTITY	COMMON NAME/BOTANICAL NAME	MIN. SIZE	ROOT	REMARKS
RM	32 EA.	RED SUNSET MAPLE / ACER RUBRUM 'RED SUNSET'	2.5" CAL.	B&B	-
JZ	10 EA.	JAPANESE ZELKOVA / ZELKOVA SERRATA 'VILLAGE GREEN'	2.5" CAL.	B&B	-
WK	2 EA.	WINTERKING HAWTHORN / CRATAEGUS VIRIDIS "WINTER KING"	2.5" CAL.	B&B	-
WP	51 EA.	WHITE PINE / PINUS STROBUS	8' HGT	B&B	10' O.C.
LC	16 EA.	LEYLAND CYPRESS / CUPRESSUCYPRESS LEYLANDII	6' HGT	B&B	8' O.C.

**DEVELOPER'S/BUILDER'S CERTIFICATE**  
I/WE CERTIFY THAT THE LANDSCAPE PLANTING SHOWN ON THIS PLAN WILL BE DONE IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: *[Signature]* DATE: *6/25/01*

PLAN VIEW  
SCALE: 1" = 50'

LANDSCAPE PERIMETER 2  
DOROTHY STEMBLER  
597/306  
M-2 ZONING  
PARCEL 85

SCHEDULE A - PERIMETER LANDSCAPE EDGE

Category	Adjacent to Perimeter Properties				
	Adjacent to Roadways (Perimeter 1) Type B	Perimeter 2 Type C (Property Line)	Perimeter 2 Type D (Loading Area)	Perimeter 3 Type A	Perimeter 4 Type A
Landscape Type					
Linear Feet of Roadway Frontage/Perimeter	476	870	260	730	1113
Credit for Existing Vegetation (Yes, No, Linear Foot) (Describe below if needed)	Yes 100%	Yes (230 LF) (Net 640 LF)	NO	Yes (325 LF) (Net 405' LF)	Yes (500 LF) (Net 613 LF)
Credit for Wall, Fence or Berm	NO	NO	NO	NO	NO
Number of Plants Required					
Shade Trees	0	16	4	7	10
Evergreen Trees	0	32	26	0	0
Shrubs	0	0	0	0	0
Number of Plants Provided					
Shade Trees	0	11	4	7	10
Evergreen Trees	0	25	26	0	0
Other Trees (2:1 substitution)	0	38*	0	0	0
Shrubs (10:1 substitution) (Describe plant substitution credits below if needed)	0	(**WETLAND MITIGATION TREES @ 2:1)	0	0	0

NOTE: 8 LANDSCAPED ISLANDS ARE REQUIRED IN THE PARKING LOTS BASED UPON THE NUMBER OF PARKING SPACES. TWO LANDSCAPED ISLANDS ARE SHOWN IN FRONT OF BUILDING NUMBER TWO IN LIEU OF PROVIDING THE REMAINING SIX ISLANDS REQUIRED. SIX ISLANDS REQUIRED, SIX ADDITIONAL TREES HAVE BEEN ADDED TO ISLANDS ADJACENT TO PARKING AROUND BUILDING NUMBER ONE.

SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING

Number of Parking Spaces	45
Number of Trees Required (Landscape Islands)	3
Number of Trees Provided (Landscape Islands)	3
Shade Trees	4

APPROVED: HOWARD CO. DEPT. OF PLANNING & ZONING

*[Signature]* DATE: *6/25/01*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

*[Signature]* DATE: *6/25/01*  
CHIEF, DIVISION OF LAND DEVELOPMENT

*[Signature]* DATE: *6/25/01*  
DIRECTOR

**OWNER/DEVELOPER**  
M & M GENERAL PARTNERSHIP  
7450 MONTEVIDEO ROAD  
JESSUP, MARYLAND 20794  
(410) 799-1972  
DEED REFERENCE = 4354/544

DATE	NO.	REVISIONS
11-25-02	1	ADDED PARKING SPACES FOR BLDG. #1 AND REVISED LANDSCAPING ACCORDINGLY
09-20-09	2	REV. BLDGS #2 GRADES PER ARCH. PLANS
09-01-06	3	ADDED SECURITY FENCE

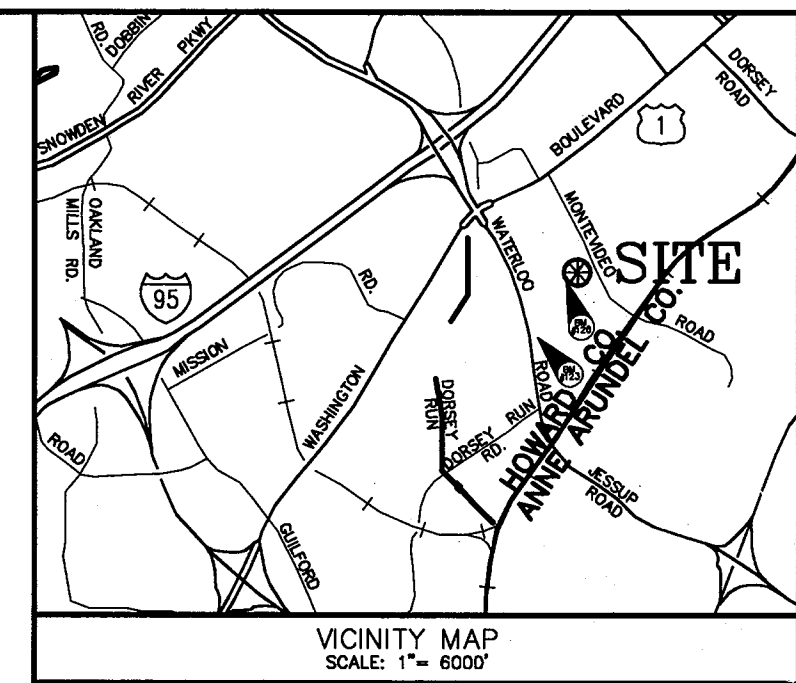
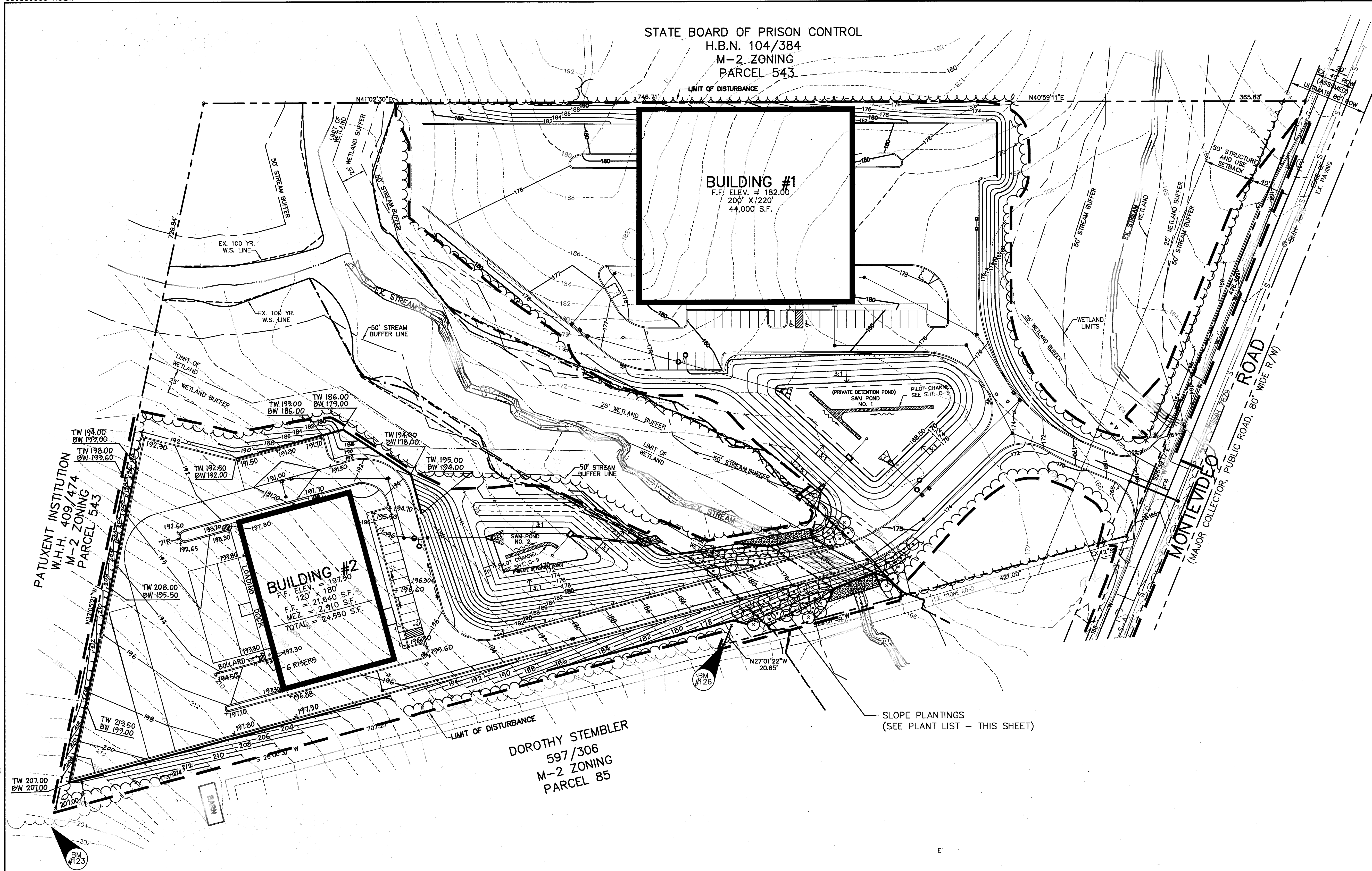
LANDSCAPE PLANTING PLAN

PROJECT TITLE:  
**7330 MONTEVIDEO ROAD  
HOWARD CO., MARYLAND**

ENGINEERS: **WHITNEY, BAILEY, COX & MAGNANI, LLP**  
Consulting Engineers  
849 Fairmount Avenue (410) 512-4500  
Baltimore, Maryland 21286 (410) 324-4100 (FAX)

DESIGNED: C.K.	ELECTION DIST.: 1
DRAWN: C.P.G.	CENSUS TRACT #: 6012
CHECKED: M.M.	WATER CODE: B-01
DATE: 12/13/00	SEWER CODE: 2221000
SCALE: AS SHOWN	DRAWING NO.:
MAP NO.: 43	<b>C-16</b>
GRID NO.: 10	SHEET 17 OF 25
PARCEL NO.: 554	

STATE BOARD OF PRISON CONTROL  
H.B.N. 104/384  
M-2 ZONING  
PARCEL 543



PLAN VIEW  
SCALE: 1" = 50'

DOROTHY STEMBLER  
597/306  
M-2 ZONING  
PARCEL 85

SLOPE PLANTINGS  
(SEE PLANT LIST - THIS SHEET)

PLANT LISTS

KEY	QUANTITY	COMMON NAME/BOTANICAL NAME	SIZE	ROOT	REMARKS
<b>SLOPE PLANTINGS</b>					
16 EA.		RED MAPLE / ACER RUBRUM	1.5" CAL.	B&B	10' O.C.
16 EA.		PIN OAK / QUERCUS PALUSTRIS	1.5" CAL.	B&B	10' O.C.
16 EA.		AMERICAN SYCAMORE / PLATANUS OCCIDENTALIS	1.5" CAL.	B&B	10' O.C.
16 EA.		SWEET GUM / LIQUIDAMBAR STYRACIFLUA	1.5" CAL.	B&B	10' O.C.

- NOTES: 1) ADDITIONAL WETLAND MITIGATION SHALL BE PROVIDED THROUGH THE PURCHASE OF OFF-SITE WETLAND BANKING AT A LOCATION APPROVED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT AND THE U.S. ARMY CORPS OF ENGINEERS IN ACCORDANCE WITH THE WETLANDS AND WATERWAYS JOINT PERMIT. THE SITE HAS NOT YET BEEN DETERMINED.
- 2) CONTRACTOR TO STABILIZE ALL DISTURBED AREAS AT THE END OF EACH WORK DAY.

**OWNER/DEVELOPER**  
M & M GENERAL PARTNERSHIP  
7450 MONTEVIDEO ROAD  
JESSUP, MARYLAND 20794  
(410) 799-1972  
DEED REFERENCE = 4354/544

03-20-03	REV. BLDG. #2 AND GRADES PER ARCH. PLANS	
DATE	NO.	REVISIONS

**WETLAND MITIGATION  
PLANTING PLAN**

PROJECT TITLE:  
**7330 MONTEVIDEO ROAD  
HOWARD CO., MARYLAND**

ENGINEERS: Consulting Engineers  
849 Fairmount Avenue (410) 512-4500  
Baltimore, Maryland 21286 (410) 324-4100 (FAX)  
WHITNEY, BAILEY, COX & MAGNANI, LLP

DESIGNED: C.K.	ELECTION DIST.: 1
DRAWN: C.P.G.	CENSUS TRACT #: 6012
CHECKED: M.M.	WATER CODE: B-01
DATE: 12/13/00	SEWER CODE: 2221000
SCALE: AS SHOWN	DRAWING NO.:
MAP NO.: 43	<b>C-17</b>
GRID NO.: 10	SHEET 18 OF 25
PARCEL NO.: 554	

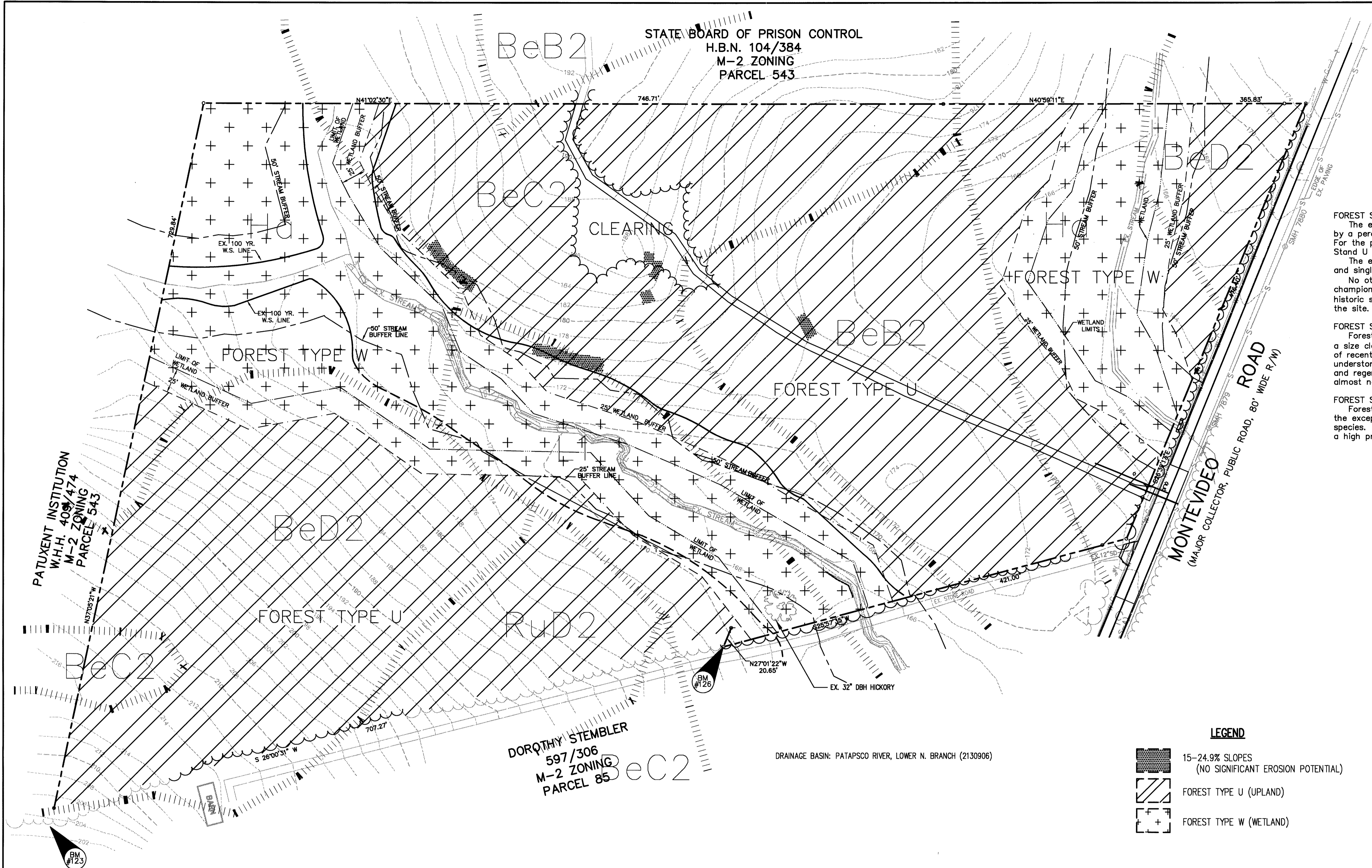
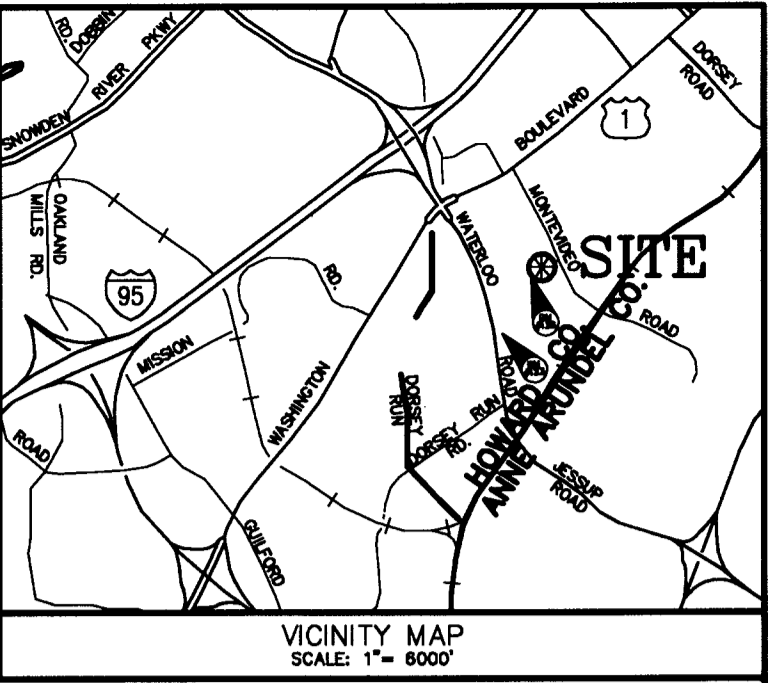
APPROVED: HOWARD CO. DEPT. OF PLANNING & ZONING.

DATE: 6/25/01

DATE: 6/25/01

DATE: 6/25/01

STATE BOARD OF PRISON CONTROL  
H.B.N. 104/384  
M-2 ZONING  
PARCEL 543



**FOREST STAND NARRATIVE:**  
The entire site is forested, except for a small clearing. The site is bisected by a perennial stream and associated flood plain as well as non-tidal wetlands. For the purposes of this delineation, the forest is divided into two stands; Forest Stand U is an upland forest and Forest Stand W is a wetland forest.  
The existing forest continues off-site. Adjacent land use includes institutional and single family residential, although this residential land use is zoned M-2.  
No other cultural or environmental features (i.e. steep slopes over 25%, state champion trees; critical habitats of rare, threatened or endangered species; historic structures or other historic resources, including trees) were observed on the site.

**FOREST STAND U**  
Forest Stand U is an upland forest with a mature mixed hardwood forest with a size class in the 2-6" DBH range with 100% canopy closure. There is evidence of recent selective logging which contributes to a fairly high percentage of understorey species, as well as a heavy herbaceous layer. The forest is recovering and regenerating well, which is an indication of long term viability. There are almost no invasive, non-native species present.

**FOREST STAND W**  
Forest Stand W is a wetland forest and is identical to Forest Stand U with the exception of a higher percentage of wetland hardwoods and understorey species. Since Forest Stand W encompasses the wetland areas on the site, it is a high priority for retention.

PREPARED BY:  
Charles H. Klein  
Whitney, Bailey, Cox, Magnani, LLP  
849 Fairmount Ave, Suite 100  
Baltimore, MD 21226  
410-512-4500

I certify that I am a licensed Landscape Architect (MD registration #438) and, therefore, am qualified to prepare the attached Forest Stand Delineation Plan and/or Forest Conservation Plan. I further certify that this plan was prepared by me or under my supervision and that I have used the methods provided for by the Forest Conservation Ordinance and the Forest Conservation Technical Manual to prepare these plans.

SIGNED: *[Signature]* DATE: 2/23/01  
Charles H. Klein

**OWNER/DEVELOPER**  
M & M GENERAL PARTNERSHIP  
7450 MONTEVIDEO ROAD  
JESSUP, MARYLAND 20794  
(410) 799-1972  
DEED REFERENCE = 4354/544

DATE	NO.	REVISIONS

**FOREST STAND DELINEATION PLAN**

PROJECT TITLE:  
**7330 MONTEVIDEO ROAD  
HOWARD CO., MARYLAND**

ENGINEERS: **WR** Consulting Engineers  
849 Fairmount Avenue (410) 512-4500  
Baltimore, Maryland 21286 (410) 324-4100 (FAX)  
WHITNEY, BAILEY, COX & MAGNANI, LLP

DESIGNED: C.K.	ELECTION DIST.: 1
DRAWN: C.P.G.	CENSUS TRACT #: 6012
CHECKED: M.M.	WATER CODE: B-01
DATE: 12/13/00	SEWER CODE: 2221000
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 43	<b>C-18</b>
GRID NO.: 10	F-1 OF 2
PARCEL NO.: 554	SHEET 19 OF 25

**LEGEND**

	15-24.9% SLOPES (NO SIGNIFICANT EROSION POTENTIAL)
	FOREST TYPE U (UPLAND)
	FOREST TYPE W (WETLAND)

DRAINAGE BASIN: PATAPSCO RIVER, LOWER N. BRANCH (2130906)

KEY	A. TYPE OF COMMUNITY	B. AREA*	C. SOIL INFORMATION				D. EXISTING VEGETATION (Dominant Species and Approx. %)	E. STAND CHARACTERISTICS			F. FOREST AREA IN SENSITIVE ENVIRONMENTS* (Acres)
			1. Soil Types	2. Typical forest cover for soil type*	3. Woodland Suitability Index	4. Habitat Value for soil type		1. Size (Diam)	2. Age	3. General Conditions	
TYPE U	MATURE HARDWOOD	9.58	BeB2 BeC2 BeD2 RuD2	MIXED UPLAND HARDWOOD	12 12 17 8	GOOD GOOD GOOD FAIR	HICKORY (30%) RED OAK (20%) RED MAPLE (20%) SWEETGUM (30%)	6-12" 6-12" 6-12" 2-6"	20 TO 30 YEARS	GOOD	0
TYPE W	WETLAND HARDWOOD	4.12	Ha L1	WATER TOLERANT HARDWOOD	2 11	GOOD GOOD	HICKORY (40%) SWEETGUM (40%) SILVER MAPLE (20%)	6-12" 6-12" 6-12"	20 TO 30 YEARS	GOOD	4.12

**PLAN VIEW**  
SCALE: 1" = 50'

APPROVED: HOWARD CO. DEPT. OF PLANNING & ZONING.

*[Signature]* 6/5/01 DATE  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

*[Signature]* 6/25/01 DATE  
CHIEF, DIVISION OF LAND DEVELOPMENT

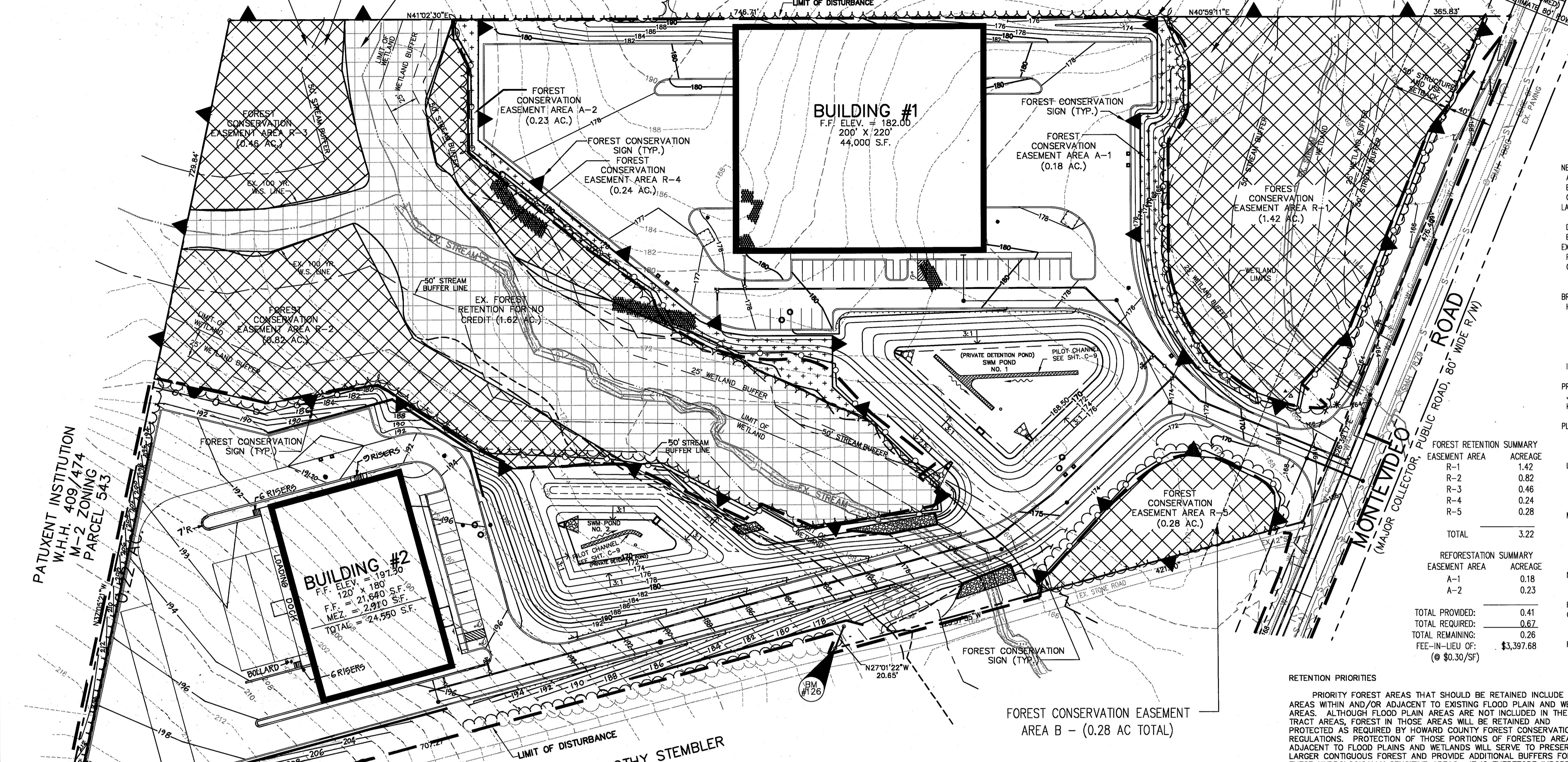
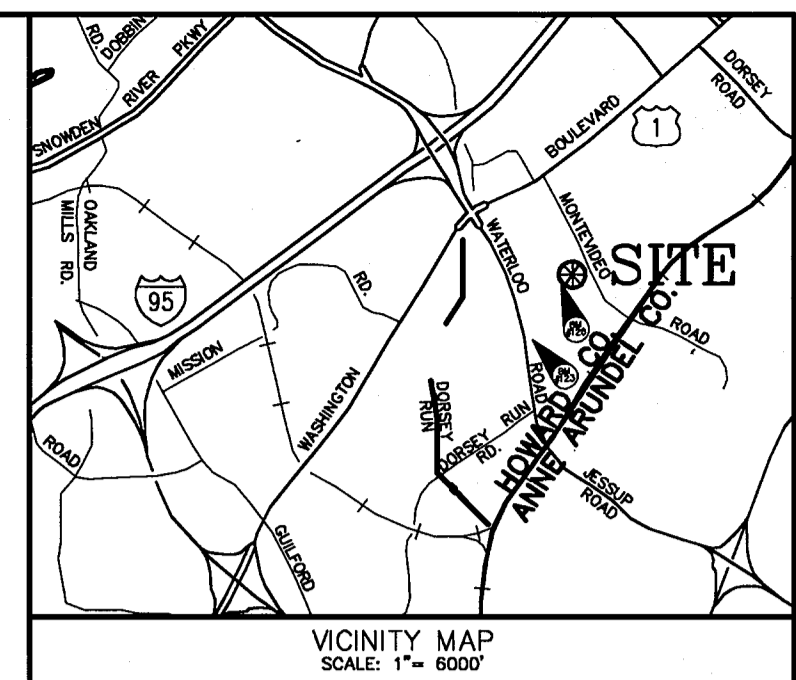
*[Signature]* 6/25/01 DATE  
DIRECTOR

FOREST CONSERVATION EASEMENT  
AREA C - 1.75 AC CREDIT (NON FLOOD PLAIN)  
1.62 AC NON-CREDIT (FLOOD PLAIN)  
3.37 AC TOTAL

EXISTING FOREST TO REMAIN (TYP)

STATE BOARD OF PRISON CONTROL  
H.B.N. 104/384  
M-2 ZONING  
PARCEL 543

PROTECTIVE FENCING AND SIGNS (TYP)  
FOREST CONSERVATION EASEMENT  
AREA A - (1.60 AC TOTAL)



FOREST CONSERVATION WORK SHEET (VER 2.1)

NET TRACT AREA	A=	13.97
A) TOTAL TRACT AREA	B=	1.91
B) DEDUCTIONS (Area within 100 year floodplain)	C=	12.06
C) NET TRACT AREA (C=A-B)		
LAND USE CATEGORY	M-2	
D) AFFORESTATION THRESHOLD:	15%	D= 1.80
E) CONSERVATION THRESHOLD:	15%	E= 1.80
EXISTING FOREST COVER		
F) EXISTING FOREST COVER WITHIN THE NET TRACT AREA	F=	11.63
G) AREA OF FOREST ABOVE CONSERVATION THRESHOLD	G=	9.83
If the Existing Forest Cover (F) is greater than the Conservation Threshold (E), then G=Existing Forest Cover (F) - Conservation Threshold (E), Otherwise G=0		
BREAK EVEN POINT	H=	3.76
(Amount of Forest that must be retained so that no mitigation is required)		
(1) If the area of forest above the Conservation Threshold (G) is greater than zero, then H= (0.2 x area of forest above the Conservation Threshold (G)) + Conservation Threshold (E)		
(2) If the area of forest above the Conservation Threshold (G) is equal to zero, then H= Existing Forest Cover (F)		
I) FOREST CLEARING PERMITTED WITHOUT MITIGATION	I=	7.87
I = Existing Forest Cover (F) - Break Even Point (H)		
PROPOSED FOREST CLEARING	J=	8.40
J) TOTAL AREA OF FOREST TO BE CLEARED	J=	8.40
K) TOTAL AREA OF FOREST TO BE RETAINED	K=	3.23
K = Existing Forest (F) - Forest to be Cleared (J)		
PLANTING REQUIREMENTS		
If the Total Area of Forest to be Cleared (J) is at or above the Break Even Point (H), No planting is required and no further calculations are necessary. (L=0, M=0, N=0, P=0) Otherwise, calculate the planting requirement(s) as follows:		
L) REFORESTATION FOR CLEARING ABOVE CONSERVATION THRESHOLD	L=	2.10
(1) If the total area of forest to be retained (K) is greater than or equal to the conservation Threshold (E) then L = area of forest to be cleared (J) x 0.25;		
(2) If the Forest to be Retained (K) is less than or equal to the Conservation Threshold (E), then L = area of Forest Above Conservation Threshold (G) x 0.25		
M) REFORESTATION FOR CLEARING BELOW CONSERVATION THRESHOLD	M=	0.00
(1) If Existing Forest Cover (F) is greater than the Conservation Threshold (E) and the Forest to be Retained (K) is less than or equal to the Conservation Threshold (E) then m = 2.0 x the Conservation Threshold (E) - the Forest to be Retained (K)		
(2) If Existing Forest Cover is less than or equal to the Conservation Threshold (E) then M = 2.0 x Forest to be Cleared (J)		
N) CREDIT FOR RETENTION ABOVE CONSERVATION THRESHOLD	N=	1.43
If the area of Forest to be Retained (K) is greater than the Conservation Threshold (E) then N = Forest to be Retained (K) - Conservation Threshold (E)		
P) TOTAL REFORESTATION REQUIRED (P = L + M - N)	P=	0.67
Q) TOTAL AFFORESTATION REQUIRED	Q=	0.00
(1) If Existing Forest Cover (F) is less than the Afforestation Threshold (D) then Q = the Afforestation Threshold (D) - the Existing Forest Cover (F) or...		
R) TOTAL PLANTING REQUIREMENTS R = P + Q	R=	0.67

FOREST RETENTION SUMMARY

EASEMENT AREA	ACREAGE
R-1	1.42
R-2	0.82
R-3	0.46
R-4	0.24
R-5	0.28
TOTAL	3.22

REFORESTATION SUMMARY

EASEMENT AREA	ACREAGE
A-1	0.18
A-2	0.23
TOTAL PROVIDED:	0.41
TOTAL REQUIRED:	0.67
TOTAL REMAINING:	0.26
FEE-IN-LIEU OF:	\$3,397.68
(@ \$0.30/SF)	

RETENTION PRIORITIES  
PRIORITY FOREST AREAS THAT SHOULD BE RETAINED INCLUDE THOSE AREAS WITHIN AND/OR ADJACENT TO EXISTING FLOOD PLAIN AND WETLAND AREAS. ALTHOUGH FLOOD PLAIN AREAS ARE NOT INCLUDED IN THE NET TRACT AREAS, FOREST IN THOSE AREAS WILL BE RETAINED AND PROTECTED AS REQUIRED BY HOWARD COUNTY FOREST CONSERVATION REGULATIONS. PROTECTION OF THOSE PORTIONS OF FORESTED AREAS ADJACENT TO FLOOD PLAINS AND WETLANDS WILL SERVE TO PRESERVE LARGER CONTIGUOUS FOREST AND PROVIDE ADDITIONAL BUFFERS FOR THESE HYDROLOGICALLY SENSITIVE AREAS. IT IS THEREFORE IMPORTANT TO RECOGNIZE THAT ALTHOUGH THESE PORTIONS OF FOREST MAY BE LESS THAN THE REQUIREMENTS FOR A FOREST (35' WIDE AND 10,000 S.F. MIN.) THEY WILL BE PART OF A LARGER FORESTED AREA.

REFORESTATION PRIORITIES  
REFORESTATION OF DISTURBED AREAS ADJACENT TO REMAINING FOREST AREAS OFFER THE GREATEST POTENTIAL FOR REFORESTATION. THIS WILL CREATE A LARGER CONTIGUOUS FOREST AND PROVIDE ADDITIONAL BUFFERS FOR HYDROLOGICALLY SENSITIVE AREAS. AGAIN, AS SOME OF THESE AREAS MAY BE LESS THAN REQUIREMENTS FOR A FOREST (35' WIDE AND 10,000 S.F. MIN.) THEY WILL BE PART OF A LARGER FORESTED AREA.

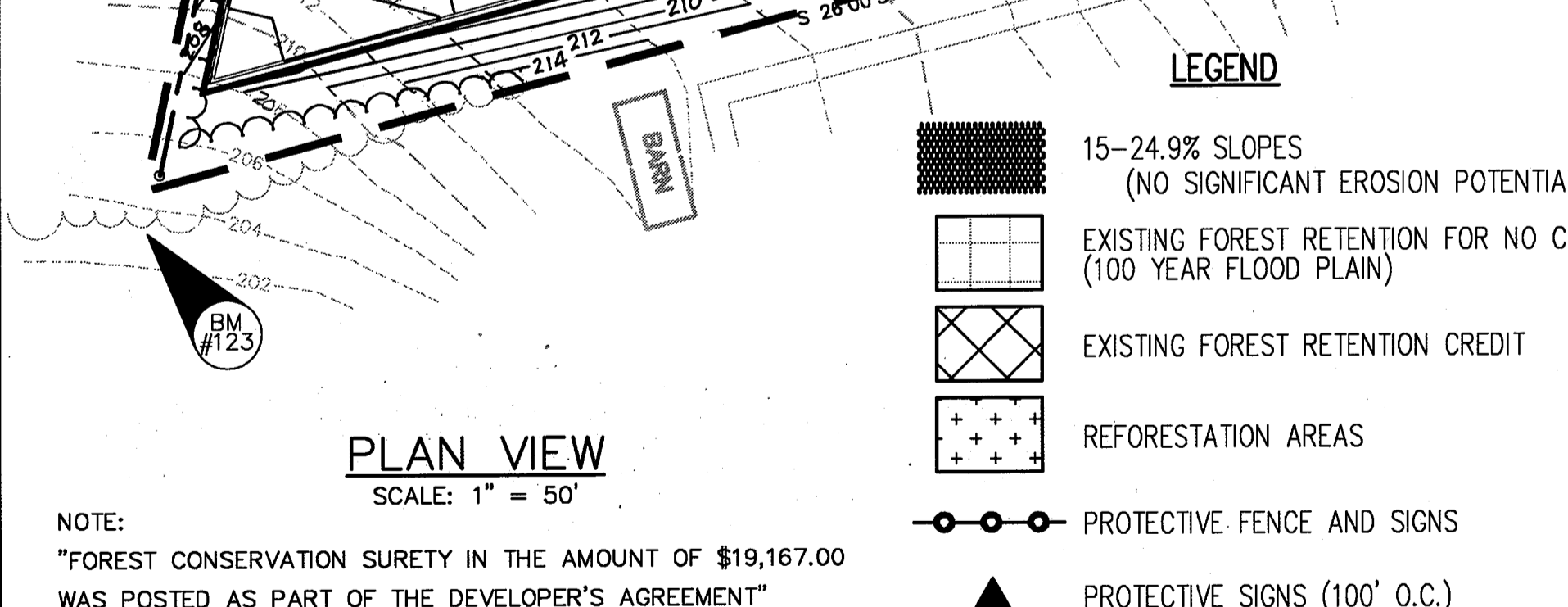
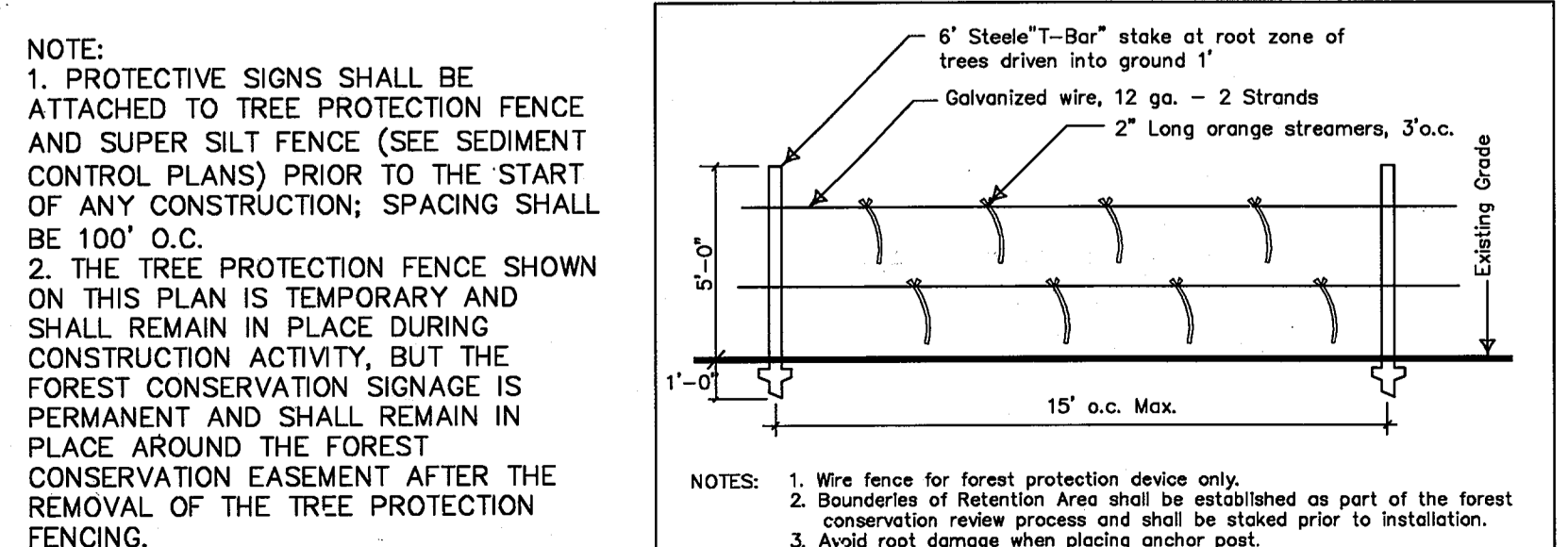
IT IS ALSO PROPOSED, AS ALLOWED IN THE REGULATIONS, THAT MITIGATION PLANTINGS FOR THE STREAM CROSSING BE INCLUDED IN THE REFORESTATION CALCULATIONS.  
REFORESTATION IS PROPOSED AS SEEDLINGS WITH TREE SHELTERS AT 350 TREES PER ACRE FOR MOST AREAS AND 1.5" CAL. NURSERY STOCK FOR THE STREAM CROSSING MITIGATION. THE SOMEWHAT NARROW AREAS DO NOT LEND THEMSELVES WELL TO LARGE SIZE TRANSPLANT STOCK WHERE SPACING WOULD ONLY PROVIDE A DEPTH OF ONE OR TWO TREES.

PROTECTIVE FENCING AND SIGNAGE AND/OR SUPER SILT FENCE WITH PROTECTIVE SIGNS SHALL BE PROVIDED AS DETAILED ON THE PLANS AND IN THE REFORESTATION SPECIFICATIONS AND ON THE SEDIMENT CONTROL PLANS.  
OWNER SHALL PROVIDE A PUBLIC WORKS AGREEMENT AND LAND RECORD EASEMENT WITH HOWARD COUNTY AS SPECIFIED IN COMAR 08.19.05.02

NOTES:  
1. ALL PLANTINGS AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY FOREST CONSERVATION MANUAL, APPENDIX H, PLANTING AND MAINTENANCE GUIDELINES INCLUDING EXHIBITS H-1 THROUGH H-6.  
2. THE FOREST CONSERVATION EASEMENTS HAVE BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE, FOREST CONSERVATION ACT. NO CLEARING, GRADING, OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENTS; HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.  
3. THE FOREST CONSERVATION OBLIGATION INCURRED BY THIS SITE DEVELOPMENT PLAN (3.89 ACRES) HAS BEEN MET BY RECORDATION OF 3.63 ACRES OF FOREST CONSERVATION EASEMENTS WHICH INCLUDE 3.22 ACRES OF RETENTION AND 0.41 ACRES OF REFORESTATION AND \$3,397.68 HAS BEEN PAID AS A FEE IN LIEU FOR 0.26 ACRES OF REFORESTATION.

REFORESTATION PLANT LIST

A-1	A-2	REFORESTATION AREA	QUAN.	QUAN.	TOTAL QUAN.	COMMON NAME/BOTANICAL NAME	ROOT SIZE	MIN SIZE	NOTES	SPACING
0.18	0.23	ACREAGE								
			15	20	35	RED MAPLE / ACER RUBRUM	SEEDLING	24" HGT.	W/ TREE SHELTER	11' O.C.
			15	20	35	SWEETGUM / LIQUIDAMBAR STYRACIFLUA	SEEDLING	24" HGT.	W/ TREE SHELTER	11' O.C.
			10	15	25	SILVER MAPLE / ACER SACCHARINUM	SEEDLING	24" HGT.	W/ TREE SHELTER	11' O.C.
			10	15	25	PIN OAK / QUERCUS PALUSTRIS	SEEDLING	24" HGT.	W/ TREE SHELTER	11' O.C.
			13	10	23	TULIP POPLAR / LIRIODENDRON TULIPIFERA	SEEDLING	24" HGT.	W/ TREE SHELTER	11' O.C.
			63	80	143	TOTAL PROVIDED				
			63	80	143	TOTAL REQUIRED (AT 350/AC.)				



NOTE:  
"FOREST CONSERVATION SURETY IN THE AMOUNT OF \$19,167.00 WAS POSTED AS PART OF THE DEVELOPER'S AGREEMENT"

NOTE:  
THE FOREST CONSERVATION EASEMENTS AS SHOWN ON THE SDP WERE RECORDED WITH A METES AND BOUNDS DESCRIPTION BY A PLAT OF FOREST CONSERVATION EASEMENT ON MAY 22, 2001 IN THE HOWARD COUNTY LAND RECORDS OFFICE AS PLAT NO. 14817

APPROVED: HOWARD CO. DEPT. OF PLANNING & ZONING

*[Signature]*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 6/22/01

*[Signature]*  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 6/25/01

*[Signature]*  
DIRECTOR  
DATE: 6/25/01

DOROTHY STEMBLER  
597/306  
M-2 ZONING  
PARCEL 85

OWNER/DEVELOPER  
M & M GENERAL PARTNERSHIP  
7450 MONTEVIDEO ROAD  
JESSUP, MARYLAND 20794  
(410) 799-1972  
DEED REFERENCE = 4354/544

03-20-03	REV. BLDG. 2 AND GRADES PER ARCH. PLANS	
DATE	NO.	REVISIONS

PROJECT TITLE:  
**7330 MONTEVIDEO ROAD  
HOWARD CO., MARYLAND**

ENGINEERS: *[Logo]* Consulting Engineers  
849 Fairmount Avenue (410) 512-4500  
Baltimore, Maryland 21286 (410) 324-4100 (FAX)  
WHITNEY, BAILEY, COX & MAGNANI, LLP

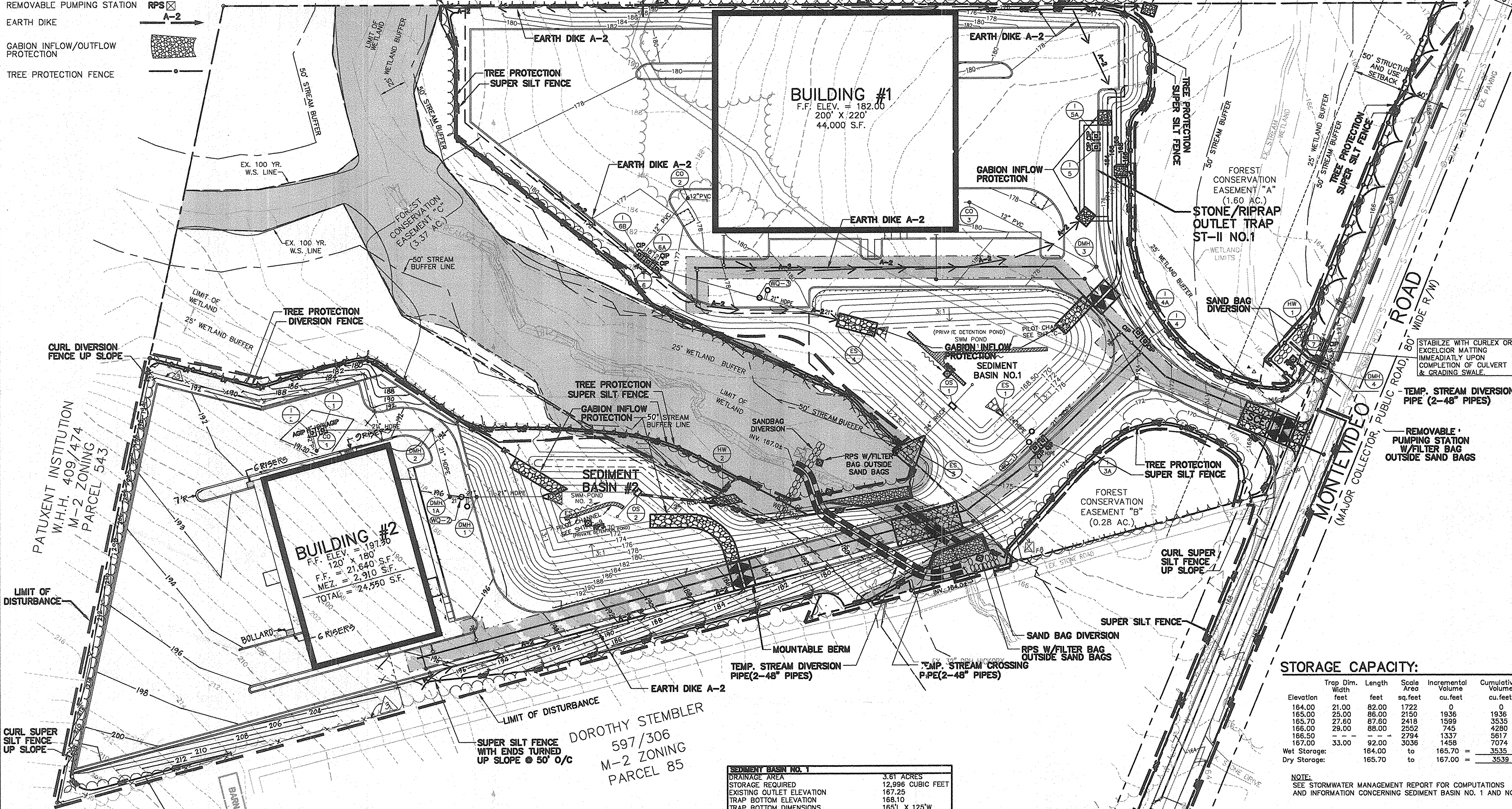
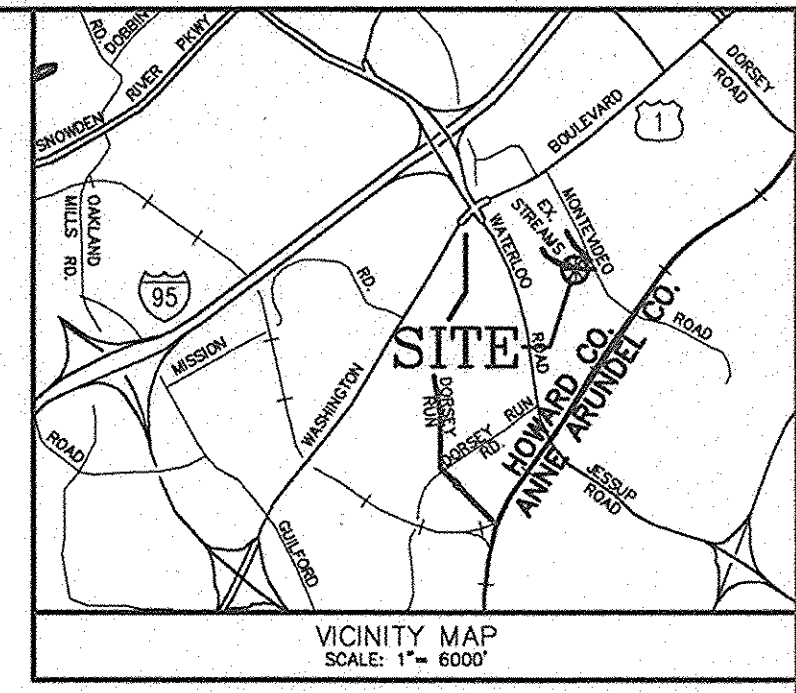
DESIGNED: C.K.	ELECTION DIST.: 1
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CHECKED: M.M.	WATER CODE: B-01
DATE: 12/13/00	SEWER CODE: 2221000
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 43	<b>C-19</b>
GRID NO.: 10	F-2 OF 2
PARCEL NO.: 554	SHEET 20 OF 25

LEGEND:

- LIMIT OF DISTURBANCE
- SUPER SILT FENCE
- DIVERSION FENCE
- STABILIZED CONSTRUCTION ENTRANCE
- MOUNTABLE BERM
- REMOVABLE PUMPING STATION
- EARTH DIKE
- GABION INFLOW/OUTFLOW PROTECTION
- TREE PROTECTION FENCE

STATE BOARD OF PRISON CONTROL  
H.B.N. 104/384  
M-2 ZONING  
PARCEL 543

ROCK OUTLET PROTECTION  
L=10  
W=12  
SHA CL1 RIPRAP  
450-9.5"  
4100-15"  
T=17"



SEQUENCE OF OPERATIONS	ESTIMATED TIME
1. INSTALL STABILIZED CONSTRUCTION ENTRANCE AS SHOWN ON THE PLANS.	1/2 DAY
2. INSTALL TREE PROTECTION FENCE AND SIGNS (75' O.C.) AT THE LIMIT OF TREE REMOVAL. COORDINATE WITH FOREST CONSERVATION PLAN.	1-1/2 DAYS
3. INSTALL PERMETER SEDIMENT CONTROLS AS SHOWN ON THE PLANS. CONTROL DEVICES INCLUDE EARTH DIKES, MOUNTABLE BERM, TEMPORARY STREAM CROSSING, DIVERSION FENCE AND SUPER SILT FENCE. (EXCEPT THAT FOR MONTEVIDEO ROAD RECONSTRUCTION.)	3 DAYS
4. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, CLEAR AND GRUB FOR THE SEDIMENT BASINS AND TRAPS.	10 DAYS
5. CONSTRUCT SEDIMENT BASINS NO. 1 AND NO. 2, AS SHOWN ON THE PLANS. PROVIDE AND INSTALL GABION INLET PROTECTION AND RIPRAP OUTLET PROTECTION.	4 DAYS
6. INSTALL INTERIOR EARTH DIKES AND SEDIMENT TRAP NO. 1 ON THE NORTH SIDE OF THE SITE.	2 DAYS
7. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, COMPLETE CLEARING AND GRUBBING OF SITE AND COMMENCE ROUGH GRADING.	1-1/2 DAYS
8. PROVIDE AND INSTALL TEMPORARY STREAM DIVERSION AS SHOWN ON THE PLANS.	1 MONTH
9. EXCAVATE AND INSTALL CONTINUOUS CONCRETE FOOTING FOR METAL PIPE ARCH. REGRADE CHANNEL AND BANKS WITHIN LIMITS OF STREAM CONSTRUCTION.	2 MONTHS
10. STABILIZE DISTURBED STREAM CHANNEL WITH EROSION CONTROL MATING AND PLACE SILT FENCE ON EDGE OF NEWLY CONSTRUCTED BANKS.	1 DAY
11. BEGIN CONSTRUCTION OF PIPE ARCH AND ROADWAY EMBANKMENT OVER EXISTING STREAM IMMEDIATELY STABILIZED DISTURBED AREA FOLLOWING ARCH CONSTRUCTION.	1 DAY
12. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE TEMPORARY STREAM DIVERSION AND TEMPORARY STREAM CROSSING WHEN ARCH IS INSTALLED AND OPERATIONAL.	5 MONTHS
13. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, CONCURRENT WITH STREAM CROSSING WORK, BEGIN CONSTRUCTION OF BUILDINGS.	1 MONTH
14. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, CONCURRENT WITH STREAM CROSSING WORK, BEGIN CONSTRUCTION OF SITE UTILITIES INCLUDING STORM DRAIN, SANITARY SEWER, AND WATER MAINS.	1 MONTH
15. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, CONCURRENT WITH STREAM CROSSING WORK, BEGIN CONSTRUCTION OF SITE UTILITIES INCLUDING STORM DRAIN, SANITARY SEWER, AND WATER MAINS.	3 WEEKS
16. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, PROVIDE AND INSTALL TEMPORARY STREAM DIVERSION NORTH OF SITE ENTRANCE ON MONTEVIDEO ROAD AS SHOWN ON PLAN.	1/2 DAY
17. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, CONSTRUCT CULVERT EXTENSION.	3 DAYS
18. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE TEMPORARY STREAM DIVERSION WHEN CULVERT IS OPERATIONAL.	1/2 DAY
19. IMPLEMENT APPROVED TRAFFIC CONTROL PLAN FOR MONTEVIDEO ROAD RECONSTRUCTION, THEN INSTALL SUPER SILT FENCE ASSOCIATED WITH RECONSTRUCTION WORK.	1/2 DAY
20. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, PERFORM MONTEVIDEO RD. DEMOLITION AND RECONSTRUCTION WORK. WHEN COMPLETED AND WITH SEDIMENT CONTROL INSPECTOR'S PERMISSION, REMOVE SUPER SILT FENCE FOR RECONSTRUCTION WORK ONLY.	1/2 DAY
21. PROVIDE AND INSTALL PROTECTION FOR NEW INLETS AS THEY ARE CONSTRUCTED.	1/2 DAY
22. WHEN BUILDING 1 SITE IS GRADED AND STABILIZED, AND WITH THE IMPROVAL OF THE SEDIMENT CONTROL INSPECTOR REMOVE SEDIMENT TRAP NO. 1 AND INTERIOR EARTH DIKES.	3 WEEKS
23. COMPLETE CONSTRUCTION OF REMAINING SITEWORK, INCLUDING STORM DRAIN, PROVIDE AND INSTALL RIPRAP INLET AND OUTLET PROTECTION.	2 WEEKS
24. PERFORM FINAL GRADING FOR SITE TO THE INDICATED SURFACE AND SUBGRADE ELEVATIONS AS SHOWN ON THE PLANS.	1 WEEK
25. STABILIZE DISTURBED AREAS IMMEDIATELY WITH PERMANENT VEGETATION OR PAVING BASE COURSE.	1 WEEK
26. CONSTRUCT CONCRETE CURBS AS SHOWN ON THE PLANS.	2 WEEKS
27. CONSTRUCT BITUMINOUS PAVING AS SHOWN ON THE PLANS.	2 WEEKS
28. CONSTRUCT CONCRETE SIDEWALKS AS SHOWN ON THE PLANS.	1 WEEK
29. PROVIDE AND INSTALL LANDSCAPING AS SHOWN ON THE PLANS.	1 WEEK
30. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, CONVERT SEDIMENT BASINS NO. 1 AND NO. 2 TO PERMANENT ELEVATIONS FOR PONDS SWM-1 AND SWM-2 SHOWN ON THE PLANS. INSTALL ALL STRUCTURAL APPURTANCES FOR THE PONDS AS REQUIRED.	1 WEEK
31. WITH APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL REMAINING SEDIMENT CONTROL DEVICES.	1 WEEK
32. RESTABILIZE ALL AREAS OF DISTURBANCE.	1 WEEK

STORAGE CAPACITY:

Elevation	Trap Dim. Width	Length	Scale Area	Incremental Volume	Cumulative Volume
164.00	21.00	82.00	1722	0	0
165.00	25.00	86.00	2150	1936	1936
165.70	27.80	87.60	2418	1599	3535
166.00	29.00	88.00	2502	745	4280
166.50	-	-	2794	1337	5617
167.00	33.00	92.00	3036	1458	7074
Wet Storage:	164.00	to	165.70	=	3535
Dry Storage:	165.70	to	167.00	=	3539

NOTE:  
SEE STORMWATER MANAGEMENT REPORT FOR COMPUTATIONS AND INFORMATION CONCERNING SEDIMENT BASIN NO. 1 AND NO. 2.

WMA NONTIDAL WETLANDS AND WATERWAYS APPLICATIONS TRACKING NUMBER 99-NT-0559 / 2000 60502

REFERENCE NOTES:

FOR GENERAL NOTES AND LEGEND, SEE SHEET T-1.  
FOR CONSTRUCTION NOTES, SEE SHEET C-2.  
FOR SEDIMENT AND EROSION CONTROL NOTES AND DETAILS, SEE SHEET C-21 AND C-22.  
FOR FOREST CONSERVATION PLAN SEE SHEET C-19.

CONTRACTOR NOTE:

SEDIMENT AND EROSION CONTROL WILL BE STRICTLY ENFORCED. EXISTING SEDIMENT CONTROL DEVICES SHALL BE USED.

**SEDIMENT BASIN NO. 1**

DRAINAGE AREA	3.61 ACRES
STORAGE REQUIRED	12,996 CUBIC FEET
EXISTING OUTLET ELEVATION	167.25
TRAP BOTTOM ELEVATION	168.10
TRAP BOTTOM DIMENSIONS	165'L X 125'W
STORAGE PROVIDED	36,259 CUBIC FEET
WEIR CREST (DRY STORAGE) ELEVATION	171.75
OUTLET (WET STORAGE) ELEVATION	169.25
CLEANOUT ELEVATION	168.90
EMBANKMENT HEIGHT	7.90 FEET
SIDE SLOPE	3:1
WET STORAGE ZONE	169.25 - 168.10
DRY STORAGE ZONE	171.75 - 169.25
EXISTING "Q2"	1.2 CFS
PROPOSED "Q2"	0.3 CFS

**SEDIMENT BASIN NO. 2**

DRAINAGE AREA	3.05 ACRES
STORAGE REQUIRED	13,980 CUBIC FEET
EXISTING OUTLET ELEVATION	167.25
TRAP BOTTOM ELEVATION	168.20
TRAP BOTTOM DIMENSIONS	80'L X 44'W
STORAGE PROVIDED	23,614 CUBIC FEET
WEIR CREST (DRY STORAGE) ELEVATION	175.00
OUTLET (WET STORAGE) ELEVATION	171.75
CLEANOUT ELEVATION	171.00
EMBANKMENT HEIGHT	8.80 FEET
SIDE SLOPE	3:1
WET STORAGE ZONE	171.75 - 169.20
DRY STORAGE ZONE	175.00 - 171.75
EXISTING "Q2"	2.2 CFS
PROPOSED "Q2"	1.2 CFS

**STONE / RIP RAP OUTLET TRAP ST-II NO. 1**

DRAINAGE AREA	1.90 ACRES
STORAGE REQUIRED	6840 CUBIC FEET
EXISTING OUTLET ELEVATION	165.80
TRAP BOTTOM ELEVATION	164.00
TRAP BOTTOM DIMENSIONS	21'x82'
STORAGE PROVIDED	7074 CUBIC FEET
WEIR CREST (DRY STORAGE) ELEVATION	168.00
OUTLET (WET STORAGE) ELEVATION	167.00
CLEANOUT ELEVATION	164.90
EMBANKMENT HEIGHT	3 FEET
SIDE SLOPE	2:1
WEIR LENGTH	8'
WET STORAGE ZONE	164.00 - 165.80
DRY STORAGE ZONE	165.80 - 167.00

PLAN VIEW  
SCALE: 1" = 50'

APPROVED: HOWARD CO. DEPT. OF PLANNING & ZONING.

*[Signature]* 6/22/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

*[Signature]* 6/25/01  
CHIEF, DIVISION OF LAND DEVELOPMENT

*[Signature]* 6/25/01  
DIRECTOR

Developer Certification:  
"I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."  
Signature of Developer: *[Signature]* 6/18/01  
Printed Name: *[Name]*

Engineer's Certification:  
"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."  
Signature of Engineer: *[Signature]* 6/19/01  
Printed Name: WILLIAM BAKER. (MD P.E. 12003)

Reviewed for HOWARD SCD and meets Technical Requirements.  
*[Signature]* 6/19/01  
USDC - Natural Resources Conservation Service Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.  
*[Signature]* 6/19/01  
Howard SCD Date

OWNER/DEVELOPER  
M & M GENERAL PARTNERSHIP  
7450 MONTEVIDEO ROAD  
JESSUP, MARYLAND 20794  
(410) 799-1972  
DEED REFERENCE = 4354/544

DATE	NO.	REVISIONS
09-01-06	3	ADDED SECURITY FENCE
03-20-09		REV. BLDG 2 AND GRADES, ADDED 2ND CONTRACTOR NOTE.

SEDIMENT AND EROSION CONTROL PLAN

PROJECT TITLE:  
7330 MONTEVIDEO ROAD  
HOWARD CO., MARYLAND

ENGINEERS: *[Logo]* Consulting Engineers  
849 Fairmount Avenue (410) 512-4500  
Baltimore, Maryland 21286 (410) 324-4100 (FAX)  
WHITNEY, BAILEY, COX & MAGNANI, LLP

DESIGNED: C.K.	ELECTION DIST.: 1
DRAWN: D.Z.	CENSUS TRACT #: 6012
CHECKED: M.M.	WATER CODE: B-01
DATE: 07/26/00	SEWER CODE: 2221000
SCALE: AS SHOWN	DRAWING NO.:
MAP NO.: 43	C-20
GRID NO.: 10	SC-1 OF 3
PARCEL NO.: 554	SHEET 21 OF 25